

PLAZA 54



PROJECT NO.: 6028

ISSUED FOR: DEVELOPMENT PERMIT - DETAILED REVIEW RESPONSE 1

VOLUME: 1 OF 1
PRELIMINARY - NOT FOR CONSTRUCTION
2025/02/28

DRAWING LIST

<u>ARCHITECTURAL</u>	<u>STRUCTURAL</u>	<u>MECHANICAL</u>	<u>ELECTRICAL</u>	<u>CIVIL</u>	<u>LANDSCAPE</u>
DP-A000 COVER PAGE DP-A001 SITE PHOTOS & STATISTICS DP-A101 SITE SURVEY DP-A102 SITE DEMOLITION PLAN DP-A103 SITE PLAN (PROPOSED) DP-A104 W&R AND FIRE ACCESS PLAN DP-A105 WASTE & RECYCLING ROOM DP-A201 P4 PARKADE PLAN DP-A202 P3 PARKADE PLAN DP-A203 P2 PARKADE PLAN DP-A204 P1 PARKADE PLAN DP-A205 LEVEL 01 FLOOR PLAN DP-A206 LEVEL 02 FLOOR PLAN DP-A207 LEVEL 03 FLOOR PLAN DP-A208 LEVEL 04-25 TYP. FLOOR PLAN DP-A209 LEVEL 26 FLOOR PLAN DP-A210 LEVEL 27-30 TYP. FLOOR PLAN DP-A211 ROOF PLAN DP-A301 ELEVATION - NORTH DP-A302 ELEVATION - EAST DP-A303 ELEVATION - SOUTH DP-A304 ELEVATION - WEST DP-A400 BUILDING SECTIONS DP-A401 PARKADE SECTIONS DP-A402 PARKADE SECTIONS DP-A403 PARKADE SECTIONS					L100 LANDSCAPE PLAN L101 LANDSCAPE SURFACE AND LAYOUT PLAN L102 PLANTING PLAN L103 TREE PROTECTION PLAN L200 LANDSCAPE DETAILS





Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO



Seal & Permit

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2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
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Drawing History		
Scale:	NTS	Checked By Checker

Project
PLAZA 54

Project Address

Drawing Title

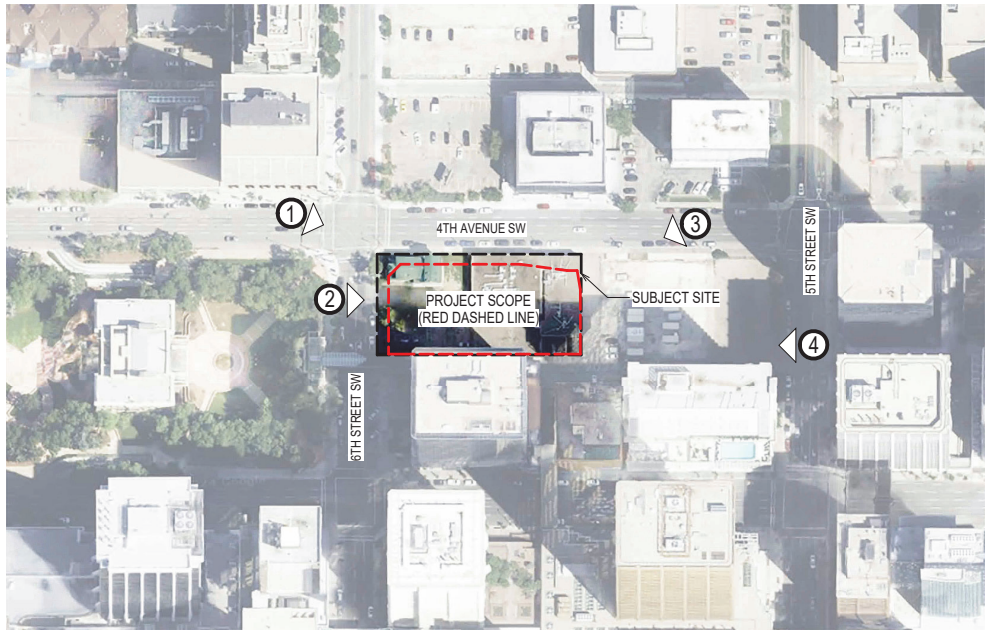
SITE PHOTOS & STATISTICS

Project Number	Drawing Number
6028	DP-A001

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1 LAND USE MAP
Scale: NTS
TRUE NORTH
PROJECT NORTH



SITE MAP INDICATING DIRECTION AND LOCATION OF PHOTOS

2 AERIAL CONTEXT VIEW
Scale: NTS
TRUE NORTH
PROJECT NORTH

DEVELOPMENT PERMIT ANALYSIS

MUNICIPAL ADDRESSES

631 4 AVENUE SW
CALGARY, ALBERTA

LEGAL ADDRESSES

LOT 1 - LOT 10
PLAN A1
BLOCK 17

SITE SUMMARY

PARCEL AREA: 3025.82 m²
0.303 ha
0.748 acres

BY-LAW ZONING

PART 13, DIVISION 1-3 COMMERCIAL RESIDENTIAL DISTRICT (CR20-C20/R20)

NOTE: PREVIOUSLY DP2015-1631 (CURRENTLY INACTIVE)

BY-LAW SETBACK SUMMARY

MIN. FRONT SETBACK - NORTH (4TH AVENUE SW):
2.134 m PUBLIC REALM SETBACK
2.2 m PEDESTRIAN SETBACK
MIN. SIDE SETBACK - WEST (6TH STREET SW):
2.134 m PUBLIC REALM SETBACK
2.2 m PEDESTRIAN SETBACK
MIN. SIDE AND REAR SETBACKS (EAST & SOUTH): 0.0m

PROPOSED DEVELOPMENT

MULTI-RESIDENTIAL DEVELOPMENT (DISCRETIONARY USE)
BUILDING CLASSIFICATION PER NATIONAL BUILDING CODE - 2023 ALBERTA EDITION
GROUP C [3.2.2.4] SPRINKLERED

BUILDING HEIGHT

MAXIMUM BUILDING HEIGHT: THERE IS NO MAXIMUM BUILDING HEIGHT
PROPOSED BUILDING HEIGHT: 100.5m

AREA SUMMARY

ABOVE-GROUND GROSS FLOOR AREAS

PODIUM		
<u>LEVEL</u>	<u>PROGRAM</u>	<u>GFA (m²)</u>
01	Commercial & Residential	1891.35
02	Amenity/Utility+15	2282.83
TOTAL		4174.18 m²

TOWER	LEVEL	PROGRAM	GFA (m ²)
	03 - 25	Typical Floor	855.71 x 23 = 19,681.33
	26	Amenity & Units	748.15
	27 - 30	Typ. Executive Floor	872.86 x 4 = 3491.44
		TOTAL	23,920.92 m²

TOTAL SUBJECT SITE GFA: 28,095.10 m²

FLOOR AREA RATIO

MAX. PERMITTED F.A.R.	F.A.R. = FLOOR AREA / SITE AREA	PROPOSED F.A.R.
20.0	= 28,095.10 m ² / 3025.82 m ²	9.3

NOTE: [PART 13, DIV 2, 1310] THE MAX. F.A.R. IS 3.0.
[PART 13, DIV 3, 1332(1)] THE F.A.R. OF THE CR20-C20/R20 DISTRICT MAY BE INCREASED IN ACCORDANCE WITH THE INCENTIVE PROVISIONS OF THIS DIVISION TO A MAX. TOTAL OF 20.0 F.A.R. PER TABLE 7: SUMMARY OF INCENTIVE PROVISIONS. ADDITIONAL INCENTIVE F.A.R. OF 12.0 MAY BE ACHIEVED BY PROVIDING PUBLIC AMENITY ITEMS FROM TABLE 8: ITEM 8.04(i), (ii), AND (i3).
8.0.4 (a) AT GRADE PEDESTRIAN CIRCULATION - PUBLIC SIDEWALK SETBACK AREA;
(b) AT GRADE PEDESTRIAN CIRCULATION PROVIDED WITHIN A TRIANGULAR AREA FORMED ON A CORNER PARCEL BY THE TWO PROPERTY LINES, AS DETERMINED BY TABLE 1, REQUIRED SETBACKS, AND A STRAIGHT LINE WHICH INTERSECTS THEM 7.5 METERS FROM WHERE THEY MEET; AND;
(c) PLUS 16 NETWORK PROVISIONS.

UNIT COUNT

FLOOR	1 BED JR.	1 BED	1 BED + D	2 BED	2 BED EXEC	UNITS PER FLOOR	TOTAL UNIT COUNT
3 - 25	2	4	2	4		12	276
26		2	3	2		7	7
27 - 30				4	4	8	32
TOTAL	46	94	49	110	16		315
SUITE MIX	14.60%	29.84%	15.56%	34.92%	5.08%		100%

MOTOR VEHICLE PARKING

PROPOSED VEHICLE PARKING				
USE	UNIT COUNT	FACTOR	REQUIRED	PROVIDED
RESIDENTIAL	315	0.5 STALLS/UNIT	158	176
VISITOR	315	0.1 STALLS/UNIT	32	32
COMMERCIAL	-	0.0 STALLS/UNIT	0	31
TOTAL			190	239

BICYCLE PARKING

PROPOSED CLASS 1 STALLS				
USE	UNIT COUNT	FACTOR	REQUIRED	PROVIDED
RESIDENTIAL	315	1.0 STALLS/UNIT	315	317

NOTE: ALL PROPOSED CLASS 1 STALLS ARE LOCATED BELOW GRADE WITHIN THE PROPOSED PARKADE DEVELOPMENT AT LEVEL P1 (SEE DP-A205).

PROPOSED CLASS 2 STALLS				
USE	UNIT COUNT	FACTOR	REQUIRED	PROVIDED
RESIDENTIAL	315	0.1 STALLS/UNIT	32	32
COMMERCIAL		1 STALL/250 m ² G.U.F.A.	5	6

NOTE: ALL PROPOSED CLASS 2 STALLS ARE LOCATED AT GRADE AND ADJACENT TO THE PROPOSED DEVELOPMENT FRONTING 4TH AVE SW AND 6TH ST SW (SEE DP-A102).

WASTE & RECYCLING

RESIDENTIAL:
WASTE & RECYCLING PRODUCED
BINS REQUIRED
COMPACTOR REDUCTION
0.3 yd³ x 315 = 94.5 yd³
94.5 yd³ / 4 yd³ = 23.625 BINS
23.625 BINS / 3 (3:1 RATIO) = 7.9 BINS
= 8 BINS

BINS PROVIDED
WASTE BINS = 3 4yd³ + COMPACTOR
RECYCLE BINS = 3 4yd³ BINS
ORGANICS = 4 360L BINS

COMMERCIAL:
WASTE & RECYCLING PRODUCED
BINS REQUIRED
0.0039 yd³ x 1108 m² = 4.438 yd³
4.438 yd³ / 4 yd³ = 1.11 BINS
= 2 BINS

BINS PROVIDED
WASTE BINS = 1 4yd³
RECYCLE BINS = 1 4yd³ BINS
ORGANICS = 2 360L BINS

NOTE:
AMOUNT OF RESIDENTIAL WASTE PRODUCED IS BASED ON AN ASSUMED 0.3y³/M² MULTIPLIED BY TOTAL NUMBER OF DWELLING UNITS
AMOUNT OF COMMERCIAL WASTE PRODUCED IS BASED ON AN ASSUMED 3 yd³ FOR EVERY 1000 m² OF THE DEVELOPMENT, PER CITY OF CALGARY DESIGN STANDARDS FOR THE STORAGE AND COLLECTION OF WASTE.



1. VIEW FROM 4TH AVENUE LOOKING SOUTH EAST



2. VIEW FROM 6TH STREET LOOKING EAST



3. VIEW FROM 4TH AVENUE LOOKING SOUTH WEST



4. VIEW FROM 5TH STREET LOOKING WEST

Project Team:

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SCATLUFF + MILLER + MURRAY

Consultant Other

CANTIRO

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Project

PLAZA 54

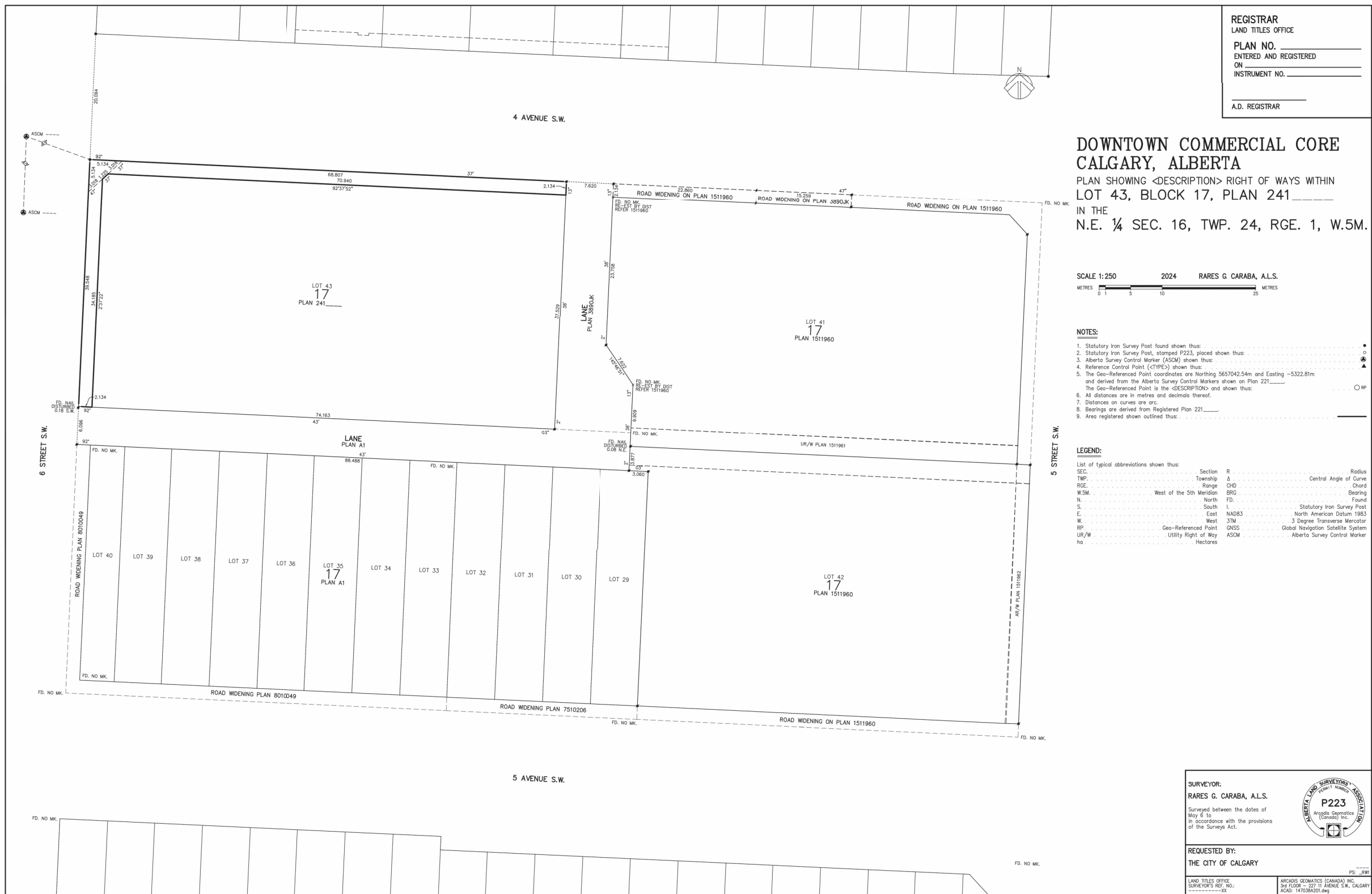
Project Address

Drawing Title

SITE SURVEY

Project Number	Drawing Number
6028	DP-A101

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Project
PLAZA 54

Project Address
Drawing Title

SITE DEMOLITION PLAN

Project Number 6028	Drawing Number DP-A102
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SITE PLAN NOTES

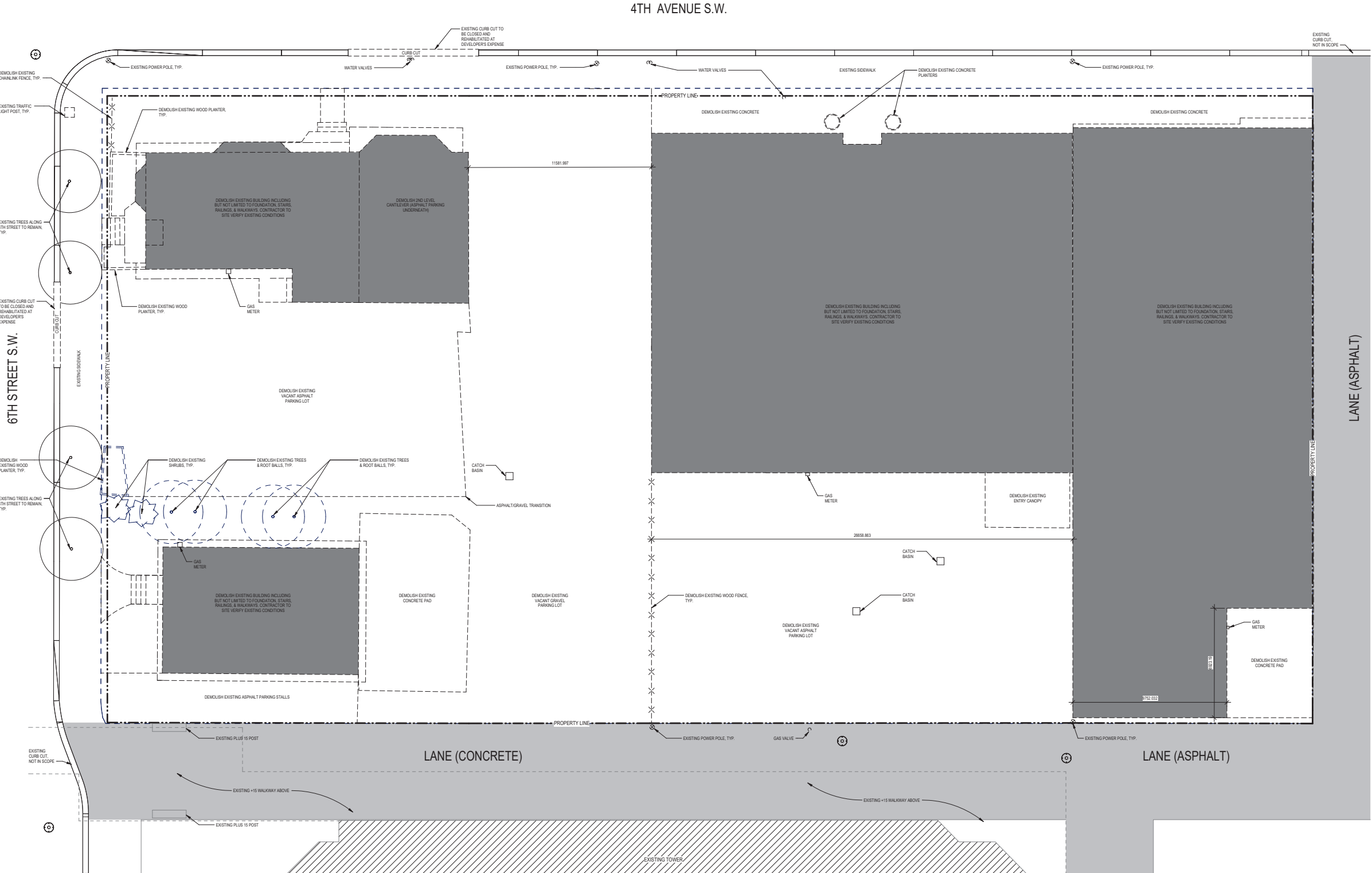
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LEGAL ADDRESS:
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1. ONLY THE AREA INDICATED AS THE AREA OF APPLICATION IS TO BE ALTERED FROM EXISTING. THE REST OF THE SITE IS TO REMAIN UNCHANGED.

