

# Development Permit Plans



**SUNNYSIDE MULTI-FAMILY DEVELOPMENT  
JEMM PROPERTIES**

**MUNICIPAL ADDRESS:**  
1015 3rd AVENUE NW, CALGARY, AB.

**LEGAL ADDRESS:**  
LOT 41; BLOCK 2; PLAN 2311712

**DRAWING LIST**

COVER PAGE  
SURVEY

**CIVIL**  
195-64 GRAD  
195-64 SVC

**ARCHITECTURAL**

- 3P01 CONCEPT PLAN
- 3P02 3D RENDERINGS
- 3P03 BALCONY DECK PLANS
- 3P04 SITE PHOTOS
- 3P05 DESIGN RENDERS
- 3P06 MATERIALS & FINISHING ELEVATIONS
- 3P07 SITE PLAN
- 3P08 PARADE FLOOR PLAN
- 3P09 LEVEL 1 FLOOR PLAN
- 3P10 LEVEL 2 FLOOR PLAN
- 3P11 LEVEL 3 FLOOR PLAN
- 3P12 TYPICAL FLOOR LEVEL (EXAMPLE)
- 3P13 KITCHEN PLAN
- 3P14 SELECT ENLARGED SUITE LAYOUT'S
- 3P15 PARADE RAMP, WASTE, RECYCLING DETAILS, STAGING & PICKUP
- 3P16 PASSENGER VEHICLE SIMULATOR
- 3P17 EXTERIOR LANS & TERRILLATIONS
- 3P18 EXTERIOR SOUTH & WEST ELEVATIONS
- 3P19 BUILDING SECTIONS

**ELECTRICAL**

- DP-E-01 SITE PLAN
- DP-E-02 PHOTO-METRIC CALCULATION
- DP-E-03 LUMINAIRE SCHEDULE

**LANDSCAPE**

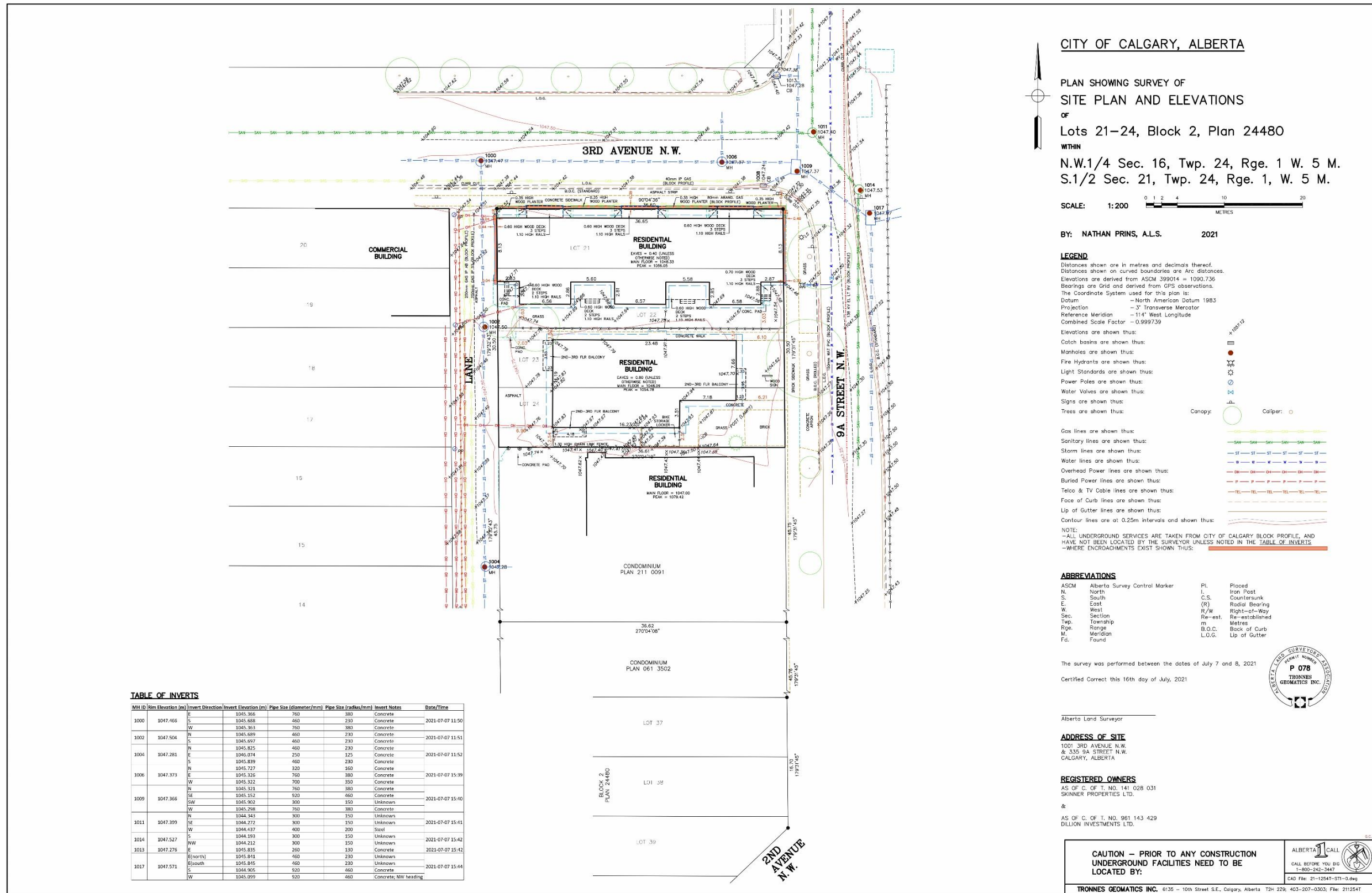
- LS-01 LEVEL 1 LANDSCAPE SITE PLAN
- LS-02 2ND FLOOR TERRACE LANDSCAPE PLAN
- LS-03 LEVEL 15 LANDSCAPE LAYOUT & MATERIALS
- LS-04 LEVEL 15 PLANTING PLAN
- LS-05 STREETSCAPE SECTIONS
- LS-06 LANDSCAPE DETAILS

**LOLA**  
Architecture

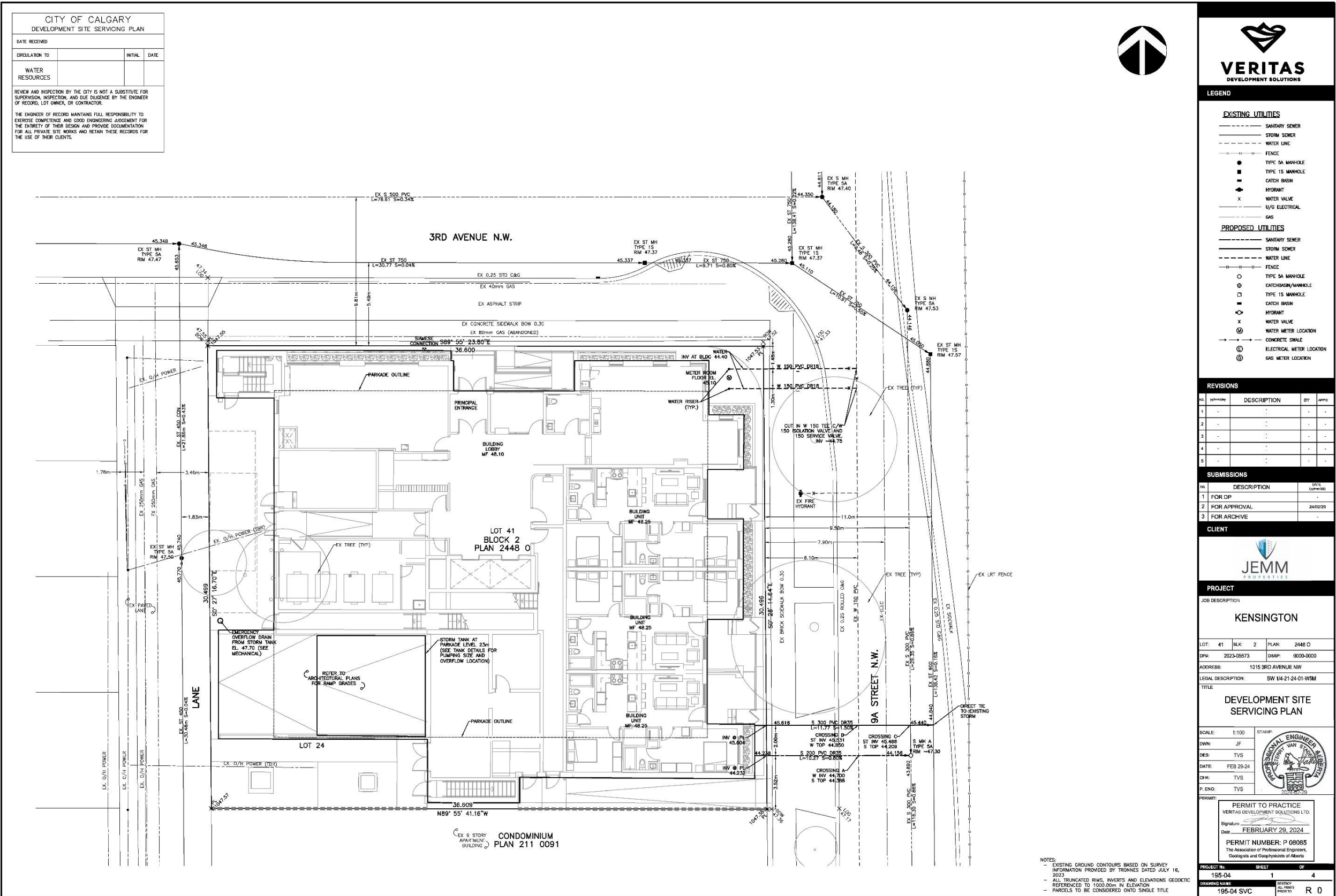
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**SUNNYSIDE MULTI-FAMILY  
DEVELOPMENT**  
 JEMM PROPERTIES

DTR 3 2024-03-15







CITY OF CALGARY  
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED	
CIRCULATION TO	INITIAL DATE
WATER RESOURCES	

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.



LEGEND

**EXISTING UTILITIES**

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE SA MANHOLE
- TYPE IS MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE
- U/O ELECTRICAL
- GAS

**PROPOSED UTILITIES**

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE SA MANHOLE
- CATCHBASIN/MANHOLE
- TYPE IS MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE
- WATER METER LOCATION
- ELECTRICAL METER LOCATION
- GAS METER LOCATION

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD
1				
2				
3				
4				
5				

SUBMISSIONS

NO.	DESCRIPTION	DATE (yy/mm/dd)
1	FOR DP	
2	FOR APPROVAL	24/02/24
3	FOR ARCHIVE	



PROJECT  
JOB DESCRIPTION  
**KENSINGTON**

LOT: 41 BLK: 2 PLAN: 2448 O  
DPI: 2023-05673 DRSP: 0000-0000  
ADDRESS: 1315 3RD AVENUE NW  
LEGAL DESCRIPTION: SW 1/4-21-24-01-W5M  
TITLE:

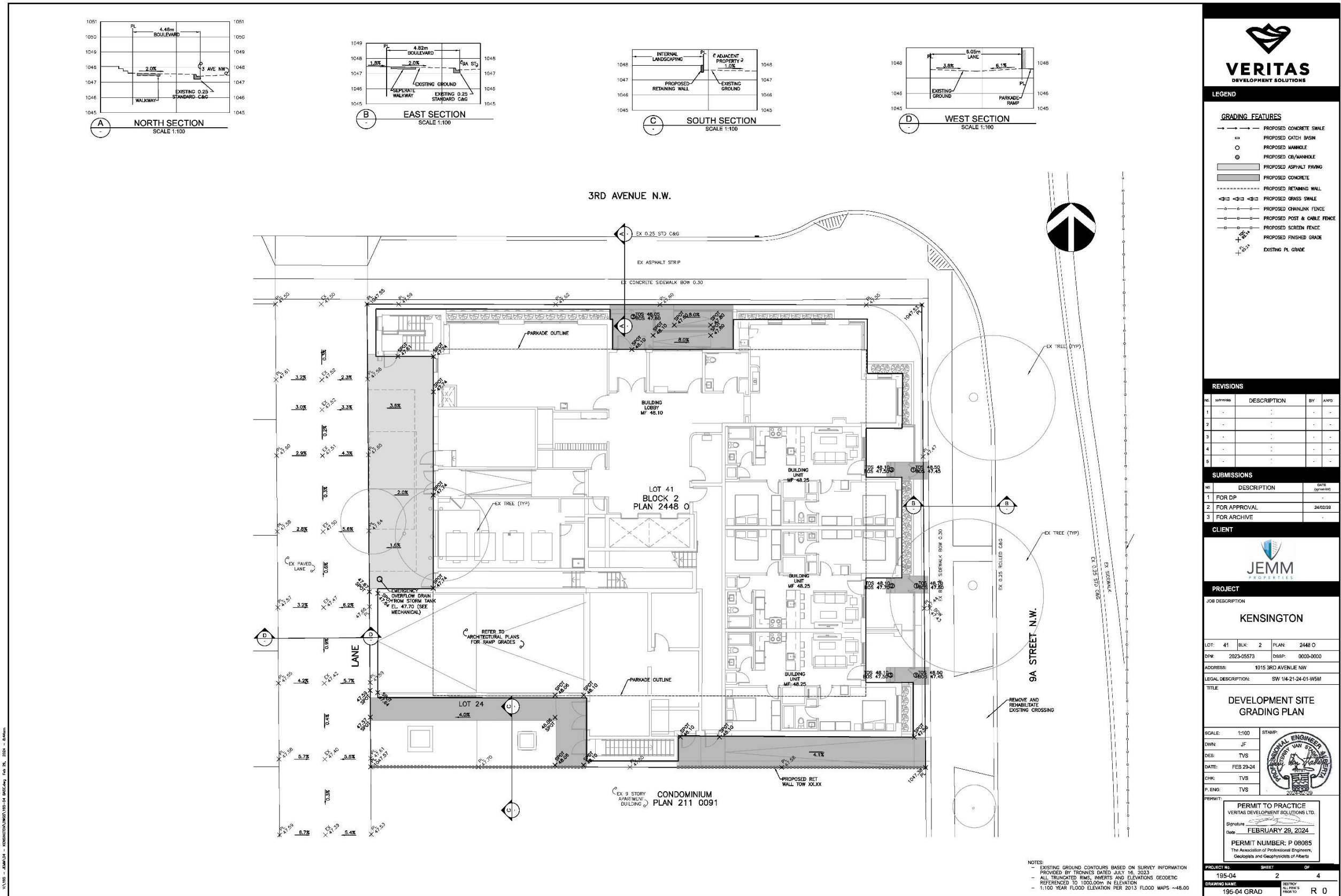
DEVELOPMENT SITE SERVICING PLAN

SCALE: 1:100  
OWN: JF  
DES: TVS  
DATE: FEB 29-24  
CHK: TVS  
P. ENG: TVS

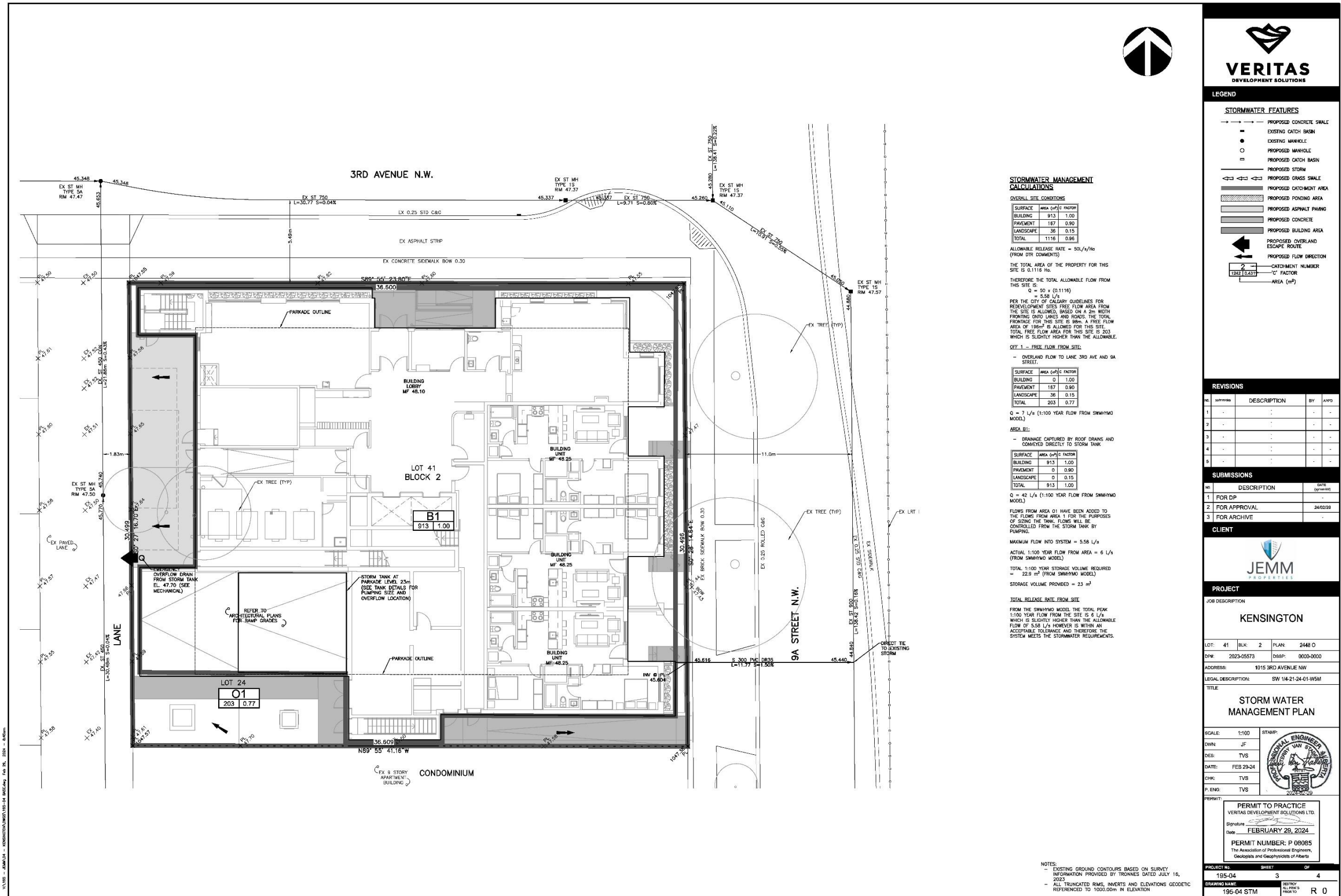
PERMIT TO PRACTICE  
VERITAS DEVELOPMENT SOLUTIONS LTD.  
Signature: [Signature]  
Date: FEBRUARY 29, 2024  
PERMIT NUMBER: P 08085  
The Association of Professional Engineers, Geologists and Geophysicists of Alberta

