

Development Permit Plans



GALLERY FIRST AND TENTH

[illegible][illegible]

UNIT TYPE	DESCRIPTION	GROSS AREA		COMMONAL GFA		GROSS AREA		RESIDENTIAL GFA		GROSS AREA		
		SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	
A	1 BDRM - EAST FACING	515	47.61			6,566	602.78			MAN FLR PARKING SWAP	525	48.46
B	1 BDRM - EAST FACING CORNER	532	49.32			MAN FLR COMMON ALLOCATION (50%)	1350	125.71		MAN FLR COMMON ALLOCATION (50%)	1310	121.71
C	1 BDRM - NE & SE CORNER	532	49.32			SERVICE MEZZANINE ALLOCATION (50%)	641	59.07		SERVICE MEZZANINE ALLOCATION (50%)	641	59.07
D	1 BDRM - NW CORNER	546	50.75			2ND FLOOR COMMON INTERIOR	1560	144.25		2ND FLOOR RES. INT. ALLEVITY	1953	179.67
E	1 BDRM - SW CORNER	560	51.67			2ND FLOOR COM. PARTIAL INTERIOR	334	30.53		2ND FLOOR COMMON ALLOCATION (50%)	798	73.65
F	2 BDRM - EAST FACING	788	72.98			2ND FLOOR COMMON ALLOCATION (50%)	798	73.65		2ND FLOOR COMMON ALLOCATION (50%)	688	63.43
G	2 BDRM - NE CORNER	910	84.53			TOTAL COMMONAL, MAN FLR GFA	6716	624.10		4TH FLOOR	688	63.43
H	2 BDRM - SE CORNER	910	84.53			TOTAL COMMONAL, 2ND FLOOR	-1369	-125.69		5TH FLOOR	688	63.43
I	2 BDRM - SW CORNER	599	55.32							6TH FLOOR	688	63.43
J	2 BDRM - NW CORNER	615	56.93							7TH FLOOR	688	63.43
CRU- 01	COMMERCIAL - SE CORNER	808	74.98							8TH FLOOR	688	63.43
CRU- 12	COMMERCIAL - NORTH FACING	842	78.25							9TH FLOOR	6870	633.88
CRU- 103	COMMERCIAL - INT CORNER	1639	150.67							10TH FLOOR	6870	633.88
CRU- 104	COMMERCIAL - NW CORNER	1117	103.61							11TH FLOOR	6870	633.88
										12TH FLOOR	6870	633.88
										13TH FLOOR	6870	633.88
										14TH FLOOR	6870	633.88
										15TH FLOOR	6870	633.88
										16TH FLOOR	6870	633.88
										17TH FLOOR	6870	633.88
										18TH FLOOR	6870	633.88
										TOTAL, RESIDENTIAL, LOOR GFA	10610	982.26
										TOTAL RESIDENTIAL, USE GFA	102599	9498.15
										TOTAL BUILDING GFA	108146	9977.23

ISSUED FOR DTR3 RESPONSE
2023-09-22

LEGAL: 17 TO 20 INCLUSIVE, BLOCK 68, PLAN A
MUNICIPAL: 1001 - 1ST STREET SW, CALGARY, ALBERTA

PROJECT NUMBER:
22.24.TRU_BELT





SE CORNER



NE CORNER

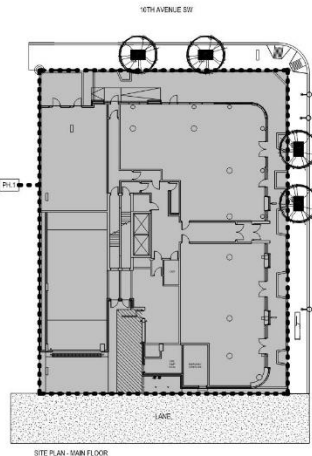


SW CORNER

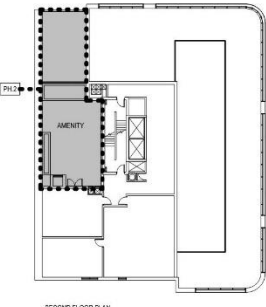


NW CORNER

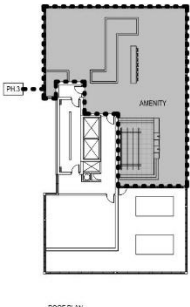
4 SITE PHOTOS - EXISTING
DP.001 1:100



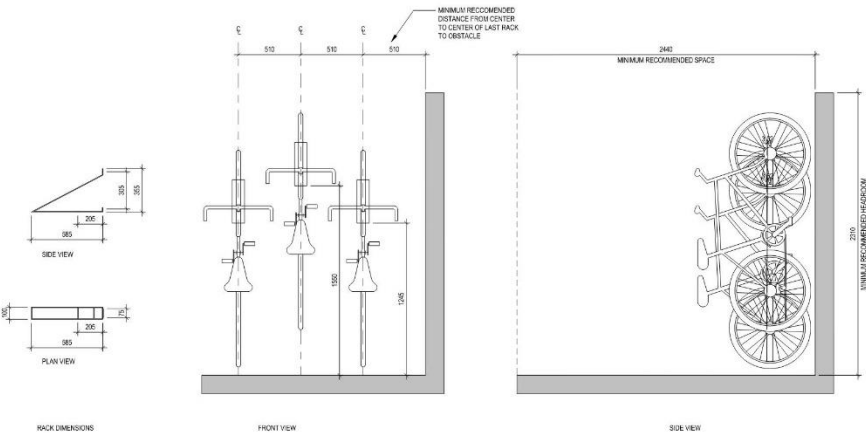
PHASE 1 - BASE BUILDING & SITE WORK



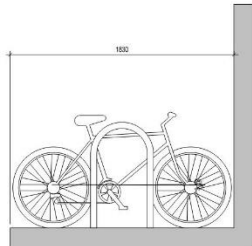
PHASE 2 - AMENITY SPACE PLANTING & FURNITURE



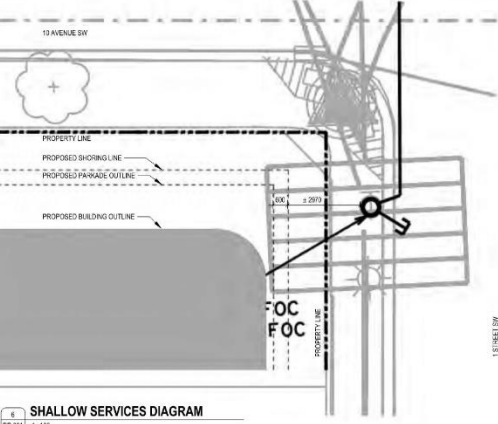
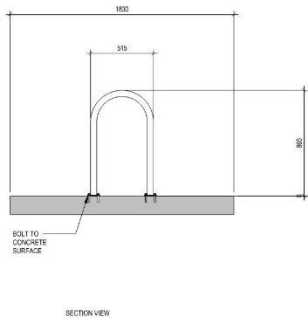
5 PHASING - PLAN
DP.001 1:100



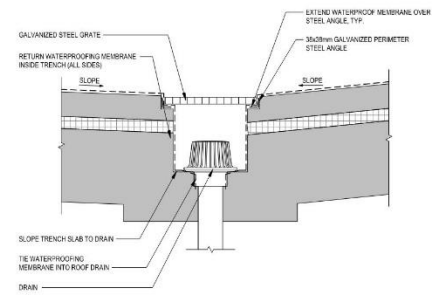
CLASS I BIKE RACK - WALL MOUNTED
DP.001 1:20



CLASS I AND CLASS II BIKE RACK - SURFACE MOUNTED
DP.001 1:20



SHALLOW SERVICES DIAGRAM
DP.001 1:100



TRENCH DRAIN DETAIL
DP.001 1:10



FORMED ALLIANCE ARCHITECTURE STUDIO

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NO.	DESCRIPTION	DATE
1	REV. 01	2023-10-20
2	REV. 02	2023-10-20
3	REV. 03	2023-10-20
4	REV. 04	2023-10-20
5	REV. 05	2023-10-20
6	REV. 06	2023-10-20
7	REV. 07	2023-10-20
8	REV. 08	2023-10-20
9	REV. 09	2023-10-20
10	REV. 10	2023-10-20

CONSTRUCTION

TENDER

BUILDING PERMIT

WATER/VAL ADDRESS

LEGAL ADDRESS

PROJECT NAME

22.24 TRU BELT

PROJECT NAME

GALLERY FIRST AND TENTH

DRAWN

CHECKED

DATE

SCALE

As indicated

DETAILED SITE INFORMATION

DRAWING NUMBER

DP.001

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SCALE

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CONSTRUCTION

RELEASES		
NO.	DESCRIPTION	DATE
D	10% OF	2023-10-28
C	OF CLIENT REVIEW	2023-10-28
D	DEVELOPMENT PERMIT	2023-10-28
E	DTM RESPONSE	2023-10-28
F	DTM RESPONSE	2023-10-28
G	DTM RESPONSE	2023-10-28

- ☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT

WALL ADDRESS
100 - 101 STREET IN GALTNEY, ALBERTA

LEGAL ADDRESS
1710-101 STREET, BLOCK 10, PLAN 0

PROJECT NAME
22-24 TRU BELT

PROJECT NAME
GALLERY FIRST AND TENTH

DRAWN
SAC

CHECKED
MS

DATE
2023-10-28

SCALE
1:200

DESIGN TITLE
CODE REVIEW

DRAWING NUMBER

DP.002

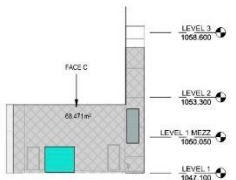
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3 DP - UPO - WEST
DP.002 1:200

SOUTH - FACE A		SOUTH - FACE B	
TABLE 3.2.3.1-D	TABLE 3.2.3.1-D	TABLE 3.2.3.1-D	TABLE 3.2.3.1-D
LIMITING DISTANCE	0m	LIMITING DISTANCE	6670m
BUILDING FACE	238.254m ²	BUILDING FACE	361.181m ²
ACTUAL OPENINGS	0m ²	ACTUAL OPENINGS	362.209m ²
% OF ALLOWABLE OPENINGS	0%	% OF ALLOWABLE OPENINGS	61.4%
% OF PROVIDED OPENINGS	0%	% OF PROVIDED OPENINGS	16.4%

TABLE 3.2.3.7		TABLE 3.2.3.7	
REQUIRED F.R.R.	1 HOUR	REQUIRED F.R.R.	45 MIN
CONSTRUCTION TYPE	NON-COMBUSTIBLE	CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE
CLADDING TYPE	NON-COMBUSTIBLE	CLADDING TYPE	COMBUSTIBLE / NON-COMBUSTIBLE



4 DP - UPO - WEST ADJACENT TO BUILDING
DP.002 1:200

SOUTH - FACE C	
TABLE 3.2.3.1-D	TABLE 3.2.3.1-D
LIMITING DISTANCE	150m
BUILDING FACE	68.47m ²
ACTUAL OPENINGS	7.840m ²
% OF ALLOWABLE OPENINGS	16%
% OF PROVIDED OPENINGS	11.5%

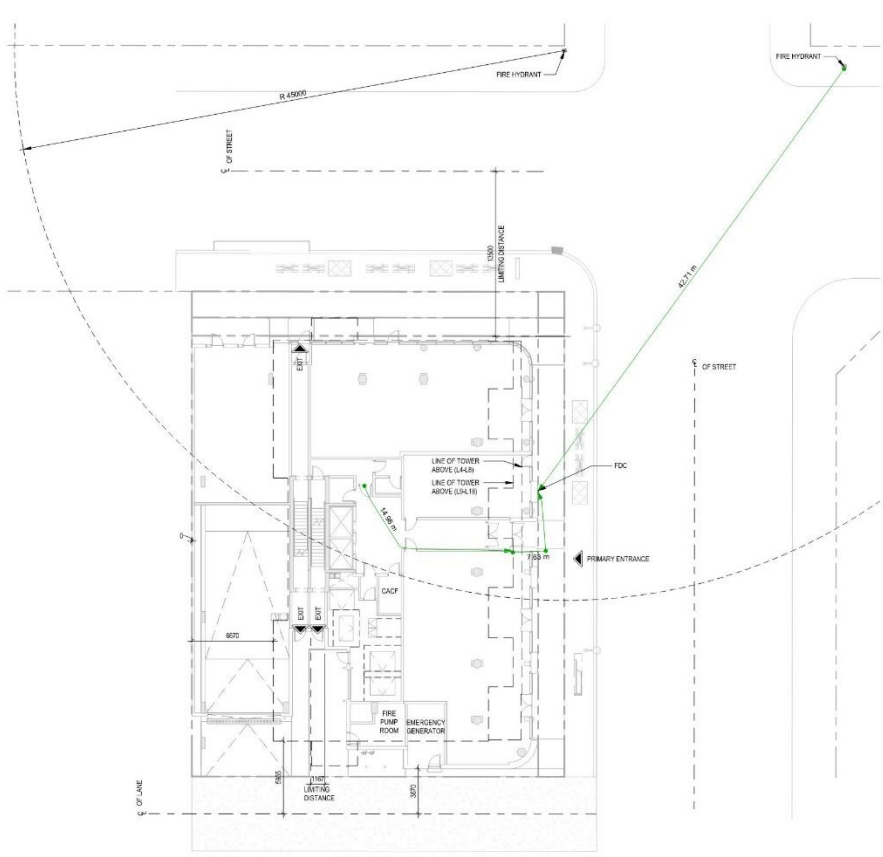
TABLE 3.2.3.7	
REQUIRED F.R.R.	1 HOUR
CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE
CLADDING TYPE	NON-COMBUSTIBLE



2 DP - UPO - SOUTH
DP.002 1:200

SOUTH - FACE A		SOUTH - FACE B	
TABLE 3.2.3.1-D	TABLE 3.2.3.1-D	TABLE 3.2.3.1-D	TABLE 3.2.3.1-D
LIMITING DISTANCE	3370m	LIMITING DISTANCE	5935m
BUILDING FACE	284.159m ²	BUILDING FACE	1079.34m ²
ACTUAL OPENINGS	43.231m ²	ACTUAL OPENINGS	339.86m ²
% OF ALLOWABLE OPENINGS	27.4%	% OF ALLOWABLE OPENINGS	17.2%
% OF PROVIDED OPENINGS	15.4%	% OF PROVIDED OPENINGS	27.1%

