

# Development Permit Plans



## MEDICINE HILL - BLOCK J

### Development Permit Set

March 07, 2024

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E101S	ELECTRICAL SITE PLAN
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SW-C1.1- SW.C1.4	SITE GRADING
SW-C2.1- SW.C2.3	SITE UTILITIES

### PROJECT INFORMATION

#### PARCEL ADDRESS:

LEGAL: Lot 5, Block 3, Plan 1612946  
 MUNICIPAL: 1201 Nara Drive SW, CALGARY AB  
 COMMUNITY: MEDICINE HILL  
 ZONING: M-G450  
 CURRENT: M-G450

#### PARCEL COVERAGE:

SITE AREA: 25,705.62 sm (276,692.94 sqft / 2.57 ha)  
 BUILDING FOOTPRINT: 6359.85 sm (68,456.84 sqft)  
 BUILDING COVERAGE: 25%

#### DENSITY:

MAXIMUM ALLOWED: 50 units per hectare  
 PROPOSED: 50 units per hectare = 128 units

#### SETBACKS:

P.L. SHARED WITH STREET  
 PERMITTED: 3.0m  
 PROPOSED: 3.0m  
 P.L. SHARED WITH ANOTHER PARCEL  
 PERMITTED: 1.2m  
 PROPOSED: 1.2m

#### AMENITY SPACE:

PRIVATE:  
 MINIMUM REQUIRED: 7.50 sm/unit  
 PROPOSED: 7.80 sm/unit (BUILDING TYPE 1&2)  
 PROPOSED: 10.35 sm/unit (BUILDING TYPE 3)

#### BICYCLE PARKING:

MIN. 1.0 CLASS I BICYCLE STALLS/ UNIT = 128 STALLS REQUIRED  
 128 PROPOSED  
 MIN. 0.1 CLASS II BICYCLE STALLS/ UNIT = 13 STALLS REQUIRED  
 = 14 STALLS PROPOSED

#### VEHICULAR PARKING:

MIN. 0.625 RESIDENT STALLS / UNIT = 106 STALLS  
 MIN. 0.15 VISITOR STALLS / UNIT = 22 STALLS  
 TOTAL RESIDENTIAL STALLS = 128 STALLS  
 = 106 STALLS REQUIRED  
 = 128 PROPOSED  
 NOTE: OF THE 128 PROPOSED STALLS, 4 ARE REQUIRED TO BE BARRIER FREE STALLS.



FORMED ALLIANCE ARCHITECTURE STUDIO



FORMED ALLIANCE ARCHITECTURE STUDIO

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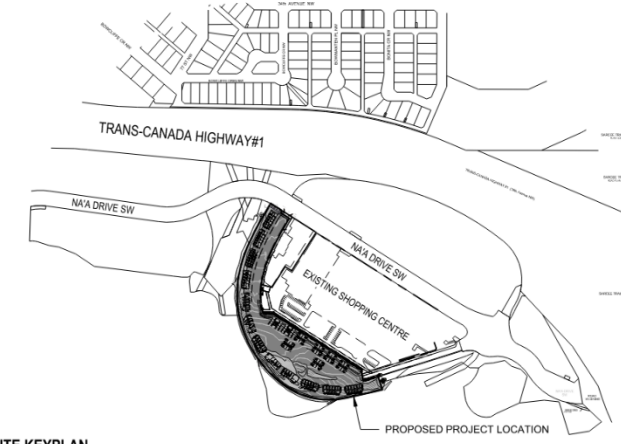
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**SITE PHASE LEGEND**

PHASE#	DESCRIPTION
PHASE#1	MOBILITY & SITE PREP -DEEP SERVICES AND CONNECTION TO EXISTING SERVICES -ROADWAY ASPHALT ONLY (SHARED ROAD AGREEMENT) -SMALL CIVIL SERVICES AS REQUIRED -FIRE HYDRANT & BOLLARD PROTECTION -1.2M CHAIN LINK FENCE ALONG SOUTH PROPERTY LINE -WASTE & RECYCLING AREA -MAIL BOX
PHASE#2	PHASE#2A -BUILDING #1 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#3	PHASE#3A -BUILDING #2 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#4	PHASE#4A -BUILDING #3 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#5	PHASE#5A -BUILDING #4 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#6	PHASE#6A -BUILDING #5 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#7	PHASE#7A -BUILDING #6 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#8	PHASE#8A -BUILDING #7 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#9	PHASE#9A -BUILDING #8 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#10	PHASE#10A -BUILDING #9 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#11	PHASE#11A -BUILDING #10 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#12	PHASE#12A -BUILDING #11 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#13	PHASE#13A -BUILDING #12 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#14	PHASE#14A -BUILDING #13 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#15	PHASE#15A -BUILDING #14 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#16	PHASE#16A -BUILDING #15 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#17	PHASE#17A -BUILDING #16 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#18	PHASE#18A -BUILDING #17 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#19	PHASE#19A -BUILDING #18 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#20	PHASE#20A -BUILDING #19 CONSTRUCTION -DRIVEWAYS & WALKWAYS
PHASE#21	AMENITY & COURTYARD WALKWAYS, LANDSCAPE CONSTRUCTION & SITE DEVELOPMENT -PARKING STALLS

**BUILDING AREA STATISTICS**

BUILDING#	FLOOR LEVEL	AREA (SQ.M)	AREA (SQ.FT)
BUILDINGS #1 TO 4 (AREA PER BUILDING)	MAIN FLOOR	±331 m²	±3568 ft²
	LEVEL 2	±323 m²	±3472 ft²
	LEVEL 3	±367 m²	±3945 ft²
TOTAL (PER BUILDING)		±1021 m²	±10984 ft²
TOTAL COMBINED (BLDG #1 TO 4)		±4089 m²	±43932 ft²
BUILDINGS #5 TO 12 (AREA PER BUILDING)	MAIN FLOOR	±358 m²	±3860 ft²
	LEVEL 2	±354 m²	±3809 ft²
	LEVEL 3	±1069 m²	±11511 ft²
TOTAL (PER BUILDING)		±1781 m²	±19080 ft²
TOTAL COMBINED (BLDG #5 TO 12)		±21355 m²	±22988 ft²
BUILDINGS #13 TO 20 (AREA PER BUILDING)	MAIN FLOOR	±253 m²	±2719 ft²
	LEVEL 2	±261 m²	±2814 ft²
TOTAL (PER BUILDING)		±514 m²	±5533 ft²
TOTAL COMBINED (BLDG #13 TO 20)		±4112 m²	±44298 ft²
GRAND TOTAL		±18748 m²	±20278 ft²

**VEHICLE PARKING OUTDOOR CANOPY**

CANOPY#	AREA (SQ.M)	AREA (SQ.FT)
CANOPY#1	±119 m²	±1280 ft²
CANOPY#2	±149 m²	±1604 ft²
CANOPY#3	±149 m²	±1604 ft²
CANOPY#4	±119 m²	±1280 ft²
GRAND TOTAL	±536 m²	±5768 ft²

**BUILDING STATISTICS**

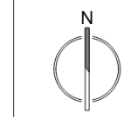
	4 PLEX BUILDING	6 PLEX BUILDING	6 PLEX BUILDING W/ GARAGE
# OF STOREYS PER BUILDING TYPE	2	3	2
# OF BEDROOMS PER BUILDING TYPE	12	20	14
# OF TOTAL BUILDINGS PER TYPE	45	48	45
# OF TOTAL BEDROOMS	540	1080	630
# OF SECONDARY SUITES PER BUILDING	6	6	6
# OF TOTAL BUILDINGS W/ SECONDARY SUITES	45	45	45
# OF TOTAL SECONDARY SUITES	270	270	270

**BUILDING IDENTIFICATION LEGEND**

- 4-PLEX BUILDINGS
- 6-PLEX BUILDINGS
- 6-PLEX BUILDINGS - STEPPED SLAB
- 6-PLEX BUILDINGS W/ GARAGE
- 6-PLEX BUILDINGS W/ GARAGE - STEPPED SLAB
- VEHICLE PARKING OUTDOOR CANOPY

**OVERALL SITE PHASING PLAN**  
1:1000

GENERAL NOTES:  
-FINAL LIFT OF ASPHALT TO BE LAID WITH FINAL PHASE INCLUDING ALL SURFACE PAINTING, MARKERS & SYMBOLS  
-EACH BUILDING PHASE AND ALL SURROUNDING LANDSCAPING TO BE PHASED INDIVIDUALLY AND IN A RANDOM ORDER, INDEPENDENT OF EACH OTHER.  
-PHASES NOT COMPLETED IN SEQUENTIAL ORDER.  
-ACCESS TO THE SR AND SR SOUTH OF THE SITE WILL NOT BE PERMITTED.



**RELEASES**

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTR1	2023-10-10
2	DEVELOPMENT PERMIT DR2	2024-01-08
3	DEVELOPMENT PERMIT DR3	2024-02-29

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT

MUNICIPAL ADDRESS  
1281 NA A DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN  
JL

DATE  
2024-02-29

SCALE  
As indicated

DESIGN TITLE  
**SITE PHASING PLAN & BUILDING STATISTICS**

DRAWING NUMBER  
**DP.001**

**DP.001**



FORNED ALLIANCE ARCHITECTURE STUDIO

REAL

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RELEASES

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT 0781	2023-10-18
3	DEVELOPMENT PERMIT 0783	2024-02-29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 NW 42 St  
CALGARY ALBERTA

LEGAL ADDRESS  
LOT 1, BLOCK 1, PLAN 181 2946

PROJECT NUMBER  
23.22

DRAWN  
Author

CHECKED  
Checker

DATE  
2024-02-09

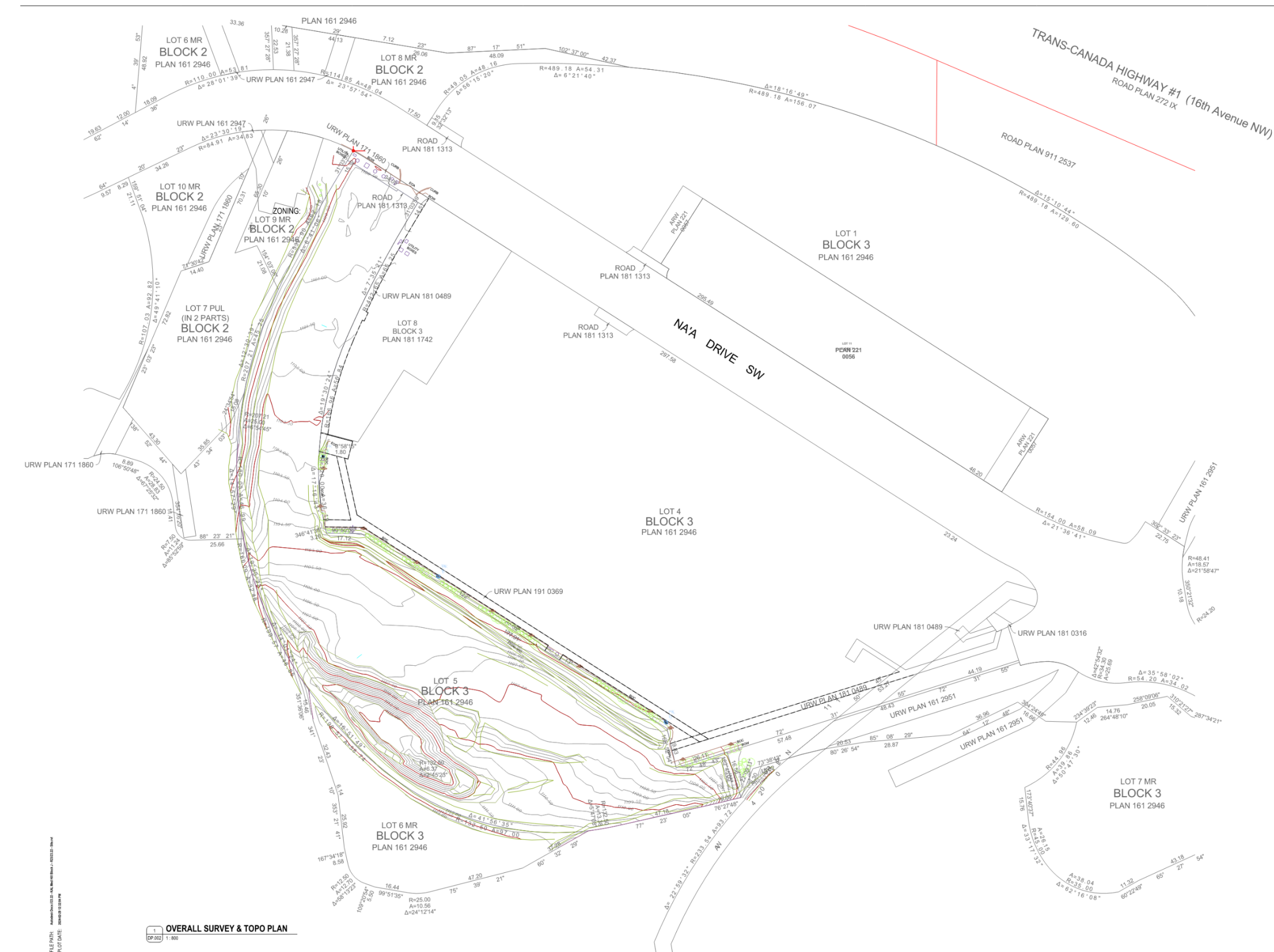
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DRAWING TITLE  
SITE SURVEY & TOPOGRAPHY

DRAWING NUMBER

**DP.002**

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1 OVERALL SURVEY & TOPO PLAN  
DP.002 1:888

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FORMED ALLIANCE ARCHITECTURE STUDIO

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NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT (DPS)	2024-02-29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 N/A DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN: MA  
CHECKED: JB

DATE: 2024-02-29  
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DRAWING TITLE  
SITE PHOTOS

DRAWING NUMBER

**DP.003**

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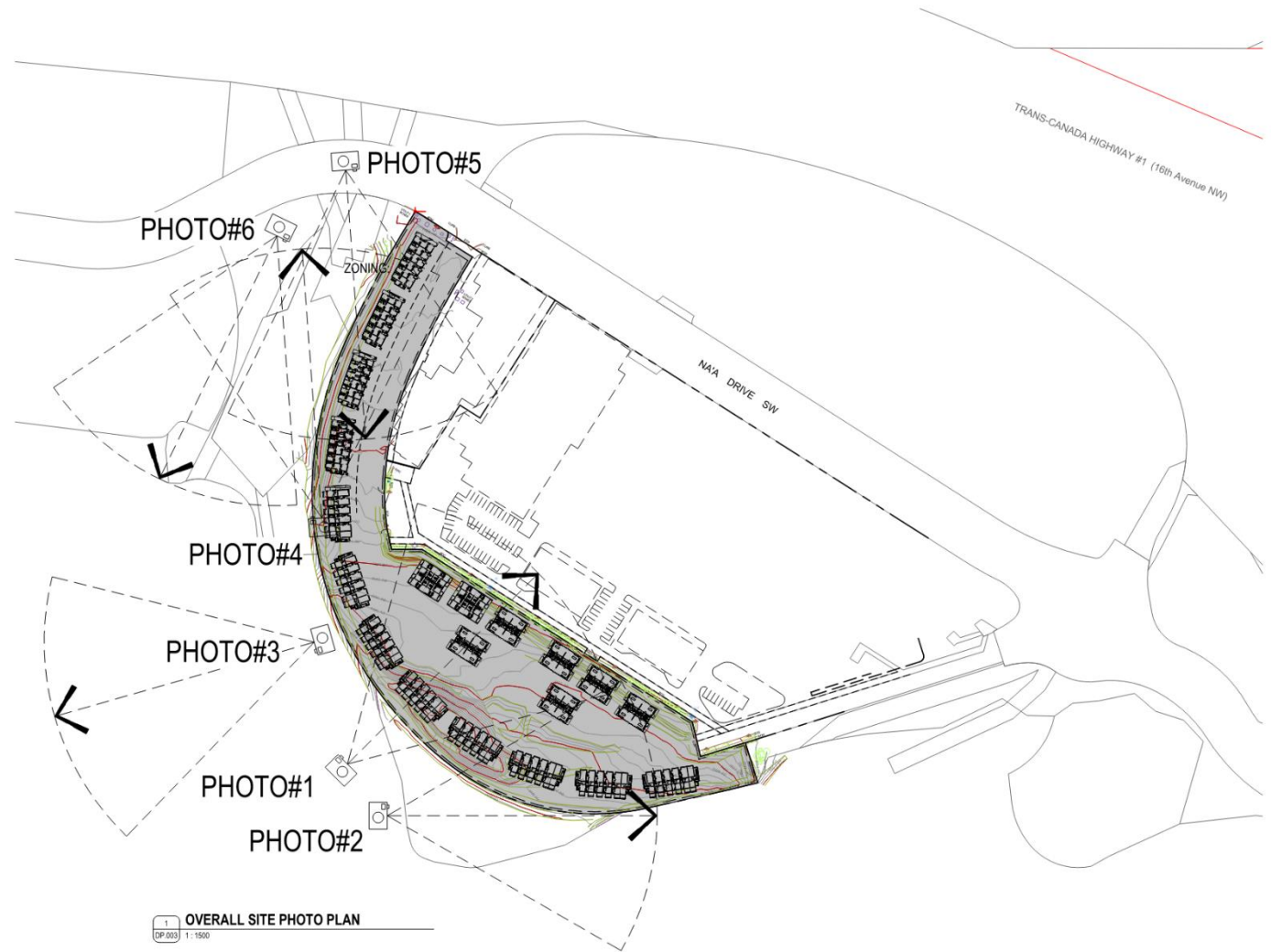


PHOTO #1 - NORTH-EAST VIEW



PHOTO #2 - EAST VIEW



PHOTO #3 - WEST VIEW



PHOTO #4 - NORTH VIEW



PHOTO #5 - SOUTH VIEW



PHOTO #6 - SOUTH-WEST VIEW



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SCALE

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1281 NA'A DR SW  
CALGARY, ALBERTA

LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN BY  
KIA

CHECKED BY  
JR

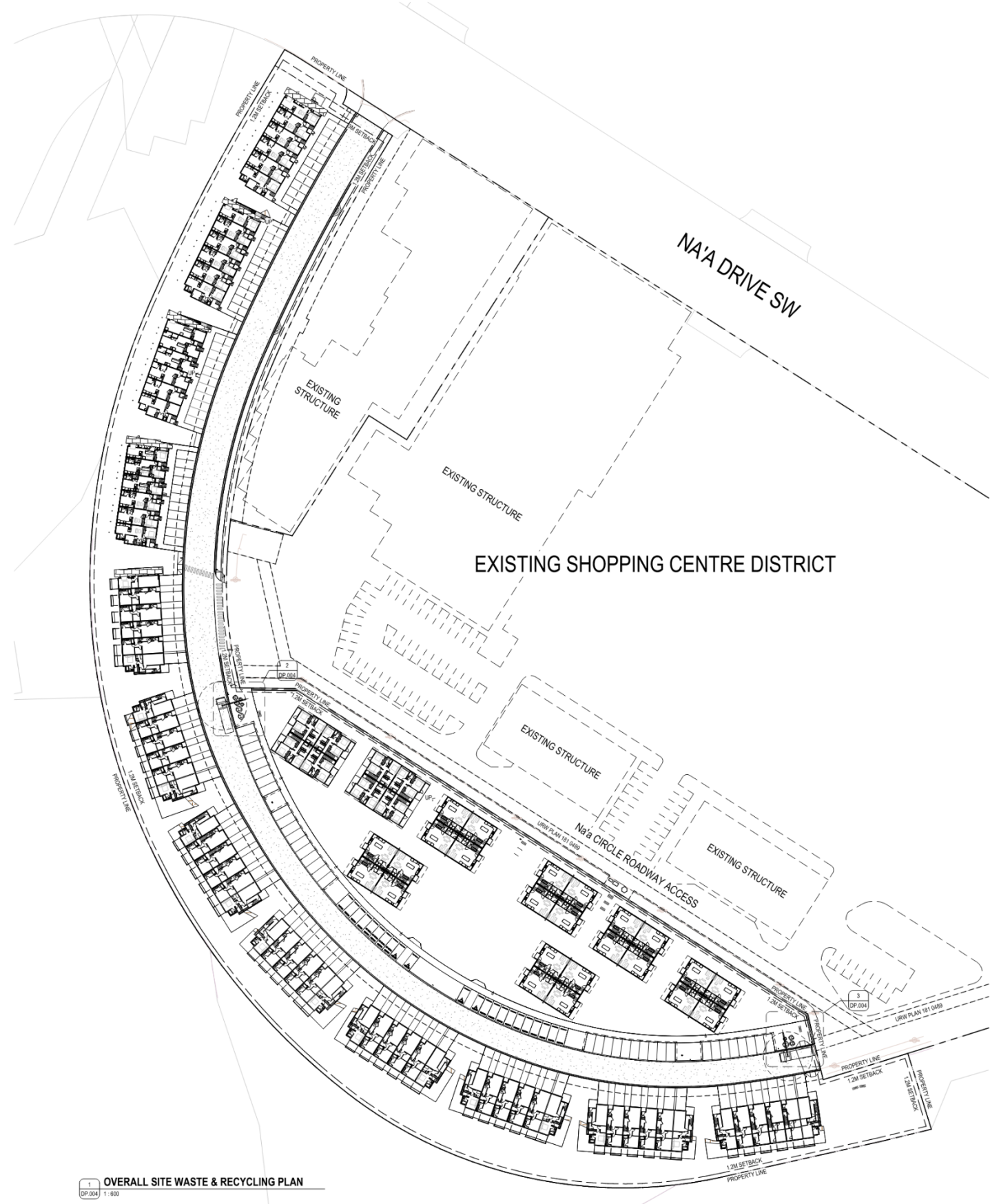
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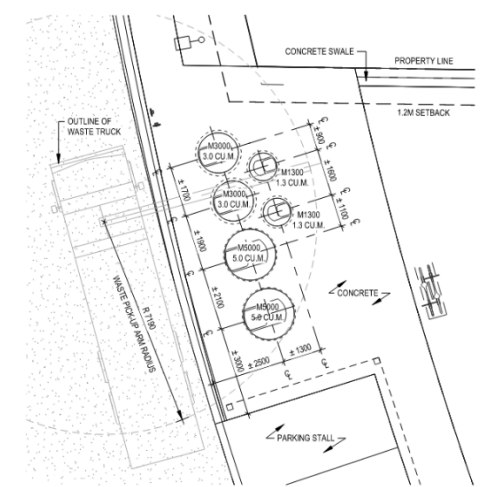
DRAWING TITLE  
WASTE & RECYCLING DETAILS

DRAWING NUMBER  
DP.004

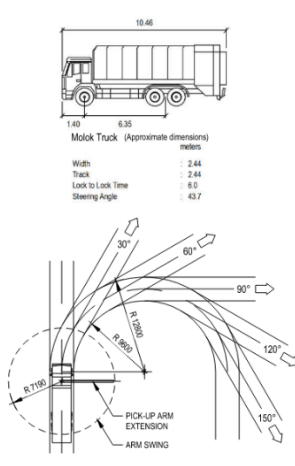
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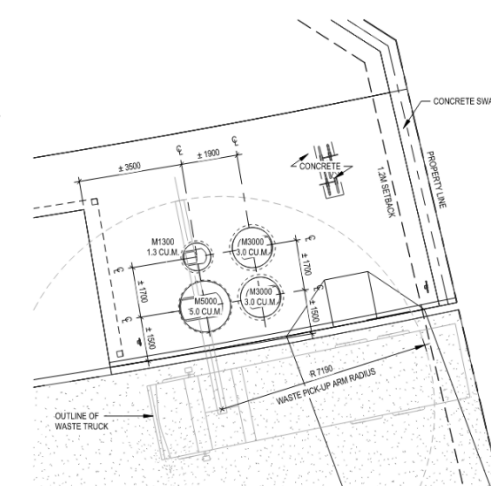
1 OVERALL SITE WASTE & RECYCLING PLAN  
DP.004 1:100



2 ENLARGED PLAN  
DP.004 1:100



WASTE & RECYCLING TRUCK PROFILE



3 ENLARGED PLAN  
DP.004 1:100

WASTE / RECYCLING / ORGANICS STATISTIC & CALCULATIONS

WASTE / RECYCLING / ORGANICS STATISTIC & CALCULATIONS				
	WASTE DIVERSION PERCENTAGE (%)	REQUIRED VOLUME (M <sup>3</sup> )	PROVIDED VOLUME (M <sup>3</sup> )	PICK UP FREQUENCY PER WEEK
GARBAGE / WASTE	31%	8.48M <sup>3</sup>	8.0M <sup>3</sup> 2 x 3.0M <sup>3</sup> / 2 x 1.5M <sup>3</sup>	1
RECYCLING	57%	15.68M <sup>3</sup>	16.0M <sup>3</sup> 2 x 5.0M <sup>3</sup> / 2 x 3.0M <sup>3</sup>	1
ORGANICS	12%	3.24M <sup>3</sup>	0.3M <sup>3</sup> 1 x 0.3M <sup>3</sup> / 1 x 1.5M <sup>3</sup>	1
TOTAL	100%	30.72M <sup>3</sup>	30.9M <sup>3</sup> 10 TOTAL	1

128 UNITS x 9.24M CU / WEEK

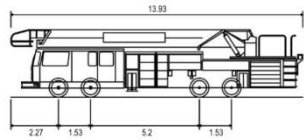
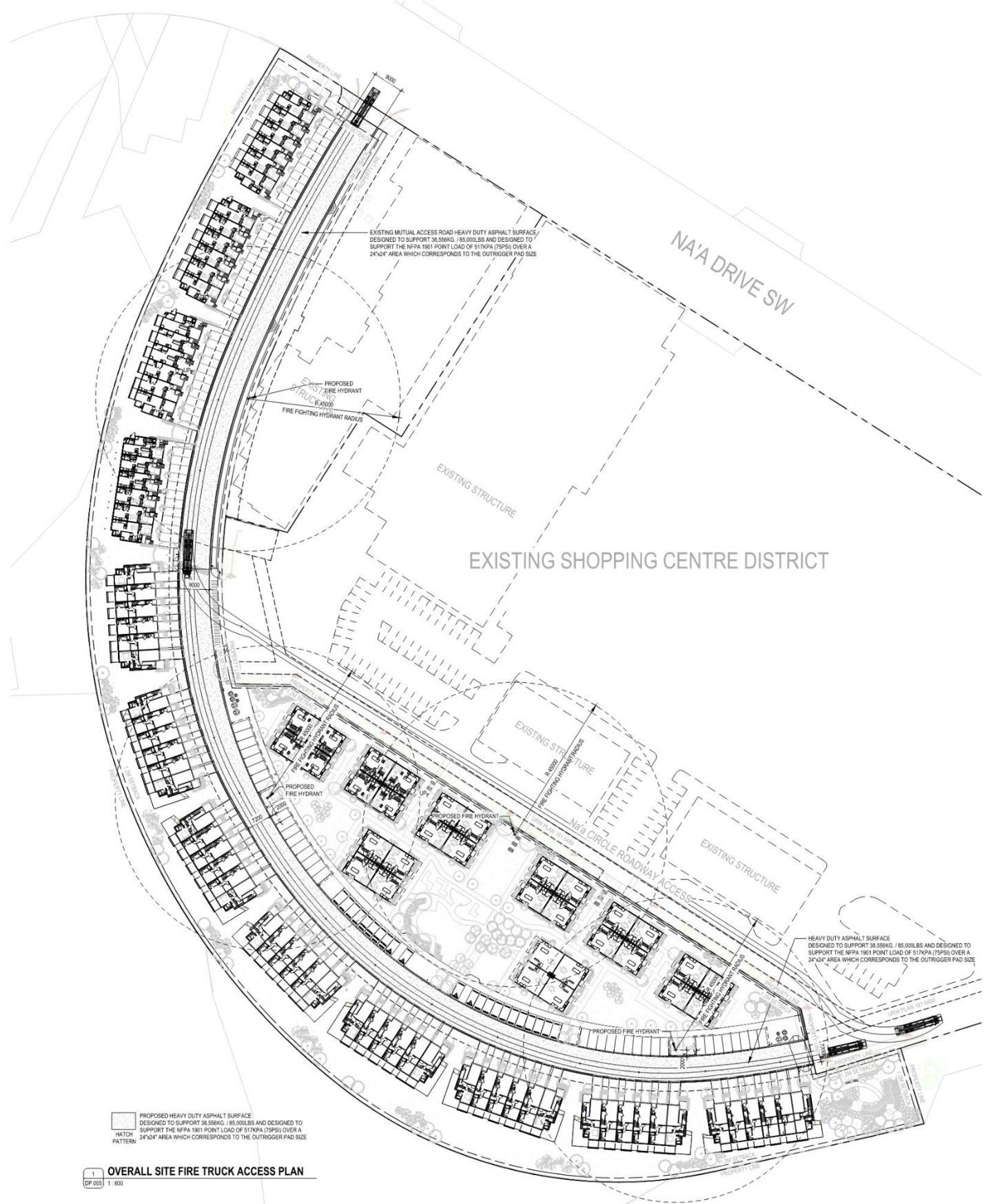
MOLOK WASTE BIN ENCLOSURE DETAIL



WASTE & RECYCLING



FORMED ALLIANCE ARCHITECTURE STUDIO



CFD\_Bronto\_Skylift\_Fire Truck

Meters

Width : 2.57m  
 Track : 2.57m  
 Lock to Lock Time : 4.67s  
 Steering Angle : 47.5 deg

**COC FIRE TRUCK PROFILE**

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NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTR1	2023-10-10
3	DEVELOPMENT PERMIT DR3	2024-02-29

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT

MUNICIPAL ADDRESS  
 1201 N/A DR SW  
 CALGARY, ALBERTA

LEGAL ADDRESS  
 LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
 23.22

PROJECT NAME  
 MEDICINE HILL BLOCK "J"

DRAWN  
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 CHECKED  
 Chester

DATE  
 2024-02-29  
 SCALE  
 As Indicated

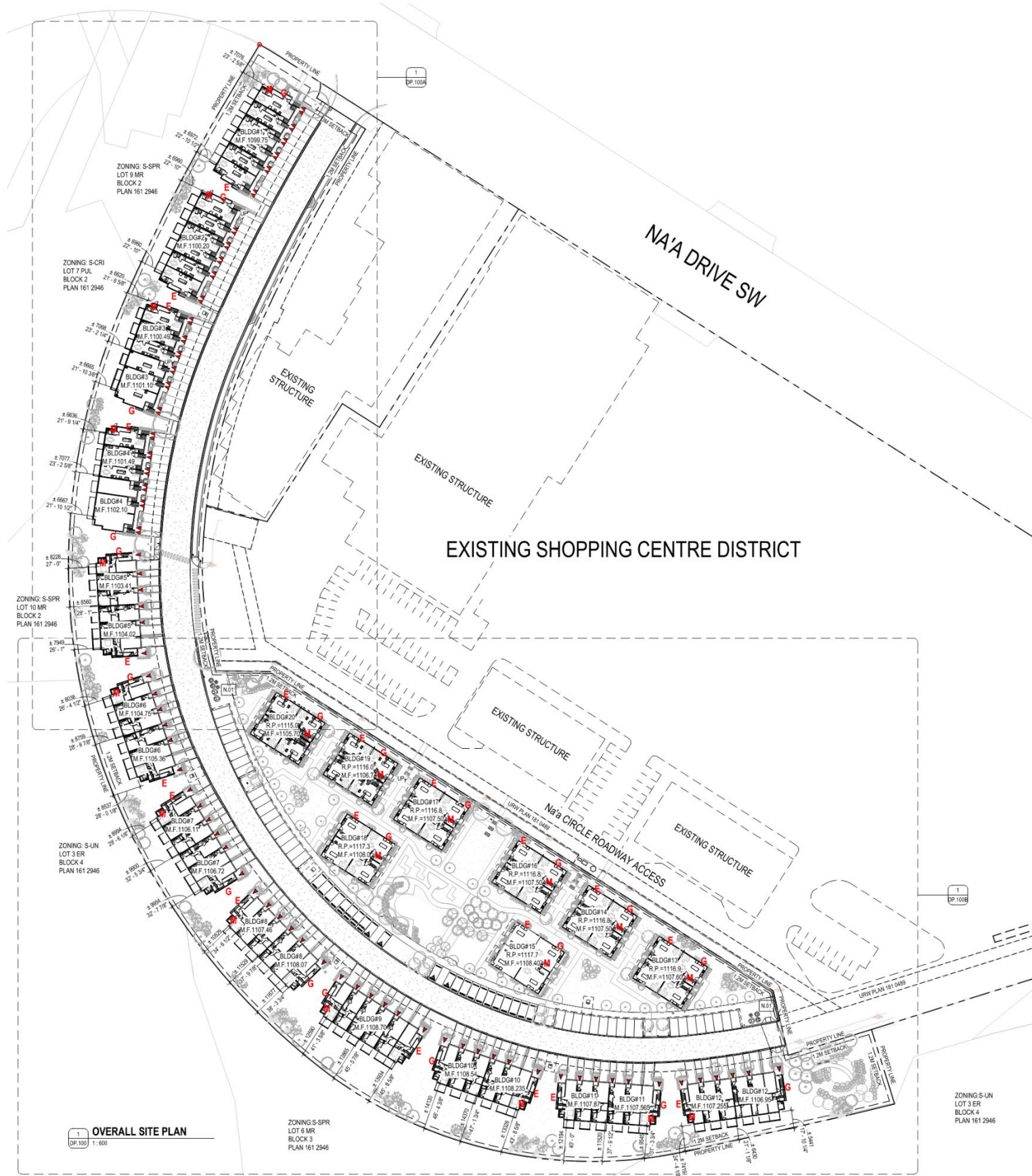
**FIRE FIGHTING PLAN**

DRAWING NUMBER  
**DP.005**

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FORMED ALLIANCE ARCHITECTURE STUDIO



**SHEET NOTES**

- N-1 DESCRIPTION
  - N.01 PROPOSED WASTE & RECYCLING AREA REFER TO ENLARGED DETAIL
  - N.02 PROPOSED TRANSFORMER LOCATION
  - N.03 PROPOSED UTILITY RIGHT OF WAY
  - N.04 PROPOSED FIRE HYDRANT W/ BOLLARD PROTECTION
  - N.05 PROPOSED MANHOLE / CATCH BASIN
  - N.06 PROPOSED VISITOR PARKING STALLS W/ WHEEL STOP (2.5m WIDE x 5.4m IN LENGTH MIN.)
  - N.06A PROPOSED PARKING STALLS W/ WHEEL STOP (2.5m WIDE x 5.4m IN LENGTH MIN.)
  - N.07 PROPOSED BARRIER-FREE VISITOR PARKING STALLS (REFER TO SITE DETAIL SHEET)
  - N.08 PROPOSED MAIL BOX
  - N.09 PROPOSED ASPHALT SURFACE
  - N.09A PROPOSED HEAVY DUTY ASPHALT SURFACE DESIGNED TO SUPPORT 38 000KG / 85 000LBS AND DESIGNED TO SUPPORT THE NFPA 1801 POINT LOAD OF 5170PA (10PSI) OVER A 24"x24" AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE
  - N.09B EXISTING MUTUAL ACCESS ASPHALT ROAD AGREEMENT
  - N.10 PROPOSED CONCRETE WALKWAY
  - N.10A PROPOSED CONCRETE DRIVEWAY PAD (3m WIDE x 6m IN LENGTH MIN.) +/-2% SLOPE MAX
  - N.10B EXISTING ADJACENT SITE CONCRETE WALKWAY
  - N.11 PROPOSED SITE SIGN
  - N.11A EXISTING SITE SIGN
  - N.12 PROPOSED CONCRETE CURB CUT (REFER TO SITE DETAILS)
  - N.13 CONCRETE CURB (REFER TO SITE DETAILS)
  - N.14 CONCRETE ROLLED CURB (REFER TO SITE DETAIL SHEET)
  - N.15 LINE OF BALCONY ABOVE
  - N.16 OPEN PARKING ROOF COVER STRUCTURE ABOVE (REFER TO SITE DETAIL SHEET)
  - N.17 PAINTED PEDESTRIAN CROSS WALK STRIPE OVER ASPHALT
  - N.20 PROPOSED LANDSCAPE AREA (REFER TO LANDSCAPE DRAWINGS)
  - N.21 PROPOSED BIKE STALLS
  - N.22 PROPOSED 1.2m (4') TALL CHAIN LINK FENCE ON PROPERTY LINE
  - N.23 PROPOSED RETAINING WALL (REFER TO CIVIL DRAWINGS)
  - N.30 PROPOSED ELECTRICAL LIGHT STANDARD
  - N.30A EXISTING ELECTRICAL LIGHT STANDARD
  - N.31 EXISTING UTILITY BOX
  - PRINCIPAL ENTRANCE
  - WATER METER ROOM
  - GAS METER
  - ELECTRICAL METER
- GENERAL NOTES:
- REFER TO SURVEY & CIVIL DRAWINGS FOR SITE SERVICES, UTILITY RIGHT OF WAY, GRADING & GEOTECH ELEVATIONS.
  - REFER TO LANDSCAPE DRAWINGS FOR ALL PLANTING AND GROUND COVER / FEATURE INFORMATION & DETAILS.
  - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT AND DETAILS.
  - ALL EXISTING SIGNAGE AND SIGN POST TO REMAIN.
  - ALL EXISTING FENCE, BERM AND LANDSCAPE INSIDE OF PROPERTY BOUNDARY TO BE REMOVED.
  - ALL T.E.I.N.S INTO EXISTING INFRASTRUCTURE TO FOLLOW AND ADHERE TO THE CITY OF CALGARY ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.
  - ROOF RUNOFF TO BE CAPTURED & DIRECTED TO ONSITE STORM SYSTEM. THERE IS TO BE NO SITE OR ROOF DRAINAGE DIRECTED ONTO RESERVE LAND.
  - DWELLING UNITS WILL BE "SOLAR READY" AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY. A MINIMUM 2.5 CM (1") MINIMUM DIAMETER CONDUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "WALKWAYS") WILL BE INSTALLED.
  - ROOFING MATERIALS WILL MEET OR EXCEED THE IMPACT RESISTANCE OF A CLASS 4 RATED ROOFING SYSTEM WITH IMPACT RATING FOR UL2218 OR FM4473.
  - ALL DWELLING UNITS WITH GARAGES WILL BE EV READY (CAPABLE OF SUPPORTING A MINIMUM OF 40 AMPS AT 208 VOLTS OR 240 VOLTS FOR ELECTRIC VEHICLE CHARGING WHICH MUST INCLUDE THE INSTALLATION OF DISTRIBUTION PANELS, ELECTRICAL CAPACITY, AND WALL AND FLOOR PENETRATIONS TO ACCOMMODATE FUTURE CHARGING CABLES, AND MAY INCLUDE AN ELECTRIC VEHICLE ENERGY MANAGEMENT SYSTEM FOR FUTURE INSTALLATION.
  - ACCESS TO THE ER AND MR SOUTH OF THE SITE WILL NOT BE PERMITTED.

