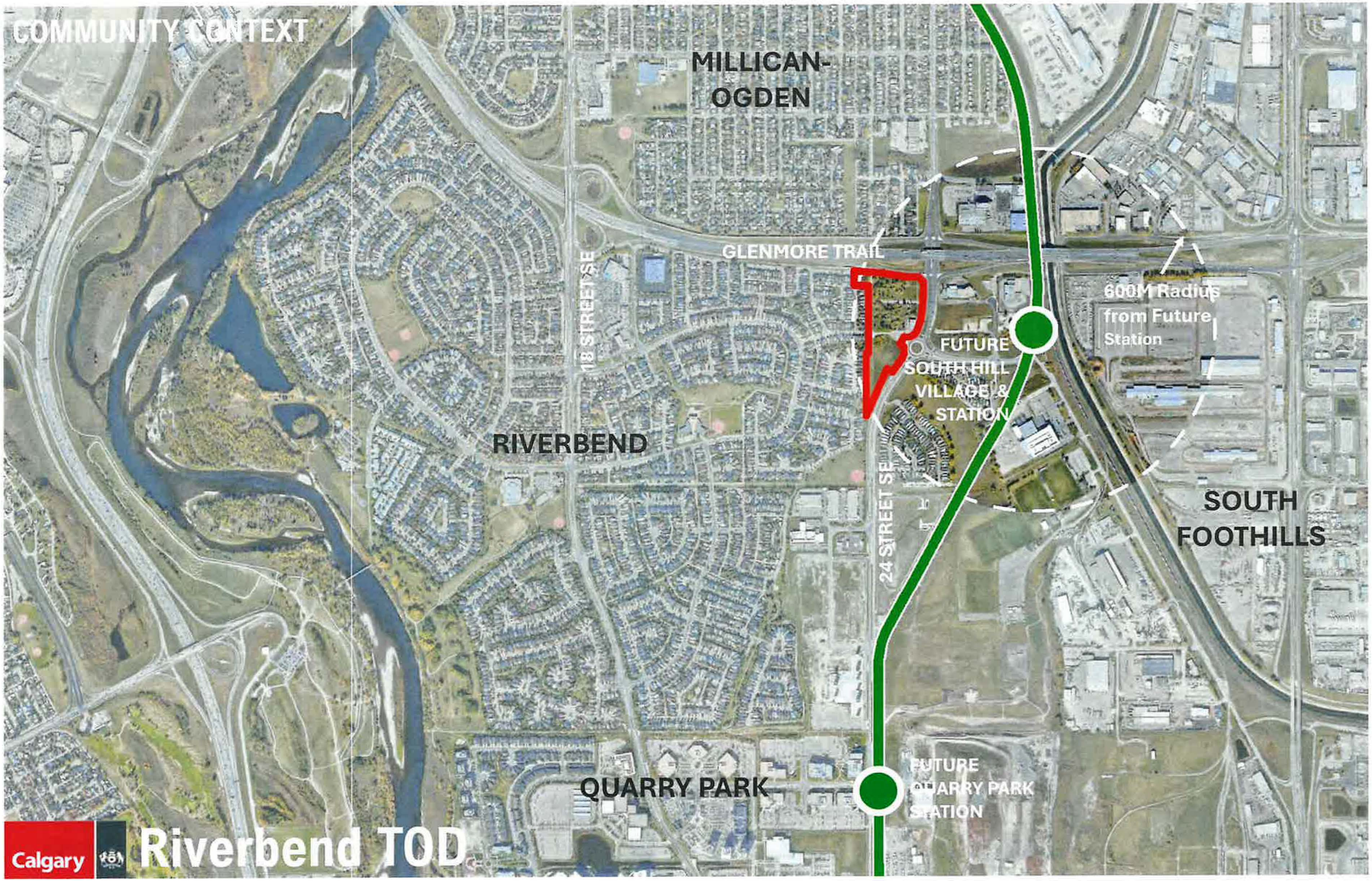