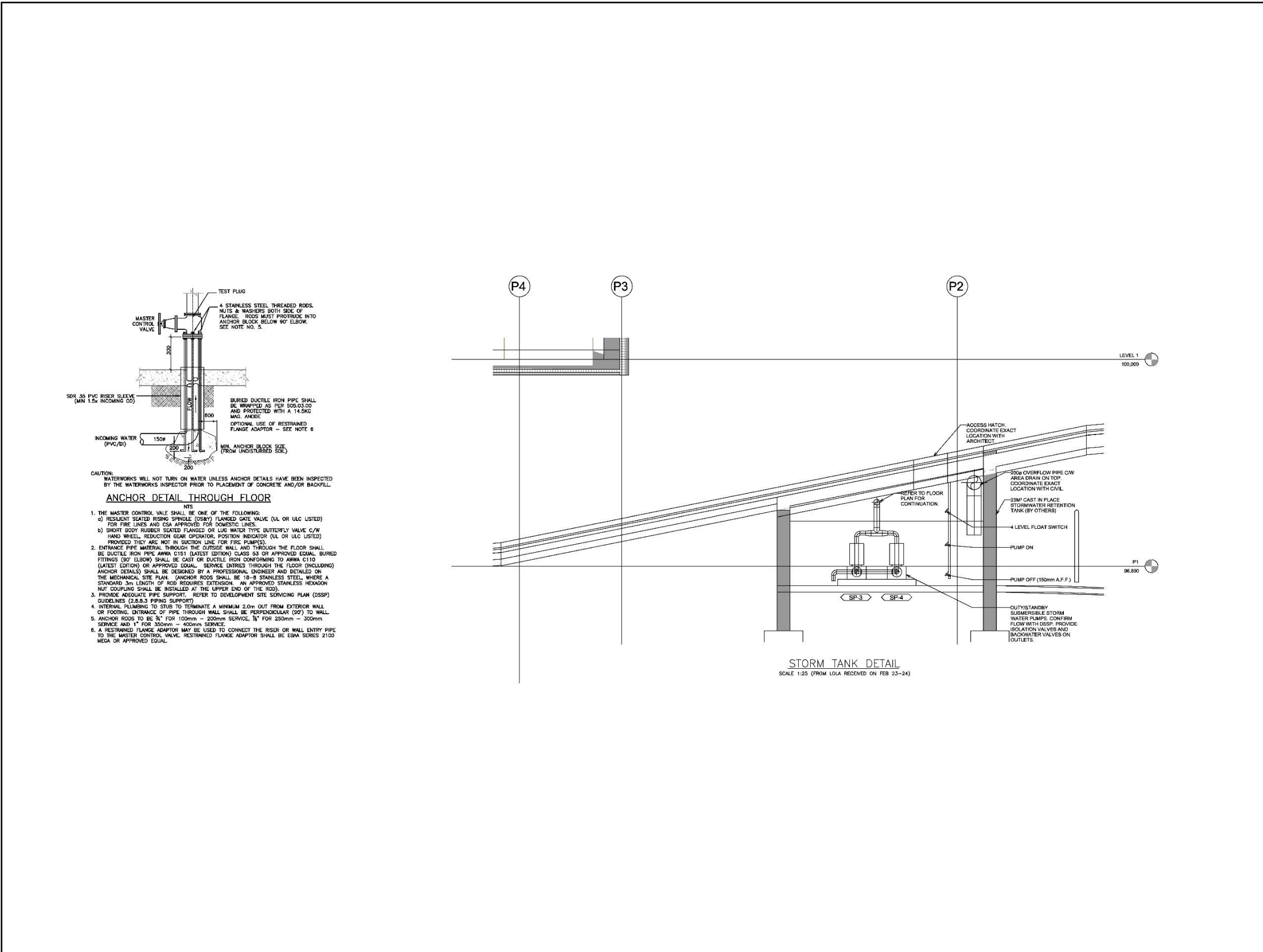
PROJECT NO.	SHEET	OF
195-04	1	4
DRAWING NAME	DATE	DESIGNED BY
195-04 SVC		R 0

NOTES:  
- EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY TRONNES DATED JULY 16, 2023  
- ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION  
- PARCELS TO BE CONSIDERED ONTO SINGLE TITLE









**VERITAS**  
DEVELOPMENT SOLUTIONS

LEGEND

---

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	APPD
1				
2				
3				
4				
5				

**SUBMISSIONS**

NO.	DESCRIPTION	DATE (yy/mm/dd)
1	FOR DP	
2	FOR APPROVAL	24/02/24
3	FOR ARCHIVE	

**CLIENT**

**JEMM**  
PROPERTIES

**PROJECT**

**JOB DESCRIPTION**  
KENSINGTON

LOT: 41 BLK: 2 PLAN: 2448 O  
DNR: 2023-05573 DSSP: 0000-0000  
ADDRESS: 1015 3RD AVENUE NW  
LEGAL DESCRIPTION: SW 1/4-21-24-01-W5M  
TITLE: **DETAIL SHEET**

SCALE: 1:100  
OWN: JF  
DES: TVS  
DATE: FEB 29-24  
CHK: TVS  
P. ENG: TVS

**STAMP:**  
PROFESSIONAL ENGINEER  
JEMM PROPERTIES  
2024-02-29

**PERMIT:**  
PERMIT TO PRACTICE  
VERITAS DEVELOPMENT SOLUTIONS LTD.  
Signature: \_\_\_\_\_  
Date: FEBRUARY 29, 2024  
PERMIT NUMBER: P 08085  
The Association of Professional Engineers, Geologists and Geophysicists of Alberta

PROJECT NO. SHEET OF  
195-04 4 4  
DRAWING NAME: 196-04 DET DETECTED FULL PRICE FROM TO: R 0





**PROJECT INFORMATION**

MUNICIPAL ADDRESS:  
1015 3RD AVENUE NW, CALGARY, AB

LEGAL ADDRESS:  
LOT 4, BLOCK 2, PLAN 231712

SITE DATA:  
SITE AREA TOTAL = 1,190 m<sup>2</sup>

**BYLAW REVIEW**

LAND USE DESIGNATION:  
DC BASED ON MIXED USE GENERAL DISTRICT (MU-G, 300202)  
PROPOSED PERMITTED USES: SIGN, CLASS 3

**SETBACKS:**

NORTH SIDE (AVENUE): 0 m. NO REQUIREMENTS FOR SETBACK AREA  
EAST SIDE (STREET): 0 m. NO REQUIREMENTS FOR SETBACK AREA  
WEST SIDE (LANE): 0 m. NO REQUIREMENTS FOR SETBACK AREA  
SOUTH SIDE: 0 m. NO REQUIREMENTS FOR SETBACK AREA

**BUILDING HEIGHT:**

MAXIMUM ALLOWABLE HEIGHT: 50m  
PROPOSED HEIGHT: 50m

**UNIT MIX & TOTAL**

	L1	L2	L3	L4	L5	L6	L7	L8	L9	L10	L11	L12	L13	L14	L15	TOTAL
STUDIO	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	1
1 BED	0	4	4	4	4	4	4	4	4	4	4	4	4	4	4	56
1 BED+DEN	0	1	3	3	3	3	3	3	3	3	3	3	3	3	3	40
2 BED	0	2	3	3	3	3	3	3	3	3	3	3	3	3	3	41
TOTAL	3	8	1	1	1	1	1	1	1	1	1	1	1	1	1	205

**BUILDING CODES**

NBC - ALBERTA EDITION 2019  
GROUP C (RESIDENTIAL), PART 3 (SPRINKLERED)  
HIGH RISE BUILDING CLASSIFICATION

**VEHICLE PARKING:**

	REQUIRED	PROVIDED
150 DWELLING UNITS RESIDENTIAL @ 0.10 UNIT	15	7
150 DWELLING UNITS VISITOR @ 0.05 UNIT	8	13

ONE (1) VEHICLE LOADING STALL IS PROVIDED IN THE LANE NEAR THE PARKADE ENTRY.

**BICYCLE PARKING:**

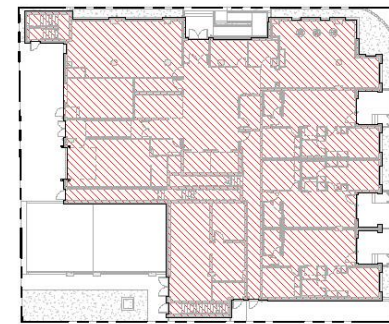
	REQUIRED	PROVIDED
CLASS 1: 150 UNITS @ 1.0 PER UNIT	150	150
CLASS 2: 150 UNITS @ 0.1 PER UNIT	15	15

\*100% CLASS 1 BIKE RACKS HAVE BEEN PROVIDED ON #1

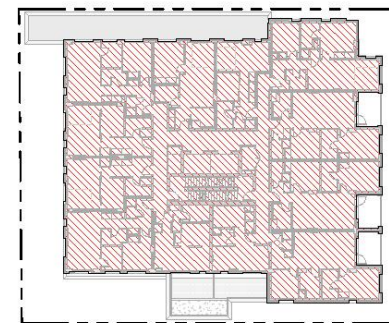
**FAR CALCULATIONS**

SITE AREA: 1,190.29 m<sup>2</sup>  
FAR ALLOWED: 4.00  
AREA ALLOWED: 9,963.15 m<sup>2</sup>

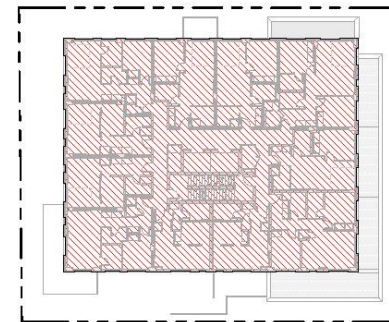
L1: 7,250.00 m<sup>2</sup>  
L2: 7,154.50 m<sup>2</sup>  
L3: 6,403.00 m<sup>2</sup>  
L4: 6,403.00 m<sup>2</sup>  
L5: 6,403.00 m<sup>2</sup>  
L6: 6,403.00 m<sup>2</sup>  
L7: 6,403.00 m<sup>2</sup>  
L8: 6,403.00 m<sup>2</sup>  
L9: 6,403.00 m<sup>2</sup>  
L10: 6,403.00 m<sup>2</sup>  
L11: 6,403.00 m<sup>2</sup>  
L12: 6,403.00 m<sup>2</sup>  
L13: 6,403.00 m<sup>2</sup>  
L14: 6,403.00 m<sup>2</sup>  
L15: 6,403.00 m<sup>2</sup>  
ROOF: 2,222.50 m<sup>2</sup>  
TOTAL AREA: 8,625.50 m<sup>2</sup>  
PROPOSED FAR: 6,965.15 m<sup>2</sup> / 1,190.29 m<sup>2</sup> = 5.84



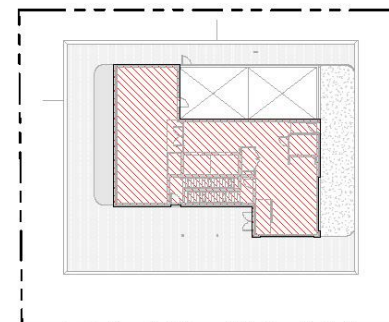
1 LEVEL 1 FAR FLOOR PLAN  
1:300  
DP002



2 LEVEL 2 FAR FLOOR PLAN  
1:300  
DP002



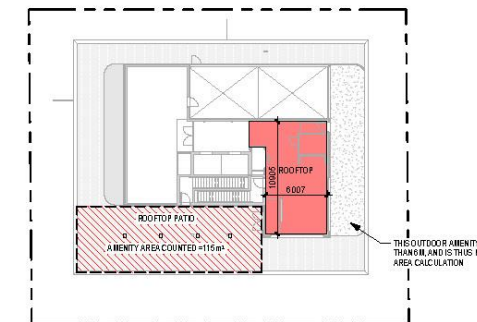
3 LEVELS 3-15 FAR FLOOR PLAN  
1:300  
DP002



4 ROOF FAR FLOOR PLAN  
1:300  
DP002



5 LEVEL 1 AMENITY FLOOR PLAN  
1:300  
DP002



9 ROOF AMENITY FLOOR PLAN  
1:300  
DP002

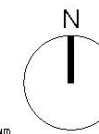
**AMENITY AREAS:**

MINIMUM AMENITY SPACE REQUIREMENTS ARE MET BY A COMBINATION OF PRIVATE OUTDOOR AMENITY SPACES AND COMMON OUTDOOR AND INDOOR AMENITY SPACES

	MIN. REQ'D	PROVIDED
TOTAL AMENITY SPACE (8.0 m <sup>2</sup> /unit min.)	760 m <sup>2</sup>	812 m <sup>2</sup>
PRIVATE OUTDOOR AMENITY (BALCONY/AMENITY)		456 m <sup>2</sup> @ 1 UNIT @ 5m <sup>2</sup> AMTY
COMMON OUTDOOR AMENITY (ROOFTOP PATIO)		115 m <sup>2</sup>
COMMON INDOOR AMENITY (LOUNGE & BUSINESS CENTRE, FITNESS CENTRE, ROOFTOP)		114 m <sup>2</sup> 59 m <sup>2</sup> 55 m <sup>2</sup>

REFER TO DWG FOR L3-15 BALCONY INFORMATION

MAX. AMENITY AREA COUNTED PER BALCONY = 5.0 m<sup>2</sup>  
BALCONY WITH NO DIMENSION LESS THAN 2m  
NUMBER OF UNITS WITH BALCONY: 3



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Architecture

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STRUCTURAL CONSULTANT:  
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MECHANICAL CONSULTANT:  
MCW GROUP

ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

**CLIENT NAME**

**JEMM Properties**

**CONSULTANT**

**SEAL**

**DRAWING HISTORY**

NO.	DESCRIPTION	DATE
D	DTR 3	2024-03-15
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-17

NO.	DESCRIPTION	DATE
D	DTR 3	2024-03-15
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-17

**PROJECT TITLE**

**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

**DRAWING TITLE**

**BYLAW ANALYSIS**

DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
As indicated	ML

2021-008 PROJECT NO.

**DP002**

2024-03-15 10:02 AM  
Author: BOO JUBIN | Designer: BOO JUBIN | Checker: BOO JUBIN | Date: 2024-03-15

DTR 3 2024-03-15







01. 9A STREET LOOKING WEST



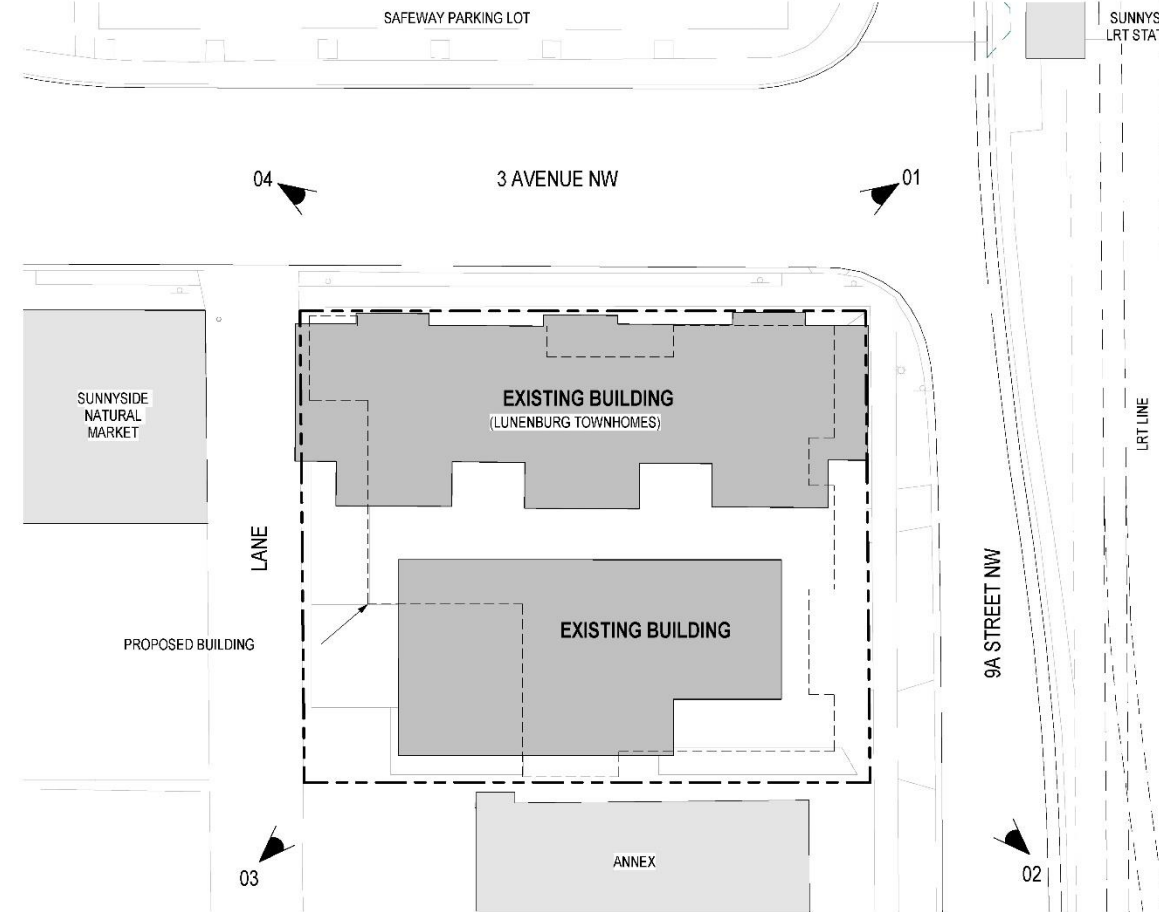
02. 9A STREET LOOKING NORTH



03. LANE LOOKING NORTH



02. 3 AVENUE LOOKING EAST



1 SITE PHOTOS KEY PLAN  
DP004 1:200



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MECHANICAL CONSULTANT:  
**MCW GROUP**  
ELECTRICAL CONSULTANT:  
**NEMETZ & ASSOCIATES LTD.**  
CIVIL ENGINEERING:  
**VERITAS DEVELOPMENT SOLUTIONS**  
LANDSCAPE:  
**O2 PLANNING AND DESIGN INC.**

CLIENT NAME:  
**JEMM Properties**

CONSULTANT

SEAL

DTR 3 2024-03-15

DRAWING HISTORY

NO.	DESCRIPTION	DATE
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

PROJECT TITLE:  
**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE:  
**SITE PHOTOS**

DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
1 : 200	ML

2021-008 PROJECT NO.:

**DP004**

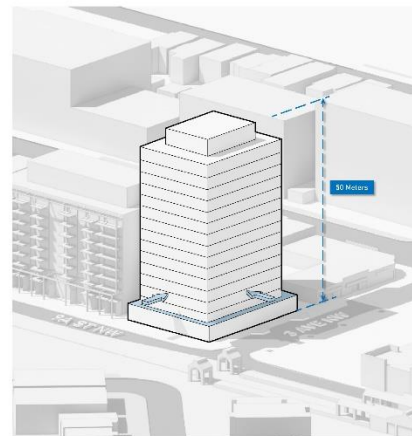




01. 3D AERIAL VIEW LOOKING SOUTHEAST

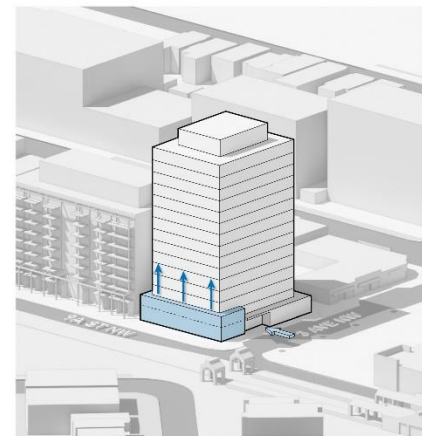


02. TRANSIT & RECREATION ORIENTED DEVELOPMENT

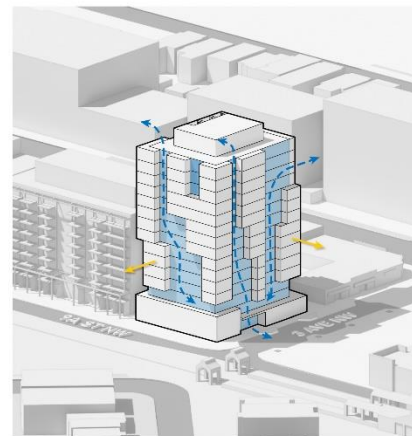


03. DESIGN STRATEGY

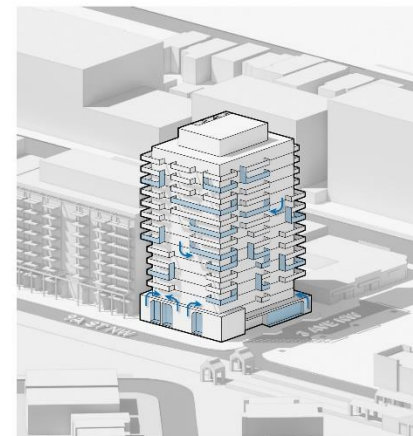
PODIUM WITH TOWER STEPPED BACK FROM STREET



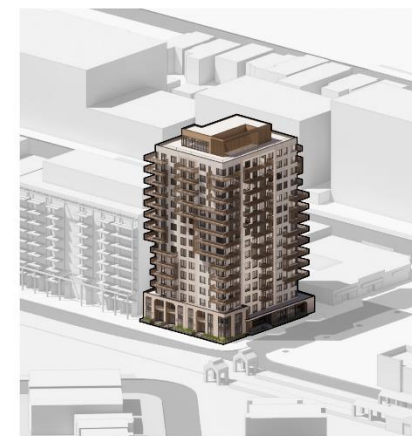
EXTEND THE PUBLIC FRONTAGE OF 3 AVENUE NW EASTWARD BY DEEPENING A 10M+ BUILDING ENTRANCE. MIX WITH THE BRICK & LIGHT PANELS FROM THE 10-15 STOREY TOWERING SCALED DEVELOPMENT



CREATE MOVEMENT ON THE FACADE BY PULLING OUT BALCONIES THAT STEP DOWN AND WRAP THE BUILDING. INTRODUCE EXPRESSIVE FORM TO THE ARCHITECTURE



INTRODUCE ARCHITECTURAL ELEMENTS



LAYER ON A RICH MATERIAL PALETTE TO ELEVATE THE BUILDING AND CREATE A COHESIVE DESIGN



04. STREET VIEWS

9th STREET NW LOOKING NORTH



CORNER OF 9th STREET NW & 3 AVENUE NW LOOKING WEST



3rd STREET NW LOOKING EAST

# LOLA Architecture

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PROJECT TEAM:

ARCHITECT:  
LOLA ARCHITECTURE INC.

