

Development Permit Plans

ALTO MINTO COMMUNITIES

LEGAL DESCRIPTION: PLAN 2448'O' BLOCK 4 LOT 30, 31, 32, (NORTH HALF) 33, (SOUTH HALF) 33 AND 34

CIVIC ADDRESS: 613 TO 621 9A ST NW, CALGARY, ALBERTA

DTR #2 RESPONSE ISSUANCE - CLIENT REVIEW

DP2022-05308

PE2022-00765

JULY 4, 2023

ARCHITECTURAL DRAWING LIST

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02	CLIENT REVIEW NO REV CLOUDS	04-01-2023
03	DTR#2 RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023
01	ISSUED FOR DP	19-07-2022

No.	Description	Date
Project Information		

ALTO MINTO COMMUNITIES

613 TO 621 9A ST NW
CALGARY ALBERTA

Drawing title

COVER SHEET

Project number: 20-06
Issued: 12-10-22
Drawn by: MR, MD | Checked by: TS, RN
No. **DPO.0**
Scale:

PROJECT INFORMATION

LEGAL DESCRIPTION: PLAN 2448'0" BLOCK 4 LOT 30,31, 32, (NORTH HALF) 33, (SOUTH HALF) 33 AND 34

CIVIC ADDRESS: 613 to 621 9A ST NW, CALGARY, ALBERTA

ZONING: DC 196P2017 (M-H2)

SITE AREA: 1 393.51 m²

ALLOWABLE F.A.R.: 5.0

PROPOSED F.A.R.: 3.71

BUILDING HEIGHT ALLOWABLE: 26.00 m
PROPOSED: 22.50 m

LANDSCAPED AREA

FOR LANDSCAPE INFORMATION REFER TO LANDSCAPE DRAWINGS

PARKING STATISTICS

UNDERGROUND PARKING = **32 STALLS**
GROUND PARKING = **2 STALLS**
UNDERGROUND PARKING AREA = **1,290.84 SQ.M.**
PARKING RAMP AREA = **178.70 SQ.M.**

PROJECT STATISTICS SEE DP1.3

DWELLING UNIT STATISTICS

UNITS	1 BEDROOM UNITS	2 BEDROOMS UNITS	TOTAL
1F	4	3	7
2F	6	6	12
3F	6	6	12
4F	6	6	12
5F	6	6	12
6F	15	1	16
TOTAL	43	28	71

GROSS FLOOR AREA

GROSSING BUILDING AREA	AREA(S.F.)	AREA(S.M.)
1F	7335.17	681.46
2F	8858.16	822.95
3F	8858.16	822.95
4F	8858.16	822.95
5F	8858.16	822.95
6F	9559.75	888.13
6F MEZZANINE	3316.15	308.08
TOTAL	55643.7181	5169.47
PARKADE	13894.49	1290.84

EFFICIENCY

LEVEL	SELLABLE AREA (S.F.)	EFFICIENCY(%)	COMMON AREA	RATE (%)	GROSS FLOOR AREA (S.F.)
1F	4316.01	59%	3019.17	41%	7335.17
2F	7819.98	88%	1038.18	12%	8858.16
3F	7819.98	88%	1038.18	12%	8858.16
4F	7819.98	88%	1038.18	12%	8858.16
5F	7819.98	88%	1038.18	12%	8858.16
6F	8374.32	88%	1185.43	12%	9559.75
6F MEZZANINE	3131.87	94%	184.28	6%	3316.15
TOTAL	47102.12	85%	8541.59	15%	55643.71

BYLAW REVIEW

196D2017

COMPLIANCE WITH BYLAW 1P2007
2. UNLESS OTHERWISE SPECIFIED, THE RULES AND PROVISION OF PARTS 1, 2 3 AND 4 OF BYLAW 1P2007 APPLY TO THIS DIRECT CONTROL DISTRICT.

FLOOR AREA RATIO
7. (2) THE MAX. FLOOR AREA RATIO MAY BE INCREASED TO 5.0 IN ACCORDANCE WITH THE DENSITY BONUS PROVISION

BUILDING HEIGHT
10. THE MAX. BUILDING HEIGHT IS 26.0 METRES

IP2007

BUILDING SETBACKS

653 (3) THE MIN. BUILDING SETBACK FROM A PROPERTY LINE SHARED WITH A LANE IS ZERO METRES.
653 (5) WHERE A PARCEL SHARES A PROPERTY LINE WITH ANOTHER PARCEL THE MIN. BUILDING SETBACK IS ZERO METRES WHERE THE ADJOINING PARCEL IS DESIGNATED AS A, M-C2, ETC.

LANDSCAPING

654 AT LEAST 25.0 PERCENT OF THE REQUIRED LANDSCAPED AREA MUST BE PROVIDED AT GRADE.

MOTOR VEHICLE PARKING STALL REQUIREMENTS

558 THE MINIMUM MOTOR VEHICLE PARKING STALL REQUIREMENT IS CALCULATED: (A) BASED ON THE SUM FOR ALL DWELLING UNITS WHERE THE RATE IS 0.625 STALLS PER DWELLING UNIT OR SUITE

REDUCTION FOR TRANSIT SUPPORTIVE MULTI-RESIDENTIAL DEVELOPMENT

560 THE REQUIRED NUMBER OF MOTOR VEHICLE PARKING STALLS IN SECTION 558 IS REDUCED BY 25.0 PER CENT FOR A DEVELOPMENT ON A PARCEL LOCATED WITHIN: (A) 600.0 METRES OF AN EXISTING OR APPROVED CAPITAL FUNDED LRT PLATFORM