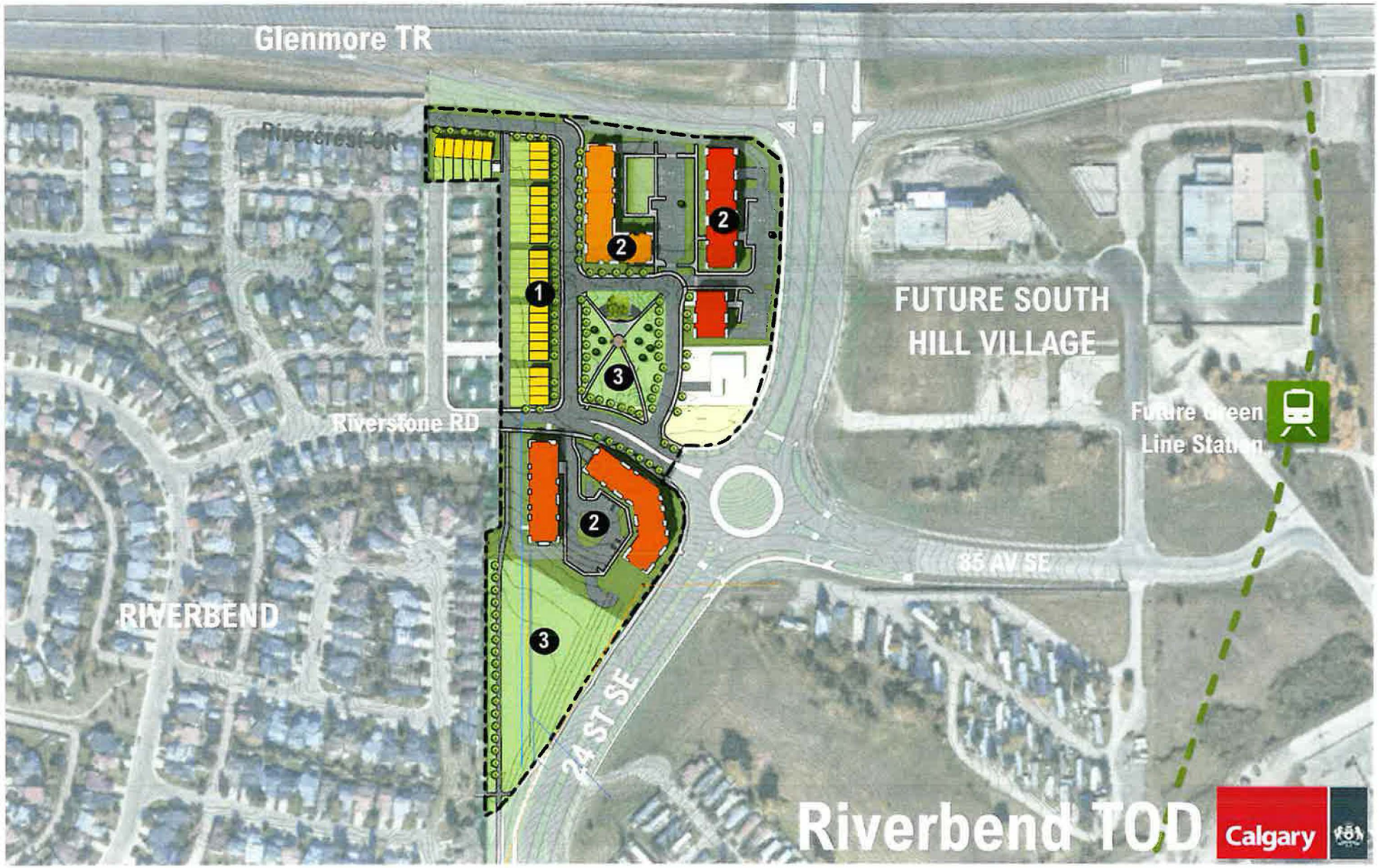