STRUCTURAL CONSULTANT:  
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MECHANICAL CONSULTANT:  
MCW GROUP

ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME:

JEMM Properties

CONSULTANT

SEAL

DRAWING HISTORY

NO.	DESCRIPTION	DATE
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

PROJECT TITLE

**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE

DESIGN NARRATIVE

DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
	ML

2021-008 PROJECT NO.

**DP005**

DTR 3 2024-03-15



**MATERIALS**



**MATERIAL E1**  
BRICK  
COLOUR: LIGHT NEUTRAL  
LOCATION: LEVEL 01 & 02 PRIMARY BUILDING MATERIAL



**MATERIAL E2**  
METAL WOOD-LOOK SIDING  
COLOUR: OAK  
LOCATION: RESIDENTIAL ENTRANCE & BALCONY INSETS, PUBLIC ENTRY SOFFIT



**MATERIAL E3**  
METAL PANEL  
COLOUR: SNOW & CHAMPAGNE IN MATTE, SEMI-MATTE & HIGH GLOSS FINISH  
LOCATION: LEVELS 02-15 PRIMARY BUILDING MATERIAL



**MATERIAL E4**  
METAL PANEL  
COLOUR: WHITE  
LOCATION: LEVELS 02-15 PRIMARY BUILDING MATERIAL



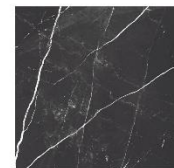
**MATERIAL E5**  
INSULATED SPANDEL PANEL  
COLOUR: DARK GREY  
LOCATION: LEVEL 01 & 02 RESIDENTIAL WINDOWS



**MATERIAL E6**  
POWDER COATED ALUMINUM  
COLOUR: BRONZE  
LOCATION: BALCONY GUARDS



**MATERIAL E7**  
GRANITE AGGREGATE BLOCK  
COLOUR: ONYX BLACK  
LOCATION: PLANTER RETAINING WALLS



**MATERIAL E8**  
QUARTZ  
COLOUR: DARK GREY  
LOCATION: PUBLIC ENTRANCE



01. NORTH RENDERED ELEVATION



02. EAST RENDERED ELEVATION



03. SOUTH RENDERED ELEVATION



04. WEST RENDERED ELEVATION

NOTE: RENDERED IMAGES FOR REFERENCE ONLY. PLEASE REFER TO DP301 AND DP302 FOR ELEVATIONS

**LOLA**  
Architecture

820, 203 11 Avenue SW  
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PROJECT TEAM:

ARCHITECT:  
LOLA ARCHITECTURE INC.

STRUCTURAL CONSULTANT:  
TRL & ASSOCIATES LTD.

MECHANICAL CONSULTANT:  
MCW GROUP

ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME:

JEMM Properties

CONSULTANT

SEAL

DTR 3 2024-03-15

DRAWING HISTORY

NO.	DESCRIPTION	DATE
C	DTR 2	2024-02-12
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A	DEVELOPMENT PERMIT	2023-08-11

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**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE

**MATERIALS & BUILDING ELEVATIONS**

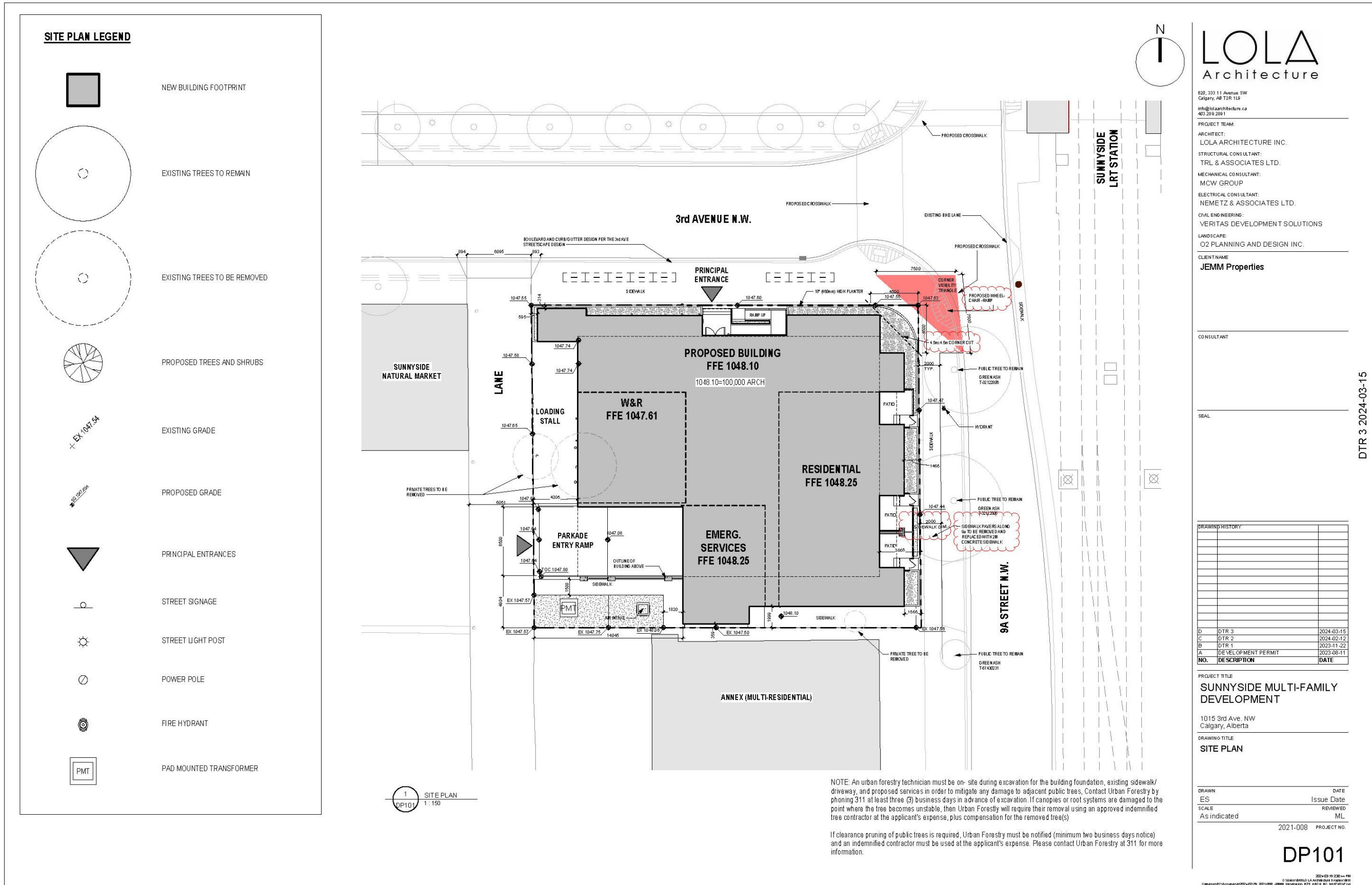
DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
1 : 1	ML

2021-008 PROJECT NO.

**DP006**

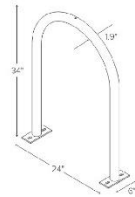
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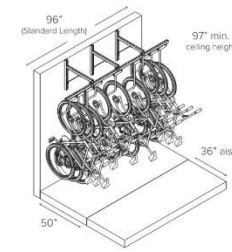


DTR 3 2024-03-15

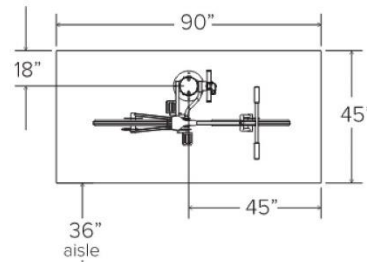
BIKE RACK TYPE	QUANTITY	%
Bike File	126	79%
Floor Mounted	34	21%
<b>TOTAL</b>	<b>160</b>	



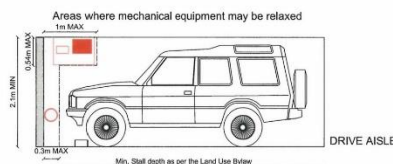
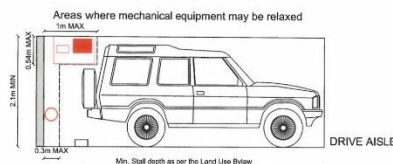
4 CLASS 1 - FLOOR MOUNTED BIKE STALLS  
SCALE: 1/8" = 1'-0"



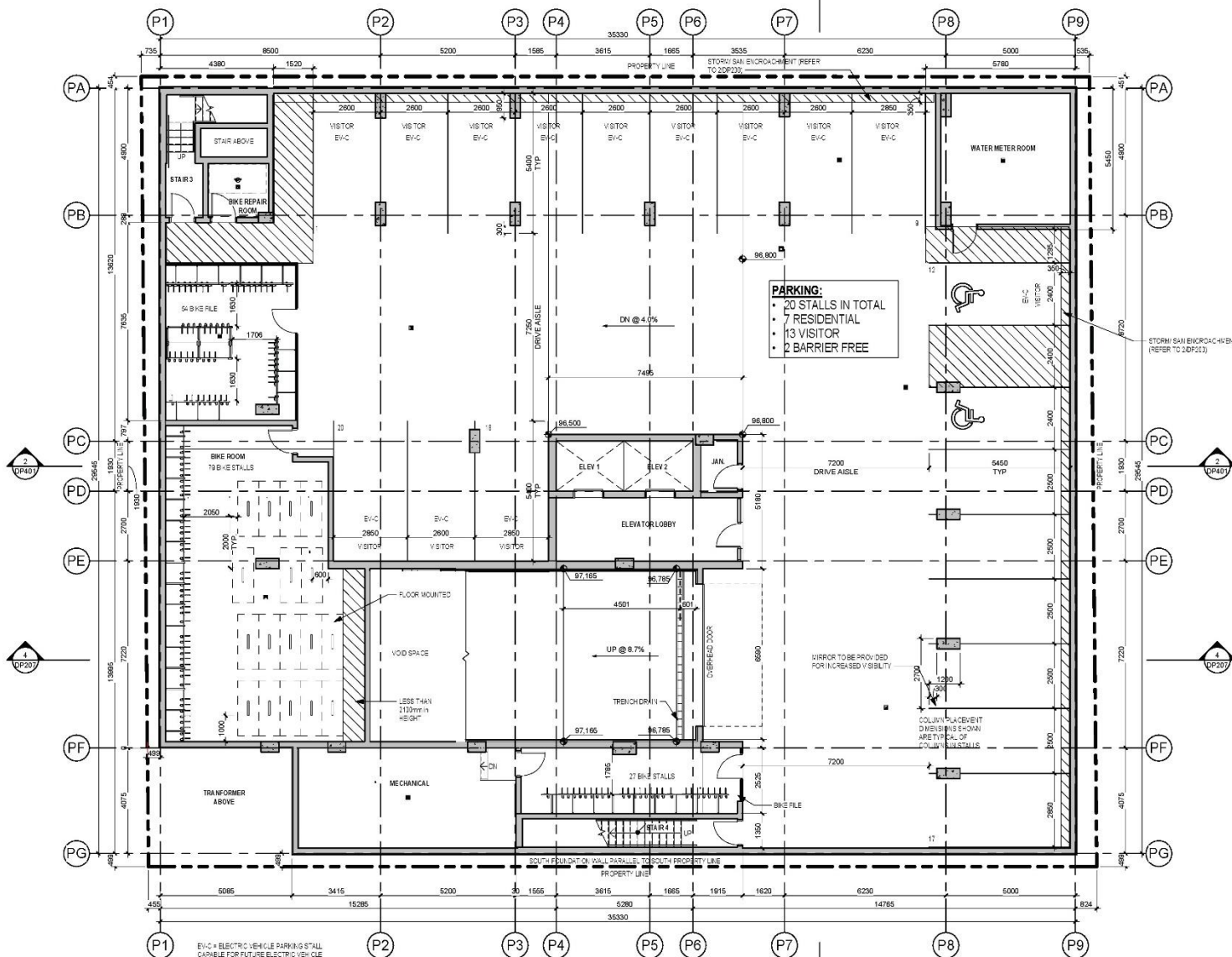
5 BIKE FILE MOUNTING DETAILS  
SCALE: 1/8" = 1'-0"



3 BIKE REPAIR STATION  
SCALE: 1/8" = 1'-0"



2 ENCROACHMENT DETAIL  
SCALE: 1/8" = 1'-0"



1 PARKADE LEVEL  
SCALE: 1/8" = 1'-0"



**LOLA**  
Architecture

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PROJECT TEAM:

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MECHANICAL CONSULTANT:  
MCW GROUP

ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME:

JEMM Properties

CONSULTANT

SEAL

DRAWING HISTORY

NO.	DESCRIPTION	DATE
D	DTR 3	2024-03-15
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

PROJECT TITLE

**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE

**PARKADE FLOOR PLAN**

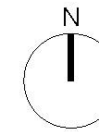
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ES	Issue Date
SCALE	REVIEWED
1 : 100	ML

2021-008 PROJECT NO.

**DP200**

Address: 333 11 Avenue SW - Calgary, Alberta T2R 1L8 - Canada  
Website: www.lola.ca





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CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME:

**JEMM Properties**

CONSULTANT

SEAL

NO.	DESCRIPTION	DATE
D	DTR 3	2024-03-15
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

PROJECT TITLE  
**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

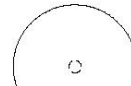
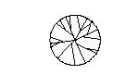



DRAWING TITLE  
**LEVEL 1 FLOOR PLAN**

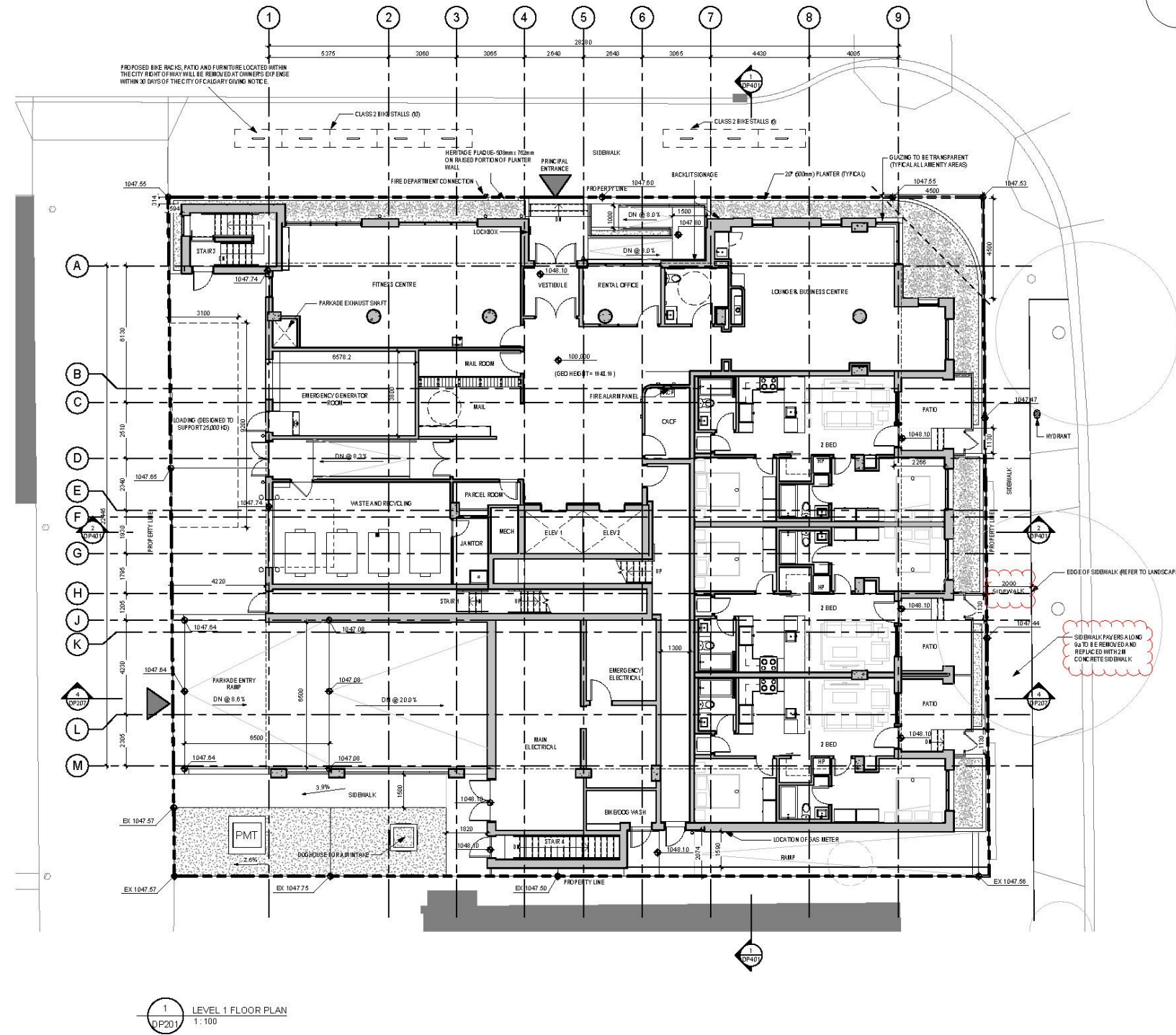
DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
As indicated	ML

2021-008 PROJECT NO.

