

Development Permit Plans

24-08-26 9:00:44 AM

MEDICINE HILL - BLOCK D

MULTI-RESIDENTIAL DEVELOPMENT
1878 NA'A DRIVE SW, CALGARY



ARTIST-CREATED IMAGE TO AID IN VISUALIZATION PURPOSES ONLY

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Revisions	
Number	Description
1	ISSUED FOR DEVELOPMENT PERMIT
2	ISSUED FOR DTR1
3	ISSUED FOR DTR2
4	ISSUED FOR DTR3

CLIENT



PH: 403.991.7418
3904 1st NE
Calgary, AB, T2E 3E3
Mailing: PO Box 75065 Westhills
Calgary, AB, T3H 3M1

ISSUED FOR DEVELOPMENT PERMIT SEPTEMBER 18, 2023
ISSUED FOR DTR1 JANUARY 31, 2024
ISSUED FOR DTR2 APRIL 25, 2024
ISSUED FOR DTR3 JUNE 26, 2024

SITE MAP



CONSULTANTS

ARCHITECT
casola+koppe
ARCHITECTS
#300-1410 - 1st Street SW, Calgary, Alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PH: 403.287.9960
#300-1410 1 St SW
Calgary, AB T2R 0V8

ELECTRICAL CONSULTANT
EMBE
Consulting Engineers Inc.
PH: 403.460.2277
121 15 Ave SE
Calgary, AB T2G 1G1

LANDSCAPE ARCHITECT
SCATLIFF + MILLER + MURRAY
visionary urban design + landscape
PH: 403.262.9744
815 1 St SW
Calgary, AB T2P 1N3

CIVIL ENGINEER
TULLOCH
PH: 403.286.7937
1201 5 St SW
Calgary, AB T2R 0Y6

ARCHITECT
casola+koppe
ARCHITECTS
#300 - 1410 1st SW, Calgary, Alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
COVER SHEET

DRAWN BY	JOB NO.	Building Permit #
AUTHOR	2224	
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ISSUE DATE (yyyy)		
24/04		
SCALE		
AS NOTED		

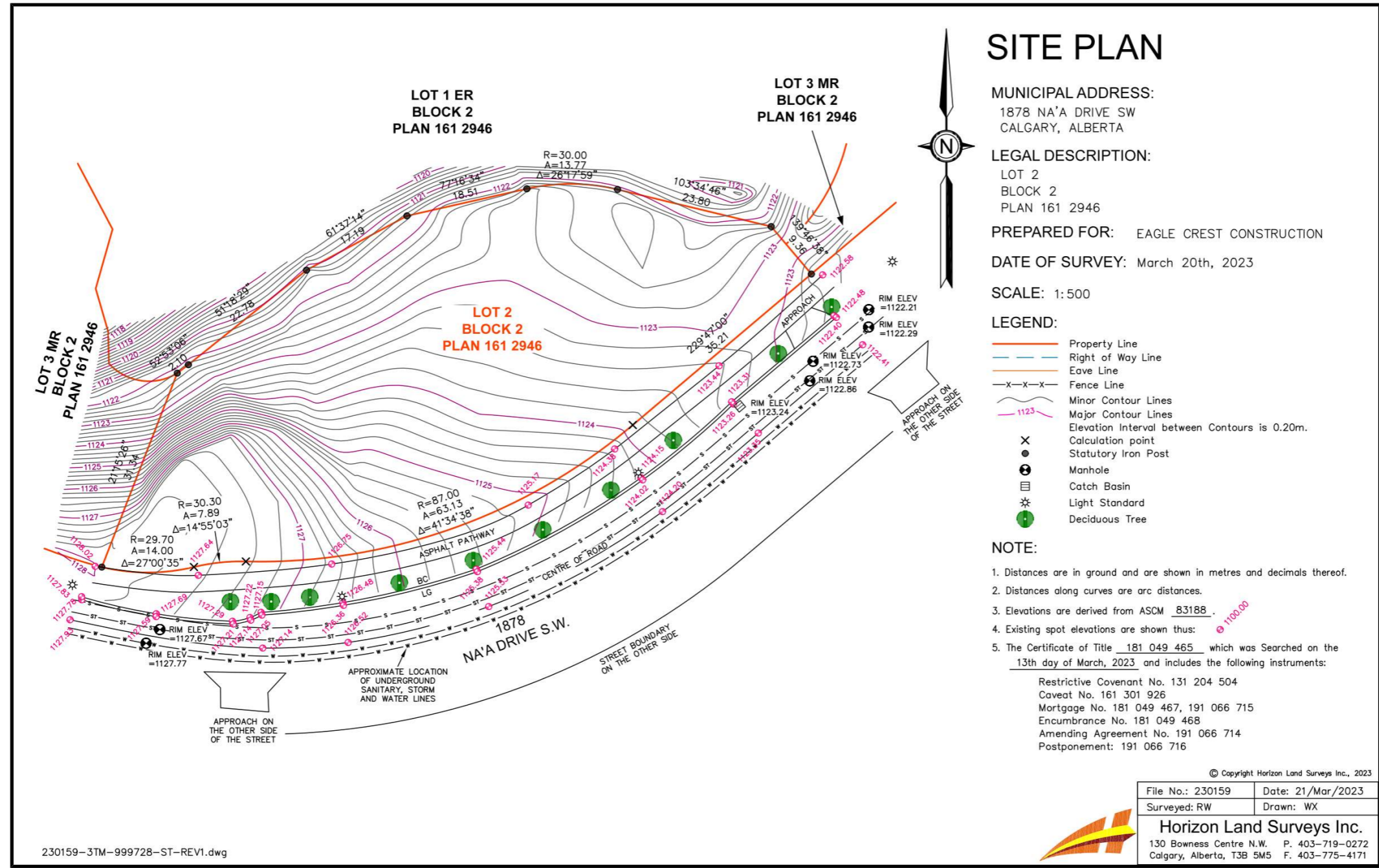
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Number	Date (yy/mm/dd) Description
1	24.09.15 ISSUED FOR DEVELOPMENT PERMIT
2	24.11.21 ISSUED FOR DSE1
3	24.04.25 ISSUED FOR DSE2
4	24.05.26 ISSUED FOR DSE3



SITE PLAN

MUNICIPAL ADDRESS:
1878 NA'A DRIVE SW
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 2
BLOCK 2
PLAN 161 2946

PREPARED FOR: EAGLE CREST CONSTRUCTION

DATE OF SURVEY: March 20th, 2023

SCALE: 1:500

LEGEND:

- Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Minor Contour Lines
- Major Contour Lines
- Elevation Interval between Contours is 0.20m.
- Calculation point
- Statutory Iron Post
- Manhole
- Catch Basin
- Light Standard
- Deciduous Tree

NOTE:

1. Distances are in ground and are shown in metres and decimals thereof.
2. Distances along curves are arc distances.
3. Elevations are derived from ASCM 83188.
4. Existing spot elevations are shown thus: 1100.00
5. The Certificate of Title 181 049 465 which was Searched on the 13th day of March, 2023 and includes the following instruments:
Restrictive Covenant No. 131 204 504
Caveat No. 161 301 926
Mortgage No. 181 049 467, 191 066 715
Encumbrance No. 181 049 468
Amending Agreement No. 191 066 714
Postponement: 191 066 716

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File No.: 230159	Date: 21/Mar/2023
Surveyed: RW	Drawn: WX



Horizon Land Surveys Inc.
130 Bowness Centre N.W. P. 403-719-0272
Calgary, Alberta, T3B 5M5 F. 403-775-4171

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STAMP

ARCHITECT
casola koppe
ARCHITECTS
#300 - 1410 1st SW, calgary, alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
SITE SURVEY

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AERIAL MAP

1. SOUTH WEST VIEW



2. NORTH WEST VIEW



3. NORTH EAST VIEW



4. SOUTH EAST VIEW



5. ADJACENT STREET VIEW



6. STREET VIEW OF CURB



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Number	Date (yy/mm/dd)	By (initials)	Description
1	24.09.15		ISSUED FOR DEVELOPER PERMIT
2	24.11.21		ISSUED FOR PERMITS
3	24.04.25		ISSUED FOR PERMITS
4	24.06.26		ISSUED FOR PERMITS

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ARCHITECT
casola=koppe
ARCHITECTS
#300 - 1410 1st SW, Calgary, Alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D

1878 NA'A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING

SITE PHOTOS

DRAWN BY

Author

2224

CHECKED BY

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ISSUE DATE (yy/mm)

24/04

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SITE DATA & ZONING COMPLIANCE	
SITE ADDRESS:	1878 N/A DR. SW, CALGARY, AB
LEGAL ADDRESS:	LOT 2, BLOCK 2, PLAN 1612946
ZONING:	DC 122D2015 (MEDIUM PROFILE SUPPORT DISTRICT, M-X2)
OCCUPANCY:	C - RESIDENTIAL OCCUPANCY - 3.2.2.50, NBC-AB 2019

Bylaw	Permitted/Required	Provided
USE:	MULTI-RESIDENTIAL DEV.	MULTI-RESIDENTIAL DEVELOPMENT
SITE AREA		0.36459 Hectares (+/- 3,645.9 m ² , +/- 39,244 sq.ft.)
DENSITY:	MINIMUM 60 UPH = 21.8 Dwellings NO MAXIMUM DENSITY	147 Dwellings = 403 Dwellings per Hectare
SITE WIDTH		116.10m
BUILDING AREA		11,611m ² GFA
SITE COVERAGE (INCL. BLDG. FOOTPRINT & VEHICLE ACCESS)	MIN. 40% PARCEL AREA TO BE LANDSCAPED, OR 37% WITH LOW WATER LANDSCAPE REDUCTION. MIN. 80% OF LANDSCAPE AT GRADE.	37.88% / 1381.13m ² LANDSCAPING COVERAGE LOW WATER LANDSCAPE OPTION INCORPORATED, REFER TO LANDSCAPE DRAWINGS.
F.A.R.	DC ZONING: NO MAXIMUM	3.12
FRONT YARD SETBACK	Min. 3.0 m ("FACING STREET")	3.0m @ SOUTH PROPERTY LINE
SIDE YARD SETBACK	Min. 1.2 m ("ANOTHER PARCEL")	1.2m @ WEST PROPERTY LINE
SIDE YARD SETBACK	Min. 1.2 m ("ANOTHER PARCEL")	1.2m @ EAST PROPERTY LINE
REAR YARD SETBACK	Min. 1.2 m ("ANOTHER PARCEL")	1.2m @ NORTH PROPERTY LINE
BUILDING HEIGHT	DC ZONING: MAXIMUM 21.0m	MAXIMUM 21.0m

Bylaw	Permitted/Required	Provided
AMENITY AREA	MIN. 5.0m ² / UNIT x 147 UNITS ABOVE GRADE = 735m ² PRIVATE: NO DIM. LESS THAN 2.0m COMMON: NO AREA LESS THAN 50m ² ; NO DIM. LESS THAN 6.0m; NOT IN SETBACK AREA, MAX 10% PROVIDED INDOORS.	PRIVATE AMENITY SPACE: • 5.0m ² / UNIT x 136 UNITS ABOVE GRADE = 680m ² • 9 UNITS HAVE BALCONIES THAT DO NOT MEET AMENITY AREA REQUIREMENTS, 2 UNITS DO NOT HAVE BALCONIES COMMON AMENITY SPACE: • 83.5m ² PROVIDED INDOORS • 197.0m ² PROVIDED OUTDOORS (AT ROOFTOP) TOTAL AMENITY AREA PROVIDED: • 960.5 m ² PROVIDED
PARKING	0.625 STALLS x 147 UNITS = 92 * NO VISITOR STALL REQUIREMENT EVSE EQUIPPED STALLS NOTED ON PLANS	• 97 UNIT STALLS PROVIDED • STREET STALLS AT FRONT NOT INCLUDED IN TOTAL • 5 STALLS DESIGNATED AS EVSE
BARRIER FREE PARKING	4 STALLS (A.B.C. TABLE 3.8.2.5.)	• 4 PROVIDED (A.B.C. 3.8.2.5.)
LOADING STALL	1 STALL PER 9,300m ² (GFA)	• 1 PROVIDED
BICYCLE PARKING	• CLASS 1: 1.0 STALLS / UNIT = 147 • CLASS 2: 0.1 STALLS / UNIT (MIN. 2 STALLS) = 0.1 x 147 = 14.7	• 150 CLASS 1 STALLS PROVIDED (94 HORIZONTAL, 56 VERTICAL) • 9 CLASS 2 BICYCLE RACKS PROVIDED (18 STALLS)
WASTE & RECYCLING	• 0.3 yd ³ PER DWELLING UNIT REQ. • WASTE PRODUCED: 0.3y ³ x NUMBER OF UNITS (147) = 44.1y ³ / 4y BINS = 11 BINS REQUIRED • AREA REQUIRED: 6 BINS x 7.5m ² = 45m ² OF STORAGE AREA REQUIRED • STAGING AREA REQUIRED: 45m ² / 2 = 22.5m ²	• WASTE: 2x 4y ³ BIN • RECYCLING: 2x 4y ³ BIN • COMPOST : 2x 4y ³ BIN • AREA PROVIDED: 53.697m ² • STAGING AREA PROVIDED: 28.52m ²
RETAINING	• LESS THAN 1.2m IN HEIGHT (MEASURED GRADE-TO-GRADE) • WITHIN 3.0m OF THE PROPERTY LINE: MINIMUM HORIZ. SEPARATION OF 1.0m BETWEEN	• NO RETAINING WALLS PROPOSED GREATER THAN 1.2m

ADDITIONAL NOTES:

- THE MAXIMUM GRADE OF THE ENCLOSURE & STAGING PAD IS 2%.
- THE STAGING AREA IS TO HAVE A CAPACITY TO CARRY A LOADED COLLECTION VEHICLE OF 25000kg.
- OVERHEAD HEIGHT FOR LOADING STALL IS 4300mm MIN.
- OVERHEAD HEIGHT FOR W&R REMOVAL IS 5000mm MIN.
- BUILDING OPERATOR WILL MOVE THE WASTE & RECYCLING CONTAINERS FROM THE STORAGE AREA TO THE STAGING AREA.
- SEE WASTE & RECYCLING PLAN FOR MORE INFORMATION.

ASP Policy	Notes	Provided
POLICY: LAND USE CONCEPT	<ul style="list-style-type: none"> VILLAGE DISTRICT: 1. PATHWAY CONNECTION 2. PASSIVE AND ACTIVE RECREATION USES 3. MAIN FLOOR UNITS - ACCESS TO PUBLIC SIDEWALK 4. CULTURAL & HISTORICAL SIGNIFICANCE 5. 50% OF PARKING BELOW GRADE RESIDENTIAL MAIN STREET 	<ul style="list-style-type: none"> REGIONAL PATHWAY CONNECTION EXISTING TO S.W. OF SITE & SITE CONNECTED PUBLIC SIDEWALK DWELLING UNITS & AMENITY SPACE PROVIDED PARKING PROVIDED BELOW GRADE
POLICY: BUILDING HEIGHT	5.7.2. (2)(c): SHOULD NOT EXCEED 6 STOREYS	6 STOREY BLDG PROVIDED
POLICY: TRANSIT	10.3.2. (1)(a)(ii): TRANSIT STOP WITHIN 400m	MAIN ENTRANCE WITHIN 400m OF NEAREST EXISTING BUS STOP
POLICY: SLOPE ADAPTIVE DESIGN	A.3.1: PURPOSE OF SECTION A.3 IS FOR RESIDENTIAL AREA, RESIDENTIAL / MIXED USE AREA, PASKAPOO SLOPES NATURAL AREA, RECREATION (SKI HILL) AREA, EMPLOYMENT AREA.	SITE IS WITHIN VILLAGE DISTRICT & NEAR THE BASE OF THE ESCARPMENT
POLICY: BUILT FORM	<ul style="list-style-type: none"> A.5.2(j): PEDESTRIAN ROUTES SHOULD BE PROVIDED WITHIN ALL SITES A.5.2(k): ENVIRONMENTAL DESIGN AS.2.2(a): VARIATION OF BLDG MASSING AND HEIGHT, ACCENTUATE ENTRIES, CORNERS & ROOPLINES AS.2.2(c): BLDGS FACING PARKS SHOULD BE DESIGNED WITH DECKS/ PATIOS FACING THE PUBLIC SPACE AS.2.2(e): PODIUM SETBACK SHOULD (NOT SHALL) BE 1m (L5&6) 	
POLICY: PARKING	A.5.3. (2)(i): RELAXATIONS RECOMMENDED	

Floor	Gross Floor Area	Units	Studio	1 Bedroom	2 Bedroom
1ST FLOOR:	2035.8 m ² (21 914 sq. ft)	22 DWELLING UNITS	2	2	18
2ND FLOOR:	1978.8 m ² (21 300 sq. ft)	25 DWELLING UNITS	-	5	20
3RD FLOOR:	1965.9 m ² (21 160 sq. ft)	25 DWELLING UNITS	-	4	21
4TH FLOOR:	1965.9 m ² (21 160 sq. ft)	25 DWELLING UNITS	-	4	21
5TH FLOOR:	1965.9 m ² (21 160 sq. ft)	25 DWELLING UNITS	-	4	21
6TH FLOOR:	1699.3 m ² (18 292 sq. ft)	25 DWELLING UNITS	-	5	20
TOTAL:	11 611 m ² (124 986 sq. ft)	147 DWELLING UNITS	2	24	121

Unit Types, Totals, and Content				
Unit Type	Area	Bedrooms	Bathrooms	Total
Unit A1	69 m2	2 Bedroom + Den	2 Bathroom	61
Unit A1 G.O.	72 m2	2 Bedroom + Den	2 Bathroom	3
Unit A2	67 m2	2 Bedroom + Den	2 Bathroom	14
Unit A2 G.O.	70 m2	2 Bedroom + Den	2 Bathroom	1
Unit A3	65 m2	1 Bedroom + Den	2 Bathroom	4
Unit A3 G.O.	67 m2	1 Bedroom + Den	2 Bathroom	1
Unit A4	68 m2	2 Bedroom + Den	2 Bathroom	4
Unit A4 G.O.	71 m2	2 Bedroom + Den	2 Bathroom	1
Unit B1	61 m2	2 Bedroom + Den	2 Bathroom	4
Unit B1 G.O.	61 m2	2 Bedroom + Den	2 Bathroom	1
Unit B2	60 m2	2 Bedroom	2 Bathroom	5
Unit B3	73 m2	2 Bedroom	2 Bathroom	4
Unit C1	69 m2	2 Bedroom	2 Bathroom	5
Unit C2	68 m2	1 Bedroom + Den	1 Bathroom	4
Unit C2 B	63 m2	1 Bedroom + Den	1 Bathroom	1
Unit C3	61 m2	1 Bedroom + Den	1 Bathroom	1
Unit C4	55 m2	1 Bedroom	1 Bathroom	1
Unit D1	48 m2	1 Bedroom	1 Bathroom	5
Unit D2	37 m2	Studio	1 Bathroom	1
Unit E1	56 m2	1 Bedroom + Den	1 Bathroom	14
Unit E2	54 m2	2 Bedroom + Den	1 Bathroom	3
Unit E3	52 m2	1 Bedroom + Den	1 Bathroom	1
Unit E4	55 m2	2 Bedroom	1 Bathroom	1
Unit F1	45 m2	1 Bedroom	1 Bathroom	5
Unit G1	32 m2	Studio	1 Bathroom	1
Unit H1	51 m2	1 Bedroom	1 Bathroom	1

Parking Stalls by Type	
Type of Stall	Count
Accessible Stall	2
Typical Stall	50

PARKADE 2	
Type of Stall	Count
Accessible Stall	2
EV Ready Stall	5
EVSE Equipped Stall	5
Typical Stall	33
Total Stalls:	97

PARKADE 1	
Type of Stall	Count
Accessible Stall	2
EV Ready Stall	5
EVSE Equipped Stall	5
Typical Stall	33
Total Stalls:	97

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2	24.01.21	ISSUED FOR DMR1
3	24.04.25	ISSUED FOR DMR2
4	24.06.26	ISSUED FOR DMR3

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STAMP

ARCHITECT
casola koppe
ARCHITECTS
#300 - 1410 1st SW, calgary, alberta T2R 0V8
bus: (403) 287-9660 fax: (403) 287-9662 info@ckarch.ca

PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D

1878 N/A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING

PROJECT INFORMATION

DRAWN BY: JCB NO. 2224 Building Permit #

AUTHOR: JCB

CHECKED BY: Checker

ISSUE DATE (yy/mm)

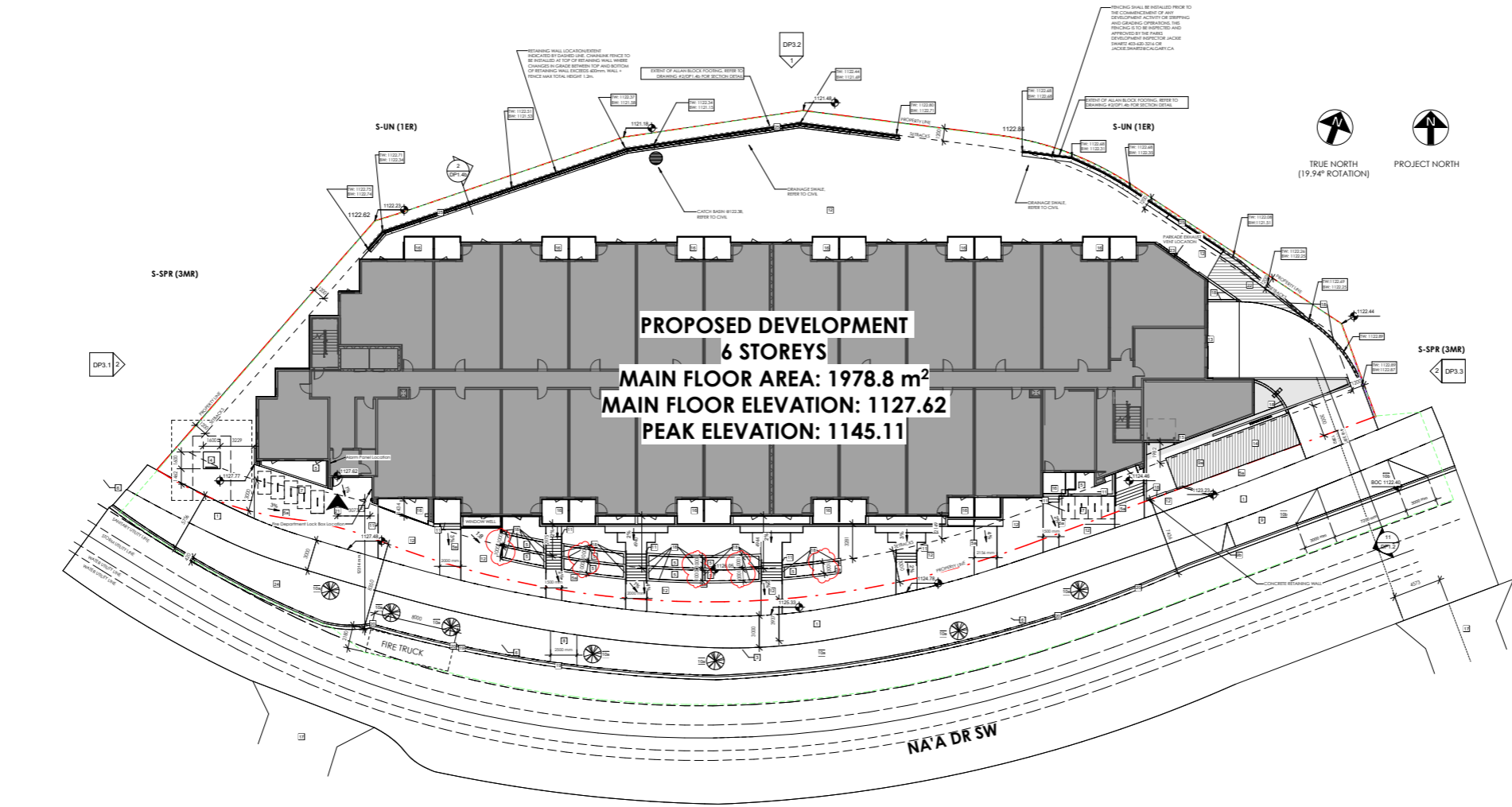
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SITE PLAN
1:175

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3	24.14.25	ISSUED FOR DMR2
4	24.08.26	ISSUED FOR DMR3

NOTE:
For legibility purposes, the lines in the legend below have been offset, however the fence and the range of ground disturbance will be within the property line.

