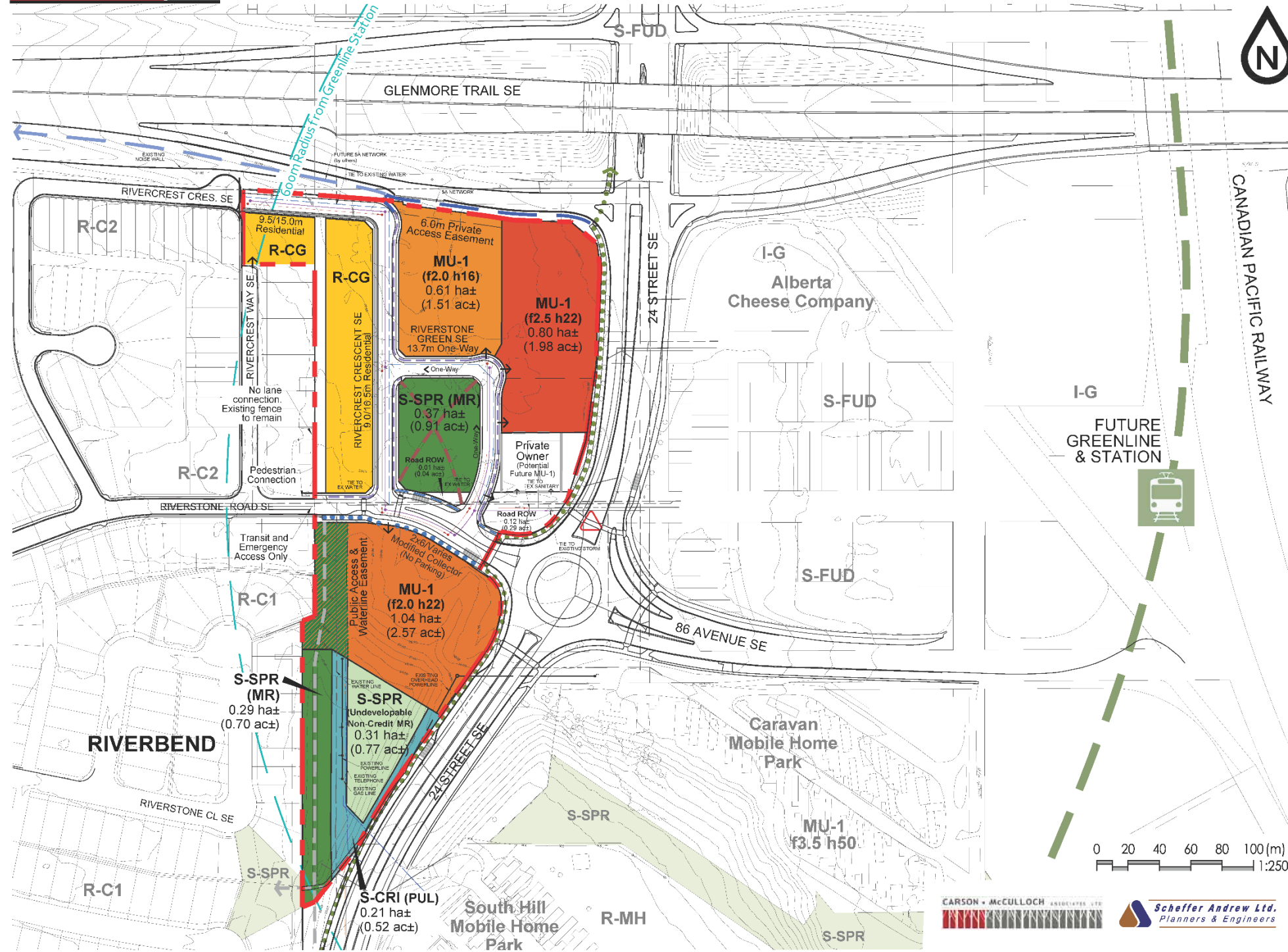


# Proposed Outline Plan

Calgary Planning Commission is the Approving Authority for the Outline Plan. Attachment for Council's reference only.

