

Development Permit Plans



COVER PAGE

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
2/201

**RAMSAY MIXED USE**  
ISSUED FOR CPC

Design Team

<b>ARCHITECT</b>	<b>MECHANICAL</b>	<b>ELECTRICAL</b>	<b>STRUCTURAL</b>	<b>CIVIL</b>	<b>LANDSCAPE</b>
COMPANY: S2 Architecture	COMPANY: Remedy Engineering	COMPANY: Design Core	COMPANY: TRL & associates	COMPANY: Jubilee Engineering Consultants Ltd.	COMPANY: Navagrah LA + UD
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ADDRESS: 900, 110 12 Ave SW CALGARY	ADDRESS: #200, 1422 Kensington Rd NW CALGARY	ADDRESS: #100, 4723 1st Street SW CALGARY	ADDRESS: #100, 1615 10th Ave SW, Calgary	ADDRESS: 3702 Edmonton Trail NE, Calgary	ADDRESS: #204, 337 - 17th Ave SW, CALGARY
OFFICE: 403-670-7000	OFFICE: 403-984-6960	OFFICE: 403-269-2125	OFFICE: 403-244-4944	OFFICE: 403-276-1001	OFFICE: 403-708-8778
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**NOT FOR CONSTRUCTION**

Verify all dimensions, elevations and materials, and report any discrepancies to the original project consultant. Any changes to the final construction drawings, such as proposed site, form of steel for the structure, and construction of building work, shall remain the responsibility of the consultant.

All drawings remain the property of the architect. These drawings are dated: 2013, 07 and Revised. These drawings may not be reproduced without the permission of the architect.

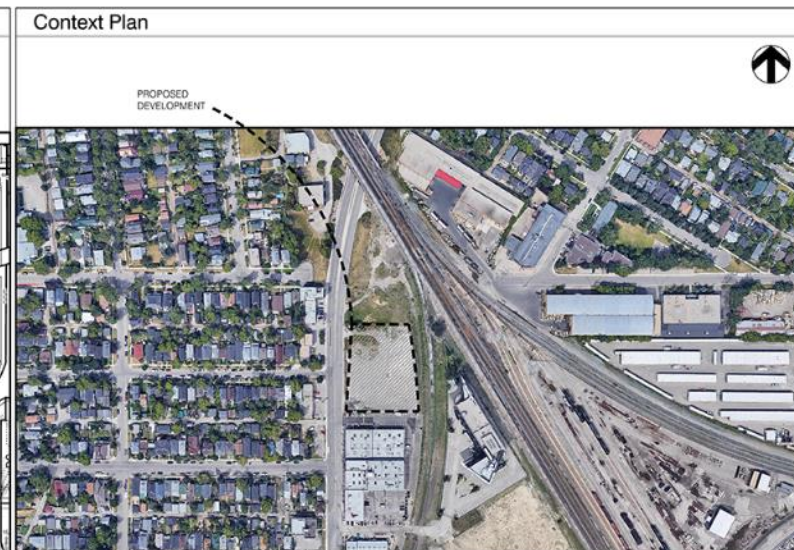
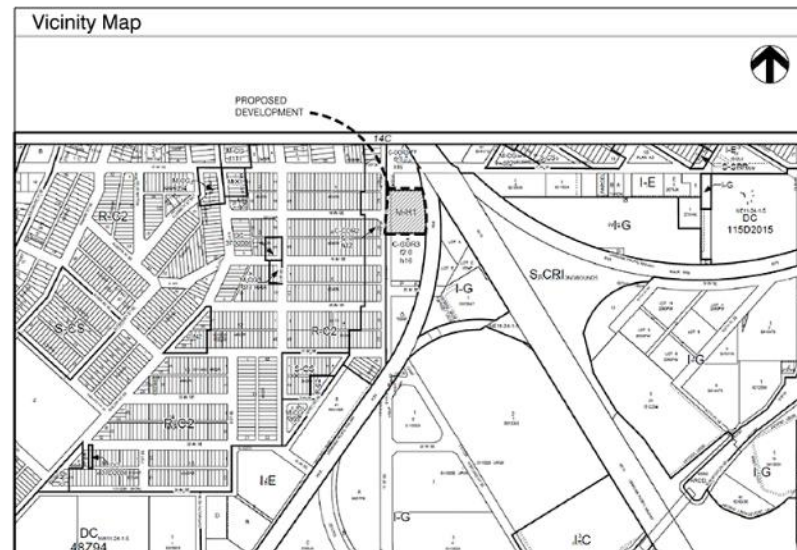
REVISIONS	DATE
DP SUBMISSION	OCTOBER 25, 2017
BTR #1 COMMENTS	JULY 5, 2018
BTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: CZ

ISSUING NO. **DP-0.0**

## Development Permit Plans

<b>Drawing List</b> DP 0.0 COVER PAGE DP 0.1 PROJECT STATISTICS DP 0.2 SURVEY PLAN DP 0.3 SITE PHOTOS  DP 1.0 SITE PLAN DP 1.1 SITE DETAILS DP 1.2 WASTE AND RECYCLING MANAGEMENT  DP-L1.0 LANDSCAPE PLAN DP-L2.0 LANDSCAPE DETAILS  SP1 SITE SERVICING PLAN SP2 SITE GRADING PLAN  DPE1.0 DP ELECTRICAL SITE PLAN DPE1.1 SITE LIGHTING LEVEL  DP 2.0 PARKADE PLAN DP 2.1 MAIN FLOOR PLAN DP 2.2 MEZZANINE FLOOR PLAN DP 2.3 SECOND FLOOR PLAN DP 2.4 TYPICAL RESIDENTIAL FLOOR PLAN (LEVELS 3-6) DP 2.5 SUB PENTHOUSE FLOOR PLAN (LEVEL 7) DP 2.6 PENTHOUSE FLOOR PLAN (LEVEL 8) DP 2.7 ROOF PLAN  DP 3.0 WEST AND NORTH ELEVATIONS DP 3.1 EAST AND SOUTH ELEVATIONS/ GENERATOR ELEVATIONS  DP 4.0 BUILDING SECTIONS  DP 5.0 STREET ELEVATION	<b>Municipal Address</b> 1802-11TH STREET S.E. CALGARY, ALBERTA  <b>Legal Address</b> PART OF BLOCK R PLAN 1594F N.E. 1/4 Sec. 11, Twp.24, Rge.1 W. 5 M.	<b>Proposed Development</b> PERMITTED USES: DISCRETIONARY USES: COMMENCEMENT STORE MULTI-RESIDENTIAL DEVELOPMENT OUTDOOR CAFE PRINT CENTRE RESTAURANT- FOOD SERVICE ONLY - SMALL RESTAURANT- NEIGHBOURHOOD RETAIL AND CONSUMER SERVICE SPECIALTY FOOD STORE TEMPORARY RESIDENTIAL SALES CENTRE	<b>Area Summary</b> NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS, MECHANICAL PENTHOUSES, AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED. <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>LEVEL</th> <th>GROSS FLOOR AREA</th> <th>AREA</th> </tr> </thead> <tbody> <tr> <td>PARKADE</td> <td></td> <td>4815m<sup>2</sup></td> </tr> <tr> <td>MAIN FLOOR</td> <td>1658.5m<sup>2</sup></td> <td></td> </tr> <tr> <td>MEZZANINE</td> <td>1675.0m<sup>2</sup></td> <td></td> </tr> <tr> <td>SECOND FLOOR (PENTH RESIDENTIAL FLOOR)</td> <td>1644.6m<sup>2</sup></td> <td></td> </tr> <tr> <td>THIRD FLOOR</td> <td>1644.6m<sup>2</sup></td> <td></td> </tr> <tr> <td>FOUR FLOOR</td> <td>1644.6m<sup>2</sup></td> <td></td> </tr> <tr> <td>FIFTH FLOOR</td> <td>1644.6m<sup>2</sup></td> <td></td> </tr> <tr> <td>SIXTH FLOOR</td> <td>1506.5m<sup>2</sup></td> <td></td> </tr> <tr> <td>SEVENTH FLOOR (SUB-PENTHOUSE)</td> <td>1385.6m<sup>2</sup></td> <td></td> </tr> <tr> <td>EIGHTH FLOOR (PENTHOUSE)</td> <td></td> <td>14452.6m<sup>2</sup></td> </tr> <tr> <td><b>GRAND TOTAL GROSS FLOOR AREA</b></td> <td></td> <td><b>14452.6m<sup>2</sup></b></td> </tr> </tbody> </table>	LEVEL	GROSS FLOOR AREA	AREA	PARKADE		4815m <sup>2</sup>	MAIN FLOOR	1658.5m <sup>2</sup>		MEZZANINE	1675.0m <sup>2</sup>		SECOND FLOOR (PENTH RESIDENTIAL FLOOR)	1644.6m <sup>2</sup>		THIRD FLOOR	1644.6m <sup>2</sup>		FOUR FLOOR	1644.6m <sup>2</sup>		FIFTH FLOOR	1644.6m <sup>2</sup>		SIXTH FLOOR	1506.5m <sup>2</sup>		SEVENTH FLOOR (SUB-PENTHOUSE)	1385.6m <sup>2</sup>		EIGHTH FLOOR (PENTHOUSE)		14452.6m <sup>2</sup>	<b>GRAND TOTAL GROSS FLOOR AREA</b>		<b>14452.6m<sup>2</sup></b>	<b>Motor Vehicle Parking Requirement</b> NOTE: SITE IS WITHIN AREA 1 OF PARKING AREAS MAP <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>RESIDENTIAL FLOORS 2-6</th> <th>UNIT COUNT</th> <th>FACTOR</th> <th>REQUIRED</th> </tr> </thead> <tbody> <tr> <td>GREATER THAN 60SQM</td> <td>40</td> <td>1.25 STALL PER UNIT</td> <td>50</td> </tr> <tr> <td>EQUAL TO OR LESS THAN 60SQM</td> <td>70</td> <td>1.00 STALL PER UNIT</td> <td>70</td> </tr> <tr> <td><b>TOTAL REQUIRED PARKING STALLS</b></td> <td></td> <td></td> <td><b>120</b></td> </tr> </tbody> </table>	RESIDENTIAL FLOORS 2-6	UNIT COUNT	FACTOR	REQUIRED	GREATER THAN 60SQM	40	1.25 STALL PER UNIT	50	EQUAL TO OR LESS THAN 60SQM	70	1.00 STALL PER UNIT	70	<b>TOTAL REQUIRED PARKING STALLS</b>			<b>120</b>																																												
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	<b>Site Summary</b> PARCEL AREA: 5,283.4m <sup>2</sup> 0.220ha 1.30 ACRES	<b>Building Height</b> MAXIMUM BUILDING HEIGHT • 20 m • WHEN A PARCEL SHARES A PROPERTY LINE WITH A PARCEL DESIGNATED AS A COMMERCIAL, INDUSTRIAL OR SPECIAL PURPOSE DISTRICT, THE MAXIMUM BUILDING HEIGHT IS REDUCED TO 10M MEASURED FROM GRADE WITHIN 1.2 M OF THAT SHARED PROPERTY LINE.	<b>Dwelling Unit Count</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>STUDIO</th> <th>ONE BED</th> <th>TWO BEDROOM</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>88</td> <td>46</td> <td>144</td> </tr> </tbody> </table>	STUDIO	ONE BED	TWO BEDROOM	TOTAL	0	88	46	144	<b>Motor Vehicle Parking Requirement</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>RESIDENTIAL VISITOR PARKING STALLS</th> <th>UNIT COUNT</th> <th>FACTOR</th> <th>REQUIRED PROVIDED</th> </tr> </thead> <tbody> <tr> <td>RESIDENTIAL UNITS</td> <td>144</td> <td>0.15 STALL PER UNIT</td> <td>22</td> </tr> <tr> <td><b>TOTAL VISITOR PARKING STALLS</b></td> <td></td> <td></td> <td><b>22 16+4*</b></td> </tr> </tbody> </table>	RESIDENTIAL VISITOR PARKING STALLS	UNIT COUNT	FACTOR	REQUIRED PROVIDED	RESIDENTIAL UNITS	144	0.15 STALL PER UNIT	22	<b>TOTAL VISITOR PARKING STALLS</b>			<b>22 16+4*</b>																																																																												
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	<b>Landscaping Areas</b> • 40% OF PARCEL AREA MUST BE LANDSCAPED AREA • OPTIONS TO REDUCE LANDSCAPED AREA BY 10% SEE PART C SECTION 10 • MINIMUM 50% OF LANDSCAPED AREA MUST BE HARD SURFACED  SEE LANDSCAPE DRAWINGS FOR PROPOSED CALCULATIONS	<b>Amenity Space</b> RESIDENT AMENITY SPACE REQUIREMENT: • REQUIRED AMENITY SPACE IS 1.05M <sup>2</sup> PER UNIT • AMENITY SPACE MUST NOT HAVE A DIMENSION LESS THAN 2.0M PROPOSED • 102 UNITS WITH OVERSIGHT BALCONIES • 12 UNITS WITH NON-OVERSIGHT BALCONIES  COMMON AMENITY SPACE REQUIREMENT: • MUST HAVE A CONTIGUOUS AREA OF NOT LESS THAN 50.0 SQM • 12 UNITS REQUIRE A COMMON AMENITY SPACE 12.45M <sup>2</sup> x 4.00M • AMENITY SPACE MUST NOT HAVE A DIMENSION LESS THAN 6.0M PROPOSED • AREA 245 SQM • DIMENSIONS 18.2M x 10M	<b>Commercial Unit Area</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>UNIT NAME</th> <th>GROSS FLOOR AREA</th> </tr> </thead> <tbody> <tr> <td>NORTH CRUIS</td> <td></td> </tr> <tr> <td>CRU 1</td> <td>151.75M<sup>2</sup></td> </tr> <tr> <td>CRU 2</td> <td>178.85M<sup>2</sup></td> </tr> <tr> <td>CRU 3</td> <td>84.75M<sup>2</sup></td> </tr> <tr> <td>CRU 4</td> <td>161.0M<sup>2</sup></td> </tr> <tr> <td>CRU 5</td> <td>161.9M<sup>2</sup></td> </tr> <tr> <td>SOUTH CRUIS</td> <td></td> </tr> <tr> <td>CRU 6</td> <td>186.55M<sup>2</sup></td> </tr> <tr> <td>CRU 7</td> <td>118.55M<sup>2</sup></td> </tr> <tr> <td>CRU 8</td> <td>150.55M<sup>2</sup></td> </tr> <tr> <td>CRU 9</td> <td>169.45M<sup>2</sup></td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>1164.45M<sup>2</sup></b></td> </tr> </tbody> </table>	UNIT NAME	GROSS FLOOR AREA	NORTH CRUIS		CRU 1	151.75M <sup>2</sup>	CRU 2	178.85M <sup>2</sup>	CRU 3	84.75M <sup>2</sup>	CRU 4	161.0M <sup>2</sup>	CRU 5	161.9M <sup>2</sup>	SOUTH CRUIS		CRU 6	186.55M <sup>2</sup>	CRU 7	118.55M <sup>2</sup>	CRU 8	150.55M <sup>2</sup>	CRU 9	169.45M <sup>2</sup>	<b>TOTAL</b>	<b>1164.45M<sup>2</sup></b>																																																																							
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CRU 4	161.0M <sup>2</sup>																																																																																																			
CRU 5	161.9M <sup>2</sup>																																																																																																			
SOUTH CRUIS																																																																																																				
CRU 6	186.55M <sup>2</sup>																																																																																																			
CRU 7	118.55M <sup>2</sup>																																																																																																			
CRU 8	150.55M <sup>2</sup>																																																																																																			
CRU 9	169.45M <sup>2</sup>																																																																																																			
<b>TOTAL</b>	<b>1164.45M<sup>2</sup></b>																																																																																																			


**Waste & Recycling Requirements**  
 RESIDENTIAL REQUIREMENTS:  
 • 144 UNITS  
 • 144 UNITS X 0.2M<sup>3</sup> PER UNIT = 43.2M<sup>3</sup> REQUIRED  
 • DIVIDED BY 4 CUBIC YARD BINS = 10.8 BINS REQUIRED  
 • PICKUP OF 10.8 BINS @ 1.4 BINS = 8 X 4 CUBIC YARD BINS  
  
 COMMERCIAL REQUIREMENTS:  
 30M<sup>3</sup> WASTE/RECYCLING STORAGE AREA FOR EVERY 3 DAYS IN A COMMERCIAL DEVELOPMENT OR 80M<sup>3</sup> WASTE/RECYCLING STORAGE AREA FOR EVERY 1000M<sup>2</sup> OF GROSS FLOOR AREA  
 • 80M<sup>3</sup> = 20M<sup>3</sup> AREA REQUIRED  
 • ON 1164.45M<sup>2</sup> 1000M<sup>2</sup> = 1000M<sup>2</sup> OF AREA REQUIRED  
 • 270M<sup>3</sup> OF AREA REQUIRED  
  
 BINS REQUIRED BASED ON MINIMUM OF 1 METER CUBED PER DAY OF COMBINED WASTE AND RECYCLABLE MATERIALS PER AREA OF 1000 M<sup>2</sup> OF AREA PRODUCES A MINIMUM OF 3 METERS CUBED OF COMBINED WASTE AND RECYCLABLE MATERIALS PER WEEK.  
 • 1164.45M<sup>2</sup> 1000M<sup>2</sup> = 1164.45M<sup>3</sup> = 3.043 = 4.50 WARD  
 • 11.77 WARD = 8  
 • 8 X 4 CUBIC YARD BINS



271811

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PROJECT STATISTICS

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REVISIONS

REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
DTR #1 COMMENTS	JULY 9, 2018
DTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