COMMUNITY CONTEXT
MILLICAN-
OGDEN
GLENMORE TRAIL
18 STREET SE
600M Radius
from Future
Station
FUTURE
SOUTH HILL
VILLAGE &
STATION
RIVERBEND
24 STREET SE
SOUTH
FOOTHILLS
QUARRY PARK
FUTURE
QUARRY PARK
STATION
Calgary
Riverbend TOD

A Sensitive Interface of 2-3 storey ground-oriented residential from existing Riverbend Single-detached development ❶

Transition to Transit-Oriented low to medium profile 3-6 storey multi-residential closer to the Station including an affordable housing site ❷

❸

Open Space creating a sense of arrival & placemaking and providing amenities, connectivity and buffer for existing and new Riverbend residents

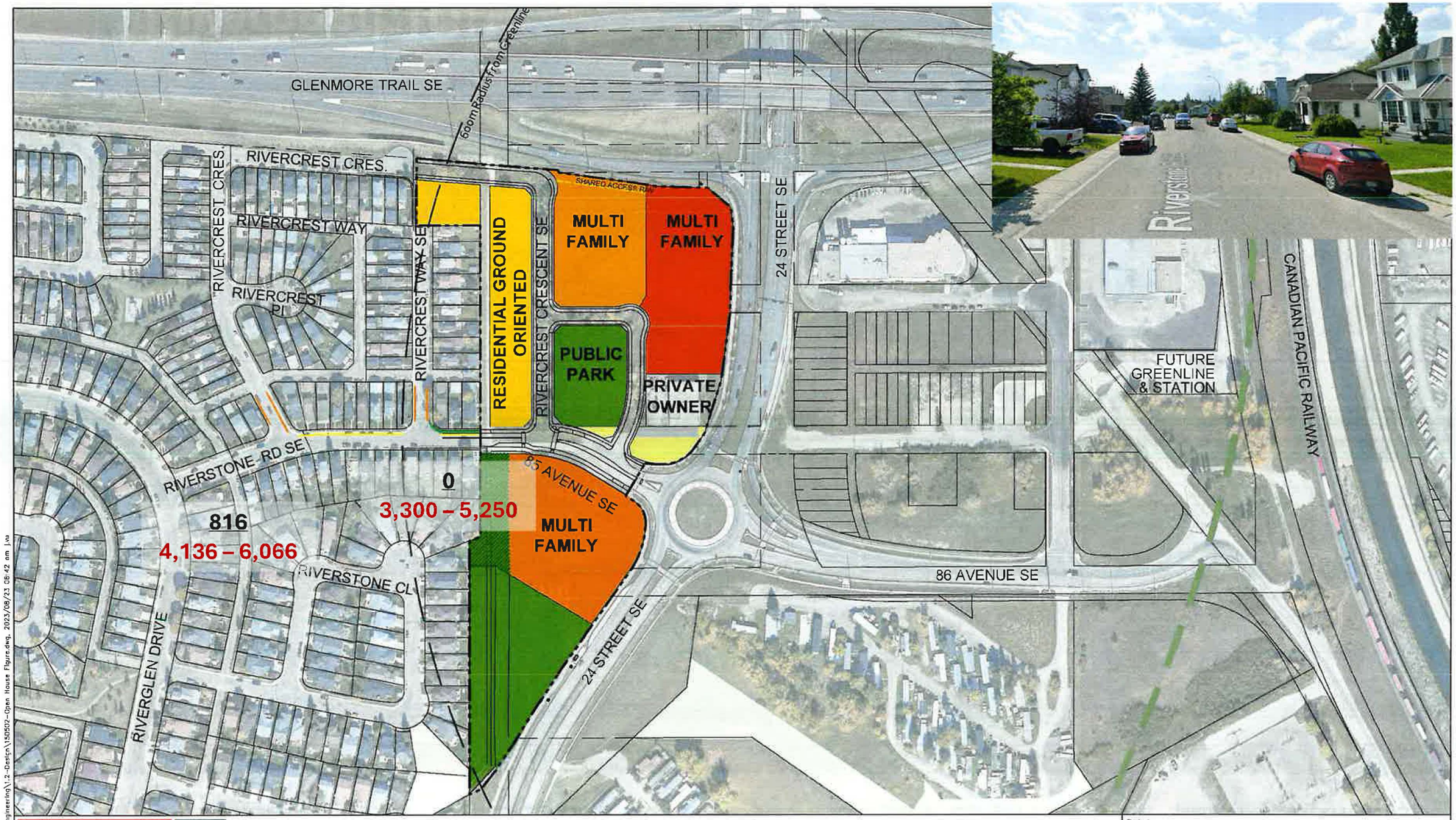


Rivercrest Crescent at the north end will provide an additional connection into Riverbend community

Pedestrian Connection across 24 Street controlled by RRFB to facilitate a safe crossing

Riverstone Road connection into Riverbend TOD will provide direct connection to the future Green Line Station Area and to 24 ST

Pathway through the 20m buffer and southern open space will connect with the existing pathway system in Riverbend



Calgary

0 50 100 150 200 250m

1:2500

STREET PARKING TO BE PROHIBITED

EX. STREET PARKING ON FLANKAGE STREETS

SIDEWALK EXTENSION

Project	RIVERBEND T.O.D
Prepared by	SCHEFFER ANDREW LTD.
Title	PROPOSED RIVERSTONE ROAD

Drawn	Check	Date	Scale	Drawing No.
HV	RT	2023-08-22	1 : 2500	01

J:\150502 – South Hill\1.0-Engineering\1.2-Design\150502-Open House Figure.dwg, 2023/08/23 08:42 am jvu

ENGAGEMENT SUMMARY

