

Comprehensive Project Overview

TABLE OF CONTENTS

- 1 PROJECT BACKGROUND AN TIME LINE
- 2 SITE CONTEXT
- 3 LAND USE APPLICATION
- 4 ENGAGEMENT SUMMARY
- 5 THE SEARCH FOR THE MISSING MIDDLE
- 6 TYPICAL BUILDER TYPOLOGIES
- 7 BASEMENT AND GARAGE SUITE SOLUTIONS TO DENSIFICATION
- 8 A NEW SOLUTION TO DENSITY
- 9 BUILDING MASSING
- 10 LANDSCAPE PLAN
- 11 DESIGN PRINCIPLES
- 12 URBAN DESIGN - ACTIVATING THE STREET AND THE AVENUE
- 13 MATERIALS
- 14 RENDERS
- 15 FLOOR PLANS
- 16 STREETSCAPE

Comprehensive Project Overview

Project Background + Timeline

Background

The property owners of 438 8 Street & 230 7A Street NE have submitted applications to rezone their parcels to allow for the development of family-oriented townhouses (4 units on each parcels).

438 8 Street is currently designated Residential - Contextual One/Two Dwelling District (R-C2) and 230 7A Street is designated with the recently approved main streets Direct Control District (DC). The proposed land use district of both parcels is a Direct Control District tied to Plans. A Direct Control district tied to plans means that the Development Permits (DP) for the projects will need to be aligned with

the plans accompanying the DC. If the DP does not align with the DC drawings, the land use reverts to the existing land use.

Along with the land use redesignation application, a concurrent development permit has been submitted for each site.

Development Principles

- Moderate intensification and density;
- Site specific design;
- Family friendly housing choice;
- Variety of unit sizes;
- Walkability;
- Street vitality;
- Community interaction.

Land Use Timeline





Comprehensive Project Overview

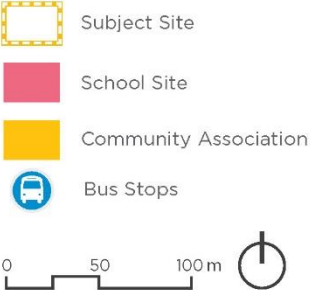
Site Context



The subject site located at 438 8 Street NE is approximately 455 square metres in size, and is surrounded by R-C2 (Residential - Contextual One/Two Dwellings).

The subject site located at 230 7A Street NE is approximately 455 square metres in size. East of the parcel is St. Michael's Eritrean Orthodox Church, and to the north, west, and south of the site are R-C2 (Residential - Contextual One/Two Dwellings).

Both subject sites are in close proximity to local shops, retail, professional services, community schools, parks and open spaces. These sites are well serviced by Calgary Transit, with route 90 running along the 1st Avenue corridor. Additionally, these sites are within 10-15 minutes walking distance to the Bridgeland-Memorial LRT Station and Bow River pathway system.





Comprehensive Project Overview

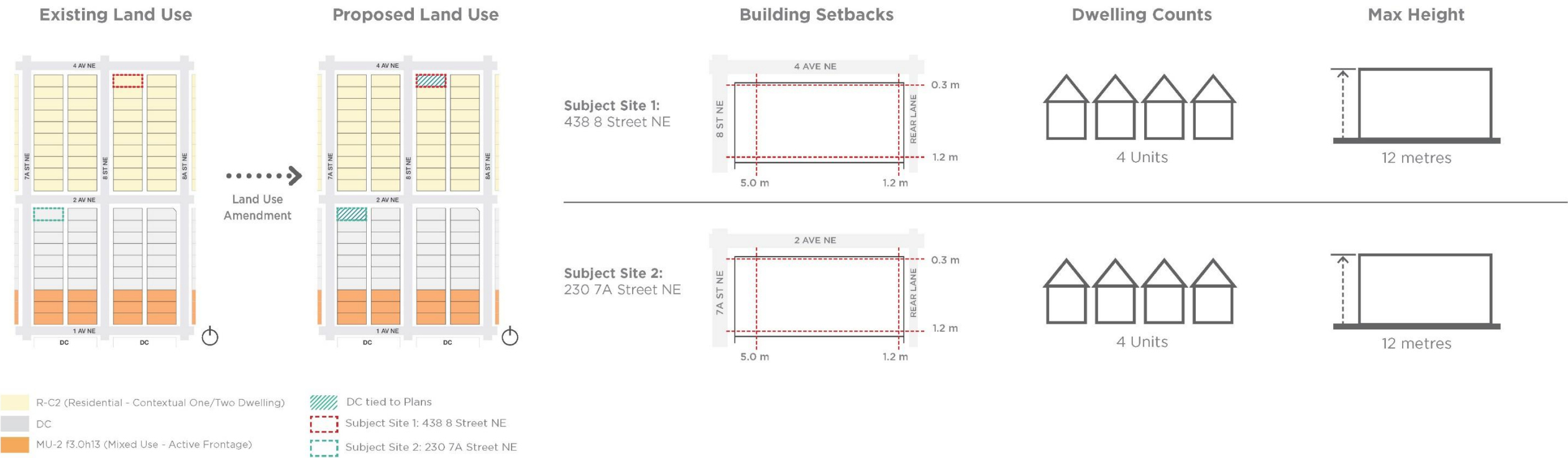
Land Use Application

The land use amendment application proposes to change the existing land use of 438 8 Street from R-C2 (Residential - Contextual One/Two Dwelling District ) and the existing land use of 230 7A Street from DC based on R-CG (Residential - Grade-Oriented Infill District) to both a Direct Control District (DC) tied to plans.

The diagrams on this panel explains the concepts regarding the land use amendment.

Direct Control (DC) Tied to Plans:

- DC will be based on a site specific design proposal;
- Development Permit must conform with the plans that were submitted along with the land use application;
- If the property owner wishes to build a different project or sell the site, the existing stock land use will apply;
- A DC tied to plans provides certainty to the community on the project's design.





Comprehensive Project Overview

Engagement Summary

On March 26, 2018, residents from the community of Bridgeland-Riverside were invited to a community information session hosted at the Bridgeland-Riverside Community Association Hall. The purpose of this community information session was to provide information and to solicit community feedback on the proposed developments located on 438 8 Street and 230 7A Street NE.

The community information session was attended by approximately 25 residents. The format of this information session was an informal discussion with the project’s planners, architects, and land owners. Residents had the opportunity to provide feedback using comment forms and sticky notes provided by the applicant. There were a total of **50 comments received** and have been categorized into the following themes;

- 1. Traffic, Parking & City Servicing
- 2. Bridgeland-Riverside ARP Alignment & Zoning
- 3. Building Design
- 4. Massing & Height
- 5. Adjacent Privacy, Lighting & Green Space
- 6. Planning Context & Community Heritage

The following is a breakdown of the number of received comments that fall under the six main themes;

- 1. Traffic, Parking & City Servicing: **7 Comments**
- 2. Bridgeland-Riverside ARP Alignment & Zoning: **12 Comments**
- 3. Building Design: **5 Comments**
- 4. Massing & Height: **10 Comments**
- 5. Adjacent Privacy, Lighting & Green Space: **3 Comments**
- 6. Planning Context & Community Heritage: **9 Comments**

In addition to these comments, there were **4 comments that are categorized as miscellaneous**. These comments did not fit under any of the five main themes.

Of the 50 comments received, 4 comments were of support, and 46 comments were of concern or opposition. The following is a breakdown of support comments vs. concern or opposition comments categorized under the six main themes.

Comment Comparison Table

	Traffic, Parking & City Servicing	Bridgeland-Riverside ARP Alignment & Zoning	Building Design	Height & Massing	Adjacent Privacy, Lighting & Green Space	Planning Context & Community Heritage	Misc
No. Comments of Support			3	1			
No. Comments of Concern or Opposition	7	12	2	9	3	9	4



Comprehensive Project Overview

THE SEARCH FOR THE ‘MISSING MIDDLE’

“...what every city is missing is something in the middle:

the kind of not-single-family, not-condo-tower-apartment style of housing that provides enough room for a couple of parents and kids, has some kind of ground-level space outside and doesn’t cost a fortune.”

[The Globe and Mail, A search for the ‘missing middle’ of housing, May 23rd 2018]

“Multi-generational living arrangements... are the fastest growing type of household in the country.”

[CTV News, Why more Canadians are embracing multi-generational households, April 5th 2018]

“Ms. Maser says ... peak millennials are purchasing two-storey detached homes in the suburbs as a way to increase affordability over more central areas.”

[The Globe and Mail, Sweet Spot, June 5th 2018]

“Nearly one in five Calgary households are overspending on their housing. They’re paying more than 30 per cent of their income every month towards shelter, which means they’re making decisions between eating or having a roof over their head.”

[Calgary Herald, Calgary lays out eight-year plan for \$320M affordable housing investment, April 30th 2018]

“Twenty-four per cent of those surveyed said they didn’t qualify for a mortgage at all; in Alberta, this rose to 32 per cent, and 50 per cent of 25- to 30-year-olds in Alberta – more than any other province – said they didn’t believe they’d be able to afford to buy a home in the next five years.”

[Globe and Mail, Millennials’ demand for affordability driving housing agenda, November 23rd 2017]

“Rental properties in Montreal, Quebec City and Halifax are performing well, for a variety of reasons. Quebecers have long looked on rentals favourably, and they’re eager to move into units centrally located in search of the live-work-play lifestyle. ... renting offers a significant cost advantage over owning a condo in that market.”

[PWC Canada, Emerging Trends in Real Estate 2018]

“But what every city is missing is something in the middle: the kind of not-single-family, not-condo-tower-apartment style of housing that provides enough room for a couple of parents and kids, has some kind of ground-level space outside and doesn’t cost a fortune.”

[Globe and Mail, A search for the ‘missing middle’ of housing, May 24th 2018]

“For a lot of people, a one-bedroom is basically fine for them and then they have a kid. All of a sudden, they need something bigger. It’s really hard and there is not much out there.”