**DP201**

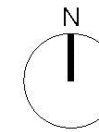
**LEGEND**

-  EXISTING TREES TO REMAIN
-  PROPOSED TREES AND SHRUBS
-  EXISTING GRADE  
+ EX 1047.54
-  PROPOSED GRADE  
+ EX 1047.54
-  PRINCIPAL ENTRANCES



**1** LEVEL 1 FLOOR PLAN  
DP201 1:100

DTR 3 2024-03-15



**LOLA**  
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ELECTRICAL CONSULTANT:  
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CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

**CLIENT NAME:**

**JEMM Properties**

**CONSULTANT:**

**SEAL:**

DTR 3 2024-03-15

DRAWING HISTORY		
NO.	DESCRIPTION	DATE
D	DTR 3	2024-03-15
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

**PROJECT TITLE:**

**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

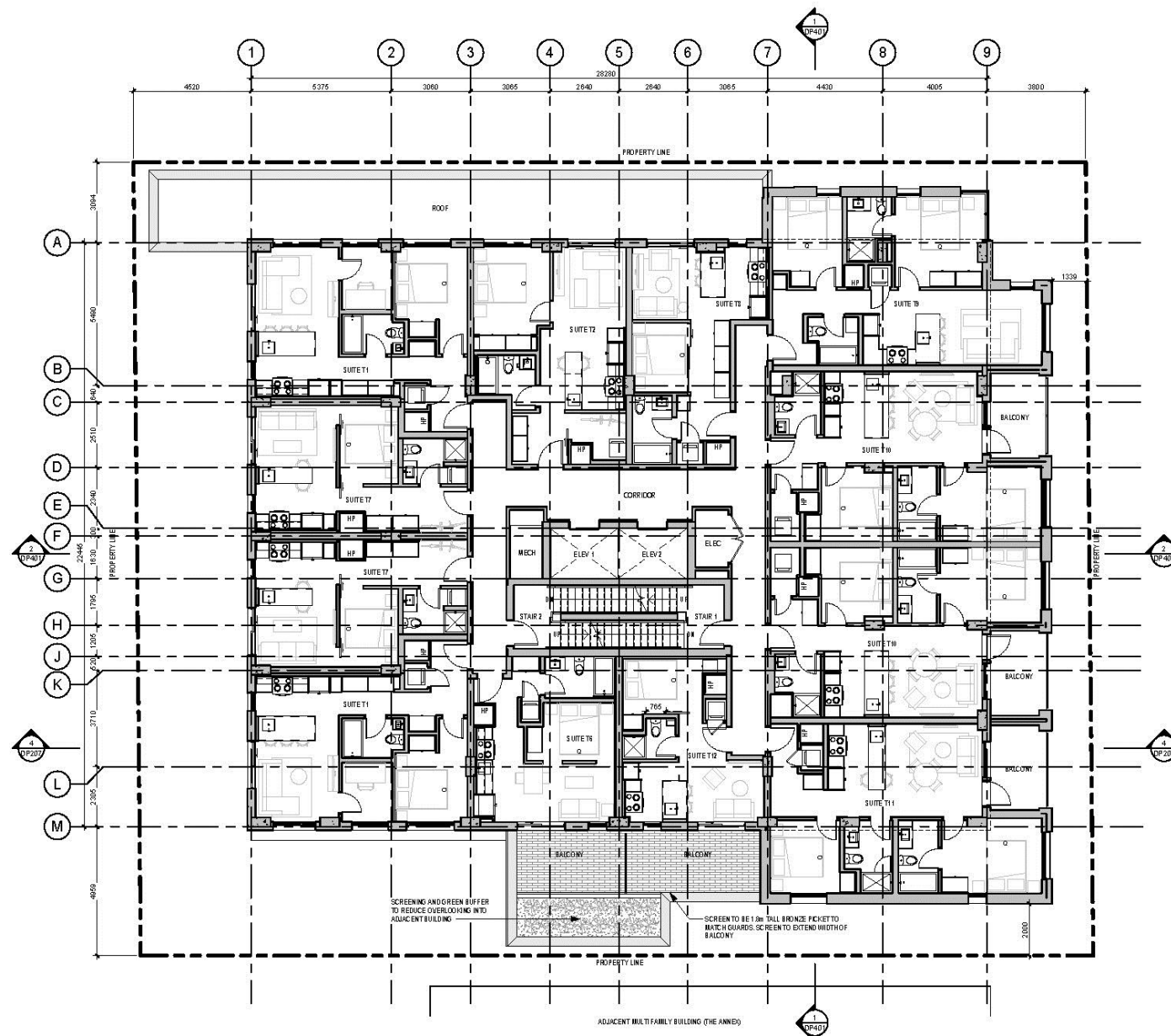
**DRAWING TITLE:**

**LEVEL 2 FLOOR PLAN**

DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
1 : 100	ML

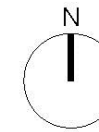
2021-008 PROJECT NO.

**DP202**



**1** LEVEL 2 FLOOR PLAN  
DP202 1:100





**LOLA**  
Architecture

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NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

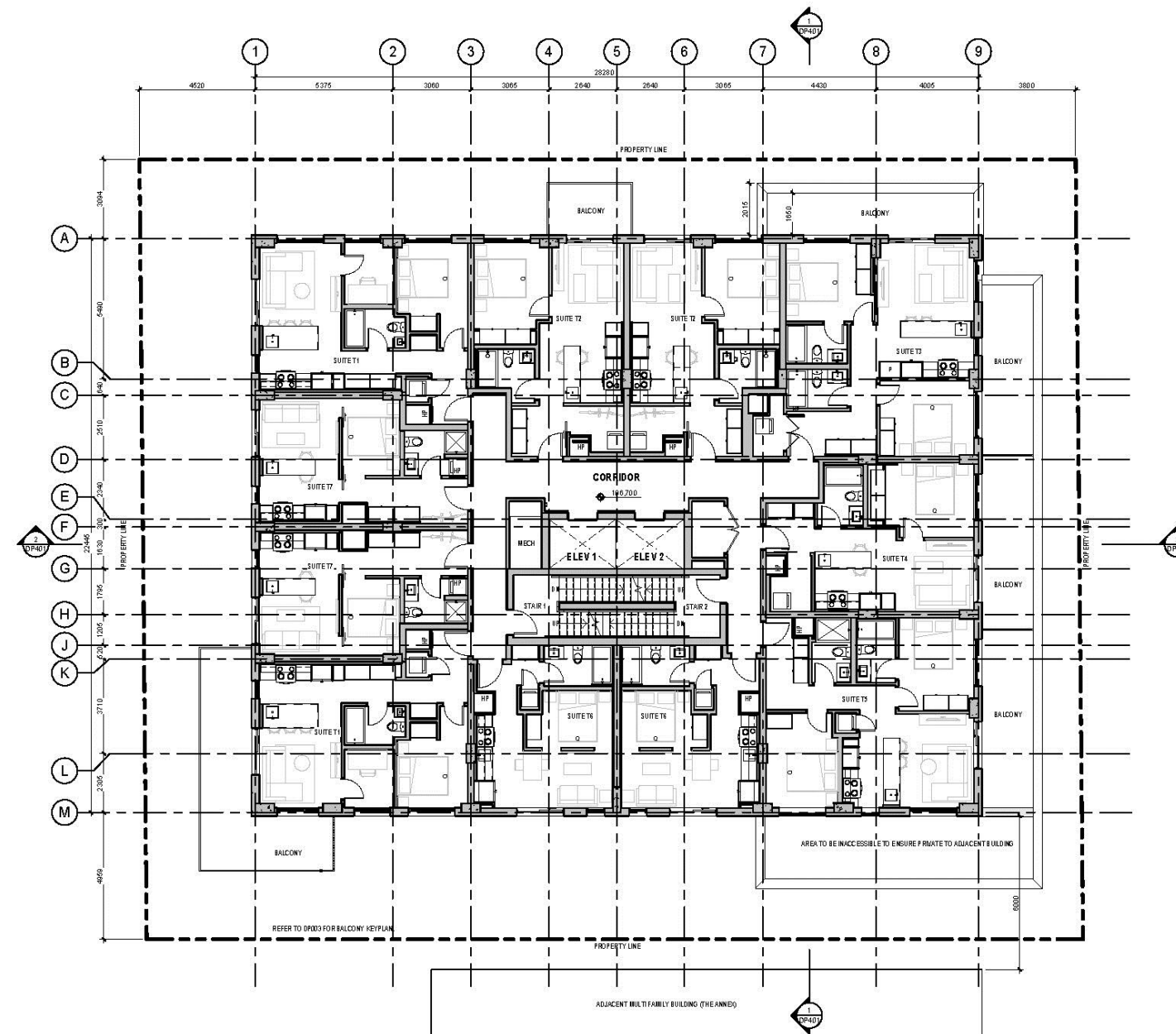
**CLIENT NAME:**

**JEMM Properties**

**CONSULTANT:**

**SEAL:**

DTR 3 2024-03-15



1 LEVEL 3 FLOOR PLAN  
DP203 1:100

DRAWING HISTORY		
NO.	DESCRIPTION	DATE
D	DTR 3	2024-03-15
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

**PROJECT TITLE**  
**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

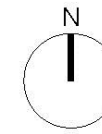
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**LEVEL 3 FLOOR PLAN**

DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
1:100	ML
2021-008 PROJECT NO.	

**DP203**







**LOLA**  
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ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

**CLIENT NAME:**

**JEMM Properties**

**CONSULTANT:**

**SEAL:**

DTR 3 2024-03-15

DRAWING HISTORY		
NO.	DESCRIPTION	DATE
D	DTR 3	2024-03-15
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A	DEVELOPMENT PERMIT	2023-08-11

**PROJECT TITLE:**

**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

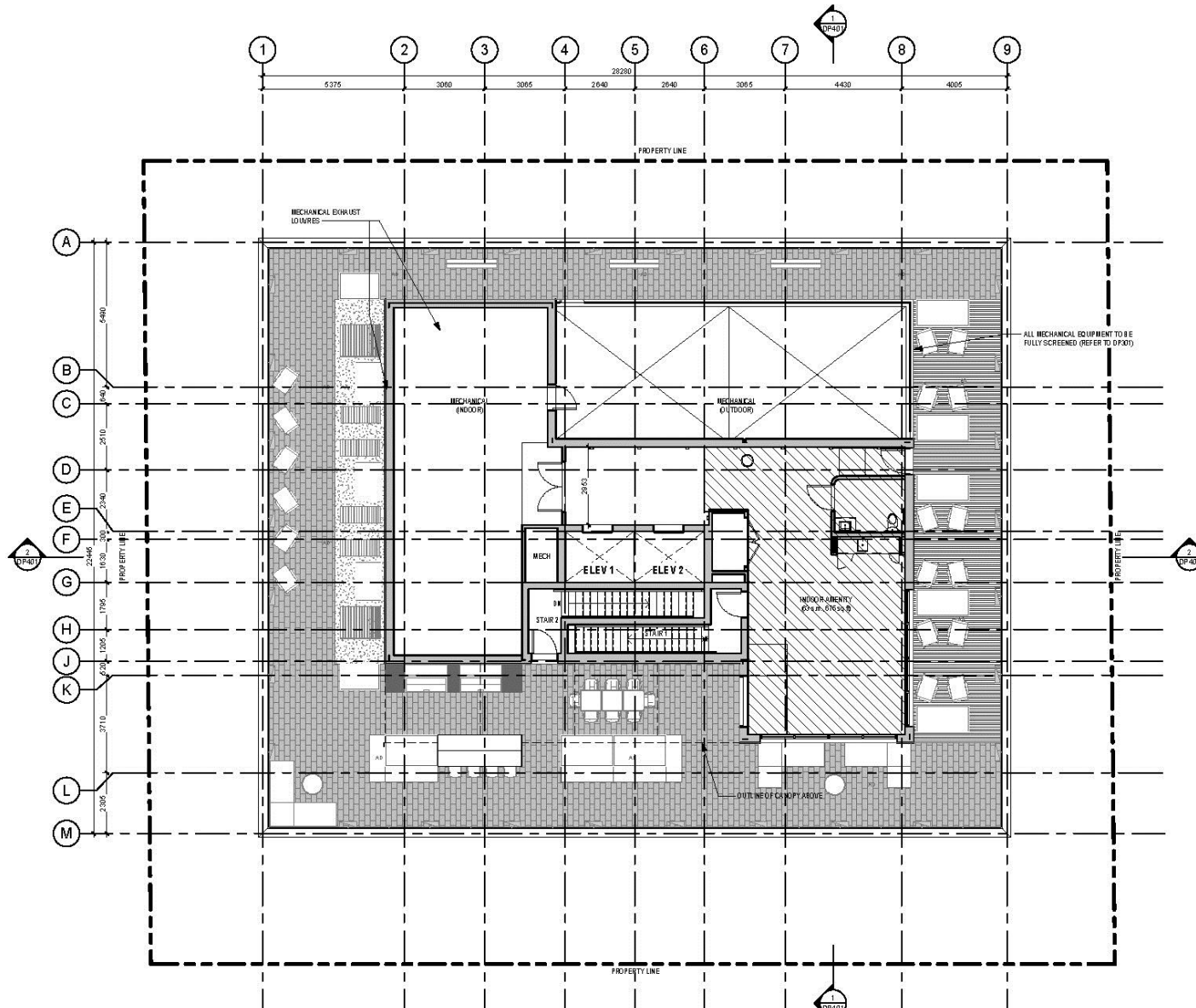
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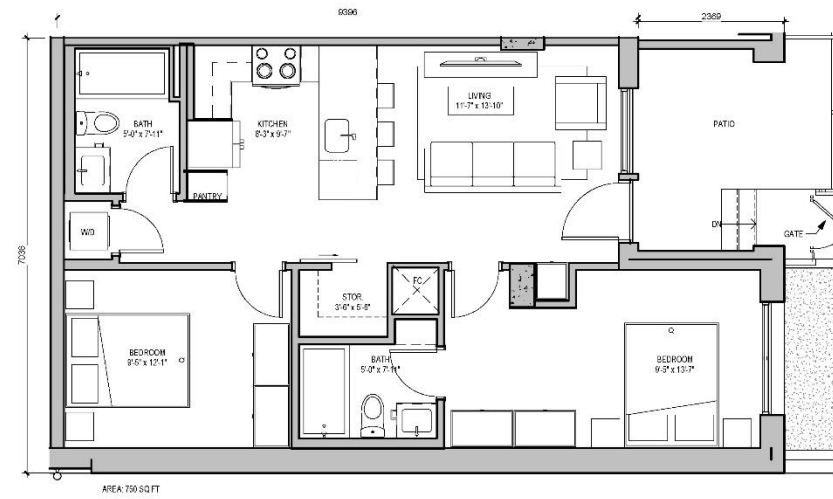
**ROOF PLAN**

DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
1 : 100	ML

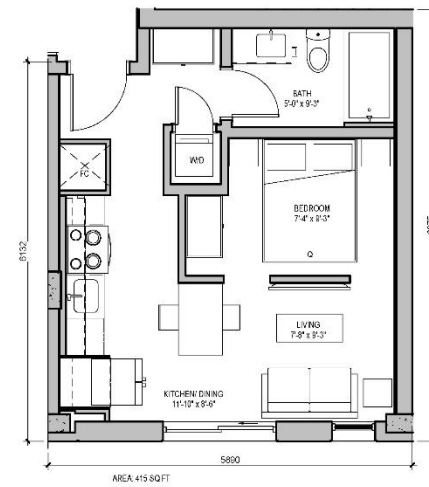
2021-008 PROJECT NO.

**DP205**

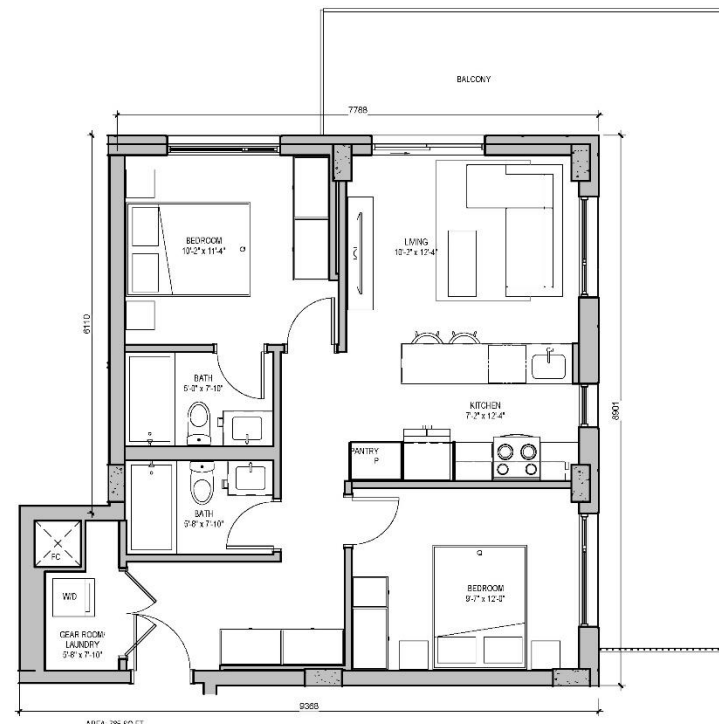




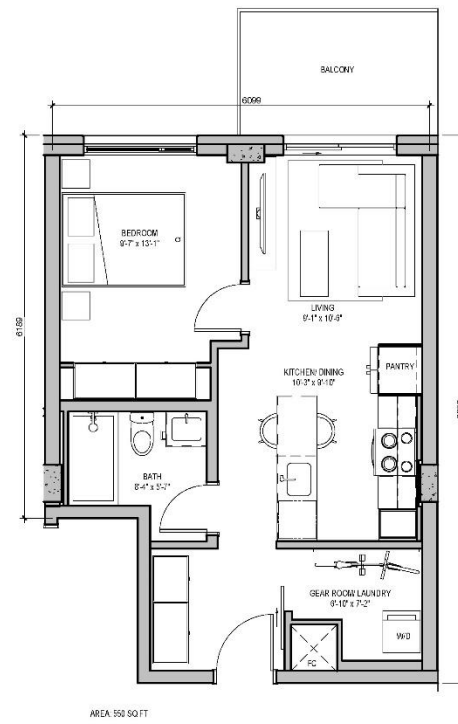
1 LEVEL 1 - 2 BED 2 BATH  
DP206 1:50



3 TYPICAL FLOOR - STUDIO  
DP206 1:50



2 TYPICAL FLOOR - 2 BED 2 BATH CORNER  
DP206 1:50



4 TYPICAL FLOOR - 1 BEDROOM  
DP206 1:50



5 SUITE IMAGERY  
DP206 NTS 1

# LOLA Architecture

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ELECTRICAL CONSULTANT:  
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CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME:

JEMM Properties

CONSULTANT

SEAL

DTR 3 2024-03-15

DRAWING HISTORY

NO.	DESCRIPTION	DATE
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

NO.	DESCRIPTION	DATE

PROJECT TITLE

SUNNYSIDE MULTI-FAMILY  
DEVELOPMENT

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE

SELECT ENLARGED SUITE  
LAYOUTS

DRAWN DATE

ES issue Date

SCALE REVISION

As indicated ML

2021-008 PROJECT NO.