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DRY	2023-10-16
2	DEVELOPMENT PERMIT DRY	2024-01-08
3	DEVELOPMENT PERMIT DRY	2024-02-20

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 N/A DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN  
KIA

DATE  
2024-02-20

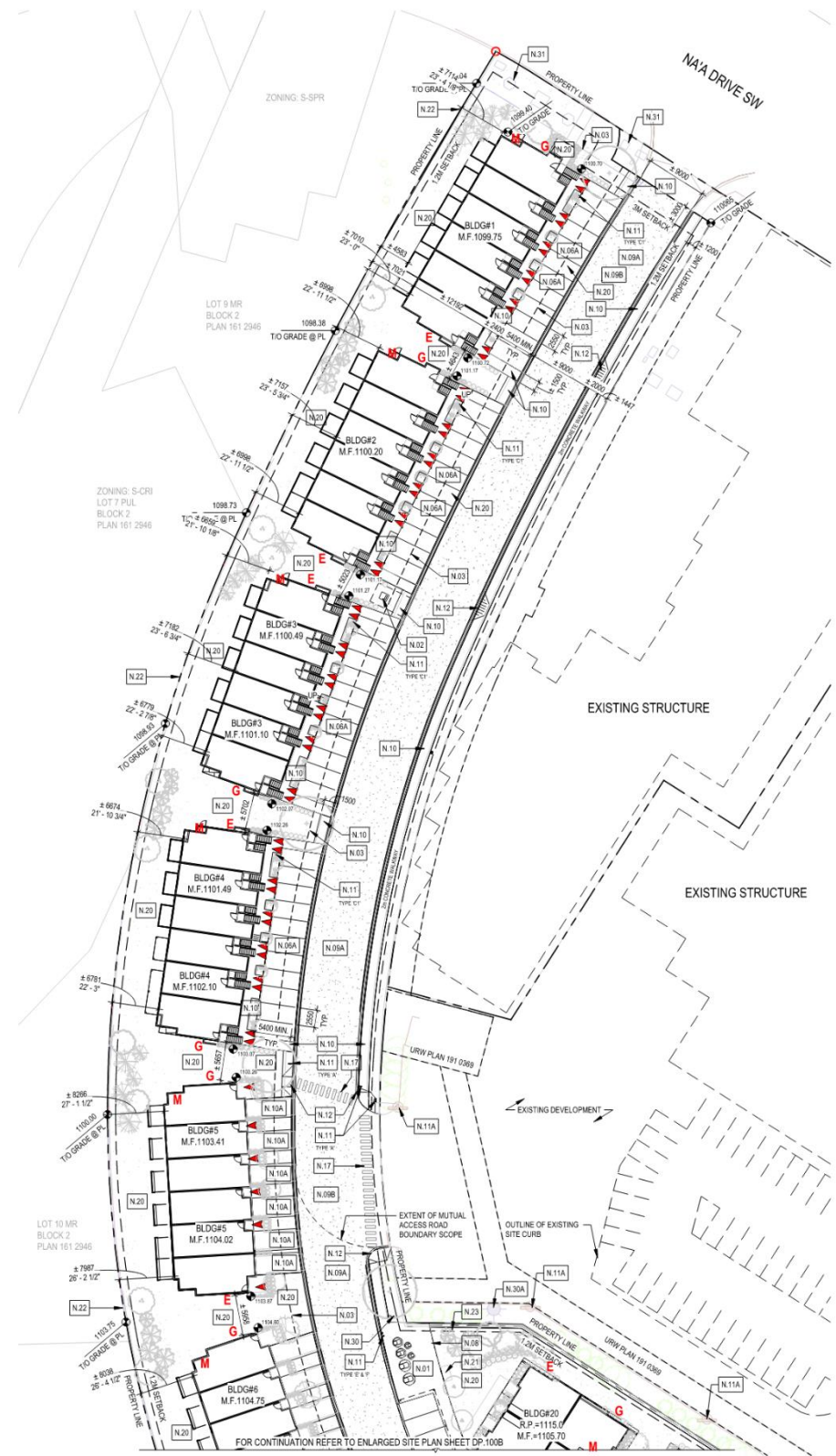
DRAWING TITLE  
OVERALL SITE PLAN

DRAWING NUMBER  
DP.100

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FORMED ALLIANCE ARCHITECTURE STUDIO



**PARTIAL ENLARGED SITE PLAN**  
DP.100A 1:400

**SHEET NOTES**

- N- DESCRIPTION
  - N.01 PROPOSED WASTE & RECYCLING AREA REFER TO ENLARGED DETAIL.
  - N.02 PROPOSED TRANSFORMER LOCATION
  - N.03 PROPOSED UTILITY RIGHT OF WAY
  - N.04 PROPOSED FIRE HYDRANT W/ BOLLARD PROTECTION
  - N.05 PROPOSED MANHOLE / CATCH BASIN
  - N.06 PROPOSED VISITOR PARKING STALLS W/ WHEEL STOP (2.5m WIDE x 5.4m IN LENGTH MIN.)
  - N.06A PROPOSED PARKING STALLS W/ WHEEL STOP (2.5m WIDE x 5.4m IN LENGTH MIN.)
  - N.07 PROPOSED BARRIER-FREE VISITOR PARKING STALLS (REFER TO SITE DETAIL SHEET)
  - N.08 PROPOSED MAIL BOX
  - N.09 PROPOSED ASPHALT SURFACE
  - N.09A PROPOSED HEAVY DUTY ASPHALT SURFACE DESIGNED TO SUPPORT 85,000KG / 185,000LBS AND DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 5170KPA (750PSI) OVER A 24"X24" AREA WHICH CORRESPONDS TO THE OUTROGGER PAD SIZE
  - N.09B EXISTING MUTUAL ACCESS ASPHALT ROAD AGREEMENT
  - N.10 PROPOSED CONCRETE WALKWAY
  - N.10A PROPOSED CONCRETE DRIVEWAY PAD (3m WIDE x 6m IN LENGTH MIN.) +/- 2% SLOPE MAX
  - N.10B EXISTING ADJACENT SITE CONCRETE WALKWAY
  - N.11 PROPOSED SITE SIGN
  - N.11A EXISTING SITE SIGN
  - N.12 PROPOSED CONCRETE CURB CUT (REFER TO SITE DETAILS)
  - N.13 CONCRETE CURB (REFER TO SITE DETAILS)
  - N.14 CONCRETE ROLLED CURB (REFER TO SITE DETAIL SHEET)
  - N.15 LINE OF BALCONY ABOVE
  - N.16 OPEN PARKING ROOF COVER STRUCTURE ABOVE (REFER TO SITE DETAIL SHEET)
  - N.17 PAINTED PEDESTRIAN CROSS WALK STRIPE OVER ASPHALT
  - N.20 PROPOSED LANDSCAPE AREA (REFER TO LANDSCAPE DRAWINGS)
  - N.21 PROPOSED BIKE STALLS
  - N.22 PROPOSED 1.2m (4') TALL CHAIN LINK FENCE ON PROPERTY LINE
  - N.23 PROPOSED RETAINING WALL (REFER TO CIVIL DRAWINGS)
  - N.30 PROPOSED ELECTRICAL LIGHT STANDARD
  - N.30A EXISTING ELECTRICAL LIGHT STANDARD
  - N.31 EXISTING UTILITY BOX
  - ▶ PRINCIPAL ENTRANCE
  - M WATER METER ROOM
  - G GAS METER
  - E ELECTRICAL METER
- GENERAL NOTES:
- REFER TO SURVEY & CIVIL DRAWINGS FOR SITE SERVICES, UTILITY RIGHT OF WAYS, GRADING & GEODETIC ELEVATIONS.
  - REFER TO LANDSCAPE DRAWINGS FOR ALL PLANTING AND GROUND COVER / FEATURE INFORMATION & DETAILS.
  - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT AND DETAILS.
  - ALL EXISTING SIGNAGE AND SIGN POST TO REMAIN.
  - ALL EXISTING FENCE, BERM AND LANDSCAPE INSIDE OF PROPERTY BOUNDARY TO BE REMOVED.
  - ALL TIE-INS INTO EXISTING INFRASTRUCTURE TO FOLLOW AND ADHERE TO THE CITY OF CALGARY ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.
  - ROOF RUNOFF TO BE CAPTURED & DIRECTED TO ONSITE STORM SYSTEM. THERE IS TO BE NO SITE OR ROOF DRAINAGE DIRECTED ONTO RESERVE LAND.
  - DWELLING UNITS WILL BE SOLAR READY AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY. A MINIMUM 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") WILL BE INSTALLED.
  - ROOFING MATERIALS WILL MEET OR EXCEED THE IMPACT RESISTANCE OF A CLASS 4 RATED ROOFING SYSTEM WITH IMPACT RATING FOR UL2218 OR FM4473.
  - ALL DWELLING UNITS WITH GARAGES WILL BE EASY READY (CAPABLE OF SUPPORTING A MINIMUM OF 40-AMPS AT 208 VOLTS OR 240 VOLTS FOR ELECTRIC VEHICLE CHARGING WHICH MUST INCLUDE THE INSTALLATION OF DISTRIBUTION PANELS, ELECTRICAL CAPACITY, AND WALL AND FLOOR PENETRATIONS TO ACCOMMODATE FUTURE CHARGING CABLES, AND MAY INCLUDE AN ELECTRIC VEHICLE ENERGY MANAGEMENT SYSTEM) FOR FUTURE INSTALLATION.
  - ACCESS TO THE ER AND MR SOUTH OF THE SITE WILL NOT BE PERMITTED.

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



**RELEASES**

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTR1	2023-10-10
2	DEVELOPMENT PERMIT OKI	2024-01-08
3	DEVELOPMENT PERMIT OKI	2024-02-09

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 N/A DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN  
CHKD  
JH

DATE  
2024-02-09

SCALE  
AS SHOWN

**ENLARGED SITE PLAN**

DRAWING NUMBER

**DP.100A**

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FORMER ALLIANCE ARCHITECTURE STUDIO



**PARTIAL SITE PLAN**  
SP.100B 1:400

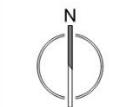
**SHEET NOTES**

- N.01 PROPOSED WASTE & RECYCLING AREA REFER TO ENLARGED DETAIL
- N.02 PROPOSED TRANSFORMER LOCATION
- N.03 PROPOSED UTILITY RIGHT OF WAY
- N.04 PROPOSED FIRE HYDRANT W/ BOLLARD PROTECTION
- N.05 PROPOSED MANHOLE / CATCH BASIN
- N.06 PROPOSED VISITOR PARKING STALLS W/ WHEEL STOP (2.5m WIDE x 5.4m IN LENGTH MIN.)
- N.06A PROPOSED PARKING STALLS W/ WHEEL STOP (2.5m WIDE x 5.4m IN LENGTH MIN.)
- N.07 PROPOSED BARRIER-FREE VISITOR PARKING STALLS (REFER TO SITE DETAIL SHEET)
- N.08 PROPOSED MAIL BOX
- N.09 PROPOSED ASPHALT SURFACE
- N.09A PROPOSED HEAVY DUTY ASPHALT SURFACE DESIGNED TO SUPPORT 38,550KG / 85,000LBS AND DESIGNED TO SUPPORT THE NFPA 1991 POINT LOAD OF 57KPA (17PSI) OVER A 24"x24" AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE
- N.09B EXISTING MUTUAL ACCESS ASPHALT ROAD AGREEMENT
- N.10 PROPOSED CONCRETE WALKWAY
- N.10A PROPOSED CONCRETE DRIVEWAY PAD (3m WIDE x 6m IN LENGTH MIN.) +/- 2-4% SLOPE MAX
- N.10B EXISTING ADJACENT SITE CONCRETE WALKWAY
- N.11 PROPOSED SITE SIGN
- N.11A EXISTING SITE SIGN
- N.12 PROPOSED CONCRETE CURB CUT (REFER TO SITE DETAILS)
- N.13 CONCRETE CURB (REFER TO SITE DETAILS)
- N.14 CONCRETE ROLLED CURB (REFER TO SITE DETAIL SHEET)
- N.15 LINE OF BALCONY ABOVE
- N.16 OPEN PARKING ROOF COVER STRUCTURE ABOVE (REFER TO SITE DETAIL SHEET)
- N.17 PAINTED PEDESTRIAN CROSS WALK STRIPE OVER ASPHALT

- N.20 PROPOSED LANDSCAPE AREA (REFER TO LANDSCAPE DRAWINGS)
- N.21 PROPOSED BIKE STALLS
- N.22 PROPOSED 1.2m (4') TALL CHAIN LINK FENCE ON PROPERTY LINE
- N.23 PROPOSED RETAINING WALL (REFER TO CIVIL DRAWINGS)
- N.30 PROPOSED ELECTRICAL LIGHT STANDARD
- N.30A EXISTING ELECTRICAL LIGHT STANDARD
- N.31 EXISTING UTILITY BOX
- ▶ PRINCIPAL ENTRANCE
- M WATER METER ROOM
- G GAS METER
- E ELECTRICAL METER

- GENERAL NOTES**
- 1 REFER TO SURVEY & CIVIL DRAWINGS FOR SITE SERVICES, UTILITY RIGHT OF WAYS, GRADING & GEODETIC ELEVATIONS.
  - 2 REFER TO LANDSCAPE DRAWINGS FOR ALL PLANTING AND GROUND COVER / FEATURE INFORMATION & DETAILS.
  - 3 REFER TO ELECTRICAL DRAWINGS FOR LIGHTING LAYOUT AND DETAILS.
  - 4 ALL EXISTING SIGNAGE AND SIGN POST TO REMAIN.
  - 5 ALL EXISTING FENCE, BERM AND LANDSCAPE INSIDE OF PROPERTY BOUNDARY TO BE REMOVED.
  - 6 ALL THE-INS INTO EXISTING INFRASTRUCTURE TO FOLLOW AND ADHERE TO THE CITY OF CALGARY ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.
  - 7 ROOF RUNOFF TO BE CAPTURED & DIRECTED TO ONSITE STORM SYSTEM. THERE IS TO BE NO SITE OR ROOF DRAINAGE DIRECTED ONTO RESERVE LAND.
  - 8 DWELLING UNITS WILL BE SOLAR READY AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY. A MINIMUM 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") WILL BE INSTALLED.
  - 9 ROOFING MATERIALS WILL MEET OR EXCEED THE IMPACT RESISTANCE OF A CLASS 4 RATED ROOFING SYSTEM WITH IMPACT RATING FOR UL2218 OR FM4473.
  - 10 ALL DWELLING UNITS WITH GARAGES WILL BE READY CAPABLE OF SUPPORTING A MINIMUM OF 40 AMPS AT 208 VOLTS OR 240 VOLTS FOR ELECTRIC VEHICLE CHARGING WHICH MUST INCLUDE THE INSTALLATION OF DISTRIBUTION PANELS, ELECTRICAL CAPACITY, AND WALL AND FLOOR PENETRATIONS TO ACCOMMODATE FUTURE CHARGING CABLING, AND MAY INCLUDE AN ELECTRIC VEHICLE ENERGY MANAGEMENT SYSTEM FOR FUTURE INSTALLATION.
  - 11 ACCESS TO THE ER AND MR SOUTH OF THE SITE WILL NOT BE PERMITTED.

**FOR REFERENCE ONLY - NOT FOR CONSTRUCTION**



**RELEASES**

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTR1	2023-10-18
2	DEVELOPMENT PERMIT DR2	2024-01-08
3	DEVELOPMENT PERMIT DR3	2024-02-29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MAILING ADDRESS: 1801 NWA DR SW, CALGARY, ALBERTA  
 LEGAL ADDRESS: LOT 5, BLOCK 3, PLAN 161 2946  
 PROJECT NUMBER: 23.22  
 PROJECT NAME: MEDICINE HILL BLOCK "F"  
 DRAWN: [ ] CHECKED: [ ]  
 DATE: 2024-02-29  
 SCALE: As Indicated  
**ENLARGED SITE PLAN**  
 DRAWING NUMBER: DP.100B

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FORMED ALLIANCE ARCHITECTURE STUDIO

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RELEASES

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DCR1	2023-10-18
2	DEVELOPMENT PERMIT DCR1	2024-02-29
3	DEVELOPMENT PERMIT DCR1	

CONSTRUCTION

TENDER

BUILDING PERMIT

MUNICIPAL ADDRESS

1201 142A DR SW CALGARY, ALBERTA

LEGAL ADDRESS

LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER

23.22

PROJECT NAME

MEDICINE HILL BLOCK "J"

DRAWN

CHECKED

DATE

SCALE

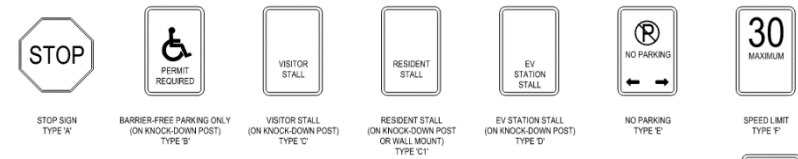
2024-03-09

As indicated

DRAWING TITLE

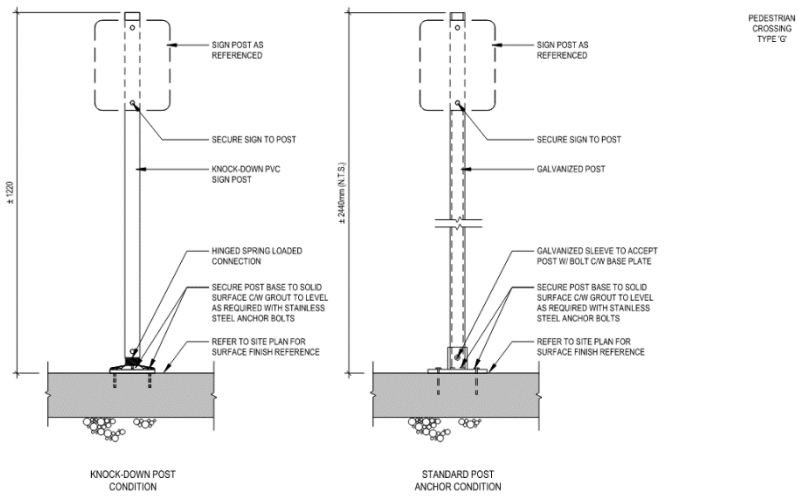
SITE DETAILS

DRAWING NUMBER



SITE SIGNAGE TYPE

NOTE: ALL SIGNS TO CITY OF CALGARY STANDARDS AND MOUNT TO STANDARD POSTS UNLESS NOTED OTHERWISE. REFER TO SITE PLAN FOR LOCATIONS.

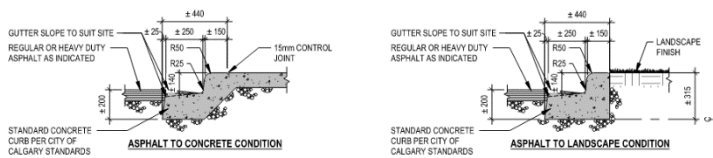


SITE SIGNAGE MOUNTING REFERENCE

NOTE: REFER TO SIGNAGE TYPE DETAIL AND SITE PLAN

1 SIGNAGE TYPE & DETAIL

DP 100C 1:10

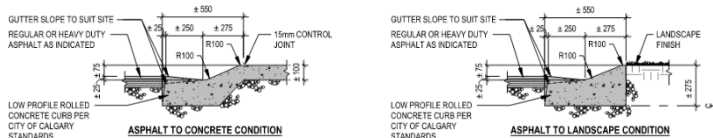


2 STANDARD CURB DETAIL TYP.

DP 100C 1:20

3 STANDARD CURB DETAIL TYP.

DP 100C 1:20

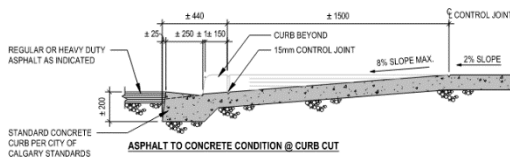


4 ROLLED CURB DETAIL TYP.

DP 100C 1:20

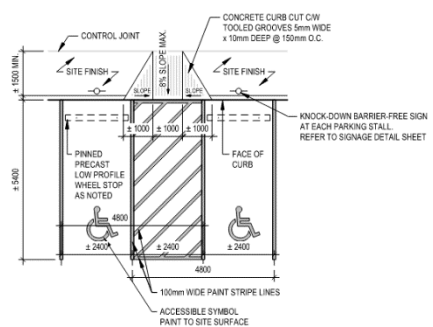
5 ROLLED CURB DETAIL TYP.

DP 100C 1:20



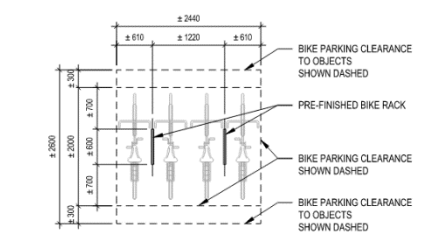
6 STANDARD CURB CUT DETAIL TYP.

DP 100C 1:20



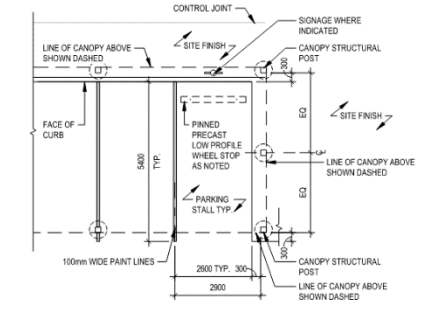
7 STANDARD CURB DETAIL TYP.

DP 100C 1:100



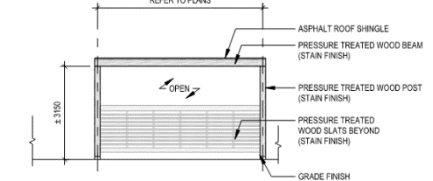
8 BIKE RACK TEMPLATE

DP 100C 1:30



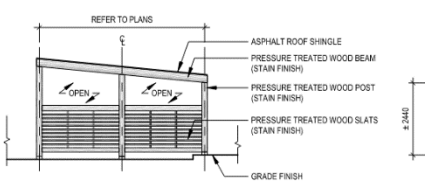
9 TYPICAL SITE DETAIL - VEHICLE CANOPY PLAN

DP 100C 1:100



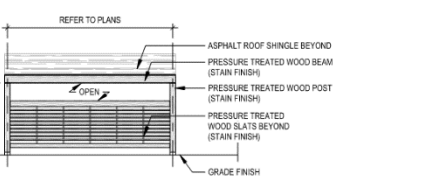
10 VEHICLE CANOPY ELEVATION - FRONT

DP 100C 1:100



11 VEHICLE CANOPY ELEVATION - SIDE

DP 100C 1:100



12 VEHICLE CANOPY ELEVATION - REAR

DP 100C 1:100

FAAS

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- TO BE READ IN CONJUNCTION WITH CIVIL, LANDSCAPE AND SURVEY DRAWINGS
- FOUNDATION WALL, FOOTING & POSTS SHOWN BELOW GRADE ARE FOR REFERENCE ONLY & SUBJECT TO STRUCTURAL & GEOTECHNICAL REFINEMENTS



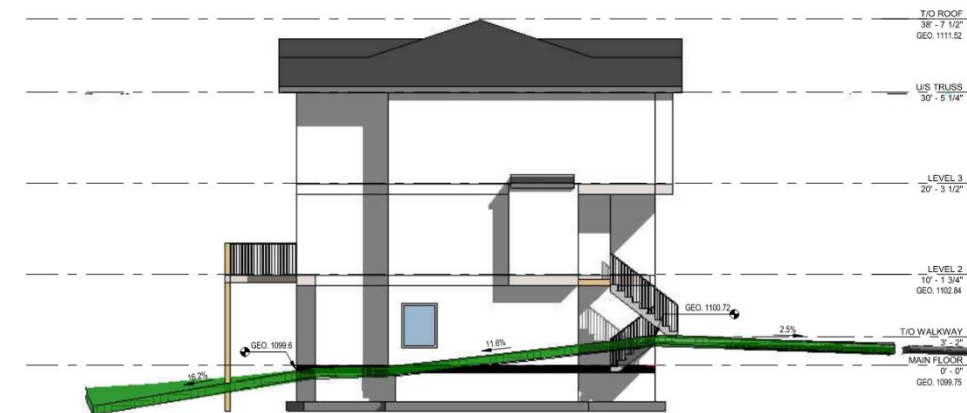
**1 BUILDING#1 FRONT ELEVATION**  
DP.101 1:100



**2 BUILDING#1 SIDE ELEVATION**  
DP.101 1:100



**3 BUILDING#1 REAR ELEVATION**  
DP.101 1:100



**4 BUILDING#1 SIDE ELEVATION**  
DP.101 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTR1	2023-10-10
2	DEVELOPMENT PERMIT DTR	2024-07-08
3	DEVELOPMENT PERMIT DTR	2024-02-20

CONSTRUCTION

TENDER

BUILDING PERMIT

MUNICIPAL ADDRESS

1201 MAYA DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS

LOT 5, BLOCK 3, PLAN 161 2846

PROJECT NUMBER

23.22

PROJECT NAME

MEDICINE HILL BLOCK "J"

DRAWN

CHECKED

AKA

DATE

SCALE

2024-02-20

As indicated

DRAWING TITLE

**BUILDING#1**

**GRADE ELEVATIONS**

DRAWING NUMBER

**DP.101**

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FORMED ALLIANCE ARCHITECTURE STUDIO

MA

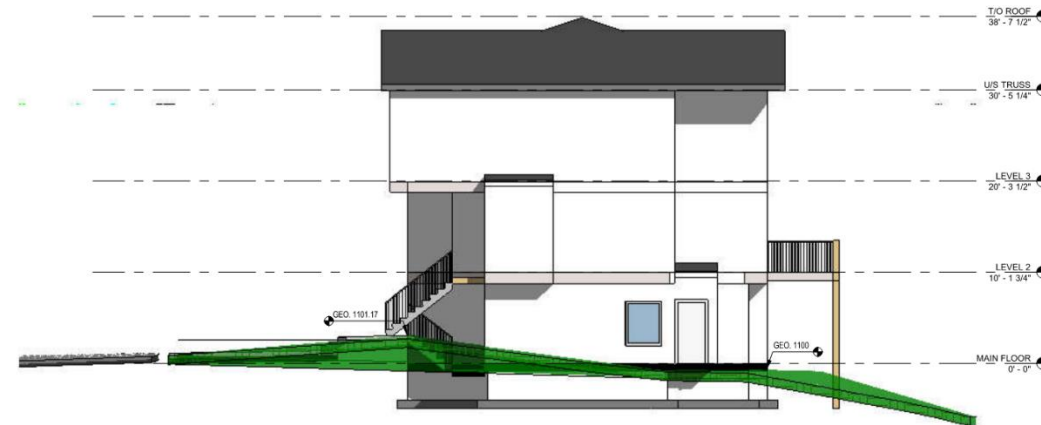
FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

**EXTERIOR ELEVATION GENERAL NOTES:**

- THIS SHEET TO BE USED FOR GRADE GEODETIC REFERENCE ONLY  
- REFER TO REMISING SHEET FOR EXTERIOR CLADDING MATERIALS DESIGNATION  
- TO BE READ IN CONJUNCTION WITH CIVIL, LANDSCAPE AND SURVEY DRAWINGS  
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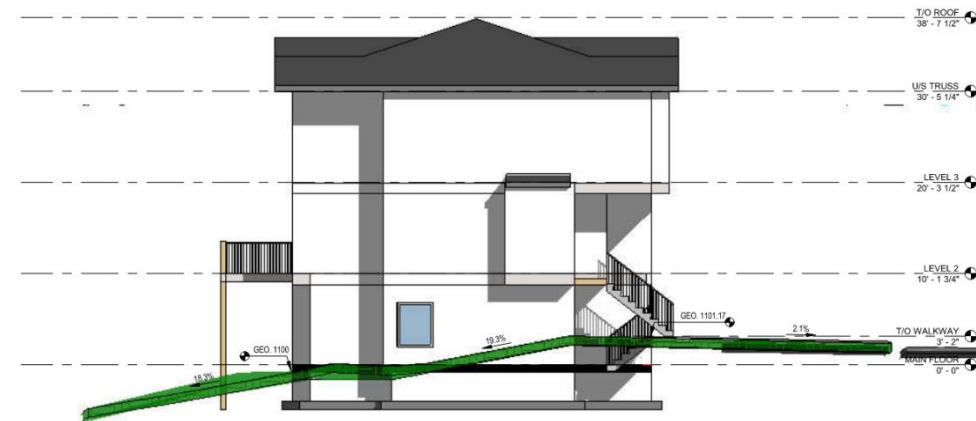
1 BUILDING#2 - FRONT1  
DP.102 1:100



2 BUILDING#2 SIDE ELEVATION  
DP.102 1:100



3 BUILDING#2 - REAR1  
DP.102 1:100



4 BUILDING#2 SIDE ELEVATION  
DP.102 1:100

RELEASES

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DRG	2023-10-18
3	DEVELOPMENT PERMIT DRG	2024-02-28

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 MAY A DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN: CHECKED  
MA: JH

DATE: SCALE  
2024-02-29: As Indicated

DRAWING TITLE  
BUILDING#2 GRADE ELEVATIONS

DRAWING NUMBER

DP.102

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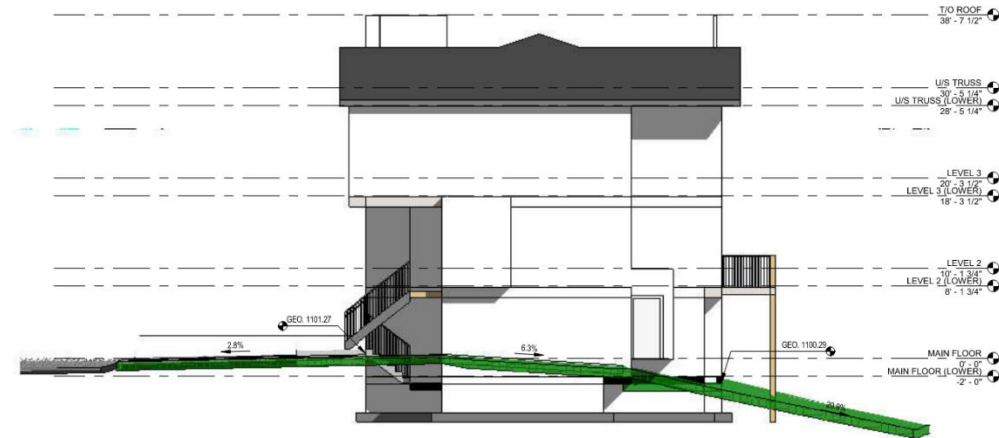
FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

**EXTERIOR ELEVATION GENERAL NOTES:**

- THIS SHEET TO BE USED FOR GRADE GEODETIC REFERENCE ONLY
- REFER TO RENDERING SHEET FOR EXTERIOR CLADDING MATERIALS DESIGNATION
- TO BE READ IN CONJUNCTION WITH CIVIL, LANDSCAPE AND SURVEY DRAWINGS.
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1 BUILDING#3 - FRONT ELEVATION  
DP.103 1:100



2 BUILDING#3 SIDE ELEVATION  
DP.103 1:100



3 BUILDING#3 - REAR ELEVATION  
DP.103 1:100



4 BUILDING#3 SIDE ELEVATION  
DP.103 1:100

RELEASES		
NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT CTR1	2023-10-10
3	DEVELOPMENT PERMIT CR3	2024-02-20

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 NAVA DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 181 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN  
Author Designer

DATE  
2024-02-20

SCALE  
As Indicated

**BUILDING#3 GRADE ELEVATIONS**

**DP.103**

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- THIS SHEET TO BE USED FOR GRADE GEOMETRIC REFERENCE ONLY.  
- REFER TO RENDERING SHEET FOR EXTERIOR CLADDING MATERIALS DESIGNATION.  
- TO BE READ IN CONJUNCTION WITH CIVIL, LANDSCAPE AND SURVEY DRAWINGS.  
- FOUNDATION WALL, FOOTING & POSTS SHOWN BELOW GRADE ARE FOR REFERENCE ONLY & SUBJECT TO STRUCTURAL & GEOTECHNICAL REFINEMENTS.



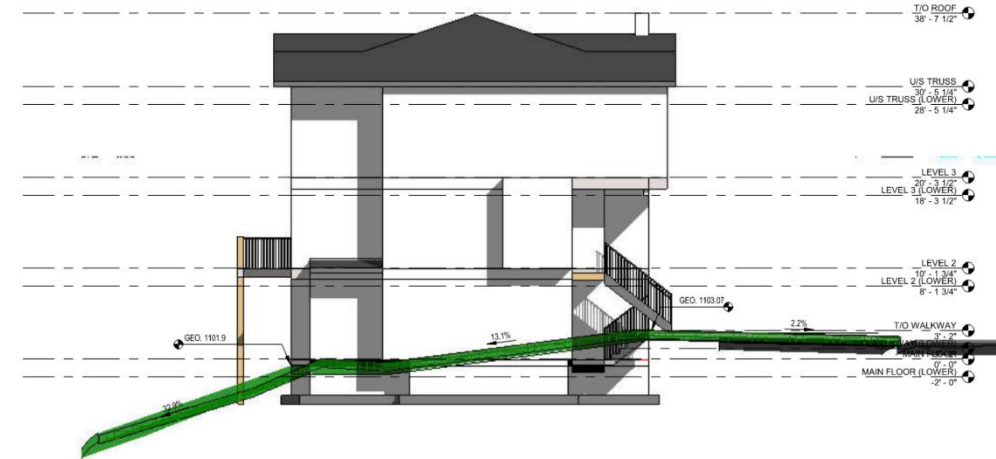
1 BUILDING#4 - FRONT ELEVATION  
DP-104 1:100



2 BUILDING#4 SIDE ELEVATION  
DP-104 1:100



3 BUILDING#4 - REAR ELEVATION  
DP-104 1:100



4 BUILDING#4 SIDE ELEVATION  
DP-104 1:100

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT CITY	2023-10-18
2	DEVELOPMENT PERMIT CITY	2024-02-29
3	DEVELOPMENT PERMIT CITY	2024-02-29

RELEASES

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT

MUNICIPAL ADDRESS

1201 NAVA DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS

LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER

23.22

PROJECT NAME

MEDICINE HILL BLOCK "J"

DRAWN

CKE

DATE

2024-02-29

SCALE

As indicated

DRAWING TITLE

BUILDING#4 GRADE ELEVATIONS

DRAWING NUMBER

DP.104



FORMED ALLIANCE ARCHITECTURE STUDIO

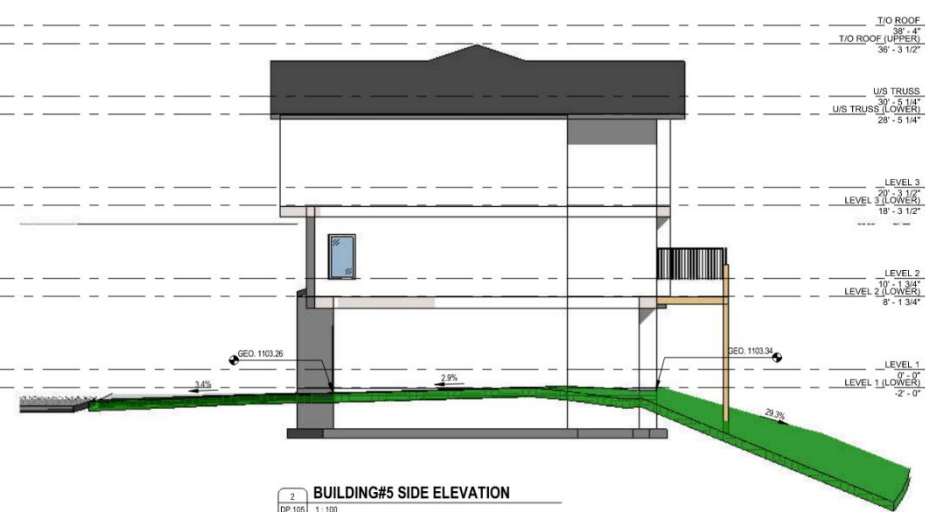
FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

**EXTERIOR ELEVATION GENERAL NOTES:**

- THIS SHEET TO BE USED FOR GRADE GEODETIC REFERENCE ONLY  
 - REFER TO ROOFING SHEET FOR EXTERIOR GLAZING MATERIALS DESIGNATION  
 - TO BE READ IN CONJUNCTION WITH CIVIL, LANDSCAPE AND SURVEY DRAWINGS  
 - FOUNDATION WALL, FOOTING & POSTS SHOWN BELOW GRADE ARE FOR REFERENCE ONLY & SUBJECT TO STRUCTURAL & GEOTECHNICAL REFINEMENTS.