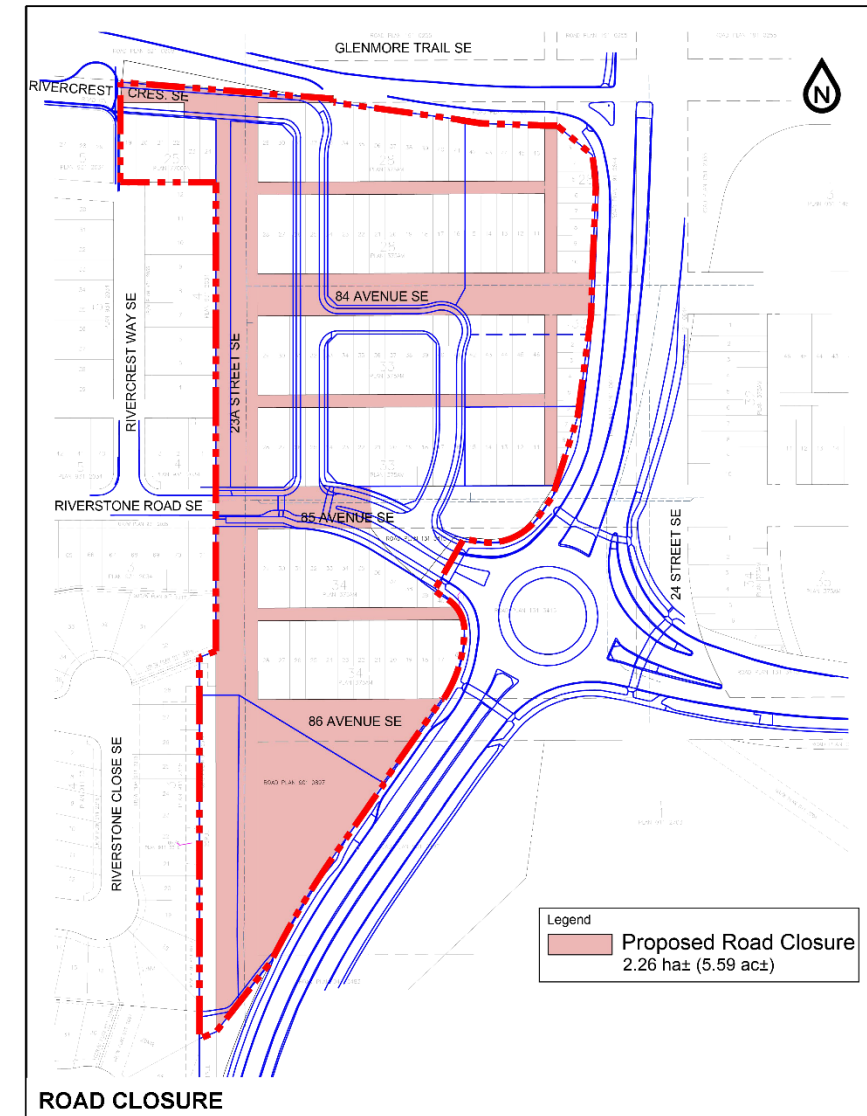
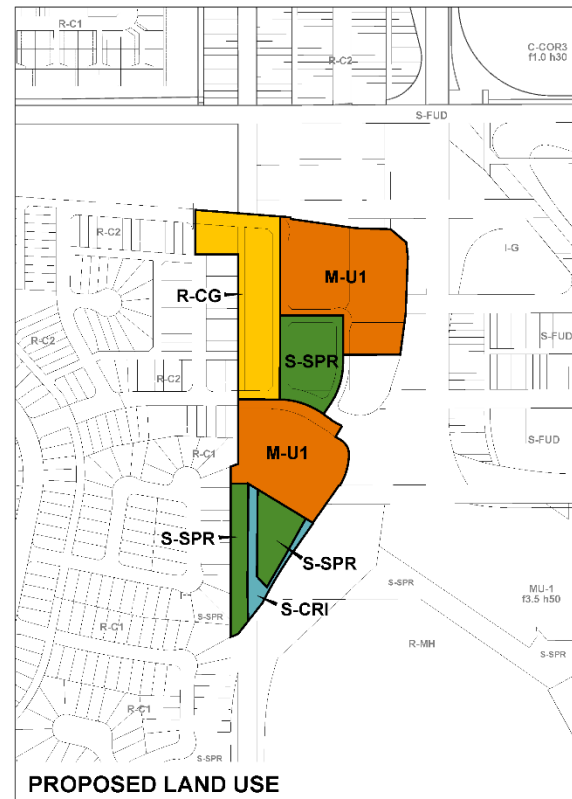
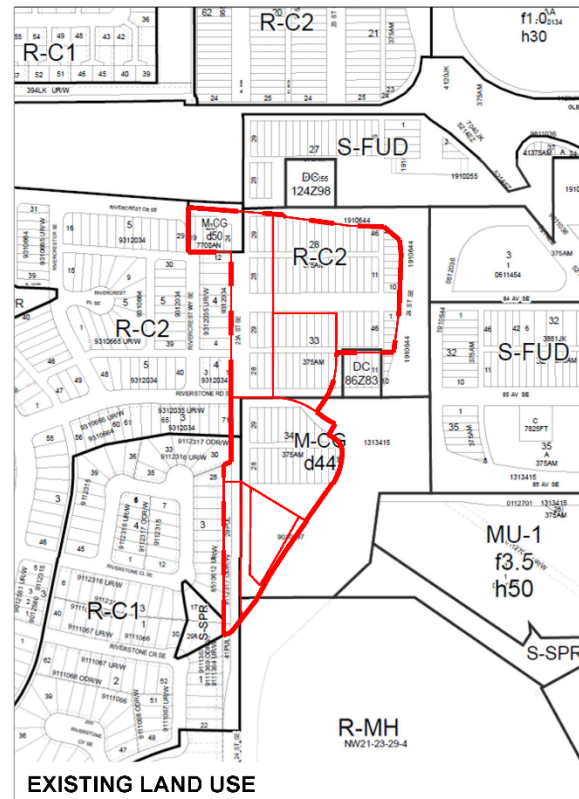
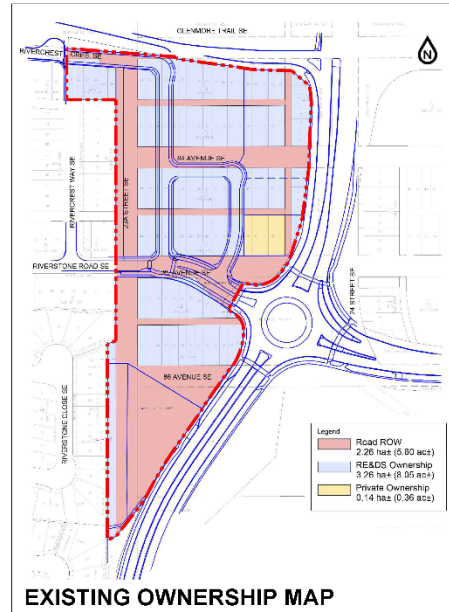