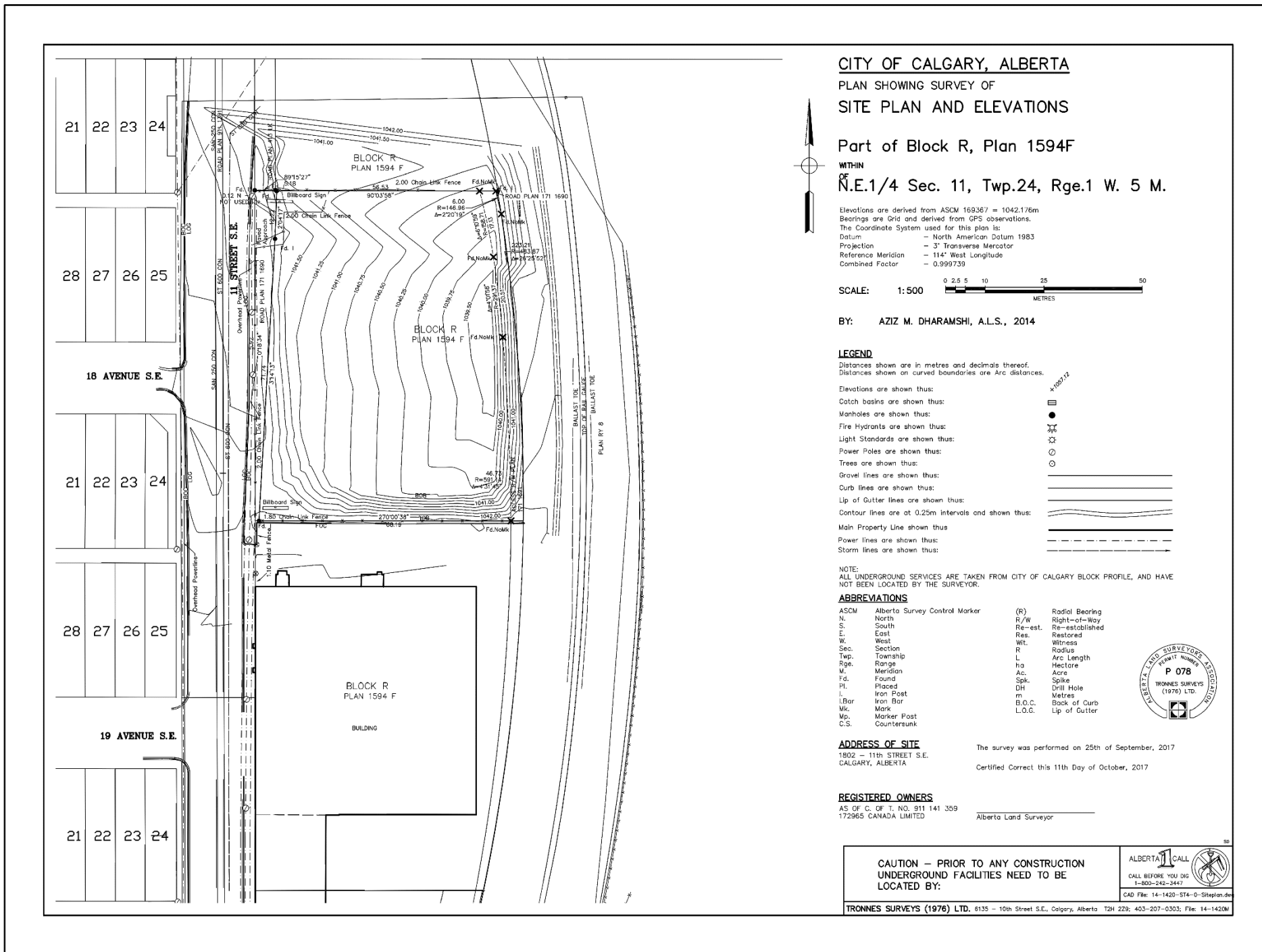
---

SCALE AS NOTED  
 DATE November 13, 2018  
 DRAWN BY MEH  
 CHECKED BY CZ

---

DRAWING NO.  
DP-0.1

Development Permit Plans



SURVEY PLAN

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217071

**NOT FOR CONSTRUCTION**

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REVISIONS	DATE
△ DP SUBMISSION	OCTOBER 23, 2017
△ DTR #1 COMMENTS	JULY 5, 2018
△ DTR #2 COMMENTS	SEPT. 24, 2018
△ ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: CZ

DRAWING NO. **DP-0.2**

1 SURVEY PLAN  
SCALE: NTS

Development Permit Plans



1 SITE PLAN  
DP-0.3 / SCALE: NTS



5 VIEW SOUTH EAST FROM NW CORNER OF SITE  
DP-0.3 / SCALE: NTS



9 VIEW NORTH WEST FROM SE CORNER OF SITE  
DP-0.3 / SCALE: NTS



2 VIEW NORTH FROM SW CORNER OF SITE  
DP-0.3 / SCALE: NTS



6 VIEW SOUTH FROM NE CORNER OF SITE  
DP-0.3 / SCALE: NTS



10 VIEW NORTH FROM SOUTH EDGE OF SITE  
DP-0.3 / SCALE: NTS



3 VIEW WEST FROM SW CORNER OF SITE  
DP-0.3 / SCALE: NTS



7 VIEW SOUTH WEST FROM NE CORNER OF SITE  
DP-0.3 / SCALE: NTS



11 VIEW SOUTH EAST FROM NE CORNER OF SITE  
DP-0.3 / SCALE: NTS



4 VIEW EAST FROM WEST BOUNDARY TOWARDS THE SITE  
DP-0.3 / SCALE: NTS



8 VIEW WEST FROM EAST BOUNDARY TOWARDS THE SITE  
DP-0.3 / SCALE: NTS



12 VIEW SOUTH FROM EAST EDGE OF SITE  
DP-0.3 / SCALE: NTS



SITE PHOTOS

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
217871

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REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
DTR #1 COMMENTS	JULY 9, 2018
DTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE AS NOTED  
DATE November 13, 2018  
DRAWN BY MEH  
CHECKED BY CZ

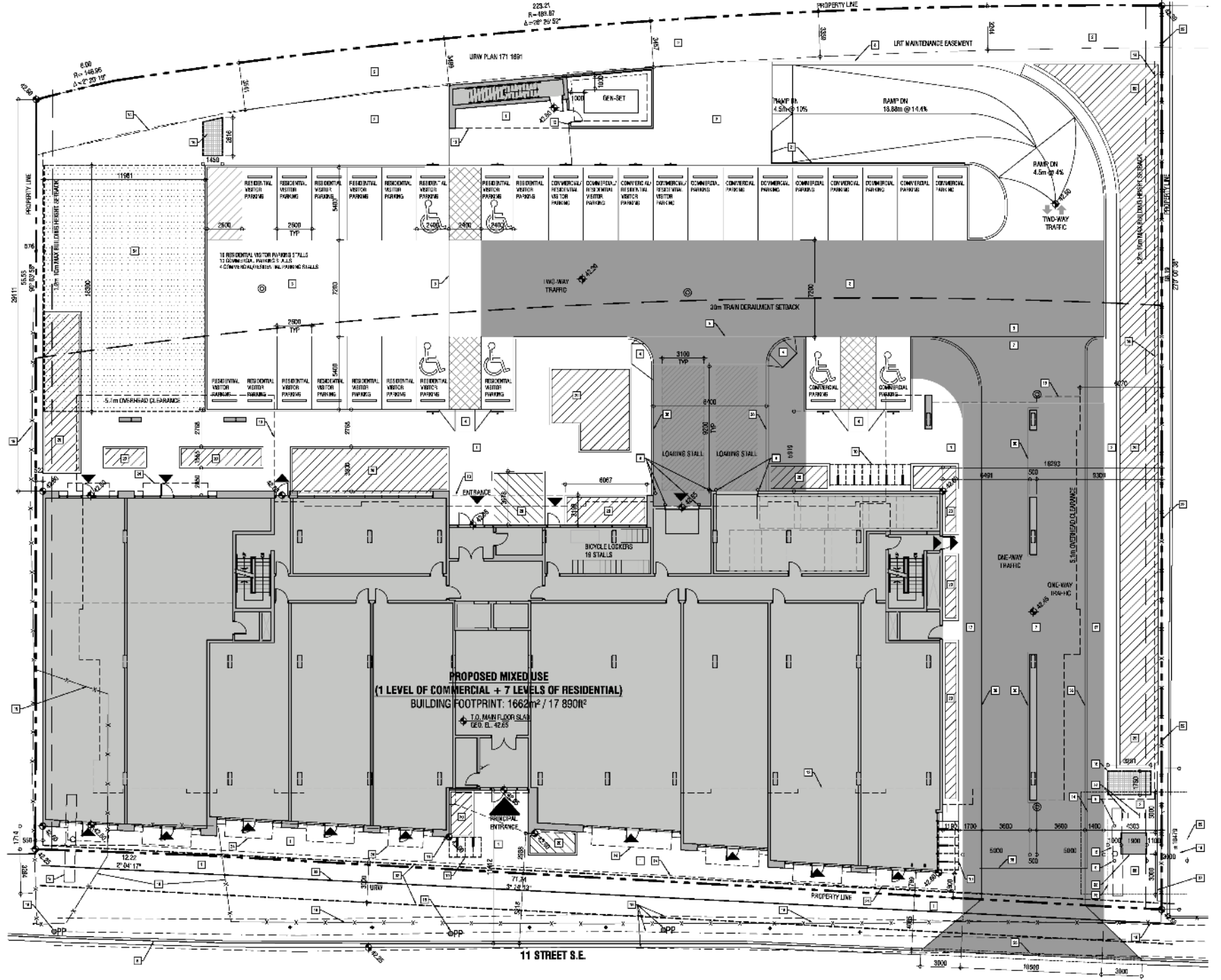
DRAWING NO.

**DP-0.3**

P:\Projects\2017\Projects\217871\_Torode Realty Advisors Inc - Ramsay Residential\Arch\Work\03\_CAD\Arch\CAD\Design\DP-0.3\_Site\_Photos.dwg

Development Permit Plans

Site Plan - Symbol Legend	Site Plan - General Notes	Site Plan - Notations (Commercial)
<ul style="list-style-type: none"> <li>INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)</li> <li>INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)</li> <li>INDICATES LOADING STALL 3.1m x 9.2m</li> <li>INDICATES PARKING TURN AROUND SPACE</li> <li>INDICATES EXTENT OF BARRIER FREE STALL ACCESS AISLE PAINTED</li> <li>INDICATES EXTENT &amp; LOCATION OF NEW BUILDING CONSTRUCTION</li> <li>INDICATES EXTENT &amp; LOCATION OF HEAVY DUTY ASPHALT/ CONCRETE THAT SUPPORT A MIN HEIGHT OF 2500MM</li> <li>INDICATES BARRIER FREE PARKING SYMBOL PAINTED ON ASPHALT SURFACE</li> </ul>	<ul style="list-style-type: none"> <li>INDICATES BUILDING EGRESS</li> <li>INDICATES BUILDING PRINCIPAL ENTRANCE</li> <li>INDICATES BUILDING ENTRANCE</li> <li>INDICATES LINE OF FENCE (SCALED FOR CLARITY)</li> <li>INDICATES PARKING LINE PAINTED ON ASPHALT SURFACE</li> <li>INDICATES LOCATION OF BARRIER FREE OR COMMERCIAL &amp; RESIDENTIAL VISITOR PARKING SIGN</li> <li>WHEEL STOP - REFER TO DETAIL 120P1.1</li> <li>INDICATES LOCATION OF PROPOSED MANHOLE</li> </ul>	<ol style="list-style-type: none"> <li>CONCRETE SIDEWALK - REFER TO DETAIL 120P1.1 &amp; LANDSCAPE PLAN</li> <li>GRASS &amp;/OR SOFT LANDSCAPING (REFER TO LANDSCAPE PLAN)</li> <li>ASPHALT DRIVE AISLE</li> <li>BARRIER FREE CURB CUT TO CITY OF CALGARY STANDARDS - REFER TO DETAIL 11/0P1.1</li> <li>CRACKS IN WALK (REFER TO LANDSCAPE PLAN)</li> <li>EXISTING DRIVEWAY TO BE CLOSED AND REHABILITATED AT THE EXPENSE OF THE DEVELOPER</li> <li>CONCRETE DRIVE AISLE (REFER TO LANDSCAPE PLAN)</li> <li>CONCRETE RETAINING WALL EXTENDS 1070mm ABOVE GRADE</li> <li>PAINTED CONCRETE BOLLARD - REFER TO DETAIL 120P1.1</li> <li>CLASS 2 BIKE RACKS - REFER TO DETAIL 70P1.1 &amp; LANDSCAPE PLAN</li> <li>SWAGE CONNECTION</li> <li>GENERATOR ENCLOSURE (OPEN TO ABOVE)</li> <li>OUTLINE OF BUILDING ABOVE</li> <li>EXISTING SIGNAGE TO BE REMOVED</li> <li>SURFACE GRATE FOR MECHANICAL INTAKE/EXHAUST</li> <li>GARBAGE AND EMERGENCY VEHICLE EXTENDED HARD SURFACE AREA</li> <li>EXISTING POWER POLES AND OVERHEAD LINES TO BE REMOVED. EXISTING LINES TO BE PLACED UNDERGROUND</li> <li>EXISTING FENCE TO BE REMOVED</li> <li>LANDSCAPE PLANTER (REFER TO LANDSCAPE PLAN)</li> <li>GLASS GUARDRAIL 1070mm HEIGHT ON RETAINING WALL</li> <li>EXISTING FENCE TO REMAIN</li> <li>TRANSFORMER (REFER TO ELECTRICAL ENGINEER)</li> <li>OUTLINE OF CANOPY ABOVE</li> <li>EXISTING CURBS TO BE REMOVED</li> <li>CONCRETE TRANSFORMER PAD</li> <li>CONCRETE WALL (REFER TO LANDSCAPE PLAN)</li> <li>EXISTING FENCE TO BE REMOVED</li> <li>LANDSCAPE PLANTER (REFER TO LANDSCAPE PLAN)</li> <li>GLASS GUARDRAIL 1070mm HEIGHT ON RETAINING WALL</li> <li>EXISTING FENCE TO REMAIN</li> <li>TRANSFORMER (REFER TO ELECTRICAL ENGINEER)</li> <li>OUTLINE OF CANOPY ABOVE</li> <li>EXISTING CURBS TO BE REMOVED</li> <li>CONCRETE TRANSFORMER PAD</li> <li>CONCRETE WALL (REFER TO LANDSCAPE PLAN)</li> <li>TRANSFORMER CLEARANCE AREA</li> <li>METALLIC ELECTRICALLY CONDUCTIVE CLEARANCE AREA 3m FROM ALL SIDES OF TRANSFORMER</li> <li>150mm CURBS - REFER TO DETAIL 80P1.1</li> <li>TIE-BACK PEDESTALS</li> <li>PROPOSED LOCATION OF UNDERGROUND POWER LINES URN</li> <li>PROPOSED LOCATION OF UNDERGROUND POWER LINES</li> <li>PUBLIC AMENITY SPACE - 250mm (REFER TO LANDSCAPE PLAN)</li> <li>REMOVED</li> <li>ROLLED CURBS - REFER TO DETAIL 80P1.1</li> </ol>



1 SITE PLAN  
DP-1.0 SCALE: 1:50



SITE PLAN

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212071

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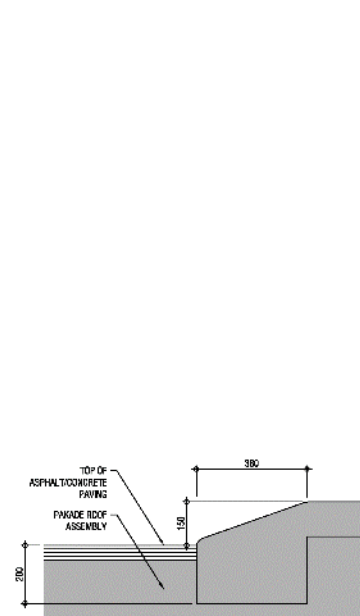
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REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
BTR #1 COMMENTS	JULY 6, 2018
BTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

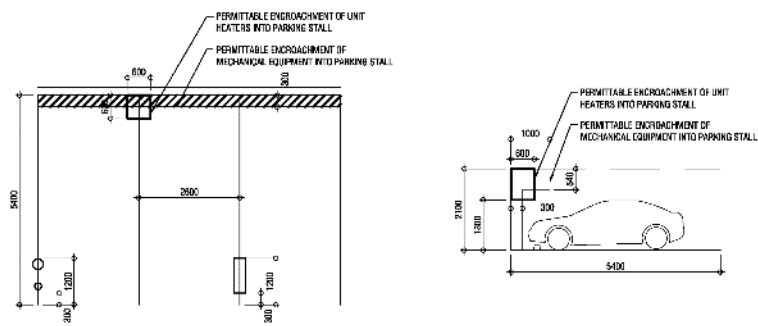
SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: CZ

DRAWING NO. **DP-1.0**

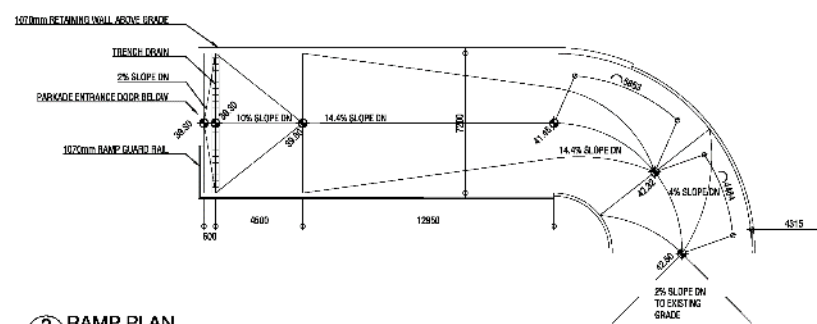
Development Permit Plans



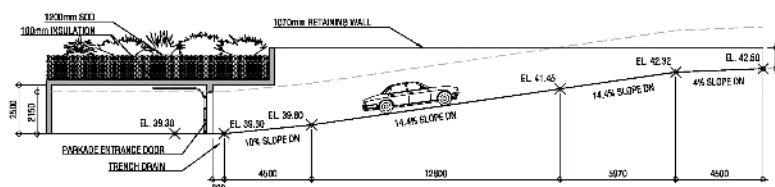
0.5 ROLLED CURB DETAIL  
DP1.1 SCALE: 1:10



1 TYPICAL DETAIL - PARKING ENCROACHMENT  
DP1.1 SCALE: 1:75



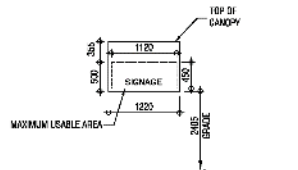
2 RAMP PLAN  
DP1.1 SCALE: 1:150



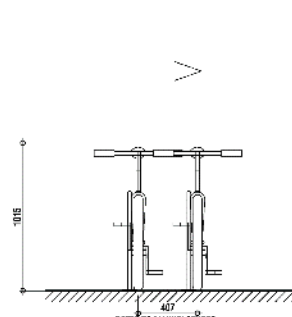
3 RAMP SECTION  
DP1.1 SCALE: 1:150



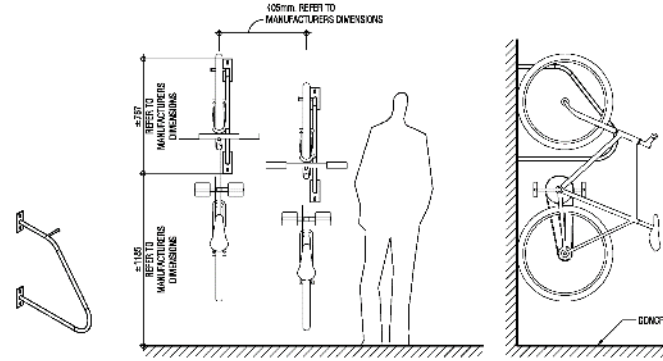
4 TYPICAL RETAIL SIGNAGE  
DP1.1 SCALE: 1:50