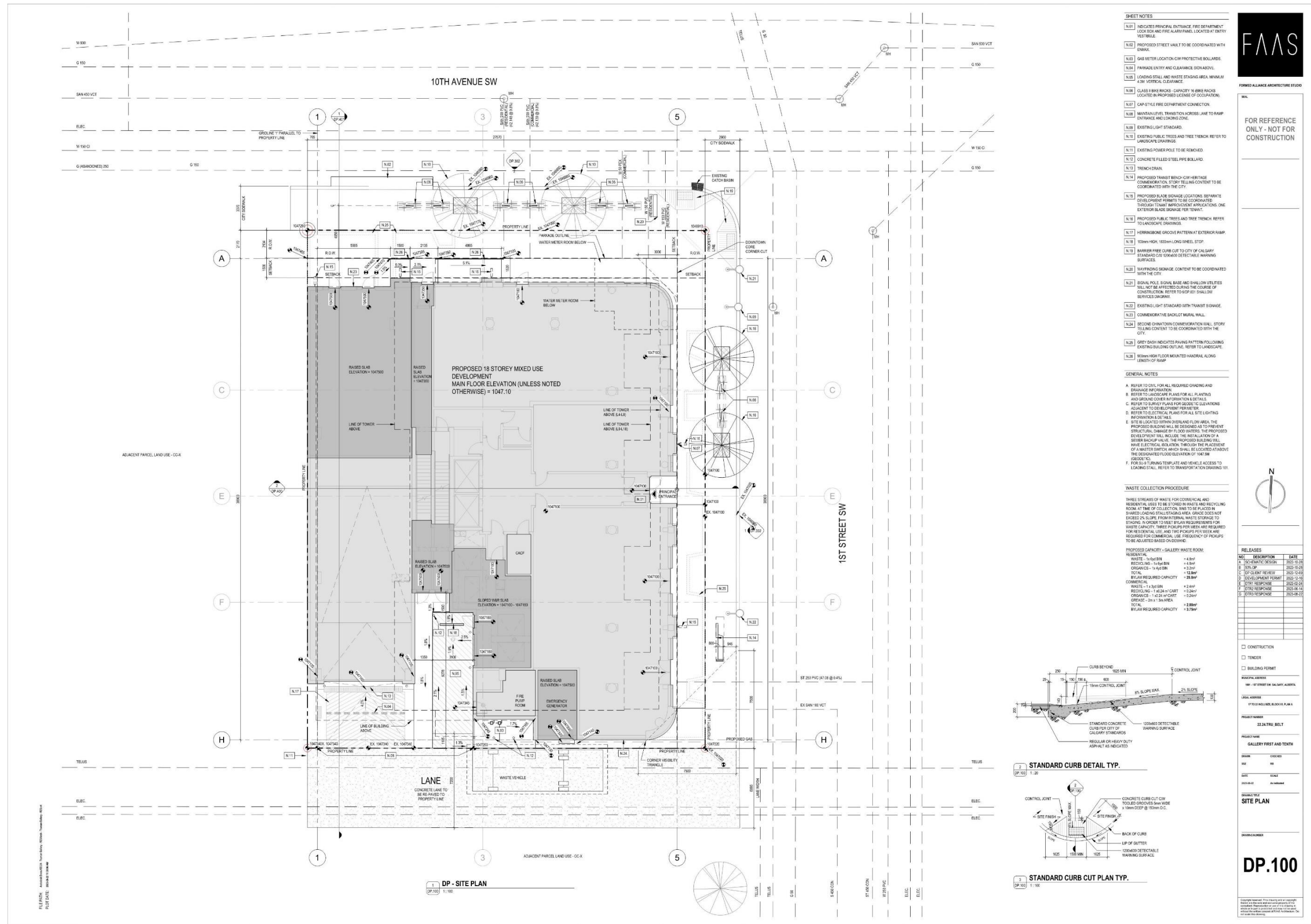
TABLE 3.2.3.7		TABLE 3.2.3.7	
REQUIRED F.R.R.	45 MIN	REQUIRED F.R.R.	45 MIN
CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE	CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE
CLADDING TYPE	COMBUSTIBLE / NON-COMBUSTIBLE	CLADDING TYPE	COMBUSTIBLE / NON-COMBUSTIBLE

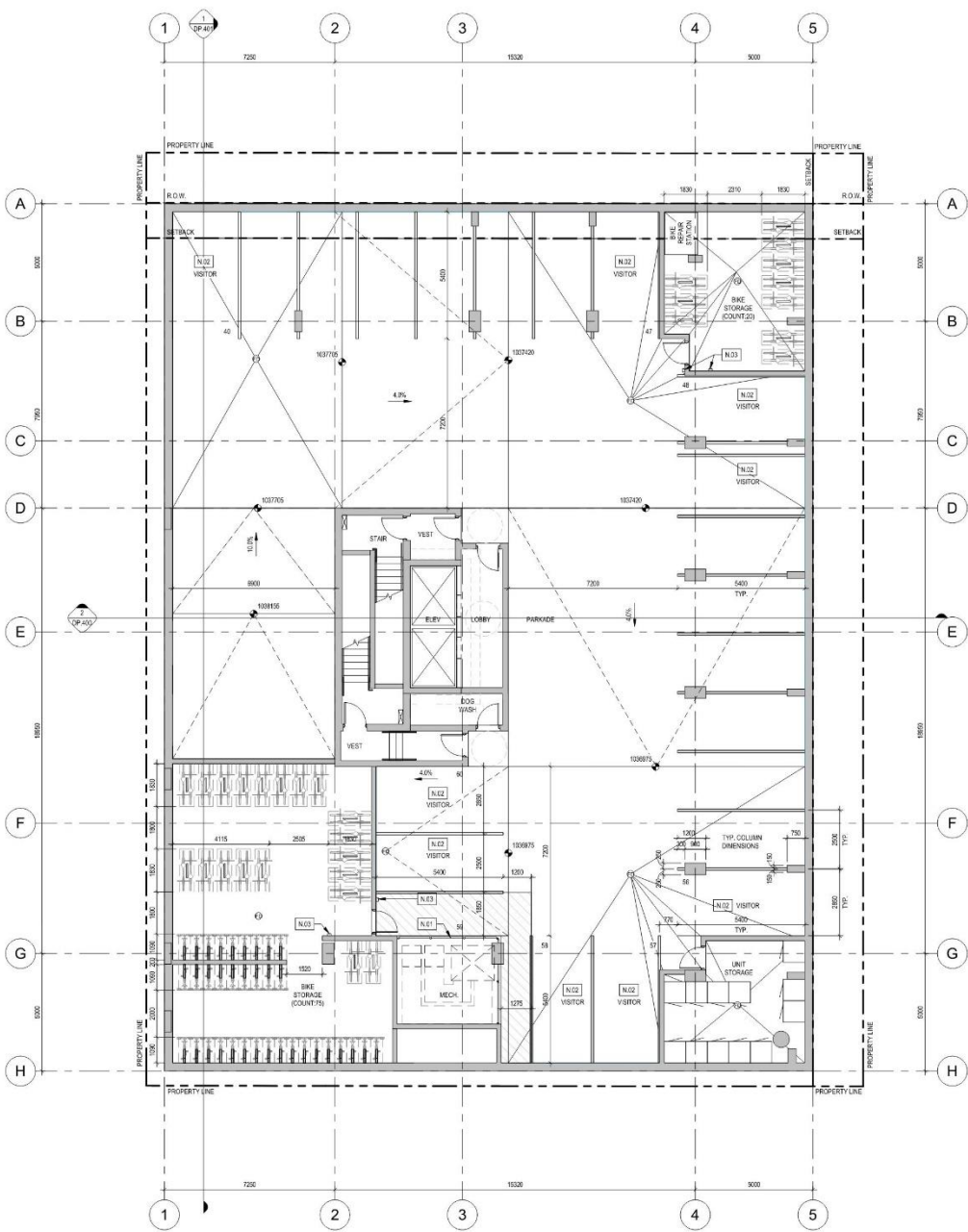


1 DP - LIMITING DISTANCE PLAN
DP.002 1:200

NORTH		EAST	
TABLE 3.2.3.1-D	TABLE 3.2.3.1-D	TABLE 3.2.3.1-D	TABLE 3.2.3.1-D
LIMITING DISTANCE	1350m	LIMITING DISTANCE	1276m
BUILDING FACE	1371.36m ²	BUILDING FACE	2383.20m ²
ACTUAL OPENINGS	362.00m ²	ACTUAL OPENINGS	178.20m ²
% OF ALLOWABLE OPENINGS	10%	% OF ALLOWABLE OPENINGS	100%
% OF PROVIDED OPENINGS	46.8%	% OF PROVIDED OPENINGS	46.3%

TABLE 3.2.3.7		TABLE 3.2.3.7	
REQUIRED F.R.R.	NA	REQUIRED F.R.R.	NA
CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE	CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE
CLADDING TYPE	COMBUSTIBLE / NON-COMBUSTIBLE	CLADDING TYPE	COMBUSTIBLE / NON-COMBUSTIBLE





1 DP - LEVEL P3 FLOOR PLAN
DP-101 1:100

GENERAL NOTES

- A. ALL WALL, COLUMN AND CEILING SURFACES TO BE PAINTED WHITE OR COMPARABLE LIGHT TONE.
- B. LIGHT FIXTURES TO BE PLACED ABOVE STALLS AND INSTALLATIONS ABOVE DRIVE AISLE.
- C. ALL TURNBELL DOORS AND ELEVATOR ACCESS TO INCLUDE TRANSPARENT PANELS FOR VISIBILITY.
- D. A LOCKING SYSTEM TO MEET A MIN. OF 50 LBS WITH A MINIMUM RATED OF 4:1 ON PAVEMENT SHALL BE PROVIDED.
- E. FOR THE LIFE OF THE DEVELOPMENT ELEVATOR ACCESS SHALL BE PROVIDED FOR USERS OF CLASS 1 CYCLING FACILITIES.
- F. PARKING STALLS WILL BE DESIGNED AND CONSTRUCTED TO AN EV CAPABLE STANDARD.

SHEET NOTES

- N.01 CHAIN LINK FENCE
- N.02 PAVEMENT MARKINGS TO INDICATE VISITOR PARKING
- N.03 PUSH BUTTON ACCESS BIKES ROOMS



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RELEASES

NO.	DESCRIPTION	DATE
A.	SCHEMATIC DESIGN	2023-10-05
B.	50% DP	2023-10-26
C.	TOP CLIENT REVIEW	2023-10-26
D.	DEVELOPMENT PERMIT	2023-10-26
E.	UTRI RESPONSE	2023-10-26
F.	UTRI RESPONSE	2023-10-26
G.	UTRI RESPONSE	2023-10-26

- ☐ CONSTRUCTION
- ☐ TENDER
- ☐ BUILDING PERMIT

WATERFALL ADDRESS

100-101 STREET IN GALTWAY, ALBERTA

LEGAL ADDRESS

1750-100 STREET, BLOCK 10, PLAN 1

PROJECT NUMBER

22-24 TRU BELT

PROJECT NAME

GALLERY FIRST AND TENTH

DRAWN

MAE

DATE

2023-10-26

SCALE

1:100

DRAWING TITLE

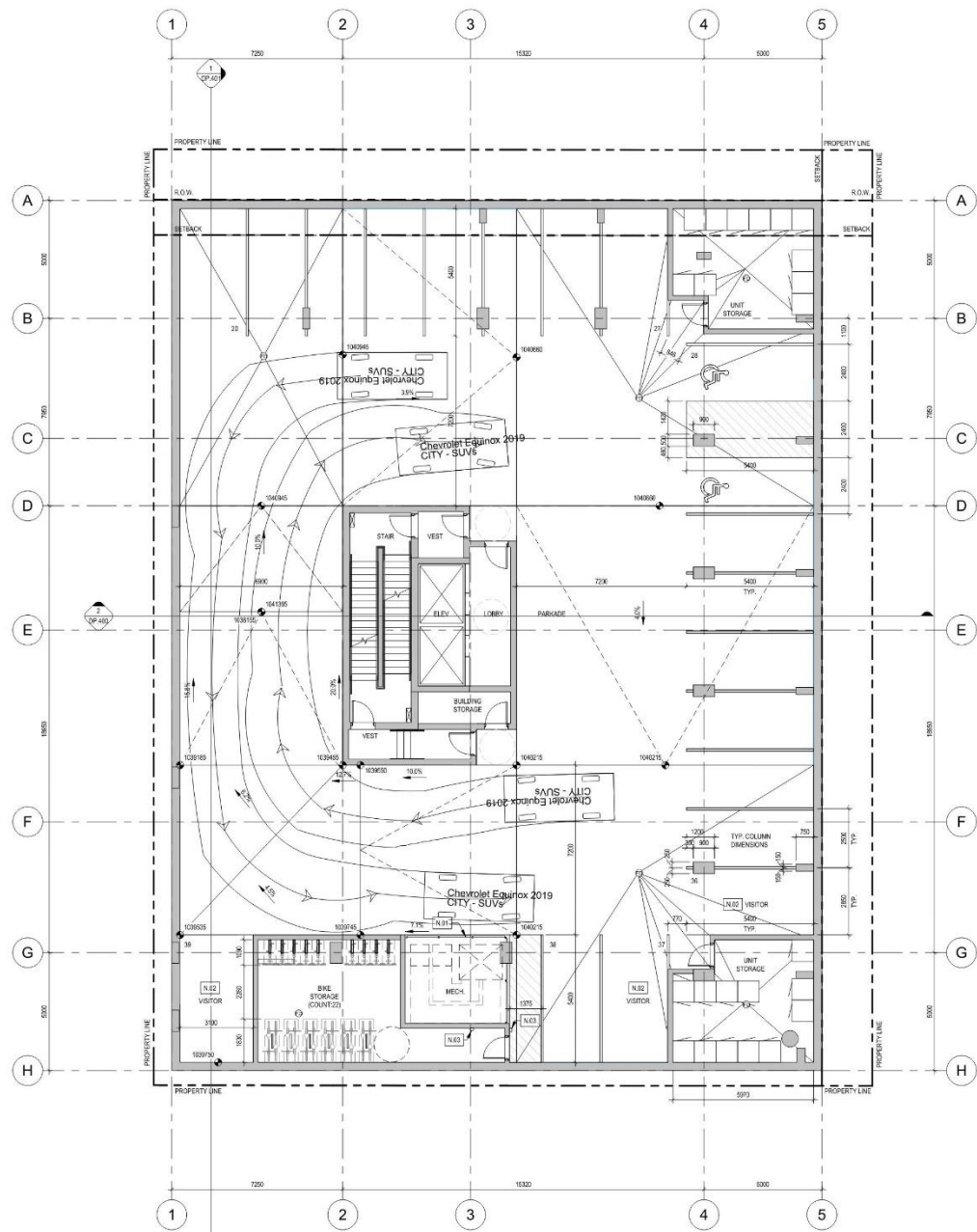
PARKADE LEVEL P3

PLAN

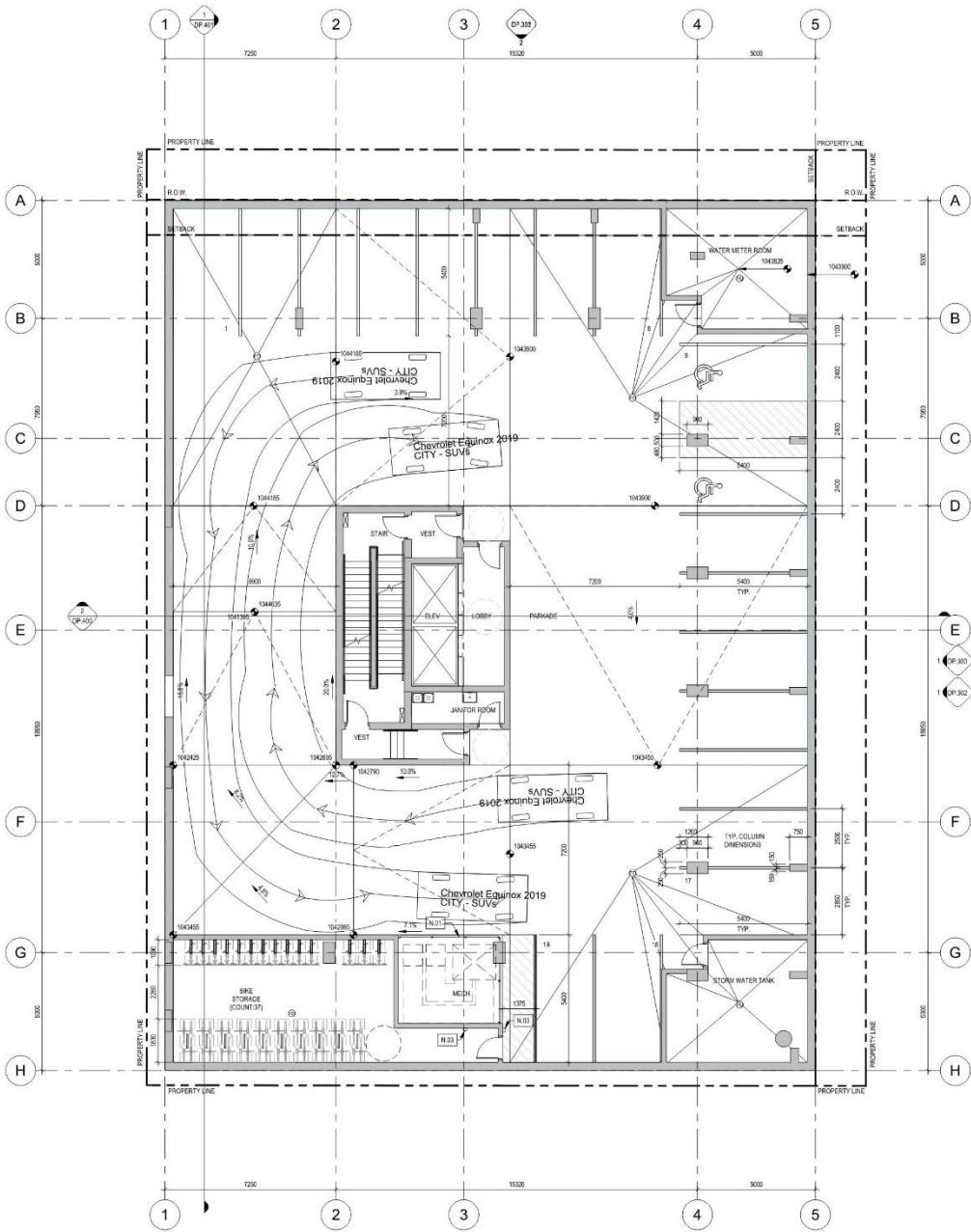
DRAWING NUMBER

DP.101

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2 DP - LEVEL P2 FLOOR PLAN
(DP.102) 1:100



1 DP - LEVEL P1 FLOOR PLAN
(DP.101) 1:100

GENERAL NOTES

- ALL WALL, COLUMN AND CEILING SURFACES TO BE PAINTED WHITE OR COMPARABLE LIGHT TONE.
- LIGHT FIXTURES TO BE PLACED ABOVE STALLS AND INSTALLATIONS ABOVE DRIVE AISLE.
- ALL TURNED IN DOORS AND ELEVATOR ACCESS TO INCLUDE TRANSPARENT PANELS FOR VISIBILITY.
- A LOCKING SYSTEM TO MEET A MIN. OF 50 LBS WITH A UNIFORMITY RATIO OF 4:1 ON PAVEMENT SHALL BE PROVIDED.
- FOR THE LIFE OF THE DEVELOPMENT ELEVATOR ACCESS SHALL BE PROVIDED FOR USERS OF CLASS 1 CYCLING FACILITIES.
- PAVING SHALL BE DESIGNED AND CONSTRUCTED TO AN EXISTING STANDARD.

