



Project No. NCCA22-0192

West Village Towers - Phase 3

CPC Presentation | December 21st, 2023

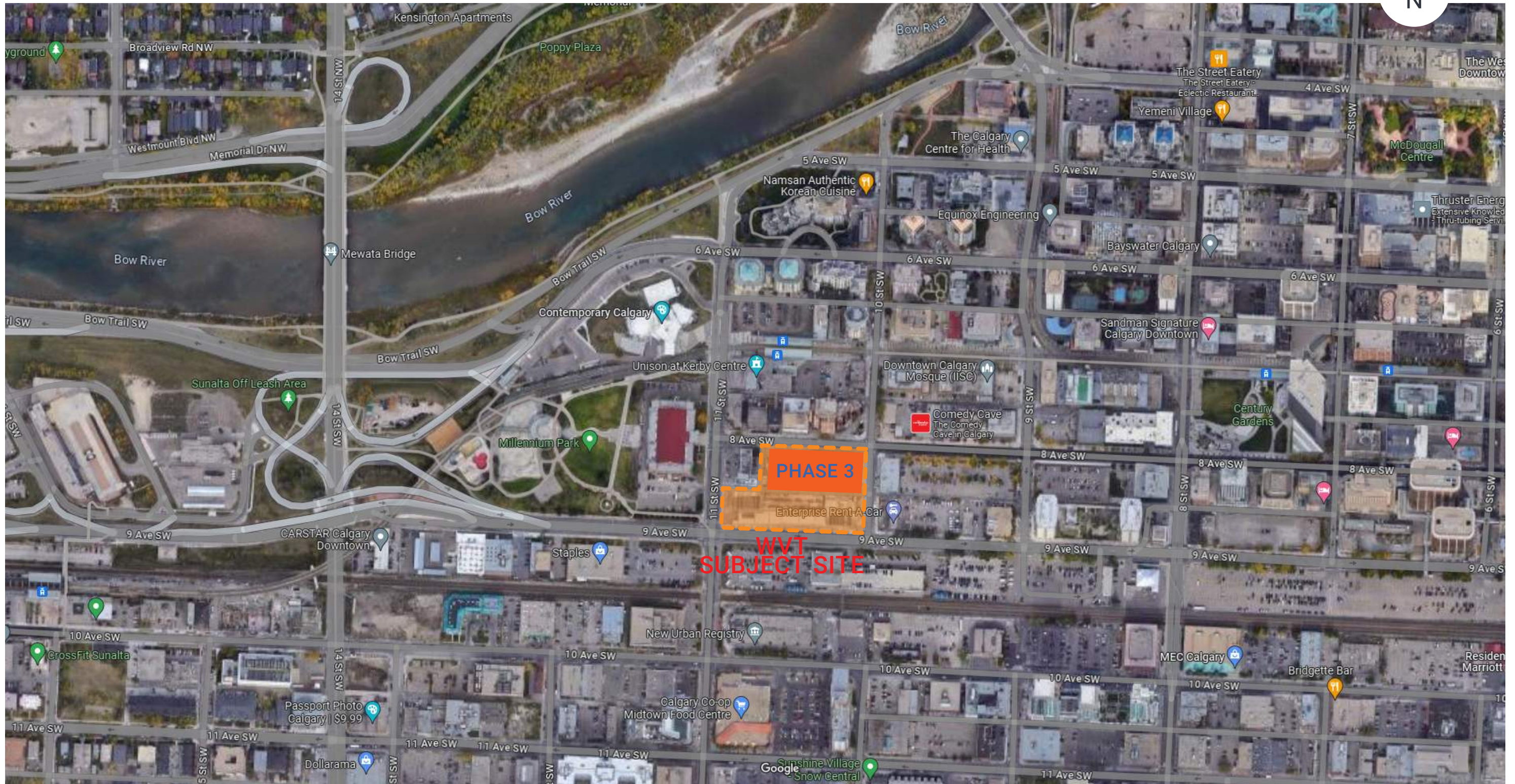


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Site Location / Context

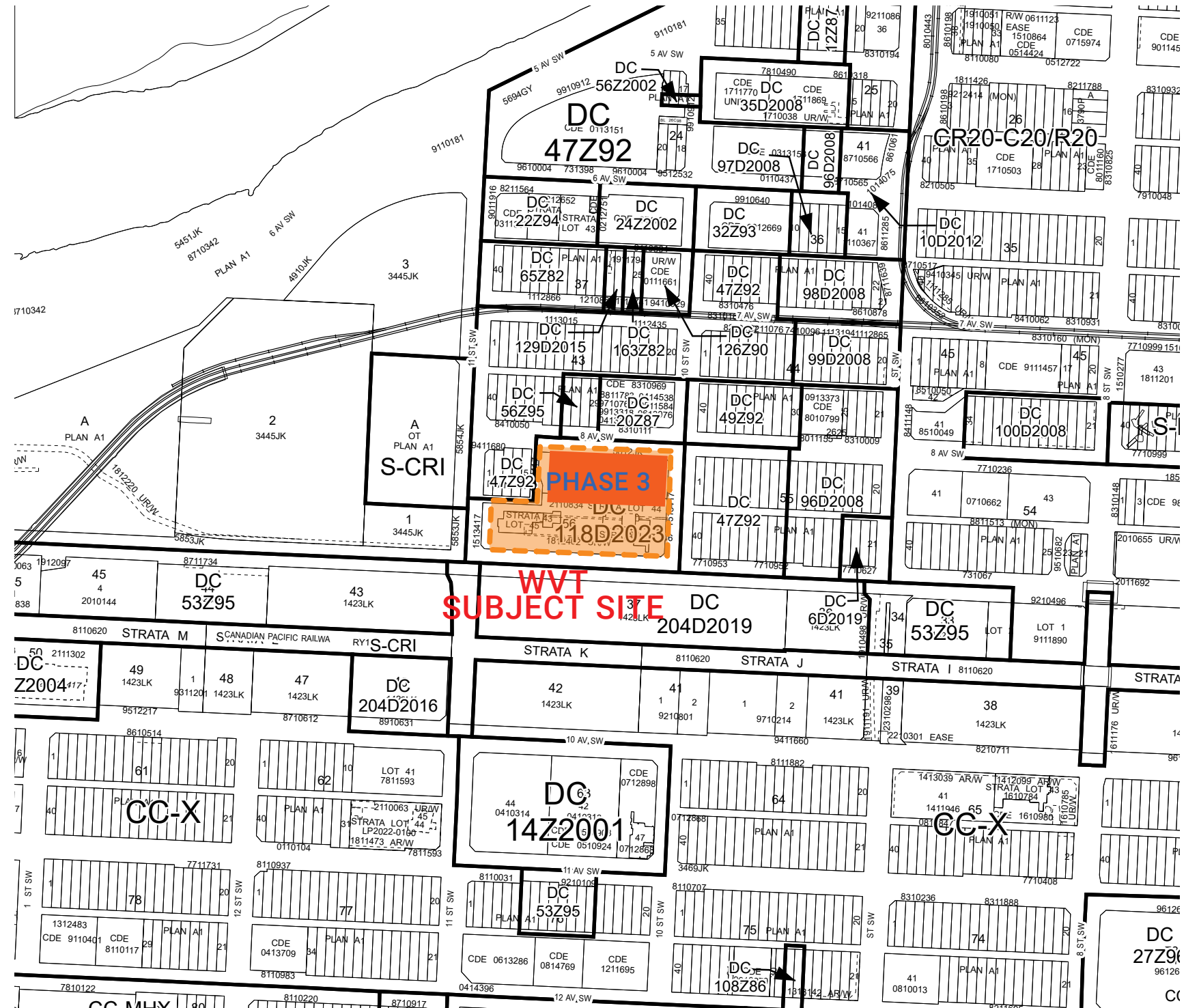
Aerial View



Site Description / Land Use Map

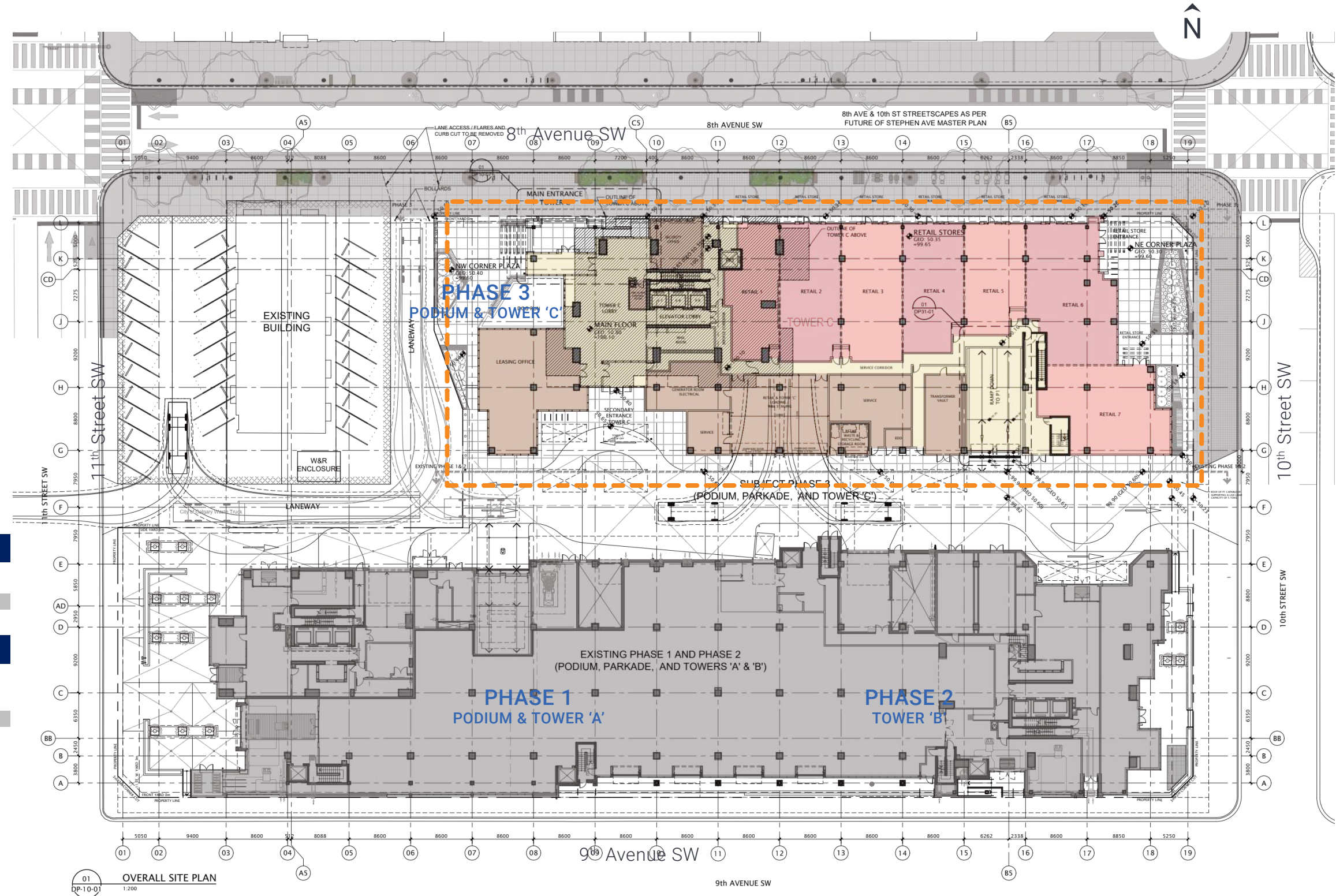


LEGAL DESCRIPTION				
LOT	41			
BLOCK	56			
PLAN	5012JK			
MUNICIPAL ADDRESS	9th AVE / 10th STREET / 8th AVE / 11th STREET SW CALGARY, AB			
COMMUNITY	DOWNTOWN WEST END			
LAND USE	DC 118D2023 DIRECT CONTROL DISTRICT			
SITE AREA	m ²	sq.ft.	acre	Ha
	10,378.73	111,715.68	2.56	1.04
FAR maximum	9.00		93,408.53 m ²	
FAR proposed	8.99		93,279.05 m ²	



Overall Site Plan

FAR Calculation / Phase 3 Scope



SITE AREA				
	m ²	sq.ft.	Há	acre
TOTAL	10,378.73	111,715.68	1.04	2.56
NET	10,378.73	111,715.68	1.04	2.56

FAR CALCULATION				
BY-LAW BASE FAR	7.00	72,651.08 m ²		
MAXIMUM FAR	9.00	93,408.53 m ²		
TOTAL FAR PROPOSED	8.99	93,279.05 m ²		