## Riverbend TOD (LOC2023-0031) OUTLINE PLAN, LAND USE & ROAD CLOSURE



OUTLINE PLAN STATISTICS			
	Hectares	Acres	Units
READS Ownership	3.26	8.06	
Road ROW	2.26	5.60	
Private Owner	0.14	0.35	
<b>OUTLINE PLAN AREA</b>	<b>5.66</b>	<b>14.01</b>	
Undevelopable Existing Road ROW	0.26	0.64	
Undevelopable Non-Credit MR S-SPR	0.31	0.77	
Undevelopable PUL S-CRI	0.21	0.52	
<b>GROSS DEVELOPABLE AREA (GDA)</b>	<b>4.88</b>	<b>12.08</b>	<b>100.0%</b>
<b>RESIDENTIAL</b>	<b>3.33</b>	<b>8.23</b>	<b>69.2%</b>
Mixed Use - General MU-1 f2.5h22	0.80	1.98	
Anticipated Number of Units at 200/ha			160
Anticipated Maximum Number of Units at 250/ha			200
Mixed Use - General MU-1 f2.0h22	1.04	2.57	
Anticipated Number of Units at 150/ha			156
Anticipated Maximum Number of Units at 200/ha			208
Mixed Use - General MU-1 f2.0h16	0.61	1.51	
Anticipated Number of Units at 150/ha			73
Anticipated Maximum Number of Units at 200/ha			91
Residential - Grade-Oriented Infill R-CG (Parade 21'w)	0.69	1.70	
Anticipated Number of Units at 7.5m lot width			29
Maximum Number of Units at 6m lot width			36
Future Land Use (MU-1 f2.5h22)	0.19	0.47	
Anticipated Number of Units at 200/ha			38
Anticipated Maximum Number of Units at 250/ha			47
<b>Total Number of Units</b>			<b>456</b>
Anticipated Number of Units			<b>562</b>
<b>Density</b>			
Anticipated	83.44	37.73	
Maximum	119.26	48.16	
<b>Intensity</b>			
Anticipated	220.17	people-jobs/gross developable hectare	
Maximum	280.77	people-jobs/gross developable hectare	
<b>S-SPR OPEN SPACE (Municipal Reserve)</b>	<b>0.66</b>	<b>1.61</b>	<b>13.6%</b>
Central Park	0.37	0.91	
South Park	0.29	0.70	
<b>Public Dedication</b>	<b>0.17</b>	<b>0.40</b>	
Roads	0.90	2.25	<b>18.4%</b>
Roads	0.90	2.25	