SITE PLAN LEGEND

- LANDSCAPE AREAS
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- CONCRETE
- MANHOLE
- SIGNAGE
- EXISTING TREE TO BE DEMOLISHED
- EXISTING TREE TO REMAIN



1 SITE DEMOLITION PLAN
DP-A102 Scale: 1 : 100



Project Team:
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Project	Plaza 54	

Project
PLAZA 54

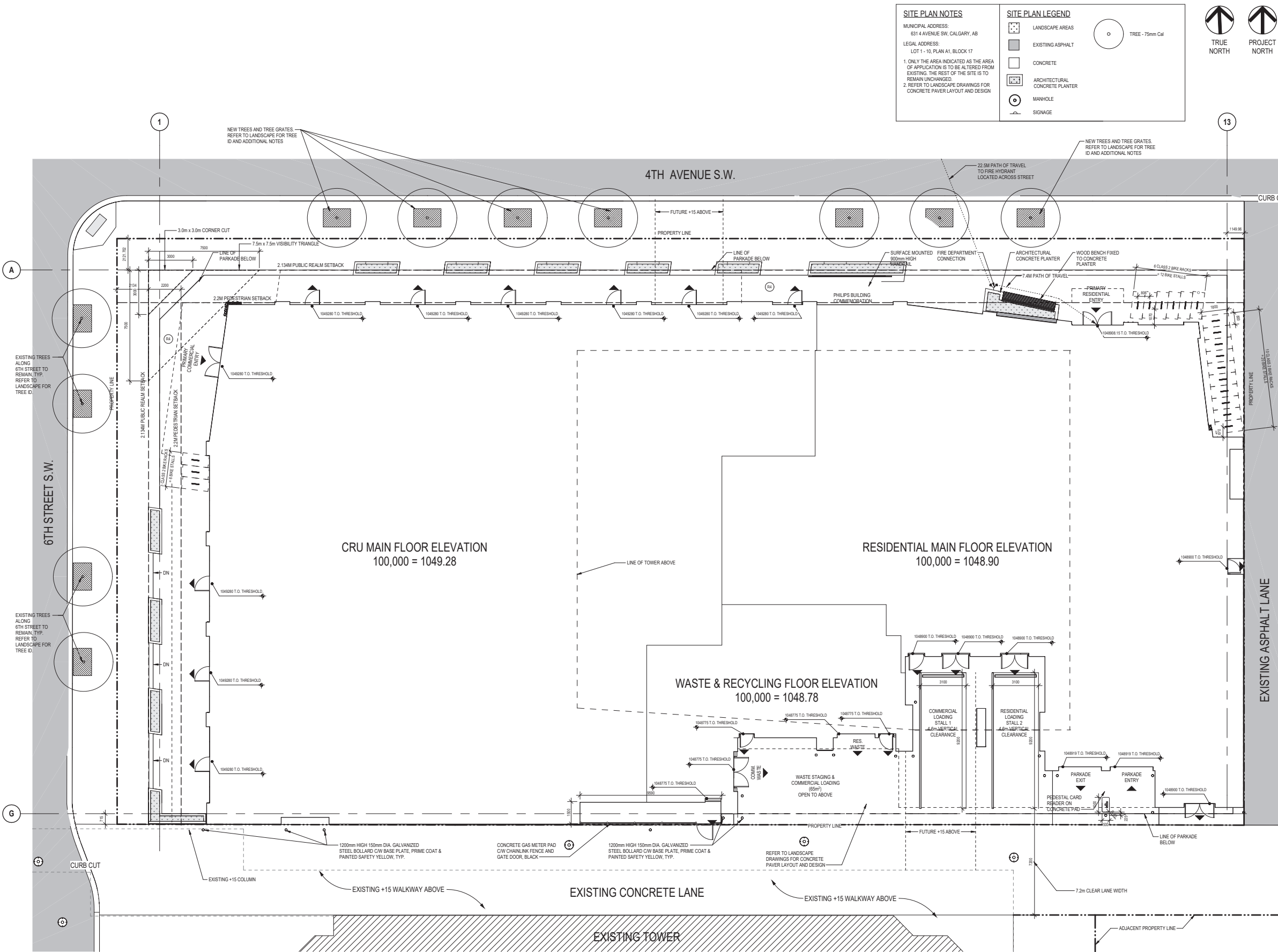
Project Address
Drawing Title

SITE PLAN (PROPOSED)

Project Number
6028

Drawing Number
DP-A103

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1 SITE PLAN
DP-A103
Scale: 1:100



Project Team:
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Drawing History

Scale: As indicated

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Project

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Project Address

Drawing Title

WASTE & RECYCLING ROOM

Project Number

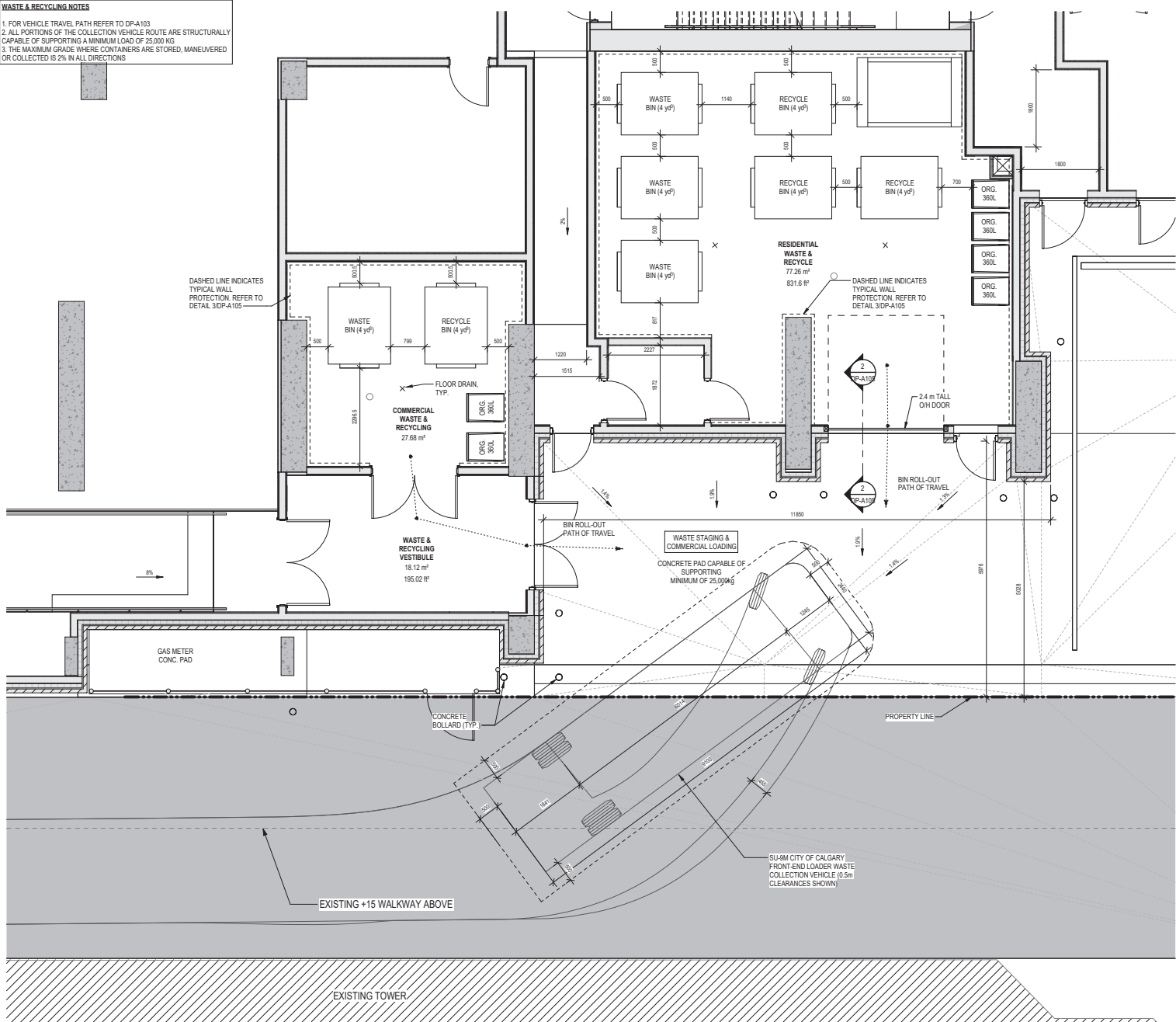
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Drawing Number

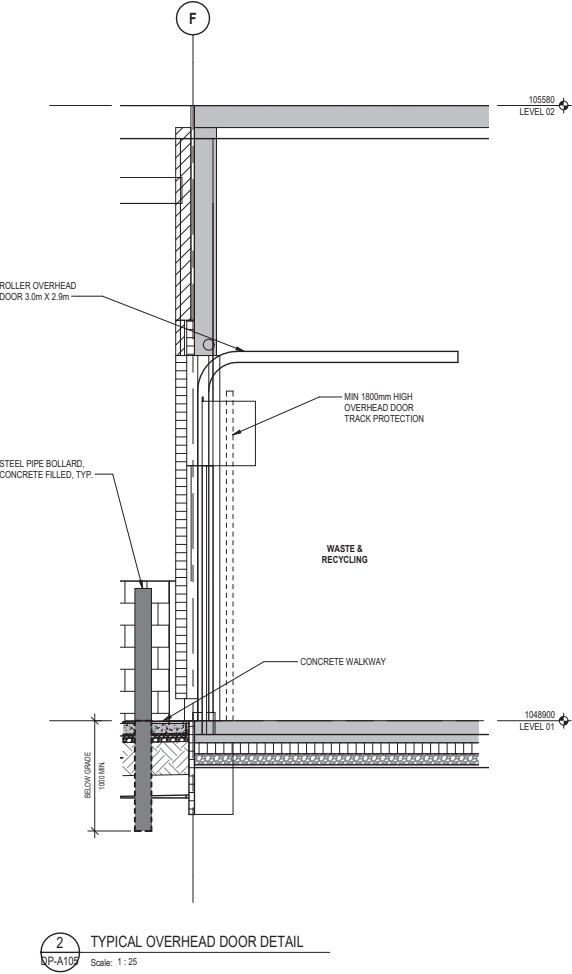
DP-A105

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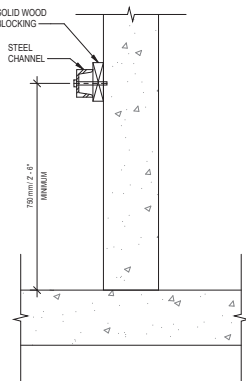
WASTE & RECYCLING NOTES
1. FOR VEHICLE TRAVEL PATH REFER TO DP-A103
2. ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM LOAD OF 25,000 KG
3. THE MAXIMUM GRADE WHERE CONTAINERS ARE STORED, MANEUVERED OR COLLECTED IS 2% IN ALL DIRECTIONS



1 WASTE & RECYCLING ROOM
Scale: 1:50



2 TYPICAL OVERHEAD DOOR DETAIL
Scale: 1:25



3 TYPICAL WALL PROTECTION DETAIL
Scale: 1:10



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Project
PLAZA 54

Project Address

Drawing Title
P4 PARKADE PLAN

Drawing Number
6028
DP-A201

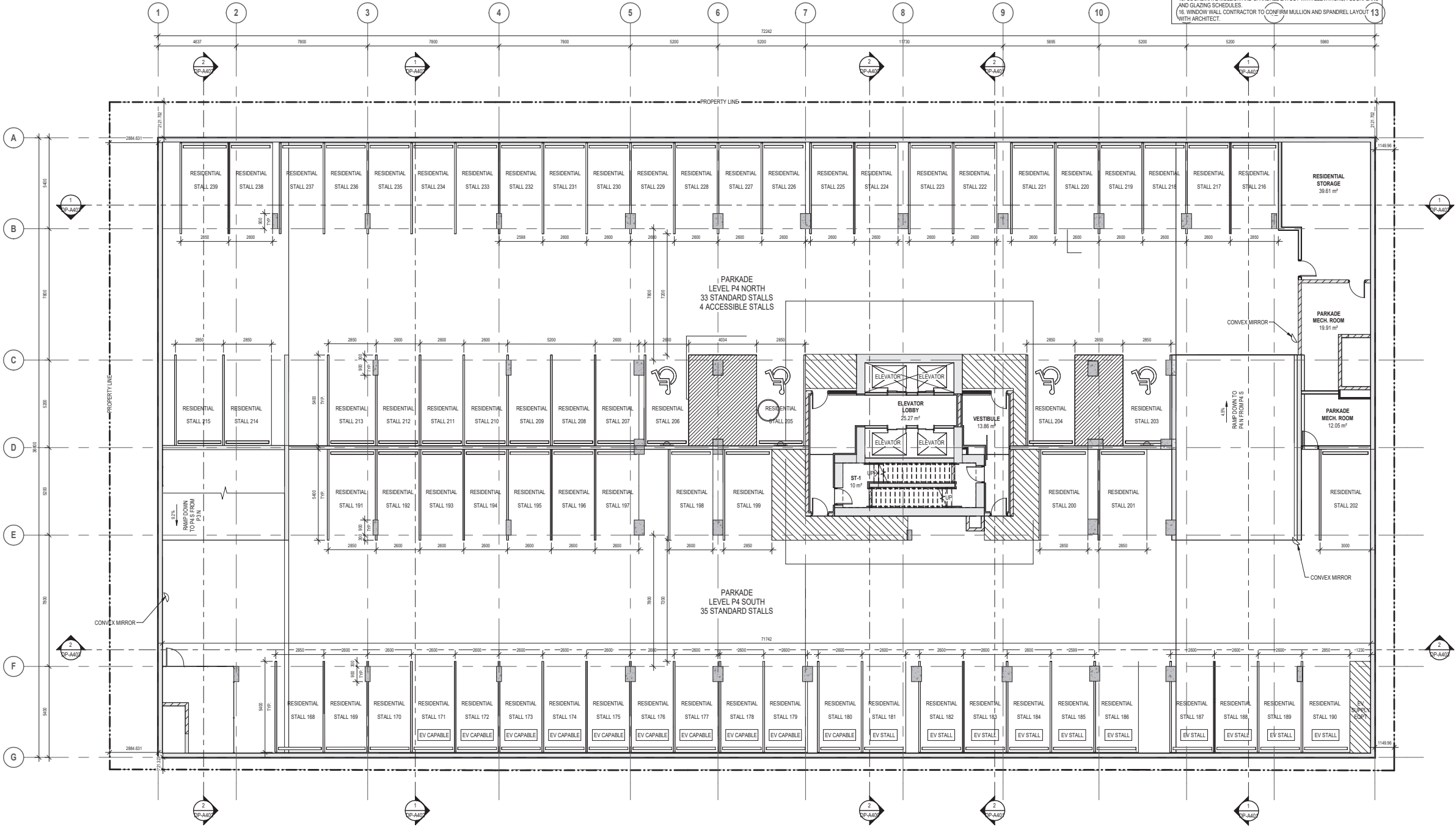
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Parking Schedule - Commercial			
Level	Type	Count	
LEVEL P1	5400 x 2600mm ADA 90 Deg	1	
LEVEL P1	5400 x 2600mm Standard 90 Deg	17	
LEVEL P1	5400 x 2850mm ADA 90 Deg	3	
LEVEL P1	5400 x 2850mm Standard 90 Deg	9	
LEVEL P1	5400 x 3000mm Standard 90 Deg	2	
LEVEL P2	5400 x 2600mm ADA 90 Deg	1	
LEVEL P2	5400 x 2600mm Standard 90 Deg	48	
LEVEL P2	5400 x 2850mm ADA 90 Deg	3	
LEVEL P2	5400 x 2850mm Standard 90 Deg	16	
LEVEL P2	5400 x 3000mm Standard 90 Deg	1	
Grand total: 101			

Parking Schedule - Residential			
Level	Type	Count	
LEVEL P3	5400 x 2600mm ADA 90 Deg	1	
LEVEL P3	5400 x 2600mm Standard 90 Deg	56	
LEVEL P3	5400 x 2850mm ADA 90 Deg	3	
LEVEL P3	5400 x 2850mm Standard 90 Deg	9	
LEVEL P3	5400 x 3000mm Standard 90 Deg	1	
LEVEL P4	5400 x 2600mm ADA 90 Deg	1	
LEVEL P4	5400 x 2600mm Standard 90 Deg	56	
LEVEL P4	5400 x 2850mm ADA 90 Deg	3	
LEVEL P4	5400 x 2850mm Standard 90 Deg	11	
LEVEL P4	5400 x 3000mm Standard 90 Deg	1	
Grand total: 142			

FLOOR PLAN NOTES

1. REFER TO ENLARGED SUITE PLANS FOR SUITE PARTITION TYPES, DIMENSIONS, AND DOOR TYPES.
2. REFER TO 4500 PLANS AND SECTIONS FOR STAIR DIMENSIONS.
3. REFER TO SLAB PLANS FOR PARKADE AND ROOF SLOPING STRATEGY.
4. BALCONY DOOR TYPES SHOWN ON 1:100 FLOOR PLANS FOR LEVEL 2 AS PATIOS AND BALCONY TYPES VARY FROM TYPICAL LEVELS. FOR BALCONY DOORS FOR TYPICAL LEVELS REFER TO ENLARGED SUITE PLANS.
5. PAVERS ON LEVEL 3 PRIVATE BALCONIES TO BE CHARCOAL, IN COLOUR.
6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
7. PAVERS ON LEVEL 26 ROOF PATIO TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
8. REFER TO TYPICAL FLOOR PLAN FOR DEMISING WALL LOCATIONS FOR SUITES.
9. PEDESTRIAN TRAFFIC COATING ON SUSPENDED PARKADE SLABS TO BE LIGHT GREY FOR DRIVE AISLES AND RAMP, AND CHARCOAL FOR STALLS.
10. REFER TO 4500 FINISH PLANS FOR PARKADE FLOOR ACCENT PAINT.
11. PEDESTRIAN TRAFFIC COATING ON BALCONIES TO BE DARK GREY.
12. WALL MOUNTED BIKE STALLS AT THE END OF ALL STALLS TYP.
13. ALL WALLS, CEILINGS, AND COLUMNS IN PARKADE TO BE PAINTED WHITE, U.N.O.
14. PROVIDE STEEL PIPE GUARDS AT ALL EXPOSED MECHANICAL PIPES ON COLUMNS IN PARKADE FACING DRIVE AISLE.
15. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS, FLOORPLANS AND GLAZING SCHEDULES.
16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.





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Project
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Project Address
Drawing Title

P3 PARKADE PLAN

Project Number
6028

Drawing Number
DP-A202

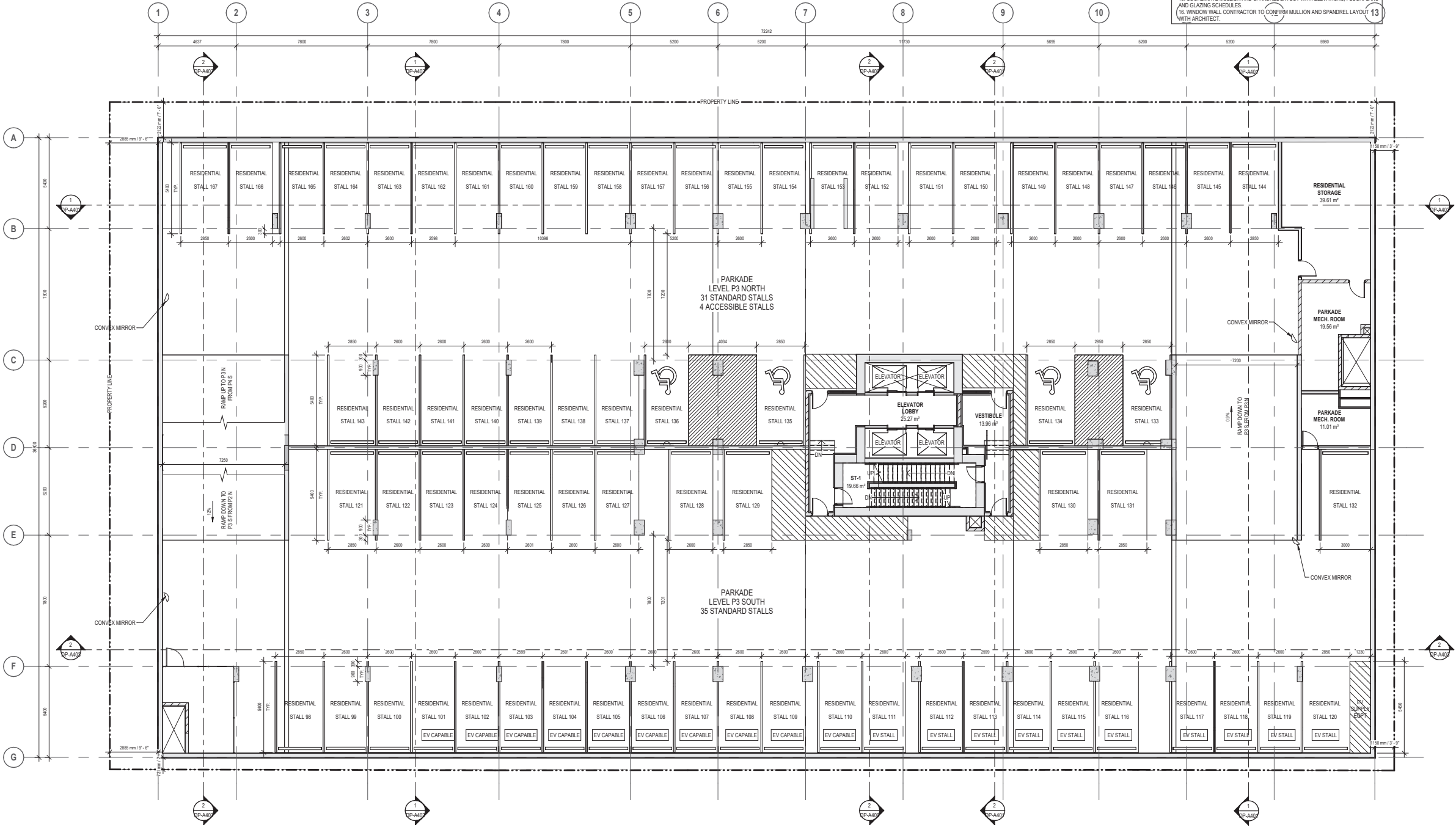
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LEVEL P2	5400 x 2600mm ADA 90 Deg	1	
LEVEL P2	5400 x 2600mm Standard 90 Deg	48	
LEVEL P2	5400 x 2850mm ADA 90 Deg	3	
LEVEL P2	5400 x 2850mm Standard 90 Deg	16	
LEVEL P2	5400 x 3000mm Standard 90 Deg	1	
Grand total: 101			

Parking Schedule - Residential			
Level	Type	Count	
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LEVEL P3	5400 x 2600mm Standard 90 Deg	56	
LEVEL P3	5400 x 2850mm ADA 90 Deg	3	
LEVEL P3	5400 x 2850mm Standard 90 Deg	9	
LEVEL P3	5400 x 3000mm Standard 90 Deg	1	
LEVEL P4	5400 x 2600mm ADA 90 Deg	1	
LEVEL P4	5400 x 2600mm Standard 90 Deg	56	
LEVEL P4	5400 x 2850mm ADA 90 Deg	3	
LEVEL P4	5400 x 2850mm Standard 90 Deg	11	
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2. REFER TO AS00 PLANS AND SECTIONS FOR STAIR DIMENSIONS.
3. REFER TO SLAB PLANS FOR PARKADE AND ROOF SLOPING STRATEGY.
4. BALCONY DOOR TYPES SHOWN ON +100 FLOOR PLANS FOR LEVEL 2 AS PATIOS AND BALCONY TYPES VARY FROM TYPICAL LEVELS. FOR BALCONY DOORS FOR TYPICAL LEVELS REFER TO ENLARGED SUITE PLANS.
5. PAVERS ON LEVEL 3 PRIVATE BALCONIES TO BE CHARCOAL. IN COLOUR.
6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
7. PAVERS ON LEVEL 26 ROOF PATIO TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
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16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.