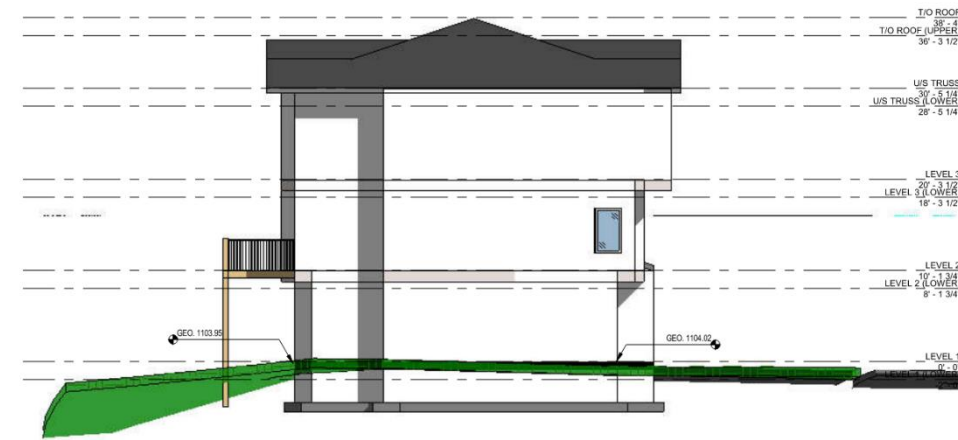
**1 BUILDING#5 - FRONT ELEVATION**  
DP.105 | 1:100



**2 BUILDING#5 SIDE ELEVATION**  
DP.105 | 1:100



**3 BUILDING#5 - REAR ELEVATION**  
DP.105 | 1:100



**4 BUILDING#5 SIDE ELEVATION**  
DP.105 | 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DRY	2023-10-18
3	DEVELOPMENT PERMIT DRY	2024-02-29

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT

MUNICIPAL ADDRESS  
 1201 NA'A DR SW  
 CALGARY, ALBERTA

LEGAL ADDRESS  
 LOT 5, BLOCK 3, PLAN 161 2846

PROJECT NUMBER  
 23.22

PROJECT NAME  
 MEDICINE HILL BLOCK "J"

DRAWN: KJA  
 CHECKED: JH

DATE: 2024-02-29  
 SCALE: AS SHOWN

DRAWING TITLE  
**BUILDING#5  
 GRADE ELEVATIONS**

DRAWING NUMBER

**DP.105**

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**EXTERIOR ELEVATION GENERAL NOTES:**

- THIS SHEET TO BE USED FOR GRADE GEODETIC REFERENCE ONLY
- REFER TO RENDERING SHEET FOR EXTERIOR CLADDING MATERIALS DESIGNATION
- TO BE READ IN CONJUNCTION WITH CIVIL, LANDSCAPE AND SURVEY DRAWINGS.
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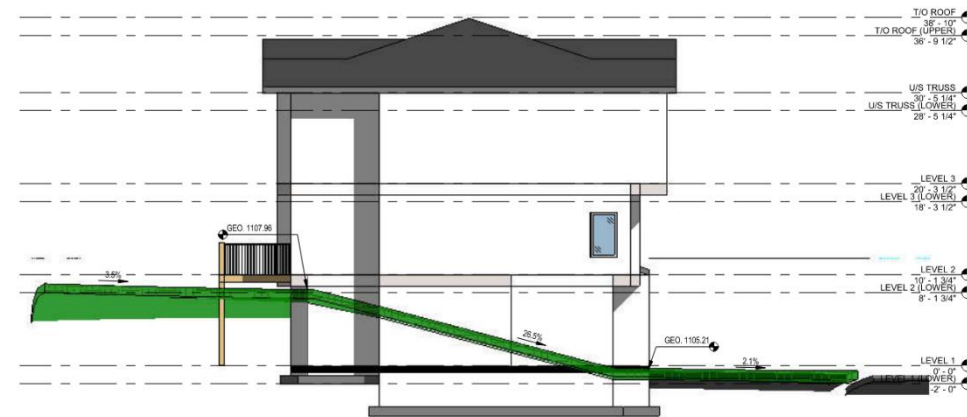
1 BUILDING#6 - FRONT ELEVATION  
DP.106 1:100



2 BUILDING#6 SIDE ELEVATION  
DP.106 1:100



3 BUILDING#6 - REAR ELEVATION  
DP.106 1:100



4 BUILDING#6 SIDE ELEVATION  
DP.106 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTH	2023-10-18
3	DEVELOPMENT PERMIT DTH	2024-02-29

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT

MUNICIPAL ADDRESS: 081 NVA DR SW CALGARY, ALBERTA  
LEGAL ADDRESS: LOT 5, BLOCK 3, PLAN 161 2946  
PROJECT NUMBER: 23.22  
PROJECT NAME: MEDICINE HILL BLOCK "J"  
DRAWN: CHECKED: JH  
DATE: 2024-02-29 SCALE: AS SHOWN  
DRAWING TITLE: BUILDING#6 GRADE ELEVATIONS  
DRAWING NUMBER:

**DP.106**

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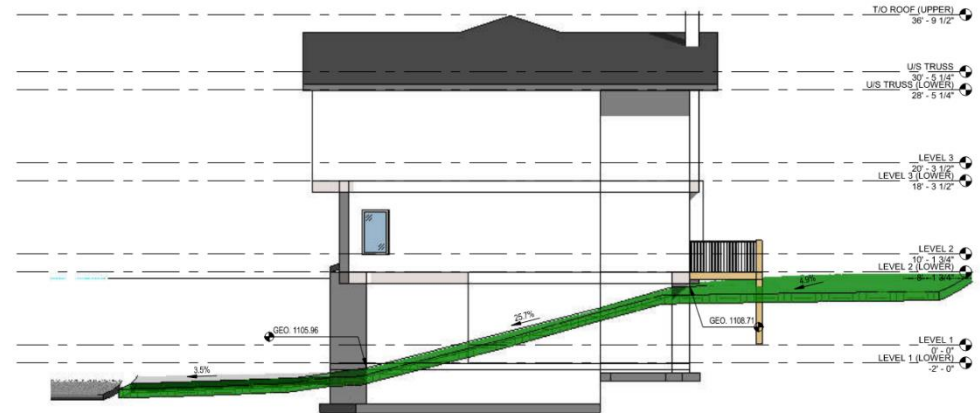
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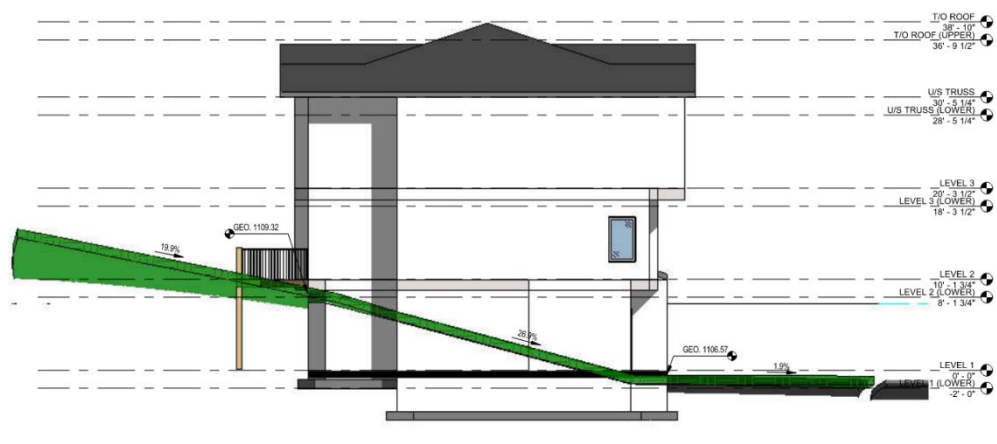
1 BUILDING#7 - FRONT ELEVATION  
DP.107 1:100



2 BUILDING#7 - SIDE ELEVATION  
DP.107 1:100



3 BUILDING#7 - REAR ELEVATION  
DP.107 1:100



4 BUILDING#7 SIDE ELEVATION  
DP.107 1:100

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT CITY	2023-10-18
3	DEVELOPMENT PERMIT DRG	2024-02-20

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT  
 MUNICIPAL ADDRESS  
 1201 MAINA DR SW  
 CALDARY, ALBERTA  
 LEGAL ADDRESS  
 LOT 5, BLOCK 3, PLAN 161 2846  
 PROJECT NUMBER  
 23.22  
 PROJECT NAME  
 MEDICINE HILL BLOCK "C"  
 DRAWN  
 CHECKED  
 VOA  
 JOB  
 DATE  
 SCALE  
 2024-02-20  
 As Issued  
 DRAWING TITLE  
**BUILDING#7  
 GRADE ELEVATIONS**  
 DRAWING NUMBER

**DP.107**

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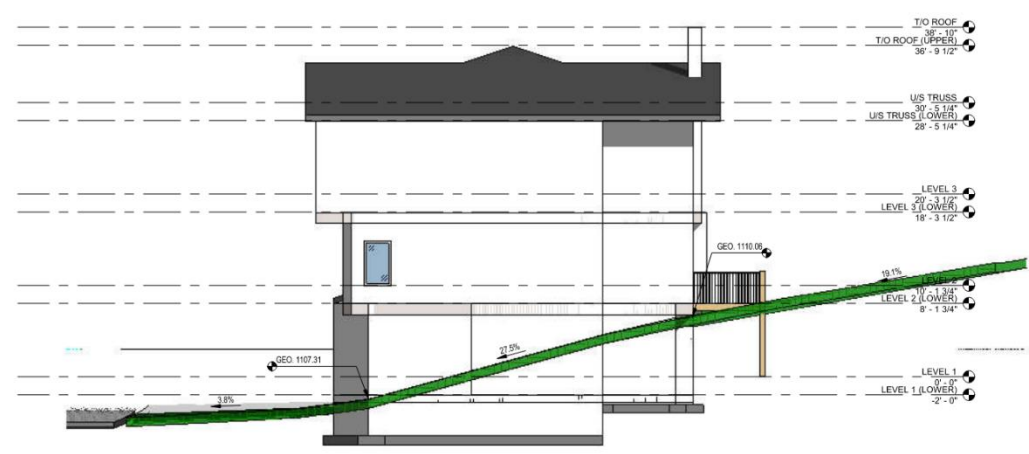
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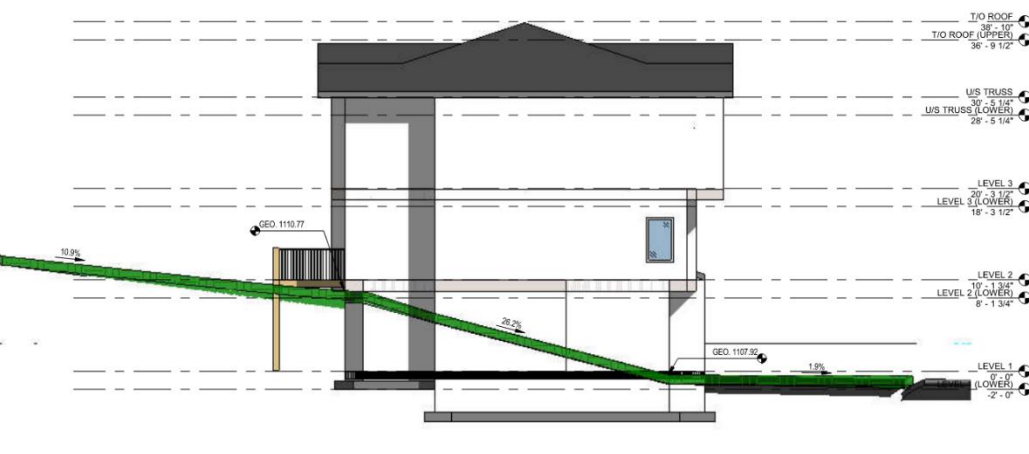
**1 BUILDING#8 - FRONT ELEVATION**  
DP.108 1:100



**2 BUILDING#8 SIDE ELEVATION**  
DP.108 1:100



**3 BUILDING#8 - REAR ELEVATION**  
DP.108 1:100



**4 BUILDING#8 - SIDE ELEVATION**  
DP.108 1:100

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DRG	2023-10-18
3	DEVELOPMENT PERMIT DRG	2024-02-29

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT  
 MUNICIPAL ADDRESS  
 1011 NAVA DR SW  
 CALGARY, ALBERTA  
 LEGAL ADDRESS  
 LOT 5, BLOCK 3, PLAN 161 2946  
 PROJECT NUMBER  
 23.22  
 PROJECT NAME  
 MEDICINE HILL BLOCK "J"  
 DRAWN  
 CHECKED  
 DATE  
 2024-02-29  
 SCALE  
 As Indicated  
 DRAWING TITLE  
**BUILDING#8**  
**GRADE ELEVATIONS**  
 DRAWING NUMBER

**DP.108**

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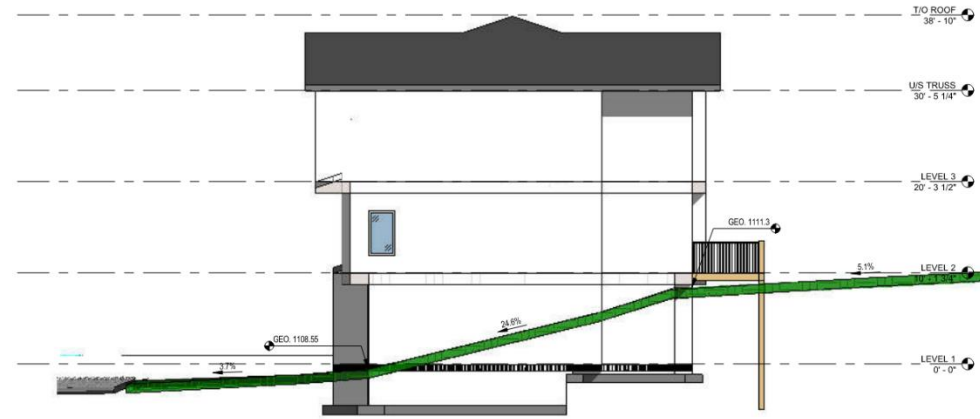
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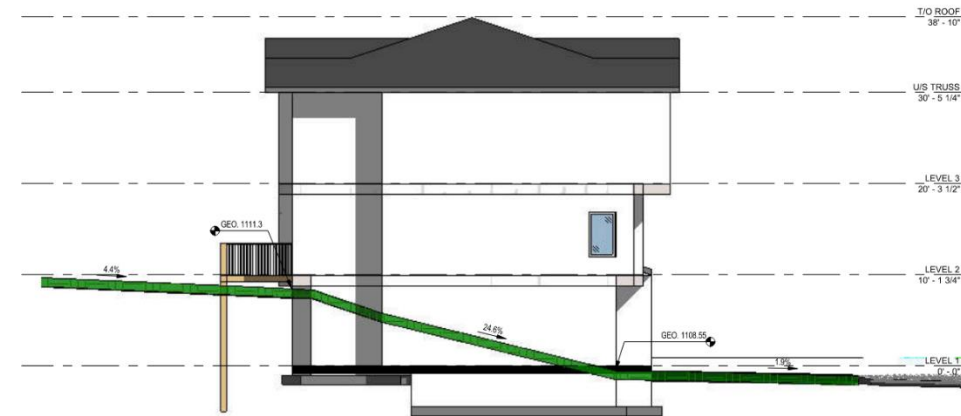
1 BUILDING#9 - FRONT ELEVATION DP.109 1:100



2 BUILDING#9 - SIDE ELEVATION DP.109 1:100



3 BUILDING#9 - REAR ELEVATION DP.109 1:100



4 BUILDING#9 - SIDE ELEVATION DP.109 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT CITY	2023-10-18
3	DEVELOPMENT PERMIT CRD	2024-02-29

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT

MUNICIPAL ADDRESS  
 1201 N/A DR SW  
 CALGARY, ALBERTA

LEGAL ADDRESS  
 LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
 23.22

PROJECT NAME  
 MEDICINE HILL BLOCK "J"

DRAWN: [ ] CHECKED: [ ]  
 KA: [ ] JB: [ ]

DATE: 2024-02-29 SCALE: As Indicated

DRAWING TITLE  
**BUILDING#9 GRADE ELEVATIONS**

DRAWING NUMBER

DP.109

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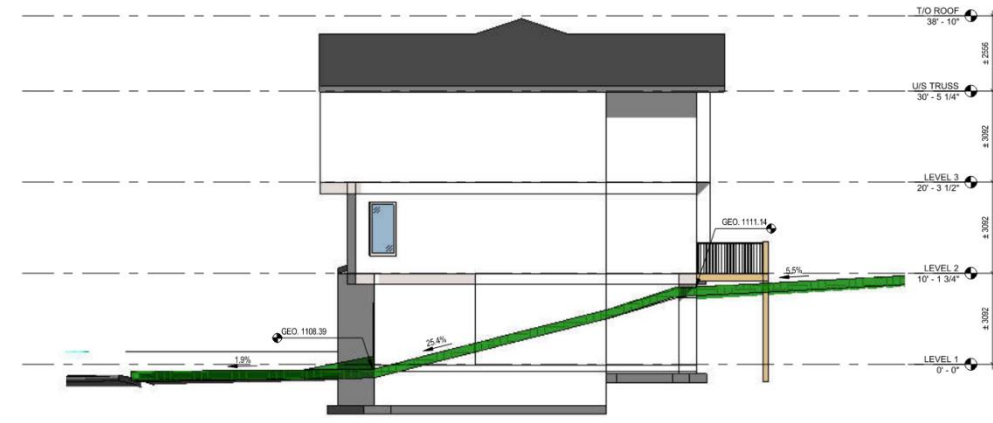
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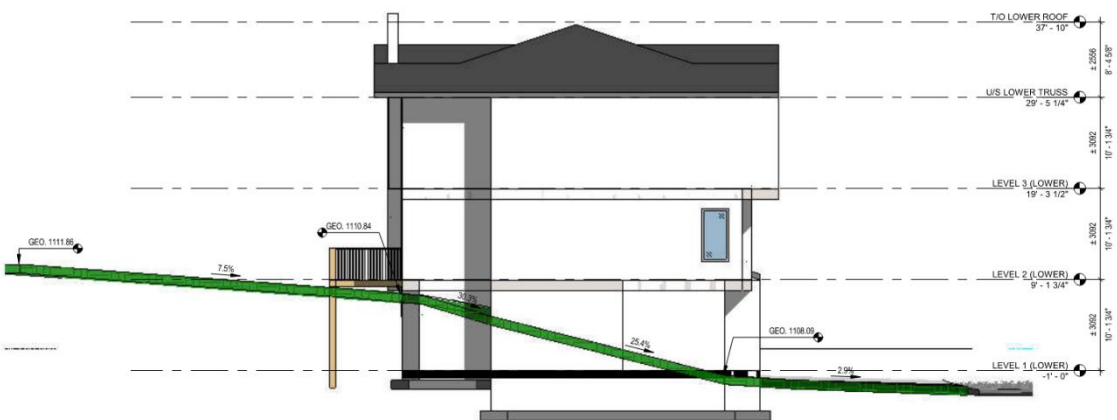
1 BUILDING#10 - FRONT ELEVATION  
DP.110 1:100



2 BUILDING#10 SIDE ELEVATION  
DP.110 1:100



3 BUILDING#10 - REAR ELEVATION  
DP.110 1:100



4 BUILDING#10 - SIDE ELEVATION  
DP.110 1:100

RELEASES

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTH	2023-10-18
3	DEVELOPMENT PERMIT DR3	2024-02-28

CONSTRUCTION

TENDER

BUILDING PERMIT

MUNICIPAL ADDRESS

131 NAVA DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS

LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER

23.22

PROJECT NAME

MEDICINE HILL BLOCK "J"

DRAWN

OR

DATE

SCALE

As Shown

DRAWING TITLE

BUILDING#10  
GRADE ELEVATIONS

DRAWING NUMBER

DP.110

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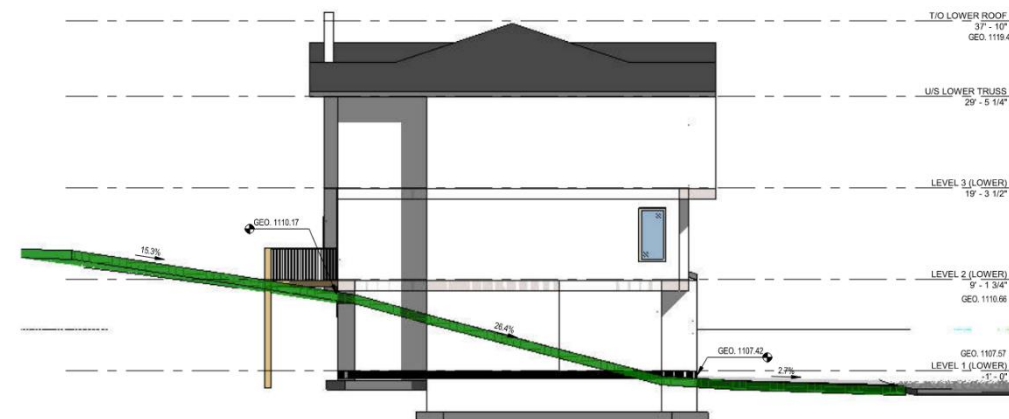
1 BUILDING#11 - FRONT ELEVATION  
DP.111 1:100



2 BUILDING#11 SIDE ELEVATION  
DP.111 1:100



3 BUILDING#11 - REAR ELEVATION  
DP.111 1:100



4 BUILDING#11 - SIDE ELEVATION  
DP.111 1:100

RELEASES

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTR	2023-10-18
3	DEVELOPMENT PERMIT CRK	2024-02-28

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1301 WATA DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN  
KIA

CHECKED  
JH

DATE  
2024-02-28

SCALE  
As Indicated

DRAWING TITLE  
BUILDING#11  
GRADE ELEVATIONS

DRAWING NUMBER

DP.111

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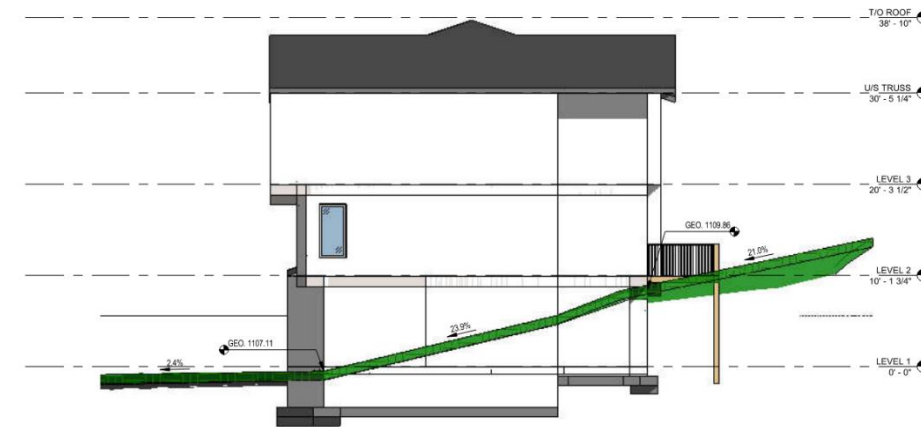
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1 BUILDING#12 - FRONT ELEVATION  
DP.112 1:100



2 BUILDING#12 - SIDE ELEVATION  
DP.112 1:100



3 BUILDING#12 - REAR ELEVATION  
DP.112 1:100



4 BUILDING#12 - SIDE ELEVATION  
DP.112 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTRH	2023-10-18
3	DEVELOPMENT PERMIT DRD	2024-02-29

<input type="checkbox"/>	CONSTRUCTION
<input type="checkbox"/>	TENDER
<input type="checkbox"/>	BUILDING PERMIT
MUNICIPAL ADDRESS	
1201 WA A DR SW CALGARY, ALBERTA	
LEGAL ADDRESS	
LOT 5, BLOCK 3, PLAN 161 2946	
PROJECT NUMBER	
23.22	
PROJECT NAME	
MEDICINE HILL BLOCK "J"	
DESIGN	CHECKED
MA	JR
DATE	SCALE
2024-02-29	As Indicated
DRAWING TITLE	
BUILDING#12 GRADE ELEVATIONS	
DRAWING NUMBER	

DP.112

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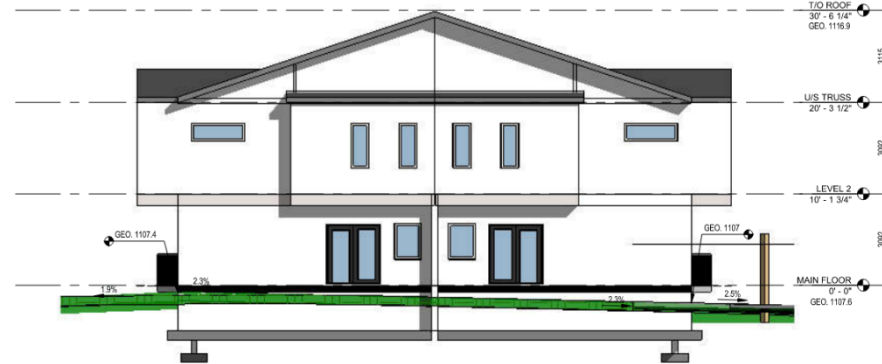
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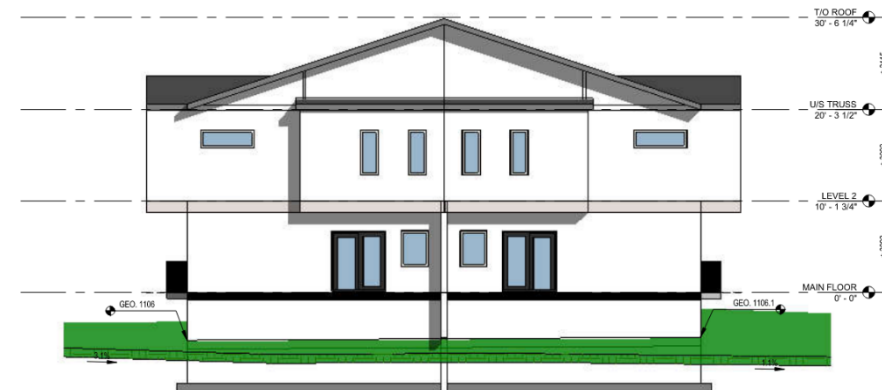
1 BUILDING#13 SIDE ELEVATION  
DP.113 1:100



2 BUILDING#13 SIDE ELEVATION  
DP.113 1:100



3 BUILDING#13 REAR ELEVATION  
DP.113 1:100



4 BUILDING#13 SIDE ELEVATION  
DP.113 1:100

RELEASES		
NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTR	2023-10-18
2	DEVELOPMENT PERMIT DTR	2024-02-20

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 NW 8 DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2846

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN  
JIA

CHECKED  
JR

DATE  
2024-02-20

SCALE  
As Indicated

DRAWING TITLE  
BUILDING#13  
GRADE ELEVATIONS

DRAWING NUMBER

**DP.113**

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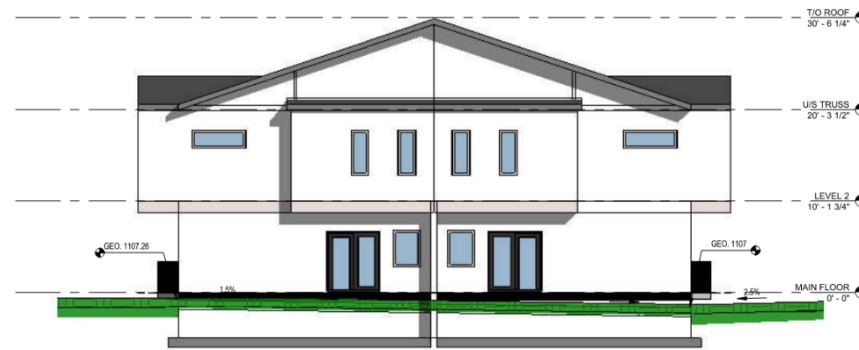
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1 BUILDING#14 SIDE ELEVATION  
DP.114 1:100



2 BUILDING#14 SIDE ELEVATION  
DP.114 1:100



3 BUILDING#14 REAR ELEVATION  
DP.114 1:100



4 BUILDING#14 SIDE ELEVATION  
DP.114 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT (DIR)	2023-10-18
2	DEVELOPMENT PERMIT (DIR)	2024-02-28

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS: 1201 NW 8 DR SW CALGARY, ALBERTA  
LEGAL ADDRESS: LOT 5, BLOCK 3, PLAN 161 2846  
PROJECT NUMBER: 23.22  
PROJECT NAME: MEDICINE HILL BLOCK "J"  
DRAWN: MIA CHECKED: JH  
DATE: 2024-02-28 SCALE: As Indicated

DRAWING TITLE: BUILDING#14 GRADE ELEVATIONS

DRAWING NUMBER:

DP.114

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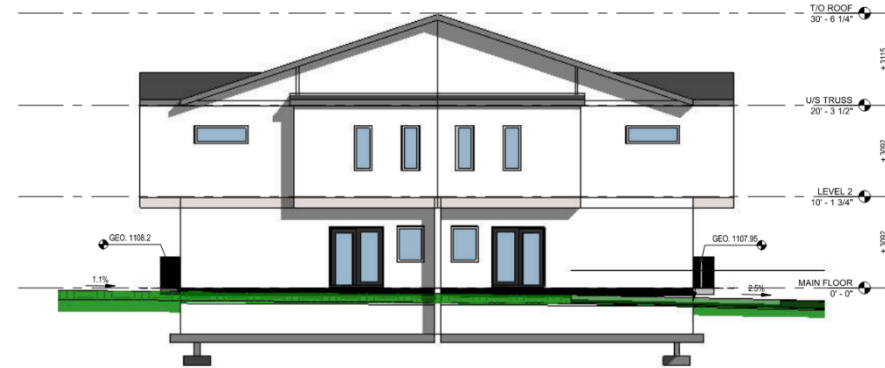
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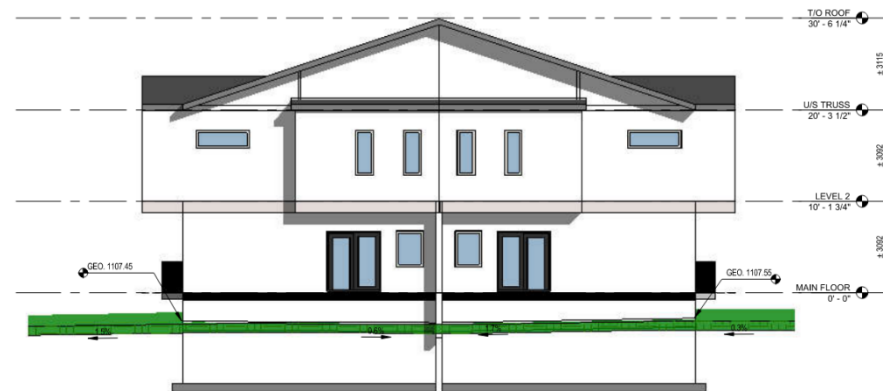
1 BUILDING#15 SIDE ELEVATION  
DP.115 1:100



2 BUILDING#15 SIDE ELEVATION  
DP.115 1:100



3 BUILDING#15 REAR ELEVATION  
DP.115 1:100



4 BUILDING#15 SIDE ELEVATION  
DP.115 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT (DR)	2023-10-18
2	DEVELOPMENT PERMIT (DR)	2024-02-28

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 NA & DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2846

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN  
KA

CHECKED  
JR

DATE  
2024-02-28

SCALE  
As Indicated

DRAWING TITLE  
BUILDING#15  
GRADE ELEVATIONS

DRAWING NUMBER  
DP.115

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1 BUILDING#16 SIDE ELEVATION  
DP.116 1:100



2 BUILDING#16 SIDE ELEVATION  
DP.116 1:100



3 BUILDING#16 REAR ELEVATION  
DP.116 1:100



4 BUILDING#16 SIDE ELEVATION  
DP.116 1:100

RELEASES		
NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTM	2023-10-18
2	DEVELOPMENT PERMIT DTM	2024-02-20
3	DEVELOPMENT PERMIT DTM	

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 MAIA DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN  
Author Checker

DATE  
2024-02-20 As Indicated

DRAWING TITLE  
BUILDING#16  
GRADE ELEVATIONS

DRAWING NUMBER

DP.116

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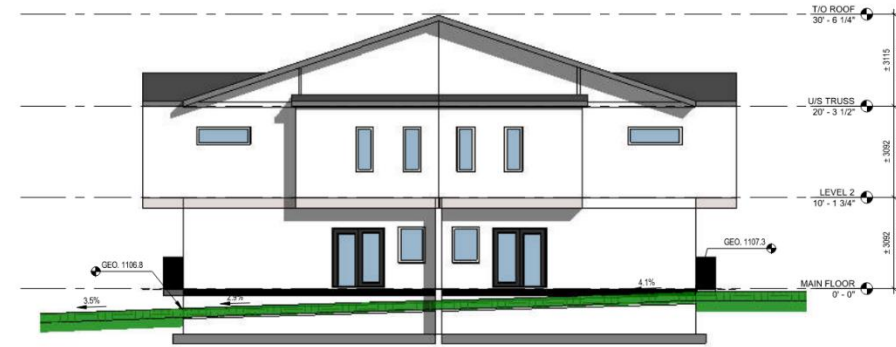
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1 BUILDING#17 SIDE ELEVATION  
DP.117 1:100



2 BUILDING#17 SIDE ELEVATION  
DP.117 1:100



3 BUILDING#17 REAR ELEVATION  
DP.117 1:100



4 BUILDING#17 SIDE ELEVATION  
DP.117 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT (DK)	2023-10-18
2	DEVELOPMENT PERMIT (DK)	2024-02-28

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

WINCOP ADDRESS  
1201 IVA A DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2846

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN CHECKED  
Author Checker

DATE SCALE  
2024-02-28 As Indicated

DRAWING TITLE  
BUILDING#17  
GRADE ELEVATIONS

DRAWING NUMBER

DP.117

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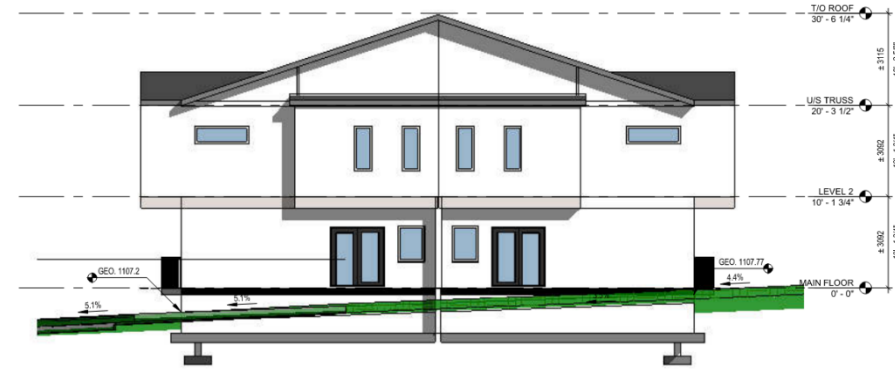
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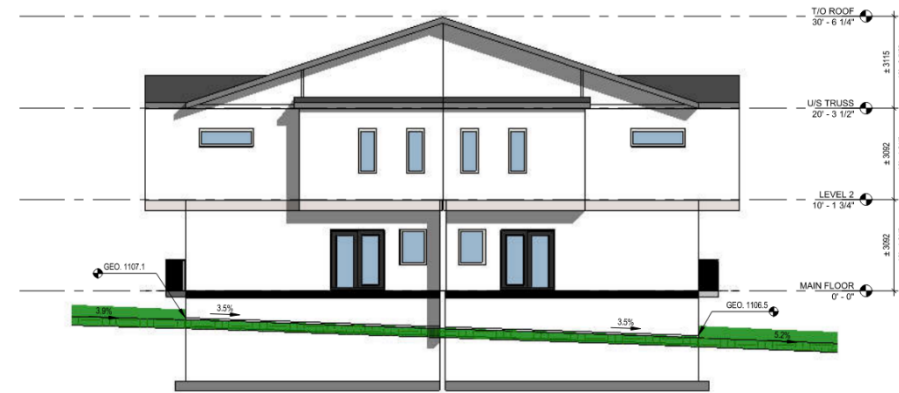
1 BUILDING#18 SIDE ELEVATION  
DP.118 1:100



2 BUILDING#18 SIDE ELEVATION  
DP.118 1:100



3 BUILDING#18 REAR ELEVATION  
DP.118 1:100



4 BUILDING#18 SIDE ELEVATION  
DP.118 1:100

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT D381	2023-10-18
2	DEVELOPMENT PERMIT D381	2024-02-20

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 NA & DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 1, PLAN 161 2944

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN CHECKED  
Author Checker

DATE SCALE  
2024-02-20 As Issued

DRAWING TITLE  
BUILDING#18  
GRADE ELEVATIONS

DRAWING NUMBER

DP.118

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FORMED ALLIANCE ARCHITECTURE STUDIO

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 - REFER TO RENDERING SHEET FOR EXTERIOR CLADDING MATERIALS DESIGNATION  
 - TO BE READ IN CONJUNCTION WITH CIVIL, LANDSCAPE AND SURVEY DRAWINGS  
 - FOUNDATION WALL, FOOTING & POSTS SHOWN BELOW GRADE ARE FOR REFERENCE ONLY & SUBJECT TO STRUCTURAL & GEOTECHNICAL REFINEMENTS



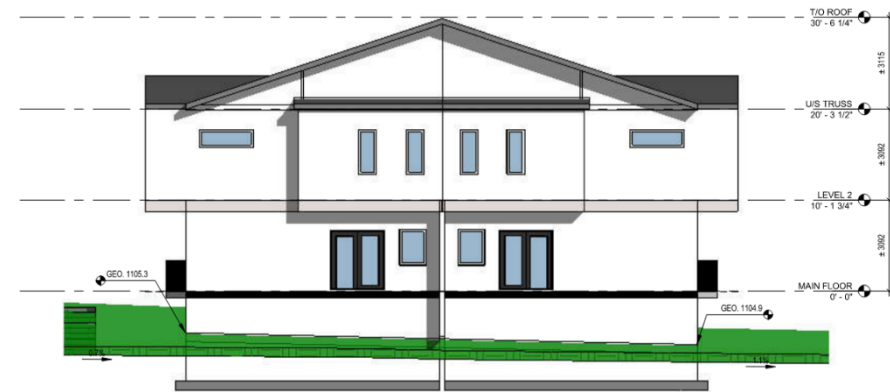
1 BUILDING#19 SIDE ELEVATION  
DP.119 1:100



2 BUILDING#19 SIDE ELEVATION  
DP.119 1:100



3 BUILDING#19 REAR ELEVATION  
DP.119 1:100



4 BUILDING#19 SIDE ELEVATION  
DP.119 1:100

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTD	2023-10-18
3	DEVELOPMENT PERMIT DRG	2024-02-29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 NAVA DR SW  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 161 2946

PROJECT NUMBER  
23.22

PROJECT NAME  
MEDICINE HILL BLOCK "J"

DRAWN CHECKED  
Author Checker

DATE SCALE  
2024-02-29 As Indicated

DRAWING TITLE  
BUILDING#19  
GRADE ELEVATIONS

DRAWING NUMBER

**DP.119**

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FORMED ALLIANCE ARCHITECTURE STUDIO

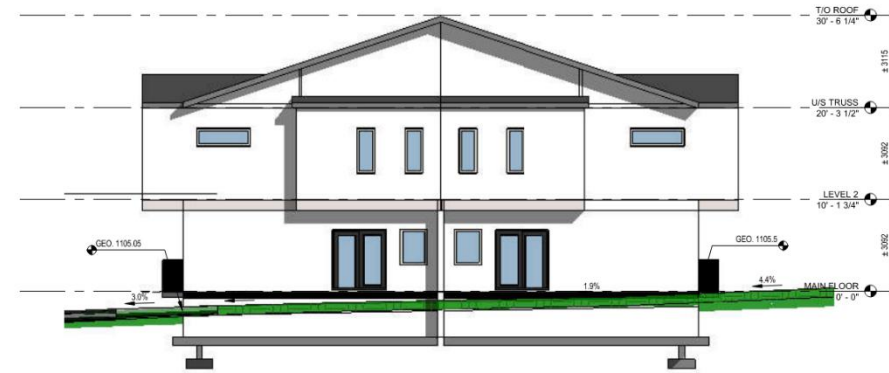
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- REFER TO RENDERING SHEET FOR EXTERIOR CLADDING MATERIALS DESIGNATION
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- FOUNDATION WALL, FOOTING & POSTS SHOWN BELOW GRADE ARE FOR REFERENCE ONLY & SUBJECT TO STRUCTURAL & GEOTECHNICAL REFINEMENTS.