- Municipal Addresses:**
- 156 Rivercrest Crescent SE
  - 2437 83 Avenue SE
  - 2505-2533 83 Avenue SE
  - 2508-2532 83 Avenue SE
  - 2501-2533 84 Avenue SE
  - 2506-2522 85 Avenue SE
  - 2515-2527 85 Avenue SE
  - 2534 85 Avenue SE
  - 2612 86 Avenue SE
  - 2620 86 Avenue SE
  - 2636 86 Avenue SE
  - 8301-8319 24 Street SE
  - 8401-8417 24 Street SE
  - 8841 24 Street SE
  - 8993 24 Street SE
- Legend**
- Outline Plan Boundary
  - Contour Interval 1.0m
  - 3.0m Regional Pathway
  - 3.0m Multi-Use Pathway
  - 5A Network
  - Future 5A Network (by others)
  - 2.5m Concrete Pathway
  - 2.0m Asphalt Pathway
  - 2.0m Separate Sidewalk
  - 2.0m Mono Sidewalk
  - 1.5m Mono Sidewalk
  - Bus Zone
  - Potential Access
  - Rectangular Rapid Flashing Beacon (RRFB)
  - Existing Powerline
  - Existing Telephone Line
  - Existing Gas Line
- Legal Descriptions:**
- Lots 19-24, Block 25, Plan 7700AN
  - Lots 1-46, Block 26, Plan 375AM
  - Lots 1-48, Block 33, Plan 375AM
  - Lots 11-42, Block 34, Plan 375AM
  - Lot 29PUL, Block 3, Plan 9112315
  - Lot 41PUL, Block 1, Plan 9111367
- Deep Services - Existing**
- Storm Sewer/Manhole
  - Sanitary Sewer/Manhole
  - Water Main
- Deep Services - Proposed**
- Storm Sewer/Manhole
  - Sanitary Sewer/Manhole
  - Water Main