MOTOR VEHICLE PARKING STALL STATISTICS

REQUIRED PARKING STALLS = 0.625 STALLS PER DWELLING UNIT
= 0.625 STALLS X 71 DWELLING UNITS
= 45 STALLS

NO VISITOR PARKING REQUIRED 3 VISITOR PARKING PROVIDED

560 REQUIRED PARKING REDUCED BY 25% DUE TO CLOSE PROXIMITY OF LRT STATION
45 STALLS MINUS 25% = 34

TOTAL PARKING STALLS
REQUIRED = 34 STALLS
PROVIDED = 34 STALLS

TABLE 3.8.2.5: PER 26 - 50 REQUIRED PARKING STALLS, 3 STALLS REQUIRED FOR USE BY PERSONS WITH DISABILITIES.

BARRIER FREE PARKING STALLS REQUIRED = 3 STALLS
BARRIER FREE PARKING STALLS PROVIDED = 1 STALL

BICYCLE PARKING STALL REQUIREMENTS IN MULTI-RESIDENTIAL DEVELOPMENT

559 (B) 0.5 STALLS - CLASS 1 PER UNIT, WHERE TOTAL NUMBER OF UNITS IS EQUAL TO OR EXCEEDS 20; AND
(C) 0.1 STALLS - CLASS 2 PER UNIT, WITH A MIN. OF 2.0 STALLS

559 (B) 0.5 STALLS - CLASS 1 PER UNIT
(C) 0.1 STALLS - CLASS 2 PER UNIT

BICYCLE PARKING STALL STATISTICS

CLASS 1 = 1.0 STALLS X 71 DWELLING UNITS
REQUIRED = 71 STALLS
PROVIDED = 72 STALLS

CLASS 2 = 0.1 STALLS X 71 DWELLING UNITS
REQUIRED = 8 STALLS
PROVIDED = 12 STALLS

LOADING STALLS

123 (5) IN COMMERCIAL, INDUSTRIAL, MIXED USE AND SPECIAL PURPOSE DISTRICTS THE MIN. REQUIREMENT FOR LOADING STALLS IS (A) 1.0 LOADING STALL PER 9 300.00 SQUARE METRES OF GROSS FLOOR AREA WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS GREATER THAN 930.00 SQUARE METERS

DOCUMENTS REVIEWED:

- GUIDEBOOK FOR GREAT COMMUNITIES
- HILLHURST/SUNNYSIDE AREA REDEVELOPMENT PLAN
- CALGARY LAND USE BYLAW 1P2007
- ALBERTA BUILDING CODE
- ALBERTA FLOOD HAZARD MAP

FLOOD HAZARD MAP



VINCINITY MAP



ZONING MAP



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No.	Description	Date
12	CLIENT REVIEW NO REV CLOUDS	04-07-2023
11	DIRT RESPONSE ISSUANCE -	24-09-2023
	CLIENT REVIEW	
10	DIRT RESPONSE ISSUANCE -	13-02-2023
	CLIENT REVIEW	

Project Information

ALTO
MINTO COMMUNITIES
433 TO 621 9A ST NW
CALGARY ALBERTA

PROJECT INFORMATION

Project number: 23-04

Issued: 12-10-22

Drawn by: MR, MD Checked by: TS, RH

No.

DPO.1

Scale: As indicated



MARCH 21 - 10 AM SPRING EQUINOX



MARCH 21 - 12 PM SPRING EQUINOX



MARCH 21 - 2 PM SPRING EQUINOX



MARCH 21 - 4 PM SPRING EQUINOX



JUNE 21 - 10 AM SPRING SOLSTICE



JUNE 21 - 12 PM SPRING SOLSTICE



JUNE 21 - 2 PM SPRING SOLSTICE



JUNE 21 - 4 PM SPRING SOLSTICE



SEPTEMBER 21 - 10 AM FALL EQUINOX



SEPTEMBER 21 - 12 PM FALL EQUINOX



SEPTEMBER 21 - 2 PM FALL EQUINOX



SEPTEMBER 21 - 4 PM FALL EQUINOX



DECEMBER 21 - 10 AM WINTER SOLSTICE



DECEMBER 21 - 12 PM WINTER SOLSTICE



DECEMBER 21 - 2 PM WINTER SOLSTICE



DECEMBER 21 - 4 PM WINTER SOLSTICE

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02	CLIENT REVIEW: NO REVISIONS	06-17-2023
01	CLIENT RESPONSE ISSUANCE	03-02-2023
01	CLIENT REVIEW	
01	ISSUED FOR DP	19-07-2022
No.	Description	Date