- PROPERTY LINE
- SETBACK LINE
- RETAINING WALL
- LIMIT OF CONSTRUCTION DISTURBANCE
- TEMPORARY CONSTRUCTION FENCE

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ARCHITECT
casola koppe
ARCHITECTS
#300 - 1410 1st SW, calgary, alberta T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

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DRAWING
SITE PLAN

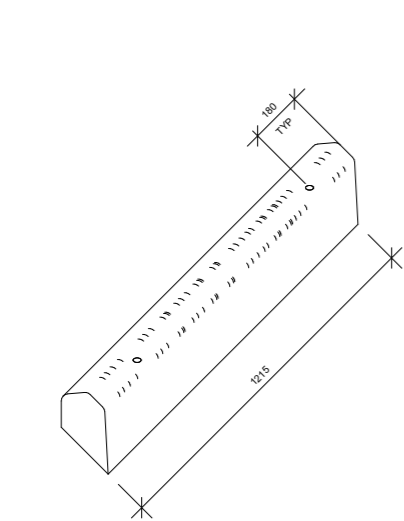
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SITE LEGEND

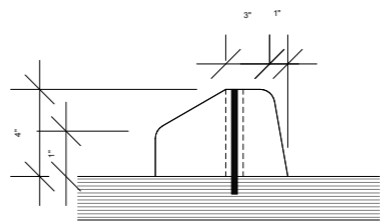
1	EXISTING ASPHALT REGIONAL PATHWAY	10b	EXISTING BOULEVARD TREE TO BE REMOVED
2	PROPOSED FIRE DEPARTMENT CONNECTIONS (SIAMESE)	11	PROPOSED BLACK METAL RAILING
3	PROPOSED FIRE HYDRANT	12	PROPOSED SOD/LANDSCAPING (SEE LANDSCAPE DWGS)
4	TRANSFORMER ON CONCRETE PAD *note: Bollards to be provided by Primary, not GC - grounded per Enmax standard. Nothing metallic within 3m clearance zone where indicated.	13	PROPOSED PARKADE OVERHEAD GARAGE DOOR (6100mm X 2440mm)
5	PROPOSED CONCRETE - DECORATIVE PLANTERS (SEE LANDSCAPE DWGS)	14	PROPOSED LOADING STALL (3.1m X 7.2m X 4.3m CLEARANCE ABOVE)
5a	PROPOSED CONCRETE - BROOM FINISH	15	PROPOSED W&R OVERHEAD GARAGE DOOR (3000mm X 2100mm)
6	EXISTING LAMP STANDARD	16	PROPOSED CONCRETE BALCONY
7	PROPOSED CLASS 2 (UNSECURED) BIKE RACKS ON CONCRETE PAD - SEE LANDSCAPE DWGS	17	EXISTING CONCRETE DRIVEWAY
8	PROPOSED BARRIER FREE PATHWAY: SLIP RESISTANCE CONCRETE FINISH / FEATURE PAVING	18	PROPOSED STRUCTURAL WALL (SEE CIVIL DWGS)
9	PROPOSED CONCRETE PARKADE DRIVEWAY	19	PROPOSED LOADING STALL SIGNAGE
9a	PROPOSED CONCRETE STAGING/COLLECTION AREA - MIN 25,000 KG CAPACITY - MIN 6.8m OVERHEAD CLEARANCE	20	PROPOSED FIRE LANE - 'NO PARKING' SIGNAGE
9b	PROPOSED CONCRETE ROLLED CURB	21	PROPOSED PRIMARY ENTRANCE FIRE LOCKBOX AND ALARM PANEL AT ENTRY
10a	EXISTING BOULEVARD TREES TO REMAIN	22	PROPOSED MAINTENANCE ACCESS LANE
		23	PROPOSED PARKADE EXHAUST VENT LOCATION
		24	GRASS (SEE LANDSCAPE DWGS)
		25	PROPOSED BLOCK WALL (SEE CIVIL DWGS)

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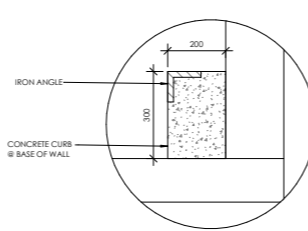
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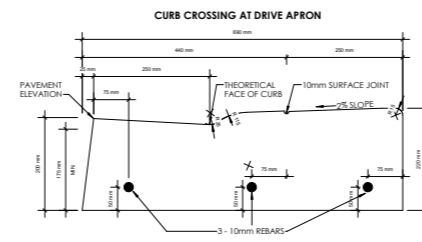
1 WHEEL STOP DETAIL
DPI.2 1:8



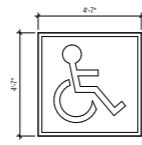
2 WHEEL STOP SECTION DETAIL
DPI.2 1:4



5 CONCRETE CHANNEL BUMPER
DPI.2 1:8



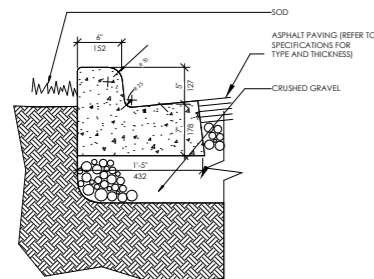
14 ROADS SPECIFICATION 454.1003.008
DPI.2 1:5



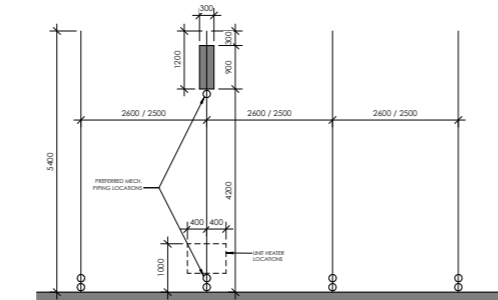
3 HANDICAP SIGN
DPI.2 1:24



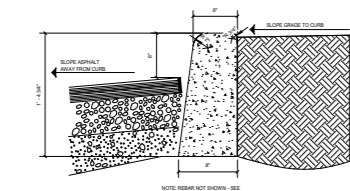
4 HANDICAP SIGNAGE
DPI.2 1:8



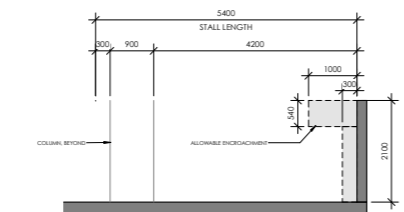
6 CURB/GUTTER DETAIL
DPI.2 1:8



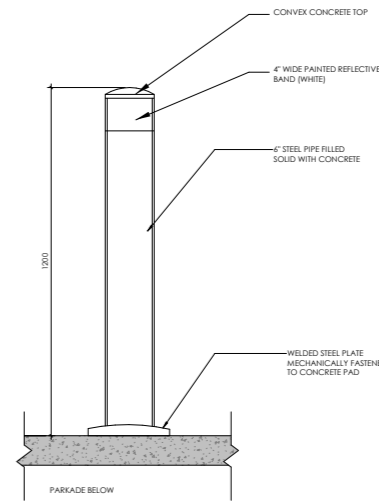
7 TYPICAL PARKING ENCROACHMENT PLAN
DPI.2 1:48



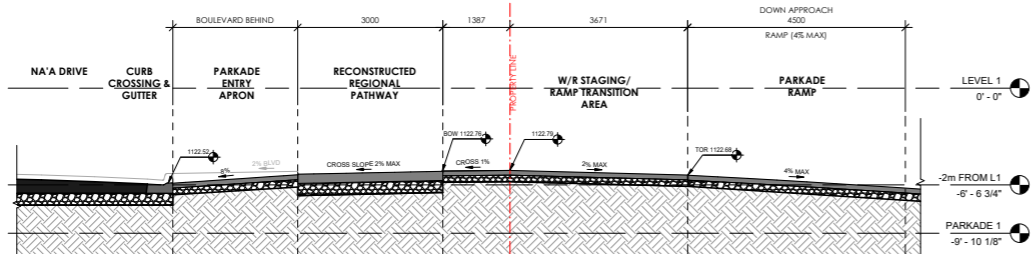
8 CONCRETE CURB DETAILS
DPI.2 1:8



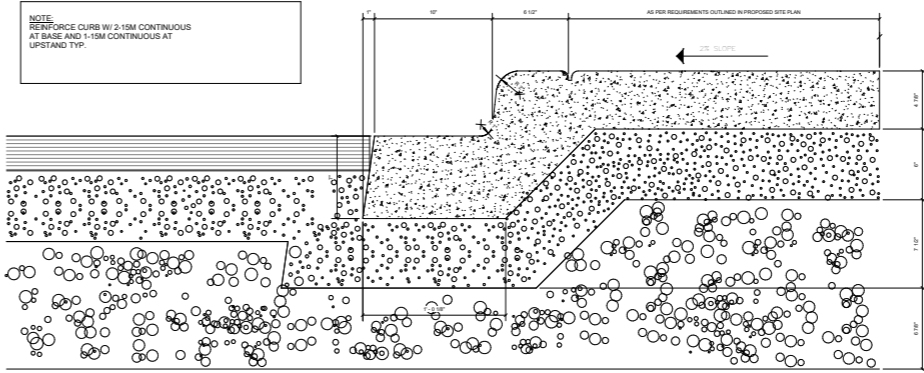
9 TYPICAL PARKING ENCROACHMENT SECTION
DPI.2 1:48



10 BOLLARD DETAIL
DPI.2 1:8



11 PROPOSED DRIVEWAY CROSSING SECTION
DPI.2 1:48



12 CURB DETAIL AT SIDEWALK
DPI.2 1:5

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Revisions			
Number	Date (yy/mm/dd)	Issued For	Description
1	23/09/15	ISSUED FOR DEVELOPMENT PERMIT	
2	24/01/21	ISSUED FOR DIB2	
3	24/04/25	ISSUED FOR DIB2	
4	25/02/25	ISSUED FOR DIB2	

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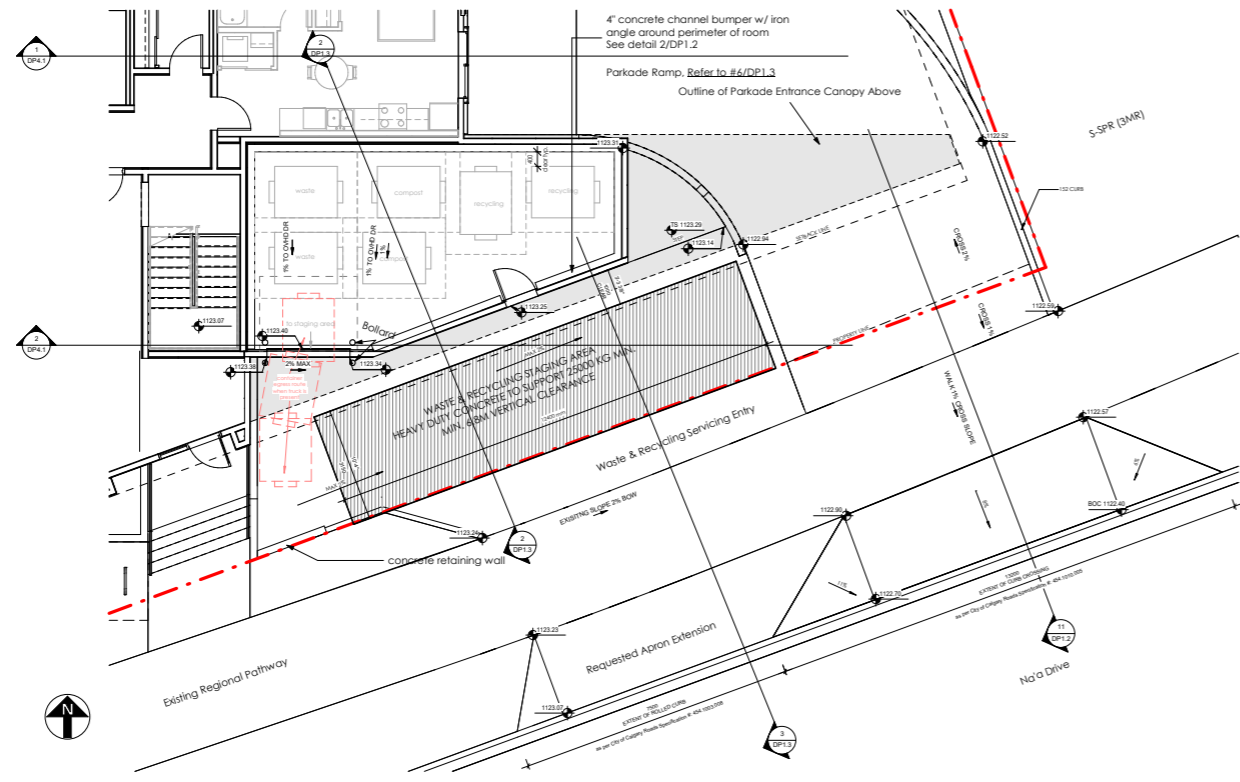
PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 141 2946

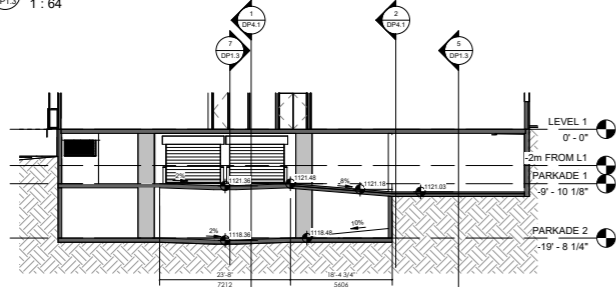
DRAWING
SITE DETAILS I

DRAWN BY Author	JOB NO. 2224	Building Permit #
CHECKED BY Checker	ISSUE DATE (yy/mm)	24/04
SCALE AS NOTED	DPI.2	

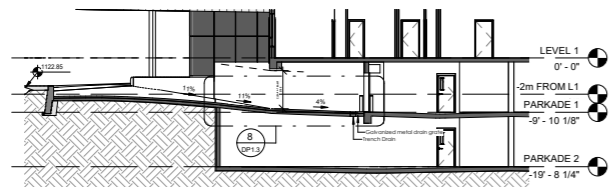
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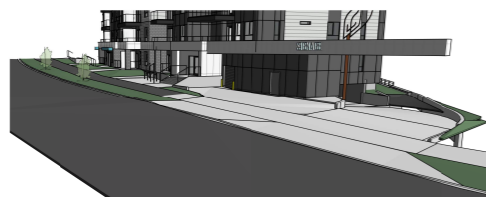
1 W&R ROOM PLAN
1:64



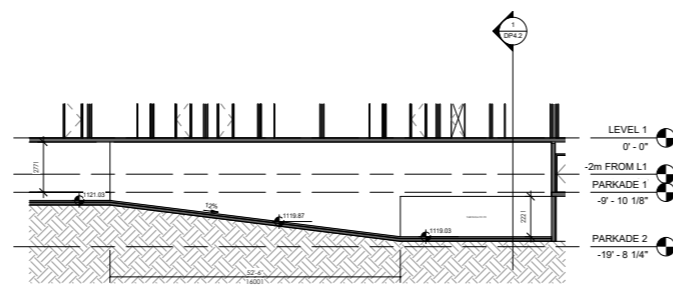
4 PARKADE 1 INTERIOR RAMP SECTION
1:128



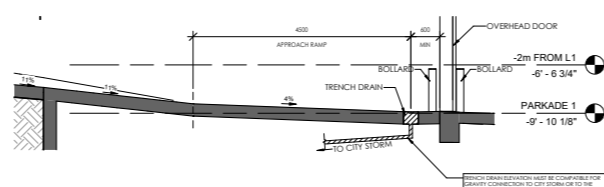
7 PARKADE ENTRY RAMP SECTION
1:128



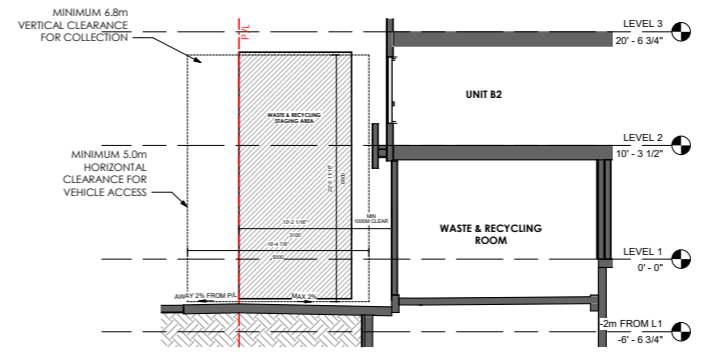
9 PARKADE RAMP/ W/R STAGING 3D VIEW
1:128



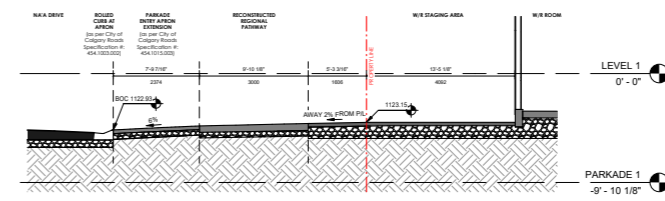
5 PARKADE 2 INTERIOR RAMP SECTION
1:128



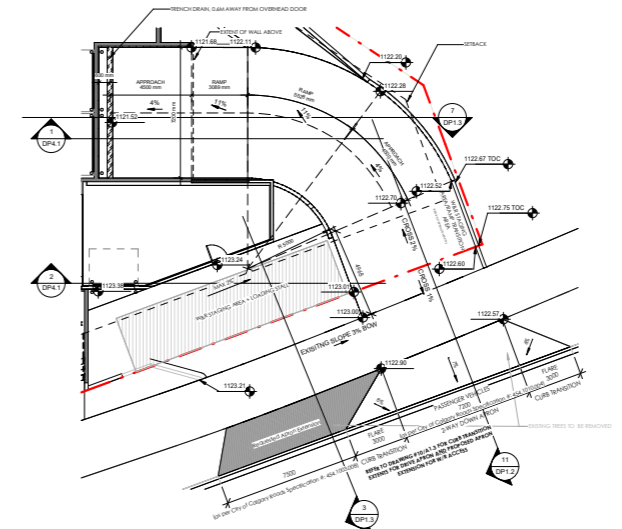
8 TRENCH DRAIN SECTION
1:48



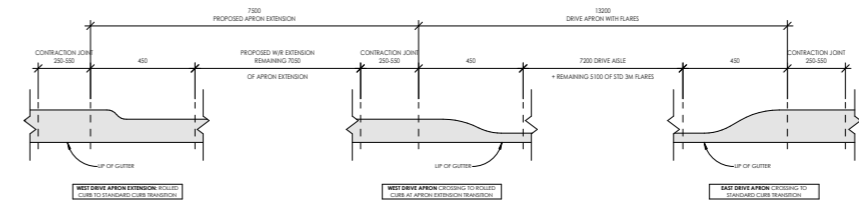
2 W&R ROOM SECTION
1:64



3 W/R STAGING AREA CROSS-SECTION
1:64



6 PARKADE RAMP PLAN
1:128



10 DRIVE APRON CURB TRANSITIONS
1:10

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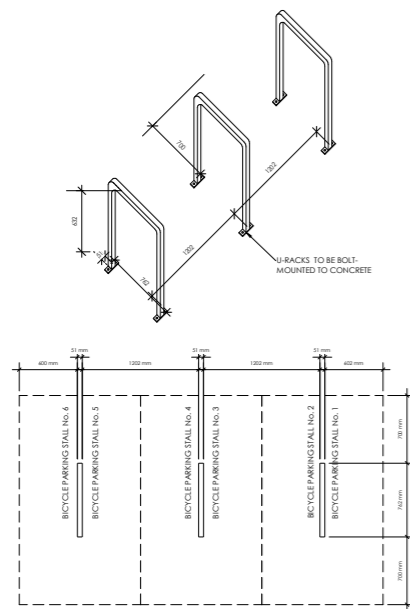
Revisions		
Number	Date (yymmdd)	Description
1	24.09.15	ISSUED FOR DEVELOPER PERMIT
2	24.11.21	ISSUED FOR PERMITS
3	24.12.25	ISSUED FOR PERMITS
4	25.01.28	ISSUED FOR PERMITS

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DRAWING
SITE DETAILS II
DRAWN BY SEM
JOB NO. 2224
Building Permit #
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ISSUE DATE (yy/mm) 24/04
SCALE AS NOTED
DP1.3

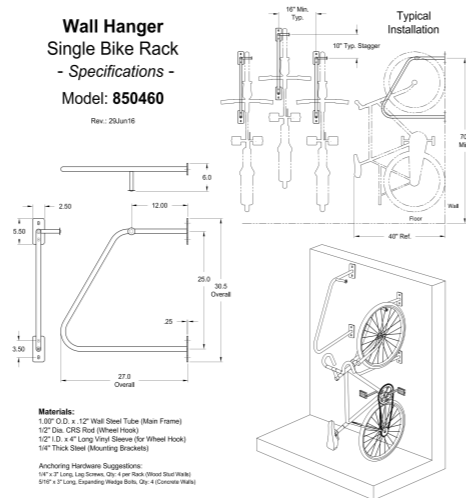
24-08-26 9:00:58 AM



1 CLASS 1 BICYCLE PARKING, TYP.
1 : 24

**Wall Hanger
Single Bike Rack
- Specifications -
Model: 850460**

Rev.: 20Jan16

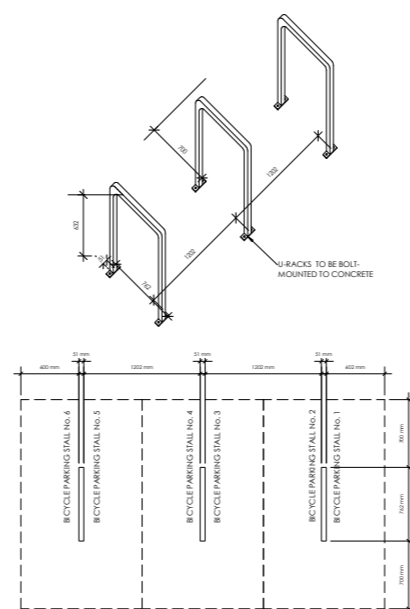


Materials:
1.00\"/>

Finish:
1) Polyester Powder Top Coat over Zinc Rich Primer
2) Hot Dip Galvanneal Coating
Dimensions shown are in inches.
Greenspoke maintains a policy of continuous product improvement.
As a result, some details may change without notice.