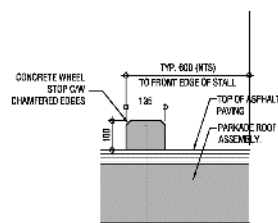
5 TYP. PEDESTRIAN SIGNAGE  
DP1.1 SCALE: 1:50



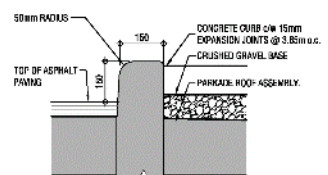
6 CLASS 1 BIKE RACKS  
DP1.1 SCALE: 1:50



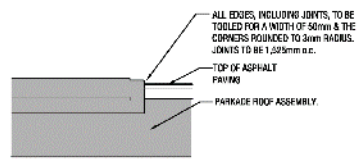
7 CLASS 2 BIKE RACKS  
DP1.1 SCALE: 1:20



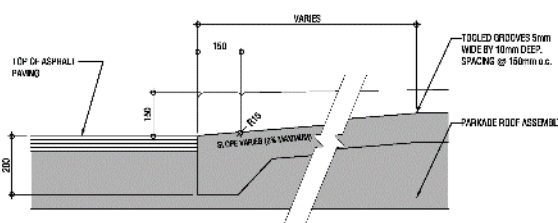
8 WHEEL STOP DETAIL  
DP1.1 SCALE: 1:10



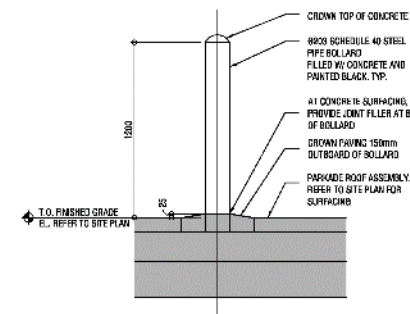
9 DEEP CURB DETAIL  
DP1.1 SCALE: 1:10



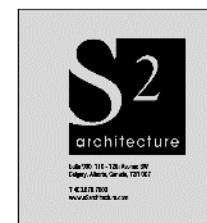
10 SIDEWALK DETAIL  
DP1.1 SCALE: 1:10



11 TYP. BARRIER FREE CURB CUT DETAIL  
DP1.1 SCALE: 1:10



12 TYP. BOLLARD  
DP1.1 SCALE: 1:20



PARKADE AND SITE DETAILS  
**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
210701

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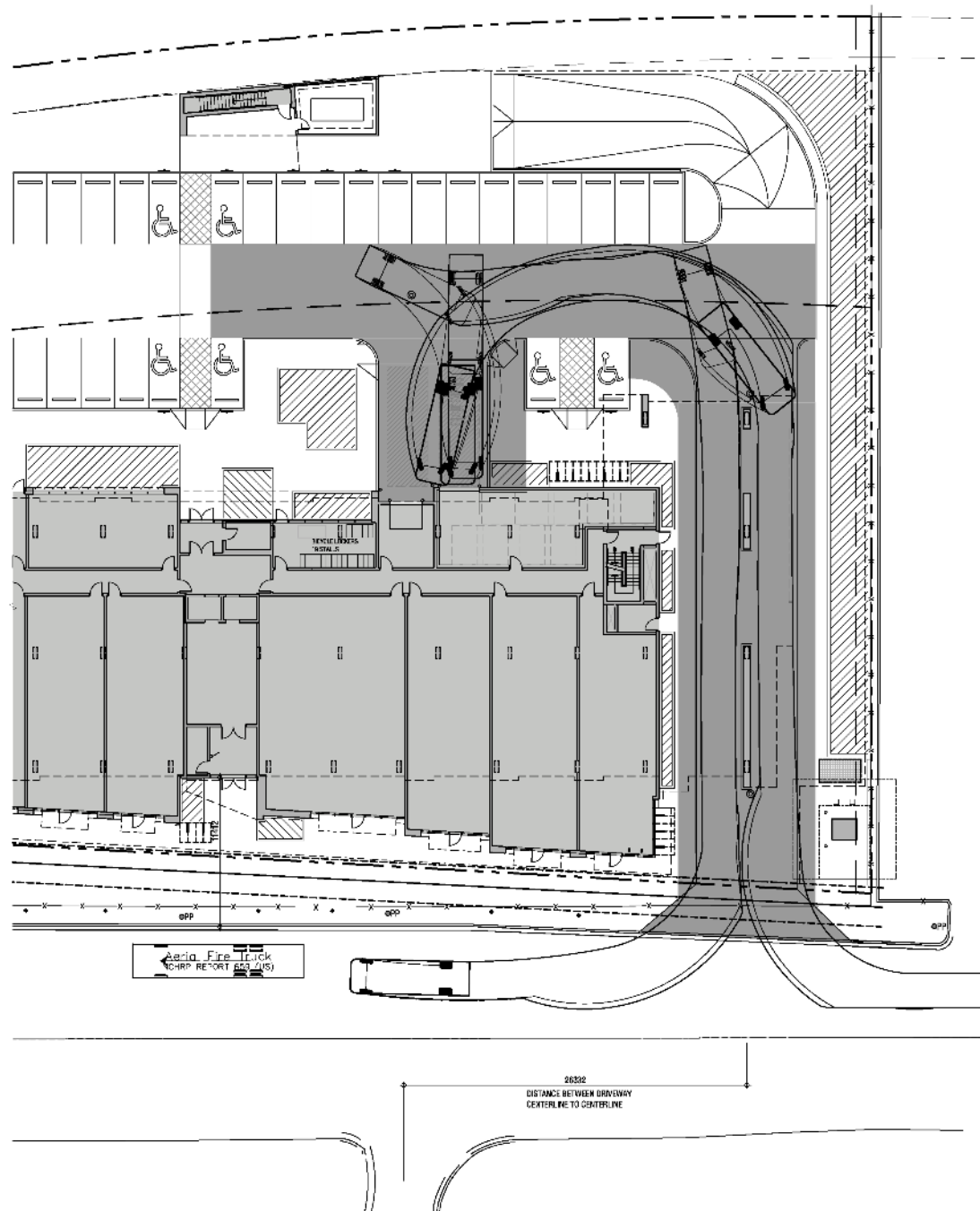
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REVISIONS	DATE
DP SUBMISSION	02/04/2017
DP #1 COMMENTS	JULY 5, 2018
DP #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

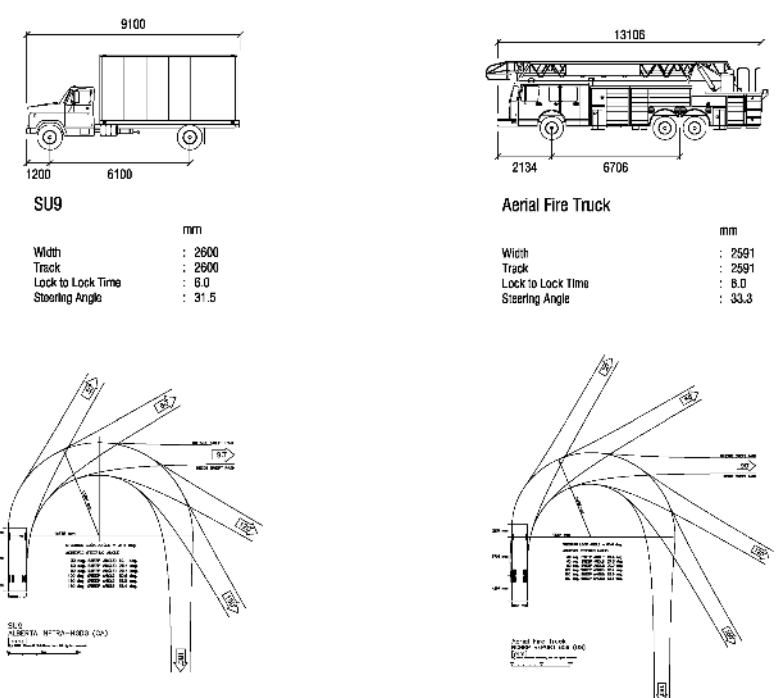
SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING NO.  
**DP-1.1**

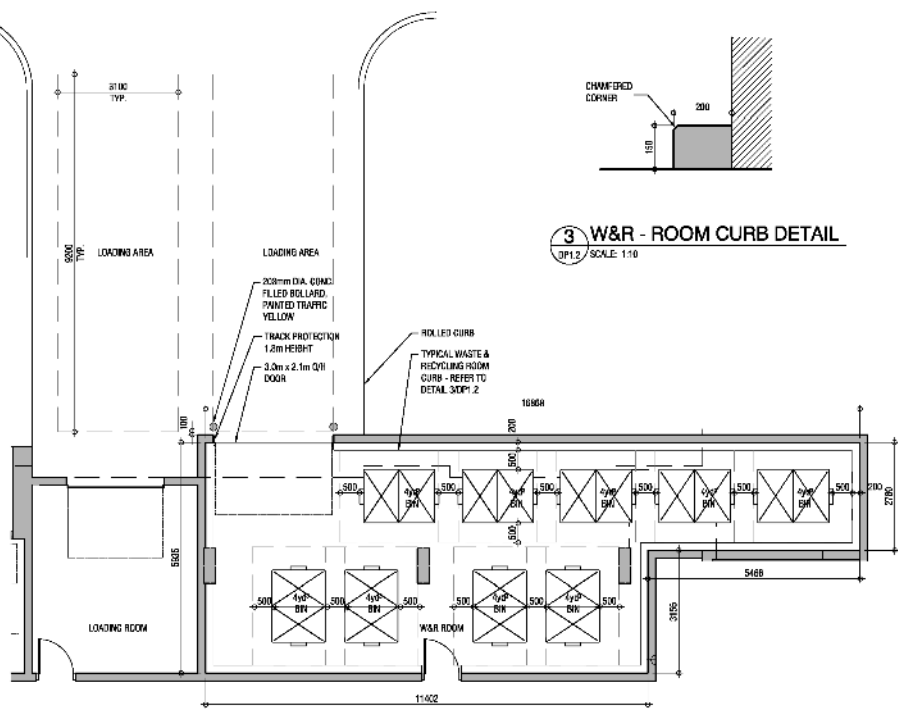
Development Permit Plans



1 TURNING RADIUS - GARBAGE & LOADING TRUCK SU9  
SCALE: 1:200



VEHICLES INFORMATION



2 W&R PLAN - RESIDENTIAL AND COMMERCIAL  
SCALE: 1:75  
NOTE: METHOD OF COLLECTION: PRIVATE CONTRACTOR, BI-WEEKLY

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WASTE AND RECYCLING MANAGEMENT

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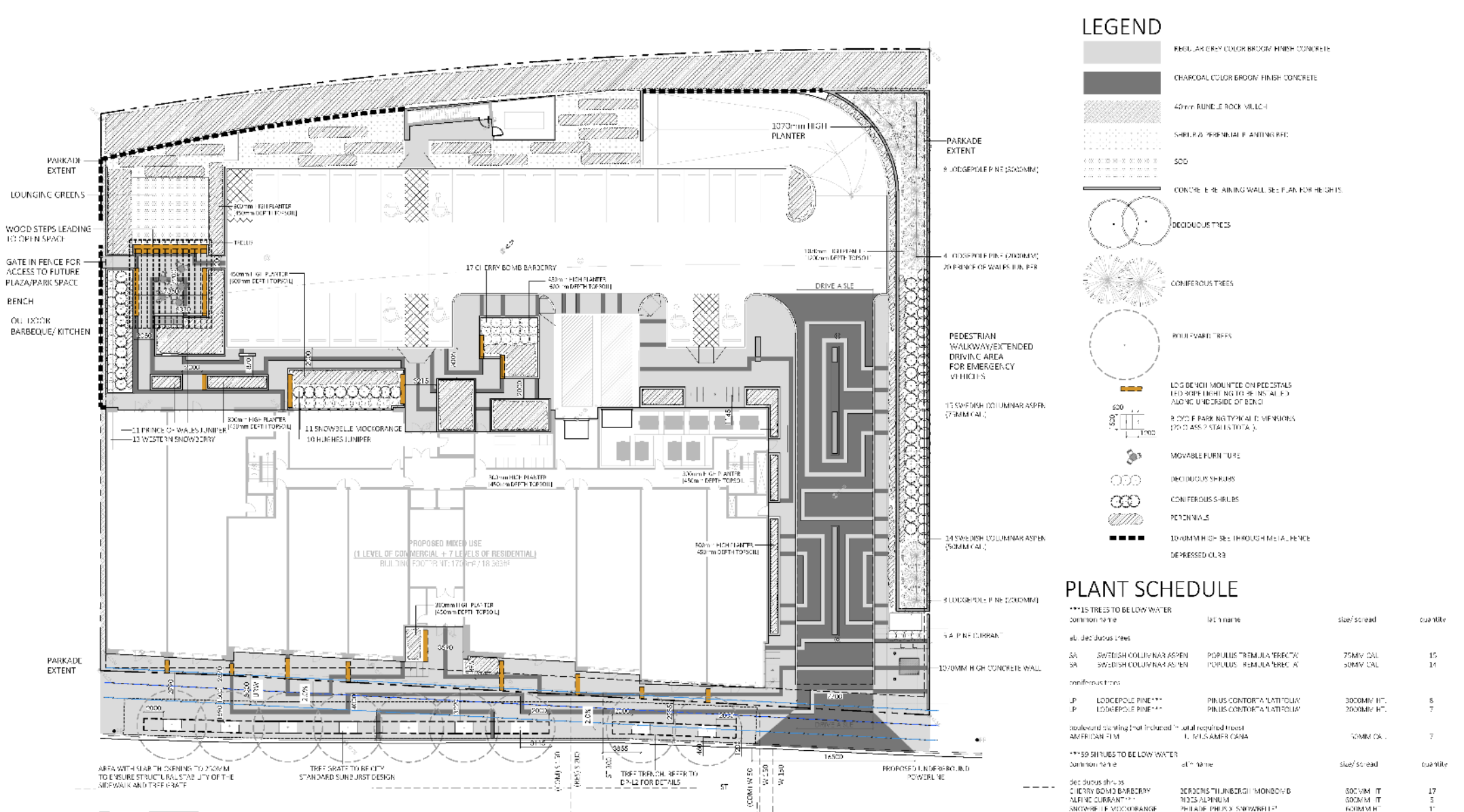
Verify all dimensions, elevations and contours, and if required by the engineer, the contractor shall be responsible for the accuracy of the information provided. The contractor shall be responsible for the accuracy of the information provided. The contractor shall be responsible for the accuracy of the information provided.

REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
BTR #1 COMMENTS	JULY 6, 2018
BTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: CZ

DRAWING NO. **DP-1.2**

### Development Permit Plans



### MATERIAL PALETTE



### LANDSCAPE ANALYSIS

SITE AREA: 1709.91 SQ. M.  
 REQUIRED LANDSCAPED AREA = 34.40% OF SITE AREA = 587.67 SQ. M.  
 PROVIDED LANDSCAPED AREA = 30.32% OF SITE AREA = 518.50 SQ. M.  
 PROVIDED SOFTSCAPE AREA = 16.43% OF PROVIDED LANDSCAPED AREA = 268.32 SQ. M.  
 PROVIDED HARDSCAPE AREA = 14.89% OF PROVIDED LANDSCAPED AREA = 250.18 SQ. M.

REDUCTIVE IN REQUIRED LANDSCAPE AREA FOR 'STREET ORIENTED DEVELOPMENT' = 2.17% OF AREA OF PARCEL  
 (Site Storage & site property) shared with a street oriented development = 67.07 sq. m.  
 Allowable reduction required landscape area = 137.11 sq. m. (2.94% of area of parcel)

REDUCTIVE IN REQUIRED LANDSCAPE AREA FOR 'LOW WATER' PLANTING = 3.02% OF AREA OF PARCEL

TOTAL NUMBER OF REQUIRED TREES = 42,774  
 (TREE 747 SQ. M. OF LANDSCAPED AREA MIN. CONIFEROUS TREES REQUIRED = 10,557-11)

REMAINING TREES TO BE DECIDUOUS

TOTAL NUMBER OF REQUIRED SHRUBS = 85,538  
 (28110/45 SQ. M. OF LANDSCAPED AREA)

TOTAL TREES PROVIDED = 48  
 15 CONIFERUS TREES PROVIDED = 15  
 DECIDUOUS TREES WITH MINIMUM CALIPER REQUIRED = 14-5145  
 PROVIDED = 13  
 REMAINING DECIDUOUS TREES TO HAVE MINIMUM CALIPER

CONIFEROUS TREES PROVIDED = 15  
 CONIFEROUS TREES WITH MINIMUM CALIPER REQUIRED = 15  
 PROVIDED = 8  
 REMAINING CONIFEROUS TREES TO HAVE MINIMUM CALIPER

TOTAL SHRUBS PROVIDED = 97

### NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- VERIFY ALL DIMENSIONS, ELEVATIONS, AND DETAILS BEFORE ANY ERRORS AND/OR DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- ALL PLANTING AREAS TO HAVE A MINIMUM OF 75MM OF 70% FORTHILLS PREMIUM MULCH UNLESS OTHERWISE NOTED.
- ALL SOFTSCAPE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND IRRIGATION SYSTEM. IRRIGATION TO BE CONNECTED TO TREES AND SHRUBS ONLY.
- ALL HARDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND IRRIGATION SYSTEM.