1 LEVEL P3
Scale: 1 : 100



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Drawing Title		
P2 PARKADE PLAN		
Project Number	Drawing Number	
6028	DP-A203	
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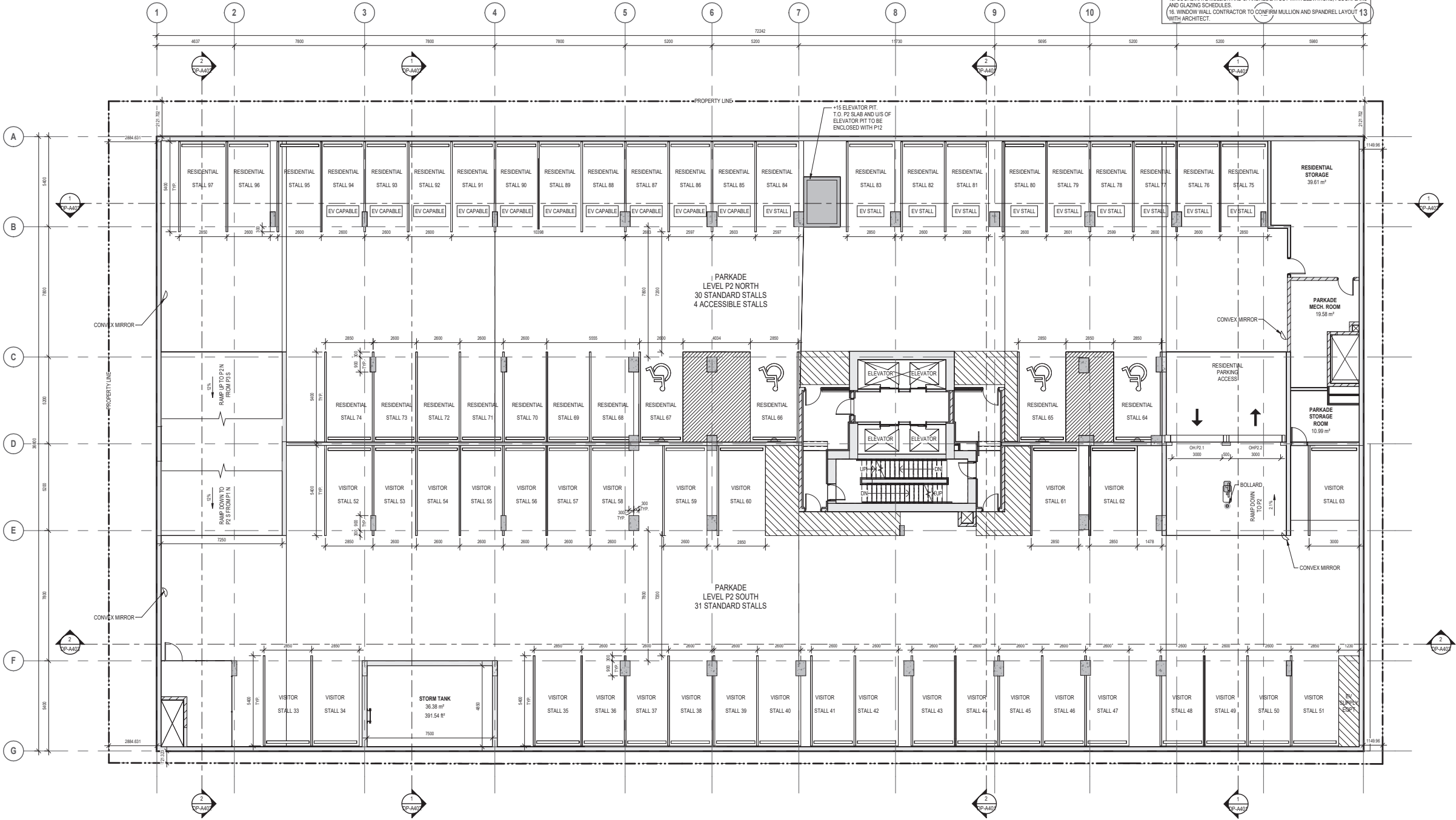


FLOOR PLAN NOTES

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13. ALL WALLS, CEILINGS, AND COLUMNS IN PARKADE TO BE PAINTED WHITE, U.N.O.
14. PROVIDE STEEL PIPE GUARDS AT ALL EXPOSED MECHANICAL PIPES ON COLUMNS IN PARKADE FACING DRIVE AISLE.
15. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS, FLOORPLANS AND GLAZING SCHEDULES.
16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.

Parking Schedule - Commercial			
Level	Type	Count	
LEVEL P1	5400 x 2600mm ADA 90 Deg	1	
LEVEL P1	5400 x 2600mm Standard 90 Deg	17	
LEVEL P1	5400 x 2850mm ADA 90 Deg	3	
LEVEL P1	5400 x 2850mm Standard 90 Deg	9	
LEVEL P1	5400 x 3000mm Standard 90 Deg	2	
LEVEL P2	5400 x 2600mm ADA 90 Deg	1	
LEVEL P2	5400 x 2600mm Standard 90 Deg	48	
LEVEL P2	5400 x 2850mm ADA 90 Deg	3	
LEVEL P2	5400 x 2850mm Standard 90 Deg	16	
LEVEL P2	5400 x 3000mm Standard 90 Deg	1	
Grand total: 101			

Parking Schedule - Residential			
Level	Type	Count	
LEVEL P3	5400 x 2600mm ADA 90 Deg	1	
LEVEL P3	5400 x 2600mm Standard 90 Deg	56	
LEVEL P3	5400 x 2850mm ADA 90 Deg	3	
LEVEL P3	5400 x 2850mm Standard 90 Deg	9	
LEVEL P3	5400 x 3000mm Standard 90 Deg	1	
LEVEL P4	5400 x 2600mm ADA 90 Deg	1	
LEVEL P4	5400 x 2600mm Standard 90 Deg	56	
LEVEL P4	5400 x 2850mm ADA 90 Deg	3	
LEVEL P4	5400 x 2850mm Standard 90 Deg	11	
LEVEL P4	5400 x 3000mm Standard 90 Deg	1	
Grand total: 142			



1 LEVEL P2
Scale: 1 : 100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

Seal & Permit

**PRELIMINARY -
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CONSTRUCTION**

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE
Drawing History		
Scale	As indicated	Checked By Checker

Project
PLAZA 54

Project Address

Drawing Title
P1 PARKADE PLAN

Project Number
6028

Drawing Number
DP-A204

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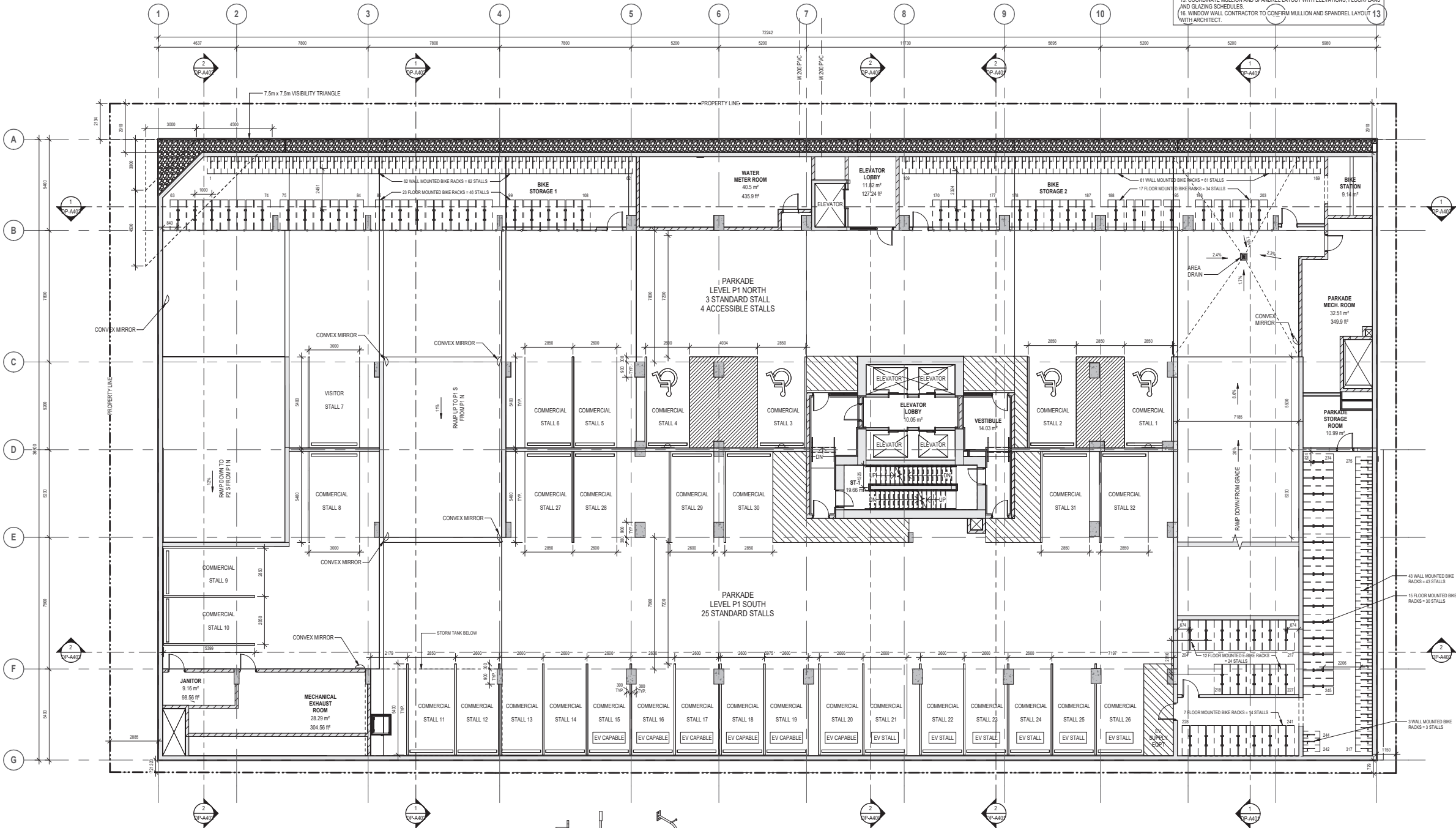


FLOOR PLAN NOTES

1. REFER TO ENLARGED SUITE PLANS FOR SUITE PARTITION TYPES, DIMENSIONS, AND DOOR TYPES.
2. REFER TO AS00 PLANS AND SECTIONS FOR STAIR DIMENSIONS.
3. REFER TO SLAB PLANS FOR PARKADE AND ROOF SLOPING STRATEGY.
4. BALCONY DOOR TYPES SHOWN ON +100 FLOOR PLANS FOR LEVEL 2 AS PATIOS AND BALCONY TYPES VARY FROM TYPICAL LEVELS. FOR BALCONY DOORS FOR TYPICAL LEVELS REFER TO ENLARGED SUITE PLANS.
5. PAVERS ON LEVEL 3 PRIVATE BALCONIES TO BE CHARCOAL IN COLOUR.
6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
7. PAVERS ON LEVEL 26 ROOF PATIO TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
8. REFER TO TYPICAL FLOOR PLAN FOR DEMISING WALL LOCATIONS FOR SUITES.
9. PEDESTRIAN TRAFFIC COATING ON SUSPENDED PARKADE SLABS TO BE LIGHT GREY FOR DRIVE AISLES AND RAMP, AND CHARCOAL FOR STALLS.
10. REFER TO AS00 FINISH PLANS FOR PARKADE FLOOR ACCENT PAINT.
11. PEDESTRIAN TRAFFIC COATING ON BALCONIES TO BE DARK GREY.
12. WALL MOUNTED BIKE STALLS AT THE END OF ALL STALLS TYP.
13. ALL WALLS, CEILINGS, AND COLUMNS IN PARKADE TO BE PAINTED WHITE, U.N.O.
14. PROVIDE STEEL PIPE GUARDS AT ALL EXPOSED MECHANICAL PIPES ON COLUMNS IN PARKADE FACING DRIVE AISLE.
15. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS, FLOORPLANS AND GLAZING SCHEDULES.
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Parking Schedule - Commercial			
Level	Type	Count	
LEVEL P1	5400 x 2600mm ADA 90 Deg	1	
LEVEL P1	5400 x 2600mm Standard 90 Deg	17	
LEVEL P1	5400 x 2850mm ADA 90 Deg	3	
LEVEL P1	5400 x 2850mm Standard 90 Deg	9	
LEVEL P1	5400 x 3000mm Standard 90 Deg	2	
LEVEL P2	5400 x 2600mm ADA 90 Deg	1	
LEVEL P2	5400 x 2600mm Standard 90 Deg	48	
LEVEL P2	5400 x 2850mm ADA 90 Deg	3	
LEVEL P2	5400 x 2850mm Standard 90 Deg	16	
LEVEL P2	5400 x 3000mm Standard 90 Deg	1	
Grand total: 101			

Parking Schedule - Residential			
Level	Type	Count	
LEVEL P3	5400 x 2600mm ADA 90 Deg	1	
LEVEL P3	5400 x 2600mm Standard 90 Deg	56	
LEVEL P3	5400 x 2850mm ADA 90 Deg	3	
LEVEL P3	5400 x 2850mm Standard 90 Deg	9	
LEVEL P3	5400 x 3000mm Standard 90 Deg	1	
LEVEL P4	5400 x 2600mm ADA 90 Deg	1	
LEVEL P4	5400 x 2600mm Standard 90 Deg	56	
LEVEL P4	5400 x 2850mm ADA 90 Deg	3	
LEVEL P4	5400 x 2850mm Standard 90 Deg	11	
LEVEL P4	5400 x 3000mm Standard 90 Deg	1	
Grand total: 142			



**BIKE RACK DETAIL
PARKADE WALL-MOUNTED (CLASS 1)**

GERO ULTRA SPACE SAVER
SINGLE WALL MOUNT
POWDER COAT RED RAL 3002

**BIKE RACK DETAIL
PARKADE FLOOR-MOUNTED (CLASS 1)**

MAGLIN 500 BIKE RACK
SURFACE MOUNT
POWDER COAT RED RAL 3002

**BIKE RACK DETAIL
SURFACE-MOUNTED (CLASS 2)**

MAGLIN ICONIC 2000 SERIES
SURFACE MOUNT
POWDER COAT RED RAL 3002

1 LEVEL P1
Scale: 1 : 100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

Seal & Permit

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE

Drawing History
Scale: As indicated
Checked By: Checker

Project
PLAZA 54

Project Address
Drawing Title

LEVEL 01 FLOOR PLAN

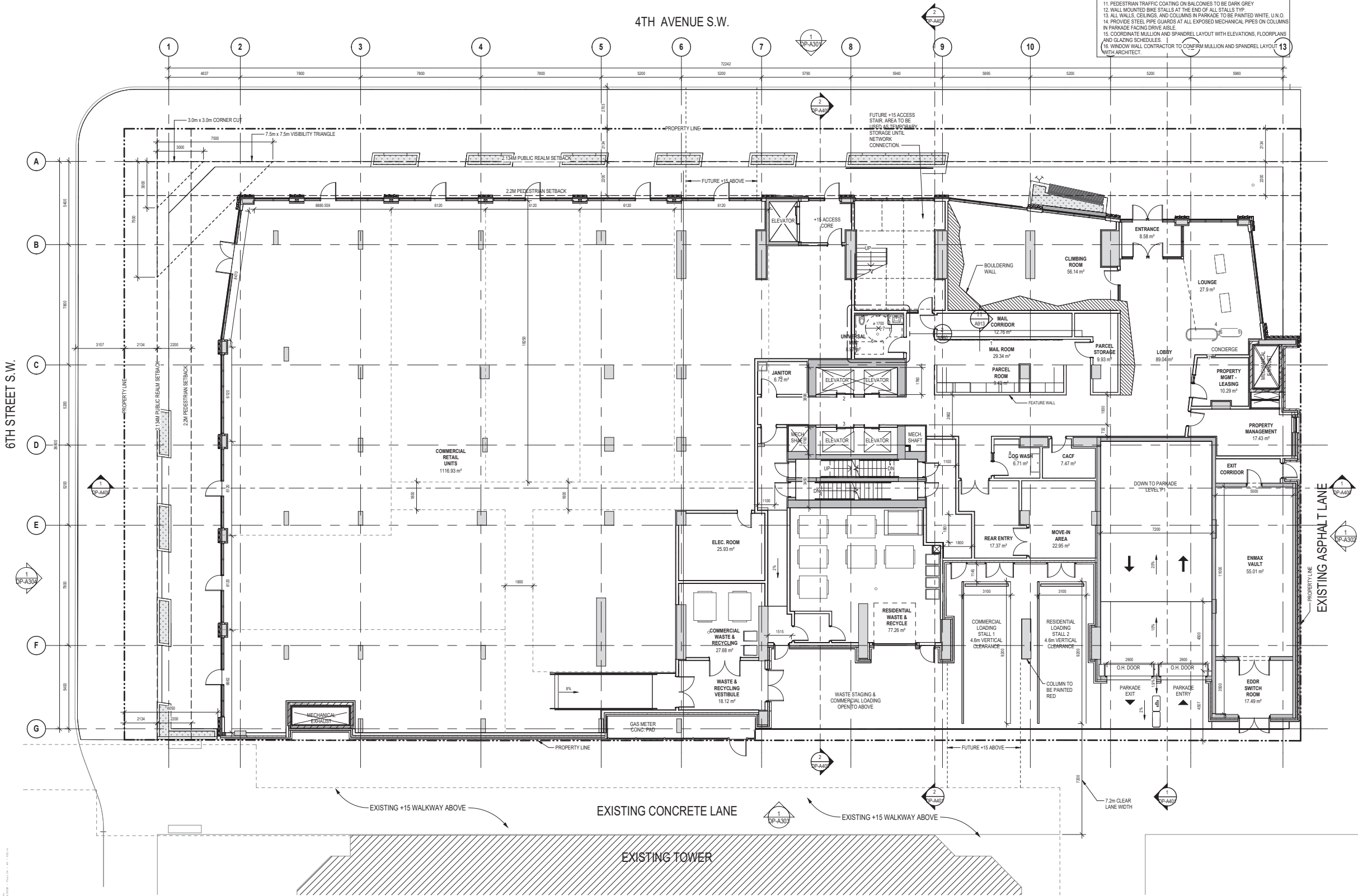
Project Number
6028
Drawing Number
DP-A205

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FLOOR PLAN NOTES

1. REFER TO ENLARGED SUITE PLANS FOR SUITE PARTITION TYPES, DIMENSIONS, AND DOOR TYPES.
2. REFER TO A500 PLANS AND SECTIONS FOR STAIR DIMENSIONS.
3. REFER TO SLAB PLANS FOR PARKADE AND ROOF SLOPING STRATEGY.
4. BALCONY DOOR TYPES SHOWN ON 1:100 FLOOR PLANS FOR LEVEL 2 AS PATIOS AND BALCONY TYPES VARY FROM TYPICAL LEVELS. FOR BALCONY DOORS FOR TYPICAL LEVELS REFER TO ENLARGED SUITE PLANS.
5. PAVERS ON LEVEL 1 PRIVATE BALCONIES TO BE CHARCOAL IN COLOUR.
6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
7. PAVERS ON LEVEL 18 ROOF PATIO TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
8. REFER TO TYPICAL FLOOR PLAN FOR DEMISING WALL LOCATIONS FOR SUITES.
9. PEDESTRIAN TRAFFIC COATING ON SUSPENDED PARKADE SLABS TO BE LIGHT GREY FOR DRIVE AISLES AND RAMP, AND CHARCOAL FOR STALLS.
10. REFER TO A500 FINISH PLANS FOR PARKADE FLOOR ACCENT PAINT.
11. PEDESTRIAN TRAFFIC COATING ON BALCONIES TO BE DARK GREY.
12. WALL MOUNTED BIKE STALLS AT THE END OF ALL STALLS TYP.
13. ALL WALLS, CEILINGS, AND COLUMNS IN PARKADE TO BE PAINTED WHITE, U.N.O.
14. PROVIDE STEEL PIPE GUARDS AT ALL EXPOSED MECHANICAL PIPES ON COLUMNS IN PARKADE FACING DRIVE AISLE.
15. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS, FLOORPLANS, AND GLAZING SCHEDULES.
16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.