2 WALL HANGER BIKE RACK
1 : 1



3 CLASS 2 BICYCLE PARKING, TYP.
1 : 24

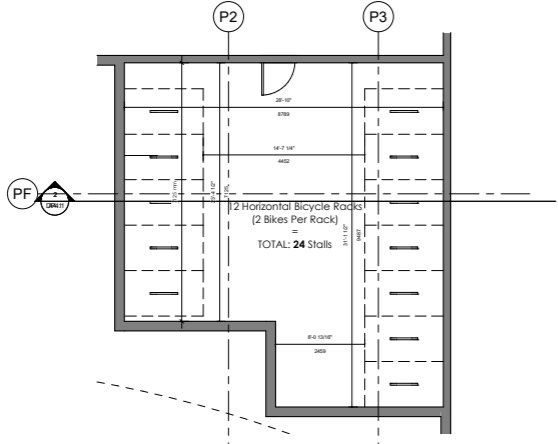
Bicycle Parking Summary			
Type	Rack Count	Location	Class
Horizontal Bike Racks (Inverted U)	39	PARKADE 1	Class 1
Vertical Bike Rack (Greenspoke Wall Hanger)	24	PARKADE 1	Class 1
Horizontal Bike Racks (Inverted U)	8	LEVEL 1	Class 1
Vertical Bike Rack (Greenspoke Wall Hanger)	32	LEVEL 1	Class 1
Horizontal Bike Racks (Inverted U)	4	LEVEL 1	Class 2
Horizontal Bike Racks (Inverted U)	5	LEVEL 2	Class 2

Total Racks: 112
Vertical: 56
Horizontal: 56

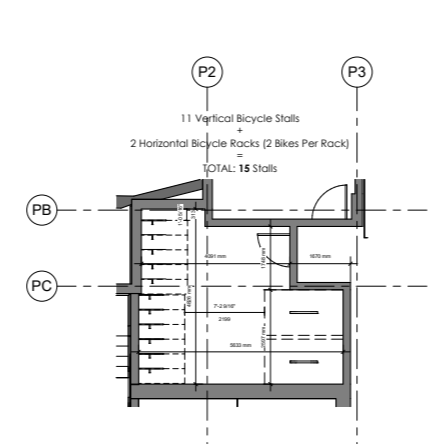
*EACH HORIZONTAL BIKE RACK, BOTH CLASS 1 AND CLASS 2, HAS 2 BIKE STALLS. SO THEIR TOTALS NEED TO BE MULTIPLIED BY 2 TO REPRESENT HOW MANY BICYCLE PARKING STALLS ARE PROVIDED.
56 HORIZONTAL RACKS X 2 STALLS PER RACK = 112 HORIZONTAL BICYCLE PARKING STALLS

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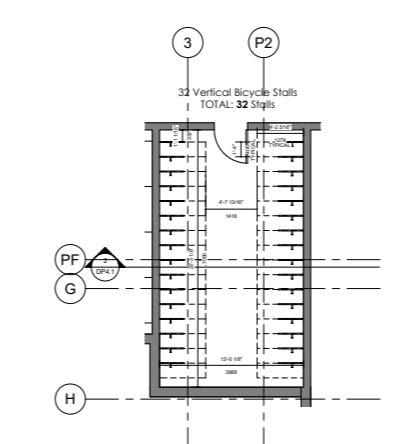
Revisions		
Number	Date (yy/mm/dd)	Description
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2	24.01.21	ISSUED FOR PERMITS
3	24.04.25	ISSUED FOR PERMITS
4	24.05.29	ISSUED FOR PERMITS



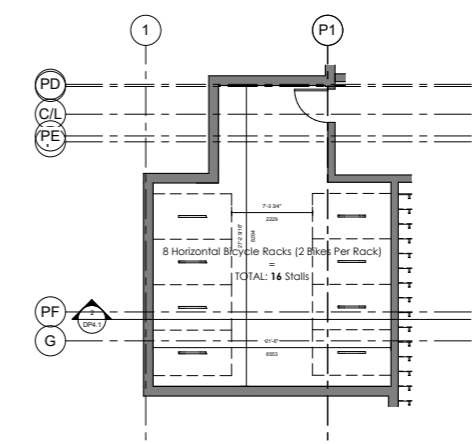
4 BICYCLE STORAGE B
1 : 64



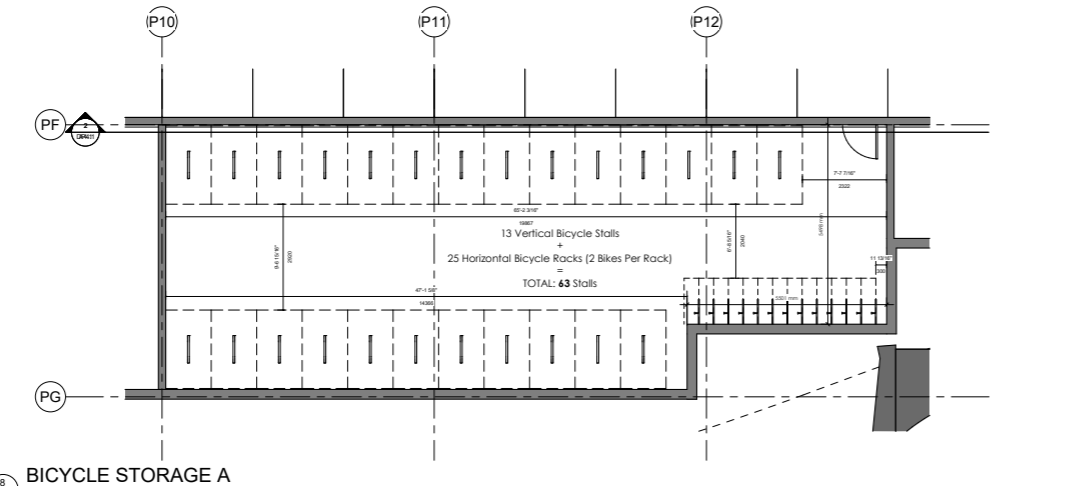
5 BICYCLE STORAGE C
1 : 64



6 BICYCLE STORAGE D
1 : 64



7 BICYCLE STORAGE E
1 : 64



8 BICYCLE STORAGE A
1 : 64

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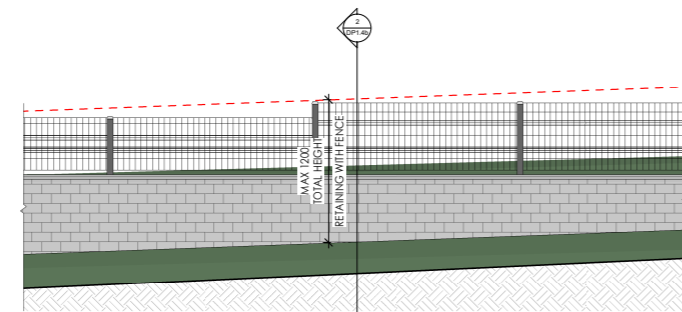
PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
SITE DETAILS III

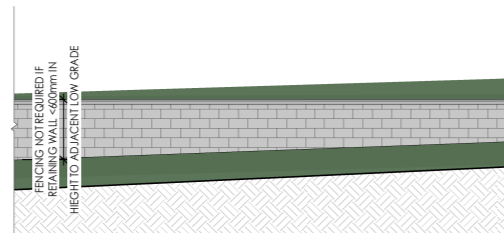
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ISSUE DATE (yy/mm): 24/04
SCALE: AS NOTED

DP1.4a

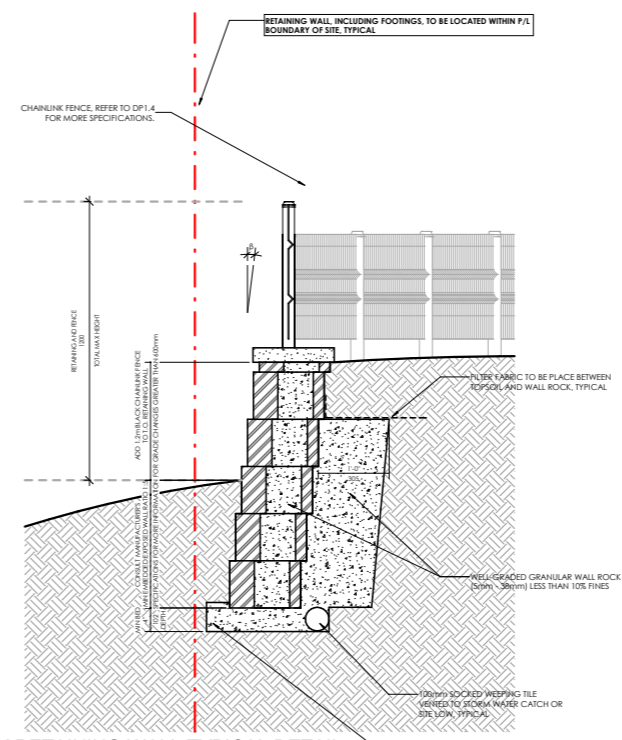
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1
DP1.4a
ER/MR-SIDE FENCE ELEVATION 01
1 : 20

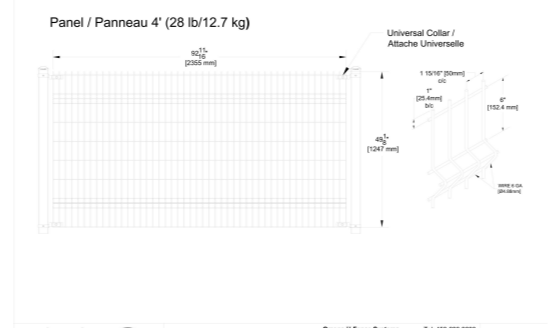


3
DP1.4a
ER/MR-SIDE FENCE ELEVATION 02
1 : 20



2
DP1.4a
BLOCK RETAINING WALL TYPICAL DETAIL
1 : 10

OMEGA ARCHITECTURAL PANELS MOUNTED ON SQUARE POSTS (HEIGHT 4')
PANNEAUX OMEGA ARCHITECTURALE SUR POTEAUX CARRÉS (GRANDEUR 4')



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FENCE SYSTEMS

Omega II Fence Systems
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Laval, Québec
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1-800-895-5242
Fax: 455-881-5318
www.omegafence.com

WEB
www.omega.com

4
DP1.4a
OMEGA ARCHITECTURAL PANEL
1 : 1

PANEL PROPERTIES		
PANEL	Standard Height	48", 61", 72", 97" (1245 mm, 1549 mm, 1778 mm, 2464 mm)
	Standard length	92 1/2" (2355 mm)
	Finish	Powder-coated + polyester powder coated
MESH	Spacing c/c	1 7/16" x 6" (58 x 152.4 mm)
	Horizontal wire	6 GA (4.88 mm)
GAUGE	Vertical wire	6 GA (4.88 mm)
	Dimensions	2" x 2" or 3" x 3" (50.8 x 50.8 mm or 76.2 x 76.2 mm)
SQUARE POST	Brackets	Universal brackets (x 1 7/8" (38 mm) slot allowance)
	Caps	Standard square cap
AVAILABLE GATES	Width	42 or 48 inches (107 or 122 cm)
	Height	48, 60, 72 or 96 inches (122, 152, 183 or 244 cm)
	6 standard gates sizes are available for the Omega Architectural fence. Custom sizes available.	

5
DP1.4a
OMEGA ARCHITECTURAL PANEL
1 : 1

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Revisions		
Number	Date (yy/mm/dd)	Description
1	24.09.15	ISSUED FOR DEVELOPMENT PERMIT
2	24.11.21	ISSUED FOR DMR1
3	24.04.25	ISSUED FOR DMR2
4	24.05.26	ISSUED FOR DMR3

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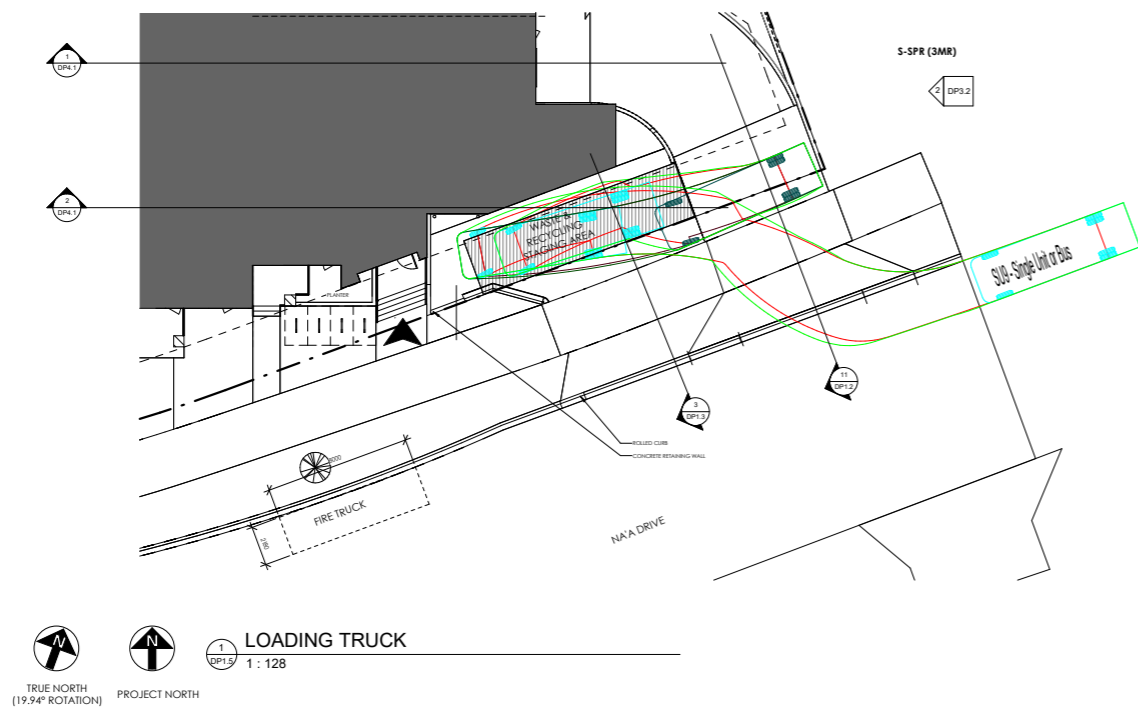
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

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SITE DETAILS - FENCE SPECIFICATIONS

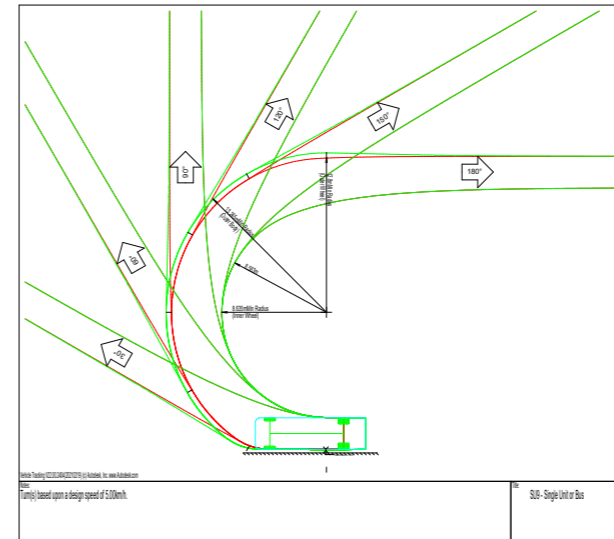
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Author	2224	
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ISSUE DATE (yy/mm)		
24/04		
SCALE		
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DP1.4b

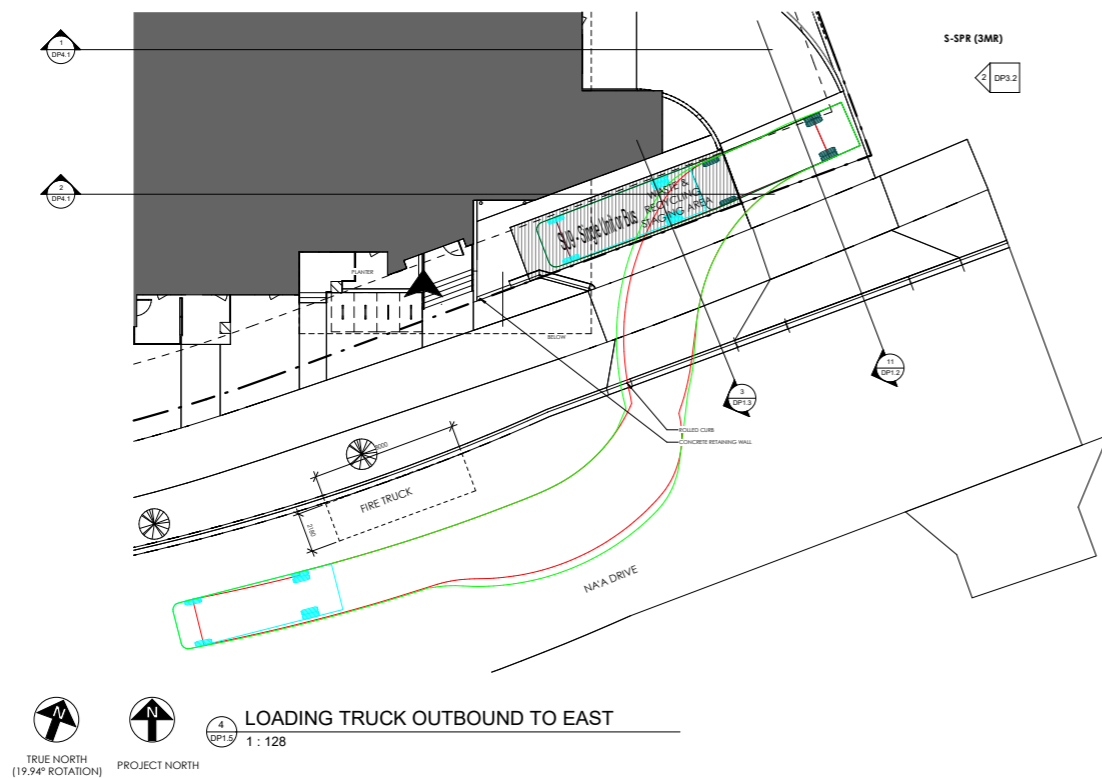
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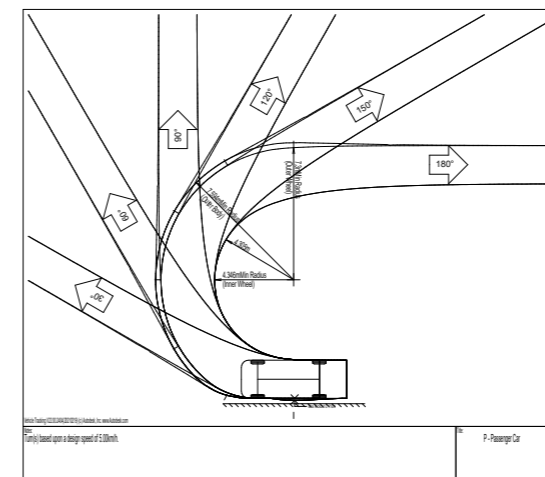
LOADING TRUCK
1: 128



SU-9 TEMPLATE
1: 192



LOADING TRUCK OUTBOUND TO EAST
1: 128



PASSENGER VEHICLE TEMPLATE
1: 128

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Revisions		
Number	Date (yymm/dd)	Description
1	24.09.15	ISSUED FOR DEVELOPER PERMIT
2	24.11.21	ISSUED FOR DP1
3	24.04.25	ISSUED FOR DP2
4	24.06.26	ISSUED FOR DP3

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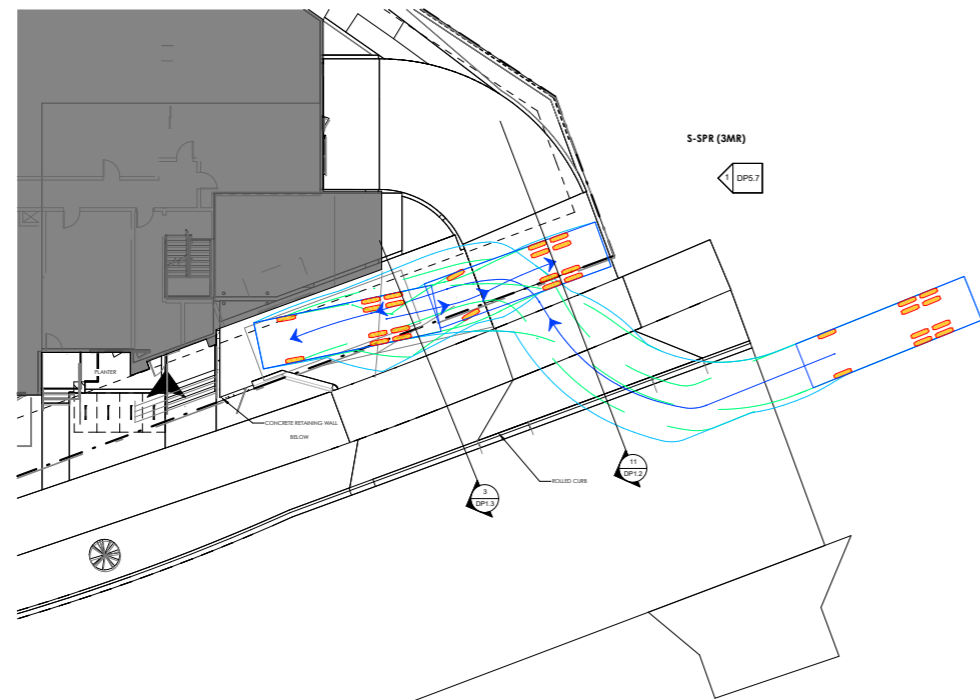
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1878 N/A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
TURNING TEMPLATES I