NAVAGRAH  
landscape architecture + urban design

LANDSCAPE PLAN

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DATE: 11/20/2015  
DRAWN BY: LSC  
CHECKED BY: YS

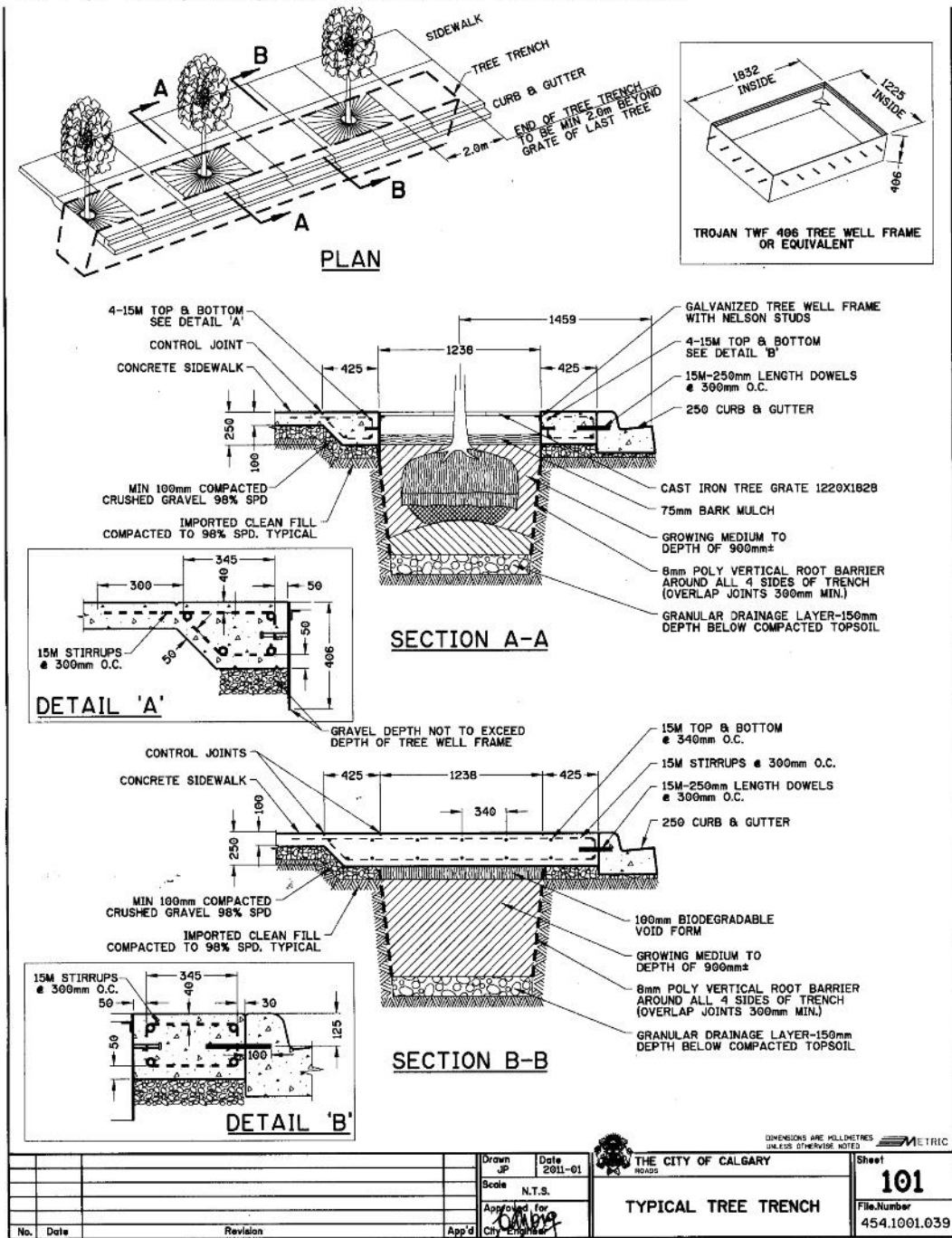
SCALE: 1:100

**DP-L1.0**



Development Permit Plans

CITY OF CALGARY STANDARD TREE TRENCH DETAIL



BIKE RACK



TRIO BIKE RACK  
FINISH: POWDERCOAT 'ALUMINUM TEXTURE'  
MANUFACTURER: FORMS + SURFACES  
WWW.FORMS-SURFACES.COM

METAL FENCE



LANDSCAPE DETAILS

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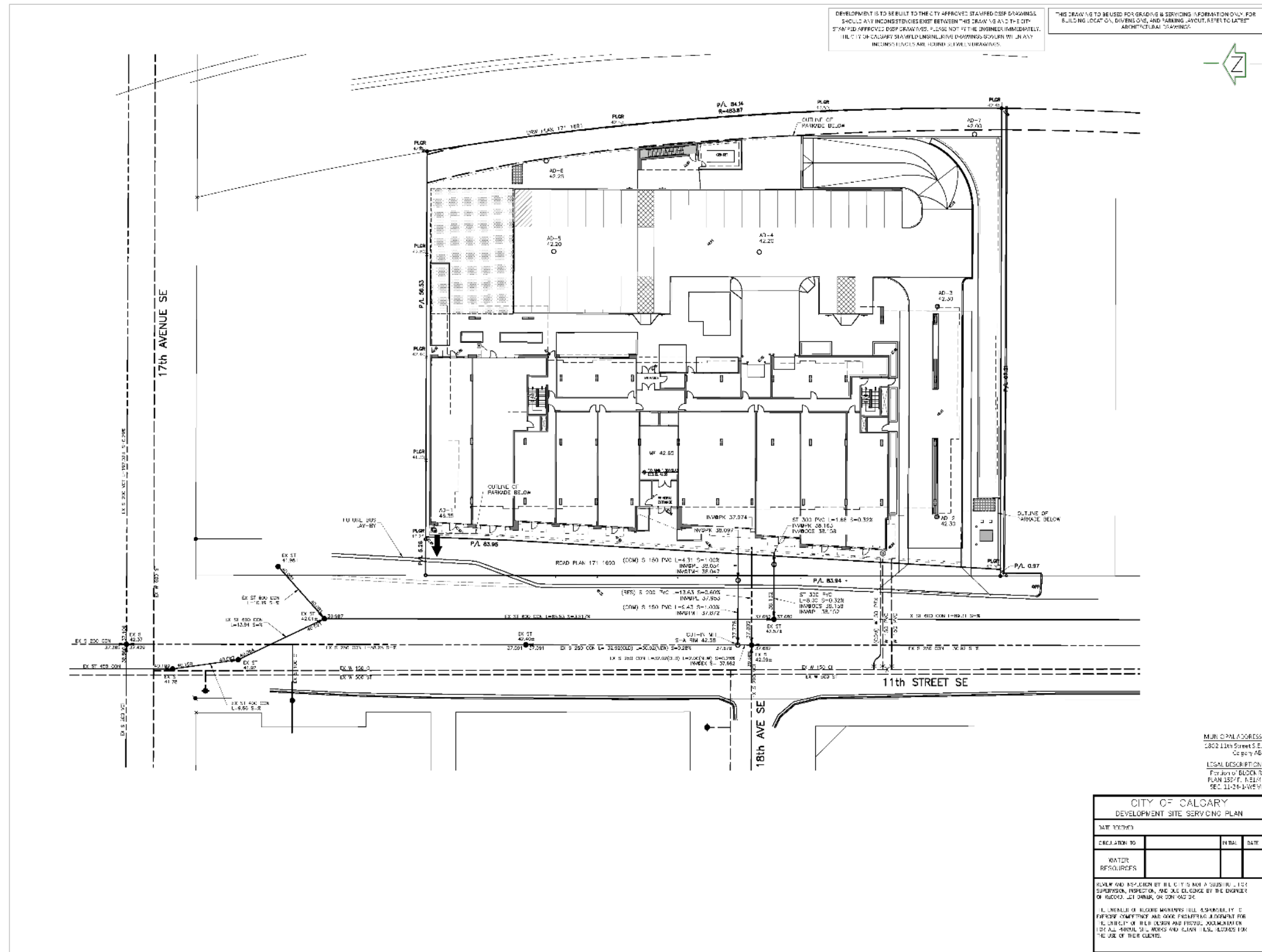
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NO.	REVISION	DATE
1	CLIENT REVIEW	12/09/17
2	DRP SUBMISSION	12/19/17
3	DRP APPROVAL	12/19/17
4	DRP SUBMISSION	10/07/18
5	DRP APPROVAL	10/07/18

SCALE: 1:200  
DRAWN BY: MARYS PER  
CHECKED BY: JY

DATE: 12/19/17  
**DP-L2.0**

### Development Permit Plans



DEVELOPMENT IS TO BE BUILT TO BE CITY APPROVED STAMPED DSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN OVER ANY INCONSISTENCIES ARE FOUND ON THESE DRAWINGS.

THIS DRAWING IS TO BE USED FOR GRADING & SERVICES INFORMATION ONLY FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT. REFER TO LATEST ARCHITECTURAL DRAWINGS.

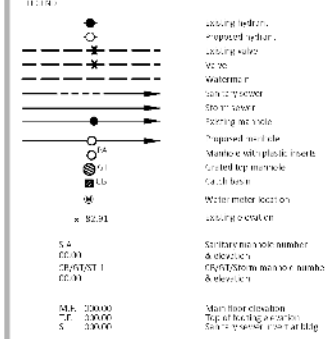
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3707 Macdonald Trail N.E., Calgary, Alberta, T2P 2P4  
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P: 403 276 1031 F: 403 276 1132

NO.	DATE	DESCRIPTION
1	11/15/18	ISSUED FOR PERMIT

1. All dimensions shown on this drawing are in meters unless otherwise specified.
2. All dimensions shown on this drawing are in meters unless otherwise specified.
3. All dimensions shown on this drawing are in meters unless otherwise specified.
4. All dimensions shown on this drawing are in meters unless otherwise specified.
5. All dimensions shown on this drawing are in meters unless otherwise specified.
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10. All dimensions shown on this drawing are in meters unless otherwise specified.
11. All dimensions shown on this drawing are in meters unless otherwise specified.
12. All dimensions shown on this drawing are in meters unless otherwise specified.
13. All dimensions shown on this drawing are in meters unless otherwise specified.
14. All dimensions shown on this drawing are in meters unless otherwise specified.
15. All dimensions shown on this drawing are in meters unless otherwise specified.
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17. All dimensions shown on this drawing are in meters unless otherwise specified.
18. All dimensions shown on this drawing are in meters unless otherwise specified.
19. All dimensions shown on this drawing are in meters unless otherwise specified.
20. All dimensions shown on this drawing are in meters unless otherwise specified.



NO.	DATE	DESCRIPTION	BY
1	11/15/18	ISSUED FOR PERMIT	JUBILEE

NO.	DATE	DESCRIPTION	BY
1	11/15/18	ISSUED FOR PERMIT	JUBILEE

**TORODE REALTY**

157 UNITS  
RAMSAY MIXED USE  
157 UNITS  
1802 - 11th STREET S.E.

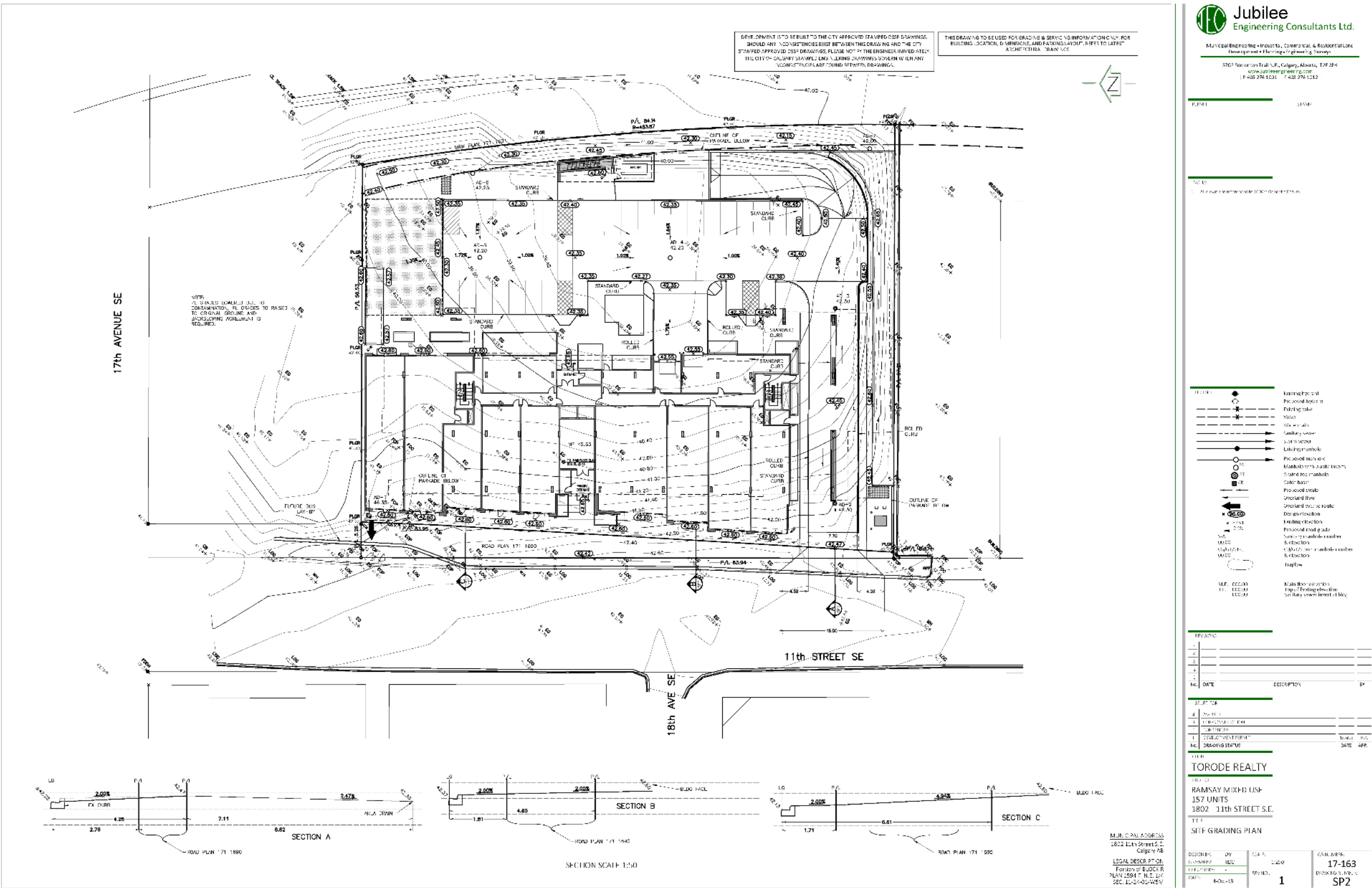
**SITE SERVICING PLAN**

DATE: 11/15/18

1

17-163  
RAMSAY MIXED USE  
SP1

Development Permit Plans



DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED CSE DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED CSE DRAWINGS, PLEASE REFER TO THE ENGINEER INVOLVED AT THE TIME OF THE CITY APPROVED STAMPING. THIS DRAWING IS TO BE USED FOR GRADING & SERVICES INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND FINISH LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS.

NOTE: TO REMAIN WORKER WILL BE CONTAMINATION, PL GRADES TO BE RAISED TO ORIGINAL GRADE AND BACKFILLING NECESSARY IS REQUIRED.

**Jubilee**  
Engineering Consultants Ltd.

Municipal Engineering • Industrial, Commercial & Residential Land Development • Planning • Highway Engineering

3107 Harmon Trail N.E., Calgary, Alberta, T2P 2P4  
www.jubileecorps.com  
Tel: 403.278.1001 • Fax: 403.278.1122

---

P/1: 31/18

---

NO TO:

- 1. See separate drawings for details.

---

	Existing curb
	Proposed curb
	Parking take
	Slope
	Sanitary sewer
	Storm sewer
	Water
	Utility
	Manhole
	Catchment basin
	Storm water inlet
	Proposed street
	Street layout
	Street lighting
	Existing building
	Proposed building
	Site boundary
	Easement
	Utility structure
	Manhole structure
	Utility structure
	Utility structure

---

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

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DESIGNER: DW  
CHECKED: RC  
DATE: 4-04-18

SCALE: 1:50

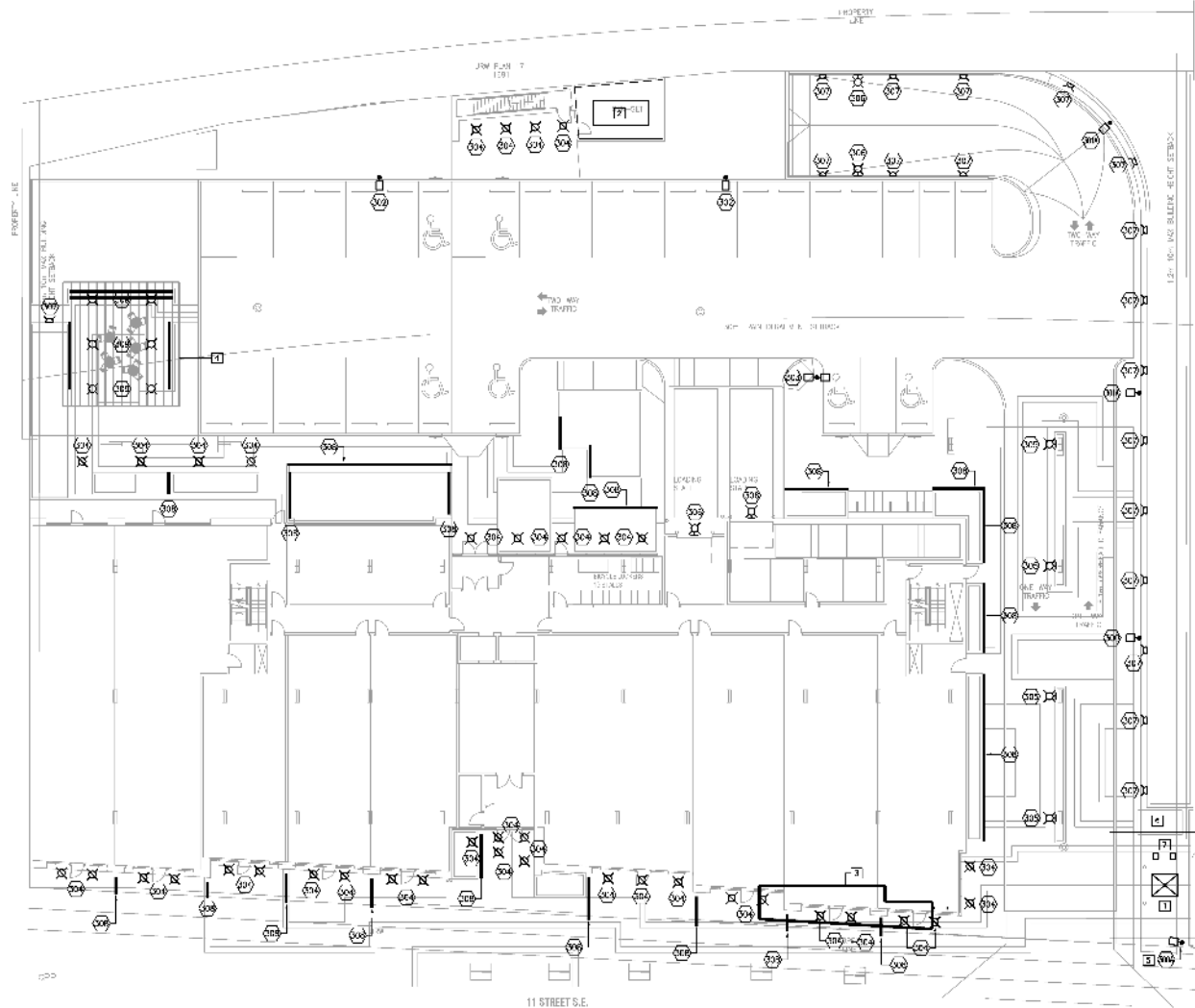
CALCULATOR: 17-163  
DRAWING NUMBER: SP2

RAMSAY MIXED USE 157 UNITS - CIVIL

M.J.R. 1802  
1802 11th Street S.E.  
Calgary AB

LEGAL DESCR. PT. OF  
PART OF BLOCK R  
S41V 1504' N.E. 1/4  
SEC. 11-24-02-W5V

Development Permit Plans



1 DP ELECTRICAL SITE PLAN  
DATE: 10/23

GENERAL NOTES:  
 A) ELECTRICAL CONDUITS TO USE 1/2" OR 3/4" POLYBUTYLENE AS NOTED ON LUMINAIRE SCHEDULE, MOUNTED ON CONCRETE BASES.  
 B) COORDINATE INSTALLATION OF ALL UNDERGROUND PIPES TO MAINTAIN A MINIMUM CLEARANCE OF 3000mm FROM GAS LINES THAT RUN ADJACENT TO FEEDERS AND 300mm FROM GAS LINES THAT CROSS 1/2" PIPERS. ALSO MAINTAIN 300mm FROM DOWNHOLE, STATION AND WELLS, AND 1800mm FROM ALL OTHER UTILITIES.  
 C) COORDINATE ALL UTILITY REQUIREMENTS WITH LANDSCAPING AND SITEWORK.  
 D) ALL POLE LIGHT FIXTURES TO BE INSTALLED 1500mm BELOW GROUND.  
 E) ALL LIGHT FIXTURES SHALL BE FULLY ON OFF AND MUST ALL LOCAL SWITCHES TO ELIMINATE THE POTENTIAL OF JUNE TRIPPING ON TO NEIGHBORING ROADS AND RESIDENTIAL AREAS. SEE LUMINAIRE SCHEDULE. ALL EXTERIOR LUMINAIRES ARE CONTROLLED BY PHOTOCELL.  
 F) UTILITY TRANSFORMER SUPPLIED AND INSTALLED BY CH2M.  
 G) INSTALLATION SHALL BE IN ACCORDANCE WITH CH2M POWER CORPORATION AND CITY OF CALGARY REQUIREMENTS.  
 H) CONTRACTOR SHALL NOT RUN ANY CONDUIT THROUGH OR INTO ANY UTILITY-TRENCH-OUT-AREA (UTRA).