SHEET NOTES

- CHAIN LINK FENCE
- PAVEMENT MARKINGS TO INDICATE VISITOR PARKING
- PUSH BUTTON ACCESS BIKE ROOMS



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RELEASES

NO.	DESCRIPTION	DATE
A	PRELIMINARY DESIGN	2023-10-05
B	50% DP	2023-10-26
C	TOP GROUND REVIEW	2023-10-26
D	DEVELOPMENT PERMIT	2023-10-26
E	UTRI RESPONSE	2023-10-26
F	UTRI RESPONSE	2023-10-26
G	UTRI RESPONSE	2023-10-26

- ☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT

WATER ADDRESS

100 - 100 STREET IN GALTWAY, ALBERTA

LEGAL ADDRESS

17500 100 STREET, BLOCK 10, PLAN 1

PROJECT NAME

22.24 TRU BELT

PROJECT NAME

GALLERY FIRST AND TENTH

DRAWN

CHECKED

DATE

2023-10-26

SCALE

1:100

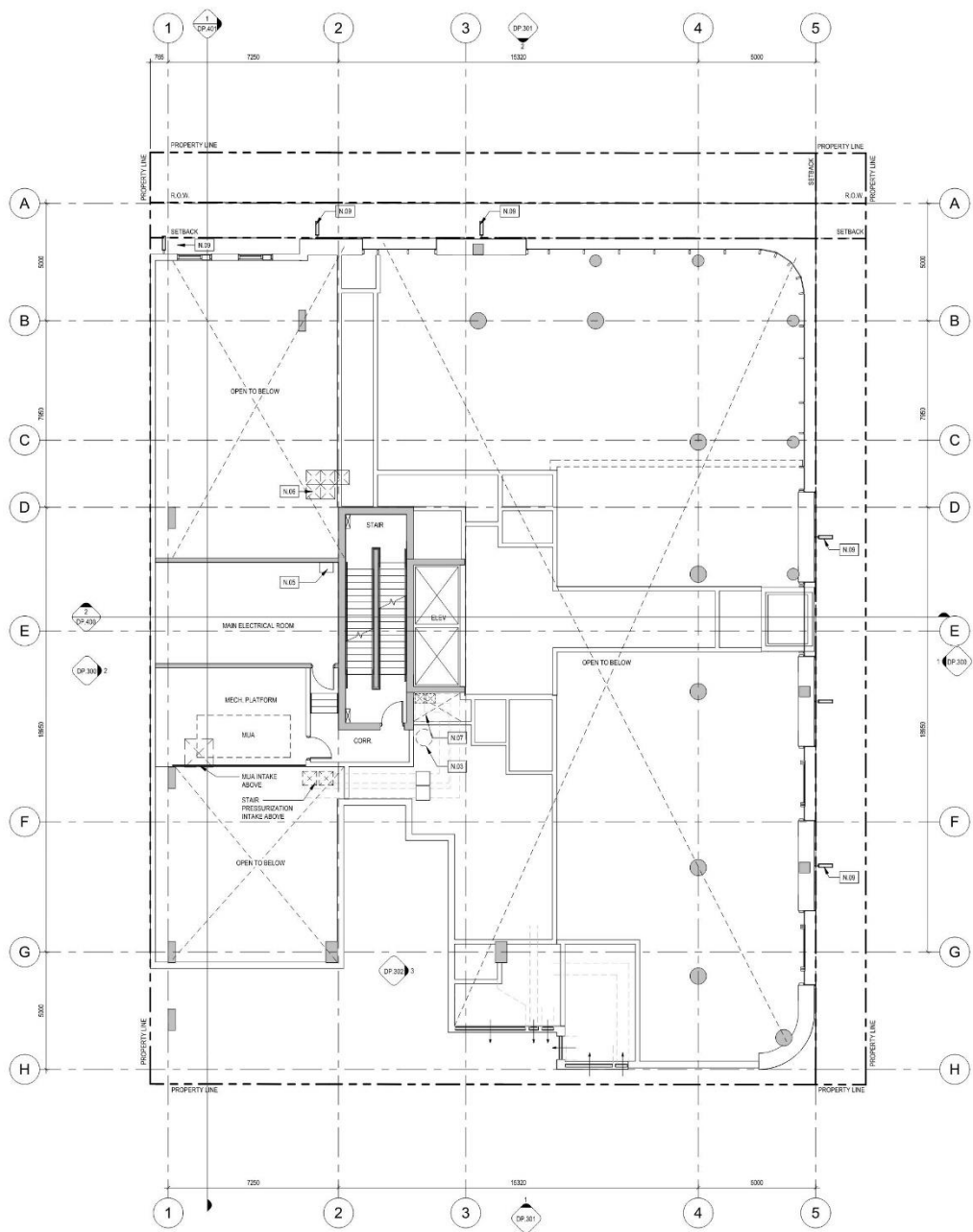
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PARKADE LEVEL P1 AND P2

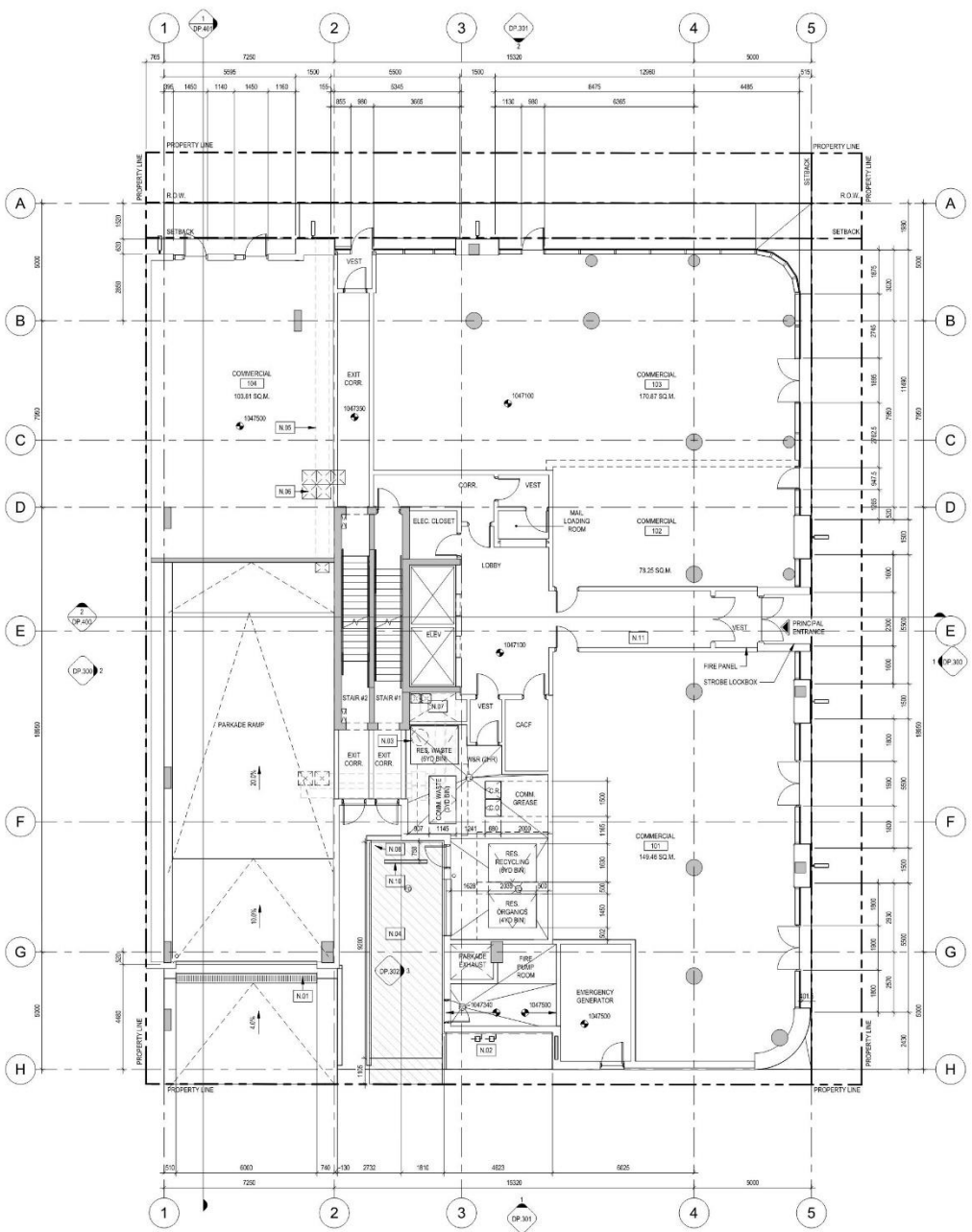
DRAWING NUMBER

DP.102

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2 DP - MEZZANINE FLOOR PLAN
DP.201 1:100



1 DP - LEVEL 1 FLOOR PLAN
DP.201 1:100

GENERAL NOTES

A. SITE IS LOCATED WITHIN OVER AND FLOW AREA.
B. FOR THE LIFE OF THE DEVELOPMENT ELEVATOR ACCESS SHALL BE PROVIDED FOR USERS OF CLASS 1 CYCLING FACILITIES.

WASTE COLLECTION PROCEDURE

THREE STREAMS OF WASTE FOR COMMERCIAL AND RESIDENTIAL USED TO BE STORED IN WASTE AND RECYCLING ROOM AT TIME OF COLLECTION, THIS TO BE PLACED IN SHARED LOADING STALLSTAGING AREA. GRACE DOES NOT EXCEED ON SLOPE FROM INTERNAL WASTE STORAGE TO STAGING. IN ORDER TO MEET BYLAW REQUIREMENTS FOR WASTE CAPACITY, THREE PICKUPS FOR WASTE ARE REQUIRED FOR RESIDENTIAL USE, AND TWO PICKUPS FOR WASTE ARE REQUIRED FOR COMMERCIAL USE. FREQUENCY OF PICKUPS TO BE ADJUSTED BASED ON DENSITY.

PROPOSED CAPACITY - GALLERY WASTE ROOM:

WASTE - 15 M ³ BIN	+ 4.50P
RECYCLING - 15 M ³ BIN	+ 4.50P
ORGANICS - 15 M ³ BIN	+ 3.20P
TOTAL	+ 12.20P
BYLAW REQUIRED CAPACITY	+ 28.00P

COMMERCIAL:

WASTE - 1 x 3M ³ BIN	+ 2.00P
RECYCLING - 1 x 4M ³ BIN	+ 2.00P
ORGANICS - 1 x 2M ³ BIN	+ 2.00P
TOTAL	+ 6.00P
BYLAW REQUIRED CAPACITY	+ 13.00P

SHEET NOTES

N.01	TRENCH DRAIN
N.02	PROPOSED GAS METER LOCATION WITH PROTECTIVE BOLLARDS
N.03	GARAGE CHUTE - WASTE ONLY
N.04	LOADING ZONE AND STAGING AREA
N.05	DUCT BANK FROM PROPOSED SHAW VALVE AT US OF MAIN FLOOR SLAB TO MEZZANINE ELECTRICAL ROOM
N.06	COMMERCIAL KITCHEN EXHAUST
N.07	PIPEWYME MECHANICAL RISER
N.08	1200mm HIGH WALL
N.09	BUILDING SERVICES
N.10	1000mm HIGH, 1000mm LONG RIMEL STOP
N.11	PROPOSED PHOTO DOCUMENTATION OF HISTORIC RESOURCE LOCATED IN LOBBY



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NO.	DESCRIPTION	DATE
A.	PRELIMINARY DESIGN	2023-10-05
B.	10% DP	2023-10-26
C.	20% DP	2023-11-09
D.	DEVELOPMENT PERMIT	2023-12-10
E.	UTR RESPONSE	2023-02-24
F.	UTR RESPONSE	2023-04-10
G.	UTR RESPONSE	2023-08-22

- ☐ CONSTRUCTION
- ☐ TENDER
- ☐ BUILDING PERMIT

WATER ADDRESS: 180 - 1ST STREET IN GALT, ALBERTA

LEGAL ADDRESS: 17100 WILLOW, BLOCK 11, PLAN 6

PROJECT NAME: 22.24 TRU BELT

PROJECT NAME: GALLERY FIRST AND TENTH

DRAWN: [blank] CHECKED: [blank]