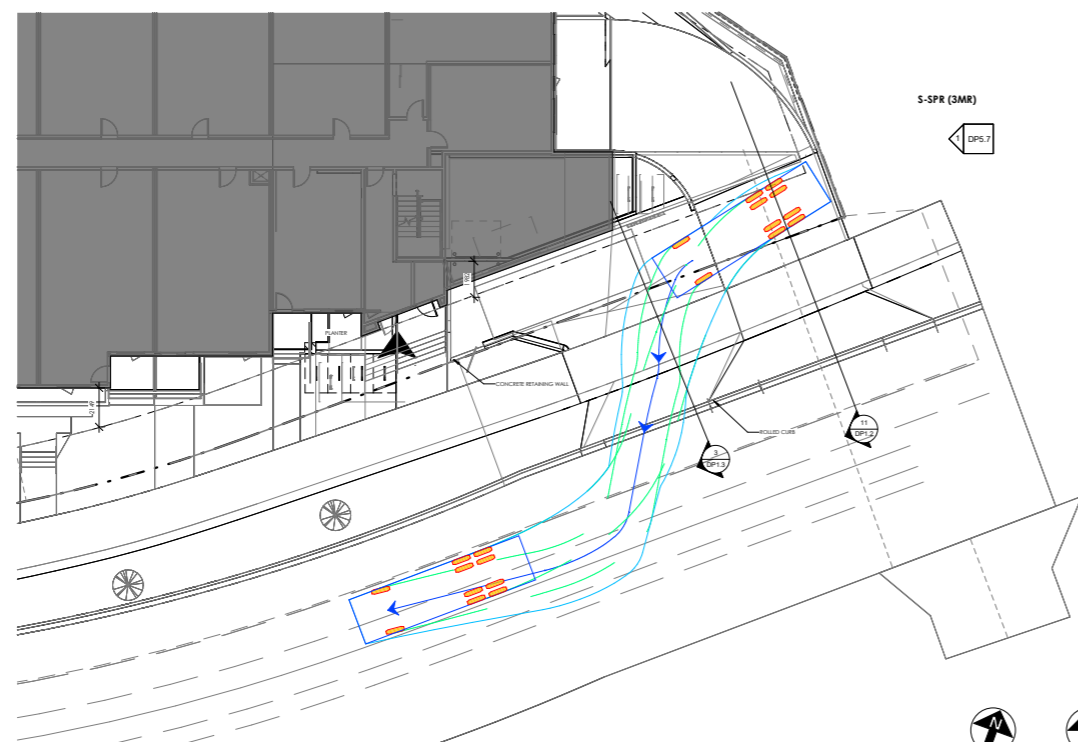
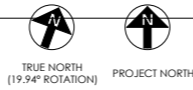
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	24/04	DP1.5
SCALE AS NOTED		

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24-08-26 9:01:02 AM



1
DP1.6
GARBAGE TRUCK INBOUND FROM EAST
1 : 128



2
DP1.6
GARBAGE TRUCK OUTBOUND FROM WEST
1 : 128



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Revisions		
Number	Date (yymmdd)	Description
1	23.09.15	ISSUED FOR DEVELOPER PERMIT
2	24.01.21	ISSUED FOR DRP1
3	24.04.25	ISSUED FOR DRP2
4	24.05.25	ISSUED FOR DRP3

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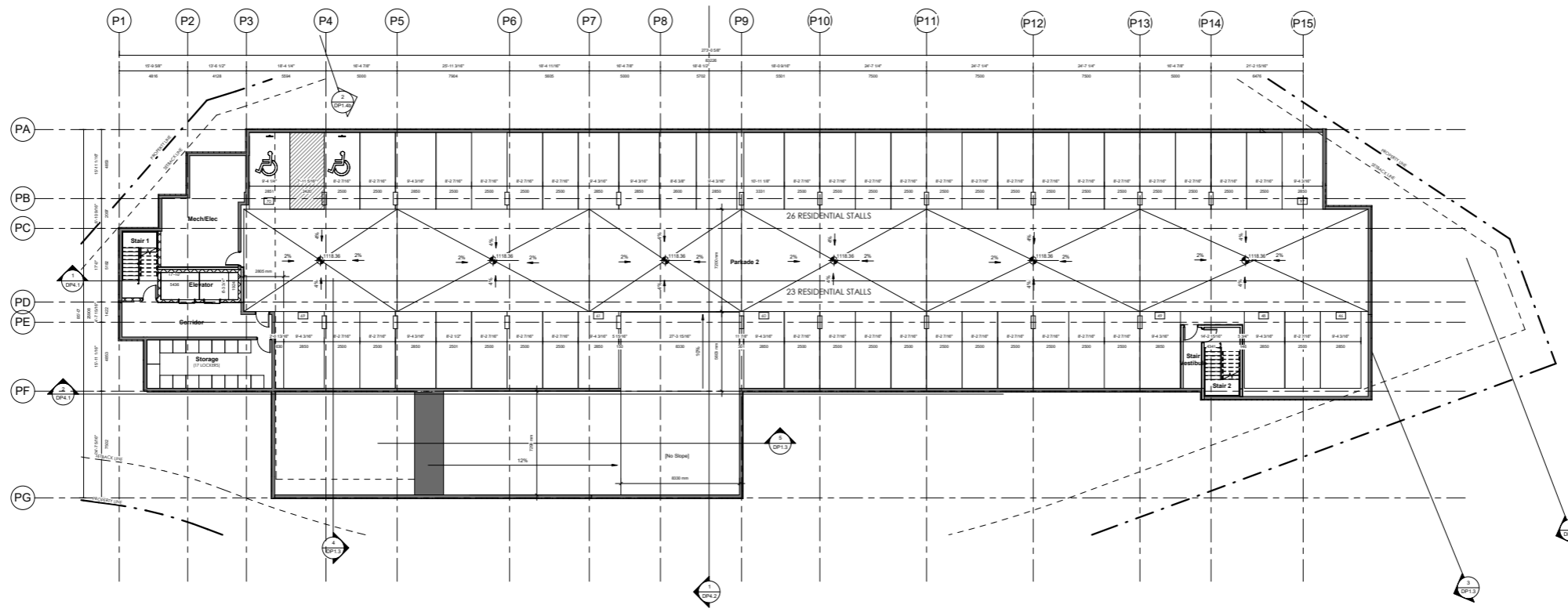
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1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 141 2946

DRAWING
TURNING TEMPLATES II

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ISSUE DATE (yymm)		DP1.6
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Revisions		
Number	Date (yymmdd)	Description
1	24.09.15	ISSUED FOR DEVELOPER PERMIT
2	24.11.21	ISSUED FOR DR2
3	24.04.25	ISSUED FOR DR2
4	24.05.25	ISSUED FOR DR2

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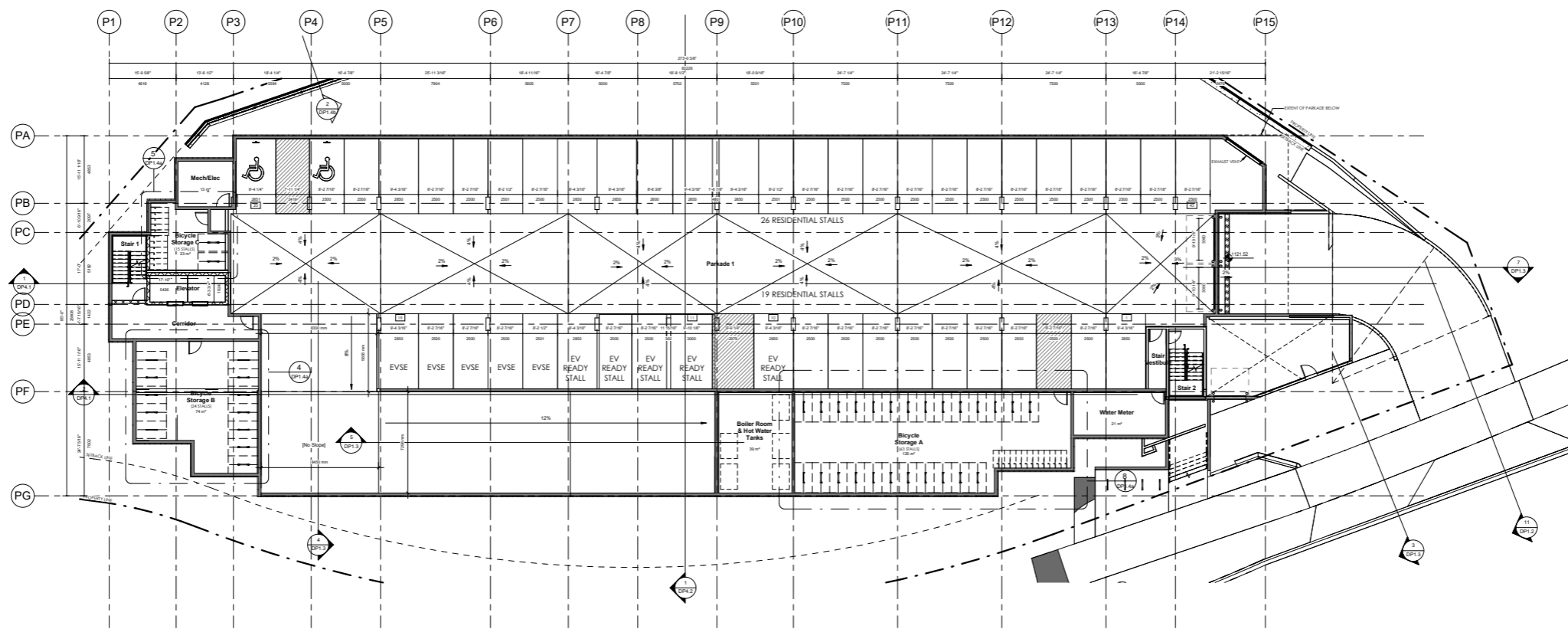
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MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946
DRAWING
FLOORPLANS - PARKADE 2

DRAWN BY Author	JOB NO. 2224	Building Permit #
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SCALE AS NOTED	DP2.1	

PARKADE LEVEL 2
1 : 128

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24-08-26 9:01:04 AM



1 PARKADE LEVEL 1
1 : 128

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Revisions			
Number	Date (yy/mm/dd)	By	Description
1	24.09.15		ISSUED FOR DEVELOPMENT PERMIT
2	24.11.21		ISSUED FOR DSE1
3	24.04.25		ISSUED FOR DSE2
4	24.06.26		ISSUED FOR DSE3

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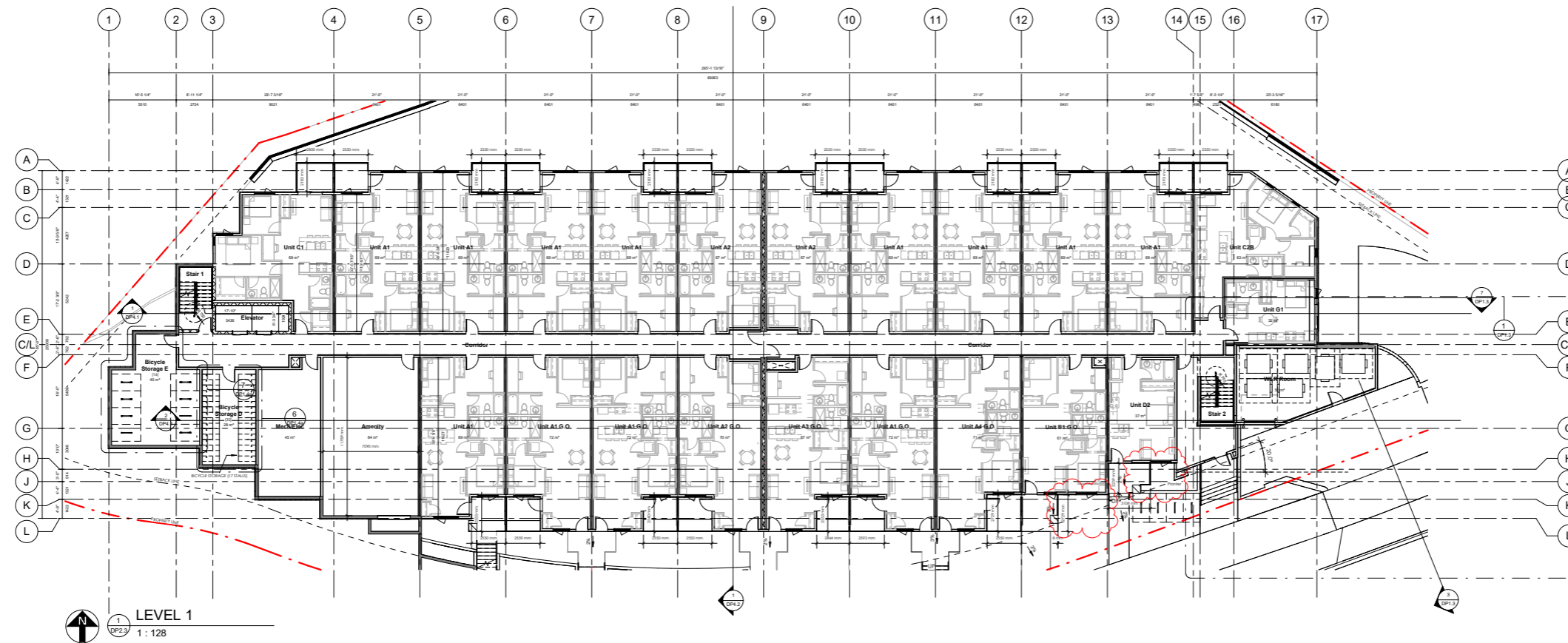
PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
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DRAWING
FLOORPLANS - PARKADE 1

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SCALE		AS NOTED

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Revisions	
Number	Date (yymm/dd) Description
1	24.09.15 ISSUED FOR DEVELOPER PERMIT
2	24.11.21 ISSUED FOR PERMITS
3	24.04.25 ISSUED FOR PERMITS
4	24.05.25 ISSUED FOR PERMITS

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

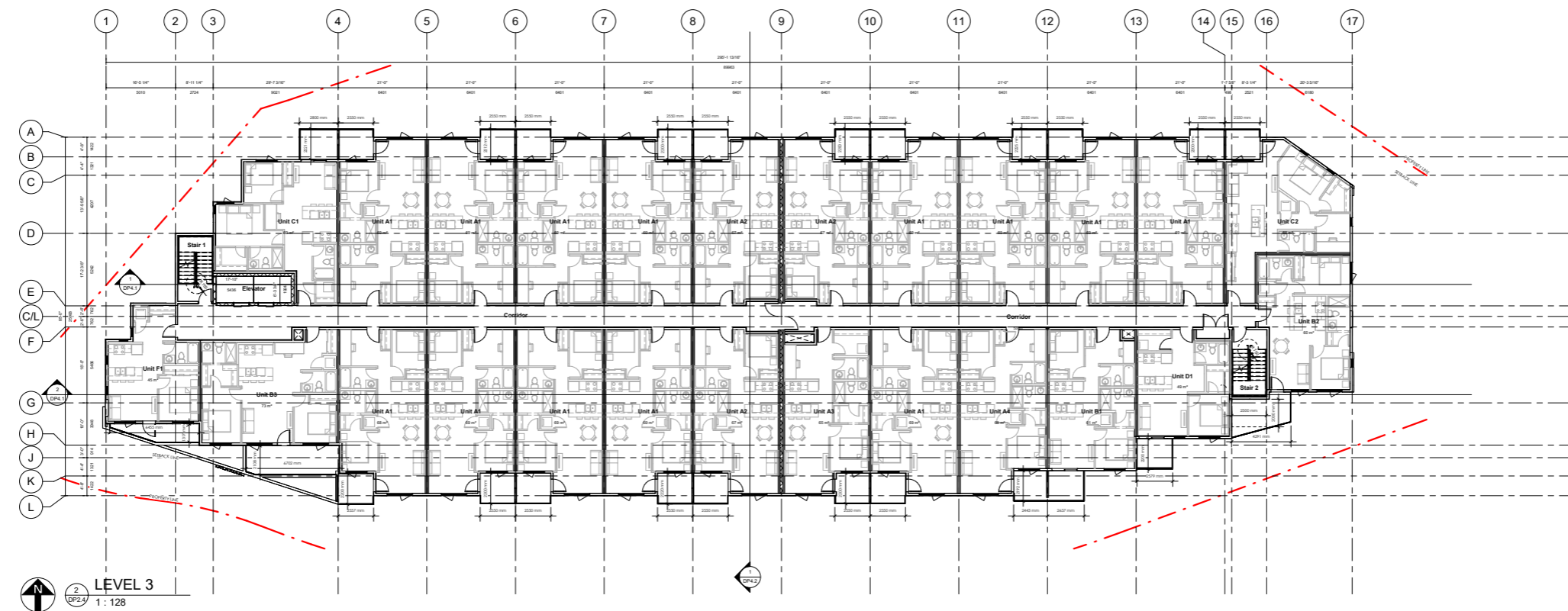
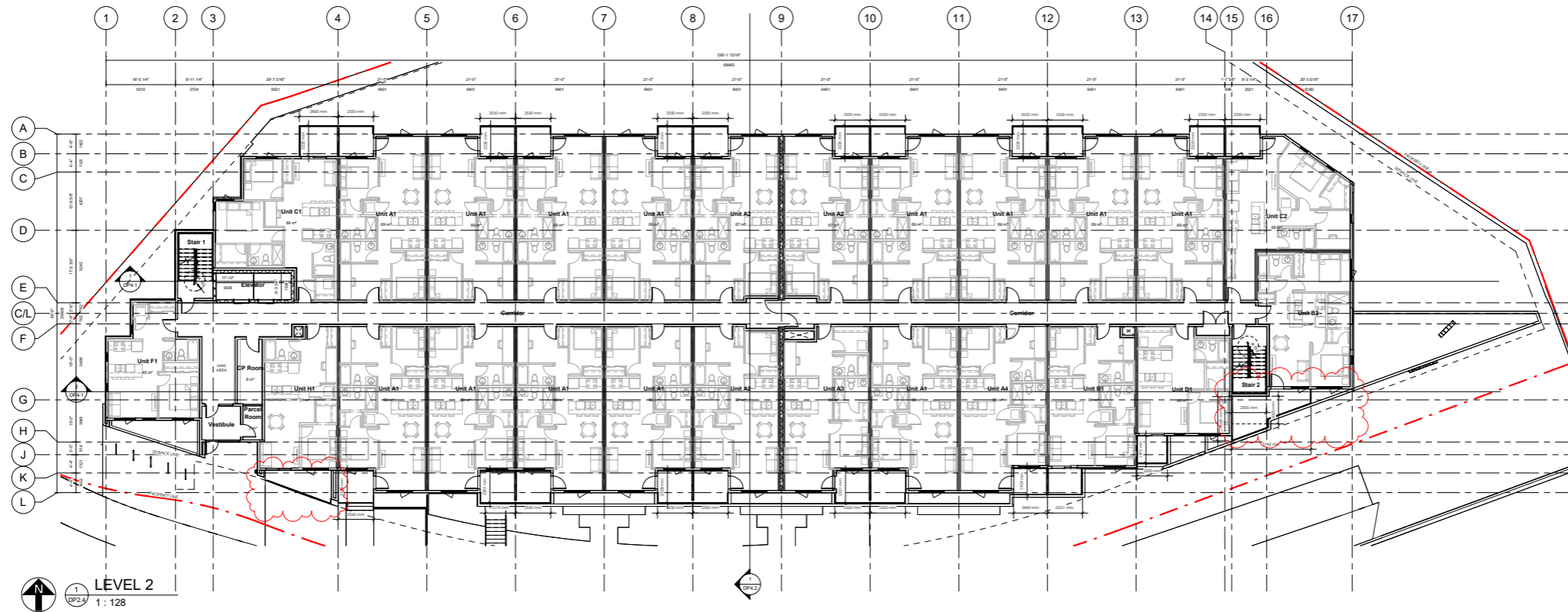
DRAWING
FLOORPLANS - LEVEL 1

DRAWN BY Author	JOB NO. 2224	Building Permit #
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ISSUE DATE (yymm)		
SCALE		
AS NOTED		

DP2.3

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Revisions		
Number	Date (yy/mm/dd)	Description
1	24.09.15	ISSUED FOR DEVELOPMENT PERMIT
2	24.11.21	ISSUED FOR DMR
3	24.04.25	ISSUED FOR DMR2
4	24.05.25	ISSUED FOR DMR3