Project Information

ALTO
MINTO COMMUNITIES
613 TO 621 1A ST NW
CALGARY ALBERTA

Drawing Title

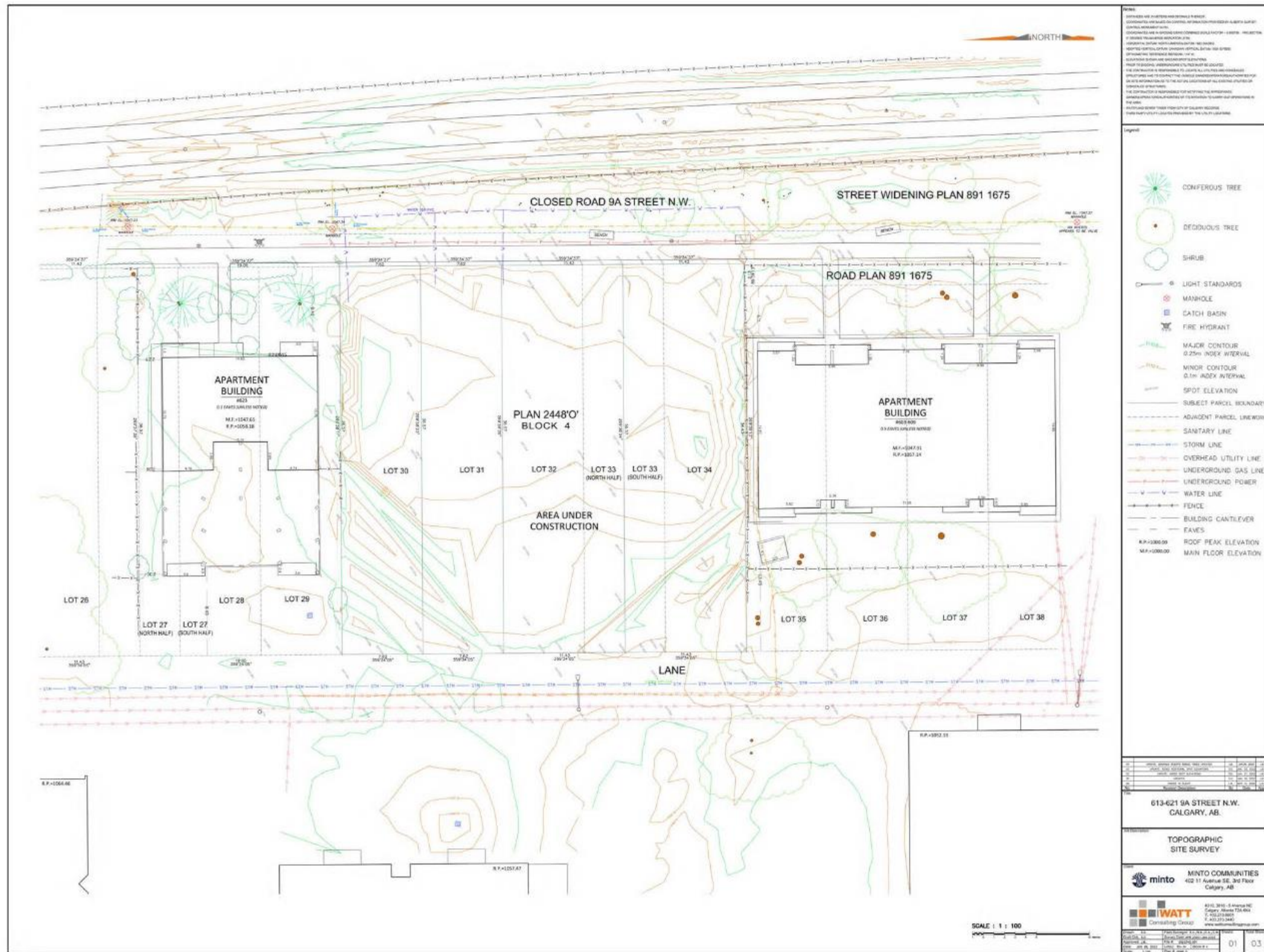
SHADOW STUDY

Project number	20-04
Issued	02-10-22
Drawn by	MR
Checked by	TS, RN

No.

DP0.3

Scale 1:100



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NO.	DESCRIPTION	DATE
12	CLIENT REVIEW NO REV CHANGES	04-07-2023
10	DRAFT RESPONSE ISSUANCE - CLIENT REVIEW	03-02-2023
1	ISSUED FOR DP	04-01-2022

Project Information

ALTO
MINTO COMMUNITIES
613 TO 621 9A ST NW
CALGARY ALBERTA

Drawing Title
EXISTING SITE SURVEY

Project number: 20-16
Issued: 12-10-22
Drawn by: MR, MD | Checked by: TS, RN

No. **DP1.1**

Scale



SUBJECT SITE KEY PLAN



1



2



3



4

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No.	Description	Date
02	CLIENT REVIEW - NO REV CLOUDS	04-27-2023
03	CLIENT RESPONSE - ISSUANCE	13-02-2023
04	CLIENT REVIEW	
01	ISSUED FOR DP	19-09-2022

Project Information

ALTO
MINTO COMMUNITIES
413 TO 431 9A ST NW
CALGARY ALBERTA

Drawing Title

SITE PHOTOS

Project number	20-06
Issued	12-10-22
Drawn by	MR
Checked by	TS, RN
No.	

