

Development Permit Plans

ICON 2



IMAGES SHOWN ON THIS PAGE ARE REPRESENTATIONS ONLY. EXACT CONFIGURATION MAY VARY. ALL BUILDING AND SITE DESIGN SUBJECT TO APPROVAL BY THE APPROVING AUTHORITY

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STRUCTURAL

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STRUCTURAL



ELECTRICAL



MECHANICAL



LANDSCAPE



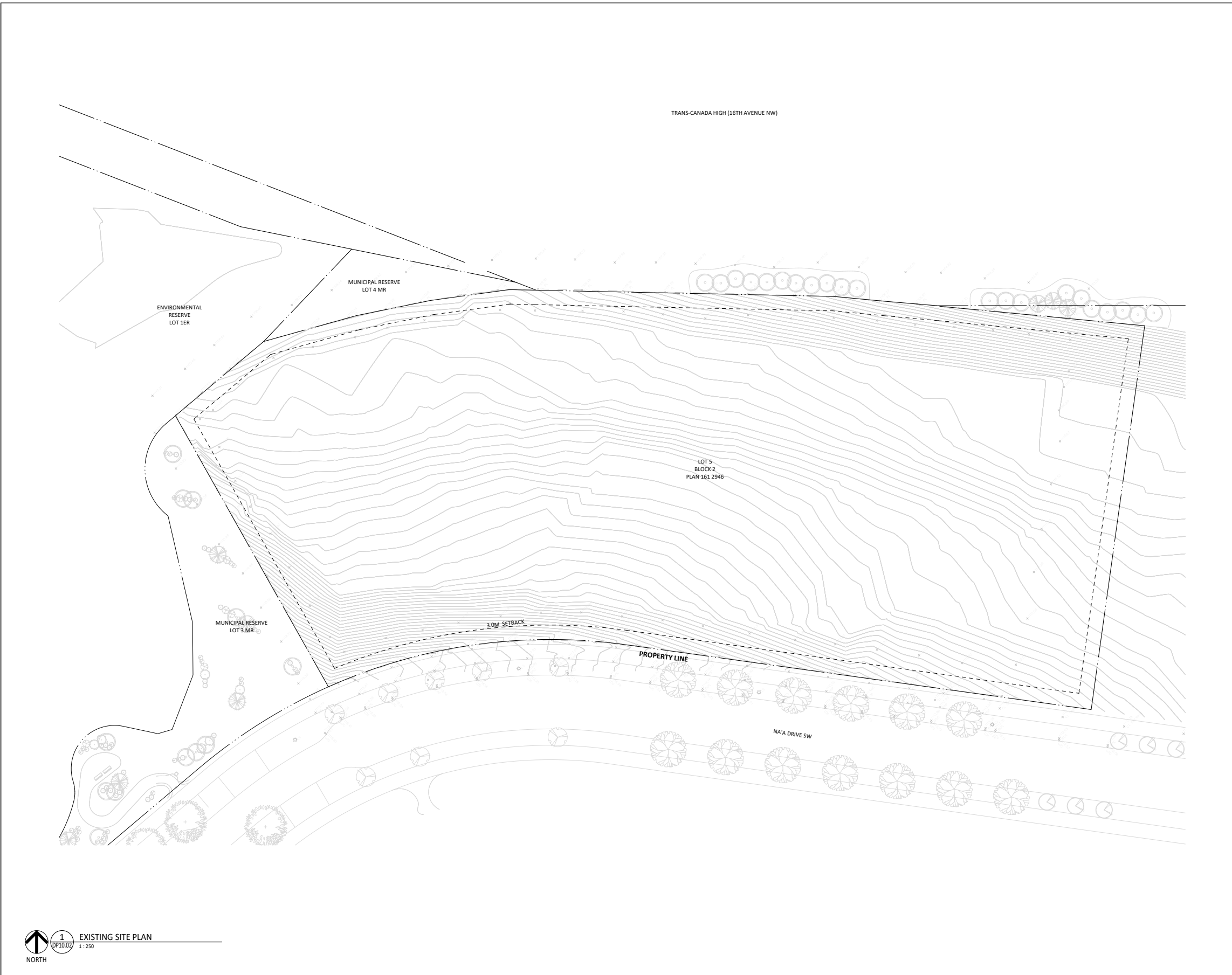
CIVIL



DTR 2 SUBMISSION - 02-28-2024



PROJECT NAME: ICON 2 DEVELOPMENT PERMIT: DP2023-06487
PROJECT ADDRESS: Calgary, Alberta PROJECT NUMBER: 23015



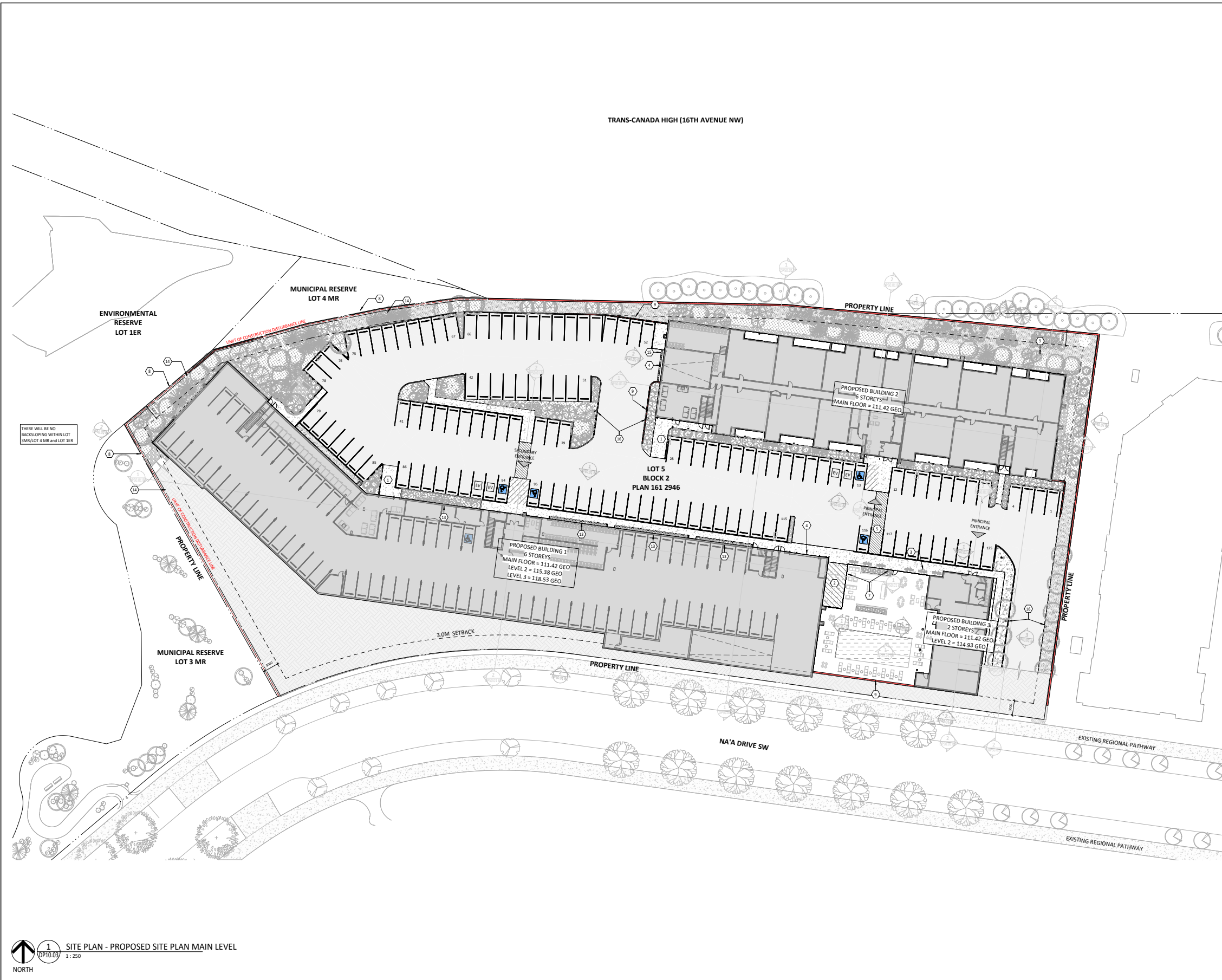
- Notes:**
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 - This drawing supersedes previous issues.
 - Do not use alphabetic revision iterations for pricing.

PRELIMINARY - NOT FOR CONSTRUCTION

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DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Date
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
 350, 140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title EXISTING SITE PLAN	
Drawn by: Author	Scale: 1 : 250
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
Drawing Number DP10.02	Drawing Package Revision Number

1 EXISTING SITE PLAN
DP10.02
1 : 250
NORTH



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1. PROPOSED WASTE AND RECYCLING STAGING AREA, TO SUPPORT MINIMUM 23,000KG.
2. PROPOSED LOADING ZONE, MINIMUM CLEARANCE OF 3.1m x 9.2m x 4.3m (WxDxH)
3. PROPOSED CLASS 2 BIKE STALLS
4. PROPOSED PARKADE ENTRANCE
5. PROPOSED PEDESTRIAN CROSSWALK
6. PROPOSED ARTWORK BY OWNER
7. PROPOSED PRIVACY FENCE 6' HEIGHT
8. PROPOSED 1.2m CHAINLINK FENCE ADJACENT TO MUNICIPAL RESERVE LOTS (TO BE FULLY LOCATED WITHIN PRIVATE PROPERTY)
9. PROPOSED CONCRETE RETAINING WALL - SEE CIVIL DRAWINGS
10. PROPOSED LANDSCAPE WALL - SEE LANDSCAPE DRAWINGS
11. PROPOSED ELECTRICAL PULL BOX - SEE ELECTRICAL DRAWINGS
12. PROPOSED TRANSFORMER - SEE ELECTRICAL DRAWINGS
13. PROPOSED PLANTER WALL - SEE LANDSCAPE DRAWINGS
14. TEMPORARY CONSTRUCTION FENCE (SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY OR STRIPPING AND GRADING OPERATIONS.)
15. PROPOSED TRENCH DRAIN - SEE CIVIL DRAWINGS
16. PROPOSED NO PARKING SIGN

- PROPOSED CLEARANCE ZONE
- PROPOSED EXTENT OF HEAVY DUTY CONCRETE CAPABLE OF SUPPORTING A MINIMUM OF 38,556KG (85,000 LBS) LOAD
- PROPOSED ASPHALT
- PROPOSED SOFTSCAPE - REFERENCE LANDSCAPE DRAWINGS FOR FULL DETAILS
- PROPOSED CONCRETE SIDEWALK

DTR 2	24-03-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description

Issued For / Revisions

Project: **ICON 2** Project Number: 23015
 Calgary, Alberta
 Legal Description: Building Permit No.
 Development Permit No. DP2023-06487 DSSP No.
 350, 140-10 Ave SE
 Calgary, Alberta.
 TIG 081
 Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

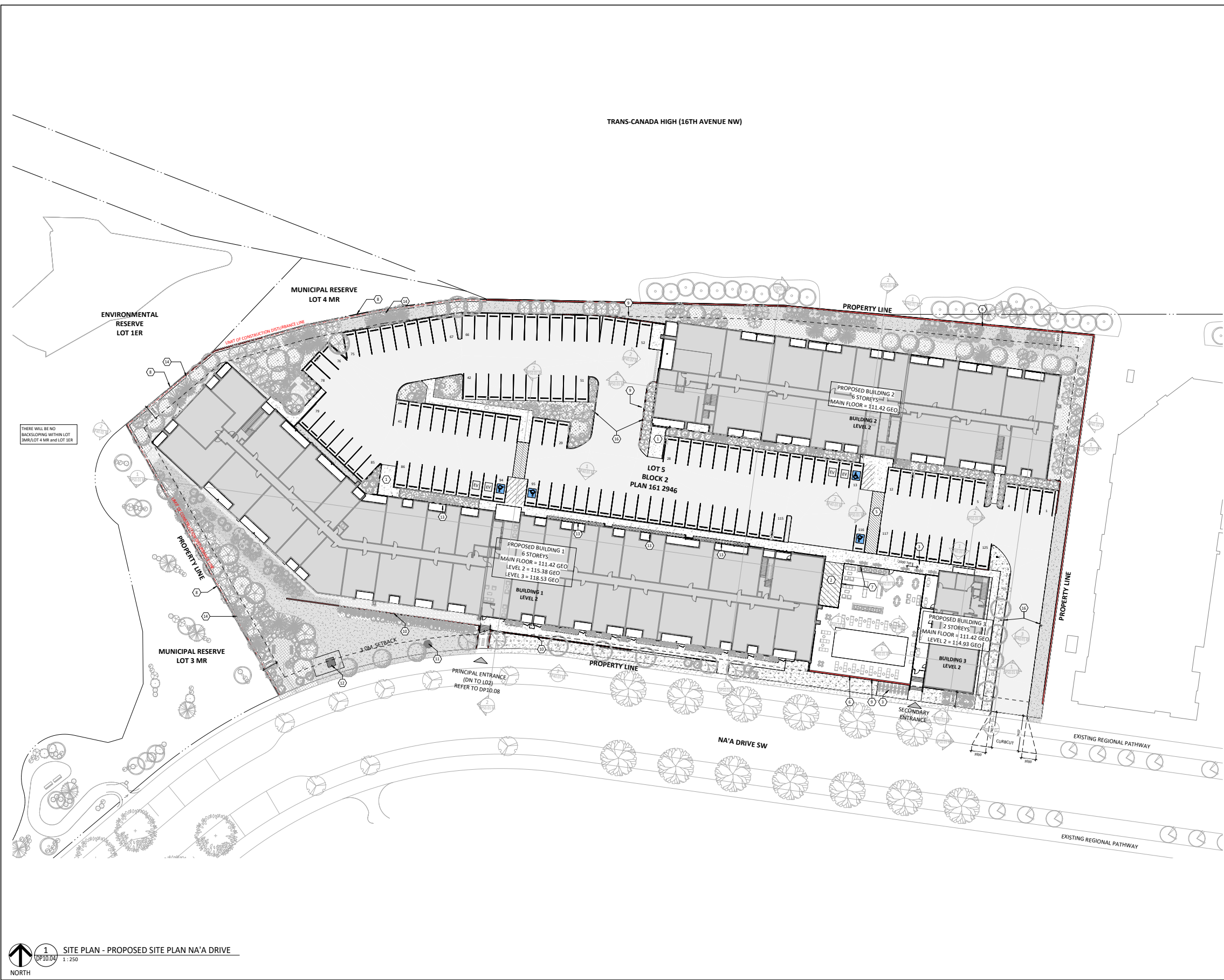
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PROPOSED SITE PLAN - MAIN LEVEL

Drawn by: Author	Scale: 1:250
Reviewed by: EW	Date: (YYYY-MM-DD)
Manager:	Tech Review:

Drawing Number	Drawing Package
DP10.03	Revision Number

1 SITE PLAN - PROPOSED SITE PLAN MAIN LEVEL
 DP10.03 1:250
 NORTH

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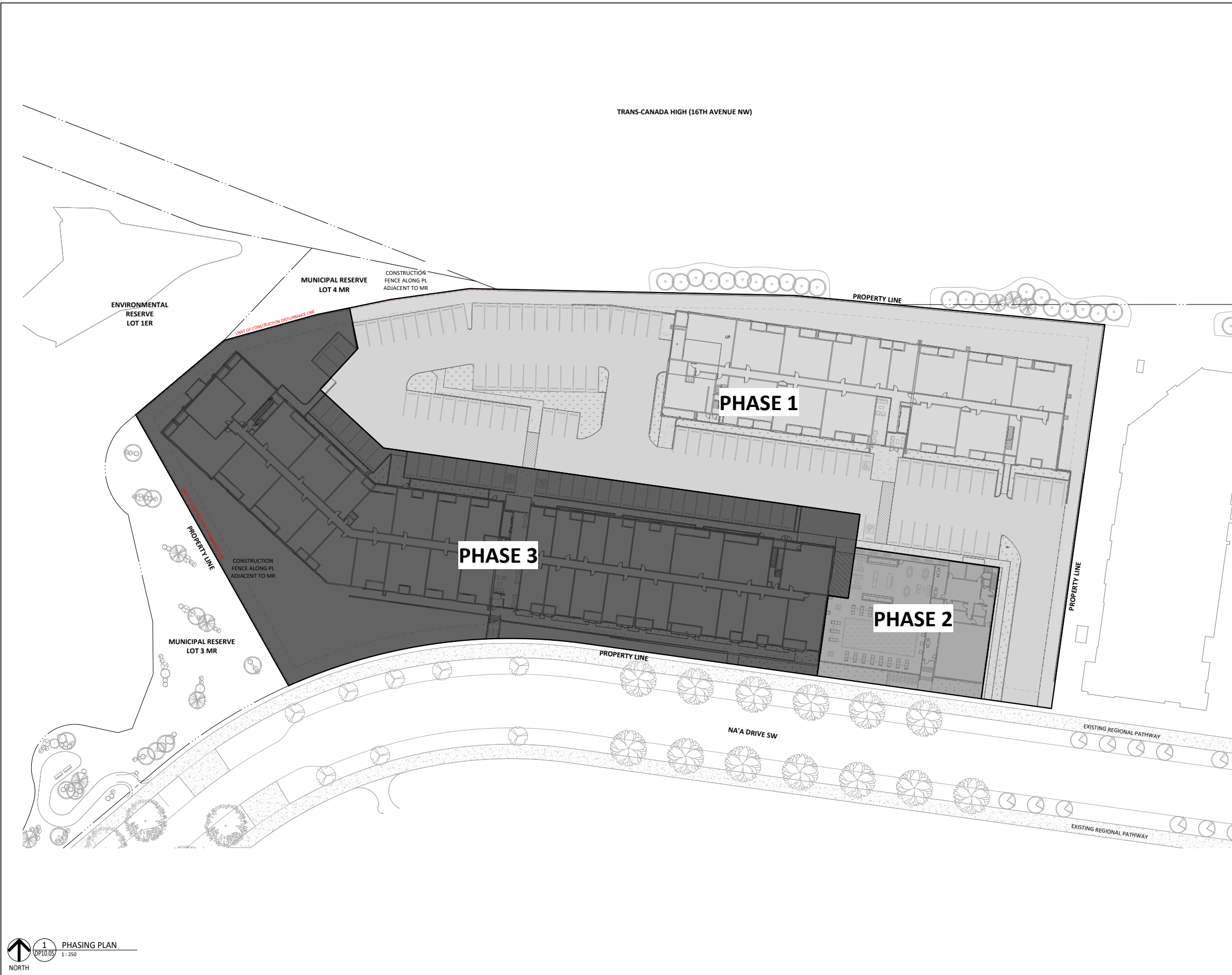
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Calgary, Alberta	
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350, 140-10 Ave SE Calgary, Alberta T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	

Drawing Title	
PROPOSED SITE PLAN - NA'A DRIVE	
Drawn by:	Scale
Reviewed by: EW	1:250
Manager:	Date (YYYY-MM-DD)
Tech Review:	
Drawing Number	Drawing Package
DP10.04	Revision Number

1 SITE PLAN - PROPOSED SITE PLAN NA'A DRIVE
DP10.04 1:250
NORTH

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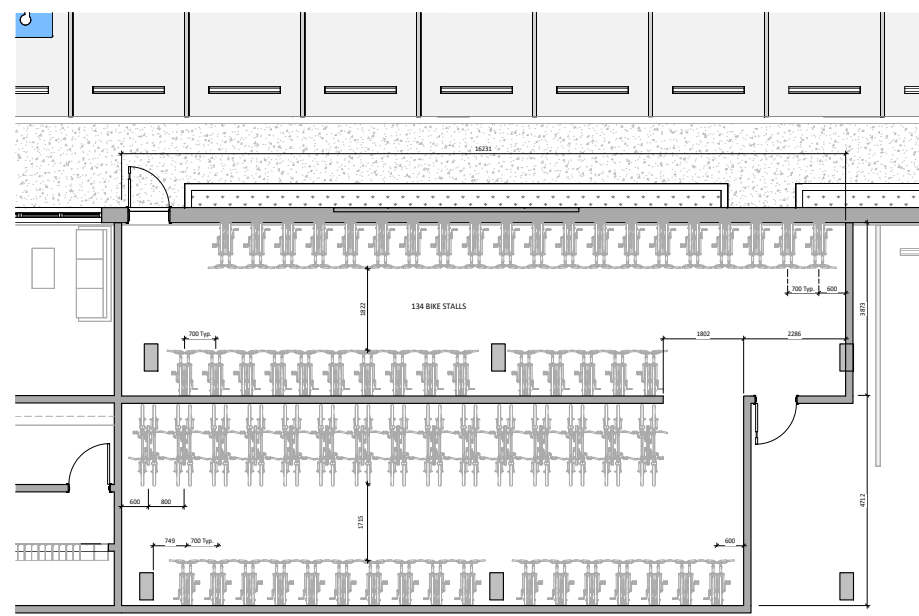
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350, 140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title PHASING PLAN	
Drawn by: Author	Scale: 1:250
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
Drawing Number DP10.05	Drawing Package Revision Number

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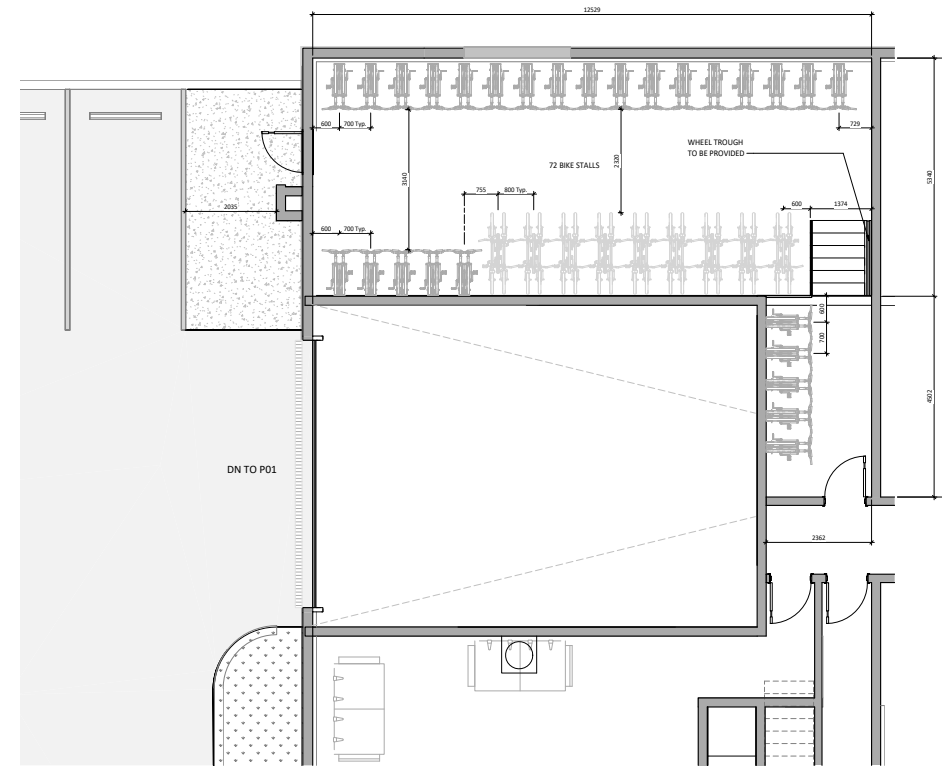
1 PHASING PLAN
DP10.05
1:250
NORTH

PRELIMINARY - NOT FOR CONSTRUCTION

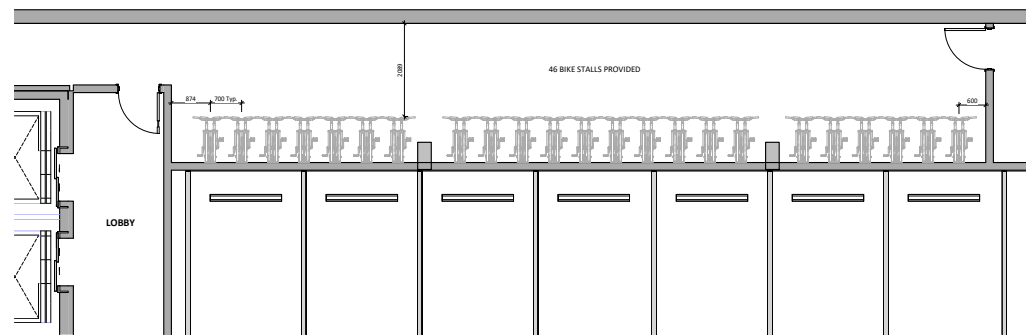
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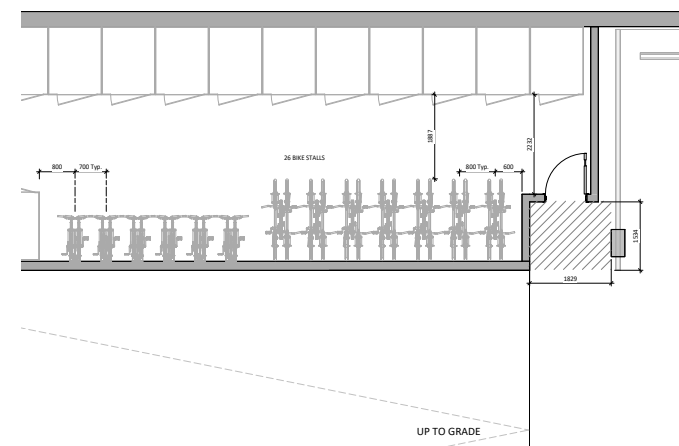
2 B1 - BIKE STORAGE MAIN LEVEL
DP10.06 1:50



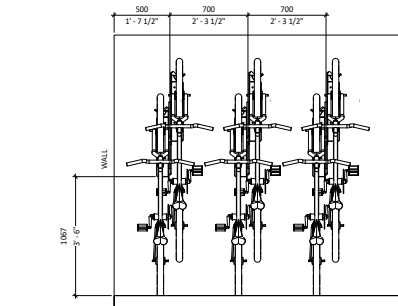
1 B2 - BIKE STORAGE MAIN LEVEL
DP10.06 1:50



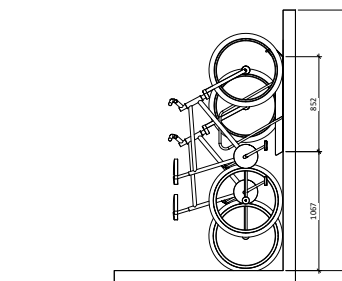
3 B1 - BIKE STORAGE P01
DP10.06 1:50



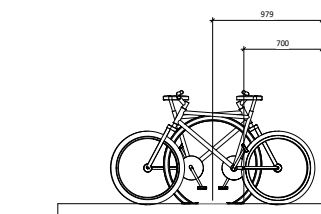
4 B2 - BIKE STORAGE P01
DP10.06 1:50



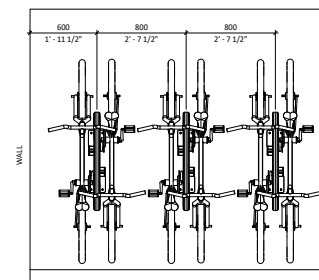
Bike Rack Vertical - Front
1:20



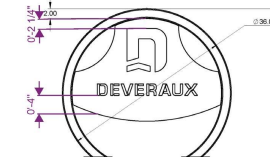
Bike Rack Vertical - Side
1:20



Bike Rack Horizontal - Side
1:20



Bike Rack Horizontal - Plan
1:20

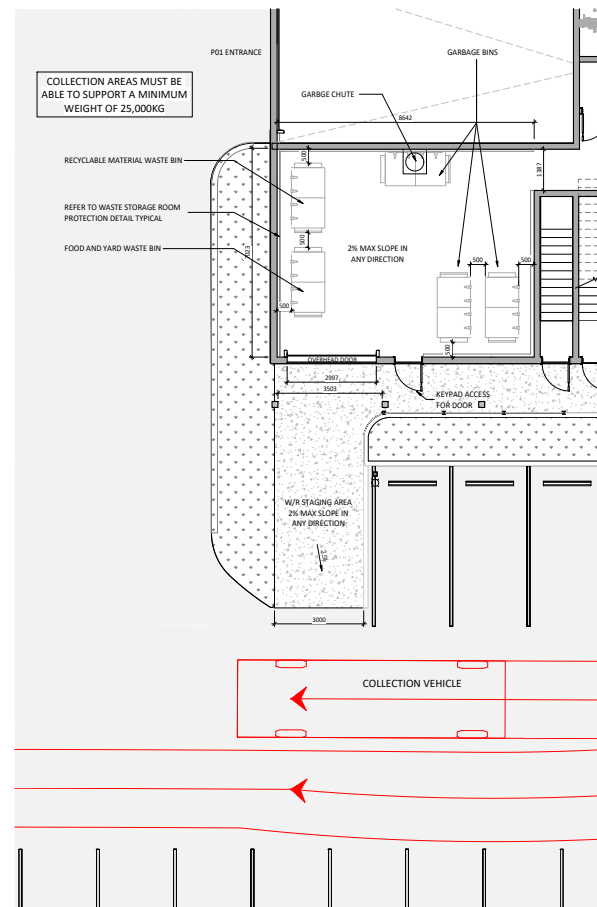


NOTES:
- WALL ALUMINUM CONSTRUCTION
- PAINT: WHITE GLOSS IN CENTER
- PAINT: BAL. BROWN (SMOOTH GLOSS)
- GLASS: BOLD TONE TINT