The RE&DS team carried out Comprehensive Engagement that involved the following Stakeholders:

- Riverstone Road Most-Affected Residents
- Riverbend Community Association
- Millican-Ogden Community Association
- South Hill Mobile Home Park and Calgary Housing Company
- Alberta Cheese Company
- Caravan Mobile Home Park
- Cllr. Kourtney Penner

Round 1
Prior to Submission

November 21, 2022
OPEN HOUSE
Adjacent Residents: 6 – 7pm
Riverbend Community: 7 – 9pm

Key Issue: Nature and Timing of Riverstone RD connection to 24 ST and Future Green Line Station

More residents supported opening the road for all modes of traffic vs a Transit-Only connection.

Some residents supported Riverstone RD to remain closed.

Round 2
Following Detailed Review by the City

August 28 & 29, 2023
ON-SITE SESSIONS
Riverstone Rd Residents:
6 – 8pm

Riverstone residents expressed the following as their key concerns:

Significant Increase in Traffic

Loss of Parking on the north side of the street

Loss of Property Values

September 21, 2023
OPEN HOUSE
Riverbend Community:
5 – 8pm

There was a shift in opinion from November 2022; The survey results were as follows for Riverstone RD connection:

Transit Only: 22

All Modes: 15

Closed to Vehicles: 11

No Opinion: 3

CLOSING THE LOOP

On October 27, 2023, RE&DS closed the loop on Engagement by advising the residents that Riverbend TOD plan will be revised to show a Transit and Emergency Only connection at this time to be opened at a future date deemed appropriate by Transit.