Shadows Study

At critical date and times



September 21th 10:00AM MDT



September 21th 12:00PM MDT



September 21th 2:00PM MDT



September 21th 4:00PM MDT



September 21th 10:00AM MDT

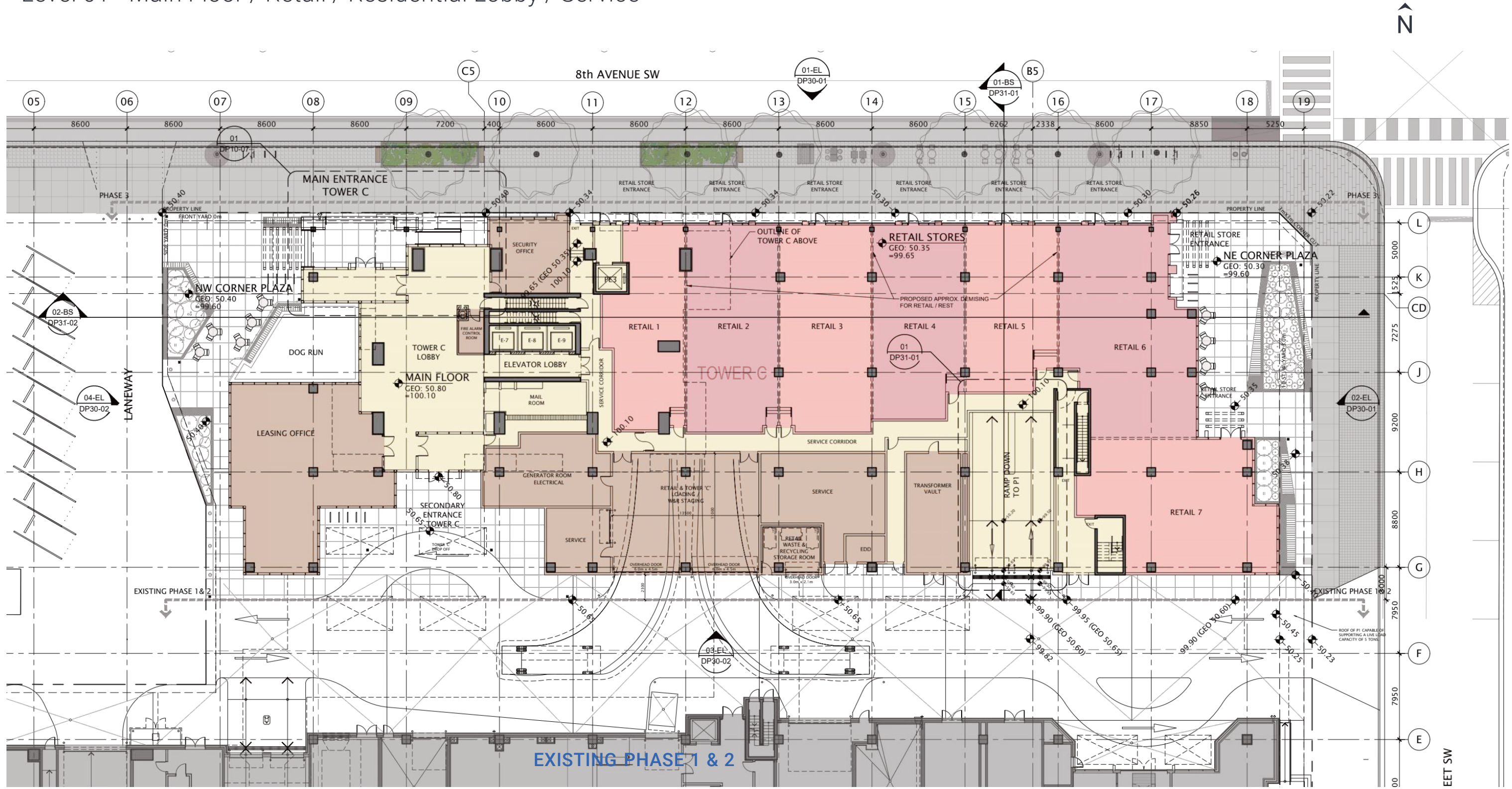
CITY CENTRE PLAN, MAY 2007, APPENDIX C, SHADOW GUIDELINES
SECTION 42.1 (8) (B) ENVIRONMENTAL REQUIREMENTS

APPENDIX C: Summary of Existing Shadow Policy Guidelines

Policy	Summary of Existing Policy Shadow Guidelines
Land Use By-law	Sunlight on Important Public Spaces No building shall place more of the following areas in shadow, on the dates and times indicated, than was already in shadow as a result of buildings constructed at the date that the development permit application is made:
Section 42.1 (8) (b): Environmental Requirements	<p>(i) Stephen (8th) Avenue Mall The northerly 7 metres of the right-of-way and setback area from 12:00 noon to 2:00 p.m. Mountain Daylight Time on September 21st.</p> <p>(ii) Racley (3rd Street) Mall - The westerly 8 metres of the right-of-way and setback area from 12:30 p.m. to 1:30 p.m. Mountain Daylight Time on September 21st. - The easterly 8 metres of the right-of-way and setback area from 1:30 p.m. to 2:30 p.m. Mountain Daylight Time on September 21st.</p> <p>(iii) Century Gardens Those lands contained within Plan 8090 E1, Block 46, Lots B, C, D and E from 12:00 noon to 2:00 p.m. Mountain Daylight Time on September 21st.</p> <p>(iv) McDougall School The north half of the block bounded by 4 and 5 Avenues S. between 6 and 7 Streets W. from 12:00 noon to 2:00 p.m. Mountain Daylight Time on September 21st.</p> <p>(v) Courthouse Block The northerly 18 metres of the block bounded by 6 and 7 Avenues S. between 4 and 5 Street W. from 12:00 noon to 2:00 p.m. Mountain Daylight Time on September 21st.</p> <p>(vi) Mewata Stadium Site The northerly 160 metres of the Mewata Stadium site on Plan 3445 K, Block 2, from 12:00 noon to 2:00 p.m. Mountain Daylight Time on September 21st.</p> <p>(vii) Riverbank except Riverbank Promenade and between 3 and 7 Streets W. An area 20 metres wide throughout abutting the top of the south bank of the Bow River, as determined by the Approving Authority, from 10:00 a.m. to 4:00 p.m. Mountain Daylight Time on September 21st.</p> <p>(viii) Riverbank Promenade between 3 Street W. and Centre Street An area 9 metres wide throughout abutting the top of the south bank of the Bow River, as determined by the Approving Authority, from 10:00 a.m. to 4:00 p.m. Mountain Daylight Time on September 21st.</p>