1 BUILDING#20 SIDE ELEVATION  
DP.120 1:100



2 BUILDING#20 SIDE ELEVATION  
DP.120 1:100



3 BUILDING#20 REAR ELEVATION  
DP.120 1:100



4 BUILDING#20 SIDE ELEVATION  
DP.120 1:100

NO.	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT DTR	2023-10-18
3	DEVELOPMENT PERMIT DR3	2024-02-29

CONSTRUCTION  
 TENDER  
 BUILDING PERMIT  
 MUNICIPAL ADDRESS  
 1201 NA A DR SW  
 CALGARY, ALBERTA  
 LEGAL ADDRESS  
 LOT 8, BLOCK 3, PLAN 181 2946  
 PROJECT NUMBER  
 23.22  
 PROJECT NAME  
 MEDICINE HILL BLOCK "J"

DRAWN: [blank] CHECKED: [blank]  
 AIA: [blank] JB  
 DATE: 2024-02-29 SCALE: As Indicated  
 DRAWING TITLE  
**BUILDING#20 GRADE ELEVATIONS**

DRAWING NUMBER

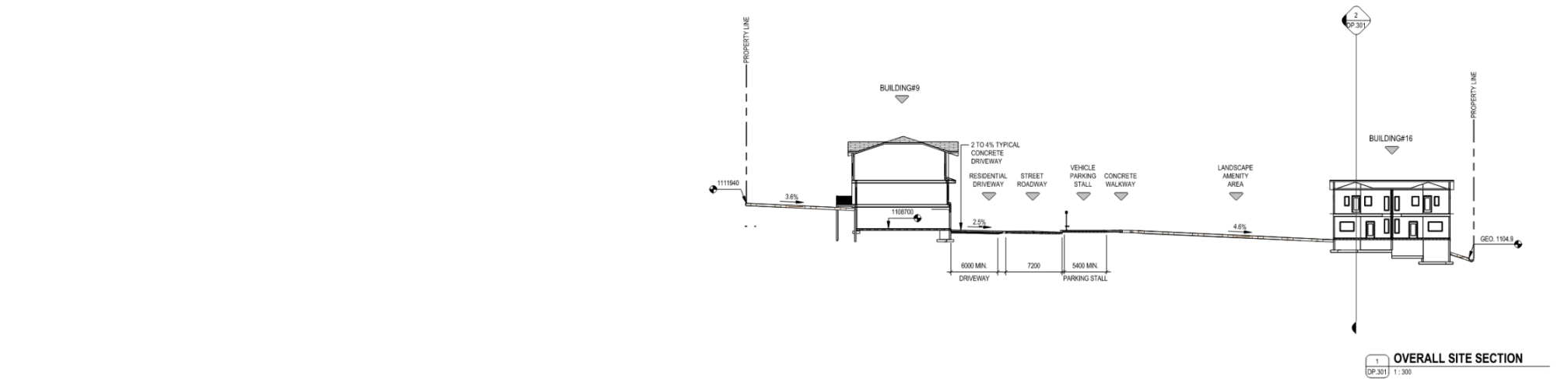
**DP.120**

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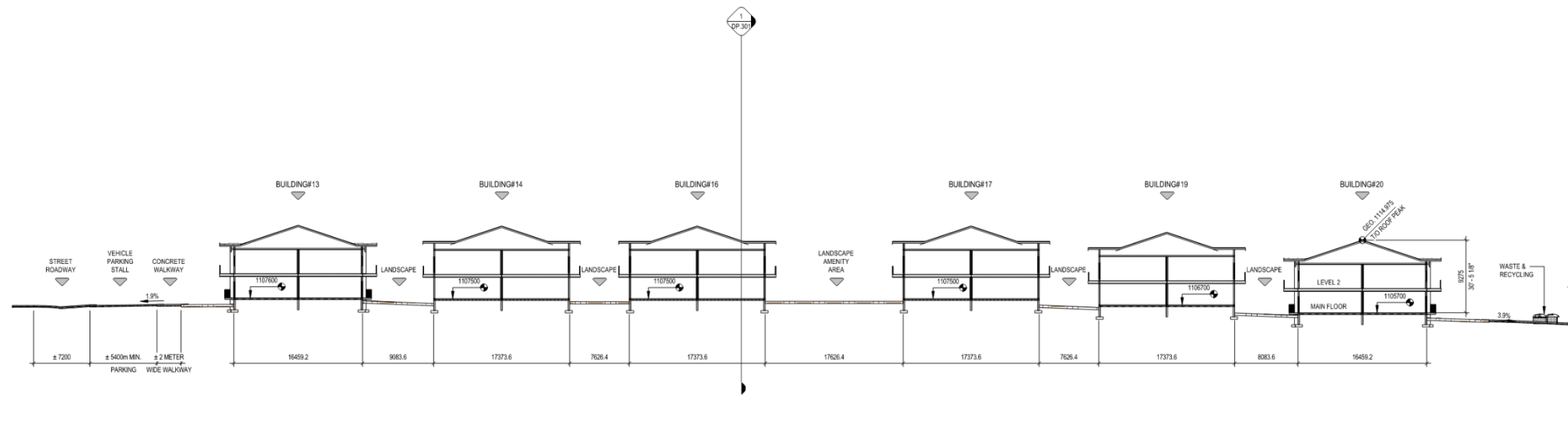


FORMED ALLIANCE ARCHITECTURE STUDIO

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



1 OVERALL SITE SECTION  
DP.301 1:300



2 OVERALL SITE SECTION  
DP.301 1:300

RELEASES

NO	DESCRIPTION	DATE
1	DEVELOPMENT PERMIT (DTR)	2023-10-18
3	DEVELOPMENT PERMIT (DR)	2024-02-29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

MUNICIPAL ADDRESS  
1201 WALKER DR  
CALGARY, ALBERTA

LEGAL ADDRESS  
LOT 5, BLOCK 3, PLAN 101 2046

PROJECT NUMBER  
23.22

DRAWN  
Author

CHECKED  
Checker

DATE  
2024-02-29

SCALE  
1:300

DRAWING TITLE  
**OVERALL SITE SECTION**

DRAWING NUMBER

**DP.301**

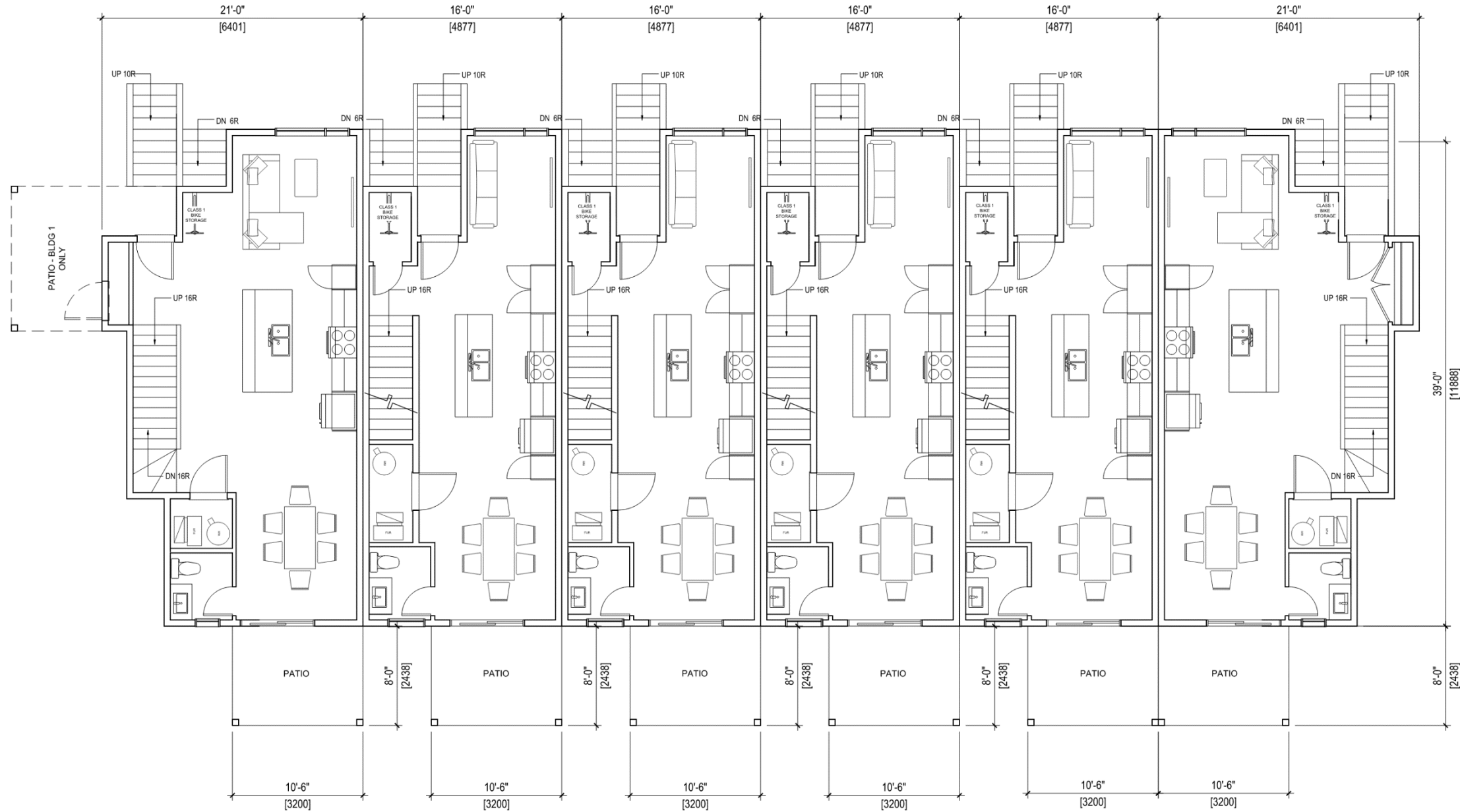
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FORMED ALLIANCE ARCHITECTURE STUDIO



1 BLDG TYPE 1 - FIRST FLOOR PLAN (BLDG 1-4)  
DP.202 1/4" = 1'-0"

RELEASES

NO.	DESCRIPTION	DATE
1	FOR SUBMISSION	2/23/2024
2	FOR SUBMISSION	2/28/2024

Medicine Hill Block J

NO. 1019  
 1201 MAIN ST SW  
 SUITE 1019  
 L.S. B.S. P. 8/1/2024  
 23.22  
 DATE  
 2024/03/05  
 AS NOTED  
 BLDG TYPE 1  
 FIRST FLOOR PLAN  
 (BLDG 1-4)

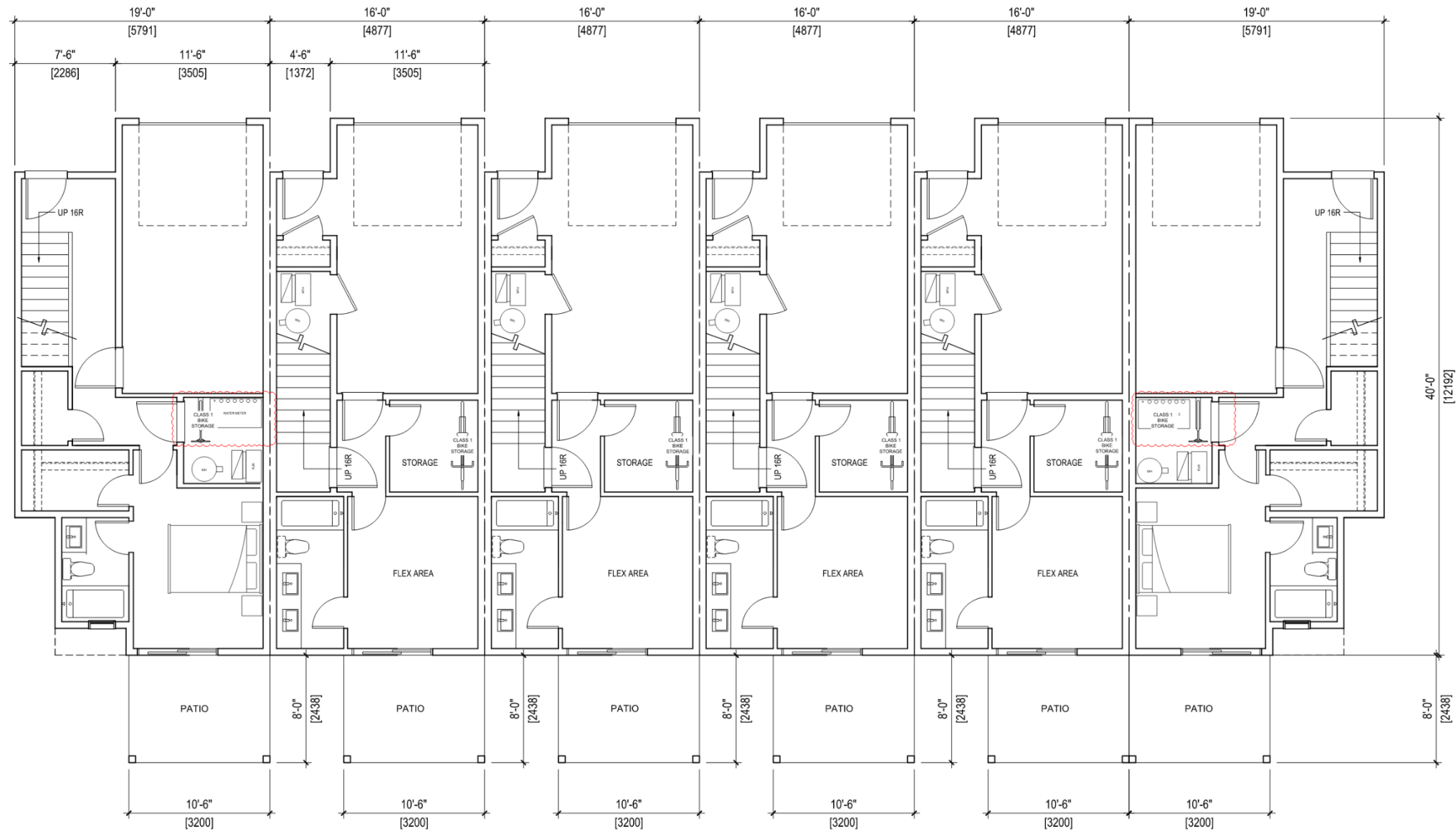
DP.202

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FORMED ALLIANCE ARCHITECTURE STUDIO



1 BLDG TYPE 2 - MAIN FLOOR PLAN (BLDG 5-12)  
DP.204 1/4" = 1'-0"

RELEASES

NO.	DESCRIPTION	DATE
1	FOR SUBMISSION	2024.02.05
2	FOR SUBMISSION	
3	FOR SUBMISSION	
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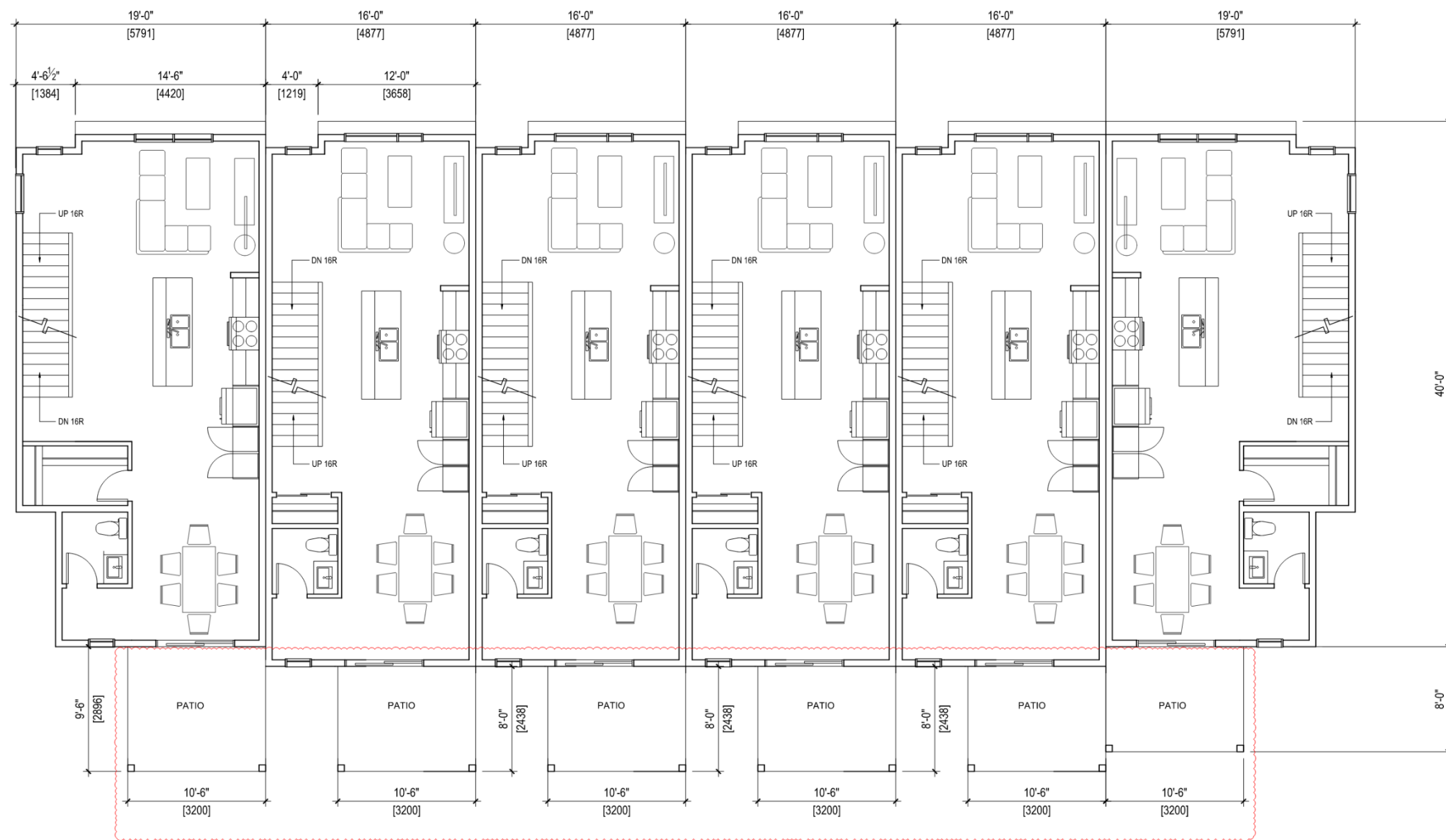
Medicine Hill Block J  
 PROJECT NO: 23.22  
 DATE: 2024.02.05  
 DRAWN BY: JG, JA  
 CHECKED BY: AS NOTED  
 PROJECT: BLDG TYPE 2  
 MAIN FLOOR PLAN  
 (BLDG 5-12)

DP.204

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FORMED ALLIANCE ARCHITECTURE STUDIO



1 BLDG TYPE 2 - SECOND FLOOR PLAN (BLDG 5-12)  
DP 205 1/4" = 1'-0"

RELEASES		
NO.	DESCRIPTION	DATE
1	ON SUBMITTAL	2024.08.01
2	ON SUBMITTAL	2024.08.01
3	ON SUBMITTAL	2024.08.01

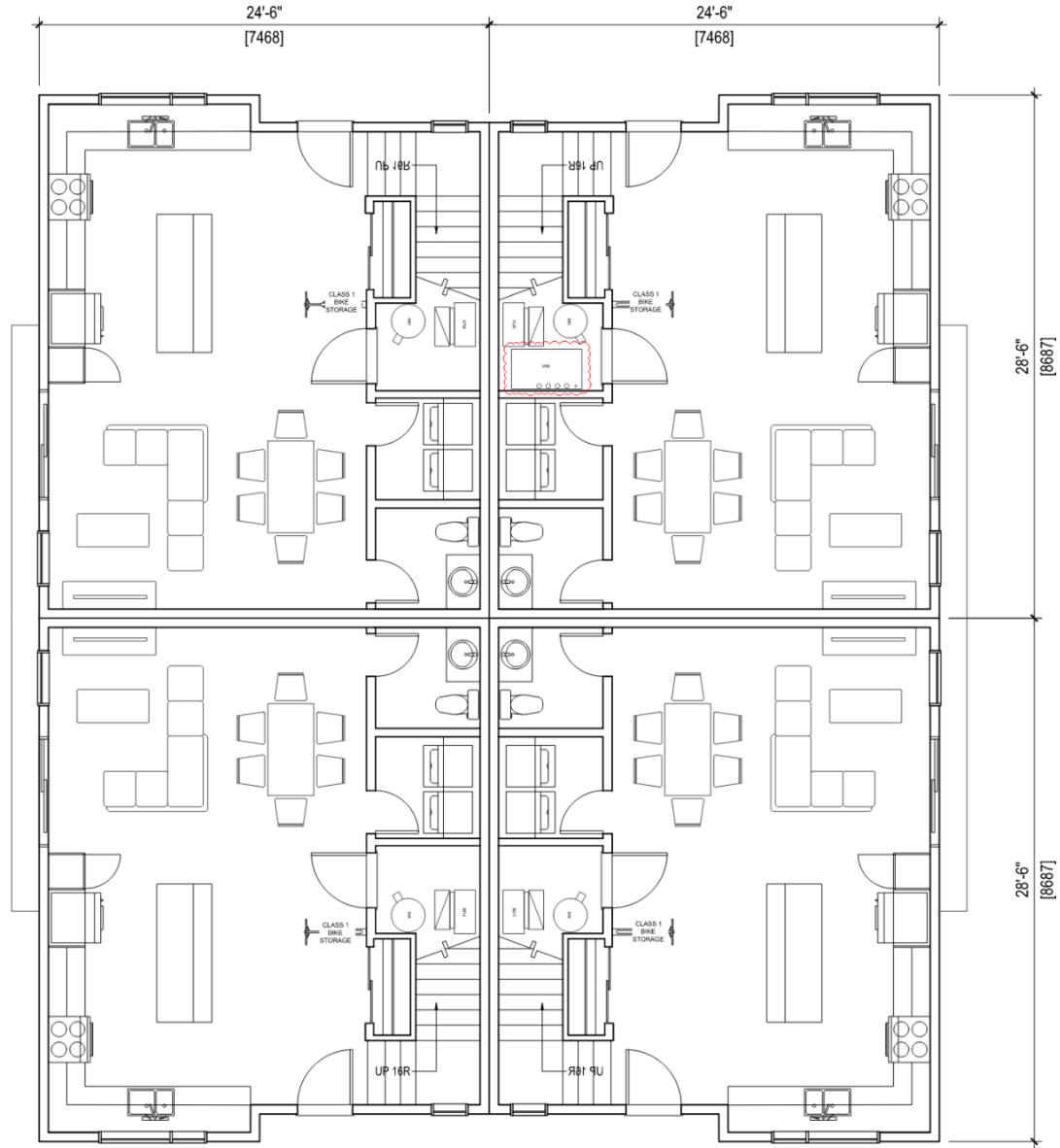
Medicine Hill Block J

1025 MAIN ST SW		
DATE:	ISSUED:	REVISED:
23.22		
DRN:		
MR. AD:		

DP.205

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1 BLDG TYPE 3 - FIRST FLOOR PLAN (BLDG 13-20)  
DP.207 1/4" = 1'-0"

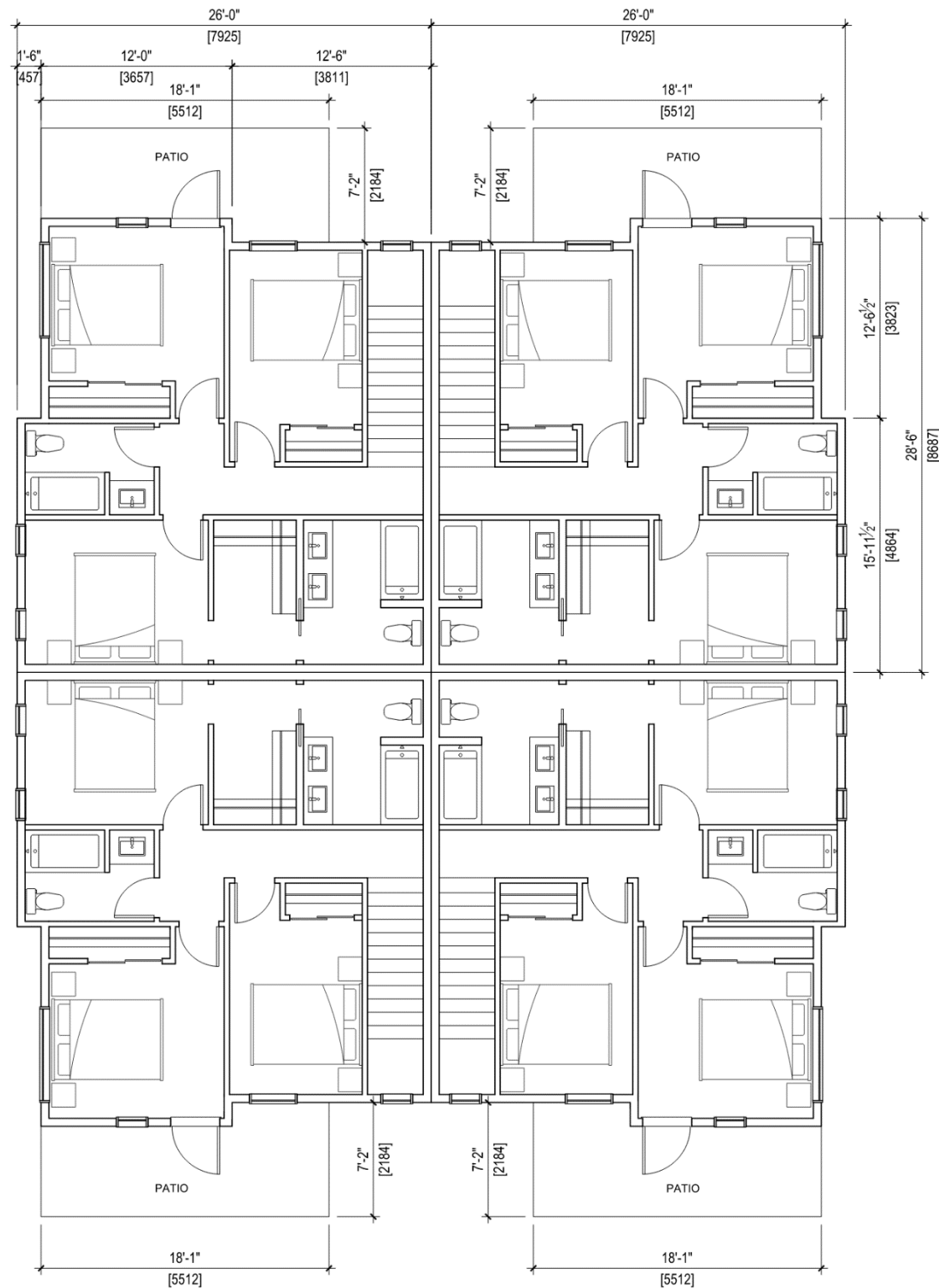
RELEASES	
NO.	DESCRIPTION
1	FOR SUBMISSION
2	FOR SUBMISSION
3	FOR SUBMISSION
4	FOR SUBMISSION
5	FOR SUBMISSION
6	FOR SUBMISSION
7	FOR SUBMISSION
8	FOR SUBMISSION
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16	FOR SUBMISSION
17	FOR SUBMISSION
18	FOR SUBMISSION
19	FOR SUBMISSION
20	FOR SUBMISSION
21	FOR SUBMISSION
22	FOR SUBMISSION

**Medicine Hill Block J**

DATE REVISION: B-3 P-18/2024  
23.22

**DP.207**

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1 BLDG TYPE 3 - SECOND FLOOR PLAN (BLDG 13-20)  
 DP.208 1/4" = 1'-0"

FORMED ALLIANCE ARCHITECTURE STUDIO

RELEASES		
NO.	DESCRIPTION	DATE
1	DP SUBMISSION	02/11/2025
2	DP SUBMISSION	02/25/2025

PROJECT NAME: **Medicine Hill Block J**

PROJECT ADDRESS: **1375 MAIN DR SW**

LOCAL ADDRESS: **L 5 B 3 P 1812048**

PROJECT NO.: **23.22**

DATE: **MAY 14 2024**

SCALE: **AS NOTED**

DRAWING TITLE: **BLDG TYPE 3  
SECOND FLOOR PLAN  
BLDG (13-20)**

DP.208

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FORREB ALLIANCE ARCHITECTURE STUDIO



1 BLDG TYPE 1 - FRONT ELEVATION (BLDG 1-4)  
DP.400 3/16" = 1'-0"

**MATERIAL PALETTE**

**HARDIE PLANK LAP SIDING**

1 HARDIE PLANK SMOOTH - COLOR: ARCTIC WHITE

2 HARDIE PLANK SMOOTH - COLOR: IRON GRAY

**HARDIE SHINGLE SIDING**

3 HARDIE STRAIGHT SHINGLE - COLOR: BOOTHBAY BLUE

**BRICK**

4 BRICK MASONRY - COLOR - LIGHT GRAY, STEELE CITY



2 BLDG TYPE 1 - REAR ELEVATION (BLDG 1-4)  
DP.400 3/16" = 1'-0"

**RELEASES**

NO.	DESCRIPTION	DATE
1	FOR SUBMISSION	10/23/2024
2	FOR SUBMISSION	
3	FOR SUBMISSION	
4	FOR SUBMISSION	
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49	FOR SUBMISSION	
50	FOR SUBMISSION	

Medicine Hill Block J

PROJECT ADDRESS  
10715 N 44th St

PROJECT NUMBER  
1.1 0.3 PROJECT

DATE  
23.22

DATE  
MR. AD JS. JA

DATE  
2024/03/05 AS NOTED

PROJECT TITLE  
BLDG TYPE 1 MATERIAL ELEVATIONS (BLDG 1-4)

**DP.400**

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FORMED ALLIANCE ARCHITECTURE STUDIO

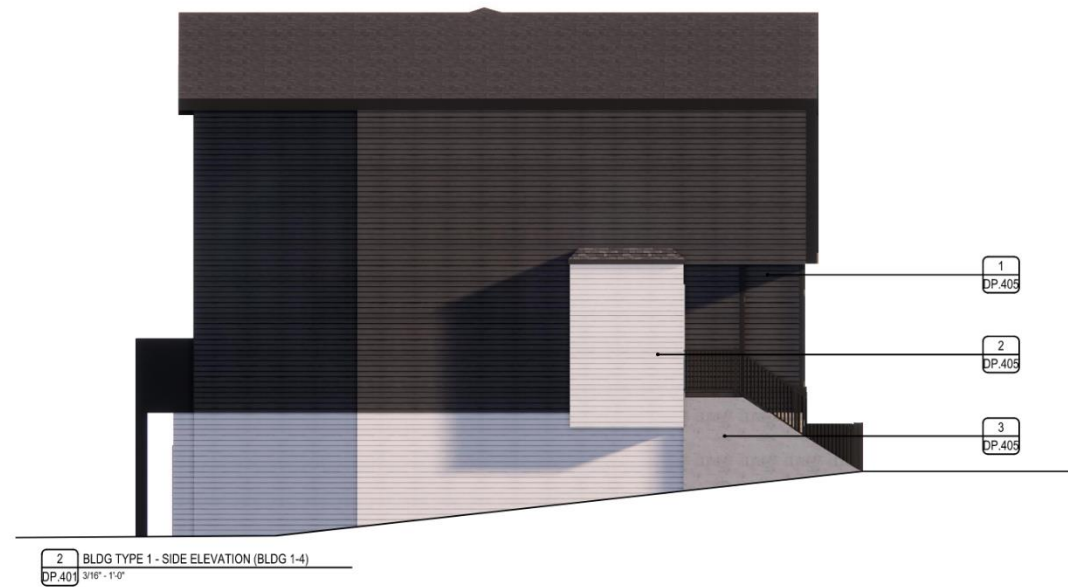
MATERIAL PALETTE

HARDIE PLANK LAP SIDING

- 1 HARDIE PLANK SMOOTH - COLOR: IRON GRAY
- 2 HARDIE PLANK SMOOTH - COLOR: ARCTIC WHITE

CONCRETE

- 3 CAST IN PLACE CONCRETE



RELEASES

NO.	DESCRIPTION	DATE
1	DP SUBMISSION	06/18/2024
2	DP SUBMISSION	06/18/2024
3	DP SUBMISSION	06/18/2024

Medicine Hill Block J

1201 PARK DRIVE

L.S. B.J. P.FISCHER

23.22

MLAD JL JA

ALL NOTED

BLDG TYPE 1  
MATERIAL ELEVATIONS  
(BLDG 1-4)

DP.401

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FAAS

FORMED ALLIANCE ARCHITECTURE STUDIO

MATERIAL PALETTE

HARDIE PLANK LAP SIDING

- 1 HARDIE PLANK SMOOTH - COLOR: MIDNIGHT BLACK
- 2 HARDIE PLANK SMOOTH - COLOR: ARCTIC WHITE

HARDIE SHINGLE SIDING

- 3 HARDIE STRAIGHT SHINGLE - COLOR: NATURAL SHINGLE

BRICK

- 4 BRICK MASONRY - COLOR - LIGHT GRAY, STEELE CITY



RELEASES

NO.	DESCRIPTION	DATE
1	ON SUBMISSION	02/23/22
2	ON SUBMISSION	02/23/22

PROJECT NAME

Medicine Hill Block J

PROJECT ADDRESS

1234 MAIN ST SW

CITY ADDRESS

U.S. S.I. PROJECT

PROJECT NO.

23.22

DATE

08.24

SCALE

AS NOTED

DATE

AS NOTED

PROJECT NO.

BLDG TYPE 2

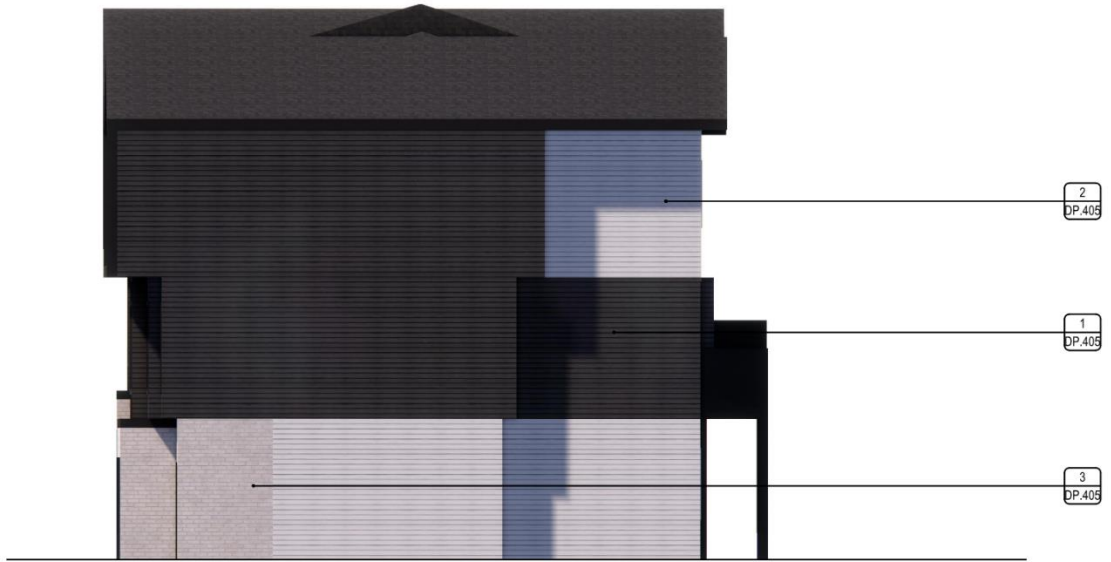
MATERIAL ELEVATIONS

(BLDG 5-12)

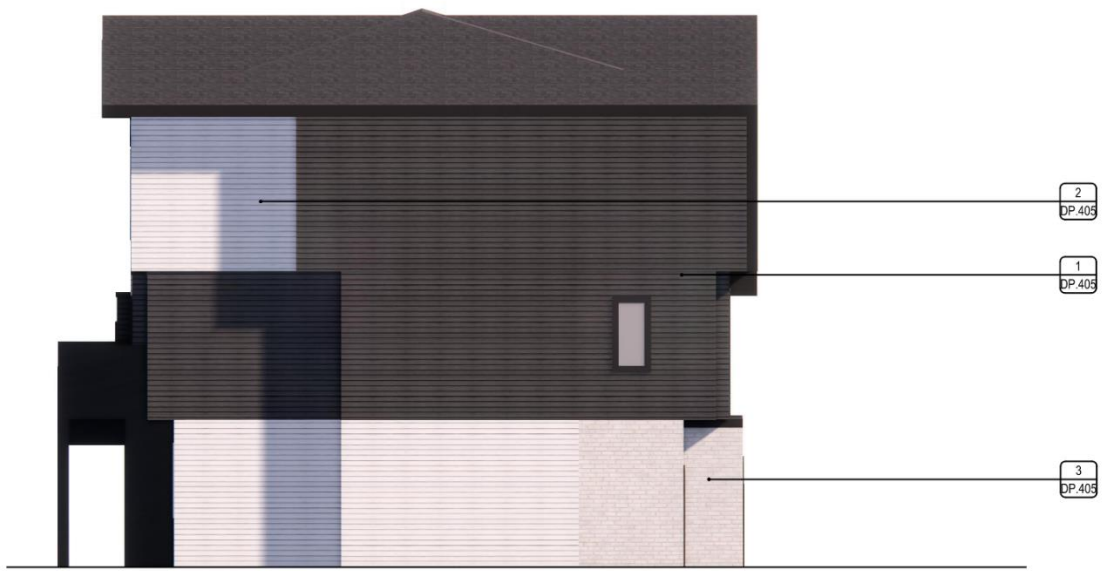
PROJECT NO.

**DP.402**

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1 BLDG TYPE 2 - SIDE ELEVATION (BLDG 5-12)  
DP.403 3/16" - 1/8"



2 BLDG TYPE 2 - SIDE ELEVATION (BLDG 5-12)  
DP.403 1/4" - 1/8"

**MATERIAL PALETTE**

**HARDIE PLANK LAP SIDING**

- 1 HARDIE PLANK SMOOTH - COLOR: MIDNIGHT BLACK
- 2 HARDIE PLANK SMOOTH - COLOR: ARCTIC WHITE

**BRICK**

- 3 BRICK MASONARY ; COLOUR - IRONSTONE

**RELEASES**

NO.	DESCRIPTION	DATE
1	DR. SUBMISSION	10/10/2024
2	DR. SUBMISSION	11/20/2024

**Medicine Hill Block J**

1001 NAVA DR SW  
L10 S3 P182384  
23.22  
M/L AD J.L. JA  
DESIGNED AS NOTED

BLDG TYPE 2  
MATERIAL ELEVATIONS  
(BLDG 5-12)

**DP.403**

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FORMED ALLIANCE ARCHITECTURE STUDIO



1 BLDG TYPE 3 - FRONT ELEVATION (BLDG 13-20)  
DP.404 1/4" = 1'-0"

MATERIAL PALETTE

HARDIE PLANK LAP SIDING

1 HARDIE PLANK SMOOTH - COLOR: MIDNIGHT BLACK

2 HARDIE PLANK SMOOTH - COLOR: ARCTIC WHITE

3 HARDIE PLANK SMOOTH - COLOR: MOUNTAIN SAGE

HARDIE SHINGLE SIDING

4 HARDIE STRAIGHT SHINGLE - COLOR: MOUNTAIN SAGE

BRICK

5 BRICK MASONARY ; COLOR - LIGHT GRAY, STEELE CITY



2 BLDG TYPE 3 - SIDE ELEVATION (BLDG 13-20)  
DP.404 1/4" = 1'-0"

RELEASES

NO.	DESCRIPTION	DATE
1	DR SUBMISSION	10/21/2024
2	DR SUBMISSION	10/21/2024
3	DR SUBMISSION	10/21/2024

Medicine Hill Block J

1501 NAVA DR SW  
L.S. B.3 P.101086

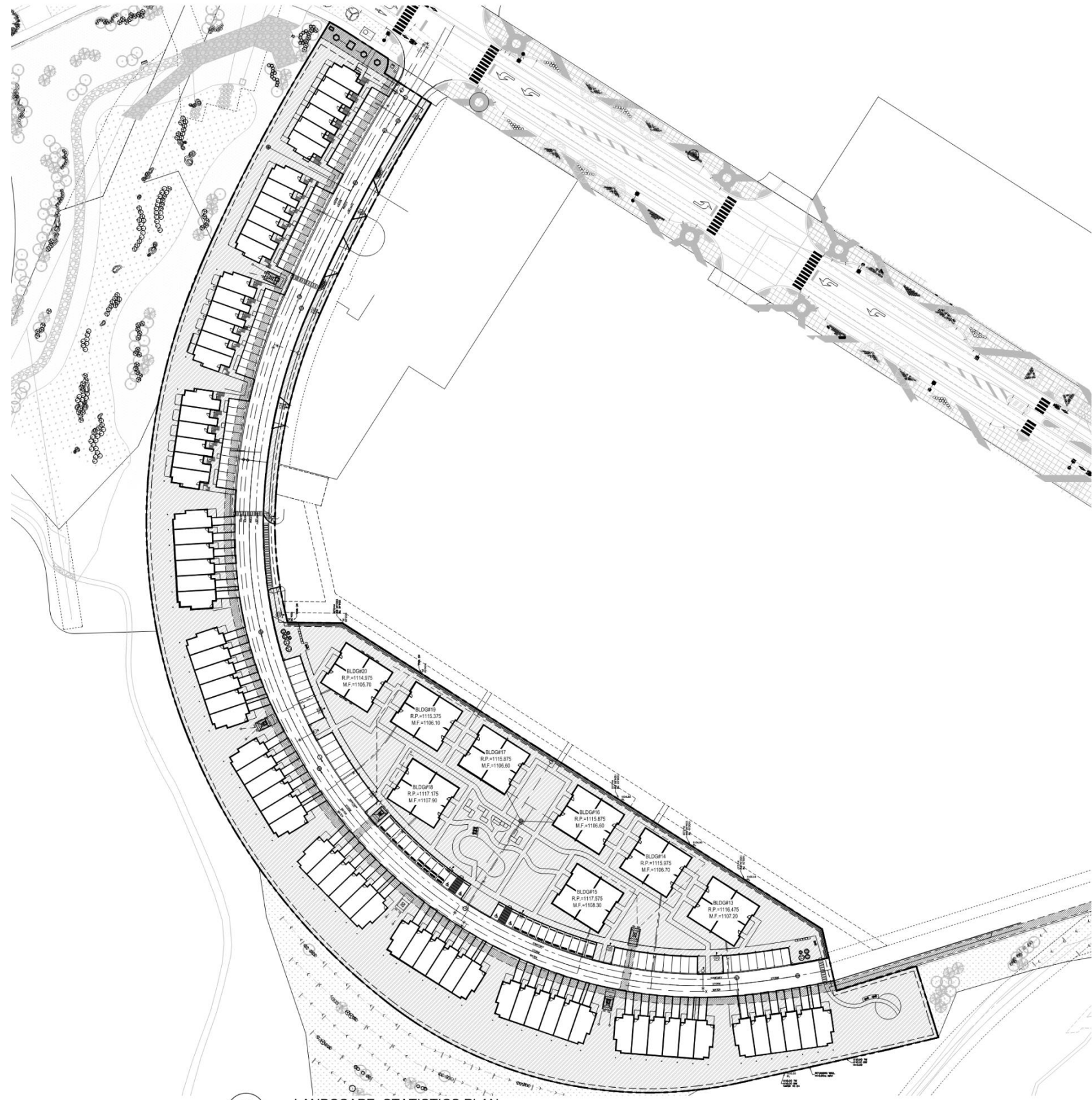
23.22

BLDG TYPE 3  
MATERIAL ELEVATIONS  
(BLDG 13-20)

**DP.404**

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01 LANDSCAPE STATISTICS PLAN  
L.O.0 1:600

**TREE CALCULATIONS & LANDSCAPE REQUIREMENTS:**

**LANDSCAPE AREA CALCULATION:**

ZONING:	
TOTAL SITE AREA	25,700.46 m <sup>2</sup>
TOTAL LANDSCAPING AREA	13,591.78 m <sup>2</sup>
PERCENTAGE OF LANDSCAPE AREA	53.88%

**TREE CALCULATION:**

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 45 m<sup>2</sup> OF TOTAL LANDSCAPED AREA

$$\frac{13591.78 \text{ sq. m}}{45} = 303 \text{ TREES}$$

DECIDUOUS TREES	REQUIRED	PROVIDED
LARGE - 75mm CAL.(50%)	114	157
SMALL - 50mm CAL.(50%)	114	70
TOTAL	228	227

CONIFEROUS TREES	REQUIRED	PROVIDED
LARGE - 3.0M Ht.(50%)	38	47
SMALL - 2.0M Ht.(50%)	38	51
TOTAL	76	98

PERCENTAGE OF CONIFEROUS TREES PROVIDED: 30.1%

TOTAL NUMBER OF SHRUBS REQUIRED: 606  
TOTAL NUMBER OF SHRUBS PROVIDED: 694

LANDSCAPE AREA



1, 442 - 12 Street N.W.  
Calgary, AB T2N 1Y8  
T +1.403.454.8115

seal

NOT FOR CONSTRUCTION

consultants

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The contractor shall verify all levels, datums, and dimensions prior to commencement of work. All errors and omissions must be reported to the Landscape Architects immediately.  
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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 NA'A DRIVE SW  
CALGARY, ALBERTA