[CBC News, Affordable housing solutions for ‘missing middle’ explored in Museum of Vancouver workshop, February 1st 2018]

“Back-to-backs, brownstones, bungalow courts, clustered housing, plexes, maisonettes, row-houses, stacked towns and six-packs. Throughout the world, these low-density multi-housing forms provide affordable homes for millions of households. However, in British Columbia, most of our housing is either single-family homes or apartments. As a result, architects and planners are increasingly referring to these other “gentle density” housing solutions as “the missing middle”.”

[Vancouver Sun, ‘Missing middle’ competition offers residential housing solutions, May 12th 2018]

“A looming affordability crisis is poised to hit seniors across the country as the baby boom generation makes its long-predicted shift into its golden years, squeezing the supply of retirement home places and pushing up rents, according to a new report from the rating agency DBRS Ltd.”

[Financial Post, A looming housing affordability crisis is poised to hit seniors across Canada, May 13th 2018]

2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representation and specifications are instruments of service, whether the project is awarded or not shall remain the property of Davignon Martin Architecture. You may make copies, having responsibility for information and reference to correct with your own and accuracy of the project. Cannot be reference to project, the plans, drawings, drawings, graphic representation and specifications shall not be used for addition or alteration to the project or any other project. All parts of these drawings shall not be reproduced or modified for publication of the Davignon Martin Architecture.

The contractor shall verify all dimensions and specifications before and during the construction project. Any errors, omissions and misinterpretations shall be reported to the Architect.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE:  
NTS

PROJECT LOCATION

230 7A Street NE  
438 8 Street NE

SHEET TITLE



Comprehensive Project Overview

BUILDER GRADE SOLUTIONS TO DENSITY

OLD RM-4 SOLUTION

- 1 Lack of privacy
- 2 Circulation issues
- 3 Lack of amenity space
- 4 Blank side elevation

Livable volume is approximately 40,150 ft3  
\$650,000 - \$720,000



2016 /// 18

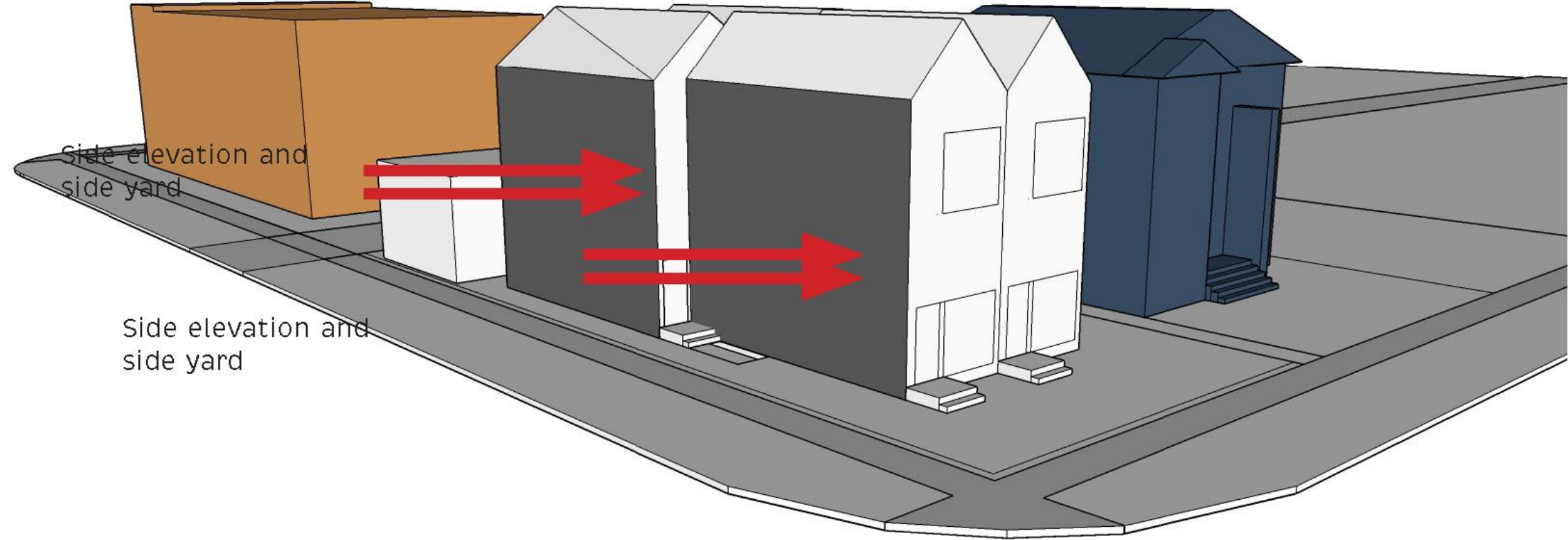
DAVIGNON MARTIN  
ARCHITECTURE

Copyright 2016. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without prior written permission from Davignon Martin Architecture. This document is the property of Davignon Martin Architecture and is not to be used for any other project without the written consent of Davignon Martin Architecture. The publisher shall not be liable for damages or compensation for any loss or injury to persons or property caused by the use of this document.

ISSUED

REVISED

DATE



PROFESSIONAL SEAL  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

4-SHEET TITLE







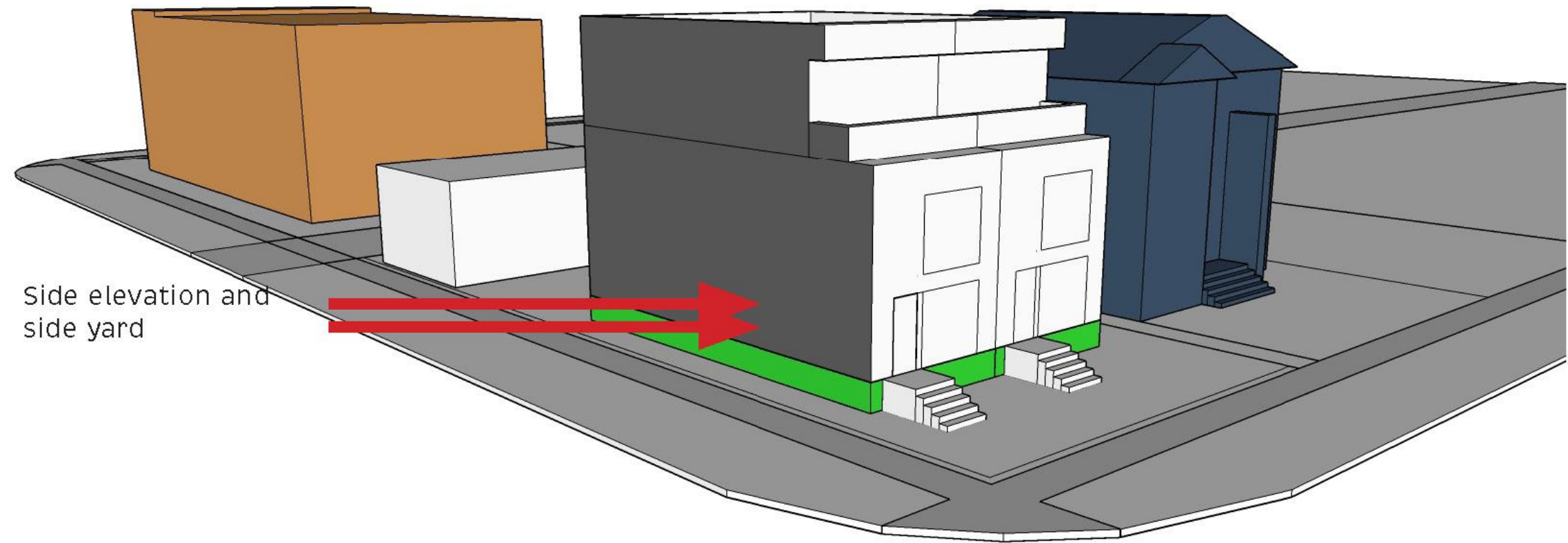
Comprehensive Project Overview

BUILDER GRADE SOLUTIONS TO DENSITY

DUPLEX WITH BASEMENT SUITES

- 1 Basement suites are “secondary” solutions
- 2 Unaffordable for most people

Livable volume is approximately 49,252 ft3  
\$900,000 - 1,250,000



Side elevation and  
side yard

2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright 2016. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without prior written permission from Davignon Martin Architecture. This publication is intended for informational purposes only and does not constitute an offer of any financial product or service. No representation or warranty is made by the author or publisher as to the accuracy or completeness of the information contained herein. The author and publisher assume no liability for any errors or omissions in this publication. The publisher shall not be liable for damages or losses of any kind, including but not limited to, direct, indirect, or consequential damages, arising out of the use of this publication. The publisher shall not be liable for any claims, damages, or losses of any kind, including but not limited to, direct, indirect, or consequential damages, arising out of the use of this publication.