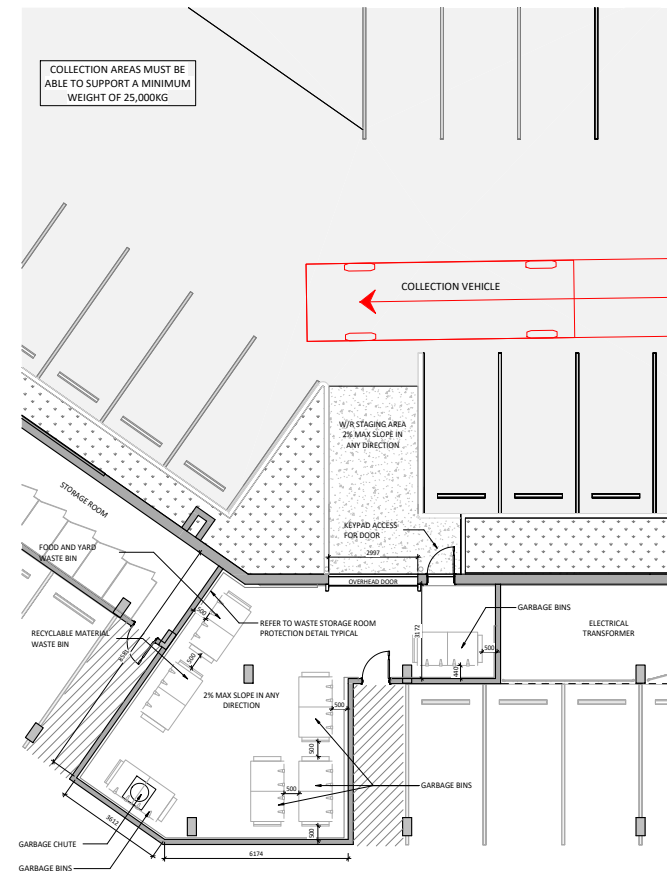
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ICON 2	
Calgary, Alberta	
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Development Permit No. DP2023-06487	DSSP No.
350, 140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title BIKE STORAGE & DETAILS	
Drawn by: Author	Scale: As Indicated
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
Drawing Number	Drawing Package
DP10.06	Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION

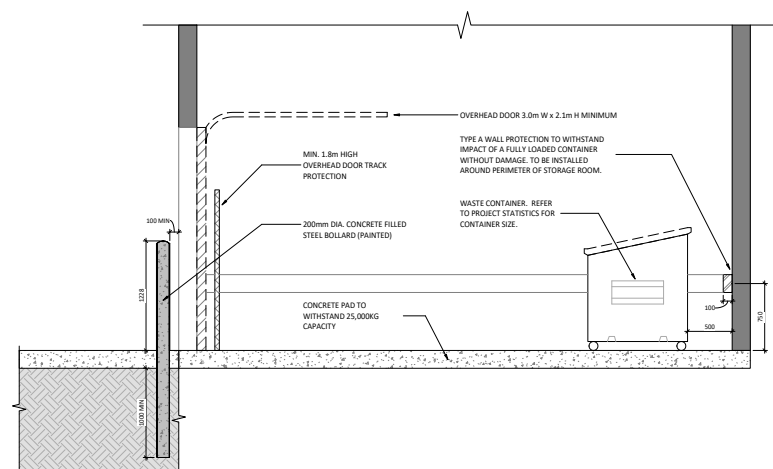
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1 B2 - WASTE RECYCLING
DP10.07 1:75



2 B1 - WASTE RECYCLING
DP10.07 1:75

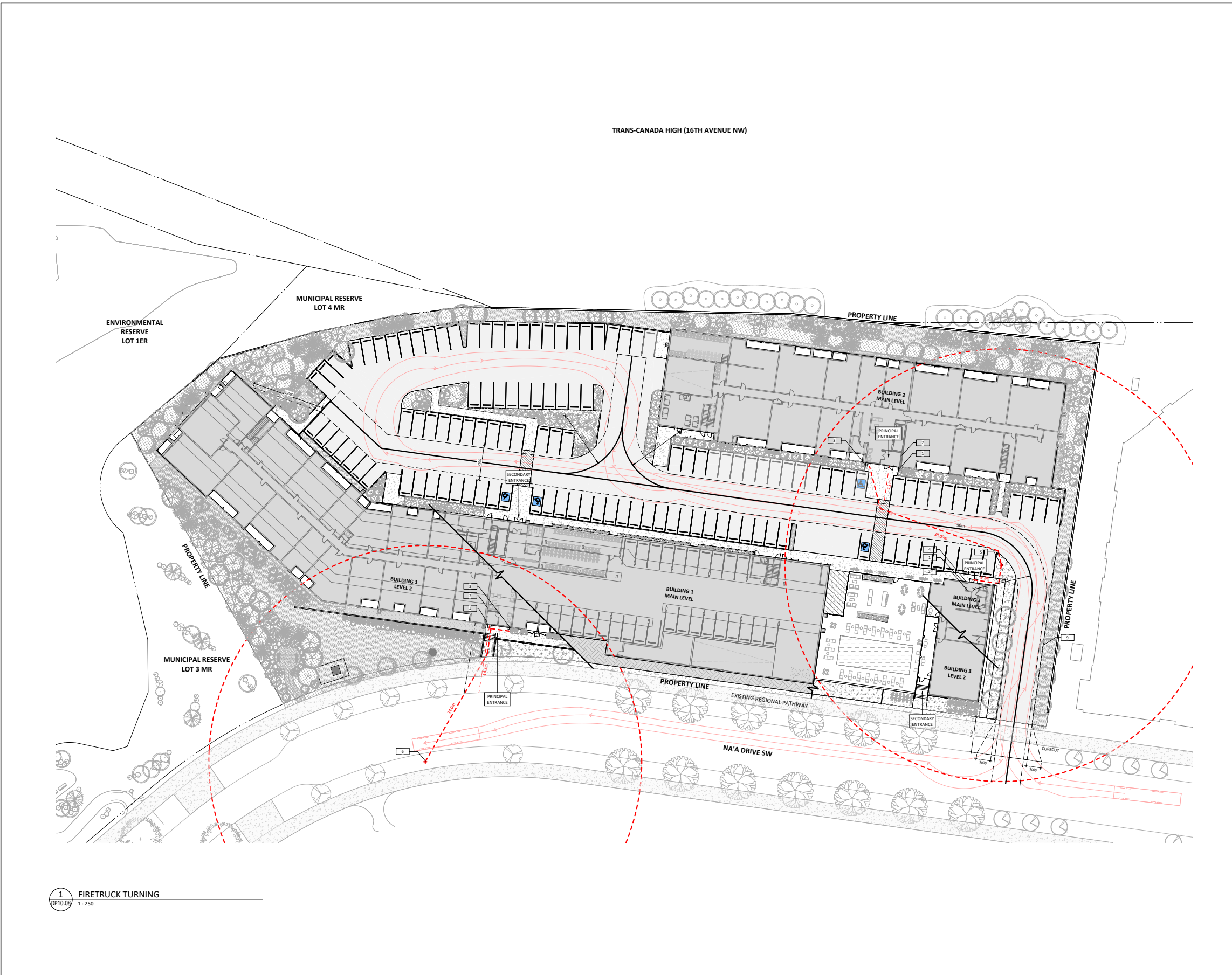


3 WASTE STORAGE ROOM PROTECTION TYPICAL
DP10.07 1:25

DTR 2	24-02-28
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Calgary, Alberta	
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350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title	
WASTE & RECYCLING	
Drawn by: Author	Scale: As Indicated
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
Drawing Number	Drawing Package
DP10.07	Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION

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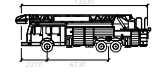


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FIRE ACCESS KEYNOTES

1. PROPOSED LOCKBOX LOCATION
 2. PROPOSED ALARM PANEL LOCATION
 3. PROPOSED FIRE DEPARTMENT CONNECTION LOCATION
 4. PROPOSED EXTERIOR STROBE LIGHT
 5. PROPOSED FIRE HYDRANT
 6. EXISTING HYDRANT
 7. PROPOSED NO PARKING SIGN
- MINIMUM OVERHEAD CLEARANCE OF 5M ON THE PRIMARY FIRE ACCESS ROUTE



CFD_Bronto_Skylift	
LOCATION	TYPE
6/4/1	2370
6/4/2	2470
6/4/3	2570
6/4/4	2670
6/4/5	2770
6/4/6	2870
6/4/7	2970
6/4/8	3070
6/4/9	3170
6/4/10	3270
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6/4/95	11770
6/4/96	11870
6/4/97	11970
6/4/98	12070
6/4/99	12170
6/4/100	12270

- PROPOSED LOADING ZONE
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- PROPOSED ASPHALT
- PROPOSED SOFTSCAPE - REFERENCE LANDSCAPE DRAWINGS FOR FULL DETAILS
- PROPOSED CONCRETE SIDEWALK

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350, 140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title

VEHICLE ACCESS - FIRETRUCK

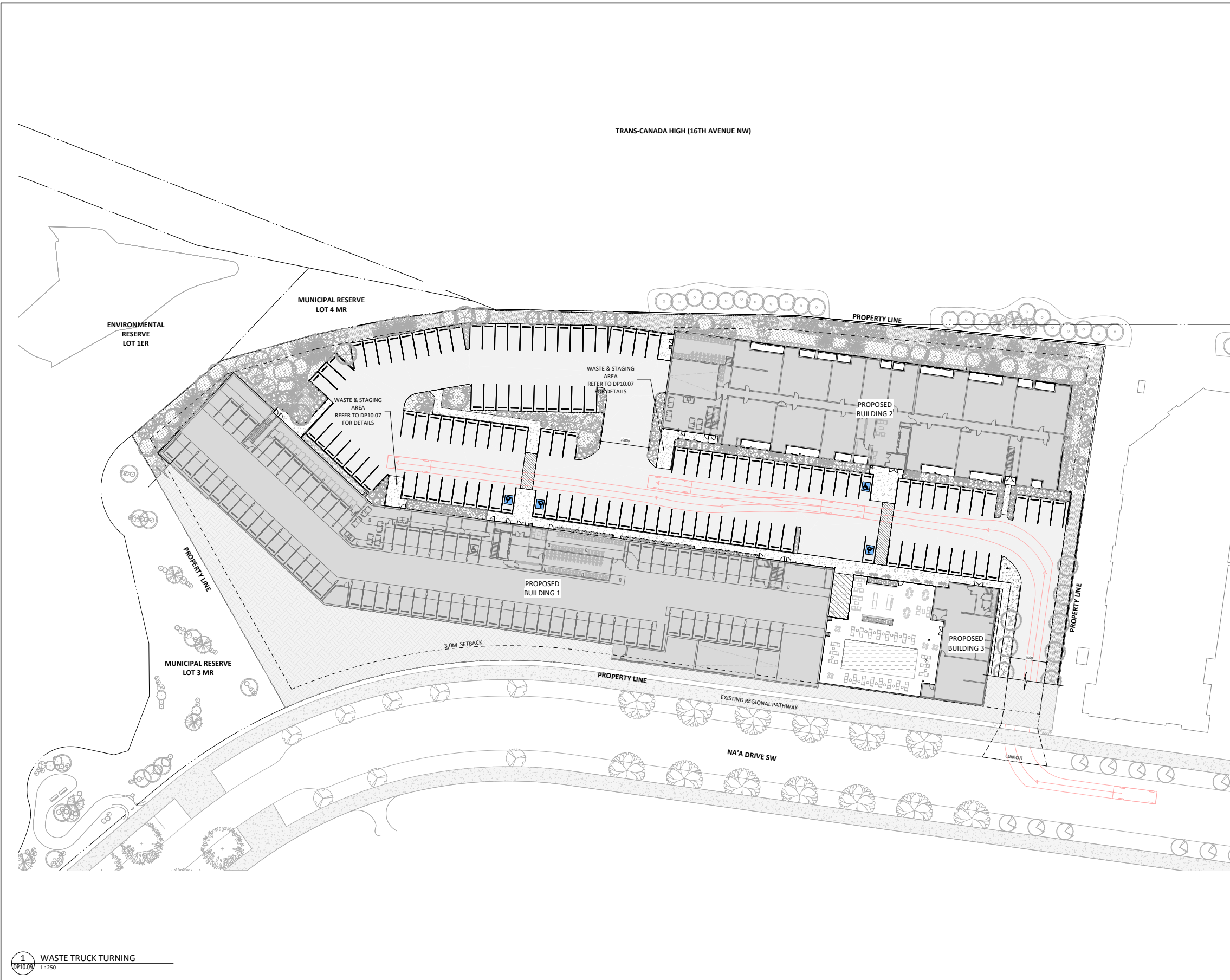
Drawn by: Author	Scale: As Indicated
Reviewed by: EW	Date: (YYYY-MM-DD)
Manager:	
Tech Review:	

Drawing Number	Drawing Package
DP10.08	Revision Number

1 FIRETRUCK TURNING
DP10.08 1:250

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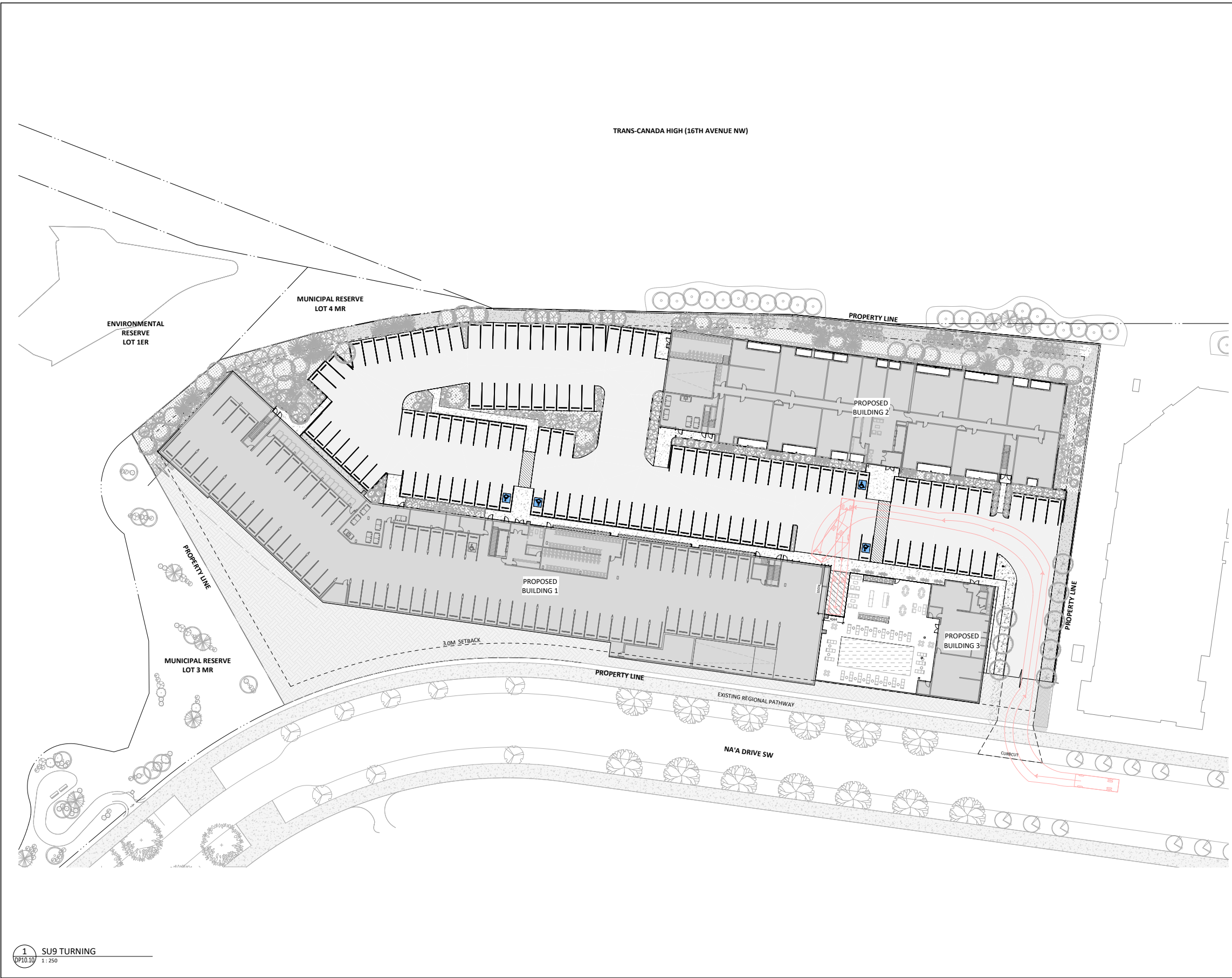
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Drawing Title	
VEHICLE ACCESS - WASTE TRUCK	
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1 WASTE TRUCK TURNING
DP10.09 1:250

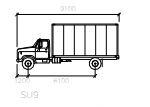
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- PROPOSED CLEARANCE ZONE
- PROPOSED EXTENT OF HEAVY DUTY CONCRETE CAPABLE OF SUPPORTING A MINIMUM OF 38,556KG (85,000 LBS) LOAD
- PROPOSED ASPHALT
- PROPOSED SOFTSCAPE - REFERENCE LANDSCAPE DRAWINGS FOR FULL DETAILS
- PROPOSED CONCRETE SIDEWALK



SU9
 Width: 2.500
 Height: 3.000
 Length: 10.000
 Clearing Angle: 31.5°

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13

Issued For / Revisions
 Project: 23015
ICON 2

Calgary, Alberta
 Legal Description: Building Permit No.
 Development Permit No. DP2023-06487
 DSSP No.

350, 140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

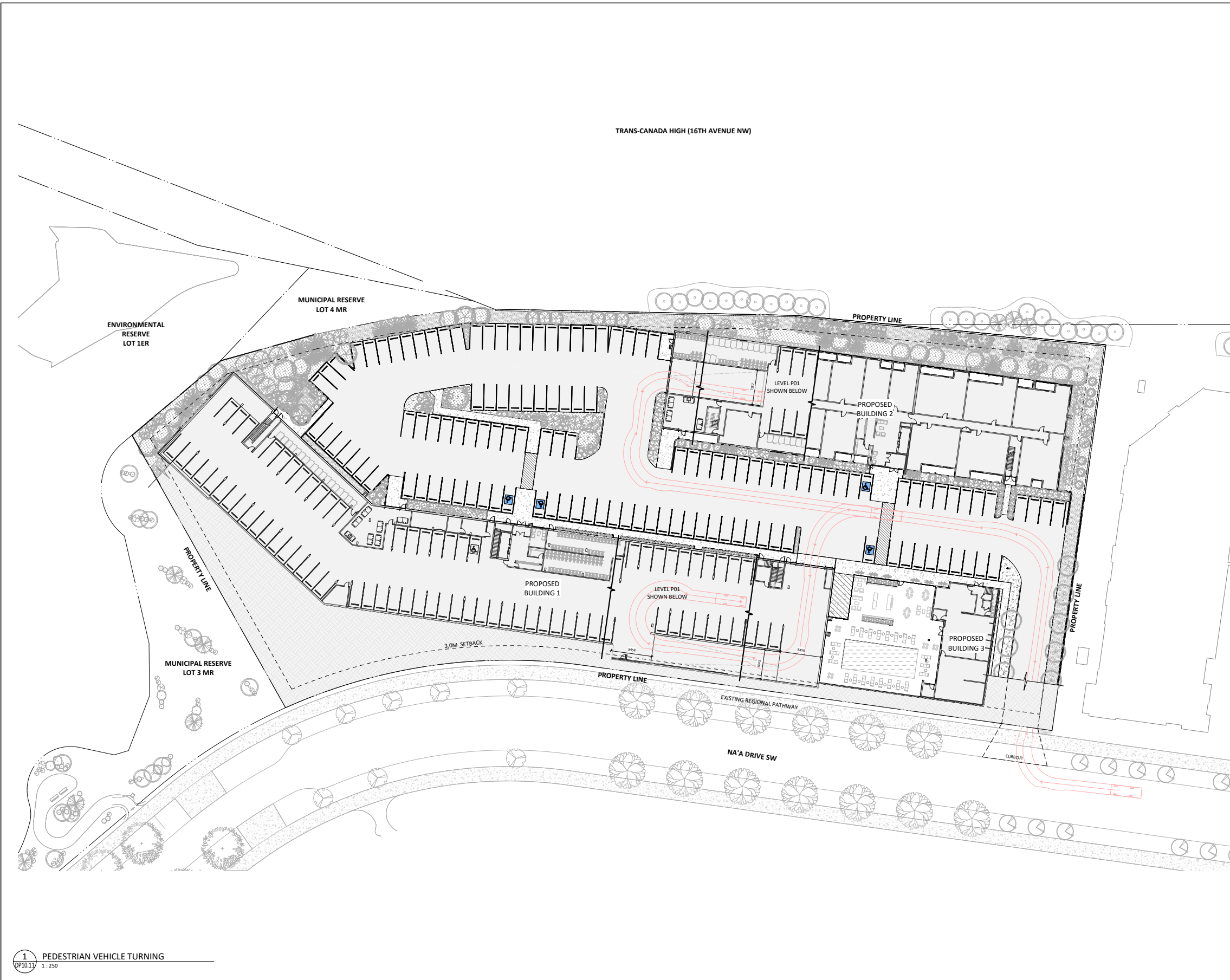
Drawing Title
VEHICLE ACCESS - LOADING TRUCK

Drawn by: Author
 Reviewed by: EW
 Manager:
 Tech Review:

Scale: As Indicated
 Date: [YYYY-MM-DD]
 Drawing Number: **DP10.10**
 Revision Number:

1 SU9 TURNING
 DP10.10 1:250

PRELIMINARY - NOT FOR CONSTRUCTION



- Notes:**
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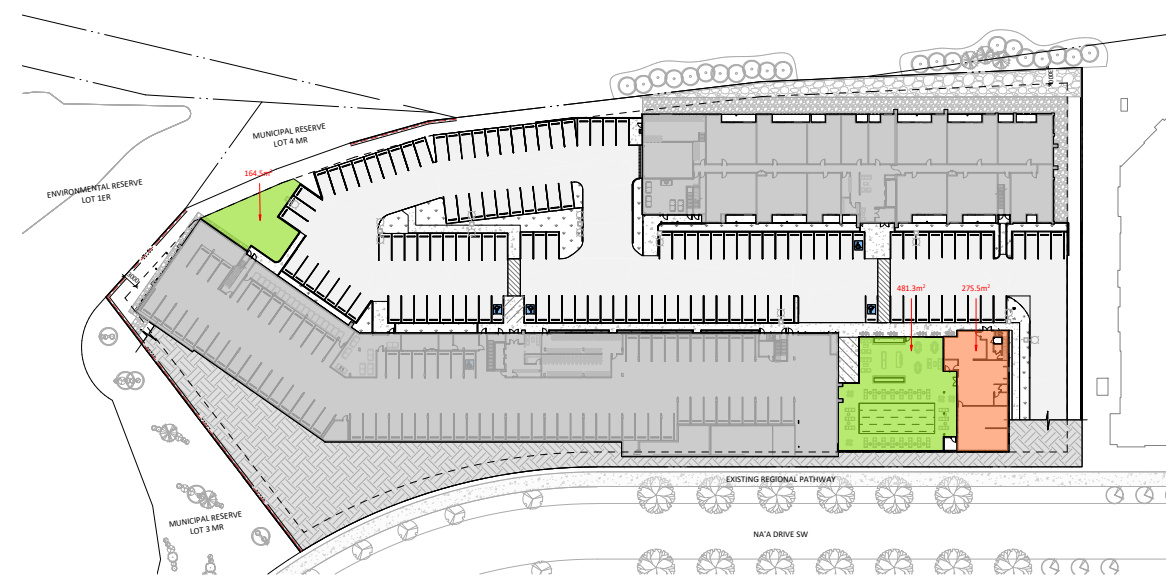


DTR 2	24-02-28	
DTR 1	24-01-19	
DP SUBMISSION	23-09-13	
No.	Description	Date
Issued For / Revisions		
Project	Project Number: 23015	
ICON 2		
Calgary, Alberta		
Legal Description	Building Permit No.	
Development Permit No.	DSSP No.	
DP2023-06487		
350, 140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077		
Drawing Title		
VEHICLE ACCESS - PASSENGER VEHICLE		
Drawn by:	Author	Scale
Reviewed by:	EW	As Indicated
Manager:		Date (YYYY-MM-DD)
Tech Review:		
Drawing Number	Drawing Package	
DP10.11	Revision Number	

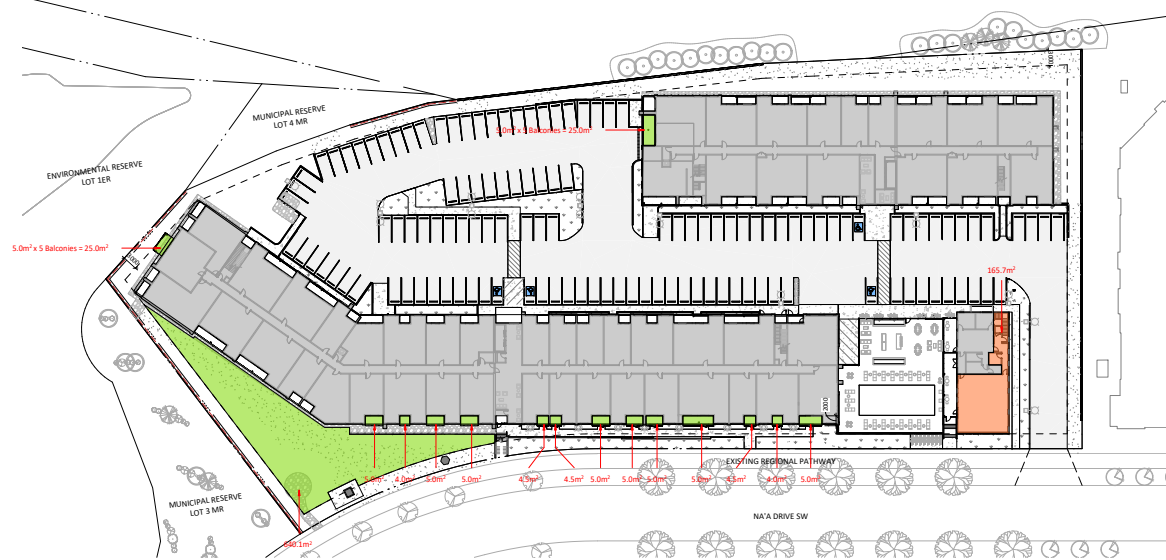
PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

1 PEDESTRIAN VEHICLE TURNING
DP10.11 1:250



2 SITE PLAN - AMENITY AREAS MAIN LEVEL
DP10.12 1:450

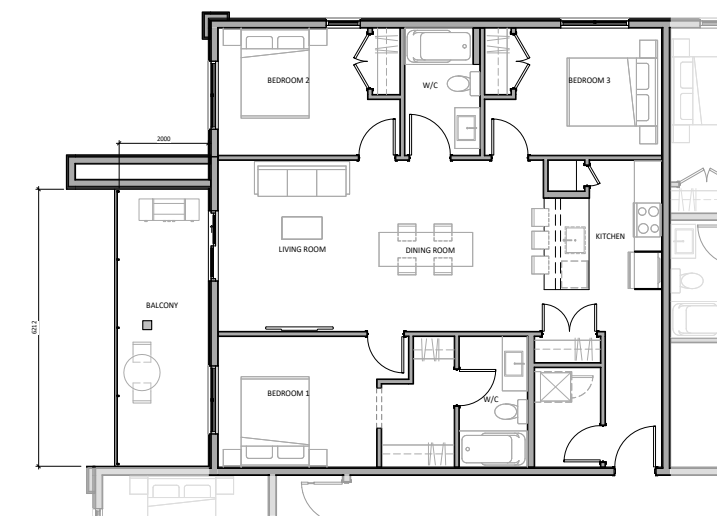


1 SITE PLAN - AMENITY AREAS N/A DR.
DP10.12 1:450

AMENITY AREA

RESIDENTIAL AMENITY SPACE REQUIREMENT: 5.0 m ² PER UNIT X 277 UNITS = 1,385 m ²
COMMON INDOOR AMENITY SPACE: MAIN FLOOR = 275.5 m ² SECOND FLOOR = 165.7 m ² TOTAL COMMON INDOOR AMENITY PROVIDED = 441.2 m ² MAX COMMON INDOOR AMENITY ALLOWED - 10% = 138.5 m ²
COMMON OUTDOOR AMENITY SPACE: TOTAL COMMON OUTDOOR AMENITY PROVIDED = 1285.9 m ²
PRIVATE AMENITY SPACE: TOTAL PRIVATE AMENITY SPACE PROVIDED = 111.5 m ²
TOTAL AMENITY SPACE PROVIDED = 1535.9 m²