1 LEVEL 01
DP-A205 Scale: 1: 100

CANTIRO.

PRELIMINARY -
NOT FOR
CONSTRUCTION

Project Number	Drawing Number



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

Seal & Permit

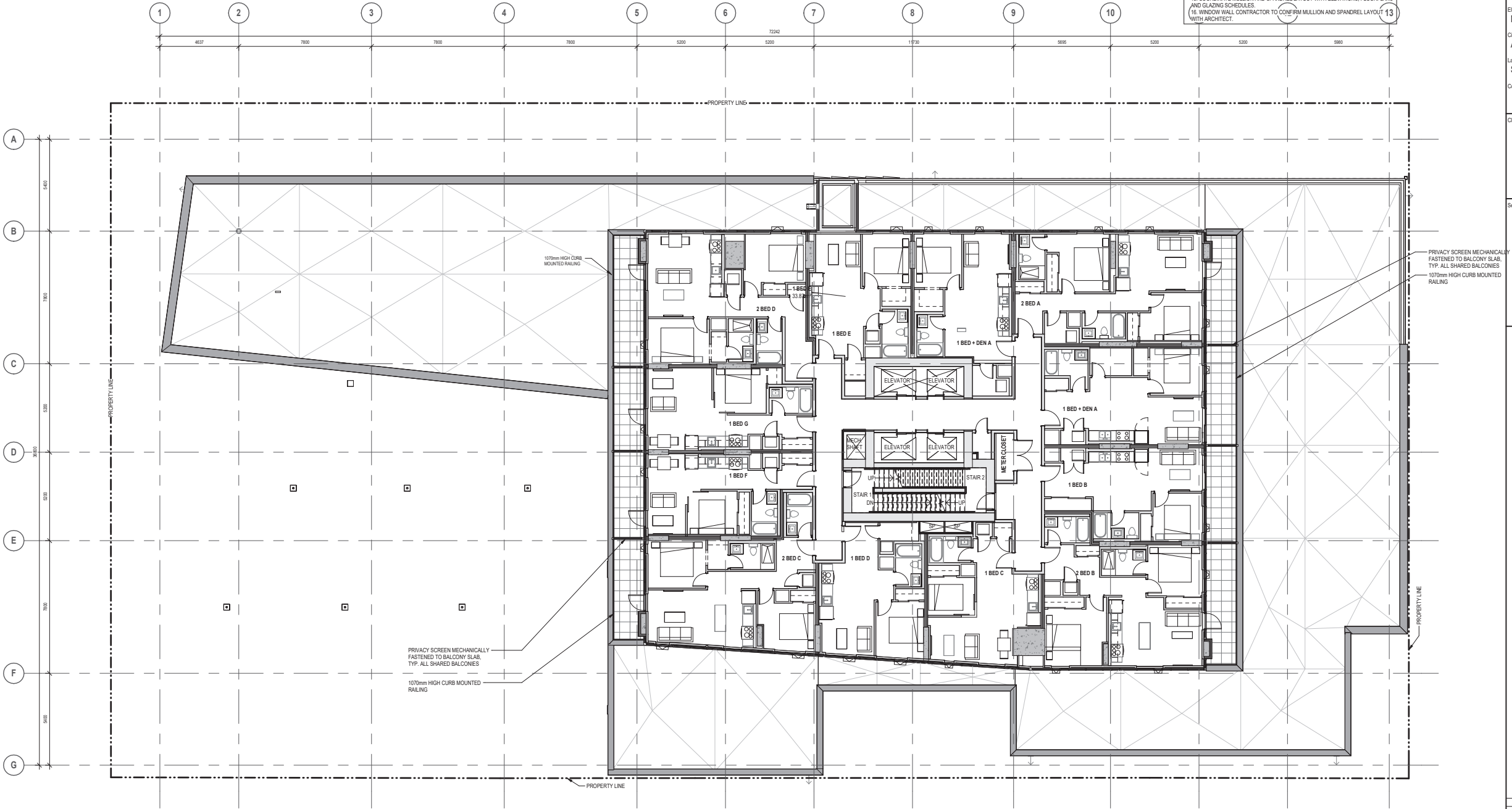
**PRELIMINARY -
NOT FOR
CONSTRUCTION**

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE
Drawing History		
Scale	As indicated	Checked By Checker
Project		
PLAZA 54		
Project Address		
Drawing Title		
LEVEL 03 FLOOR PLAN		
Project Number 6028	Drawing Number DP-A207	

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- FLOOR PLAN NOTES**
1. REFER TO ENLARGED SUITE PLANS FOR SUITE PARTITION TYPES, DIMENSIONS, AND DOOR TYPES
 2. REFER TO AS00 PLANS AND SECTIONS FOR STAIR DIMENSIONS
 3. REFER TO SLAB PLANS FOR PARKADE AND ROOF SLOPING STRATEGY
 4. BALCONY DOOR TYPES SHOWN ON 1:100 FLOOR PLANS FOR LEVEL 2 AS PATIOS AND BALCONY TYPES VARY FROM TYPICAL LEVELS. FOR BALCONY DOORS FOR TYPICAL LEVELS REFER TO ENLARGED SUITE PLANS
 5. PAVERS ON LEVEL 3 PRIVATE BALCONIES TO BE CHARCOAL, IN COLOUR
 6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN
 7. PAVERS ON LEVEL 26 ROOF PATIO TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN
 8. REFER TO TYPICAL FLOOR PLAN FOR DEMISING WALL LOCATIONS FOR SUITES
 9. PEDESTRIAN TRAFFIC COATING ON SUSPENDED PARKADE SLABS TO BE LIGHT GREY FOR DRIVE AISLES AND RAMP, AND CHARCOAL FOR STALLS
 10. REFER TO A800 FINISH PLANS FOR PARKADE FLOOR ACCENT PAINT
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 15. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS, FLOORPLANS AND GLAZING SCHEDULES
 16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT



1 LEVEL 03 - AMENITY/UNITS
Scale: 1 : 100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

Seal & Permit

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE

Scale	As indicated	Checked By Checker
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Project
PLAZA 54

Project Address
Drawing Title

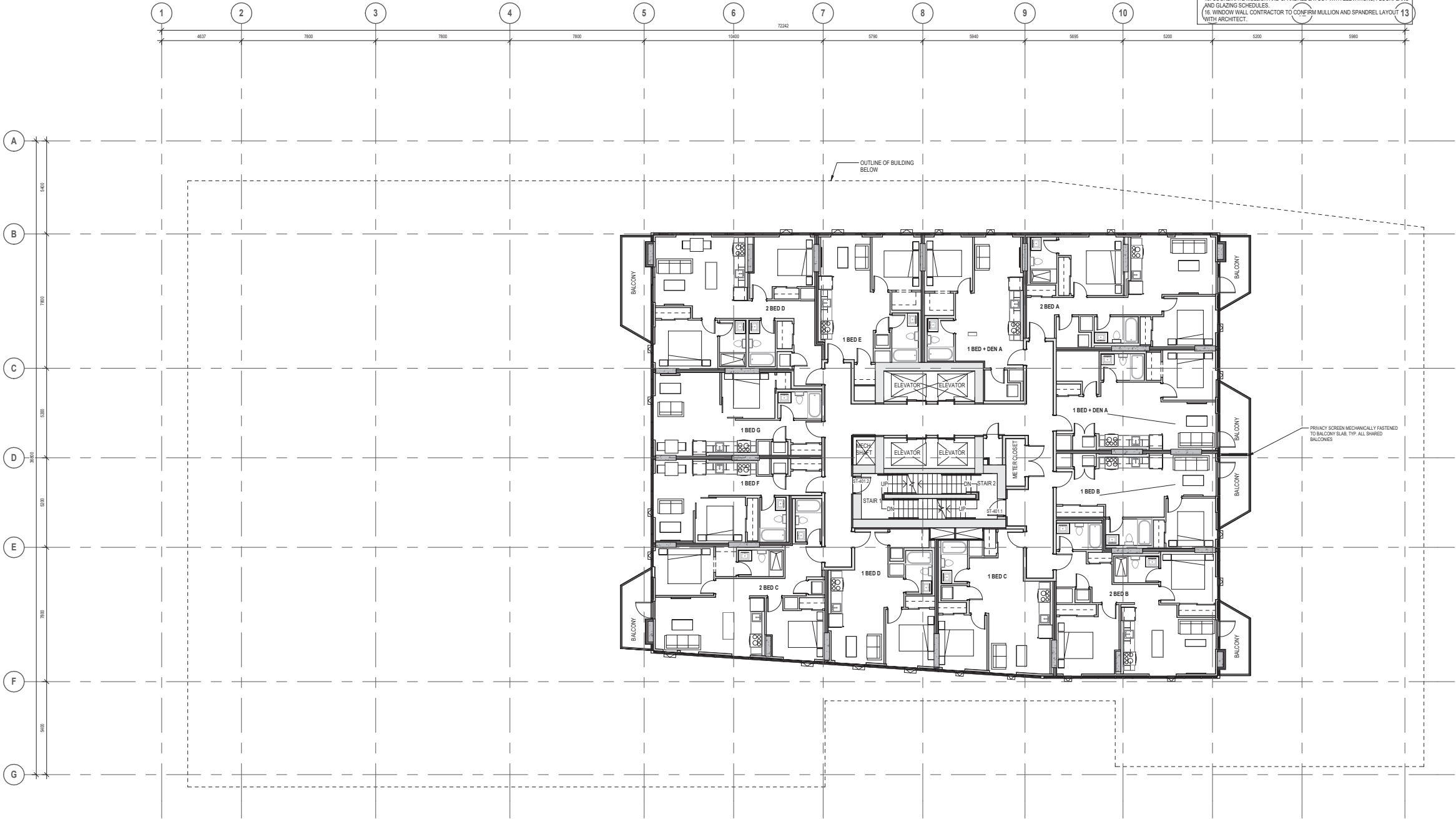
LEVEL 04-25 TYP. FLOOR PLAN

Project Number 6028	Drawing Number DP-A208
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- FLOOR PLAN NOTES**
1. REFER TO ENLARGED SUITE PLANS FOR SUITE PARTITION TYPES, DIMENSIONS, AND DOOR TYPES.
 2. REFER TO AS00 PLANS AND SECTIONS FOR STAIR DIMENSIONS.
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 6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
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 16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.



1 LEVEL 04-25 TYP. FLOOR PLAN
Scale: 1 : 100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

Seal & Permit

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

2 ISSUED FOR DTR2 2025-01-31

1 ISSUED FOR DTR1 2024-11-26

NO. ISSUED FOR DATE

Drawing History

Scale As indicated Checked By Checker

Project

PLAZA 54

Project Address

Drawing Title

LEVEL 26 FLOOR PLAN

Project Number Drawing Number

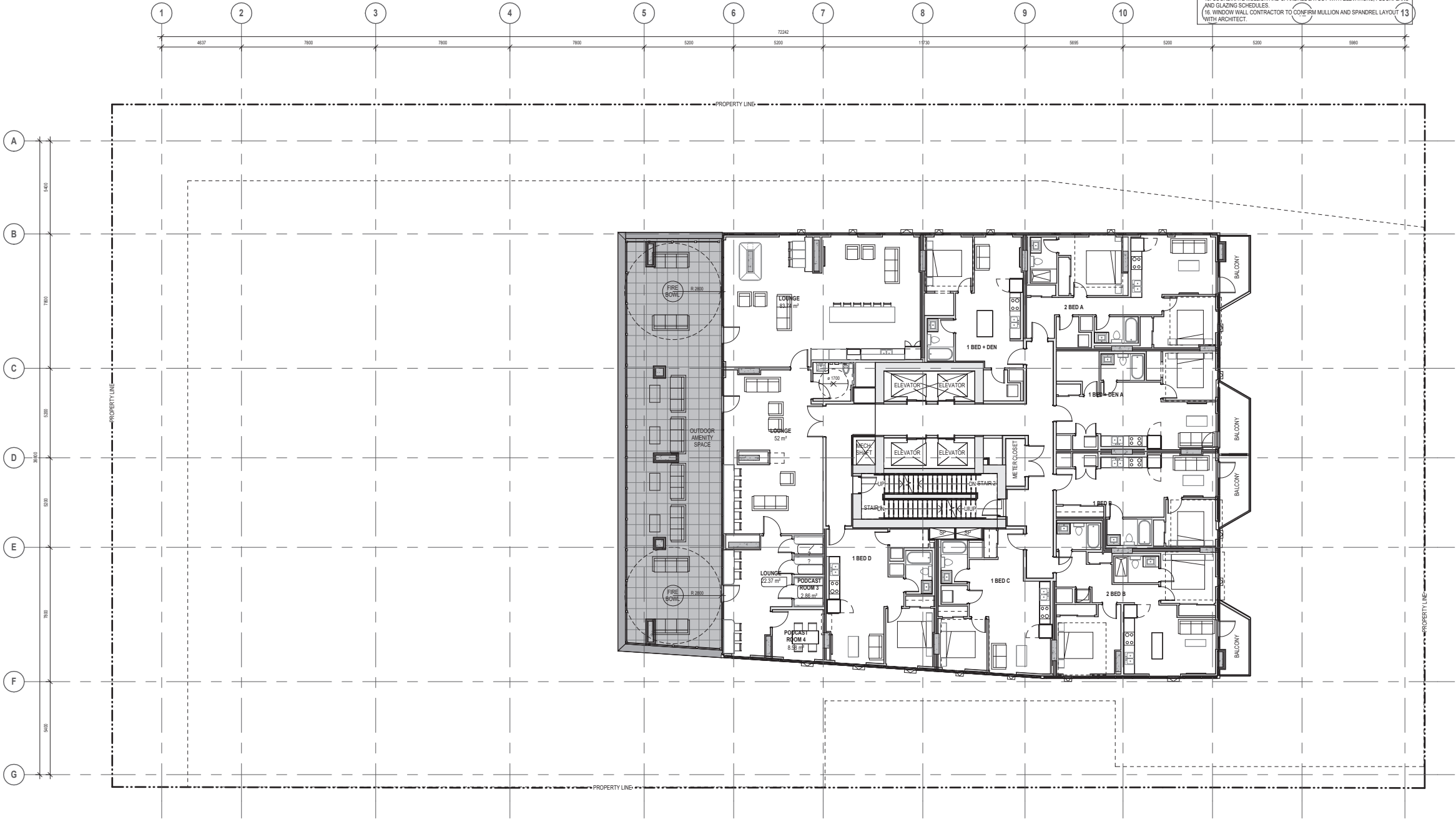
6028 DP-A209

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FLOOR PLAN NOTES

1. REFER TO ENLARGED SUITE PLANS FOR SUITE PARTITION TYPES, DIMENSIONS, AND DOOR TYPES
2. REFER TO AS00 PLANS AND SECTIONS FOR STAIR DIMENSIONS
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5. PAVERS ON LEVEL 3 PRIVATE BALCONIES TO BE CHARCOAL IN COLOUR
6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN
7. PAVERS ON LEVEL 26 ROOF PATIO TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN
8. REFER TO TYPICAL FLOOR PLAN FOR DEMISING WALL LOCATIONS FOR SUITES
9. PEDESTRIAN TRAFFIC COATING ON SUSPENDED PARKADE SLABS TO BE LIGHT GREY FOR DRIVE AISLES AND RAMP, AND CHARCOAL FOR STALLS
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16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT



2 LEVEL 26 - AMENITY/UNITS
DP-A209 Scale: 1:100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

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**PRELIMINARY -
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CONSTRUCTION**

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE

Drawing History
Scale: As indicated
Checked By: Checker

Project
PLAZA 54

Project Address

Drawing Title

LEVEL 27-30 TYP. FLOOR PLAN

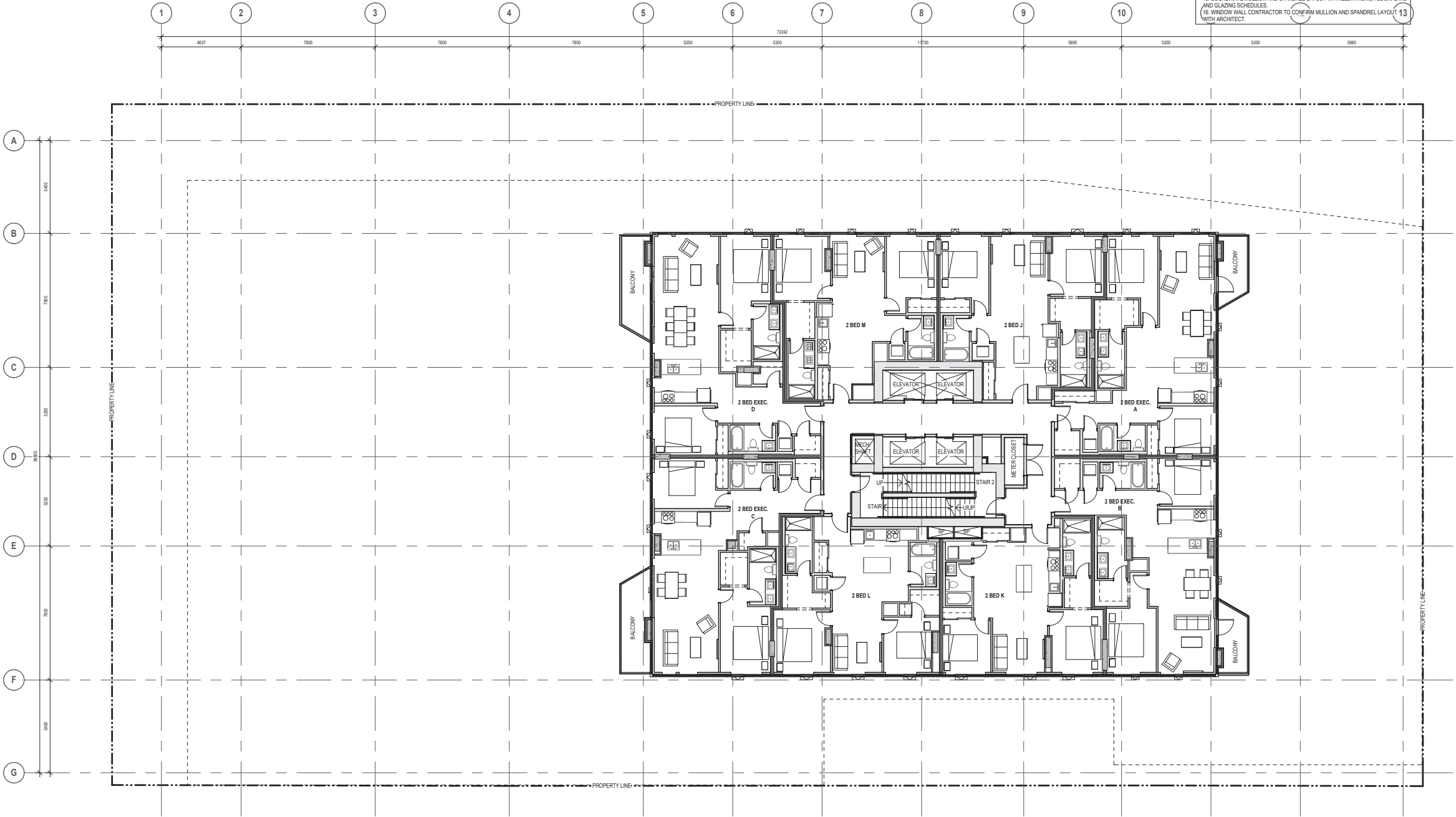
Project Number: 6028
Drawing Number: **DP-A210**

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FLOOR PLAN NOTES

1. REFER TO ENLARGED SUITE PLANS FOR SUITE PARTITION TYPES, DIMENSIONS, AND DOOR TYPES.
2. REFER TO AS00 PLANS AND SECTIONS FOR STAIR DIMENSIONS.
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5. PAVERS ON LEVEL 3 PRIVATE BALCONIES TO BE CHARCOAL IN COLOUR.
6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
7. PAVERS ON LEVEL 26 ROOF PATIO TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
8. REFER TO TYPICAL FLOOR PLAN FOR DEMISING WALL LOCATIONS FOR SUITES.
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15. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS, FLOORPLANS AND GLAZING SCHEDULES.
16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.



