

Development Permit Plans

# STOREWEST - MEDICINE HILL STORAGE

LOT: 12 BLOCK: 3 PLAN: 251 0905  
1152 NA'A DRIVE S.W., CALGARY, ALBERTA

U 2026-02-24 ISSUED FOR 'DART' DECISION MEETING



**Axiom**  
Architecture Inc.  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311 www.AxiomArch.ca



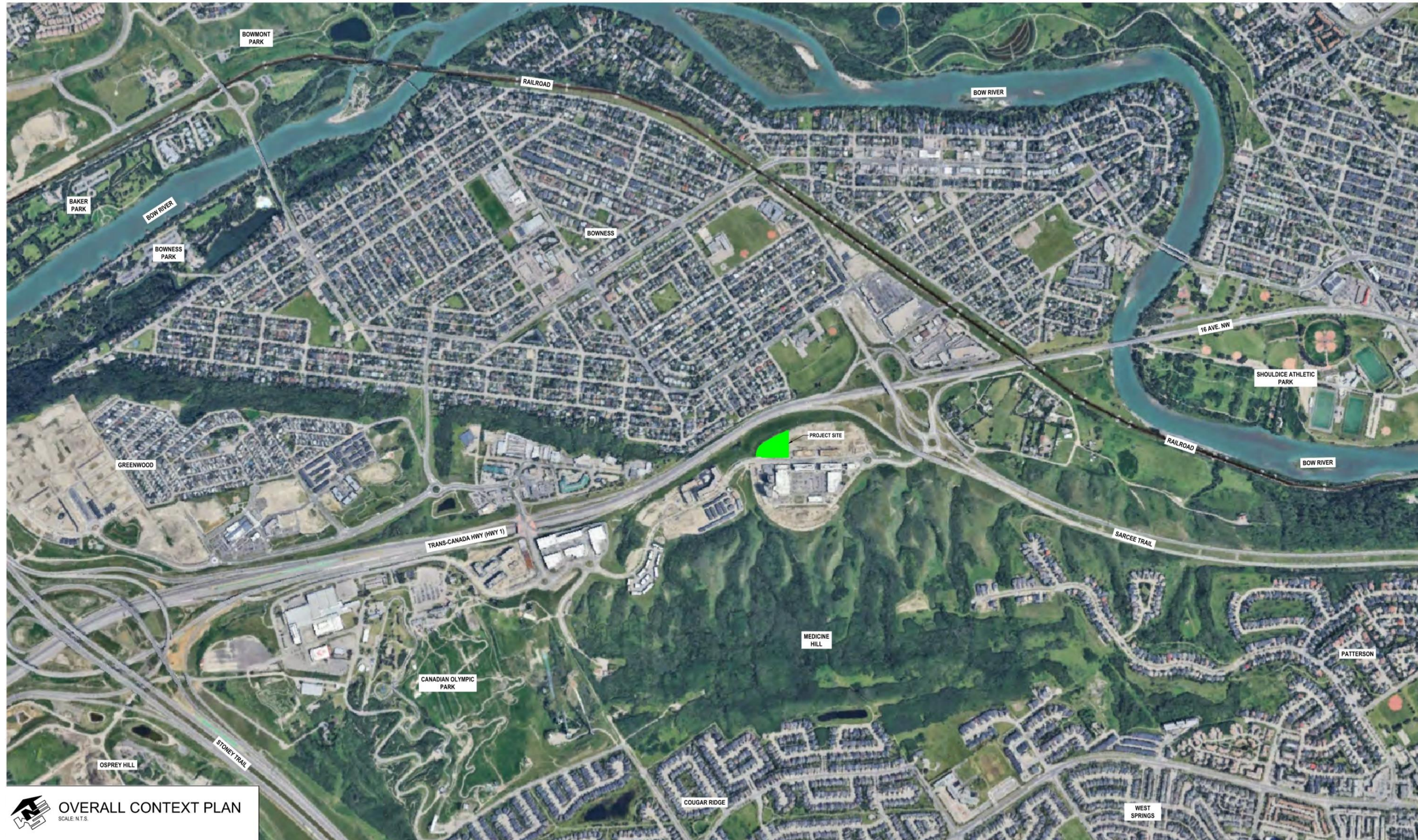
ARCHITECTURAL  
PROJECT # 25-010

CLIENT



DEVELOPER

DRAWING LIST (DEVELOPMENT PERMIT)		
ARCHITECTURAL (AXIOM ARCHITECTURE INC.)		
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**OVERALL CONTEXT PLAN**  
SCALE: N.T.S.

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.377.0232  
EMAIL: KEON@KBENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311  
www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR 'DART' DECISION MEETING**

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

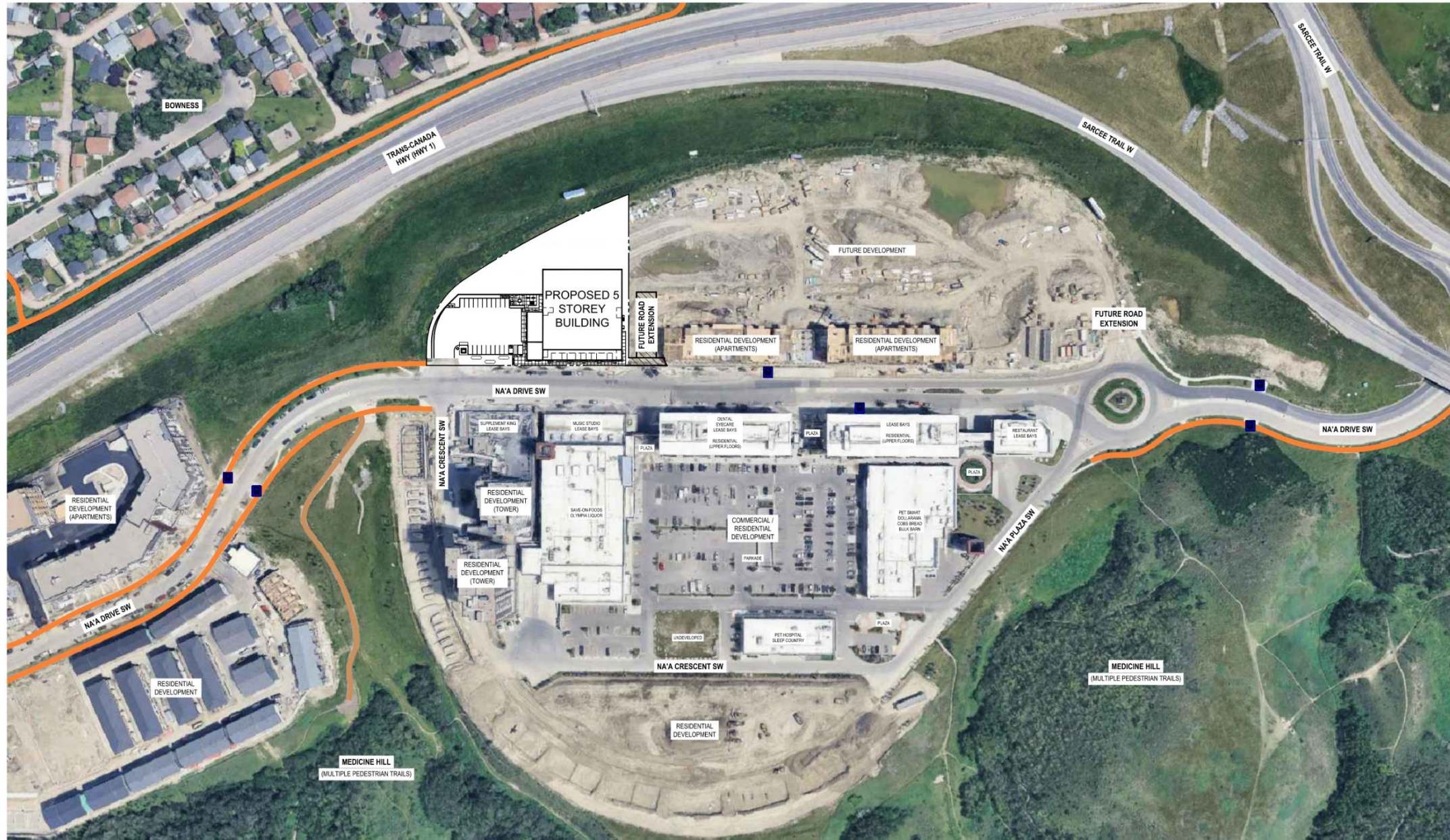
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U	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING
T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW
R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION
Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

DRAWING TITLE:

**OVERALL CONTEXT PLAN**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A0.1**

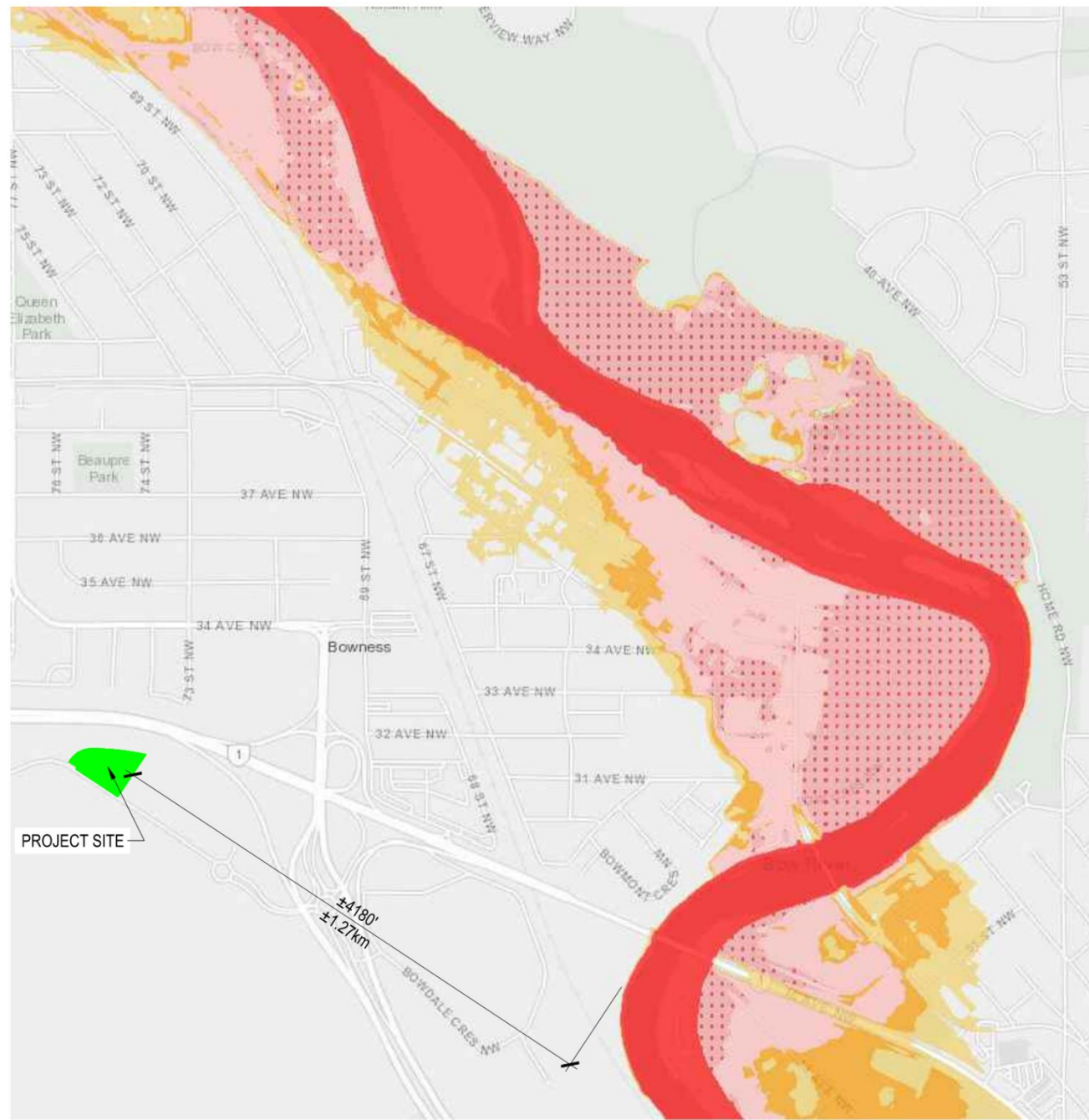


**ENLARGED CONTEXT PLAN**  
SCALE: N.T.S.

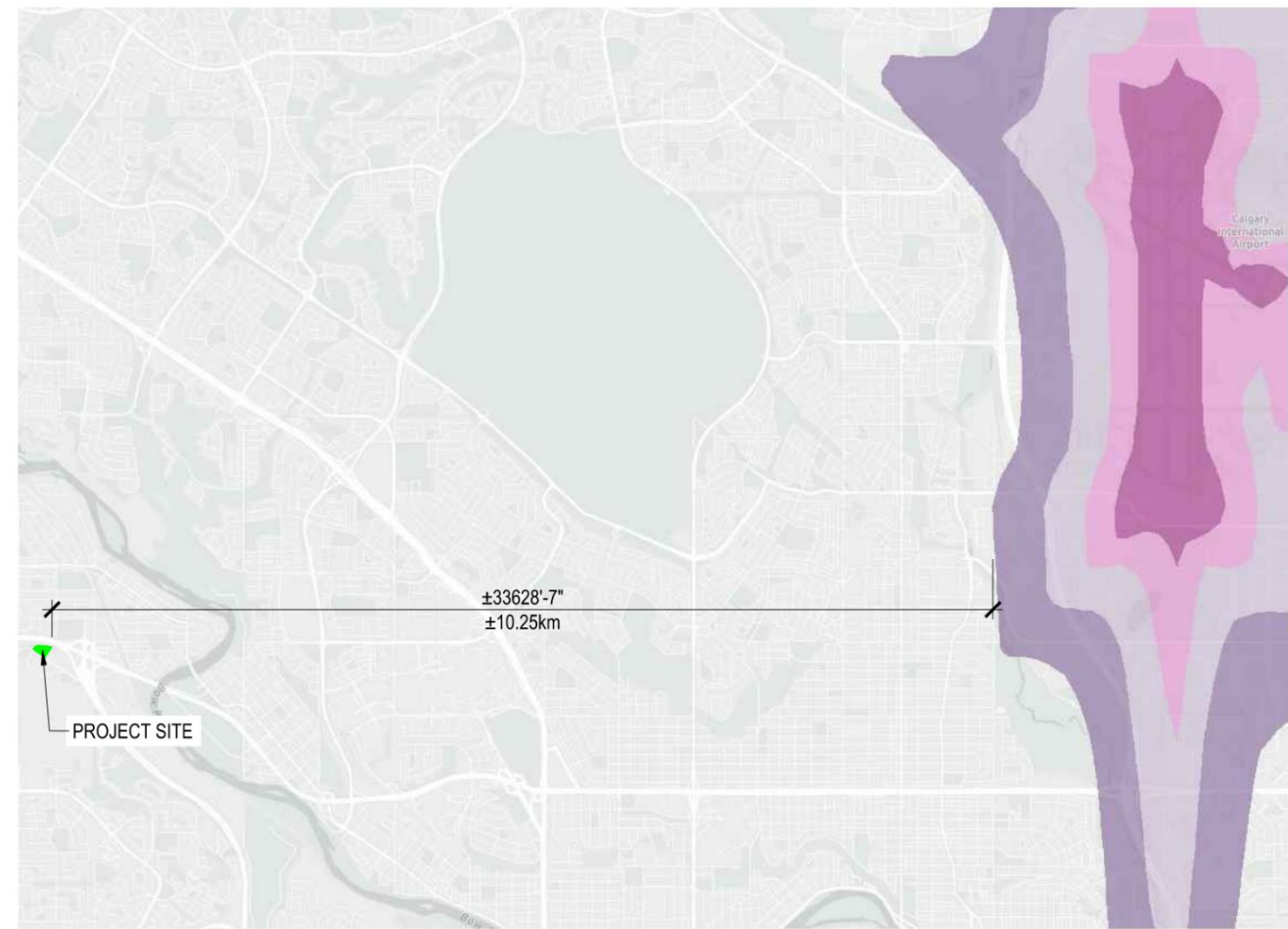
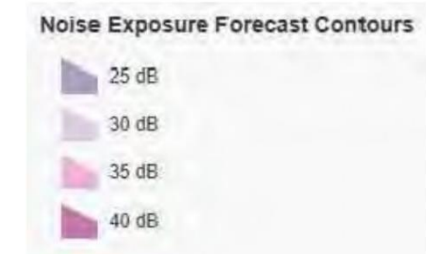
- SYMBOL LEGEND**
- CITY OF CALGARY BUS STOP
  - TRAIL
  - REGIONAL OFF STREET PATHWAY

BYLAW INFORMATION		LAND USE BYLAW # 35D2025 & 1P2007
<b>ZONING:</b>		
DIRECT CONTROL - 35D2025 (C-COR1)		
<b>SITE SIZE:</b>		
8,099.59 sqm (87,163.24 sqft) (2.00 acres)		
<b>SITE COVERAGE:</b>		
REQUIRED:	AS DETERMINED BY DEVELOPMENT AUTHORITY	
PROVIDED:	33.41% COVERAGE	
<b>BUILDING AREAS:</b>		
MAIN FLOOR	2,165.21 sqm (23,306.11 sqft)	
SECOND FLOOR / FOOTPRINT	2,705.75 sqm (29,124.44 sqft)	
THIRD FLOOR	2,165.21 sqm (23,306.11 sqft)	
FOURTH FLOOR	2,165.21 sqm (23,306.11 sqft)	
FIFTH FLOOR	2,165.21 sqm (23,306.11 sqft)	
GROSS FLOOR AREA	11,366.58 sqm (122,348.88 sqft)	
F.A.R.	1.40 (2.0 MAXIMUM)	
<b>BUILDING HEIGHT:</b>		
REQUIRED:	MAX. 20.0m (65'-7 13/32")	
PROVIDED:	17.13 m (56'-2 1/2")	
<b>FRONT YARD SETBACK: (N/A DRIVE S.W.)</b>		
REQUIRED:	MAX. 3.0m (9'-10 1/8")	
PROVIDED: (S)	3.0m (9'-10 1/8")	
<b>REAR YARD SETBACK:</b>		
REQUIRED:	3.0m (9'-10 1/8")	
PROVIDED: (N)	21.0m (68'-10 11/16")	
<b>SIDE YARD SETBACKS:</b>		
REQUIRED:	3.0m (9'-10 1/8")	
PROVIDED: (E)	3.68m (12'-0 7/8")	
PROVIDED: (W)	36.37m (119'-4")	
<b>LANDSCAPING REQUIREMENTS:</b>		
SEE LANDSCAPE BYLAW INFORMATION ON A1.2 FOR MORE INFORMATION		
<b>PARKING SPACES:</b>		
REQUIRED:	SELF STORAGE: N/A OFFICE: 1 STALL / 100 sqm (281.81 sqm / 100 = 2.8 [3] STALLS) RETAIL: 1 STALL / 250 sqm (67.08 sqm / 250 = 0.39 [1] STALLS)	
TOTAL REQUIRED:	4 STALLS	
PROVIDED:	21 STALLS (20 REGULAR & 1 BARRIER FREE)	
STALLS LABELED AS VISITOR (V), STAFF (S) & OFFICE (O)		
<b>LOADING SPACES:</b>		
REQUIRED:	1 STALL / 9,300 sqm OF G.F.A. (11,366.58 sqm / 9,300 = 1.2 [2] STALLS)	
PROVIDED:	3 STALLS	
<b>BICYCLE PARKING:</b>		
REQUIRED: (CLASS 1)	MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 0.5 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS EQUALS OR EXCEEDS 20.	
REQUIRED: (CLASS 2)	MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 2.0 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS IS EQUAL TO OR LESS 20.	
MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 0.1 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS IS GREATER THAN 20.		
ALL OTHER USES IS 5% OF THE NUMBER OF MOTOR VEHICLE PARKING STALLS		
REQUIRED:	5% OF 21 MOTOR VEHICLE STALLS = (1.05) 2 STALLS	
PROVIDED:	2 STALLS	
<b>COMMERCIAL USE:</b>		
REQUIRED:	MIN. 10% OF THE GROUND FLOOR G.F.A. MUST CONTAIN COMMERCIAL USES (10% OF 2,705.75sqm [29,124.44sqft] = 270.58sqm [2,912.50sqft])	
PROVIDED:	281.81sqm [3,033.38sqft]	
REQUIRED:	MIN. 60% OF THE LENGTH OF THE FACADE LOCATED ON THE GROUND FLOOR AND FRONTING N/A DRIVE SW MUST CONTAIN COMMERCIAL USES (60% OF 55.37m = 33.22m)	
PROVIDED:	46.10m	
<b>RULES FOR FACADES:</b>		
SEE ADDITIONAL INFORMATION ON A5.1.		
REQUIRED:	THE FACADE OF A BUILDING ON THE GROUND FLOOR FACING N/A DRIVE SW MUST PROVIDE WINDOWS OF TRANSPARENT AND UNOBSCURED GLASS THAT OCCUPY A MIN. 50% OF THE FACADE BETWEEN THE HEIGHT OF 0.6m AND 2.4m (50% OF 99.67sqm [1,072.84sqft] = 49.84sqm [536.47sqft])	
PROVIDED:	55.73 sqm [599.84sqft] (55.9%) UNOBSCURED GLASS	
<b>RULES FOR SELF STORAGE FACILITY:</b>		
SEE ADDITIONAL INFORMATION ON A3.3.		
INDIVIDUAL ACCESS TO EACH SELF STORAGE UNIT MUST BE ENTIRELY INTERNAL TO THE BUILDING.		
REQUIRED:	THE FACADE OF A BUILDING LOCATED ABOVE THE GROUND FLOOR AND FACING A STREET MUST PROVIDE WINDOWS WITH UNOBSCURED GLASS THAT OCCUPY A MINIMUM OF 15% OF THE FACADE. THE PERIMETER WINDOWS ABOVE THE GROUND FLOOR MUST BE ABUTTED BY INTERNAL CIRCULATION CORRIDORS THAT ACCESS THE SELF STORAGE UNITS, OR BY COMMON AREAS (15% OF 439.46sqm [4,700.31sqft] = 65.92sqm [709.56sqft])	
PROVIDED:	71.21sqm [766.50sqft] (16.2%) UNOBSCURED GLASS	
REQUIRED:	A SELF STORAGE FACILITY MUST NOT EXCEED 90% OF THE GROUND FLOOR G.F.A. OF A BUILDING (90% OF 2,705.75sqm [29,124.44sqft] = MAX. 2,435.18sqm [26,212.06sqft])	
PROVIDED:	2,165.21sqm [23,306.13sqft]	