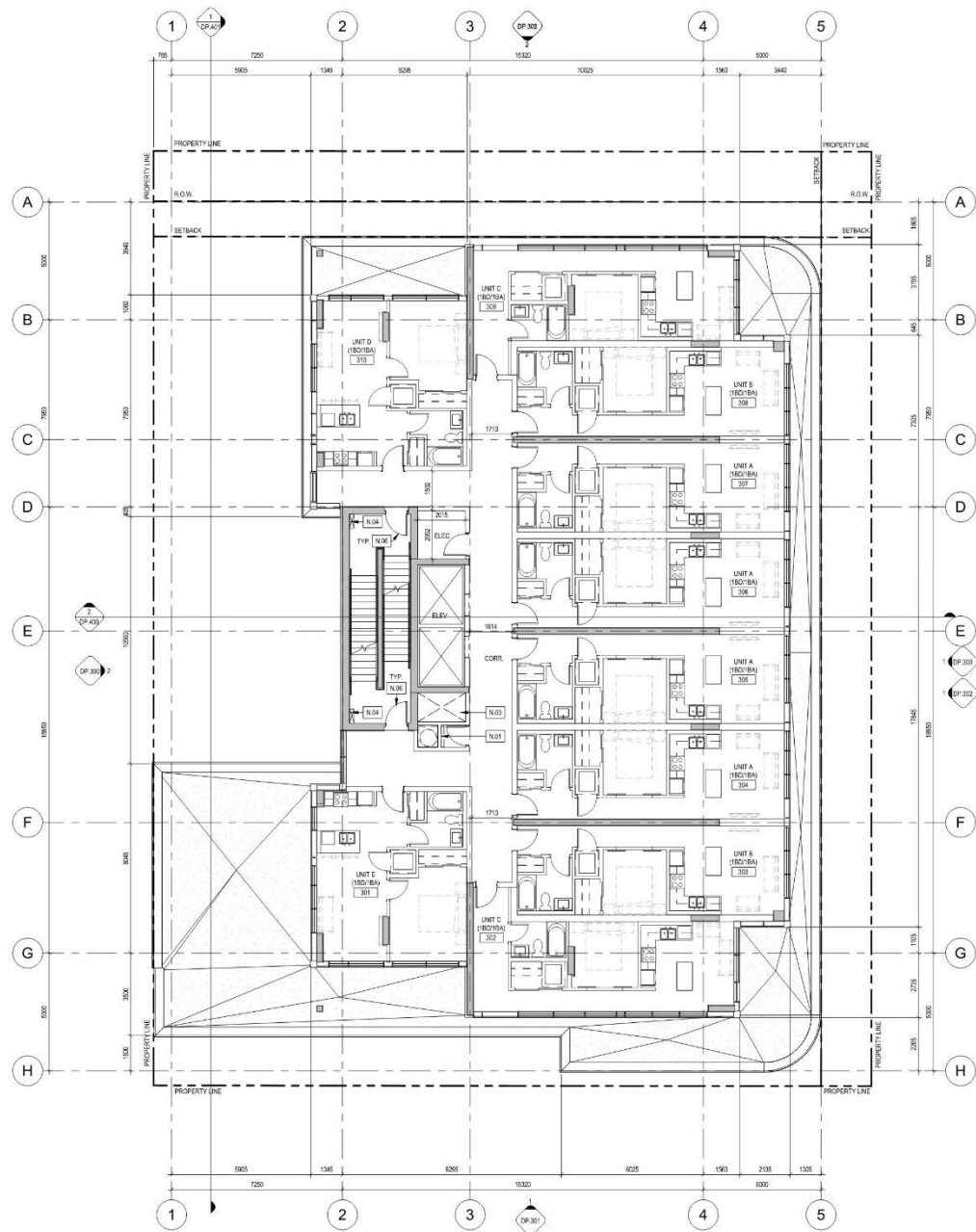
DATE: 2023-04-10 SCALE: 1:100

DESIGN TITLE: MAIN FLOOR AND MEZZANINE PLAN

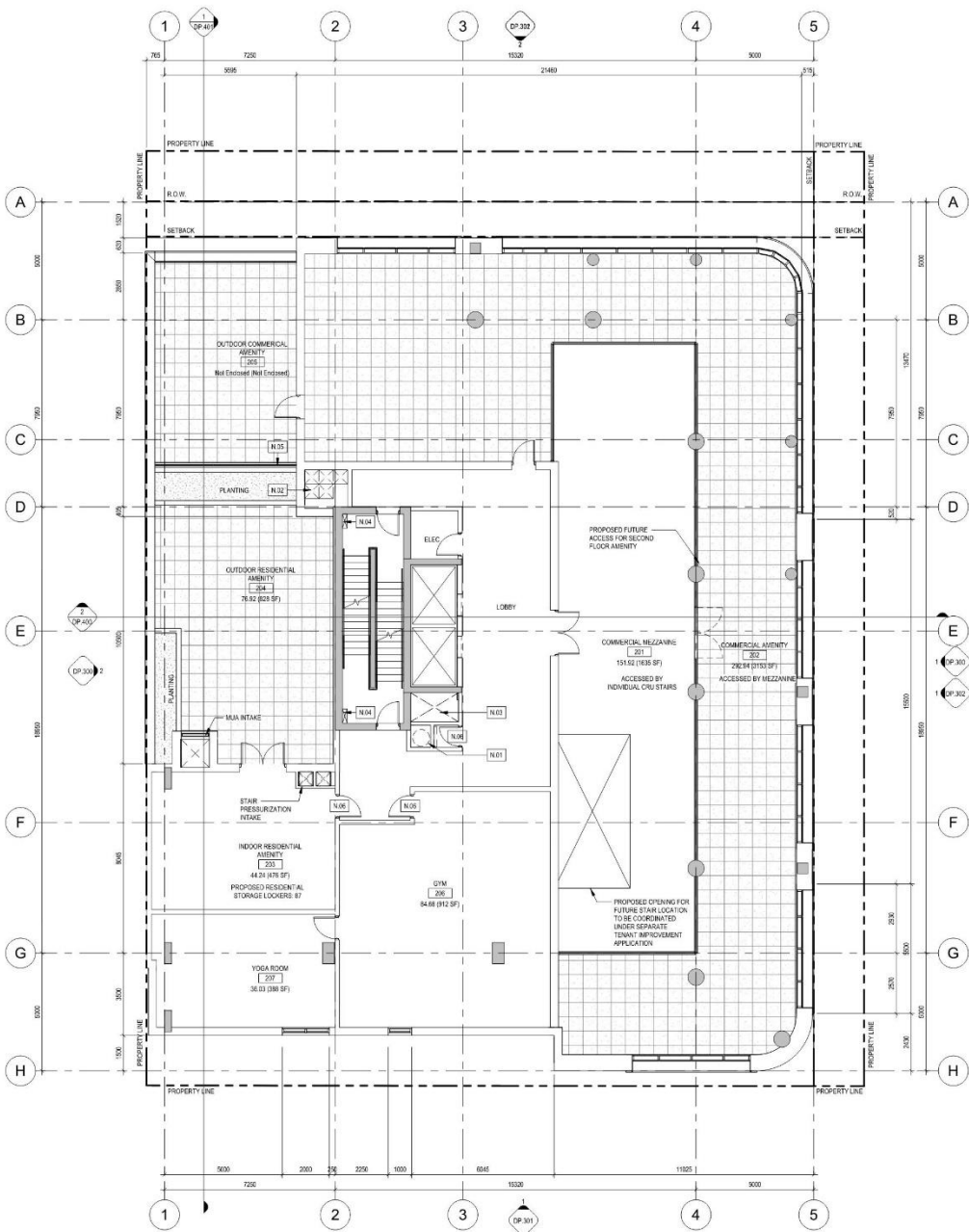
DRAWING NUMBER: [blank]

DP.201

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5 DP - LEVEL 3 FLOOR PLAN
(DP.202) 1:100



1 DP - LEVEL 2 FLOOR PLAN
(DP.202) 1:100

- SHEET NOTES
- N.01 GARBAGE CHUTE - WASTE ONLY
 - N.02 COMMERCIAL KITCHEN EXHAUST
 - N.03 PIPERUAC MECHANICAL RISER
 - N.04 STAND PIPE
 - N.05 PRIVACY SCREEN
 - N.06 DOOR ACCESS CONTROL RESTRICTION FOR RESIDENTIAL USE ONLY



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RELEASES

NO.	DESCRIPTION	DATE
A	PRELIMINARY DESIGN	2023-10-10
B	10% DP	2023-10-26
C	TOP CLIENT REVIEW	2023-10-26
D	DEVELOPMENT PERMIT	2023-10-10
E	UTRI RESPONSE	2023-03-24
F	UTRI RESPONSE	2023-04-10
G	UTRI RESPONSE	2023-08-22

- ☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT

MATERIAL ADDRESS
180 - 11TH STREET SW, CALGARY, ALBERTA

LEGAL ADDRESS
1710-10 HILLVIEW BLVD SW, CALGARY, ALBERTA

PROJECT NAME
22-24 TRULY BELT

PROJECT NAME
GALLERY FIRST AND TENTH

DRAWN
SAC

CHECKED
HB

DATE
2023-04-12

SCALE
1:100

DRAWING TITLE
SECOND AND THIRD
FLOOR PLAN

DRAWING NUMBER

DP.202

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RELEASES		
NO	DESCRIPTION	DATE
A	SCHEMATIC DESIGN	2022-10-28
B	50% DP	2022-10-28
C	DP CLIENT REVIEW	2022-12-09
D	DEVELOPMENT PERMIT	2022-12-16
E	DTR1 RESPONSE	2022-02-24
F	DTR2 RESPONSE	2023-06-14
G	DTR3 RESPONSE	2023-08-22

☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT

MUNICIPAL ADDRESS
1881 - 187 STREET SW CALGARY, ALBERTA

LEGAL ADDRESS

PROJECT NUMBER

22-24 TRU BELT

PROJECT NAME
GALLERY FIRST AND TENTH

DRAWN	CHECKED
NSZ	NSB

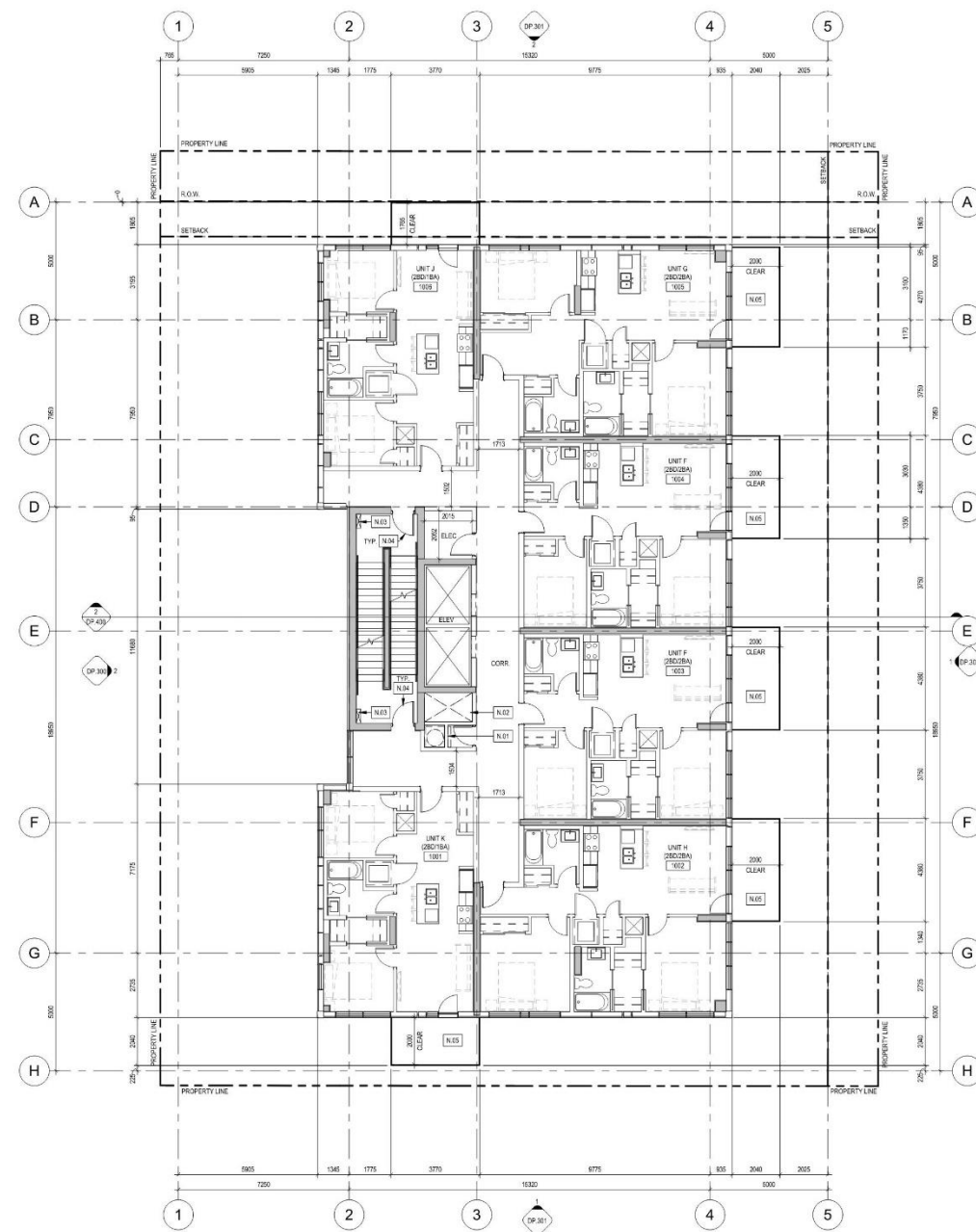
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DRAWING TITLE
**TYPICAL TOWER
PLANS**

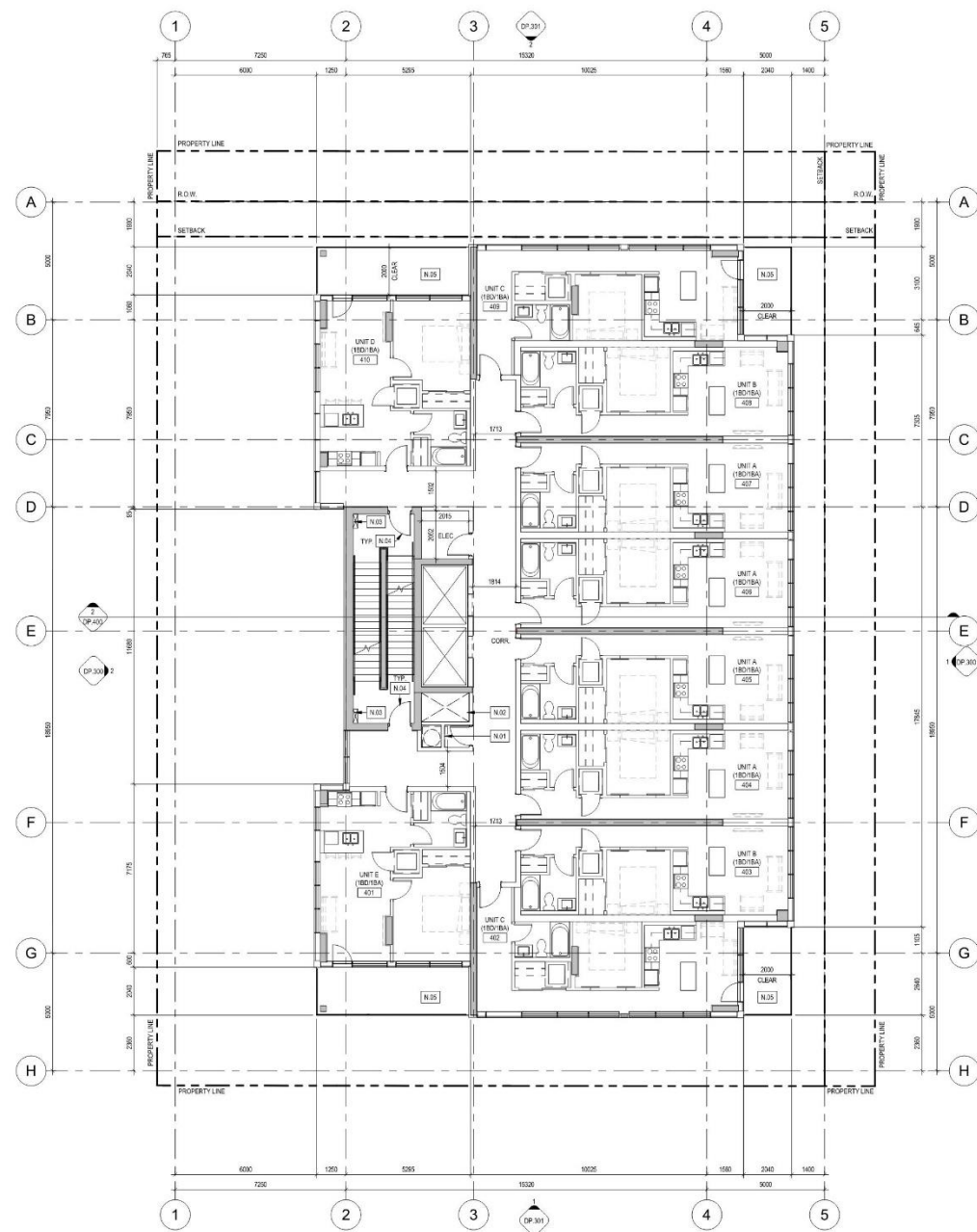
DRAWING NUMBER

DP.203

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2 DP - LEVEL 9-18 FLOOR PLAN
DP.203 1:100



1 DP - LEVEL 4-8 FLOOR PLAN
DP 203 1 - 100

SHEET NOTES

- ☐ N.01 GARBAGE CHUTE - WASTE ONLY
- ☐ N.02 PIPE/VAC MECHANICAL RISER
- ☐ N.03 STAND PIPE
- ☐ N.04 DOOR ACCESS CONTROL RESTRICTION FOR RESIDENTIAL USE ONLY
- ☐ N.05 BYLAW COMPLIANT PRIVATE AMENITY SPACE (5 SQ.M. MIN.)