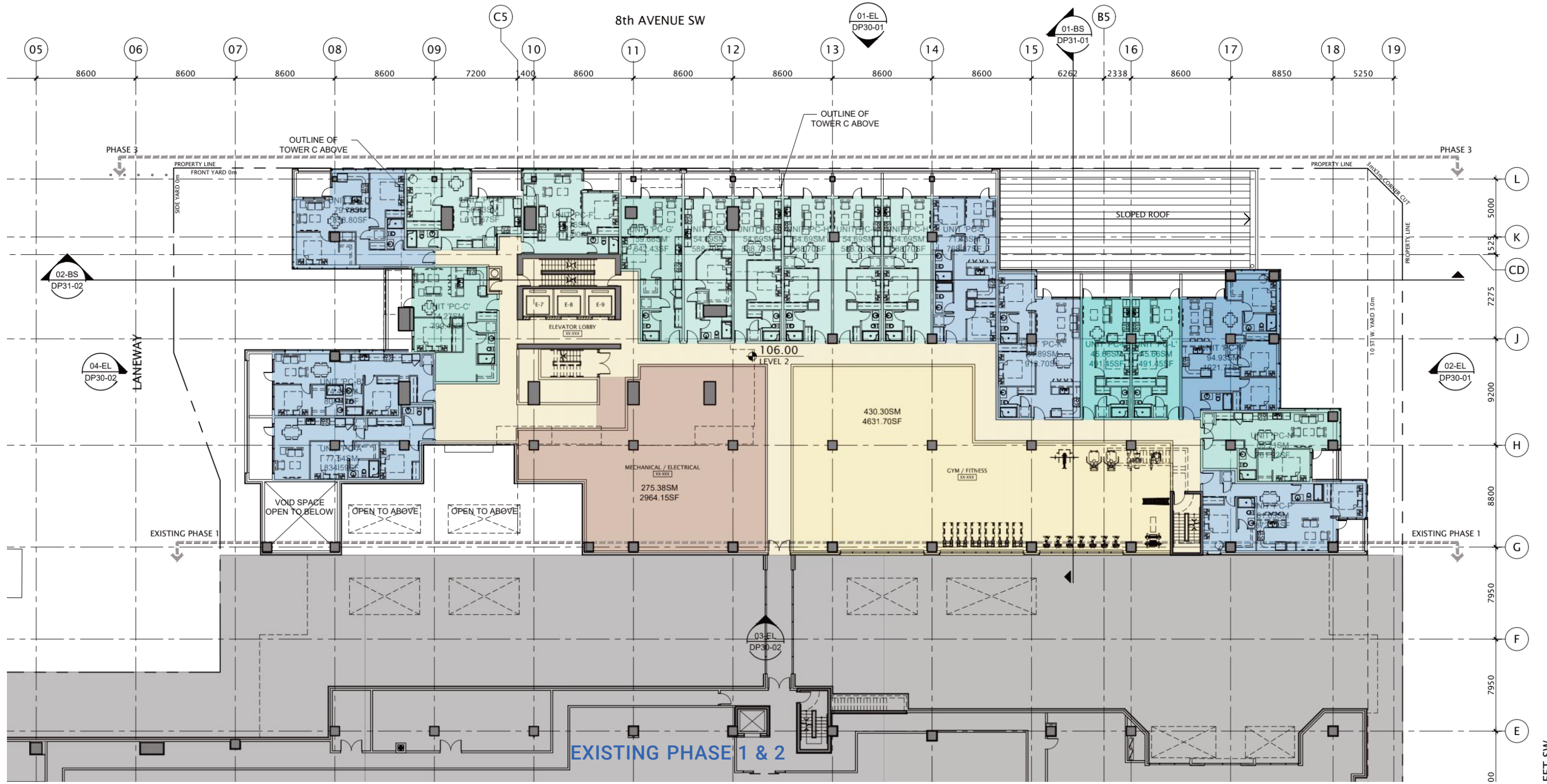
Floor Plan - Phase 3

Level 01 - Main Floor / Retail / Residential Lobby / Service



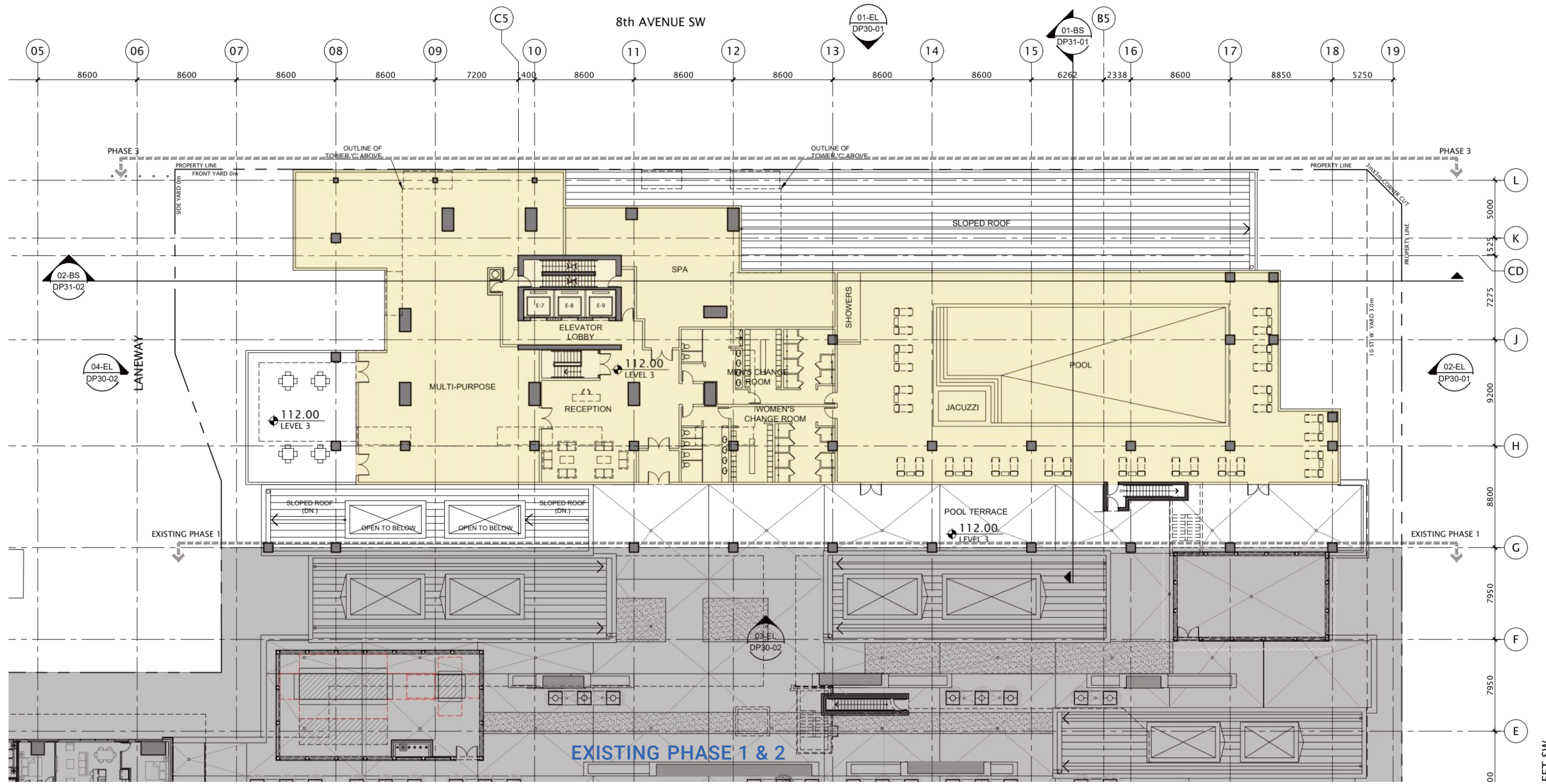
Floor Plan - Phase 3

Level 02 - Residential / Amenity / Service / +20 Connection to Phase 1 & 2



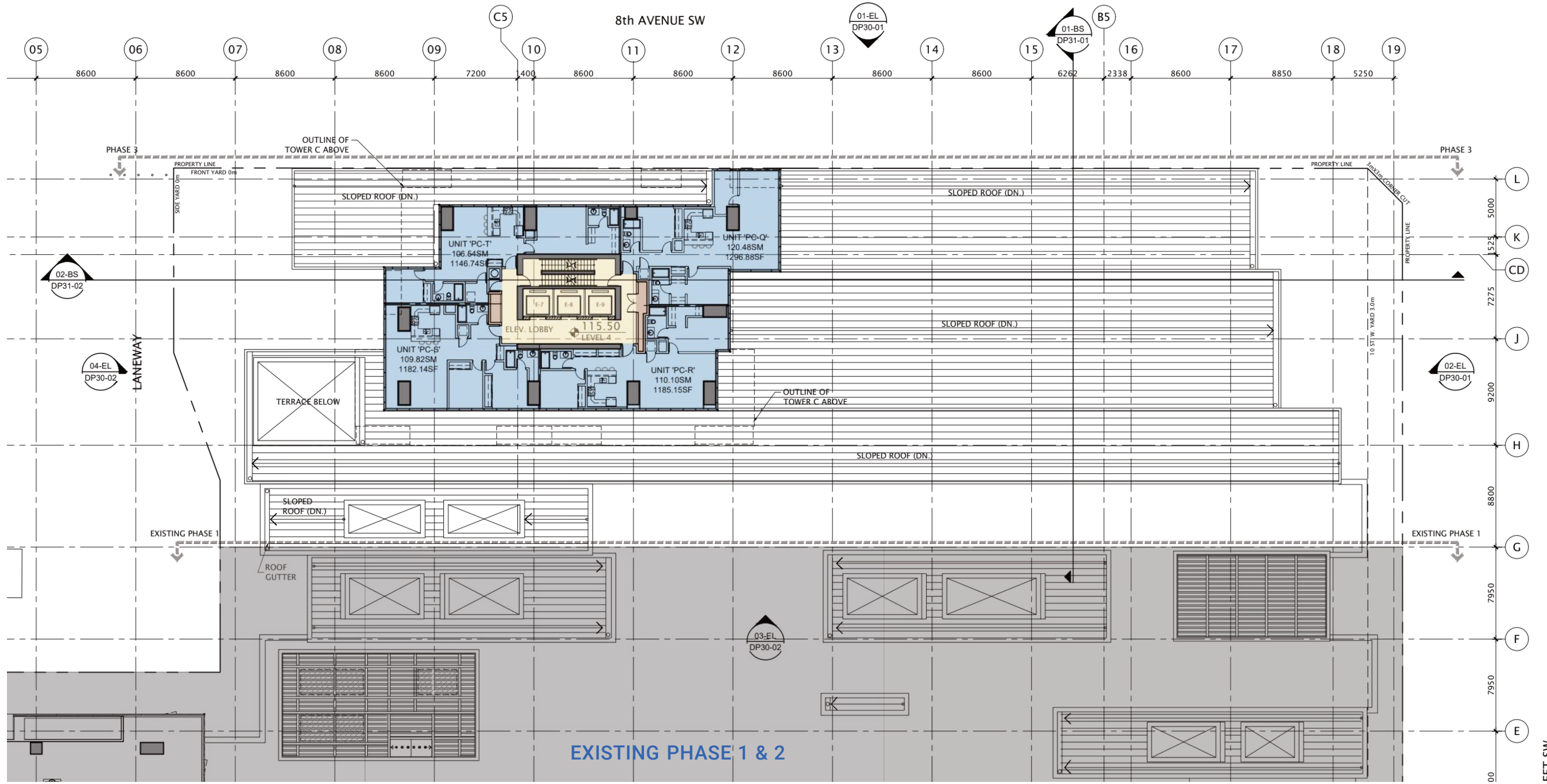
Floor Plan - Phase 3

Level 03 - Amenity / Pool



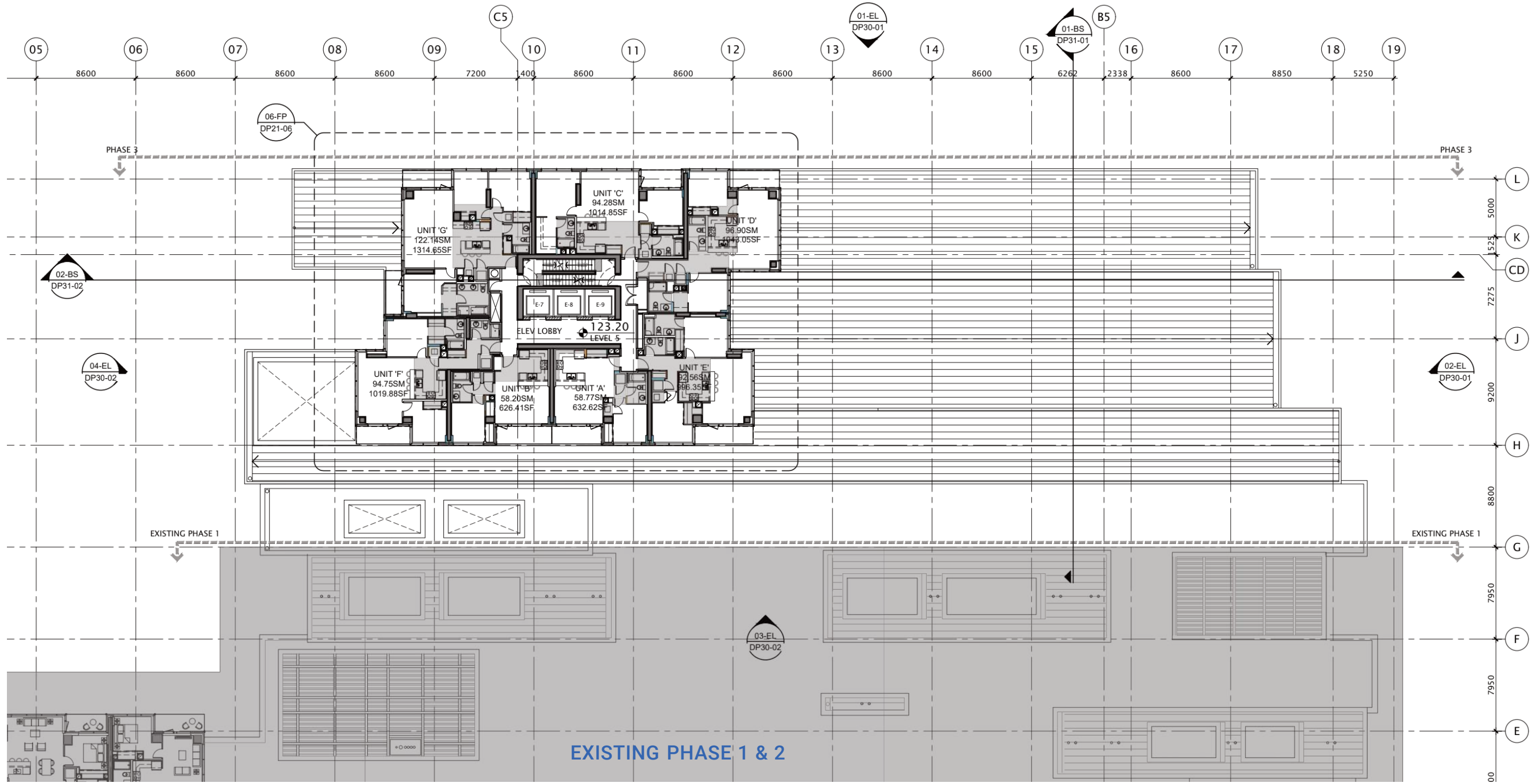
Floor Plan - Phase 3

Level 04



Floor Plan - Phase 3

Level 05 to 35 - Typical

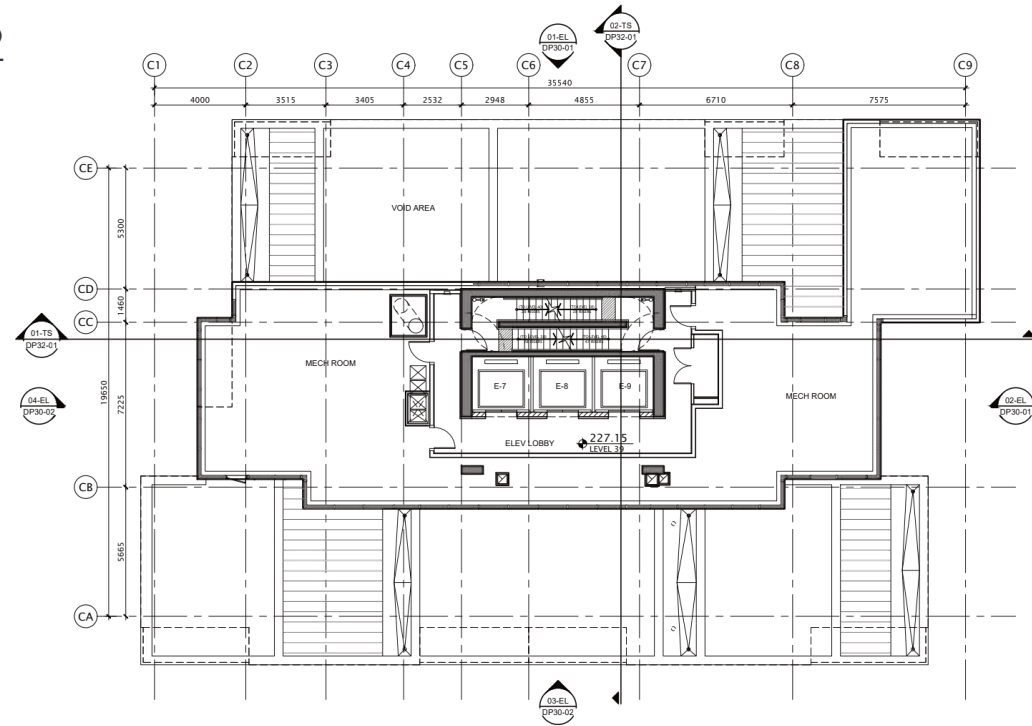


Floor Plan - Phase 3

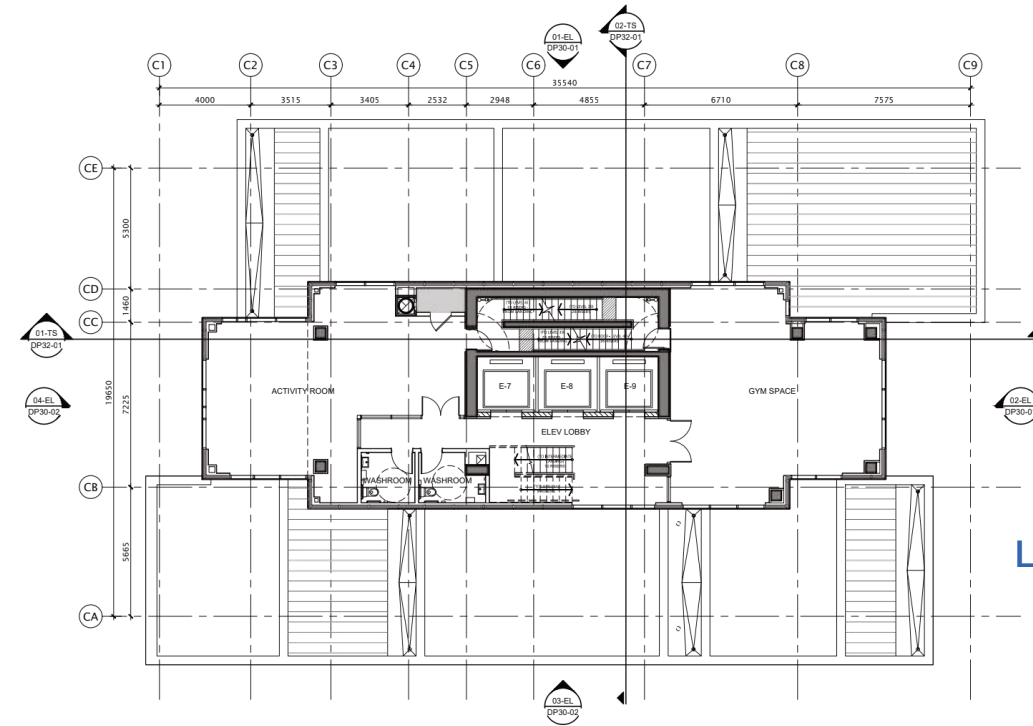
Level 39 to 42



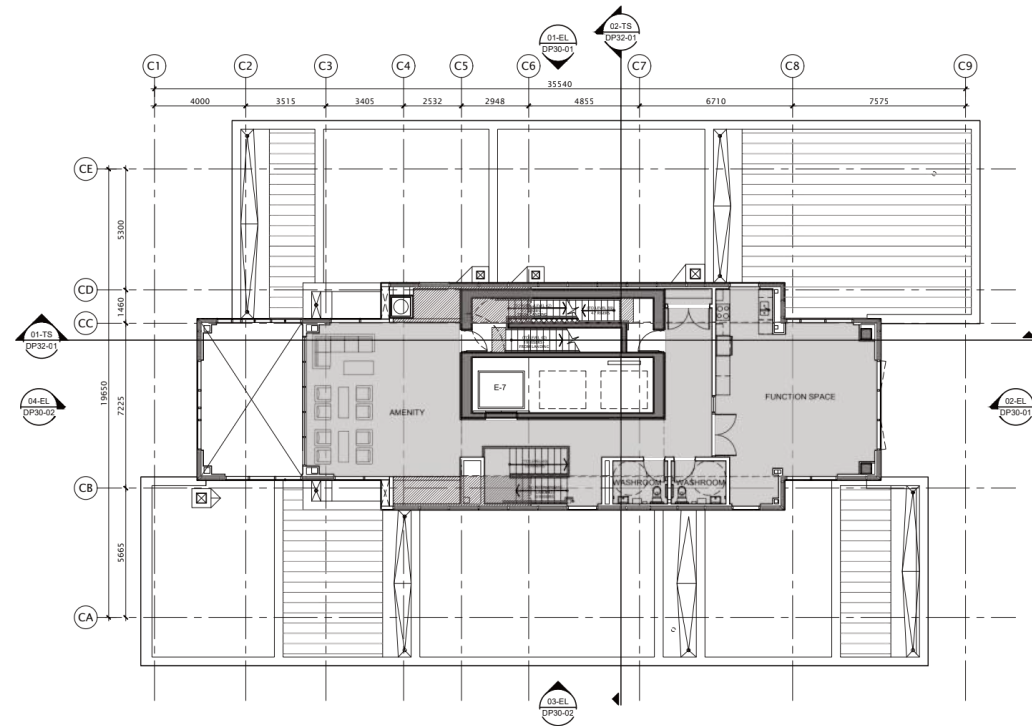
LEVEL 39



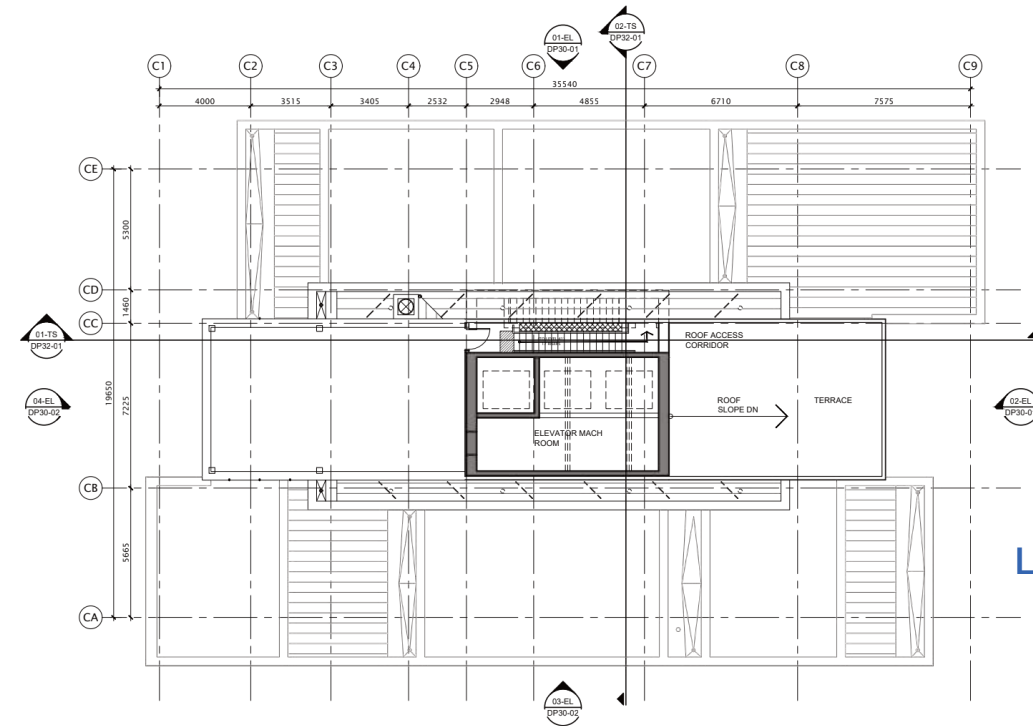
LEVEL 40



LEVEL 41

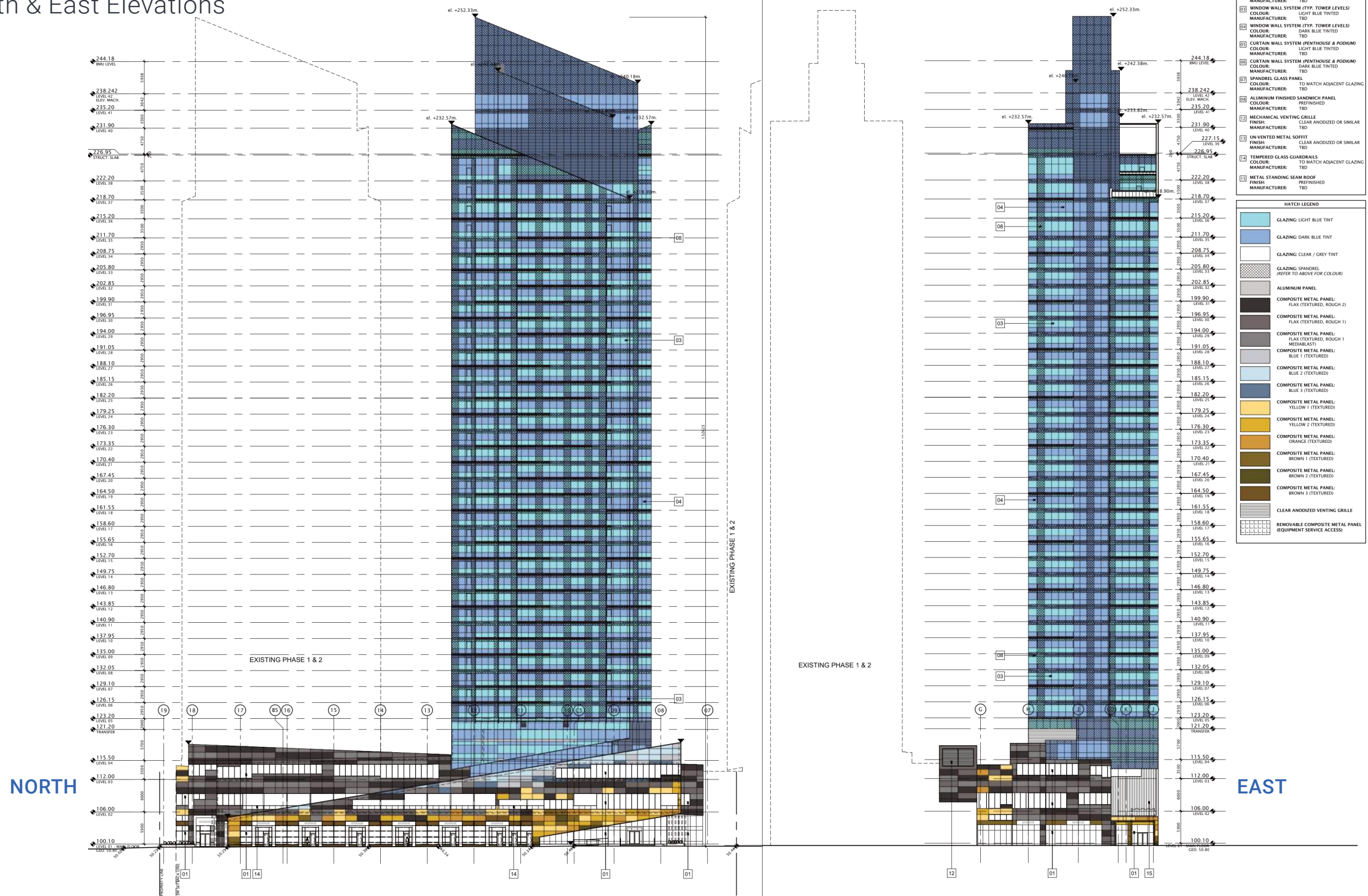


LEVEL 42



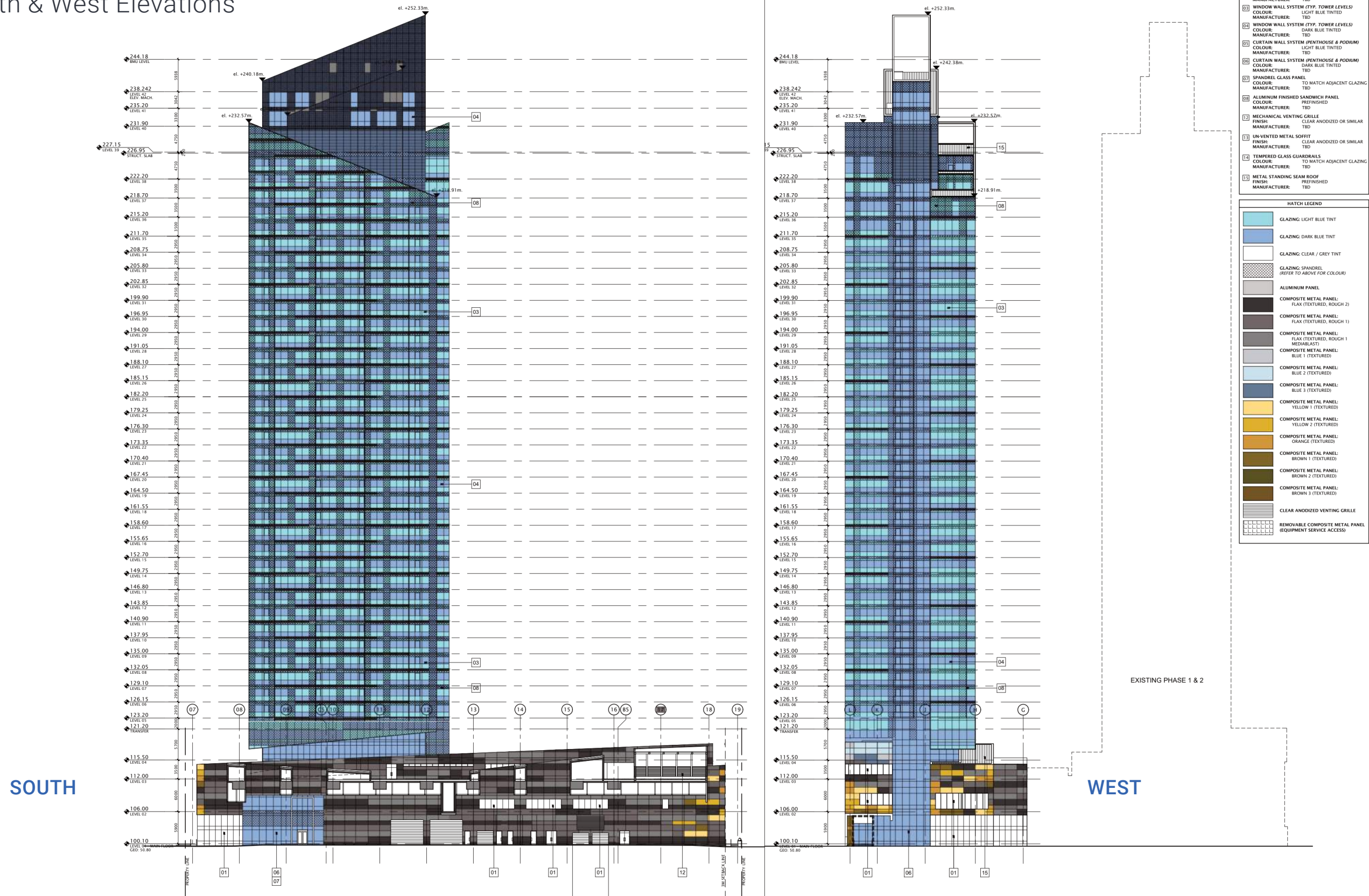
Elevations - Phase 3

North & East Elevations



Elevations - Phase 3

South & West Elevations



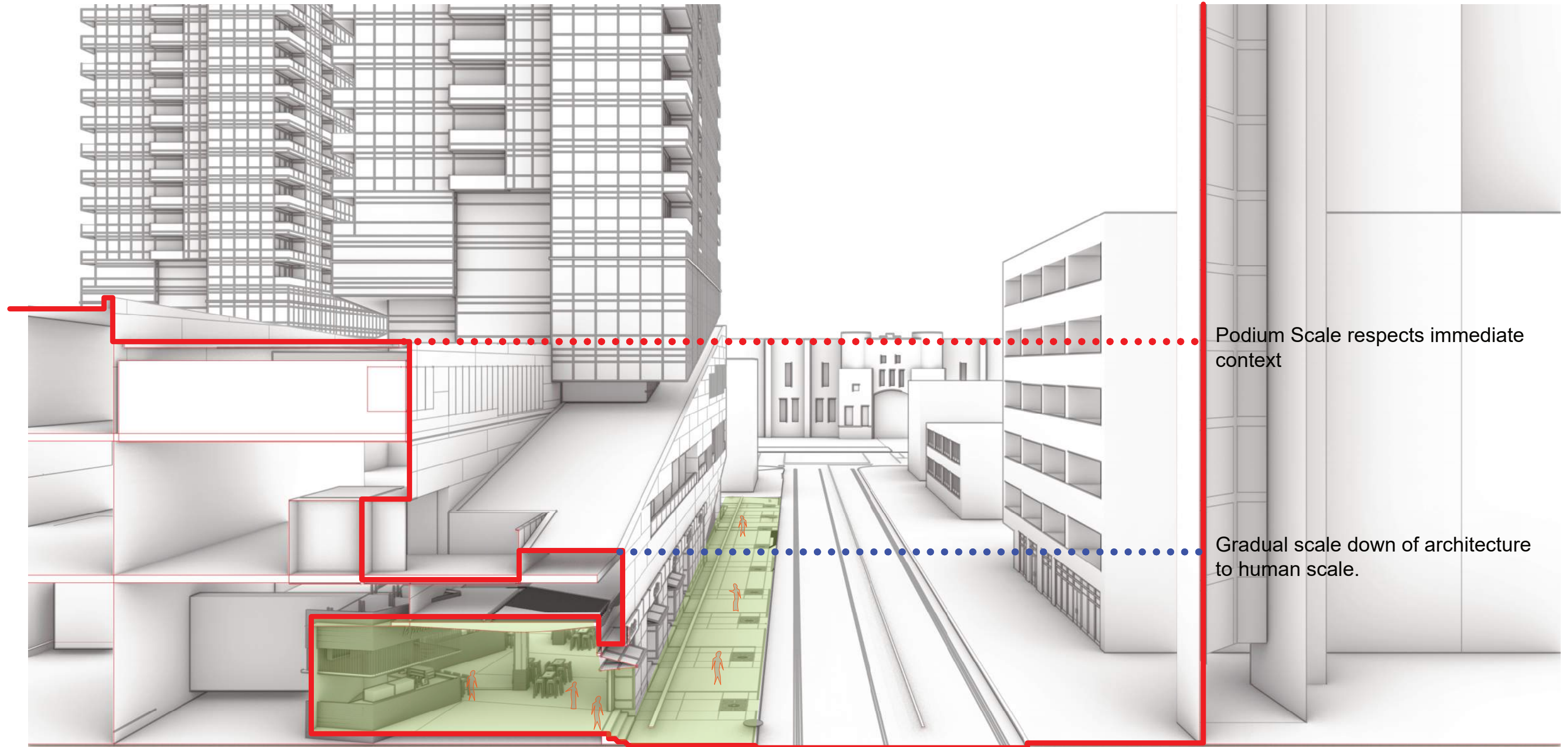
Reflecting Alberta's Landscape

The podium connects the development to Alberta's vibrant context reflecting the colours enhancing public realm and street activity through durable and timeless materials



Street Spill

The building becomes an extension of the street as it integrates visually with the interior promoting the Interaction with the public sidewalk and to be perceived as a larger public realm at more human scale



Podium Scale respects immediate context

Gradual scale down of architecture to human scale.

Enhancing Public Realm

NE and NW plazas are stimulus for public realm and activity providing vibrant ends to an active public street

Retail activity on street level connects the two nodes



Principles of urban design

- Connectivity, Orientation and context**
 This development connects beyond its extents and ties the intersections seamlessly through the animated street on 8th Avenue.
- Integration, Accessibility and Flexibility**
 The proposed building provides an anchor to the area while maintaining the character of the community. The boulevard style sidewalks, pedestrian orientation and scale are all integrated into the community. The improved pedestrian connections around the site are complimented by both visitor and resident bicycle parking to support residents and visitors