<p>CLIENT:</p> <p><b>EAGLE BUILDERS</b></p>	<p>MECHANICAL / ELECTRICAL:</p> <p><b>KB ENGINEERING LIMITED</b> RED DEER COUNTY, ALBERTA, CANADA PHONE: 587.377.0232 EMAIL: KEON@KBENGINEERING.CA</p>	<p>STRUCTURAL:</p> <p><b>Grubb Engineering</b></p>	<p>ARCHITECTURAL:</p> <p><b>Axiom Architecture Inc.</b> Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5 PH: 403-358-3311 www.AxiomArch.ca</p> <p>AXIOM ARCHITECTURE INC. (RED DEER) <b>PERMIT No. AC 13659</b> ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA</p>	<p>STAMPS:</p> <p><b>ISSUED FOR 'DART' DECISION MEETING</b></p>	<p>PROJECT INFORMATION:</p> <p><b>STOREWEST - MEDICINE HILL STORAGE</b></p> <p>LOT: 12 BLOCK: 3 PLAN: 251 0905 CIVIC ADDRESS: 1152 N/A DRIVE S.W. CALGARY, ALBERTA</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>ISSUE</th> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>U</td> <td>-</td> <td>2026-02-24</td> <td>ISSUED FOR 'DART' DECISION MEETING</td> </tr> <tr> <td>T</td> <td>-</td> <td>2026-02-20</td> <td>RESUBMITTED FOR DTR-3 COMMENTS</td> </tr> <tr> <td>S</td> <td>-</td> <td>2026-02-13</td> <td>LOCKER LAYOUT ISSUED FOR REVIEW</td> </tr> <tr> <td>R</td> <td>-</td> <td>2026-02-11</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>Q</td> <td>-</td> <td>2026-01-14</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>P</td> <td>-</td> <td>2026-01-12</td> <td>RESUBMITTED FOR DTR-2 COMMENTS</td> </tr> </tbody> </table>	ISSUE	REV.	DATE	DESCRIPTION	U	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING	T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS	S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW	R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION	Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION	P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS	<p>DRAWING TITLE:</p> <p><b>ENLARGED CONTEXT PLAN AND BYLAW INFORMATION</b></p>	<p>JOB NUMBER: 25-010 DATE: APR. 16, 2025 DRAWN BY: HKB</p> <p><b>A0.2</b></p>
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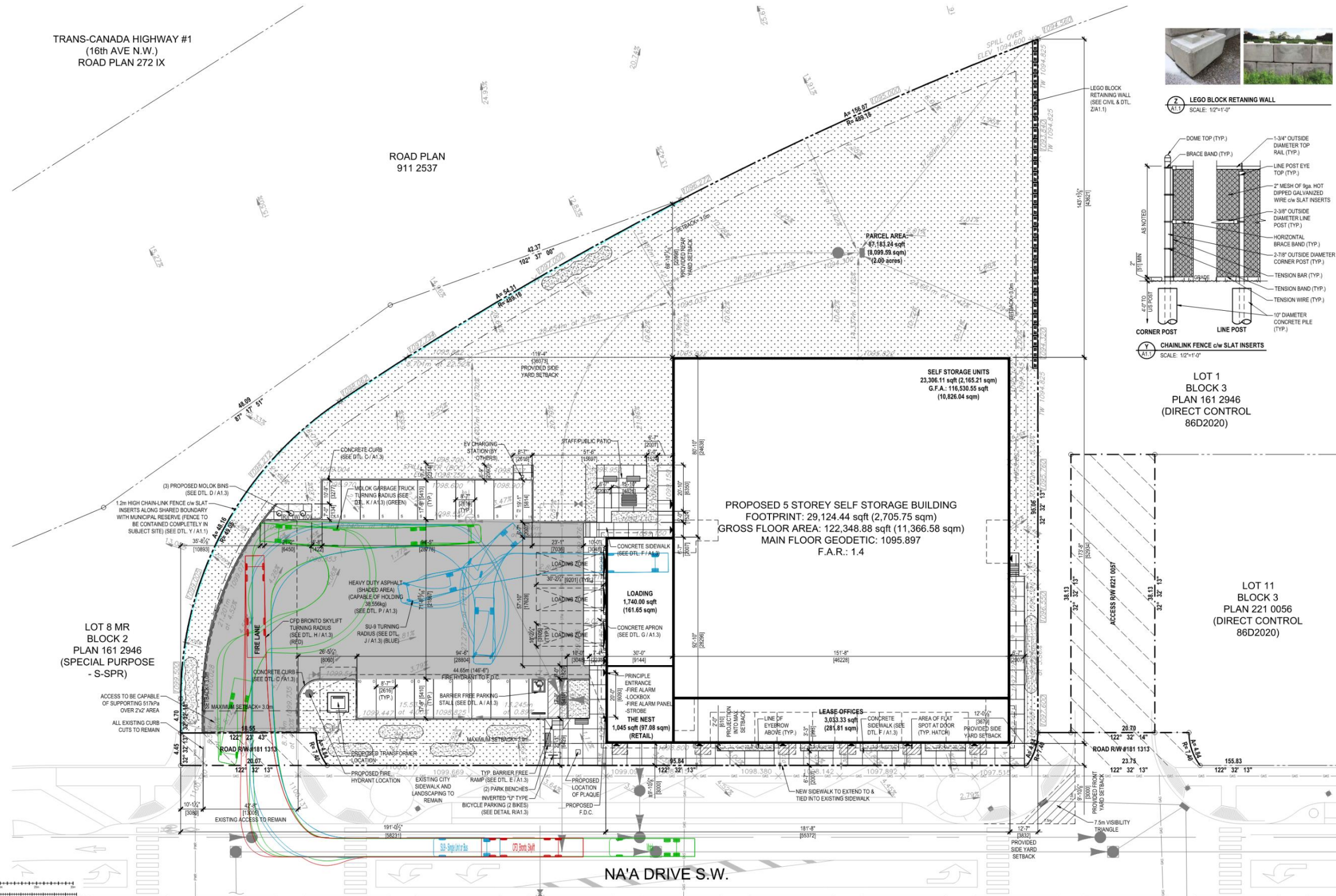
- Design Flood**
- Floodway
  - Flood Fringe
  - ▨ High Hazard Flood Fringe
  - ▨ Protected Flood Fringe
  - Overland Flow (Flood Fringe)
  - Flood Berm
- Larger Floods**
- 1:200 Flood
  - 1:500 Flood



**FLOOD MAP**  
SCALE: N.T.S.

**AVAP MAP**  
SCALE: N.T.S.

<p>CLIENT:</p> <p><b>EAGLE BUILDERS</b></p>	<p>MECHANICAL / ELECTRICAL:</p> <p><b>KB ENGINEERING LIMITED</b> RED DEER COUNTY, ALBERTA, CANADA PHONE: 587.377.0232 EMAIL: KEON@KBENGINEERING.CA</p>	<p>STRUCTURAL:</p> <p><b>Grubb Engineering</b></p>	<p>ARCHITECTURAL:</p> <p><b>Axiom Architecture Inc.</b> Suits 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5 Ph: 403-358-3311 www.AxiomArch.ca</p> <p style="border: 1px solid black; padding: 2px; font-size: small;">AXIOM ARCHITECTURE INC. (RED DEER) <b>PERMIT No. AC 13659</b> ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA</p>	<p>STAMPS:</p> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">ISSUED FOR 'DART' DECISION MEETING</p>	<p>PROJECT INFORMATION:</p> <p><b>STOREWEST - MEDICINE HILL STORAGE</b></p> <p>LOT: 12 BLOCK: 3 PLAN: 251 0905 CIVIC ADDRESS: 1152 N/A DRIVE S.W. CALGARY, ALBERTA</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>ISSUE</th> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>U</td> <td>-</td> <td>2026-02-24</td> <td>ISSUED FOR 'DART' DECISION MEETING</td> </tr> <tr> <td>T</td> <td>-</td> <td>2026-02-20</td> <td>RESUBMITTED FOR DTR-3 COMMENTS</td> </tr> <tr> <td>S</td> <td>-</td> <td>2026-02-13</td> <td>LOCKER LAYOUT ISSUED FOR REVIEW</td> </tr> <tr> <td>R</td> <td>-</td> <td>2026-02-11</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>Q</td> <td>-</td> <td>2026-01-14</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>P</td> <td>-</td> <td>2026-01-12</td> <td>RESUBMITTED FOR DTR-2 COMMENTS</td> </tr> </tbody> </table>	ISSUE	REV.	DATE	DESCRIPTION	U	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING	T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS	S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW	R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION	Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION	P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS	<p>DRAWING TITLE:</p> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">FLOOD &amp; AVA MAPS</p>	<p>JOB NUMBER: 25-010 DATE: APR. 16, 2025 DRAWN BY: KBK</p> <div style="border: 2px solid black; padding: 10px; text-align: center; font-size: 2em; font-weight: bold; margin-top: 10px;">A0.3</div>
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**SITE PLAN**  
SCALE: 1"=20'-0"

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

**Axiom Architecture Inc.**  
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PERMIT No. AC 13655  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NA'A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

REV.	DATE	DESCRIPTION
Y	2026-03-25	ISSUED FOR CPC MEETING
X	2026-03-18	ISSUED FOR BUILDING PERMIT
W	2026-03-17	ISSUED FOR SUBCONSULTANT COORDINATION
V	2026-03-03	ISSUED FOR BUILDING PERMIT
U	2026-02-24	ISSUED FOR 'DART' DECISION MEETING
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DRAWING TITLE:

**SITE PLAN**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A1.1**

BYLAW INFORMATION		LAND USE BYLAW # 35D/2025 & 1P/2007
<b>LANDSCAPING REQUIREMENTS:</b>		
REQUIRED:	WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A PARCEL DESIGNATED AS A COMMERCIAL, INDUSTRIAL OR SPECIAL PURPOSE DISTRICT, THE SETBACK AREA MUST BE A SOFT SURFACED LANDSCAPED AREA. MAY HAVE A SIDEWALK ALONG THE LENGTH OF THE BUILDING; AND MUST PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 35.0 sqm, OR FOR EVERY 90.0 sqm, WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM.	
	WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH N/A DRIVE SW, THE SETBACK AREA MAY BE SOFT SURFACED LANDSCAPED AREA OR HARD SURFACED LANDSCAPED AREA. MUST PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 35.0 SQM OF LANDSCAPED AREA PROVIDED, AND PROVIDE TREES PLANTED IN A LINEAR ARRANGEMENT ALONG THE LENGTH OF THE SETBACK AREA.	
	ALL SOFT SURFACED LANDSCAPED AREAS MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS A LOW WATER IRRIGATION SYSTEM IS PROVIDED.	
	A MINIMUM OF 25% OF ALL TREES MUST BE CONIFEROUS.	
	WESTNORTH SETBACKS: 485.97sqm / 50sqm = (8.3) 10 TREES & (18.6) 19 SHRUBS EAST SETBACK: 288.19sqm / 50sqm = (5.8) 6 TREES & (11.5) 12 SHRUBS SOUTH SETBACK (N/A DRIVE S.W.): 353.61sqm / 35sqm = (10.1) 11 TREES & (20.2) 21 SHRUBS TOTAL: 27 TREES & 52 SHRUBS	
PROVIDED:	WESTNORTH SETBACKS: 19 TREES & 20 SHRUBS EAST SETBACK: 11 TREES & 12 SHRUBS SOUTH SETBACK (N/A DRIVE S.W.): 11 TREES & 22 SHRUBS (4 PROVIDED TREES & 2 SHRUBS HAVE BEEN PLACED ADJACENT TO THE SETBACK) INTERIOR OF SITE: 12 TREES & 38 SHRUBS TOTAL: 53 TREES & 92 SHRUBS	

TRANS-CANADA HIGHWAY #1  
(16th AVE N.W.)  
ROAD PLAN 272 IX

**NOTE:** --- LINE INDICATES THE LIMIT OF CONSTRUCTION DISTURBANCE. MUNICIPAL RESERVE/ CONSTRUCTION FENCING TO BE PROVIDED AROUND DISTURBANCE. FENCING TO BE INSTALLED PRIOR TO COMMENCEMENT OF ANY STRIPPING OR GRADING OPERATIONS. THIS FENCING IS TO BE INSPECTED AND APPROVED BY THE PARKS DEVELOPMENT INSPECTOR ANNIE RODRIGUES AT 403-604-6387.

ROAD PLAN  
911 2537

**LANDSCAPING INFORMATION - HARDINESS ZONE 3b  
CALGARY, ALBERTA**

**NOTES**  
1) AREAS OF ANNUAL PLANTINGS OR FLOWER BEDS SHALL BE BY THE OWNER

**DECIDUOUS SHRUBS**

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
A1	RED OSIER DOGWOOD (CORNUS SERICEA NORSKYI)	600mm (2'-0") HEIGHT OR SPREAD	23
F	HIGH-BUSH CRANBERRY (VIBURNUM TRILOBUM)	600mm (2'-0") HEIGHT OR SPREAD	6

TOTAL NUMBER OF DECIDUOUS SHRUBS

**CONIFEROUS SHRUBS**

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
H	JUNIPER (JUNIPER COMMUNIS)	600mm (2'-0") HEIGHT OR SPREAD	16
J1	UPRIGHT JUNIPER (THUJA OCCIDENTALIS HOLMSTRUP)	900mm (3'-0") HEIGHT OR SPREAD	31
K	MUGO PINE (PINUS MUGO)	600mm (2'-0") HEIGHT OR SPREAD	16

TOTAL NUMBER OF CONIFEROUS SHRUBS

**DECIDUOUS TREES**

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
T6	SWEDISH COLUMNAR ASPEN (POPULUS TREMULA STRICTA)	MIN. 75mm (3") CAL/PER HEIGHT	26

TOTAL NUMBER OF DECIDUOUS TREES

**CONIFEROUS TREES**

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
T7A	COLORADO BLUE SPRUCE (PICEA PUNGENS)	MIN. 2.0m (6'-6 3/4") HEIGHT	13
T7B	COLORADO BLUE SPRUCE (PICEA PUNGENS)	MIN. 3.0m (9'-10 1/8") HEIGHT	14

TOTAL NUMBER OF CONIFEROUS TREES

**EXISTING PUBLIC TREES**

SYMBOL	EXISTING PROVIDED	SIZE (MATURE)	EXISTING
EX1	QUAKING ASPEN (POPULUS TREMULOIDES)	EXISTING - MEDIUM	19
EX2	SIBERIAN CRABAPPLE (MALUS ADSTRINGENS)	EXISTING - MEDIUM	3

TOTAL NUMBER OF EXISTING PUBLIC TREES (TO REMAIN)

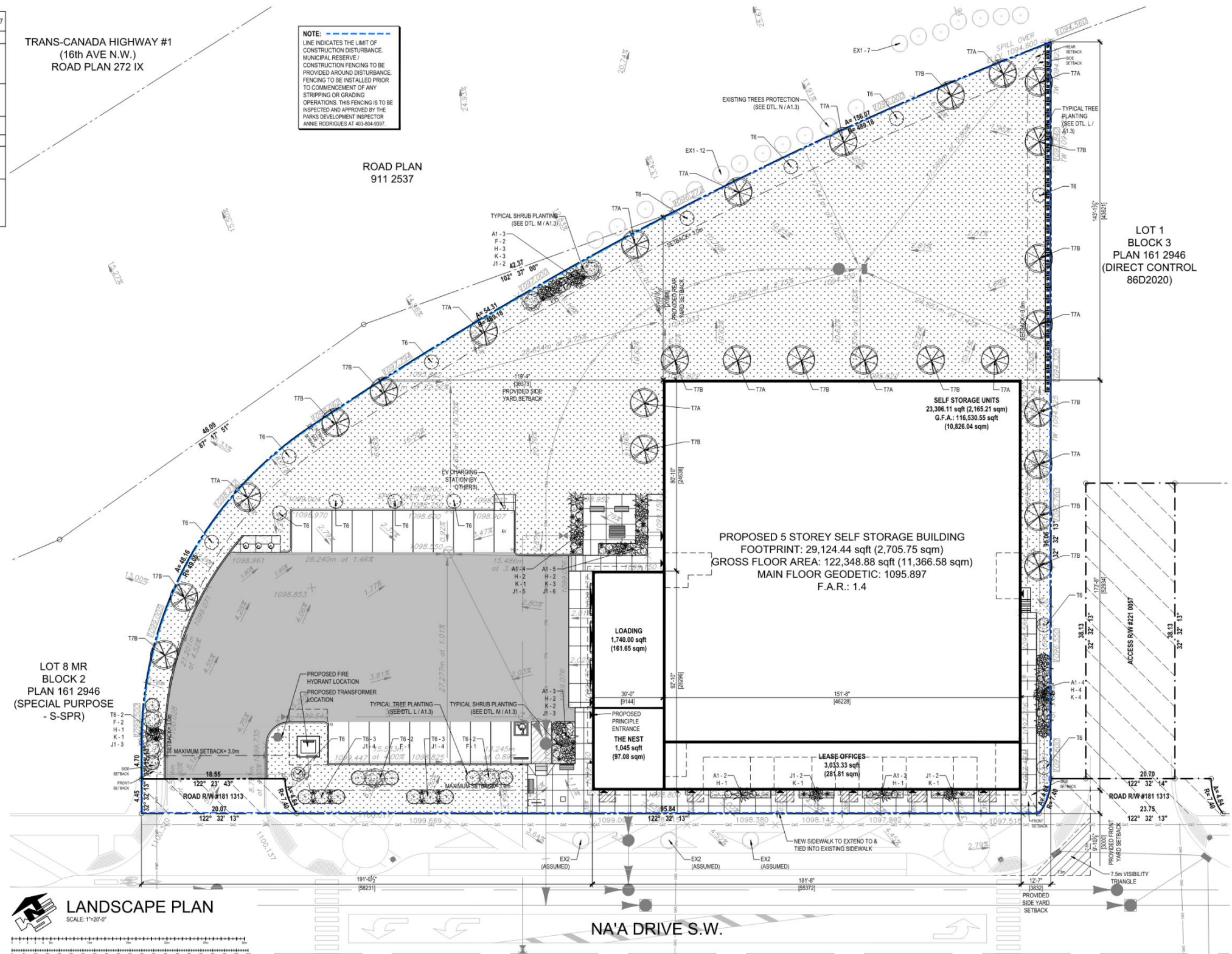
**REGULATIONS**

MINIMUM SIZE OF TREES AND SHRUBS  
DECIDUOUS TREES - MIN. CAL/PER 50mm (50% MIN. 75mm)  
CONIFEROUS TREES - MIN. HT. 2.0m (50% MIN. 3.0m)  
DECIDUOUS SHRUBS - MIN. HT. 600mm  
CONIFEROUS SHRUBS - MIN. SPREAD 600mm