DP1.2

Scale 1:40



5



6



7



8

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12	CLIENT REVIEW NO REV CLOUDS	04-07-2023
11	OTR#2 RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023
10	OTR#1 RESPONSE ISSUANCE - CLIENT REVIEW	13-02-2023
No.	Description	Date

Project Information

ALTO

MINTO COMMUNITIES
#13 TO #21 9A ST NW
CALGARY ALBERTA

Drawing title

SITEPLAN

Project number 20-04

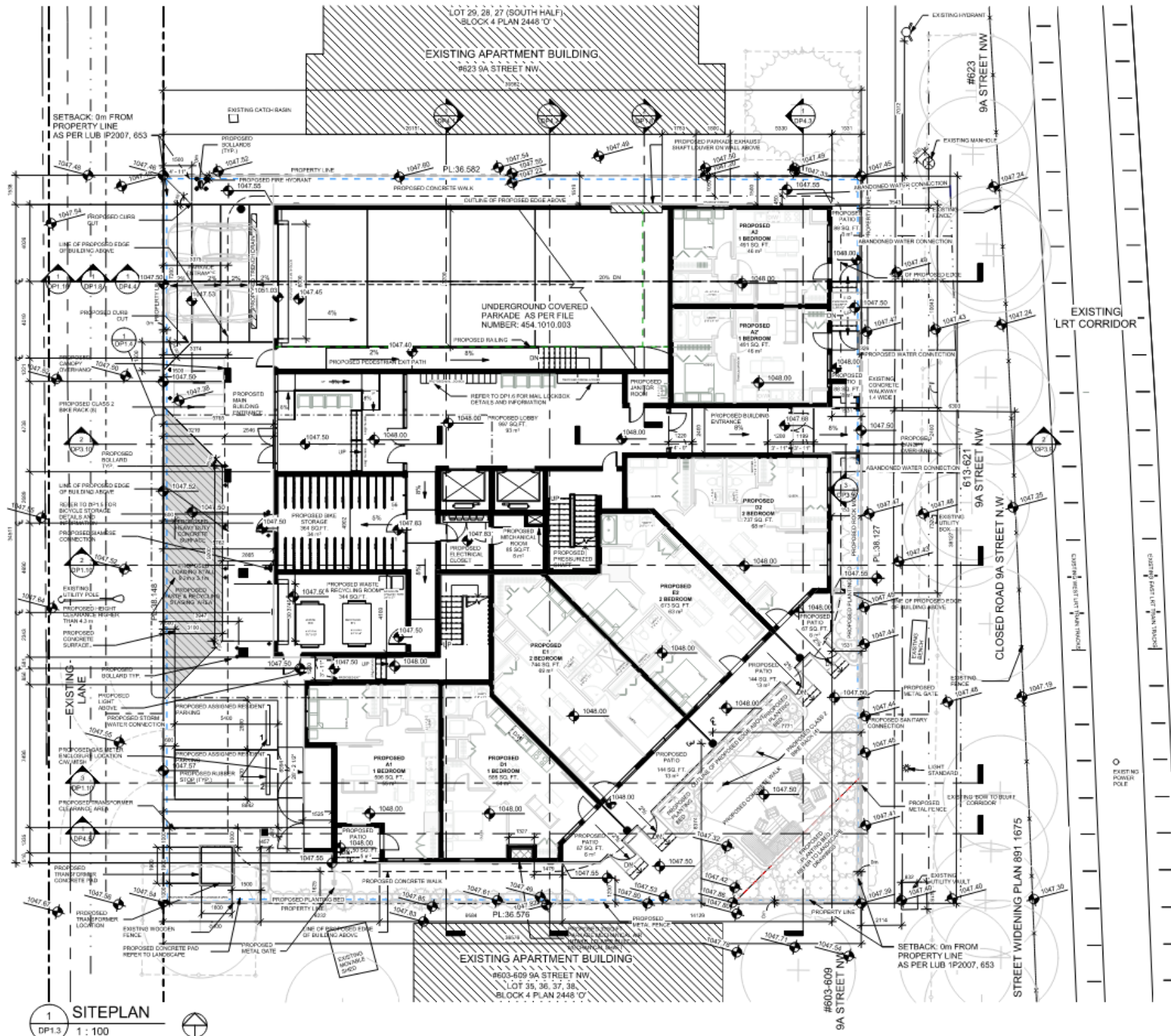
Issued 12-10-22

Drawn by MR, MD Checked by TS, RN

No.

DP1.3

Scale 1:100



SITE STATISTICS

LEGAL DESCRIPTION:
PLAN 2448 0' BLOCK 4 LOT 30,31, 32, (NORTH HALF) 33, (SOUTH HALF) 33 AND 34

CIVIC ADDRESS: 613 to 621 9A ST NW, CALGARY, ALBERTA

ZONING: DC 196P2017 (M+H2)

SITE AREA: 1,393.51 m² 100.00%

BUILDING AREA: 868.20 m² 62.30%

LANDSCAPE AREA:

REFER TO LANDSCAPE

NOTE:
FOR LANDSCAPE DETAIL INFORMATION REFER TO LANDSCAPE PLANS INCLUDED IN THIS PACKAGE.

SITE LEGEND

EXISTING GRADE 1000.00
PROPOSED GRADE 1000.00

CIVIL LEGEND

- SANITARY LINE
- STORM LINE
- UNDERGROUND GAS LINE
- UNDERGROUND POWER LINE
- WATER LINE
- FENCE
- OVERHEAD UTILITY LINE

NOTE:
FOR CIVIL ENGINEERING DETAIL REFER TO CIVIL ENGINEERING DRAWINGS INCLUDED IN THIS PACKAGE.