- Sustainability & Diversity**
 The proposed development will positively affect the community as it transforms an underutilized site in a prime location into a vibrant node within the downtown Calgary. The mixed use development introduces a variety of commercial uses on street level in order to attract a variety of demographics to the
- Creativity and Animation, Safety**
 Articulation of podium, and permeability of street into the building enhances the public realm and safety. This also contributes to the concept of eyes on the street and animates the public corridors.

 Corner plazas are emphasized on both NW and NE corners of site. These nodes trigger the activity between them along 8th Avenue and also 10th street.

Landscape Plan - Phase 3

Legend and Notes

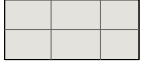
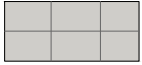
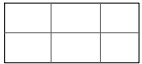
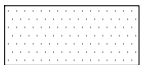








LABELS

- L.01 EXISTING LANEWAY
- L.02 450MM HT CONCRETE PLANTER W/ SEATING EDGE FACING LANEWAY
- L.03 4' HT DECORATIVE METAL INFILL PANEL FENCE. MAGLIN FLEXX - REFER TO 6/L200
- L.04 450mm HT SEATWALL W/ COMPOSITE WOOD SLAT BENCH + LED LIGHTING.
- L.05 ENCLOSE DOG RUN OVER SYNTHETIC TURF
- L.06 450mm HT PLANTER W/ INTEGRATED COMPOSITE WOOD SLAT BENCH + LED LIGHTING. CONCRETE TO HAVE PAINTED DECORATIVE ORIGAMI GRAPHIC STENCIL
- L.07 WALK-THROUGH OVERHEAD FEATURE W/ RECESSED LINEAR LED LIGHTS - REFER TO ARCH
- L.08 OPEN PLAZA TO ALLOW PEDESTRIAN MOVEMENT FROM LANEWAY + STEPHEN AVE
- L.09 DECORATIVE CONCRETE PAVING W/ SEEDED GLASS AGGREGATE. COLOUR TO MATCH STEPHEN AVE FOR INTEGRATION BETWEEN STREETScape + PLAZA
- L.10 CONCRETE BENCH W/ HDPE COMPOSITE WOOD SLATS
- L.11 PRINCIPAL ENTRANCE TO RESIDENTIAL SUITES
- L.12 BARRIER FREE RAMP - 8% SLOPE MAX
- L.13 AT GRADE ACCESS TO MAIN FLOOR RETAIL UNITS. PAVING TO MATCH FUTURE OF STEPHEN AVE PAVING
- L.14 PROPOSED RAISED BIKE LANE BY OTHERS

- L.15 PROPOSED TREE ALIGNMENT + STREET FURNISHING ZONE BY FUTURE OF STEPHEN AVENUE DESIGN TEAM
- L.16 CLASS 2 BIKE RACKS WITHIN DEVELOPMENT PROPERTY