TREES AND SHRUBS TO BE WATERED WITH LOW WATER IRRIGATION SYSTEM. IRRIGATION TO BE CONFINED TO TREE AND SHRUB LOCATIONS ONLY

HATCHING DEPICTS SOODED AREAS (AREAS TO USE DROUGHT TOLERANT GRASS) (SOIL DEPTH MIN. 300mm)

HATCHING DEPICTS MULCHED AREAS (SOIL DEPTH MIN. 600mm IN PLANTING BEDS)



**LANDSCAPE PLAN**  
SCALE: 1"=20'-0"

CLIENT: **EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Sulla 100 - 550 Laura Avenue Red Deer County, AB, T4E 6A5  
Ph. 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

PROJECT INFORMATION:  
**STOREWEST - MEDICINE HILL STORAGE**

LOT 12  
BLOCK 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
CALGARY, ALBERTA

**StoreWest**

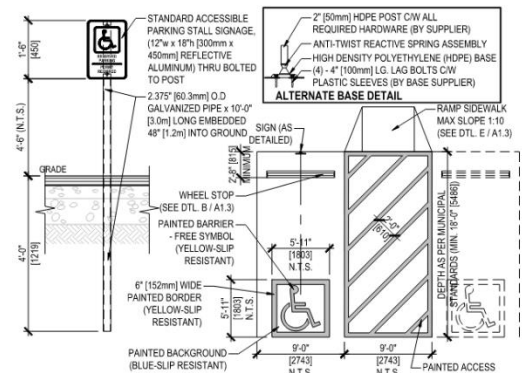
REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
Y	-	2026-03-25	ISSUED FOR CPC MEETING
X	-	2026-03-18	ISSUED FOR BUILDING PERMIT
W	-	2026-03-17	ISSUED FOR SUBCONSULTANT COORDINATION
V	-	2026-03-03	ISSUED FOR BUILDING PERMIT
U	-	2026-02-24	ISSUED FOR DART DECISION MEETING
T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW
R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION
Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

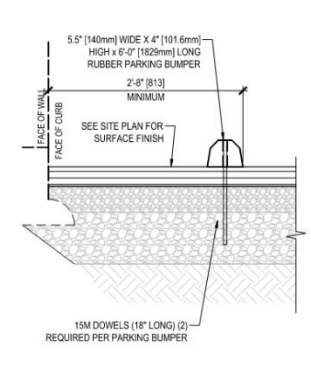
DRAWING TITLE:  
**LANDSCAPE & EXISTING TREE PLAN**

JOB NUMBER: 25-010  
DATE: APR. 14, 2025  
DRAWN BY: KSK

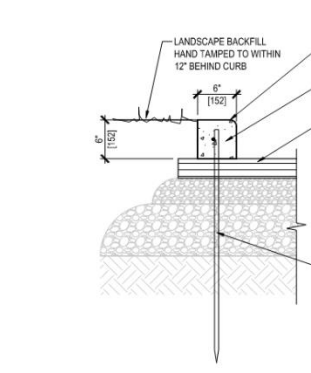
**A1.2**



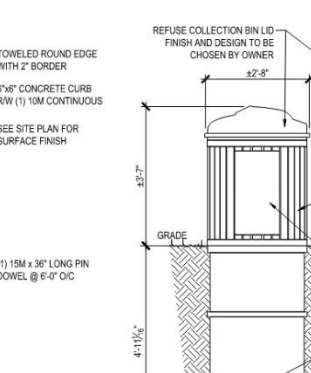
**A BARRIER FREE PARKING STALL & SIGN**  
SCALE: 1/2"=1'-0"



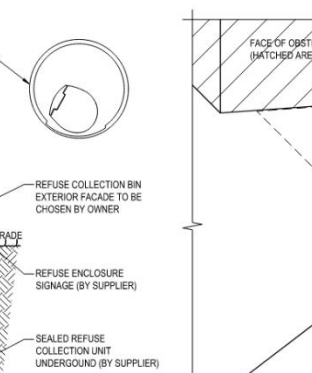
**B RUBBER WHEEL STOP**  
SCALE: 1"=1'-0"



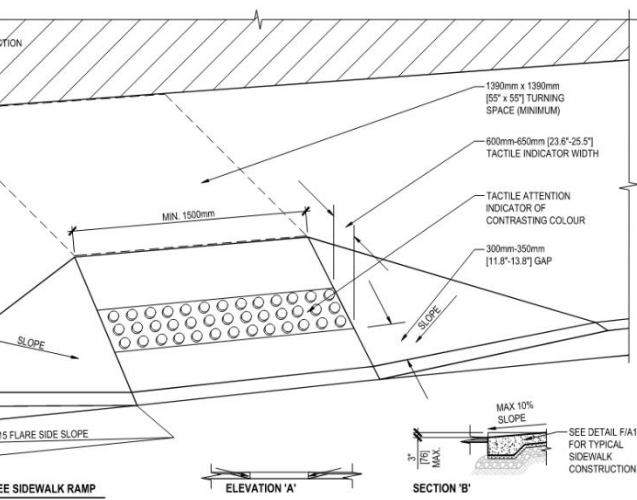
**C PINNED CONCRETE CURB**  
SCALE: 1"=1'-0"



**D SEMI-UNDERGROUND GARBAGE/RECYCLE UNIT**  
SCALE: 1/2"=1'-0"



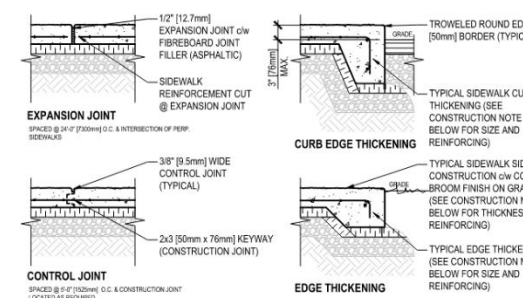
**E BARRIER FREE SIDEWALK RAMP**  
SCALE: 1/4"=1'-0"



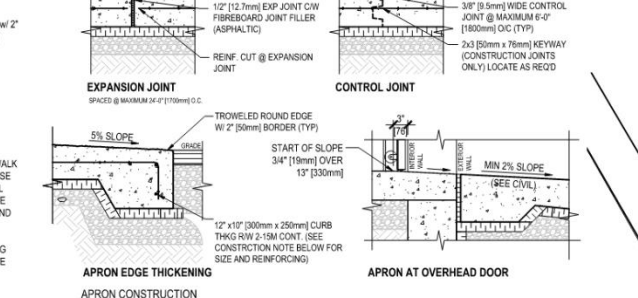
**F TYPICAL CONCRETE SIDEWALK CONSTRUCTION**  
SCALE: 3/4"=1'-0"



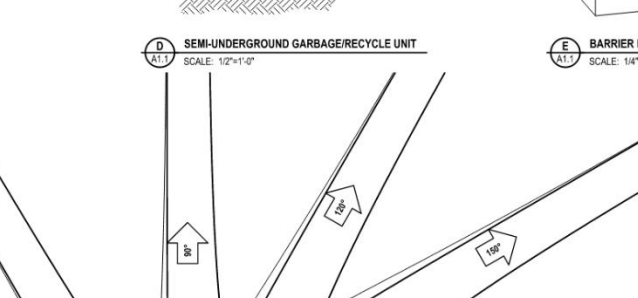
**G APRON CONSTRUCTION**  
SCALE: 3/4"=1'-0"



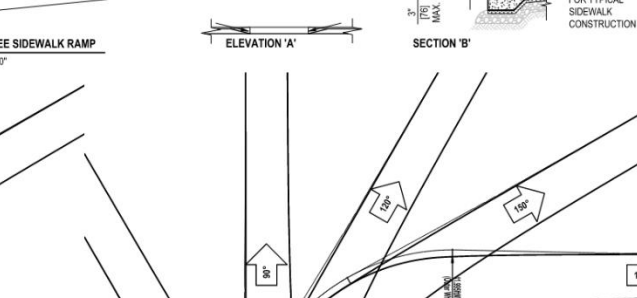
**H EXPANSION JOINT**  
SCALE: 1/2"=1'-0"



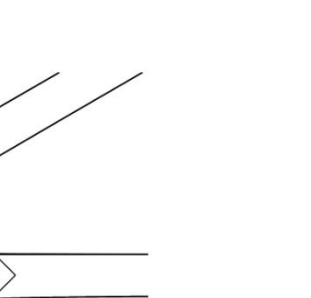
**I CURVED SIDEWALK CONSTRUCTION**  
SCALE: 3/4"=1'-0"



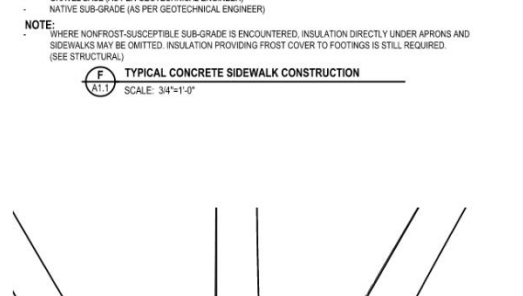
**J SIDEWALK TURNING RADIUS**  
SCALE: 1/2"=1'-0"



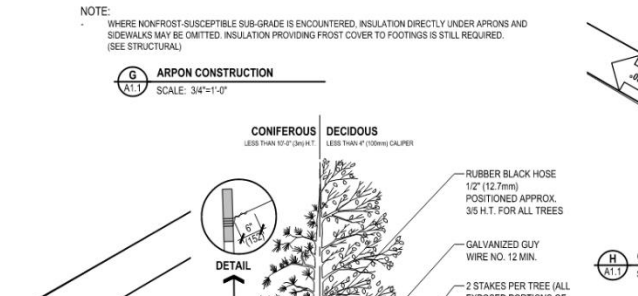
**K MOLOK GARBAGE TRUCK TURNING RADIUS**  
SCALE: 1/2"=1'-0"



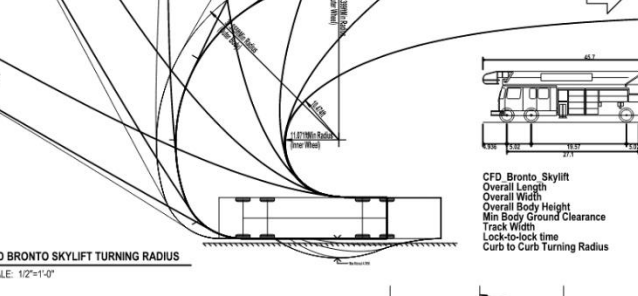
**L STANDARD TREE PLANTING**  
SCALE: 3/8"=1'-0"



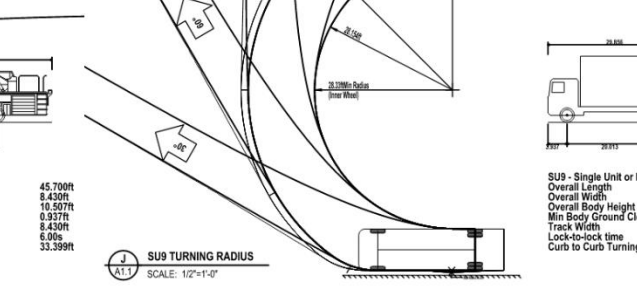
**M STANDARD SHRUB PLANTING**  
SCALE: 3/8"=1'-0"



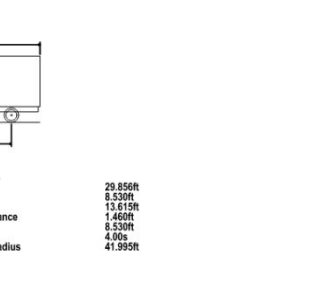
**N TREE PROTECTION ZONE DETAIL**  
SCALE: 3/8"=1'-0"



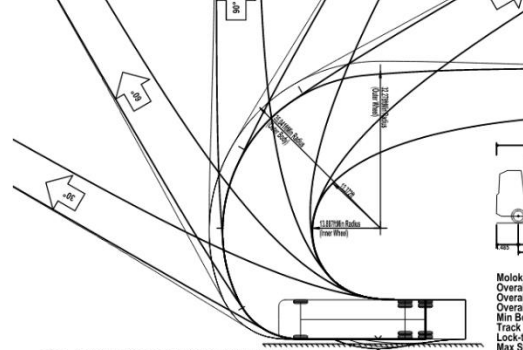
**O PAVEMENT DETAIL / INFORMATION**  
SCALE: 1"=2'-0"



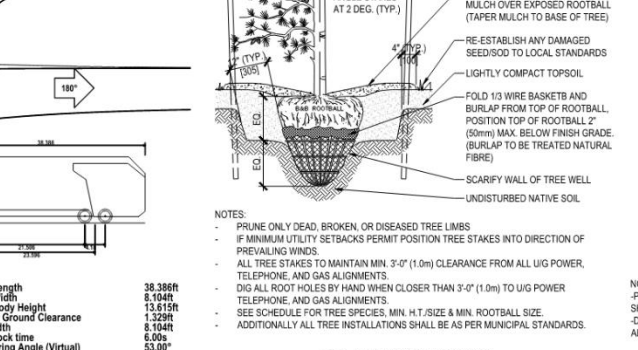
**P U-RACK BIKE RACK**  
SCALE: 1/2"=1'-0"



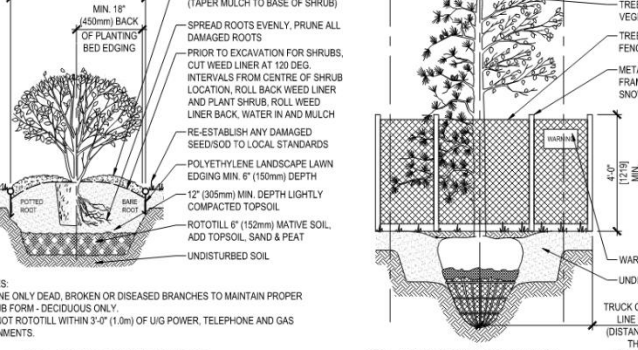
**Q CFD BRONTO SKYLIFT TURNING RADIUS**  
SCALE: 1/2"=1'-0"



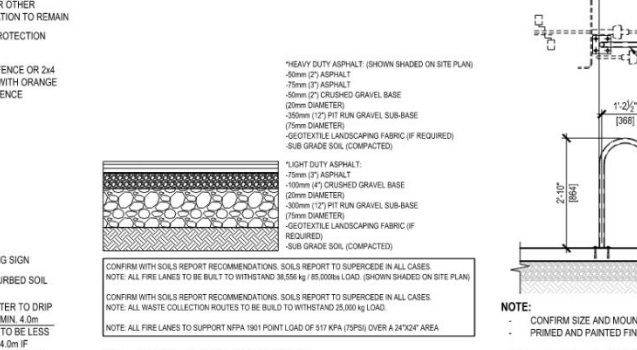
**R MOLOK GARBAGE TRUCK TURNING RADIUS**  
SCALE: 1/2"=1'-0"



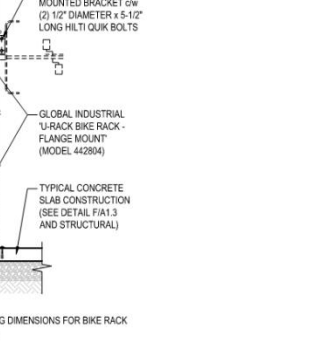
**S STANDARD TREE PLANTING**  
SCALE: 3/8"=1'-0"



**T STANDARD SHRUB PLANTING**  
SCALE: 3/8"=1'-0"



**U TREE PROTECTION ZONE DETAIL**  
SCALE: 3/8"=1'-0"



**V PAVEMENT DETAIL / INFORMATION**  
SCALE: 1"=2'-0"

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.377.0232  
EMAIL: KEON@KBENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT NO. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

ISSUED FOR 'DART' DECISION MEETING

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

U	2026-02-24	ISSUED FOR 'DART' DECISION MEETING
T	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
S	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW
R	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION
Q	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

DRAWING TITLE:

**SITE & LANDSCAPE DETAILS**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KSK

**A1.3**



CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.377.0232  
EMAIL: KEON@KBENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR 'DART' DECISION MEETING**

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NAVA DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
U	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING
T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW
R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION
Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

DRAWING TITLE:

**SITE PHOTOS**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A1.4**



13 ADJACENT RESIDENTIAL  
SCALE: N.T.S.



14 ADJACENT RESIDENTIAL  
SCALE: N.T.S.



15 ADJACENT COMMERCIAL  
SCALE: N.T.S.



16 ADJACENT COMMERCIAL  
SCALE: N.T.S.



17 ADJACENT COMMERCIAL/RESIDENTIAL  
SCALE: N.T.S.



18 ADJACENT COMMERCIAL/RESIDENTIAL  
SCALE: N.T.S.



19 ADJACENT COMMERCIAL/RESIDENTIAL  
SCALE: N.T.S.



20 ADJACENT COMMERCIAL/RESIDENTIAL  
SCALE: N.T.S.



21 ADJACENT RESIDENTIAL  
SCALE: N.T.S.



22 ADJACENT COMMERCIAL  
SCALE: N.T.S.



23 ADJACENT COMMERCIAL  
SCALE: N.T.S.



24 ADJACENT COMMERCIAL  
SCALE: N.T.S.

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.317.0232  
EMAIL: KEON@KBENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

ISSUED FOR 'DART' DECISION MEETING

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NAVA DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

U	REV.	DATE	DESCRIPTION
U	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING
T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW
R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION
Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS


DRAWING TITLE:

**ADJACENT CONTEXT SITE PHOTOS**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A1.5**




 SHADOW STUDY (MAR. 21, 9am)  
SCALE: 1" = 60'-0"




 SHADOW STUDY (MAR. 21, 12pm)  
SCALE: 1" = 60'-0"




 SHADOW STUDY (MAR. 21, 4pm)  
SCALE: 1" = 60'-0"




 SHADOW STUDY (JUN. 21, 9am)  
SCALE: 1" = 60'-0"



 SHADOW STUDY (JUN. 21, 12pm)  
SCALE: 1" = 60'-0"



 SHADOW STUDY (JUN. 21, 4pm)  
SCALE: 1" = 60'-0"

CLIENT:



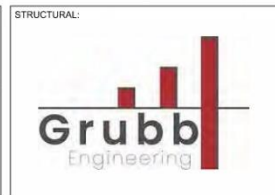
**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:



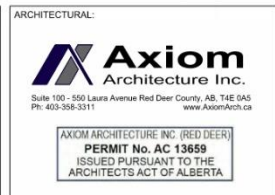
**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.317.5232  
EMAIL: KEON@KBENGINEERING.CA

STRUCTURAL:



**Grubb Engineering**

ARCHITECTURAL:



**Axiom Architecture Inc.**  
Suite 100 - 100 Laura Avenue Red Deer County, AB, T4E 0A5  
PH: 403-958-3311  
www.AxiomArch.ca  
AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

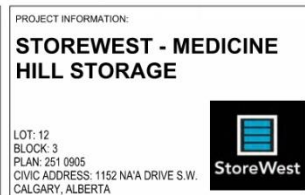
STAMPS:

**ISSUED FOR 'DART' DECISION MEETING**

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 351 0905  
CIVIC ADDRESS: 1152 NA'A DRIVE S.W.  
CALGARY, ALBERTA



REVISIONS:

Q	REV.	DATE	DESCRIPTION
Q	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING
T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW
R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION
Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

Drawing Title:

**SHADOW STUDY (SPRING EQUINOX & SUMMER SOLSTICE)**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A1.6**



**SHADOW STUDY (SEPT. 21, 9am)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (SEPT. 21, 12pm)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (SEPT. 21, 4pm)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (DEC. 21, 12pm)**  
SCALE: 1" = 60'-0"

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 403.377.0232  
EMAIL: KEON@ENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311  
www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR 'DART' DECISION MEETING**