Notes:
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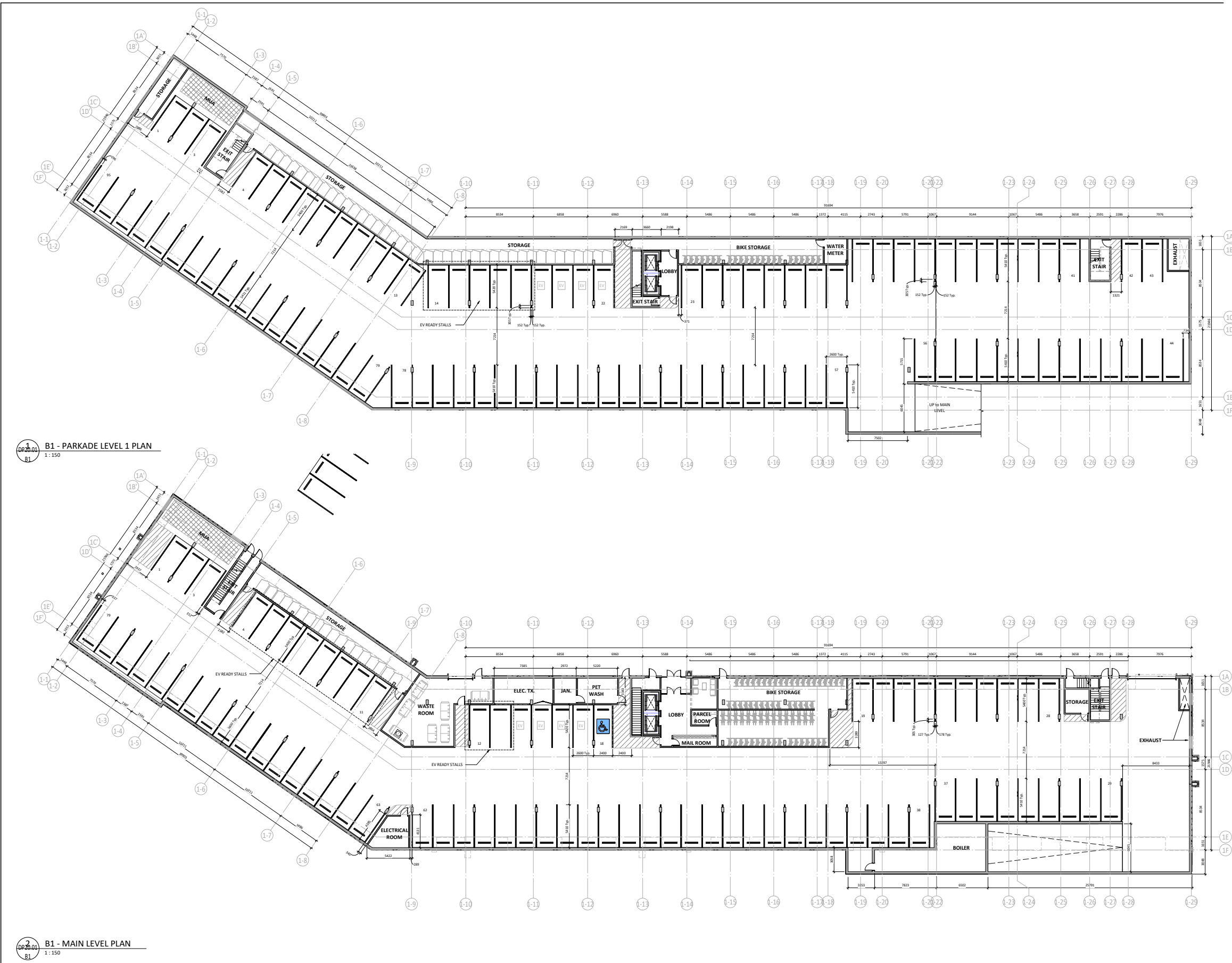
4 SUITE 3B - B2 - ENLARGED UNIT
DP10.12 1:50



3 SUITE 2F - ENLARGED UNIT
DP10.12 1:50

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
350, 140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title AMENITY SPACE CALCULATION	
Drawn by:	Scale:
Reviewed by: EW	As Indicated
Manager:	Date (YYYY-MM-DD)
Tech Review:	
Drawing Number	Drawing Package
DP10.12	Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION



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PRELIMINARY - NOT FOR CONSTRUCTION

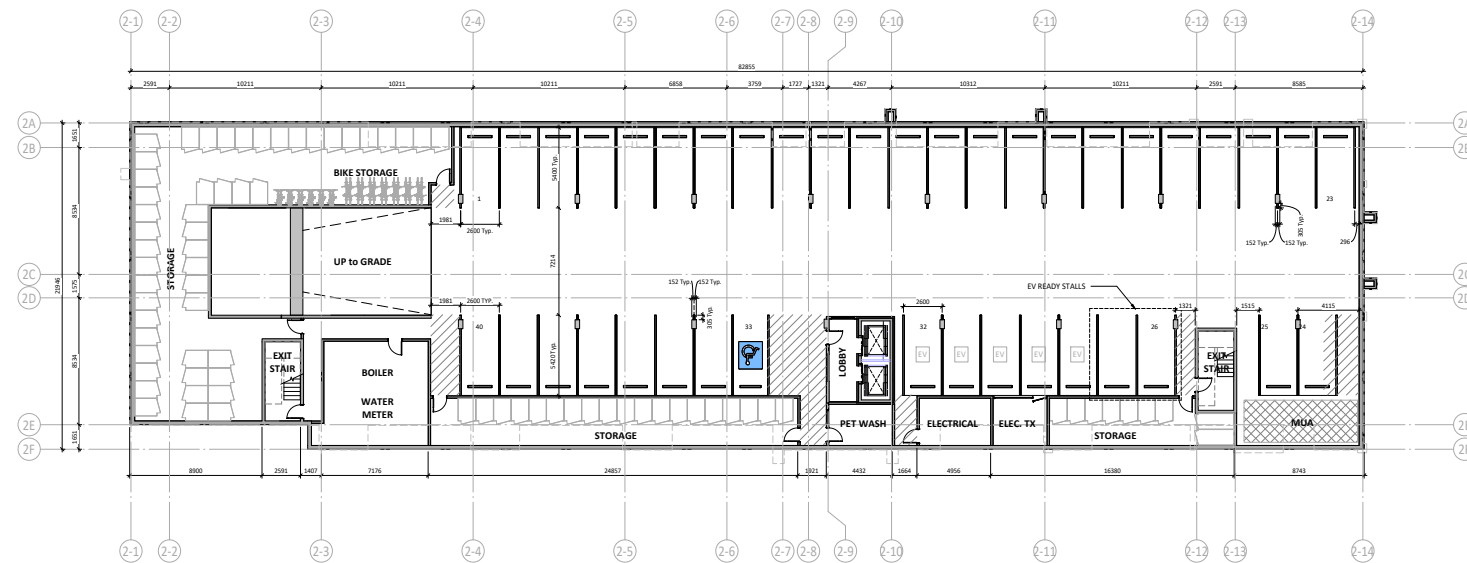
PRELIMINARY - NOT FOR CONSTRUCTION

DP20.01 B1 - PARKADE LEVEL 1 PLAN
1:150

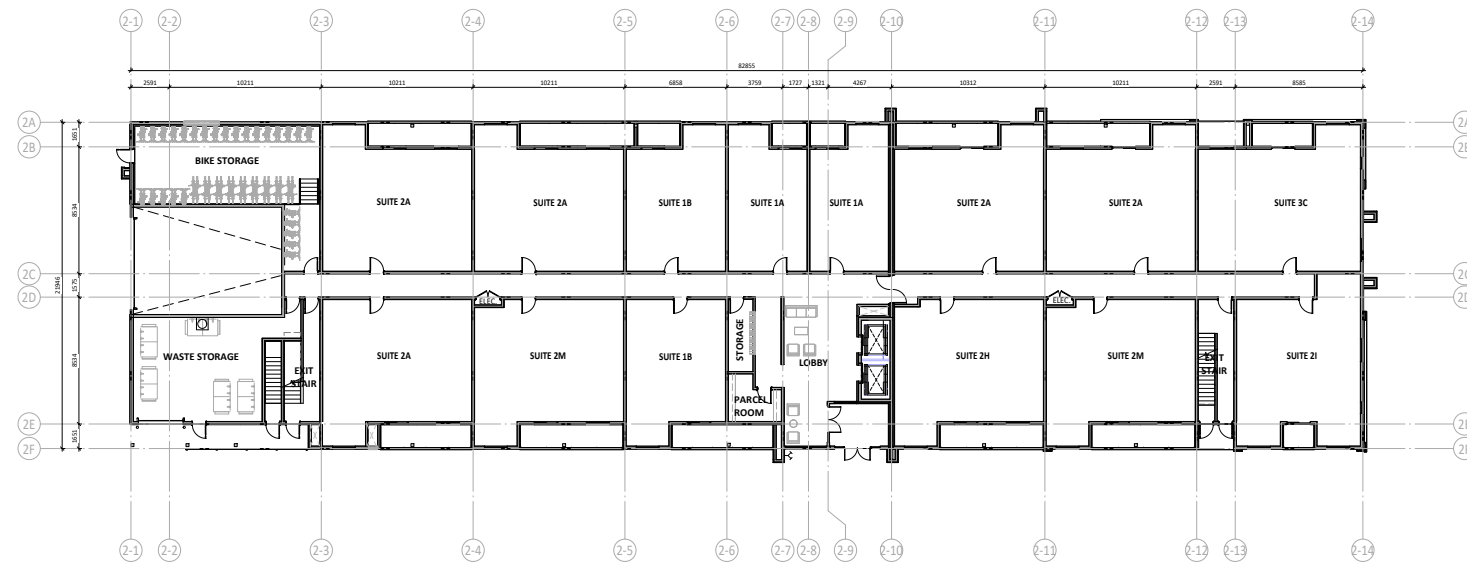
DP20.01 B1 - MAIN LEVEL PLAN
1:150

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No.	DSSP No.
DP2023-06487	
350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077	
Drawing Title PARKADE LEVEL 1 & MAIN LEVEL PLAN	
Drawn by: Author	Scale: 1:150
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
DP20.01	Drawing Package
B1	Revision Number


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B2 - PARKADE LEVEL 1 PLAN
1:150

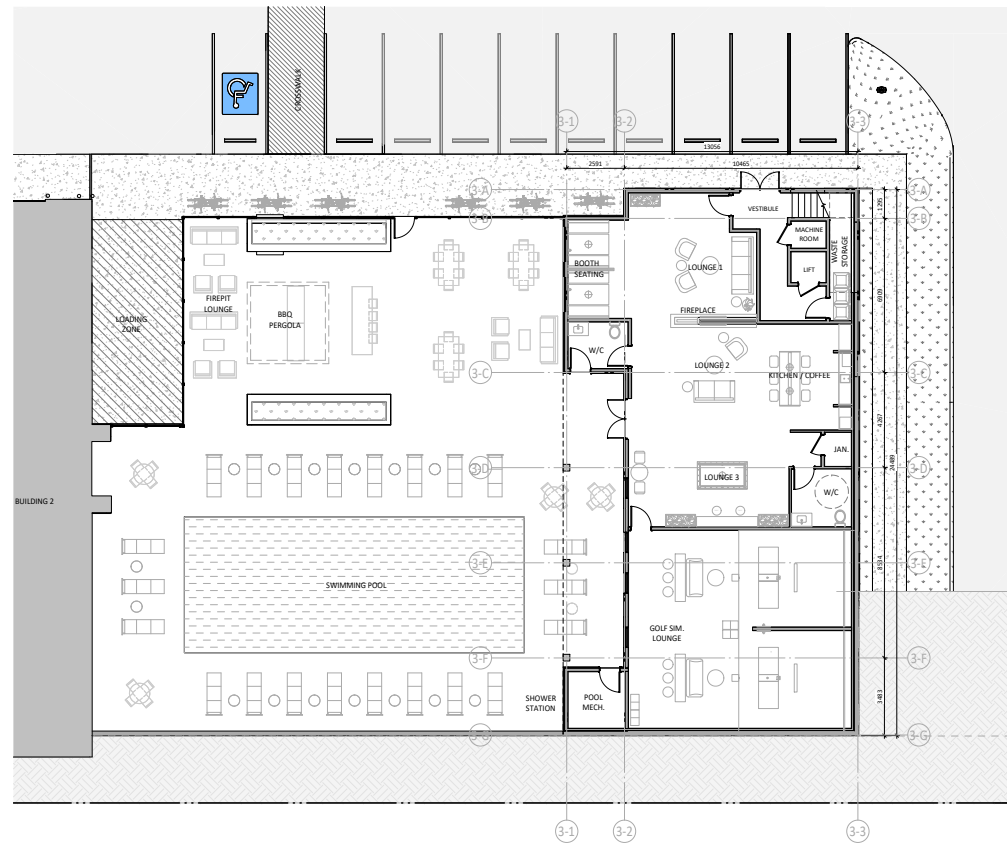


B2 - MAIN LEVEL PLAN
1:150

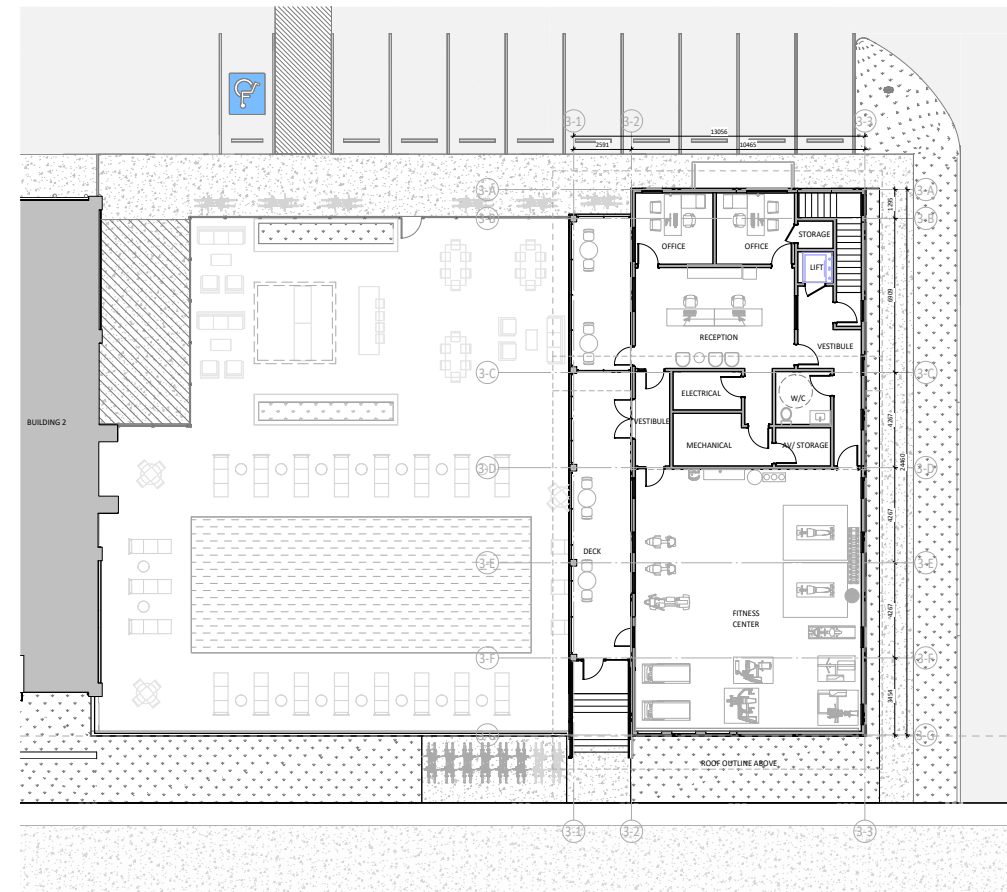
DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
 350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title PARKADE LEVEL 1 & MAIN LEVEL PLAN	
Drawn by: Author	Scale: 1:150
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
Date:	Drawing Package
DP20.01	Revision Number
B2	

PRELIMINARY - NOT FOR CONSTRUCTION

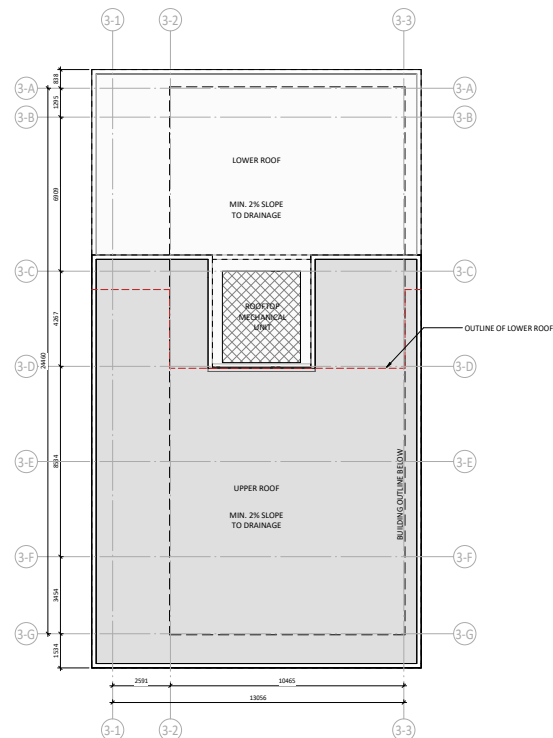
PRELIMINARY - NOT FOR CONSTRUCTION



1 DP20.01 B3 - MAIN LEVEL PLAN
1:100
83




2 DP20.01 B3 - Level 2 PLAN
1:100
83



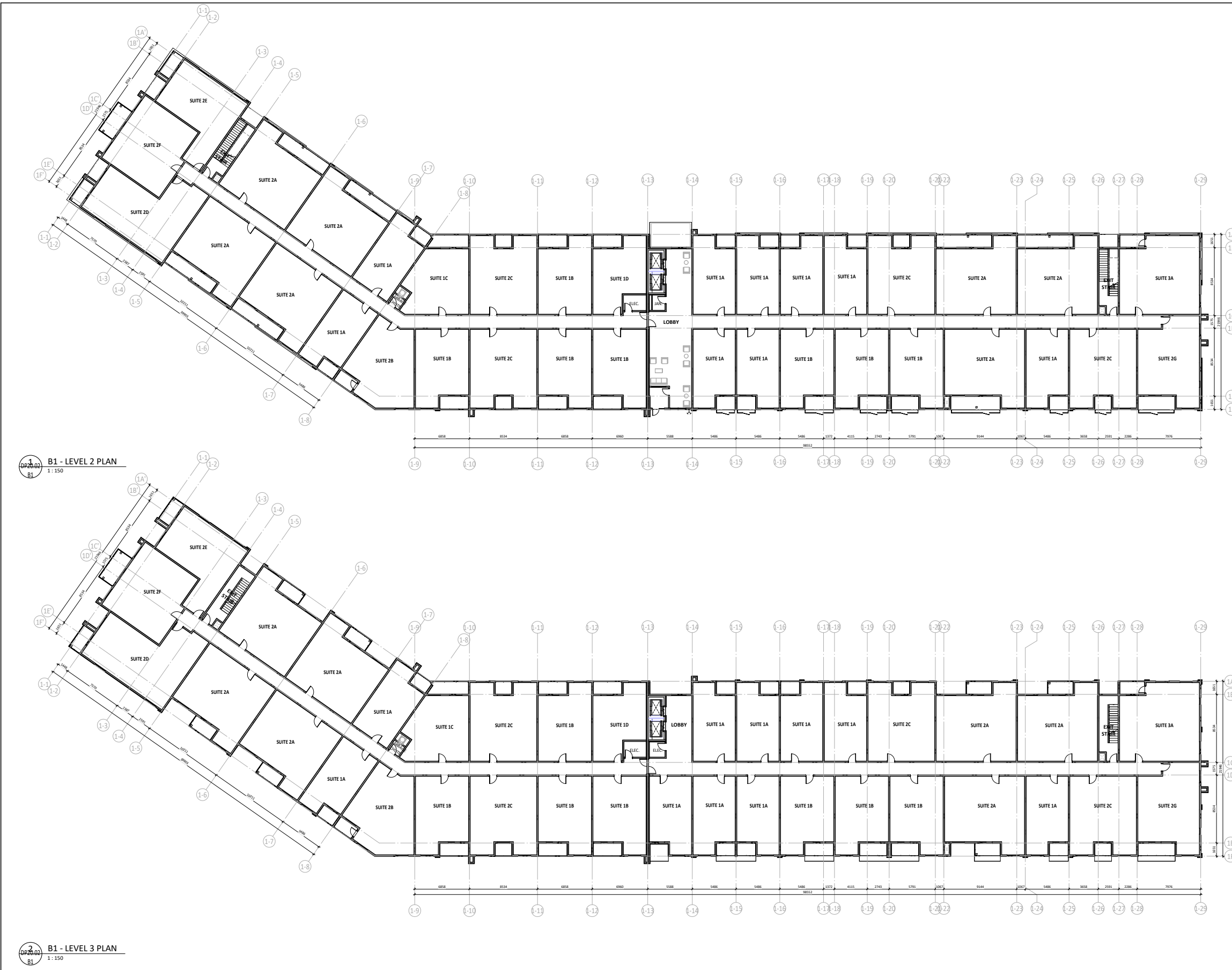
3 DP20.01 B3 - ROOF PLAN
1:100
83

- Notes:**
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PRELIMINARY - NOT FOR CONSTRUCTION

DTR 2	24-02-28	
DTR 1	24-01-19	
DP SUBMISSION	23-09-13	
No.	Description	Date
Issued For / Revisions		
Project	Project Number: 23015	
ICON 2		
Calgary, Alberta		
Legal Description	Building Permit No.	
Development Permit No.	DSSP No.	
DP2023-06487		
 350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077		
Drawing Title		
CLUBHOUSE MAIN LEVEL, LEVEL 2 & ROOF PLAN		
Drawn by:	Author	Scale
Reviewed by:	EW	1:100
Manager:		Date [YYYY-MM-DD]
Tech Review:		
Drawn by:		Drawing Package
DP20.01		
B3		Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION



- Notes:**
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PRELIMINARY - NOT FOR CONSTRUCTION

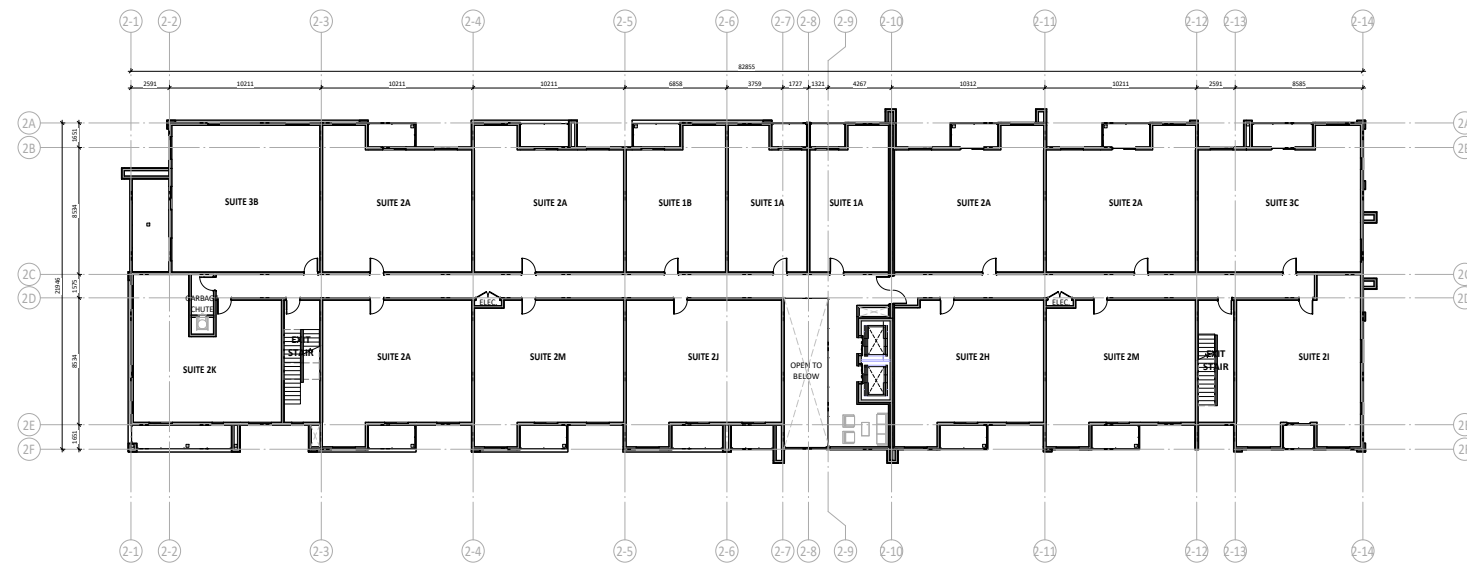
PRELIMINARY - NOT FOR CONSTRUCTION

B1 - LEVEL 2 PLAN
1:150

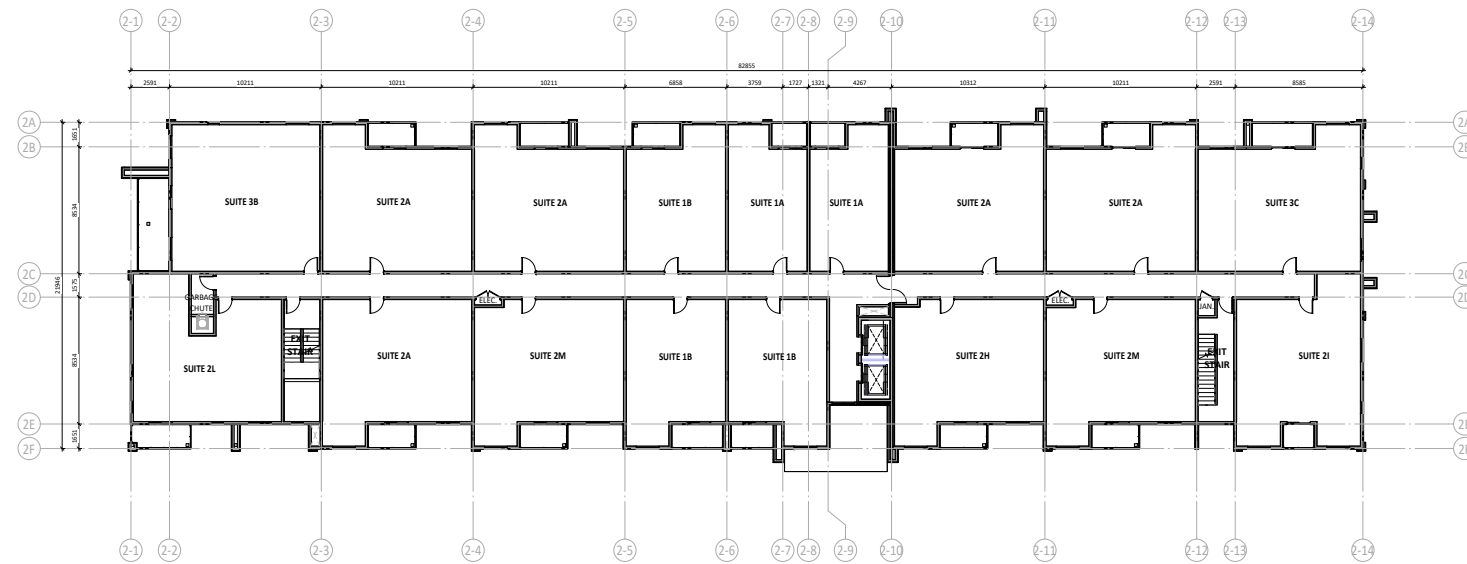
B1 - LEVEL 3 PLAN
1:150

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title	LEVEL 2-3 PLAN
Drawn by: Author	Scale: 1:150
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	
Tech Review:	
DP20.02	Revision Number
B1	


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 - This drawing supersedes previous issues.
 - Do not use alphabetic revision iterations for pricing.