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB

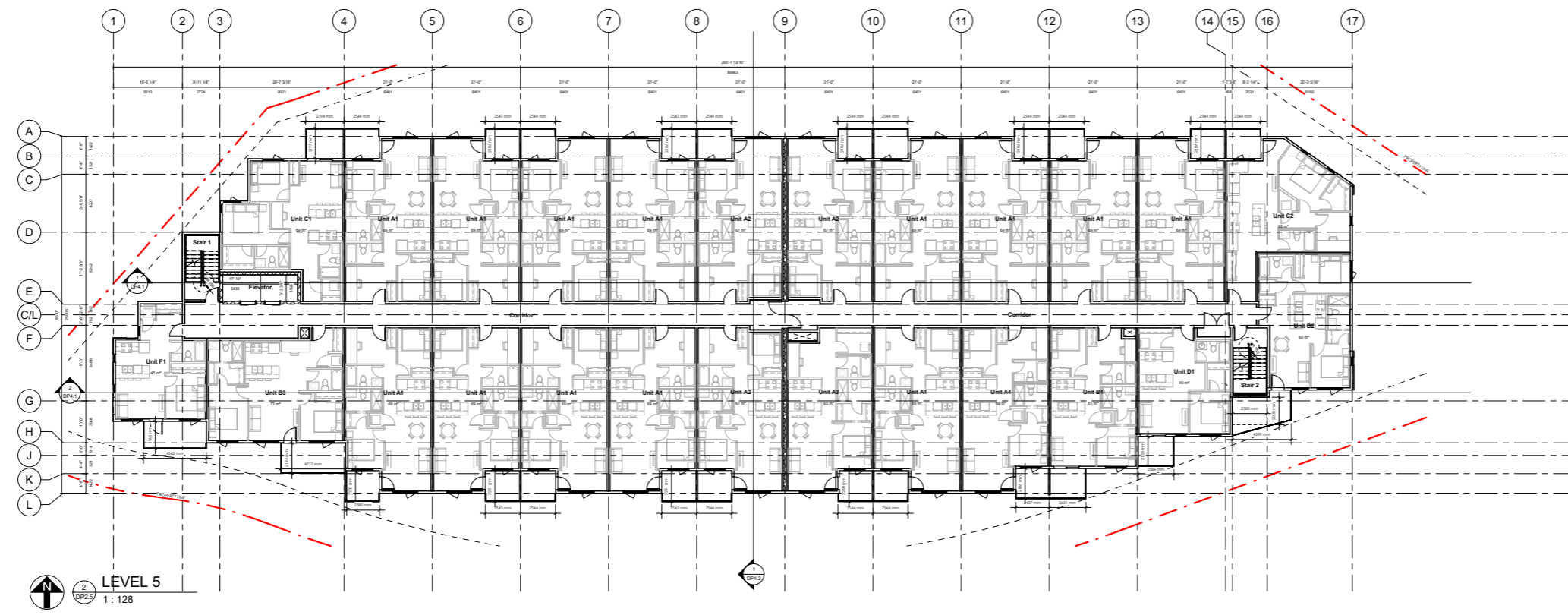
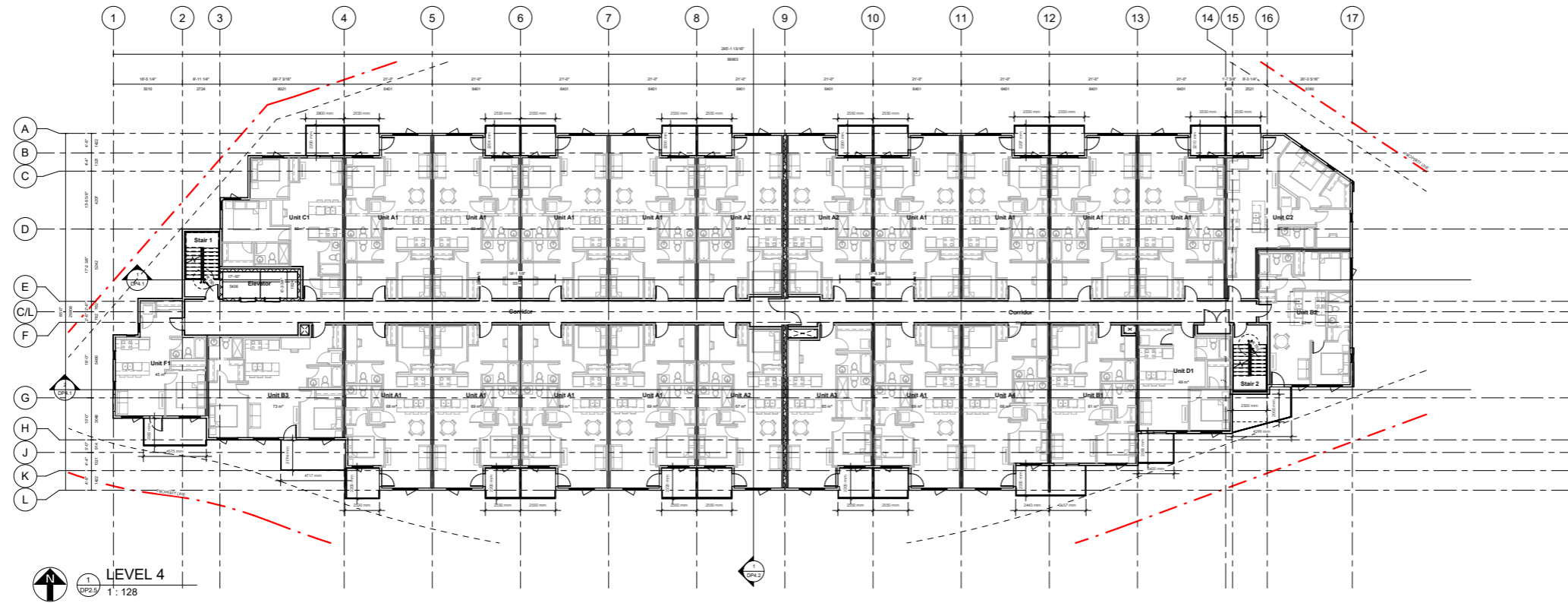
LEGAL: LOT 2, BLOCK 2, PLAN 141 2946

DRAWING
FLOORPLANS - LEVELS 2 & 3

DRAWN BY Author	JOB NO. 2224	Building Permit #
CHECKED BY Checker	ISSUE DATE (yy/mm)	SHEET
	24/04	DP2.4
SCALE AS NOTED		

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Revisions		
Number	Date (yy/mm/dd)	Description
1	23/09/15	ISSUED FOR DEVELOPMENT PERMIT
2	24/01/21	ISSUED FOR DSE1
3	24/04/25	ISSUED FOR DSE2
4	24/06/25	ISSUED FOR DSE3

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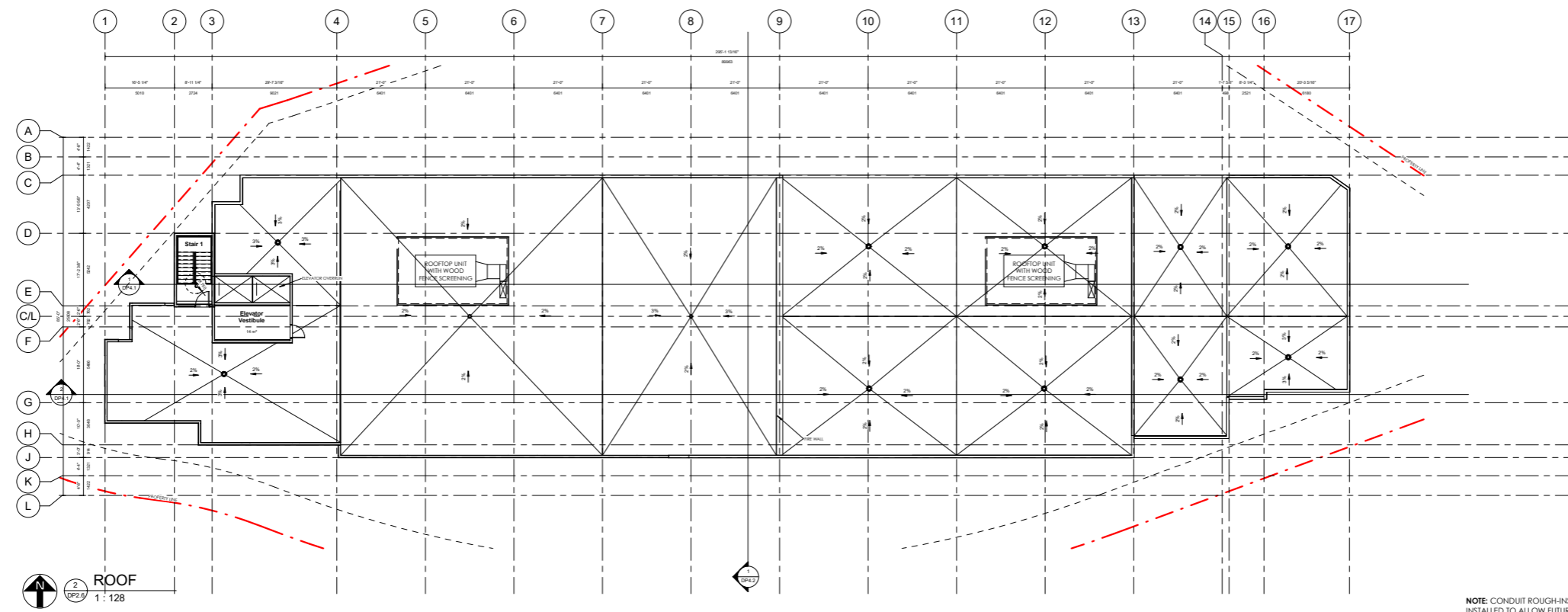
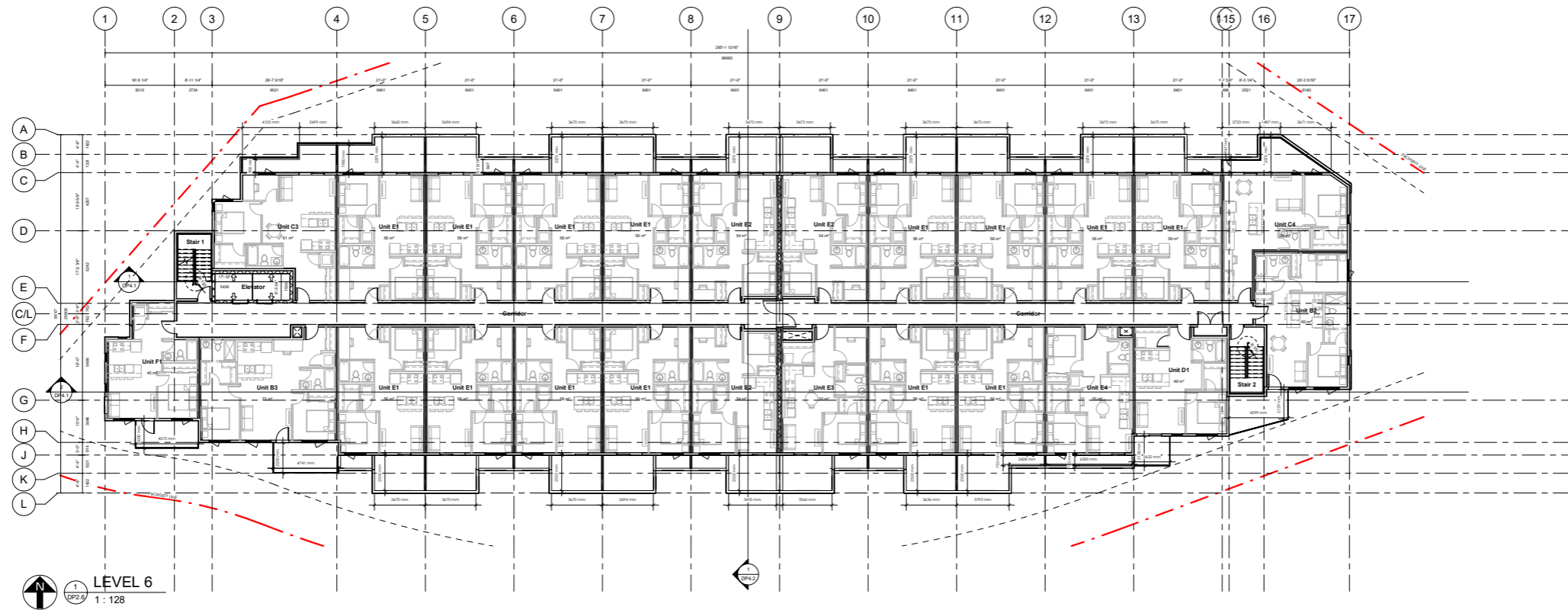
PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 141 2946
DRAWING
FLOORPLANS - LEVELS 4 & 5

DRAWN BY Author	JOB NO. 2224	Building Permit #
CHECKED BY Checker	ISSUE DATE (yy/mm)	SHEET
	24/04	DP2.5
SCALE AS NOTED		

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Revisions		
Number	Date (yy/mm/dd)	Description
1	24.09.15	ISSUED FOR DEVELOPMENT PERMIT
2	24.11.21	ISSUED FOR PERMITS
3	24.12.25	ISSUED FOR PERMITS
4	25.01.28	ISSUED FOR PERMITS

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
FLOORPLANS - LEVEL 6 & ROOF

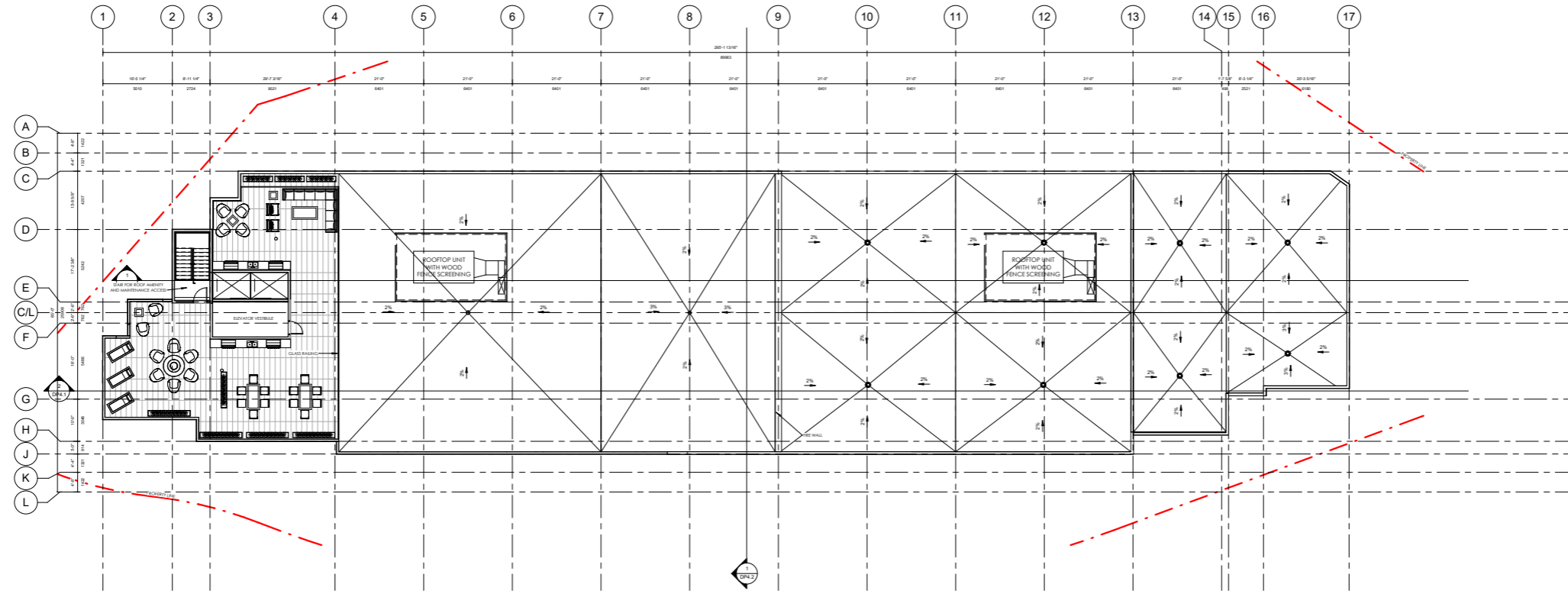
DRAWN BY	JOB NO.	Building Permit #
Author	2224	
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
24/04		
SCALE		
AS NOTED		

DP2.6

NOTE: CONDUIT ROUGH-INS TO BE INSTALLED TO ALLOW FUTURE INSTALLATION OF SOLAR PV PANELS.

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 **ROOFTOP AMENITY PLAN**
1:128

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Revisions		
Number	Date (yy/mm/dd)	Description
1	24.09.15	ISSUED FOR DEVELOPMENT PERMIT
2	24.11.21	ISSUED FOR DR1
3	24.04.25	ISSUED FOR DR2
4	24.05.28	ISSUED FOR DR3

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
ROOFTOP AMENITY PLAN

DRAWN BY Author	JOB NO. 2224	Building Permit #
CHECKED BY Checker		SHEET
ISSUE DATE (yy/mm)	DP2.7	
SCALE AS NOTED		

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24-08-26 9:01:17 AM



1 SOUTH ELEVATION
1 : 128



2 WEST ELEVATION
1 : 128

MATERIAL LEGEND	
1	Stone/Block Cladding - Charcoal
2	Fibre Cement Panels Siding - Dark Grey
3	Fibre Cement Lap Siding - Grey
4	Fascia Board - Black
5	Concrete
6	Metal Panel - White
7	Metal Panel - Blue
8	EPS - Grey
9	Transformer
10	Aluminum Store Front - Charcoal
11	Sliding Vinyl Door
12	Vinyl Window
13	Overhead Door
14	Bike Stalls
15	Prefinished Aluminium & Glass Panelled Screen
16	Retaining Wall
17	Guard rail - Black With Glass Panel
18	Metal Feature Signage, Final Composition/Material Tbc.

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Revisions			
Number	Date (y/m/d)	By	Description
1	23.09.15		ISSUED FOR DEVELOPER PERMIT
2	24.01.21		ISSUED FOR PERMITS
3	24.04.25		ISSUED FOR PERMITS
4	24.06.25		ISSUED FOR PERMITS

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 141 2946

DRAWING
ELEVATIONS I

DRAWN BY	JOB NO.	Building Permit #
Author	2224	
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Checker		DP3.1
ISSUE DATE (yymm)		
24/04		
SCALE		
AS NOTED		

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24/09/2024 11:32:03 AM



1 NORTH ELEVATION
1 : 128



2 EAST ELEVATION
1 : 128

MATERIAL LEGEND	
1	Stone/Block Cladding - Charcoal
2	Fibre Cement Panels Siding - Dark Grey
3	Fibre Cement Lap Siding - Grey
4	Fascia Board - Black
5	Concrete
6	Metal Panel - White
7	Metal Panel - Blue
8	BFS - Grey
9	Transformer
10	Aluminum Store Front- Charcoal
11	Sliding Vinyl Door
12	Vinyl Window
13	Overhead Door
14	Bike Stalls
15	Pre-finished Aluminium & Glass Panelled Screen
16	Retaining Wall
17	Guard rail - Black With Glass Panel
18	Metal Feature Signage, Final Composition/Material TBC

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Revisions		
Number	Date by (mm/dd/yy)	Description
1	24/09/24	ISSUED FOR PERMIT/PREREQ
2	24/09/24	ISSUED FOR OVI
3	24/09/24	ISSUED FOR OVI

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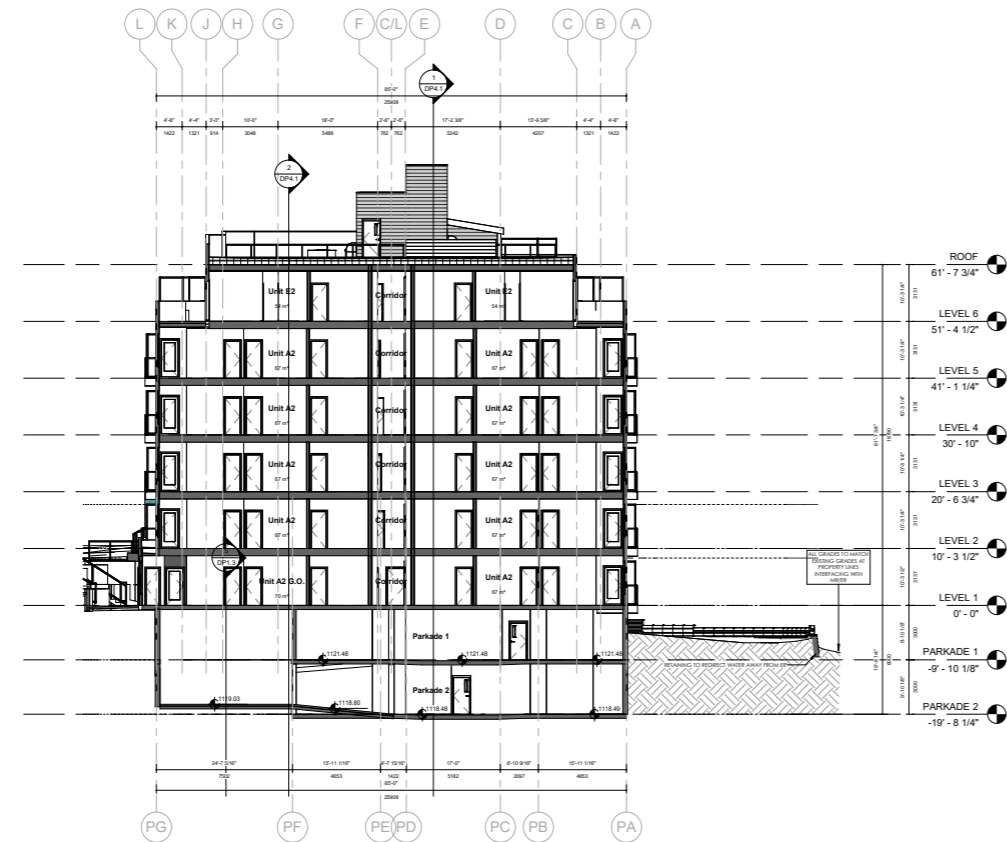
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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
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LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
ELEVATIONS II

DRAWN BY AJ/DF	JOB NO. 2224	Building Permit #
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ISSUE DATE (yyyy) 24/04		DP3.2
SCALE AS NOTED		

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BUILDING SECTION 3
1:128

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Revisions		
Number	Date (yy/mm/dd)	Description
1	24.09.15	ISSUED FOR DEVELOPER PERMIT
2	24.11.21	ISSUED FOR PERMITS
3	24.04.25	ISSUED FOR PERMITS
4	24.05.25	ISSUED FOR PERMITS

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
BUILDING SECTION II

DRAWN BY Author	JOB NO. 2224	Building Permit #
CHECKED BY Checker		SHEET
ISSUE DATE (yy/mm)		DP4.2
SCALE AS NOTED		

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24-08-26 9:02:47 AM



1
DP5.0 3D View 1



2
DP5.0 3D View 2



3
DP5.0 3D View 3



4
DP5.0 3D View 4

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Revisions		
Number	Date (yymm/dd)	Description
1	24.09.15	ISSUED FOR DEVELOPER PERMIT
2	24.11.21	ISSUED FOR DRP1
3	24.04.25	ISSUED FOR DRP2
4	24.05.25	ISSUED FOR DRP3

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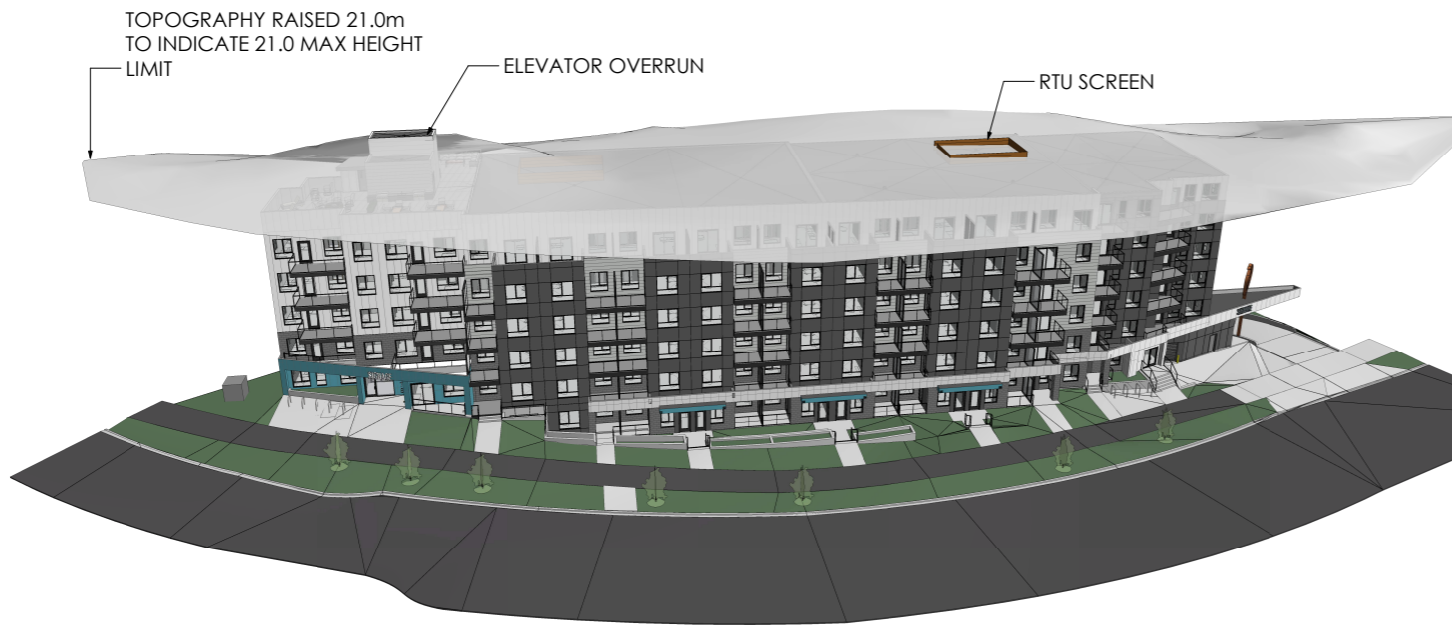
PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 141 2946