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NA'A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

Q	REV	DATE	DESCRIPTION
-	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING
T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW
R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION
Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

Drawing Title:

**SHADOW STUDY (AUTUMN EQUINOX & WINTER SOLSTICE)**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A1.7**



**SHADOW STUDY (DEC. 21, 9am)**  
SCALE: 1" = 100'-0"

**SHADOW STUDY (DEC. 21, 4pm)**  
SCALE: 1" = 100'-0"

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.377.0252  
EMAIL: KEON@KBENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 109 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR 'DART' DECISION MEETING**

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NA'A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

Q	REV.	DATE	DESCRIPTION
Q	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING
T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW
R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION
Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

Drawing Title:

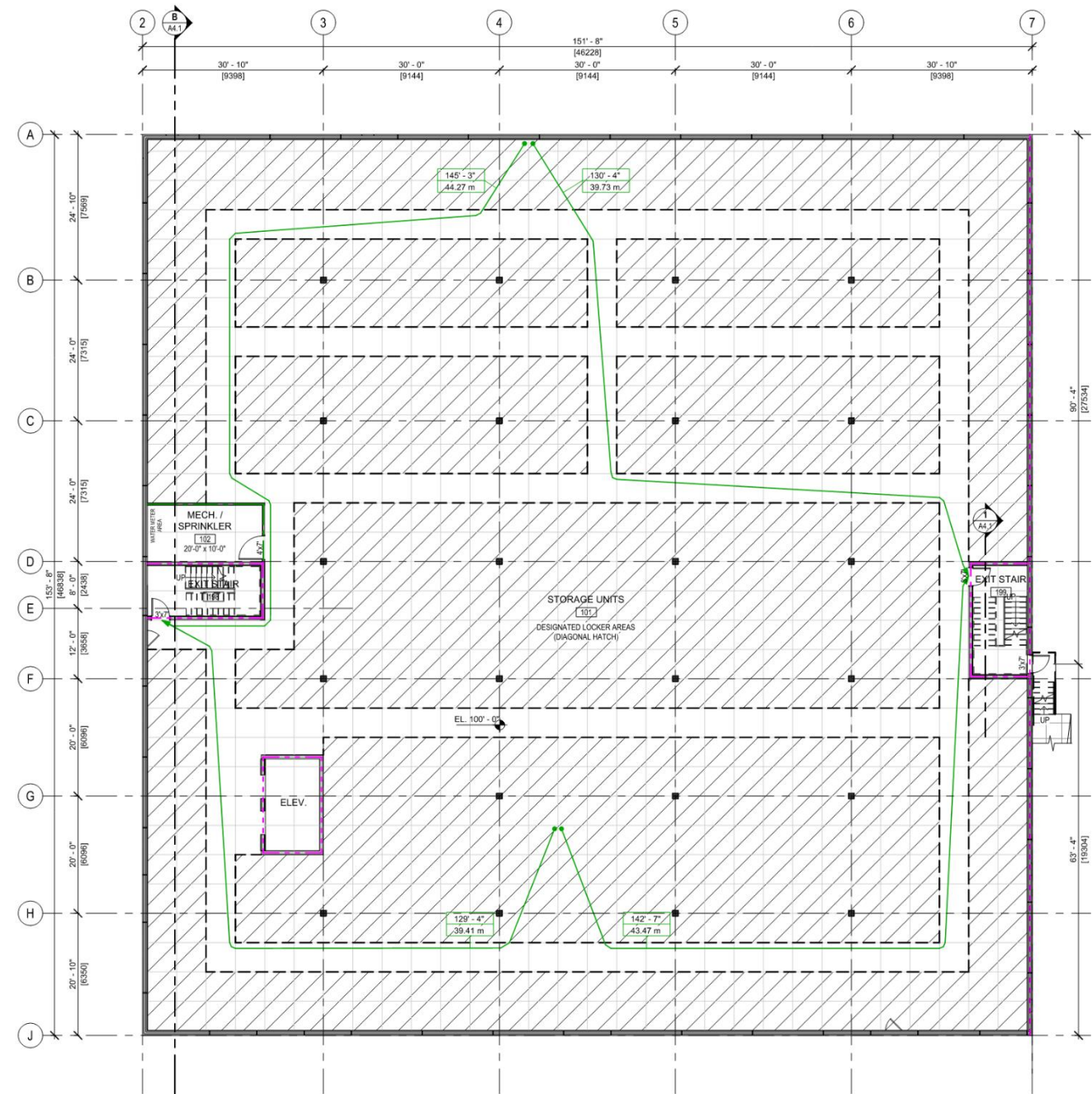
**SHADOW STUDY (WINTER SOLSTICE)**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A1.8**

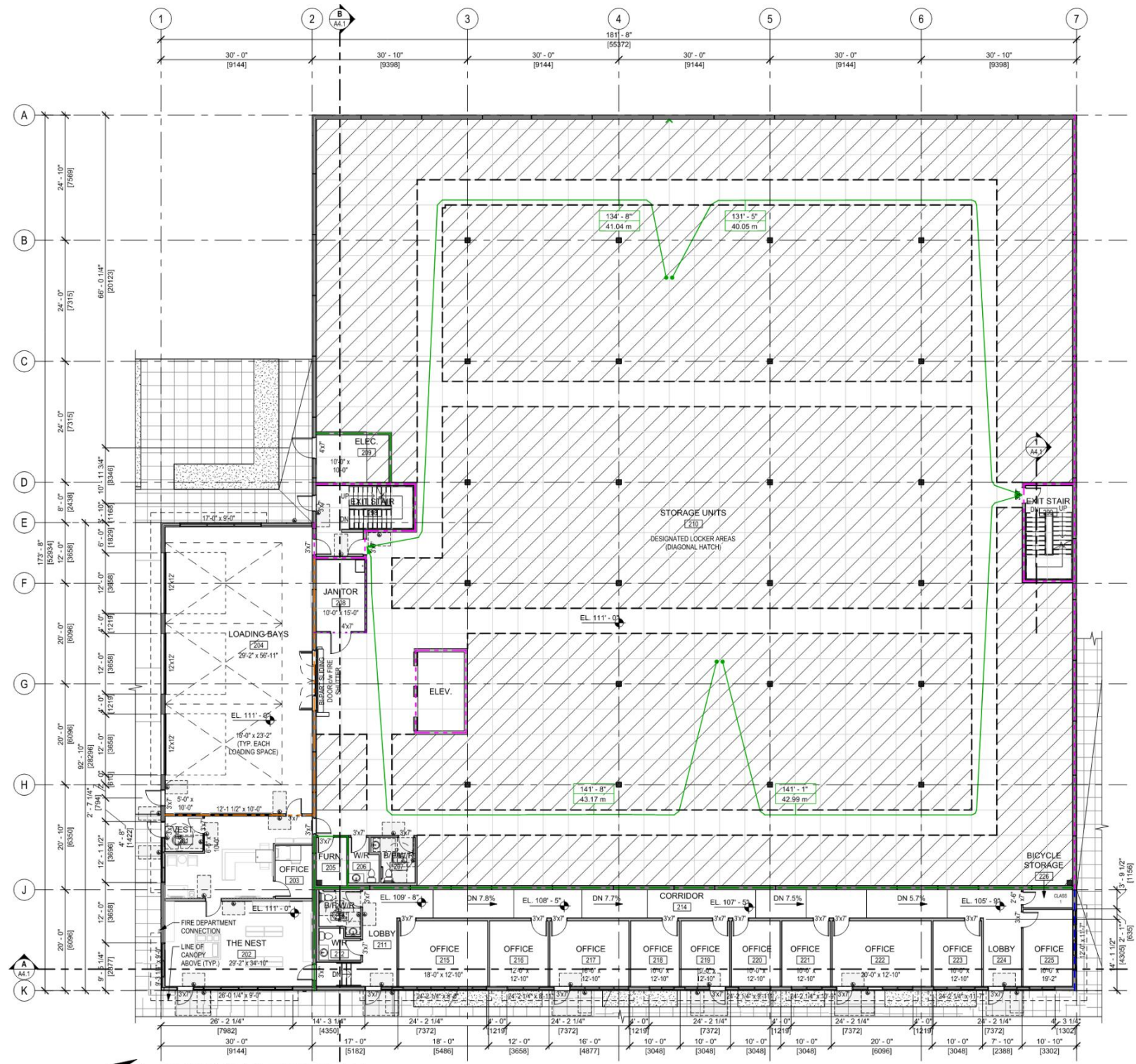
NATIONAL BUILDING CODE (AS EDITION) 2023		
Key	N.B.C (AE) Sentence	Code
<b>BUILDING USE, CLASSIFICATION &amp; DESIGN</b>		
BC.001	3.2.2.1	OCCUPANCIES 3.2.2.76 - GROUP F DIV 2 - MEDIUM HAZARD INDUSTRIAL (BUILDING CLASSIFICATION) 3.2.2.65 - GROUP D - OFFICE
BC.002	3.2.2.76	5 STOREY NON-COMBUSTIBLE CONSTRUCTION NO MAXIMUM AREA FACING 2 STREETS (FIRELANE REQUIRED)
BC.003	3.2.2.76 & 3.2.5.12	SPRINKLERED
BC.004	3.2.4.1	FIRE ALARM REQUIRED
BC.005	3.2.5.8	STANDPIPE REQUIRED
BC.006	3.2.5.7	SPRINKLERED BUILDING NOTE: FIRE HYDRANT TO BE LOCATED WITHIN 45 m (150'-0") OF FIRE DEPARTMENT CONNECTION FOR THE AUTOMATIC SPRINKLER SYSTEM. FIRE DEPARTMENT CONNECTION TO BE LOCATED WITHIN 15m (50'-0") OF THE PRINCIPAL ENTRANCE. FIRE FIGHTING WATER PROVIDED BY MUNICIPALITY WATER SUPPLY IS TO BE CAPABLE OF BEING DELIVERED AT A RATE OF NOT LESS THAN 3,800 L/MIN AND A RESIDUAL PRESSURE OF NOT LESS THAN 140 kPa. CONTACT CONSULTANT IF A PRIVATE WATER SUPPLY IS TO BE PROVIDED. FIRE HYDRANT AND AUTOMATIC SPRINKLER SYSTEM TO BE DESIGNED, CONSTRUCTED, INSTALLED & TESTED IN CONFORMANCE WITH NFPA 13.
<b>FIRE SEPARATIONS AND RATINGS</b>		
BC.101	3.1.3.1(1)	OCCUPANCY SEPARATIONS: 22 (2) = 140 RAS3 REQUIRED
BC.102	3.2.2.76	LOADBEARING WALLS AND COLUMNS = 2 HOUR RATING (BE OF NON-COMBUSTIBLE CONSTRUCTION AND HAVE A FIRE-RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY)
BC.103	3.2.2.76	FLOORS (FIRE SEPARATION) = 2 HOUR
BC.104	3.3.1.22	JANITORS ROOMS (FIRE SEPARATION) = WAIVED (SPRINKLERED) (14 HOUR PROVIDED)
BC.105	3.4.4.1	EXIT (FIRE SEPARATION) = 2 HOURS
BC.106	3.5.3.1 & TABLE 3.5.3.1	ELEVATOR SHAFT (FIRE SEPARATION) = 2 HOURS
BC.107	3.6.2.1	MECHANICAL ROOMS (FIRE SEPARATION) = 1 HOUR
BC.108	3.6.3.1 & TABLE 3.6.3.1	VERTICAL SHAFT (FIRE SEPARATION) = 1 HOUR
BC.109	3.3.5.6	LOADING BAYS = 1.5 HOUR
BC.110	TABLE 3.1.8.4	FIRE PROTECTION RATINGS OF CLOSURES: F.R.R. OF FIRE SEPARATION = MINIMUM RATING OF CLOSURE 1 HOUR = 34 HOUR 1.5 HOUR = 1 HOUR 2 HOUR = 1.5 HOUR
<b>ADDITIONAL INFORMATION</b>		
BC.201	3.4.2.5	MAXIMUM 45m TRAVEL DISTANCE TO EXIT (GROUP F DIV 2) MAXIMUM 40m TRAVEL DISTANCE TO EXIT (GROUP D)
BC.202	3.6.4.4	ROOF ACCESS REQUIRED: YES
<b>OCCUPANT LOAD</b>		
BC.301	3.1.17.1	OFFICE AREA (GROUP D): 20 PERSON (STIPULATED) STORAGE AREA (GROUP F DIV 2): 20 PERSON (STIPULATED) TOTAL OCCUPANCY: 40 PERSONS (STIPULATED)
<b>SPATIAL SEPARATION</b>		
BC.401	TABLE 3.2.3.1-E & 3.2.3.3.1-D & 3.2.3.7	NORTH WALL 1 GROUP F DIV 2 - SPRINKLERED WALL AREA= 815.68 sqm OPENINGS AREA= 0 sqm L.D.: 20.99m OPENING % ALLOWED: 100% OPENING % PROVIDED: 0% COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING  NORTH WALL 2 GROUP F DIV 2 - SPRINKLERED WALL AREA= 49.51 sqm OPENINGS AREA= 13.54 sqm L.D.: 40.75m OPENING % ALLOWED: 100% OPENING % PROVIDED: 27.34% COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BC.402	TABLE 3.2.3.1-E & 3.2.3.3.1-D & 3.2.3.7 & 3.2.3.7	EAST WALL 1 GROUP F DIV 2 - SPRINKLERED WALL AREA= 794.13 sqm OPENINGS AREA= 2.14 sqm L.D.: 3.83m OPENING % ALLOWED: 13.2% OPENING % PROVIDED: 0.27% 2 HOUR SPATIAL SEPARATION REQUIRED COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION NON-COMBUSTIBLE CLADDING  EAST WALL 2 GROUP D - SPRINKLERED WALL AREA= 37.54 sqm OPENINGS AREA= 12.91 sqm L.D.: 3.68m OPENING % ALLOWED: 54.4% OPENING % PROVIDED: 34.40% 34 HOUR SPATIAL SEPARATION REQUIRED COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BC.403	TABLE 3.2.3.1-E & 3.2.3.3.1-D & 3.2.3.7 & 3.2.3.7 & 3.2.3.10	SOUTH WALL 1 GROUP D - SPRINKLERED WALL AREA= 296.1 sqm OPENINGS AREA= 134.68 sqm L.D.: 17.85m (STREET) OPENING % ALLOWED: 100% OPENING % PROVIDED: 45.48% COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING  SOUTH WALL 2 GROUP F DIV 2 - SPRINKLERED WALL AREA= 439.46 sqm OPENINGS AREA= 94.22 sqm L.D.: 23.95m (STREET) OPENING % ALLOWED: 100% OPENING % PROVIDED: 21.44% COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING

NATIONAL BUILDING CODE (AS EDITION) 2023		
Key	N.B.C (AE) Sentence	Code
BC.404	TABLE 3.2.3.1-E & 3.2.3.3.1-D & 3.2.3.7	WEST WALL 1 GROUP D - SPRINKLERED WALL AREA= 56.9 sqm OPENINGS AREA= 18.3 sqm L.D.: 58.03m OPENING % ALLOWED: 100% OPENING % PROVIDED: 32.16% COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING  WEST WALL 2 GROUP F DIV 2 - SPRINKLERED WALL AREA= 94.74 sqm OPENINGS AREA= 42.27 sqm L.D.: 58.03m OPENING % ALLOWED: 100% OPENING % PROVIDED: 44.62% COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING  WEST WALL 3 GROUP F DIV 2 - SPRINKLERED WALL AREA= 552.28 sqm OPENINGS AREA= 41.31 sqm L.D.: 36.37m OPENING % ALLOWED: 100% OPENING % PROVIDED: 7.48% COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
<b>BARRIER-FREE DESIGN</b>		
BC.501	3.8.2.1	BARRIER FREE ACCESS REQUIRED: YES
BC.502	3.8.2.2	BARRIER FREE ENTRANCE REQUIRED: YES
BC.503	3.8.2.3	BIF ACCESS REQUIRED TO FLOOR ABOVE FIRST FLOOR: YES
BC.504	3.8.2.7	BARRIER FREE DOOR OPERATORS AT ENTRANCE: YES
BC.505	3.8.2.8	BARRIER FREE WIR REQUIRED: YES
BC.506	3.8.2.5	BARRIER FREE PARKING: YES
TOTAL STALLS REQUIRED: 1		



**MAIN FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

<p>CLIENT:</p> <p><b>EAGLE BUILDERS</b></p>	<p>MECHANICAL / ELECTRICAL:</p> <p><b>KB ENGINEERING LIMITED</b> RED DEER COUNTY, ALBERTA, CANADA PHONE: 403.277.0202 EMAIL: KEON@KBENGINEERING.CA</p>	<p>STRUCTURAL:</p> <p><b>Grubb Engineering</b></p>	<p>ARCHITECTURAL:</p> <p><b>Axiom Architecture Inc.</b> Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5 Ph: 403-358-3311  AXIOM ARCHITECTURE INC. (RED DEER) PERMIT No. AC 13659 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA.</p>	<p>STAMPS:</p> <p>ISSUED FOR 'DART' DECISION MEETING</p>	<p>PROJECT INFORMATION:</p> <p><b>STOREWEST - MEDICINE HILL STORAGE</b></p> <p>LOT: 12 BLOCK: 3 PLAN: 251 0905 CIVIC ADDRESS: 1152 N/A DRIVE S.W. CALGARY, ALBERTA</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>Q</th> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>Q</td> <td>-</td> <td>2026-02-24</td> <td>ISSUED FOR DART DECISION MEETING</td> </tr> <tr> <td>T</td> <td>-</td> <td>2026-02-20</td> <td>RESUBMITTED FOR DTR-3 COMMENTS</td> </tr> <tr> <td>S</td> <td>-</td> <td>2026-02-13</td> <td>LOCKER LAYOUT ISSUED FOR REVIEW</td> </tr> <tr> <td>R</td> <td>-</td> <td>2026-02-11</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>O</td> <td>-</td> <td>2026-01-14</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>P</td> <td>-</td> <td>2026-01-12</td> <td>RESUBMITTED FOR DTR-2 COMMENTS</td> </tr> </tbody> </table>	Q	REV.	DATE	DESCRIPTION	Q	-	2026-02-24	ISSUED FOR DART DECISION MEETING	T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS	S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW	R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION	O	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION	P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS	<p>Drawing Title:</p> <p><b>MAIN FLOOR PLAN &amp; BUILDING CODE INFORMATION</b></p>	<p>JOB NUMBER: 25-010 DATE: APR. 16, 2025 DRAWN BY: KBK</p> <p><b>A2.1</b></p>
Q	REV.	DATE	DESCRIPTION																																	
Q	-	2026-02-24	ISSUED FOR DART DECISION MEETING																																	
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**SECOND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.377.0292  
EMAIL: KEDM@ENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 100 - 550 Laska Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-338-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR 'DART' DECISION MEETING**

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0505  
CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