ISSUED: 11/16  
REVISED: 01/18

PROFESSIONAL SEAL  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE:  
NTS

PROJECT LOCATION

230 7A Street NE  
438 8 Street NE

4-1117 TITLE



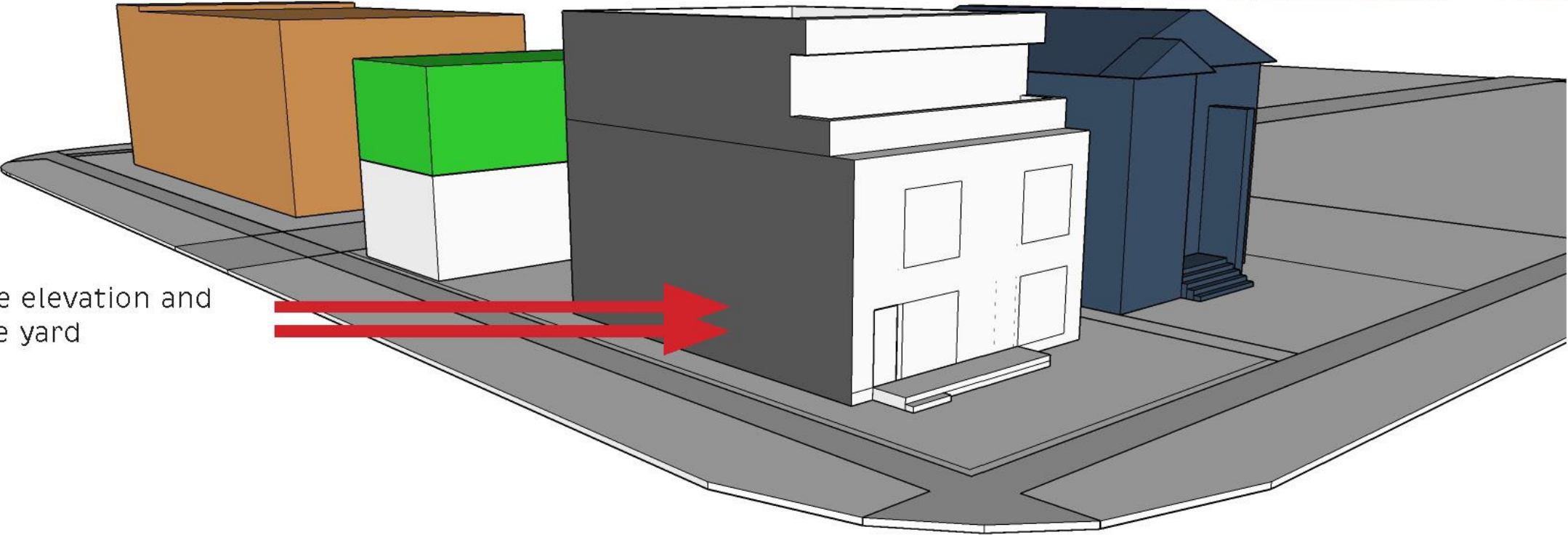
Comprehensive Project Overview

BUILDER GRADE SOLUTIONS TO DENSITY

LARGE SINGLE FAMILY

- 1 Unaffordable for most people
- 2 Highest price point

Livable volume is approximately 57,004 ft3  
\$1,200,000 - \$1,850,000 and up



Side elevation and side yard

2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright 2016. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without prior written permission from Davignon Martin Architecture. This document is the property of Davignon Martin Architecture and is not to be used for any other purpose. All rights reserved.

DATE: 10/18/2016  
BY: DAVIGNON

PROFESSIONAL SEAL/ID  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE

NTS

PROJECT LOCATION

230 7A Street NE  
438 8 Street NE

#BIBL TITLE

Comprehensive Project Overview

BASEMENT SUITES

- 1 Basement suites are not great solutions
  - 2 Generally not well lit
  - 3 Not great for families
  - 4 Generally not well sound proofed
  - 5 Ownership by tenant is not an option
  - 6 Limitations - not barrier free
- Students, short term rentals, low income individuals

GARAGE SUITES

- 1 Small
  - 2 Generally a 1 bedroom / studio layout not conducive to families
  - 3 Ownership by tenant is not an option
  - 4 Limitations - not barrier free
- Students, short term rentals, low income individuals



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE

Copyright Plan, elevation, graphic representation and specification as instruments of service, whether the project is awarded or not shall remain the property of Davignon Martin Architecture. You may make copies, including reproductions for information and reference to materials with your use and consent of the project. Except for printed reproductions, the plan, elevation, drawing, graphic representation and specification shall not be used for another or alternative to the project or any other project. All parts of these drawings shall not be reproduced or used without the permission of the Davignon Martin Architecture.

The materials shall verify all dimensions and specifications before and during the construction project. Any error, omission and misrepresentation must be reported to the architect.

ISSUE	No.	DATE
REVISION		



PROFESSIONAL SEAL(s)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE



Comprehensive Project Overview

NEW SOLUTION TO DENSITY

NEW STACKED TOWNHOUSE

- 1 Variety of unit types
- 2 Low, medium, upper price points
- 3 Engages the street and the avenue
- 4 Designed user friendly and engaged amenity space to streetscape

Livable volume is approximately 61,235 ft3  
\$375,000 - \$800,000



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications or  
statements of intent, created by or for the architect or architect-engineer, are  
the property of Davignon Martin Architecture. They may not be copied, altered,  
reproduced, used, or otherwise disseminated without the written consent of  
Davignon Martin Architecture. They may not be used for any other project, in  
whole or in part, without the written consent of Davignon Martin Architecture.  
The architect shall not be responsible for construction methods or details not  
shown on the drawings.

ISSUED: No. DATE:  
REVISED: CM

PROFESSIONAL SEAL  
CONSULTANTS

NOTED

PROJECT  
Bridgeland 4

DATE

SCALE:

NTS

PROJECT LOCATION

230 7A Street NE  
438 8 Street NE

#-HBT TITLE

Comprehensive Project Overview

NEW SOLUTION TO DENSITY

NEW STACKED TOWNHOUSE

2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications or business of DVM, created by DVM or under the supervision of DVM, are the property of DVM and shall remain the property of DVM. No part of this drawing, including any portion of the design, may be reproduced, stored, transmitted, or used in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of DVM. The user of this drawing, including any portion of the design, shall not be used for any other project, or for any other purpose, without the prior written permission of DVM. The user of this drawing, including any portion of the design, shall not be used for any other project, or for any other purpose, without the prior written permission of DVM.

ISSUED:      No.      DATE:  
REVISED ON:

PROFESSIONAL SEAL  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

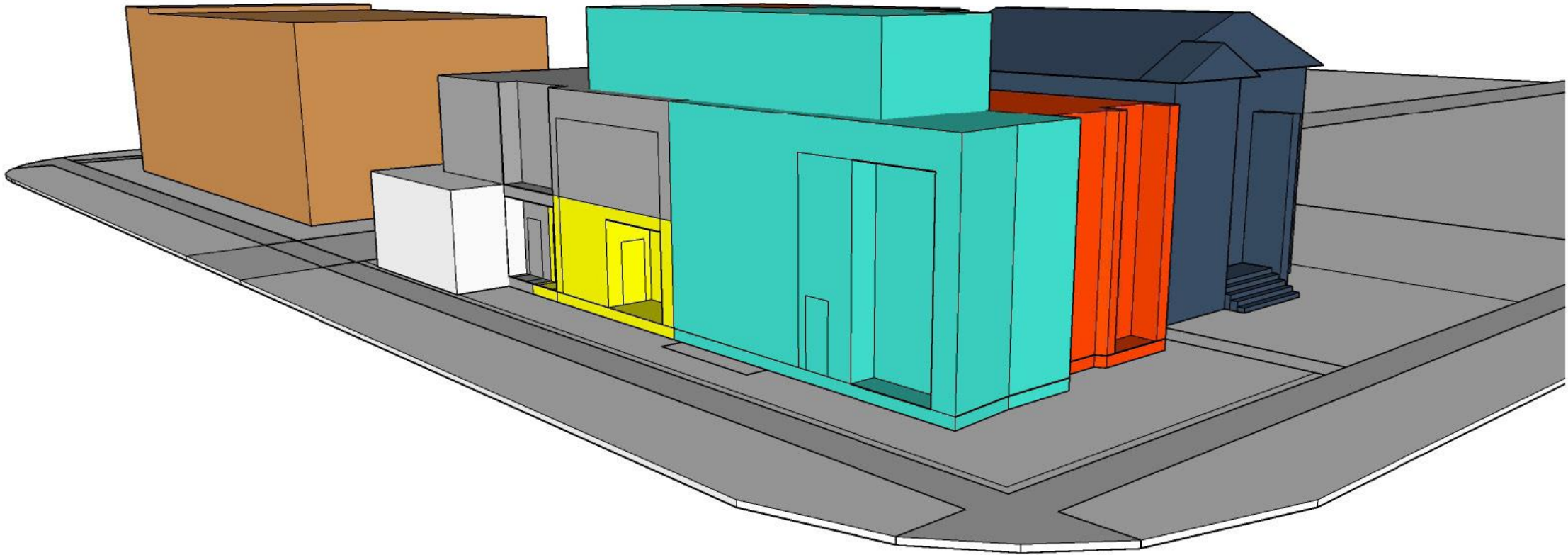
DATE

SCALE:  
NTS

PROJECT LOCATION

230 7A Street NE  
438 8 Street NE

#-HBT TITLE





Comprehensive Project Overview

NEW SOLUTION TO DESNISTY

NEW STACKED TOWNHOUSE



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright 2016, Davignon Martin Architecture and its affiliates. All rights reserved. This document is the property of Davignon Martin Architecture. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Davignon Martin Architecture. The contents of this document are confidential and may be subject to change without notice. The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. The information contained herein is not to be used for any other purpose. All rights reserved.

DATE: 12/15/2016

PROFESSIONAL SEAL/ID  
CONTRACT/DATE

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE:  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

#PROJECT TITLE

Comprehensive Project Overview

NEW SOLUTION TO DENSITY

OLD RM-4 SOLUTION  
Livable volume is approximately 40,150 ft3  
\$650,000 - \$720,000

NEW MC-G SOLUTION  
Livable volume is approximately 101,322 ft3  
\$650,000 - \$720,000

DUPLEX WITH GARAGE SUITES  
Livable volume is approximately 57,004 ft  
\$950,000 - \$1,250,000

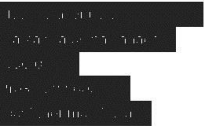
DUPLEX WITH BASEMENT SUITES  
Livable volume is approximately 49,252 ft3  
\$950,000 - 1,250,000

LARGE SINGLE FAMILY  
Livable volume is approximately 57,004 ft3  
\$1,250,000 - \$1,850,000 and up

NEW PROPOSED STACKED SUITED TOWNHOUSE  
Livable volume is approximately 61,235 ft3  
\$375,000 - \$800,000

2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representation and specifications are  
instruments of service, whether the project is awarded or not shall remain the  
property of Davignon Martin Architecture. You may make copies, bearing  
responsibility for information and reference to the project with your use and  
accuracy of the project. Cannot be otherwise reproduced, the plans, drawings,  
drawings, graphic representation and specifications shall not be used for  
addition or alteration to the project or any other project. All parts of these  
drawings shall not be reproduced or used without the permission of the Davignon  
Martin Architecture.