DRAWING
3D VIEWS

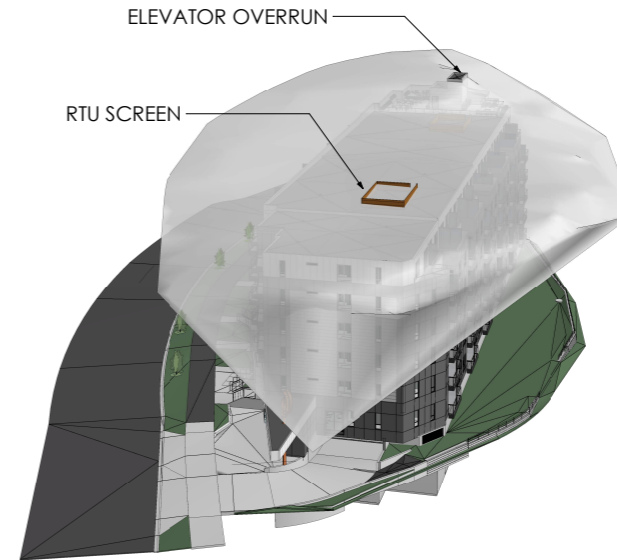
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CHECKED BY TC	SHEET	
ISSUE DATE (yymm)	DP5.0	
24/04		
SCALE AS NOTED		

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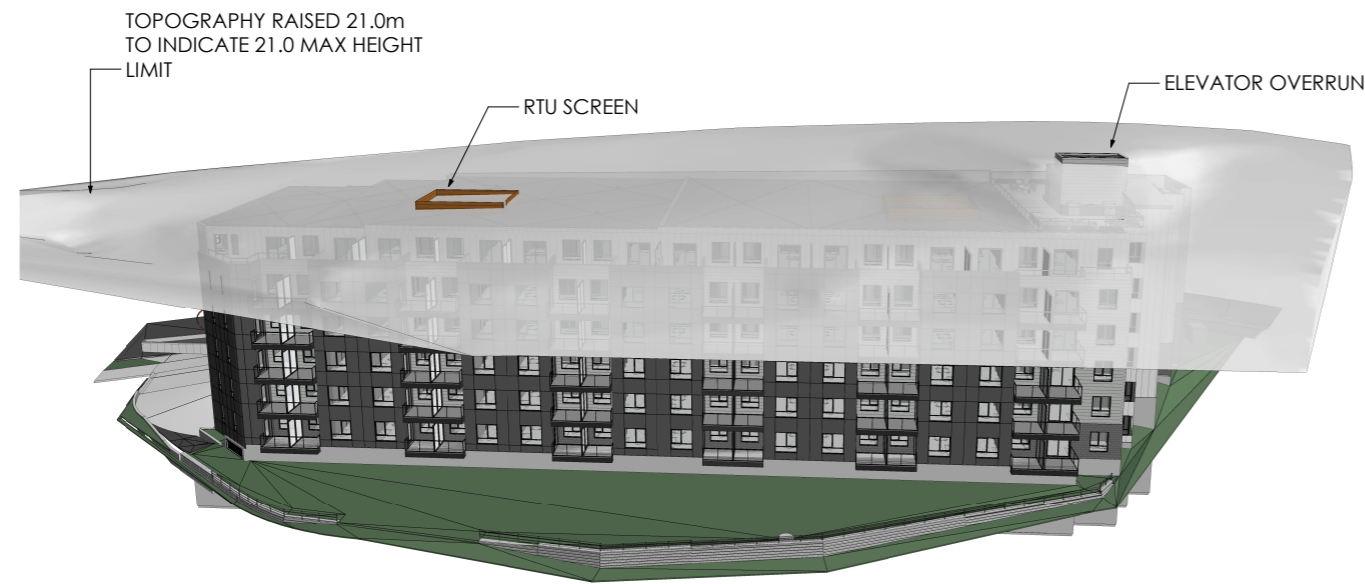
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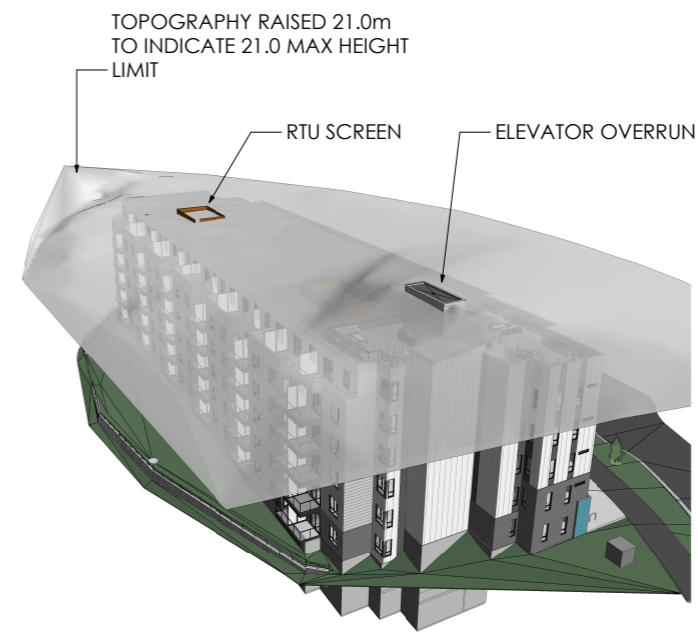
4
RPS 1 NORTH PERSPECTIVE - MAX BUILDING HEIGHT



2 SOUTH-EAST PERSPECTIVE - MAX BUILDING HEIGHT



3
RPS 1 SOUTH PERSPECTIVE - MAX BUILDING HEIGHT



1
RPS 1 NORTH-WEST PERSPECTIVE - MAX BUILDING HEIGHT

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Revisions		
Number	Date (yy/mm/dd)	Description
1	24.09.15	ISSUED FOR DEVELOPMENT PERMIT
2	24.11.21	ISSUED FOR DSR1
3	24.04.25	ISSUED FOR DSR2
4	24.05.25	ISSUED FOR DSR3

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
3D VIEWS - MAX HEIGHT

DRAWN BY Author	JOB NO. 2224	Building Permit #
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ISSUE DATE (yy/mm)		DP5.1
SCALE	AS NOTED	

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24-08-26 9:03:07 AM



1
DPS.2 Rendered View 1



2
DPS.2 Rendered View 2



4
DPS.2 Rendered View 3



3
DPS.2 Rendered View 4

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Revisions			
Number	Date (yy/mm/dd)	Author	Description
1	24.09.15		ISSUED FOR DEVELOPER PERMIT
2	24.11.21		ISSUED FOR DRP1
3	24.04.25		ISSUED FOR DRP2
4	24.06.25		ISSUED FOR DRP3

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 141 2946

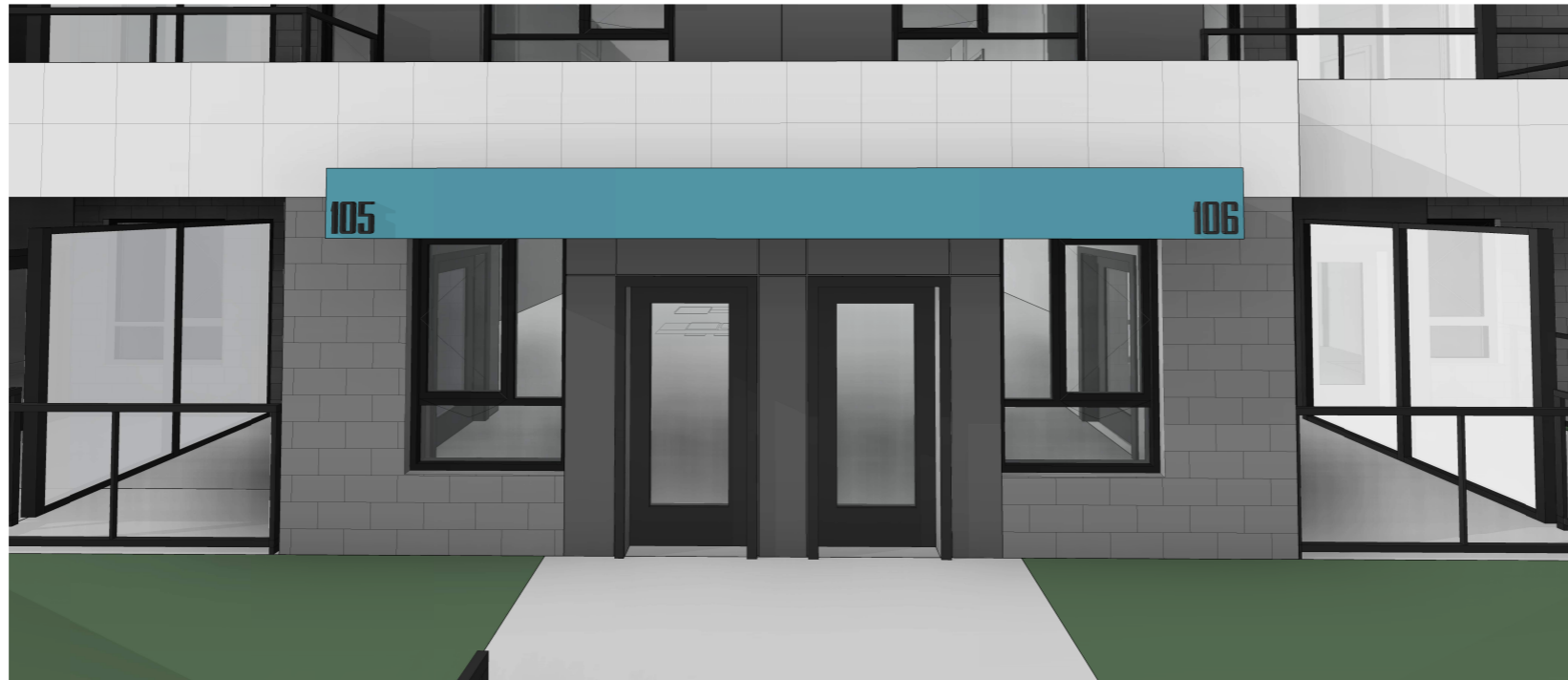
DRAWING
RENDERS

DRAWN BY	JOB NO.	Building Permit #
Author	2224	
CHECKED BY		SHEET
Checker		DP5.2
ISSUE DATE (yy/mm)		
24/04		
SCALE		
AS NOTED		

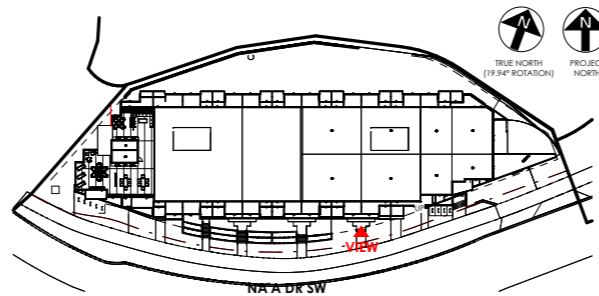
ARTIST-CREATED IMAGES TO AID IN VISUALIZATION PURPOSES ONLY

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3 Residential View
DPS 3



6 Residential View Key Plan
1 : 500
DPS 6

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Revisions		
Number	Date (yymmdd)	Description
1	24.09.15	ISSUED FOR DEVELOPER PERMIT
2	24.11.21	ISSUED FOR DR2
3	24.04.25	ISSUED FOR DR2
4	24.05.25	ISSUED FOR DR3

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

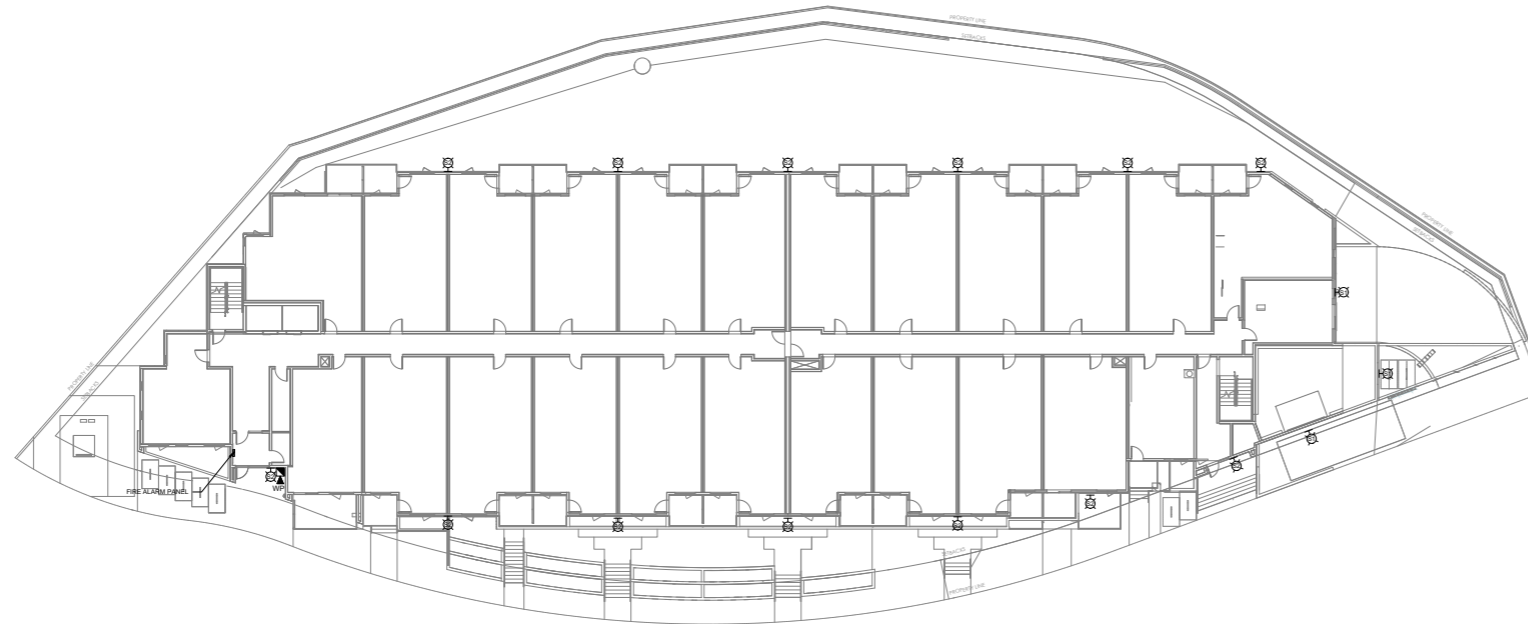
DRAWING
RESIDENTIAL-SCALED
VIEW

DRAWN BY Author	JOB NO. 2224	Building Permit #
CHECKED BY Checker	ISSUE DATE (yymm)	SHEET
	24/04	DP5.3
	SCALE AS NOTED	

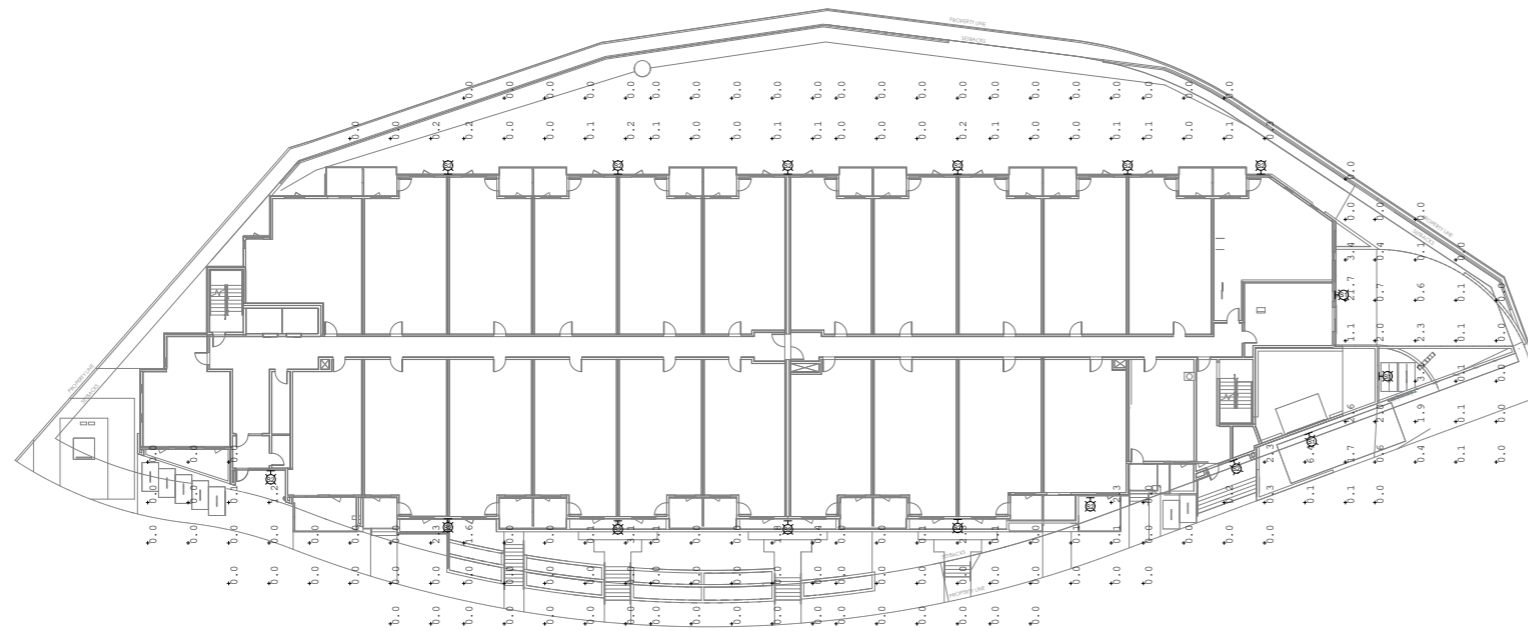
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TRINITY HILLS

1878 NA'A DRIVE S.W., CALGARY, AB
ISSUED FOR DTR1 RESPONSE
24/01/29



01 SITE PLAN - LIGHTING
SCALE: 1:175



02 SITE LIGHTING - POINT-BY-POINT
SCALE: 1:175

SYMBOL LEGEND			
SYMBOL	DESCRIPTION	SPECIFICATIONS	MOUNTING
LIGHTING LEGEND			
	EXTERIOR POLE LUMINAIRE (SINGLE HEAD), TYPE XX	SEE SCHEDULE	SEE LUMINAIRE SCHEDULE
	WALL SCONCE LUMINAIRE, TYPE XX	SEE SCHEDULE	WALL
	STRIP LUMINAIRE, TYPE XX (SEE SCHEDULE FOR LENGTH)	SEE SCHEDULE	CEILING SURFACE (SUSPENDED)
	BOLLARD, TYPE XX	SEE SCHEDULE	SEE LUMINAIRE SCHEDULE
POWER LEGEND			
	TRANSFORMER		
FIRE ALARM LEGEND			
	FIRE ALARM COMBINATION HORN-STROBE 15cd UNLESS OTHERWISE INDICATED	SMPLX OR APPROVED EQUIVALENT	84x1213mm
TAGS/OTHER			
	LUMINAIRE TAG - SEE LUMINAIRE SCHEDULE		
WP	WEATHERPROOF		
ER	EXISTING TO REMAIN		
NOTE: MOUNTING IS INDICATED FROM FINISHED FLOOR TO CENTER OF DEVICE. MOUNTING HEIGHTS INDICATED ON DRAWINGS OR SPECIFICATIONS HAVE PRECEDENCE OVER THIS LEGEND. ANY UNLISTED MOUNTING HEIGHTS TO BE CONFIRMED PRIOR TO INSTALLATION.			
NOTE: APPROVED ALTERNATIVE MANUFACTURERS MAY BE ACCEPTED.			

DRAWING LIST	
SHEET NUMBER	SHEET NAME
E101	SITE PLAN - LIGHTING & POINT-BY-POINT
E102	SITE LIGHTING - ELEVATIONS
E103	SITE LIGHTING - RENDERINGS

Calculation Summary					
Label	Calc-Type	Units	Avg	Max	Min
BUILDING REAR	Illuminance	FC	0.04	0.3	0.0
BUILDING SIDE	Illuminance	FC	1.29	21.7	0.0
BUILDING FRONT	Illuminance	FC	0.22	6.4	0.0

GENERAL NOTES

- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
- CONDUCTOR SIZE (AND CONDUIT SIZE WHERE APPLICABLE) TO ACCOMMODATE VOLTAGE DROP PER CEC REQUIREMENTS.