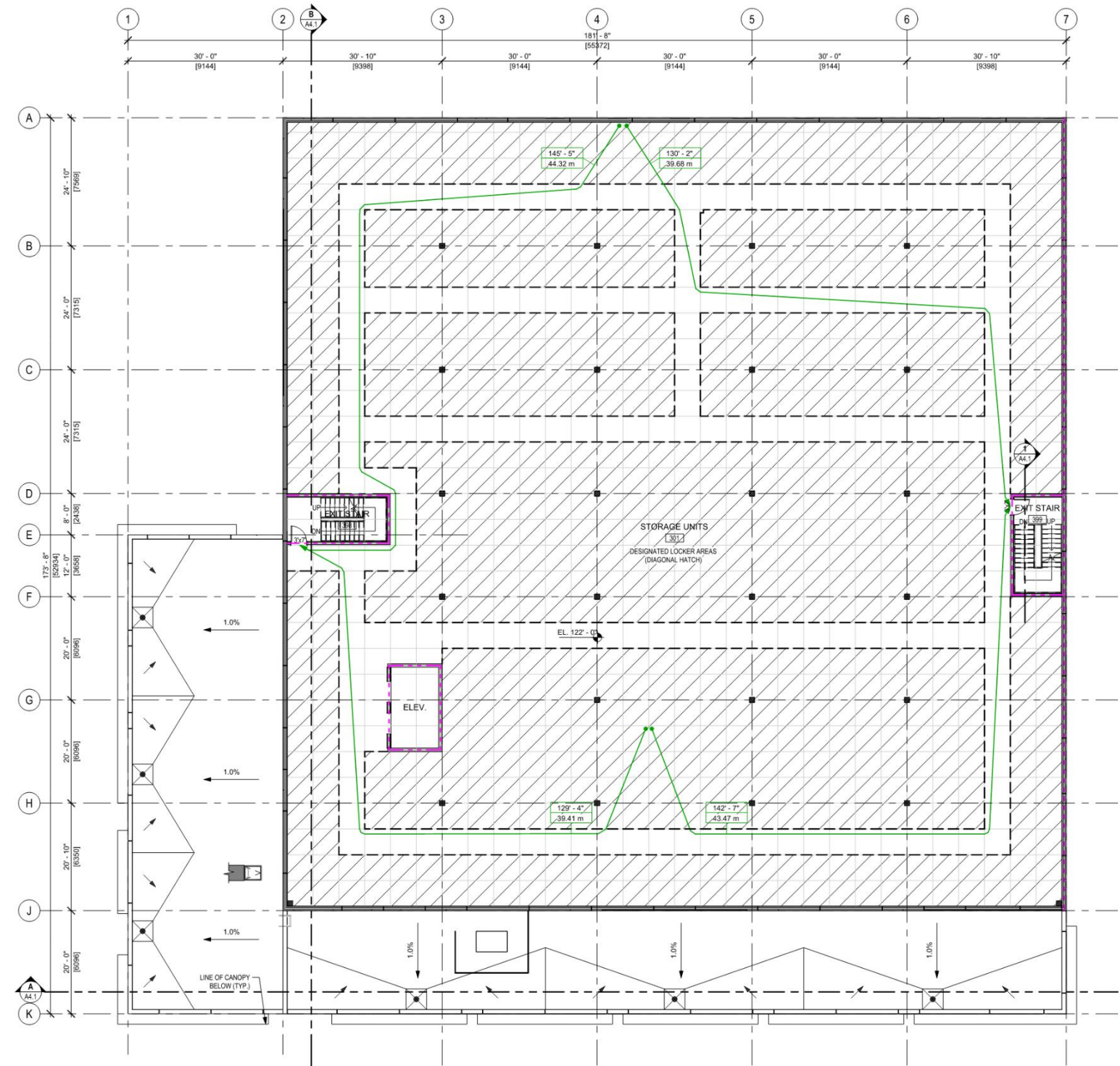
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Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

Drawing Title:

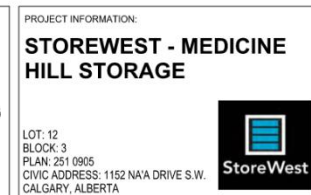
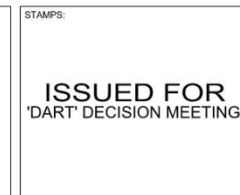
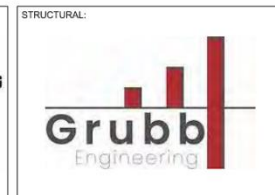
**SECOND FLOOR PLAN**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KKB

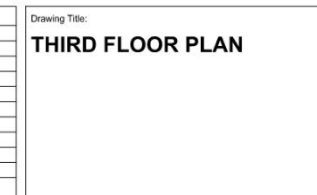
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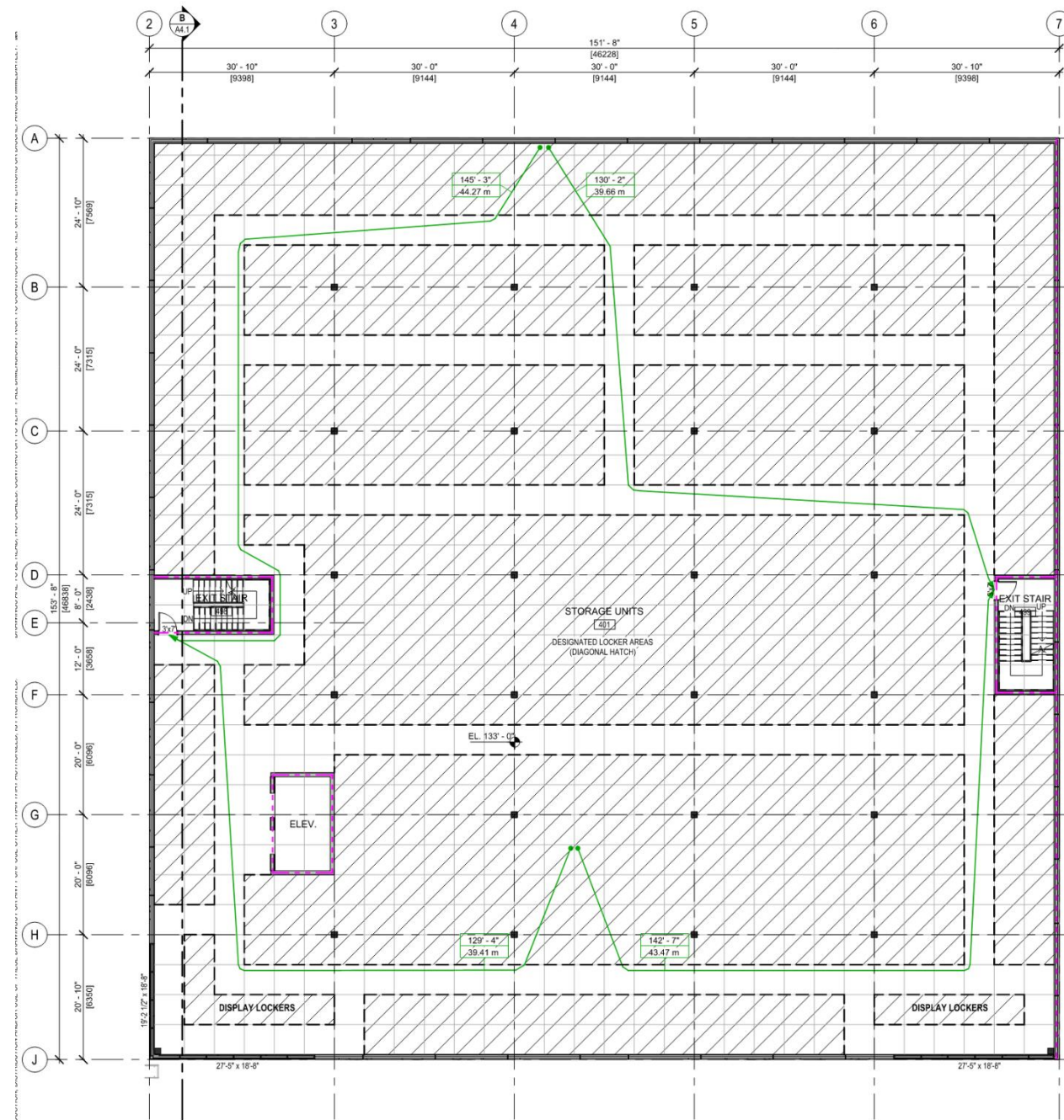
**THIRD FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



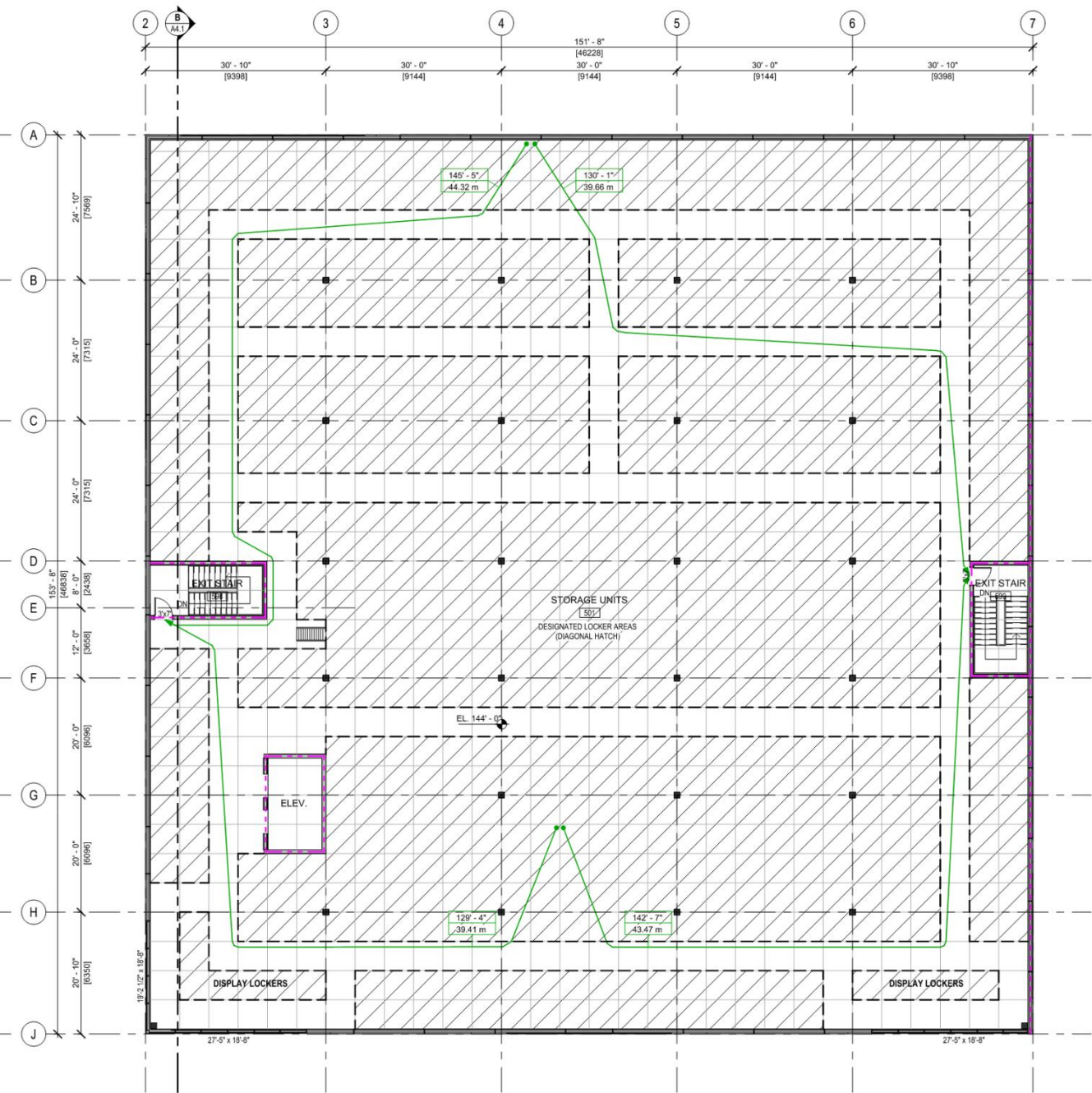
ISSUE	REV.	DATE	DESCRIPTION
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T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
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P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS



JOB NUMBER:	25-010
DATE:	APR. 16, 2025
DRAWN BY:	KBK
<b>A2.3</b>	

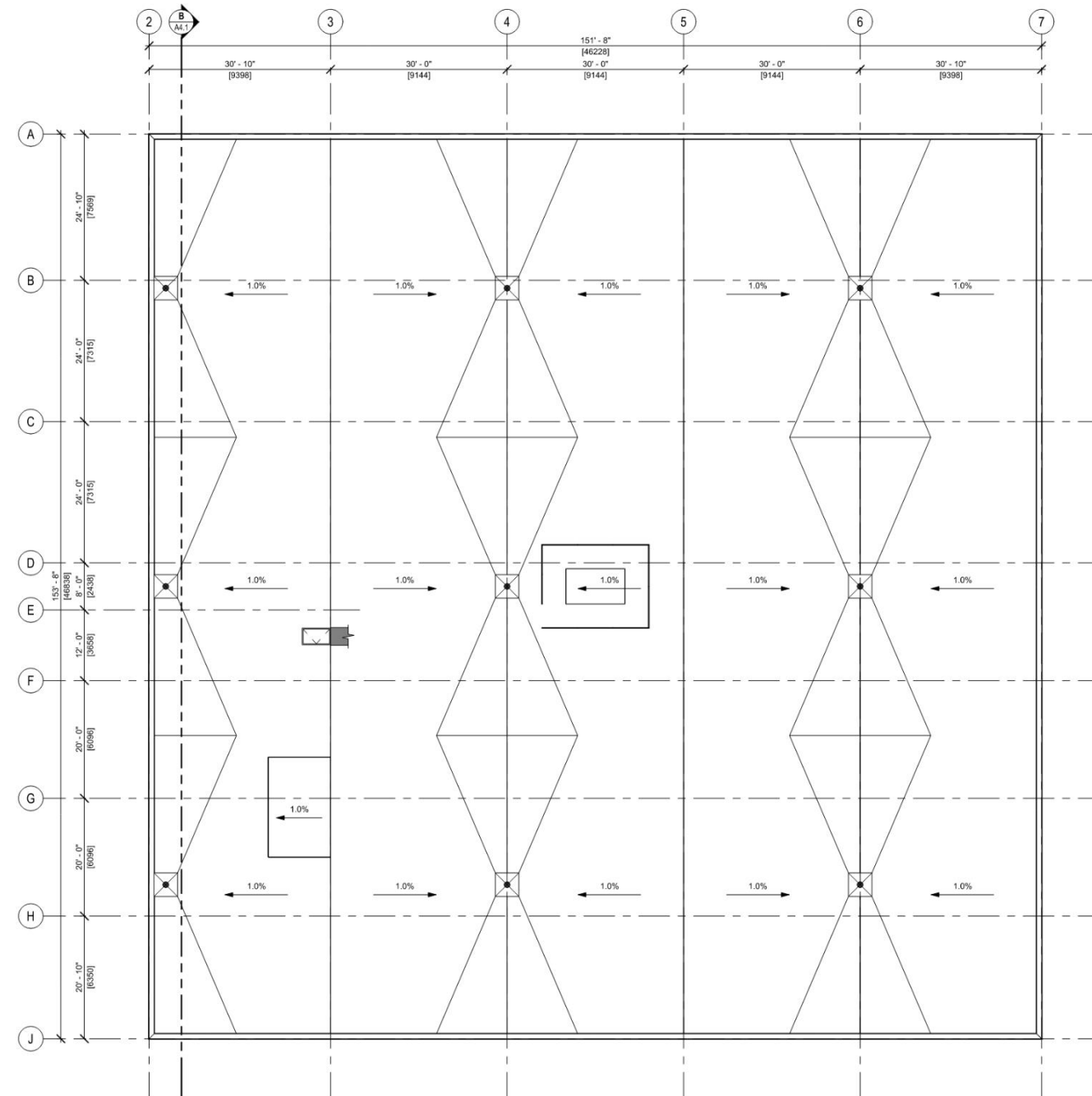


**FOURTH FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



**FIFTH FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

<p>CLIENT:</p> <p><b>EAGLE BUILDERS</b></p>	<p>MECHANICAL/ELECTRICAL:</p> <p><b>KB ENGINEERING LIMITED</b> RED DEER COUNTY, ALBERTA, CANADA PHONE: 581.377.0232 EMAIL: KEON@KBENGINEERING.CA</p>	<p>STRUCTURAL:</p> <p><b>Grubb Engineering</b></p>	<p>ARCHITECTURAL:</p> <p><b>Axiom Architecture Inc.</b> Suite 100 - 550 Luana Avenue Red Deer County, AB, T4E 0A5 Ph: 403-368-3311 www.AxiomArch.ca</p> <p>AXIOM ARCHITECTURE INC. (RED DEER) PERMIT No. AC 13659 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA</p>	<p>STAMPS:</p> <p>ISSUED FOR 'DART' DECISION MEETING</p>	<p>PROJECT INFORMATION:</p> <p><b>STOREWEST - MEDICINE HILL STORAGE</b></p> <p>LOT: 12 BLOCK: 3 PLAN: 251 0905 CIVIC ADDRESS: 1152 N/A DRIVE S.W. CALGARY, ALBERTA</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>ISSUE</th> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>Q</td> <td>-</td> <td>2026-02-24</td> <td>ISSUED FOR 'DART' DECISION MEETING</td> </tr> <tr> <td>T</td> <td>-</td> <td>2026-02-20</td> <td>RESUBMITTED FOR DTR-J COMMENTS</td> </tr> <tr> <td>S</td> <td>-</td> <td>2026-02-13</td> <td>LOCKER LAYOUT ISSUED FOR REVIEW</td> </tr> <tr> <td>R</td> <td>-</td> <td>2026-02-11</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>Q</td> <td>-</td> <td>2026-01-14</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>P</td> <td>-</td> <td>2026-01-12</td> <td>RESUBMITTED FOR DTR-J COMMENTS</td> </tr> </tbody> </table>	ISSUE	REV.	DATE	DESCRIPTION	Q	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING	T	-	2026-02-20	RESUBMITTED FOR DTR-J COMMENTS	S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW	R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION	Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION	P	-	2026-01-12	RESUBMITTED FOR DTR-J COMMENTS	<p>Drawing Title:</p> <p><b>FOURTH &amp; FIFTH FLOOR PLAN</b></p>	<p>JOB NUMBER: 25-010 DATE: APR. 16, 2025 DRAWN BY: KBK</p> <p><b>A2.4</b></p>
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**ROOF PLAN**  
SCALE: 3/32" = 1'-0"

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 867.377.0232  
EMAIL: KECON@KBENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 101 - 350 Laura Avenue Red Deer County, AB, T4E 6A5  
Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR 'DART' DECISION MEETING**

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 N/A DRIVE S.W. CALGARY, ALBERTA

REVISIONS:

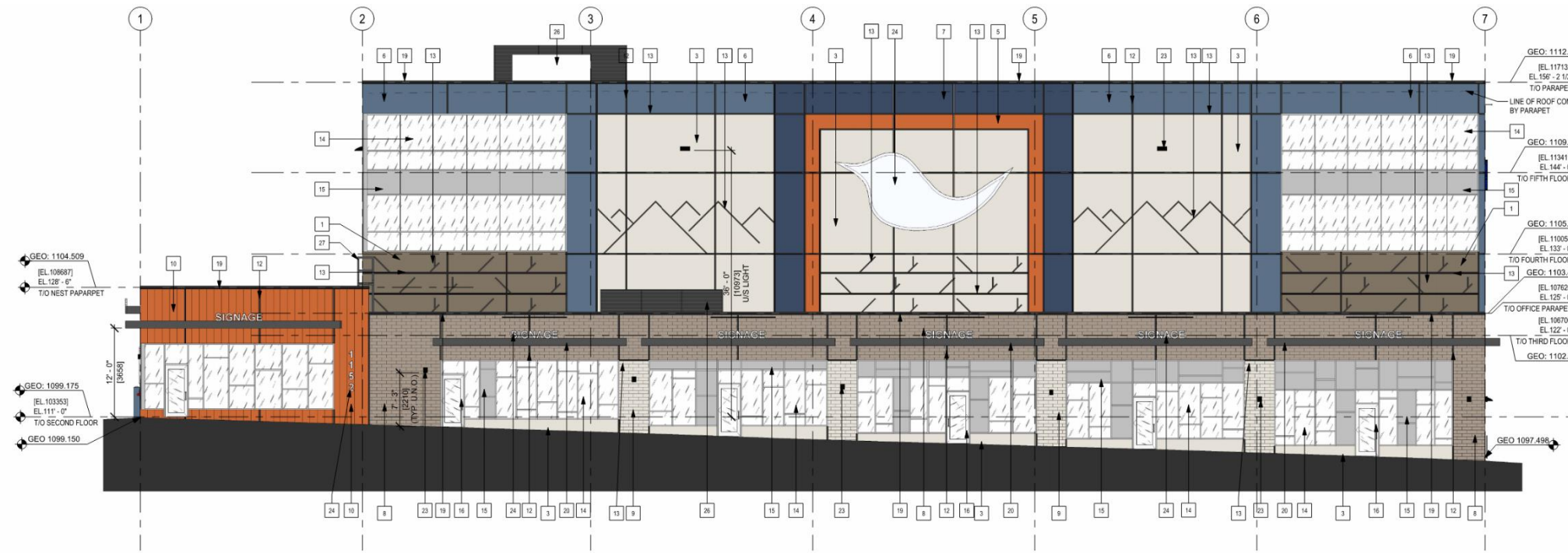
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T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS
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P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS

Drawing Title:

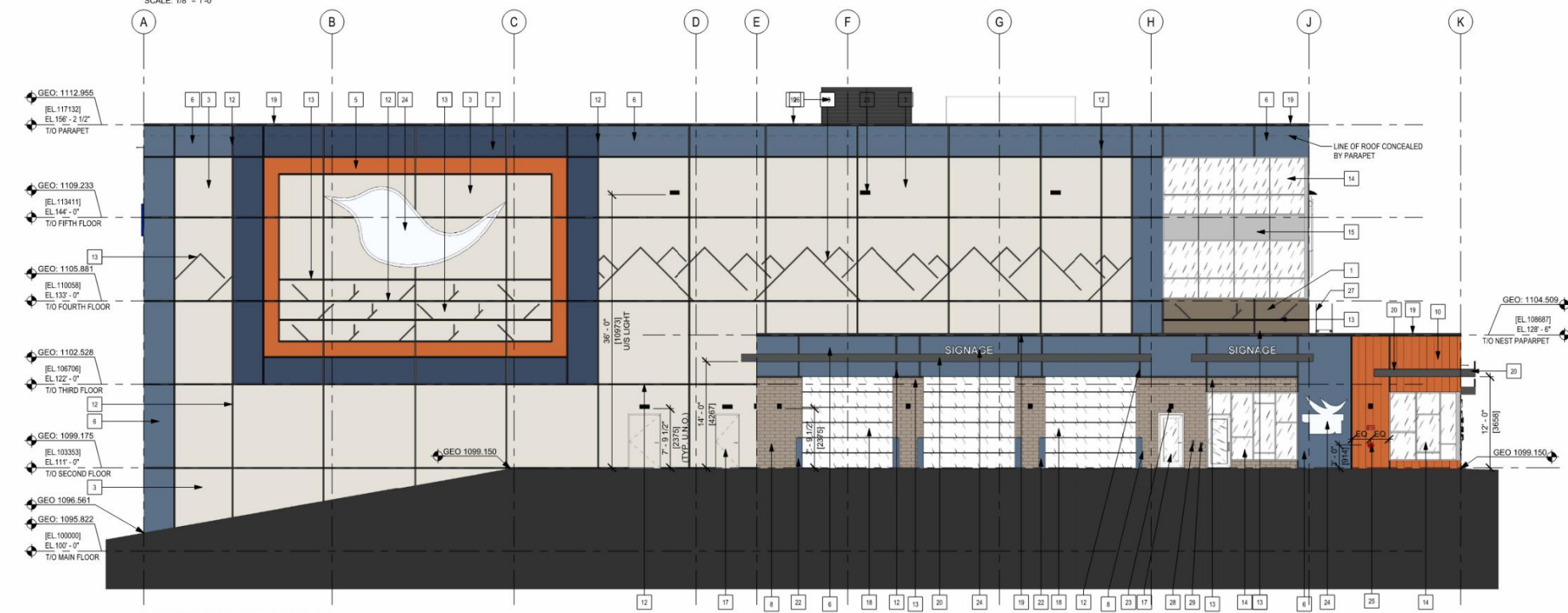
**ROOF PLAN**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A2.5**



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND	
TAG	DESCRIPTION
1	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE COASTAL FOG 0213)
2	PRIMED & PAINTED PRECAST CONCRETE PANELS w/ REVEAL PATTERN (COLOUR: CLOVERDALE BIG SPENDER 0212)
3	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BONAIRE 0103)
4	PRIMED & PAINTED PRECAST CONCRETE REVEAL (COLOUR: CLOVERDALE SUBWAY 0336) (SEE PAGE A5.3)
5	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE CASA DE ORO 1026)
6	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
7	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE QUIET PEACE 0592)
8	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 272 08) (COLOUR: CLOVERDALE BIG SPENDER 0212)
9	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 272 08) (COLOUR: CLOVERDALE BONAIRE 0103)
10	WOOD PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 272 08) (COLOUR: CLOVERDALE CASA DE ORO 1026)
11	ETCHED & SEALED PRECAST CONCRETE BUFFALO MURAL (RECKLI PHOTO ENGRAVING)
12	PRECAST CONCRETE PANEL JOINT (COLOUR TO MATCH ADJACENT PANEL)
13	PRECAST CONCRETE PANEL REVEAL (COLOUR TO MATCH ADJACENT PANEL)
14	CLEAR GLAZING IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
15	SPANDREL PANEL IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
16	PREFINISHED CLEAR ANODIZED ALUMINUM FULL GLAZED DOOR
17	PRIMED & PAINTED METAL MAN DOOR (COLOUR TO MATCH ADJACENT WALL COLOUR)
18	PREFINISHED CLEAR GLAZING OVERHEAD DOOR
19	PREFINISHED METAL CAP FLASHING (COLOUR: BLACK)
20	POWDER COATED STEEL CANOPY (COLOUR: BLACK)
21	POWDER COATED STEEL STAIRS & PIPE GUARDRAIL (COLOUR: BLACK)
22	CONCRETE FILLED PIPE BOLLARD (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
23	EXTERIOR DOWNLIGHTING (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING)
24	EXTERIOR ILLUMINATED BUILDING SIGNAGE (BY OTHERS UNDER SEPARATE PERMIT)
25	FIRE DEPARTMENT CONNECTION w/ SIGN (AS PER CITY OF CALGARY REQUIREMENTS)
26	ROOF SCREEN FOR MECHANICAL UNITS (SEE ROOF PLAN FOR LOCATIONS) (BLACK LOUVERS)
27	PRIMED & PAINTED ROOF ACCESS LADDER (COLOUR TO MATCH BLACK)
28	AFTER HOURS ACCESS KEYPAD (BY OTHERS)
29	FIRE DEPARTMENT LOCKBOX (AS PER CITY OF CALGARY REQUIREMENTS)
30	MECHANICAL WALL GRILLES & PENETRATIONS (SEE NOTE BELOW)

NOTE: ALL MECHANICAL WALL GRILLES & PENETRATIONS ARE TO BE PAINTED SIMILAR TO ADJACENT WALL COLOUR

**LIGHTING LEGEND**



NOTE: EXTERIOR DOWNLIGHTING (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING). LIGHTING TO MEET DARK SKY PRINCIPLES. EXTERIOR LIGHT FIXTURES SHALL CAST LIGHT DOWNWARD AND WILL NOT ALLOW LIGHT TO ESCAPE FROM SIDES AND WILL PREVENT UPWARD GLARE AND ALL SIGNAGES WITH LIGHTING, INCLUDING FASCIA SIGNS SHALL DIM OR BE SHIELDED FROM CASTING LIGHT UPWARDS.



MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

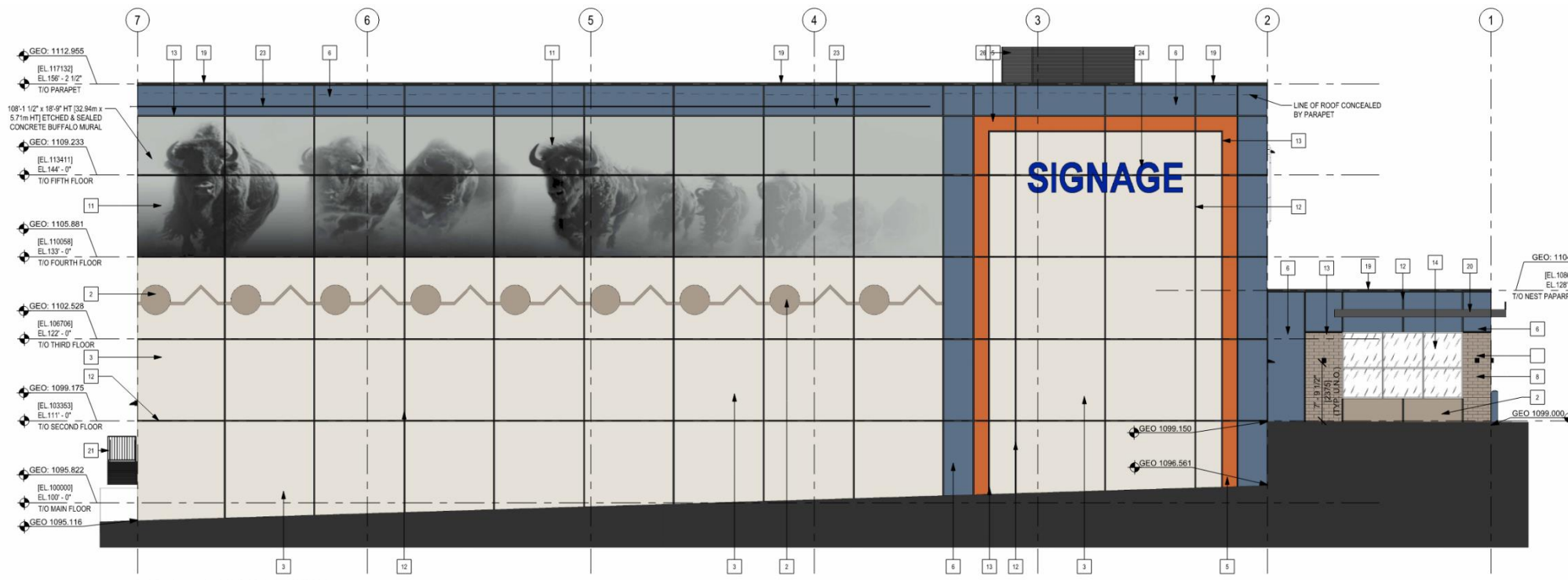
LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NAVA DRIVE S.W. CALGARY, ALBERTA

REV.	DATE	DESCRIPTION
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X	2025-03-18	ISSUED FOR BUILDING PERMIT
W	2025-03-17	ISSUED FOR SUBCONSULTANT COORDINATION
V	2025-03-03	ISSUED FOR BUILDING PERMIT
U	2025-02-24	ISSUED FOR DART DECISION MEETING
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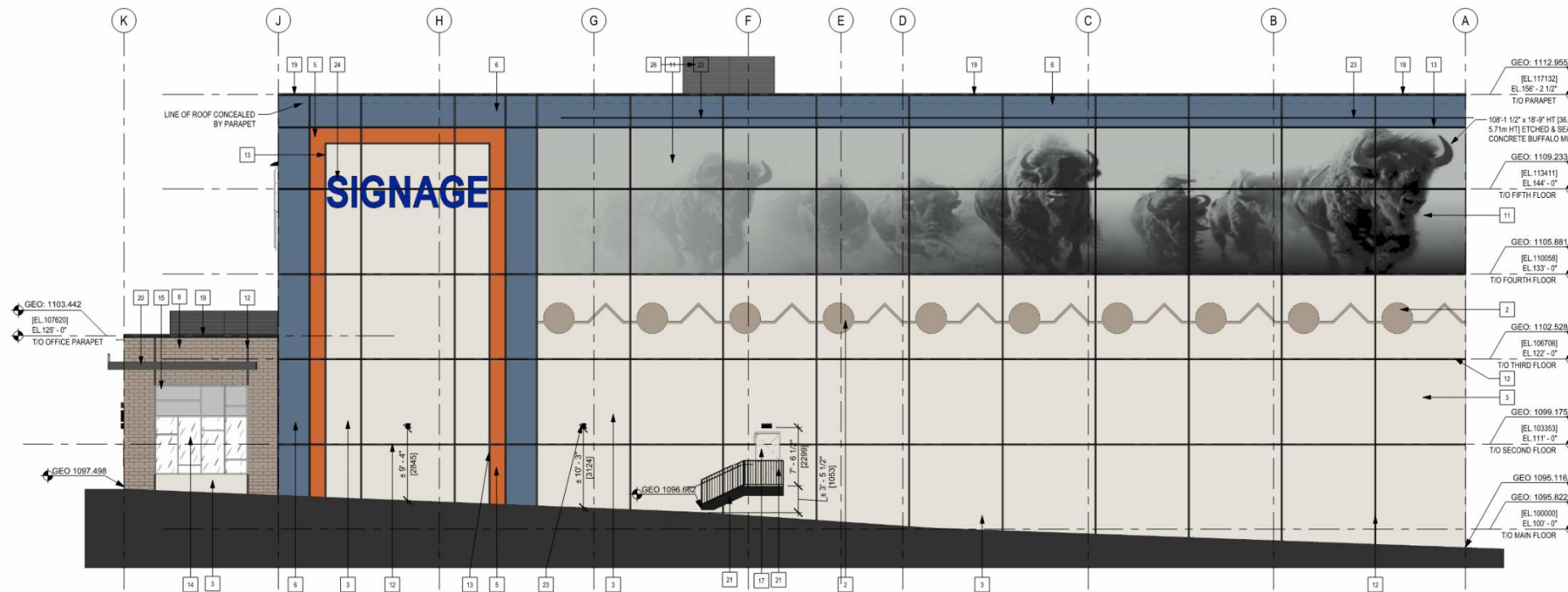
Drawing Title:  
**EXTERIOR ELEVATIONS**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KKB

**A3.1**



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

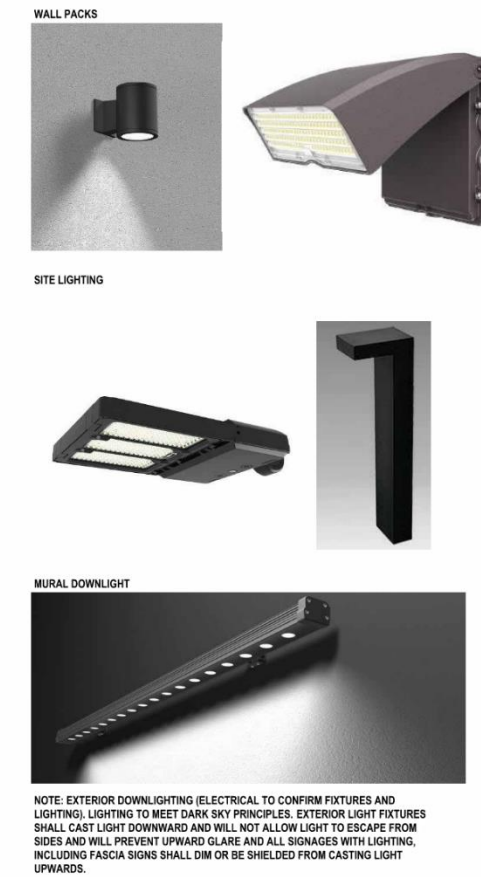


**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND	
TAG	DESCRIPTION
1	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE COASTAL_FOG 0213)
2	PRIMED & PAINTED PRECAST CONCRETE REVEAL (COLOUR: CLOVERDALE BIG SPENDER 0212)
3	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BONAIRE 0020)
4	PRIMED & PAINTED PRECAST CONCRETE REVEAL (COLOUR: CLOVERDALE SUBWAY 0536) (SEE PAGE A5.3)
5	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE CASA DE ORO 1026)
6	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
7	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE QUIET PEACE 0592)
8	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2172 08) (COLOUR: CLOVERDALE BIG SPENDER 0212)
9	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2172 08) (COLOUR: CLOVERDALE BONAIRE 0020)
10	WOOD PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2172 08) (COLOUR: CLOVERDALE CASA DE ORO 1026)
11	ETCHED & SEALED PRECAST CONCRETE BUFFALO MURAL (RECKLI PHOTO-ENGRAVING)
12	PRECAST CONCRETE PANEL JOINT (COLOUR TO MATCH ADJACENT PANEL)
13	PRECAST CONCRETE PANEL REVEAL (COLOUR TO MATCH ADJACENT PANEL)
14	CLEAR GLAZING IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
15	SPANDREL PANEL IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
16	PREFINISHED CLEAR ANODIZED ALUMINUM FULL GLAZED DOOR
17	PRIMED & PAINTED METAL MAN DOOR (COLOUR TO MATCH ADJACENT WALL COLOUR)
18	PREFINISHED CLEAR GLAZING OVERHEAD DOOR
19	PREFINISHED METAL CAP FLASHING (COLOUR: BLACK)
20	POWDER COATED STEEL CANOPY (COLOUR: BLACK)
21	POWDER COATED STEEL STAIRS & PIPE GUARDRAIL (COLOUR: BLACK)
22	CONCRETE FILLED PIPE BOLLARD (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
23	EXTERIOR DOWNLIGHTING (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING)
24	EXTERIOR ILLUMINATED BUILDING SIGNAGE (BY OTHERS UNDER SEPARATE PERMIT)
25	FIRE DEPARTMENT CONNECTION SIGN (AS PER CITY OF CALGARY REQUIREMENTS)
26	ROOF SCREEN FOR MECHANICAL UNITS (SEE ROOF PLAN FOR LOCATIONS) (BLACK LOUVERS)
27	PRIMED & PAINTED ROOF ACCESS LADDER (COLOUR TO MATCH BLACK)
28	AFTER HOURS ACCESS KEYPAD (BY OTHERS)
29	FIRE DEPARTMENT LOCKBOX (AS PER CITY OF CALGARY REQUIREMENTS)
30	MECHANICAL WALL GRILLES & PENETRATIONS (SEE NOTE BELOW)

NOTE: ALL MECHANICAL WALL GRILLES & PENETRATIONS ARE TO BE PAINTED SIMILAR TO ADJACENT WALL COLOUR

**LIGHTING LEGEND**



NOTE: EXTERIOR DOWNLIGHTING (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING). LIGHTING TO MEET DARK SKY PRINCIPLES. EXTERIOR LIGHT FIXTURES SHALL CAST LIGHT DOWNWARD AND WILL NOT ALLOW LIGHT TO ESCAPE FROM SIDES AND WILL PREVENT UPWARD GLARE AND ALL SIGNAGES WITH LIGHTING, INCLUDING FASCIA SIGNS SHALL DIM OR BE SHIELDED FROM CASTING LIGHT UPWARDS.

<p>CLIENT:</p>	<p>MECHANICAL / ELECTRICAL:</p>	<p>STRUCTURAL:</p>	<p>ARCHITECTURAL:</p> <p>PERMIT No. AC 13659 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA</p>	<p>STAMPS:</p>	<p>PROJECT INFORMATION:</p> <p><b>STOREWEST - MEDICINE HILL STORAGE</b></p> <p>LOT: 12 BLOCK: 3 PLAN: 251 0905 CIVIC ADDRESS: 1152 N/A DRIVE S.W. CALGARY, ALBERTA</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>Y</td> <td>2026-03-25</td> <td>ISSUED FOR CPC MEETING</td> </tr> <tr> <td>X</td> <td>2026-03-18</td> <td>ISSUED FOR BUILDING PERMIT</td> </tr> <tr> <td>W</td> <td>2026-03-17</td> <td>ISSUED FOR SUBCONSULTANT COORDINATION</td> </tr> <tr> <td>V</td> <td>2026-03-03</td> <td>ISSUED FOR BUILDING PERMIT</td> </tr> <tr> <td>U</td> <td>2026-02-24</td> <td>ISSUED FOR DART DECISION MEETING</td> </tr> <tr> <td>T</td> <td>2026-02-20</td> <td>RESUBMITTED FOR DTR-3 COMMENTS</td> </tr> <tr> <td>S</td> <td>2026-02-13</td> <td>LOCKER LAYOUT ISSUED FOR REVIEW</td> </tr> <tr> <td>R</td> <td>2026-02-11</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>Q</td> <td>2026-01-14</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>P</td> <td>2026-01-12</td> <td>RESUBMITTED FOR DTR-2 COMMENTS</td> </tr> </tbody> </table>	REV.	DATE	DESCRIPTION	Y	2026-03-25	ISSUED FOR CPC MEETING	X	2026-03-18	ISSUED FOR BUILDING PERMIT	W	2026-03-17	ISSUED FOR SUBCONSULTANT COORDINATION	V	2026-03-03	ISSUED FOR BUILDING PERMIT	U	2026-02-24	ISSUED FOR DART DECISION MEETING	T	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS	S	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW	R	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION	Q	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION	P	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS	<p>Drawing Title:</p> <p><b>EXTERIOR ELEVATIONS</b></p>	<p>JOB NUMBER: 25-010 DATE: APR. 16, 2025 DRAWN BY: KBK</p> <p><b>A3.2</b></p>
REV.	DATE	DESCRIPTION																																							
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SOUTHWEST VIEW



SOUTHEAST VIEW



NORTHEAST VIEW



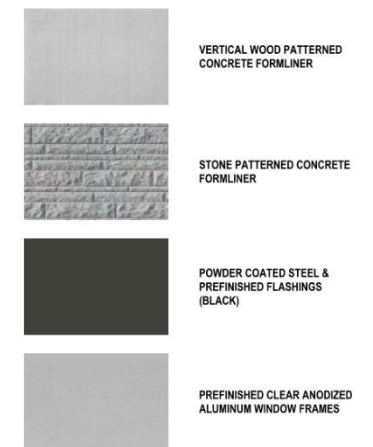
NORTHWEST VIEW

**WALL COLOURS**



NOTE: ALL WALLS CONSIST OF PAINTED PRECAST CONCRETE ONLY. PLEASE SEE FEATURE ELEMENTS BELOW FOR CAST IN FORMLINER PATTERNS.