REFERRAL NOTES:  
 (1) EMERGENCY TRANSFORMER  
 (2) APPROXIMATE LOCATION OF EMERGENCY GENERATOR  
 (3) APPROXIMATE LOCATION OF MAIN ELECTRICAL ROOM ON PARKADE LEVEL BELOW  
 (4) APPROXIMATE LOCATION OF THE LIS. REFER TO LANDSCAPE DRAWINGS FOR TREES DETAILS AND EXACT LOCATION.  
 (5) LIGHT POLE TO BE INSTALLED ON SITE ON MAIN LEVEL/ALTERNATELY CONDUCTED TO GARAGE AREA AND CLEAR OF UNDERGROUND POWERLINE.  
 (6) INTER-RICH ELECTRO/FURNACE SHALL BE PROVIDED BY WORK CONTRACTOR TO MEET NEIGHBORING EXISTING CLEARANCES OF 3.0M. REFER TO MECHANICAL DRAWINGS FOR DETAILS.  
 (7) TREES AND SIGN POLES.



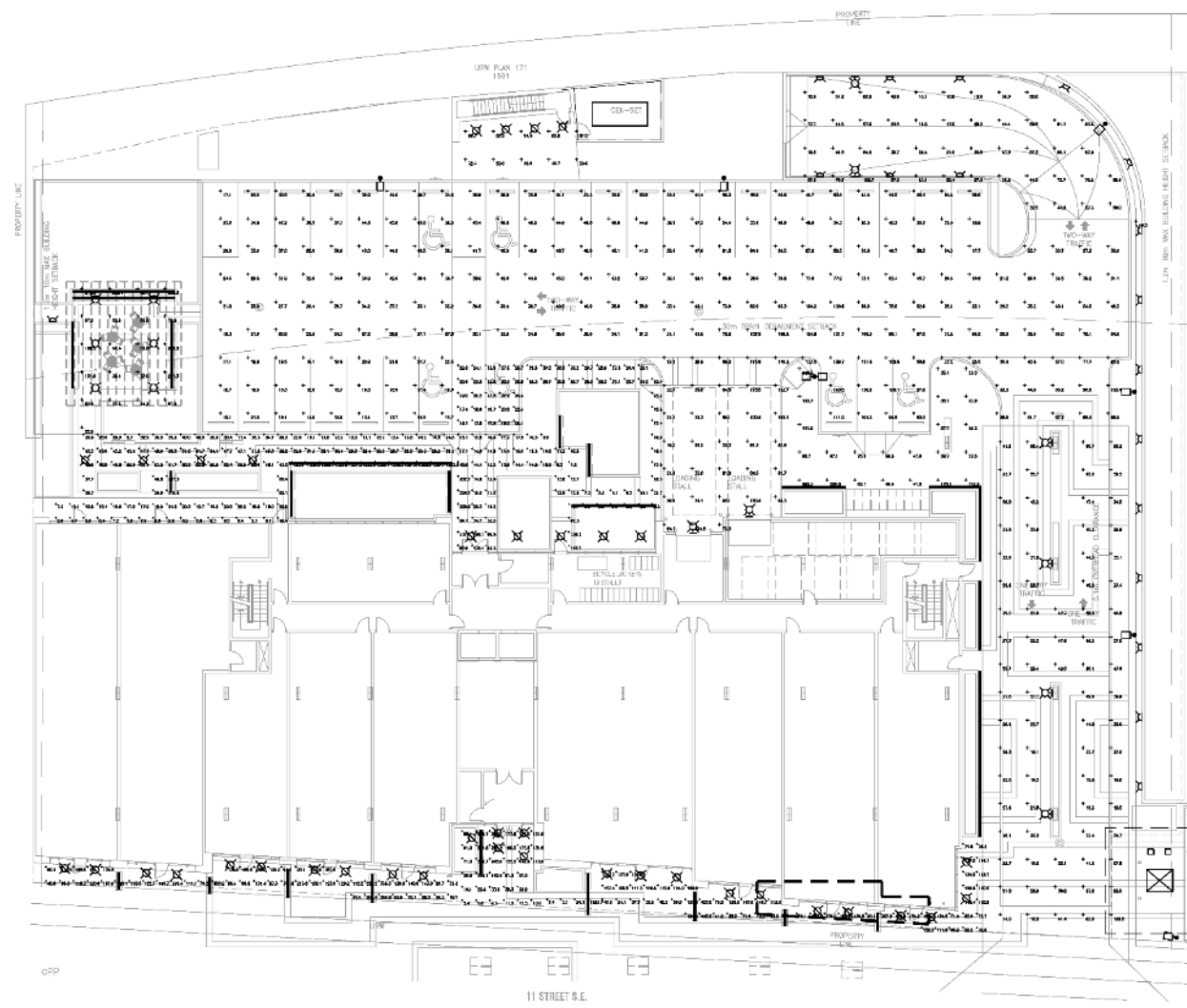
LEGEND OF SYMBOLS		
LIGHTING		
[Symbol]	RECESSED CANOPY	[Symbol]
[Symbol]	RECESSED STREET LIGHT	[Symbol]
[Symbol]	WALL PACK LUMINAIRE	[Symbol]
[Symbol]	RECESSED WALL PACK LUMINAIRE	[Symbol]
[Symbol]	RECESSED STREET LIGHT WITH SHIELD	[Symbol]
[Symbol]	RECESSED STREET LIGHT WITH SHIELD AND SENSORS	[Symbol]
[Symbol]	RECESSED STREET LIGHT WITH SHIELD AND SENSORS (WITH PHOTOCELL)	[Symbol]
[Symbol]	RECESSED STREET LIGHT WITH SHIELD AND SENSORS (WITH PHOTOCELL) - EMERGENCY	[Symbol]
[Symbol]	RECESSED STREET LIGHT WITH SHIELD AND SENSORS (WITH PHOTOCELL) - EMERGENCY (WITH PHOTOCELL)	[Symbol]
[Symbol]	RECESSED STREET LIGHT WITH SHIELD AND SENSORS (WITH PHOTOCELL) - EMERGENCY (WITH PHOTOCELL) - SENSORS	[Symbol]
[Symbol]	RECESSED STREET LIGHT WITH SHIELD AND SENSORS (WITH PHOTOCELL) - EMERGENCY (WITH PHOTOCELL) - SENSORS (WITH PHOTOCELL)	[Symbol]
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LUMINAIRE SCHEDULE					
TYPE	DESCRIPTION	LAMPS	MTG	REMARKS	
300	LED POLE LUMINAIRE	1 FT 4000K	POLE	12" POLE COMPLETE WITH HOUSE SIDE & BELLING	
301	LED WALL PACK LUMINAIRE	1 FT 4000K	POLE	12" POLE WITH 1/2" WALL PACK LUMINAIRE (TYPE 300) & BELLING	
302	LED POLE LUMINAIRE	1 FT 4000K	POLE	12" POLE	
303	LED POLE LUMINAIRE	1 FT 4000K	POLE	12" POLE COMPLETE WITH HOUSE SIDE & BELLING	
304	LED DOWN LIGHT SURFACE	LED 4000K	POLE	30" POLE COMPLETE WITH HOUSE SIDE & BELLING	
305	LED POLE LUMINAIRE - COULD BEAD	1 FT 4000K	POLE	12" POLE	
306	LED DOWN LIGHT SURFACE	LED 4000K	SURFACE	DOWN LIGHT WITH 250 CASH TIGHT	
307	LED SURFACE MOUNTED SURFACE WALL PACK LUMINAIRE	1 FT 4000K	SURFACE WALL	COMPLETE WITH 1/2" WALL BELLING ON 1/2" WALL	
308	LED WALL PACK	1 FT 4000K	SURFACE WALL		
309	LED PERIMETER RECESSED WALL LUMINAIRE	LED 4000K	RECESSED WALL		
310	LED CONC. & PLASTER STRIP LIGHT	LED 4000K	SURFACE	MOUNTED UNDERSIDE OF THE BECHER AND UNDERSIDE OF PLASTER GROOVE COMPLETE WITH 1/2" WALL BELLING ON 1/2" WALL	
311	OUTDOOR RATED TRILLIS LUMINAIRE	LED 4000K	SURFACE		

NOTES:

DP ELECTRICAL SITEPLAN  
**RAMSAY MIXED USE**  
 TORODE REALTY ADVISORS, CALGARY, AB  
**DESIGNCORE**  
 NOT FOR CONSTRUCTION  
 SELECTED DATE: 2017-10-21  
 SELECTED DATE FOR REVIEW: 2017-10-21  
 SELECTED DATE FOR REVIEW: 2017-10-21  
 SELECTED DATE FOR REVIEW: 2017-10-21  
 SELECTED DATE FOR REVIEW: 2017-10-21  
 SELECTED DATE FOR REVIEW: 2017-10-21  
 SCALE: AS NOTED  
 DRAWN BY: PS  
 CHECKED BY: [Symbol]  
 DATE: 10/23/17  
 DPE1.0

Development Permit Plans



1 SITE LIGHTING LEVELS  
(DPE1.1)  
SCALE: 1:200

STATISTICS					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN
SOUTH PROPERTY	+	38.5 LUX	120.5 LUX	14.0 LUX	2.8 1
PARKING LOT	+	48.7 LUX	154.6 LUX	13.2 LUX	3.7 1
PARKADE RAMP	+	47.6 LUX	102.7 LUX	10.9 LUX	4.4 1
SIDEWALK SOUTH EAST	+	82.6 LUX	205.4 LUX	25.3 LUX	3.2 1
SIDEWALK NORTH EAST	+	96.6 LUX	1338.2 LUX	0.9 LUX	106.4 1
SIDEWALK NORTH WEST	+	148.3 LUX	690.2 LUX	19.7 LUX	7.6 1
SIDEWALK SOUTH WEST	+	129.0 LUX	1283.4 LUX	2.1 LUX	41.9 1
PRINCIPAL ENTRANCE	+	133.3 LUX	331.6 LUX	5.4 LUX	24.7 1



SITE LIGHTING LEVEL

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
17161

DESIGNCORE  
LIGHTING DESIGN AND ANALYSIS  
COMMERCIAL, RESIDENTIAL, INDUSTRIAL

**NOT FOR CONSTRUCTION**

This drawing represents previous issues. Do not use these drawings.

Verify all dimensions, elevations and details, and report any discrepancies to the design engineer. All dimensions are taken to face of concrete or other permanent work, unless noted otherwise. Dimensions of temporary work, unless noted, are taken to the centerline.

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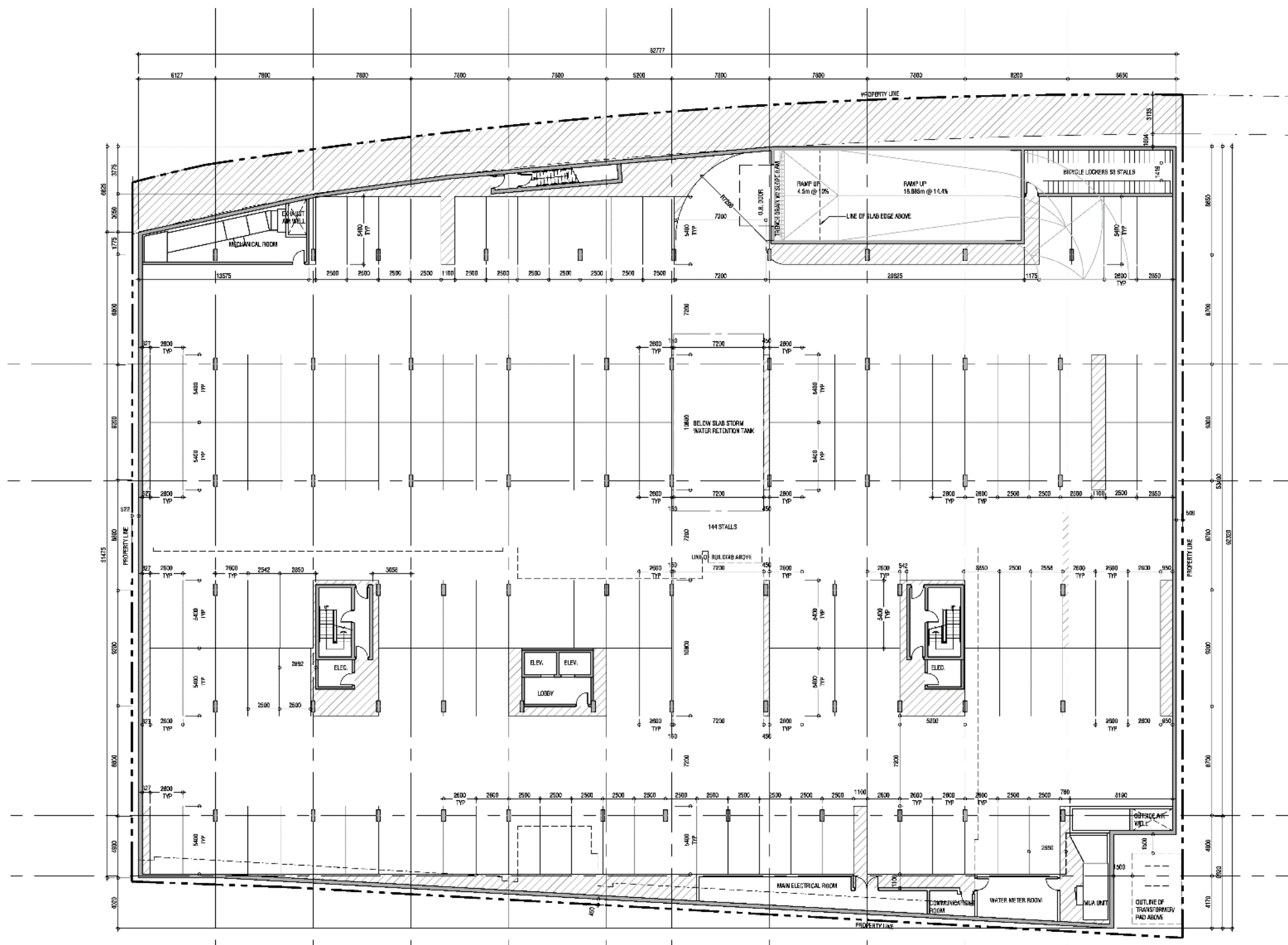
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ISSUED FOR COORDINATION	2018-08-21
REISSUED FOR DP	2018-07-05
ISSUED FOR DP - REVIEW	2018-08-10
DIV #2 COMMENTS	2018-10-03

SCALE: AS NOTED  
DATE: October 5, 2018  
DRAWN BY: PS  
CHECKED BY: BC

DRAWING NO. **DPE1.1**

20181005 Torode Realty - Ramsay Mixed Use - DPE1.1 - SITE LIGHTING LEVEL.dwg

Development Permit Plans



**1** PARKADE PLAN  
DP-2.0 / SCALE: 1:50

**NOTE:**  
LIGHT FIXTURES IN THE PARKADE TO BE POSITIONED OVER THE PARKING STALLS,  
NOT THE DRIVE AISLE.  
WALLS, PILLARS, AND CEILING OF THE PARKADE TO BE PAINTED WHITE.