EXTERIOR FINISH MATERIAL LEGEND

- A. STONE
A1 TYNALL STONE CLADDING - LIGHT COLOUR
A2 SANDSTONE CLADDING - MATCH FINISH TO EXISTING WESTERN UNDERWOOD BLOCK SANDSTONE CLADDING
- B. METAL SIDING
B1 METAL PANEL - BRASS FINISH
B2 METAL PANEL - WHITE
- C. CURTAIN WALL FRAMING
C1 CURTAIN WALL FRAMING SYSTEM - CAPLESS CLEAR ANODIZED
C2 CURTAIN WALL FRAMING SYSTEM - STANDARD CAP CLEAR ANODIZED
D. WINDOW WALL FRAMING
D1 WINDOW WALL FRAMING SYSTEM - BRASS FINISH
D2 WINDOW WALL FRAMING SYSTEM - CLEAR ANODIZED
- E. EXPOSED CONCRETE
E1 EXPOSED CONCRETE, PAINT - WHITE
- F. FLASHING
F1 PREFINISHED METAL FLASHING - BRASS FINISH
F2 PREFINISHED METAL FLASHING - MATCH ADJACENT FINISH
- G. GLAZING
G1 VISION GLAZING IN CURTAIN WALL FRAMING SYSTEM
G2 TINTED GLAZING (GREY) IN WINDOW WALL FRAMING SYSTEM
G4 GLASS SPANDREL PANEL, GREY TO MATCH ADJACENT VISION PANEL, IN WINDOW WALL FRAMING SYSTEM
G5 GLASS RAILING WITH POWDER COATED METAL TOP RAIL - BRASS
- H. RAILINGS
H1 DECORATIVE RAILING - REFER TO LANDSCAPE
- J. FRESH CEMENT PANEL
J1 FRESH CEMENT PANEL - LIGHT GREY (MATCH TYNALL STONE)
J2 FRESH CEMENT PANEL - BEIGE (MATCH TYNALL STONE)
- K. CMU
K1 CMU BLOCK WITH STUCCO FINISH (MATCH TYNALL STONE)

ELEVATION NOTES

- N.01 ELEVATOR CORE
N.02 MECHANICAL SCREENING WALL
N.03 INTAKE LOUVER
N.04 EXHAUST LOUVER
N.05 TRELLIS
N.06 PROPOSED BLADE SIGNAGE LOCATIONS, SEPARATE DEVELOPMENT PERMITS TO BE COORDINATED TWO LOW TENANT APPROVEMENT APPLICATIONS, ONE EXTERIOR BLADE SIGNAGE PER TENANT
N.07 ROOF TOP MECHANICAL EQUIPMENT
N.08 PRIVACY SCREEN
N.09 COMMEMORATIVE BACKLOT WALL MURAL TO BE COMMISSIONED
N.10 PROPOSED TRANSIT BENCH C/O MENTARS COMMEMORATION, STORY TELLING CONTENT TO BE COORDINATED WITH THE CITY
N.11 SECOND ORNAMENTAL COMMEMORATION WALL, STORY TELLING CONTENT TO BE COORDINATED WITH THE CITY
N.12 COMMEMORATIVE WESTERN (UNDERWOOD) BLOCK TRANSOM GLAZE
N.13 WHYPINING SIGNAGE, CONTENT TO BE COORDINATED WITH THE CITY
N.14 WESTERN BLOCK NEON ROOF TOP SIGNAGE

GENERAL NOTES

- A. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
B. REFER TO ELECTRICAL PLANS FOR ALL SITE LIGHTING INFORMATION & DETAILS.
C. SITE IS LOCATED WITHIN OVERLAND FLOW AREA.



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RELEASES

NO.	DESCRIPTION	DATE
1	10% CP	2023-10-25
2	CP CLIENT REVIEW	2023-12-09
3	DEVELOPMENT PERMIT	2023-12-15
4	CITY RESPONSE	2024-02-24
5	CITY RESPONSE	2024-06-14
6	CITY RESPONSE	2024-08-22

- ☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT

WATERFALL ADDRESS

180 - 11TH STREET SW, CALGARY, ALBERTA

LEGAL ADDRESS

171010 HOLLAND BLOCK 11, PLAN 6

PROJECT NUMBER

22-24 TRU BELT

PROJECT NAME

GALLERY FIRST AND TENTH

DRAWN

DATE

2024-08-22

SCALE

1:100

DRAWING TITLE

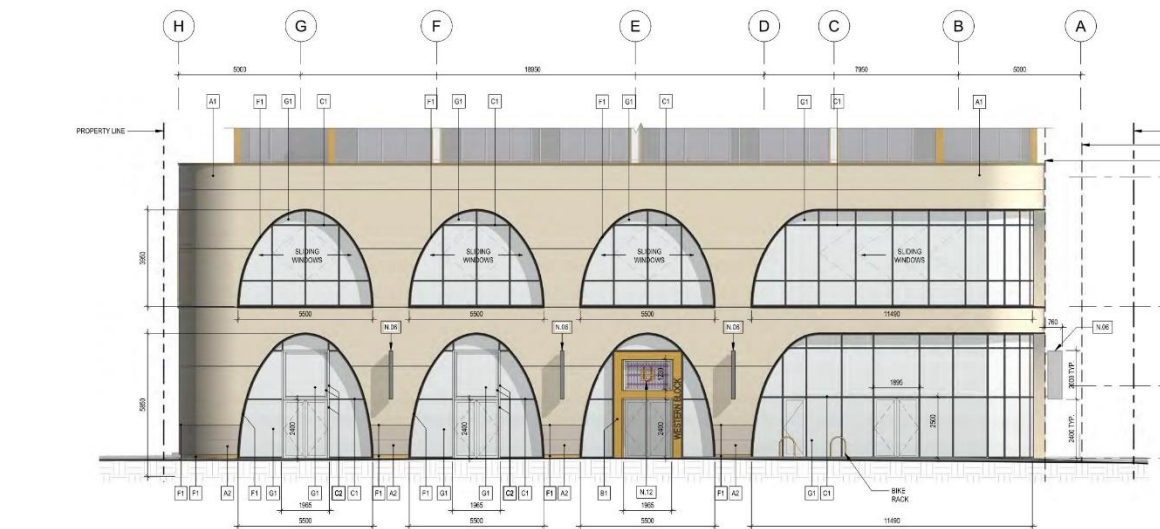
ELEVATIONS

DRAWING NUMBER

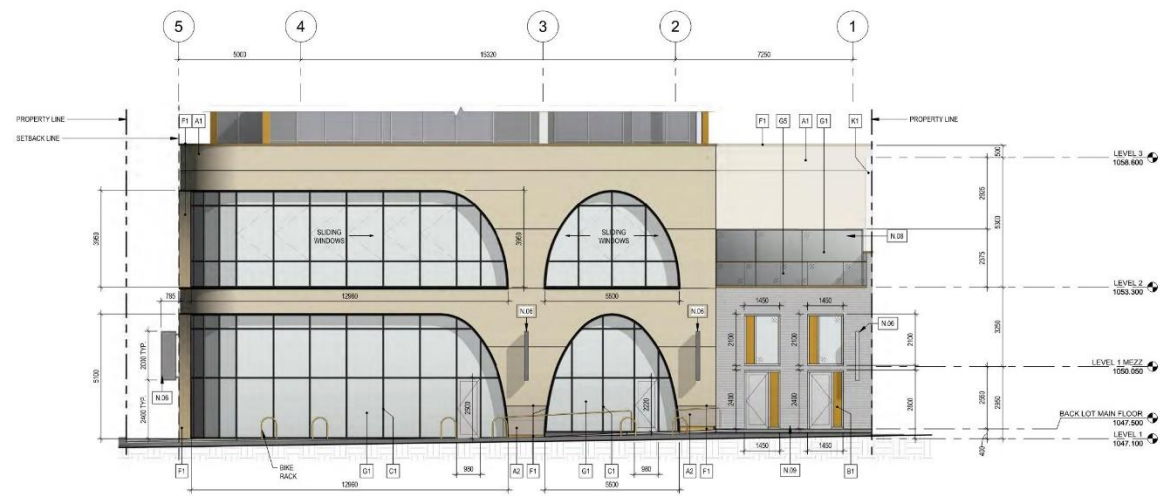
DP.301

DP.301

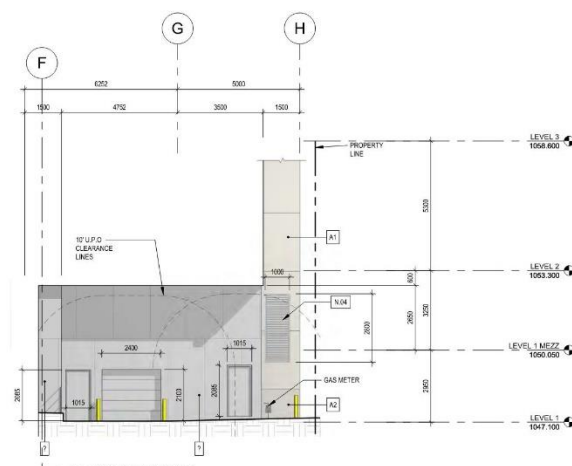
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1 DP - EAST ELEVATION - ENLARGED
DP-302 1:100



2	DP - NORTH ELEVATION - ENLARGED
DP.302	1:100



3	DP - ENLARGED WEST
DP 302	1 - 100

EXTERIOR FINISH MATERIAL LEGEND

- | | |
|----|---|
| A1 | STONE |
| A2 | TYPICAL STONE CLADDING - LIGHT COLOR |
| B1 | SANDSTONE CLADDING - MATCH FINISH TO EXISTING
FINISH UNDERWOOD BLOCK SANDSTONE
CLADDING |
| B2 | METAL SING |
| B3 | METAL PANEL - BRASS FINISH |
| B4 | METAL PANEL - WHITE |
| C1 | CURTAIN WALL FRAMING |
| C2 | CURTAIN WALL FRAMING SYSTEM - CARPUS (CLEAR
ALUMINUM) |
| C3 | CURTAIN WALL FRAMING SYSTEM - STANDARD CAP
GLASS ALUMINUM |
| D1 | WINDOW WALL FRAMING |
| D2 | WINDOW WALL FRAMING SYSTEM - BRASS FINISH |
| D3 | WINDOW WALL FRAMING SYSTEM - CLEAR ALUMINUM |
| E1 | COLORED CONCRETE |
| E2 | EXPOSED CONCRETE PANEL - WHITE |
| F1 | FLASHING |
| F2 | PREFINISHED METAL FLASHING - BRASS FINISH |
| F3 | PREFINISHED METAL FLASHING - MATCH ADJACENT
FINISH |
| G1 | GLAZING |
| G2 | GLAZING IN CURTAIN WALL FRAMING SYSTEM |
| G3 | TINTED GLAZING (TINTED WINDOW WALL FRAMING
SYSTEM) |
| G4 | GLASS SPANDREL PANEL, GREY TINT MATCH
ADJACENT WINDOW PANEL IN WINDOW WALL
FRAMING SYSTEM |
| G5 | GLASS BALUSTY WITH POWDER COATED METAL TOP
PANEL - BRASS |
| H1 | RAILING |
| H2 | DECORATIVE RAILING - REFER TO LANDSCAPE |
| J1 | FEWER CEMENT PANEL |
| J2 | FEWER CEMENT PANEL - LIGHT GREY MATCH
TYPICAL STONE |
| J3 | FEWER CEMENT PANEL - BRASS MATCH TYPICAL
STONE |
| K1 | CAB |
| K2 | CAB (BLOCK WITH STUCCO FINISH MATCH TYPICAL
STONE) |

ELEVATION NOTES

- | | |
|------|---|
| N.01 | ELEVATOR CORE |
| N.02 | MECHANICAL SCREENING WALL |
| N.03 | INTAKE LOUVER |
| N.04 | EXHAUST LOUVER |
| N.05 | TRELLIS |
| N.06 | PROPOSED BLADE SIGAGE LOCATIONS. SEPARATE DEVELOPMENT PERMITS TO BE COORDINATED WITH THE TENANT IMPROVEMENT AIR CALLIONS. ONE EXTERIOR BLADE SIGAGE PER TENANT. |
| N.07 | ROOF TOP MECHANICAL EQUIPMENT |
| N.08 | PRIVACY SCREEN |
| N.09 | COMMEMORATIVE BACKLIT WALL MURAL TO BE COMMISSIONED |
| N.10 | PROPOSED TRANSIT BEANCH STOP HERITAGE SIGNAGE. STORY TELLING CONTENT TO BE COORDINATED WITH THE CITY. |
| N.11 | SECOND CHATWAIN COMMUNICATOR WALL. STORY TELLING CONTENT TO BE COORDINATED WITH THE CITY. |
| N.12 | COMMEMORATIVE WESTERN (UNDERGROUND) BLOCK TRANSIT GLASS |
| N.13 | WAYFINDING SIGNAGE. CONTENT TO BE COORDINATED WITH THE CITY. |
| N.14 | WESTERN BLOCK NEON ROOF TOP SIGAGE |

GENERAL NOTES

- A. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
B. REFER TO ELECTRICAL PLANS FOR ALL SITE LIGHTING INFORMATION & DETAILS.
C. SITE IS LOCATED WITHIN OVERLAND FLOW AREA

FAAS

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RELEASES		
NO	DESCRIPTION	DATE
F	DTR2 RESPONSE	2023-08-14
G	DTR3 RESPONSE	2023-08-22

- ☐ CONSTRUCTION
- ☐ TENDER
- ☐ BUILDING PERMIT

MUNICIPAL ADDRESS

LEGAL ADDRESS

PROJECT NUMBER _____

PROJECT NAME _____

DATE	_____
DRAWN	CHECKED

DATE _____ SCALE _____

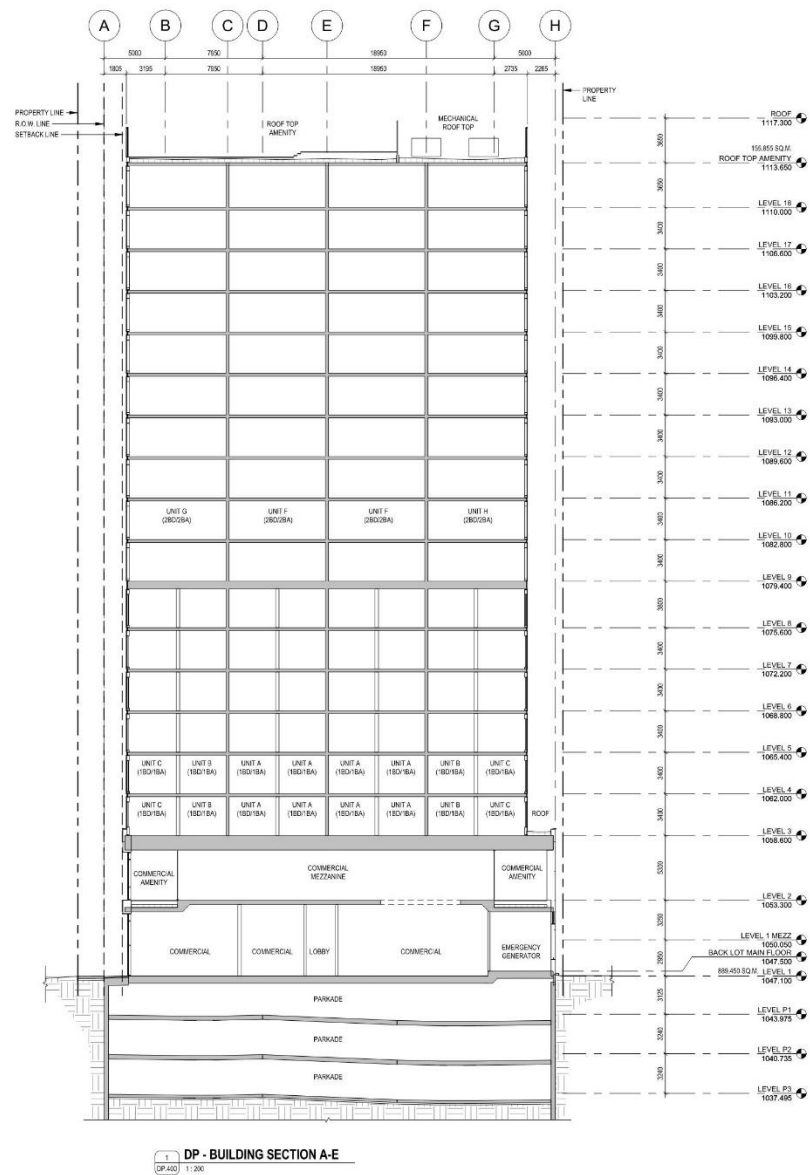
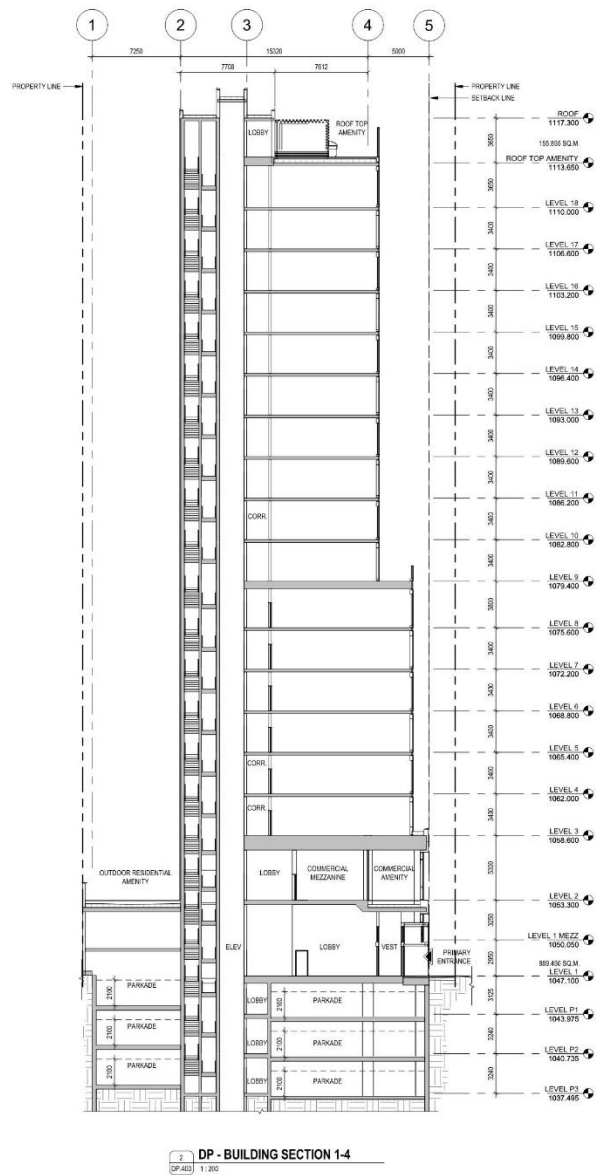
DRAWING TITLE