- NOTE:**
1. STORM WATER AND OTHER DRAINAGE FROM THE PROPOSED DEVELOPMENT WILL BE SELF-CONTAINED WITHIN THE SITE.
 2. AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE DURING EXCAVATION OF THE BUILDING FOUNDATION AND PARKADE IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES
 3. LANE TO BE RE-PAVED FROM NORTH PROPERTY LINE OF SUBJECT SITE TO 4 AVE NW IN CONJUNCTION WITH THIS DEVELOPMENT PERMIT



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No.	Description	Date
12	CLIENT REVIEW - NO REV CLOUDS	04-07-2023
10	OTHER RESPONSE ISSUANCE - CLIENT REVIEW	03-02-2023
1	ISSUED FOR DP	09-07-2022

Project Information

ALTO
MINTO COMMUNITIES
613 TO 621 9A ST NW
CALGARY ALBERTA

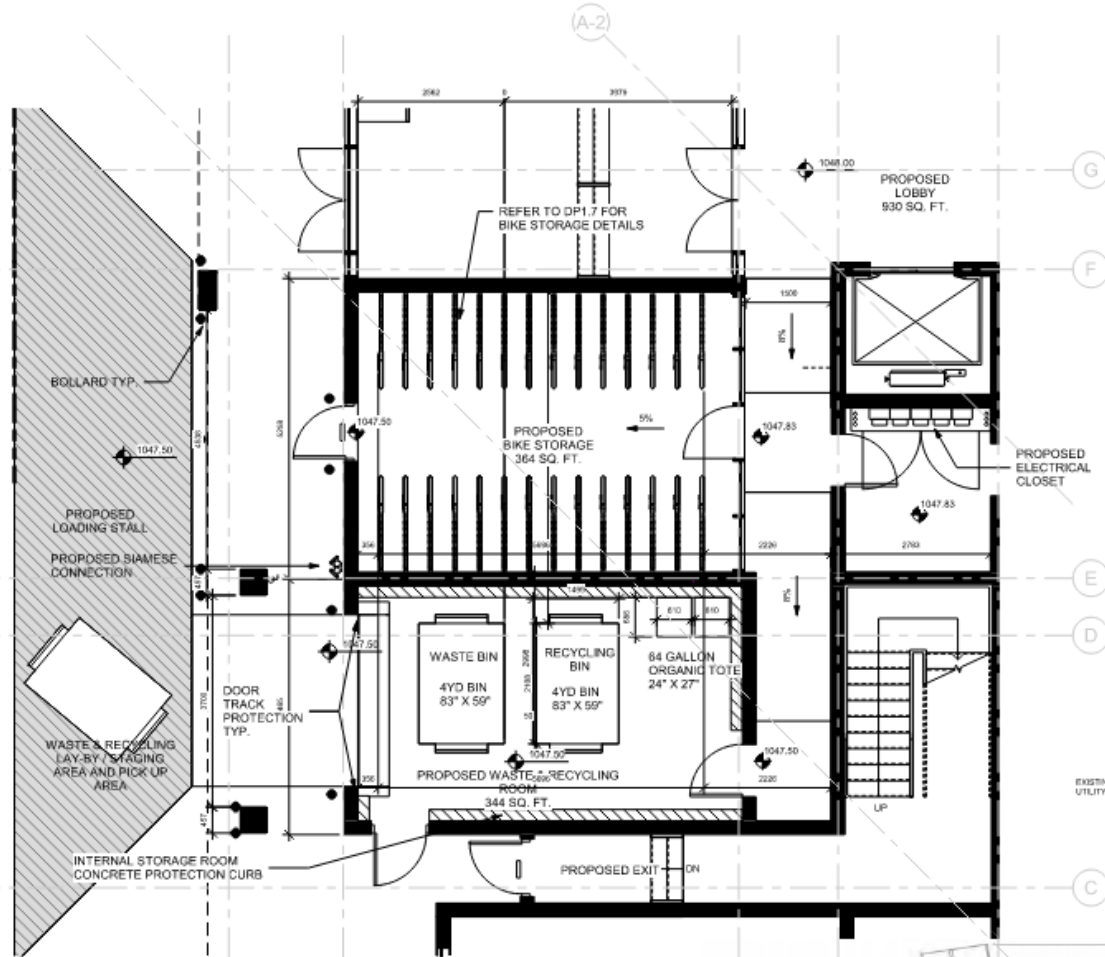
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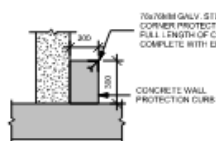
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Issued	12-18-22
Drawn by	MR, MB
Checked by	TS, RH