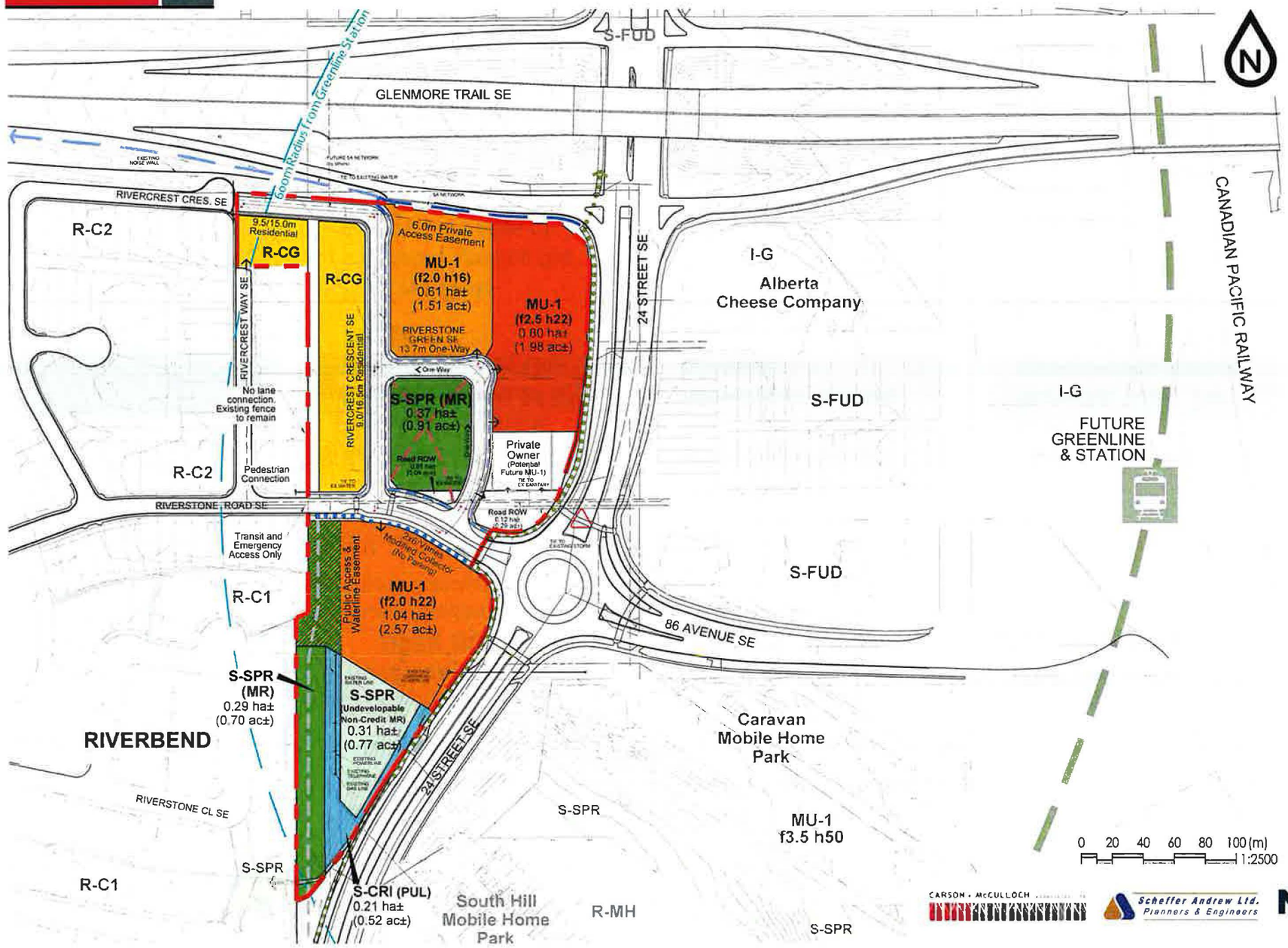
The connection allows for All Modes, should the City and Community decide that in the future.

RE&DS will continue to provide updates through Project websites below:

a. riverbendtod@calgary.ca
b. https://www.calgary.ca/realestate/RiverbendTOD.html

Riverbend TOD (LOC2023-0031)