This contractor shall verify all dimensions and specifications before and during  
the construction project. Any errors, omissions and misinterpretations shall be  
reported to the Architect.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(s)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE  
NTS

PROJECT LOCATION

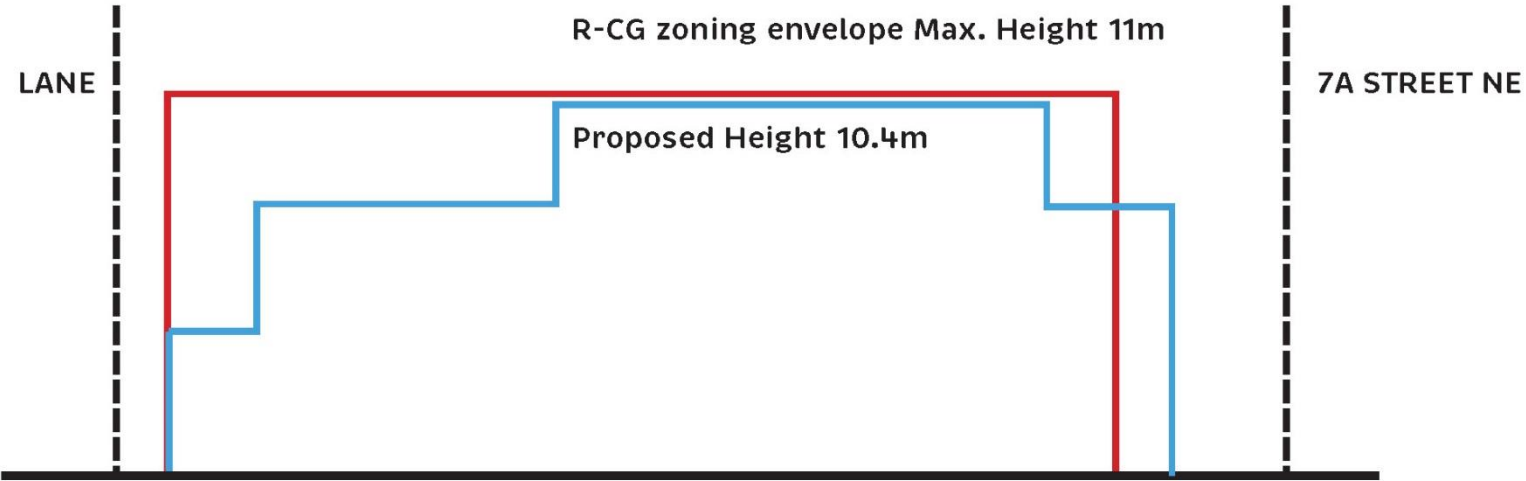
230 7A Street NE  
438 8 Street NE

SHEET TITLE



Comprehensive Project Overview

MASSING 230 7A STREET



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications are instruments of service. Whether the project is completed or not, they remain the property of Davignon Martin Architecture. You may make copies, but they must be made for informational purposes only and not for reproduction. Any use of these drawings, plans, drawings, graphic representations and specifications for any other project, in whole or in part, without the written consent of Davignon Martin Architecture is prohibited. The contractor shall verify all dimensions and specifications before and during the construction process. Any errors, omissions and misinterpretations shall be reported to the Architect.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

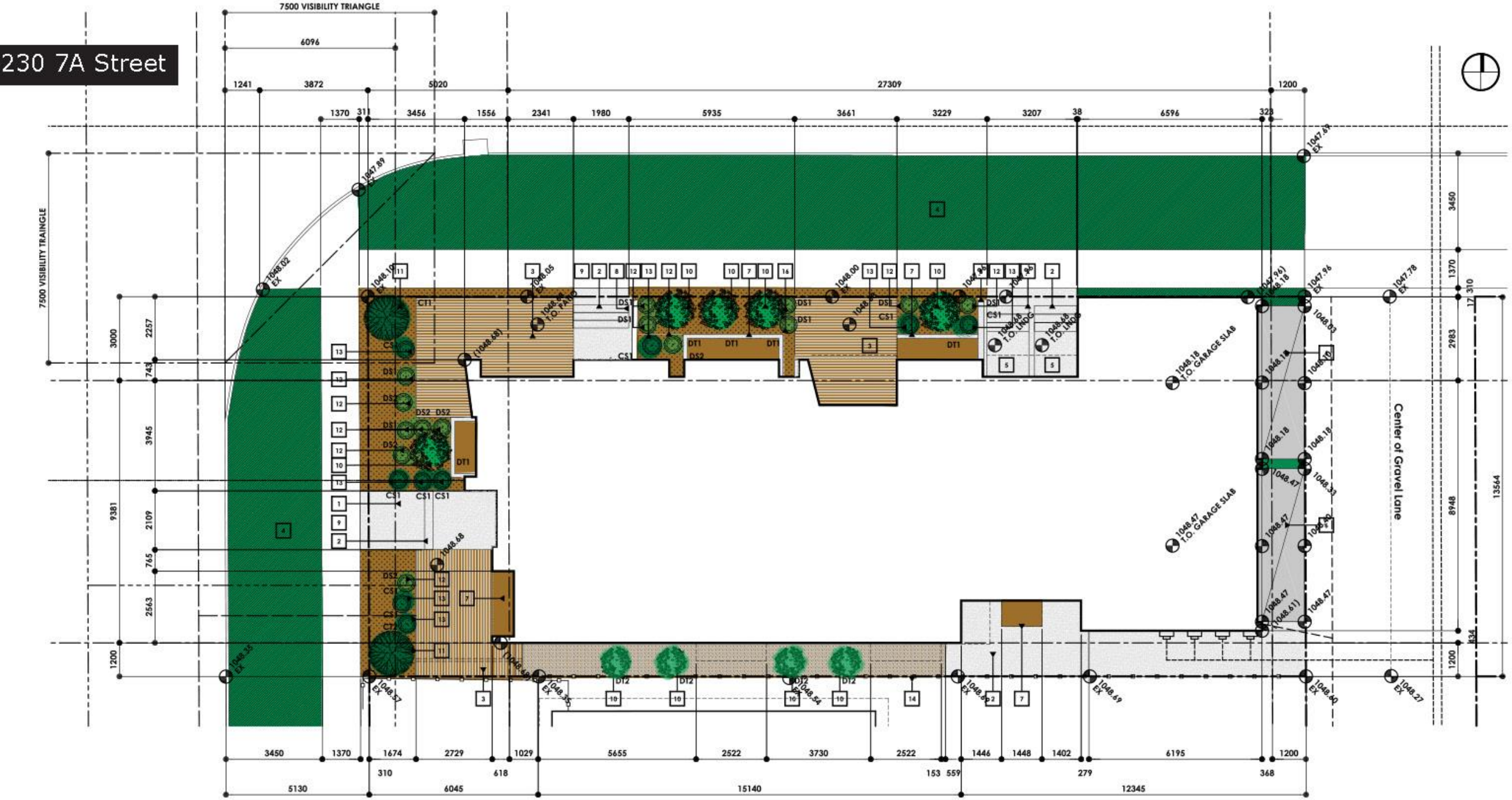
DATE

SCALE:  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE

Comprehensive Project Overview



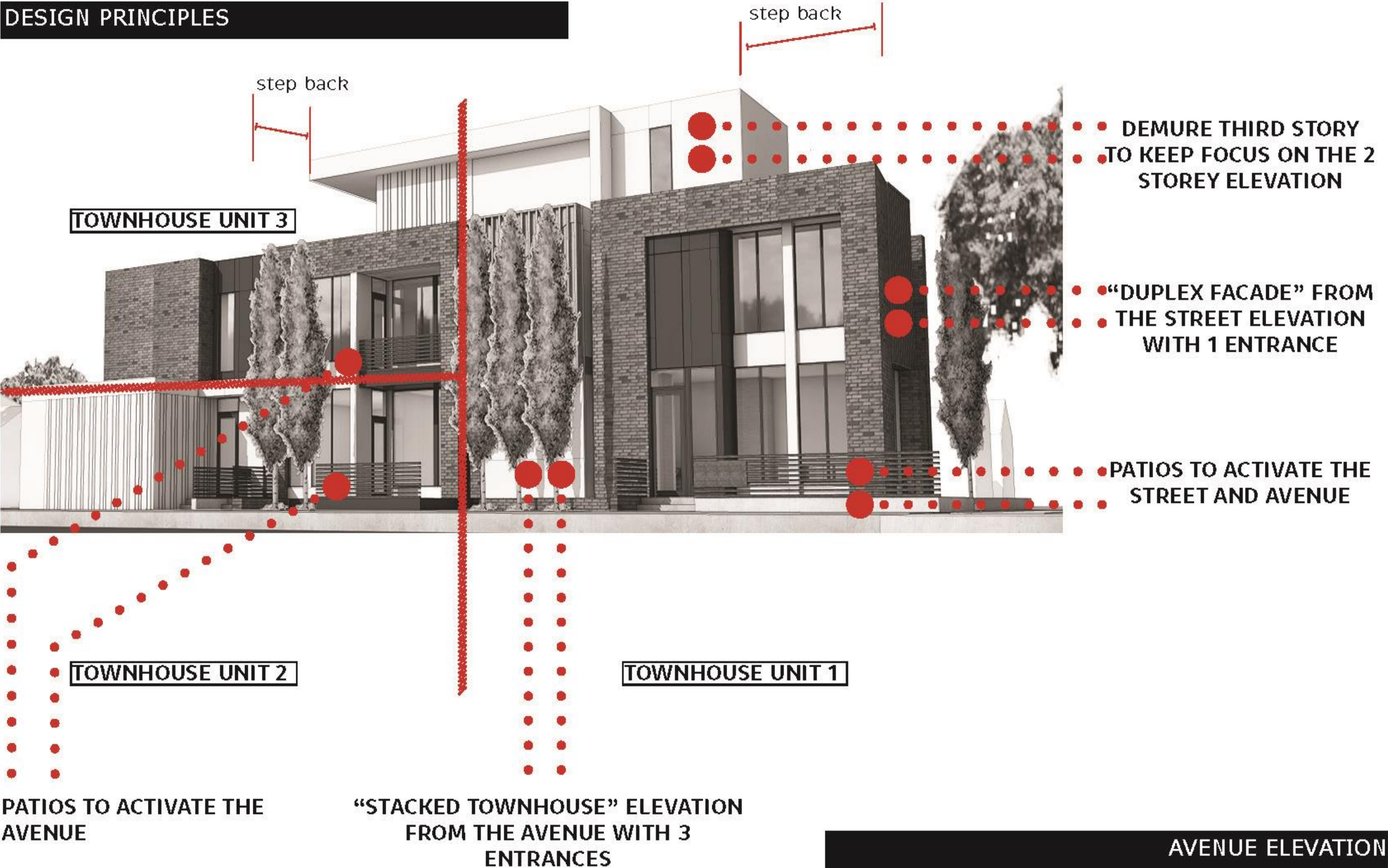
LEGEND NOTES:

1	New Concrete Walk / Pad	8	New Concrete Landscape Wall	00.00	Spot Elevations @ property line For Geodetic Elevations + 1000.00	Existing Deciduous Boulevard Tree	NEW Grass	NEW Wood Decking
2	New Concrete Steps / Landing	9	Existing Sidewalk to Remain	(00.00)	Spot Elevations @ building For Geodetic Elevations + 1000.00	New Exterior Pot Light 100W (See Elevations A-400)	NEW Concrete Apron	NEW Rock Mulch
3	New Wood Patio with Concrete Perimeter	10	New Deciduous Tree		Existing Trees / Shrubs to Remain	New Deciduous Tree	NEW Broom Finish Concrete	NEW Bark Mulch / Planting
4	Existing Boulevard Grass	11	New Coniferous Tree		Existing Trees / Shrubs to be Removed	New Coniferous Tree		
5	New Covered Entry Porch	12	New Deciduous Shrub			New Shrub		
6	New Concrete Apron	13	New Coniferous Shrub					
7	New Concrete Window Well	14	New Fence					



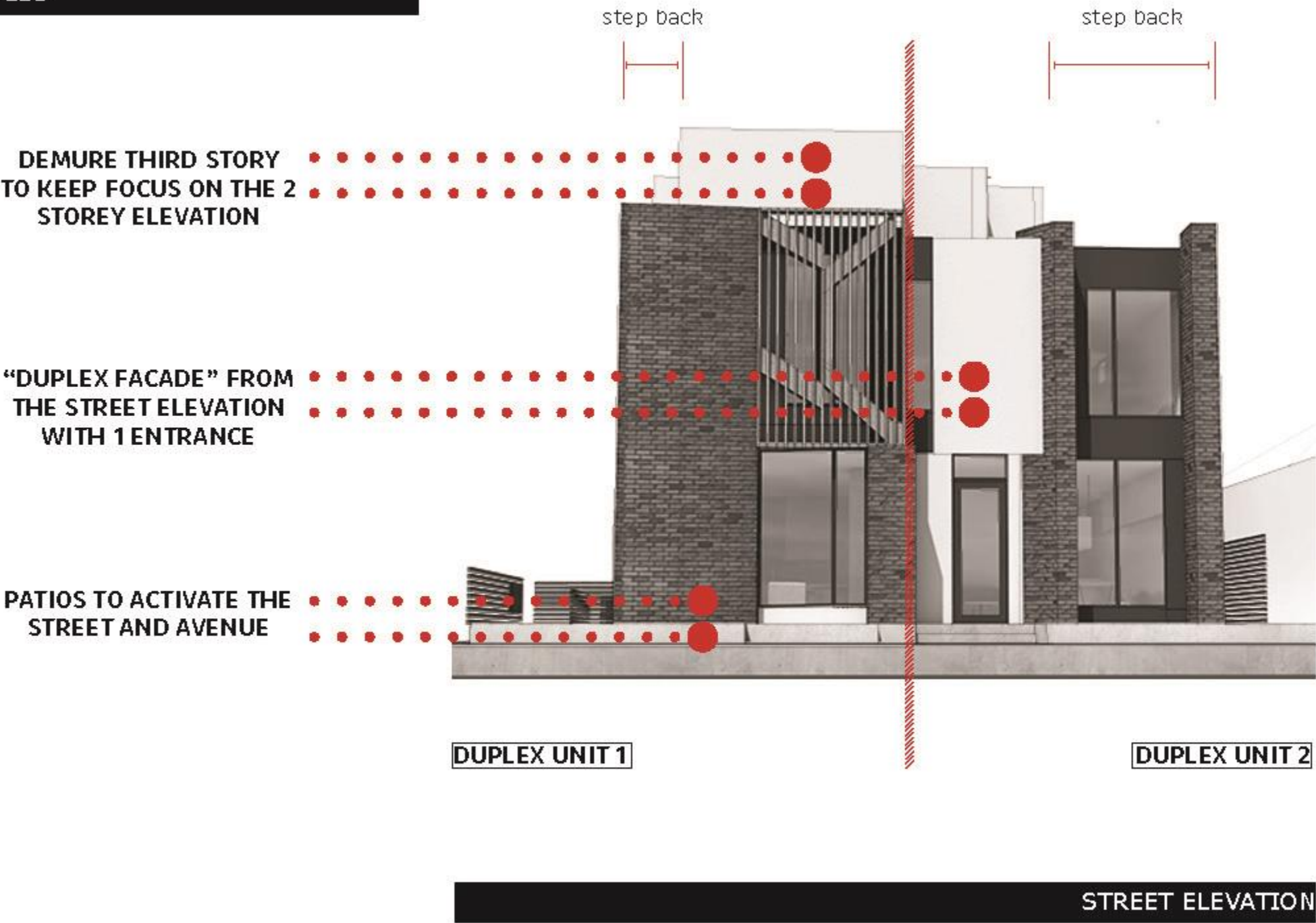
Comprehensive Project Overview

DESIGN PRINCIPLES



Comprehensive Project Overview

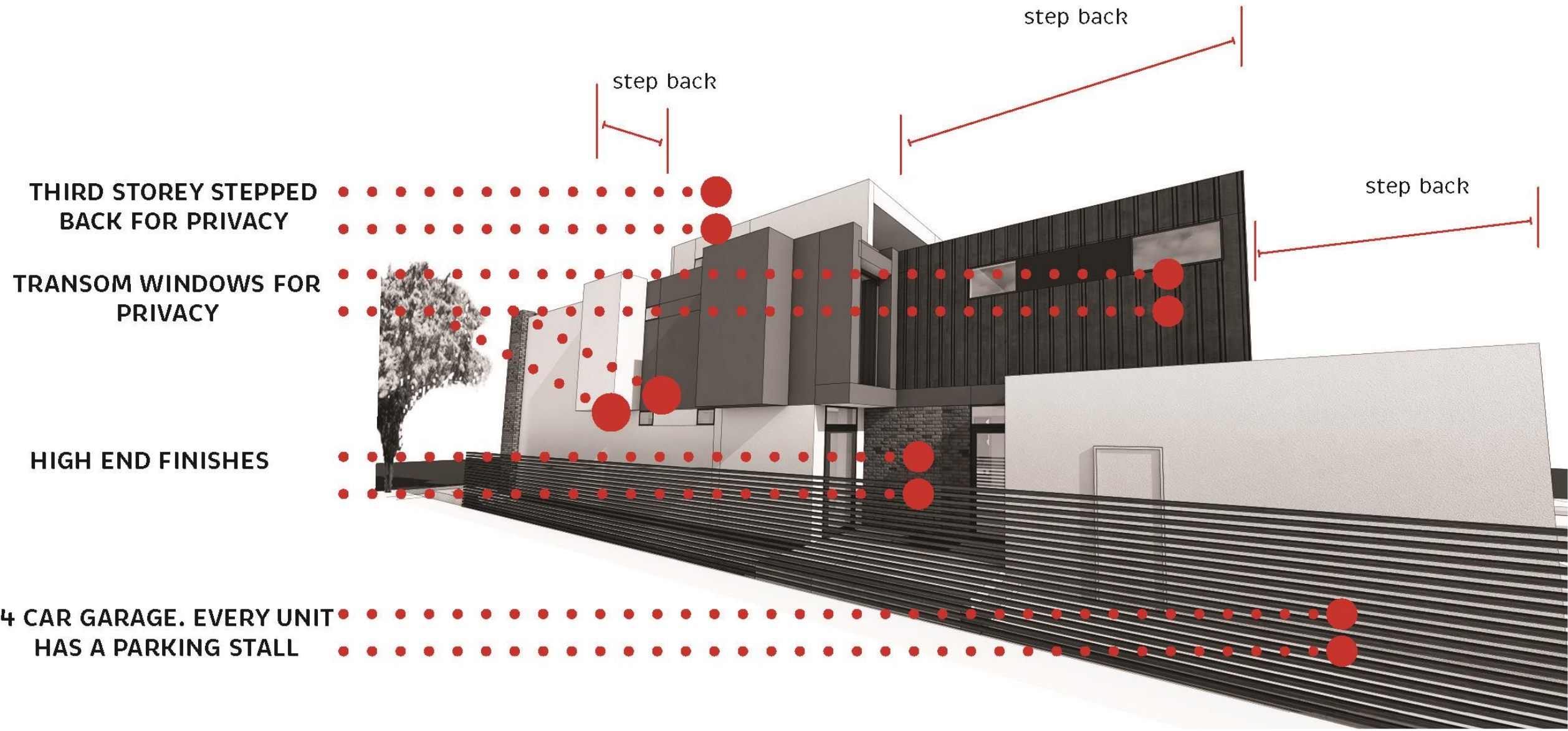
DESIGN PRINCIPLES





Comprehensive Project Overview

DESIGN PRINCIPLES



THIRD STOREY STEPPED  
BACK FOR PRIVACY

TRANSOM WINDOWS FOR  
PRIVACY

HIGH END FINISHES

4 CAR GARAGE. EVERY UNIT  
HAS A PARKING STALL

step back

step back

step back

SIDE YARD ELEVATION



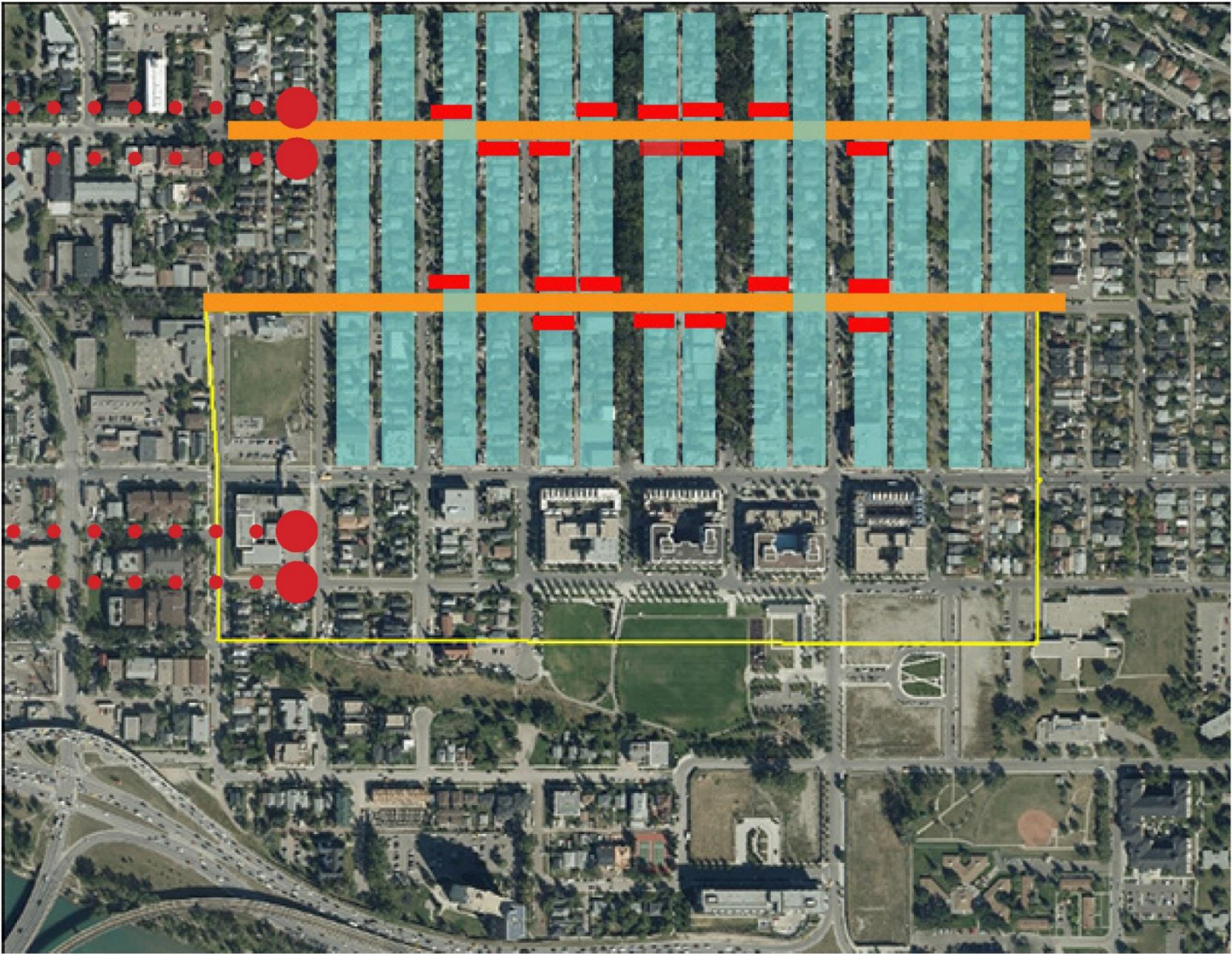
Comprehensive Project Overview

Urban Design - Activating the Street AND avenue

BRIDGELAND

GOOD URBAN DESIGN  
ADDRESSES THE AVENUE  
AND THE STREET

“MAIN STREETS” INITIATIVE  
AREA



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications are instruments of service, whether the project is awarded or not shall remain the property of Davignon Martin Architecture. You may make copies, having responsibility for information and reference to correct with your use and accuracy of the project. Cannot be otherwise copied, the plans, drawings, drawings, graphic representations and specifications shall not be used for addition or alteration to the project or any other project. All parts of these drawings shall not be reproduced or modified for publication of the Davignon Martin Architecture.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE:  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

#SHEET TITLE



Comprehensive Project Overview

MATERIALS

Charcoal Metal Panel

Natural Concrete

Charcoal brick

Glass: large vertical windows

Copper Screen

Warm Grey Stucco

Off-white Stucco and Metal Cladding



438 8TH STREET



230 7A STREET

Charcoal Metal Panel

Natural Concrete

Light Brick

Glass: large vertical windows

Warm Grey Stucco

Off-white Stucco

Off-white Metal Cladding

2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE

1331 16 Avenue SW  
Calgary Alberta Canada  
T2C 0L7  
403.282.6082  
davignonmartin.ca