DP1.4

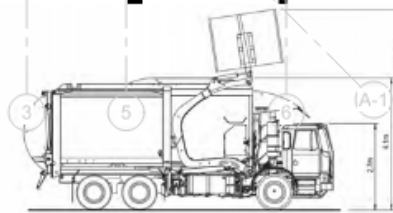
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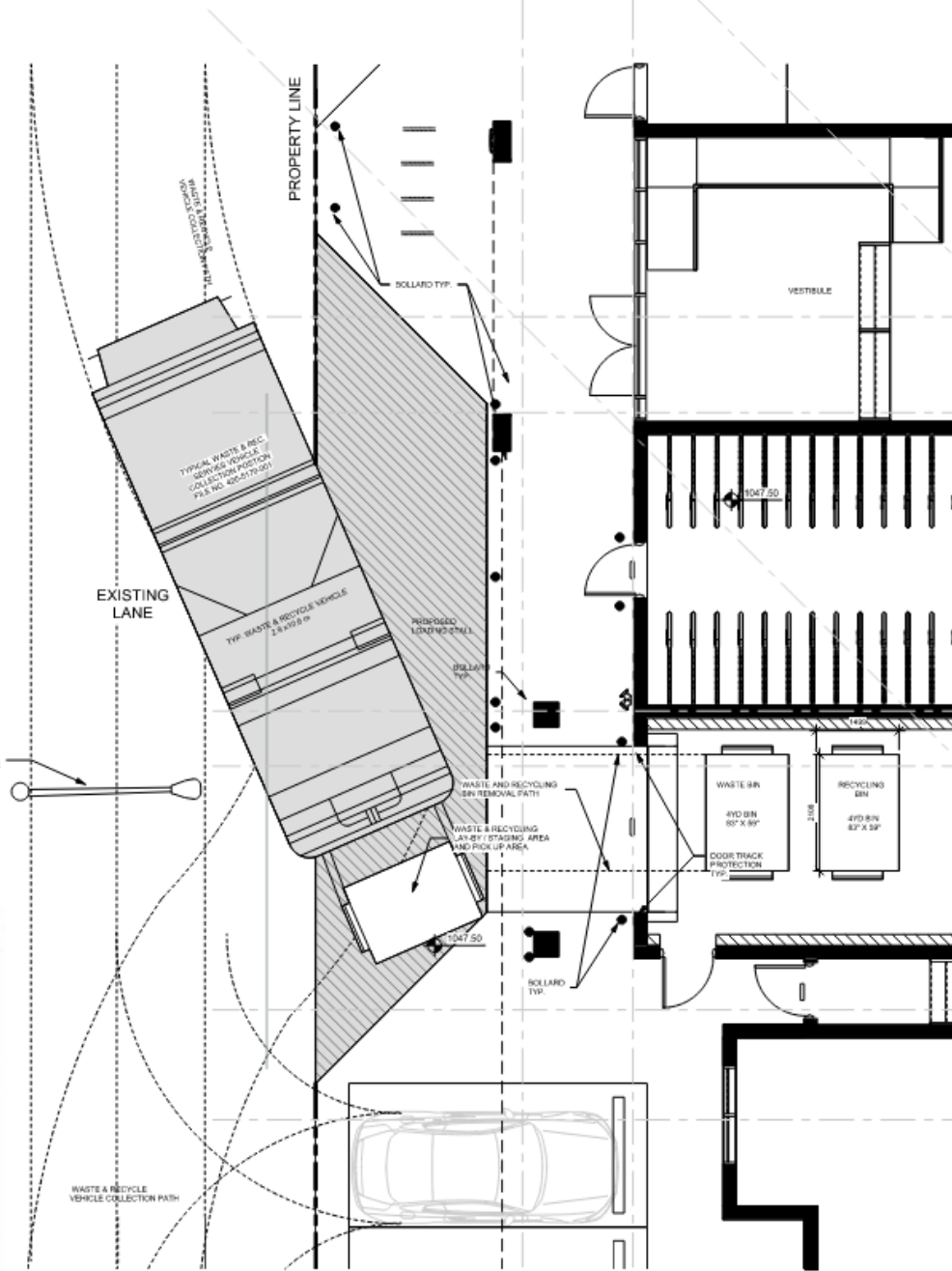
1 WASTE & RECYCLING ROOM & BICYCLE ROOM
DP1.4 1:50



3 WASTE & RECYCLING ENCL. WALL PROTECTION
DP1.4 1:20



4 TYP. WASTE & RECYCLE VEHICLE
DP1.4 1:100



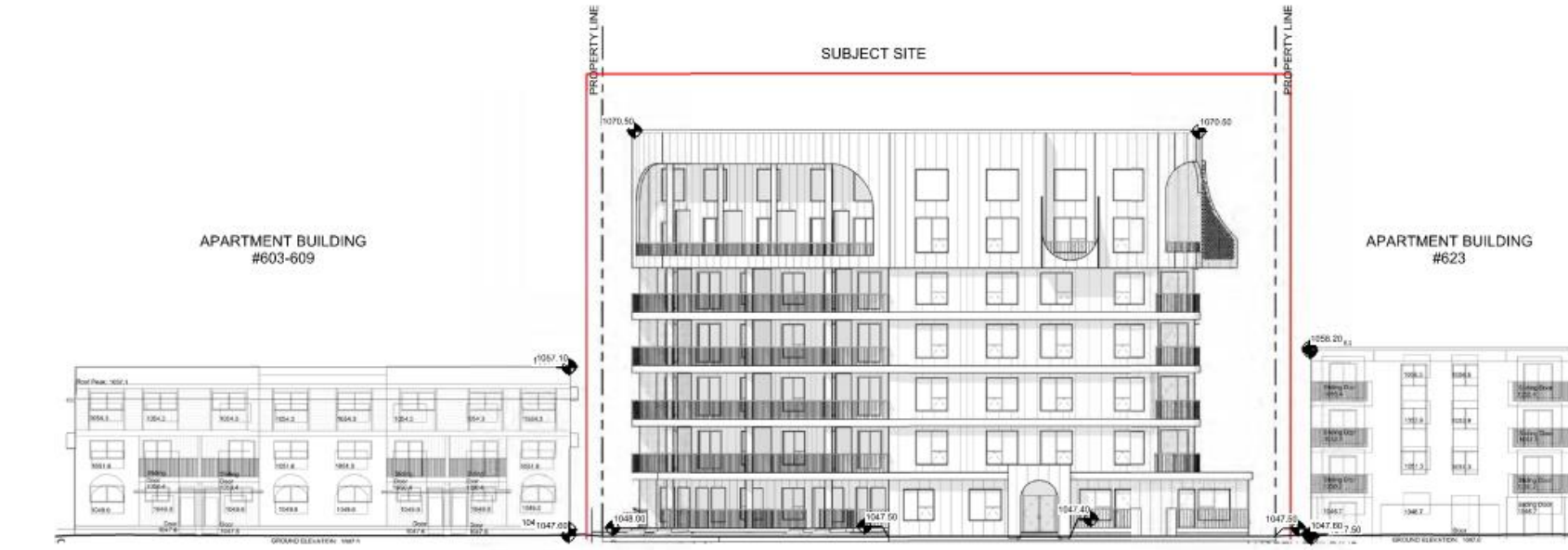
2 WASTE & RECYCLING ROOM PICK UP PATH
DP1.4 1:50