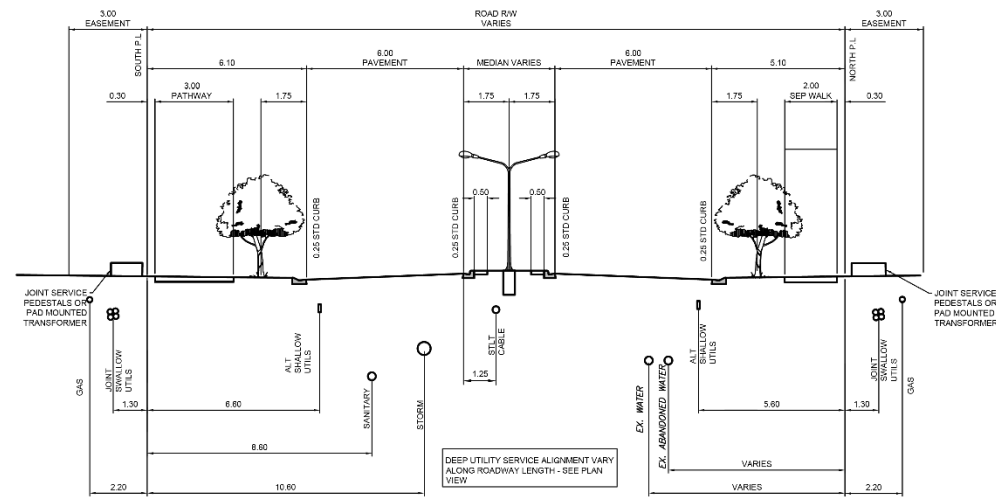


LAND USE REDESIGNATION STATISTICS		
	Hectares	Acres
	(+/-)	(+/-)
R-C2 to R-CG	0.83	2.06
M-CG to R-CG	0.27	0.66
R-C1 to M-U1	0.07	0.17
R-C2 to M-U1	1.60	3.96
M-CG to M-U1	1.06	2.62
Undesignated Road ROW to M-U1	0.01	0.03
R-C1 to S-SPR	0.29	0.71
R-C2 to S-SPR	0.59	1.47
M-CG to S-SPR	0.34	0.83
Undesignated Road ROW to S-CRI	0.02	0.06
M-CG to S-CRI	0.19	0.47
<b>TOTAL LAND USE REDESIGNATION</b>	<b>5.28</b>	<b>13.04</b>

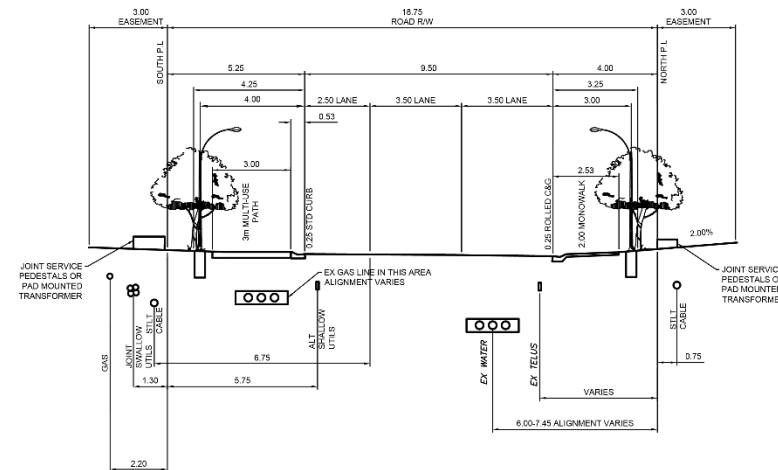
LAND USE REDESIGNATION STATISTICS (Net Areas)		
	Hectares	Acres
	(+/-)	(+/-)
Undesignated Road ROW to R-CG	0.56	1.39
R-C2 to R-CG	0.38	0.93
M-CG to R-CG	0.16	0.40
Undesignated Road ROW to M-U1	0.96	2.37
R-C1 to M-U1	0.02	0.04
R-C2 to M-U1	1.13	2.80
M-CG to M-U1	0.64	1.57
Undesignated Road ROW to S-SPR	0.59	1.47
R-C1 to S-SPR	0.13	0.32
R-C2 to S-SPR	0.49	1.22
Undesignated Road ROW to S-CRI	0.21	0.53
<b>TOTAL LAND USE REDESIGNATION</b>	<b>5.28</b>	<b>13.04</b>