ELEVATIONS

DRAWING NUMBER:

DP.302

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RELEASES		
NO.	DESCRIPTION	DATE
1	DP	2023-10-28
2	DP CLIENT REVIEW	2023-12-18
3	DEVELOPMENT PERMIT	2023-12-18
4	DP RESPONSE	2023-12-18
5	DP RESPONSE	2023-12-18
6	DP RESPONSE	2023-12-18

- ☐ CONSTRUCTION
- ☐ TENDER
- ☐ BUILDING PERMIT

WATER ADDRESS

100-110 STREET IN CALIFORNIA, ALBERTA

LEGAL ADDRESS

17 TO 20 MILLER BLOCK 10, PLAN 1

PROJECT NAME

22-24 TRU BELT

PROJECT NAME

GALLERY FIRST AND TENTH

DRAWN

CHECKED

DATE

SCALE

2023-10-28

1:200

DRAWING TITLE

BUILDING SECTIONS

DRAWING NUMBER

DP.400

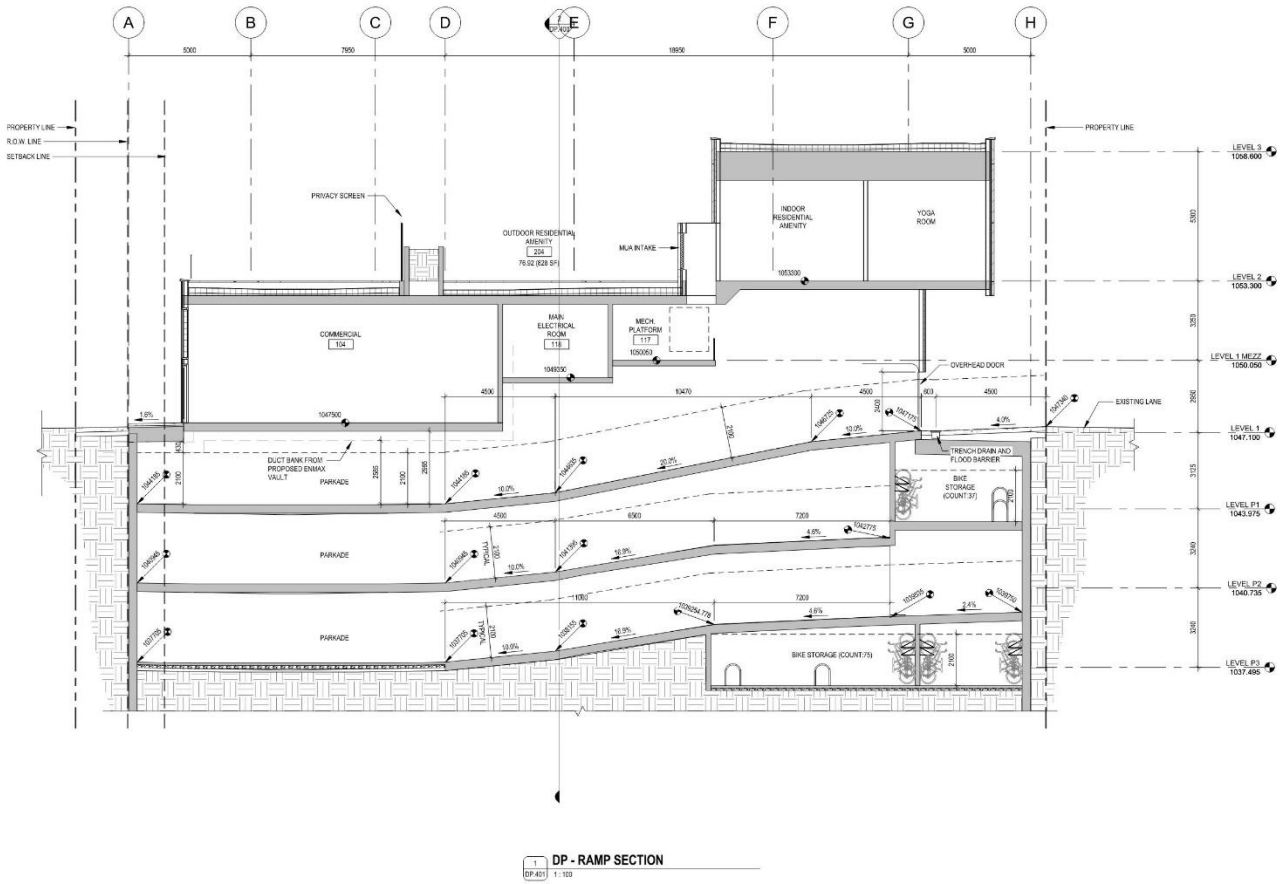
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MAIL

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RELEASES		
NO.	DESCRIPTION	DATE
B	10% DP	2023-10-20
C	DP CLIENT REVIEW	2023-10-24
D	DEVELOPMENT PERMIT	2023-10-26
E	DP1 RESPONSE	2023-10-24
F	DP2 RESPONSE	2023-10-24
G	DP3 RESPONSE	2023-10-22

- ☐ CONSTRUCTION
- ☐ TENDER
- ☐ BUILDING PERMIT

WATERFALL ADDRESS

180 - 110 STREET IN CALGARY, ALBERTA

LEGAL ADDRESS

1750 10 STREET BLOCK 10, PLAN 1

PROJECT NUMBER

22-24 TRU BELT

PROJECT NAME

GALLERY FIRST AND TENTH

DRAWN

CHECKED

DATE

SCALE

2023-10-22

1:100

DRAWING TITLE

GRADING SECTIONS

DRAWING NUMBER

DP.401

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1 NORTH EAST CORNER
DP.500 NTS



2 NORTH WEST CORNER
DP.500 NTS



3 SOUTH EAST CORNER
DP.500 NTS



4 BUS SHELTER - CONCENTRATED HERITAGE COMMEMORATION ELEMENT
DP.500 NTS

NO.	DESCRIPTION	DATE
A	SCHEMATIC	2023-10-10
B	CONCEPT DESIGN	2023-10-10
C	DEVELOPMENT PERMIT	2023-10-10
D	CONSTRUCTION PERMIT	2023-10-10
E	CONSTRUCTION	2023-10-10
F	CONSTRUCTION	2023-10-10
G	CONSTRUCTION	2023-10-10

CONSTRUCTION
TENDER
BUILDING PERMIT

WINDY ADDRESS

180 - 1ST STREET SW, CALGARY, ALBERTA

LEGAL ADDRESS

171010 WINDY BLOCK 10, PLAN 6

PROJECT NAME

22-24 TRU BELT

PROJECT NAME

GALLERY FIRST AND TENTH

DRAWN

CHECKED

DATE

SCALE

DATE

SCALE

DRAWING TITLE

SUPPLEMENTAL

RENDER 1

DRAWING NUMBER

DP.500

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1 RENDERED ELEVATION - EAST
(DP.501) NTS



2 RENDERED ELEVATION - NORTH
(DP.501) NTS



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NO.	DESCRIPTION	DATE
1	DP.501 RESPONSE	2023-08-10
2	DP.501 RESPONSE	2023-08-22

- ☐ CONSTRUCTION
☐ TENDER
☐ BUILDING PERMIT

WALL/PAVEMENT ADDRESS

180 - 110 STREET IN GALTWAY, ALBERTA

LEGAL ADDRESS

17 TO 20 HOLLAND BLOCK 10 PLAN 6

PROJECT NAME

22-24 TRU BELT

PROJECT NAME

GALLERY FIRST AND TENTH

DRAWN

CHECKED

DATE

SCALE

2023-08-10

DRAWING TITLE

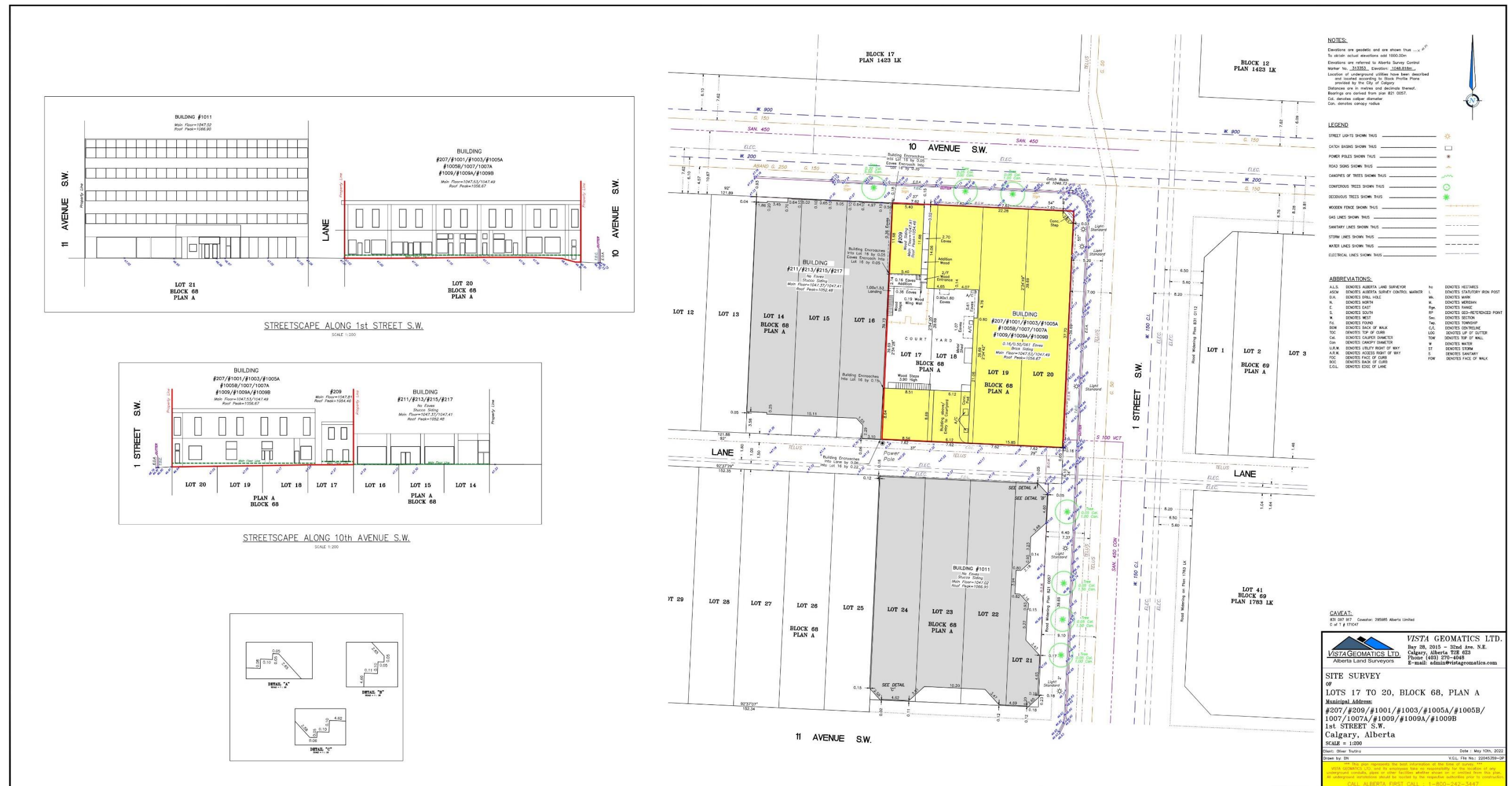
SUPPLEMENTAL

RENDERS 2

DRAWING NUMBER

DP.501

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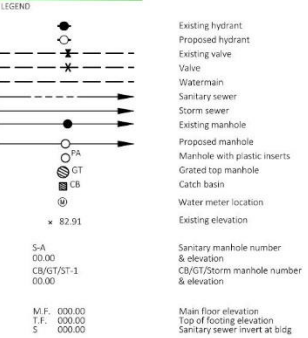




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PERMIT STAMP

- NOTES
1. All elevations referenced to 1000m Geodetic Datum.
 2. Hydrants, valves, check valves, manholes, sewer lines, water lines etc., to be installed to City of Calgary standards.
 3. All manholes to be S.C.C.
 4. Match crown minimum at all sewer connections.
 5. All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes <1/4" to 150mm to be SDR 35 PVC. Sewer service pipes >150mm to be SDR 35.
 6. Sewer lines to minimum slopes as per City of Calgary Standards.
 7. Use City of Calgary Type 2 installation, Class 1A bedding for sewer pipes unless unless noted.
 8. Insulation required for sanitary sewers if cover less than 2.50m on mains.
 9. Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
 10. All water mains to be DR 18 PVC unless otherwise noted.
 11. Use City of Calgary Type 1 installation, Class 1A bedding for water mains, Type 2 installation, class 3B bedding for services.
 12. Depth of bury for water lines to conform with City of Calgary standards.
 13. No trees to be planted over water lines.
 14. Protection of Retable Water Supply from Contamination: All cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 220582 and the National Plumbing Code of Canada.
 15. For building locations and dimensions refer to latest Architectural drawings.
 16. The contractor is responsible for locating all shallow utilities.
 17. The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
 18. Weeping Tile & Free Flow area drains to be bed to unrestricted free flow storm sewer.
 19. All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.



DEVELOPMENT PERMIT 2022-08536

REVISIONS		
5		
4		
3		
2		
1		
No.	DATE	DESCRIPTION BY

ISSUED FOR		
4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	
No.	DRAWING STATUS	DATE APP.

CLIENT
TRUMAN HOMES
PROJECT
GALLERY FIRST AND TENTH - MULTI-RESIDENTIAL
MIXED USED DEVELOPMENT -- 120 UNITS
1001 - 1st STREET SW

TITLE		
SITE SERVING PLAN		
DESIGN BY: D.V.	SCALE: 1:200	JOB NUMBER: 22-162
DRAWN BY: RDC	REV NO.: -	DRAWING NUMBER: SP1
CHECKED BY: -		
DATE: 22-Aug-23		

FOR DEVELOPMENT PERMIT SUBMISSION ONLY. NOT FOR TENDER OR CONSTRUCTION.

THIS DRAWING TO BE USED FOR GRADING & SERVING INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS.

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.

WATTS DRAINAGE
FD-450-AF
Tag: _____

Area Drain with 15" Square Adjustable Top

Components:

SPECIFICATION: Watts Drainage Products FD-450-AF epoxy coated cast iron floor drain with deep slump body, wide serrated anchor flange, weepholes, adjustable collar and 15-5/8"x15-5/8"(397x397) square epoxy coated ductile iron (standard) tractor grate.