LEGEND

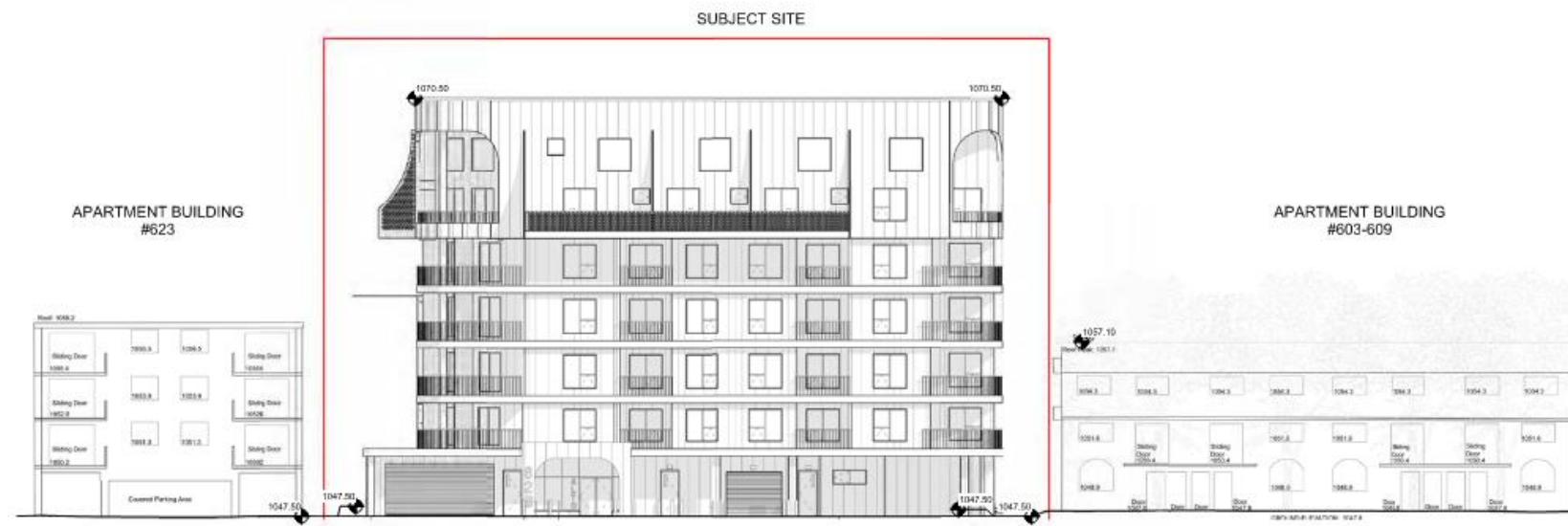
	TYP. WASTE & RECYCLE VEHICLE
	PROPOSED LOADING STALL

WASTE & RECYCLING NOTES.

1. THIS DEVELOPMENT WILL BE PURSUE PRIVATE WASTE COLLECTION
2. WASTE & RECYCLING TO BE DONE BY PRIVATELY SCHEDULED PICK-UP
3. WASTE & RECYCLING STAGING AND VEHICLE PATH PAVING & STRUCTURAL SLAB TO HAVE 38,556KG BEARING CAPACITY
4. ALL WASTE & RECYCLING ROOMS TO HAVE EPOXY COATED FLOORS EXTENDED OVER CURBS AND UP WALLS 1220mm HIGH.
5. ALL WASTE & RECYCLING ROOMS AND STAGING AREA FLOORS TO HAVE MAX. 2% SLOPES



1 CONTEXTUAL EAST ELEVATION
DP1.5 1 : 150



2 CONTEXTUAL WEST ELEVATION
DP1.5 1 : 150

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No.	Description	Date
02	CLIENT REVIEW NO REV CLOUDS	04-21-2023
03	CLIENT RESPONSE ISSUANCE	12-02-2023
04	CLIENT REVIEW	
01	ISSUED FOR DP	15-07-2022

Project Information:

ALTO
MINTO COMMUNITIES
413 TO 421 9A ST NW
CALGARY ALBERTA

Drawing: **BLOCK PLAN & CONTEXTUAL ELEVATION**

Project number: 25-06
Issued: 12-10-22
Drawn by: MRJ Checked by: TS, RN

No. **DP1.5**

Scale: 1 : 150

Section B

Apartment buildings

- Delivery service options available for apartment buildings are
 - front-loading lockbox assembly
 - rear-loading mailroom (mandatory for 100 units or more).

Note: For apartment buildings with 100 or more units, a rear-loading mailroom must be installed.

For a building of this many units, a rear-loading mailroom allows for more efficient delivery of the mail because there is not a large number of panels to continually open and close. Multiple open panels can also hinder the flow and safety of lobby traffic. A mailroom provides a higher degree of security (see Appendix B, sections 6 and 9).