## DP206

2024-03-15 10:39 AM  
Address: Docs \33861 - Kensington\0311-02\_000\_Live\03\_15\_24\_DP206.dwg





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Architecture

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PROJECT TEAM:

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MECHANICAL CONSULTANT:  
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ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME:

**JEMM Properties**

CONSULTANT

SEAL

DRAWING HISTORY

NO.	DESCRIPTION	DATE
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

PROJECT TITLE  
**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE  
**PARKADE RAMP, WASTE & RECYCLING DETAILS, STAGING & PICK-UP**

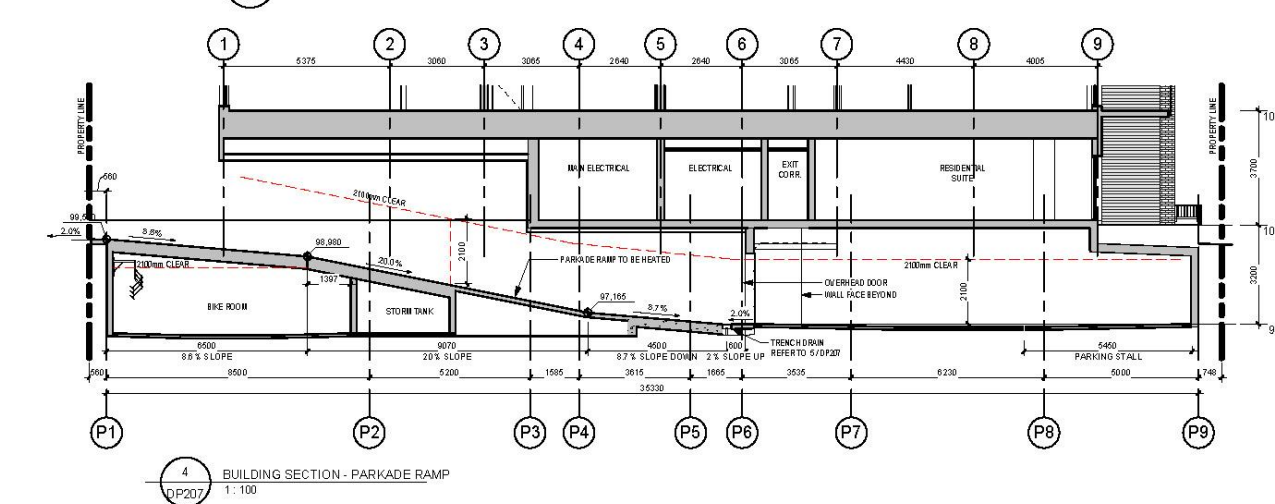
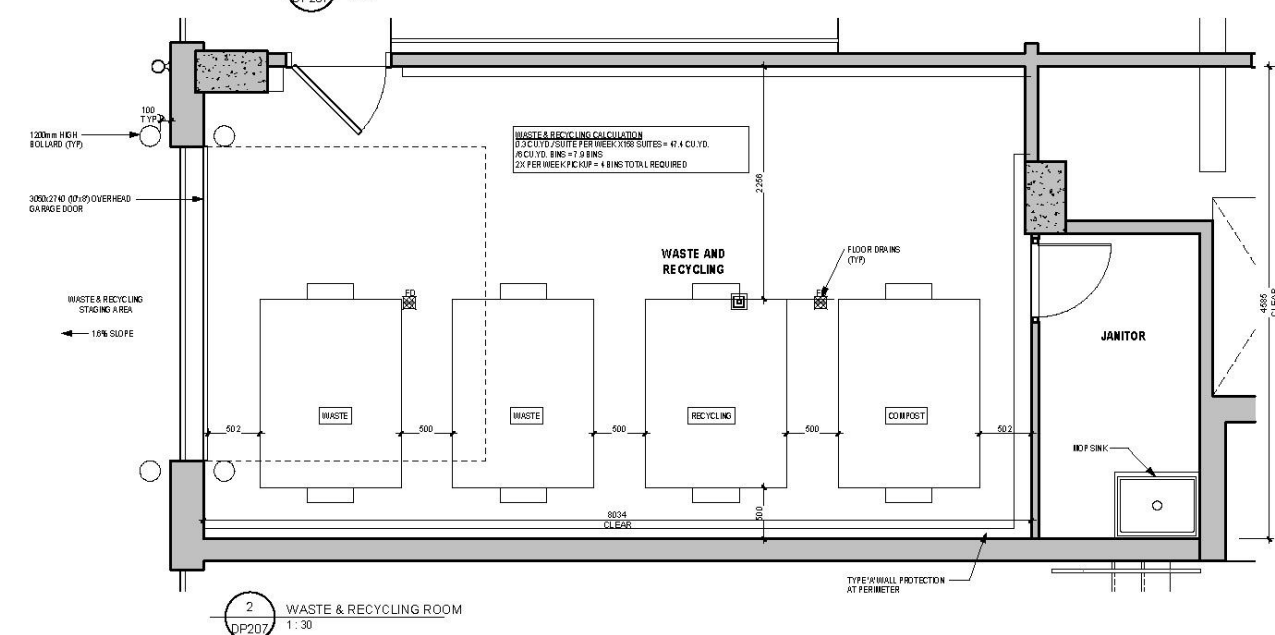
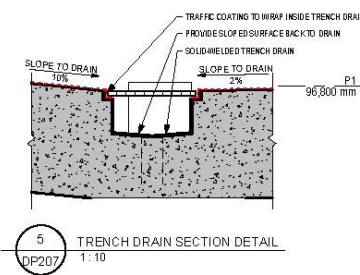
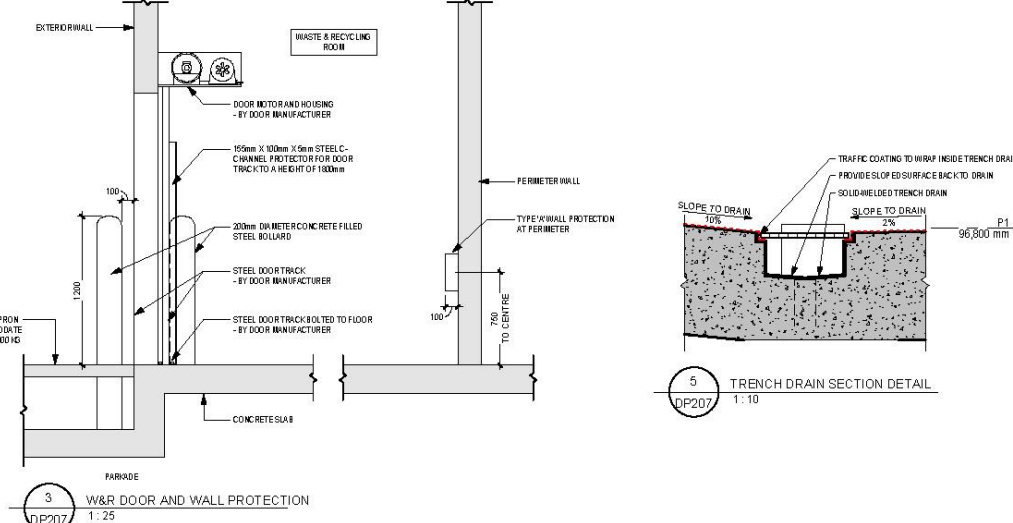
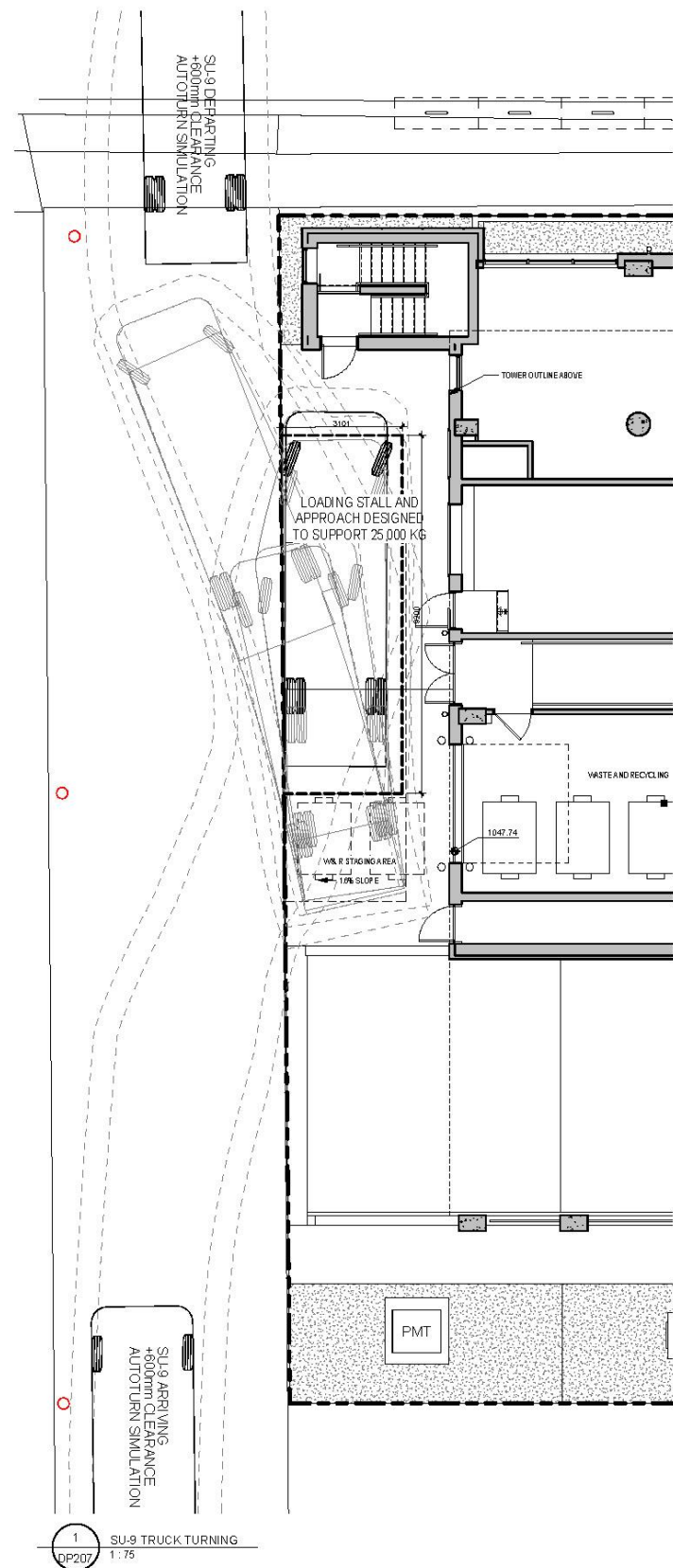
DRAWN: ES DATE: Issue Date  
SCALE: As indicated REVISION: ML  
PROJECT NO. 2021-008

**DP207**

DTR 3 2024-03-15

**WASTE AND RECYCLING COLLECTION DETAILS:**

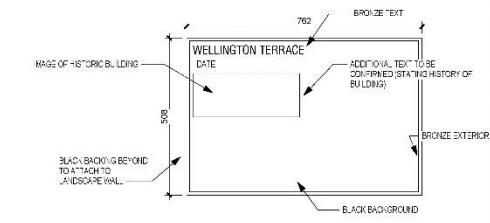
- COLLECTION TO BE PRIVATE, BI WEEKLY
- NO SURFACES THAT BINS ARE STORED, COLLECTED OR MANEUVERED WILL EXCEED 2% SLOPE



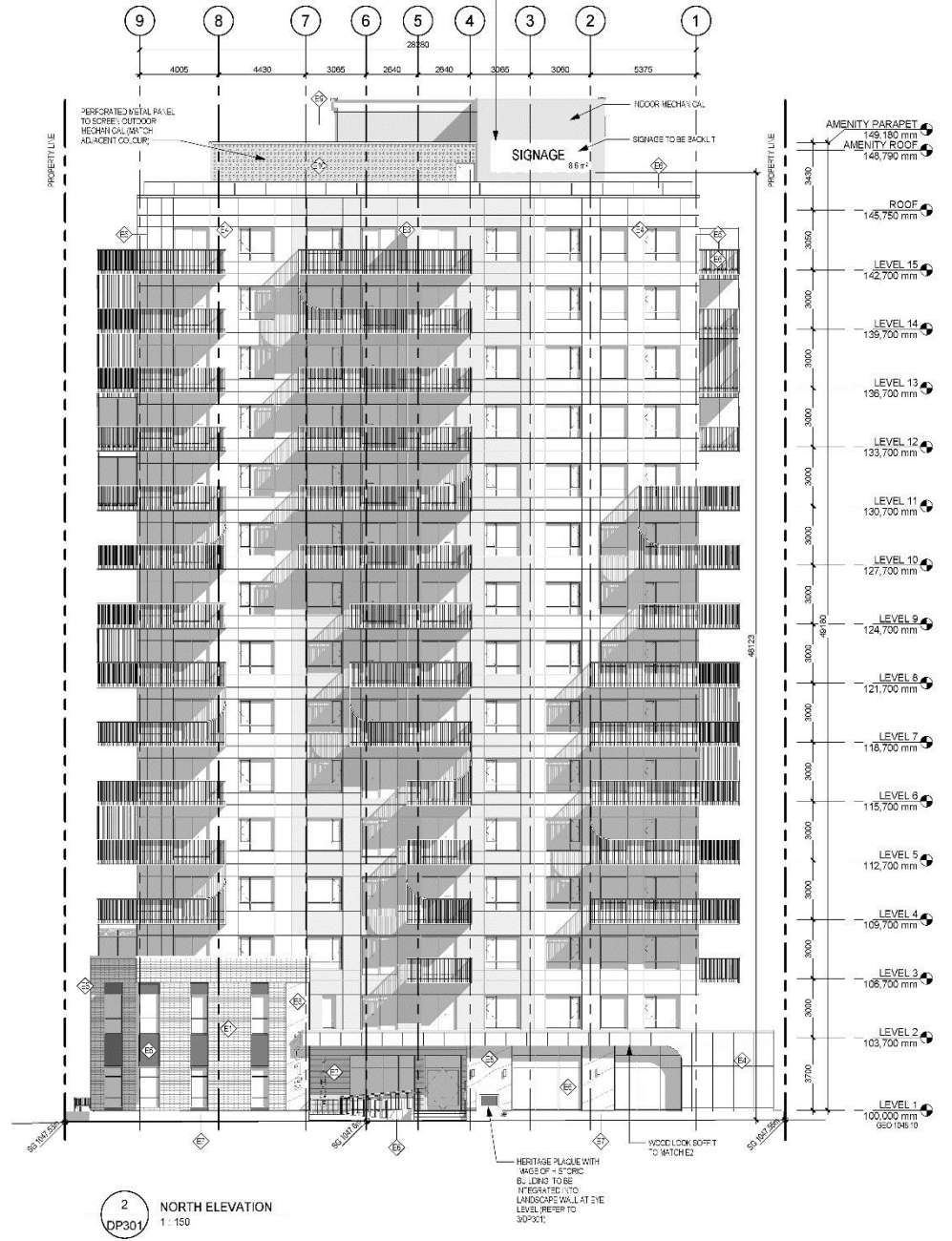
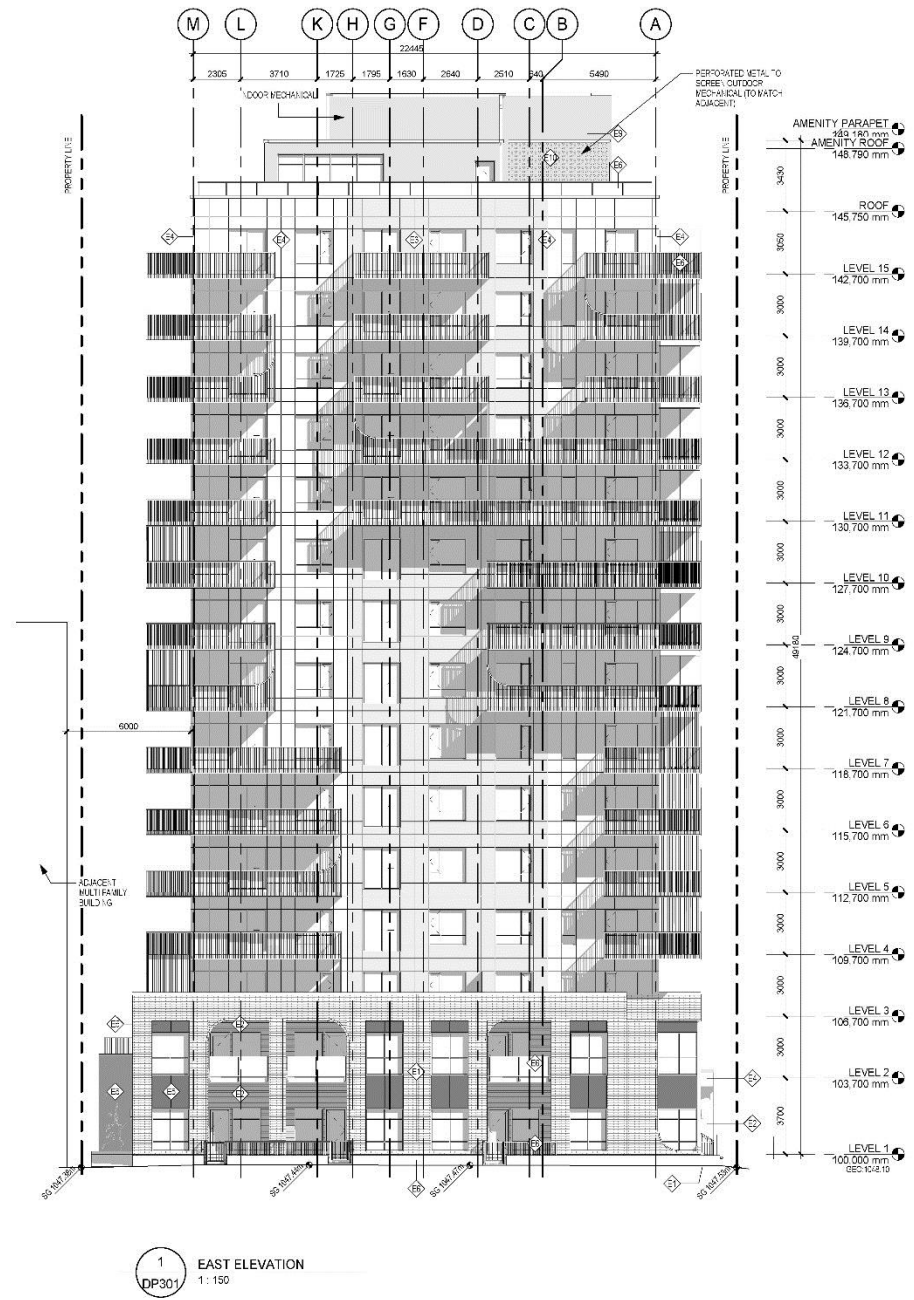


**MATERIAL LEGEND**

E1	BRICK - LIGHT NEUTRAL
E2	METAL WOOD-LOOK Siding - Oak
E3	METAL PANEL - BRICK & CHAMPAGNE
E4	METAL PANEL - WHITE
E5	METAL PANEL - CHARCOAL
E6	ALUMINUM GUARDS - BRONZE
E7	GRANITE AGGREGATE BLOCK - OLYV BLACK
E8	QUARTZ - DARK GREY
E9	METAL PANEL - BRONZE
E10	PERFORATED METAL PANEL - BRONZE



3 HERITAGE PLAQUE  
1:10  
DP301



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PROJECT TEAM:  
ARCHITECT:  
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MECHANICAL CONSULTANT:  
MCW GROUP  
ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.  
CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS  
LANDSCAPE:  
O2 PLANNING AND DESIGN INC.  
CLIENT NAME:  
JEMM Properties

CONSULTANT

SEAL

NO.	DESCRIPTION	DATE
D	DTR 3	2024-03-15
C	DTR 2	2024-02-12
B	DTR 1	2023-11-22
A	DEVELOPMENT PERMIT	2023-08-11

PROJECT TITLE:  
**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE:  
**EXTERIOR EAST & NORTH ELEVATIONS**

DRAWN	DATE
ES	Issue Date
SCALE	REVIEWED
As Indicated	ML

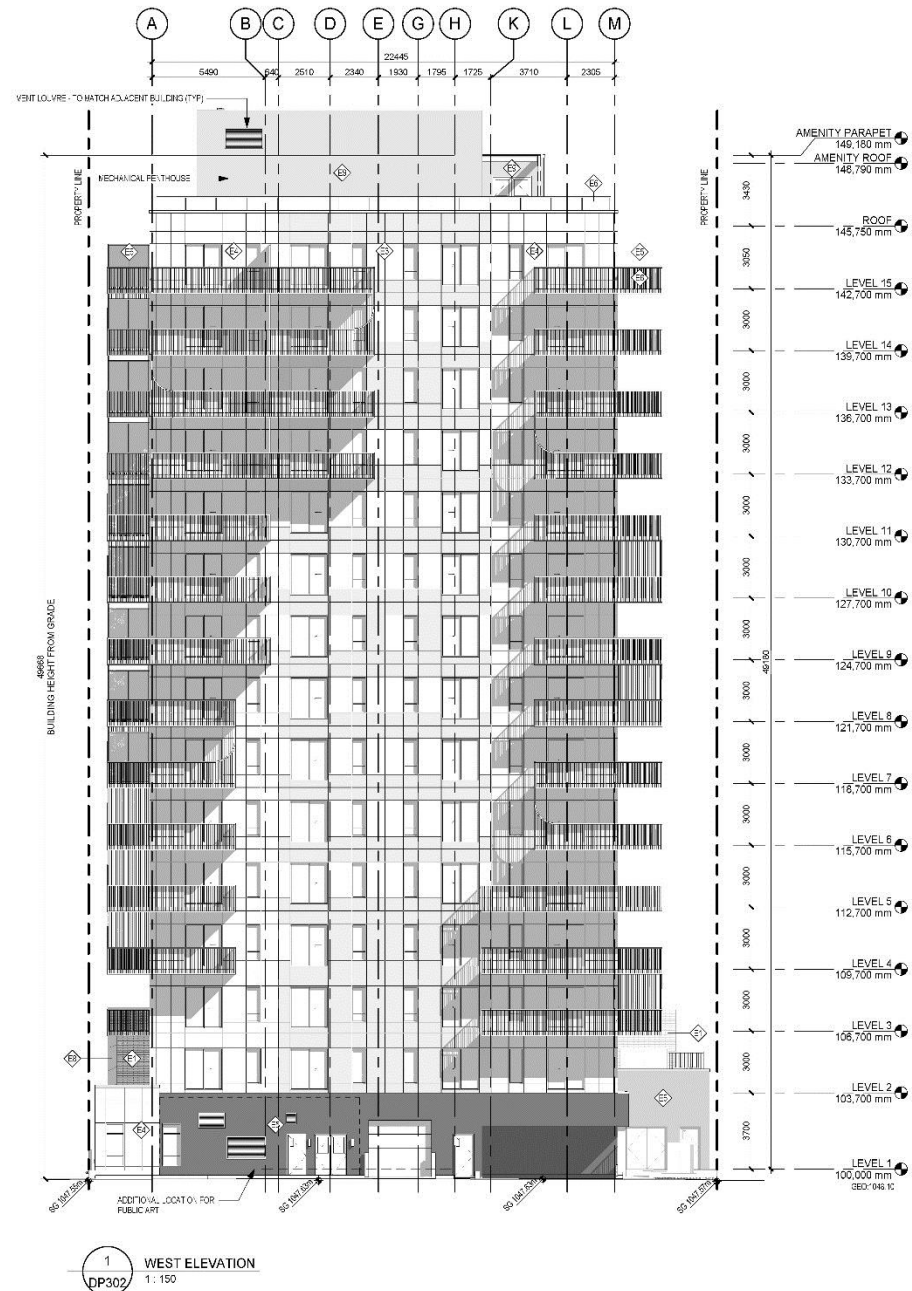
2021-008 PROJECT NO.