**FEATURE ELEMENTS**



CLIENT:

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

STAMPS:

ISSUED FOR 'DART' DECISION MEETING

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

REVISIONS:

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Drawing Title:

**EXTERIOR BUILDING RENDERINGS**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A3.3**



STREETSCAPE - STORAGE OFFICE (THE NEST)



STREETSCAPE - OFFICES

**WALL COLOURS**

	CLOVERDALE - COASTAL FOG (0213)
	CLOVERDALE - BIG SPENDER (0212)
	CLOVERDALE - BONAIRE (0020)
	CLOVERDALE - CASA DE ORO (1026)
	CLOVERDALE - BLUE DEPTHS (0626)
	CLOVERDALE - QUIET PEACE (0592)

NOTE: ALL WALLS CONSIST OF PAINTED PRECAST CONCRETE ONLY. PLEASE SEE FEATURE ELEMENTS BELOW FOR CAST IN FORMLINER PATTERNS.



STORAGE LOADING AREA



STREETSCAPE - SIGNAGE TOWER

**FEATURE ELEMENTS**

	VERTICAL WOOD PATTERNED CONCRETE FORMLINER
	STONE PATTERNED CONCRETE FORMLINER
	POWDER COATED STEEL & PREFINISHED FLASHINGS (BLACK)
	PREFINISHED CLEAR ANODIZED ALUMINUM WINDOW FRAMES

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.377.0232  
EMAIL: KCON@ENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311  
www.AxiomArch.ca  
AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR 'DART' DECISION MEETING**

PROJECT INFORMATION:

**STOREWEST - MEDICINE HILL STORAGE**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NAVA DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

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Drawing Title:

**EXTERIOR BUILDING RENDERINGS**

JOB NUMBER: 25-010  
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DRAWN BY: KKB

**A3.4**



ETCHED & SEALED CONCRETE BUFFALO MURAL



ETCHED & SEALED CONCRETE BUFFALO MURAL - NIGHT

**WALL COLOURS**

	CLOVERDALE - COASTAL FOG (0213)
	CLOVERDALE - BIG SPENDER (0212)
	CLOVERDALE - BONAIRE (0020)
	CLOVERDALE - CASA DE ORO (1028)
	CLOVERDALE - BLUE DEPTHS (0626)
	CLOVERDALE - QUIET PEACE (0592)

NOTE: ALL WALLS CONSIST OF PAINTED PRECAST CONCRETE ONLY. PLEASE SEE FEATURE ELEMENTS BELOW FOR CAST IN FORMLINER PATTERNS.



VISUAL IMPACT - TRANS CANADA HIGHWAY (DISTANCE OF 150m)



VISUAL IMPACT - TRANS CANADA HIGHWAY (DISTANCE OF 150m)

**FEATURE ELEMENTS**

	VERTICAL WOOD PATTERNED CONCRETE FORMLINER
	STONE PATTERNED CONCRETE FORMLINER
	POWDER COATED STEEL & PREFINISHED FLASHINGS (BLACK)
	PREFINISHED CLEAR ANODIZED ALUMINUM WINDOW FRAMES

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.377.0292  
EMAIL: KEON@KBENGINEERING.CA

STRUCTURAL:

**Grubb Engineering**

ARCHITECTURAL:

**Axiom Architecture Inc.**  
PERMIT No. AC 13659  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311  
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REVISIONS:

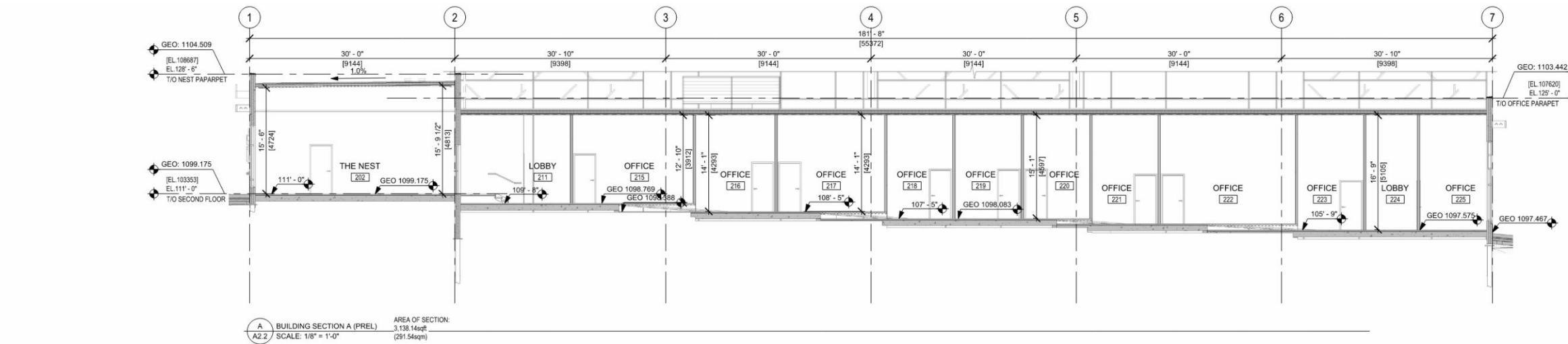
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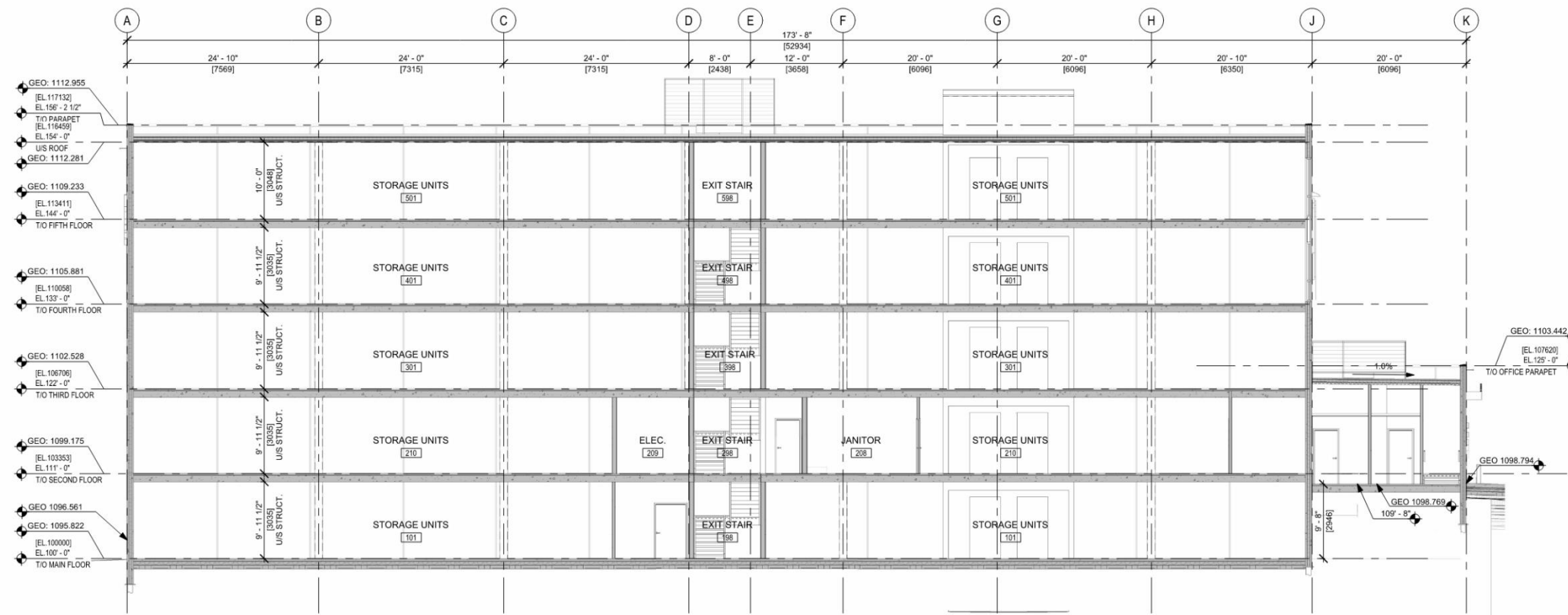
**EXTERIOR BUILDING RENDERINGS**

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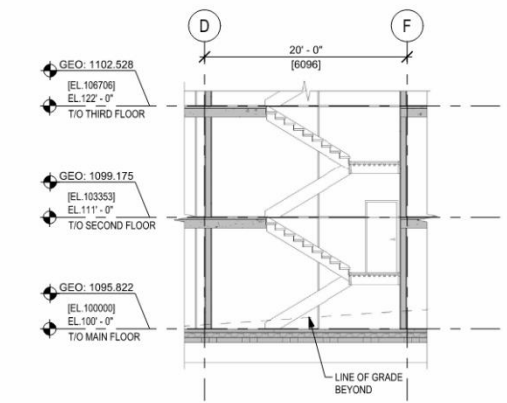
**A3.5**








**A** BUILDING SECTION A (PREL)  
A2.2 SCALE: 1/8" = 1'-0"  
AREA OF SECTION:  
3,138.14sqft  
(291.54sqm)



**B** BUILDING SECTION B (PREL)  
A2.1 SCALE: 1/8" = 1'-0"  
AREA OF SECTION:  
8,926.75sqft  
(829.32sqm)



**1** STAIR SECTION (PREL)  
A2.1 SCALE: 1/8" = 1'-0"

<p>CLIENT:</p>  <p><b>EAGLE BUILDERS</b></p>	<p>MECHANICAL / ELECTRICAL:</p>  <p><b>KB ENGINEERING LIMITED</b> RED DEER COUNTY, ALBERTA, CANADA PHONE: 587.377.0232 EMAIL: KEON@KBENGINEERING.CA</p>	<p>STRUCTURAL:</p>  <p><b>Grubb Engineering</b></p>	<p>ARCHITECTURAL:</p>  <p><b>Axiom Architecture Inc.</b> Suite 105 - 550 Laura Avenue Red Deer County, AB, T4E 0A5 Ph: 403-358-3311 www.AxiomArch.ca</p> <p>AXIOM ARCHITECTURE INC. (RED DEER) PERMIT No. AC 13659 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA</p>	<p>STAMPS:</p> <p><b>ISSUED FOR 'DART' DECISION MEETING</b></p>	<p>PROJECT INFORMATION:</p> <p><b>STOREWEST - MEDICINE HILL STORAGE</b></p> <p>LOT: 12 BLOCK: 3 PLAN: 251 0905 CIVIC ADDRESS: 1152 N/A DRIVE S.W. CALGARY, ALBERTA</p> 	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>Q</th> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>Q</td> <td>-</td> <td>2026-02-24</td> <td>ISSUED FOR 'DART' DECISION MEETING</td> </tr> <tr> <td>T</td> <td>-</td> <td>2026-02-20</td> <td>RESUBMITTED FOR DTR-3 COMMENTS</td> </tr> <tr> <td>S</td> <td>-</td> <td>2026-02-13</td> <td>LOCKER LAYOUT ISSUED FOR REVIEW</td> </tr> <tr> <td>R</td> <td>-</td> <td>2026-02-11</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>Q</td> <td>-</td> <td>2026-01-14</td> <td>ISSUED FOR SUBCONSULTANT INFORMATION</td> </tr> <tr> <td>P</td> <td>-</td> <td>2026-01-12</td> <td>RESUBMITTED FOR DTR-2 COMMENTS</td> </tr> </tbody> </table>	Q	REV	DATE	DESCRIPTION	Q	-	2026-02-24	ISSUED FOR 'DART' DECISION MEETING	T	-	2026-02-20	RESUBMITTED FOR DTR-3 COMMENTS	S	-	2026-02-13	LOCKER LAYOUT ISSUED FOR REVIEW	R	-	2026-02-11	ISSUED FOR SUBCONSULTANT INFORMATION	Q	-	2026-01-14	ISSUED FOR SUBCONSULTANT INFORMATION	P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS	<p>Drawing Title:</p> <p><b>BUILDING SECTIONS</b></p>	<p>JOB NUMBER: 25-010 DATE: APR. 16, 2025 DRAWN BY: KBK</p> <p><b>A4.1</b></p>
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**RULES FOR FACADES AND SELF STORAGE FACILITY**

GLAZING REQUIREMENTS AS PER DIRECT CONTROL - 35D2025

- THE FACADE OF A BUILDING ON THE GROUND FLOOR FACING NA'A DRIVE SW MUST PROVIDE WINDOWS OF TRANSPARENT AND UNOBSCURED GLASS THAT OCCUPY A MIN. 50% OF THE FACADE BETWEEN THE HEIGHT OF 0.6m AND 2.4m
- THE FACADE OF A BUILDING LOCATED ABOVE THE GROUND FLOOR AND FACING A STREET MUST PROVIDE WINDOWS WITH UNOBSCURED GLASS THAT OCCUPY A MINIMUM OF 15% OF THE FACADE





**GROUND FLOOR GLAZING**

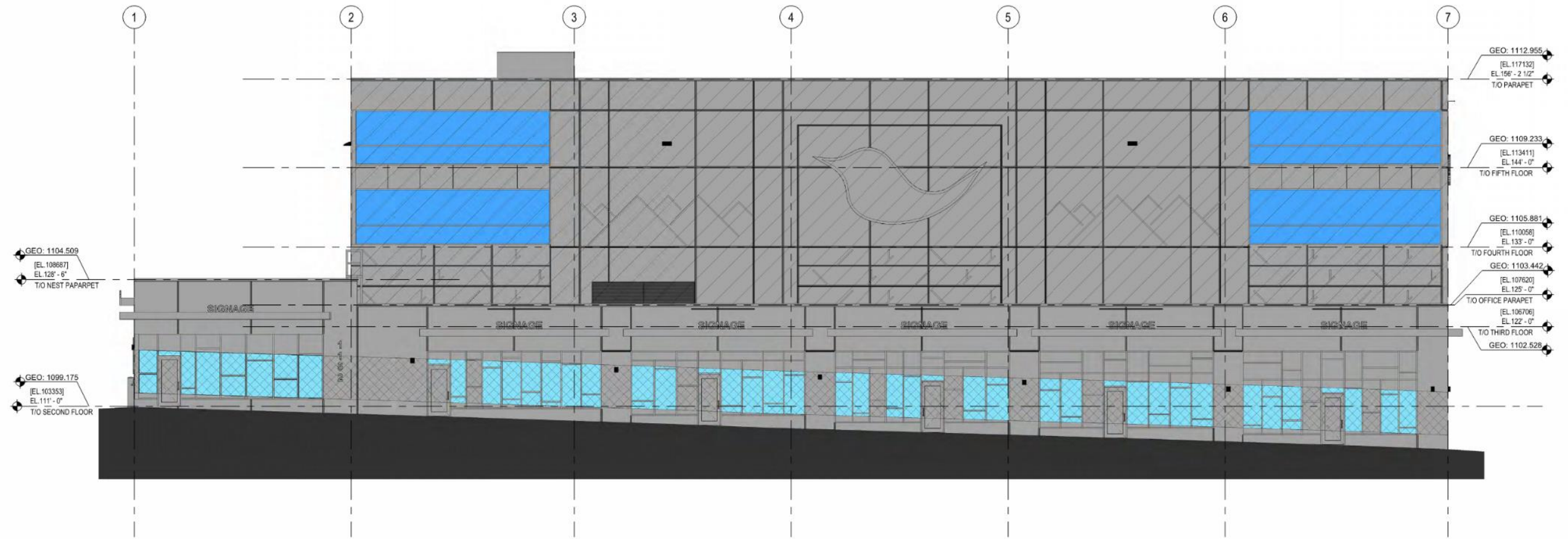
- FACADE AREA: 99.67sqm (1,072.84sqft)
- MIN. REQUIRED GLAZING: 49.84sqm (536.47sqft) (50%)
- PROVIDED GLAZING: 55.73 sqm (599.84sqft) (55.9%)

**UPPER FLOOR GLAZING**

- FACADE AREA: 439.46sqm (4,730.31sqft)
- MIN. REQUIRED GLAZING: 65.92sqm (709.56sqft) (15%)
- PROVIDED GLAZING: 71.21sqm (766.50sqft) (16.2%)

**BYLAW GLAZING LEGEND**

	GROUND FLOOR TRANSPARENT AND UNOBSCURED GLAZING AREA
	LOWER FACADE AREA
	UPPER FLOOR TRANSPARENT AND UNOBSCURED GLAZING AREA
	UPPER FACADE AREA



**STREET FACING GLAZING ELEVATION (SOUTH)**

SCALE: 1/8" = 1'-0"

CLIENT:




**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:




**KB ENGINEERING LIMITED**  
RED DEER COUNTY, ALBERTA, CANADA  
PHONE: 587.377.0232  
EMAIL: KEONG@KBENGINEERING.CA

STRUCTURAL:



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ARCHITECTURAL:



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**STOREWEST - MEDICINE HILL STORAGE**



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BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NA'A DRIVE S.W.  
CALGARY, ALBERTA