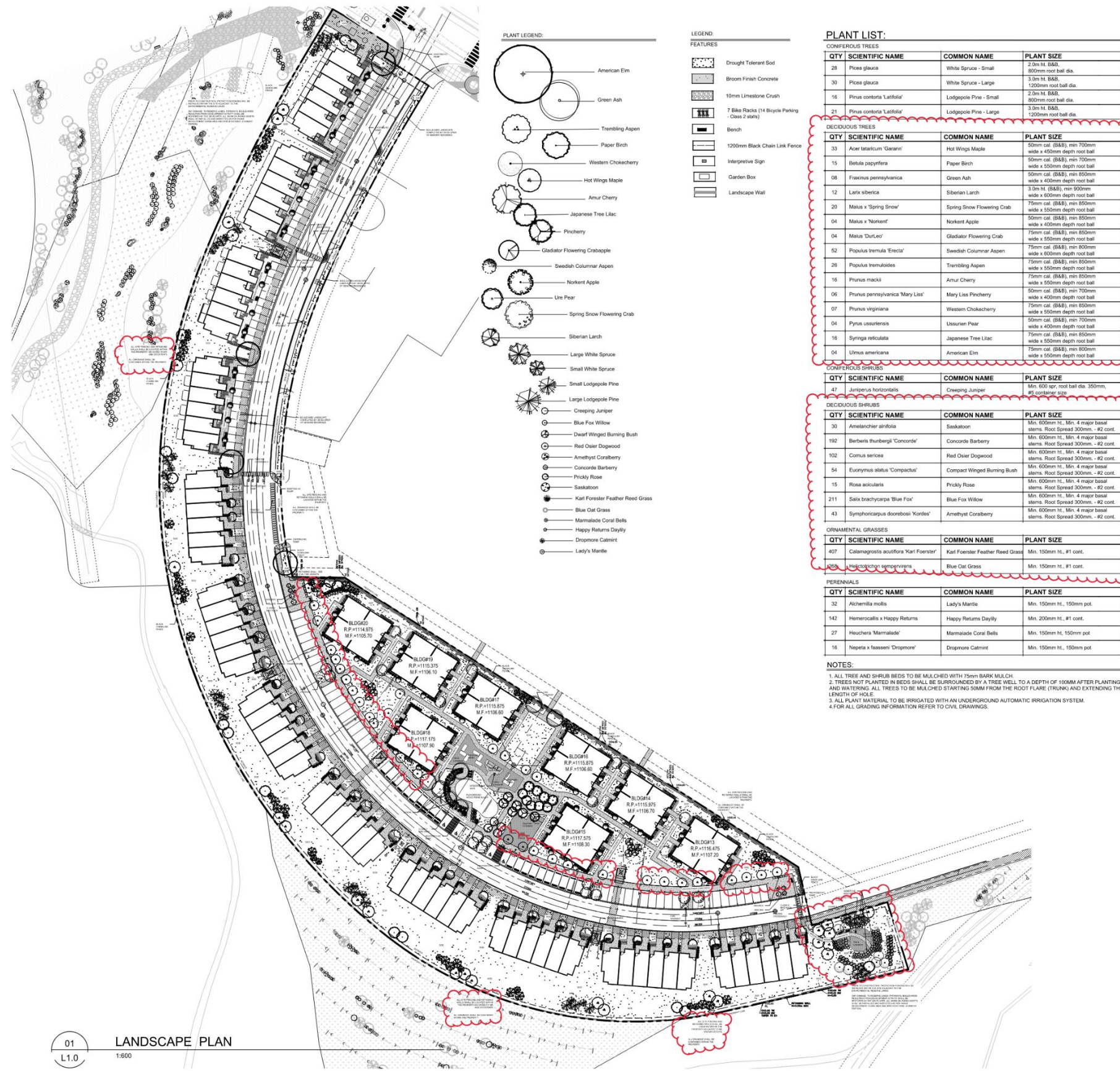
LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title

LANDSCAPE  
STATISTICS PLAN

scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

re-issue no: 3 sheet no: L.O.0



- PLANT LIST:**
- CONFEROUS TREES**
- | QTY | SCIENTIFIC NAME                   | COMMON NAME            | PLANT SIZE                          |
|-----|-----------------------------------|------------------------|-------------------------------------|
| 28  | <i>Picea glauca</i>               | White Spruce - Small   | 2.5m Ht. B&B, 800mm root ball dia.  |
| 30  | <i>Picea glauca</i>               | White Spruce - Large   | 3.5m Ht. B&B, 1200mm root ball dia. |
| 16  | <i>Pinus contorta 'Latifolia'</i> | Lodgepole Pine - Small | 2.5m Ht. B&B, 800mm root ball dia.  |
| 21  | <i>Pinus contorta 'Latifolia'</i> | Lodgepole Pine - Large | 3.5m Ht. B&B, 1200mm root ball dia. |
- DECIDUOUS TREES**
- | QTY | SCIENTIFIC NAME                         | COMMON NAME                | PLANT SIZE                                              |
|-----|-----------------------------------------|----------------------------|---------------------------------------------------------|
| 33  | <i>Acer latericum 'Garani'</i>          | Hot Wings Maple            | 50mm cal. (B&B), min 700mm wide x 400mm depth root ball |
| 15  | <i>Betula papyrifera</i>                | Paper Birch                | 50mm cal. (B&B), min 700mm wide x 500mm depth root ball |
| 08  | <i>Fraxinus pennsylvanica</i>           | Green Ash                  | 75mm cal. (B&B), min 800mm wide x 400mm depth root ball |
| 12  | <i>Larix sibirica</i>                   | Siberian Larch             | 3.5m Ht. (B&B), min 900mm wide x 400mm depth root ball  |
| 20  | <i>Malus x 'Spring Snow'</i>            | Spring Snow Flowering Crab | 75mm cal. (B&B), min 850mm wide x 500mm depth root ball |
| 04  | <i>Malus x 'Norkent'</i>                | Norkent Apple              | 50mm cal. (B&B), min 850mm wide x 400mm depth root ball |
| 04  | <i>Meiwa 'DurtLeo'</i>                  | Gladator Flowering Crab    | 75mm cal. (B&B), min 850mm wide x 500mm depth root ball |
| 52  | <i>Populus tremula 'Erecta'</i>         | Seedling Columnar Aspen    | 75mm cal. (B&B), min 800mm wide x 600mm depth root ball |
| 26  | <i>Populus tremuloides</i>              | Trembling Aspen            | 75mm cal. (B&B), min 850mm wide x 500mm depth root ball |
| 16  | <i>Prunus mackii</i>                    | Amur Cherry                | 50mm cal. (B&B), min 850mm wide x 500mm depth root ball |
| 06  | <i>Prunus pennsylvanica 'Mary List'</i> | Mary List Pincherry        | 50mm cal. (B&B), min 700mm wide x 400mm depth root ball |
| 07  | <i>Prunus virginiana</i>                | Western Chokecherry        | 75mm cal. (B&B), min 850mm wide x 500mm depth root ball |
| 04  | <i>Pyrus ussuriensis</i>                | Ussurian Pear              | 50mm cal. (B&B), min 700mm wide x 400mm depth root ball |
| 16  | <i>Syringa reticulata</i>               | Japanese Tree Lilac        | 75mm cal. (B&B), min 850mm wide x 500mm depth root ball |
| 04  | <i>Ulmus americana</i>                  | American Elm               | 75mm cal. (B&B), min 850mm wide x 500mm depth root ball |
- CONFEROUS SHRUBS**
- | QTY | SCIENTIFIC NAME               | COMMON NAME       | PLANT SIZE                                            |
|-----|-------------------------------|-------------------|-------------------------------------------------------|
| 47  | <i>Juniperus horizontalis</i> | Creeeping Juniper | Min. 600 apr. root ball dia. 350mm, 95 container size |
- DECIDUOUS SHRUBS**
- | QTY | SCIENTIFIC NAME                           | COMMON NAME                 | PLANT SIZE                                                              |
|-----|-------------------------------------------|-----------------------------|-------------------------------------------------------------------------|
| 30  | <i>Amelanchier alnifolia</i>              | Saskatoon                   | Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont. |
| 192 | <i>Berberis thunbergii 'Comcordia'</i>    | Concordia Barberry          | Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont. |
| 102 | <i>Cornus sericea</i>                     | Red Osier Dogwood           | Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont. |
| 54  | <i>Euonymus alatus 'Compactus'</i>        | Compact Winged Burning Bush | Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont. |
| 15  | <i>Rosa acutifolia</i>                    | Prickly Rose                | Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont. |
| 211 | <i>Salix brachycarpa 'Blue Fox'</i>       | Blue Fox Willow             | Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont. |
| 43  | <i>Symphoricarpos doerbbosii 'Kordec'</i> | Amethyst Coraberry          | Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm. - #2 cont. |
- ORNAMENTAL GRASSES**
- | QTY | SCIENTIFIC NAME                                 | COMMON NAME                      | PLANT SIZE               |
|-----|-------------------------------------------------|----------------------------------|--------------------------|
| 407 | <i>Calamagrostis acutiflora 'Karl Foerster'</i> | Karl Foerster Feather Reed Grass | Min. 150mm Ht., #1 cont. |
| 408 | <i>Helictotrichon sempervirens</i>              | Ruee Oat Grass                   | Min. 150mm Ht., #1 cont. |
- PERENNIALS**
- | QTY | SCIENTIFIC NAME                       | COMMON NAME           | PLANT SIZE                 |
|-----|---------------------------------------|-----------------------|----------------------------|
| 32  | <i>Achimillea mollis</i>              | Lady's Mantle         | Min. 150mm Ht., 150mm pot. |
| 142 | <i>Heosecalle x Happy Returns</i>     | Happy Returns Daylily | Min. 200mm Ht., #1 cont.   |
| 27  | <i>Heuchera 'Marmalade'</i>           | Marmalade Coral Bells | Min. 150mm Ht., 150mm pot. |
| 16  | <i>Neperata x faasseni 'Dropsone'</i> | Dropsone Calamint     | Min. 150mm Ht., 150mm pot. |

- GENERAL NOTES:**
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  - WARRANTY ON ALL LANDSCAPE TO BE ONE YEAR FROM DATE OF ACCEPTANCE.
  - CONTRACTOR TO CO-ORDINATE WORK WITH ALL OTHER CONTRACTORS ON SITE.
  - CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AT TIME OF CONSTRUCTION.
  - CONTRACTOR TO VERIFY ALL UNDERGROUND SERVICES PRIOR TO ANY WORK.
  - DURING CONSTRUCTION, ANY DAMAGE OCCURRING TO PUBLIC LANDS, RESULTING FROM ENCROACHMENT WILL BE MADE GOOD AT TIME OF CONSTRUCTION.
  - ALL EXISTING TREES WITHIN 6.0m OF CONSTRUCTION TO BE PROTECTED WITH A TREE PROTECTION FENCE ALONG THE DRYLINE.
  - NEW TREE LOCATIONS TO BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
  - TREES SHALL BE WATERED IN FOR THE WINTER TO ENSURE THAT THE ROOTS ARE FROZEN. TREES SHALL BE REGULARLY CHECKED IN WINTER TO ENSURE THAT ROOTS ARE NOT FROZEN IF THE WINTER WEATHER VARIES TO PLUS TEMPERATURES WATERING OF THE TREES SHALL BE DONE BY WATER TRUCK TO ENSURE HEALTHY PLANT MATERIAL.
  - CONTRACTOR TO ENSURE ADEQUATE SUPPORT FOR ALL PLANT MATERIAL NOTED ON DRAWINGS.
  - ANY SUBSTITUTIONS OF PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE SUBSTITUTIONS BEING MADE.
  - ANY DAMAGE TO EXISTING HARD AND SOFT SURFACING TO BE MADE GOOD BY THE CONTRACTOR.
  - ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
  - TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
  - SOIL DEPTHS FOR PLANT MATERIAL:  
FOR TREES: 1000mm MIN  
FOR SHRUBS: 600mm MIN  
FOR PERENNIALS: 300mm MIN
  - ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE AMENITIES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
  - ALL SITE GRADES SHALL MATCH EXISTING GRADES OF ADJACENT LANDS, WITH GRADING CONFINED TO THE SITE. SEE CIVIL PLAN FOR GRADING, CURB AND SERVICING INFORMATION.
  - THE CONTRACTOR SHALL OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATES PRIOR TO COMMENCING WORK. ANY AND ALL DAMAGES TO UTILITIES, REGARDLESS OF WHETHER LOCATES WERE COMPLETED, SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR, TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
  - ALL SITE FENCING AND RETAINING WALLS SHALL BE LOCATED WITHIN THE PROPERTY.
  - CONTRACTOR TO PROVIDE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM FOR ALL SOFT LANDSCAPE AREAS.
  - ANY DISCREPANCIES BETWEEN SITE CONDITION AND THOSE ON THE DRAWING TO BE REPORTED IMMEDIATELY TO THE CONSULTANT AT TIME OF CONSTRUCTION.
  - PLAYGROUND AREA TO BE DESIGNED BY A CERTIFIED PLAYGROUND DESIGNER.
- PLANTING NOTES:**
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY PARKS STANDARDS AND GUIDELINES (CURRENT EDITION).
  - THE OWNER'S REPRESENTATIVE WILL INSPECT PLANTS AT THE FOLLOWING STAGES, AT TIME OF DELIVERY PRIOR TO INSTALLATION, INSTALLED PLANTS BEFORE COMMENCEMENT OF MAINTENANCE PERIOD AND AT THE END OF MAINTENANCE PERIOD. NOTIFY OWNERS REPRESENTATIVE 72 HOURS IN ADVANCE OF EACH REQUIRED INSPECTION. CONTRACTOR SHALL ENSURE REQUIRED PLANTS WILL BE AVAILABLE OR MEET SPECIFICATIONS BEFORE ARRANGING INSPECTION FOR SELECTION AND TAGGING OF PLANTS.
  - ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM. SPECIMEN GRADE SINGLE STEM STOCK - UNLESS NOTED OTHERWISE. PLANTS WILL BE REJECTED IF: SOIL BALLS HAVE BEEN CRACKED OR BROKEN BEFORE OR DURING PLANTING OR WHEN BURLAP ROPE IS REQUIRED IN CONNECTION WITH THEIR TRANSPORTATION HAVE BEEN REMOVED. DO NOT USE PLANTS DAMAGED DURING CONTACT WITH EQUIPMENT, OR PLANTS THAT ARE WILTED, WIND BURNED OR STRESSED. CONTRACTOR TO REPLACE DAMAGED OR REJECTED PLANTS AT NO ADDITIONAL COST TO OWNER.
  - STAKE OUT LOCATIONS OF TREES, SHRUBS AND PLANTING BEDS. LOCATIONS OF ALL PLANTS SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE ON SITE BEFORE PLANTING. PLANTS INSTALLED WITHOUT REVIEW AND APPROVAL MAY REQUIRE TRANSPORTING OR RELOCATION AS DIRECTED BY OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
  - CONTRACTOR SHALL VERIFY THAT ALL MINIMUM CLEARANCES ARE PROVIDED BETWEEN PROPOSED TREES AND UNDERGROUND AND/OR OVERHEAD UTILITIES AS DEFINED BY THE LOCAL PARKS AND PLANNING DEPARTMENT.
  - PART OF PLANT MATERIAL INSTALLATION SHALL INCLUDE SUFFICIENT PROTECTION TO PREVENT BARK AND TREE DAMAGE DUE TO FORAGING ANIMALS AND ANCHORING SYSTEM TO PREVENT ROOT BREAKAGE DUE TO STRONG WINDS. LANDSCAPE ARCHITECT NOT RESPONSIBLE FOR ANY DAMAGES THAT INCUR DUE TO IMPROPER INSTALLATION.
  - ALL DEVELOPMENT AND CONSTRUCTION ACTIVITIES WITHIN 5 METERS OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST.
  - ALL PRUNING OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.
- LANDSCAPE REMEDIATION:**
- ANY TURF AREAS DISTURBED DURING THE CONSTRUCTION PROCESS ARE TO BE AMENDED WITH A MINIMUM OF 150 MM DEPTH TOPSOIL AND 300. AS PER THE CITY OF CALGARY DESIGN STANDARDS.
  - ANY PLANTING BEDS DISTURBED DURING CONSTRUCTION ARE TO BE AMENDED WITH A MINIMUM OF 400 MM DEPTH TOPSOIL AND A MINIMUM OF 150 MM DEPTH WOOD CHIP MULCH, AS PER THE CITY OF CALGARY DESIGN STANDARDS.
  - ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION IS TO BE REMOVED, DISPOSED OF, AND REPLACED BY THE CONTRACTOR. ANY REPLACEMENT PLANT MATERIAL MUST BE THE SAME SPECIES OF THE REMOVED ITEM.
  - BEFORE CONSTRUCTION, PROTECTION FENCING WILL BE INSTALLED WITHIN THE SITE ADJACENT TO THE ENVIRONMENTAL RESERVE LANDS.
  - ANY DAMAGE TO RESERVE LANDS, PATHWAYS, SOULIARDS RESULTING FROM DEVELOPMENT ACTIVITY SHALL BE RESTORED BY THE DEVELOPER. ALL WORK ON PARKS ASSETS SHALL BE INSTALLED AND INSPECTED AS PER PARKS DEVELOPMENT GUIDELINES AND SPECIFICATIONS (CURRENT EDITION).
- EXISTING LANDSCAPE:**
- LOCATIONS AND SIZES OF EXISTING PLANT MATERIAL ARE APPROXIMATE.
- GRADING NOTES:**
- REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING INFORMATION.
- SOIL:**
- CERTIFIED NO. 1 CULTIVATED TURF FESCUE GRASS SOIL WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEALTHY GROWTH AND DELIVERED 24 HOURS FROM THE TIME OF CUTTING. SOIL SHOWING SIGNS OF DETERIORATION DUE TO AGE OR LACK OF MOISTURE WILL BE REJECTED. SOIL MUST BE FREE OF STONES, BURNING DRY OR BARE SPOTS, TEARS AND DELIVERED MOIST, CUT IN STRIPS OF UNIFORM WIDTH AND THICKNESS.

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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

KALAMOIIR

project title  
MEDICINE HILL BLOCK J  
1201 NA'A DRIVE SW  
CALGARY, ALBERTA

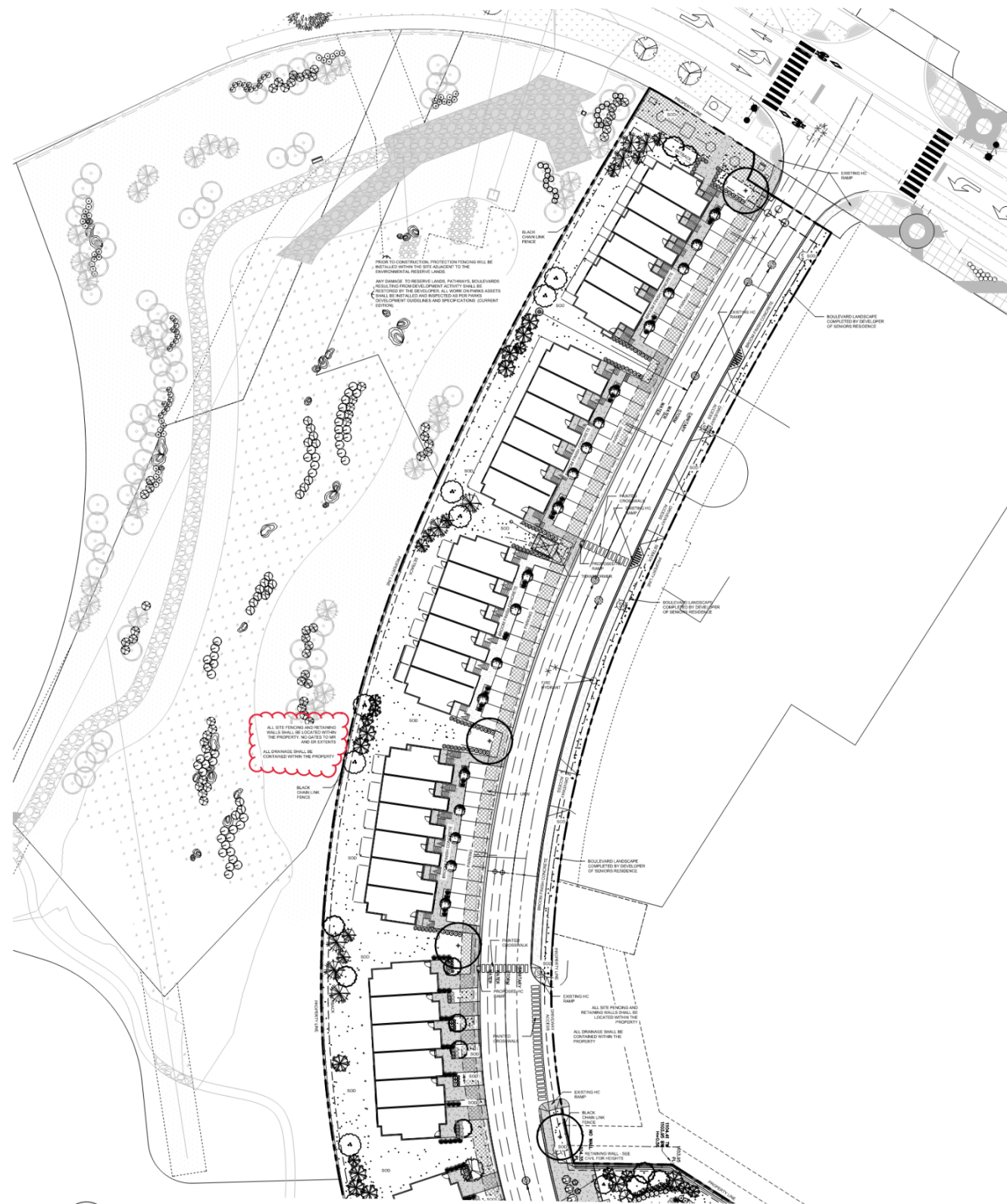
LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title  
LANDSCAPE PLAN

scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

re-issue no: 3 sheet no: L1.0

01 LANDSCAPE PLAN  
1:500



- PLANT LEGEND:**
- American Elm
  - Green Ash
  - Trembling Aspen
  - Paper Birch
  - Western Chokecherry
  - Hot Wings Maple
  - Amur Cherry
  - Japanese Tree Lilac
  - Pincherry
  - Gladiator Flowering Crabapple
  - Swedish Columnar Aspen
  - Norfolk Apple
  - Ulm Pear
  - Spring Snow Flowering Crab
  - Siberian Larch
  - Large White Spruce
  - Small White Spruce
  - Small Lodgepole Pine
  - Large Lodgepole Pine
  - Creeping Juniper
  - Blue Fox Willow
  - Deer Winged Burning Bush
  - Red Osier Dogwood
  - Amethyst Cornberry
  - Concrete Barberry
  - Prickly Rose
  - Saskatoon
  - Karl Forester Feather Reed Grass
  - Blue Oat Grass
  - Marmalade Coral Bells
  - Happy Returns Digitalis
  - Dignone Calceol
  - Lady's Mantle

- LEGEND:**
- FEATURES**
- Drought Tolerant Sod
  - Broom Finish Concrete
  - 10mm Limestone Crush
  - 7 Bike Racks (14 Bicycle Parking - Class 2 seats)
  - Bench
  - 1200mm Black Chain Link Fence
  - Interpretive Sign
  - Garden Box
  - Landscape Wall



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seal

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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-28	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 N/A DRIVE SW  
CALGARY, ALBERTA

LEGAL ADDRESS: LOT5, BLOCK 3, PLAN 161 2946

drawing title

LANDSCAPE PLAN - NORTHWEST

scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

re-issue no: sheet no: L1.1

01 LANDSCAPE PLAN - NORTHWEST  
L1.1 1:400





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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 NAJA DRIVE SW  
CALGARY, ALBERTA

LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title

LANDSCAPE PLAN -  
SOUTHEAST

scale: As indicated

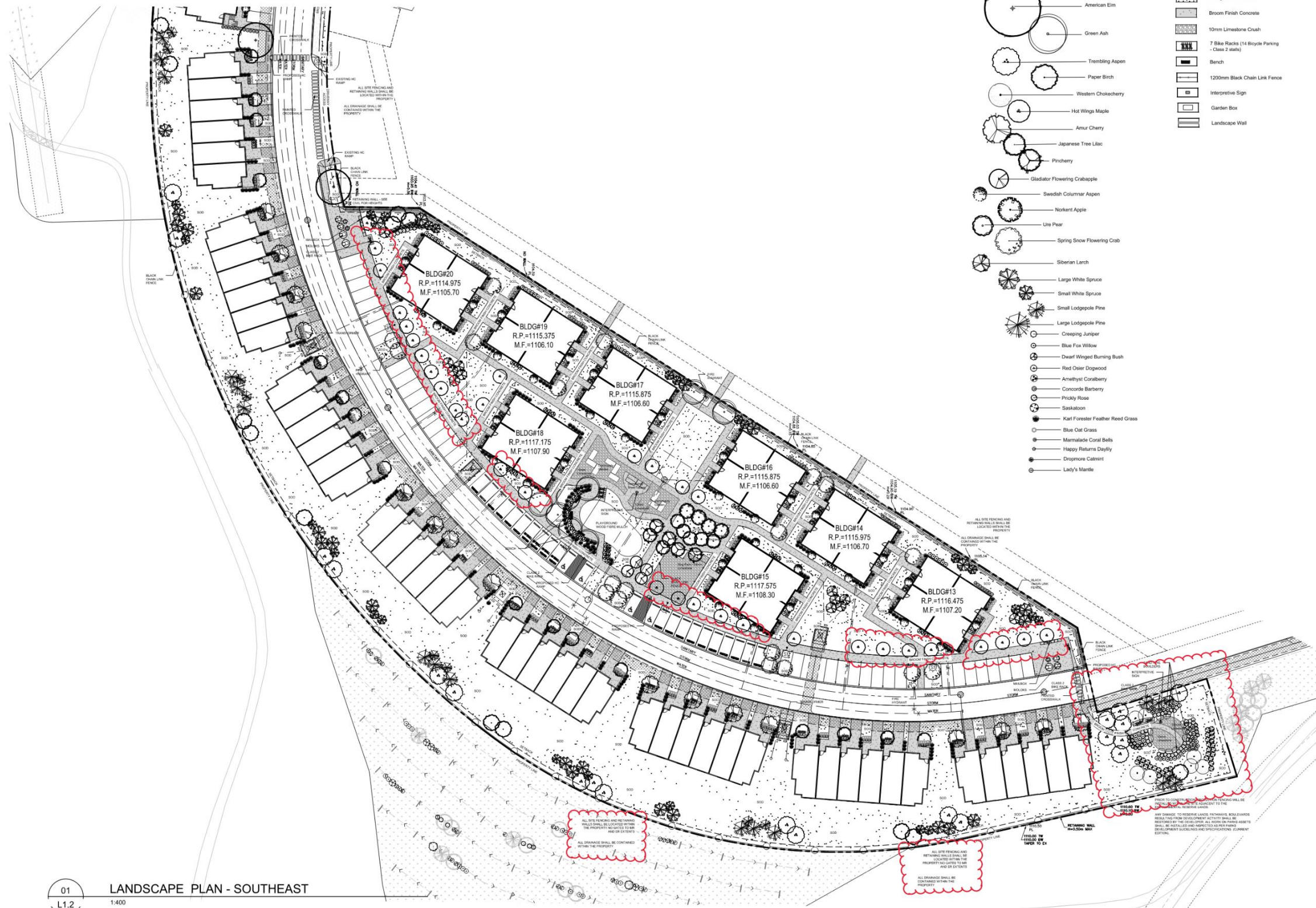
drawn by: CK

checked by: CK

project no: 223-018

date issued: 2023-06-12

re-issue no: 3 sheet no: L1.2



01 LANDSCAPE PLAN - SOUTHEAST  
L1.2 1:400



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3	2024-02-26	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 NA'A DRIVE SW  
CALGARY, ALBERTA

LEGAL ADDRESS: LOT5, BLOCK  
3, PLAN 161 2946

drawing title

LANDSCAPE PLAN -  
AMENITY AREAS

scale: As indicated

drawn by: CK

checked by: CK

project no: 223-018

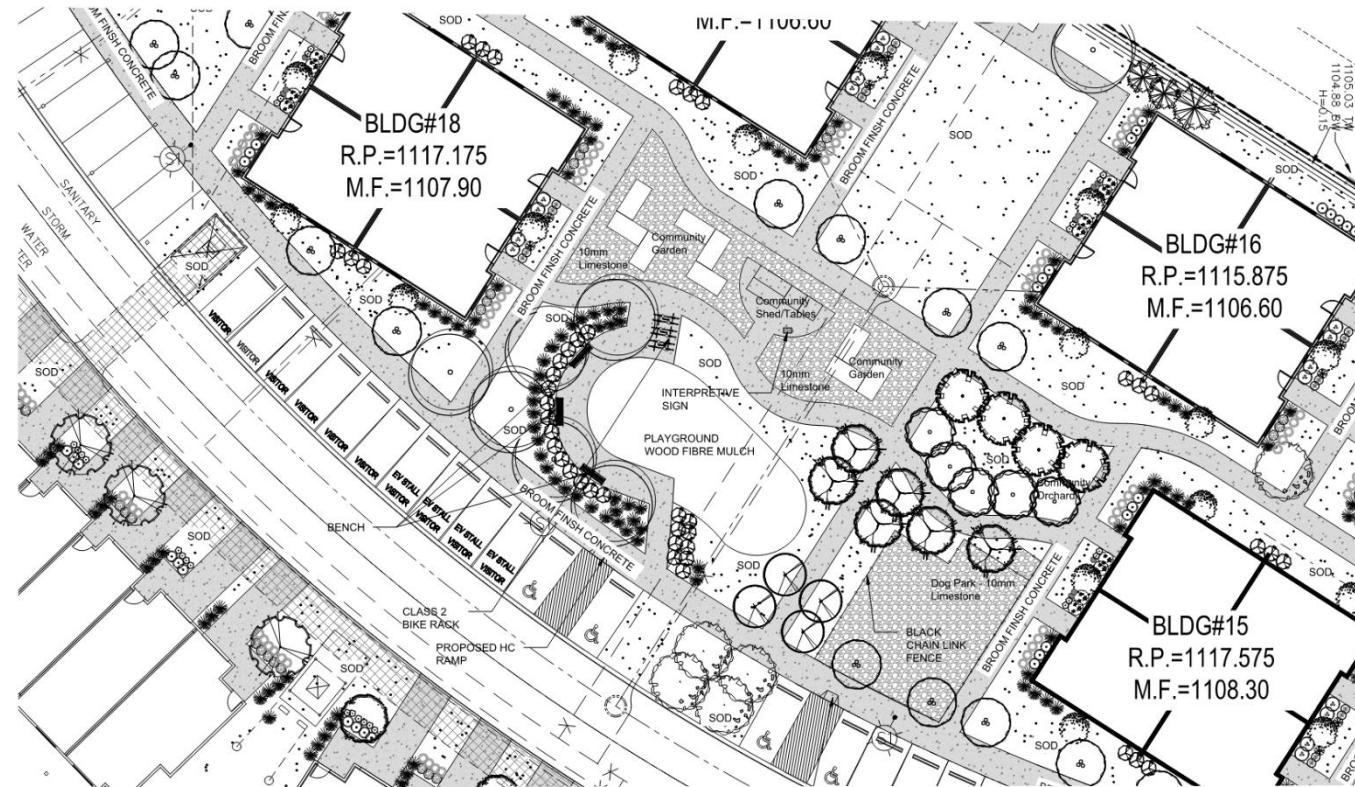
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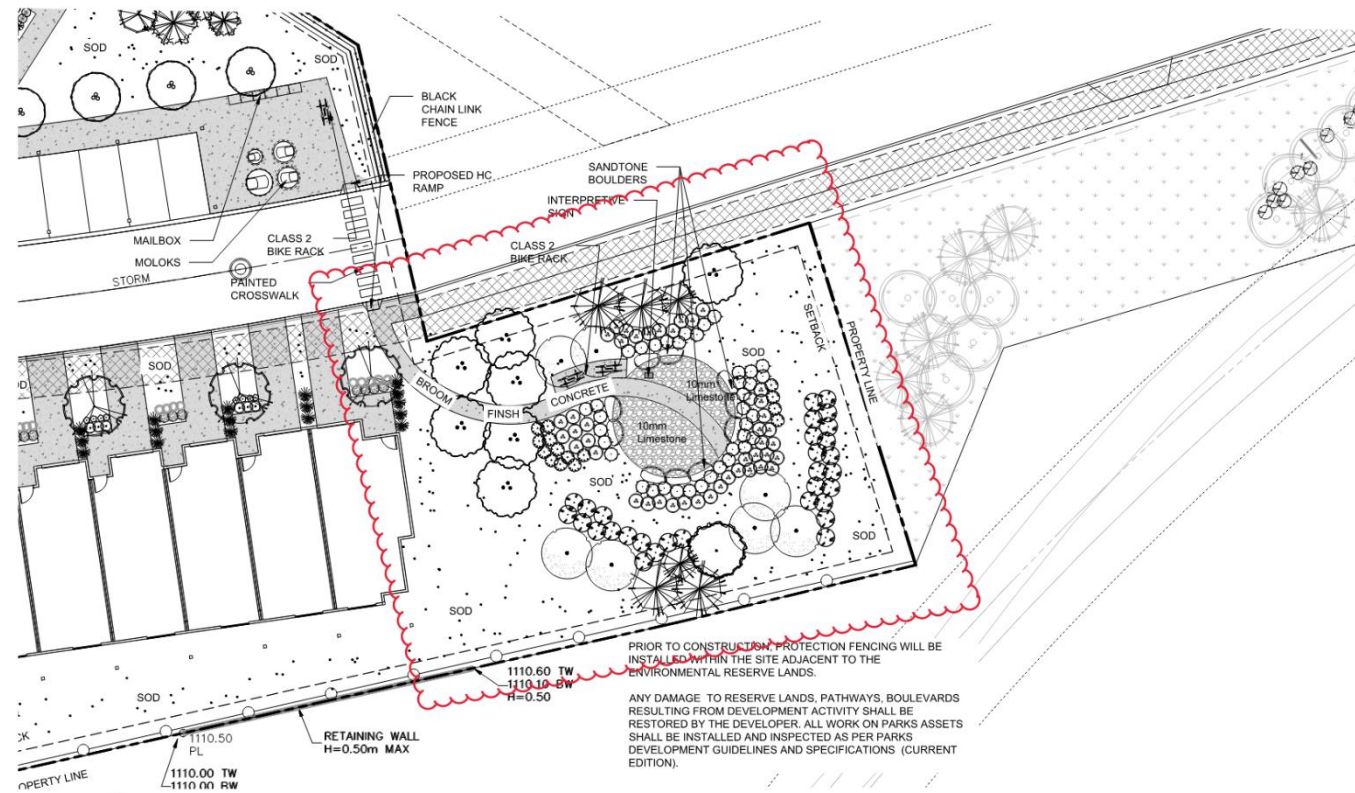
sheet no:



L1.3



01 LANDSCAPE COMMUNITY HUB  
L1.3 1:200



02 LANDSCAPE REFLECTIVE SETTING AREA  
L1.3 1:200

PLANT LEGEND:

- American Elm
- Green Ash
- Trambling Aspen
- Paper Birch
- Western Chickcherry
- Hot Wings Maple
- Amur Cherry
- Japanese Tree Lilac
- Pyrus
- Gladator Flowering Crabapple
- Swedish Columnar Aspen
- Norkent Apple
- Ulm Pear
- Spring Snow Flowering Crab
- Siberian Larch
- Large White Spruce
- Small White Spruce
- Small Lodgepole Pine
- Large Lodgepole Pine
- Creeping Juniper
- Blue Fox Willow
- Dwarf Winged Burning Bush
- Red Osier Dogwood
- Amethyst Coralberry
- Concorde Barbary
- Prickly Rose
- Saskatoon
- Karl Forester Feather Reed Grass
- Blue Oat Grass
- Marmalade Coral Bells
- Happy Returns Daylily
- Droopone Catmint
- Lady's Mantle

LEGEND:

- FEATURES
- Drought Tolerant Sod
  - Broom Finish Concrete
  - 10mm Limestone Crush
  - 7 Bike Racks (14 Bicycle Parking - Class 2 stalls)
  - Bench
  - 1200mm Black Chain Link Fence
  - Interpretive Sign
  - Paved Area

GENERAL NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK.
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- NEW TREE LOCATIONS TO BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
- TREES SHALL BE WATERED IN FOR THE WINTER TO ENSURE THAT THE ROOTS ARE FROZEN. TREES SHALL BE REGULARLY CHECKED IN WINTER TO ENSURE THAT ROOTS ARE STILL FROZEN. IF THE WINTER WEATHER VARIES TO PLUS TEMPERATURES WATERING OF THE TREES SHALL BE DONE BY WATER TRUCK TO ENSURE HEALTHY PLANT MATERIAL.
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- SOIL DEPTHS FOR PLANT MATERIAL:  
FOR TREES - 200mm MIN  
FOR SHRUBS - 600mm MIN  
FOR PERENNIALS - 300mm MIN
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- THE OWNER'S REPRESENTATIVE WILL INSPECT PLANTS AT THE FOLLOWING STAGES: AT TIME OF DELIVERY PRIOR TO INSTALLATION; INSTALLED PLANTS BEFORE COMMENCEMENT OF MAINTENANCE PERIOD AND AT THE END OF MAINTENANCE PERIOD. NOTIFY OWNER'S REPRESENTATIVE 72 HOURS IN ADVANCE OF EACH REQUIRED INSPECTION. CONTRACTOR SHALL ENSURE REQUIRED PLANTS WILL BE AVAILABLE OR MEET SPECIFICATIONS BEFORE ARRANGING INSPECTION FOR SELECTION AND TAGGING OF PLANTS.
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- ALL PRUNING OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

LANDSCAPE REMEDIATION:

- ANY TURF AREAS DISTURBED DURING THE CONSTRUCTION PROCESS ARE TO BE AMENDED WITH A MINIMUM OF 150 MM DEPTH TOPSOIL AND SOD, AS PER THE CITY OF CALGARY DESIGN STANDARDS.
- ANY PLANTING BEDS DISTURBED DURING CONSTRUCTION ARE TO BE AMENDED WITH A MINIMUM OF 450 MM DEPTH TOPSOIL AND A MINIMUM OF 150 MM DEPTH WOOD CHIP MULCH, AS PER THE CITY OF CALGARY DESIGN STANDARDS.
- ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION IS TO BE REMOVED, DISPOSED OF, AND REPLACED BY THE CONTRACTOR. ANY REPLACEMENT PLANT MATERIAL MUST BE THE SAME SPECIES OF THE REMOVED ITEM.
- PRIOR TO CONSTRUCTION, PROTECTION FENCING WILL BE INSTALLED WITHIN THE SITE ADJACENT TO THE ENVIRONMENTAL RESERVE LANDS.
- ANY DAMAGE TO RESERVE LANDS, PATHWAYS, BOULEVARDS RESULTING FROM DEVELOPMENT ACTIVITY SHALL BE RESTORED BY THE DEVELOPER. ALL WORK ON PARKS ASSETS SHALL BE INSTALLED AND INSPECTED AS PER PARKS DEVELOPMENT GUIDELINES AND SPECIFICATIONS (CURRENT EDITION).