PARKADE PLAN

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
21201

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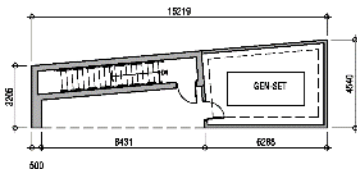
REVISIONS	DATE
△ UP SUBMISSION	02 (DRAWN) 02, 2017
△ DTR #1 COMMENTS	JULY 5, 2018
△ DTR #2 COMMENTS	SEPT. 24, 2018
△ ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

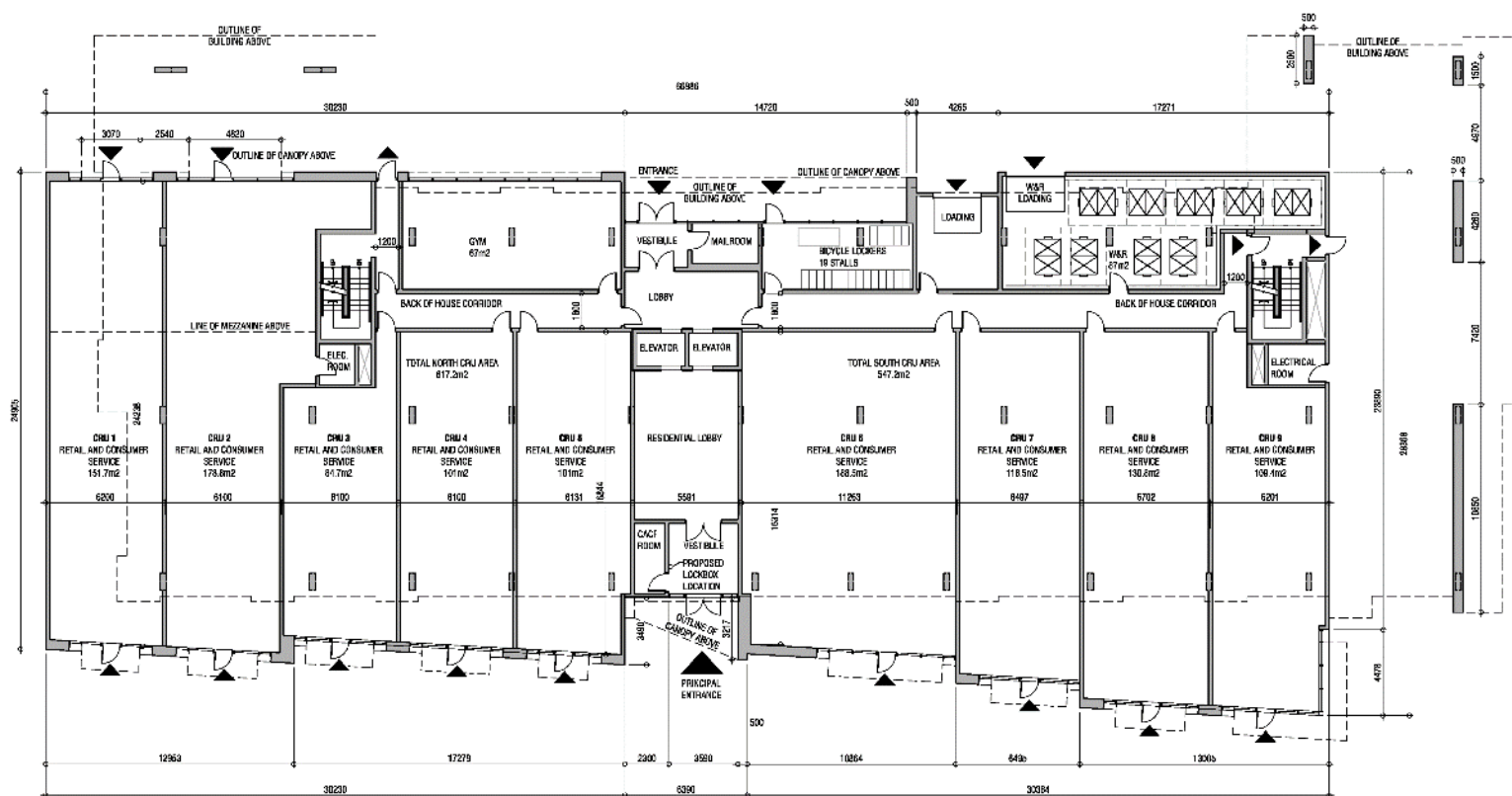
DRAWING NO. **DP-2.0**

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Development Permit Plans



1 PARKADE EGRESS STAIR MAIN FLOOR PLAN  
DP-2.1 / SCALE: 1:50



2 MAIN FLOOR PLAN  
DP-2.1 / SCALE: 1:50

NOTE:  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH TRANSPARENT PANELS FOR VISIBILITY



MAIN FLOOR PLAN

**RAMSAY MIXED USE**  
TORONTO REALTY ADVISORS, CALGARY, AB  
21701

**NOT FOR CONSTRUCTION**

The drawing is made on a computer. Do not use it for construction.

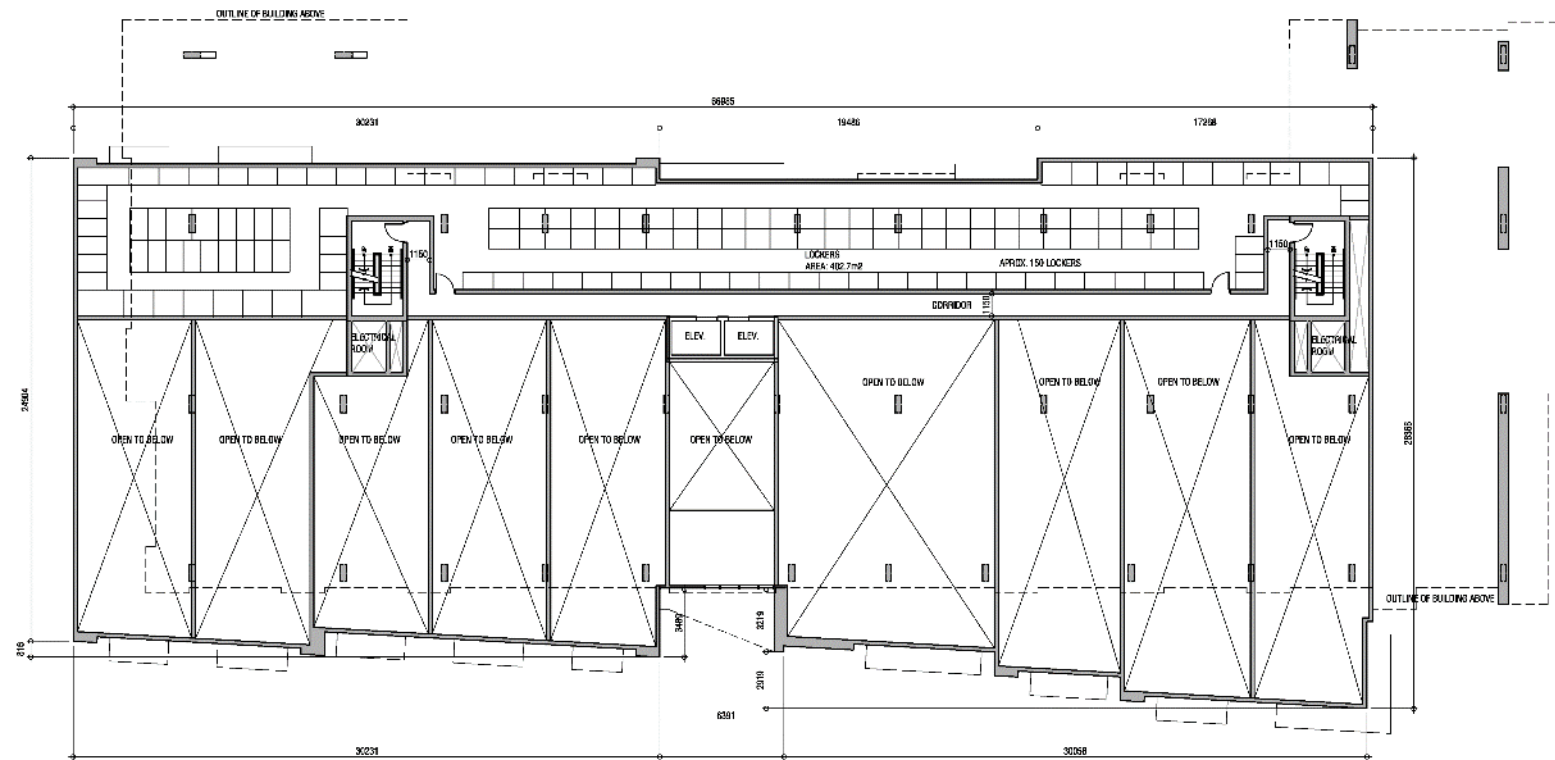
Verify all dimensions, elevations and notes, and report any discrepancies to the architect prior to construction. Do not make any changes to face of order, sheeting, size of concrete block, type of steel for the partitions, and construction of drawings with, unless noted otherwise on the drawing.

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REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
DTA #1 COMMENTS	JULY 5, 2018
DTA #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

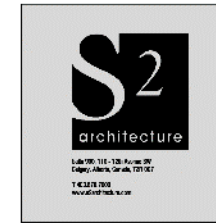
SCALE	AS NOTED
DATE	NOVEMBER 13, 2018
DRAWN BY	MEH
CHECKED BY	GT
DRAWING NO.	<b>DP-2.1</b>

Development Permit Plans



1 MEZZANINE FLOOR PLAN  
DR-2.2 / SCALE: 1:50

NOTE:  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH  
TRANSPARENT PANELS FOR VISIBILITY



MEZZANINE FLOOR PLAN  
**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
210701

NOT FOR CONSTRUCTION

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REVISIONS	DATE
△ UP SUBMISSION	OCTOBER 25, 2017
△ DTR #1 COMMENTS	JULY 6, 2018
△ DTR #2 COMMENTS	SEPT. 24, 2018
△ ISSUED FOR CPC	NOVEMBER 13, 2018

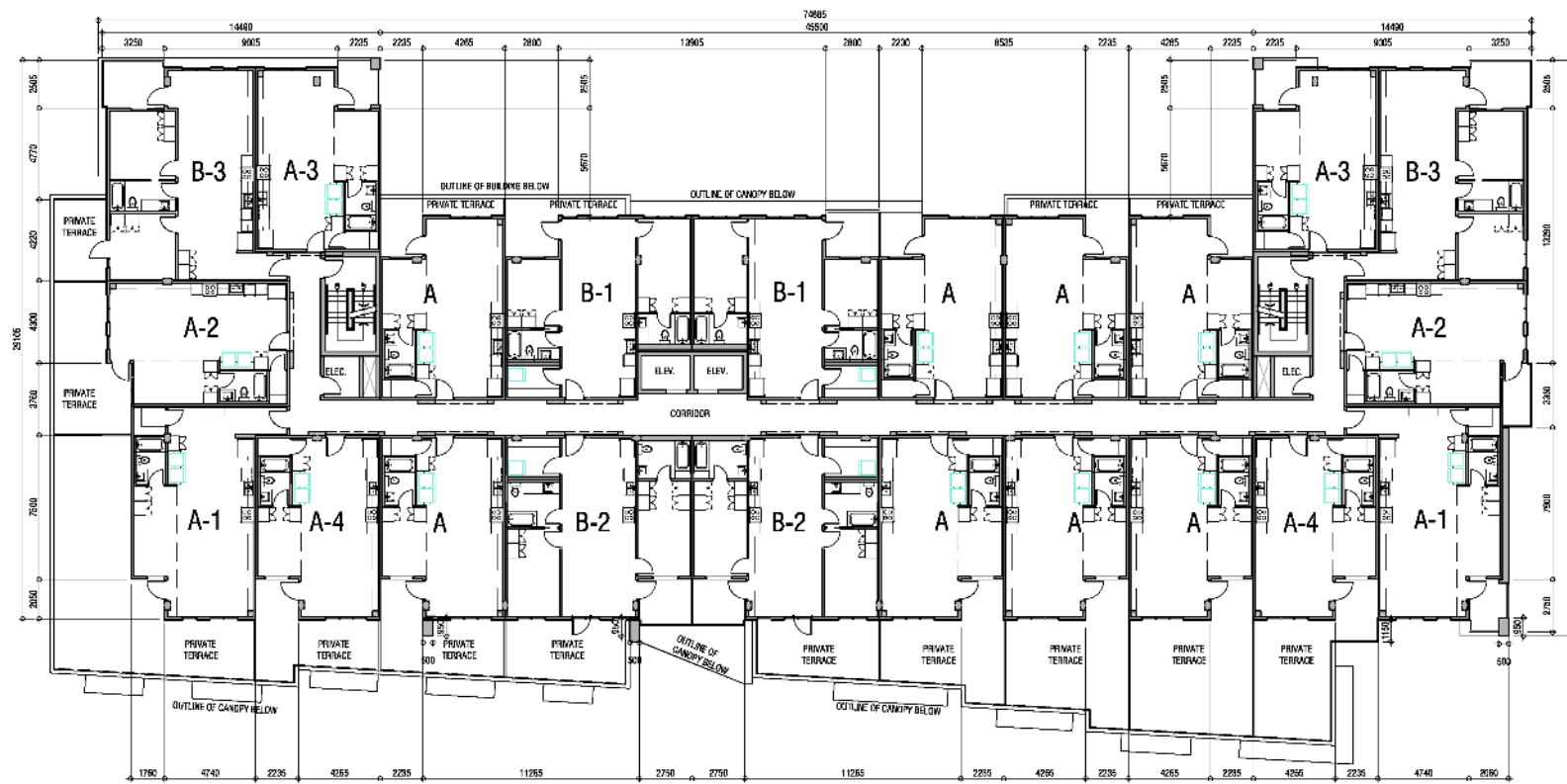
SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING NO.  
**DP-2.2**

P:\POWER2017\Projects\1701\_Torode Realty Advisors Inc. - Ramsay Residential - 1701\MEZZANINE FLOOR PLAN.DWG



Development Permit Plans



1 SECOND FLOOR PLAN  
DP-2.3 / SCALE: 1:50

NOTE:  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH  
TRANSPARENT PANELS FOR VISIBILITY



SECOND FLOOR PLAN  
**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
210701

**NOT FOR CONSTRUCTION**

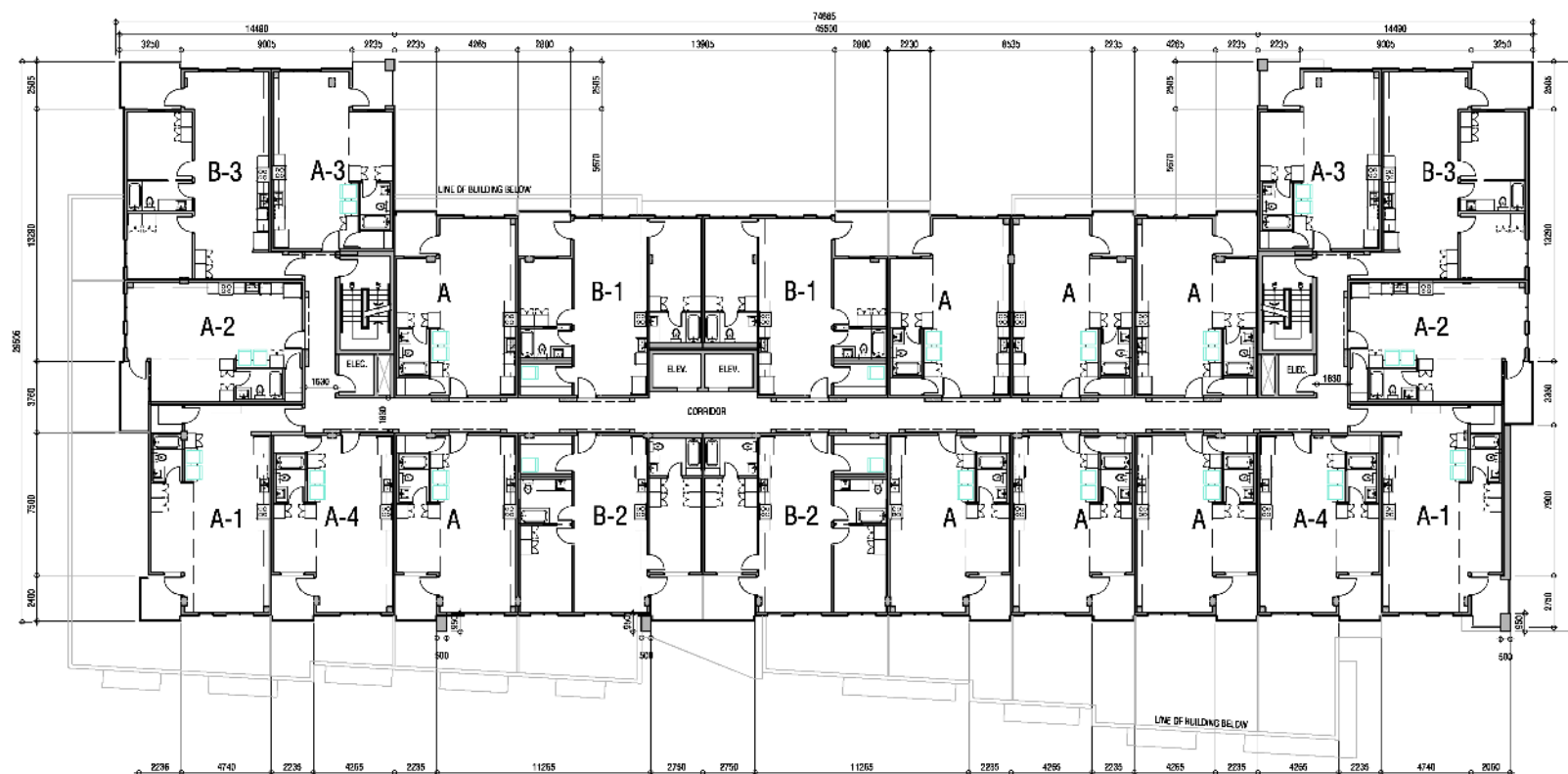
The drawing is prepared for review only. Do not use for construction.  
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REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
DTR #1 COMMENTS	JULY 6, 2018
DTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: CZ

DRAWING NO.  
**DP-2.3**

Development Permit Plans



1 TYPICAL RESIDENTIAL FLOOR PLAN - LEVELS 3-6  
DP-2.4 / SCALE: 1:50

NOTE:  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH  
TRANSPARENT PANELS FOR VISIBILITY



TYPICAL RESIDENTIAL FLOOR PLAN (LEVELS 3-6)