2 LEVEL 27-30 - TYP. ELEV. PLAN
Scale: 1 : 100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

Seal & Permit

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

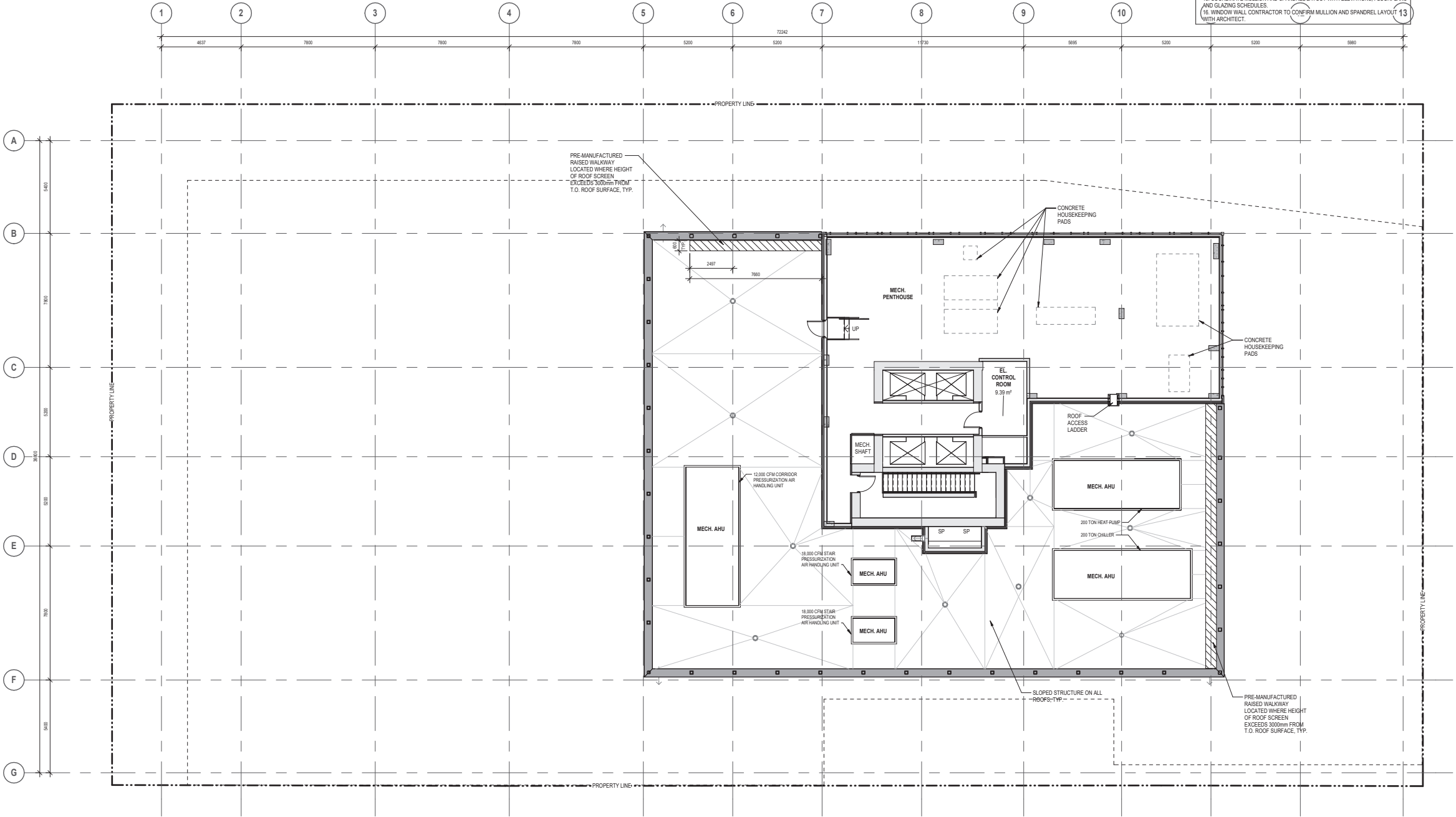
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1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE
Drawing History		
Scale	As indicated	Checked By Checker
Project		
PLAZA 54		
Project Address		
Drawing Title		
ROOF PLAN		
Project Number 6028	Drawing Number DP-A211	

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FLOOR PLAN NOTES

1. REFER TO ENLARGED SUITE PLANS FOR SUITE PARTITION TYPES, DIMENSIONS, AND DOOR TYPES.
2. REFER TO AS00 PLANS AND SECTIONS FOR STAIR DIMENSIONS.
3. REFER TO SLAB PLANS FOR PARKADE AND ROOF SLOPING STRATEGY.
4. BALCONY DOOR TYPES SHOWN ON 1:100 FLOOR PLANS FOR LEVEL 2 AS PATIOS AND BALCONY TYPES VARY FROM TYPICAL LEVELS. FOR BALCONY DOORS FOR TYPICAL LEVELS REFER TO ENLARGED SUITE PLANS.
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6. PAVERS ON LEVEL 2 IN TERRACE SEATING AND DOG RUN TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
7. PAVERS ON LEVEL 26 ROOF PATIO TO BE GREY AND CHARCOAL CHECKERBOARD PATTERN.
8. REFER TO TYPICAL FLOOR PLAN FOR DEMISING WALL LOCATIONS FOR SUITES.
9. PEDESTRIAN TRAFFIC COATING ON SUSPENDED PARKADE SLABS TO BE LIGHT GREY FOR DRIVE AISLES AND RAMP, AND CHARCOAL FOR STALLS.
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15. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS, FLOORPLANS AND GLAZING SCHEDULES.
16. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.



2024-11-26 14:52:27 - 2024-11-26 14:52:27
C:\Users\j\OneDrive\Documents\Projects\Plaza 54 - 11-26-24

1 ROOF DECK
DP-A211 Scale: 1 : 100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client



Seal & Permit

PRELIMINARY -
NOT FOR
CONSTRUCTION

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE

Drawing History	
Scale	As indicated
Checked By	Checker

Project

PLAZA 54

Project Address

Drawing Title

ELEVATION - NORTH

Project Number	Drawing Number
6028	DP-A301

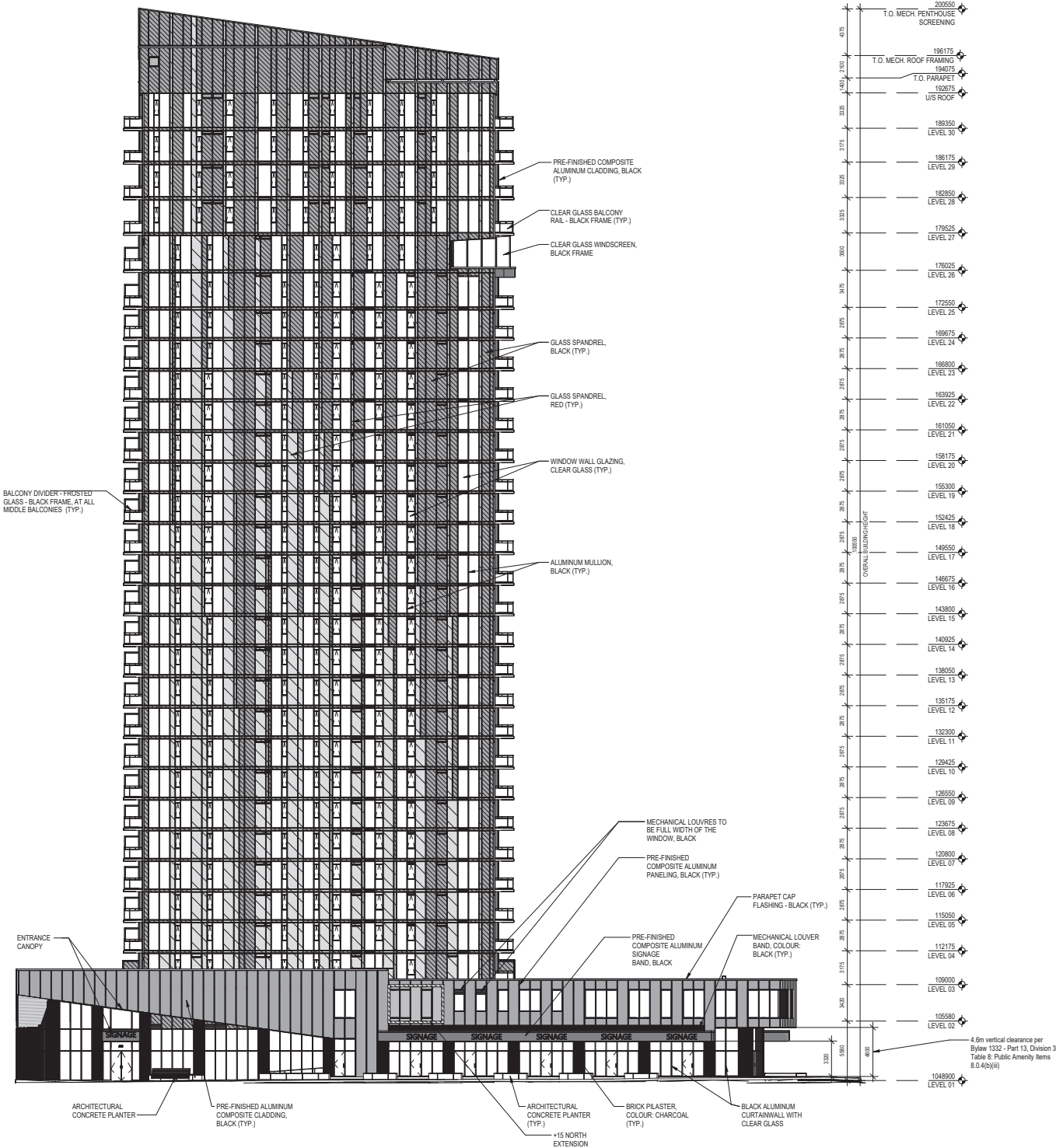
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BUILDING ELEVATIONS NOTES

1. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS AND FLOORPLANS.
2. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.

BUILDING ELEVATIONS LEGEND

- CLEAR GLAZING
- GLASS SPANDREL PANEL - BLACK
- GLASS SPANDREL PANEL - RED
- PRE-FINISHED COMPOSITE ALUMINUM CLADDING - BLACK
- ALUMINUM MULLION - BLACK



1 BUILDING ELEVATION - NORTH
DP-A301
Scale: 1 : 200



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO



Seal & Permit

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE

Scale	As indicated	Checked By Checker
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Project
PLAZA 54

Project Address
Drawing Title

ELEVATION - EAST

Project Number 6028	Drawing Number DP-A302
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BUILDING ELEVATIONS NOTES
1. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS AND FLOORPLANS.
2. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.

BUILDING ELEVATIONS LEGEND

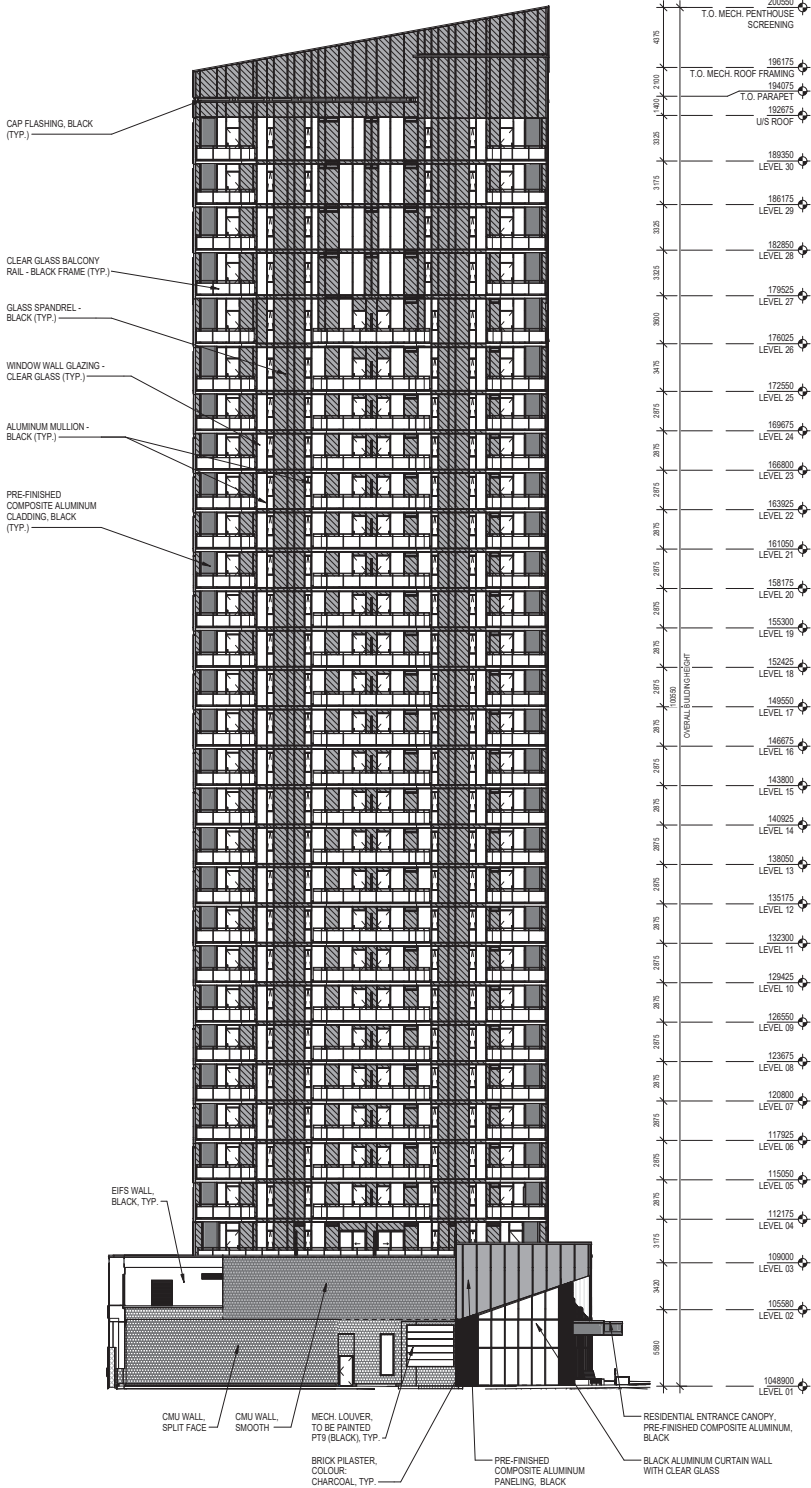
CLEAR GLAZING

GLASS SPANDREL PANEL - BLACK

GLASS SPANDREL PANEL - RED

PRE-FINISHED COMPOSITE ALUMINUM CLADDING - BLACK

ALUMINUM MULLION - BLACK



1 BUILDING ELEVATION - EAST
DP-A302 Scale: 1 : 200



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO



Seal & Permit

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE

Drawing History	
Scale	As indicated
Checked By	Checker

Project
PLAZA 54

Project Address
Drawing Title

ELEVATION - SOUTH

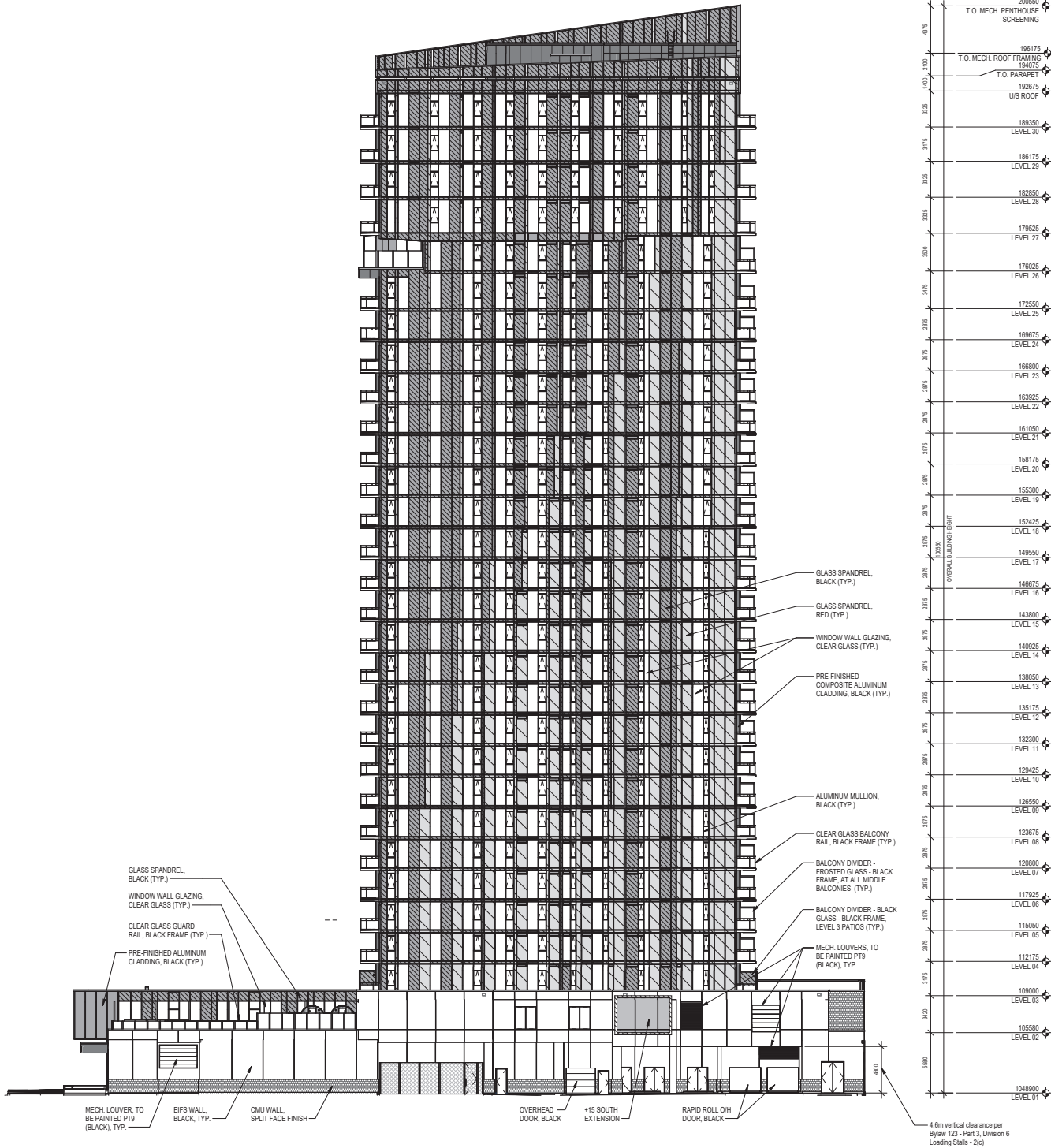
Project Number	Drawing Number
6028	DP-A303

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BUILDING ELEVATIONS NOTES
1. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS AND FLOORPLANS.
2. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.

BUILDING ELEVATIONS LEGEND

- CLEAR GLAZING
- GLASS SPANDREL PANEL - BLACK
- GLASS SPANDREL PANEL - RED
- PRE-FINISHED COMPOSITE ALUMINUM CLADDING - BLACK
- ALUMINUM MULLION - BLACK



1 BUILDING ELEVATION - SOUTH
DP-A303
Scale: 1 : 200



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO



Seal & Permit

**PRELIMINARY -
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CONSTRUCTION**

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE

Drawing History	
Scale	As indicated
Checked By	Checker

Project
PLAZA 54

Project Address
Drawing Title

ELEVATION - WEST

Project Number	Drawing Number
6028	DP-A304

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BUILDING ELEVATIONS NOTES
1. COORDINATE MULLION AND SPANDREL LAYOUT WITH ELEVATIONS AND FLOORPLANS.
2. WINDOW WALL CONTRACTOR TO CONFIRM MULLION AND SPANDREL LAYOUT WITH ARCHITECT.