**DP301**

DTR 3 2024-03-15

**MATERIAL LEGEND**

E1	BRICK - LIGHT NEUTRAL
E2	METAL PANEL - LOOK'S DRINK - OAK
E3	METAL PANEL - BRICK & CHAMPAGNE
E4	METAL PANEL - WHITE
E5	METAL PANEL - CHARCOAL
E6	ALUMINUM GUARDS - BRONZE
E7	GRANITE AGGREGATE BLOCK - OLYV BLACK
E8	QUARTZ - DARK GREY
E9	METAL PANEL - BRONZE
E10	PERFORATED METAL PANEL - BRONZE



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ELECTRICAL CONSULTANT:  
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CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME:  
JEMM Properties

CONSULTANT

SEAL

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D	DTR 3	2024-03-15
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A	DEVELOPMENT PERMIT	2023-08-11

PROJECT TITLE:  
**SUNNYSIDE MULTI-FAMILY DEVELOPMENT**

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE:  
**EXTERIOR SOUTH & WEST ELEVATIONS**

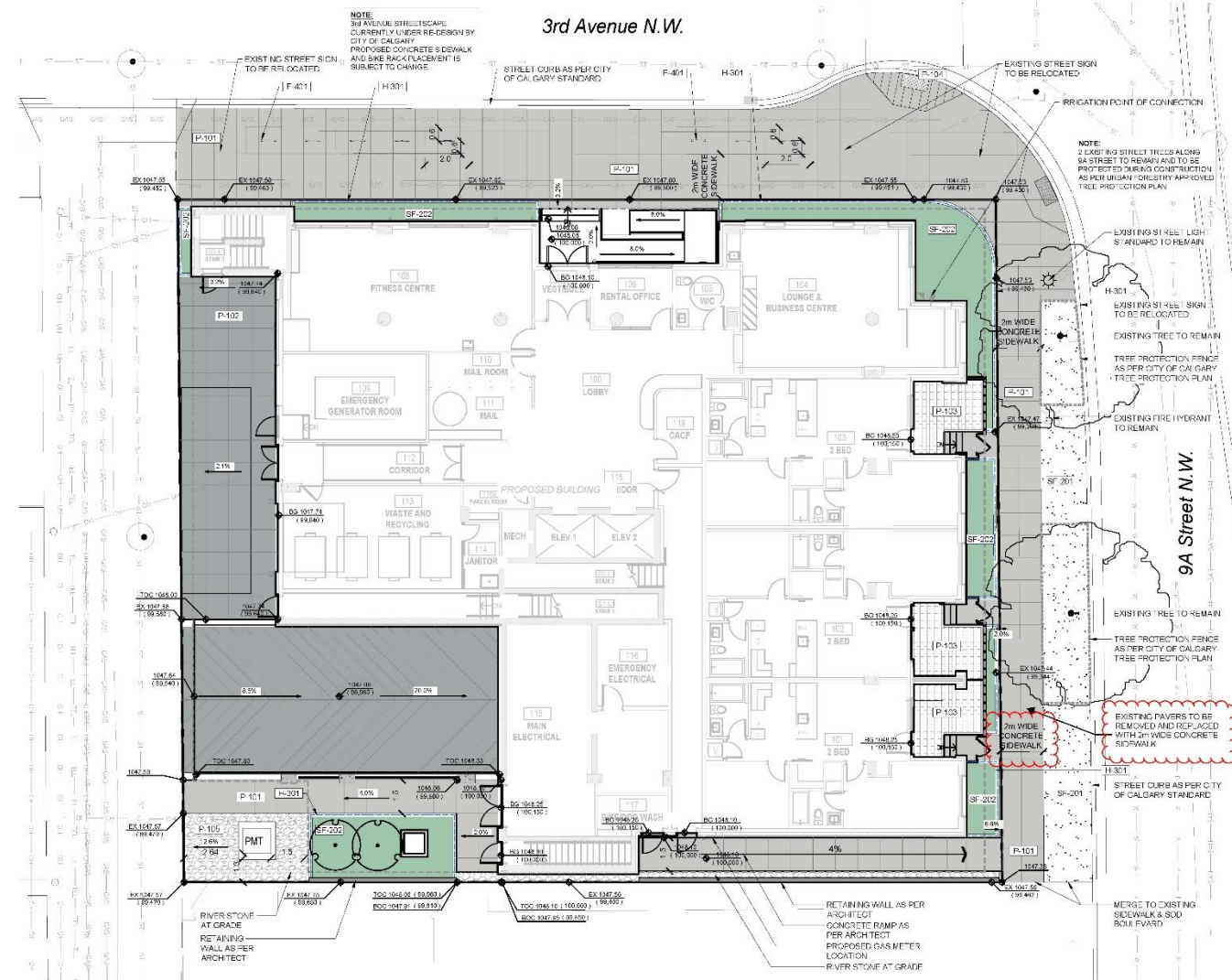
DRAWN: ES  
SCALE: As Indicated  
DATE: Issue Date  
REVIEWED: ML  
PROJECT NO.: 2021-008

**DP302**

DTR 3 2024-03-15







**BY-LAW REQUIREMENTS**  
(XX SITE BASED ON M.U.1)

REQUIREMENT	PROVIDED
LANDSCAPED AREA (HARD AND SOFT)	805.8 m <sup>2</sup>
LANDSCAPED AREA AT DRIVE (MINIMUM)	302.7 m <sup>2</sup>
1 TREE/4m <sup>2</sup> OF LANDSCAPED AREA	2
2 SHRUBS/1m <sup>2</sup> OF LANDSCAPED AREA	147

**REFERENCE NOTES SCHEDULE**

SYMBOL	1 - PAVING DESCRIPTION
P-101	CONCRETE PAVING - BROOK FINISH, NON-COLOURED
P-102	HEAVY DUTY CONCRETE
P-103	LOCKSTONE PAVING (200mm, 100mm, 150mm)
P-104	TACTILE PAVING INDICATOR (As per CDOC)
P-105	RIVERSTONE AT GRADE

SYMBOL	2 - SOFTSCAPE DESCRIPTION
SF-201	SOFTSCAPE PLANTING
SF-202	SHRUB BED - 50mm DEPTH BARK MULCH - 500mm DEPTH SOIL

SYMBOL	3 - HARDSCAPE ELEMENTS DESCRIPTION
H-301	500MM H.T. X 150MM W.D. CONCRETE PLANTER WALL

SYMBOL	4 - SITE FURNITURE
F-401	CLASS 2 SKE RACK - WAGLER 500 SERIES (0.1M STALLS)

**LANDSCAPE NOTES**

AN URBAN FORESTRY PROGRAM MUST BE IN PLACE DURING EXCAVATION AND INSTALLATION OF THE SIDEWALK IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION.

ALL SHRUB BEDS TO HAVE A BARK MULCH GROUND COVER TO REDUCE WEED SPREAD AND RETAIN MOISTURE.

FOR LANDSCAPED AREAS WITH A BUILDING BELOW, PLANTING AREAS TO HAVE THE FOLLOWING MINIMUM SOIL DEPTHS:  
 (1) 200MM FOR TREES  
 (2) 100MM FOR SHRUBS  
 (3) 50MM FOR ALL OTHER PLANTING AREAS.

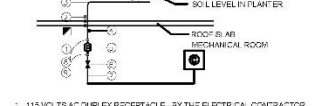
**IRRIGATION NOTES**

ALL TREES AND SHRUBS WITHIN PROPERTY LINE TO BE IRRIGATED USING LOW WATER USAGE Drip IRRIGATION SYSTEM. THE DESIGN INCORPORATES THE LOW WATER LANDSCAPING OPTION OBTAINED IN SECTION 556 OF THE BY-LAW TO REDUCE REQUIRED LANDSCAPED AREA BY 1% AT 10% OFFER AND TREE PLANTINGS CONFORM TO CITY RECOMMENDED SPECIES AND ARE LOCATED WITHIN SIMILAR HYDROZONES OR MOISTURE REQUIREMENTS SET-FORTH FOR RESTRICTED IRRIGATION AREAS.

**IRRIGATION REQUIREMENTS:**

- 1. 20mm P.V.C. ELECTRICAL CONDUIT
- 2. 50mm WATER SOURCE FOR THE IRRIGATION SYSTEM
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FULL COVERAGE IRRIGATION AS PER THE IRRIGATION PLAN PREPARED BY A REGISTERED IRRIGATION SPECIALIST FOR ALL SOFT LANDSCAPED AREAS. CONTRACTOR TO COORDINATE SLEEVING WITH JOS SITE INCLUDING STAIRS, PROVISIONS UNDER WALLS, CURBS, DRIVEWAYS AND SIDEWAYS. AS BUILT DRAWINGS AND OPERATING MANUALS ARE TO BE ISSUED TO OWNER UPON COMPLETION OF THE INSTALLATION.

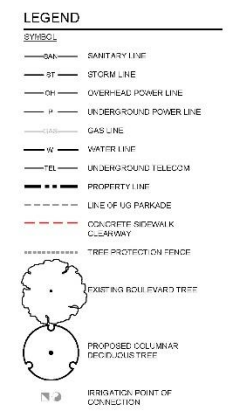
**METER ROOM - SCHEMATIC OF MECHANICAL AND ELECTRICAL REQUIREMENTS (N.T.S.)**



- 1. 115 VOLTS AC OVERHEAD SERVICE - BY THE ELECTRICAL CONTRACTOR
- 2. 20mm PVC ELECTRICAL CONDUIT - BY THE ELECTRICAL CONTRACTOR
- 3. 50mm COPPER LINE CARRIED - BY THE MECHANICAL CONTRACTOR
- 4. 15mm TRANSPARENT DW-DRIP END CONNECTION - BY MECHANICAL CONTRACTOR
- 5. BACKFLOW DEVICES - BY THE MECHANICAL CONTRACTOR (SEE AS REQUIRED)
- 6. 10mm SPLIT OFF VALVE - BY THE MECHANICAL CONTRACTOR
- 7. 50mm ILLUMINATED METER - BY THE MECHANICAL CONTRACTOR
- 8. 20mm UNIONS - BY THE MECHANICAL CONTRACTOR
- 9. DESIGNATED IRRIGATION METER - OPTIONAL
- 10. CONTROL BOX

NOTE: THE APPLICANT WILL BE RESPONSIBLE TO ACQUIRE THE NECESSARY UTILITY STAKE OUTS AND APPROVALS FROM THE PUBLIC UTILITIES COORDINATING COMMITTEE (P.U.C.) AND/OR TRANSPORTATION AND WORKS DEPARTMENT PRIOR TO THE INSTALLATION OF THE LANDSCAPE WORKS ON THE MUNICIPAL BOUNDARY.

PROVIDE A SEPARATE SUPPLY LINE TO IRRIGATE THE STREET TREES CAP OFF OF SUPPLY LINE AT THE PLANNED PORTION OF THE BOULEVARD.



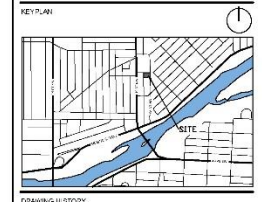
**LOLA Architecture**

520, 535 11 Avenue SW  
Calgary, AB T2R 1L9  
www.lolaarchitecture.ca  
503.265.5071

PROJECT TEAM  
ARCHITECT  
LOLA ARCHITECTURE INC.  
STRUCTURAL CONSULTANT  
TRL & ASSOCIATES LTD.  
MECHANICAL CONSULTANT  
MCHV GROUP  
ELECTRICAL CONSULTANT  
NEMETZ & ASSOCIATES LTD.  
CIVIL ENGINEER  
VERITAS DEVELOPMENT SOLUTIONS  
LANDSCAPE  
O2 PLANNING AND DESIGN INC.  
CLIENT NAME  
JEMM Properties

CONSULTANT  
**O2**  
O2 PLANNING AND DESIGN INC.  
1015 3rd Avenue NW  
Calgary, Alberta T2R 1L9  
Canada  
403.243.8888

**NOT FOR CONSTRUCTION**



DRAWING HISTORY

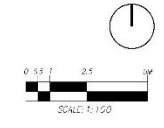
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1	ISSUED FOR 10% REVIEW	24-01-24
2	ISSUED FOR 20% REVIEW	24-02-24
3	ISSUED FOR 30% REVIEW	24-02-24

PROJECT TITLE  
**KENSINGTON MULTI-FAMILY DEVELOPMENT**

1015 3rd AVE NW  
CALGARY, ALBERTA

DRAWING TITLE  
**LANDSCAPE SITE PLAN**

DRAWN	REVIEWED
FM / DP / LS	MW
AS SHOWN	230602



**L-101**





620, 202 11 Ave SW  
Calgary, AB T2K 1L9  
www.lolaarchitecture.ca  
403.263.9973

PROJECT TEAM

ARCHITECT  
LOLA ARCHITECTURE INC.

STRUCTURAL CONSULTANT  
TRL & ASSOCIATES LTD.

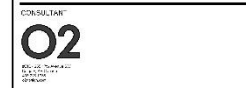
M-CHEMICAL DESIGN TEAM  
MCW GROUP

MECHANICAL DESIGN TEAM  
NEMETZ & ASSOCIATES LTD.

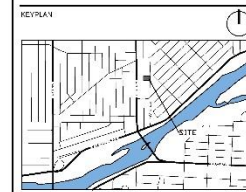
CIVIL DESIGN TEAM  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE  
O2 PLANNING AND DESIGN INC.

CLIENT NAME  
JEMM Properties



NOT FOR CONSTRUCTION



REVISIONS

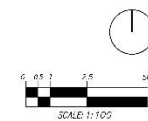
NO.	DESCRIPTION	DATE
0	ISSUED FOR PERMITS	26-03-19
1	ISSUED FOR COMMENT ON	26-03-19
2	ISSUED FOR 50% REVIEW	24-02-02
3	ISSUED FOR 30% REVIEW	22-10-19

PROJECT NAME  
**KENSINGTON MULTI-FAMILY DEVELOPMENT**

1015 3rd AVE NW  
CALGARY, ALBERTA

DRAWING TITLE  
**2nd FLOOR TERRACE LANDSCAPE PLAN**

DESIGN	SCALE	DATE
FM / DP / LS	AS SHOWN	230802



L-102

REFERENCE NOTES SCHEDULE

SYMBOL	2 - SOFTSCAPE DESCRIPTION
SF-202	SHRUB BED, -50mm DEPTH BARK MULCH -500 to 600mm DEPTH SOIL MIX

SYMBOL	3 - HARDSCAPE ELEMENTS DESCRIPTION
H-301	500MM HT. X 150MM WD. CONCRETE PLANTER WALL

LANDSCAPE NOTES

AN IRRIGATION TECHNICIAN MUST BE ON-SITE DURING EXCAVATION AND INSTALLATION OF THE SIDEWALK IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION.

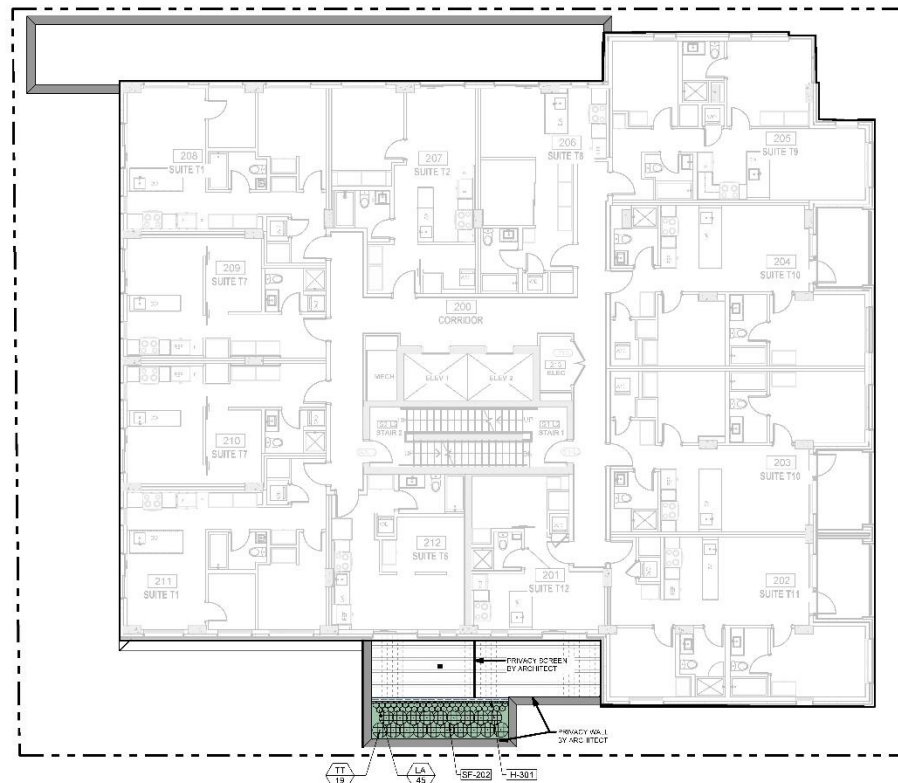
ALL SHRUB BEDS TO HAVE A BARK MULCH GROUND COVER TO REDUCE WEED SPREAD AND RETAIN MOISTURE.