EXISTING LANDSCAPE:

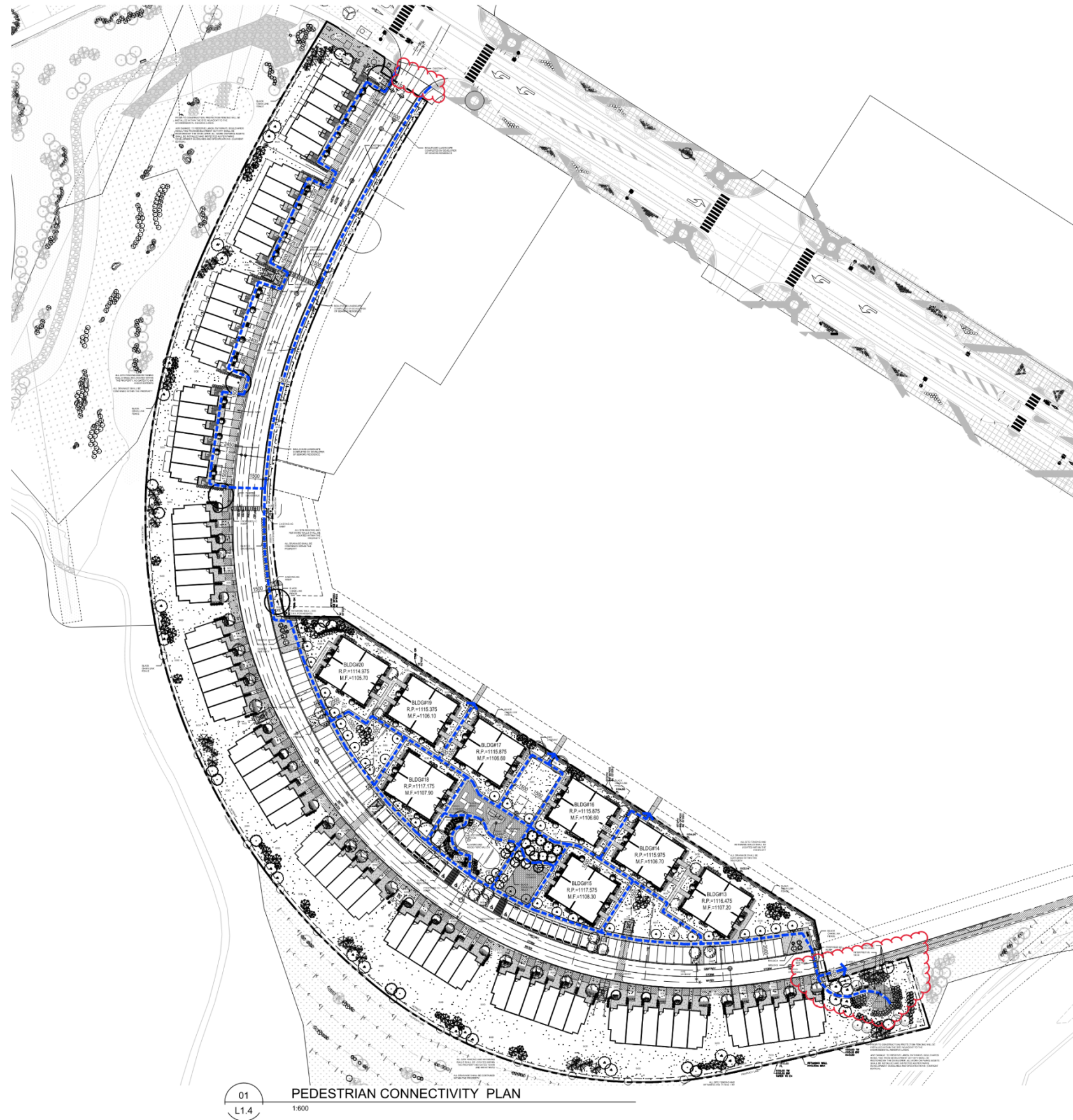
- LOCATIONS AND SIZES OF EXISTING PLANT MATERIAL ARE APPROXIMATE.

GRADING NOTES:

- REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING INFORMATION.

SOD:

- CERTIFIED NO. 1 CULTIVATED TURF FESCUE GRASS SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEALTHY GROWTH AND DELIVERED 24 HOURS FROM THE TIME OF CUTTING. SOD SHOWING SIGNS OF DETERIORATION DUE TO AGE OR LACK OF MOISTURE WILL BE REJECTED. SOD MUST BE FREE OF STONES, BURNS, DRY OR BARE SPOTS, TEARS AND DELIVERED MOST, CUT IN STRIPS OF UNIFORM WIDTH AND THICKNESS.



- LEGEND:
- FEATURES
- Drought Tolerant Sod
  - Broom Finish Concrete
  - Pedestrian Connection

- GENERAL NOTES:
1. ALL PEDESTRIAN AREAS TO BE BROOM FINISH CONCRETE.
  2. EXISTING AND PROPOSED HC RAMPS INDICATED ON PLANS
  3. ALL WALKWAYS ARE DIMENSION ON SITE.

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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

client

**KALAMOIR**

project title

MEDICINE HILL BLOCK J  
1201 NA'A DRIVE SW  
CALGARY, ALBERTA

LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title

PEDESTRIAN  
CONNECTIVITY  
PLAN

scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

re-issue no: sheet no: **L1.4**

01 PEDESTRIAN CONNECTIVITY PLAN  
L1.4 1:600

seal

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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
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3	2024-02-26	ISSUED FOR DTR3

client

project title

MEDICINE HILL BLOCK J  
1201 NAVA DRIVE SW  
CALGARY, ALBERTA

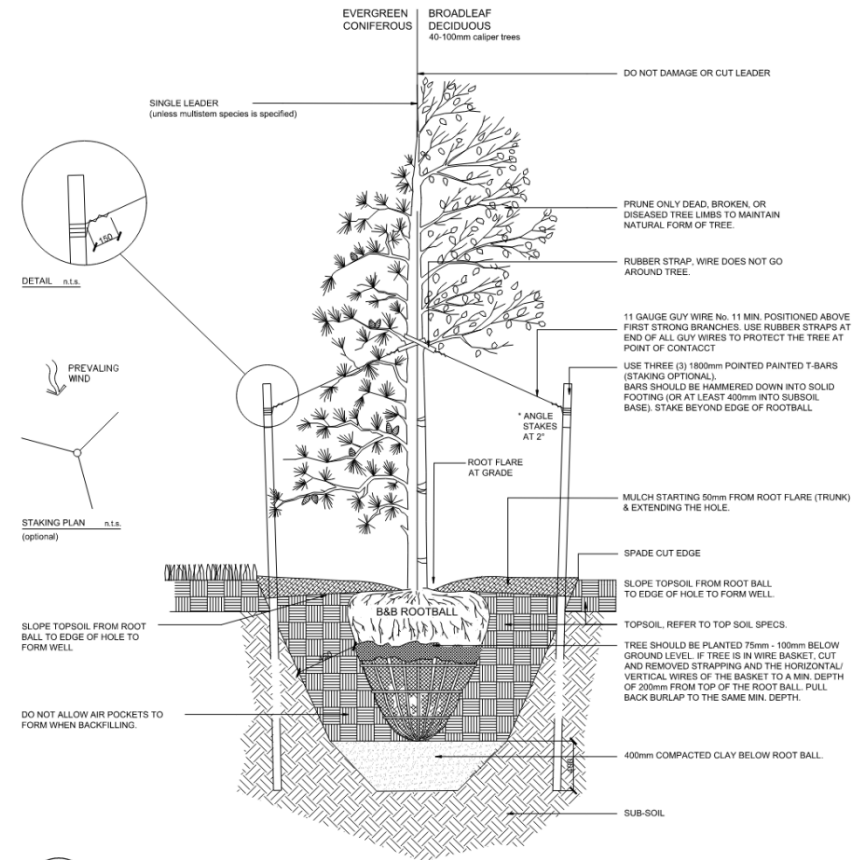
LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title

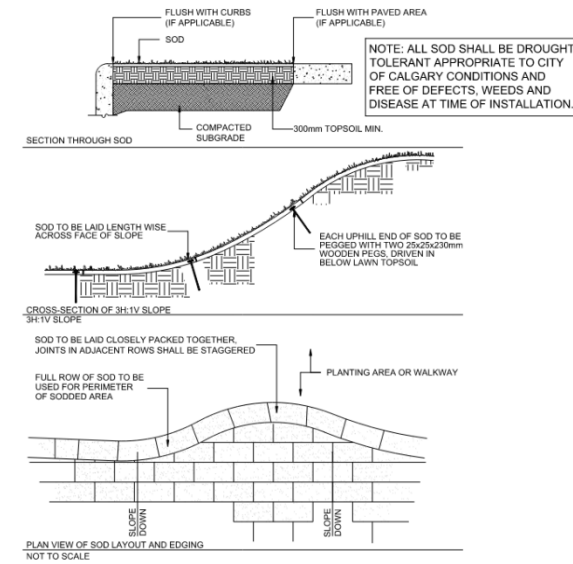
LANDSCAPE  
DETAILS

scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

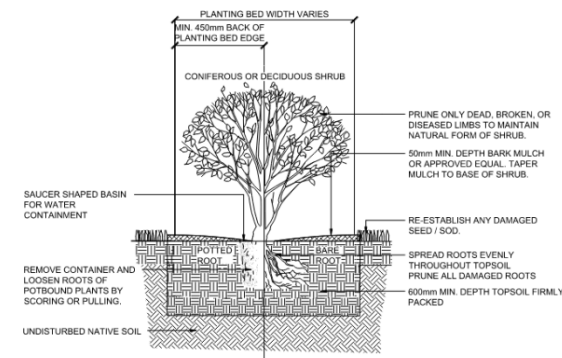
re-issue no: **3** sheet no: **L2.0**



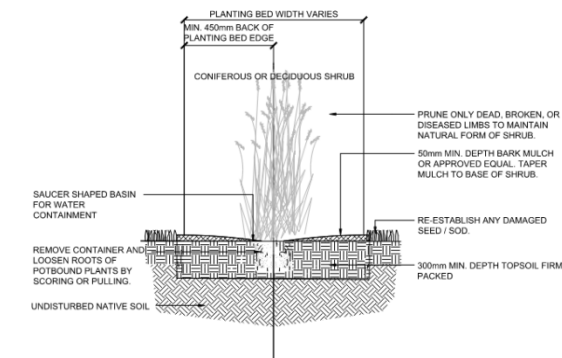
**01**  
L2.0  
**TREE PLANTING DETAIL**  
1:25



**03**  
L2.0  
**SOD INSTALLATION DETAIL**  
1:25



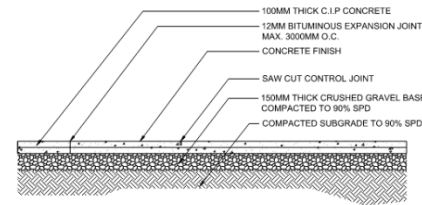
**02**  
L2.0  
**SHRUB PLANTING DETAIL**  
1:25



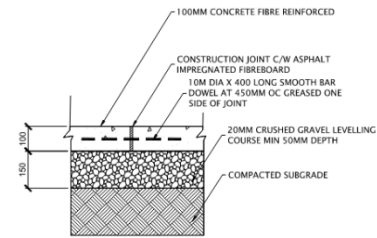
**04**  
L2.0  
**PERENNIAL PLANTING DETAIL**  
1:25

NOT FOR CONSTRUCTION

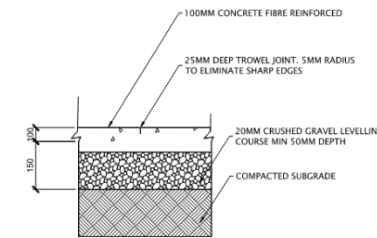
NOTES  
1. PROVIDE MATERIALS AND CONSTRUCTION TECHNIQUES, INCLUDING REINFORCING, PER STRUCTURAL DRAWINGS.  
2. ALL CONCRETE TO BE MINIMUM 2% SLOPE TO DRAINS WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED (i.e. SIDEWALKS) PROVIDE 2% CROSS-SLOPE TO LOW SIDE OF SIDEWALK.



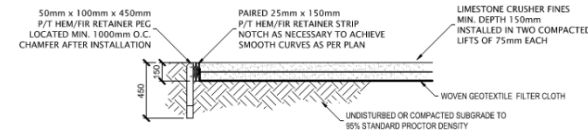
01 CONCRETE WALKWAY DETAIL  
L2.1 1:25



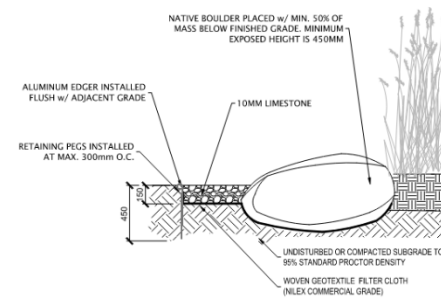
04 CONSTRUCTION JOINT DETAIL  
L2.1 1:12.5



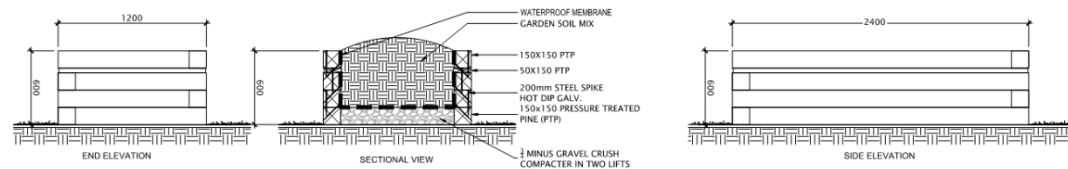
05 CONCRETE TROWEL JOINT DETAIL  
L2.1 1:12.5



02 10MM LIMESTONE DETAIL  
L2.1 1:25



06 NATIVE SANDSTONE DETAIL  
L2.1 1:25



03 COMMUNITY GARDEN BOX DETAIL  
L2.1 1:25

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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 NAVA DRIVE SW  
CALGARY, ALBERTA

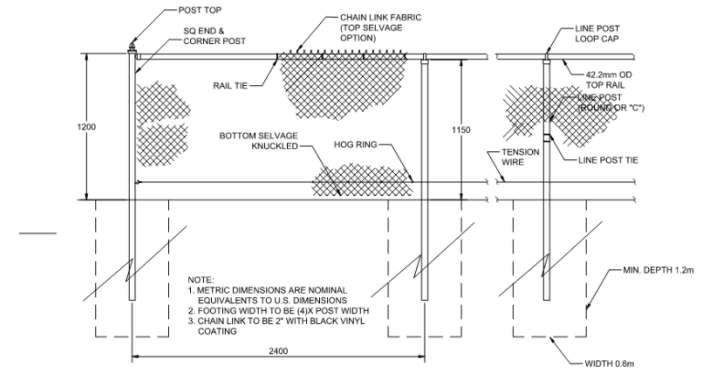
LEGAL ADDRESS: LOT5, BLOCK  
3, PLAN 161 2946

drawing title

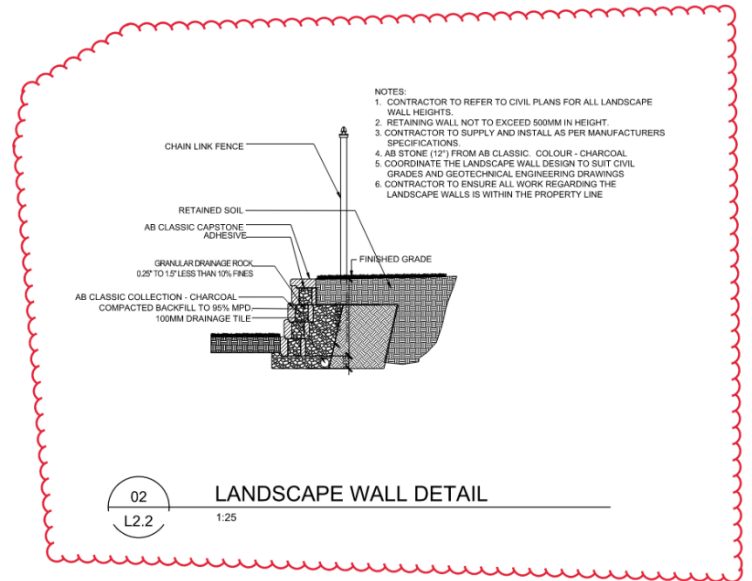
LANDSCAPE  
DETAILS

scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

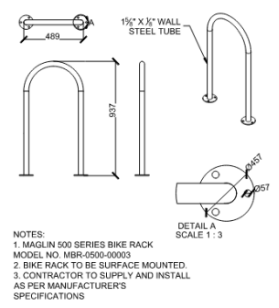
re-issue no: 3 sheet no: L2.1



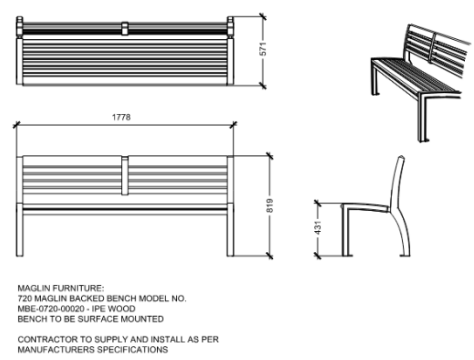
01 1200mm HEIGHT BLACK CHAIN LINK FENCE DETAIL  
L2.2 1:25



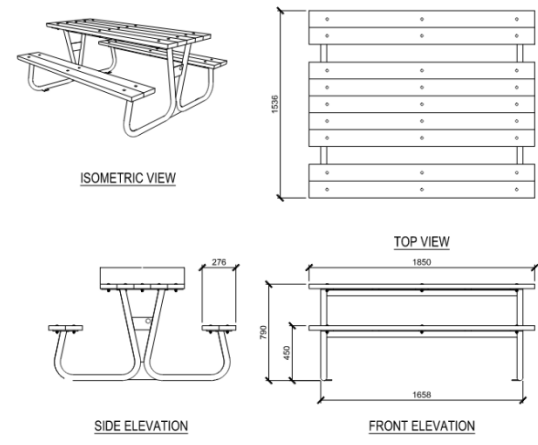
02 LANDSCAPE WALL DETAIL  
L2.2 1:25



03 BIKE RACK DETAIL  
L2.2 1:25



04 BENCH DETAIL  
L2.2 1:25



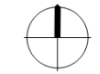
05 PICNIC TABLE DETAIL  
L2.2 1:25

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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

client

KALAMOR

project title  
MEDICINE HILL BLOCK J  
1201 NA'A DRIVE SW  
CALGARY, ALBERTA  
LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

LANDSCAPE DETAILS

scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

re-issue no: 3 sheet no: L2.2

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3	2024-02-26	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 NA'A DRIVE SW  
CALGARY, ALBERTA

LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title

LANDSCAPE  
DETAILS

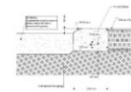
scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

re-issue no: sheet no: **L2.3**



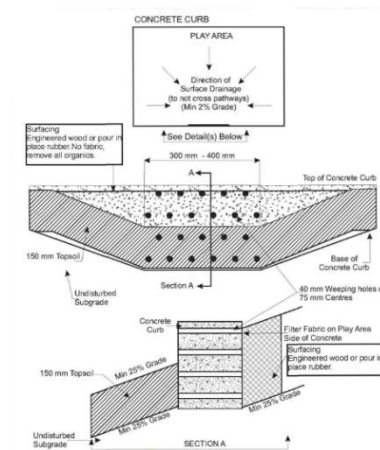
- NOTES:
1. PLAYGROUND PHOTO IS FOR INSPIRATION ONLY.
  2. PLAYGROUND AREA DESIGN TO BE COMPLETED BY A CERTIFIED PLAYGROUND DESIGNER.
  3. PLAYGROUND SURFACE TO BE ENGINEERED WOOD FIBRE.
  4. PLAYGROUND TO BE INSTALLED BY A CERTIFIED PLAYGROUND INSTALLER.
  5. ALL WORK TO BE COMPLETED TO CITY OF CALGARY STANDARDS.

**01**  
**L2.3** **PLAYGROUND INSPIRATION**  
NTS



- NOTES:
1. PLAYGROUND CONCRETE EDGE RESTRAINT TO BE INSTALLED AROUND PROPOSED PLAYGROUND EQUIPMENT.
  2. ALL DIMENSIONS ARE IN MILLIMETRES.
  3. CONTRACTOR TO PROVIDE ENGINEERED WOOD FIBRE TO ALL PLAY SURFACE AREA.
  4. CONTRACTOR TO INSTALL AS PER CITY OF CALGARY LANDSCAPE STANDARDS AND SPECIFICATIONS CURRENT EDITION.

**02**  
**L2.3** **PLAYGROUND EDGER DETAIL**  
1:25



- NOTES:
1. PLAYGROUND DRAINAGE - CONCRETE EDGE TO BE INSTALLED AT LOWER GRADE OF THE PLAYGROUND EQUIPMENT.
  2. ALL DIMENSIONS ARE IN MILLIMETRES.
  3. PLAYGROUND SURFACE TO BE ENGINEERED WOOD FIBRE.
  4. CONTRACTOR TO INSTALL AS PER CITY OF CALGARY LANDSCAPE STANDARDS AND SPECIFICATIONS CURRENT EDITION.

**03**  
**L2.3** **PLAYGROUND DRAINAGE - CONCRETE EDGE DETAIL**  
1:25



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1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 NA'A DRIVE SW  
CALGARY, ALBERTA

LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title

LANDSCAPE  
DETAILS

scale: As indicated

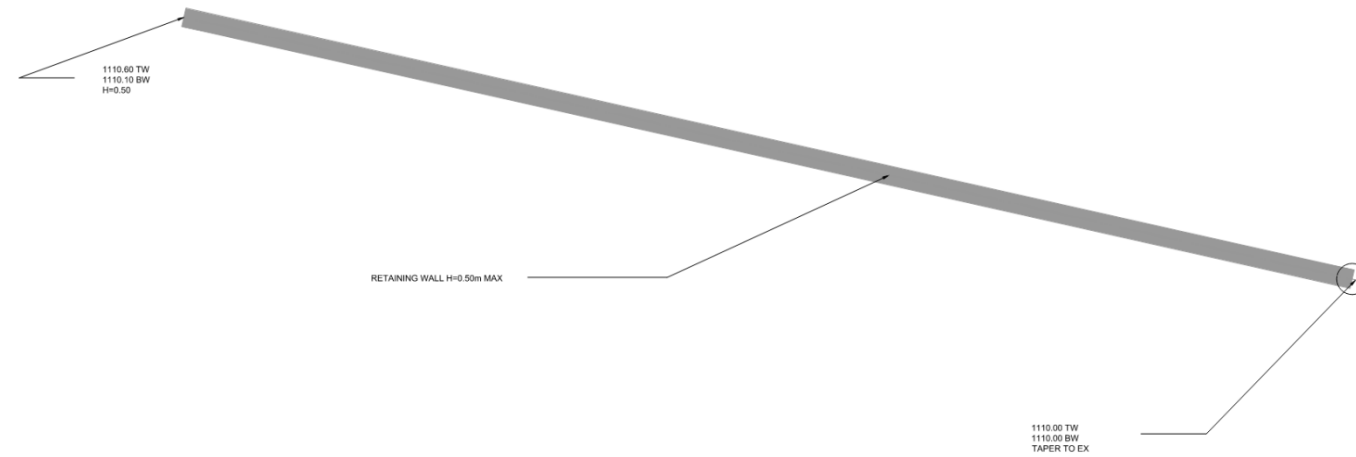
drawn by: CK

checked by: CK

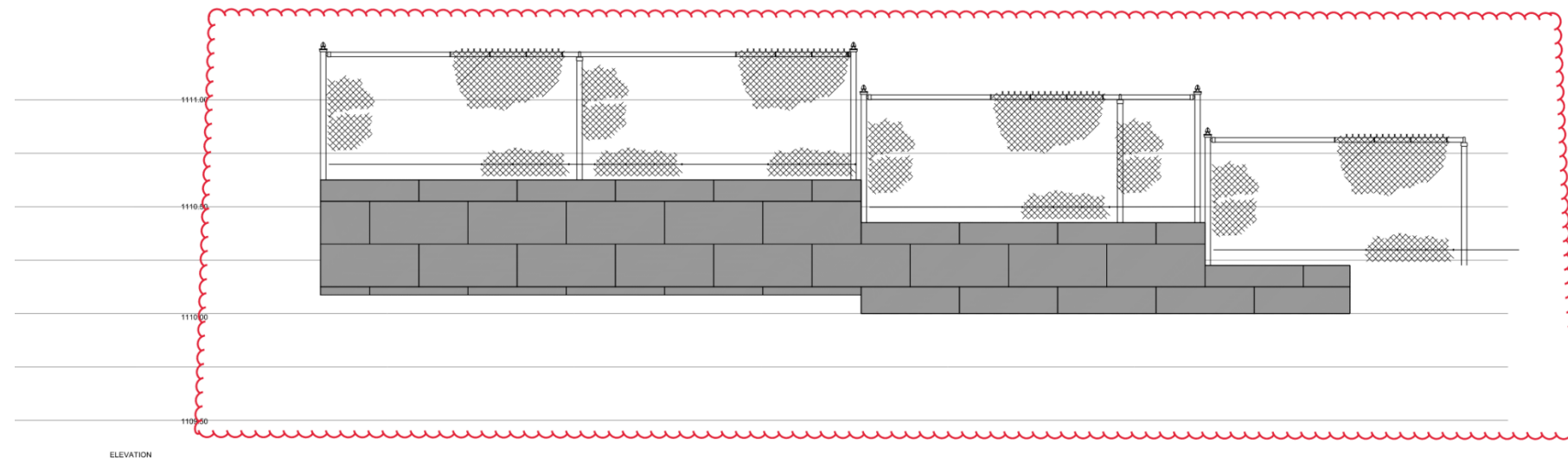
project no: 223-018

date issued: 2023-06-12

re-issue no: **3** sheet no: **L2.4**



- NOTES:
- CONTRACTOR TO REFER TO CIVIL PLANS FOR ALL LANDSCAPE WALL HEIGHTS.
  - RETAINING WALL NOT TO EXCEED 500MM IN HEIGHT.
  - CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURERS SPECIFICATIONS.
  - AB STONE (12") FROM AB CLASSIC COLOUR - CHARCOAL.
  - COORDINATE THE LANDSCAPE WALL DESIGN TO SUIT CIVIL GRADES AND GEOTECHNICAL ENGINEERING DRAWINGS.
  - CONTRACTOR TO ENSURE ALL WORK REGARDING THE LANDSCAPE WALLS IS WITHIN THE PROPERTY LINE.



01 SOUTH RETAINING WALL - PLAN & ELEVATION  
L2.4 1:25





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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 N/A DRIVE SW  
CALGARY, ALBERTA

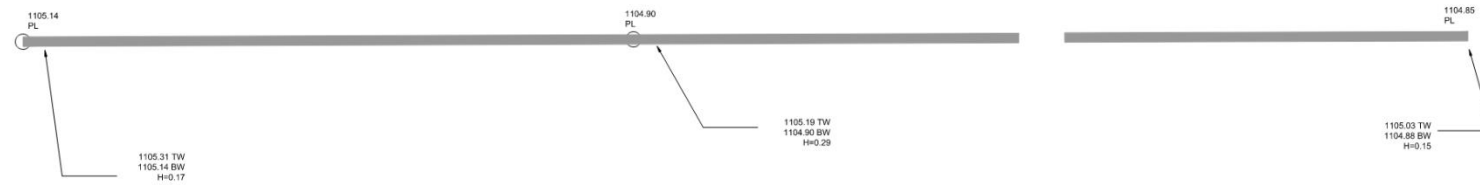
LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title

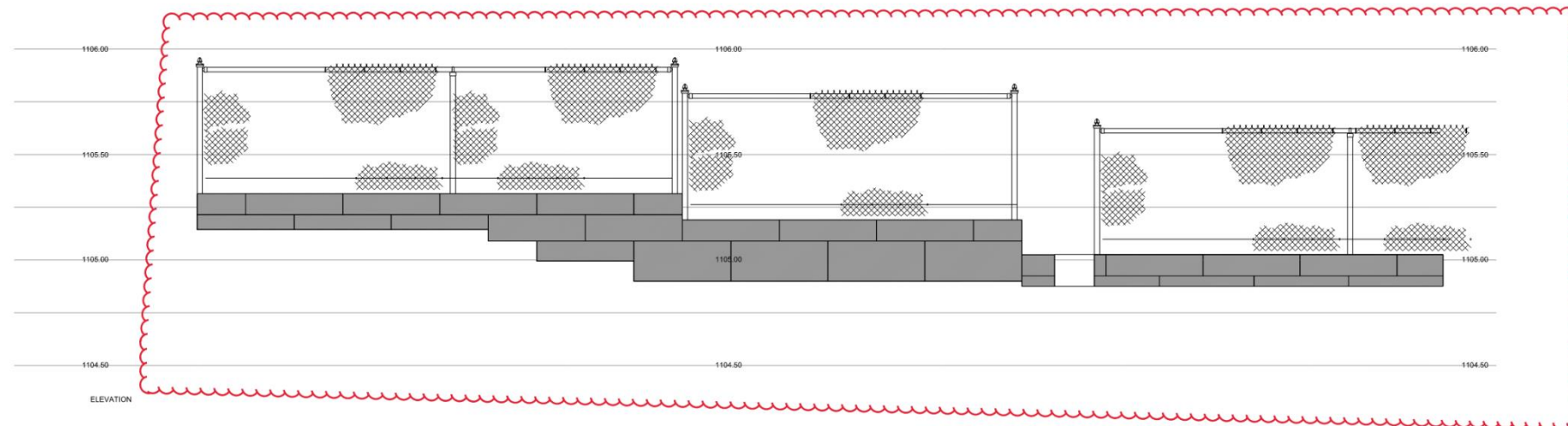
LANDSCAPE  
DETAILS

scale: As indicated  
drawn by: CK  
checked by: CK  
project no: 223-018  
date issued: 2023-06-12

re-issue no: **3** sheet no: **L2.5**



- NOTES:
- CONTRACTOR TO REFER TO CIVIL PLANS FOR ALL LANDSCAPE WALL HEIGHTS.
  - RETAINING WALL NOT TO EXCEED 500MM IN HEIGHT.
  - CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURERS SPECIFICATIONS.
  - AB STONE (12" FROM AB CLASSIC - COLOUR - CHARCOAL
  - COORDINATE THE LANDSCAPE WALL DESIGN TO SUIT CIVIL GRADES AND GEOTECHNICAL ENGINEERING DRAWINGS
  - CONTRACTOR TO ENSURE ALL WORK REGARDING THE LANDSCAPE WALLS IS WITHIN THE PROPERTY LINE



**01**  
L2.5 NORTH RETAINING WALL - PLAN & ELEVATION  
1:25



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Issue No.	Date	Description
1	2023-10-16	ISSUED FOR DTR1
2	2023-12-20	ISSUED FOR DTR2
3	2024-02-26	ISSUED FOR DTR3

client



project title

MEDICINE HILL BLOCK J  
1201 N/A DRIVE SW  
CALGARY, ALBERTA

LEGAL ADDRESS: LOTS, BLOCK  
3, PLAN 161 2946

drawing title

LANDSCAPE  
DETAILS

scale: As indicated

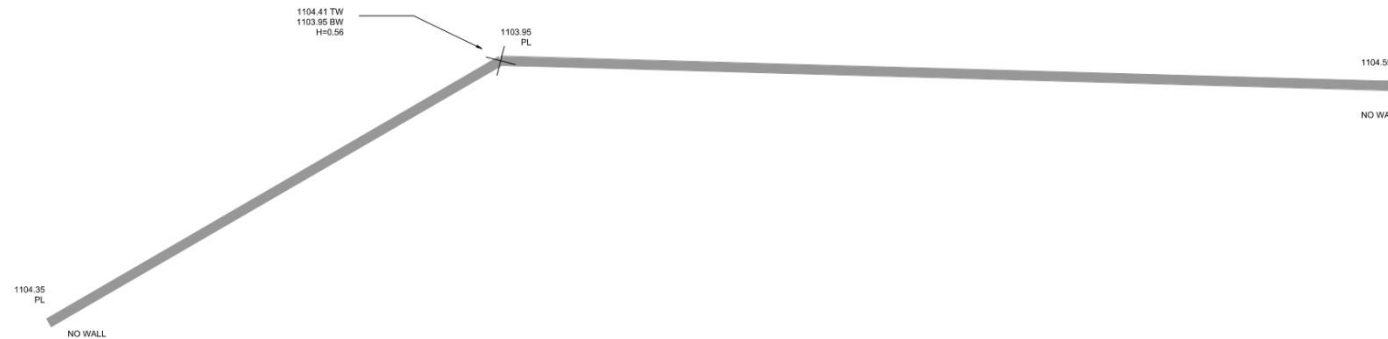
drawn by: CK

checked by: CK

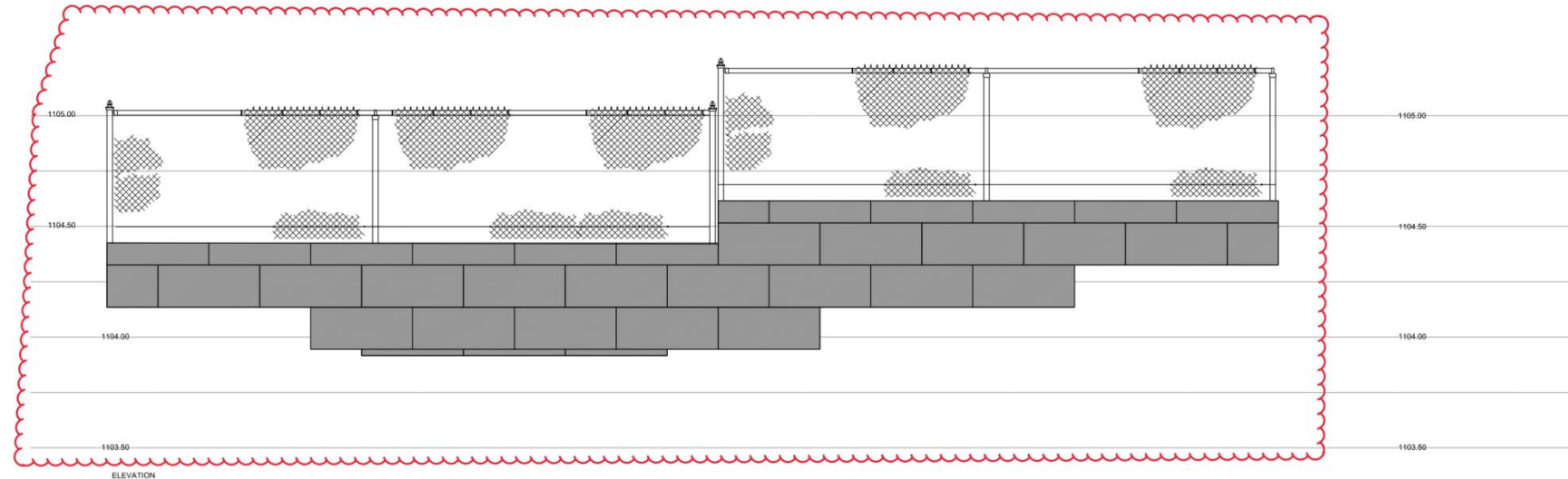
project no: 223-018

date issued: 2023-06-12

re-issue no: **3** sheet no: **L2.6**



- NOTES:
- CONTRACTOR TO REFER TO CIVIL PLANS FOR ALL LANDSCAPE WALL HEIGHTS.
  - RETAINING WALL NOT TO EXCEED 500MM IN HEIGHT.
  - CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURERS SPECIFICATIONS.
  - AB STONE (12") FROM AB CLASSIC. COLOUR - CHARCOAL.
  - COORDINATE THE LANDSCAPE WALL DESIGN TO SUIT CIVIL GRADES AND GEOTECHNICAL ENGINEERING DRAWINGS.
  - CONTRACTOR TO ENSURE ALL WORK REGARDING THE LANDSCAPE WALLS IS WITHIN THE PROPERTY LINE.
  - CHAIN LINK FENCE TO BE INSTALLED BEHIND RETAINING WALL.



**01** NORTH WEST RETAINING WALL - PLAN & ELEVATION  
L2.6 1:75



DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORKS.

NO.	ISSUED	DATE
1.	ISSUED FOR DP	2023-10-18
2.	ISSUED FOR DP	2023-12-13

**GENERAL NOTES**

- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
- CONDUCTOR SIZES INDICATED IS MINIMUM REQUIRED. INCREASE CONDUCTOR SIZE AND CONDUIT SIZE WHERE APPLICABLE TO ACCOMMODATE VOLTAGE DROP PER CEC REQUIREMENTS.
- CONTRACTOR MUST FOLLOW ALL ENMAX REQUIREMENTS AND INSTALLATION PROCEDURES.

**NOTES**

- SECONDARY STUB OUT FROM TRANSFORMER TO BUILDING. STUBBED OUT 1 METER FROM BUILDING.
- BOUNDARY LINE INDICATED 3 METERS CLEARANCE BETWEEN URW AND UNDERGROUND UTILITIES.

BUILDING/UNIT DISTRIBUTION		
BUILDING	NO. OF UNITS	TRANSFORMER
1	6	TF1
2	6	
3	6	
HOUSE PANEL		
4	6	TF2
5	6	
6	6	
HOUSE PANEL		
7	6	TF3
8	6	
9	6	
HOUSE PANEL		
10	6	TF4
11	6	
12	6	
HOUSE PANEL		
13	4	TF5
14	4	
15	4	
16	4	
HOUSE PANEL		
17	4	TF6
18	4	
19	4	
20	4	
HOUSE PANEL		
TOTAL	104	



01 NORTH E101S ELECTRICAL SITE PLAN SCALE: 1:800

STAMP & SEAL

CLIENT

PROJECT  
TRINITY RESIDENTIAL DEVELOPMENT  
BLOCK J  
1201 NAVA DRIVE SW CALGARY ALBERTA

TITLE  
ELECTRICAL SITE PLAN

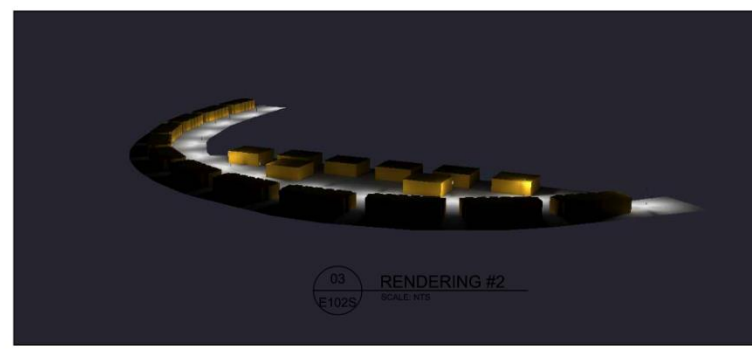
PROJECT NUMBER 23321	DRAWING NUMBER E101S
DRAWN/CHECKED AC/JL	



01 SITE LIGHTING CALCULATION - POINT BY POINT  
SCALE: 1:800  
E102S

LUMINAIRE SCHEDULE					
TAGS	DESCRIPTION	MOUNTING	LOAD/VOLT	LAMP	MANUFACTURER
S1	SINGLE HEAD POLE LUMINAIRE (DISTRIBUTION TYPE 3)	25' POLE	98W/120VAC	13916 LUMENS	LITHONIA, ESX1 LED, MODEL #: ESX1 LED P2 40K R3 MVOLT UPA BLS DDBXD M2

LIGHTING CALCULATION SUMMARY				
LABEL	UNITS	AVG.	MAX.	MIN.
PARKING LOT 1	FC	0.68	1.8	0.2
PARKING LOT 1	FC	2.07	3.5	0.2



04 RENDERING #3  
SCALE: NTS  
E102S



DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORKS.