BUILDING ELEVATIONS LEGEND

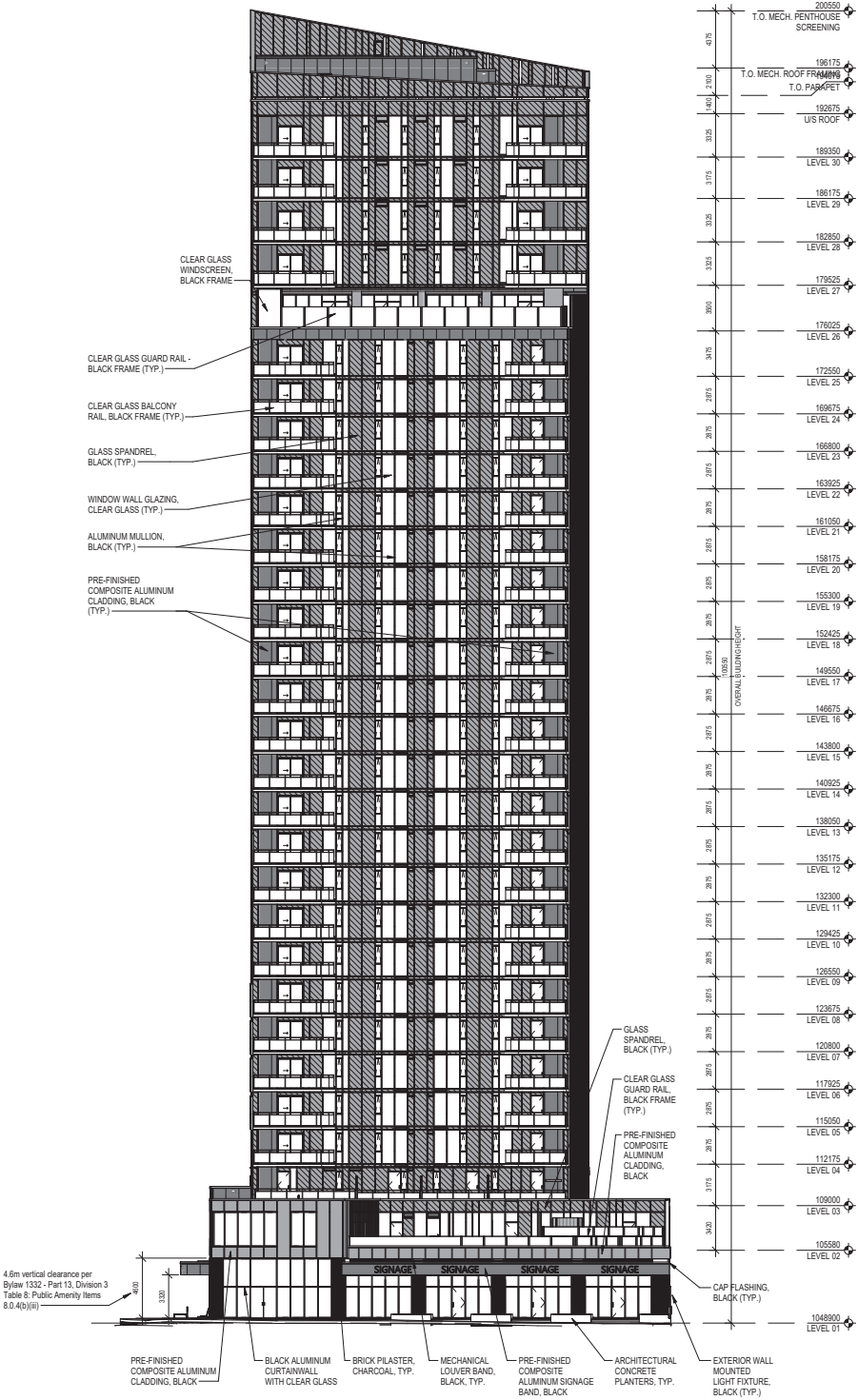
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GLASS SPANDREL PANEL - BLACK

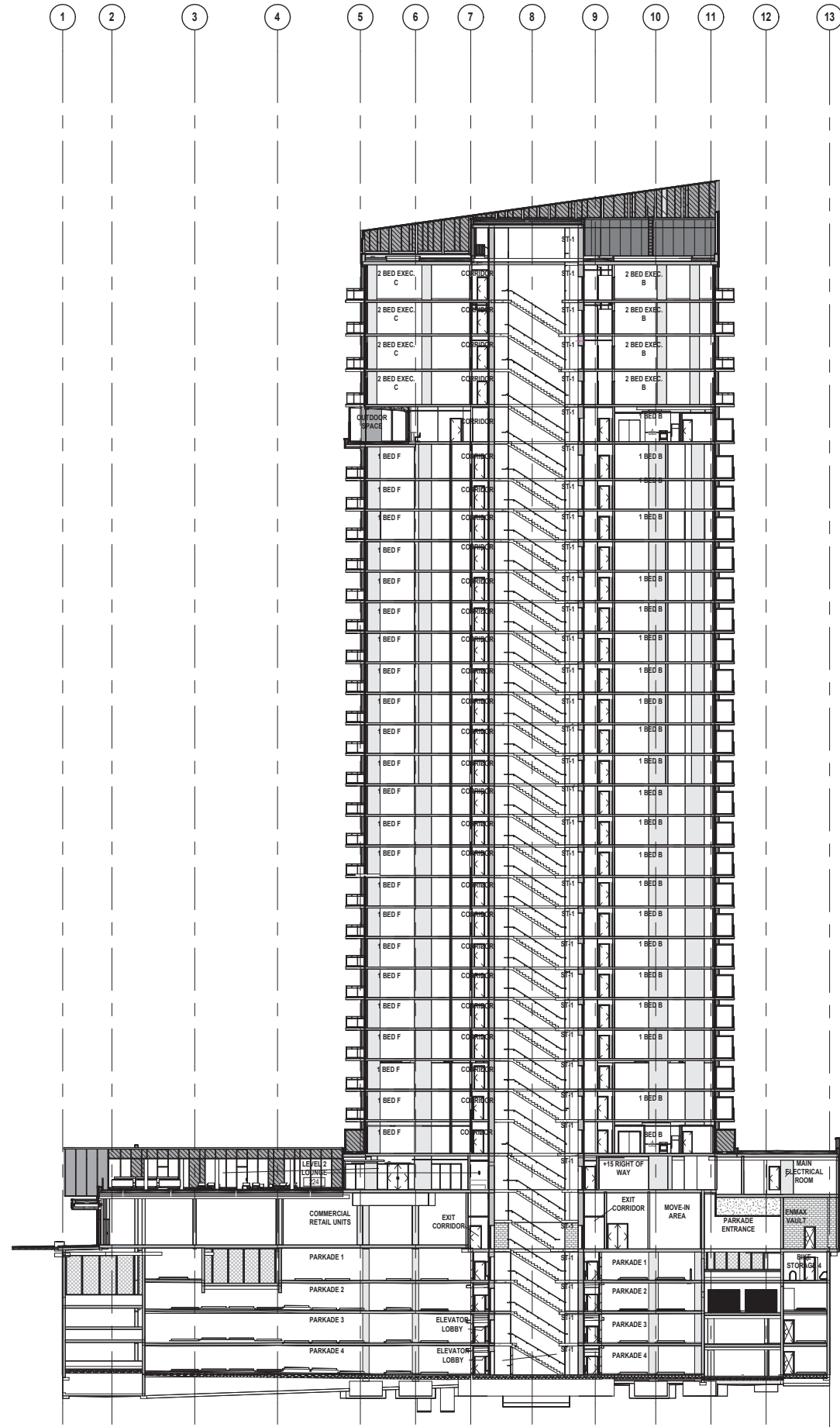
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PRE-FINISHED COMPOSITE ALUMINUM CLADDING - BLACK

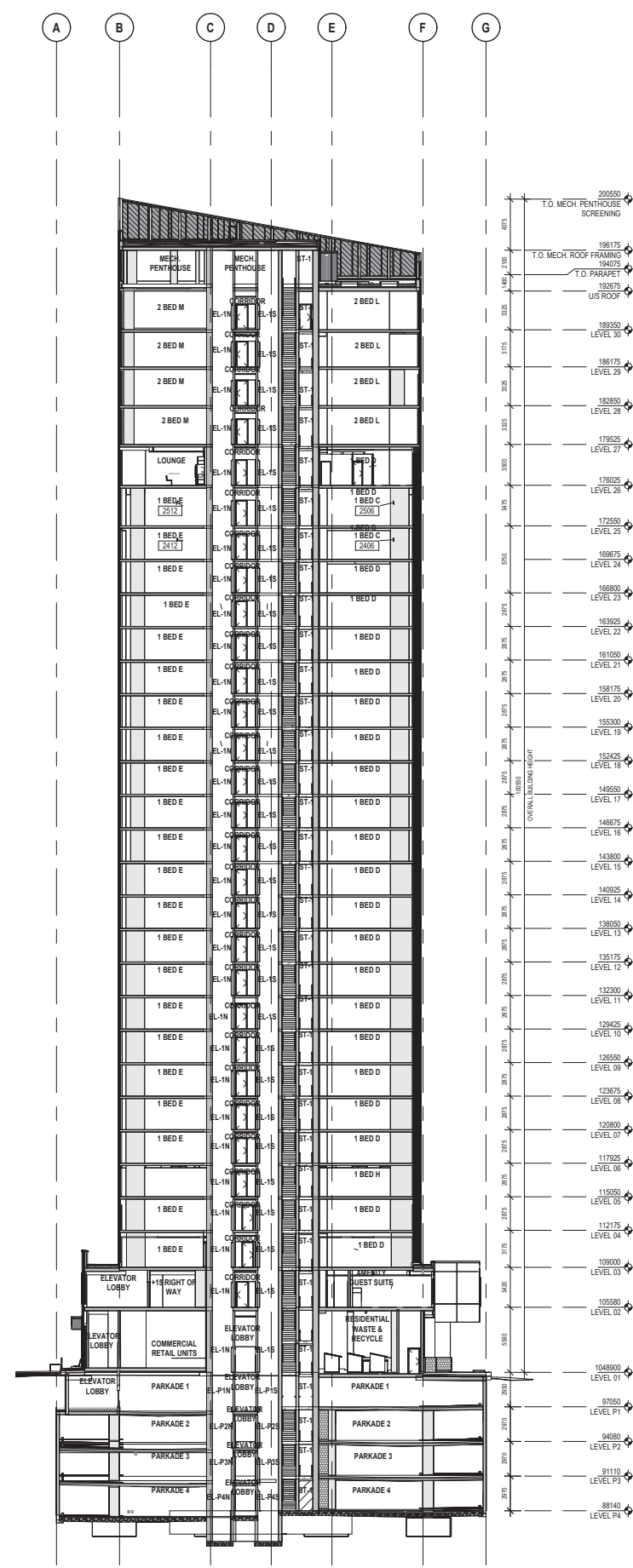
ALUMINUM MULLION - BLACK



1 BUILDING ELEVATION - WEST
DP-A304 Scale: 1 : 200



1 BUILDING SECTION 1 W-E
Scale: 1:200



2 BUILDING SECTION 1 N-S
Scale: 1:200

Project Team:

Prime Consultant
GEC ARCHITECTURE

Structural Consultant
CORNERSTONE GROUP

Mechanical Consultant
REINBOLD ENGINEERING GROUP

Electrical Consultant
NEMETZ (S/A) & ASSOCIATES

Civil Consultant
AL-TERRA ENGINEERING

Landscape Consultant
SCATLIFF + MILLER + MURRAY

Consultant Other

Client

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2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-28

NO. ISSUED FOR DATE

Drawing History

Scale: 1:200

Checked By: Checker

Project

PLAZA 54

Project Address

Drawing Title

BUILDING SECTIONS

Project Number: 6028

Drawing Number: DP-A400

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Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

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PRELIMINARY -
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CONSTRUCTION

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE
Drawing History		
Scale	As indicated	Checked By Checker

Project
PLAZA 54

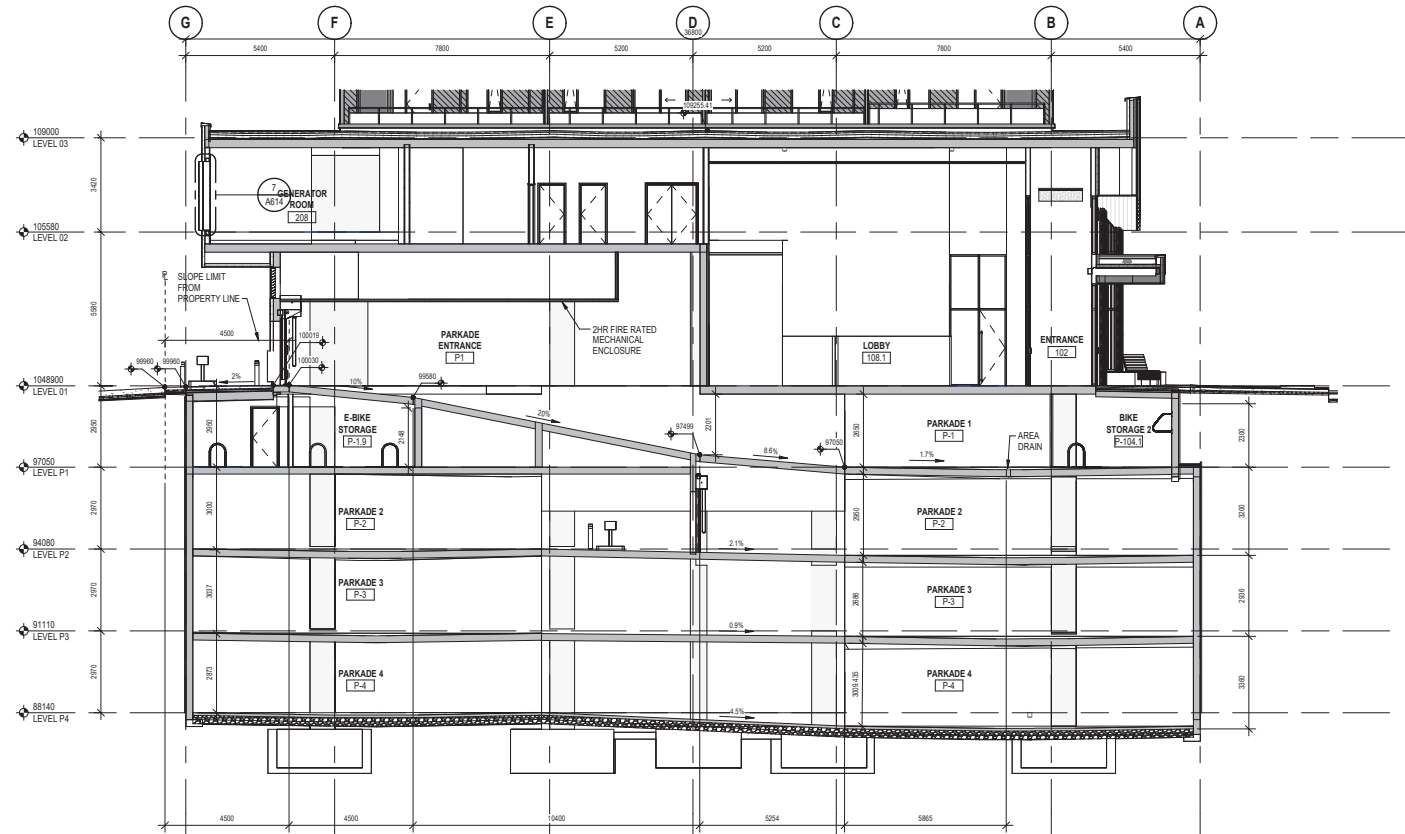
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Drawing Title

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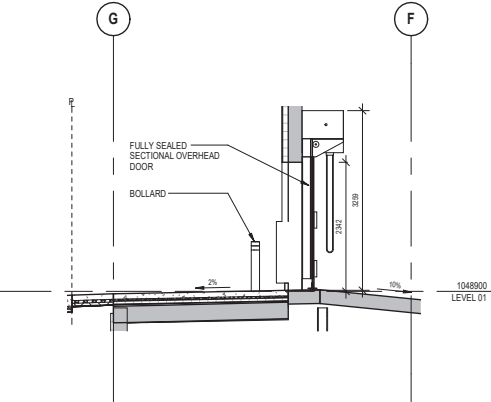
Project Number
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Drawing Number
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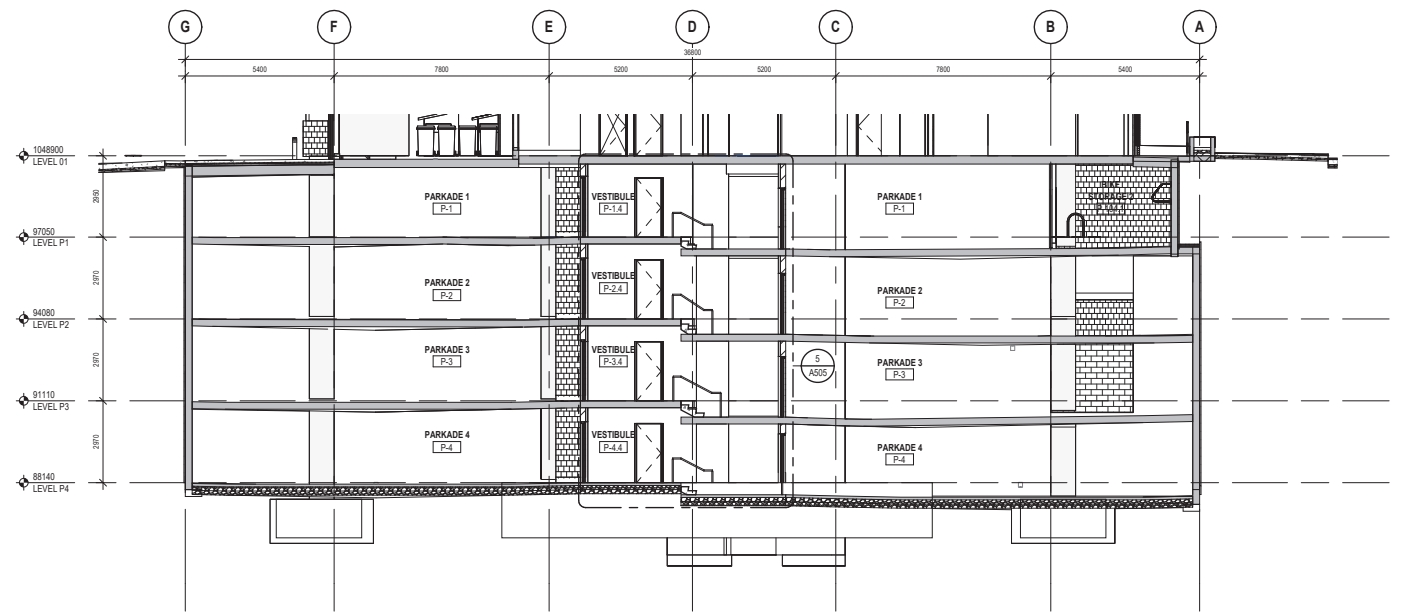
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1 PARKADE SECTION 1 S-N
Scale: 1:100



3 SECTION - PARKADE OVERHEAD DOOR ENTRY
Scale: 1:50



2 PARKADE SECTION 2 S-N
Scale: 1:100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE GROUP
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

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PRELIMINARY -
NOT FOR
CONSTRUCTION

2 ISSUED FOR DTR2 2025-01-31

1 ISSUED FOR DTR1 2024-11-26

NO. ISSUED FOR DATE

Drawing History

Scale 1: 100 Checked By Checker

Project

PLAZA 54

Project Address

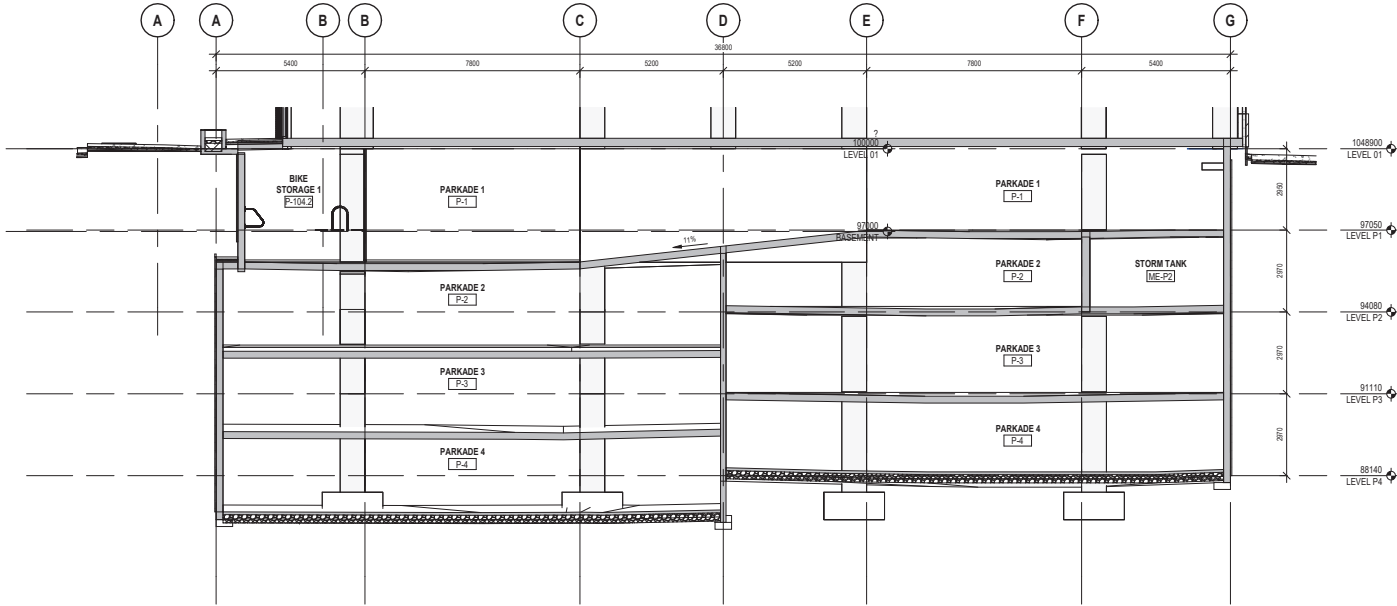
Drawing Title

PARKADE SECTIONS

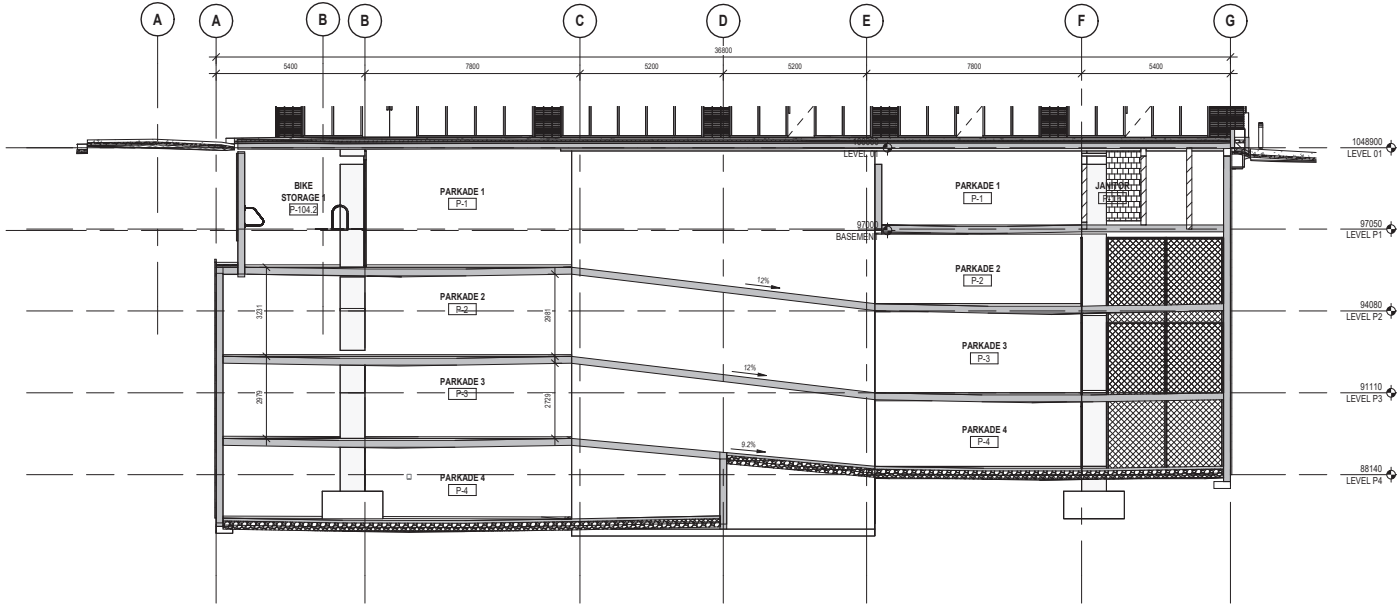
Project Number Drawing Number

6028 DP-A402

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1 PARKADE SECTION 1 N-S
DP-A402 Scale: 1: 100