DP20.02
B2
B2 - LEVEL 2 PLAN
1:150



DP20.02
B2
B2 - LEVEL 3 PLAN
1:150

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Date
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
 350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title	
LEVEL 2-3 PLAN	
Drawn by: Author	Scale: 1:150
Reviewed by: EW	Date: YYYY-MM-DD
Manager:	Tech Review:
Date:	Drawing Package
DP20.02	Revision Number
B2	

PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION



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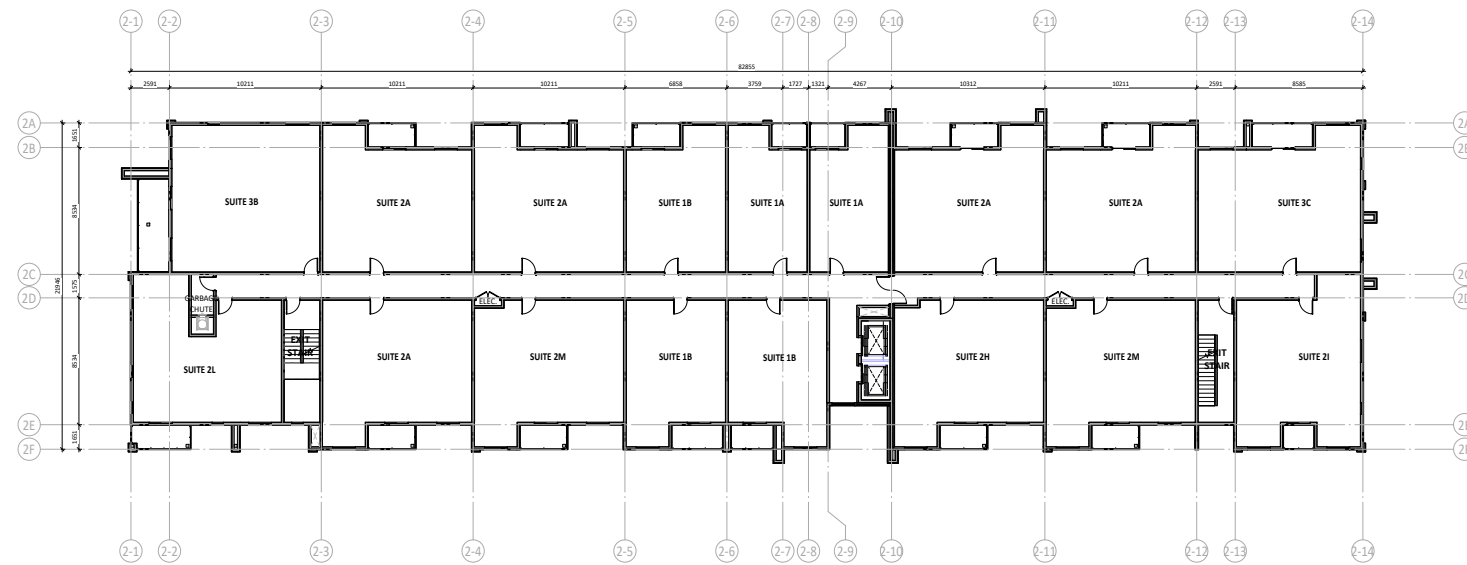
PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

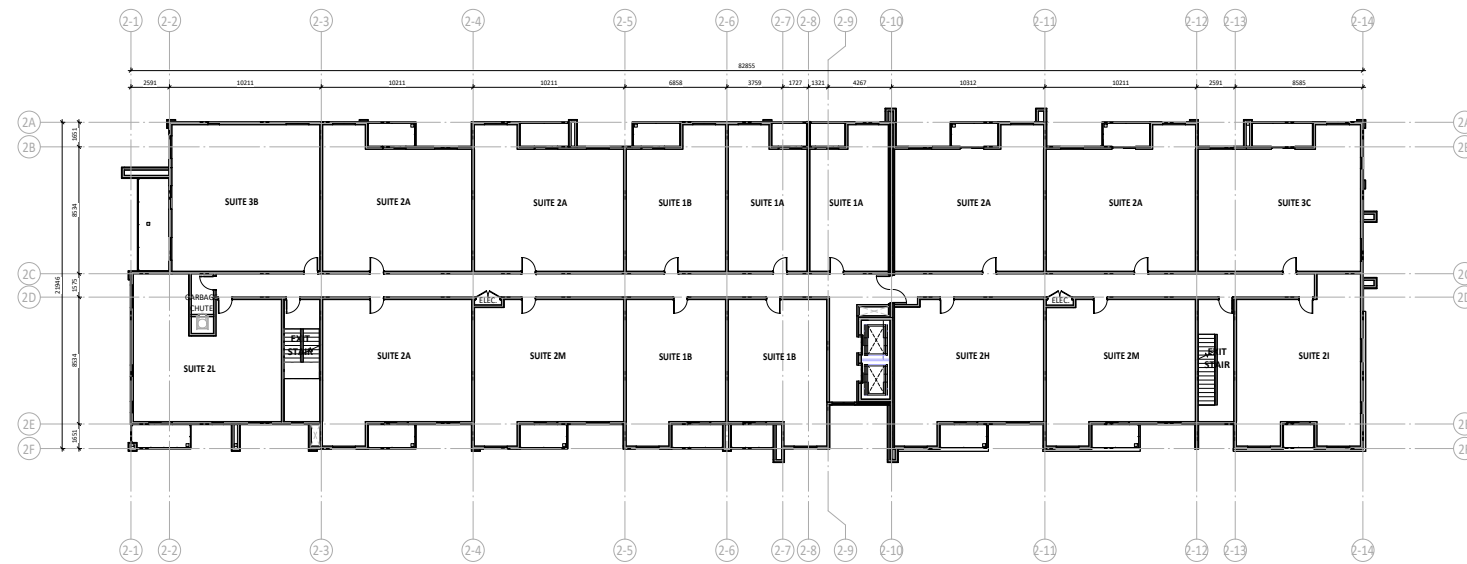
DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
Issued For / Revisions	
No.	Description
Project: 23015	
ICON 2	
Project Number: 23015	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
GGA-ARCHITECTURE	
350,140-10 Ave SE Calgary, Alberta T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077	
Drawing Title: LEVEL 4-5 PLAN	
Drawn by: Author	Scale: 1:150
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
Drawing Package: DP20.03	
Revision Number: B1	

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PRELIMINARY - NOT FOR CONSTRUCTION



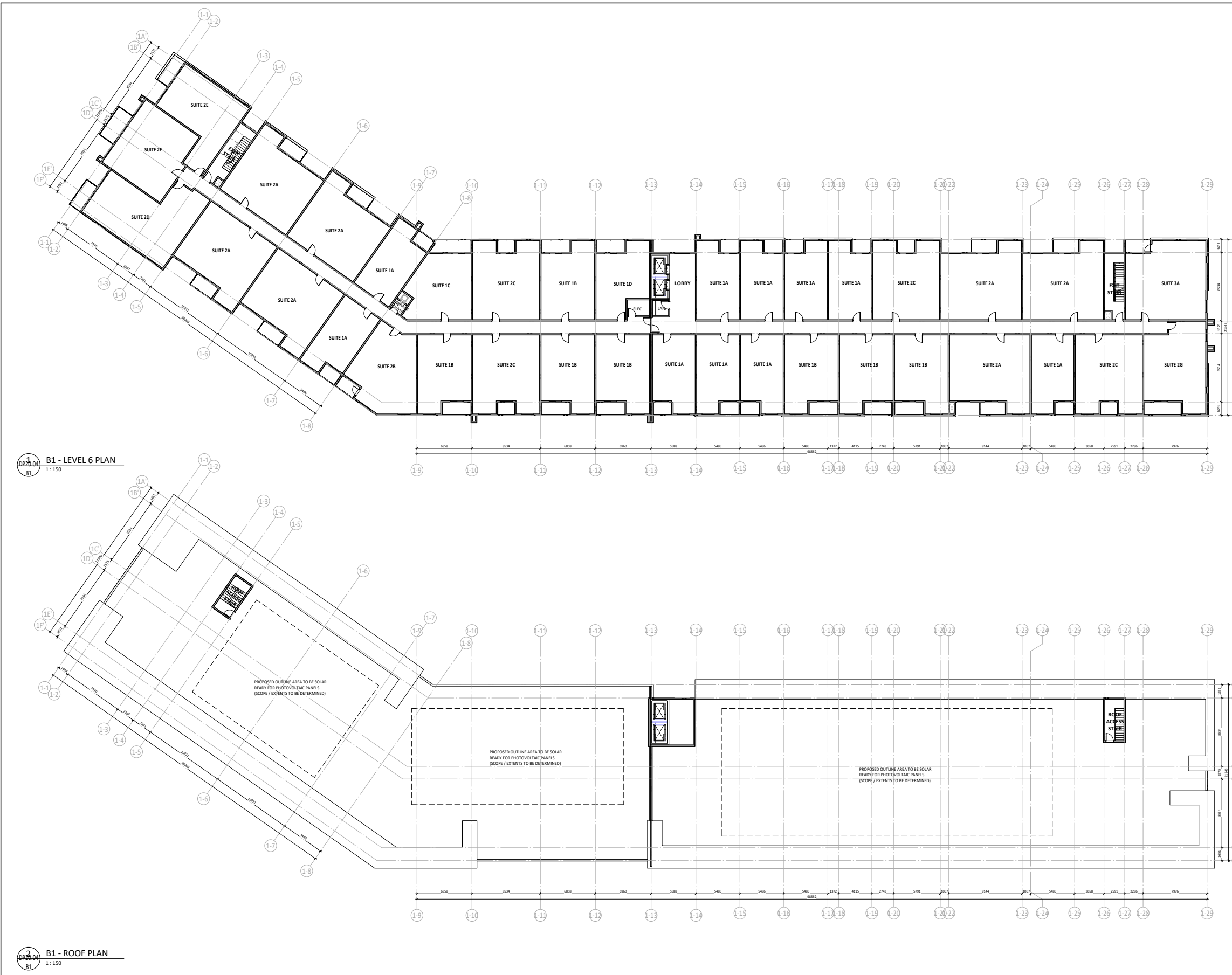
B2 - LEVEL 4 PLAN
1:150



B2 - LEVEL 5 PLAN
1:150

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Date
Issued For / Revisions	
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ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
 350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title LEVEL 4-5 PLAN	
Drawn by: Author	Scale: 1:150
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
Drawn by: [Name]	Drawing Package
DP20.03	Revision Number
B2	

PRELIMINARY - NOT FOR CONSTRUCTION



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PRELIMINARY - NOT FOR CONSTRUCTION

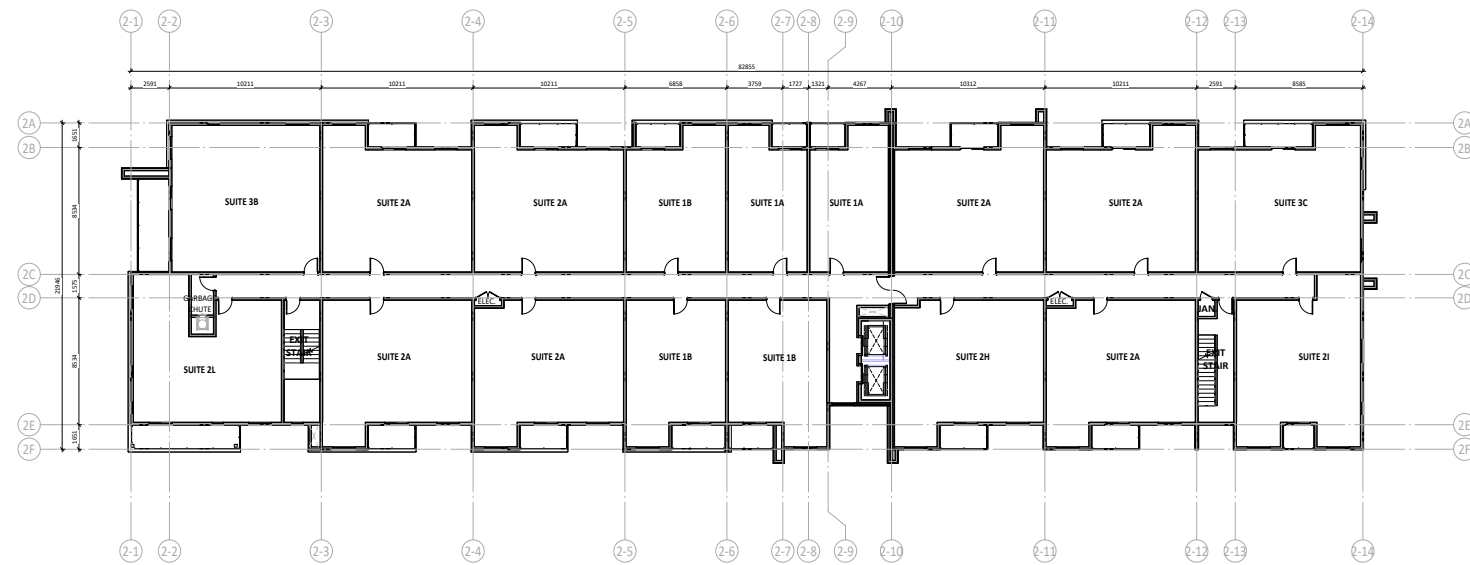
PRELIMINARY - NOT FOR CONSTRUCTION

B1 - LEVEL 6 PLAN
1:150

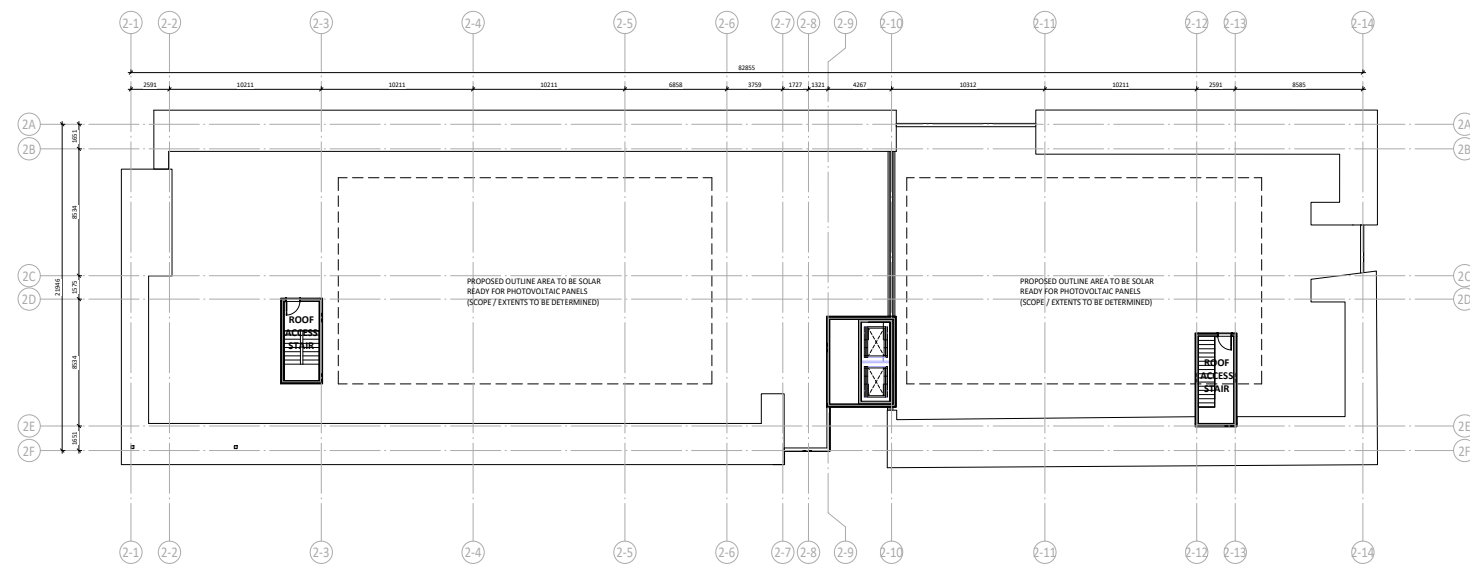
B1 - ROOF PLAN
1:150

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Date
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077	
Drawing Title	
LEVEL 6 & ROOF PLAN	
Drawn by: Author	Scale: 1:150
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
DP20.04	
B1	

- Notes:**
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DP20.04 B2 - LEVEL 6 PLAN
1:150



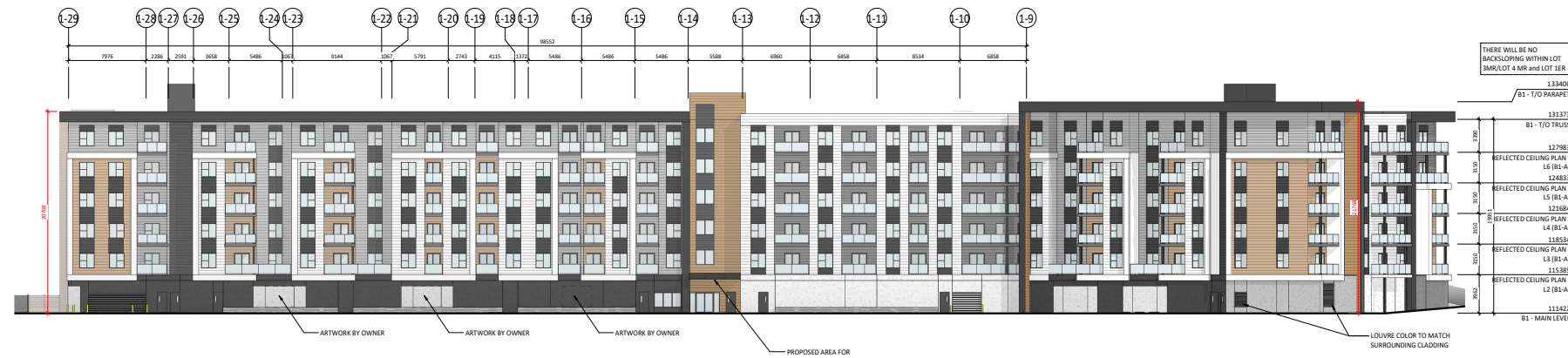
DP20.04 B2 - ROOF PLAN
1:150

DTR 2	24-03-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title LEVEL 6 & ROOF PLAN	
Drawn by: Author	Scale: 1:150
Reviewed by: EW	Date: [YYYY-MM-DD]
Manager:	Tech Review:
Date:	Drawing Package
DP20.04	Revision Number
B2	

PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

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DP40.01
B1 - EXTERIOR ELEVATION - NORTH
1 : 200



DP40.01
B1 - EXTERIOR ELEVATION - SOUTH
1 : 200

- PROPOSED PVC PANEL (WOOD)
- PROPOSED HORIZONTAL METAL PANEL (DARK WOOD)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (WHITE)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (GREY)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (DARK GREY)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (BLACK)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (BROWN)
- PROPOSED FIBER CEMENTITIOUS PANEL (WHITE)
- PROPOSED FIBER CEMENTITIOUS PANEL (BLACK)
- PROPOSED STUCCO (LIGHT GREY)
- PROPOSED STUCCO (GREY)
- PROPOSED STUCCO (DARK GREY)

DTR 2	24-03-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Date

Issued For / Revisions

Project: 23015
ICON 2
 Calgary, Alberta
 Legal Description: Building Permit No.
 Development Permit No. DP2023-06487
 OSSP No.

350, 140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Ph: 403.233.2000
 GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
EXTERIOR ELEVATIONS

Drawn by: Author
 Reviewed by: EW
 Manager:
 Tech Review:

Scale: As Indicated
 Date: (YYYY-MM-DD)
 Drawing Package: DP40.01
 Revision Number: B1

PRELIMINARY - NOT FOR CONSTRUCTION



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- 132600 B2 - T/O PARAPET
- 130560 B2 - T/O TRUSS
- 127170 REFLECTED CEILING PLAN - L6 (B2)
- 124021 REFLECTED CEILING PLAN - L5 (B2)
- 120871 REFLECTED CEILING PLAN - L4 (B2)
- 117721 REFLECTED CEILING PLAN - L3 (B2)
- 114572 REFLECTED CEILING PLAN - L2 (B2)
- 111422 B2 - MAIN LEVEL

- PROPOSED PVC PANEL (WOOD)
- PROPOSED HORIZONTAL METAL PANEL (DARK WOOD)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (WHITE)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (GREY)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (DARK GREY)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (BLACK)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (BROWN)
- PROPOSED FIBER CEMENTITIOUS PANEL (WHITE)
- PROPOSED FIBER CEMENTITIOUS PANEL (BLACK)
- PROPOSED STUCCO (LIGHT GREY)
- PROPOSED STUCCO (GREY)
- PROPOSED STUCCO (DARK GREY)

DP40.01
B2
B2 - EXTERIOR ELEVATION - NORTH
1:100

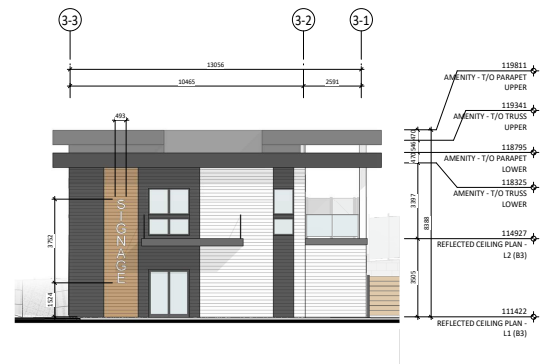
DP40.01
B2
B2 - EXTERIOR ELEVATION - SOUTH
1:100

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Date
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
350, 140-10 Ave SE Calgary, Alberta T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077	
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Drawn by: Author	Scale: 1:100
Reviewed by: EW	Date: (YYYY-MM-DD)
Manager:	Tech Review:
Date:	Drawing Package:
DP40.01	Revision Number:
B2	

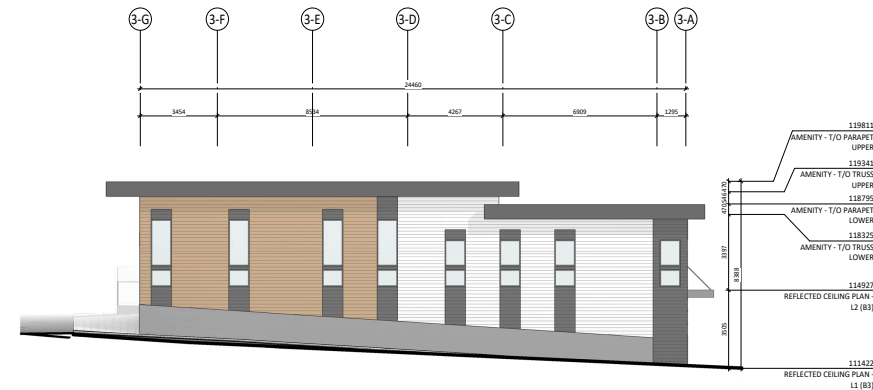
PRELIMINARY - NOT FOR CONSTRUCTION

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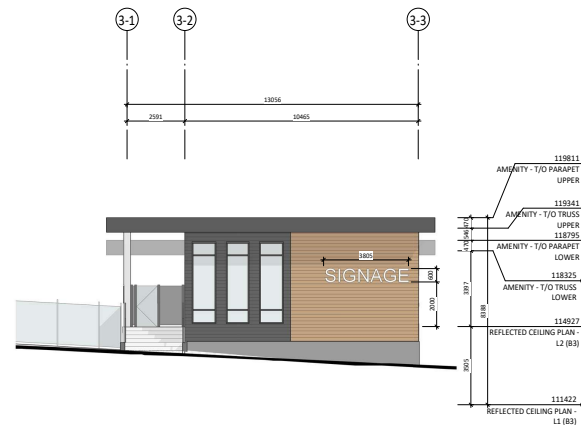
PRELIMINARY - NOT FOR CONSTRUCTION



DP40.01
B3 - EXTERIOR ELEVATION - NORTH
1:100



DP40.01
B3 - EXTERIOR ELEVATION - EAST
1:100



DP40.01
B3 - EXTERIOR ELEVATION - SOUTH
1:100



DP40.01
B3 - EXTERIOR ELEVATION - WEST
1:100

- PROPOSED PVC PANEL (WOOD)
- PROPOSED HORIZONTAL METAL PANEL (DARK WOOD)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (WHITE)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (GREY)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (DARK GREY)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (BLACK)
- PROPOSED FIBER CEMENTITIOUS LAP SIDING (BROWN)
- PROPOSED FIBER CEMENTITIOUS PANEL (WHITE)
- PROPOSED FIBER CEMENTITIOUS PANEL (BLACK)
- PROPOSED STUCCO (LIGHT GREY)
- PROPOSED STUCCO (GREY)
- PROPOSED STUCCO (DARK GREY)

DTR 2	24-03-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13

No.	Description	Date
Issued For / Revisions		

Project: Project Number: 23015

ICON 2

Calgary, Alberta

Legal Description Building Permit No.

Development Permit No. DP2023-06487

DSSP No.

350,140-10 Ave SE

Calgary, Alberta.

TIG 081

Ph: 403.233.2000

GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title

EXTERIOR ELEVATIONS

Drawn by: Author

Scale: 1:100

Reviewed by: EW

Manager: Date (YYYY-MM-DD)

Tech Review:

Date: Drawing Package

DP40.01

B3

Revision Number

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DP40.02
B1
B1 - EXTERIOR ELEVATION - EAST
1 : 100

THERE WILL BE NO BACKCLOPPING WITHIN LOT DIM/LIN/LOT 4 MIN AND LOT 1ER



2
DP40.02
B1
B1 - EXTERIOR ELEVATION - WEST
1 : 100

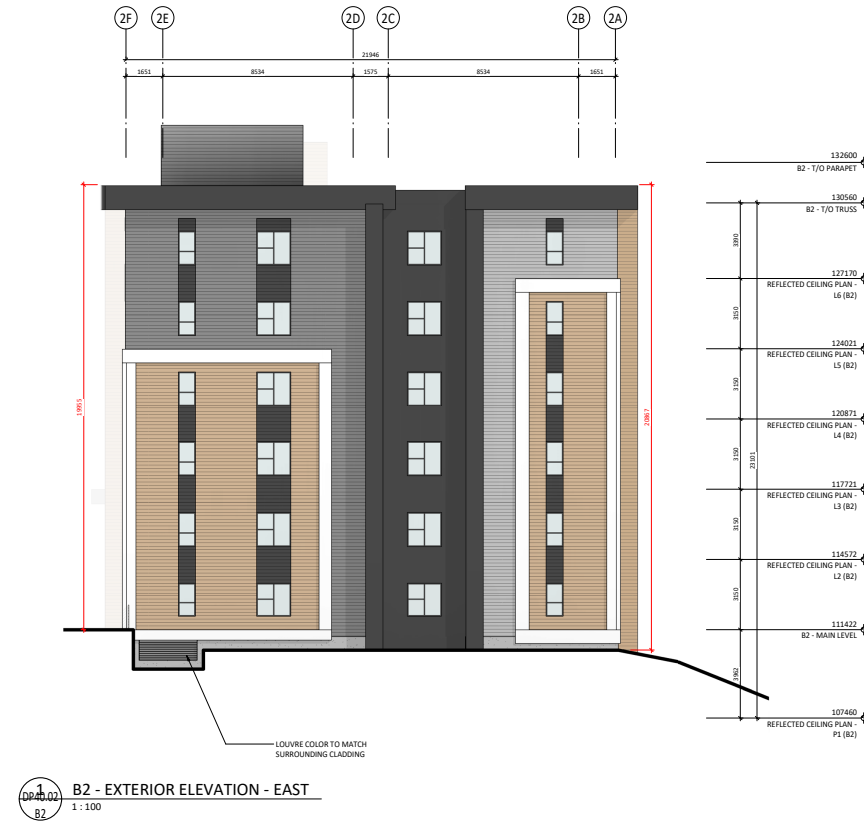
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DTR 2	24-03-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No.	DSSP No.
DP2023-06487	
350, 140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title EXTERIOR ELEVATIONS	
Drawn by: Author	Scale: 1 : 100
Reviewed by: EW	Date: (YYYY-MM-DD)
Manager:	
Tech Review:	
Drawn by:	Drawing Package
DP40.02	Revision Number
B1	

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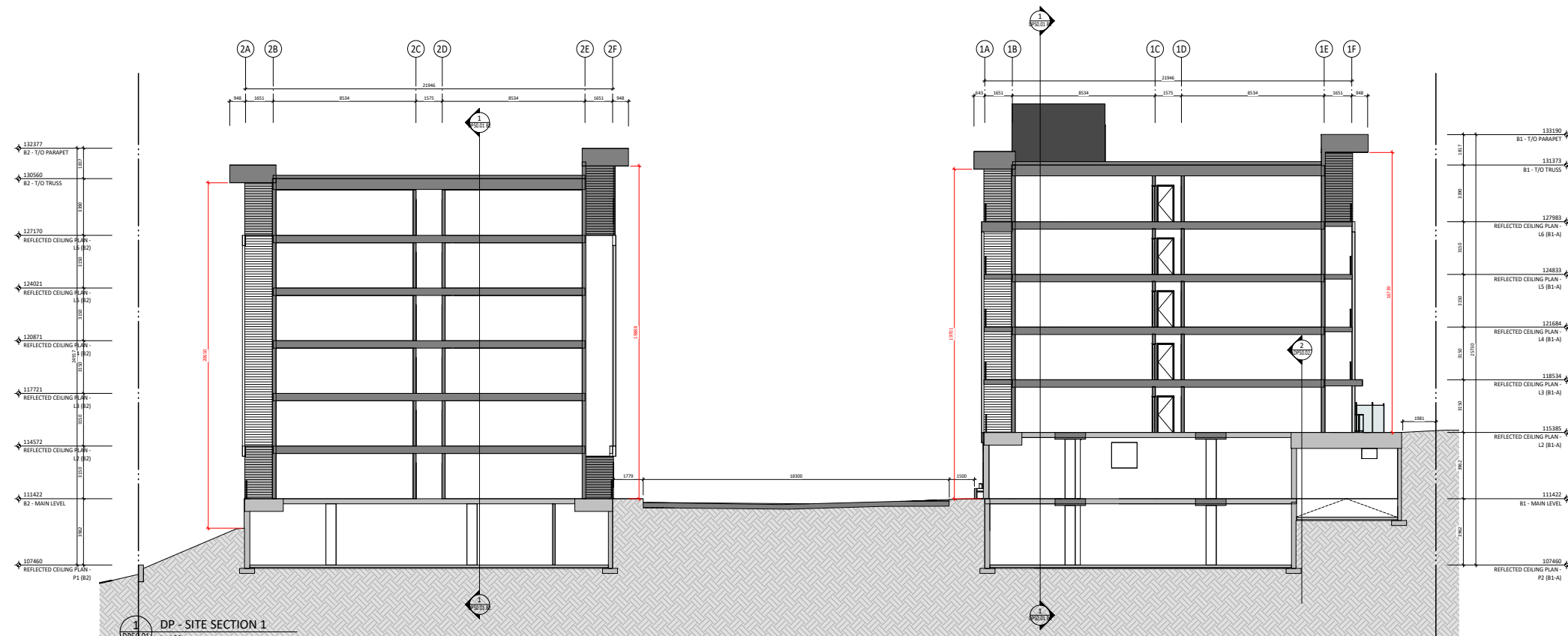