Copyright: Plans, drawings, graphic representations and specifications are instruments of service. Whether the project is awarded or not shall remain the property of Davignon Martin Architecture. You may retain copies, including reproductions, copies, of plans, drawings, graphic representations and specifications for information and reference in connection with your use and occupancy of the project. Except for reference purposes, the plans, drawings, drawings, graphic representations and specifications shall not be used for addition or alteration to the project or any other project. All parts of these drawings shall not be reproduced or used without the permission of the Davignon Martin Architecture.

The contractor shall verify all dimensions and specifications before and during the construction project. Any errors, omissions and misinterpretations shall be reported to the Architect.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(s)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE



Comprehensive Project Overview



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications are prepared by or for the architect and are the property of the architect. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. All rights are reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. All rights are reserved.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE



Comprehensive Project Overview



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright 2016, Davignon Martin Architecture. All rights reserved. This document is the property of Davignon Martin Architecture. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Davignon Martin Architecture. This document is for informational purposes only and does not constitute an offer of any services. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Davignon Martin Architecture.

DATE: 10/10/2016  
REVISION: 01

PROFESSIONAL SEAL  
CONSULTANT

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

PROJECT TITLE



Comprehensive Project Overview



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE

1551 16th Avenue SW  
Calgary, Alberta, Canada  
T2C 0A7  
403-253-6801  
davignomartin.ca

Copyright: Plans, drawings, graphic representations and specifications are instruments of service created by the project architect or its staff. They are the property of Davignon Martin Architects. You may make copies, including reproductions, copies, of plans, drawings, drawings, graphic representations and specifications for information and reference in connection with your use and occupancy of the project. Except for reference purposes, the plans, drawings, drawings, graphic representations and specifications shall not be used for addition or alteration to the project or any other project. All uses of these drawings and specifications shall be subject to the permission of the Davignon Martin Architects.

The user must verify all dimensions and specifications before and during the construction project. Any errors, omissions and misinterpretations must be reported to the Architect.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(s)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE  
NTS

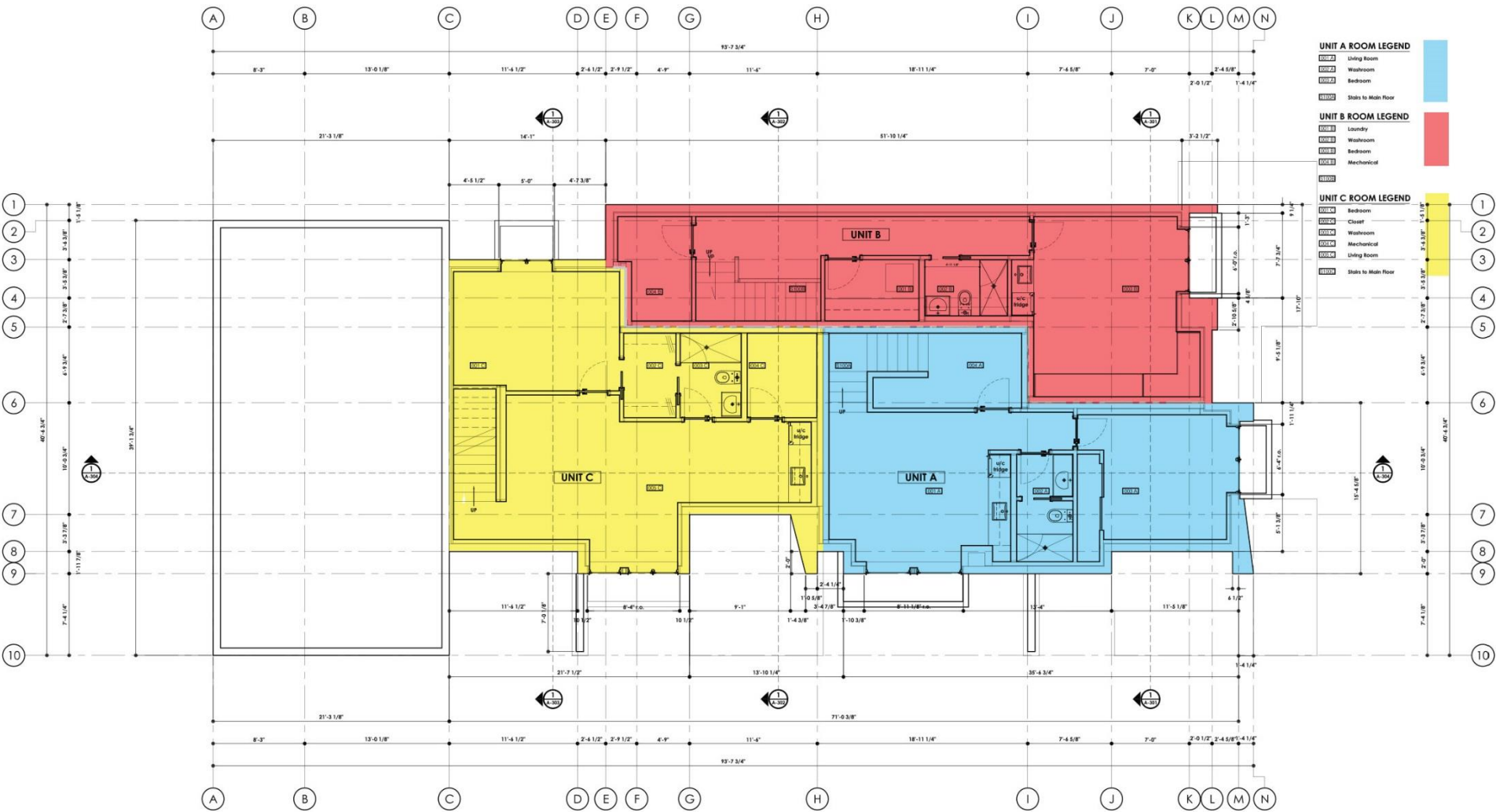
PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE