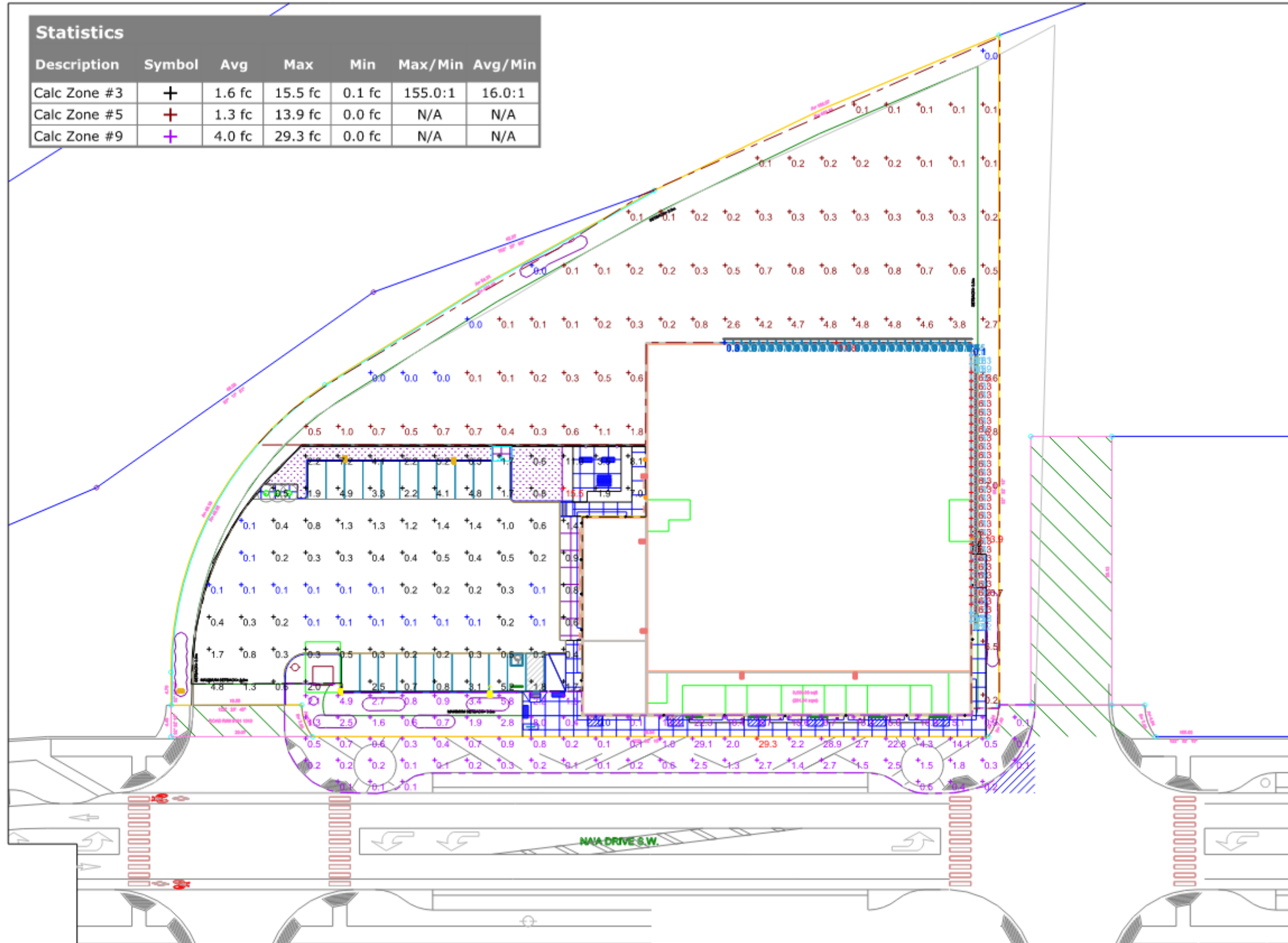
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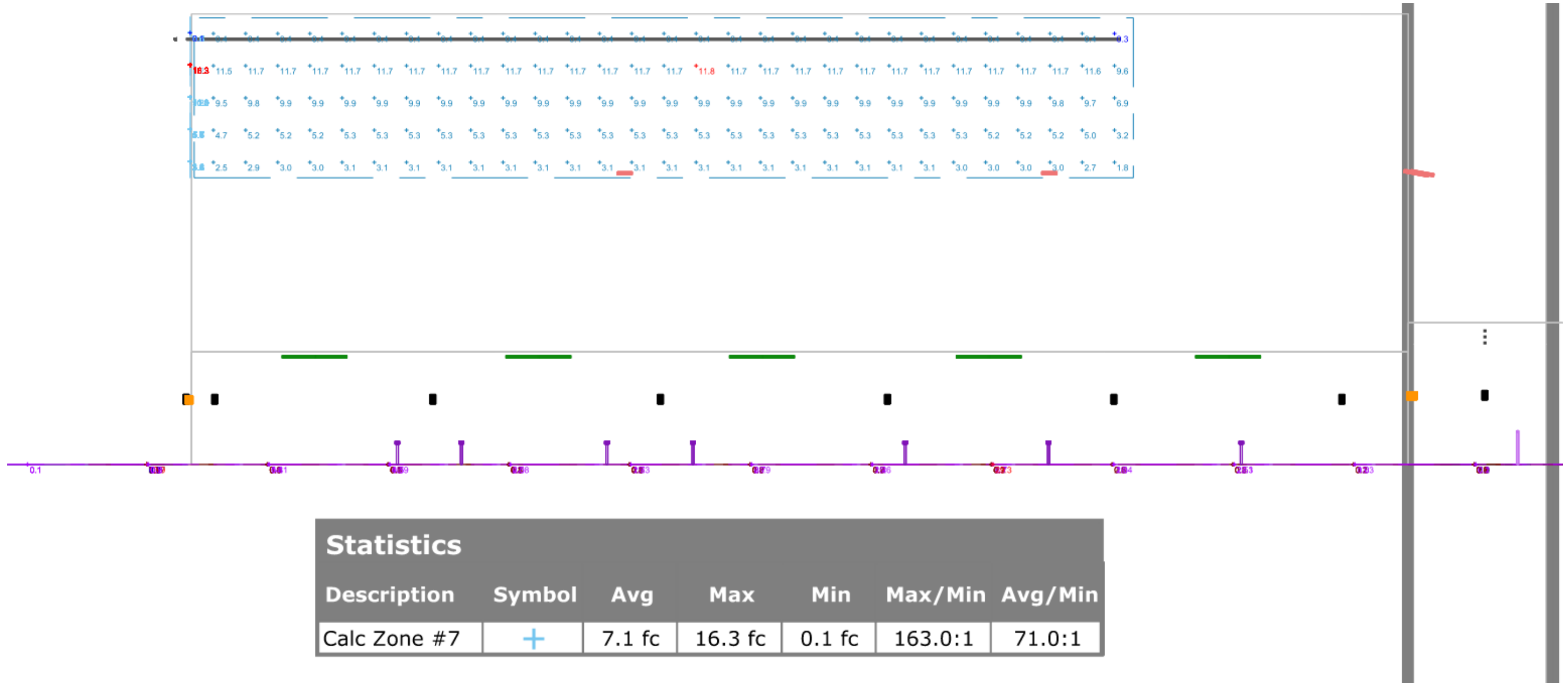
**GLAZING COMPLIANCE EXTERIOR ELEVATION**

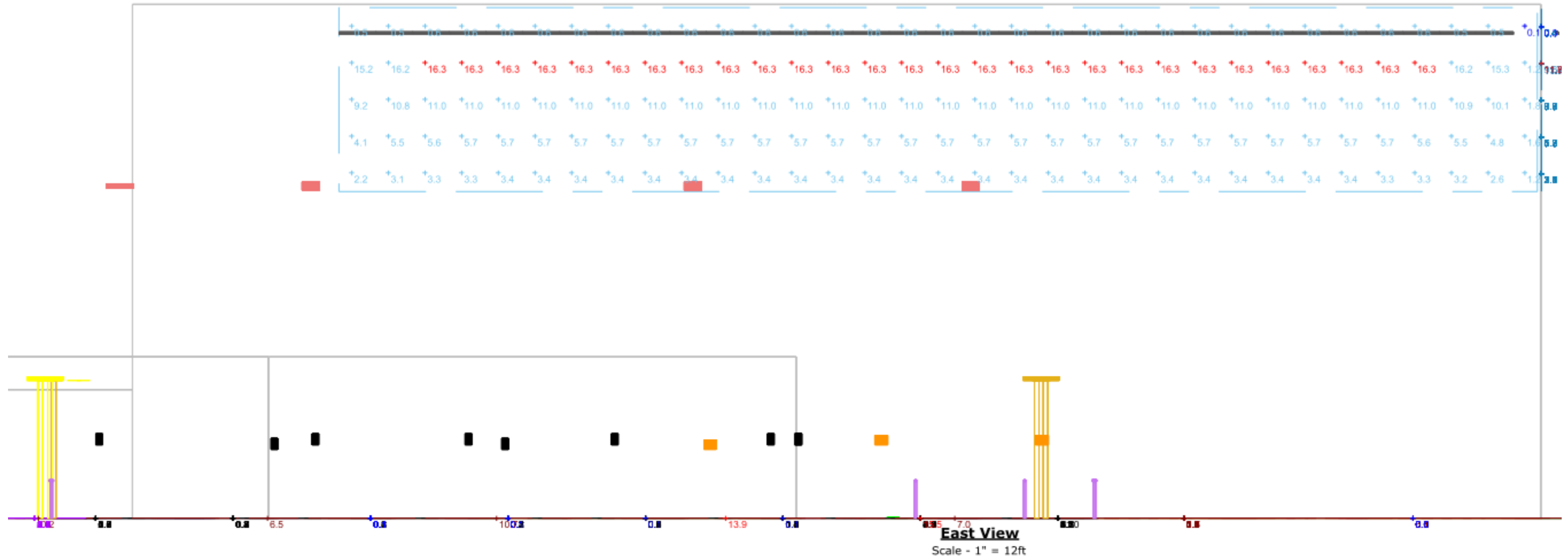
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DATE: APR. 16, 2025  
DRAWN BY: KBC

**A5.1**












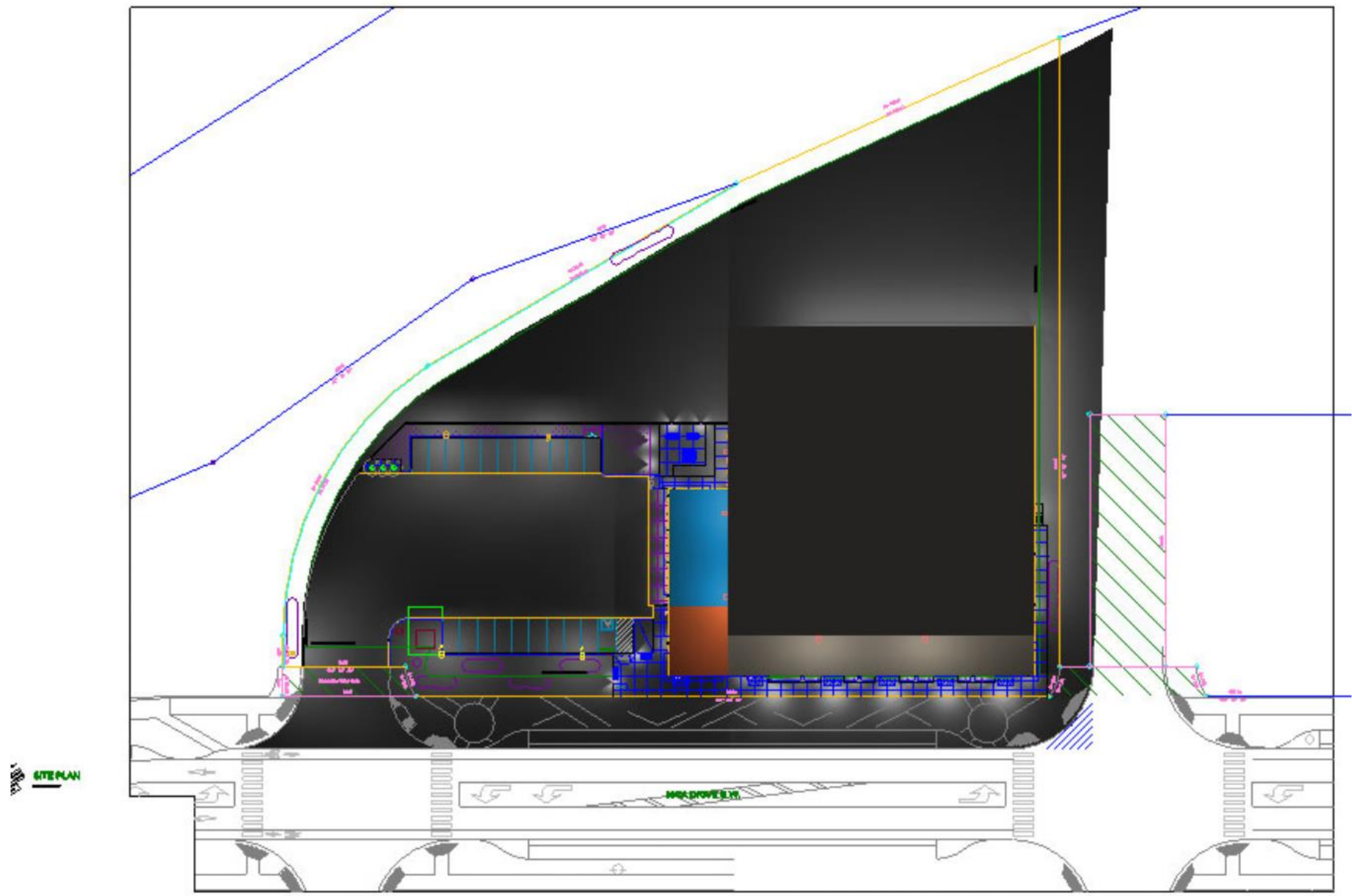
**Plan View**  
Scale - 1" = 50ft

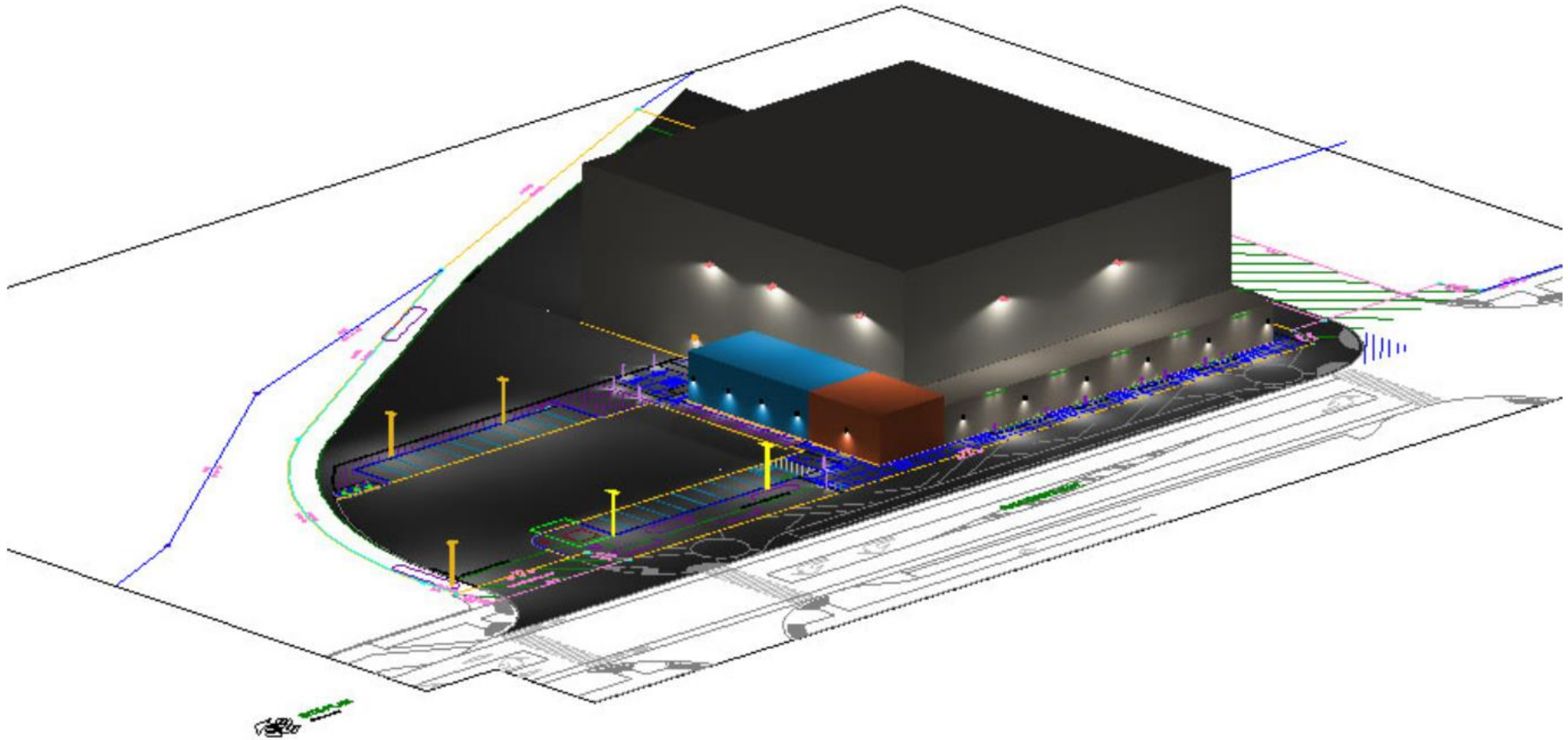


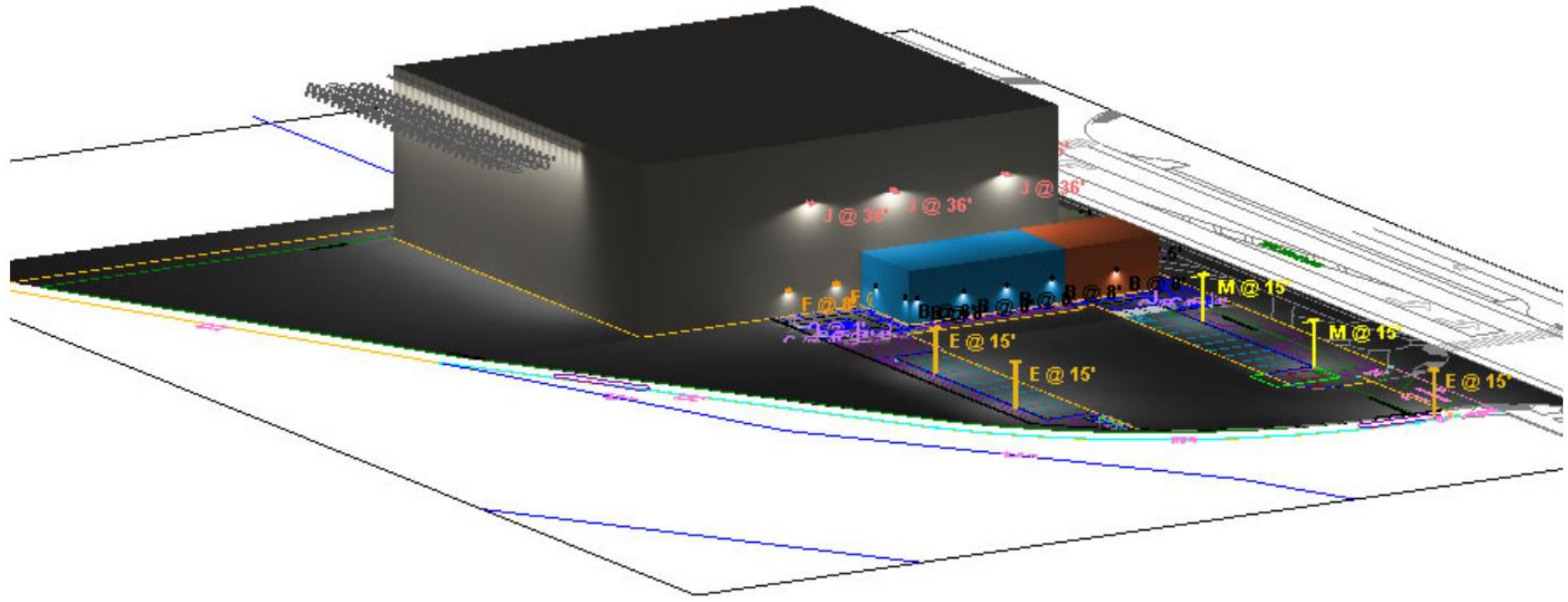


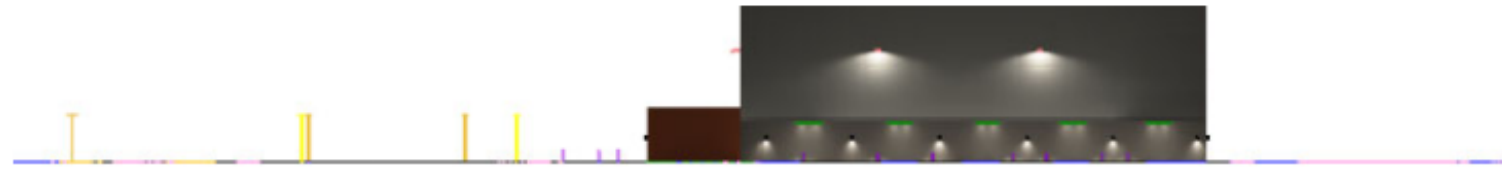
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Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #7	+	7.1 fc	16.3 fc	0.1 fc	163.0:1	71.0:1

Schedule									
Symbol	Label	QTY	Description	Part Number	Lamp	Lumens per Lamp	LLF	Wattage	
	<b>A</b>	61	Linear Sign Lighting 12W/30K 24V	ONOFF 1200X38X36MM	807801-1200-3000K-S30	1477	0.4	11.5	
	<b>B</b>	15	4in Cylinder - Down 14W 30K	IP-228030-B-14W3K-S60D	14W 3000K 60Deg	1200	0.9	14	
	<b>C</b>	6	Bollard 18W 30K 40in	IP55-116577-B-3-18W-830-L	116577-III-18W830-L	1530	0.9	18	
	<b>E</b>	3	Set to 60W/3000K/T4-Visor-Back	FL05-100W-3P-3CCT-UD		8783	0.9	60	
	<b>F</b>	3	Wallpack Small - 15W 30K Type 3	AWP05-40W-3CCT-4P-UD		2237	0.9	15.2234	
	<b>J</b>	5	Set to 100W/4000K/T3-Visor-Front	FL05-100W-3P-3CCT-UD		9736	0.75	96.5165	
	<b>K</b>	7	Bollard 8W 30K 22in	IP55-116577-B-1-8W-830-L	116577-III-18W830-L	680	0.9	18	
	<b>G</b>	10	Linear Sign Lighting 24W/30K 24V	1200X38X36MM	807801-1200-3000K-S30	2953	0.9	23.5	
	<b>M</b>	2	Set to 60W/3000K/T4-Visor-Front	FL05-100W-3P-3CCT-UD		5399	0.9	56.6041	









View #6



View #8



View #9



View #10