OUTLINE PLAN, LAND USE & ROAD CLOSURE



OUTLINE PLAN STATISTICS

	Hectares	Acres	Units	%
ROADS Ownership	3.26	8.05		
Road ROW	2.26	5.60		
Private Owner	0.14	0.36		
OUTLINE PLAN AREA	**5.66**	**14.01**		
Undevelopable Existing Road ROW	0.26	0.64		
Undevelopable Non-Credit MR S-SPR	0.31	0.77		
Undevelopable PUL S-CRI	0.21	0.52		
GROSS DEVELOPABLE AREA (GDA)	**4.88**	**12.08**		**100.0%**
RESIDENTIAL	**3.33**	**8.23**		**68.2%**
Mixed Use - General MU-1 (2.5h22)	0.80	1.98		
Anticipated Number of Units at 200uph	200		160	
Anticipated Maximum Number of Units at 250uph	250		200	
Mixed Use - General MU-1 (2.0h22)	1.04	2.57		
Anticipated Number of Units at 150uph	150		156	
Anticipated Maximum Number of Units at 200uph	200		208	
Mixed Use - General MU-1 (2.0h16)	0.61	1.51		
Anticipated Number of Units at 120uph	120		73	
Anticipated Maximum Number of Units at 150uph	150		91	
Residential - Grade-Oriented Infill R-CG (Frontage 215m)	0.69	1.70		
Anticipated Number of Units at 7.5u/ha/width	7.5		29	
Maximum Number of Units 9.0u/ha/width	9		36	
Future Land Use (MU-1 f2.5h22)	0.19	0.47		
Anticipated Number of Units at 200uph	200		38	
Anticipated Maximum Number of Units at 250uph	250		47	
Total Number of Units				
Anticipated Number of Units			455	
Anticipated Maximum Number of Units			592	
Density				
Anticipated	93.44	37.73		
Maximum	119.20	48.18		
Intensity				
Anticipated	220.17	people+jobs per gross developable hectare		
Maximum	260.71	people+jobs per gross developable hectare		
S-SPR OPEN SPACE (Municipal Reserve)	**0.68**	**1.61**		**13.9%**
Central Park	0.37	0.91		
South Hill	0.29	0.70		
Deferred Reserve credit on 8 Street SE, Plan 375AM, Area of Block Y, 8 Street SE, Plan 375AM, Block 32, Portion of Lot 4	0.17	0.40		
PUBLIC DEDICATION	**0.90**	**2.25**		**18.4%**
Roads	0.90	2.25		

Municipal Addresses:
156 Rivercrest Crescent SE
2437 83 Avenue SE
2505-2533 83 Avenue SE
2508-2532 83 Avenue SE
2501-2533 84 Avenue SE
2506-2522 85 Avenue SE
2515-2527 85 Avenue SE
2534 85 Avenue SE
2612 86 Avenue SE
2620 86 Avenue SE
2636 86 Avenue SE
8301-8319 24 Street SE
8401-8417 24 Street SE
8841 24 Street SE
8993 24 Street SE

Legal Descriptions:
Lots 19-24, Block 25, Plan 7700AN
Lots 1-46, Block 28, Plan 375AM
Lots 1-46, Block 33, Plan 375AM
Lots 11-42, Block 34, Plan 375AM
Lot 29PUL, Block 3, Plan 9112315
Lot 41PUL, Block 1, Plan 9111367

Legend
- Outline Plan Boundary
- Contour Interval 1.0m
- 3.0m Regional Pathway
- 3.0m Multi-Use Pathway
- 5A Network
- Future 5A Network (by others)
- 2.5m Concrete Pathway
- 2.0m Asphalt Pathway
- 2.0m Separate Sidewalk
- 2.0m Mono Sidewalk
- 1.5m Mono Sidewalk
- Bus Zone
- Potential Access
- Rectangular Rapid Flashing Beacon (RRFB)
- Existing Powerline
- Existing Telephone Line
- Existing Gas Line

Deep Services - Existing
- Storm Sewer/Manhole
- Sanitary Sewer/Manhole
- Water Main