- L.17 DECORATIVE CONCRETE PAVING W/ SEEDED GLASS AGGREGATE. COLOUR TO MATCH STEPHEN AVE FOR INTEGRATION BETWEEN STREETScape + PLAZA
- L.18 CORNER BARRIER FREE ACCESS W/ ENHANCED PAVING - MATERIAL AND DETAILS TO BE DEFINED BY STEPHEN AVE PROJECT TEAM
- L.19 POTENTIAL ART/SCULPTURE LOCATION
- L.20 FUTURE OF STEPHEN AVE PAVING TO EXTEND ALONG 10TH STREET SW
- L.21 OUTLINE OF UNDERGROUND PARKADE
- L.22 STREET FACING INTEGRATED COMPOSITE WOOD SLAT BENCH W/ LED LIGHTING
- L.23 PLAZA FACING INTEGRATED COMPOSITE WOOD SLAT BENCH W/ LED LIGHTING
- L.24 450mm HT CONCRETE PLANTER W/ TREES, SHRUBS, AND ORNAMENTAL GRASSES CONCRETE TO HAVE PAINTED DECORATIVE ORIGAMI GRAPHIC STENCIL
- L.25 SHRUB + PERENNIAL PLANTER
- L.26 CONCRETE PLANTER WITH STENCILED ORIGAMI GRAPHICS
- L.27 INTEGRATED WOOD SLAT BENCH + LED LIGHTING
- L.28 PEDESTRIAN CONCRETE WALKWAY TO BACK OF BUILDING

LEGEND

-  DECORATIVE CONCRETE, COLOUR TO MATCH STEPHEN AVE CONCRETE PAVING W/ RECYCLE GLASS AGGREGATE SEEDED INTO CONCRETE + LIGHT SANDBLAST FINISH
-  DECORATIVE CONCRETE, COLOUR TO MATCH STEPHEN AVE CONCRETE PAVING W/ RECYCLE GLASS AGGREGATE SEEDED INTO CONCRETE + HEAVY SANDBLAST FINISH
-  STANDARD GREY CONCRETE W/ LIGHT SANDBLAST FINISH
-  K-9 SYNTHETIC TURF
-  08 - RENAISSANCE BIRCH - 50MM CAL.
-  FALSE SPIREA
-  OSTRICH FERN
-  LITTLE REBEL DOGWOOD
-  TUFTED HAIR GRASS
-  CUSTOM CLASS 2 BIKE RACKS 13 RACKS 26 STALLS TOTAL PROPOSED BIKE RACKS NOT WITHIN PUBLIC REALM, LOCATION WITHIN PROPERTY LIMITS. BIKE RACKS SHOWN ON STEPHEN AVE BY OTHERS

PLANT LIST: DECIDUOUS TREES

KEY	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Bp	Betula papyrifera 'Renci'	RENAISSANCE REFLECTION BIRCH	75mm CAL. B&B, MIN 500mm wd x 400mm DEPTH ROOT BALL	08

PLANT LIST : SHRUBS + PERENNIALS

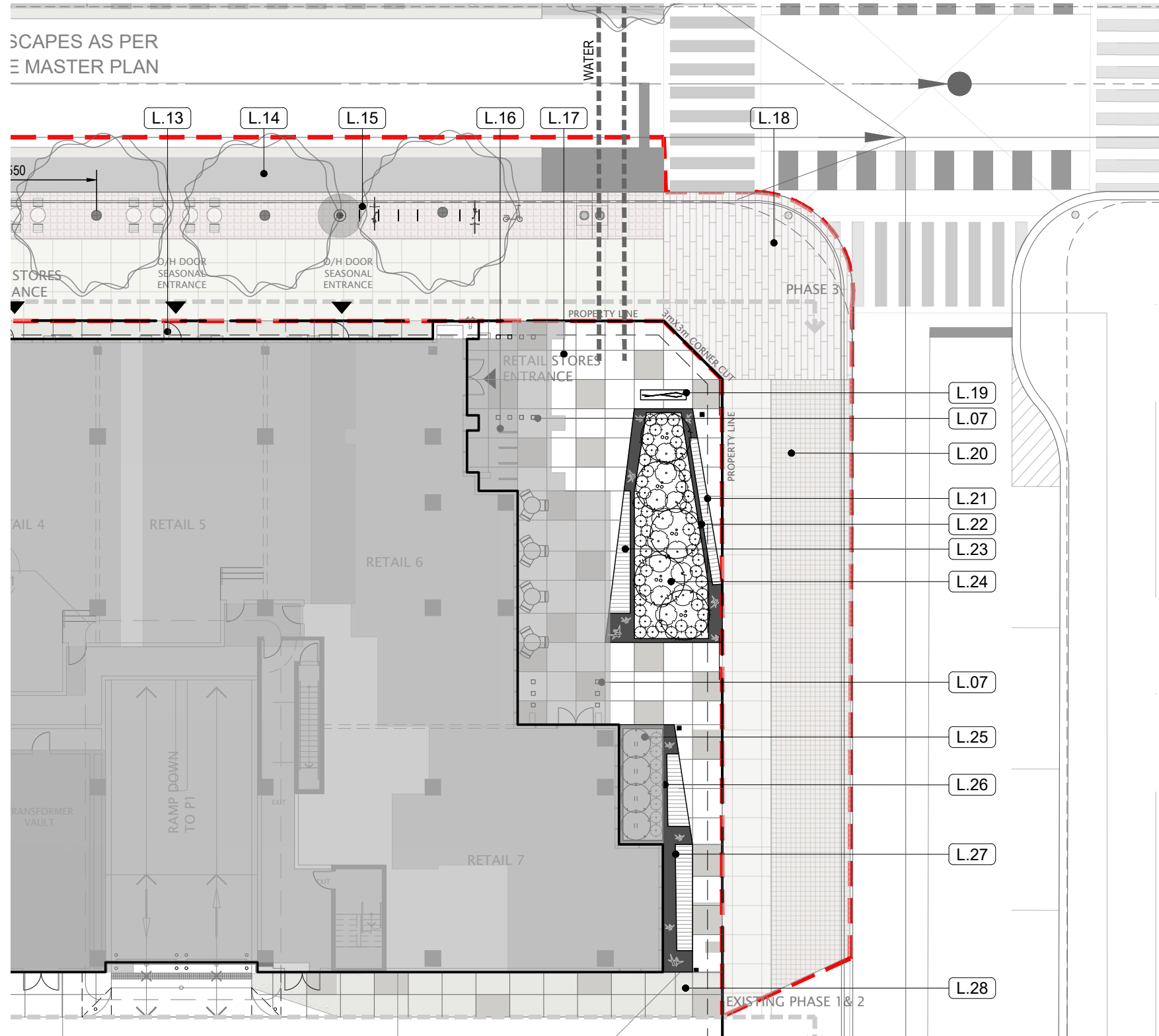
KEY	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
ca	Cornus alba 'Jefreb'	LITTLE REBEL DOGWOOD	#5 CONT, MIN 800-1000mm ht. MIN. 4 MAJOR BASAL STEMS,	13
ss	Sorbaria sorbifolia	FALSE SPIREA	#5 CONT, MIN 800-1000mm ht. MIN. 4 MAJOR BASAL STEMS,	11
bn	Deschampsia cespitosa	TUFTED HAIR GRASS	#3 POT	56
ms	Matteuccia struthiopteris	NATIVE OSTRICH FERN	#3 POT	19