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
217071



**NOT FOR CONSTRUCTION**

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Verify all dimensions, elevations and contours, and report any discrepancies to the architect prior to construction. Dimensions are to face of member, sheathing, face of concrete slab, face of steel for steel partitions, and face of framing unless stated otherwise or by context.  
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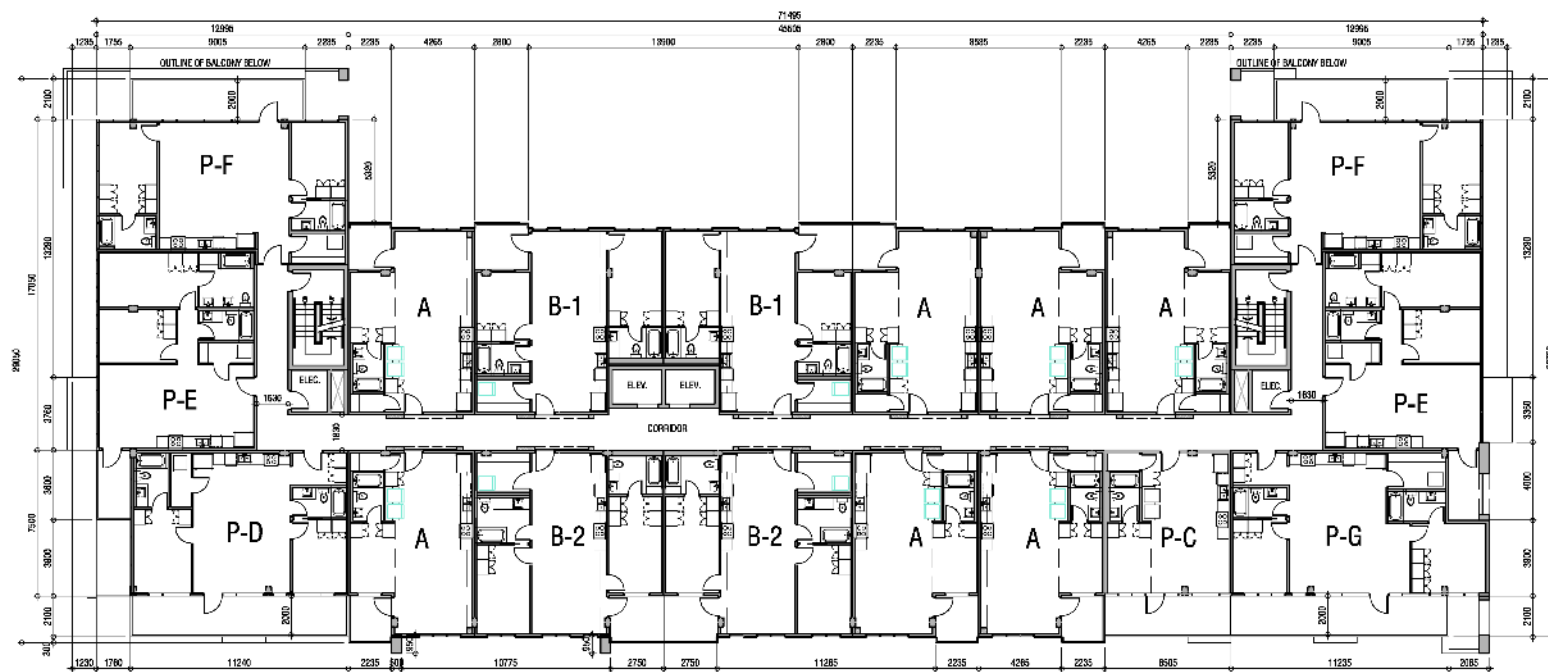
REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
DTR #1 COMMENTS	JULY 6, 2018
DTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: CZ

DRAWING NO.  
**DP-2.4**

P:\Projects\2017\Projects\2017\_Torode\_Mixed\_Use\Drawings\DP-2.4\_Typical\_Residential\_Floor\_Plan.dwg

Development Permit Plans



1 SUB PENTHOUSE FLOOR PLAN - LEVEL 7  
DP-2.5 / SCALE: 1:50

NOTE:  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH  
TRANSPARENT PANELS FOR VISIBILITY



SUBPENTHOUSE FLOOR PLAN (LEVEL 7)

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
21071

**NOT FOR CONSTRUCTION**

The drawing is provided for your review. Do not use for construction.  
Verify all dimensions, elevations and contours, and report any discrepancies to the architect prior to construction. Dimensions are to face of member sheathing, face of concrete slab, face of steel for steel partitions, and face of framing wall, unless noted otherwise on the drawing.  
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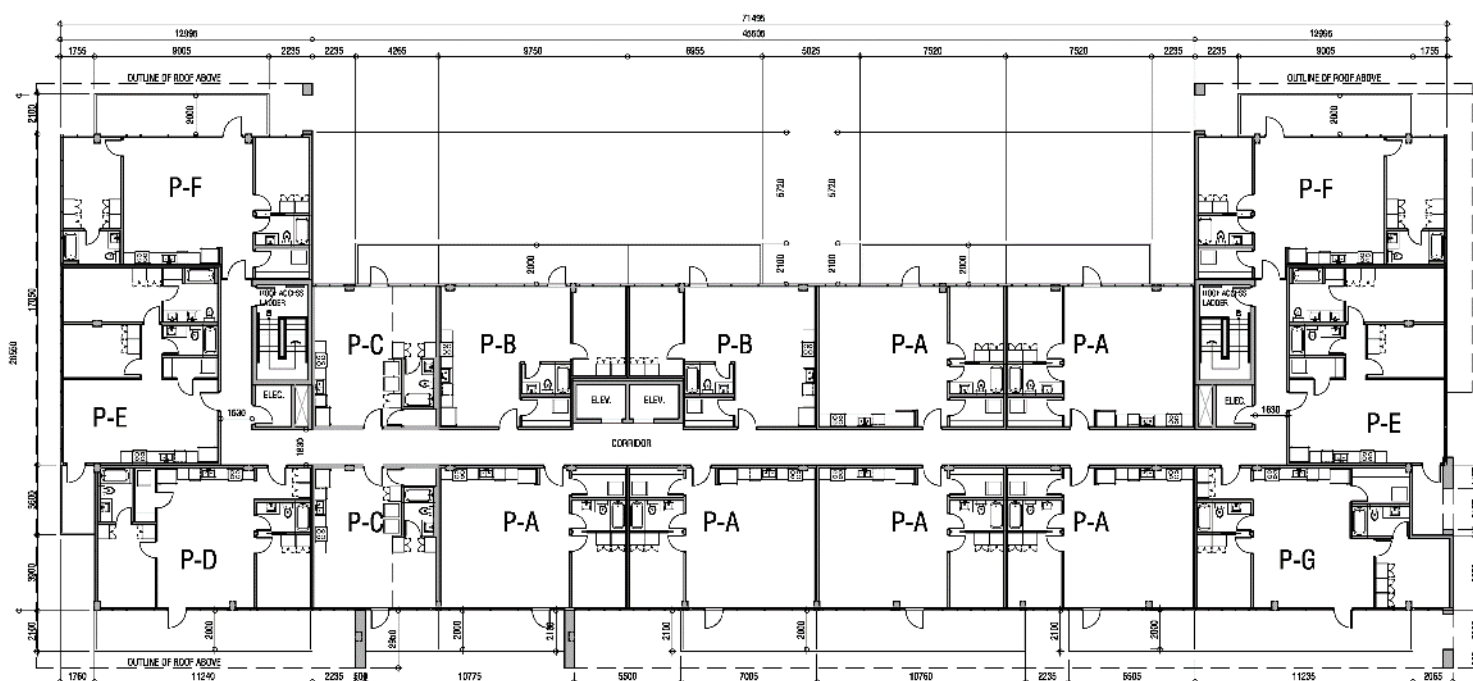
REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
DTR #1 COMMENTS	JULY 6, 2018
DTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: CZ

DRAWING NO. **DP-2.5**

P:\2018\1324\CPC2018-1324\1324-07-Sub Penthouse Floor Plan.dwg

### Development Permit Plans



1 PENTHOUSE FLOOR PLAN - LEVEL 8  
DP-2.6 / SCALE: 1:50

**NOTE:**  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH TRANSPARENT PANELS FOR VISIBILITY



PENTHOUSE FLOOR PLAN (LEVEL 8)  
**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
21701

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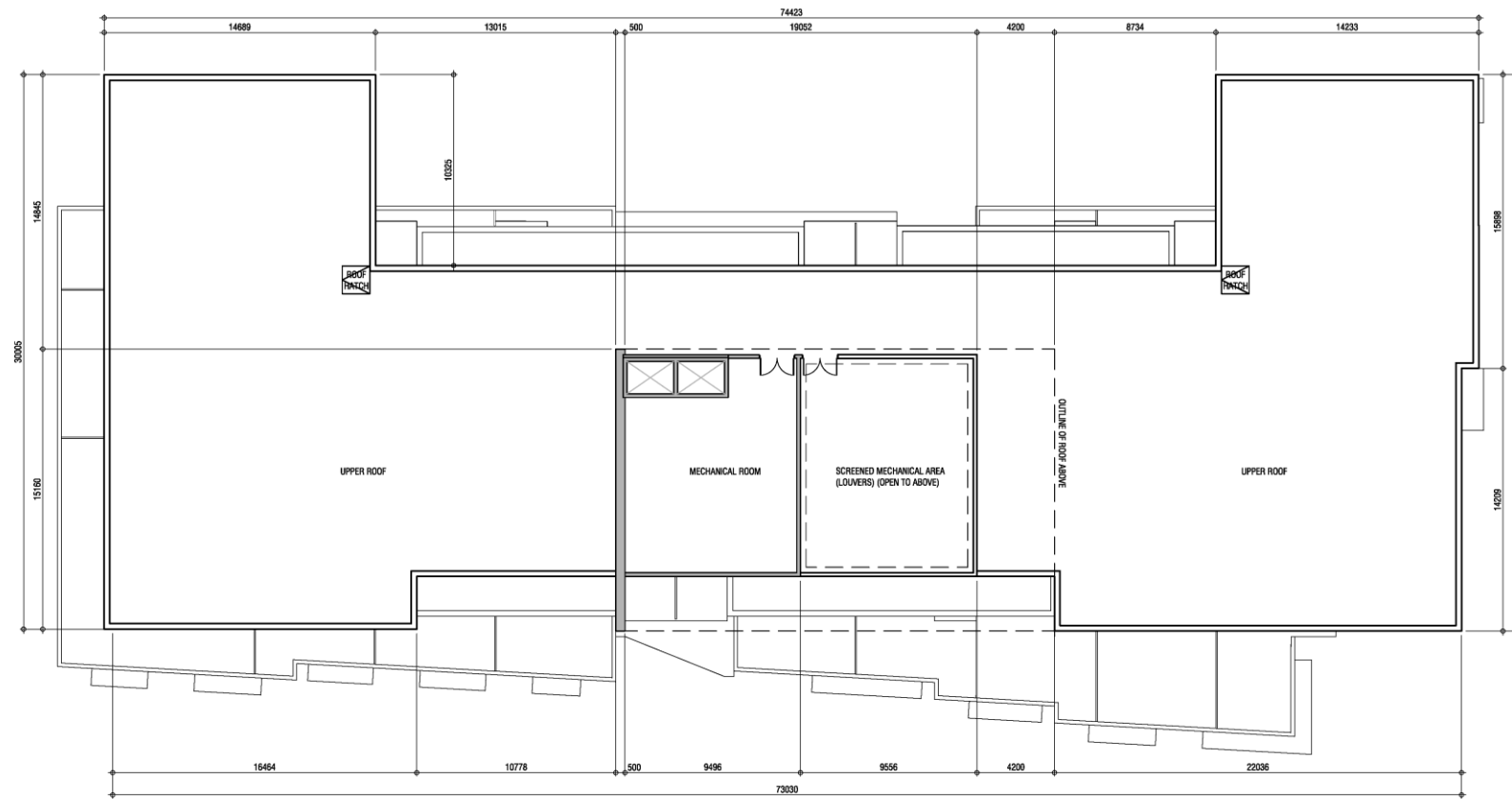
This drawing is made for project basis. Do not use it for other drawings.  
Verify all dimensions, elevation and volume, and report any discrepancies to the architect prior to construction. Do not make any changes to face of exterior sheathing, face of concrete block, face of steel for the partitions, and location of elevators, walls, or stairs without approval of the architect.  
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REVISIONS	DATE
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DTA #1 COMMENTS	JULY 6, 2018
DTA #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING NO.  
**DP-2.6**

Development Permit Plans



1 ROOF PLAN  
DP-2.7 / SCALE: 1:150



ROOF PLAN

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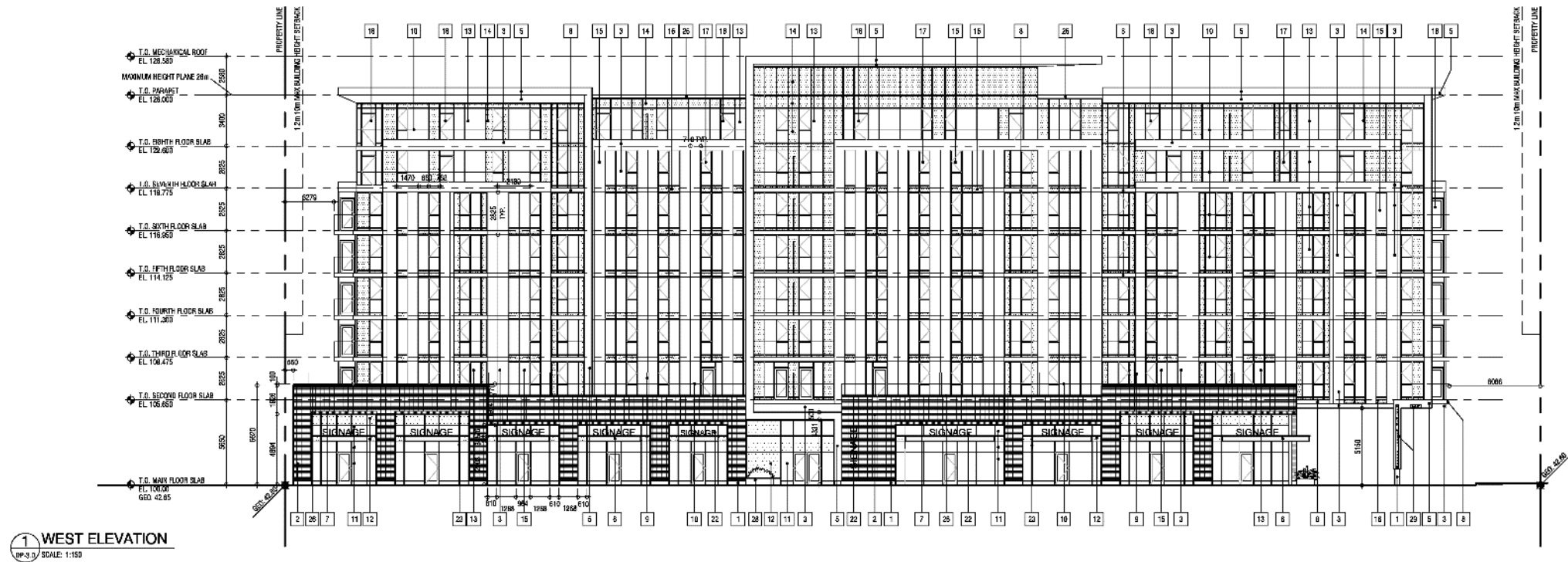
REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
DTR #1 COMMENTS	JULY 8, 2018
DTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE AS NOTED  
DATE November 13, 2018  
DRAWN BY MEH  
CHECKED BY CZ

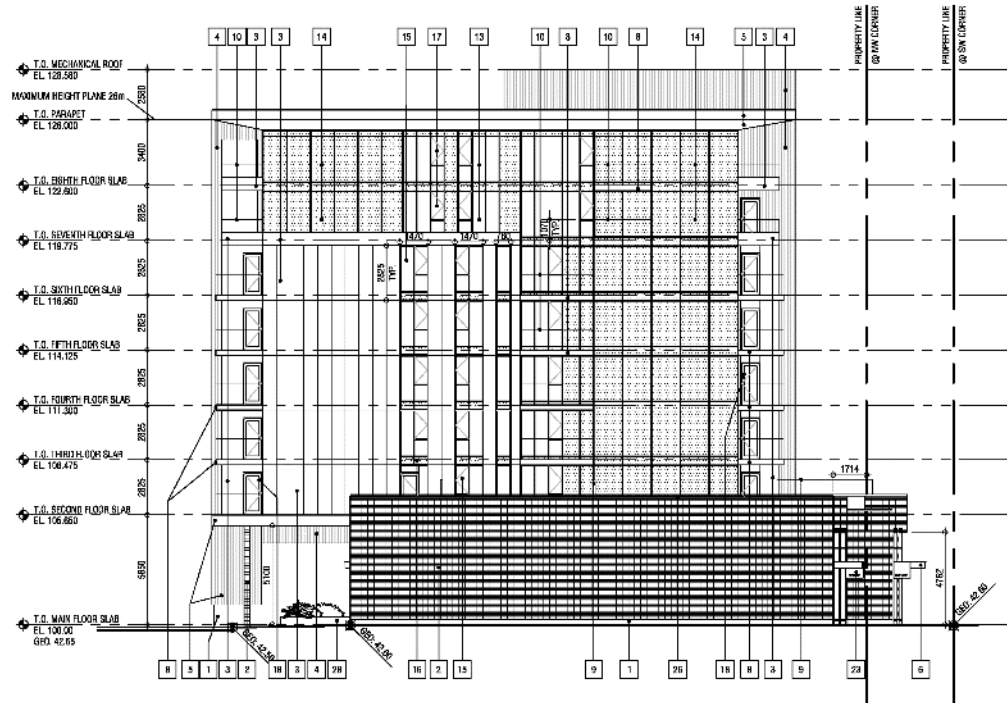
DRAWING NO.  
**DP-2.7**

P:\Projects\2017\Projects\217071 Torode Realty Advisors Inc. - Ramsay Residential w/ WorkArea\3 CAD\ACAD\DWG\DP\_2 - ROOF PLAN.dwg

Development Permit Plans



1 WEST ELEVATION  
DP-3.0 SCALE: 1:150



2 NORTH ELEVATION  
DP-3.0 SCALE: 1:150

Elevation - General Notes

1. ALL ALUMINUM SUFFIT, EAVES & RAINFALL COLOR TO MATCH ADJACENT FASCIA
2. ALL FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Code Legend

- |    |   |
|----|---|
| 1  | CONCRETE BASE   |
| 2  | MASONRY BRICK - STACKED - RED                                 |
| 3  | METAL PANEL - LIGHT GREY                                      |
| 4  | METAL PANEL - DARK GREY                                       |
| 5  | METAL PANEL - DARK GREY                                       |
| 6  | METAL PANEL CANOPY - DARK GREY                                |
| 7  | MASONRY BRICK - SOLDIER - RED                                 |
| 8  | CONCRETE BALCONY  |
| 9  | FROSTED GLASS DIVIDER   |
| 10 | GLASS GUARD RAIL  |
| 11 | BLACK ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLAZING      |
| 12 | BLACK ALUMINUM STOREFRONT GLAZING SYSTEM - SPANDREL           |
| 13 | BLACK ALUMINUM GLAZING SYSTEM - CLEAR GLAZING                 |
| 14 | BLACK ALUMINUM GLAZING SYSTEM - SPANDREL                      |
| 15 | LIGHT GREY ALUMINUM WINDOW WALL SYSTEM - CLEAR GLAZING        |
| 16 | LIGHT GREY ALUMINUM WINDOW WALL SYSTEM - SPANDREL             |
| 17 | OPERABLE WINDOW - CLEAR GLAZING                               |
| 18 | GLASS DOOR  |
| 19 | METAL DOOR & FRAME - BLACK                                    |
| 20 | METAL OVERHEAD DOOR & FRAME - BLACK                           |
| 21 | METAL OVERHEAD DOOR & FRAME - LIGHT GREY                      |
| 22 | POTENTIAL SIGNAGE LOCATION (FUTURE), REFER TO DETAIL 40P1.1   |
| 23 | PEDESTRIAN SIGNAGE LOCATION (FUTURE), REFER TO DETAIL 40P1.1  |
| 24 | LOWWALLS - BLACK  |
| 25 | LIGHT - REFER TO ELECTRICAL DRAWINGS                          |
| 26 | FLASHING - BLACK  |
| 27 | FLASHING - DARK GREY  |
| 28 | CONCRETE RETAINING WALL FOR PLANTING, REFER TO LANDSCAPE PLAN |
| 29 | VEHICLE HEIGHT AND WEIGHT RESTRICTING BAR                     |