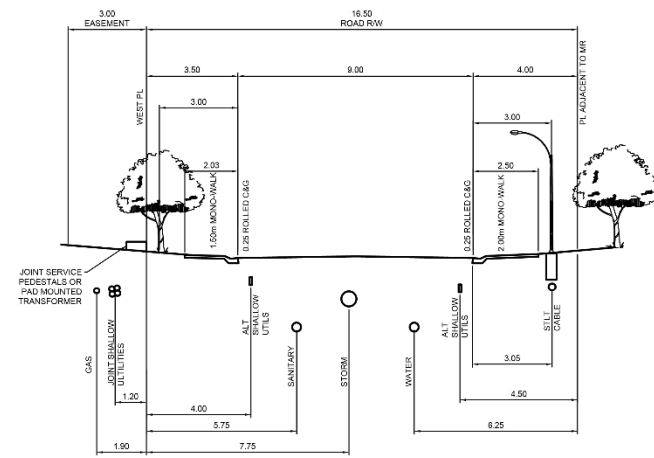




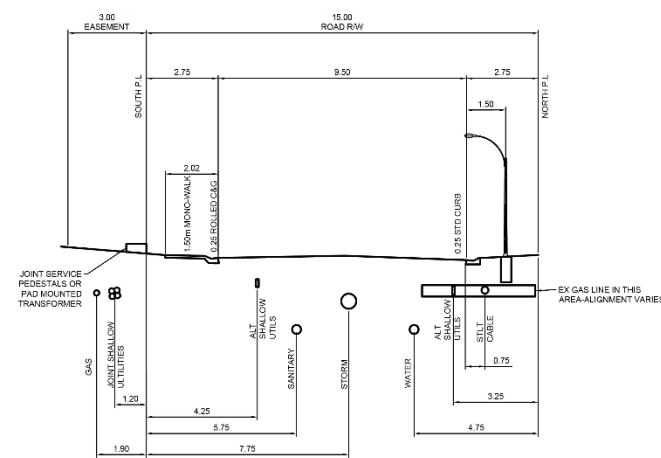
**2x6/Varies Modified Collector (Riverstone Road)**  
3.0m MULTI-USE PATH ONE SIDE / 2.0m SEPARATE WALK ONE SIDE  
Scale 1:250



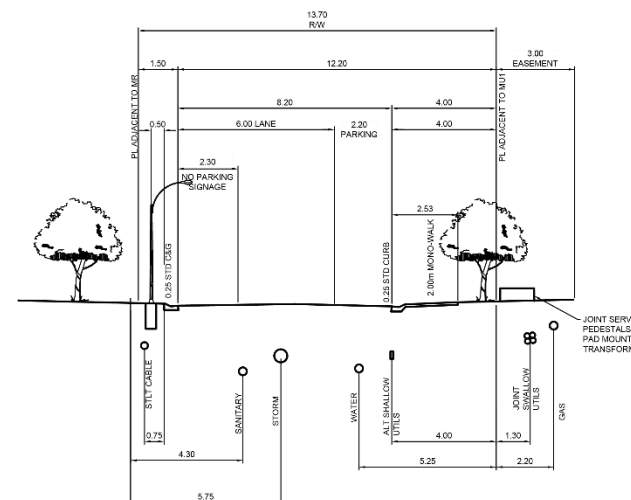
**2x3.5/18.75m Modified Collector (Riverstone Road)**  
3.0m MULTI-USE PATH ONE SIDE / 2.0m MONO-WALK ONE SIDE  
Scale 1:250



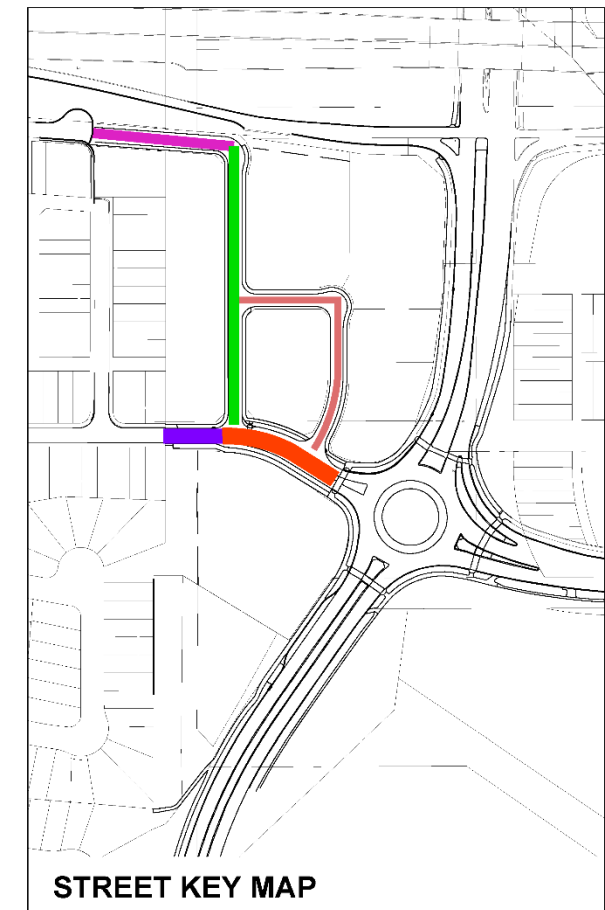
**16.5m Residential (Rivercrest Crescent)**  
1.5m MONO-WALK ONE SIDE / 2.0m MONO-WALK ONE SIDE  
Scale 1:250



**15.0m Modified Residential (Rivercrest Crescent)**  
1.5m MONO-WALK ONE SIDE  
Scale 1:250



**13.7m One-Way Residential (Riverstone Green)**  
2.0m MONO-WALK ONE SIDE  
Scale 1:250



**STREET KEY MAP**