GENERAL NOTES

- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION (CNTA) AND BE TRUE TO TYPE AND SPECIES.
- ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
- ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM SPECIMEN GRADE SINGLE STEM STOCK UNLESS OTHERWISE NOTED
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL THAT DOES NOT MEET THESE REQUIREMENTS LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL PRIOR TO INSTALLATION FOR NURSERY DEFECTS, TRANSPORT DAMAGE & ROOTBALL SIZE
- THE CONTRACTOR SHALL STAKE ALL TREE LOCATIONS ON SITE TO BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL SHRUBS TO BE A MINIMUM OF 600mm IN HEIGHT OR SPREAD AT THE TIME OF PLANTING.
- TREE TOPSOIL DEPTH TO BE 1200mm DEPTH MINIMUM
- SHRUB TOPSOIL DEPTH TO BE 600mm DEPTH MINIMUM
- ALL SHRUB MATERIAL AND CONIFEROUS TREES TO BE LOCATED WITHIN MULCHED BEDS.
- MULCH TO BE CLEAN CONIFEROUS TREE MULCH AND SHALL BE INSTALLED NO MORE THAN 75mm DEPTH AND SHALL BE PULLED AWAY FROM TREE AND SHRUB CROWNS
- ALL LANDSCAPED AREAS WITHIN DEVELOPMENT PROPERTY ARE TO BE IRRIGATED BY A LOW WATER IRRIGATION SYSTEM
- STREET TREES ARE NON IRRIGATED

Landscape Plan - NE Plaza

Plan View

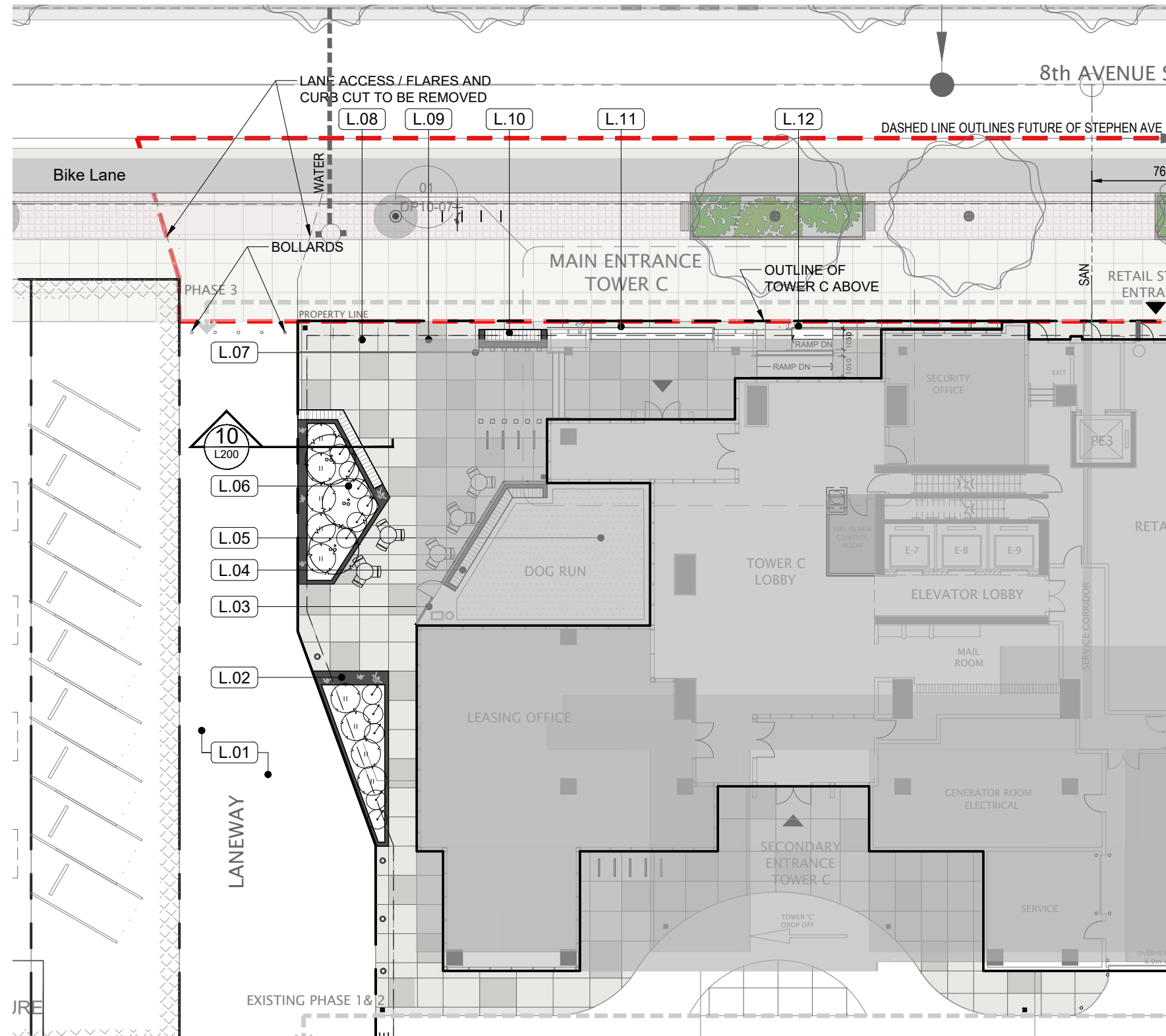


STRATEGIES

- Clear glazing at grade.**
 Visual permeability to interior retail.
- Street edge definition.**
 Plaza defined by materials and textures, definition by planters and planting (hedges and/or shrubs).
 Wind protection provided by raised planters and vegetation
 Openness of plaza will attract people to stay and use
- Wayfinding & Entry definition.**
 Use of colored pavers and colored concrete to define paths at grade
 Use of arches/frames to define entrances
- Color and Animation.**
 Potential of art piece as central focus in plaza
- Lighting.**
 Light poles at pedestrian scale for public use
 Edge/strip lighting at planter height
 Defined lighting at entry points and at arches/frames
 Animated strip lighting on main wall, featuring color changes
- Barrier Free Access.**
 Plaza is at same sidewalk grade and ramps minimized to fully access building lobby, plaza and retail stores

Landscape Plan - NW Plaza

Plan View



STRATEGIES

- **Clear glazing at grade.**
Visual permeability to interior retail.
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Precedents