NO.	ISSUED	DATE
1	ISSUED FOR DP	2023-10-18
2	ISSUED FOR DP	2023-12-13

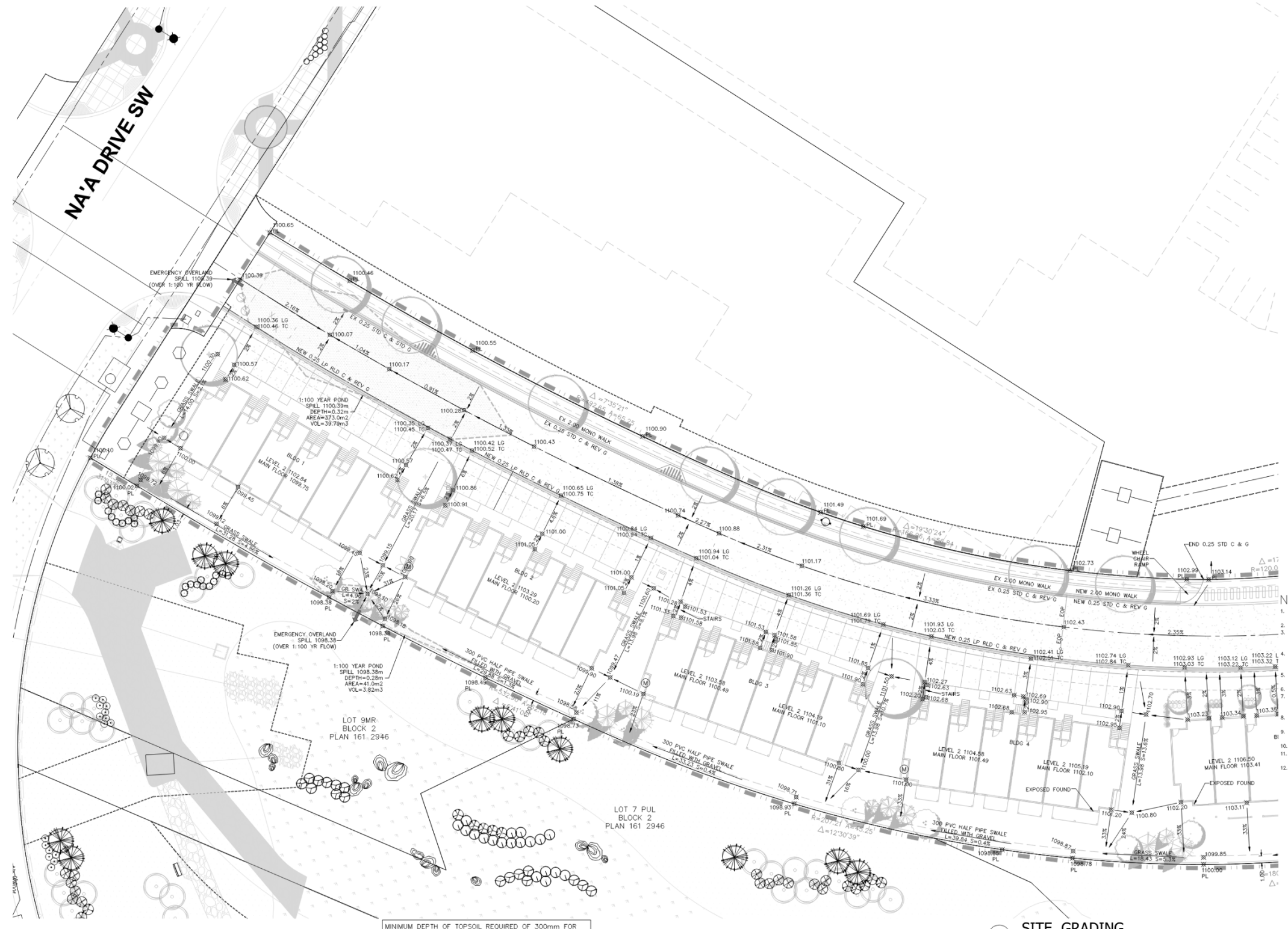
STAMP & SEAL:

CLIENT:

PROJECT:  
TRINITY RESIDENTIAL DEVELOPMENT BLOCK J  
1201 N/A DRIVE SW CALGARY, ALBERTA

TITLE:  
LIGHTING CALCULATION - POINT BY POINT

PROJECT NUMBER: 23321	DRAWING NUMBER: E102S
DRAWN/CHECKED: AC/JL	



MINIMUM DEPTH OF TOPSOIL REQUIRED OF 300mm FOR SOODED AREAS AND 600mm FOR SHRUB AND TREE BEDS

**1** SITE GRADING  
Scale: 1:250

**GENERAL NOTES**  
THIS PLAN IS TO BE READ IN CONNECTION WITH THE LATEST ARCH SITE PLAN REFER TO THE LATEST ARCH SITE PLAN FOR BUILDING, SIDEWALK, PATHWAY AND ROAD LOCATIONS AND DIMENSIONS. FOR PAINT MARKINGS DETAILS REFER TO LATEST ARCH DWG.  
THIS DRAWING IS TO BE USED FOR SITE SERVING AND GRADING INFORMATION ONLY.

**LEGEND:**

- CONSTRUCTION BOUNDARY
- CONCRETE SIDEWALK
- WHEEL CHAIR RAMP
- ORIGINAL GROUND CONTOUR (MAJOR)
- ORIGINAL GROUND CONTOUR (MINOR)
- UP OF GUTTER
- UP OF GUTTER RADIUS
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT
- TRANSFORMER
- HOLE CIRCUIT DEVICE SEE RADIUS IN PLAN
- ICE HOLE
- EXISTING GRADE
- FINISHED GRADE (BY ASPHALT)
- DRAINAGE DIRECTION
- W.P. AS PER CITY SPECIFICATION
- EMERGENCY OVERLAND ESCAPE ROUTE
- DRAINAGE AREA FROM THIS EVENT
- DRAINAGE AREA NUMBER
- EXISTING
- TO BE INSTALLED
- NEW
- DEPRESSED CURB
- UNLESS NOTED OTHERWISE
- FRONT FLOOR ELEVATION
- DEPRESSED CURB REQUIRED AT ALL CROSSING LOCATIONS UNLESS
- STORM DRAINAGE AREA
- ALL DRAINAGE IS TO BE CONTAINED ON-LOT UNLESS OTHERWISE NOTED.
- FRONT GRADE SIDEWALK AT ASPHALT AND UNDEGRADED GRADES
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED 300 PVC SEWER
- EXISTING 300 PVC SEWER
- PROPOSED HYDRANT
- EXISTING HYDRANT
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- EXISTING WATERMAIN & VALVE
- PROPOSED WATERMAIN & VALVE
- EXISTING WATERMAIN & VALVE
- WATER METER ROOM
- ELECTRICAL SERVICE
- GAS SERVICE
- WEEDING TILE DRAIN
- LOWEST TOP OF FINISH
- MAIN FLOOR ELEVATION
- MINIMUM GRADE ELEVATION
- MINIMUM GRADE ELEVATION RESTRICTIVE COVENANTS/REQUIREMENT
- BACK OF WALK
- UP OF GUTTER

- NOTES:**
1. ALL WORK TO BE COMPLETED TO CITY OF CALGARY STANDARDS.
  2. ALL ELEVATIONS ARE GEODETIC.
  3. ALL SANITARY, STORM AND WEEPING TILE DRAIN MAINLINES SHALL BE TYPE SA UNLESS OTHERWISE SPECIFIED.
  4. ALL SANITARY SEWER MAINS TO BE PVC SDR 35 B&S RIG. CLASS II BEDDING UNLESS NOTED OTHERWISE.
  5. ALL STORM SEWER MAINS TO BE PVC SDR 35 B&S RIG. CLASS II BEDDING UNLESS NOTED OTHERWISE.
  6. BEDDING FOR CONCRETE PIPES TO BE CLASS C.
  7. ALL WATER MAINS 150mm AND LARGER TO BE PVC DR 16, CLASS II BED. 100mm WATER MAINS TO BE PVC DR 14, CLASS II BED.
  8. HYDRANT VALVES LOCATED 1.0m FROM MAIN UNLESS OTHERWISE NOTED.
  9. 20, 25, 40 & 50mm WATER SERVICES TO BE PEK PIPE.
  10. 100mm SANITARY SERVICES TO BE PVC DR 28.
  11. 75mm (WEEDING TILE DRAIN) SERVICES TO BE PVC DR 28.
  12. ALL LOTS ADJACENT TO TRAPPED LOTS WITH POND DEPTHS EXCEEDING 0.30m AND THE POND SPILL OVER ELEVATION ENCRHOACHING ON TO THE LOTS WILL HAVE RESTRICTIVE COVENANTS SPECIFYING MINIMUM GRADES PLACED ON THEM. THESE GRADES ARE LABELLED WITH A "RMG". ALL OPENINGS (DOORS, WINDOWS, GARAGE, ETC.) ARE ABOVE THE MINIMUM SURFACE GRADE MG OR RMG.

PERTINENT DATA:	
SITE LOCATION:	1201 NAVA DRIVE S.W. CALGARY, AB
LEGAL DESCRIPTION:	PLAN 161 2946, LOT 5, BLOCK 3 SEC 27, TWP 24, RGE 2, WSM AREA=257 ha
DEVELOPMENT PERMIT NUMBER:	SP2022-07470

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The contractor shall verify and be responsible for all dimensions, lot and street frontages and area. Dimensions and area shall be reported to HILCO Projects Inc.

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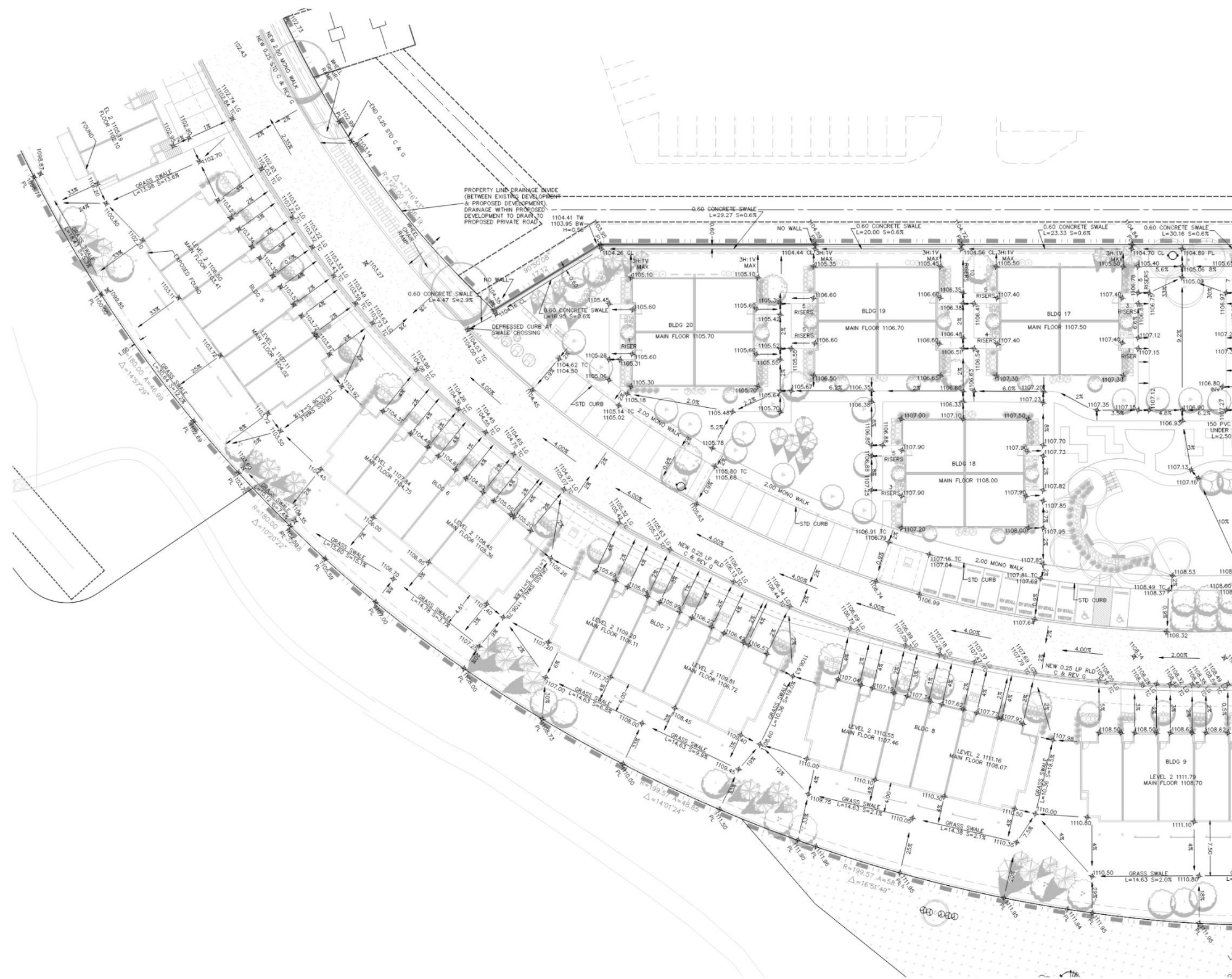
1	ISSUED FOR	ISSUED BY
2	REVISION	ISSUED BY
3	REVISION	ISSUED BY
4	REVISION	ISSUED BY
5	REVISION	ISSUED BY

**1201 NAVA DRIVE S.W.**  
**CALGARY ALBERTA**  
TRINITY HILLS TOWNHOUSE INC.

**SITE GRADING**

HILCO PROJECTS INC.  
Association of Professional Engineers and Geoscientists of Alberta  
PERMIT TO PRACTICE NO. P07866

**HILCO PROJECTS INC.**  
DESIGN BY: JMC CHECKED BY: JML PROJECT NO.:  
DRAWN BY: JMC CREAED BY: JML 1096  
SCALE - AS SHOWN DATE: 05/05/2024 SHEET NO.:  
SW-C1.1



MINIMUM DEPTH OF TOPSOIL REQUIRED OF 300mm FOR  
SODDED AREAS AND 600mm FOR SHRUB AND TREE BEDS

**1 SITE GRADING**  
Scale: 1:250

**GENERAL NOTES**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE LATEST ARCH. SITE PLAN. REFER TO THE LATEST ARCH. SITE PLAN FOR BUILDING, SIDEWALK, PATHWAY AND ROAD LOCATIONS AND DIMENSIONS. FOR FINISH MARKINGS DETAILS REFER TO LATEST ARCH. DWG.

THIS DRAWING IS TO BE USED FOR SITE SERVICES AND GRADING INFORMATION ONLY.

**LEGEND:**

- CONSTRUCTION BOUNDARY
- CONCRETE SIDEWALK
- WHEEL CHAIR RAMP
- ORIGINAL GROUND CONTROL (SOLID)
- ORIGINAL GROUND CONTROL (DASHED)
- UP OF GUTTER
- DOWN OF GUTTER
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT
- TRANSFORMER
- INLET CONTROL SERVICE SIDE RADIUS IN WM
- EXISTING GRADE
- FRESH GRADE (AT ASPHALT)
- GRASS DIRECTION
- WM AS PER CITY SPECIFICATION
- EMERGENCY OVERLAND ESCAPE ROUTE
- STORM DRAINAGE AREA
- STORM POND YOUR EVENT
- DRAINAGE AREA NUMBER
- EXISTING
- TO BE REMOVED
- NEW
- PROPOSED
- UNLESS NOTED OTHERWISE
- PROPOSED FLOOR ELEVATION
- PROPOSED JOBS REQUIRED AT ALL PROPOSED LOCATIONS ONLY
- STORM DRAINAGE AREA
- ALL DRAINAGE IS TO BE CONTAINED ON-SITE, UNLESS OTHERWISE NOTED.
- FRESH GRADES SHOWN ARE AT ASPHALT AND UNIMPROVED GRADES.
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED ST 300 PVC SEWER
- EXISTING ST 300 PVC SEWER
- PROPOSED HYDRANT
- EXISTING HYDRANT
- PROPOSED WATERMAIN & VALVE
- EXISTING WATERMAIN & VALVE
- WATER METER ROOM
- ELECTRICAL SERVICE
- GAS SERVICE
- MEETING TILE SWATH
- LINE 10' UP OF FINISH
- MAIN FLOOR ELEVATION
- MINIMUM GRADE ELEVATION
- MINIMUM GRADE ELEVATION RESTRICTIVE COVENANT REQUIREMENT
- BACK OF WALK
- UP OF GUTTER

**NOTES:**

- ALL WORK TO BE COMPLETED TO CITY OF CALGARY STANDARDS.
- ALL ELEVATIONS ARE GEODETIC.
- ALL SANITARY, STORM AND WEeping TILE DRAIN MANHOLES SHALL BE TYPE SA UNLESS OTHERWISE SPECIFIED.
- ALL SANITARY SEWER MAINS TO BE PVC SDR 35 BAS RG, CLASS III BEDDING UNLESS NOTED OTHERWISE.
- ALL STORM SEWER MAINS TO BE PVC SDR 35 BAS RG, CLASS III BEDDING UNLESS NOTED OTHERWISE.
- BEDDING FOR CONCRETE PIPES TO BE CLASS C.
- ALL WATER MAINS 150mm AND LARGER TO BE PVC DR 18, CLASS III BED, 100mm WATER MAINS TO BE PVC DR 14, CLASS III BED.
- HYDRANT VALVES LOCATED 1.0m FROM MAIN UNLESS OTHERWISE NOTED.
- 20, 25, 40 & 50mm WATER SERVICES TO BE PEX PIPE.
- 100mm SANITARY SERVICES TO BE PVC DR 28.
- 75mm (WEeping TILE DRAIN) SERVICES TO BE PVC DR 28.
- ALL LOTS ADJACENT TO TRAPPED LONG WITH POND DEPTHS EXCEEDING 0.30m AND THE POND SPILL OVER ELEVATION ENCROACHING ON TO THE LOTS WILL HAVE RESTRICTIVE COVENANTS SPECIFYING MINIMUM GRADES PLACED ON THEM. THESE GRADES ARE LABELLED WITH A "RM". ALL OPENINGS (DOORS, WINDOWS, GARAGE, ETC. ARE ABOVE THE MINIMUM SURFACE GRADE MG OR RMG.

**PERMIT DATA:**

SITE LOCATION:  
1201 N/A DRIVE S.W.  
CALGARY, AB

LEGAL DESCRIPTION:  
PLAN 161 2946, LOT 3, BLOCK 3  
SEC 27, TWP 24, RGE 2, W4M  
AREA=2.57 ha

DEVELOPMENT PERMIT NUMBER:  
DP2022-07470

**1201 N/A DRIVE S.W.  
CALGARY ALBERTA**

**TRINITY HILLS TOWNHOUSE INC.**

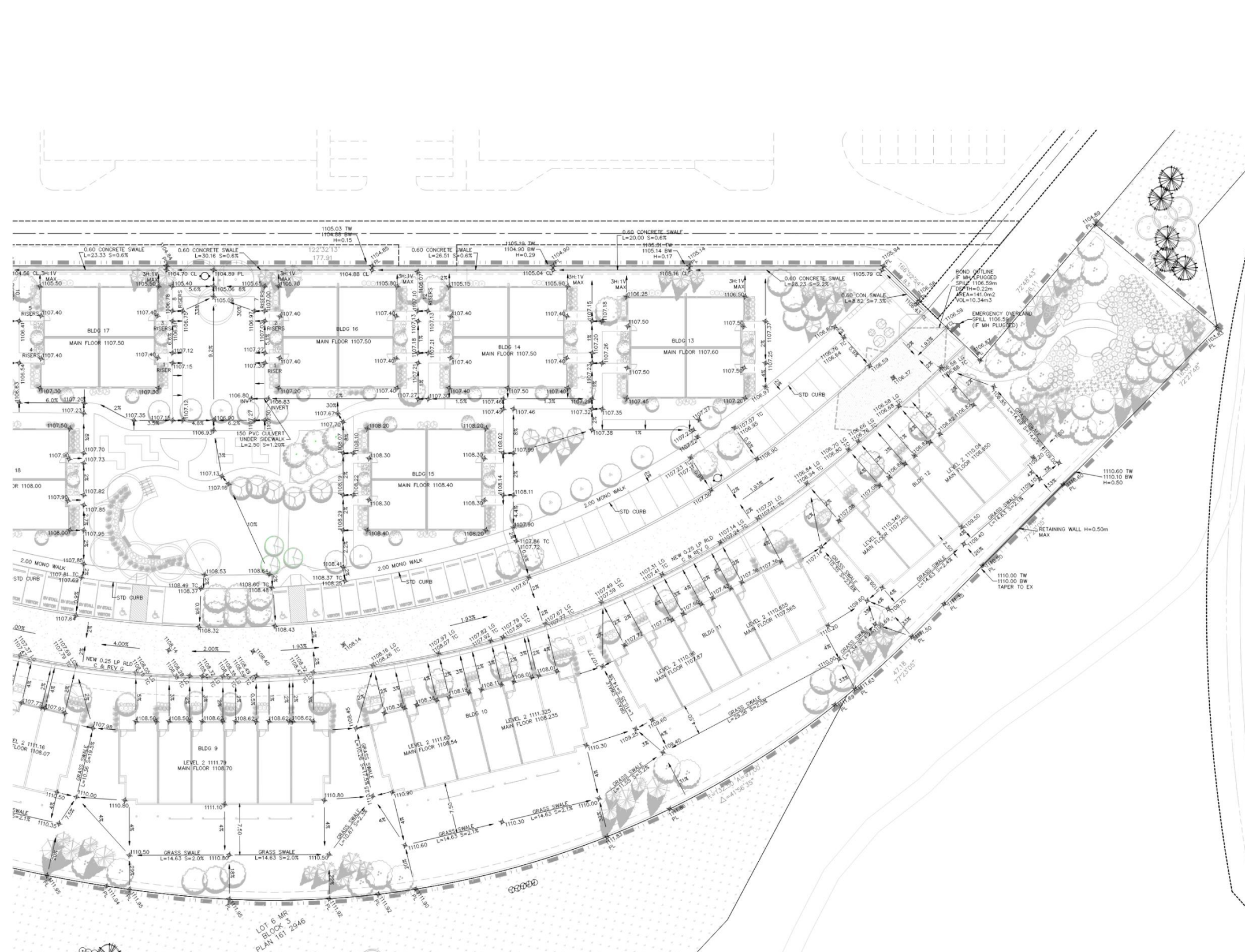
**SITE GRADING**

HILCO PROJECTS INC.  
Association of Professional Engineers  
and Geoscientists of Alberta

PERMIT TO PRACTICE NO. P07886

**HILCO PROJECTS INC.**

DESIGN BY: HC CHECKED BY: HC PROJECT NO.: 1096  
DRAWN BY: CHC CADD BY: HC  
SCALE: AS NOTED DATE: SEP 2023  
REVISIONS: SW-C1.2



MINIMUM DEPTH OF TOPSOIL REQUIRED OF 300mm FOR SCODED AREAS AND 600mm FOR SHRUB AND TREE BEDS

- NOTES:**
1. ALL WORK TO BE COMPLETED TO CITY OF CALGARY STANDARDS.
  2. ALL ELEVATIONS ARE SECTERIC.
  3. ALL SANITARY, STORM AND WEERING TILE DRAIN MANHOLES SHALL BE TYPE SA UNLESS OTHERWISE SPECIFIED.
  4. ALL SANITARY SEWER MAINS TO BE PVC SDR 35 B&S RG, CLASS III BEDDING UNLESS NOTED OTHERWISE.
  5. ALL STORM SEWER MAINS TO BE PVC SDR 35 B&S RG, CLASS III BEDDING UNLESS NOTED OTHERWISE.
  6. BEDDING FOR CONCRETE PIPES TO BE CLASS C.
  7. ALL WATER MAINS 150mm AND LARGER TO BE PVC DR 18, CLASS III BED; 100mm WATER MAINS TO BE PVC DR 14, CLASS III BED.
  8. HYDRANT VALVES LOCATED 1.0m FROM MAIN UNLESS OTHERWISE NOTED.
  9. 20, 25, 40 & 50mm WATER SERVICES TO BE PEX PIPE.
  10. 100mm SANITARY SERVICES TO BE PVC DR 28.
  11. 75mm (WEERING TILE DRAIN) SERVICES TO BE PVC DR 28.
  12. ALL LOTS ADJACENT TO TRAPPED LOWS WITH POND DEPTHS EXCEEDING 0.30m AND THE POND SPILL OVER ELEVATION ENCRACHING ON TO THE LOTS WILL HAVE RESTRICTIVE COORDINATE SPECIFYING MINIMUM GRADES PLACED ON THEM. THESE GRADES ARE LABELLED WITH A "POND". ALL GREENHOUSES (DOORS, WINDOWS, GARAGE, ETC. ARE ABOVE THE MINIMUM SURFACE GRADE MG OR RMG.

**GENERAL NOTES:**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE LATEST ARCH SITE PLAN. REFER TO THE LATEST ARCH SITE PLAN FOR BUILDING, SEWER, PATHWAY AND ROAD LOCATIONS AND DIMENSIONS. FOR PAINT MARKINGS DETAILS REFER TO LATEST ARCH DRAWING.

THIS DRAWING IS TO BE USED FOR SITE SERVICES AND GRADING INFORMATION ONLY.

**LEGEND:**

- CONSTRUCTION BOUNDARY
- CONCRETE SWALE
- WHEEL OVRHP RAMP
- ORIGINAL SURFACE CONTOUR (MAGN)
- ORIGINAL SURFACE CONTOUR (GEN)
- LP OF OUTER RADIUS
- LP OF OUTER RADIUS
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT
- TRANSFORMER
- WLET CONTROL DEVICE SIZE RADII IN MM
- EXISTING GRADE
- PROPOSED GRADE (AT ASPHALT)
- DRAINAGE DIRECTION
- WPI AS PER CITY SPECIFICATION
- EMERGENCY OVERLAND ESCAPE ROUTE
- DRAINAGE AREA
- STORM DRAINAGE AREA
- STORM FLOW TOWARD EXIST
- STORM DRAINAGE AREA
- ALL DRAINAGE IS TO BE CONTAINED ON SITE, UNLESS OTHERWISE NOTED.
- FRESH GRADES SHOWN ARE AT ASPHALT AND UNDEVELOPED GRADES.
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED HYDRANT
- EXISTING HYDRANT
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- WATER METER ROOM
- ELECTRICAL SERVICE
- GAS SERVICE
- WEERING TILE DRAIN
- LOWEST TOP OF FLOORING
- MAIN FLOOR ELEVATION
- MINIMUM GRADE ELEVATION
- MINIMUM GRADE ELEVATION (FORMING CONCREAT REINFORCEMENT)
- BACK OF WALK
- LP OF OUTER

**PERTINENT DATA:**

**SITE LOCATION:**  
1201 N/A DRIVE S.W. CALGARY, AB

**LEGAL DESCRIPTION:**  
PLAN 161 2946, LOT 5, BLOCK 3 SEC 27, TWP 24, R0E 2, W0M AREA 2-57 10

**DEVELOPMENT PERMIT NUMBER:**  
DP2022-07470

**1 SITE GRADING**  
Scale: 1:250

**1201 N/A DRIVE S.W. CALGARY ALBERTA**

**TRINITY HILLS TOWNHOUSE INC.**

**SITE GRADING**

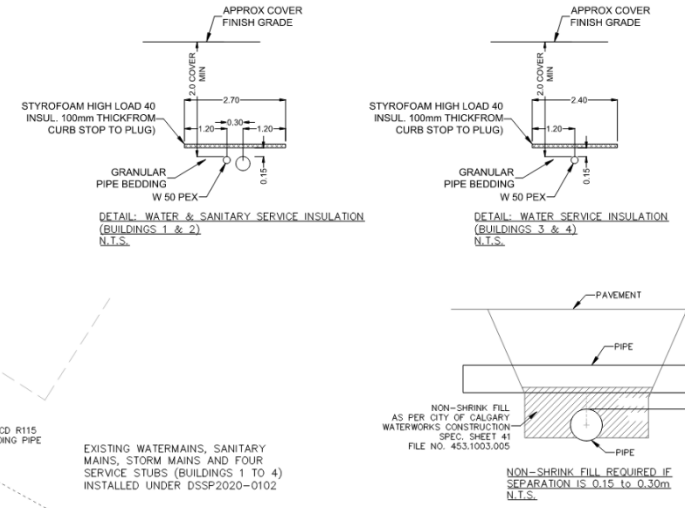
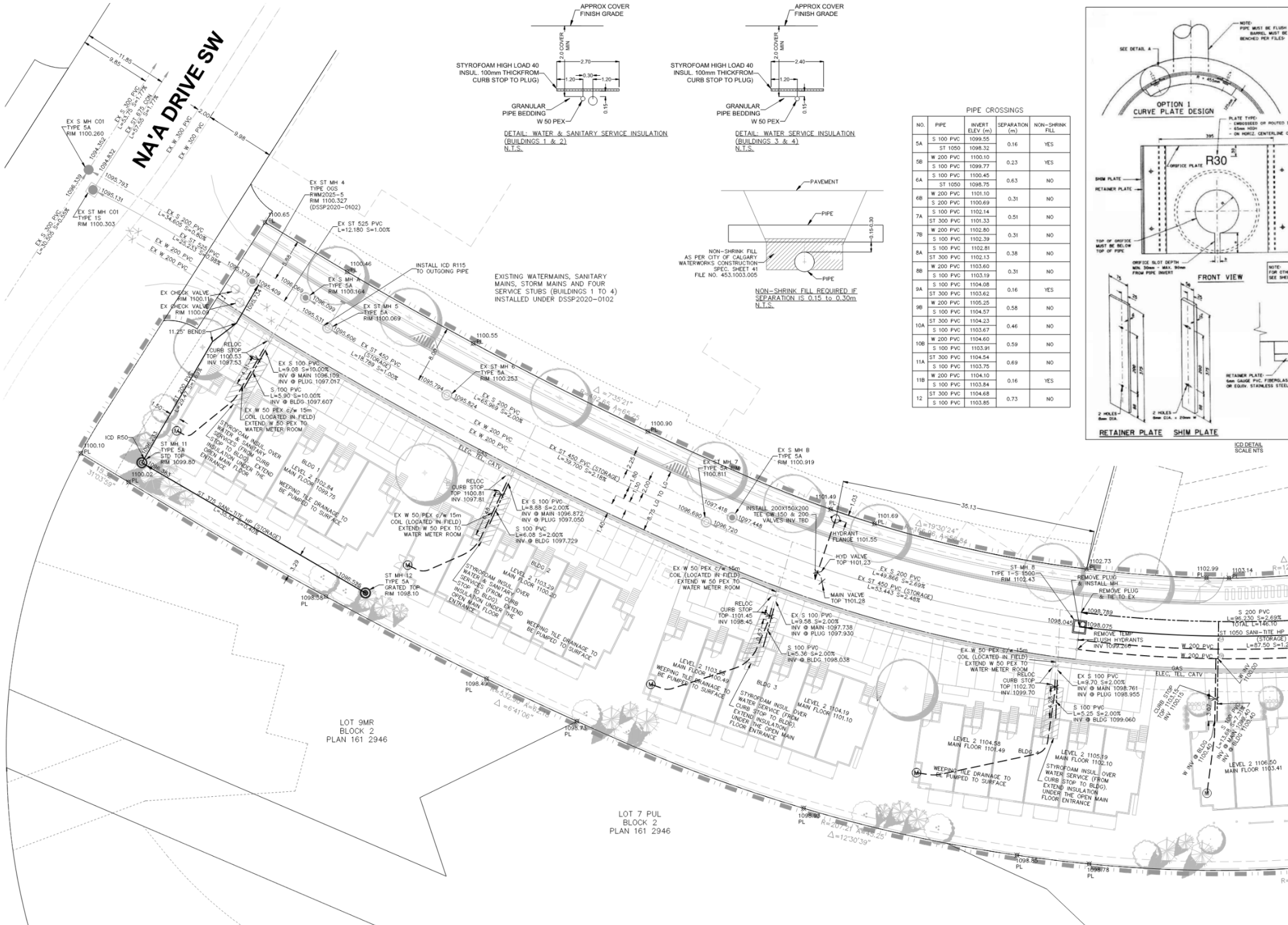
HILCO PROJECTS INC.  
Association of Professional Engineers and Geoscientists of Alberta

PERMIT TO PRACTICE NO. P07866

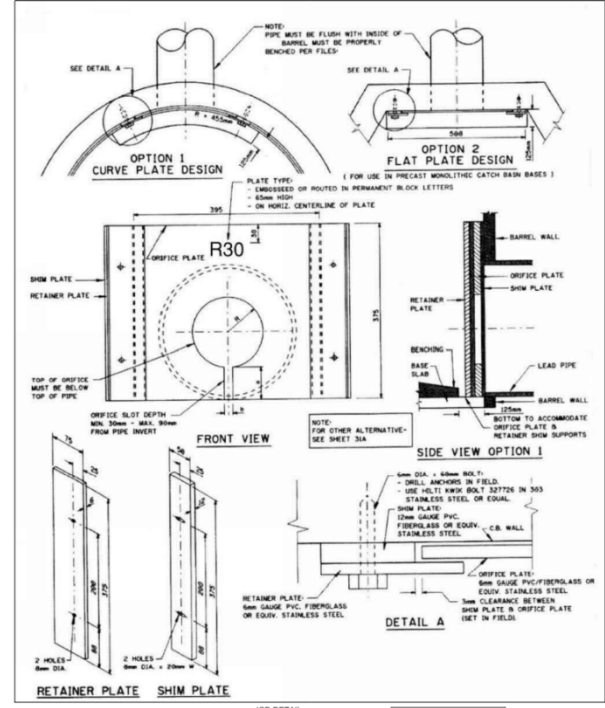
**HILCO PROJECTS INC.**

DESIGN BY: HC CHECKED BY: HC PROJECT NO.: 1096  
DRAWN BY: JH DISIGNED BY: JH  
SCALE: AS NOTED DATE: SEP 2023

SW-C1.3



NO.	PIPE	INVERT ELEV. (m)	SEPARATION (m)	NON-SHRINK FILL
5A	S 100 PVC	1099.55	0.16	YES
5B	W 200 PVC	1100.10	0.23	YES
6A	ST 1050	1098.75	0.63	NO
6B	W 200 PVC	1101.10	0.31	NO
7A	S 100 PVC	1102.39	0.51	NO
7B	W 200 PVC	1102.80	0.31	NO
8A	S 100 PVC	1102.81	0.38	NO
8B	W 200 PVC	1103.60	0.31	NO
9A	S 100 PVC	1104.08	0.16	YES
9B	W 200 PVC	1105.25	0.58	NO
10A	S 100 PVC	1104.23	0.46	NO
10B	W 200 PVC	1104.60	0.59	NO
11A	S 100 PVC	1104.54	0.69	NO
11B	W 200 PVC	1104.10	0.16	YES
12	S 100 PVC	1103.85	0.73	NO



**GENERAL NOTES:**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE LATEST ASB SITE PLAN, REFER TO THE LATEST ASB SITE PLAN FOR BUILDING, UTILITY, PATHWAY AND ROAD LOCATIONS AND DIMENSIONS. FOR POINT MARKINGS DETAILS REFER TO LATEST ARCH DWG. THIS DRAWING IS TO BE USED FOR SITE SERVICES AND GRADING INFORMATION ONLY.

**LEGEND:**

- CONSTRUCTION BOUNDARY
- CONCRETE SIDEWALK
- WHEEL CHAIR RAMP
- ORIGINAL GRADING (CONTOUR (DAUR))
- ORIGINAL GRADING (CONTOUR (DAUR))
- UP OF GUTTER
- UP OF GUTTER RADIOS
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT TRANSFORMER
- MEET CONTROL SERVICE SIDE RADIOS IN M
- EXISTING GRADE
- FINISHED GRADE (AT APPLS)
- DRAINAGE DIRECTION
- W/S AS PER CITY SPECIFICATION
- EMERGENCY OVERLAND ESCAPE ROUTE
- DRAINAGE AREA
- STORM FLOOR EVENT
- DRAINAGE AREA NUMBER
- EXISTING
- TO BE REMOVED
- DEPRESSED CURB
- UNLESS NOTED OTHERWISE
- FRONT FLOOR ELEVATION
- SEPARATED CURB REQUIRED AT ALL CROSSING LOCATIONS
- STORM DRAINAGE AREA
- ALL DRAINAGE IS TO BE CONTAINED ON SITE, UNLESS OTHERWISE NOTED.
- FRONT GRADES SHOWN ARE AT APPLS AND LANDSCAPE GRADES.
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED ST 300 PVC
- PROPOSED ST 150 PVC
- PROPOSED ST 100 PVC
- PROPOSED HYDRANT
- EXISTING HYDRANT
- PROPOSED WATERMAIN & VALVE
- EXISTING WATERMAIN & VALVE
- WATER METER ROOM
- ELECTRICAL SERVICE
- GAS SERVICE
- WEAVING TILE DRAIN
- LINESET TOP OF FINISH
- MIN. FLOOR ELEVATION
- MIN. MAIN GRADE ELEVATION
- MINIMUM GRADE ELEVATION RESTRICTING COASTAL REINFORCEMENT
- BACK OF WALK
- UP OF GUTTER

- NOTES:**
- ALL WORK TO BE COMPLETED TO CITY OF CALGARY STANDARDS.
  - ALL ELEVATIONS ARE GEODETIC.
  - ALL SANITARY, STORM AND WEAVING TILE DRAIN MANHOLES SHALL BE TYPE SA UNLESS OTHERWISE SPECIFIED.
  - ALL SANITARY SEWER MAINS TO BE PVC SDR 35 BAS RIG, CLASS III BEDDING UNLESS NOTED OTHERWISE.
  - ALL STORM SEWER MAINS TO BE PVC SDR 35 BAS RIG, CLASS III BEDDING UNLESS NOTED OTHERWISE.
  - BEDDING FOR CONCRETE PIPES TO BE CLASS C.
  - ALL WATER MAINS 150mm AND LARGER TO BE PVC DR 18, CLASS III BED, 100mm WATER MAINS TO BE PVC DR 14, CLASS III BED.
  - HYDRANT VALVES LOCATED 1.0m FROM MAIN UNLESS OTHERWISE NOTED.
  - 20, 25, 40 & 50mm WATER SERVICES TO BE PEX PIPE.
  - 100mm SANITARY SERVICES TO BE PVC DR 28.
  - 75mm (WEAVING TILE DRAIN) SERVICES TO BE PVC DR 28.
  - ALL LOTS ADJACENT TO TRAPPED LOWS WITH POND DEPTHS EXCEEDING 0.30m AND THE POND SPILL-OVER ELEVATION ENCRoACHING ON TO THE LOTS WILL HAVE RESTRICTIVE COVENANTS SPECIFYING MINIMUM GRADES PLACED ON THEM. THESE GRADES ARE LABELLED WITH A "MOP". ALL OPENINGS (DOORS, WINDOWS, GARAGE, ETC. ARE ABOVE THE MINIMUM SURFACE GRADE MG OR RM).

**PERTINENT DATA:**

SITE LOCATION:  
1201 N/A DRIVE SW  
CALGARY, AB

LEGAL DESCRIPTION:  
PLAN 161 2946, LOT 5, BLOCK 3  
SEC. 27, TWP. 24, R2E 2, W5M  
AREA=xx ha

DEVELOPMENT PERMIT NUMBER:  
DP2022-07470

**CITY OF CALGARY**  
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED: \_\_\_\_\_

CIRCULATION TO: \_\_\_\_\_ INITIAL: \_\_\_\_\_ DATE: \_\_\_\_\_

WATER RESOURCES: \_\_\_\_\_

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTRY OF THEIR DESIGN AND TO PERFORM INSPECTIONS AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

**1201 N/A DRIVE S.W.**  
CALGARY ALBERTA

TRINITY HILLS TOWNHOUSE INC.

**SITE UTILITIES**

HILCO PROJECTS INC.  
Association of Professional Engineers and Geoscientists of Alberta

PERMIT TO PRACTICE NO. P07866

HILCO PROJECTS INC.

DESIGNED BY: HIC CHECKED BY: HIC PROJECT NO. 1096  
SCALE: AS SHOWN DATE: SEP 2023  
SCALE: AS SHOWN DATE: SEP 2023

SW-C2.1

- SANITARY SERVICE 100mm PVC & WATER SERVICE 50mm PEX TO BE 0.30m APART CENTER TO CENTER
- MINIMUM DEPTH OF TOPSOIL REQUIRED OF 300mm FOR SODDED AREAS AND 600mm FOR SHRUB AND TREE BEDS
- JOINTLESS WATER PIPE UNDER SLAB
- BUILDINGS 1, 2, 3 & 4 MAIN FLOOR AREAS ARE BELOW GRADE. MAIN FLOOR TREATED AS BASEMENT.
- BUILDINGS 5 TO 20 DO NOT HAVE BASEMENTS
- ALL DOWNPIPE/DOWNSPOUTS FROM ROOF TO BE DIRECTED TO THE ONSITE STORM SYSTEM
- ONSITE TREES, DECK AND FENCE POSTS TO BE LOCATED AWAY FROM PIPES, VALVES AND MANHOLES

**2 SITE UTILITIES**  
Scale: 1:250





**GENERAL NOTES**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE LATEST AS-BUILT PLAN FOR BUILDING, GENERAL, SANITARY AND ROAD LOCATIONS AND DIMENSIONS. FOR PAINT MARKINGS DETAILS REFER TO LATEST AS-BUILT PLAN.