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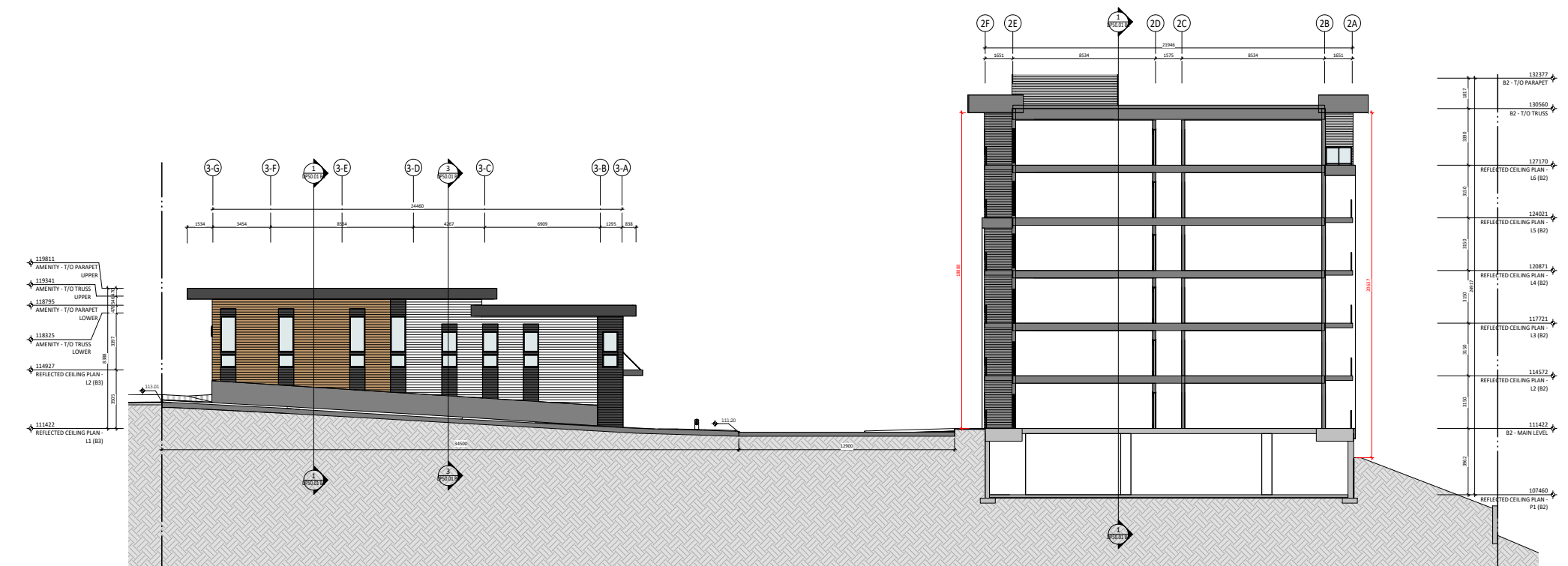
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DTR 1	24-01-19	
DP SUBMISSION	23-09-13	
No.	Description	Date
Issued For / Revisions		
Project	Project Number: 23015	
ICON 2		
Calgary, Alberta		
Legal Description	Building Permit No.	
Development Permit No.	DSSP No.	
350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077		
Drawing Title EXTERIOR ELEVATIONS		
Drawn by:	Author	Scale
Reviewed by:	EW	1:100
Manager:		Date (YYYY-MM-DD)
Tech Review:		
Drawing Package	Revision Number	
DP40.02	B2	

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1 DP - SITE SECTION 1
1:100



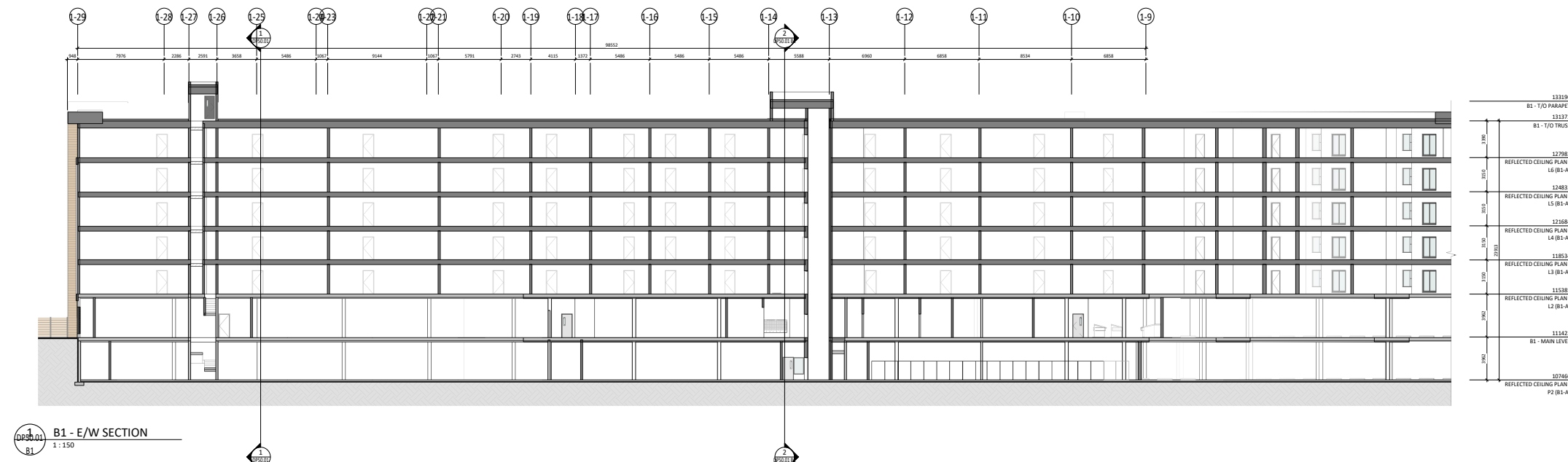
2 DP - SITE SECTION 2
1:100

DTR 2	24-02-28	
DTR 1	24-01-19	
DP SUBMISSION	23-09-13	
No.	Description	Date
Issued For / Revisions		
Project	Project Number: 23015	
ICON 2		
Calgary, Alberta	Building Permit No.	
Legal Description	Development Permit No.	
DP2023-06487	DSSP No.	
GGA-ARCHITECTURE		
350, 140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077		
Drawing Title SITE SECTIONS		
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Reviewed by: EW	Manager:	Date (YYYY-MM-DD)
Tech Review:	Drawing Number	Drawing Package
DP50.01		Revision Number

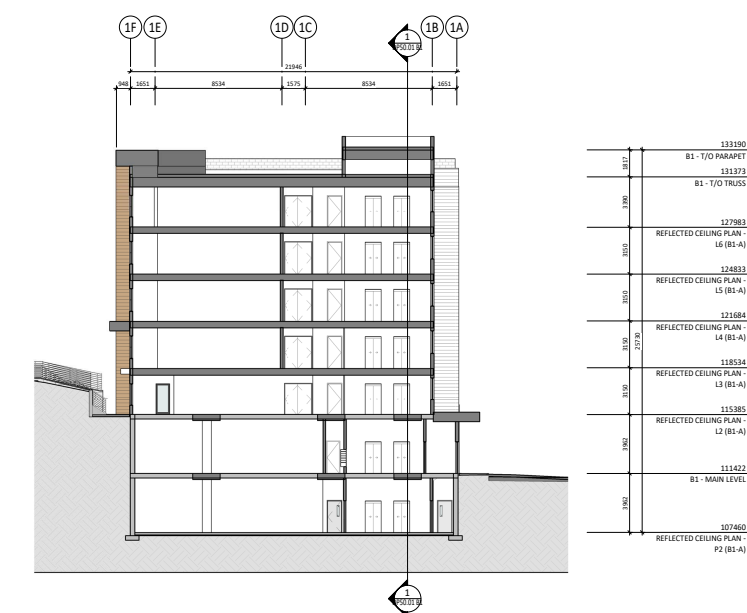
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1
DP50.01
B1
B1 - E/W SECTION
1:150

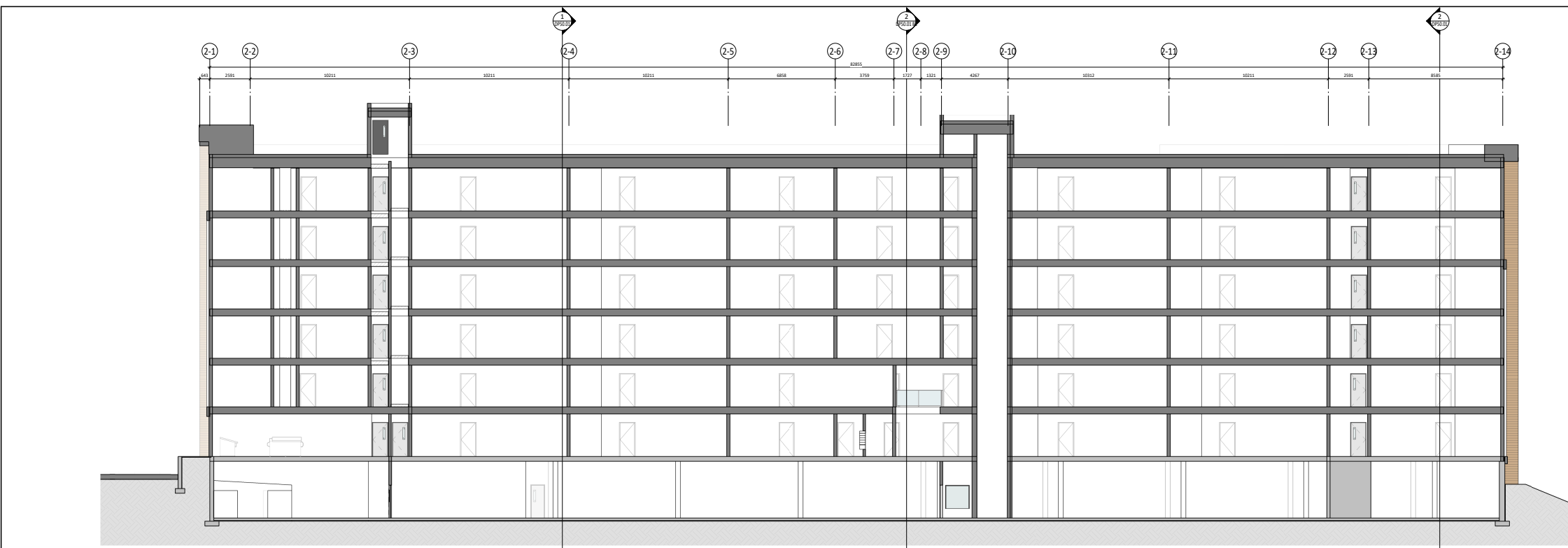


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B1
B1 - N/S SECTION 1
1:150

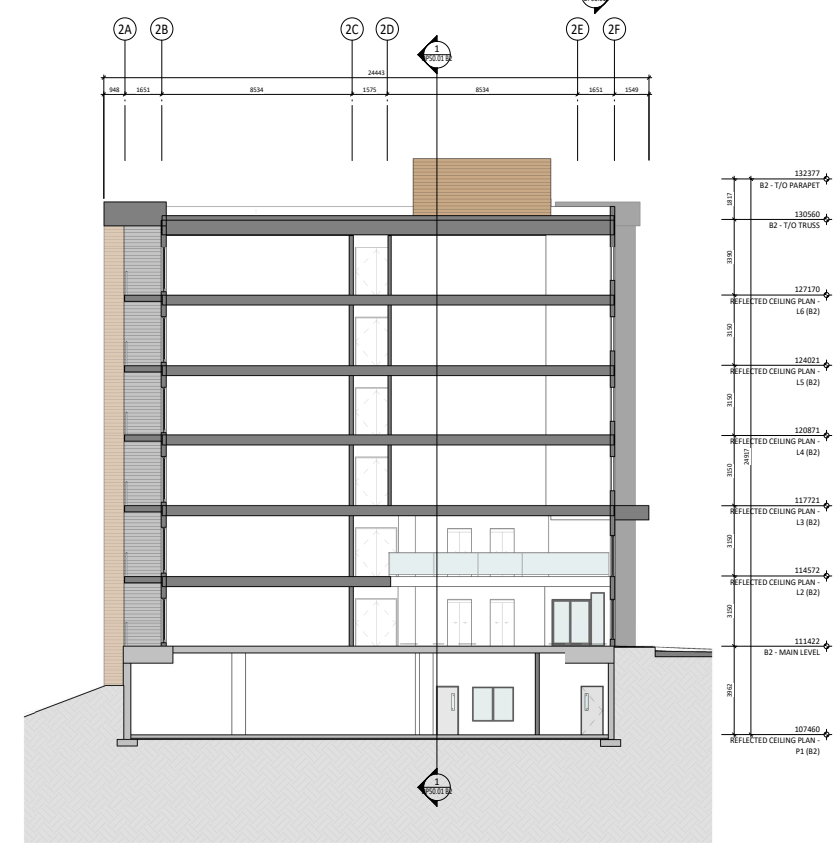
PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
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Reviewed by: EW	Date [YYYY-MM-DD]
Manager:	Tech Review:
DP50.01	Revision Number
B1	

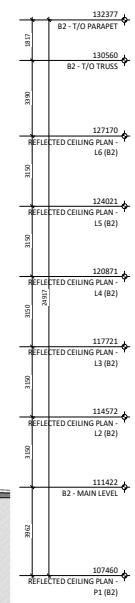
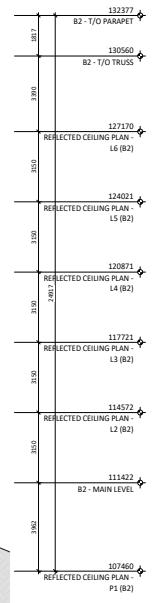


DP50.01
B2
B2 - E/W SECTION
1:100



DP50.01
B2
B2 - N/S SECTION
1:100

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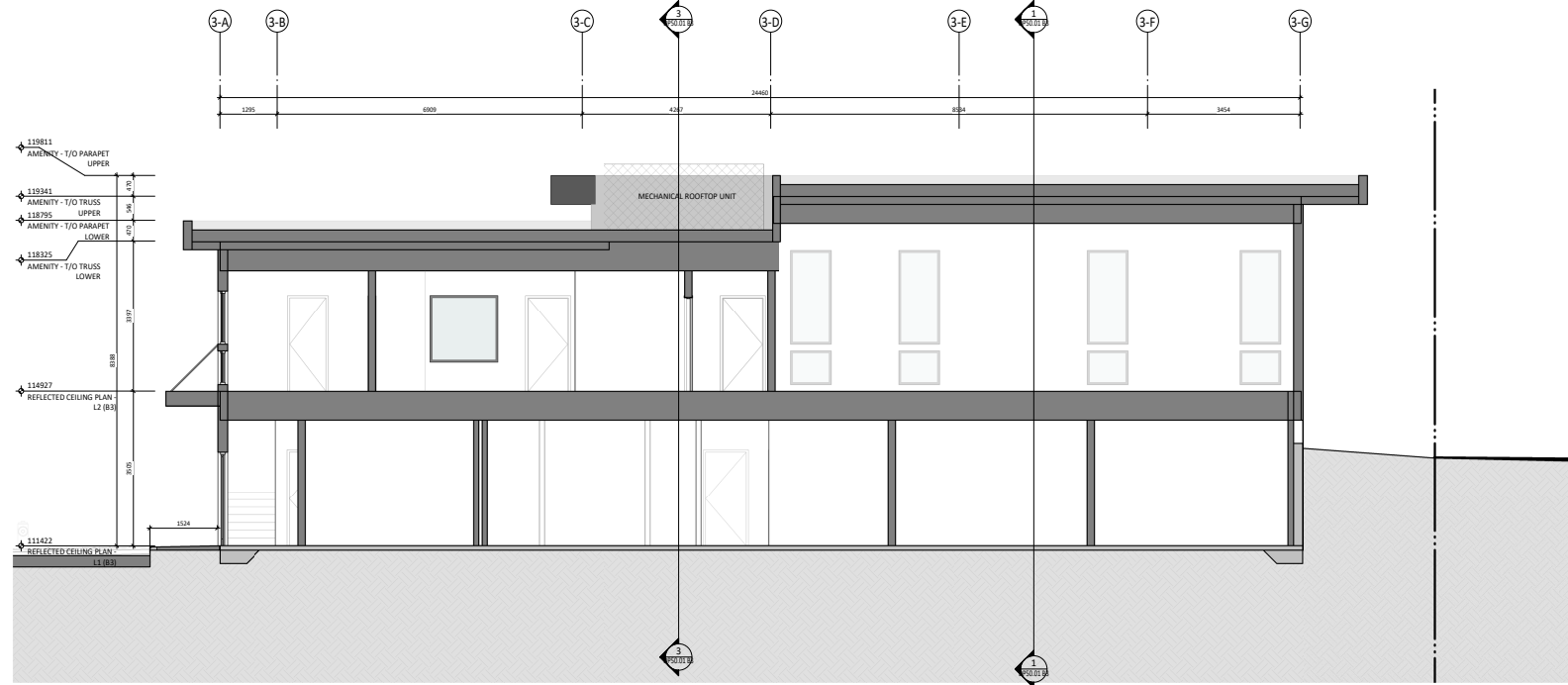


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DTR 1	24-01-19	
DP SUBMISSION	23-09-13	
No.	Description	Date
Issued For / Revisions		
Project	Project Number: 23015	
ICON 2		
Calgary, Alberta		
Legal Description	Building Permit No.	
Development Permit No.	DSSP No.	
350, 140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077		
Drawing Title BUILDING SECTIONS		
Drawn by:	Author	Scale
Reviewed by:	EW	1:100
Manager:		Date (YYYY-MM-DD)
Tech Review:		
Drawing Package	Revision Number	
DP50.01	B2	

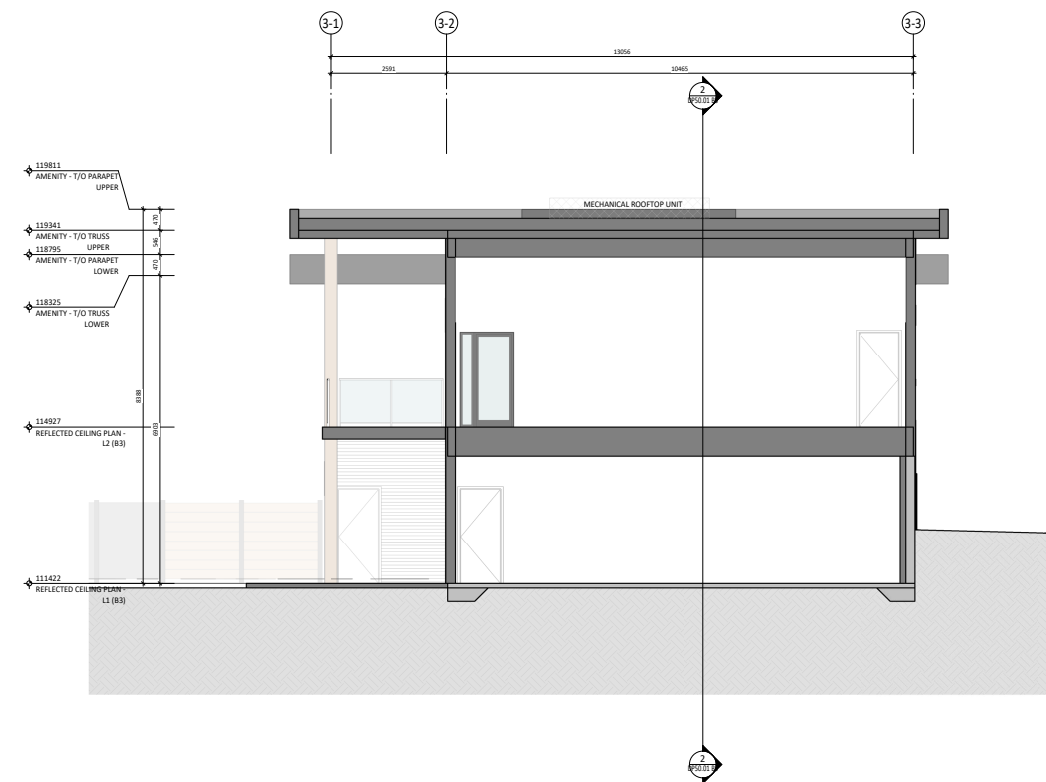
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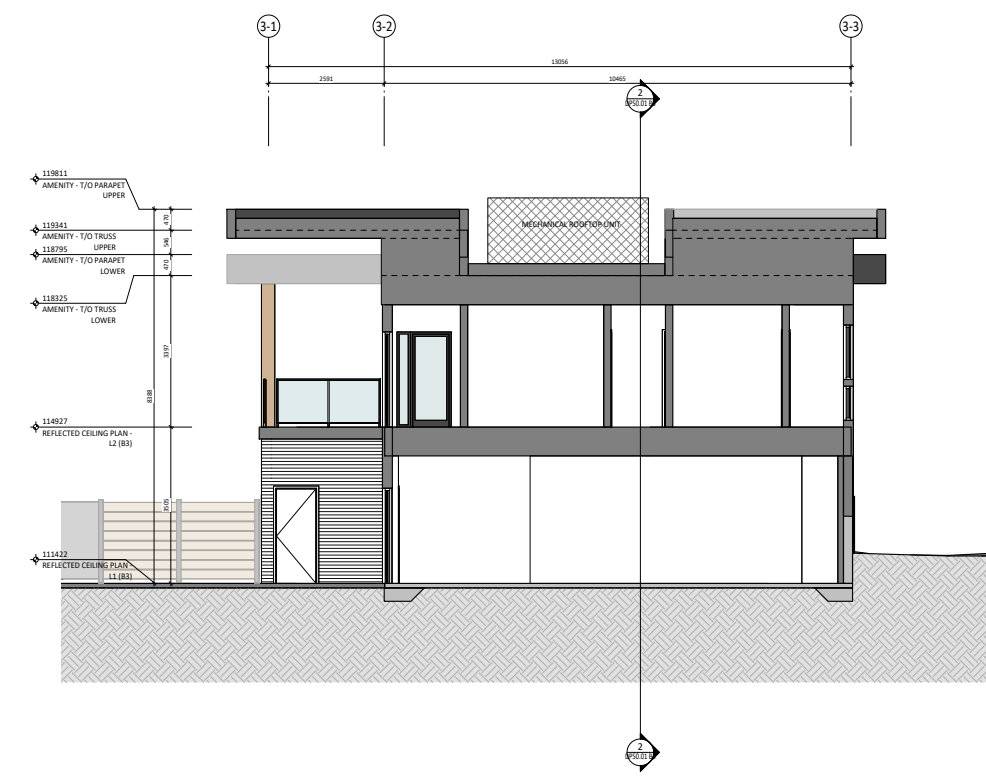
PRELIMINARY - NOT FOR CONSTRUCTION



2
DP50.01
B3
B3 - N/S SECTION
1 : 50



4
DP50.01
B3
B3 - E/W SECTION
1 : 50

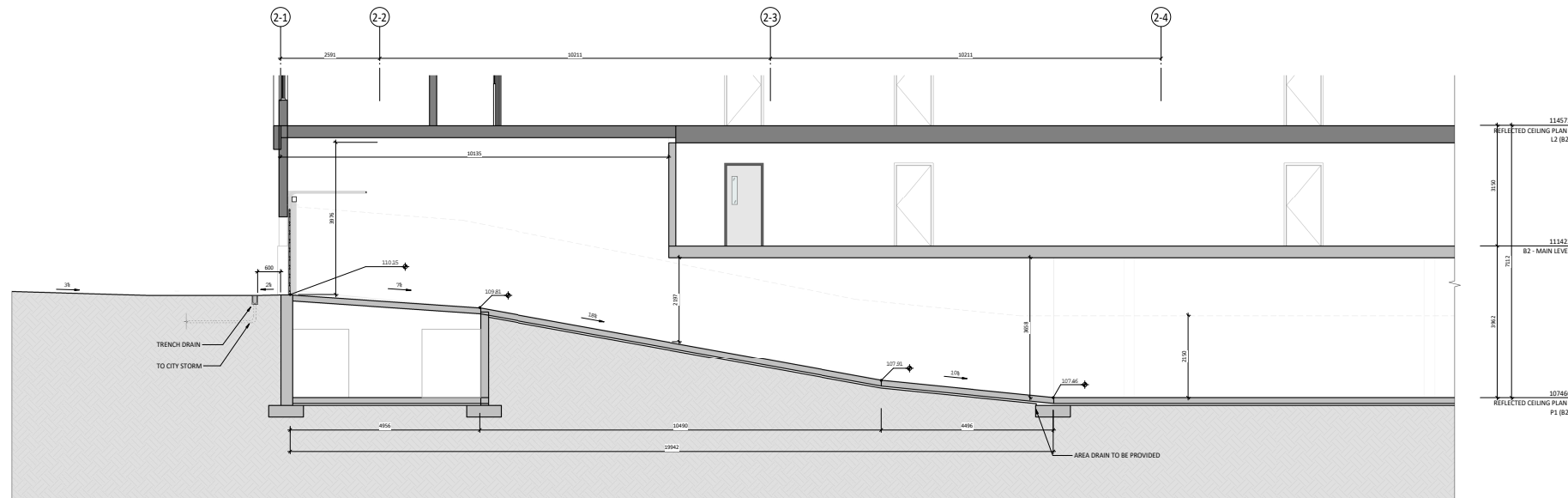


3
DP50.01
B3
B3 - E/W SECTION 2
1 : 50

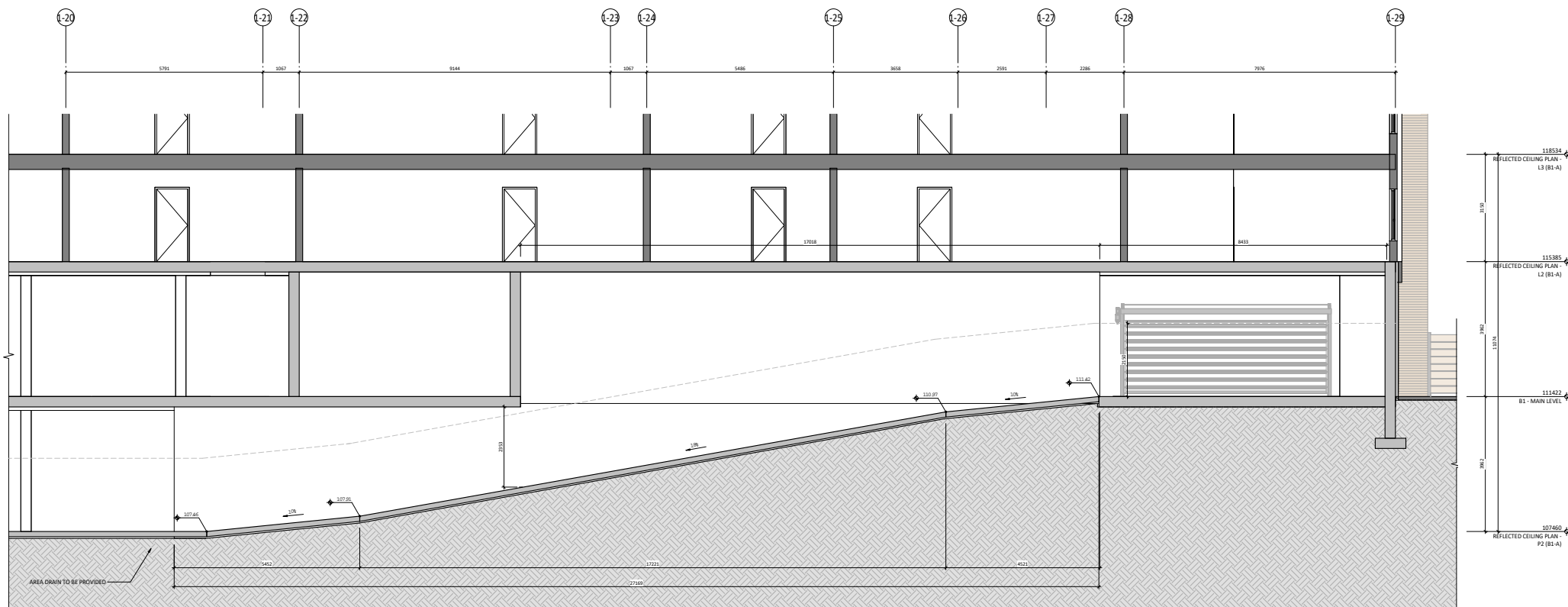
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DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Description
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No.	DSSP No.
DP2023-06487	
350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title	
BUILDING SECTIONS	
Drawn by: Author	Scale
Reviewed by: EW	1 : 50
Manager:	Date (YYYY-MM-DD)
Tech Review:	
Drawn by:	Drawing Package
DP50.01	
B3	Revision Number