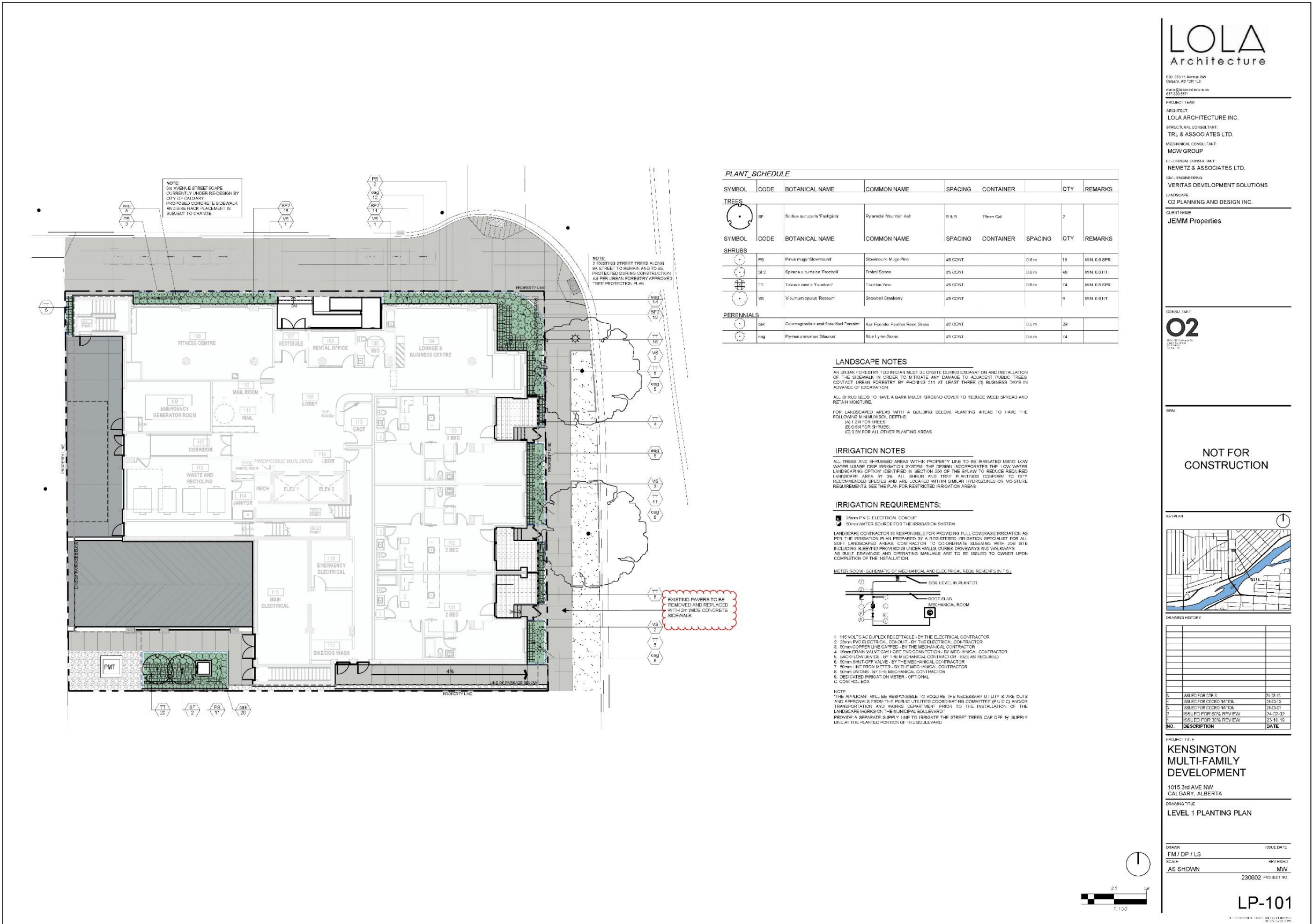
FOR LANDSCAPED AREAS WITH A BUILDING BELOW, PLANTING AREAS TO HAVE THE FOLLOWING MINIMUM SOIL DEPTHS:

- (A) 1.2M FOR TREES;
- (B) 0.6M FOR SHRUBS;
- (C) 0.3M FOR ALL OTHER PLANTING AREAS

PLANT SCHEDULE LEVEL 2

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SPACING	QTY	REMARKS
<b>SHRUBS</b>						
TT	TT	Taxus x media 'Taunton' / Taunton Yew	85 CONT.	0.9 m	10	MN, 0.8 SPR.
<b>PERENNIALS</b>						
LA	LA	Lysimachia nummularia 'Aurea' / Golden Creeping Jenny	15cm	0.25 m	45	





**LOLA Architecture**  
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Phone: (403) 243-1234  
Fax: (403) 243-1234  
www.lola.ca

**PROJECT TEAM**  
ARCHITECT: LOLA ARCHITECTURE INC.  
STRUCTURAL CONSULTANT: TRL & ASSOCIATES LTD.  
MECHANICAL CONSULTANT: MCW GROUP  
ELECTRICAL CONSULTANT: NEMETZ & ASSOCIATES LTD.  
CIVIL ENGINEER: VERITAS DEVELOPMENT SOLUTIONS  
LANDSCAPE: O2 PLANNING AND DESIGN INC.

**CLIENT NAME**  
JEMM Properties

**CONSULTANT**  
**O2**  
O2 PLANNING AND DESIGN INC.  
1015 3rd Ave NW  
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www.o2planning.com

**NOT FOR CONSTRUCTION**

**DRAWING HISTORY**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	24-03-16
2	ISSUED FOR COORDINATION	24-03-15
3	ISSUED FOR COORDINATION	24-03-14
4	ISSUED FOR 30% REVIEW	24-03-07
5	ISSUED FOR 30% REVIEW	24-10-16

**PROJECT TITLE**  
KENSINGTON MULTI-FAMILY DEVELOPMENT  
1015 3rd AVE NW  
CALGARY, ALBERTA

**DRAWING TITLE**  
LEVEL 1 PLANTING PLAN

**DATE**  
23/06/2024 PROJECT NO.

**ISSUE DATE**  
FM / DP / LS

**REVISIONS**  
AS SHOWN M/W

**SCALE**  
1:150

**LP-101**



630, 333 15 Avenue SW  
Calgary, AB T2C 1L5  
Phone: 403.266.6666  
Fax: 403.266.6667  
www.lola.ca

PROJECT TEAM:  
ARCHITECT:  
LOLA ARCHITECTURE INC.  
STRUCTURAL CONSULTANT:  
TRL & ASSOCIATES LTD.  
MECHANICAL CONSULTANT:  
MCW GROUP  
ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.  
ENVIRONMENTAL CONSULTANT:  
VERITAS DEVELOPMENT SOLUTIONS  
LANDSCAPE:  
O2 PLANNING AND DESIGN INC.  
CLIENT NAME:  
JEMM Properties

LEGEND

SYMBOL	DESCRIPTION
[Symbol]	FROST FREE HOSEBBS
[Symbol]	GAS CONNECTION FOR BBQ

BYLAW REQUIREMENTS

SYMBOL	GENERAL DESCRIPTION	QTY	PERCENTAGE
[Symbol]	SOFTSCAPE AREA PROVIDED AT L15 AMENITY	= 12.9m <sup>2</sup>	= 3.07%
[Symbol]	HARDSCAPE AREA PROVIDED AT L15 AMENITY	= 307.81m <sup>2</sup>	= 96.93%
TOTAL LANDSCAPED AREA PROVIDED AT L15		= 320.71m <sup>2</sup>	
TOTAL LANDSCAPE AREA (GROUND + L15)		= 740m <sup>2</sup>	

REFERENCE NOTES SCHEDULE - ROOFTOP

SYMBOL	1 - PAVING DESCRIPTION	QTY	DETAIL
[Symbol]	PRECAST CONCRETE UNIT PAVING COLOUR AND FINISH TBD. TYPICAL 600x600x50mm SIMILAR LINEAR PATTERNS. MINIMUM DEPTH = 100mm	280.23 m <sup>2</sup>	
[Symbol]	DECKING	55.60 m <sup>2</sup>	
SYMBOL	2 - SOFTSCAPE DESCRIPTION	QTY	DETAIL
[Symbol]	ARTIFICIAL TURF (50% Augustine X47 Turf By SYN Lawn)	20.4 m <sup>2</sup>	
[Symbol]	CUSTOM PLANTERS BY GREEN THEORY		
[Symbol]	PLANTERS - 1x1.5x0.8m HIGH	5	
[Symbol]	PLANTERS - 1x2.0x0.8m HIGH	3	
SYMBOL	4 - SITE FURNITURE DESCRIPTION	QTY	DETAIL
[Symbol]	DINING CHAIR: LANDSCAPE FORMS CHIPPANAU CHAIR OR SIMILAR WELDED STEEL LIGHTWEIGHT CAST ALUMINUM STACKING CHAIR WITH ARMS 22IN D X 24IN W X 30IN H. FRAME: BRONZE METALLIC	8	
[Symbol]	DINING TABLE: LANDSCAPE FORMS CHIPPANAU TABLE CAST ALUMINUM BASES AND SUPPORT TUBES FOR SLIT STEEL TABLE TOP 30IN L X 24IN D X 28IN H. TABLE: BRONZE METALLIC	3	
[Symbol]	SINGLE LOUNGER: LANDSCAPE FORMS HARVEST OR SIMILAR WELDED STEEL STRUCTURE W/ SLATTED WOOD SEAT PANELING. FRAME: BRONZE METALLIC. SEAT: PE EXTERIOR WOOD	4	
[Symbol]	DOUBLE LOUNGER: LANDSCAPE FORMS HARVEST OR SIMILAR WELDED STEEL STRUCTURE W/ SLATTED WOOD SEAT PANELING. FRAME: BRONZE METALLIC. SEAT: PE EXTERIOR WOOD	2	
[Symbol]	BENCH: LANDSCAPE FORMS HARVEST HARVEST SERIES DINING SET BENCH. METAL FRAME WITH RECYCLED HDPE PLASTIC SURFACE. FREE-STANDING OR SUN-ASSISTED BY AVAILABLE. 96IN L X 18.25IN D X 18.75IN H. BENCH: BRONZE METALLIC	3	
[Symbol]	LOUNGE CHAIR: MAGNUM 1123 M THE ROCK-TOWN CHAIR FRAME IS CONSTRUCTED OF LASER CUT AND FORMED STEEL. FRAME: OBT GREEN GLASS	10	
[Symbol]	FIRE OR COFFEE TABLE: MANUFACTURER TBD	2	
[Symbol]	LOUNGE TABLE: MANUFACTURER TBD	1	
[Symbol]	LOUNGE FURNITURE: MANUFACTURER TBD	2	
[Symbol]	BBQ STATION - MODEL TBD	2	
[Symbol]	BAR CHAIR: LANDSCAPE FORMS CHIPPANAU CHAIR OR SIMILAR WELDED STEEL LIGHTWEIGHT CAST ALUMINUM FRAME. BRONZE METALLIC	4	
[Symbol]	WALL SCHEME BY ARCHITECT	30	
[Symbol]	CUSTOM BENCH - JOIN SEATING CUSTOM BENCH BY GREEN THEORY	5	

LANDSCAPE NOTES

ALL WOOD PRODUCTS USED ON ROOF WILL BE TREATED WITH FIRE RESISTANT FINISH FOR FIRE PROTECTION WHICH CONFORMS TO THE CITY OF CALGARY BULLETIN 1809-020 AND ASTM D2066 AND CANULC 31102



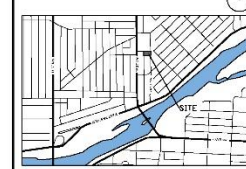
CONSULTANT



SCALE

NOT FOR CONSTRUCTION

KEY PLAN



DRAWING HISTORY

NO.	DESCRIPTION	DATE
5	ISSUED FOR 0% REVIEW	24-05-15
4	ISSUED FOR COORDINATION	24-03-13
3	ISSUED FOR COORDINATION	24-03-28
2	ISSUED FOR COORDINATION	24-02-23
1	ISSUED FOR COORDINATION	24-02-07
2	ISSUED FOR 60% REVIEW	24-03-07
1	ISSUED FOR 30% REVIEW	23-10-16

PROJECT TITLE

KENSINGTON MULTI-FAMILY DEVELOPMENT

1015 3rd AVE NW  
CALGARY, ALBERTA

DRAWING TITLE

LEVEL 15 LANDSCAPE LAYOUT & MATERIALS

DESIGNER	ISSUE DATE
FM / DP / LS	
AS SHOWN	

L-103





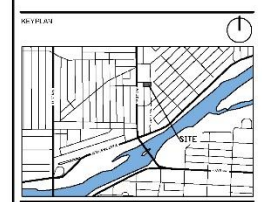
**LOLA**  
Architecture

630, 333-15 Avenue SW  
Calgary, AB T2C 1L5  
PH: 403-266-1909  
OFF: 403-266-1909

PROJECT TEAM:  
ARCHITECT:  
LOLA ARCHITECTURE INC.  
STRUCTURAL CONSULTANT:  
TRL & ASSOCIATES LTD.  
MECHANICAL CONSULTANT:  
MCW GROUP  
ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.  
CIVIL ENGINEER:  
VERITAS DEVELOPMENT SOLUTIONS  
LANDSCAPE:  
O2 PLANNING AND DESIGN INC.  
CLIENT NAME:  
JEMM Properties

CONSULTANT:  
**O2**

NOT FOR  
CONSTRUCTION



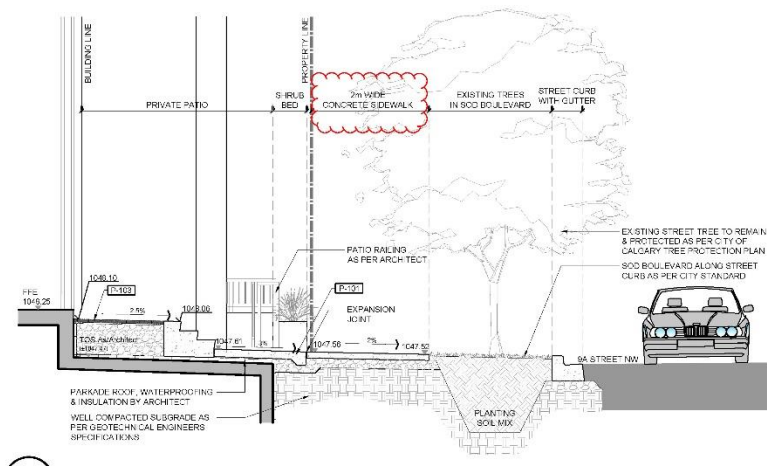
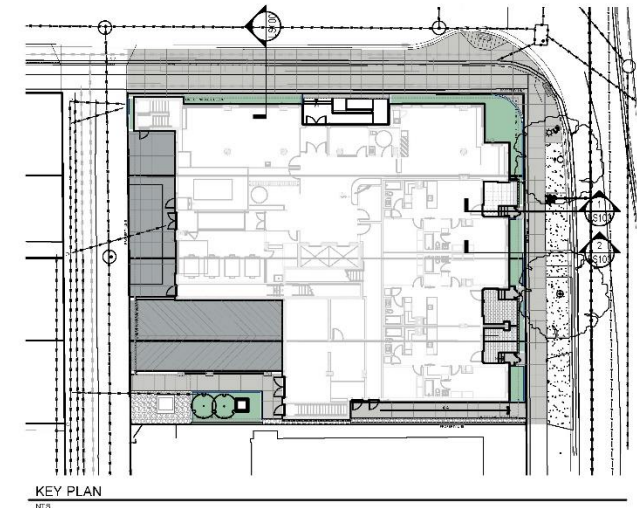
DRAWING HISTORY

NO.	DESCRIPTION	DATE
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2	ISSUED FOR 60% REVIEW	24-03-07
1	ISSUED FOR 30% REVIEW	25-10-16

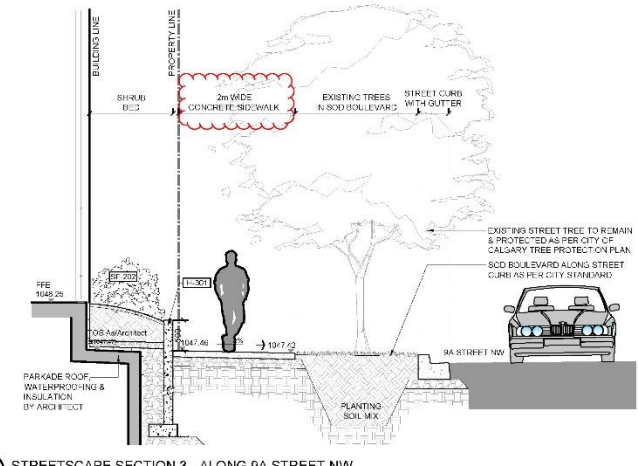
PROJECT TITLE:  
**KENSINGTON  
MULTI-FAMILY  
DEVELOPMENT**  
1015 3rd AVE NW  
CALGARY, ALBERTA  
DRAWING TITLE:  
STREETSCAPE SECTIONS

DRAWN:  
FM / DP / LS  
SCALE:  
AS SHOWN  
ISSUE DATE:  
230602 PROJECT NO.

**LS-100**



**1** STREETSCAPE SECTION 2 - ALONG 9A STREET NW  
Scale 1:48



**2** STREETSCAPE SECTION 3 - ALONG 9A STREET NW  
Scale 1:48

**1 CONCRETE PAVING ON/OFF PARKADE SLAB**  
1:10 P-101

**2 CONCRETE JOINTS**  
1:10 P-102

**3 HEAVY DUTY CONCRETE OVER PARKADE**  
1:10 P-102

**4 LOCKSTONE PAVING ON SLAB**  
1:15 P-103

**5 RIVERSTONE AT GRADE**  
1:10 P-105

**6 WOOD DECK ON PEDESTALS**  
1:10 P-106

**7 BIKE RACK**  
N.T.S. P-02-JEM1-08

**8 SHRUB PLANTING ON SLAB**  
N.T.S. SF-202

**9 ARTIFICIAL TURF ON SLAB**  
1:10 SF-203

**10 TREE PROTECTION FENCE FOR EXISTING BOULEVARD TREES**  
1:10

**REFERENCE NOTES SCHEDULE**

S/YMBOL	1 - PAVING DESCRIPTION
P-101	CONCRETE PAVING - BROOM FINISH, NON-COLOURED
P-102	HEAVY DUTY CONCRETE
P-103	LOCKSTONE PAVING (Size, Pattern, Colour TBD)
P-104	TACTILE PAVING INDICATOR (As per COC)
P-105	RIVERSTONE AT GRADE
P-106	DECKING
S/YMBOL	2 - SOFTSCAPE DESCRIPTION
SF-201	SOD BOULEVARD
SF-202	SHRUB BED 600mm DEPTH BARK MULCH 600mm DEPTH SOIL MIX
SF-203	ARTIFICIAL TURF ON SLAB (S/VN Augustine X47 Turf by S/VN Lawn)
S/YMBOL	3 - HARDSCAPE ELEMENTS DESCRIPTION
H-301	500MM HT. X 150MM WD. CONCRETE PLANTER WALL
S/YMBOL	4 - SITE FURNITURE DESCRIPTION
F-401	CLASS 2 BIKE RACK: MAGLIN 500 SERIES

**500 SERIES**  
Legacy #MBR500-S

**Sustainability Facts**

Unit Size	One (1) MBR-500S-01 (Blue Steel)
Carbon Footprint (CO2e)	163 kg CO2e/kg
Embodied Energy (MJ)	1770 MJ/kg
Recycled Content (by weight)	100%
Material Recyclability	100%
LEED v4.0 Credits	1

**7 BIKE RACK**  
N.T.S.

**LOLA Architecture**  
630, 333 11 Avenue SW  
Calgary, AB T2R 1Z8  
403.243.8888  
403.243.8897

PROJECT TEAM  
ARCHITECT: LOLA ARCHITECTURE INC.  
STRUCTURAL CONSULTANT: TRL & ASSOCIATES LTD.  
MECHANICAL CONSULTANT: MCW GROUP  
ELECTRICAL CONSULTANT: NEMETZ & ASSOCIATES LTD.  
CHAIR ENGINEER: VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE: O2 PLANNING AND DESIGN INC.  
CLIENT NAME: JEMM Properties

CONSULTANT  
**O2**  
O2 PLANNING AND DESIGN INC.  
1015 3RD AVE NW  
CALGARY, ALBERTA T2R 1B7  
403.243.8888

NOT FOR CONSTRUCTION

REPLAN

DRAWING HISTORY

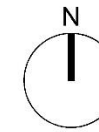
NO.	DESCRIPTION	DATE
3	ISSUED FOR DFR 3	24-03-15
2	ISSUED FOR 60% REVIEW	24-02-02
1	ISSUED FOR 30% REVIEW	23-10-19

PROJECT TITLE  
**KENSINGTON MULTI-FAMILY DEVELOPMENT**  
1015 3RD AVE NW  
CALGARY, ALBERTA

DRAWING TITLE  
**LANDSCAPE DETAILS**

DRAWN	ISSUE DATE
FM / DP / LS	
AS SHOWN	REVIEWED: MW
	230602 PROJECT NO.