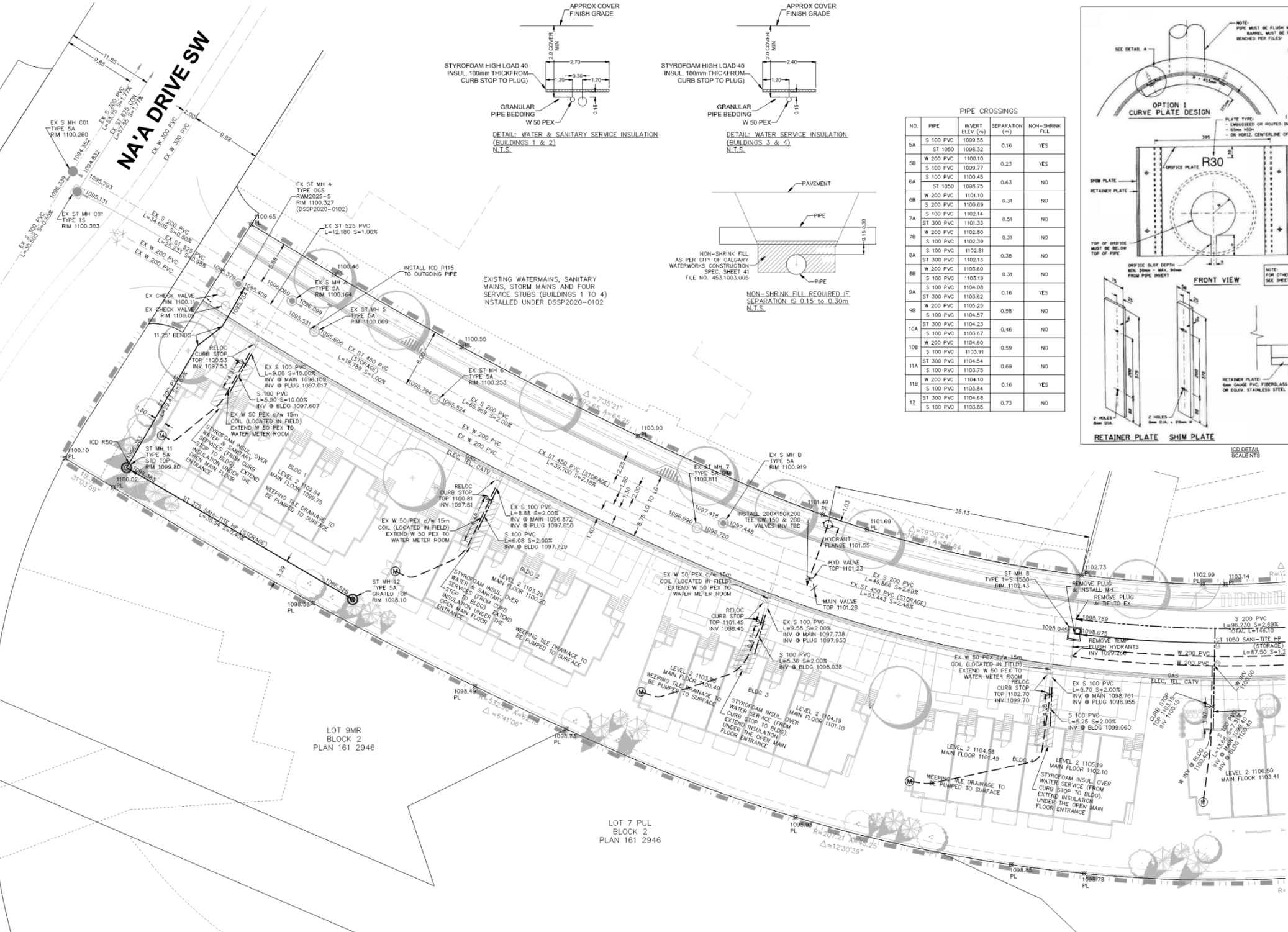
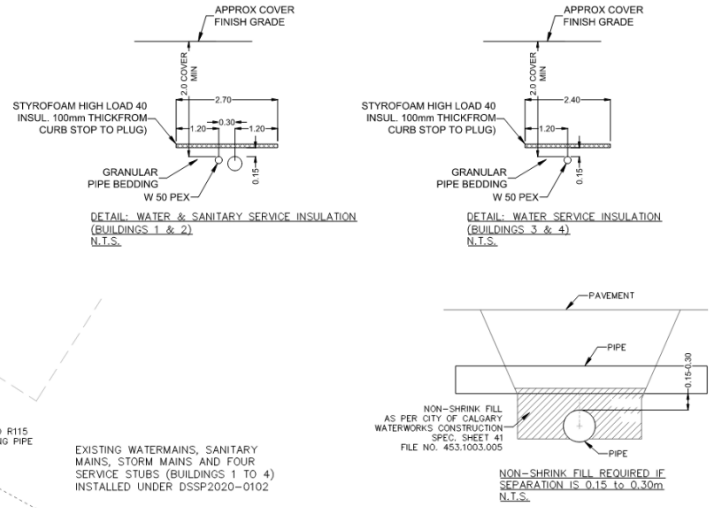
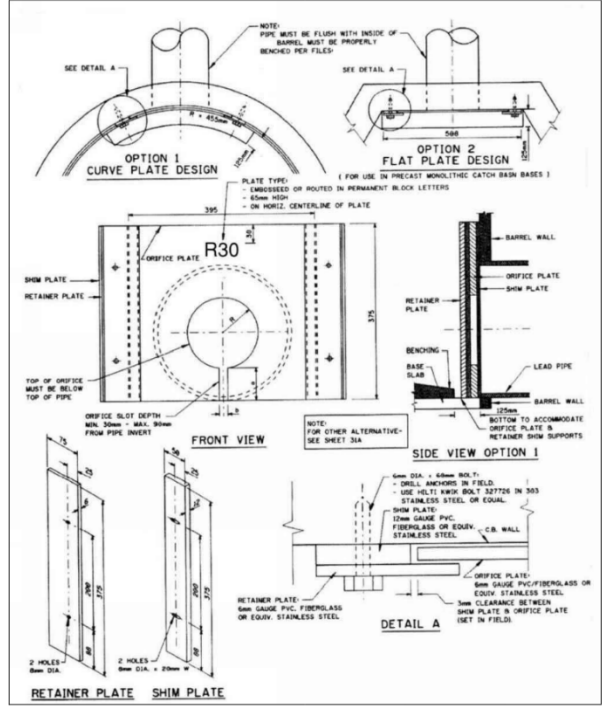
THIS DRAWING IS TO BE USED FOR SITE SERVING AND GRADING INFORMATION ONLY.

**LEGEND:**

- CONSTRUCTION BOUNDARY
- CONCRETE SIDEWALK
- WHEEL CHAIR RAMP
- ORIGINAL GROUND CONTOUR (NAAPS)
- ORIGINAL GROUND CONTOUR (AS-BUILT)
- LINE OF UTILITY
- PROPOSED STREET LIGHT
- PROPOSED STREET LIGHT TRANSFORMER
- NEET CONTROL DEVICE SIZE RADIUS IN MM
- EXISTING GRADE
- PROPOSED GRADE (AT APPLICABLE)
- DRAINAGE DETAIL
- WDR AS PER CITY SPECIFICATION
- EMERGENCY OVERLAND ESCAPE ROUTE
- DRAINAGE AREA NUMBER
- EXISTING TO BE REMOVED
- WDR CORROSION CLASS UNLESS NOTED OTHERWISE
- PROPOSED FLOOR ELEVATION
- EMERGENCY CORRECTION AT ALL DRAINAGE LOCATIONS UNLESS NOTED OTHERWISE
- STORM DRAINAGE AREA
- ALL DRAINAGE IS TO BE CONTAINED ON-SITE, UNLESS OTHERWISE NOTED.
- PROPOSED GRADES SHOWN ARE AT APPLICABLE AND UNLESS OTHERWISE NOTED:
- PROPOSED EXISTING LANDSCAPE
- EXISTING LANDSCAPE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED EXISTING STORM DRAIN
- PROPOSED EXISTING HYDRANT
- PROPOSED EXISTING HYDRANT
- PROPOSED WATERMAIN & VALVE
- EXISTING WATERMAIN & VALVE
- WATER METER ROOM
- ELECTRICAL SERVICE
- GAS SERVICE
- WEEDING TILE DRAIN
- LINSEET TOP OF FLOORING
- MAIN FLOOR ELEVATION
- MINIMUM GRADE ELEVATION
- RELEVANT ELEVATION REQUIREMENT
- BACK OF WALK
- LINE OF UTILITY

**PIPE CROSSINGS**

NO.	PIPE	INVERT ELEV. (m)	SEPARATION (m)	NON-SHRINK FILL
5A	S 100 PVC	1099.55	0.16	YES
5B	W 200 PVC	1100.10	0.23	YES
6A	S 100 PVC	1099.77	0.63	NO
6B	W 200 PVC	1101.10	0.31	NO
7A	S 100 PVC	1102.14	0.51	NO
7B	W 200 PVC	1102.80	0.31	NO
8A	S 100 PVC	1102.81	0.38	NO
8B	W 200 PVC	1103.69	0.31	NO
9A	S 100 PVC	1104.08	0.16	YES
9B	W 200 PVC	1105.25	0.58	NO
10A	S 100 PVC	1104.23	0.46	NO
10B	W 200 PVC	1104.60	0.59	NO
11A	S 100 PVC	1104.54	0.69	NO
11B	W 200 PVC	1104.10	0.16	YES
12	S 100 PVC	1103.85	0.73	NO



- NOTES:**
- ALL WORK TO BE COMPLETED TO CITY OF CALGARY STANDARDS.
  - ALL ELEVATIONS ARE GEODETIC.
  - ALL SANITARY, STORM AND WEEDING TILE DRAIN MANHOLES SHALL BE TYPE SA UNLESS OTHERWISE SPECIFIED.
  - ALL SANITARY SEWER MAINS TO BE PVC SDR 35 BARS IN CLASS B BEDDING UNLESS NOTED OTHERWISE.
  - ALL STORM SEWER MAINS TO BE PVC SDR 35 B&S RG CLASS B BEDDING UNLESS NOTED OTHERWISE.
  - BEDDING FOR CONCRETE PIPES TO BE CLASS C.
  - ALL WATER MAINS 150mm AND LARGER TO BE PVC DR 14, CLASS B BED.
  - HYDRANT VALVES LOCATED 1.0m FROM MAIN UNLESS OTHERWISE NOTED.
  - 20, 25, 40 & 50mm WATER SERVICES TO BE PEX PIPE.
  - 100mm SANITARY SERVICES TO BE PVC DR 25.
  - 75mm (WEEDING TILE DRAIN) SERVICES TO BE PVC DR 25.
  - ALL LOTS ADJACENT TO TRAPPED LOWS WITH POND DEPTHS EXCEEDING 0.30m AND THE POND SPILL OVER ELEVATION ENCROACHING ON TO THE LOTS WILL HAVE RESTRICTIVE COVENANTS SPECIFYING MINIMUM GRADES PLACED ON THEM. THESE GRADES ARE LABELLED WITH A "TM". ALL OPENINGS (DOORS, WINDOWS, GARAGE, ETC. ARE ABOVE THE MINIMUM SURFACE GRADE MG OR RMG.

**PERTINENT DATA:**

**SITE LOCATION:**  
1201 NA'A DRIVE S.W.  
CALGARY, AB

**LEGAL DESCRIPTION:**  
PLAN 161 2946, LOT 5, BLOCK 3  
SEC 27, TWP 24, RGE 2, WEM  
AREA-XX (S)

**DEVELOPMENT PERMIT NUMBER:**  
DP2022-07470

**CITY OF CALGARY**  
DEVELOPMENT SITE SERVING PLAN

DATE RECEIVED: \_\_\_\_\_

CIRCULATION TO: \_\_\_\_\_ INITIAL: \_\_\_\_\_ DATE: \_\_\_\_\_

WATER RESOURCES: \_\_\_\_\_

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION AND DUE DILIGENCE BY THE ENGINEER OR RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND TO PERFORM INSPECTIONS AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

**1201 NA'A DRIVE S.W. CALGARY ALBERTA**

TRINITY HILLS TOWNHOUSE INC.

**SITE UTILITIES**

HILCO PROJECTS INC.  
Association of Professional Engineers and Geoscientists of Alberta

PERMIT TO PRACTICE NO. P07866

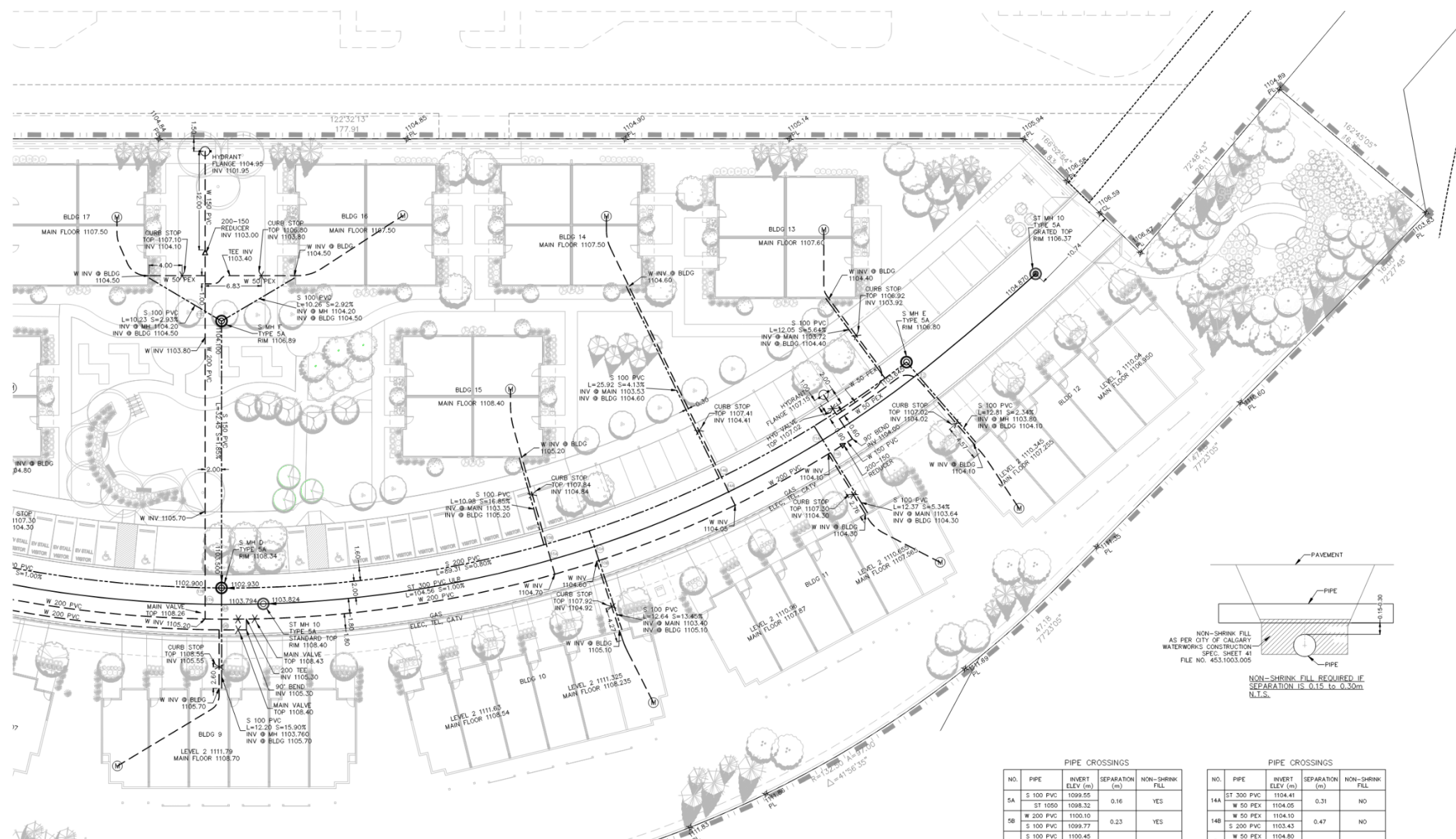
HILCO PROJECTS INC.

DESIGN BY: HIC CHECKED BY: HIC PROJECT NO. 1096  
SCALE: AS SHOWN DATE: 11/20/23

SW-C2.1

- SANITARY SERVICE 100mm PVC & WATER SERVICE 50mm PEX TO BE 0.30m APART CENTER TO CENTER
- MINIMUM DEPTH OF TOPSOIL REQUIRED OF 300mm FOR SOODED AREAS AND 600mm FOR SHRUB AND TREE BEDS
- JOINTLESS WATER PIPE UNDER SLAB
- BUILDINGS 1, 2, 3 & 4 MAIN FLOOR AREAS ARE BELOW GRADE. MAIN FLOOR TREATED AS BASEMENT.
- BUILDINGS 5 TO 20 DO NOT HAVE BASEMENTS
- ALL DOWNPIPE/DOWNSPOUTS FROM ROOF TO BE DIRECTED TO THE ONSITE STORM SYSTEM
- ONSITE TREES, DECK AND FENCE POSTS TO BE LOCATED AWAY FROM PIPES, VALVES AND MANHOLES

**2 SITE UTILITIES**  
Scale: 1:250



**GENERAL NOTES:**

THIS PLAN IS TO BE READ IN CONNECTION WITH THE LATEST ASSESSMENT PLAN REFER TO THE LATEST ASSESSMENT PLAN FOR BUILDING, SIDEWALK, PATHWAY AND ROAD LOCATIONS AND DIMENSIONS. FOR PAINT MARKINGS DETAILS REFER TO LATEST ASSESSMENT PLAN.

THIS DRAWING IS TO BE USED FOR SITE SERVING AND GRADING INFORMATION ONLY.

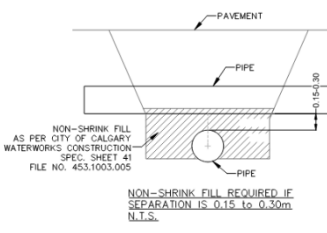
**LEGEND:**

- CONSTRUCTION BOUNDARY
- CONCRETE SIDEWALK
- WHEEL CHAIR RAMP
- ORIGINAL GRADING (MAJOR)
- ORIGINAL GRADING (MINOR)
- LP OF UTILITY
- LP OF OUTER RADIOS
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT
- TRANSFORMER
- NET CONTROL DEVICE SIZE RADIUS IN MM
- EXISTING GRACE
- FINISH GRACE (AT ASPHALT)
- DRAINAGE DIRECTION
- WORK AS PER CITY SPECIFICATION
- EMERGENCY OVERLAND ESCAPE ROUTE
- DRAINAGE AREA
- STORM DRAIN AREA

**2 DRAINAGE AREA NUMBER**

- EX. EXISTING
- PROPOSED
- UNLESS NOTED OTHERWISE
- FROM FLOOR ELEVATION
- SEPARATED OVER REQUIRED AT ALL CROSSING LOCATIONS
- STORM DRAINAGE AREA
- ALL DRAINAGE IS TO BE CONTAINED ON-SITE, UNLESS OTHERWISE NOTED
- FRESH GRADES SHOWN ARE AT ASPHALT AND LANDSCAPED GRADES
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED ST 300 PVC SEWER
- EXISTING ST 300 PVC SEWER
- PROPOSED HYDRANT
- EXISTING HYDRANT
- PROPOSED WATERMAIN & VALVE
- EXISTING WATERMAIN & VALVE
- WATER METER ROOM
- ELECTRICAL SERVICE
- GAS SERVICE
- WEAVING TILE DRAIN
- LOWEST TOP OF FINISHING
- MAIN FLOOR ELEVATION
- MINIMUM GRADE ELEVATION
- MINIMUM GRADE ELEVATION RESTRICTIVE COVENANT
- BACK OF WALKER
- LP OF UTILITY

- NOTES:**
- ALL WORK TO BE COMPLETED TO CITY OF CALGARY STANDARDS.
  - ALL ELEVATIONS ARE GEODETIC.
  - ALL SANITARY, STORM AND WEAVING TILE DRAIN MANHOLES SHALL BE TYPE SA UNLESS OTHERWISE SPECIFIED.
  - ALL SANITARY SEWER MAINS TO BE PVC SDR 35 BBS R0, CLASS III BEDDING UNLESS NOTED OTHERWISE.
  - ALL STORM SEWER MAINS TO BE PVC SDR 35 BBS R0, CLASS III BEDDING UNLESS NOTED OTHERWISE.
  - BEDDING FOR CONCRETE PIPES TO BE CLASS C.
  - ALL WATER MAINS 150mm AND LARGER TO BE PVC DR 18, CLASS III BED, 150mm WATER MAINS TO BE PVC DR 14, CLASS III BED.
  - HYDRANT VALVES LOCATED 1.0m FROM MAIN UNLESS OTHERWISE NOTED.
  - 20, 25, 40 & 50mm WATER SERVICES TO BE PEX PIPE.
  - 150mm SANITARY SERVICES TO BE PVC DR 28.
  - 150mm (WEAVING TILE DRAIN) SERVICES TO BE PVC DR 28.
  - ALL LOTS ADJACENT TO TRAPPED LOWS WITH POND DEPTHS EXCEEDING 0.30m AND THE POND SPILL OVER ELEVATION ENCRoACHING ON TO THE LOTS WILL HAVE RESTRICTIVE COVENANTS SPECIFYING MINIMUM GRADES PLACED ON THEM. THESE GRADES ARE LABELLED WITH A "TRM". ALL OPENINGS (DOORS, WINDOWS, GARAGE, ETC. ARE ABOVE THE MINIMUM SURFACE GRADE MD OR RMG.



**2 SITE UTILITIES**  
Scale: 1:250

NO.	PIPE	INVERT ELEV. (m)	SEPARATION (m)	NON-SHRINK FILL
5A	S 100 PVC	1099.55	0.16	YES
5B	ST 1050	1098.32	0.23	YES
5B	W 200 PVC	1100.10	0.63	NO
5B	S 100 PVC	1099.77	0.23	YES
6A	S 100 PVC	1100.45	0.23	NO
6A	ST 1050	1098.75	0.63	NO
6B	W 200 PVC	1101.10	0.31	NO
6B	S 200 PVC	1100.69	0.31	NO
7A	S 100 PVC	1102.14	0.51	NO
7A	ST 300 PVC	1101.33	0.51	NO
7B	W 200 PVC	1102.80	0.31	NO
7B	S 100 PVC	1102.39	0.31	NO
8A	S 100 PVC	1102.81	0.38	NO
8A	ST 300 PVC	1102.13	0.38	NO
8B	W 200 PVC	1103.60	0.31	NO
8B	S 100 PVC	1103.19	0.31	NO
9A	S 100 PVC	1104.08	0.16	YES
9A	ST 300 PVC	1103.62	0.16	YES
9B	W 200 PVC	1105.25	0.58	NO
9B	S 100 PVC	1104.57	0.58	NO
10A	ST 300 PVC	1104.23	0.46	NO
10A	S 100 PVC	1103.67	0.46	NO
10B	W 200 PVC	1104.80	0.59	NO
10B	S 100 PVC	1103.91	0.59	NO
11A	ST 300 PVC	1104.54	0.69	NO
11A	S 100 PVC	1103.75	0.69	NO
11B	W 200 PVC	1104.10	0.16	YES
11B	S 100 PVC	1103.84	0.16	YES
12	ST 300 PVC	1104.68	0.73	NO
12	S 100 PVC	1103.85	0.73	NO

NO.	PIPE	INVERT ELEV. (m)	SEPARATION (m)	NON-SHRINK FILL
14A	ST 300 PVC	1104.41	0.31	NO
14A	W 50 PEX	1104.05	0.47	NO
14B	W 50 PEX	1104.10	0.47	NO
14B	S 200 PVC	1103.43	0.47	NO
15A	W 50 PEX	1104.80	0.32	NO
15A	ST 300 PVC	1104.18	0.32	NO
15B	W 50 PEX	1104.80	1.35	NO
15B	S 200 PVC	1103.25	1.35	NO
17A	W 200 PVC	1105.20	1.45	NO
17A	ST 300 PVC	1103.55	1.45	NO
17B	W 200 PVC	1105.20	2.12	NO
17B	S 200 PVC	1102.88	2.12	NO
17C	S 100 PVC	1104.27	0.37	NO
17C	ST 300 PVC	1103.70	0.37	NO
18A	W 50 PEX	1104.25	1.40	NO
18A	ST 300 PVC	1102.55	1.40	NO
18B	W 50 PEX	1104.25	1.45	NO
18B	S 200 PVC	1102.59	1.45	NO
19A	W 50 PEX	1103.40	1.42	NO
19A	ST 300 PVC	1101.68	1.42	NO
19B	W 50 PEX	1103.40	0.86	NO
19B	S 200 PVC	1102.34	0.86	NO
20A	W 50 PEX	1102.00	1.83	NO
20A	ST 1050	1099.10	1.83	NO
20B	W 50 PEX	1102.00	0.90	NO
20B	S 200 PVC	1100.90	0.90	NO

SANITARY SERVICE 100mm PVC & WATER SERVICE 50mm PEX TO BE 0.30m APART CENTER TO CENTER

MINIMUM DEPTH OF TOPSOIL REQUIRED OF 300mm FOR SOODED AREAS AND 600mm FOR SHRUB AND TREE BEDS

JOINTLESS WATER PIPE UNDER SLAB

BUILDINGS 5 TO 20 DO NOT HAVE BASEMENTS

ALL DOWNPIPE/DOWNSPOUTS FROM ROOF TO BE DIRECTED TO THE ONSITE STORM SYSTEM

ONSITE TREES, DECK AND FENCE POSTS TO BE LOCATED AWAY FROM PIPES, VALVES AND MANHOLES

**PERTINENT DATA:**

SITE LOCATION:  
1201 N/A DRIVE S.W.  
CALGARY, AB

LEGAL DESCRIPTION:  
PLAN 181 2346, LOT 5, BLOCK 3  
SEC 27, TWP 24, RGE 2, W5M  
AREA=XX ha

DEVELOPMENT PERMIT NUMBER:  
DP2022-07470

**CITY OF CALGARY**  
DEVELOPMENT SITE SERVING PLAN

DATE RECEIVED

CIRCULATION TO

WATER RESOURCES

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1201 N/A DRIVE S.W.  
CALGARY ALBERTA

TRINITY HILLS TOWNHOUSE INC.

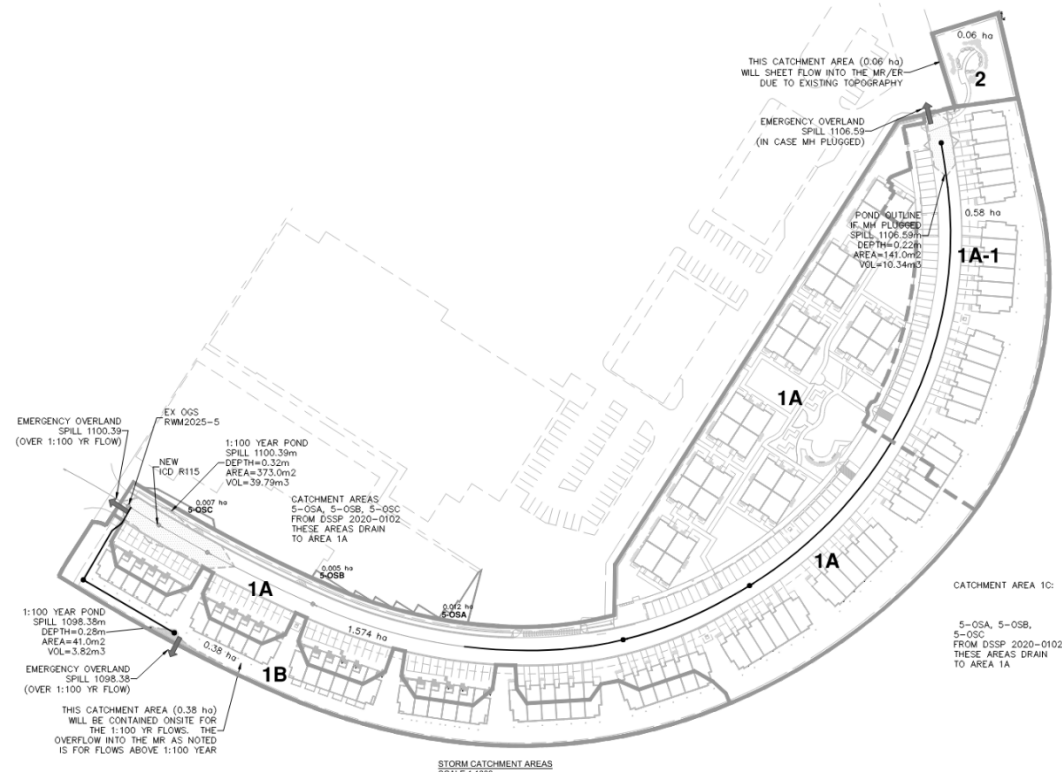
**SITE UTILITIES**

HILCO PROJECTS INC.  
Association of Professional Engineers and Geoscientists of Alberta

PERMIT TO PRACTICE NO. P07866

HILCO PROJECTS INC.

DESIGN BY: HC CHECKED BY: HC PROJECT NO. 11096  
SCALE: AS SHOWN DATE: SEP 2023  
SW-C2.3



### STORM CALCULATIONS

**TOTAL SITE AREA = 2.57 Ha Total Lot Area**  
**ADIACENT CATCHMENT = 0.024 Ha (from DSSP2020-0102)**  
**TOTAL CATCHMENT AREA = 2.594 Ha**  
**AREA FLOW RATE = 120 L/s/ha**  
**ALLOWABLE FLOW = 311.28 L/s**

**CATCHMENT AREA # 1A**

**Input Variables**  
 I = 82.55 mm/hr (Intensity)  
 Q1 = 120 L/s/ha  
 Q1 = 258.48 L/s

**Hydraulic Slope Calculation**  
 H1 = 1095.409 m (Invert elev of outlet pipe)  
 H2 = 1100.390 m (Top of Pond)  
 L = 12.18 m (Length of Pipe)

**Manning's Formula**  
 D = 0.525 m (Diameter of Pipe)  
 n = 0.011 (Conc. = 0.013, PVC=0.011)  
 Qa = (1/n) x (D/4)<sup>2/3</sup> x HS<sup>1/2</sup> x (P(D<sup>2</sup>/4) x 1000)  
 Qa = 3250 L/s  
 \*Therefore require control flow

**Actual Run-off From Site**  
 C2 = (Ar x Cr) + (Ac x Cc) + (Ag x Cg) + (Am x Cm) + (Al x Cl)  
 Entire Drainage Area  
 C2 = 0.7579  
 Q2 = C2 x I x A x 2.78  
 Q2 = 374.66 L/s

**Storage Volume Requirement Calculation**  
 C1 = Qa / (82.55 x A x 2.78)  
 C1 = 0.5244  
 A (m<sup>2</sup>) = 0.044248  
 B (m/2) = 9.81  
 C2/C1 = 1.445 = x  
 SVF = 0.13 (from y=0.369x-0.4)  
 H (m) = 4.859  
 V100 = SVF x A x C1 x 1000  
 V100 = 150.61 m<sup>3</sup>

**Storage Volume Provided**  
 Vol pond = 39.79 m<sup>3</sup>  
 Vol 450 mm pipe = 17.04 m<sup>3</sup>  
 Vol 1050 mm pipe = 76.18 m<sup>3</sup>  
 Vol SA MH '5' = 5.06 m<sup>3</sup> up to rim elev  
 Vol SA MH '6' = 4.96 m<sup>3</sup> up to rim elev  
 Vol SA MH '7' = 4.32 m<sup>3</sup> up to spill elev  
 Vol 1-1500 MH '8' = 5.28 m<sup>3</sup> up to spill elev  
 Vol 1-1500 MH '9' = 2.68 m<sup>3</sup> up to spill elev  
 \*total Vol = 155.31 m<sup>3</sup>

**AREA OF LANDSCAPING ABOVE INCLUDES CATCHMENT AREAS**  
 5-05a, 5-05b & 5-05c (total 0.024 ha) FROM DSSP2020-0102

**TOTAL ACTUAL FLOWS**  
 CATCHMENT AREA # 1A 259.22 L/s  
 CATCHMENT AREA # 1B 41.10 L/s  
 CATCHMENT AREA # 2 (FREE FLOW TO STREET) 5.95 L/s

**TOTAL ACTUAL FLOWS 306.27 L/s**  
**TOTAL ALLOWABLE FLOWS 311.28 L/s**  
**TOTAL ACTUAL FLOWS LESS THAN ALLOWABLE FLOWS**

**MINIMUM DEPTH OF TOP SOIL REQUIRED OF 300mm FOR SODDED AREAS AND 600mm FOR SHRUB AND TREE BEDS**

**CATCHMENT AREA # 1B**

**Input Variables**  
 I = 82.55 mm/hr (Intensity)  
 Q1 = 120 L/s/ha  
 Q1 = 45.60 L/s

**Hydraulic Slope Calculation**  
 H1 = 1095.734 m (Invert elev of outlet pipe)  
 H2 = 1098.380 m (Top of Pond)  
 L = 29.47 m (Length of Pipe)

**Manning's Formula**  
 D = 0.150 m (Diameter of Pipe)  
 n = 0.011 (Conc. = 0.013, PVC=0.011)  
 Qa = (1/n) x (D/4)<sup>2/3</sup> x HS<sup>1/2</sup> x (P(D<sup>2</sup>/4) x 1000)  
 Qa = 54 L/s  
 Therefore require control flow

**Actual Run-off From Site**  
 C2 = (Ar x Cr) + (Ac x Cc) + (Ag x Cg) + (Am x Cm) + (Al x Cl)  
 Entire Drainage Area  
 C2 = 0.5895  
 Q2 = C2 x I x A x 2.78  
 Q2 = 51.41 L/s

**Storage Volume Requirement Calculation**  
 C1 = Qa / (82.55 x A x 2.78)  
 C1 = 0.4713  
 A (m<sup>2</sup>) = 0.010554  
 B (m/2) = 9.81  
 C2/C1 = 1.251 = x  
 SVF = 0.06 (from y=0.369x-0.4)  
 H (m) = 2.147  
 V100 = SVF x A x C1 x 1000  
 V100 = 11.02 m<sup>3</sup>

**Storage Volume Provided**  
 Vol pond = 3.82 m<sup>3</sup>  
 Vol 375 mm pipe = 3.75 m<sup>3</sup>  
 Vol SA MH '11' = 2.51 m<sup>3</sup> up to spill elev  
 Vol SA MH '12' = 1.84 m<sup>3</sup> up to rim elev  
 Total Vol = 11.92 m<sup>3</sup>

**CATCHMENT AREA # 2 (FREE FLOW TO STREET)**

**Input Variables**  
 I = 168 mm/hr  
 100 year Storm run-off

**Actual Run-off From Site**  
 C2 = (Ar x Cr) + (Ac x Cc) + (Ag x Cg) + (Am x Cm) + (Al x Cl)  
 Entire Drainage Area  
 C2 = 0.2125  
 Q2 = C2 x I x A x 2.78  
 Q2 = 5.95 L/s

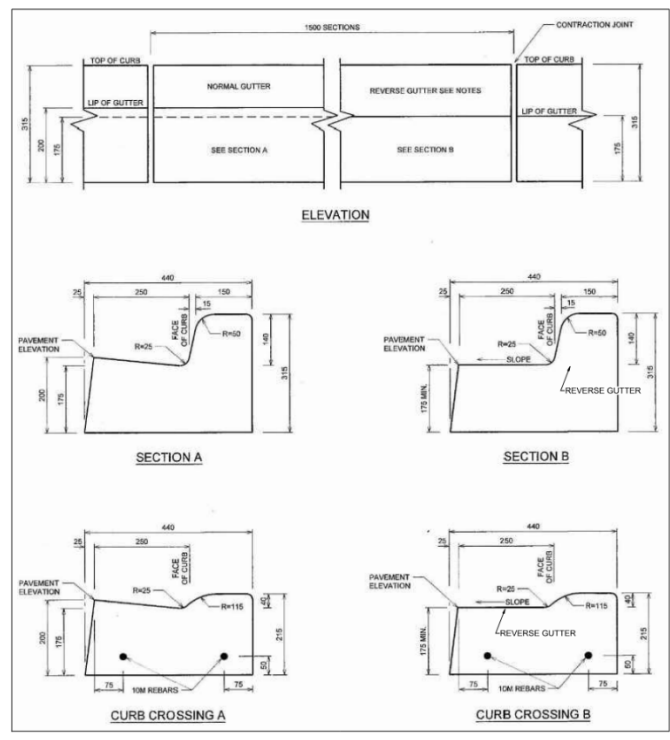
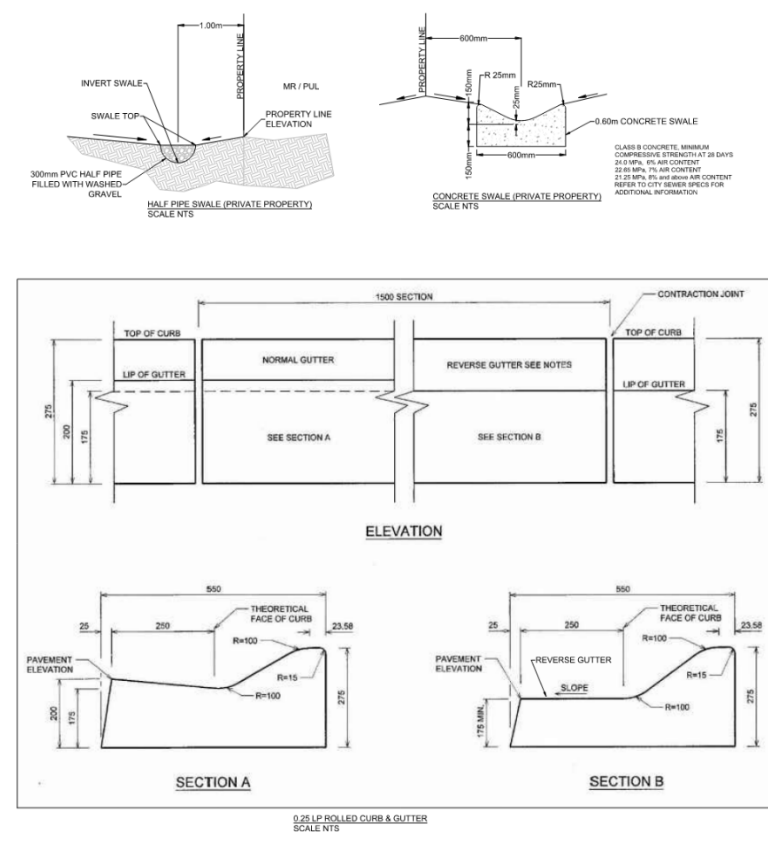
**Sub-Catchment Area # 1A-1**

**Input Variables**  
 I = 82.55 mm/hr (Intensity)  
 Q1 = 120 L/s/ha  
 Q1 = 69.60 L/s

**Actual Run-off From Site**  
 C2 = (Ar x Cr) + (Ac x Cc) + (Ag x Cg) + (Am x Cm) + (Al x Cl)  
 Entire Drainage Area  
 C2 = 0.6453  
 Q2 = C2 x I x A x 2.78  
 Q2 = 85.89 L/s

**Sub-Catchment Area 1A-1 Included in Area 1A**

Subcatchment area 1A-1 is NOT CONTROLLED.  
 THE TRAPLOW IN AREA 1A-1 IS NOT INCLUDED IN THE STORAGE CALCULATIONS  
 ACTUAL FLOWS FROM AREA 1A-1 = 85.89 L/s  
 300mm PIPE CAPACITY @ 1% SLOPE = 113.63 L/s



**PERTINENT DATA:**

SITE LOCATION:  
1201 NAVA DRIVE S.W.  
CALGARY, AB

LEGAL DESCRIPTION:  
PLAN 161 2946, LOT 5, BLOCK 3  
SEC 27, TWP 24, RGE 2, WSM  
AREA=2.57 ha

DEVELOPMENT PERMIT NUMBER:  
DP2022-07470

**MISCELLANEOUS**

HILCO PROJECTS INC.  
Association of Professional Engineers  
and Geoscientists of Alberta

PERMIT TO PRACTICE NO. P07866

HILCO PROJECTS INC.

DESIGN BY: MC CHECKED BY: MC PROJECT NO. 1096  
SCALE: AS SHOWN DATE: SEP 2023

SW-C1.4