Order Code: FD-451

Ex. FD-452P-AF-1

Pipe Sizing (Select One)	Outlet Type (Select One)	Grate (Select One)	Options (Select One or More)
1. 15-5/8" (397)	1. No Hub (NH)	1. No Hub (NH)	1. Solid Steel Tee
2. 2" (51.3) Pipe Size	2. Push On	2. Inside Collar	2. 2" (51.3) Tee
3. 2" (51.3) Pipe Size	3. Push On	3. Inside Collar	3. 2" (51.3) Tee
4. 4" (102) Pipe Size	4. Push On	4. Inside Collar	4. 4" (102) Tee
5. 6" (152) Pipe Size	5. Push On	5. Inside Collar	5. 6" (152) Tee
6. 8" (203) Pipe Size	6. Push On	6. Inside Collar	6. 8" (203) Tee

Land Rating & Free Area

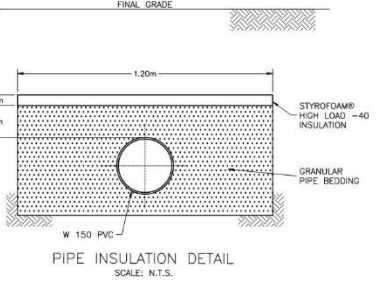
Rating	Land Rating	Free Area Sq. Ft.
AF-3	75ND	57
AF-4	75ND	57

Job Name _____ **Contractor** _____
Job Location _____ **Contractor's P.O. No.** _____
Engineer _____ **Representative** _____

WATTS Drainage reserves the right to modify or change product design or construction without prior notice and without incurring any obligation to make similar changes and modifications to products previously or subsequently sold. See your WATTS Drainage representative for any clarification. Dimensions are subject to manufacturing tolerances.

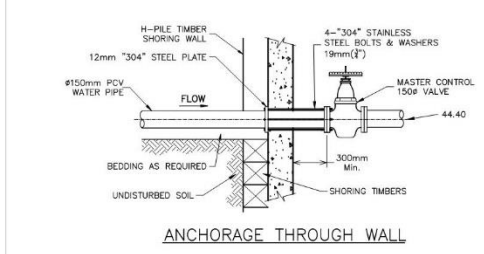
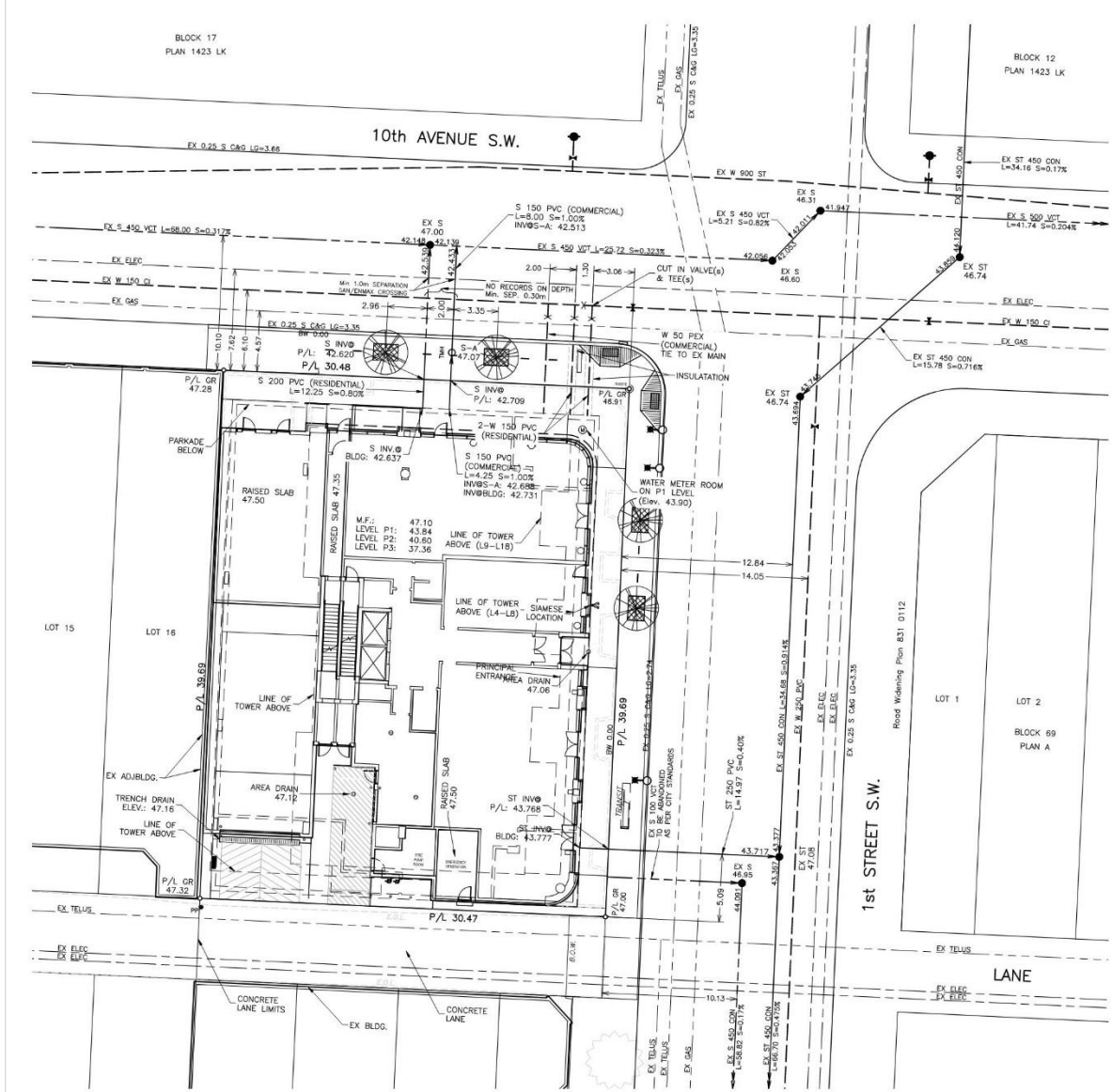
© Watts Drainage 2004 CANADA: 5435 North Service Road, Burlington, ON L7R 5H7 TEL: 905.335.4715 TOLL FREE: 1.888.358.8857 Website: www.wattsdrainage.ca

ES-WD-FD-450-AF CANADA 0403 53 (Dimensions) Denotes Millimeters



ISSUED FOR
DTR #3 RESPONSE: ☒ 22Aug23
BUILDING PERMIT: ☐
TENDER: ☐
CONSTRUCTION: ☐

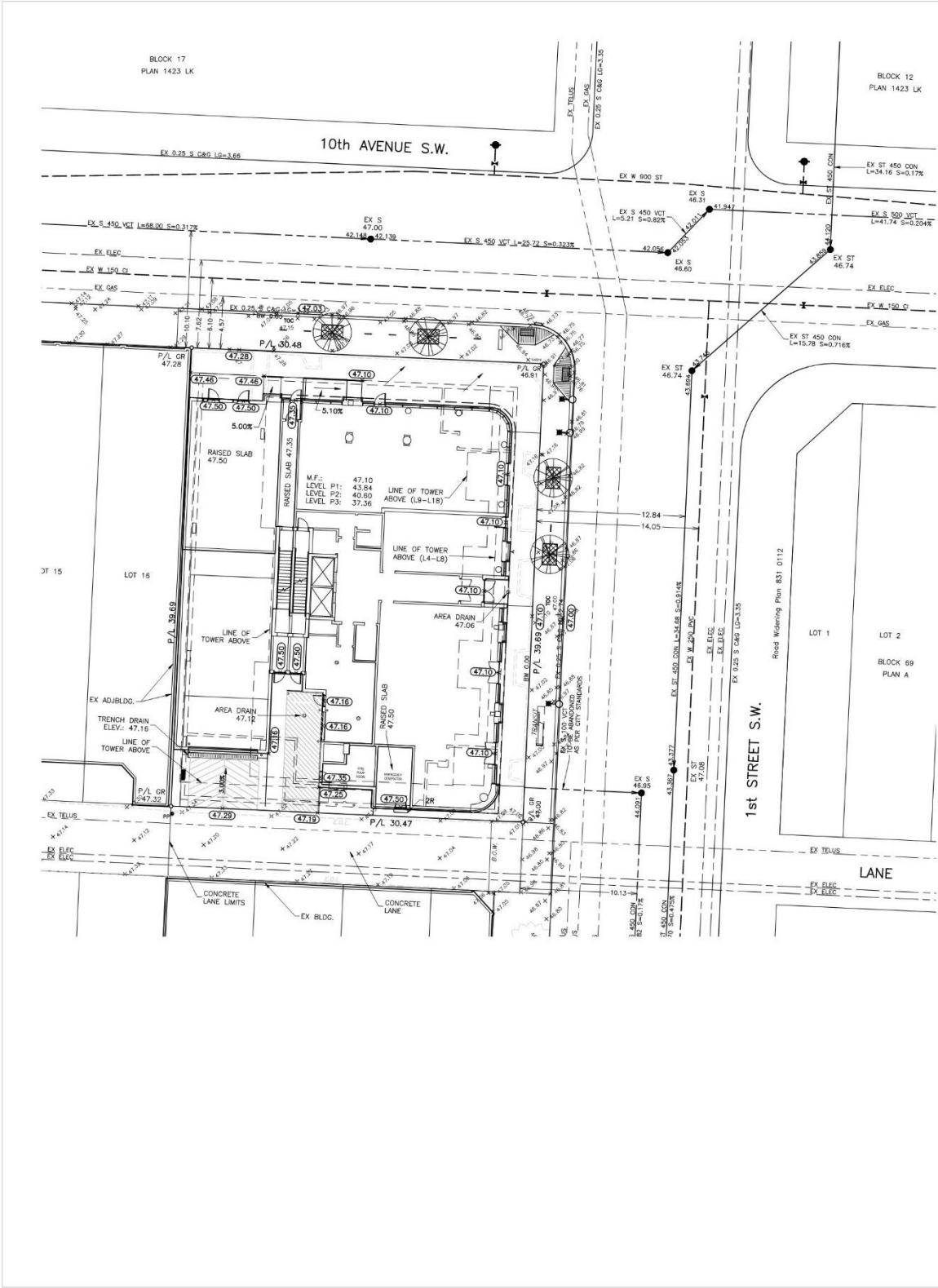
CITY OF CALGARY		
DEVELOPMENT SITE SERVING PLAN		
DATE RECEIVED	INITIAL	DATE
PROLATION TO		
WATER RESOURCES		
REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.		
THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO ENSURE COMPETENCE AND GOOD ENGINEERING JUDGMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.		



- NOTES
1. THE MASTER CONTROL VALVE SHALL BE ONE OF THE FOLLOWING:
a) RESILIENT SEATED RISING SPINDLE (OS & Y) FLANGE GATE VALVE (UL or ULC LISTED)
b) FOR FIRE LINES AND CSA APPROVED FOR DOMESTIC LINES
c) SHORT-BODY, RUBBER SEATED FLANGED OR LUG WATER TYPE BUTTERFLY VALVE c/w HAND WHEEL, REDUCTION GEAR OPERATOR, POSITION INDICATOR (UL or ULC LISTED) PROVIDED THEY ARE NOT IN A SUCTION LINE FOR FIRE PUMPS.
 2. ENTRANCE PIPE MATERIAL THROUGH THE OUTSIDE WALL AND THROUGH THE FLOOR SHALL BE DUCTILE IRON PIPE AWWA C153 (LATEST EDITION) CLASS 53 OR APPROVED EQUAL. BURIED FITTINGS (90° ELBOW) SHALL BE CAST OR DUCTILE IRON CONFORMING TO AWWA C110 (LATEST EDITION) OR APPROVED EQUAL. ALL SERVICE ENTRIES (INCLUDING ANCHOR DETAILS) SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND DETAILED ON THE DEVELOPMENT SITE SERVING PLAN (DSSP). (ANCHOR RODS SHALL BE 18-8 304 STAINLESS STEEL WHERE A STANDARD 3/4\"/>

PIPE ANCHOR DETAIL
N.T.S.

15/03/2025 10:51:11 (Drawing) 22-162.dwg, 8/23/2023 2:27:14 PM, Robert V. Chiriac, C.E.T.



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DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.



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NOTES

1. All elevations referenced to 1000m Geodetic Datum.

LEGEND	
	Existing hydrant
	Proposed hydrant
	Existing valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Design elevation
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/OT/Storm manhole number & elevation
	Traplow
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2022-08536

REVISIONS		
No.	DATE	DESCRIPTION
5		
4		
3		
2		
1		

ISSUED FOR		
No.	DATE	APP.
4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	

CLIENT
TRUMAN HOMES

PROJECT
GALLERY FIRST AND TENTH - MULTI-RESIDENTIAL MIXED USED DEVELOPMENT - 120 UNITS
1001 - 1st STREET SW

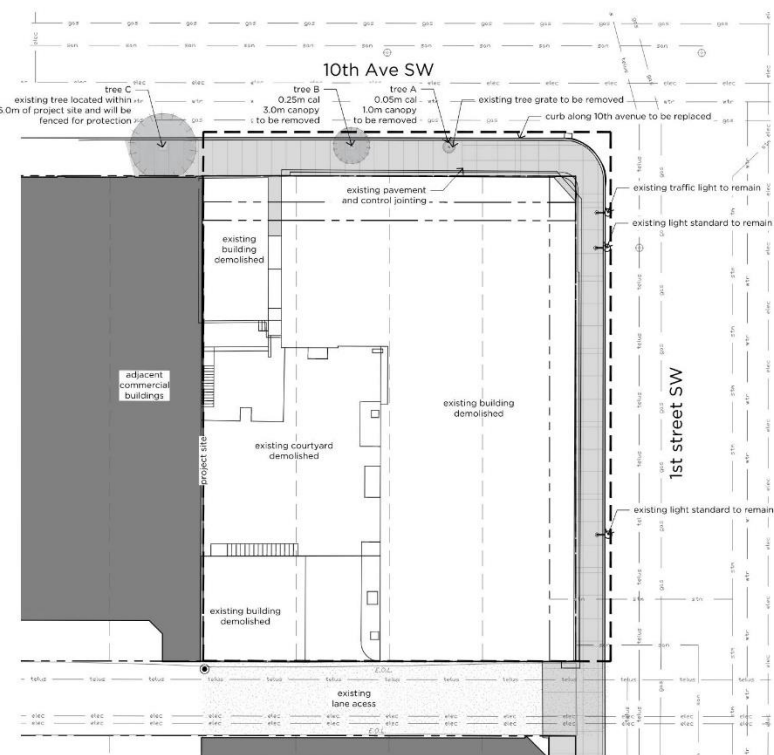
TITLE
SITE GRADING PLAN

DESIGN BY: D.V.	SCALE: 1:200	JOB NUMBER: 22-162
DRAWN BY: RDC	REV NO.: -	DRAWING NUMBER: SP2
CHECKED BY: -		
DATE: 22-Aug-23		

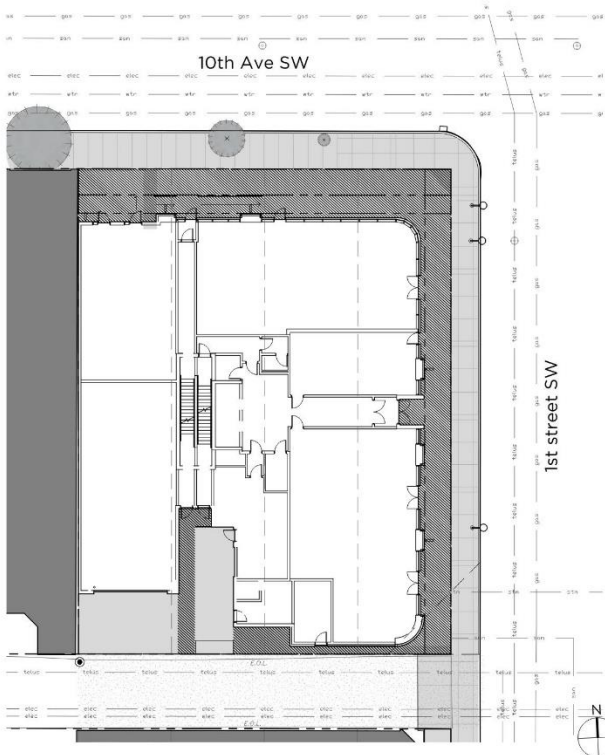
MUNICIPAL ADDRESS
1001 - 1st Street SW
Calgary AB