**LS-101**



**LOLA**  
Architecture

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info@lolaarchitecture.ca  
403.289.2891

PROJECT TEAM:  
ARCHITECT:  
LOLA ARCHITECTURE INC.

STRUCTURAL CONSULTANT:  
TRL & ASSOCIATES LTD.  
MECHANICAL CONSULTANT:  
MCW GROUP

ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME:

CONSULTANT

**NEMETZ (S/A) & ASSOCIATES LTD.**  
CONSULTING ENGINEERS

525 11th AVENUE SW, SUITE 305, CALGARY, AB T2R 0C9  
T E L: (403) 294 - 9027 F A X: (403) 294 - 9028  
214 KING ST. WEST, SUITE 214 TORONTO, ON M5H3Z6  
T E L: (647) 253 - 0086 F A X: (647) 253 - 2085

2 0 0 9 WEST 4 TH AVENUE, VANCOUVER, BC V6J1N3  
T E L: (604) 736 - 6552 F A X: (604) 736 - 9805  
E-MAIL: ENGINEERS@NEMETZ.COM

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SEAL



FEBRUARY 12, 2024  
DP-074236

**PERMIT TO PRACTICE**  
NEMETZ (S/A) & ASSOCIATES LTD.  
Signature: *[Signature]*  
Date: FEBRUARY 12, 2024  
PERMIT NUMBER: P 08706  
The Association of Professional Engineers  
Geologists and Geophysicists of Alberta  
APEGA ID# 074236

DRAWING HISTORY

NO.	DESCRIPTION	DATE
3	ISSUED FOR DTR #2	2024-02-12
2	ISSUED FOR DTR #1	2023-11-09
1	ISSUED FOR DP	2023-08-02

PROJECT TITLE

**JEMM PROPERTIES - KENSINGTON**

1015 3rd Ave, NW  
Calgary, Alberta

DRAWING TITLE

**SITE PLAN**

DRAWN DATE

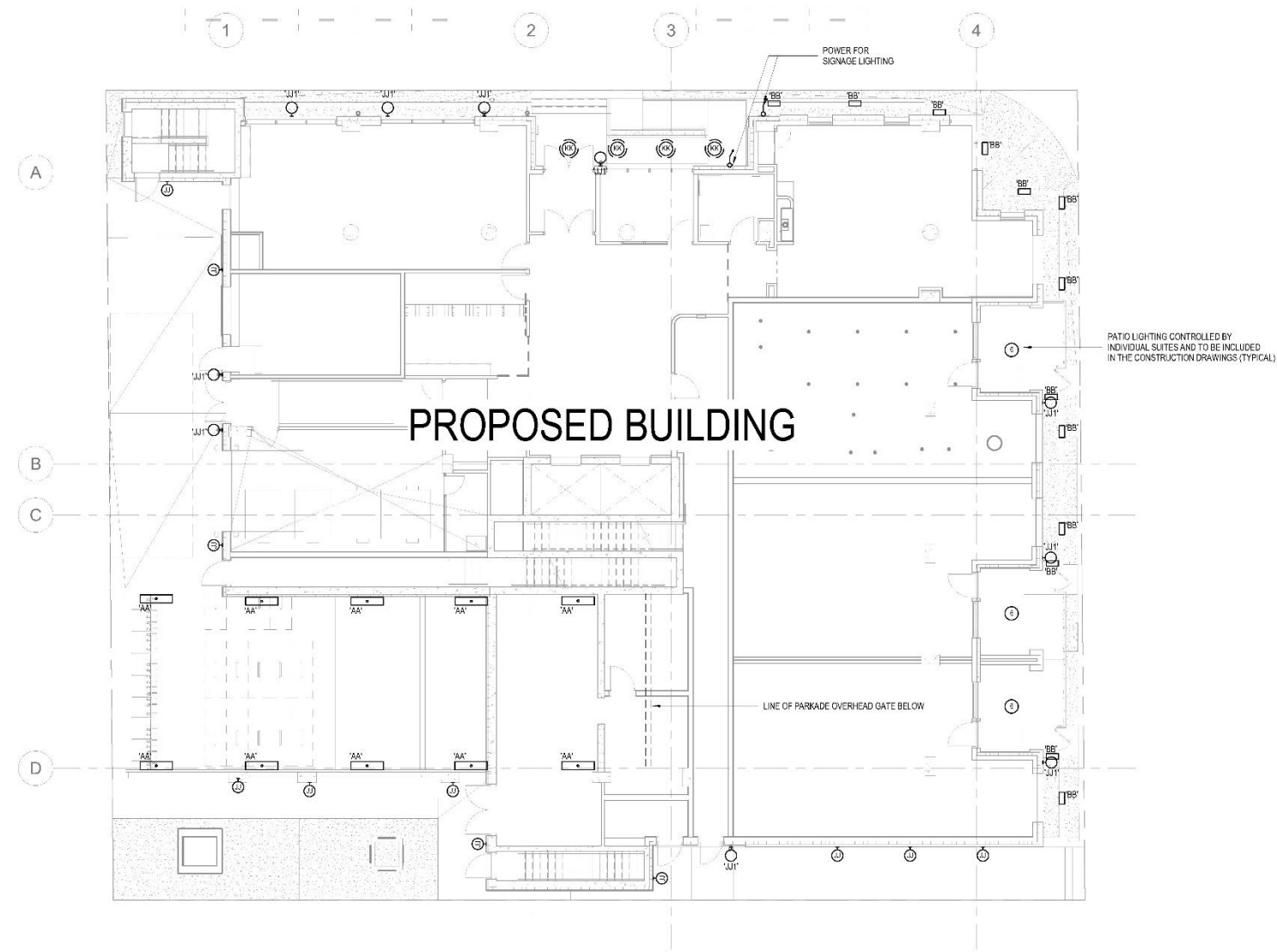
SCALE ISSUE DATE

1 : 100 REVIEWED

PROJECT NO.

**DP E-101**

Drawn: [Name] Date: [Date]  
Checked: [Name] Date: [Date]  
Reviewed: [Name] Date: [Date]



**1 SITE LIGHTING PLAN**  
1 : 100

**CIVIC ADDRESS:**  
1015 - 3rd Ave NW, Calgary AB

**LEGAL ADDRESS:**  
Lot 4, Block 2, Plan 2311712

Sheet List

Sheet Number	Sheet Name	Scale
DP E-101	SITE PLAN	
DP E-102	PHOTOMETRIC CALCULATION	
DP E-103	LUMINAIRE SCHEDULE	

**LANDSCAPE ALLOWANCE:**  
ALL SITE LIGHTING TO BE CONTROLLED BY PHOTOCELL ON/TIMECLOCK OFF COMBINATION.  
CONFIRM SITE LIGHTING WITH ARCHITECT/ LANDSCAPE ARCHITECT.  
E.G. TO ALLOW FOR 600 FT. OF 1" CONDUIT CW 14H890 FOR IRRIGATION STUB POINTS TO LATER DETAIL.

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, INTERIOR DESIGN AND MECHANICAL DRAWINGS INCLUDING DETAIL BOOKS. DETAILS MAY VARY TO WHAT IS SHOWN. ADJUST TO SUIT THE DETAILED FINISH DRAWINGS. SITE CONDITIONS WHICH MAY PROHIBIT THE EXACT POSITIONING OF LIGHT FIXTURES AND OTHER ELECTRICAL DEVICES SHALL BE REPORTED TO THE APPROPRIATE CONSULTANT IMMEDIATELY FOR FURTHER INSTRUCTIONS.

Project Status





**LOLA**  
Architecture

623, 333 11 Avenue SW  
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Info@lolaarchitecture.ca  
403.299.2881

**PROJECT TEAM:**

ARCH-TECT:  
LOLA ARCHITECTURE INC.

STRUCTURAL CONSULTANT:  
TRL & ASSOCIATES LTD.

MECHANICAL CONSULTANT:  
MCW GROUP

ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

LANDSCAPE:  
O2 PLANNING AND DESIGN INC.

CLIENT NAME

CONSULTANT

CONSULTANT

CONSULTANT

CONSULTANT

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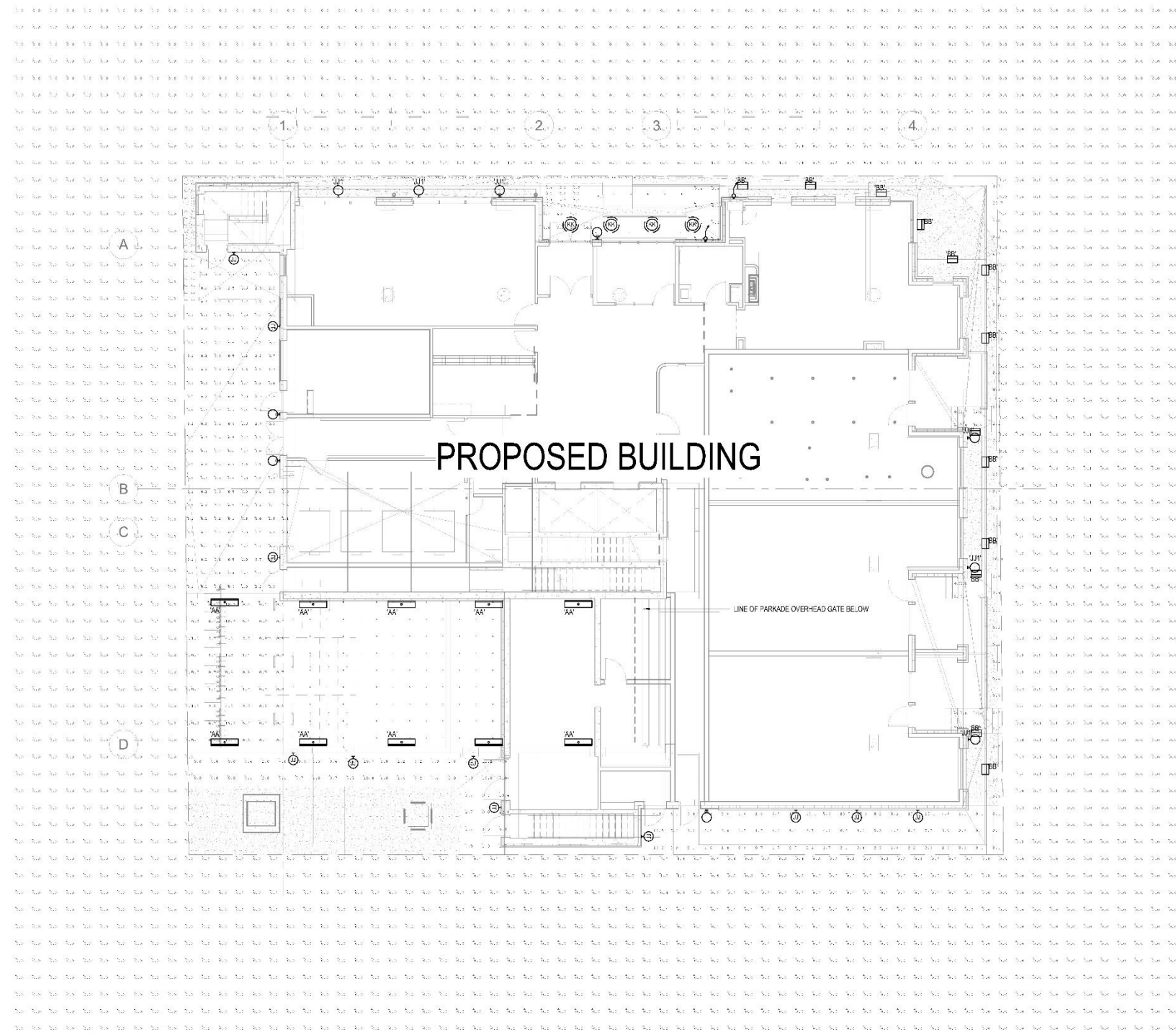
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NO.	REVISION	DATE
1	ISSUED FOR DTR #2	2024-02-12
2	ISSUED FOR DTR #1	2023-11-09
1	ISSUED FOR DP	2023-08-02

**1** PHOTOMETRIC CALCULATION  
1 : 100

Project Status

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SEAL

FEBRUARY 12, 2024  
ID# 074236  
PERMIT TO PRACTICE  
NEMETZ (S/A) & ASSOCIATES LTD.  
Signature: *[Signature]*  
Date: FEBRUARY 12, 2024  
PERMIT NUMBER: P 08706  
The Association of Professional Engineers,  
Geologists and Geophysicists of Alberta  
APEGA ID# 074236

DRAWING HISTORY

NO.	DESCRIPTION	DATE
3	ISSUED FOR DTR #2	2024-02-12
2	ISSUED FOR DTR #1	2023-11-09
1	ISSUED FOR DP	2023-08-02

PROJECT TITLE  
**JEMM PROPERTIES - KENSINGTON**  
1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE  
**PHOTOMETRIC CALCULATION**

DRAWN	DATE
	Issue Date
SCALE	REVIEWED
1 : 100	
PROJECT NO.	

**DP E-102**

SECT04 13.08.2014  
A:\proj\2024\CPC2024-0395\JEMM\_KENSINGTON\DP\_E-102.dwg



**LOLA**  
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PROJECT TEAM:

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MECHANICAL CONSULTANT:  
MCW GROUP

ELECTRICAL CONSULTANT:  
NEMETZ & ASSOCIATES LTD.

CIVIL ENGINEERING:  
VERITAS DEVELOPMENT SOLUTIONS

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SEAL



FEBRUARY 12, 2024  
(06-074236)

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NEMETZ (S/A) & ASSOCIATES LTD.  
Signature: *[Signature]*  
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DRAWING HISTORY

NO.	DESCRIPTION	DATE
3	ISSUED FOR DTR #2	2024-02-12
2	ISSUED FOR DTR #1	2023-11-09
1	ISSUED FOR DP	2023-08-02

PROJECT TITLE

**JEMM PROPERTIES - KENSINGTON**

1015 3rd Ave. NW  
Calgary, Alberta

DRAWING TITLE

**LUMINAIRE SCHEDULE**

DRAWN

DATE

Issue Date

SCALE

REVIEWED

1 : 2

PROJECT NO.

**DP E-103**

Sheet 13 of 14  
Approved For: [Signature] Date: [Date]

Project Status

LUMINAIRE SCHEDULE					
	NEMETZ TYPE	DESCRIPTION	LOCATION	LAMPING	MOUNTING
<b>NOTES:</b>					
1.		LIGHTING IS DESIGNED TO COMPLY WITH ENERGY CODE. THE CONTRACTOR SHALL NOT CHANGE LIGHTING WITHOUT ENGINEERS APPROVAL.			
2.		PARKADE LIGHTING LOCATED IN SPRAY-ON INSULATION SHALL BE SET DOWN TO CLEAR THE INSULATION.			
3.		INSTALLATION OF ALL PARKADE LIGHTING FIXTURES TO CLEAR ALL OBSTRUCTIONS IN ORDER TO MAINTAIN PROPER LIGHT LEVELS. LIGHT FIXTURE MINIMUM HEIGHT TO BE 7'-0" CLEAR AND MAXIMUM 12'-0" CLEAR. WHERE 7'-0" CLEAR IS NOT ATTAINABLE, WIRE GUARDS MUST BE USED.			
4.		LIGHTING IN PARKADE AND MECHANICAL ROOMS TO BE SUSPENDED AS NECESSARY TO CLEAR MECHANICAL LINES AND DUCTS.			
5.		LIGHTING IN SPRINKLER MECHANICAL ROOMS AND ELECTRICAL ROOMS SHALL BE ON EM POWER.			
6.		SURFACE MOUNTED WALL LIGHTS SHALL NOT BE SET LOWER THAN 6'-8" (205mm) TO CENTER OF OUTLET BOX WITHOUT SPECIAL PERMISSION FROM ELECTRICAL INSPECTOR.			
7.		ALL RECESSED LIGHTS LOCATED IN INSULATED CEILINGS MUST BE SUPPLIED C/W I.C. RATED HOUSINGS.			
8.		ANY CONTRACTOR PROPOSED ALTERNATE LIGHT FIXTURE IN LIEU OF SPECIFIED SHALL BE SUBJECT TO APPROVAL OF THE DESIGNER AND ENGINEER. SUBMIT A BREAKDOWN OF COST SHOWING THE NET DIFFERENCE TO THE DEDUCTED OR ADDED TO THE TENDER PRICE IF ACCEPTED. INCLUDE FOR AND ASSUME RESPONSIBILITY FOR ANY ADDITIONAL COST INCURRED BY OTHER DISCIPLINES AND TRADES, RESULTING FROM SUBSTITUTION AS WELL AS LIGHTING SYSTEM PERFORMANCE.			
9.		ALL LIGHTING TO BE CSA OR CUL APPROVED AS A SYSTEM.			
10.		ALL LUMINAIRES CONTROLLED BY OCCUPANCY SENSOR MUST BE SUPPLIED WITH COMPATIBLE ELECTRONIC PROGRAM START BALLASTS.			
11.		E.C. TO ENSURE ALL LINEAR AND COMPACT FLUORESCENT LAMPS TO BE SUPPLIED AND INSTALLED ARE LOW MERCURY, WITH AVERAGE MERCURY CONTENT OF 70 MICROGRAMS PER LUMEN HOUR OR BELOW.			
12.		LUMINAIRES LOCATED IN THE DRIVE AILE OR BELOW 2.1 METERS MUST BE INDIVIDUALLY PROTECTED FROM MECHANICAL INJURY.			
	NEMETZ TYPE	DESCRIPTION	LOCATION	LAMPING	MOUNTING
<b>EXTERIOR</b>					
	AA	BEGA LIGHTING 24 211	ENTRY RAMP	4.87W LED 3000K 581 LUMENS	RECESSED/ WALL
	BB	BEGA LIGHTING 24 202	EXTERIOR PLANTERS	2.9W LED 3000K 274 LUMENS	RECESSED/ PLANTER
	JJ	SENSO LIGHTING 652-S-A90-624-30-07-DL-XX-XX-955-XX-STD-120	EXTERIOR	6.1W LED 3000K 700 LUMENS	SURFACE/ WALL
	JJ1	KUZCO LIGHTING COPENHAGEN EW48218	EXTERIOR FAÇADE	16W LED 661LM 3000K	SURFACE/ WALL
	KK	SENSO LIGHTING 510-FI-A90-640-30-07-DI-01-915-STD-120	MAIN ENTRY SOFFIT	6.1W LED 3000K 602 LUMENS	RECESSED/SOFFIT