Comprehensive Project Overview

BASEMENT



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications are instruments of service, whether the project is awarded or not, that remain the property of Davignon Martin Architecture. You may make copies, having appropriate copies of your drawings, drawings, graphic representations and specifications for information and reference in connection with your use and accuracy of the project. Cannot be reproduced, stored, altered, deleted, modified, graphic representations and specifications shall not be used for additional or alternative to the project or any other project. All parts of these drawings shall not be reproduced or modified for publication of the Davignon Martin Architecture.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(s)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

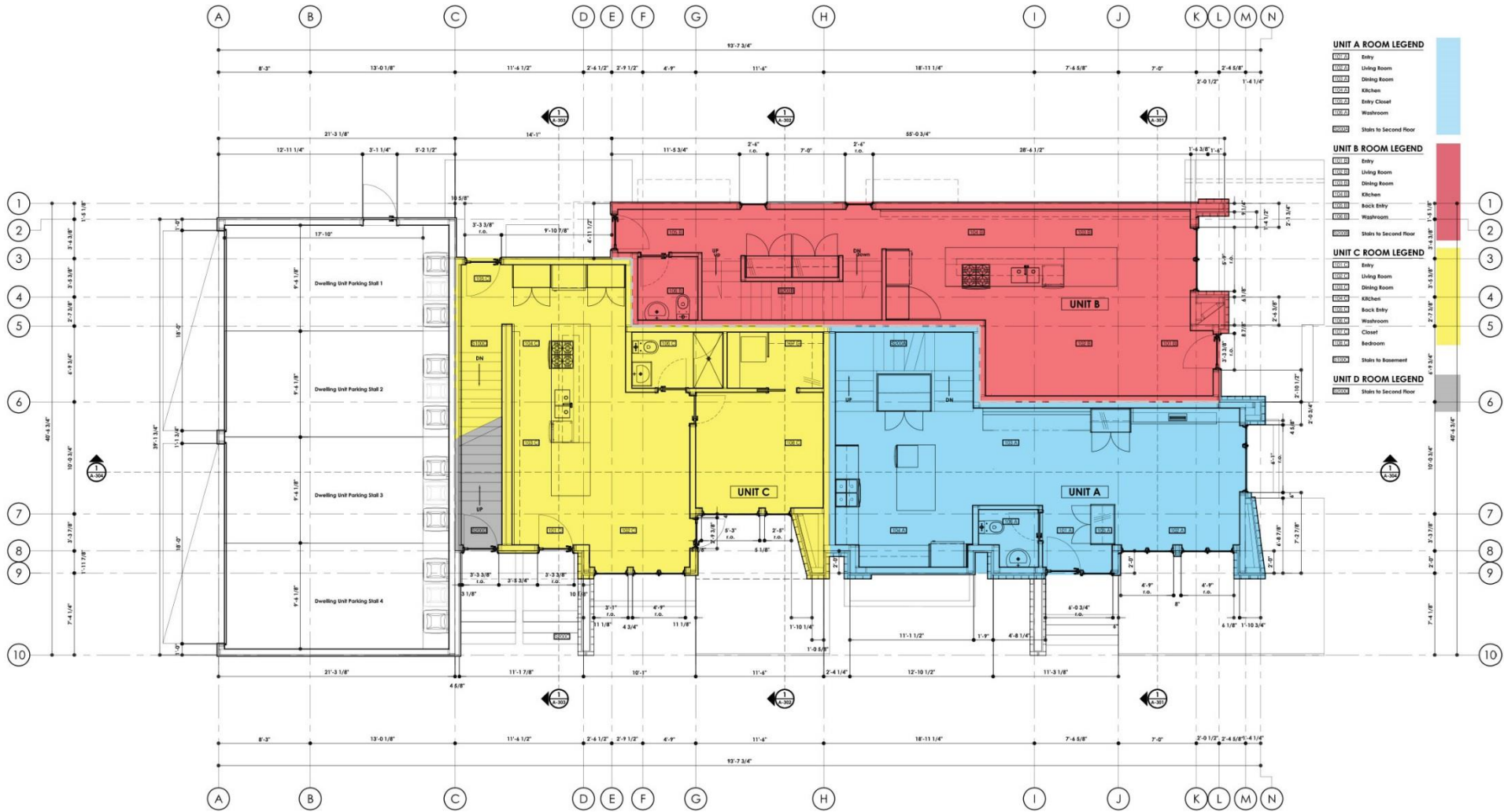
SCALE:  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE

Comprehensive Project Overview

MAIN FLOOR



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications are instruments of service, whether the project is awarded or not shall remain the property of Davignon Martin Architecture. You may make copies, having appropriate credit, of your drawings, drawings, graphic representations and specifications for information and reference to construct with your own and accuracy of the project. Cannot be otherwise reproduced, the plans, drawings, drawings, graphic representations and specifications shall not be used for addition or alteration to the project in any other project. All parts of these drawings shall not be reproduced or modified for publication of the Davignon Martin Architecture.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(s)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE:  
NTS

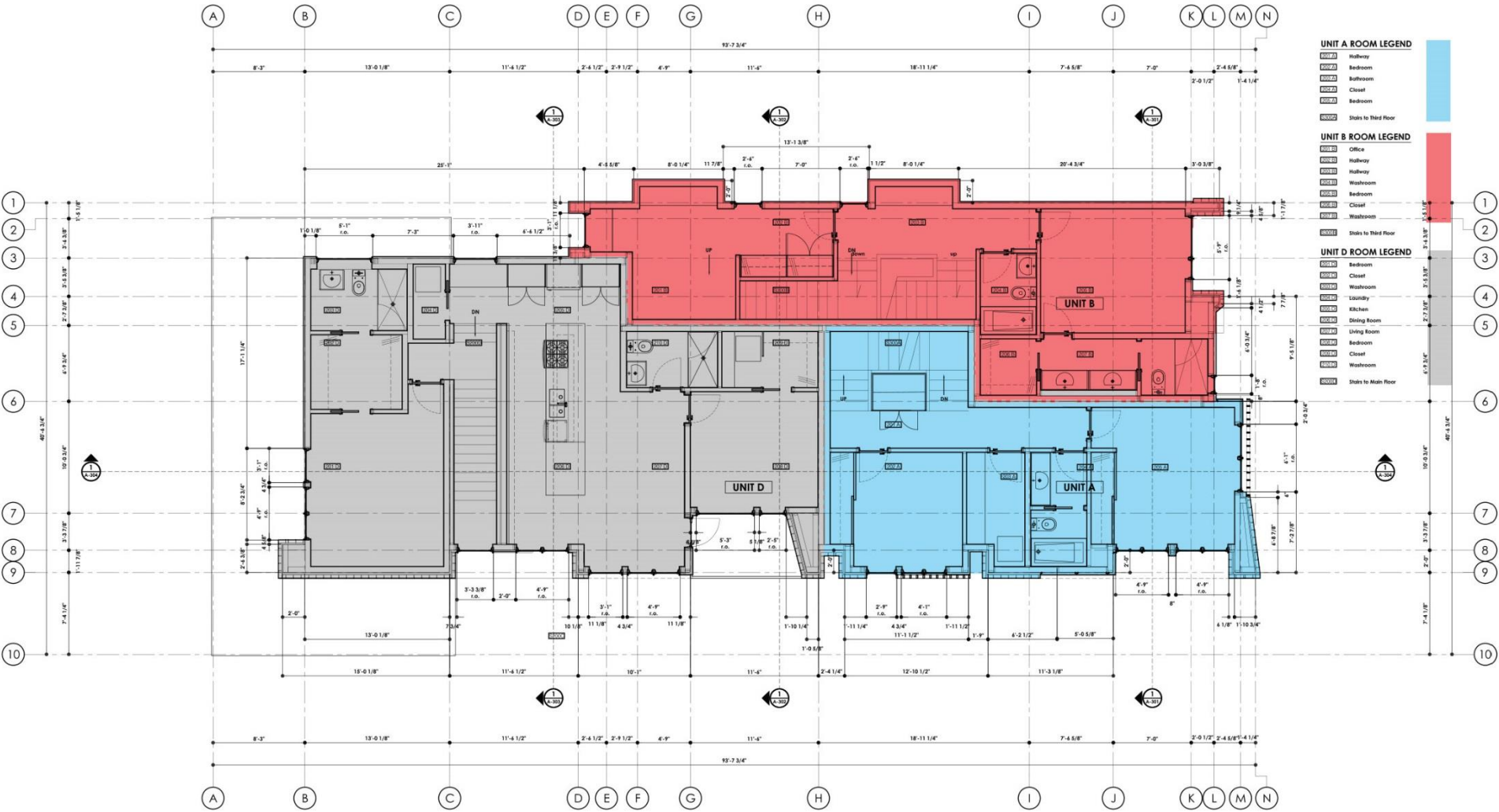
PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE