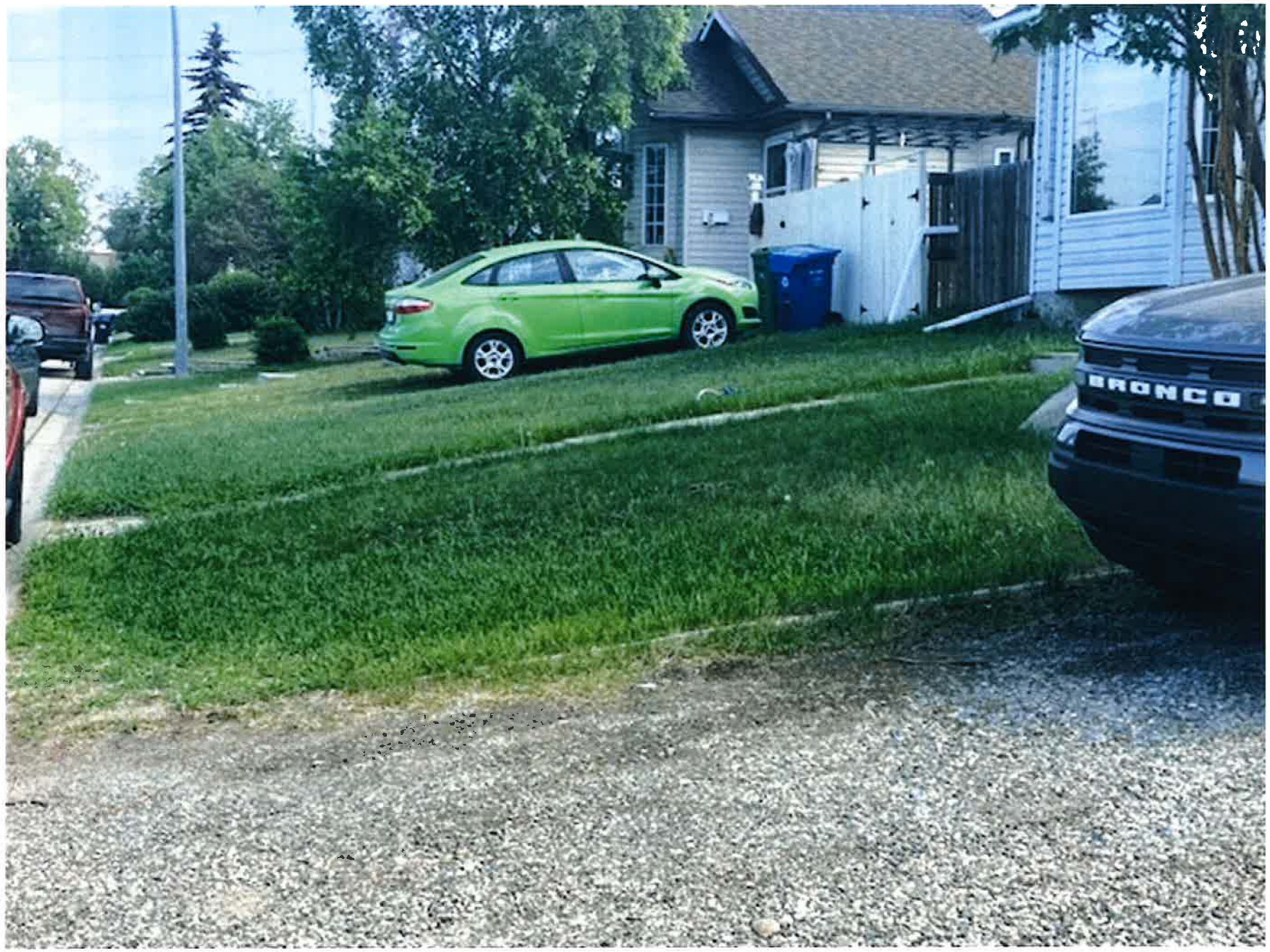
Deep Services - Proposed
- Storm Sewer/Manhole
- Sanitary Sewer/Manhole
- Water Main

CARSON • McCULLOCH
Scheffer Andrew Ltd. Planners & Engineers
NORR SITUATED


Riverstone Place


Riverstone Ridge

Riverstone Ridge


BRONCO