Proposed



NE & NW Plazas

3D View

STRATEGIES



NE Plaza

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NE & NW Plazas

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NE & NW Plazas

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NE & NW Plazas

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STRATEGIES

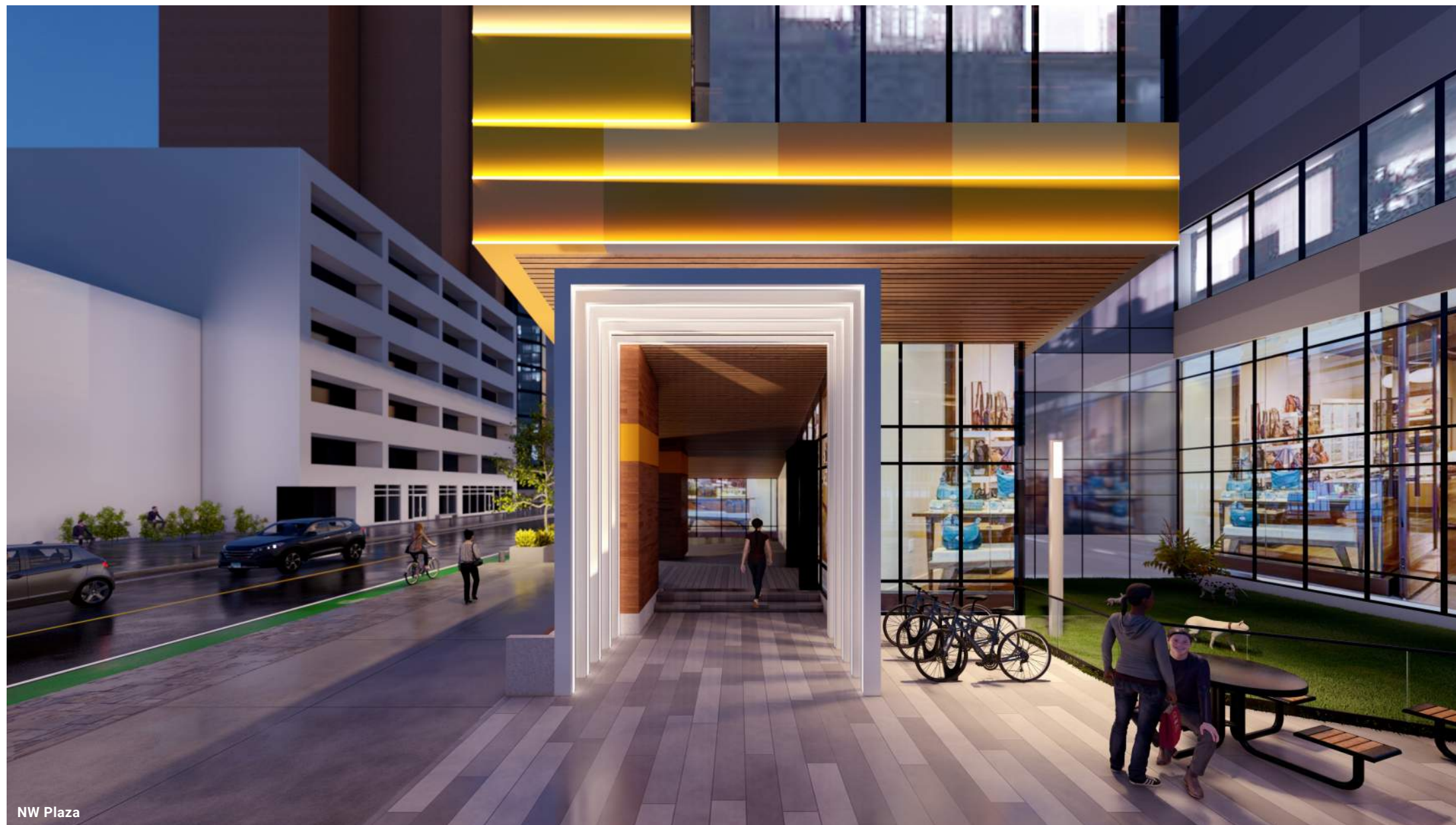


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NE & NW Plazas - Option 1

3D View

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Street Interface

Indoor / Outdoor Visual Permeability

STRATEGIES



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Street Interface

Visible Residential Entrance

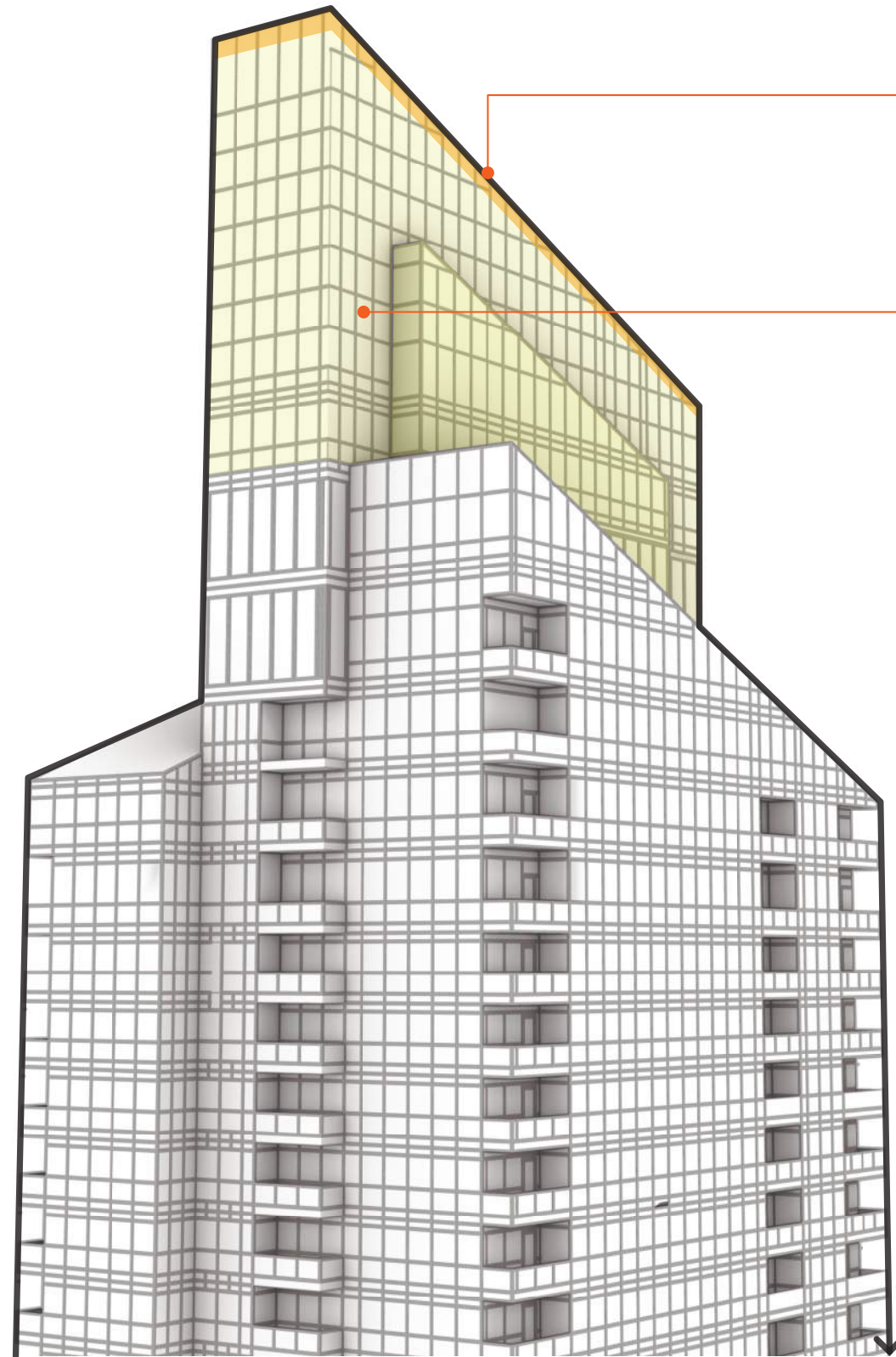
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Plaza is at same sidewalk grade and ramps minimized to fully access building lobby, plaza and retail stores

Articulated Building Top

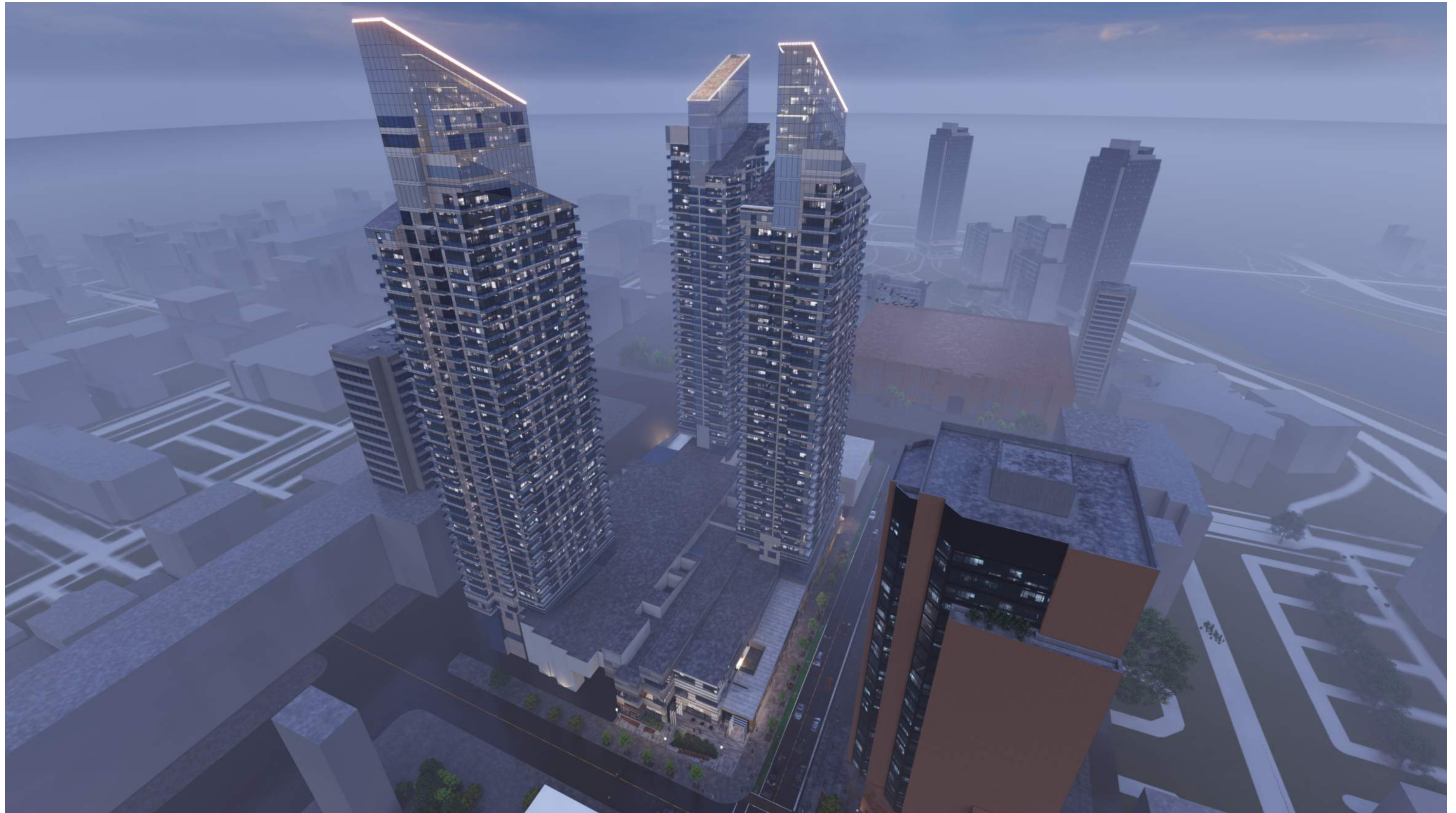
Lighting as architectural feature and beacon for wayfinding and increased visibility



Light band along the articulated sloped top of the buildings helps enhance the form. This development contributes greatly to Calgary's downtown skyline and emphasizes vibrance

The top floors of the building are shared amenity spaces with enhanced lighting and transparency. This improves the visibility of the top triangular masses even further making the architecture of the development stand out in the context.

3D View - Aerial



3D View



3D View



3D View



Project Statistics

Gross Floor Areas

GFA PER FLOOR

		PODIUM			TOWER 'A'			TOWER 'B'			TOWER 'C'			USE	TOTAL GFA		UNIT COUNT		
		m ²	sq.ft.	unit count	m ²	sq.ft.	unit count	m ²	sq.ft.	unit count	m ²	sq.ft.	unit count		m ²	sq.ft.			
LEVEL 1	R1	4,057.65	43,676.17											RETAIL	6,671.49	71,811.28			
LEVEL 2	R2	4,060.86	43,710.73									19		MIXED	6,450.69	69,434.66	19		
LEVEL 3	T1			4	510.95	5,499.78	5	LEVEL 3	1,359.55	14,634.08	6	LEVEL 3	1,803.12	19,408.67	0	RESID.	3,673.62	39,542.54	15
LEVEL 4	T2			0	602.63	6,486.63	3	LEVEL 4	1,096.75	11,805.32	4	LEVEL 4	545.32	5,869.77	4	RESID.	2,244.70	24,161.72	11
LEVEL 5	T3				713.62	7,681.36	7	LEVEL 5	713.62	7,681.36	7	LEVEL 5	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 6	T4				713.62	7,681.36	7	LEVEL 6	713.62	7,681.36	7	LEVEL 6	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 7	T5				713.62	7,681.36	7	LEVEL 7	713.62	7,681.36	7	LEVEL 7	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 8	T6				713.62	7,681.36	7	LEVEL 8	713.62	7,681.36	7	LEVEL 8	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 9	T7				713.62	7,681.36	7	LEVEL 9	713.62	7,681.36	7	LEVEL 9	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 10	T8				713.62	7,681.36	7	LEVEL 10	713.62	7,681.36	7	LEVEL 10	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 11	T9				713.62	7,681.36	7	LEVEL 11	713.62	7,681.36	7	LEVEL 11	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 12	T10				713.62	7,681.36	7	LEVEL 12	713.62	7,681.36	7	LEVEL 12	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 13	T11				713.62	7,681.36	7	LEVEL 13	713.62	7,681.36	7	LEVEL 13	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 14	T12				713.62	7,681.36	7	LEVEL 14	713.62	7,681.36	7	LEVEL 14	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 15	T13				713.62	7,681.36	7	LEVEL 15	713.62	7,681.36	7	LEVEL 15	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 16	T14				713.62	7,681.36	7	LEVEL 16	713.62	7,681.36	7	LEVEL 16	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 17	T15				713.62	7,681.36	7	LEVEL 17	713.62	7,681.36	7	LEVEL 17	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 18	T16				713.62	7,681.36	7	LEVEL 18	713.62	7,681.36	7	LEVEL 18	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 19	T17				713.62	7,681.36	7	LEVEL 19	713.62	7,681.36	7	LEVEL 19	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 20	T18				713.62	7,681.36	7	LEVEL 20	713.62	7,681.36	7	LEVEL 20	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 21	T19				713.62	7,681.36	7	LEVEL 21	713.62	7,681.36	7	LEVEL 21	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 22	T20				713.62	7,681.36	7	LEVEL 22	713.62	7,681.36	7	LEVEL 22	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 23	T21				713.62	7,681.36	7	LEVEL 23	713.62	7,681.36	7	LEVEL 23	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 24	T22				713.62	7,681.36	7	LEVEL 24	713.62	7,681.36	7	LEVEL 24	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 25	T23				713.62	7,681.36	7	LEVEL 25	713.62	7,681.36	7	LEVEL 25	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 26	T24				713.62	7,681.36	7	LEVEL 26	713.62	7,681.36	7	LEVEL 26	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 27	T25				713.62	7,681.36	7	LEVEL 27	713.62	7,681.36	7	LEVEL 27	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 28	T26				713.62	7,681.36	7	LEVEL 28	713.62	7,681.36	7	LEVEL 28	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 29	T27				713.62	7,681.36	7	LEVEL 29	713.62	7,681.36	7	LEVEL 29	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 30	T28				713.62	7,681.36	7	LEVEL 30	713.62	7,681.36	7	LEVEL 30	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 31	T29				713.62	7,681.36	7	LEVEL 31	713.62	7,681.36	7	LEVEL 31	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 32	T30				713.62	7,681.36	7	LEVEL 32	713.62	7,681.36	7	LEVEL 32	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 33	T31				713.62	7,681.36	7	LEVEL 33	713.62	7,681.36	7	LEVEL 33	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 34	T32				713.62	7,681.36	7	LEVEL 34	713.62	7,681.36	7	LEVEL 34	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 35	T33				713.62	7,681.36	7	LEVEL 35	713.62	7,681.36	7	LEVEL 35	722.09	7,772.46	7	RESID.	2,149.33	23,135.19	21
LEVEL 36	T34				693.29	7,462.51	5	LEVEL 36	693.29	7,462.51	5	LEVEL 36	722.09	7,772.46	6	RESID.	2,108.67	22,697.48	16
LEVEL 37	T35				571.67	6,153.36	4	LEVEL 37	571.67	6,153.36	4	LEVEL 37	564.21	6,073.12	4	RESID.	1,707.54	18,379.83	12
LEVEL 38	T36				466.35	5,019.75	2	LEVEL 38	466.35	5,019.75	2	LEVEL 38	407.88	4,390.33	2	RESID.	1,340.57	14,429.83	6
LEVEL 39	T37				268.07	2,885.53	0	LEVEL 39	268.07	2,885.53	0	LEVEL 39	330.48	3,557.27	0	RESID.	866.63	9,328.33	0
LEVEL 40	T38				268.07	2,885.53	0	LEVEL 40	268.07	2,885.53	0	LEVEL 40	272.57	2,933.94	0	RESID.	808.72	8,705.00	0
LEVEL 41	T39				257.76	2,774.48	0	LEVEL 41	257.76	2,774.48	0	LEVEL 41	261.70	2,816.88	0	RESID.	777.21	8,365.85	0
TOTALS		8,118.51	87,386.90	4	25,761.07	277,289.84	236	27,103.80	291,742.83	238	32,295.67	293,768.70	252		93,279.05	1,004,047.31	730		

Project Statistics

Overall Areas Breakdown per Phase / Overall Retail Areas

AREAS BREAKDOWN PER PHASE: OVERALL GFA

		m²	sq.ft.	UNIT COUNT	
PHASE 1					
Podium	Level 1	4,057.65	43,676.17		
	Level 2	4,060.86	43,710.73		
Res. Units	Level 3	1,870.50	20,133.87	9	4 units are TH
	Level 4	1,699.38	18,291.95	3	
Tower 'A'	Level 5 - 41	24,647.50	265,303.43	228	
PHASE 2					
Tower 'B'	Level 5 - 41	24,647.50	265,303.43	238	
PHASE 3					
Podium	Level 1	2,613.84	28,135.10		
	Level 2	2,389.83	25,723.93		
	Level 3	1,803.12	19,408.67		
	Level 4	545.32	5,869.77		
Tower 'C'	Level 5 - 41	24,943.56	268,490.26	252	
TOTAL		93,279.05	1,004,047.31	730	

TOTAL PER PHASE ABOVE GRADE	
m²	sq.ft.