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1 DP - B2 RAMP SECTION
DP50.07 1:50



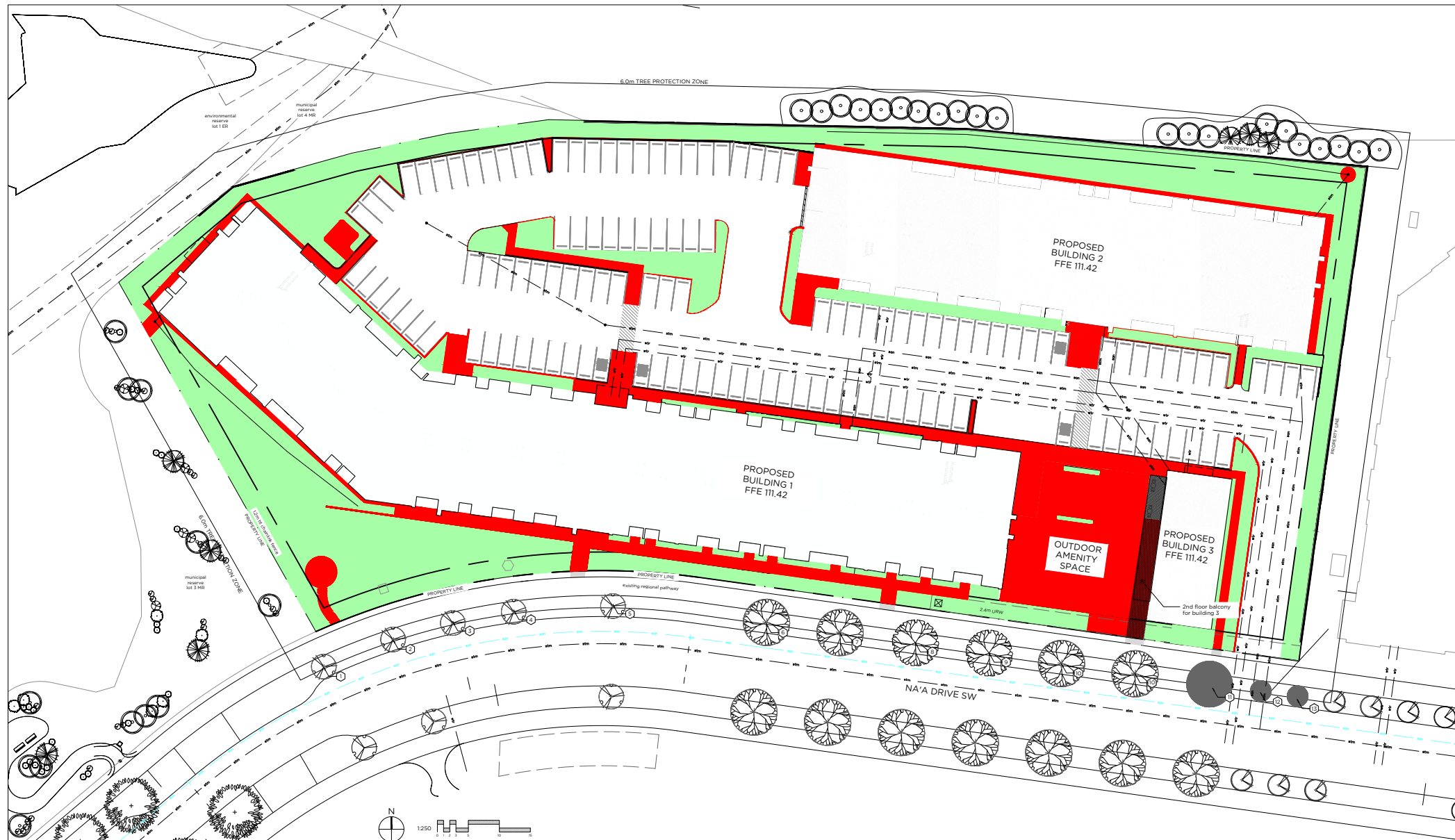
2 DP - B1 RAMP SECTION
DP50.07 1:50

DTR 2	24-02-28
DTR 1	24-01-19
DP SUBMISSION	23-09-13
No.	Date
Issued For / Revisions	
Project	Project Number: 23015
ICON 2	
Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No. DP2023-06487	DSSP No.
 350,140-10 Ave SE Calgary, Alberta. TIG 081 Ph: 403.233.2000 GGA-ARCHITECTURE Fax: 403.264.2077	
Drawing Title	
RAMP SECTIONS	
Drawn by: Author	Scale: 1:50
Reviewed by: EW	Date: (YYYY-MM-DD)
Manager:	Tech Review:
Drawing Number	Drawing Package
DP50.02	Revision Number

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existing tree inventory			
number	common name	tree species	remain / remove
1	thunderchild flowering crab	malus 'thunderchild'	remain
2	thunderchild flowering crab	malus 'thunderchild'	remain
3	thunderchild flowering crab	malus 'thunderchild'	remain
4	thunderchild flowering crab	malus 'thunderchild'	remain
5	thunderchild flowering crab	malus 'thunderchild'	remain
6	patmore elm	ulmus americana 'patmore'	remain
7	patmore elm	ulmus americana 'patmore'	remain
8	patmore elm	ulmus americana 'patmore'	remain
9	patmore elm	ulmus americana 'patmore'	remain
10	patmore elm	ulmus americana 'patmore'	remain
11	patmore elm	ulmus americana 'patmore'	remove
12	thunderchild flowering crab	malus 'thunderchild'	remove
13	thunderchild flowering crab	malus 'thunderchild'	remove

landscape area calculation legend

- hardscape areas
- softscape areas
- 2nd floor balcony

notes

- planters and sodded areas will be serviced by low-flow irrigation system
- naturalized areas will be manually irrigated until establishment

landscape area calculations

landscape area calculations are based on the city of Calgary land-use bylaw IP2007, Part 6, Division 12: Multi-Residential - Medium Profile Support Commercial (M-X2) (M-X2#B#) District.

requirement summary

(686) specific landscape requirements
 - at least 80% of the required landscape area must be provided at grade

(550 / 551 / 552) general landscape requirements
 - a minimum of 40% of the area must be landscaped area

- the maximum hard surfaced landscape area is 50.0% of the required landscaped area for a parcel containing a street-oriented multi-residential building
- a minimum of 1 tree and 2 shrubs must be planted for every 45 m² of landscaped area provided.
- minimum of 25% of all trees required must be coniferous
- deciduous trees must have a minimum caliper of 50 mm and at least 50% of the provided deciduous trees must have a minimum caliper of 75 mm at the time of planting
- coniferous trees must have a minimum height of 2.0m and 50% of the provided coniferous trees must be a minimum of 3.0 m in height at the time of planting
- shrubs must have a minimum height or spread of 0.6 m at the time of planting

landscape area reductions - multi-residential development

(554) street oriented multi-residential landscaping option
 - the required 40.0% landscaped area may be reduced by 3.0% of the area of the parcel where:
 - for a street-oriented multi-residential building by 2.0m² for every 1.0 m of frontage along the property line shared with a street, not including motor vehicle access driveways, to a maximum of 4.0% of the area of the parcel

(555) enhanced landscaping option

- the required 40.0% landscaped area may be reduced by 3.0% of the area of the parcel where:
 a. 1.0 trees and 2.0 shrubs are planted for every 25.0m² of landscaped area provided
- b. deciduous trees have a minimum caliper of 65 mm and at least 50.0% of the provided deciduous trees must have a minimum caliper of 85 mm at the time of planting
- c. coniferous trees have a minimum height of 3.0m and at least 50.0% of the provided coniferous trees must have a minimum height of 4.0m at the time of planting

(556) low water landscaping option

- the required 40.0% landscaped area may be reduced by 3.0% of the area of the parcel where:
 d. a low water irrigation system is provided
- e. the delivery of the irrigated water is confined to trees and shrubs
- f. trees and shrubs with similar water requirements are grouped together
- g. a maximum of 30.0% of the required landscaped area is planted with sod and the remainder is covered with plantings, mulch or hard surfaces
- h. a minimum of 30.0% of required trees are selected from the list in Table 3 of the bylaw IP2007, Part 6, Division 1: Low Water Trees
- i. a minimum of 30.0% of required shrubs are selected from the list in Table 4 of the bylaw IP2007, Part 6, Division 1: Low Water Shrubs

landscape area calculations

total parcel area 13,802 m²
 total required landscape area (40% of parcel) 5,521 m²

reductions
 (554) street-oriented area (0m² x 2) 0 m²
 (555) enhanced landscaping reduction (3% of total required landscape area) (414 m²)
 (556) low water option reduction (3% of total required landscape area) (414 m²)

total reductions applied (828 m²)

landscape area required after reductions 4693 m²

landscape area provided
 - hardscape area 1524 m²
 - softscape area 3048 m²
 - 2nd floor area 68 m²

total required trees (1 per 25 m² of required landscape area)

overall trees required (required landscape area / 25m²) = 188
 coniferous trees
 - total (188 x 25%) 47
 - min. 4.0m ht (47 x 50%) 23

deciduous tree
 - total (188 x 75%) 141
 - min. 65mm caliper (141 x 50%) 71

total provided trees 188

coniferous trees total 47

- 3.0m height - 24
 - 4.0m height - 23

deciduous trees total 141

- 65mm caliper - 71
 - 85mm caliper - 71

low water trees provided 94

total required shrubs (2 per 25 m² of required landscape area)

overall shrubs required (required landscape area / 25 m²) = 376

totals shrubs required 376

low water shrubs provided 291

PRELIMINARY - NOT FOR CONSTRUCTION

No.	Description	Date
05	ISSUED FOR DP	24.04.17
04	DTR 2 RESPONSE	24.02.28
03	DTR 1 RESPONSE	24.01.19
02	DP SUBMISSION	23.09.07
01	DP REVIEW DRAFT	23.08.24

Drawn by: JM Scale: 1:250
 Checked by: 1:250
 Project Number: 23.012 Date: (23-05-25)

Project:
ICON 2
 8 150 56TH STREET SE,
 CALGARY, ALBERTA

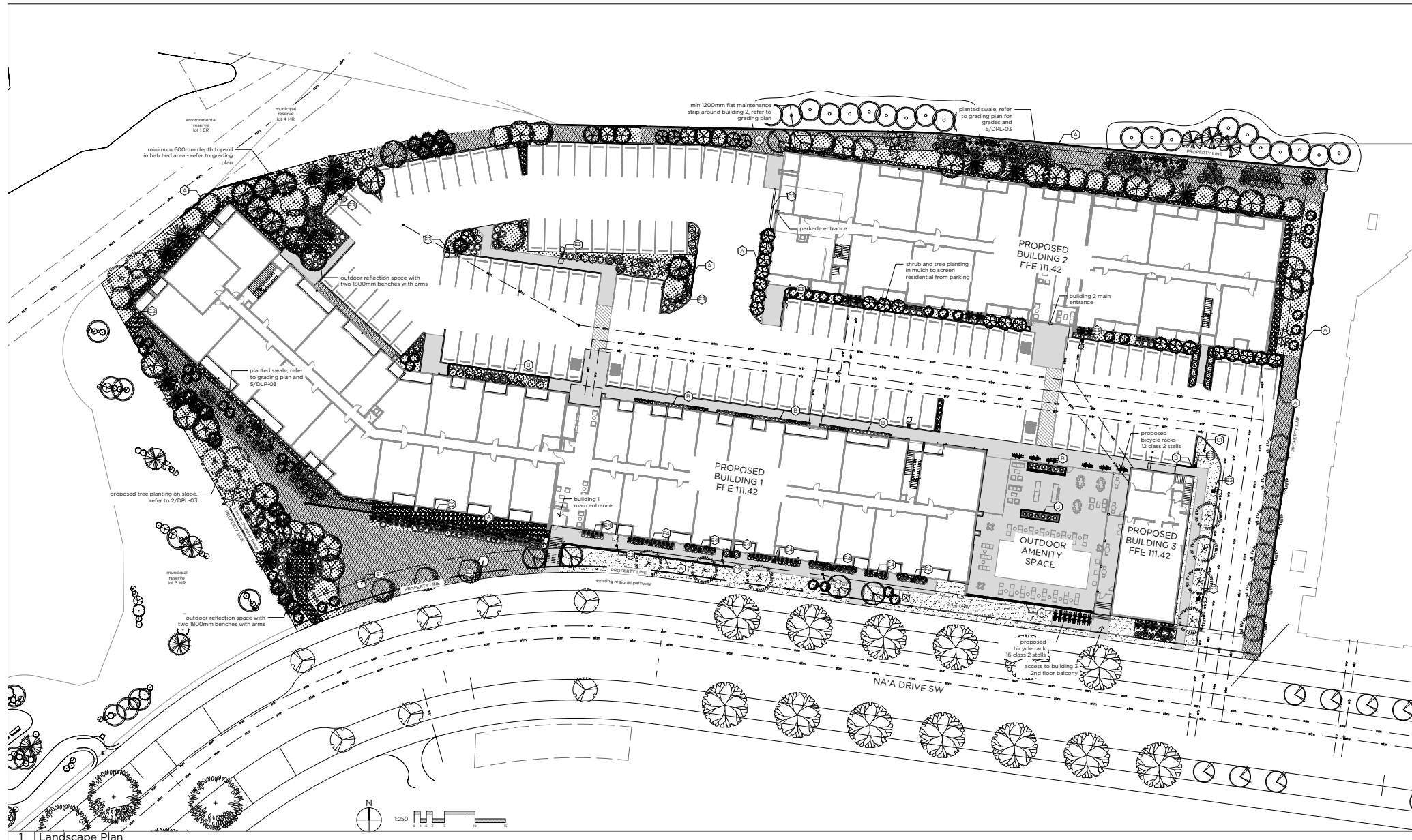
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 2023-06487 Development Permit No. DSSP No.

Drawing Title:
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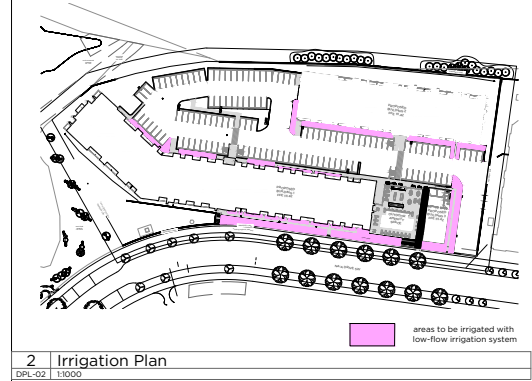
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 PH: 403.233.2000
 Fax: 403.264.0879

Drawing Number: DPL-01
 Revision Number: C

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1 Landscape Plan
DPL-02 1:250



2 Irrigation Plan
DPL-02 1:1000

key note legend

(A)	retaining wall (greater than 900mm in height above grade) to be designed by a geotechnical engineer qualified to practice in the province of alberta
(B)	raised planter or landscape wall (max 900mm above grade)
(C)	padmount electrical transformer - refer to electrical
(D)	enmax hex pullbox - refer to electrical
(E)	light standard - refer to electrical
(F)	bollard lights - refer to architecture
(G)	fire hydrant - refer to civil
(H)	area drain - refer to civil
(I)	trench drain - refer to civil

surface material legend

(1)	c/p concrete sidewalk
(2)	25mm crush granular pathways or maintenance strips
(3)	40mmØ river washed stone planted swale refer to S/DPL-03 for detail
(4)	mulch planting bed - refer to DPL-03 for typical details
(5)	min. 450mm depth planting bed for perennials + grasses
(6)	min. 600mm depth planting bed for shrubs
(7)	min. 900mm depth planting beds for trees and mixed plantings
(8)	seed on 300mm screened topsoil City of Calgary seed mix (2018): "early successional summer mix for boulevards"
(9)	seed on 300mm screen topsoil City of Calgary seed mix (2018): "upland forest mix"
(10)	proposed landscape or retaining wall refer to key note

line type legend

(1)	property line
(2)	set-back line
(3)	electrical line
(4)	water main
(5)	sanitary line
(6)	stormwater line
(7)	utility right of way

proposed plant list for trees

71	total overall trees provided deciduous trees = 141 coniferous trees = 47
44	large deciduous trees - 85mm caliper <ul style="list-style-type: none"> mayday (low water) <i>prunus padus commutata</i> brandon elm <i>ulmus americana 'brandon'</i> hot wings tartarian maple <i>acer tartaricum 'saxatini'</i> prince sylv poplar <i>populus 'prince sylv'</i>
26	medium deciduous trees (low water) - 65mm caliper <ul style="list-style-type: none"> trembling aspen <i>populus tremuloides</i> chokecherry (low water) <i>prunus virginiana 'shubert'</i>
23	columnar trees - 65mm caliper <ul style="list-style-type: none"> swedish columnar aspen <i>populus tremuloides 'recta'</i>
24	large coniferous trees - 4.0m ht <ul style="list-style-type: none"> bristlecone pine (low water) <i>pinus aristata</i> colorado blue spruce (low water) <i>pinus pungens</i>
	medium coniferous trees - 3.0m ht <ul style="list-style-type: none"> white spruce <i>pinus glauca</i>

proposed plant list for shrubs

85	non low water shrubs - provided at 600 mm sp/ht minimum <ul style="list-style-type: none"> wild rose <i>rosa acutifolia</i> red osier dogwood <i>cornus sericea</i> false spirea <i>sorbaria sorbifolia</i> snowberry <i>symphoricarpos albus</i>
29	low water shrubs - provided at 600 mm sp/ht minimum <ul style="list-style-type: none"> silver buffaloberry <i>shepherdia argentea</i> alderwood fetterella <i>gasterolepis frutescens 'alderwood'</i> saskatoon <i>amelanchier alnifolia</i> alpine currant <i>ribes alpinum</i> wild gooseberry <i>ribes uva-ursi</i> creeping juniper <i>juniperus horizontalis</i> red edelweiss <i>sambucus racemosa</i>

proposed plant list for perennials, grasses, and vines

202	<ul style="list-style-type: none"> blazing star <i>lithospermum</i> coneflower <i>ratibida columnaris</i> western wheat grass <i>paspalopyrum amabile</i> tufted hair grass <i>deschampsia cespitosa</i>
-----	--

PRELIMINARY - NOT FOR CONSTRUCTION

05 ISSUED FOR DP	24.04.17
04 DTR 2 RESPONSE	24.02.28
03 DTR 1 RESPONSE	24.01.19
02 DP SUBMISSION	23.09.07
01 DP REVIEW DRAFT	23.08.24

Drawn by: JM
Checked by: 1:250
Project Number: 23.012
Date: (23-05-25)

Project: **ICON 2**

CALGARY, ALBERTA

Legal Description: Lot 8, Block 14, 1/2 Development Parcel No. DP2023-06487	Building Permit No. DSSP
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Overall Landscape Plan

350 140 10 Avenue SE Calgary, AB
T2G 0R1
Ph: 403.233.2000
Fax: 403.264.0879

Drawing Number: DPL-02	Revision Number:
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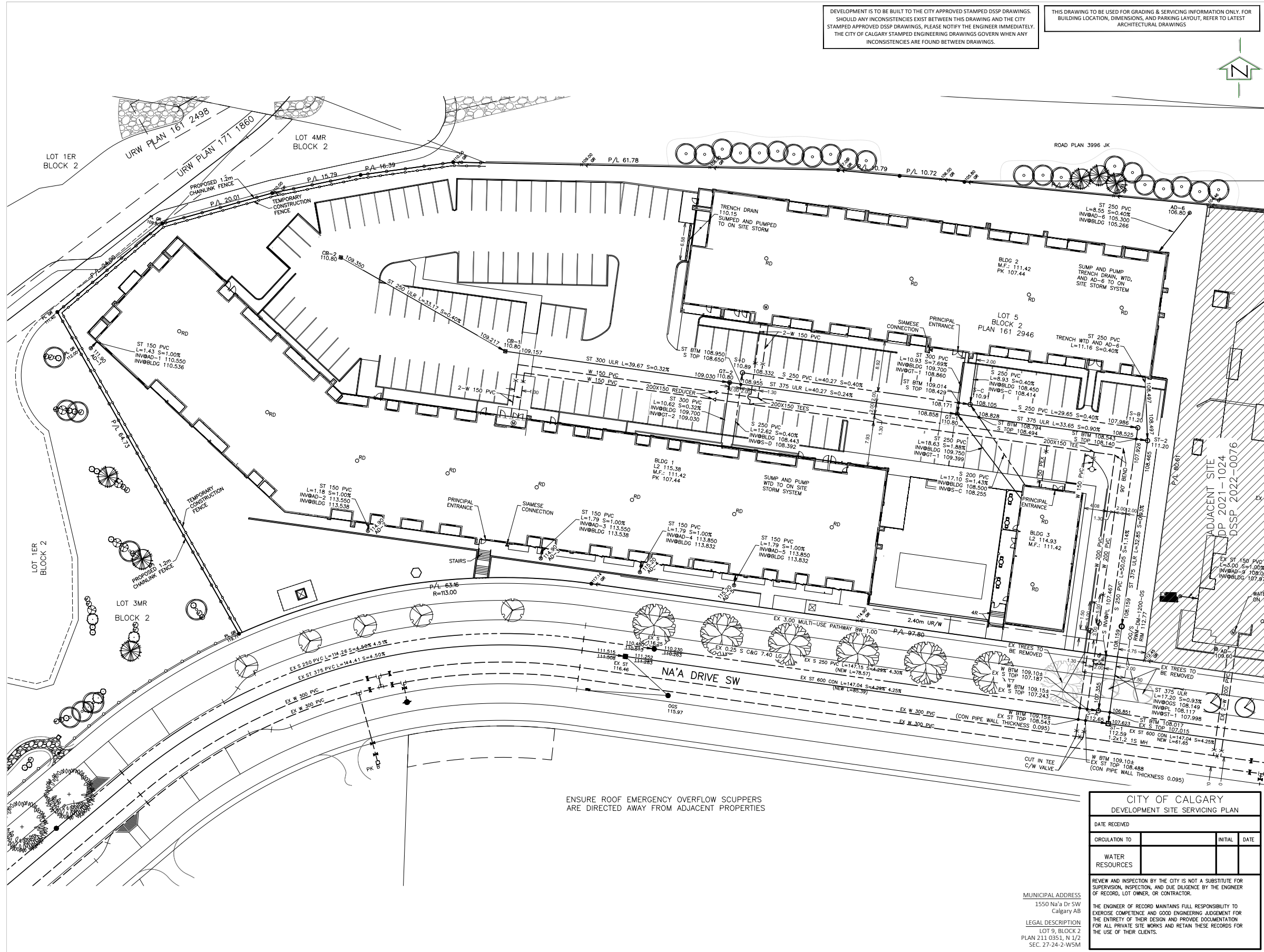
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DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.

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PERMIT _____ STAMP _____

- NOTES
- All elevations referenced to 1000m Geodetic Datum.
 - Hydrants, valves, check valves, manholes, sewer lines, water lines etc., to be installed to City of Calgary standards.
 - All manholes to be S.S.C.
 - Match crown minimum at all sewer connections.
 - All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes $\leq 150\text{mm}$ to be SDR 28 PVC. Sewer service pipes > 150mm to be SDR 35.
 - Sewer lines to minimum slopes as per City of Calgary Standards.
 - Use City of Calgary Type 2 installation, Class 1A bedding for sewer pipes unless otherwise noted.
 - Insulation required for sanitary sewers if cover less than 2.50m on mains.
 - Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
 - All water mains to be DR 18 PVC unless otherwise noted.
 - Use City of Calgary Type 1 installation, Class 1A bedding for water mains, Type 2 installation, class 'B' bedding for services.
 - Depth of bury for water lines to conform with City of Calgary standards.
 - No trees to be planted over water lines.
 - Protection of Potable Water Supply From Contamination: All cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
 - For building locations and dimensions refer to latest Architectural drawings.
 - Wesping Tiles & Free Flow area drains to be tied to unrestricted free flow storm sewer.
 - All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.
 - Waterline to be tested and flushed up to the master control valve to NFPA13 standards. Inspections and completion of the documentation is required to be completed and submitted to the contractor.

LEGEND

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Water meter location
- Existing elevation
- Sanitary manhole number & elevation
- Storm manhole number & elevation
- Main floor elevation
- Top of footing elevation
- Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2023-06487

REVISIONS

No.	DATE	DESCRIPTION	BY
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ISSUED FOR

No.	DATE	DESCRIPTION	DATE	APP.
4		AS-BUILT		
3		FOR CONSTRUCTION		
2		FOR TENDER		
1		DEVELOPMENT PERMIT		
		DRAWING STATUS		

CLIENT
DEVERAUX DEVELOPMENTS

PROJECT
**ICON 2 APARTMENTS - MEDICINE HILL
275 UNITS
1550 NA'A DR SW**

TITLE
SITE SERVICING PLAN

CITY OF CALGARY
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED _____

CIRCULATION TO	INITIAL	DATE
WATER RESOURCES		

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

MUNICIPAL ADDRESS
1550 Na'a Dr SW
Calgary AB

LEGAL DESCRIPTION
LOT 9, BLOCK 2
PLAN 213 035.1, N 1/2
SEC. 27-24-2-W5M

DESIGN BY:	DV	SCALE:	1:300	JOB NUMBER:	23-078
DRAWN BY:	WB	REV NO.:	-	DRAWING NUMBER:	SP1
CHECKED BY:	DV	DATE:	4-Mar-24		



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PERMIT _____ STAMP _____

NOTES
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LEGEND

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Proposed swale
- Overland flow
- Overland escape route
- Design elevation
- Existing elevation
- Proposed road grade
- Sanitary manhole number & elevation
- CB/GT/Storm manhole number & elevation
- Traplow
- M.F. 000.00 Main floor elevation
- T.F. 000.00 Top of footing elevation
- 000.00 Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2023-06487

NO.	DATE	DESCRIPTION	BY
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3 FOR CONSTRUCTION		
2 FOR TENDER		
1 DEVELOPMENT PERMIT		

CLIENT
DEVERAUX DEVELOPMENTS

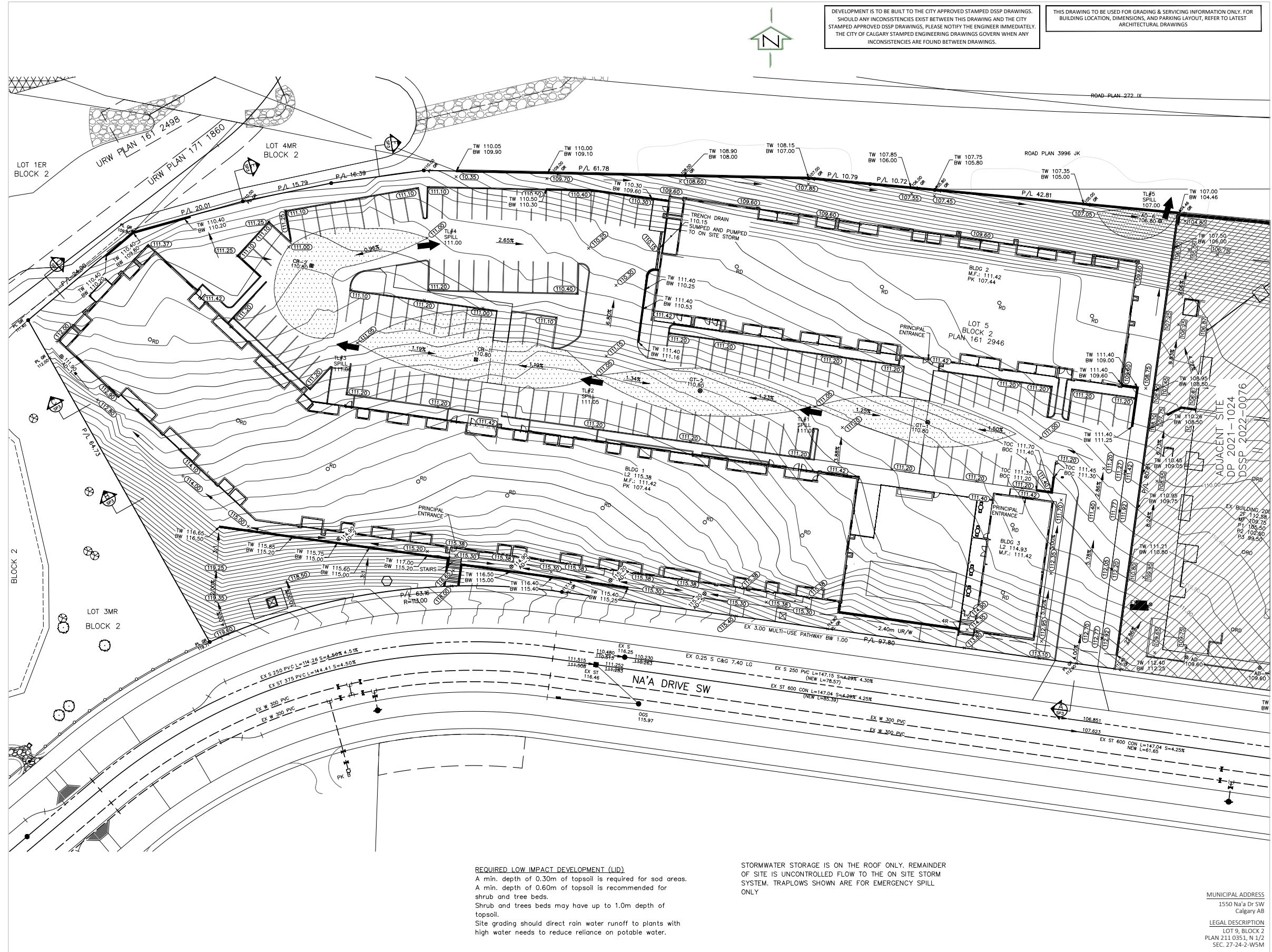
PROJECT
ICON 2 APARTMENTS - MEDICINE HILL
275 UNITS
1550 NA'A DR SW

TITLE
SITE GRADING PLAN

DESIGN BY: DV	SCALE: 1:300	JOB NUMBER: 23-078
DRAWN BY: WB	REV NO.: -	DRAWING NUMBER: SP2
CHECKED BY: DV		
DATE: 4-Mar-24		

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REQUIRED LOW IMPACT DEVELOPMENT (LID)
A min. depth of 0.30m of topsoil is required for sod areas.
A min. depth of 0.60m of topsoil is recommended for shrub and tree beds.
Shrub and trees beds may have up to 1.0m depth of topsoil.
Site grading should direct rain water runoff to plants with high water needs to reduce reliance on potable water.