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Revisions		
Number	Date (yy/mm/dd)	Description
01	24/01/29	ISSUED FOR DEVELOPMENT PERMIT
02	24/01/29	ISSUED FOR DTR1 RESPONSE

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403-460-2277 | info@embeconsulting.ca

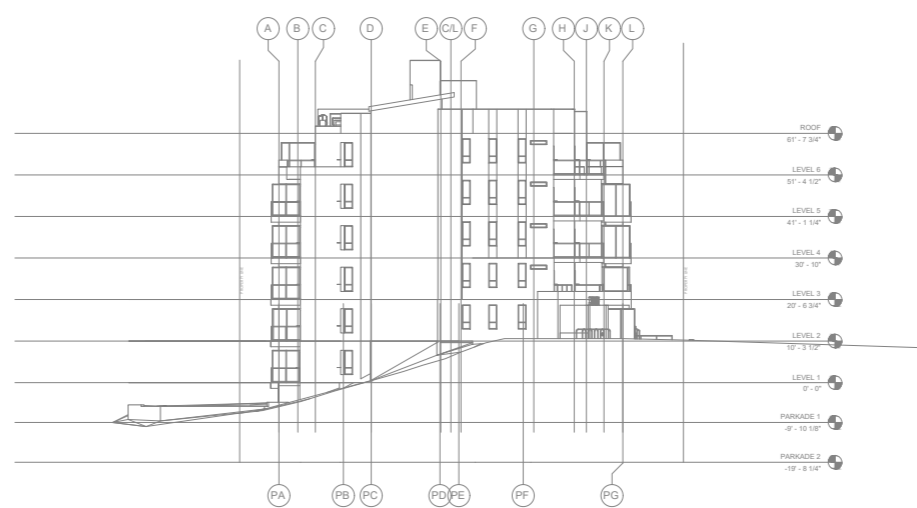
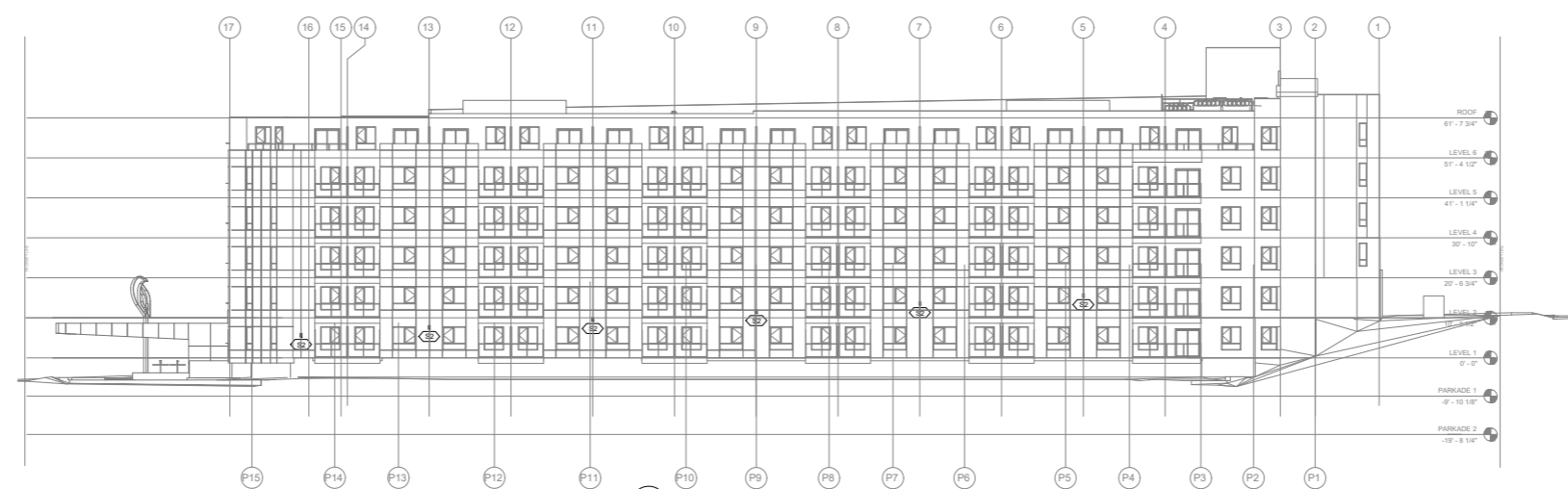
PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
SITE PLAN - LIGHTING

DRAWN BY MA	JOB NO. 23407	Building Permit #
CHECKED BY HA/DK	SHEET	
ISSUE DATE (yy/mm)	E101	
SCALE AS NOTED		

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Revisions		
Number	Date (yy/mm/dd)	Description
01	23/12/27	ISSUED FOR DEVELOPMENT PERMIT
02	24/10/29	ISSUED FOR CIVIL RESPONSE



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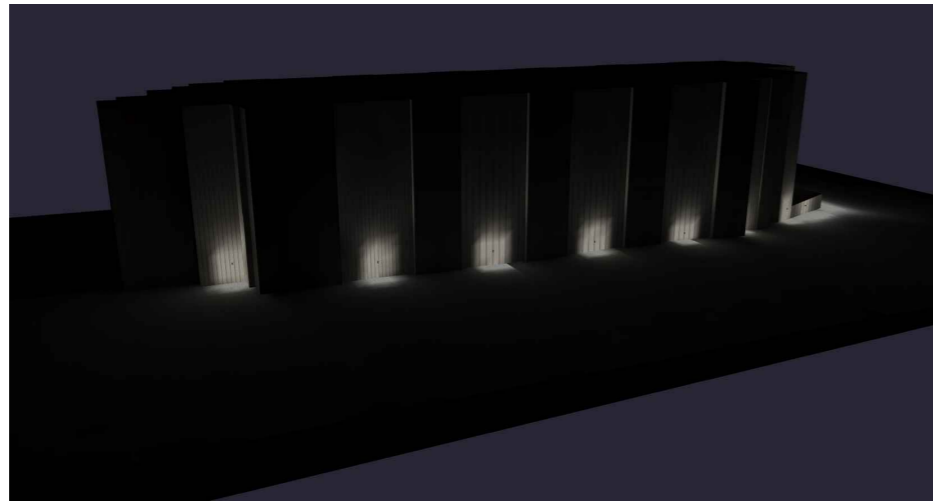
PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
SITE LIGHTING - ELEVATIONS

DRAWN BY MA	JOB NO. 23407	Building Permit #
CHECKED BY HA/DK		SHEET
ISSUE DATE (yy/mm)		E102
SCALE AS NOTED		

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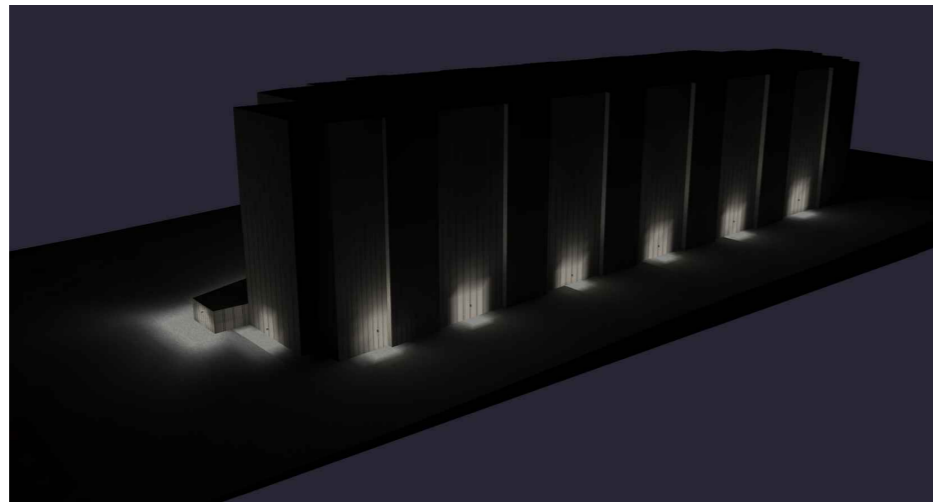
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02	24.01.29	ISSUED FOR CIVIL RESPONSE



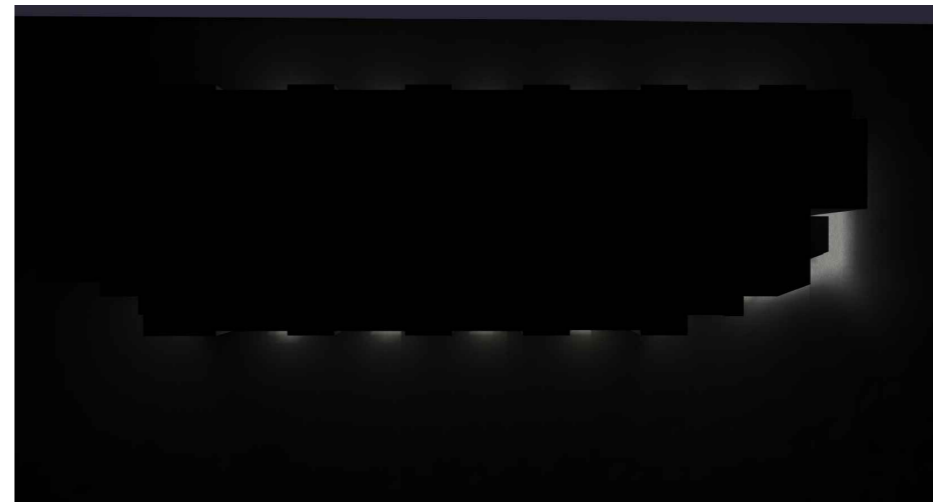
01
E103
RENDERING 1
NTS



02
E103
RENDERING 2
NTS



03
E103
RENDERING 3
NTS



04
E103
RENDERING 4
NTS

LUMINAIRE SCHEDULE							
TAGS	DESCRIPTION	IMAGE	MOUNTING	LOAD/VOLT	LAMP	COLOR TEMP	MANUFACTURER
S1	WALL LIGHT		SEE ELEVATIONS	20W/120VAC	1971lm LED	3000K	COOPER LIGHTING ENV-SA1A-750-U-SL-3. CONFIRM FINISH WITH ARCHITECT.
S2	WALL UP/DOWN LIGHT		SEE ELEVATIONS	20W/120VAC	2449lm LED	3000K	AIMJTE CYL-4LA1-2-3C-BK-P-30K. CONFIRM FINISH WITH ARCHITECT.

NOTE: CONFIRM LIGHTING SPECIFICATION WITH INTERIOR DESIGNER AND OWNER PRIOR TO ORDER.

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ARCHITECTS
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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D

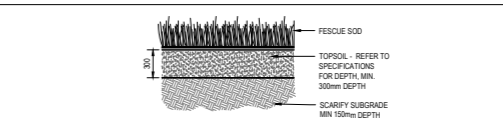
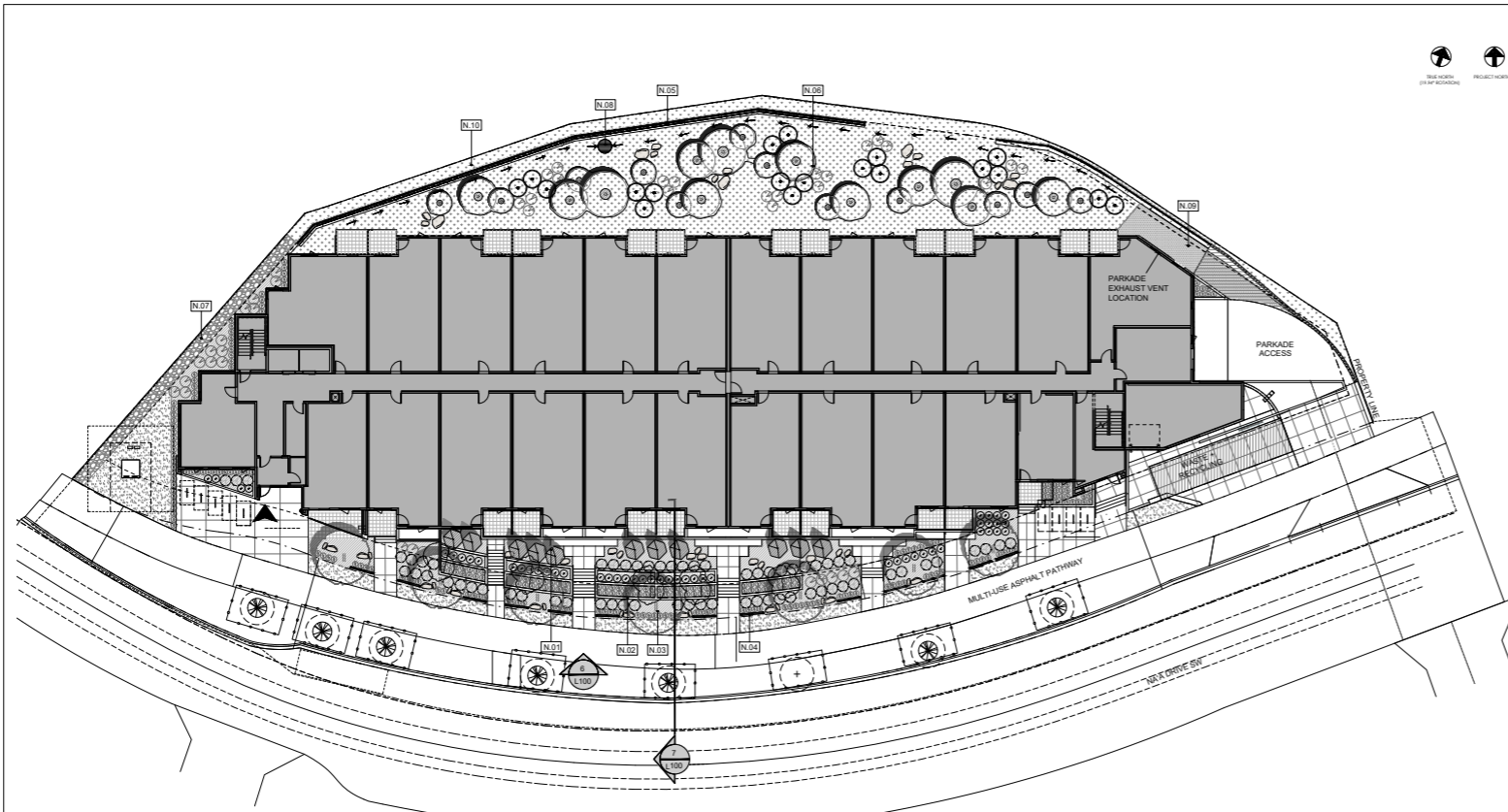
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
**SITE LIGHTING -
RENDERINGS**

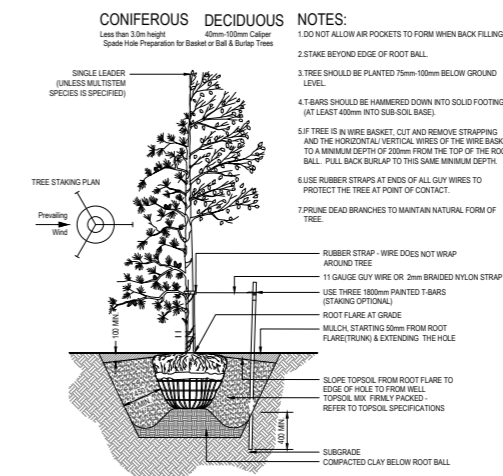
DRAWN BY MA	JOB NO. 23407	Building Permit #
CHECKED BY HA/DK		SHEET
ISSUE DATE (yy/mm)		

E103

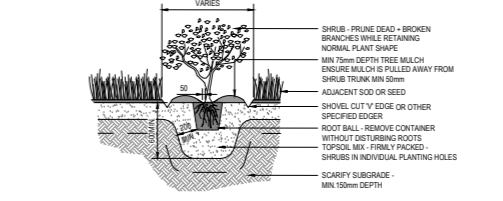
SCALE
AS NOTED



2 TYPICAL SOD DETAIL
L100 SCALE 1:25



3 TYPICAL TREE PLANTING DETAIL
L100 SCALE 1:25

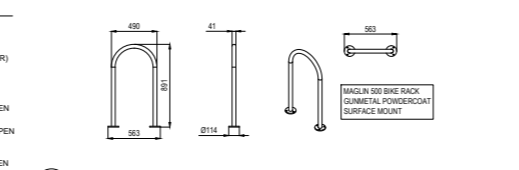


4 TYPICAL SHRUB PLANTING DETAIL
L100 SCALE 1:25

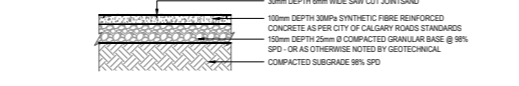
1 LANDSCAPE PLAN
L100 SCALE 1:200

LEGAL DESCRIPTION	MUNICIPAL ADDRESS	SURFACE LEGEND	TREE LEGEND
LOT - 2 BLOCK 2 PLAN - 1612846 PROJECT DATA/SITE DATA Zoning: DC (M-X2) SITE AREA: 3,945 sq m BUILDING AREA: 2,237 sq m (57.38%) LANDSCAPE AREA PROVIDED: 1,581 sq m (39.98%)	1878 NAVA DR. SW, CALGARY, AB	STANDARD CONCRETE W/ SAWN CUT JOINTS AND BROOM FINISH RIP RAP ROCK ALONG DRAINAGE SWALE NaturesTurf BY EAGLE LAKE NATIVE GRASS MATS OVER 300MM TOPSOIL 10mm DIA COMPACTED RUNDLESTONE SHREDDED BARK MULCH FESCUE SOD OVER 100MM DEPTH TOPSOIL GRASSLAND SEED MIX - 40kg/ha Bioracial Name: Festuca saximontana Rocky Mountain Fescue 25% Dymus verticillatus Slender Wheatgrass 20% Nassella viridula Green Needle Grass 20%	PINCHERRY (LOW WATER) - NATIVE LARGE TREMBLING ASPEN - NATIVE MEDIUM TREMBLING ASPEN - NATIVE SMALL TREMBLING ASPEN - NATIVE COLUMNAR BLUE SPRUCE (LOW WATER) - NATIVE EXISTING PUBLIC TREE TO REMAIN
LOW WATER LANDSCAPE OPTION INCORPORATED SOD AREA PROVIDED: 48.05 sq m NATURETurf NATIVE GRASS: 229.35 sq m GRASSLAND SEED MIX: 83.20 sq m			
TOTAL TREES REQ: 32 DECIDUOUS TOTAL: 23 (75%) DEC @ 75mm CAL: 12 DEC @ 50mm CAL: 11 CON TOTAL: 10 (25%) CON @ 30m HT: 5 TOTAL SHRUBS REQ: 42			
LABELS N.01 COLUMNAR SPRUCE W/ DECORATIVE BOULDERS N.02 TIERED PLANTED RETAINING WALLS - REFER TO 7/L100 N.03 TREES ALIGNED BETWEEN WOOD SLAT FEATURES N.04 WOOD SLAT ENTRY FEATURES CLAD W/ WEATHER STEEL N.05 BUFFALO ART N.06 RETAINING WALL W/ DECORATIVE FENCE ALL CONSTRUCTION TO BE WITH PROPERTY N.07 NATURALIZED LANDSCAPE W/ ASPEN TREE GROUPINGS, WOLF WILLOW + PRICKLY ROSE PLANTED IN NATIVE TURF N.08 RIP RAP ROCK SWALE N.09 CATCH BASIN - REFER TO CIVIL N.10 COMPACTED GRANULAR MAINTENANCE ACCESS N.11 NATIVE GRASS SEED MIX TO TIE INTO EXISTING LANDSCAPE REFER TO SURFACE LEGEND - GRASSLAND SEED MIX			

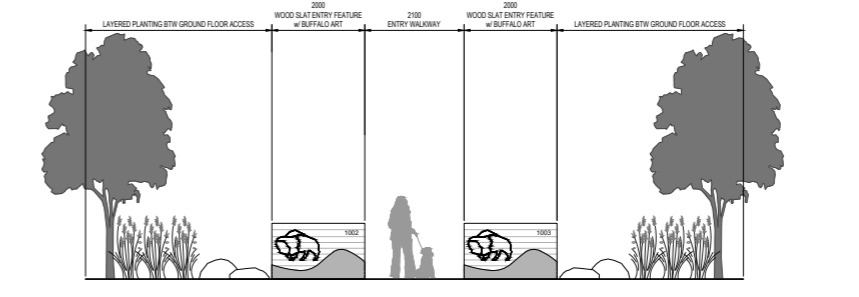
PLANT LIST - DECIDUOUS TREES	PLANT LIST - CONIFEROUS TREES	PLANT LIST - GRASSES & PERENNIALS																																				
<table border="1"> <thead> <tr> <th>SCIENTIFIC NAME</th> <th>COMMON NAME</th> <th>PLANTING NOTES</th> <th>QTY.</th> </tr> </thead> <tbody> <tr> <td><i>Prunus pennsylvanica</i></td> <td>PINCHERRY</td> <td>75mm CAL. B&B. MIN 700mm wd x 600mm DEPTH ROOT BALL</td> <td>07</td> </tr> <tr> <td><i>Populus tremuloides</i></td> <td>TREMBLING ASPEN</td> <td>50mm CAL. B&B. MIN 700mm wd x 600mm DEPTH ROOT BALL</td> <td>11</td> </tr> <tr> <td><i>Populus tremuloides</i></td> <td>TREMBLING ASPEN</td> <td>75mm CAL. B&B. MIN 700mm wd x 600mm DEPTH ROOT BALL</td> <td>09</td> </tr> <tr> <td><i>Populus tremuloides</i></td> <td>TREMBLING ASPEN</td> <td>85mm CAL. B&B. MIN 800mm wd x 700mm DEPTH ROOT BALL</td> <td>03</td> </tr> </tbody> </table>	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.	<i>Prunus pennsylvanica</i>	PINCHERRY	75mm CAL. B&B. MIN 700mm wd x 600mm DEPTH ROOT BALL	07	<i>Populus tremuloides</i>	TREMBLING ASPEN	50mm CAL. B&B. MIN 700mm wd x 600mm DEPTH ROOT BALL	11	<i>Populus tremuloides</i>	TREMBLING ASPEN	75mm CAL. B&B. MIN 700mm wd x 600mm DEPTH ROOT BALL	09	<i>Populus tremuloides</i>	TREMBLING ASPEN	85mm CAL. B&B. MIN 800mm wd x 700mm DEPTH ROOT BALL	03	<table border="1"> <thead> <tr> <th>SCIENTIFIC NAME</th> <th>COMMON NAME</th> <th>PLANTING NOTES</th> <th>QTY.</th> </tr> </thead> <tbody> <tr> <td><i>Picea pungens 'Fastigiata'</i></td> <td>COLUMNAR BLUE SPRUCE</td> <td>3.0m Ht. B&B. MIN 1220mm Dia. ROOT BALL, SINGLE LEADER</td> <td>11</td> </tr> </tbody> </table>	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.	<i>Picea pungens 'Fastigiata'</i>	COLUMNAR BLUE SPRUCE	3.0m Ht. B&B. MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	11	<table border="1"> <thead> <tr> <th>SCIENTIFIC NAME</th> <th>COMMON NAME</th> <th>PLANTING NOTES</th> <th>QTY.</th> </tr> </thead> <tbody> <tr> <td><i>Calamagrostis x acutiflora</i></td> <td>KARL FOERSTER REED GRASS</td> <td>#3 POT</td> <td>272</td> </tr> </tbody> </table>	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.	<i>Calamagrostis x acutiflora</i>	KARL FOERSTER REED GRASS	#3 POT	272
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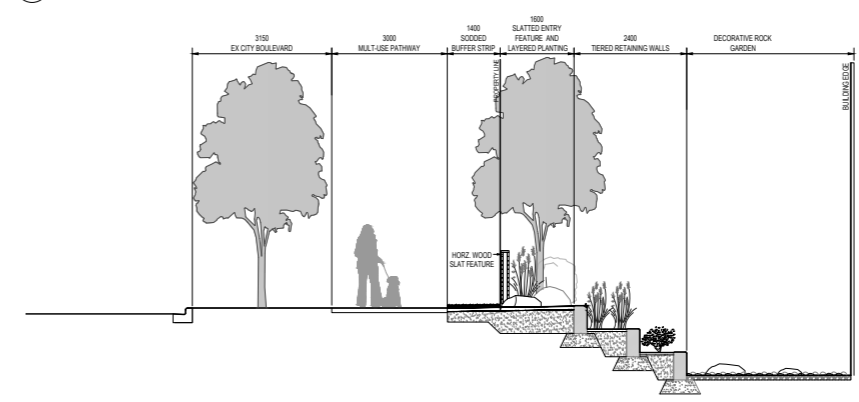
5 TYPICAL CLASS 2 BIKE RACK DETAIL
L100 SCALE 1:25