WEST AND NORTH ELEVATIONS

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210701

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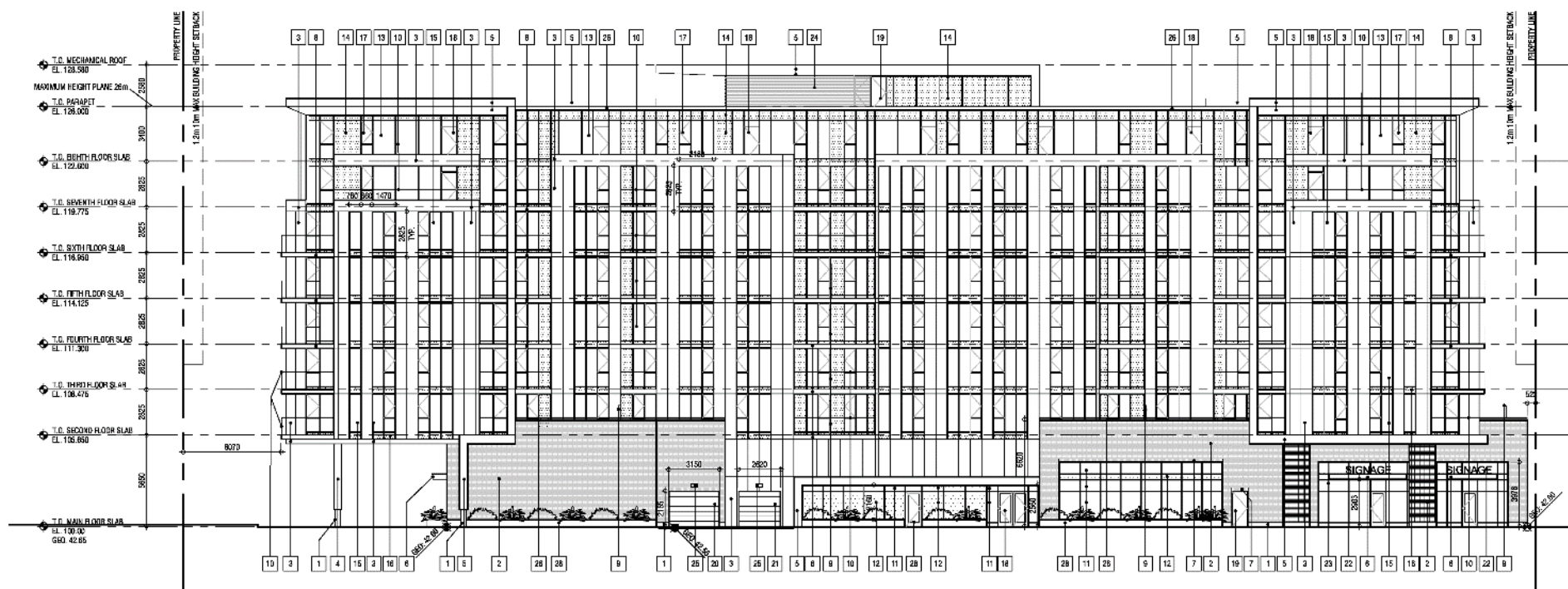
REVISIONS

NO.	DATE	DESCRIPTION
01	06/08/2017	DP SUBMISSION
02	07/05/2018	DP #1 COMMENTS
03	SEPTEMBER, 2018	DP #2 COMMENTS
04	NOVEMBER 13, 2018	ISSUED FOR CPC

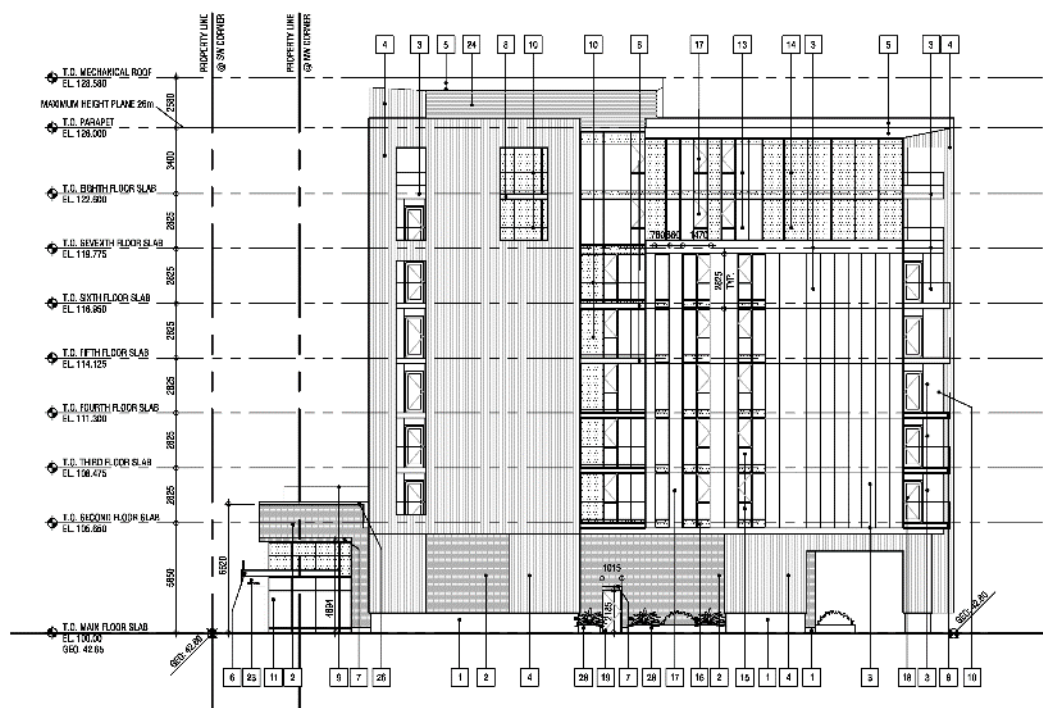
SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING NO. **DP-3.0**

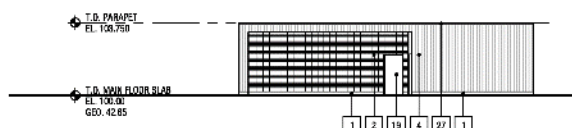
Development Permit Plans



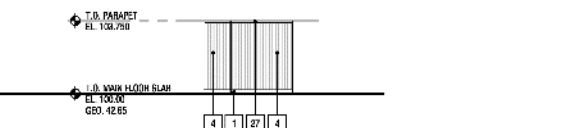
1 EAST ELEVATION  
DP-3.1 SCALE: 1:150



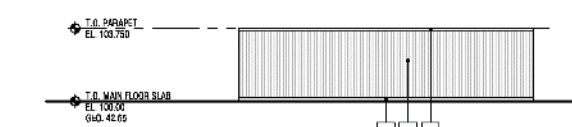
2 SOUTH ELEVATION  
DP-3.1 SCALE: 1:150



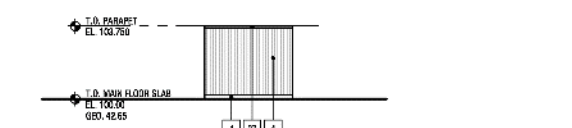
3 GENERATOR ENCLOSURE - WEST ELEVATION  
DP-3.1 SCALE: 1:150



4 GENERATOR ENCLOSURE - NORTH ELEVATION  
DP-3.1 SCALE: 1:150



5 GENERATOR ENCLOSURE - EAST ELEVATION  
DP-3.1 SCALE: 1:150



6 GENERATOR ENCLOSURE - SOUTH ELEVATION  
DP-3.1 SCALE: 1:150

Elevation - General Notes

1. ALL ALUMINUM SUFFIT, EAVES & RAINFALL COLOR TO MATCH ADJACENT FASCIA
2. ALL PRESHUNG METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Code Legend

- |    |   |
|----|---|
| 1  | CONCRETE BASE   |
| 2  | MASONRY BRICK - STACKED - RED                                 |
| 3  | METAL PANEL - LIGHT GREY                                      |
| 4  | METAL PANEL - DARK GREY                                       |
| 5  | METAL PANEL - DARK GREY                                       |
| 6  | METAL PANEL CANOPY - DARK GREY                                |
| 7  | MASONRY BRICK - SOLDIER - RED                                 |
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| 23 | PEDESTRIAN SIGNAGE LOCATION (FUTURE). REFER TO DETAIL 40P.1   |
| 24 | LOWWALLS - BLACK  |
| 25 | LIGHT. REFER TO ELECTRICAL DRAWINGS                           |
| 26 | FLASHING - BLACK  |
| 27 | FLASHING - DARK GREY  |
| 28 | CONCRETE RETAINING WALL FOR PLANTING. REFER TO LANDSCAPE PLAN |
| 29 | VEHICLE HEIGHT AND WEIGHT RESTRICTING BAR                     |



EAST AND SOUTH ELEVATIONS

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210701

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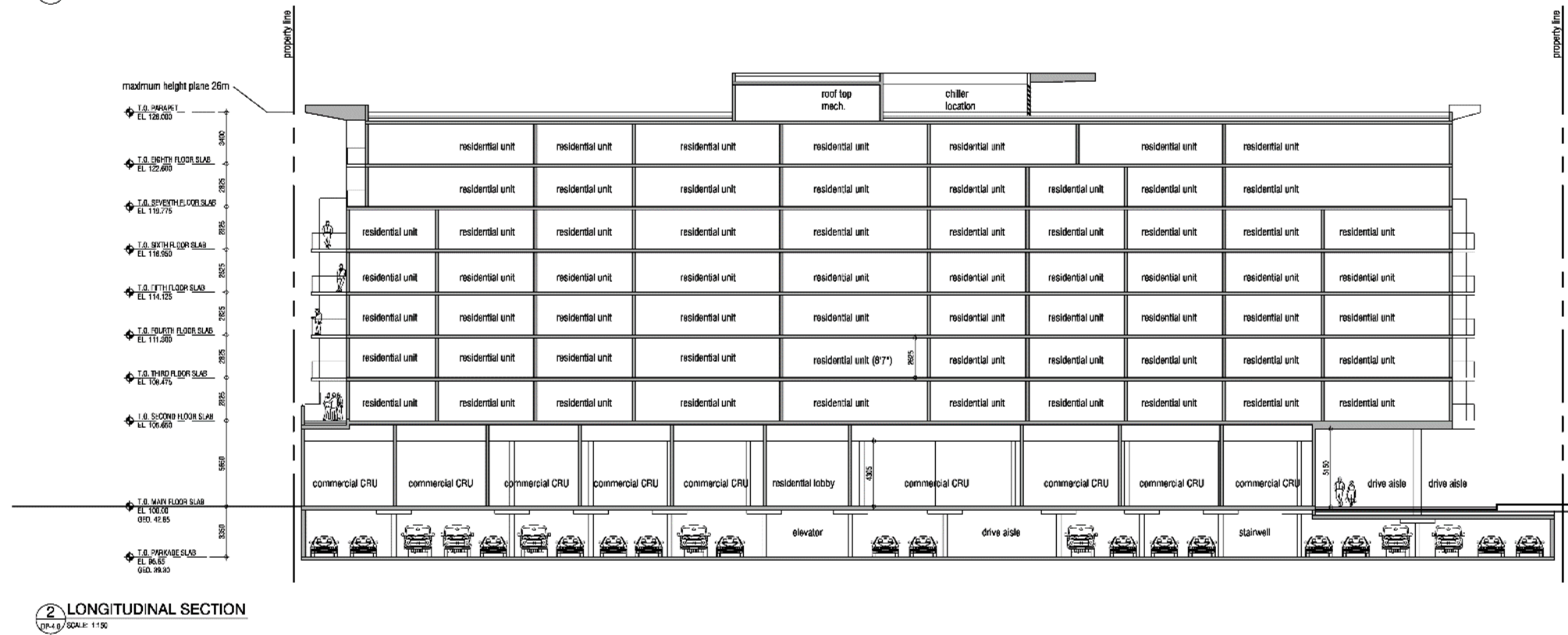
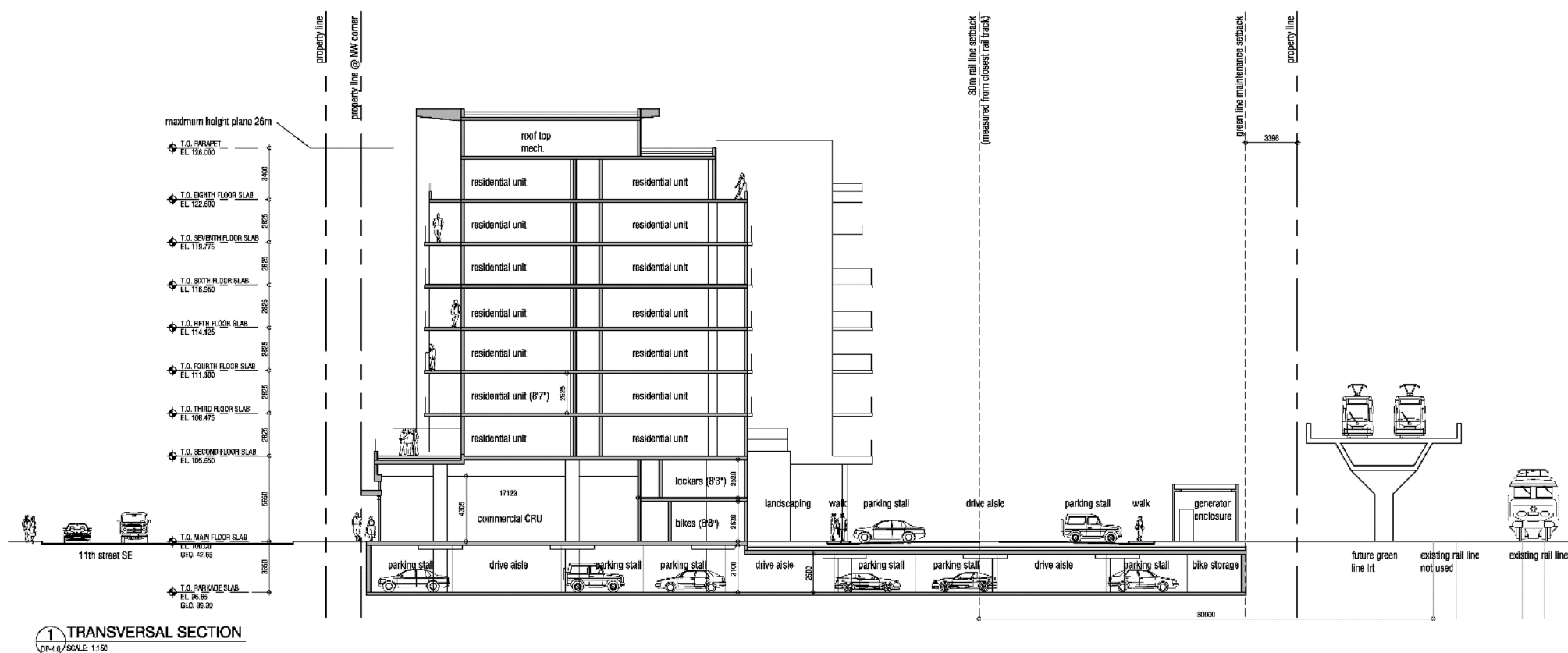
REVISIONS DATE

1	DP SUBMISSION	02 (DRAW) 02, 2017
2	DP #1 COMMENTS	JULY 5, 2018
3	DP #2 COMMENTS	SEPT. 24, 2018
4	ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEI  
CHECKED BY: GZ

DRAWING NO. **DP-3.1**

Development Permit Plans



BUILDING SECTIONS  
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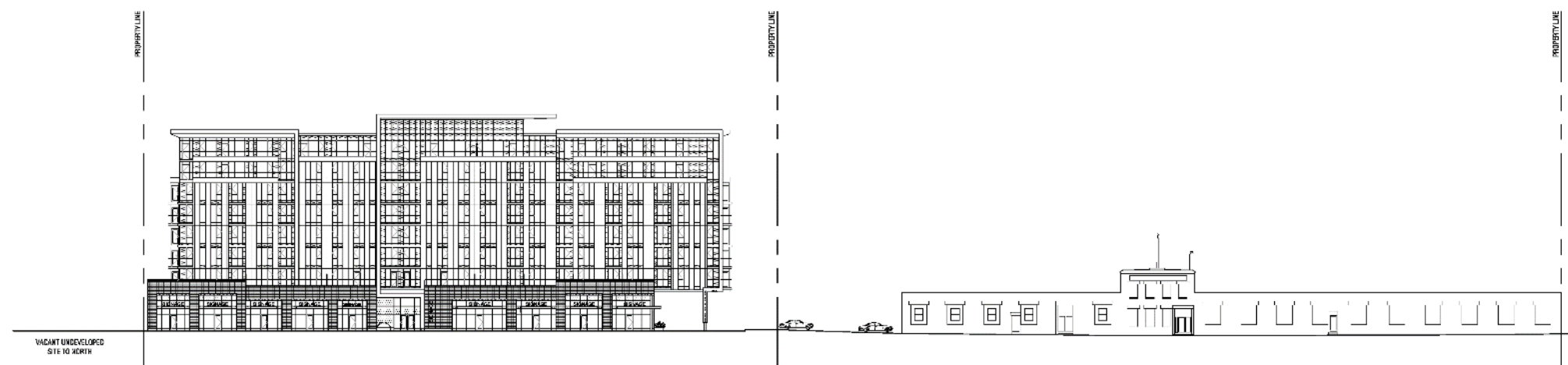
REVISIONS	DATE
△ UP SUBMISSION	06/08/2017
△ BTR #1 COMMENTS	JULY 5, 2018
△ BTR #2 COMMENTS	SEPT. 24, 2018
△ ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEI  
CHECKED BY: CZ

DRAWING NO. **DP-4.0**



Development Permit Plans



1 STREET ELEVATION - 11TH STREET SE - WEST ELEVATION  
DP-5.0 / SCALE: 1/8"=1'-0"



STREET ELEVATION

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REVISIONS	DATE
UP SUBMISSION	OCTOBER 22, 2017
DTR #1 COMMENTS	JULY 6, 2018
DTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING NO.  
**DP-5.0**