STORMWATER STORAGE IS ON THE ROOF ONLY. REMAINDER OF SITE IS UNCONTROLLED FLOW TO THE ON SITE STORM SYSTEM. TRAPLOWS SHOWN ARE FOR EMERGENCY SPILL ONLY

MUNICIPAL ADDRESS
1550 Na'a Dr SW
Calgary AB

LEGAL DESCRIPTION
LOT 9, BLOCK 2
PLAN 211 0351, N 1/2
SEC. 27-24-2-W5M

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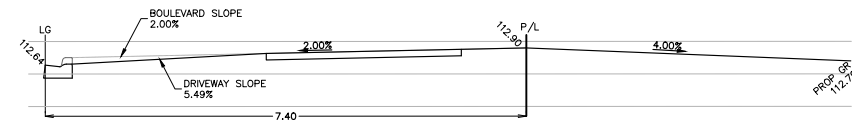
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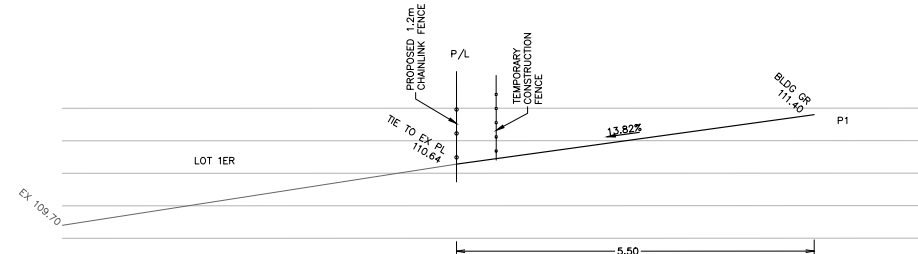
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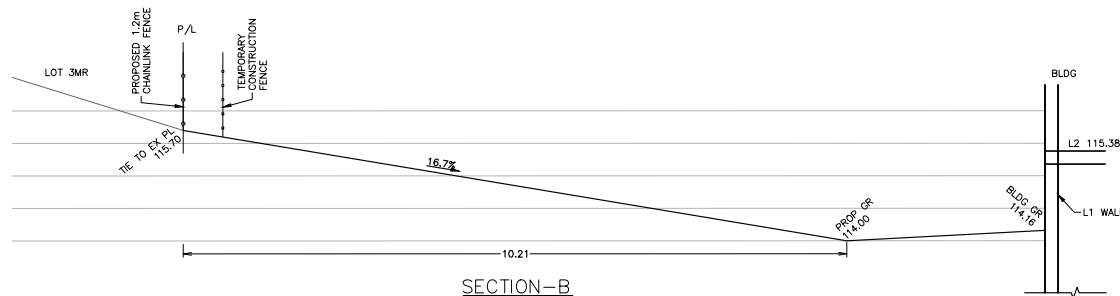
NOTES
1. All elevations referenced to 1000m Geodetic Datum.



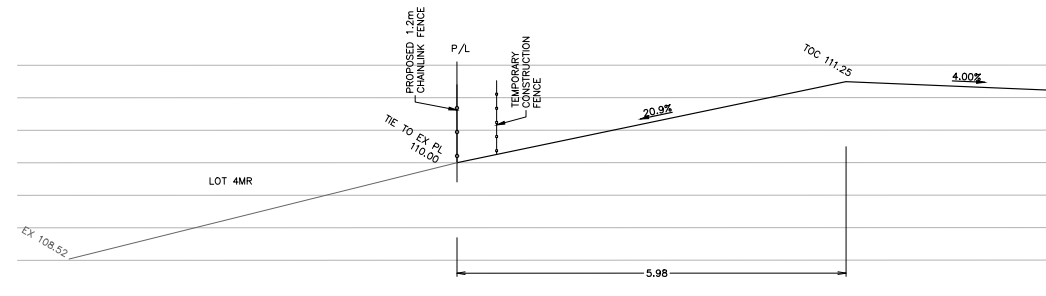
SECTION-A
SCALE 1:50



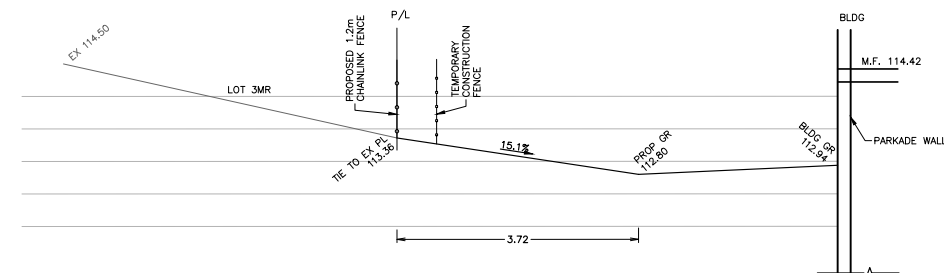
SECTION-D
SCALE 1:50



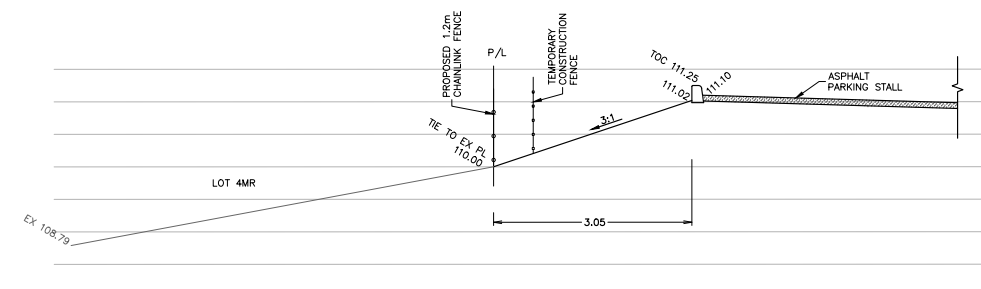
SECTION-B
SCALE 1:50



SECTION-E
SCALE 1:50



SECTION-C
SCALE 1:50



SECTION-F
SCALE 1:50

LEGEND	
	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Design elevation
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
M.F. 000.00	Main floor elevation
T.F. 000.00	Top of footing elevation
000.00	Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2023-06487

REVISIONS			
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ISSUED FOR			
No.	DRAWING STATUS	DATE	APP.
4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT		

CLIENT
DEVERAUX DEVELOPMENTS

PROJECT
**ICON 2 APARTMENTS - MEDICINE HILL
275 UNITS
1550 NA'A DR SW**

TITLE
SECTIONS

MUNICIPAL ADDRESS
1550 Na'a Dr SW
Calgary AB
LEGAL DESCRIPTION
LOT 9, BLOCK 2
PLAN 211 0351, N 1/2
SEC. 27-24-2-W5M

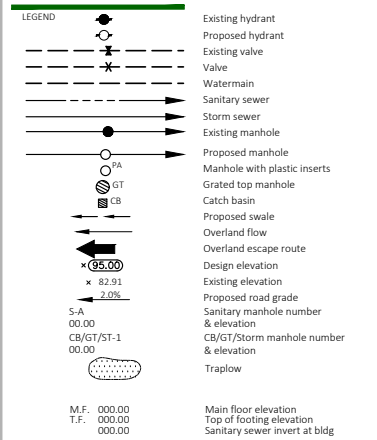
DESIGN BY:	SCALE:	JOB NUMBER:
DV	1:300	23-078
WB		
DV		
4-Mar-24		SP3



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PERMIT _____ STAMP _____

NOTES
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DEVELOPMENT PERMIT 2023-06487

NO.	DATE	DESCRIPTION	BY
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NO.	DATE	DESCRIPTION	DATE	APP.
4		AS-BUILT		
3		FOR CONSTRUCTION		
2		FOR TENDER		
1		DEVELOPMENT PERMIT		

CLIENT
DEVERAUX DEVELOPMENTS

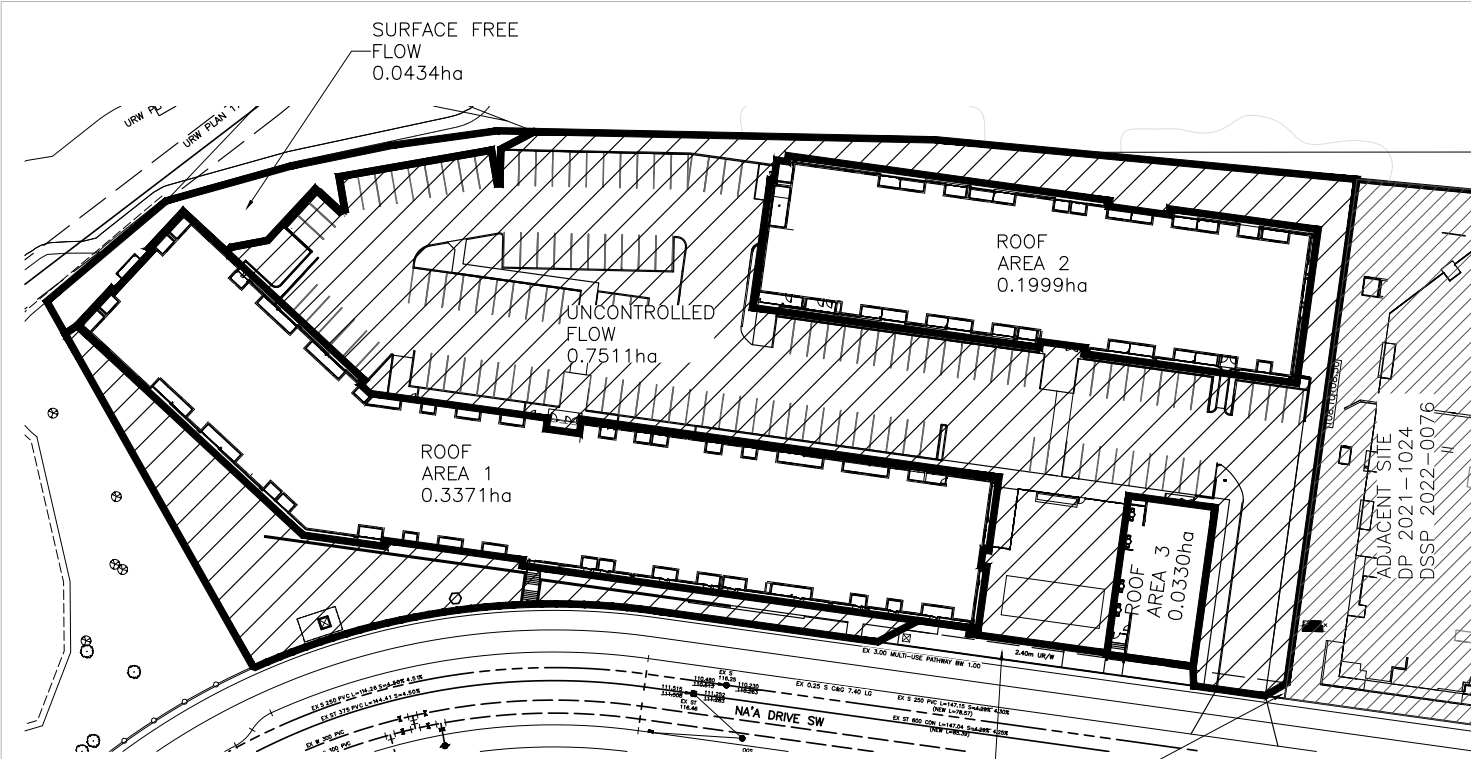
PROJECT
ICON 2 APARTMENTS - MEDICINE HILL
275 UNITS
1550 NA'A DR SW

TITLE
STORM CALCULATIONS

DESIGN BY: DV	SCALE: 1:300	JOB NUMBER: 23-078
DRAWN BY: WB	REV NO: -	DRAWING NUMBER: SP4
CHECKED BY: DV		
DATE: 4-Mar-24		

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AREA INCLUDED IN BUFFER FROM MEDICINE HILL PHASE 1B BY UBAN SYSTEMS 0.0156ha

ROOF AREA 1	
C1 = 0.523 (coefficient of runoff to main)	H1 = NA m (interior top of pipe @ low er end) - (pipe invert + pipe diameter)
I = 82.55 mm/hr (intensity)	H2 = NA m (top of pond/trap low elevation)
L = 100 yr storm runoff (year event)	L = NA m (length of retention pipe)
SH = $\frac{H2 - H1}{L}$ = NA (hydraulic slope)	SH = $\frac{H2 - H1}{L}$ = NA (hydraulic slope)
Arc = 3371.23 sq.m (Area of Roof Controlled)	dia = NA mm (pipe diameter)
Ap = 0.00 sq.m (Area of Paving)	n = NA roughness coefficient (CON=0.013; PVC=0.011)
Al = 0.00 sq.m (Area of Landscaping)	Qa = NA l/s (actual discharge)
Ag = 0.00 sq.m (Area of Gravel)	H = NA m (head on K/DV/H)
At = 0.3371 ha (Total Site Area)	Qsf = 2.524 l/s USE 8 ROOF DRAINS @ 5 GPM
Allowable Discharge to Main	C1' = 0.033
Q1 = C1 x I x A x 2.78	C2/C1' = 33.857
Q1 = 40.455 l/s	SVF = 10.91 storage volume factor
C values: 1.00 0.90 0.15 0.50	V100 = 120.00 cu.m (storage volume required for 1:100 year event)
C2 = $\frac{(Ar \times 1.0) + (Ap \times 0.90) + (Al \times 0.15) + (Ag \times 0.50)}{At}$	Roof Pond 1
C2 = 1.000	Apond = 3371.96 sq.m
Q2 = C2 x I x At x 2.78	Depth = 0.15 m
Q2 = 77.366 l/s	Va = (Apond x Depth) / 3
	Va = 165.10 cu.m
	Total Volume = 165.10 cu.m

ROOF AREA 2	
C1 = 0.523 (coefficient of runoff to main)	H1 = NA m (interior top of pipe @ low er end) - (pipe invert + pipe diameter)
I = 82.55 mm/hr (intensity)	H2 = NA m (top of pond/trap low elevation)
L = 100 yr storm runoff (year event)	L = NA m (length of retention pipe)
SH = $\frac{H2 - H1}{L}$ = NA (hydraulic slope)	SH = $\frac{H2 - H1}{L}$ = NA (hydraulic slope)
Arc = 1999.22 sq.m (Area of Roof Controlled)	dia = NA mm (pipe diameter)
Ap = 0.00 sq.m (Area of Paving)	n = NA roughness coefficient (CON=0.013; PVC=0.011)
Al = 0.00 sq.m (Area of Landscaping)	Qa = NA l/s (actual discharge)
Ag = 0.00 sq.m (Area of Gravel)	H = NA m (head on K/DV/H)
At = 0.1999 ha (Total Site Area)	Qsf = 1.252 l/s USE 4 ROOF DRAINS @ 5 GPM
Allowable Discharge to Main	C1' = 0.028
Q1 = C1 x I x A x 2.78	C2/C1' = 36.360
Q1 = 23.991 l/s	SVF = 13.02 storage volume factor
C values: 1.00 0.90 0.15 0.50	V100 = 71.57 cu.m (storage volume required for 1:100 year event)
C2 = $\frac{(Ar \times 1.0) + (Ap \times 0.90) + (Al \times 0.15) + (Ag \times 0.50)}{At}$	Roof Pond 1
C2 = 1.000	Apond = 1999.28 sq.m
Q2 = C2 x I x At x 2.78	Depth = 0.15 m
Q2 = 45.880 l/s	Va = (Apond x Depth) / 3
	Va = 97.76 cu.m
	Total Volume = 97.76 cu.m

UNCONTROLLED FLOW	
C1 = 0.523 (coefficient of runoff to main)	H1 = NA m (interior top of pipe @ low er end) - (pipe invert + pipe diameter)
I = 82.55 mm/hr (intensity)	H2 = NA m (top of pond/trap low elevation)
L = 100 yr storm runoff (year event)	L = NA m (length of retention pipe)
SH = $\frac{H2 - H1}{L}$ = NA (hydraulic slope)	SH = $\frac{H2 - H1}{L}$ = NA (hydraulic slope)
Arc = 0.00 sq.m (Area of Roof)	dia = NA mm (pipe diameter)
Ap = 5379.60 sq.m (Area of Paving)	n = NA roughness coefficient (CON=0.013; PVC=0.011)
Al = 2130.93 sq.m (Area of Landscaping)	Qa = NA l/s (actual discharge)
Ag = 0.00 sq.m (Area of Gravel)	H = NA m (head on K/DV/H)
At = 0.7511 ha (Total Site Area)	Qsf = 1.252 l/s USE 4 ROOF DRAINS @ 5 GPM
Allowable Discharge to Main	C1' = 0.028
Q1 = C1 x I x A x 2.78	C2/C1' = 36.360
Q1 = 90.126 l/s	SVF = 13.02 storage volume factor
C values: 1.00 0.90 0.15 0.50	V100 = 71.57 cu.m (storage volume required for 1:100 year event)
C2 = $\frac{(Ar \times 1.0) + (Ap \times 0.90) + (Al \times 0.15) + (Ag \times 0.50)}{At}$	Roof Pond 1
C2 = 0.887	Apond = 1999.28 sq.m
Q2 = C2 x I x At x 2.78	Depth = 0.15 m
Q2 = 118.446 l/s	Va = (Apond x Depth) / 3
	Va = 97.76 cu.m
	Total Volume = 97.76 cu.m

TOTAL SITE AREA	
C1 = 0.523 (coefficient of runoff to main)	H1 = NA m (interior top of pipe @ low er end) - (pipe invert + pipe diameter)
I = 82.55 mm/hr (intensity)	H2 = NA m (top of pond/trap low elevation)
L = 100 yr storm runoff (year event)	L = NA m (length of retention pipe)
SH = $\frac{H2 - H1}{L}$ = NA (hydraulic slope)	SH = $\frac{H2 - H1}{L}$ = NA (hydraulic slope)
Arc = 5700.80 sq.m (Area of Roof)	dia = NA mm (pipe diameter)
Ap = 5379.60 sq.m (Area of Paving)	n = NA roughness coefficient (CON=0.013; PVC=0.011)
Al = 2564.71 sq.m (Area of Landscaping)	Qa = NA l/s (actual discharge)
Ag = 0.00 sq.m (Area of Gravel)	H = NA m (head on K/DV/H)
At = 1.3645 ha (Total Site Area)	Qsf = 1.252 l/s USE 2 ROOF DRAINS @ 5 GPM
Allowable Discharge to Main	C1' = 0.083
Q1 = C1 x I x A x 2.78	C2/C1' = 12.017
Q1 = 163.741 l/s	SVF = 4.03 storage volume factor
C values: 1.00 0.90 0.15 0.50	V100 = 11.09 cu.m (storage volume required for 1:100 year event)
C2 = $\frac{(Ar \times 1.0) + (Ap \times 0.90) + (Al \times 0.15) + (Ag \times 0.50)}{At}$	Roof Pond 1
C2 = 0.801	Apond = 315.30 sq.m
Q2 = C2 x I x At x 2.78	Depth = 0.15 m
Q2 = 250.766 l/s	Va = (Apond x Depth) / 3
	Va = 15.76 cu.m
	Total Volume = 15.76 cu.m

STORM CALCULATION SUMMARY	
Qallow = 120 l/s/ha	Roof Only
Total Site Area = 1.3645 ha	
Qallow = 163.741 l/s (site allow able discharge to main)	
C1' = 0.523	
SITE DISCHARGE	
Qsf (Roof 1) = 2.524 l/s	
Qsf (Roof 2) = 1.262 l/s	
Qsf (Roof 3) = 0.631 l/s	
Qsf = 118.446 l/s	
Q1' = 3.039 l/s (C2 x I x At x 2.78)	
ACTUAL DISCHARGE	125.901 l/s
TOTAL REQUIRED VOLUME	92 l/s/ha
Roof 1	165.10 cu.m
Roof 2	97.76 cu.m
Roof 3	15.76 cu.m
TOTAL VOLUME:	278.63 cu.m - Roof Only

PEAK FLOW THROUGH ST 375 ULR PIPE = 122.863 l/s
ST 375 ULR AT 0.93% PIPE CAPACITY = 199.52 l/s
ADD 300mm OF DEEP BASED TOPSOIL TO ALL LANDSCAPED AREAS TO PROMOTE INFILTRATION

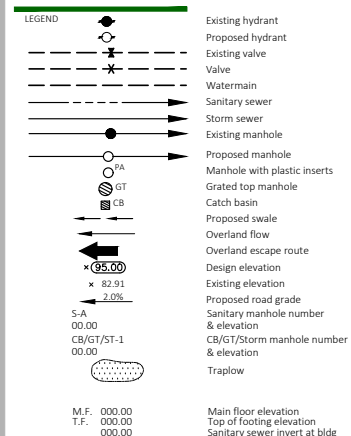
MUNICIPAL ADDRESS
1550 Na'a Dr SW
Calgary AB
LEGAL DESCRIPTION
LOT 9, BLOCK 2
PLAN 211 0351, N 1/2
SEC. 27-24-2-W5M



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PERMIT STAMP

NOTES
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M.F. 000.00 Main floor elevation
T.F. 000.00 Top of footing elevation
000.00 Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2023-06487

NO.	DATE	DESCRIPTION	BY
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ISSUED FOR	DATE	APP.
4 AS-BUILT		
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2 FOR TENDER		
1 DEVELOPMENT PERMIT		
0 DRAWING STATUS		

CLIENT
DEVERAUX DEVELOPMENTS

PROJECT
ICON 2 APARTMENTS - MEDICINE HILL
275 UNITS
1550 NA'A DR SW

TITLE
DETAILS

DESIGN BY:	SCALE:	JOB NUMBER:
DV	1:300	23-078
DRAWN BY: WB		
CHECKED BY: DV	REV NO.:	DRAWING NUMBER:
DATE: 4-Mar-24	-	SP5

MUNICIPAL ADDRESS
1550 Na'a Dr SW
Calgary AB
LEGAL DESCRIPTION
LOT 9, BLOCK 2
PLAN 211 035-1, N 1/2
SEC. 27-24-2-W5M

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.

THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS



ES-WD-FD-530 2234

Engineering Specification

Job Name _____ Contractor _____
Job Location _____ Approval _____
Engineer _____ Contractor's P.O. No. _____
Approval _____ Representative _____
Tag _____

FD-530 Large Capacity Offset Parking Area Drain

Specification

Watts FD-530 epoxy coated offset parking area drain with fabricated steel body, extra heavy duty 24 1/2" x 24 1/2" (622x622) two-section ductile iron grate, and no hub (standard) outlet.

Pipe Sizing	Description
3	3" (76) Pipe Size
4	4" (102) Pipe Size
6	6" (152) Pipe Size
8	8" (203) Pipe Size
10	10" (254) Pipe Size

Options	Description
-C	Membrane Clamp
-T	Threaded Outlet
-S	Sediment Bucket
-4	Vandal Proof
-38	Solid Retaining Baffle

Load	Free Area
Rating	Sq. Ft.
XHD	208

NOTICE
The load classifications are in accordance with the American National Standard ASME A112.6.3 ASME Ratings are as follows:
XHD Safe Live Load 7500-10000 lbs. (3375-4500 kg)
The above categories are given as a guide only. Please consult factory.

NOTICE
The information contained herein is not intended to replace the full product installation and safety information available or the experience of a trained product installer. You are required to thoroughly read all installation instructions and product safety information before beginning the installation of this product.

WATTS
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USA: Tel: (800) 338-2581 • Watts.com
Canada: Tel: (888) 238-8827 • Watts.ca
Latin America: Tel: (62) 65-4122-0138 • Watts.com
ES-WD-FD-530 2234

WATTS Adjustable Accutrol Weir

Adjustable Flow Control for Roof Drains

ADJUSTABLE ACCUTROL (for Large Sump Roof Drains only)

For more flexibility in controlling flow with heads deeper than 2", Watts Drainage offers the Adjustable Accutrol. The Adjustable Accutrol Weir is designed with a single parabolic opening that can be covered to restrict flow above 2" of head to less than 5 gpm per inch, up to 6" of head. To adjust the flow rate for depths over 2" of head, set the adjustable upper cone according to the flow rate required. Refer to Table 1 below.
Note: Flow rates are directly proportional to the amount of weir opening that is exposed.

EXAMPLE:
For example, if the adjustable upper cone is set to cover 1/2 of the weir opening, flow rates above 2" of head will be restricted to 2-1/2 gpm per inch of head.
Therefore, at 3" of head, the flow rate through the Accutrol Weir that has 1/2 the slot exposed will be: [5 gpm (per inch of head) x 2 inches of head] + 2-1/2 gpm (for the third inch of head) = 12-1/2 gpm.

Weir Opening Exposed	1"	2"	3"	4"	5"	6"
Fully Exposed	5	10	15	20	25	30
3/4	5	10	13.75	17.5	21.25	25
1/2	5	10	12.5	15	17.5	20
1/4	5	10	11.25	12.5	13.75	15
Close	5	5	5	5	5	5

Job Name _____ Contractor _____
Job Location _____ Approval _____ Contractor's P.O. No. _____
Engineer _____ Representative _____

Watts product specifications in U.S. customary units and metric are approximate and are provided for reference only. For precise measurements, please contact Watts Technical Service. Watts reserves the right to change or modify product design, construction, specifications, or materials without prior notice and without incurring any obligation to make such changes and modifications on Watts products previously or subsequently sold.

USA: Tel: (800) 338-2581 • Fax: (628) 248-3020 • Watts.com
Canada: Tel: (800) 332-4000 • Fax: (603) 332-7088 • Watts.ca
Latin America: Tel: (62) 61-1021-8803 • Fax: (62) 61-9000-7081 • Watts.com
ES-WD-FD-ACCUTROLADU-CAN 1815

WATTS
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TYPICAL DRAWING NOT FOR CONSTRUCTION

SCALE 1:36

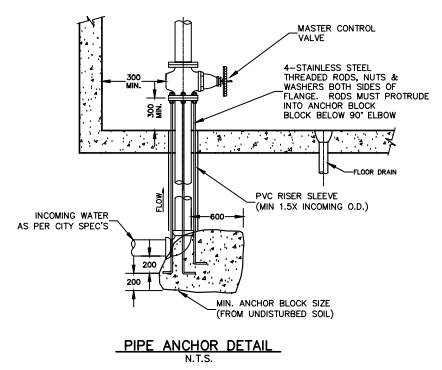
DESIGN NOTES:
1. INLET AND OUTLET PIPES CAN BE UP TO 90 DEGREES APART DEPENDING ON PIPE AND MANHOLE SIZE. IF IN DOUBT, PLEASE CONTACT RAINWATER MANAGEMENT.
2. THE RW-M-OS UNIT CAN HANDLE MULTIPLE INLET PIPES AS WELL AS A TOP INLET.

GENERAL NOTES:
1. RAINWATER MANAGEMENT TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE SHOWN IN MILLIMETERS.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, CONTACT RAINWATER MANAGEMENT: www.rainwatermanagement.ca
4. RW-M WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE AND CASTINGS SHALL MEET REQUIRED LOAD RATINGS, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. MANHOLE MANUFACTURED TO LOCAL SPECIFICATIONS.