8 TYPICAL CONCRETE SIDEWALK DETAIL
L100 SCALE 1:25



6 TYPICAL GROUND FLOOR UNIT ENTRY STREET ELEVATION
L100 SCALE 1:50



7 TIERED RETAINING WALL SECTION
L100 SCALE 1:50

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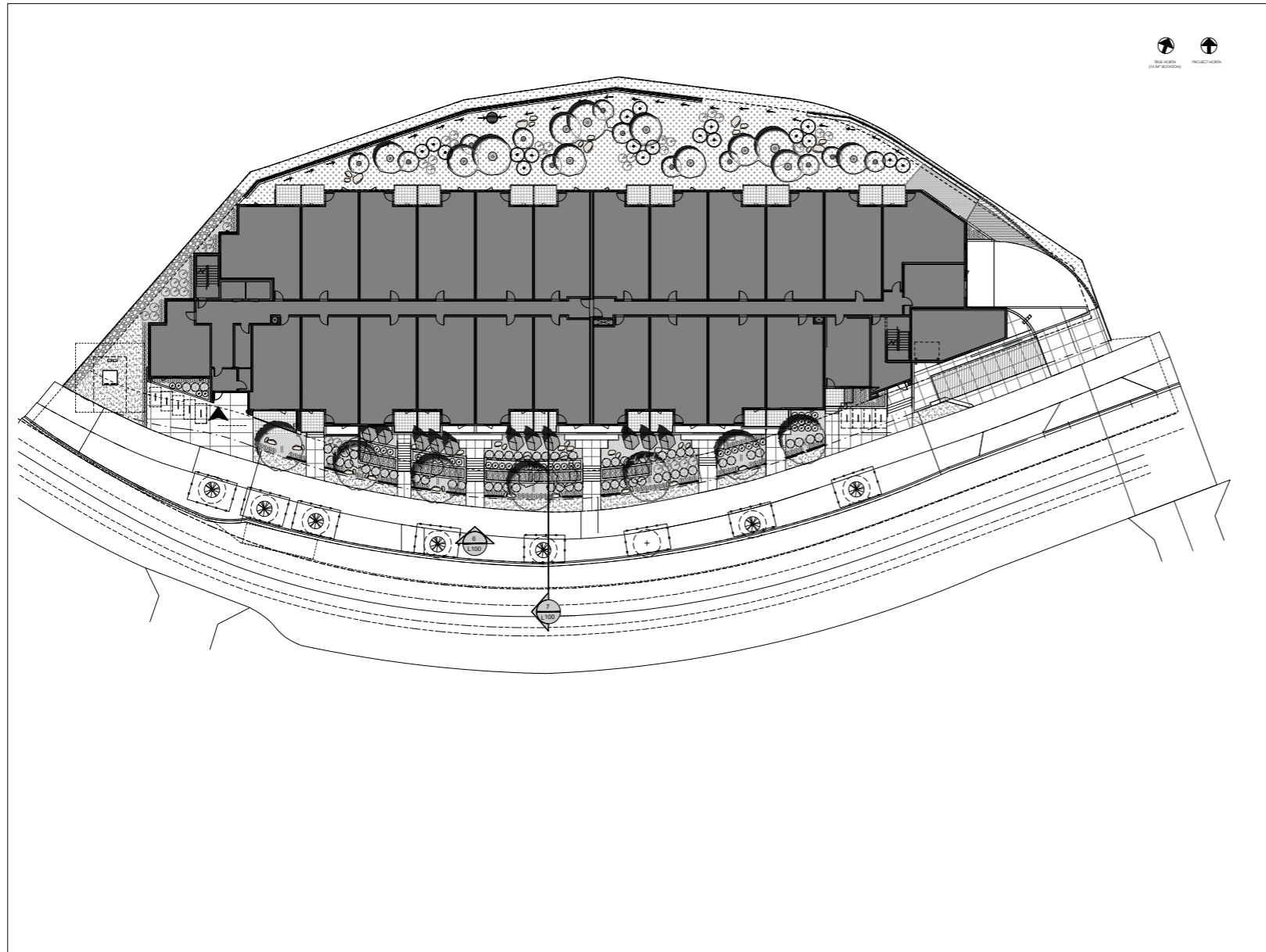
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2	23.09.23	ISSUED FOR PER
3	24.03.24	ISSUED FOR PER
4	24.04.24	ISSUED FOR PER
5	24.06.24	ISSUED FOR PER

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NAVA DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

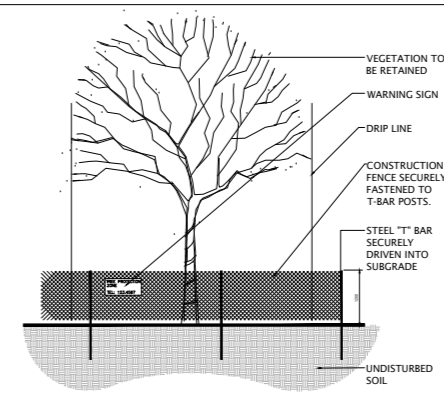
DRAWING
LANDSCAPE PLAN
DRAWN BY: AP Job No: 2224 Building Permit #
CHECKED BY: DM SHEET
DM ISSUE DATE (yy/mm) #/ / #
SCALE: AS NOTED



1 TREE PROTECTION PLAN
SCALE 1:200

TREE LEGEND

- EXISTING PUBLIC TREE TO REMAIN
- TREE PROTECTION FENCE



CITY OF CALGARY TREE PROTECTION GUIDELINES:

1. All retained trees as shown shall be identified on site in such a way so that all workers shall know that the vegetation is to be retained. Identification of retained vegetation on site shall be by a Tree Protection Barrier as detailed here. For safety reasons be sure to call 'Alberta 1 Call' at 1-800-242-3447 before installation and make sure it does not interfere with fire hydrants, obscure intersections or traffic signage.
2. The tree's roots, trunk, crown and tree protection zone must be adequately protected. The Tree Protection Barrier must be at least 1.2m (4') in height, 3m (10') around the circumference of the trunk or, to the tree drip-line (whichever is greater) and installed in all locations where trees are to be retained. The fencing or barrier material shall be a bright, contrasting colour and be durable. Fence posts shall be metal T-posts, comparable or heavier. Fencing will be maintained in an upright position throughout the duration of the project. Ensure the barrier is placed in between the sidewalk and property line to ensure that there is no unauthorized soil disturbance or entry into the area.
3. A warning sign shall be displayed on all tree protection barriers. The sign shall be a minimum of 30.5x40.5cm and clearly state "WARNING- TREE PROTECTION ZONE" and indicate contact phone number. Sign to be obtained with applicable permit from The City of Calgary Parks.
4. Mulching to the edge of the Tree Protection Zone will be required. The mulch shall consist of untreated wood chips 2-3cm in size and shall be spread to a 5cm (2") depth. The mulch should be kept at least 5cm (2") from tree trunk.
5. No excavation, stock-piling of materials or other construction related activity shall occur within the Tree Protection Barrier.
6. Trees and other vegetation within the the Tree Protection Barrier shall be adequately maintained throughout the construction process. They shall be watered sufficiently, particularly if the root system has been disturbed during construction. A Tree watering schedule will be required when the development is to last more than two weeks.
7. Root and branch pruning shall only be completed with approval from and in accordance with The City of Calgary and the Consultant.
8. If any damage occurs to the protected vegetation (regardless of how) the Contractor is required to notify the permit holder within two working days.

2 TREE PROTECTION FENCE DETAIL
SCALE 1:50

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Revisions		
Number	Date (yy/mm/dd)	Description
1	23.09.01	ISSUED FOR CLIENT REVIEW
2	24.02.22	ISSUED FOR PER
3	24.03.21	ISSUED FOR PERM
4	24.04.17	ISSUED FOR PERM
5	24.06.17	ISSUED FOR PERM

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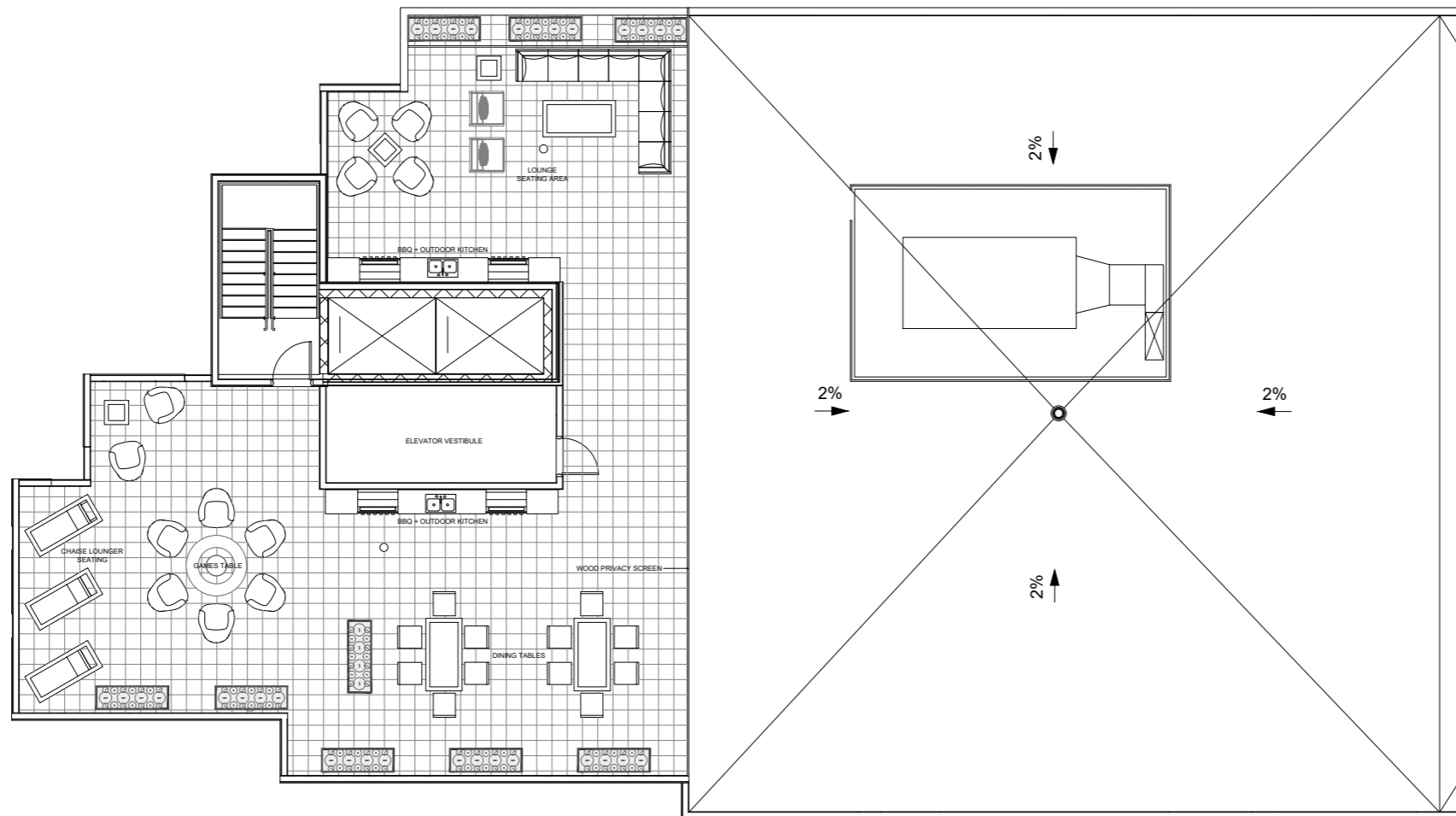
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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
TREE PROTECTION PLAN

DRAWN BY	JOB NO.	Building Permit #
AP	2224	
CHECKED BY		SHEET
DM		L200
ISSUE DATE (yy/mm)		
#/#/#		
SCALE		
AS NOTED		



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Revisions		
Number	Date (yy/mm/dd)	Description
1	23.09.01	ISSUED FOR CLIENT REVIEW
2	23.09.29	ISSUED FOR PER
3	24.01.31	ISSUED FOR PER
4	24.04.17	ISSUED FOR PER
5	24.06.17	ISSUED FOR PER

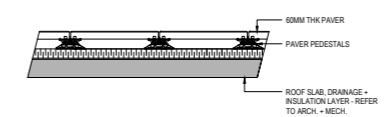
1 ROOFTOP AMENITY PLAN
L300 SCALE 1:50

LEGEND

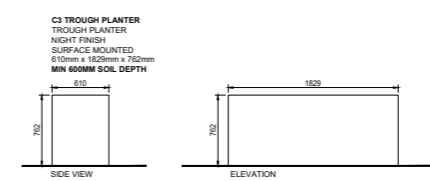
	60MM CONCRETE PAVERS ON PEDESTALS STANDARD GREY COLOUR
	EACH ALUMINUM PLANTER PLANTED W/ 6 - BLAZING STAR 8 - ARIZONA APRICOT BLANKET FLOWER 4 - KARL FOERSTER

PLANT LIST : GRASSES & PERENNIALS

KEY	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY
-	<i>Calamagrostis acutiflora</i> "Karl Foerster"	KARL FOERSTER FEATHER REED GRASS	15cm POT	36
-	<i>Liatris spicata</i>	BLAZING STAR	15cm POT	54
-	<i>Gaillardia x grandiflora</i> "Arizona Apricot"	ARIZONA APRICOT BLANKET FLOWER	15cm POT	72



2 TYPICAL ROOFTOP PAVER DETAIL
L300 SCALE 1:25



3 ALUMINUM ROOFTOP PLANTER DETAIL
L300 SCALE 1:25

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PROJECT NAME AND ADDRESS
MEDICINE HILL - BLOCK D
1878 NA'A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

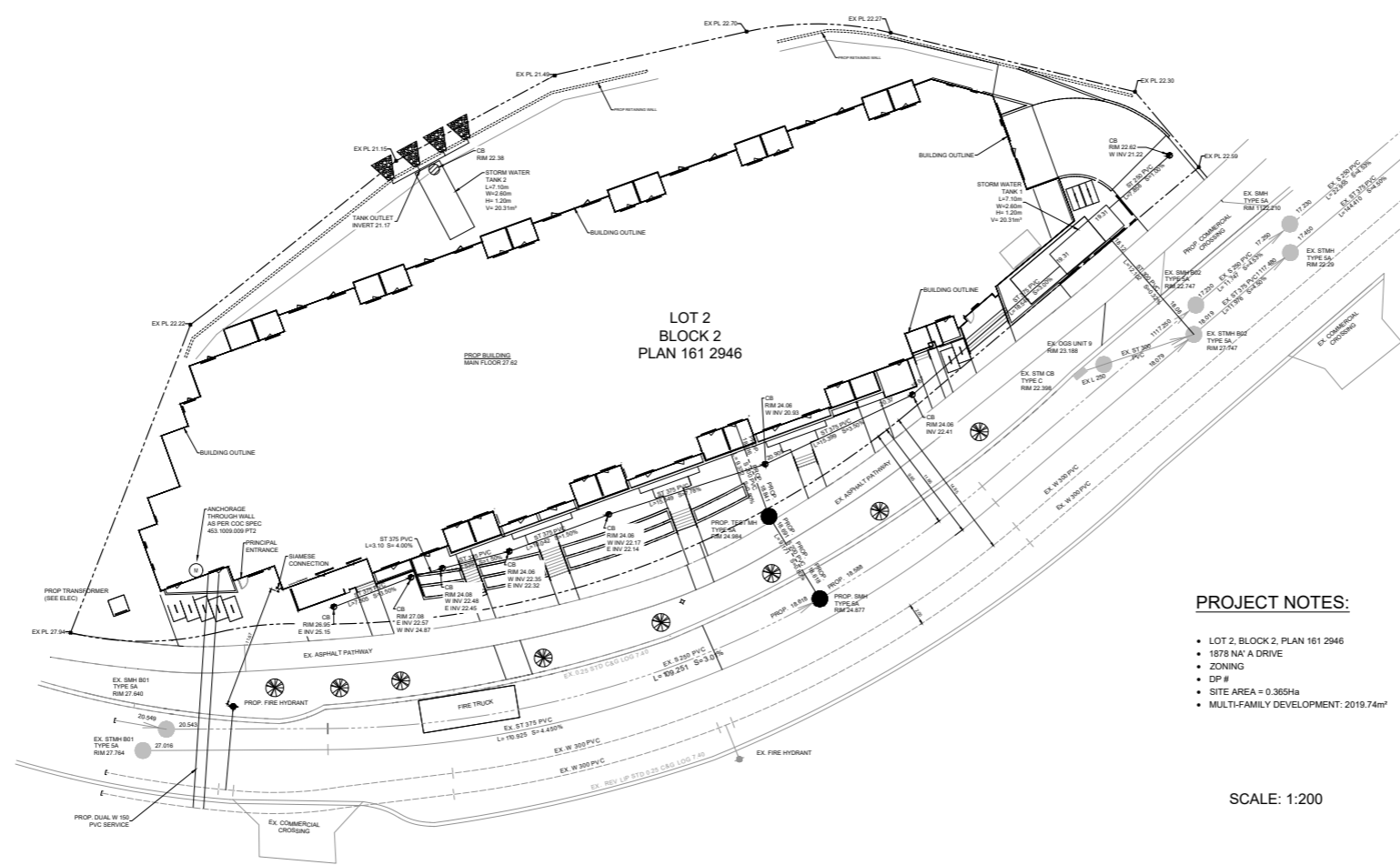
DRAWING

ROOFTOP AMENITY
LANDSCAPE PLAN

DRAWN BY	JOB NO.	Building Permit #
AP	2224	
CHECKED BY		SHEET
DM		L300
ISSUE DATE (yy/mm)		
#/#/#		
SCALE		
AS NOTED		

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Revisions		
Number	Date (yy/mm/dd)	Description
1	27.07.24	ISSUED FOR DCR1



PROJECT NOTES:

- LOT 2, BLOCK 2, PLAN 161 2946
- 1878 NA'A DRIVE
- ZONING
- DP #
- SITE AREA = 0.365Ha
- MULTI-FAMILY DEVELOPMENT: 2019.74m²

SCALE: 1:200

PERMIT TO PRACTICE

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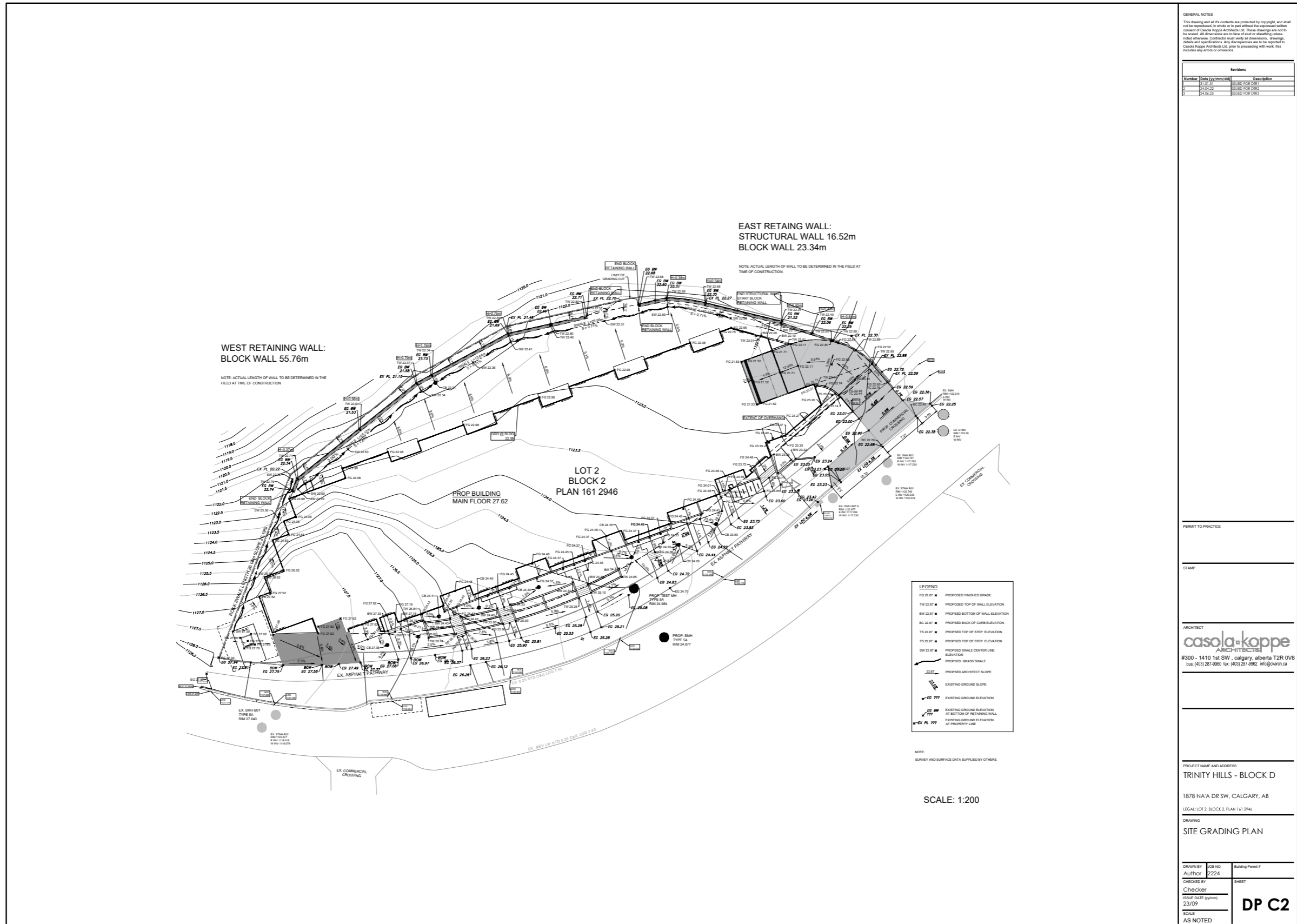
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PROJECT NAME AND ADDRESS
TRINITY HILLS - BLOCK D
1878 NA'A DR SW, CALGARY, AB

LEGAL: LOT 2, BLOCK 2, PLAN 161 2946
DRAWING
SITE SERVICING PLAN

DRAWN BY CAP	JOB NO. 2224	Building Permit #
CHECKED BY RB	SHEET	
ISSUE DATE (yy/mm)		
24/01		
SCALE		
AS NOTED		

DP C1



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Revisions			
Number	Date (yy/mm/dd)	Issued For	Description
1	23/03/21	ISSUED FOR PERMITS	
2	24/04/22	ISSUED FOR PERMITS	
3	24/06/25	ISSUED FOR PERMITS	

PERMIT TO PRACTICE

STAMP

ARCHITECT
casola koppe
ARCHITECTS
#300 - 1410 1st SW, CALGARY, ALBERTA T2R 0V8
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
TRINITY HILLS - BLOCK D
1878 NA'A DR SW, CALGARY, AB
LEGAL: LOT 2, BLOCK 2, PLAN 161 2946

DRAWING
SITE GRADING PLAN

Drawn By	Job No.	Building Permit #
Author	2224	
Checked By		
Checker		
Issue Date (yy/mm)		
23/09		
Scale		
AS NOTED		

DP C2