2 PARKADE SECTION 2 N-S
DP-A402 Scale: 1: 100



Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
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NEMETZ (S/A) & ASSOCIATES
Civil Consultant
AL-TERRA ENGINEERING
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client
CANTIRO

Seal & Permit

PRELIMINARY -
NOT FOR
CONSTRUCTION

2	ISSUED FOR DTR2	2025-01-31
1	ISSUED FOR DTR1	2024-11-26
NO.	ISSUED FOR	DATE
Drawing History		
Scale	1:100	Checked By Checker

Project
PLAZA 54

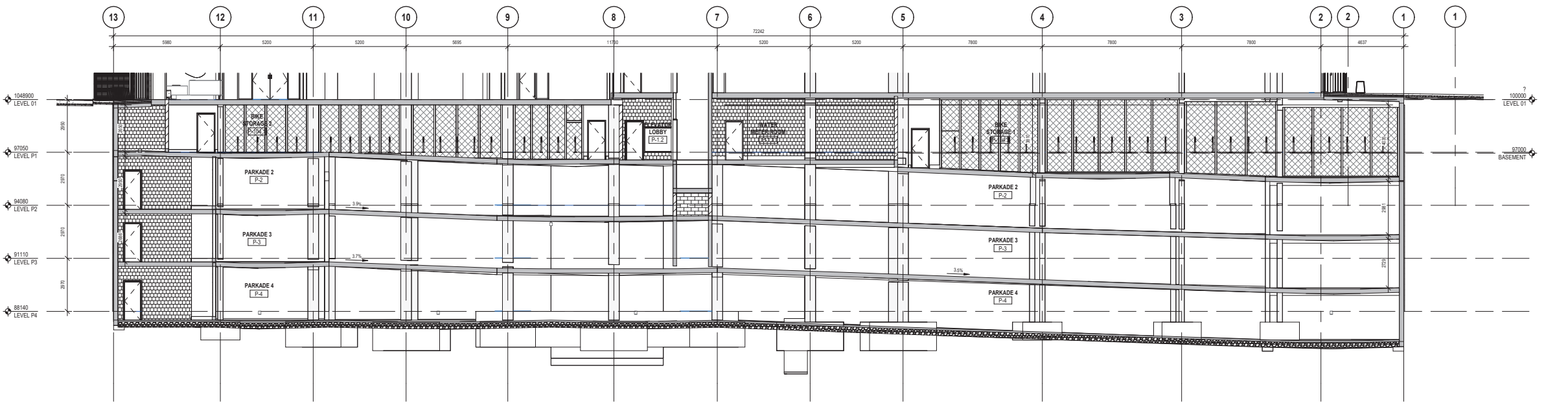
Project Address
Drawing Title

PARKADE SECTIONS

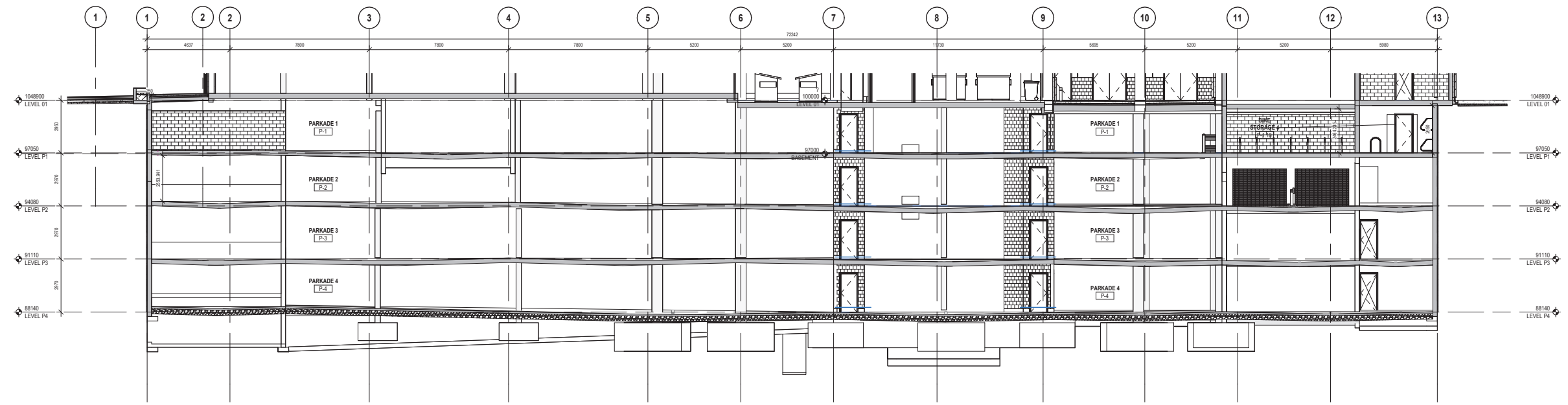
Project Number
6028

Drawing Number
DP-A403

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1 PARKADE SECTION 1 E-W
Scale: 1:100



2 PARKADE SECTION 2 W-E
Scale: 1:100

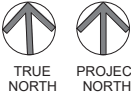


Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ AND ASSOCIATES
Civil Consultant
AL-TERRA
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client



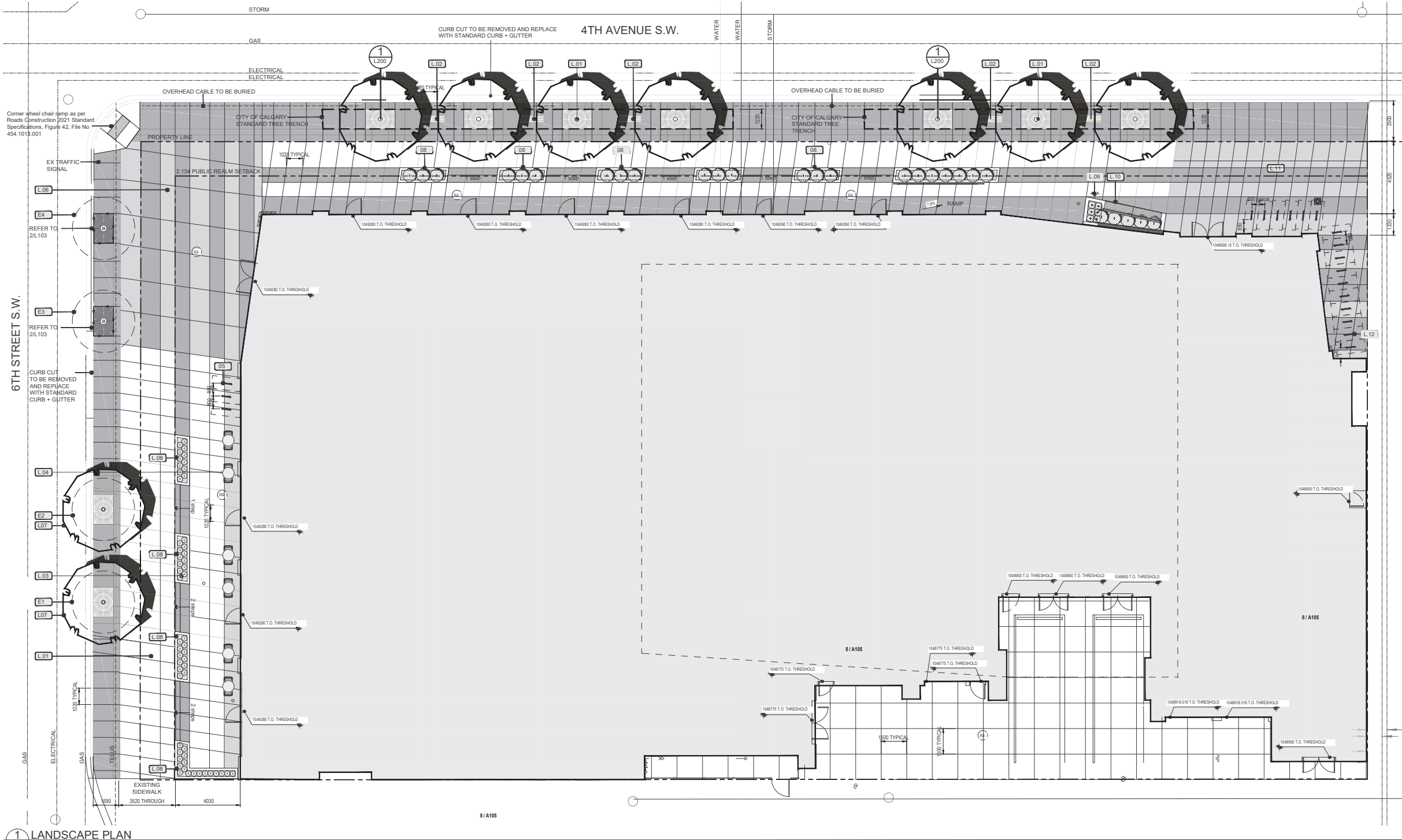
Seal & Permit



08	ISSUED FOR BP & TENDER	02/28/2025
07	ISSUED FOR PROGRESS	02/19/2025
06	ISSUED FOR DR2	01/28/2025
05	ISSUED FOR PROGRESS	01/22/2025
04	ISSUED FOR PROGRESS	12/20/2024
03	ISSUED FOR DR1	11/26/2024
02	ISSUED FOR 60%	10/16/2024
01	ISSUED FOR DP	07/12/2024
NO.	ISSUED FOR	DATE

AS SHOWN	Checked By
DTM	
Project	
PLAZA 54	
Project Address	
Drawing Title	
LANDSCAPE PLAN	
Project Number	Drawing Number
6028	L100

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1 LANDSCAPE PLAN
L100 / SCALE 1:100

SITE STATISTICS

Land-Use: COMMERCIAL RESIDENTIAL DISTRICT CR20-C20/R20
Municipal Address: 410 6TH ST. SW CALGARY, ALBERTA
Legal Address: LOT 1 - LOT 10, PLAN A1, BLOCK 17
Site Area: 3,025.82 m²
Gross Floor Area: 14,781.00 m²

GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES.
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH.
- ANY TREE PLANTING IN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS' DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT IS TO CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-604-9417 OR CALL 311 TO ARRANGE AN INSPECTION.
- AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE THROUGH 311 DURING TREE TRENCH BACKFILL TO ENSURE ROOT BARRIER/FABRIC, SOIL VOLUME AND SOIL COMPACTION MEET THE CITY STANDARD.

IRRIGATION NOTES

- STREET TREES ARE NON IRRIGATED.
- CAST IN PLACE PLANTER TO HAVE DRIP IRRIGATION.
- CONTRACTOR TO SUBMIT IRRIGATION SHOP DRAWING FOR REVIEW PRIOR TO INSTALLATION.

LABELS

- L.01 STREET TREES IN CITY OF CALGARY TREE TRENCH - REFER TO 1/L200
- L.02 BACK BENCHES - REFER TO 6/L200
- L.03 ORNAMENTAL GRASSES
- L.04 AMENITY ZONE w/ SEATING + PLANTERS FACING McDougall PARK
- L.05 CLASS 2 BIKE RACKS - REFER TO 3/L200
- L.06 CORNER PLAZA w/ DECORATIVE PAVING
- L.07 NEW TREE TO REPLACE EXISTING. EXISTING GRATE TO BE RE-USED
- L.08 C.I.P. PLANTERS - REFER TO ARCH
- L.09 PLANTER w/ FIRE DEPARTMENT CONNECTION - REFER TO ARCH
- L.10 PLANTER w/ INTEGRATED BENCH - REFER TO 7/L200
- L.11 RESIDENTIAL MAIN ENTRY w/ DECORATIVE PAVING
- L.12 CLASS 2 BIKE RACKS AT RESIDENTIAL ENTRY - 18 RACKS | 36 STALLS

SURFACE LEGEND

- ONYX BLACK COLOURED CONCRETE
LIGHT SANDBLAST FINISH w/ SAW CUT JOINTS
- CHARCOAL COLOURED CONCRETE
LIGHT SANDBLAST FINISH w/ SAW CUT JOINTS
- STANDARD GREY COLOURED CONCRETE
LIGHT SANDBLAST FINISH w/ SAW CUT JOINTS

PLANT LEGEND

- PRAIRIE SILK HONEYLOCUST - 75mm Cal
- EXISTING TREE
- C.I.P. CONCRETE PLANTER
- MATCH BALL FALSE SPIREA
- NATIVE OSTRICH FERN
- BLUE LYME GRASS

FURNISHING LEGEND

- CLASS 2 BIKE RACKS - 19 racks | 38 stalls
- MOVABLE TABLE AND CHAIRS N.I.C.
- BACKED WOOD SLAT BENCH

EXISTING TREES

KEY	SCIENTIFIC NAME	COMMON NAME	TRUNK(cm)	Canopy (m)	Height (m)	CITY TREE ID	REMAIN/REMOVE
E1	GLEDITSIA TRIACANTHOS	HONEY LOCUST	5	NA	NA	T-51454985	REMOVE
E2	GLEDITSIA TRIACANTHOS	HONEY LOCUST	5	NA	NA	T-51454986	REMOVE
E3	FRAXINUS PENNSYLVANICA	GREEN ASH	23	NA	NA	T-32062075	REMAIN
E4	FRAXINUS PENNSYLVANICA	GREEN ASH	26	NA	NA	T-32062074	REMAIN

NOTE:
TREE REMOVALS ARE PENDING URBAN FORESTRY APPROVAL. TREE PROTECTION PLAN AND STUMP REMOVAL APPLICATION TO BE APPROVED PRIOR TO REMOVAL.



Project Team:

Prime Consultant
GEC ARCHITECTURE

Structural Consultant
CORNERSTONE

Mechanical Consultant
REINBOLD ENGINEERING GROUP

Electrical Consultant
NEMETZ AND ASSOCIATES

Civil Consultant
AL-TERRA

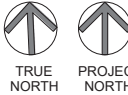
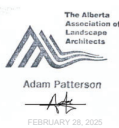
Landscape Consultant
SCATLIFF + MILLER + MURRAY

Consultant Other

Client



Seal & Permit



08	ISSUED FOR BP & TENDER	02/28/2025
07	ISSUED FOR PROGRESS	02/19/2025
06	ISSUED FOR DR2	01/28/2025
05	ISSUED FOR PROGRESS	01/22/2025
04	ISSUED FOR PROGRESS	12/20/2024
03	ISSUED FOR DR1	11/26/2024
02	ISSUED FOR 60%	10/16/2024
01	ISSUED FOR DP	07/12/2024
NO.	ISSUED FOR	DATE

AS SHOWN DTM

Project

PLAZA 54

Project Address

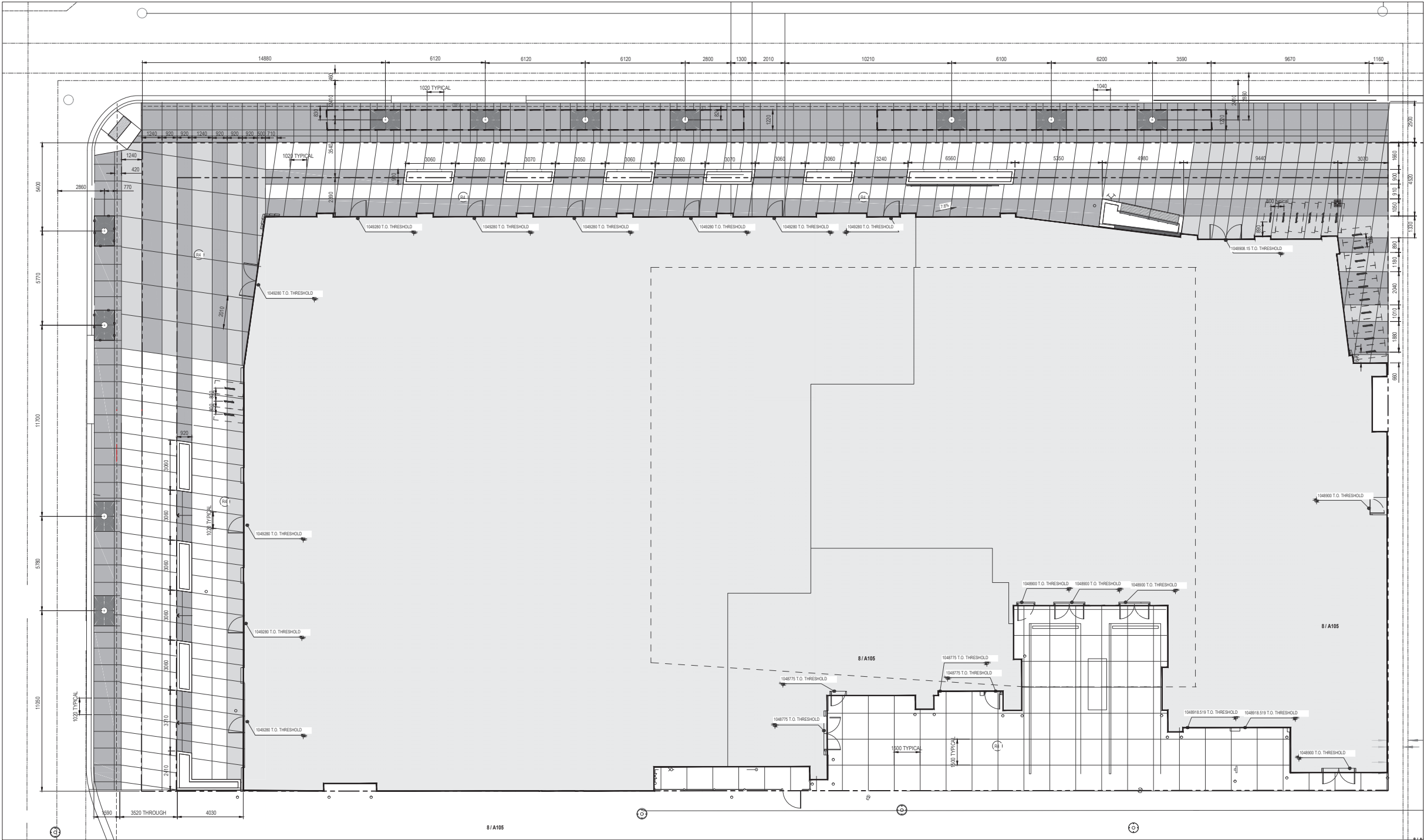
Drawing Title

LANDSCAPE SURFACE
AND LAYOUT PLAN

Project Number
6028

Drawing Number
L101

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1 SURFACE AND LAYOUT PLAN
L101 SCALE 1:100

SURFACE LEGEND

	ONYX BLACK COLOURED CONCRETE LIGHT SANDBLAST FINISH W/ SAW CUT JOINTS
	CHARCOAL COLOURED CONCRETE LIGHT SANDBLAST FINISH W/ SAW CUT JOINTS
	STANDARD GREY COLOURED CONCRETE LIGHT SANDBLAST FINISH W/ SAW CUT JOINTS

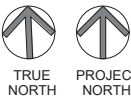


Project Team:
Prime Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ AND ASSOCIATES
Civil Consultant
AL-TERRA
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

Client



Seal & Permit



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07	ISSUED FOR PROGRESS	02/19/2025
06	ISSUED FOR DR2	01/28/2025
05	ISSUED FOR PROGRESS	01/22/2025
04	ISSUED FOR PROGRESS	12/20/2024
03	ISSUED FOR DR1	11/26/2024
02	ISSUED FOR 60%	10/16/2024
01	ISSUED FOR DP	07/12/2024
NO.	ISSUED FOR	DATE

Scale:

AS SHOWN DTM

Project

PLAZA 54

Project Address

Drawing Title

PLANTING PLAN

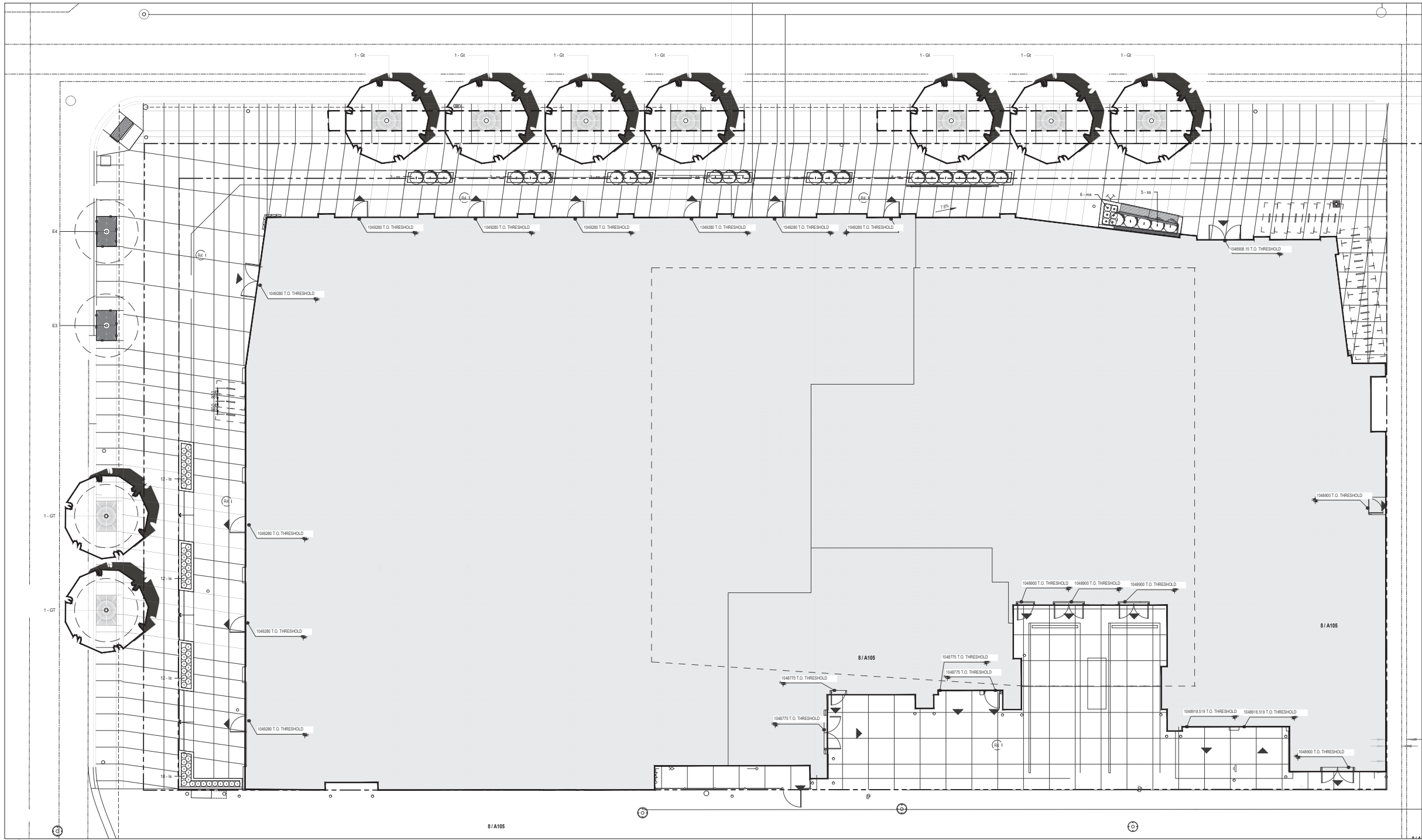
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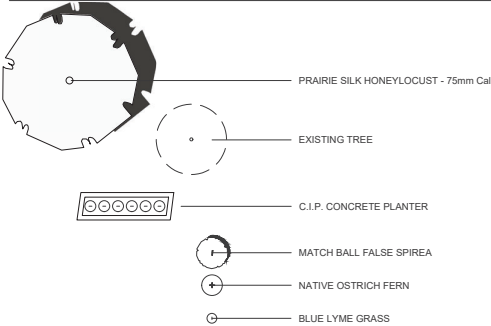
L102

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1 PLANTING PLAN
L102 / SCALE 1:100

PLANT LEGEND



TREE PLANT LIST:

KEY	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Gt	Gleditsia triacanthos Prairie Silk	PRAIRIE SILK HONEYLOCUST	75mm CAL. B&B, MIN 700 mm wd x 400mm ROOT BALL	09

SHRUB AND GRASS PLANT LIST:

KEY	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
ss	Sorbaria sorbifolia 'Leivgreen'	MATCH BALL FALSE SPIREA	#5 CONT	27
ls	Leymus arenarius	BLUE LYME GRASS	3 GAL POT	76
ms	Matteuccia struthiopteris	NATIVE OSTRICH FERN	3 GAL POT	06

EXISTING TREES

KEY	SCIENTIFIC NAME	COMMON NAME	TRUNK (cm)	Canopy (m)	Height (m)	CITY TREE ID	REMAIN/REMOVE
E1	GLEDITSIA TRIACANTHOS	HONEY LOCUST	5	NA	NA	T-51454985	REMOVE
E2	GLEDITSIA TRIACANTHOS	HONEY LOCUST	5	NA	NA	T-51454986	REMOVE
E3	FRAXINUS PENNSYLVANICA	GREEN ASH	23	NA	NA	T-32062075	REMAIN
E4	FRAXINUS PENNSYLVANICA	GREEN ASH	26	NA	NA	T-32062074	REMAIN

NOTE:
TREE REMOVALS ARE PENDING URBAN FORESTRY APPROVAL. TREE PROTECTION PLAN AND STUMP REMOVAL APPLICATION TO BE APPROVED PRIOR TO REMOVAL



Project Team:
Prima Consultant
GEC ARCHITECTURE
Structural Consultant
CORNERSTONE
Mechanical Consultant
REINBOLD ENGINEERING GROUP
Electrical Consultant
NEMETZ AND ASSOCIATES
Civil Consultant
AL-TERRA
Landscape Consultant
SCATLIFF + MILLER + MURRAY
Consultant Other

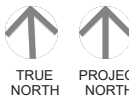
Client



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CONSTRUCTION



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07	ISSUED FOR PROGRESS	02/19/2025
06	ISSUED FOR DR2	01/28/2025
05	ISSUED FOR PROGRESS	01/22/2025
04	ISSUED FOR PROGRESS	12/29/2024
03	ISSUED FOR DR1	11/26/2024
02	ISSUED FOR 60%	10/16/2024
01	ISSUED FOR DP	07/12/2024
NO.	ISSUED FOR	DATE

AS SHOWN	Checked By
DTM	

Project
PLAZA 54

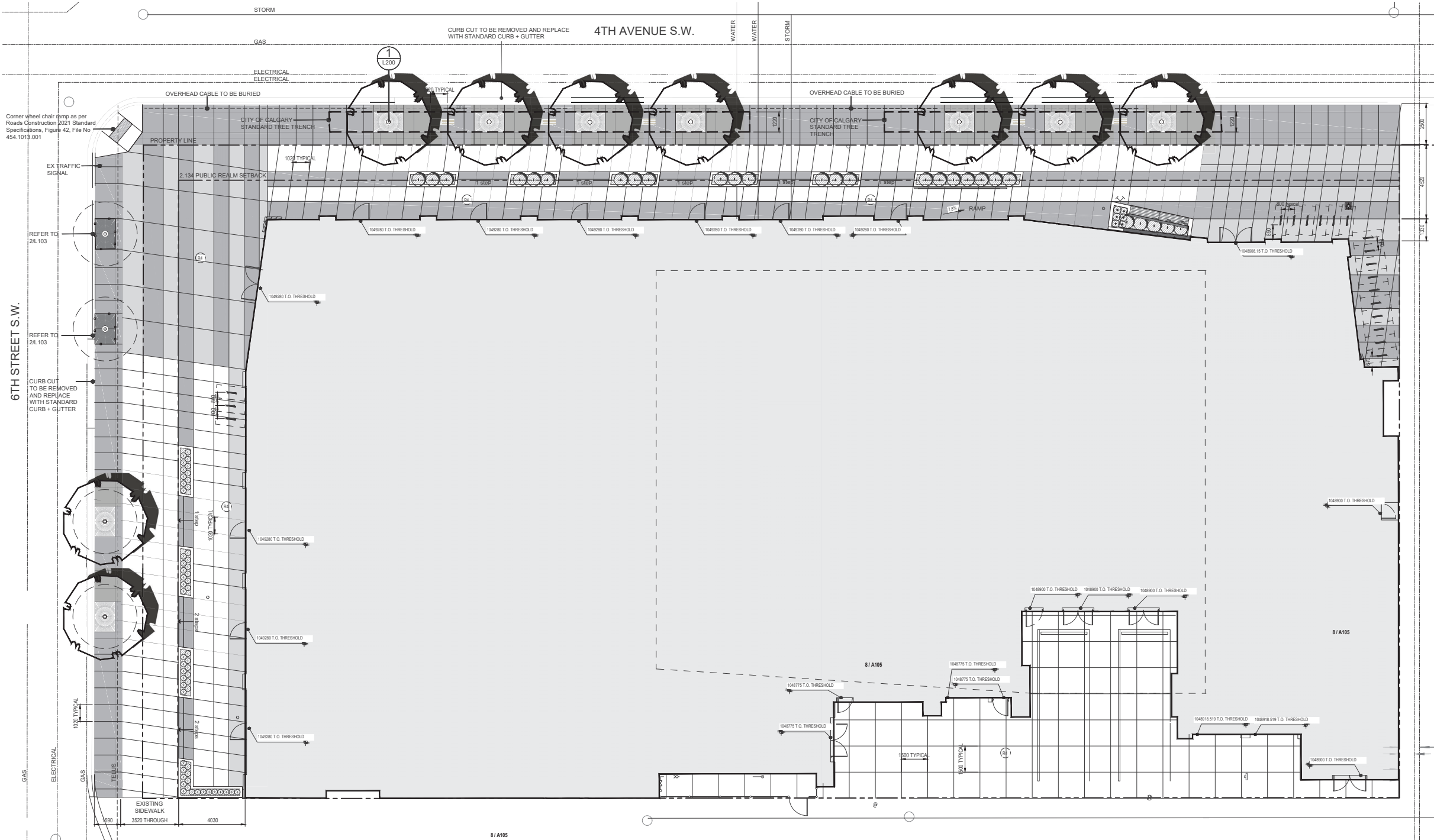
Project Address
Drawing Title

TREE PROTECTION PLAN

Project Number
6028

Drawing Number
L103

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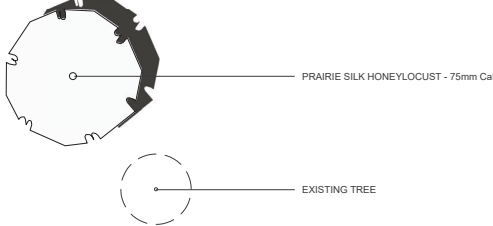
1 TREE PROTECTION PLAN SCALE 1:100

SITE STATISTICS
Land-Use: COMMERCIAL RESIDENTIAL DISTRICT CR20-C20/R20
Municipal Address: 410 6TH ST. SW CALGARY, ALBERTA
Legal Address: LOT 1 - LOT 10, PLAN A1, BLOCK 17
Site Area: 3,025.82 m²
Gross Floor Area: 14,781.00 m²

GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
- STREET TREES AND TALL GRASSES ARE NON IRRIGATED
- MOVEABLE PLANTERS ARE NON IRRIGATED
- ANY TREE PLANTING IN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS' DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT IS TO CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-804-9417 OR CALL 311 TO ARRANGE AN INSPECTION
- AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE THROUGH 311 DURING TREE TRENCH BACKFILL TO ENSURE ROOT BARRIER/FABRIC, SOIL VOLUME AND SOIL COMPACTION MEET THE CITY STANDARD.

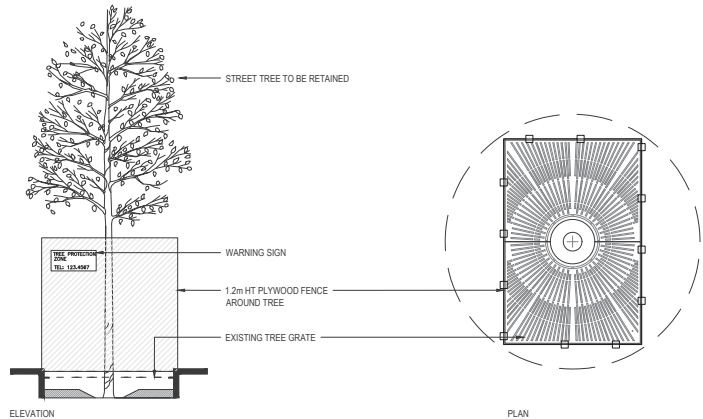
PLANT LEGEND



CITY OF CALGARY TREE PROTECTION GUIDELINES:

- All retained trees as shown shall be identified on site in such a way so that all workers shall know that the vegetation is to be retained. Identification of retained vegetation on site shall be by a Tree Protection Barrier as detailed here. For safety reasons be sure to call 'Alberta 1 Call' at 1-800-242-3447 before installation and make sure it does not interfere with fire hydrants, obscure intersections or traffic signage.
- The tree's roots, trunk, crown and tree protection zone must be adequately protected. The Tree Protection Barrier must be at least 1.2m (4') in height. Provide a plywood box type fencing around the extent of the tree grate. Fencing will be maintained in an upright position throughout the duration of the project. Ensure the barrier is placed in between the sidewalk and property line to ensure that there is no unauthorized soil disturbance or entry into the area.
- A warning sign shall be displayed on all tree protection barriers. The sign shall be a minimum of 30.5x40.5cm and clearly state, "WARNING- TREE PROTECTION ZONE" and indicate contact phone number. Sign to be obtained with applicable permit from The City of Calgary Parks.
- Mulching to the edge of the Tree Protection Zone will be required. The mulch shall consist of untreated wood chips 2-3cm in size and shall be spread to a 5cm (2") depth. The mulch should be kept at least 5cm (2") from tree trunk.
- No excavation, stock-piling of materials or other construction related activity shall occur within the Tree Protection Barrier.
- Trees and other vegetation within the Tree Protection Barrier shall be adequately maintained throughout the construction process. They shall be watered sufficiently, particularly if the root system has been disturbed during construction. A Tree watering schedule will be required when the development is to last more than two weeks.
- Root and branch pruning shall only be completed with approval from and in accordance with The City of Calgary and the Consultant.
- If any damage occurs to the protected vegetation (regardless of how) the Contractor is required to notify the permit holder within two working days.

2 TREE PROTECTION DETAIL SCALE 1:25





Project Team:

Prime Consultant
GEC ARCHITECTURE

Structural Consultant
CORNERSTONE

Mechanical Consultant
REINBOLD ENGINEERING GROUP

Electrical Consultant
NEMETZ AND ASSOCIATES

Civil Consultant
AL-TERRA

Landscape Consultant
SCATLIFF + MILLER + MURRAY

Consultant Other

Client



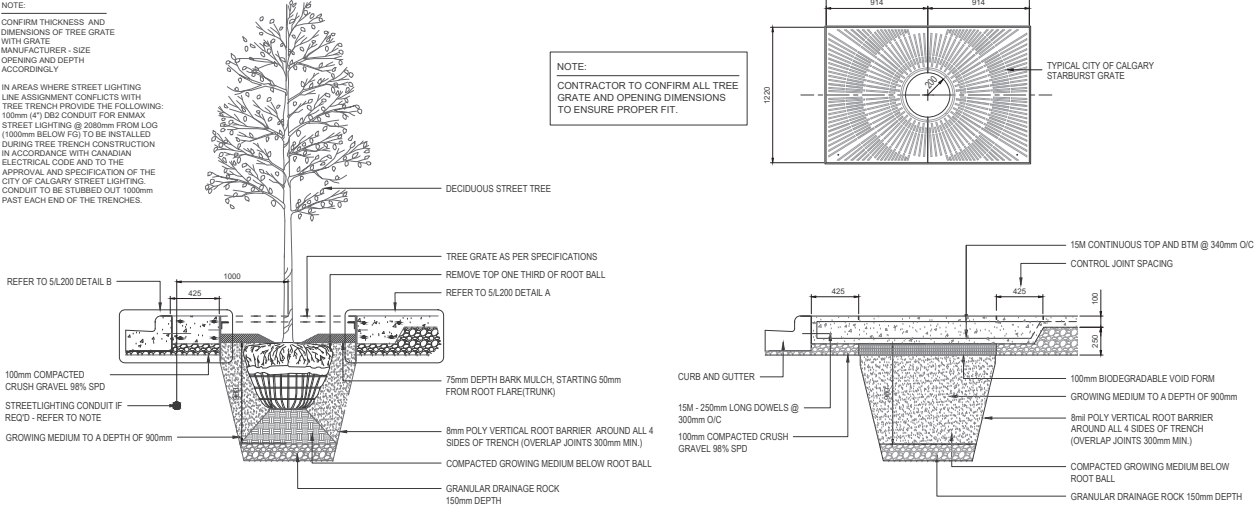
Seal & Permit



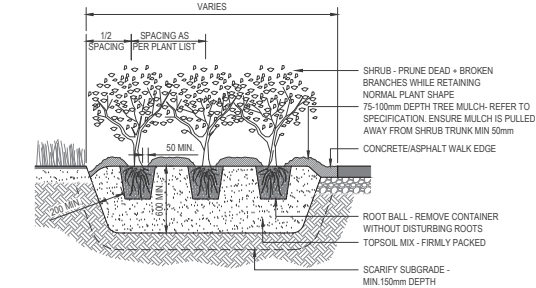
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07	ISSUED FOR PROGRESS	02/19/2025
06	ISSUED FOR DR2	01/28/2025
05	ISSUED FOR PROGRESS	01/22/2025
04	ISSUED FOR PROGRESS	12/20/2024
03	ISSUED FOR DR1	11/26/2024
02	ISSUED FOR 60%	10/16/2024
01	ISSUED FOR DP	07/12/2024
NO.	ISSUED FOR	DATE

AS SHOWN	Checked By DTM
Project	
PLAZA 54	
Project Address	
Drawing Title	
LANDSCAPE DETAILS	
Project Number 6028	Drawing Number L200

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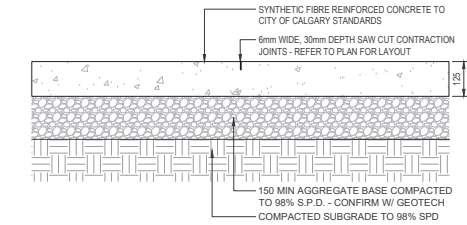
1 TREE TRENCH DETAIL
L200 SCALE 1:25



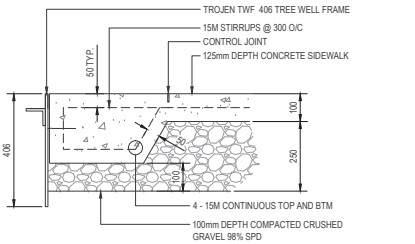
2 TYPICAL SHRUB PLANTING DETAIL
L200 SCALE 1:25



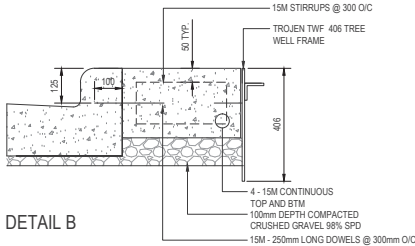
3 BIKE RACK DETAIL
L200 SCALE 1:25



4 CONCRETE PAVING DETAIL
L200 SCALE 1:10



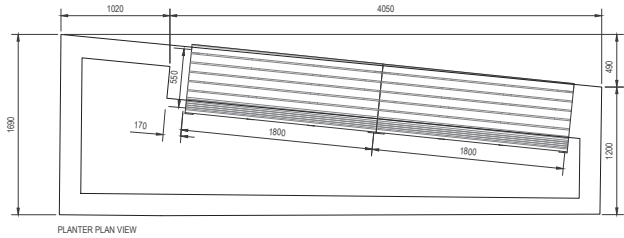
DETAIL A



DETAIL B

5 TREE TRENCH CONCRETE EDGE DETAILS
L200 SCALE 1:10

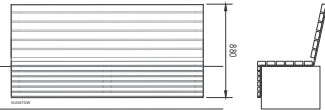
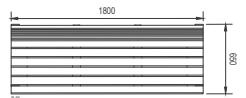
6 SURFACE MOUNT BENCH DETAIL
L200 SCALE 1:25



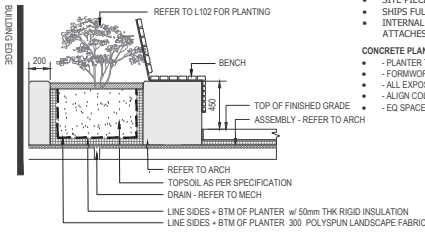
- BENCH NOTES:
- FRAME: ALL ALUMINUM CONSTRUCTION - POWDERCOAT HOT SAUCE
 - 1/2" PRE-DRILLED COUNTERSUNK HOLES FOR MOUNTING
 - THERMORY (N. WHITE ASH)
 - SITE PIECES RECOMMENDS STAINLESS STEEL DROP-IN ANCHORS W/ FLAT HEAD
 - SLATS FULLY ASSEMBLED
 - INTERNAL FRAME REQUIRES ANCHORING TO CONCRETE WALL, BENCH WITH SLATS ATTACHES TO INTERNAL FRAME
- CONCRETE PLANTER NOTES:
- PLANTER TO HAVE A SMOOTH ARCHITECTURAL FINISH
 - FORMWORK TO BE OILED AND PAPER BACKED
 - ALL EXPOSED EDGES TO HAVE A 45° CHAMFERED EDGE
 - ALIGN COLD JOINTS WITH FORM WORK SEAMS
 - EQ SPACE CONE FORM TIES

SITE PIECES BENCH: ML-TOPBACKW42

MONOLINE 6" BACKED TOPPER NO ARMRESTS



BENCH ATTACHMENT



PLANTER SECTION

7 ARCHITECTURAL PLANTER DETAIL
L200 SCALE 1:25