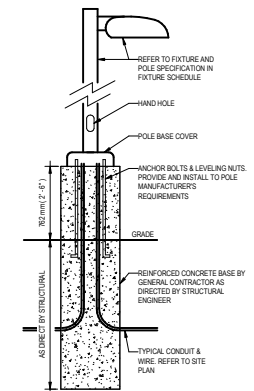
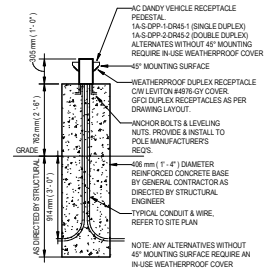
INSTALLATION NOTES:
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY THE ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE MANHOLE STRUCTURE LIFTING DEVICES NOT PROVIDED. HIGHEST LIFT SETTINGS ON REAR HOISTS.
3. CONTRACTOR TO ADD GASKETS OR JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE AS REQUIRED.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES, MATCH PPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

FILE	MODEL
RWM-DM-1200-OS TYPICAL	RWM-DM-1200-OS
JOB FOREMAN	CREATOR
DM-OS	AG
MATERIAL	SCALE
--	1:32
THICKNESS	CREATED
	1/9/2023
	LAST SAVED
	1/9/2023 3:16:35 PM

rainwater management
www.rainwatermanagement.ca
604-944-9265



LIGHTING FIXTURE SCHEDULE							
<p>NOTES: EQUIVALENT FIXTURES ARE ACCEPTABLE UPON APPROVAL OF ENGINEER AND INTERIOR DESIGNER. REFER TO ARCHITECTURAL EXTERIOR ELEVATIONS FOR EXACT FIXTURE LOCATIONS AND MOUNTING HEIGHTS. LIGHT FIXTURES AND LAMPS TO HAVE A COLOR TEMPERATURE OF 3000K UNLESS NOTED OTHERWISE. ALL EMERGENCY LIGHTING SOURCE BATTERIES TO BE SIZED FOR 90 MINUTE OPERATION, FEED FROM THE SAME CIRCUIT AS THE LOCAL LIGHTING. ALL REMOTE FIXTURES TO BE FED FROM BATTERY SOURCES THAT ARE ON THE SAME CIRCUIT AS THE LOCAL LIGHTING. ALL EMERGENCY FIXTURE HEADS TO MATCH THROUGHOUT THE ENTIRE PROJECT.</p>							
TYPE	MANUFACTURER	MODEL NUMBER	VOLTAGE	WATTAGE	LAMP	MOUNTING	DESCRIPTION
EXTERIOR							
200	LUMINIS	CL813-L4-25-120V-K3-02C03	120V	21 VA	2.37% LUMEN LED	INTEGRAL BOLLARD	ILLUMINATED BOLLARD
300	LITHONIA LIGHTING	DSX1 LED P3 30K 7000R 24M MOLT	120V	81 VA	1200 lm	POLE MOUNT AT 22' 9"	SINGLE HEAD POLE MOUNT TYPE 3 MEDIUM DISTRIBUTION
301	LITHONIA LIGHTING	DSX1 LED P3 30K 7000R BLD4 MOLT	120V	150 VA	901 lm	POLE MOUNT AT 22' 9"	SINGLE HEAD POLE MOUNT C BACK LIGHT CONTROL
302	LITHONIA LIGHTING	DSX1 LED P3 14M DUAL 30K 7000R 14M MOLT	120V	204 VA	13403 lm	POLE MOUNT AT 22' 9"	DUAL HEAD POLE MOUNT AT 180 DEGREES TYPE 4 MEDIUM DISTRIBUTION



ELECTRICAL SYMBOL LEGEND	
NOTE: SOME SYMBOL REFERENCES MAY NOT BE PART OF THIS PROJECT	
LIGHTING	
LINE VOLTAGE SWITCH	RECESSED MOUNTED LIGHT FIXTURE
WALL MOUNT OCCUPANCY SENSOR SWITCH	SURFACE MOUNTED LIGHT FIXTURE
CEILING MOUNT OCCUPANCY SENSOR	SUSPENDED LIGHT FIXTURE
LOW VOLTAGE SWITCH & INDICATES BUTTONS	STRIP LIGHT FIXTURE
CEILING MOUNT EXIT SIGN, LINE IDENTIFIES FACE	WALL MOUNTED LINEAR LIGHT FIXTURE
WALL MOUNT EXIT SIGN, LINE IDENTIFIES FACE	WALL MOUNTED LIGHT FIXTURE
EXIT SIGN ON EMERGENCY HEADS	SURFACE MOUNTED LIGHT FIXTURE
REMOTE EMERGENCY HEADS	RECESSED DOWNLIGHT
BATTERY PACK ON EMERGENCY HEADS	PENDANT MOUNT LIGHT FIXTURE
FIXTURE TYPE/MARKER	STRIP LIGHT FIXTURE
SWITCH INDICATES EMERGENCY FIXTURE	ILLUMINATED BOLLARD
WALL MOUNT LIGHTING CONTROL ZONE MOUNTING HEIGHT / SUSPENSION LENGTH	POLE MOUNTED LIGHT FIXTURE
LIGHTING SYMBOL ANNOTATIONS:	
REC: PHOTOELECTRIC CELL	D: DIMMER
TC: TIMECLOCK	DT: DUAL TECHNOLOGY
NL: NIGHTLIGHT (UN-SWITCHED)	VAC: VACUANCY SENSOR (MANUAL ON, AUTO OFF)
3: 3 WIRE	EM: FIXTURE POWERED FROM EMERGENCY SOURCE
LV: LOW VOLTAGE	EMM: EMERGENCY BATTERY PACK I.D.
POWER	
DUPLEX RECEPTACLE	SPECIAL RECEPTACLE
QUAD RECEPTACLE	APNCTION BOX
GFI RECEPTACLE	POLE POLE
SPLIT FED RECEPTACLE	MOTOR
HALF SWITCHED RECEPTACLE	DISCONNECT SWITCH
ISOLATED GROUND RECEPTACLE	MAGNETIC STARTER / VFD
PEDESTAL MOUNTED RECEPTACLE	SURGE PROTECTION DEVICE
POWER SYMBOL ANNOTATIONS:	
T: TIGHT ENDS	TR: TAMPER RESISTANT
WP: WEATHERPROOF	U: USB CHARGER
DISTRIBUTION	
SURFACE MOUNTED PANELBOARD	UTILITY METER STACK
RECESSED MOUNTED PANELBOARD	UTILITY METER
TELEPHONE / TELEVISION BACKBOARD	GROUND BAR
LOW TENSION PANEL / CABINET	TRANSFORMER
DISTRIBUTION SYMBOL ANNOTATIONS:	
MDP: MAIN DISTRIBUTION PANEL	LVRC: LOW VOLTAGE RELAY PANEL
CDP: CENTRAL DISTRIBUTION PANEL	TBB: TELEPHONE / TELEVISION BACKBOARD
MCC: MOTOR CONTROL CENTER	TX: TRANSFORMER
LOW TENSION	
DATA NETWORK JACK	WIRELESS ACCESS POINT PROVIDE DATA DROP IN CEILING SPACE
TELEPHONE JACK	PUSHBUTTON
COMBINATION TELEPHONE / DATA JACK	UP / DOWN / STOP PUSHBUTTON
TELEVISION COAX OUTLET	CEILING MOUNTED SPEAKER
HEAT OUTLET	WALL MOUNTED SPEAKER
DOORBELL BUZZER / DOORBELL CHIME	CO: NO SENSORS
TERMINATOR	
LOW TENSION SYMBOL ANNOTATIONS:	
# NUMBER INDICATES QUANTITY OF CABLES / DROPS AT EACH LOCATION	
FIRE ALARM	
HORN	HEAT DETECTOR - FIXED TEMPERATURE
HORN STROBE	HEAT DETECTOR - RATE OF RISE
STROBE	SMOKE DETECTOR
MANUAL STATION	SMOKE ALARM (120V)
SPEAKER	DUCT SMOKE DETECTOR
SPEAKER STROBE	END OF LINE RESISTOR
ELECTROMAGNETIC DOOR HOLD OPEN	FIRE ALARM MODULE
FIRE ALARM PANEL	FIRE PHONE
FIRE ALARM SYMBOL ANNOTATIONS:	
# CANDELA RATING FOR STROBE	MM: MONITORING MODULE
FA-CP: FIRE ALARM CONTROL PANEL	CM: CONTROL MODULE
FA-AP: FIRE ALARM ANNUNCIATOR PANEL	FS: FLOW SWITCH
IM: ISOLATOR MODULE	TS: TAMPER SWITCH
SECURITY	
NOTION SENSOR	SECURITY DEVICE
VISUAL INDICATOR LIGHT	SECURITY CAMERA (CATS OUTLET)
SECURITY SYMBOL ANNOTATIONS:	
CR: CARD READER	NP: KEY PAD
ES: ELECTRIC STRIKE	GB: GLASS BREAK
DC: DOOR CONTACT / DOOR POSITION SWITCH	ML: MAGNETIC LOCK
RTX: REQUEST TO EXIT	EC: ELECTRONIC CLOSER
ANNOTATIONS	
UNDERGROUND / UNDERSLAB CONDUIT	KEY NOTE
OVERHEAD / SURFACE MOUNT CONDUIT	DOT ABOVE ANY SYMBOL INDICATES ABOVE COUNTER MOUNTING HEIGHT
CONDUIT STUB	SQUARE AROUND ANY SYMBOL INDICATES FLOOR MOUNT DEVICE
DRAWING REFERENCE	CIRCLE AROUND ANY SYMBOL INDICATES CEILING MOUNT DEVICE
SECTION REFERENCE	
XX: SINGLE LINE DIAGRAM WIRE TAG, Y = WYE, D = DELTA CONFIGURATION	

ELECTRICAL SHEET LIST	
NO.	SHEET NAME
E0000	ELECTRICAL LEGEND
E1001	SITE PLAN

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PROJECT MANAGER:
BRAD KEMP
780.851.6159
brad.kemp@englobecorp.com

PROJECT #: 12118

CODE COMPLIANCE
THIS SET OF DRAWINGS AND THE DESIGNING CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CODES:
NATIONAL BUILDING CODE - 2019
ALBERTA ELECTRICAL CODE 2021
CANADIAN ELECTRICAL CODE 2021
NATIONAL ENERGY CODE 2017

LEGAL DESCRIPTION
MUNICIPAL ADDRESS:
1900 MAIN DR SW
LEGAL ADDRESS:
LOT 5, BLOCK 2, PLAN 161 2040

NOT FOR CONSTRUCTION
DO NOT CONSTRUCT UNLESS APPROVAL HAS BEEN RECEIVED FROM ALL GOVERNING AUTHORITIES.



PERMIT TO PRACTICE
MUSIC OR
NO AREA ID #: 68357
DATE: 03-05-2024
PERMIT NUMBER: P 07841
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

H	DTR 2	02-28-2024
G	DTR 1	01-19-2024
F	DEVELOPMENT PERMIT	09-12-2023
E	COORDINATION	09-08-2023
D	COORDINATION	09-05-2023
C	COORDINATION	08-31-2023
B	UTILITY COORDINATION	08-28-2023
A	UTILITY COORDINATION	08-14-2023
Rev.	Development	07/17/2023

Issued For / Revisions Δ

Project: **ICON 2** Project Number: **23015**

Calgary, Alberta

Legal Description: Building Permit No.
Development Permit No.: 5555P No.

350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.333.3000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title: **ELECTRICAL LEGEND**

Drawn by: MI Scale: N.T.S.
Reviewed by: BK Date: YYYY MM/DD
Manager: BK Date: 02-28-2024
Tech Review: WB

Drawing Number: **E00.00** Drawing Package

Revision Number: **H**

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A0 Title Block - R22 Rev 1 (2022-05-05)

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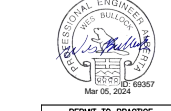


PROJECT MANAGER:
BRAD KEMP
781 811 6139
Brad.Kemp@enlobe.com
PROJECT #: 12218

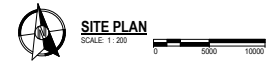
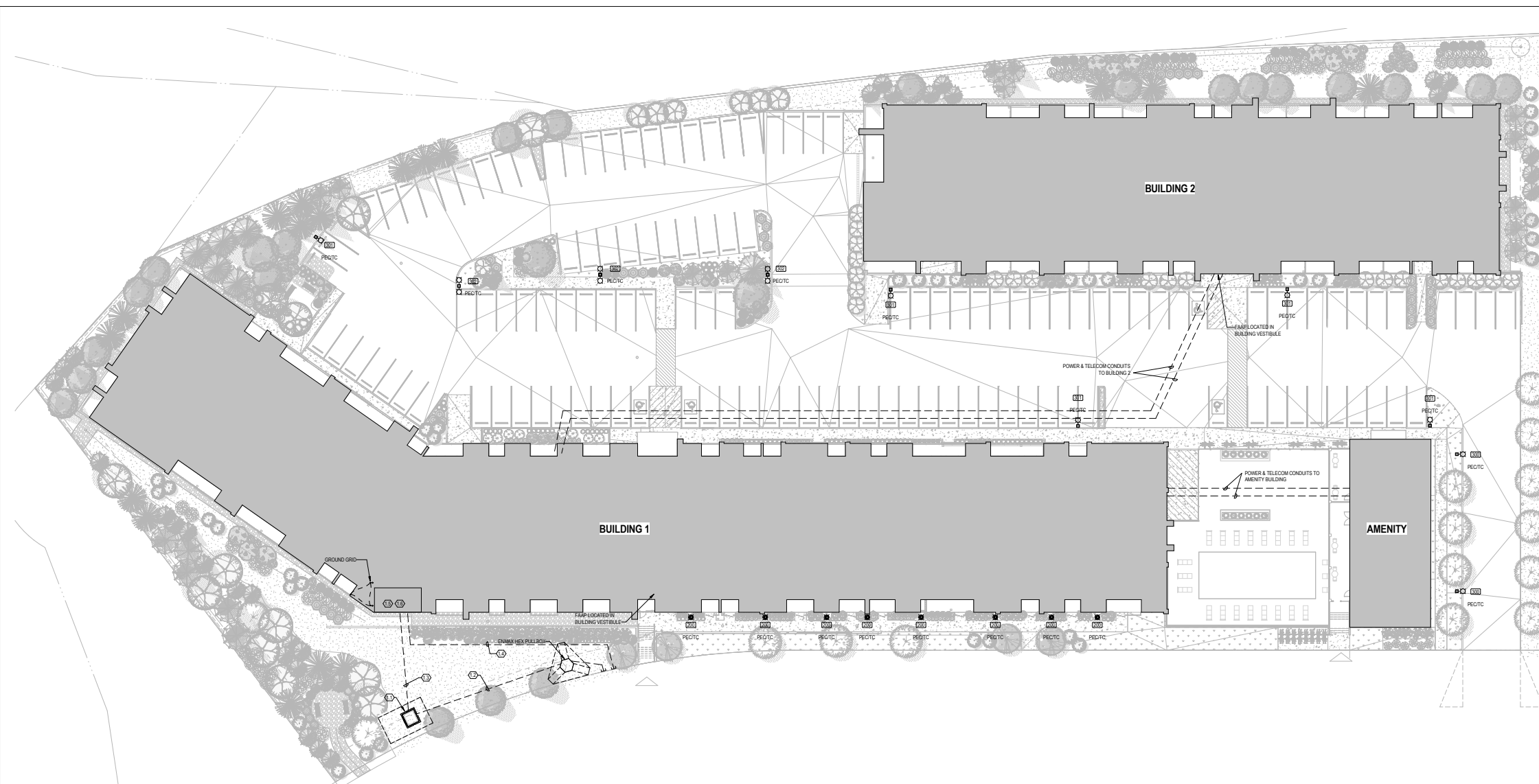
CODE COMPLIANCE
THIS SET OF DRAWINGS AND THE DESIGN CONTAINED WITHIN COMPLY WITH THE FOLLOWING CODES:
NATIONAL BUILDING CODE - 2019
ALBERTA EDITION
CANADIAN ELECTRICAL CODE 2021
NATIONAL ENERGY CODE 2017

LEGAL DESCRIPTION
MUNICIPAL ADDRESS:
1550 NAVA DR SW
LEGAL ADDRESS:
LOT 5, BLOCK 2, PLAN 161 2946

NOT FOR CONSTRUCTION
DO NOT CONSTRUCT UNLESS APPROVAL HAS BEEN RECEIVED FROM ALL GOVERNING AUTHORITIES



PERMIT TO PRACTICE
ENLOBE CORP.
BY SIGNATURE: *Brad Kemp*
BY APPOINTMENT: 89357
DATE: 05-05-2024
PERMIT NUMBER: P 07841
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)



KEYNOTES - SITE

11	PADMOUNT TRANSFORMER, TRANSFORMER PROVIDED AND INSTALLED BY OTHERS IN ACCORDANCE WITH ENMAX STANDARDS.
12	UTILITY PRIMARY POWER DUCTS DUCTS, PROVIDED AND INSTALLED BY OTHERS.
13	SECONDARY POWER DUCTS, ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL 100mm (4") RPVC SECONDARY DUCTS IN ACCORDANCE WITH CEC DIAGRAM D11 ON SECONDARY CABLES; PROVIDE 75mm (3") CONCRETE ENCASMENT WHERE SHOWN ON DRAWINGS, OR WHERE REQUIRED BY THE LOCAL UTILITY OR CEC. REFER TO SINGLE LINE DIAGRAM FOR SIZE AND QUANTITY OF SECONDARY CABLES. COORDINATE INSTALLATION WITH PRIMARY ENGINEERING AND CONSTRUCTION CORPORATION.
14	TELEPHONE & CATV DUCTS, ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ONE 100mm (4") RPVC DUCT FOR TEL & ONE 100mm (4") RPVC DUCT FOR CATV AT 80mm (3") BELOW GRADE. PROVIDE 75mm (3") CONCRETE ENCASMENT WHERE SHOWN ON THE DRAWINGS, OR WHERE REQUIRED BY THE LOCAL UTILITY OR CEC. RUN FROM THE MAIN TRIBUTARY TO SITE ENTRY POINTS. CONFIRM ENTRY POINTS WITH EACH UTILITY PRIOR TO TRENCHING.
15	APPROXIMATE LOCATION OF ELECTRICAL MAIN DISTRIBUTION EQUIPMENT. REFER TO PLAN DRAWINGS FOR EXACT LOCATION.
16	APPROXIMATE LOCATION OF MANTIVITY BACKBOARDS. REFER TO PLAN DRAWINGS FOR EXACT LOCATION.

- GENERAL SITE NOTES**
- ELECTRICAL CONTRACTOR TO CONTACT EACH UTILITY'S FIELD PERSONNEL, MEET ON SITE AND CONFIRM SITE ENTRY POINTS AS WELL AS TO COORDINATE ANY SPECIAL REQUIREMENTS PRIOR TO TRENCHING. CONFIRM REQUIREMENTS AND PLACEMENT OF PRECASTS AND CABINETS.
 - ENSURE PROPER CLEARANCES ARE MAINTAINED FROM DEEP SERVICES, HYDRANTS & VALVES (HORIZONTAL) OR GAS LINES (1.5m HORIZONTAL). CONFIRM CLEARANCES INDICATED IN THIS NOTE WITH THE LOCAL UTILITY OR AUTHORITY'S REQUIREMENTS.
 - PULL PITS OR ABOVE GROUND PRECASTS ARE TO BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR WHERE SHOWN. COORDINATE REQUIREMENTS WITH UTILITY AND INSTALLATION DETAILS WITH THE GENERAL CONTRACTOR.
 - ALL SITE LIGHTING TO BE #10 WIRING UNLESS OTHERWISE SHOWN ON THE DRAWING OR IF REQUIRED, INCREASE SIZE TO CEC VOLTAGE DROP REQUIREMENTS.
 - ALL SITE OUTLETS AND SECURITY CAMERA POWER TO BE #10 WIRING UNLESS OTHERWISE SHOWN ON THE DRAWING OR IF REQUIRED, INCREASE SIZE TO CEC VOLTAGE DROP REQUIREMENTS.
 - CONTRACTOR TO ALLOW FOR HYDRO-PAC WHEN CROSSING OTHER UTILITIES AND UNDERGROUND SERVICES. COORDINATE ON SITE.
 - REFER TO FLOOR PLANS FOR EXTERIOR BUILDING MOUNTED LIGHTING, POWER & SECURITY SCOPES.
 - VEHICLE RECEPTACLE WIRING FOR VOLTAGE DROP AS FOLLOWS: USE #12 WIRING TO 20m (65') MAXIMUM, #10 WIRING TO 45m (147') MAXIMUM, #8 WIRING TO 75m (245') MAXIMUM.
 - CIRCUITS ARE SHOWN FOR GROUPING PURPOSES ONLY. CONTRACTOR TO MARK FINAL CIRCUIT NUMBERS ON AS-BUILT DRAWINGS.

H	DTR 2	03-28-2024
G	DTR 1	03-19-2024
F	DEVELOPMENT PERMIT	09-12-2023
E	COORDINATION	09-06-2023
D	COORDINATION	09-05-2023
C	COORDINATION	08-31-2023
B	UTILITY COORDINATION	08-28-2023
A	UTILITY COORDINATION	08-14-2023

Issued For / Revisions

Project: **ICON 2** Project Number: 23015

Calgary, Alberta

Legal Description: Building Permit No.

Development Permit No.: DSSP No.

350, 140-10 Ave SE
Calgary, Alberta
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
SITE PLAN

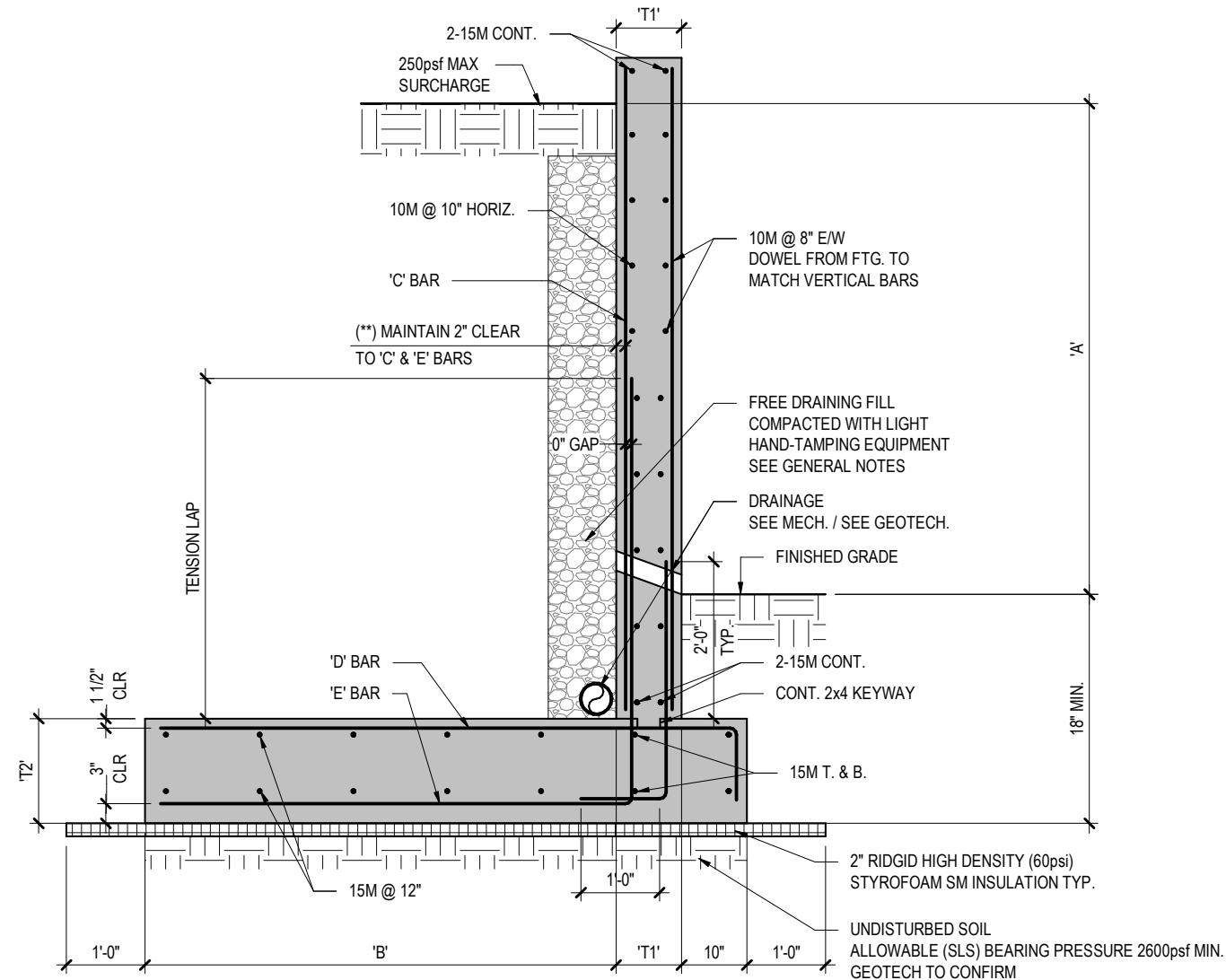
Drawn by: MI	Scale: 1:200
Reviewed by: BK	Date: (YYYY-MM-DD)
Manager: BK	02-28-2024
Tech Review: WB	

Drawing Number: **E10.01** Drawing Package: **H**

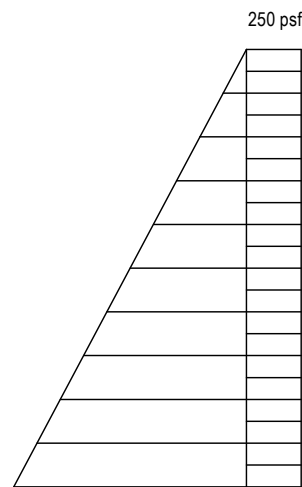
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AO Title Block - R22 Rev 1 (2022-05-05)

11x17 (279.4mm x 431.8mm)

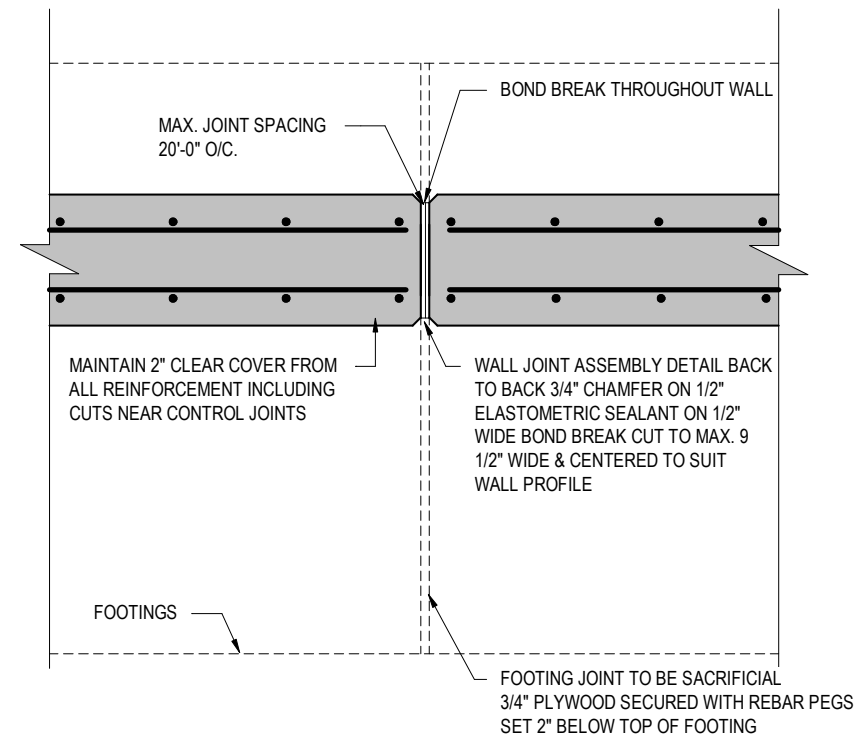


RETAINING WALL DETAILS



DESIGN WALL PRESSURE = $0.38 \times (22 \times h + 250 \text{ psf})$

'A'	'B'	T1	T2	'C' BAR	'D' BAR	'E' BAR	TENSION LAP
32"	16"	6"	10"	15M @ 12" O/C	15M @ 12" O/C	15M @ 12" O/C	25"
33" TO 4'-0"	22"	8"	12"	15M @ 12" O/C	15M @ 12" O/C	15M @ 12" O/C	25"
4'-6" TO 6'-0"	4'-0"	8"	12"	15M @ 12" O/C	15M @ 12" O/C	15M @ 12" O/C	25"
6'-6" TO 8'-0"	7'-6"	8"	12"	15M @ 6" O/C	15M @ 8" O/C	15M @ 6" O/C	25"
8'-6" TO 10'-0"	10'-6"	10"	16"	20M @ 6" O/C	20M @ 8" O/C	20M @ 6" O/C	30"
10'-6" TO 12'-0"	12'-0"	12"	20"	20M @ 5" O/C	20M @ 6" O/C	20M @ 5" O/C	30"



RETAINING WALL MOVEMENT JOINT @ MAX. 20'-0" O/C.

ELASTOMETRIC SEALANT TO BE SILICONE BASED RATED FOR 20 YEAR LIFE AND ONE OF THE FOLLOWING PRODUCTS:

GE	SILPRUF NB SCS9000 SILPRUF SCS2000
TREMCO	SPECTREM3 SPECTREM4

Ref. dwg: SK1
Sheet no.:
Date: 09/12/23
Scale: As indicated
Project no.: 02308233
Drawn by: SD/LADM

Project Name: ICON 2
Sheet Title: TYPICAL RETAINING WALL DETAILS

PROTO STATIX