Comprehensive Project Overview

SECOND FLOOR



2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications are instruments of service, whether the project is awarded or not shall remain the property of Davignon Martin Architecture. You may make copies, having appropriate copies of your drawings, drawings, graphic representations and specifications for information and reference in connection with your use and accuracy of the project. Cannot be otherwise reproduced, the plans, drawings, drawings, graphic representations and specifications shall not be used for addition or alteration to the project in any other project. All parts of these drawings shall not be reproduced or modified for publication of the Davignon Martin Architecture.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

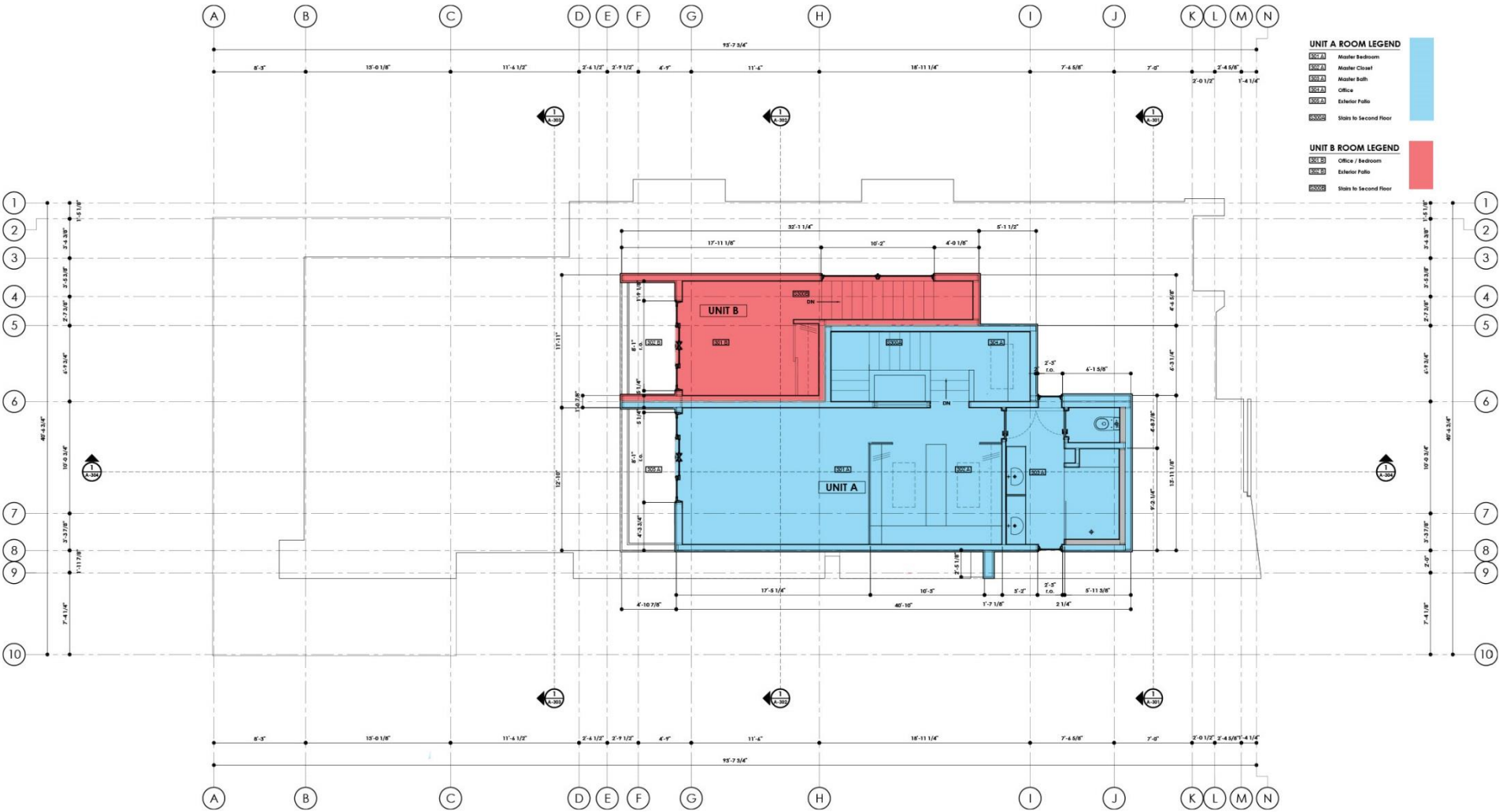
SCALE:  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE

Comprehensive Project Overview

THIRD FLOOR



- UNIT A ROOM LEGEND**
- 101A Master Bedroom
  - 102A Master Closet
  - 103A Master Bath
  - 104A Office
  - 105A Exterior Patio
  - 106A Stairs to Second Floor
- UNIT B ROOM LEGEND**
- 201B Office / Bedroom
  - 202B Exterior Patio
  - 203B Stairs to Second Floor

2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications are instruments of service, whether the project is awarded or not shall remain the property of Davignon Martin Architecture. You may make copies, having appropriate credit, of your drawings, drawings, graphic representations and specifications for information and reference in connection with your use and accuracy of the project. Cannot be reproduced, the plans, drawings, drawings, graphic representations and specifications shall not be used for addition or alteration to the project or any other project. All parts of these drawings shall not be reproduced or modified for publication of the Davignon Martin Architecture.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE:  
NTS

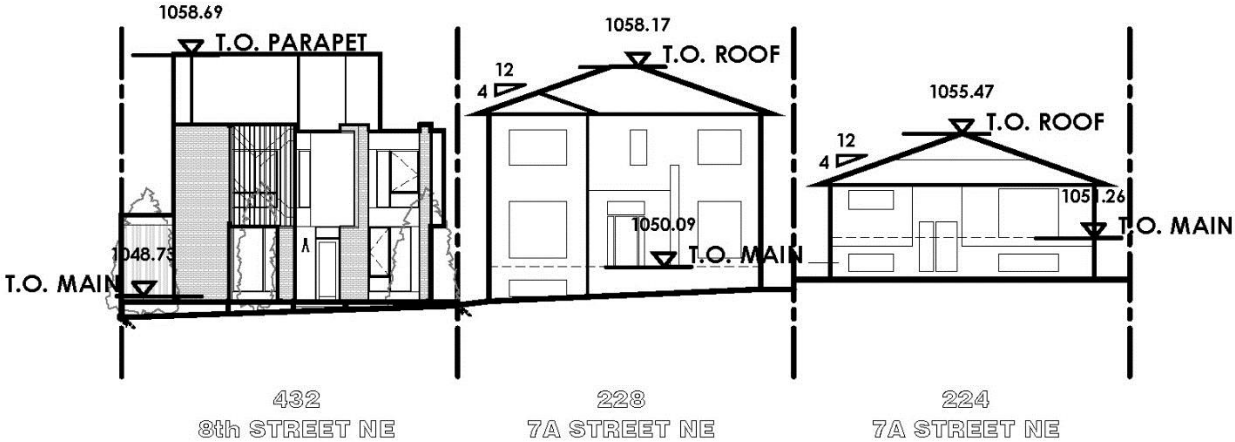
PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE

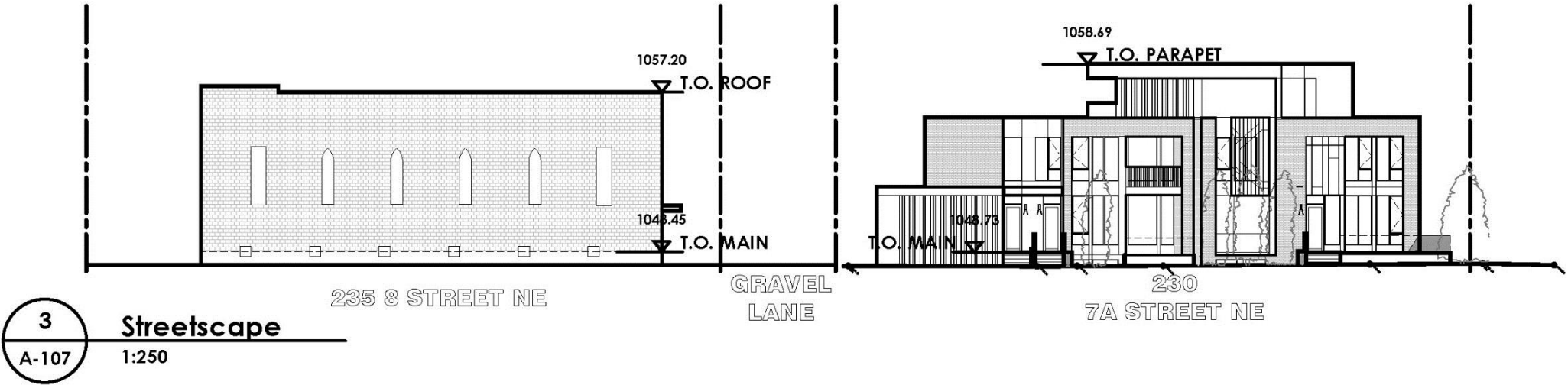


Comprehensive Project Overview

230 7A Street Streetscapes



2 Streetscape  
A-107 1:250



3 Streetscape  
A-107 1:250

2016 /// 18

DAVIGNON MARTIN  
ARCHITECTURE



Copyright: Plans, drawings, graphic representations and specifications are instruments of service, whether the project is awarded or not shall remain the property of Davignon Martin Architecture. You may make copies, having responsibility for information and reference to contractor with your own use and accuracy of the project. Cannot be reference to project, the plans, drawings, drawings, graphic representations and specifications shall not be used for addition or alteration to the project or any other project. All parts of these drawings shall not be reproduced or modified for publication of the Davignon Martin Architecture.

ISSUE No. DATE  
REVISION

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
Bridgeland 4

DATE

SCALE:  
NTS

PROJECT LOCATION  
230 7A Street NE  
438 8 Street NE

SHEET TITLE