LEGAL DESCRIPTION
LOT(s) 17-20, BLOCK 68
PLAN A, SW 1/4
SEC. 15-24-01-W5M

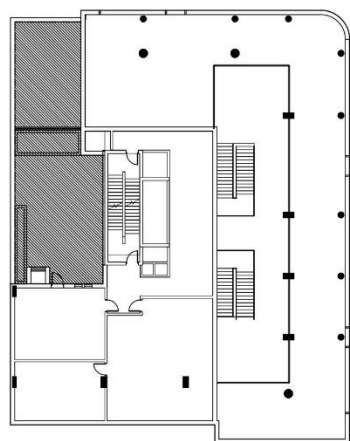
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1	Existing Site Plan
DP.L01	Scale 1:200



2	Bylaw Plan: Ground Level
DP.L01	Scale 1:200



3	Bylaw Plan: 2nd Floor Amenity
DP.L01	Scale 1:200

landscape area calculation legend

 landscape area

landscape area calculations

landscape area calculations are based on the city of Calgary land-use bylaw 1p2007, zone CC - X city center mixed use, part 11

- setback area to follow part 3: rules governing all districts, item 53
- north side 10th ave W = 2,134m
 - east side along 1st W = 2,314m
 - west side backs onto commercial site = not required
 - south side along lane with parking access = not required

all area with setback is to be landscaped

landscape area for site to be 30% total project area

parcel area = 1209.5 m²
landscape area required = 363 m²

total landscape area provided = 383 m²

- ground level = 251 m²
- 2nd floor amenity (12m above ground) = 132 m²

Tree Protection Notes

3. Contractor to verify the extent of disturbance and reconcile field conditions with drawings and schedules if discrepancies exist.
4. The Contractor shall report any discrepancies between site conditions and drawings existing at the time of construction to the owner's representative.
5. Contractor is responsible for locating utilities and protecting same from damage during construction. The Contractor shall install 4x4x4' pipe for installation of tree protection fence. Tree protection fencing is to be installed 4m away from tree trunk, where space is available a minimum of 12m height a bright, contrasting colour and durable.
6. The Contractor shall be responsible for ensuring that the tree protection fence is constructed to protect owner's representative prior to construction.
7. Fencing must not interfere with access to fire hydrants, intersections or traffic signage.
8. The Contractor shall ensure that the fencing must be maintained for the duration of the project.
9. Contractor to ensure signage indicating the protected tree status provided by the City of Calgary is posted.
10. Contractor to conduct pre- and post-construction tree care measures including watering, mulch and soil aeration to ensure existing trees don't die from soil disturbance.
11. Use of soil-compaction devices to minimize root damage when working in close proximity to protective barriers.
12. The limit of disturbance illustrated includes all proposed land disturbances, excavation zones, trenching and grade changes.
13. No changes to existing street lighting, fire hydrants or utility boxes are proposed.
14. No changes to minimum two days or more advance notice to the City of Calgary for any days of notice through 311. An approved tree contractor shall complete the work at the approved tree notice.
15. Open cut excavation to be used on public land.
16. Contact information for the Contractor responsible for ensuring work adheres to the approved Tree Protection Plan will be provided upon project award. Prior to construction, the following individual

jamie johnson, LA, ground3 inc. landscape architects jamie.j@ground3.com | 403.475.0719

Tree Protection Schedule					
Index	Species	Caliper (m)	Height (m)	Remove or Protect	Public or Private
A	Ulmus americana	0.06	3.00	remove	Public
B	Ulmus americana	0.23	7.00	remove	Public
C	Fraxinus Pennsylvanica	0.28	7.00	protect	Public

F A A S

FOUNDED ALLIANCE ARCHITECTURE STUDIO

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CONSTRUCTION



RELEASES		
NO	DESCRIPTION	DATE
A	ISSUED FOR DP	2022.12
B	REVISED FOR DP	2023.02
C	REVISED FOR DP	2023.06
D	REVISED FOR DP	2023.08

□ CONSTRUCTION

☐ TENDR☐ BUILDING PERM

MUNICIPAL ADDRESS

LEGAL ADDRESS

PROJECT NUMBER

CITRINE

DATE _____

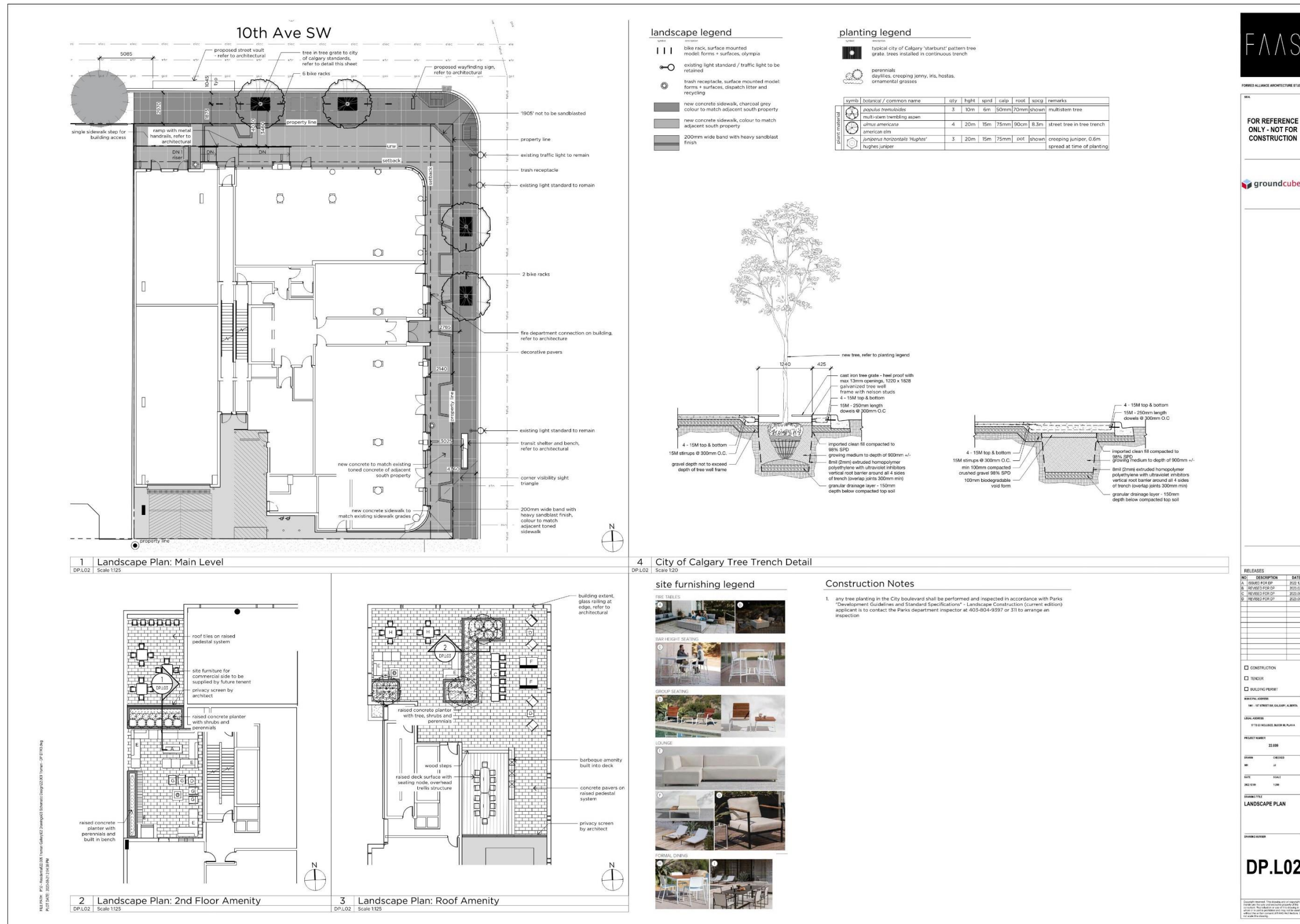
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EXISTING CONDITIONS AND BYLAW REQUIREMENTS PLAN

CRANED NUMBER

DP.L01

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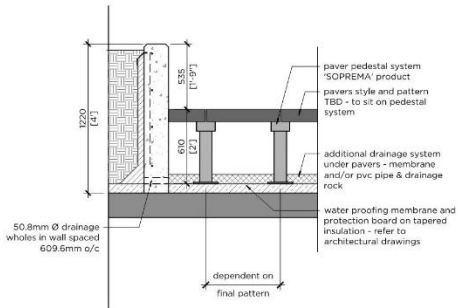




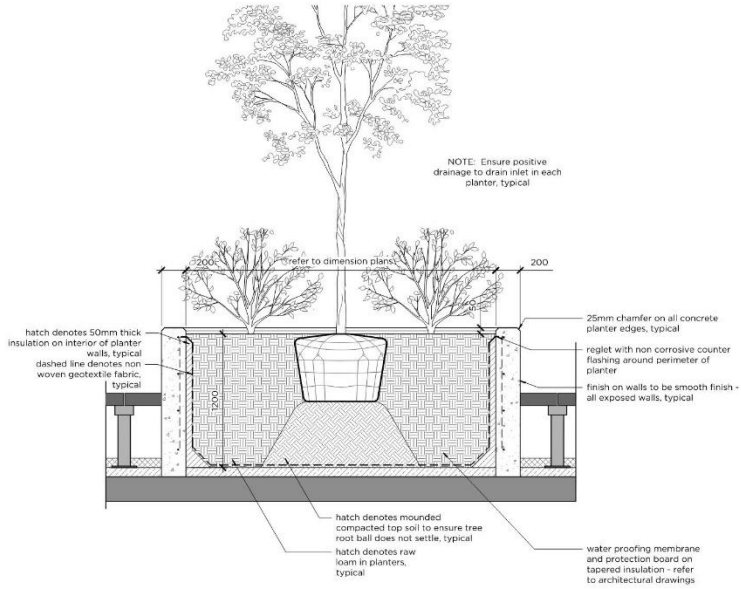
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1 Paver on Pedestal System Adjacent to Concrete Planter
DP.L03 Scale 1:20



2 Rooftop Tree Planter Detail
DP.L03 Scale 1:20

RELEASES

NO	DESCRIPTION	DATE
A.	ISSUED FOR IP	2022.12.09
B.	REVIEWED FOR IP	2023.02.24
C.	REVIEWED FOR IP	2023.08.12
D.	REVIEWED FOR IP	2023.08.21

CONSTRUCTION

TENDER

BUILDING PERIOD

LOCATION ADDRESS

101-101 STREET 001, GULFPORT, ALABAMA

LEGAL ADDRESS

101-101 STREET 001, GULFPORT, ALABAMA

PROJECT NUMBER

22.009

DRAWN

DATE

SCALE

DATE TO BE

1:20

DRAWING TITLE

ROOFTOP PLANTER

DETAILS

DRAWING NUMBER

DP.L03

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☐ CONSTRUCTION

☐ TEND☐ BUILDING PERMIT

MUNICIPAL ADDRESS

LEGAL ADDRESS

PROJECT NUMBER: _____

DEVELOP	CHALLENGE
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1500 JIANG

DATE _____ SCALE _____

**ELEVATION PLAN
EXTERIOR
LIGHTING LAYOUT**

COUNTING NUMBER

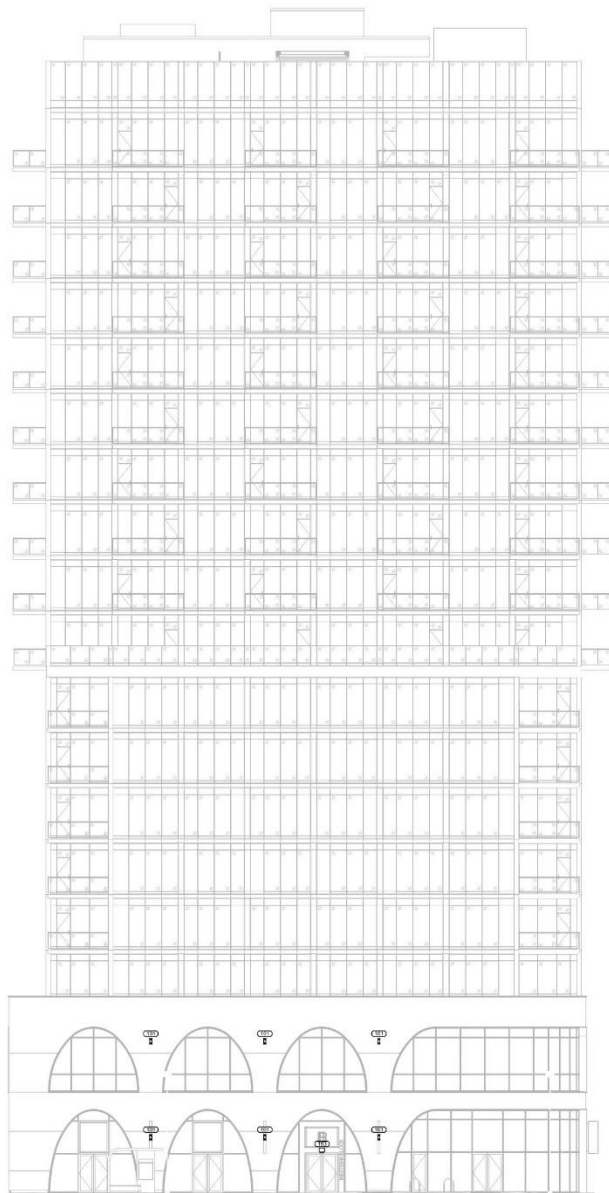
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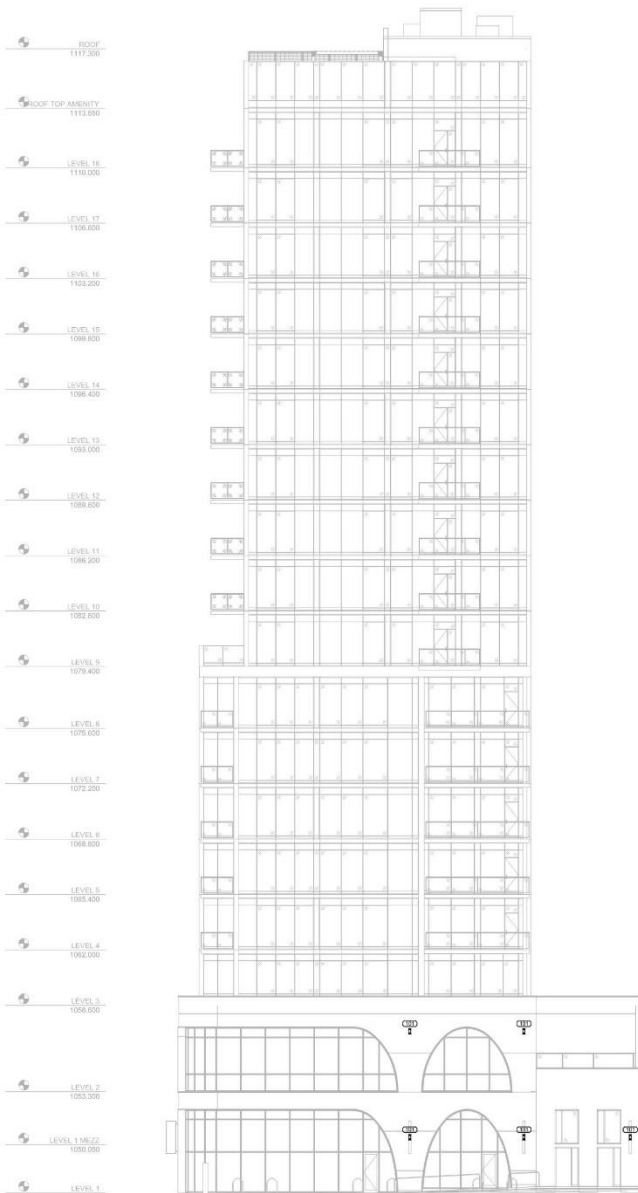
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ELEVATION PLAN - SOUTH
EXTERIOR LIGHTING LAYOUT

SCALE: 1:150



ELEVATION PLAN - EAST
EXTERIOR LIGHTING LAYOUT



ELEVATION PLAN - NORTH
EXTERIOR LIGHTING LAYOUT
SCALE: 1:150