PHASE 1	36,335.88	391,116.15
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PHASE 2	24,647.50	265,303.43
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PHASE 3	24,943.56	268,490.26
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TOTAL	93,279.05	1,004,047.31
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TOTAL PER PHASE UNDERGROUND	
m²	sq.ft.

PHASE 1 + 2	24,402.18	262,662.91
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PHASE 3	15,141.37	162,980.37
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TOTAL	39,543.56	425,643.29
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COMMON AREAS GFA / NET AREA (UNITS GFA)

COMMON AREAS GFA		NET AREA (UNITS GFA)	
m²	sq.ft.	m²	sq.ft.
1,666.11	17,933.90	2,391.54	25,742.27
833.20	8,968.49	3,227.66	34,742.24
476.96	5,133.97	1,393.54	14,999.90
199.26	2,144.85	1,500.11	16,147.10
4,059.28	43,693.77	20,588.21	221,609.66
4,059.28	43,693.77	20,588.21	221,609.66
1,447.91	15,585.13	1,165.93	12,549.98
686.24	7,386.67	1,703.59	18,337.26
72.08	775.88	1,731.04	18,632.79
100.60	1,082.83	444.72	4,786.94
4,092.99	44,056.62	20,850.57	224,433.65
17,693.93	190,455.87	75,585.12	813,591.44

WVT - RETAIL GROSS USABLE FLOOR AREAS

PHASE 1/2

	LEVEL	m²	sq.ft.
GROCERY STORE	LEVEL 1	2,093.07	22,529.57
	LEVEL 2	2,598.53	27,970.34
	TOTAL	4,691.60	50,499.92

RETAIL 1	LEVEL 1	61.46	661.55
RETAIL 2	LEVEL 1	237.01	2,551.16
RETAIL 3	LEVEL 2	378.59	4,075.12
RETAIL 4	LEVEL 2	250.54	2,696.77

TOTAL PHASE 1/2	5,619.20	60,484.51
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PHASE 3 - TOWER 'C'

	LEVEL	m²	sq.ft.
RETAIL 1	LEVEL 1	128.36	1,381.64
RETAIL 2	LEVEL 1	167.10	1,798.65
RETAIL 3	LEVEL 1	167.10	1,798.65
RETAIL 4	LEVEL 1	153.56	1,652.91
RETAIL 5	LEVEL 1	131.44	1,414.81
RETAIL 6	LEVEL 1	223.85	2,409.47
RETAIL 7	LEVEL 1	194.53	2,093.85

TOTAL PHASE 3 RETAIL	1,165.93	12,549.98
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OVERALL RETAIL AREAS	6,785.13	73,034.49
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PARKADE UNDERGROUND GFA

		m²	sq.ft.	Parking Count
PHASE 1 & 2				
	Level P1	6,100.55	65,665.73	120
	Level P2	6,100.55	65,665.73	141
	Level P3	6,100.55	65,665.73	143
	Level P4	6,100.55	65,665.73	148
Phase 3				
	Level P1	3,785.34	40,745.09	89
	Level P2	3,785.34	40,745.09	102
	Level P3	3,785.34	40,745.09	102
	Level P4	3,785.34	40,745.09	100
TOTAL				945

Project Statistics

Parking Calculations

PARKING REQUIRED VS. PROVIDED (BY-LAW) OVERALL 3 PHASES						
	AREA / UNITS	# STALLS	TOTAL REQ.		TOT. PROV.	
			MINIMUM	MAXIMUM		
LEVEL 1 & 2 - CRUs	1 stall per 100m ² GUFA	6,785.13	1.00	68	68	68
Level 3 - 41 - Resid units	0.5 to 1.0 stall per unit (small)	615	0.50	308	615	574
	0.5 to 2.0 stall per unit (large)	115	0.50	58	230	230
0.1 Bylaw - Visitor	0.10 stall per resid. unit	730	0.10	73	73	73
TOTAL PARKING REQUIRED				507	986	945

PARKING DEFICIENCY			
	MIN. REQUIRED	PROVIDED	MAXIMUM REQ.
	507	945	986
DEFICIENCY	NO		41

PARKADE						
	PARKADE STORAGE LOCKERS	PARKING EFFICIENCY		PARKING RATIO (1 STALL PER)		PARK. COUNT OVERALL
		PARKING FLOOR PLATE AREA				
		m ²	sq.ft	m ²	sq.ft	
P1	0	9,885.89	106,410.82	47.30	509.14	209
P2	259	9,885.89	106,410.82	40.68	437.90	243
P3	270	9,885.89	106,410.82	40.35	434.33	245
P4	295	9,885.89	106,410.82	39.86	429.08	248
824						945

BICYCLE PARKING OVERALL 3 PHASES						
	CLASS	BIKE PARKING REQUIRED	BIKE PARKING PROVIDED	BIKE PARKING		
				REQUIRED	PROVIDED	
CRU	NOT REQUIRED	0.00	0.00	CLASS 1	0	0
	1 per 250m ² GUFA	1.00	6,785.13	CLASS 2	28	28
RESIDENTIAL	0.5 per unit (1.0 per unit Ph3)	0.50	730	CLASS 1	491	506
	0.1 per unit	0.10	730	CLASS 2	74	74
TOTAL				CLASS 1	491	506
				CLASS 2	102	102

BIKE COUNT			
	FLOOR MOUNT	WALL MOUNT	TOTAL BIKES
PH1 - ROOM 1	0	91	91
PH1 - ROOM 2	0	95	95
PH1 - ROOM 3	0	51	51
PH1 - ROOM 4	0	53	53
PH2 - ROOM 1	0	34	34
PH3 - ROOM 1	70	49	119
PH3 - ROOM 2	38	4	42
PH3 - ROOM 3	21	0	21
TOTAL			506

PARKING REQUIRED VS. PROVIDED PHASE 1			
UNITS / GUFA	REQUIRED		PROVIDED
	MINIMUM	MAXIMUM	
5,619.20	57	57	246
198	154	198	198
42	21	84	84
240	24	24	24
256			552

PARKING DEFICIENCY PHASE 1		
	REQUIRED	PROVIDED
	256	552
DEFICIENCY	NO	

PARK. COUNT	
Phase 1 & 2	Phase 3
120	89
141	102
143	102
148	100
552	393

BIKE PARKING - PHASE 1 ONLY			
CLASS	GUFA / UNITS	BIKE PARKING	
		REQUIRED	PROVIDED
CLASS 1	0	0	0
CLASS 2	5,619.20	23	23
CLASS 1	240	120	120
CLASS 2	240	24	24
TOTAL		CLASS 1	120
		CLASS 2	47

PARKING REQUIRED VS. PROVIDED PHASE 2			
UNITS / GUFA	REQUIRED		PROVIDED
	MINIMUM	MAXIMUM	
5,619.20	57	57	57
399	200	399	289
79	40	158	158
478	48	48	48
345			552

PARKING DEFICIENCY PHASE 2		
	REQUIRED	PROVIDED
	345	552
DEFICIENCY	NO	

BIKE PARKING - PHASE 2 ONLY			
CLASS	GUFA / UNITS	BIKE PARKING	
		REQUIRED	PROVIDED
CLASS 1	0	0	0
CLASS 2	0.00	0	0
CLASS 1	238	119	119
CLASS 2	238	24	24
TOTAL		CLASS 1	119
		CLASS 2	24

BIKE PARKING - PHASE 3 ONLY			
CLASS	GUFA / UNITS	BIKE PARKING	
		REQUIRED	PROVIDED
CLASS 1	0	0	0
CLASS 2	1,165.93	5	5
CLASS 1	252	252	267
CLASS 2	252	26	28
TOTAL		CLASS 1	267
		CLASS 2	33

Project Statistics

Unit Mix

UNIT MIX

		PODIUM				TOWER 'A'				TOWER 'B'				TOWER 'C'				UNIT COUNT TOTAL	
		1 BDRM	2 BDRM	3BDRM	TWNHOUSE	TOTAL	1 BDRM	2 BDRM	3BDRM	TOTAL	1 BDRM	2 BDRM	3BDRM	TOTAL	1 BDRM	2 BDRM	3BDRM		TOTAL
LEVEL 1	R1					0			0				0				0		
LEVEL 2	R2					0			0				0	12	6	1	19	19	
LEVEL 3	T1	0	0	0	4	4	3	2	0	5	0	6	0	6	0	0	0	15	
LEVEL 4	T2	0	0	0	0	0	1	1	1	3	2	2	0	4	0	4	0	4	
LEVEL 5	T3					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 6	T4					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 7	T5					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 8	T6					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 9	T7					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 10	T8					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 11	T9					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 12	T10					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 13	T11					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 14	T12					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 15	T13					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 16	T14					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 17	T15					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 18	T16					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 19	T17					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 20	T18					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 21	T19					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 22	T20					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 23	T21					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 24	T22					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 25	T23					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 26	T24					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 27	T25					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 28	T26					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 29	T27					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 30	T28					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 31	T29					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 32	T30					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 33	T31					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 34	T32					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 35	T33					0	2	4	1	7	2	4	1	7	2	4	1	7	
LEVEL 36	T34					0	0	1	4	5	0	1	4	5	1	3	2	6	
LEVEL 37	T35					0	1	1	2	4	1	1	2	4	0	2	2	4	
LEVEL 38	T36					0	1	1	0	2	1	1	0	2	0	2	0	2	
LEVEL 39	T37					0	0	0	0	0	0	0	0	0	0	0	0	0	
LEVEL 40	T38					0	0	0	0	0	0	0	0	0	0	0	0	0	
LEVEL 41	T39					0	0	0	0	0	0	0	0	0	0	0	0	0	
TOTALS		0	0	0	4	4	68	130	38	236	66	135	37	238	75	141	36	252	730

TOTAL UNITS PER # OF BEDROOMS TOTAL

1BDRM	2BDRM	3BDRM	TWNHOUSE	TOTAL
209	406	111	4	730
28.63%	55.62%	15.21%	0.55%	100.00%

Bonusing Study

Phase 3

BONUSING STUDY BASED ON SCHEDULE B - PHASE 3						BONUSING ITEM TO BE USED		OTHER ADDITIONAL BONUSABLE ITEMS (RESERVED & NOT USED FOR BONUSING)	
FACTOR						SM	FAR	SM	FAR
0.00	SUPERMARKET					5,189.36	0.5		
1.00	PAPOS			BASE COST	ENHANCED				
		296.00	HARDSCAPE AREA	\$ 62,108.33	\$ 141,606.98				
			SOFTSCAPE AREA	\$ 9,893.99	\$ 9,893.99				
			SITE LIGHTING	\$ 28,800.93	\$ 77,762.51			1,168.67	0.1
				\$	\$ 145,000.00				
			CONTINGENCY	\$ 10,080.32	\$ 37,426.35				
			GENERAL REQUIREMENTS AND FEES	\$ 16,632.54	\$ 61,753.47				
			TOTAL COST	\$ 127,516.11	\$ 473,443.31				
				cost each					
3.50	EV CHARGING STATIONS (x10)	296.00		5.00	40,000.00			675.68	0.1
11.00	EXCEPTIONAL DESIGN	1.00				10,378.73	1.0		
14.00	DWELLING UNIT MIX	2.00	4,377.28	SM Total of units that comply	8,754.56 SM max potential	7,465.50	0.7	5,039.21	1.4
TOTAL						23,033.59	1.7	6,883.56	1.5

NOTE: TOTAL ALLOWED BONUSING NOT TO EXCEED 2.0 FAR IN TOTAL

| Contact Us

West Village Towers - Phase 3

Project No. NCCA22-0192

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