Responsibilities

The developer/owner must

- supply, install and maintain the mail delivery equipment according to Canada Post specifications (see Appendix B);
- provide Canada Post with all the suite or unit numbers (recommended to have numeric characters only and no hyphens or special characters);
- ensure that all the mail delivery equipment is accessible by persons with physical disabilities.

Appendix B

Specifications for lockbox assemblies and mailrooms

Lockbox assemblies

There are a variety of lockbox systems available on the retail market, most of which are in two general categories, front-loading or rear-loading postal box assemblies. Depending on your particular requirements, either of these box types will provide appropriate mail delivery functionality.

1. Front-loading lockbox assemblies

In front-loading lockbox assemblies, access for the delivery personnel is provided through a master door or similar access feature. This permits the delivery personnel to use the same floor space as the customer, thus reducing the overall space required. Two major types of front-loading boxes are available.

1.1 Drop-front lockbox assembly

The drop-front lockbox assembly (often referred to as a "K" panel) consists of a number of vertical mailboxes banked to form a unit that, when unlocked by the delivery personnel, tilt out at the top to permit the mail to be deposited through the open box tops. Customer access is provided by a side-hinged, individually locked customer compartment door.

- The assembly is usually used in small residential apartment buildings.
- It is useful in buildings with 3 to 16 units.
- It can be mounted into the wall or surface mounted.
- It is available in limited sizes, but is not suited to commercial or retail tenants.
- The assembly does not hold parcel-sized boxes.

1.2 Master-door lockbox assembly

With this style of lockbox assembly, the delivery personnel are provided access to multiple boxes by opening a master door on the front of the assembly. Customer access is provided by a hinged, individually locked customer compartment door. These boxes are available in a number of standard sizes (see section 4).

- The assembly is available in a variety of sizes that can be mixed to provide for varying tenant needs (see section 4).
- Larger boxes can be used as parcel compartments.
- The assembly is available in flush or surface-mounted models.

1.3 Front-loading "B" boxes

- They are useful where wall space is limited (taking less area than "K" panels).
- They can be inserted either fully or partially into a wall or added onto a wall.
- They can be used in buildings with a large number of tenants if a mailroom cannot be installed or is not feasible.
- Larger compartments in varying configurations are available (see section 4).

Appendix B

2. Rear-loading lockbox assembly

A rear-loading lockbox assembly which is mandatory for a building over 100 units consists of boxes that are opened from inside a mailroom located directly behind the assembly. The boxes form part of the wall with the front facing the building lobby to provide customer access; the rear of the assembly faces the mailroom where delivery personnel deposit mail into the open backs of the boxes. Mailrooms must comply with Canada Post requirements, as outlined in section 6.

3. Choosing postal box assemblies

Canada Post recommends that the following items be considered when choosing a postal box assembly.

3.1 Size

Choose a box size that is as large as possible based on the space available. Larger mailboxes provide enhanced mail service and convenience for building tenants.

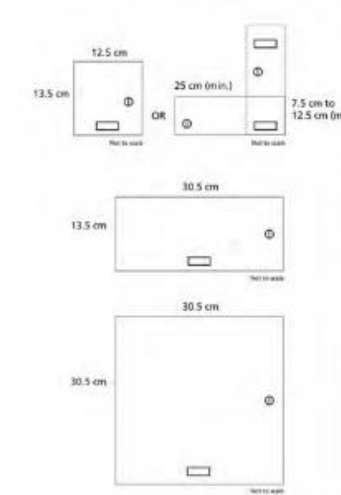
- A larger mailbox reduces the need to fold mail items.
- It holds small packets and parcels.
- It provides a larger capacity to allow mail accumulation over extended periods (e.g., vacations).

3.2 Parcel compartments

Include a number of parcel compartments in the final assembly. Boxes allow building tenants to receive larger mail items that will not fit in the individual customer compartment. This reduces the need for the customer to be directed to a local post office to collect such mail items.

Appendix B

4. Lockbox sizes



"B" size

Personal compartments for residential and small business applications. These are minimum size requirements, regardless of front-loading or rear-loading lockbox assemblies. All with 35 cm of minimum (min.) depth.

"C" size

Approximately 13.5 cm x 30.5 cm. Used for larger mail receivers in business buildings. These may also be used as optional parcel compartments if space is at a premium.

"D" size

Approximately 30.5 cm x 30.5 cm. Used for large volume receivers in business applications as well as optional parcel compartments.

Note: When ordering lockbox assemblies, one additional compartment must be allowed for housing Canada Post's office lock.

Appendix B

5. Specifications for lockbox assemblies

5.1 Every lockbox assembly must be located adjacent to the main entrance of the building and be readily accessible to delivery personnel. There is to be only one lockbox assembly per building.

5.2 Every lockbox assembly must be constructed so that delivery personnel, when sorting the mail for that assembly, are not required to reach higher than 170 cm from the finished floor level in order to place mail in the top row of boxes, or lower than 45 cm from the finished floor level in order to place mail in the bottom row of boxes. If the bottom row is composed of parcel compartments, it can be 38 cm from the finished floor level. The entire top and bottom rows of boxes must be contained within these maximum measurements as there is always the potential for full use of the boxes.

5.3 Every lockbox assembly must be installed with a minimum of 15 cm between the last row of boxes and all adjoining walls that create inside corners. This ensures ease of access to the boxes and applies to all inside corners on the customer side and the postal delivery side of all assemblies.

5.4 Every lockbox assembly must be constructed and installed in such a manner as to prevent

- loss or entrapment of mail,
- damage to mail,
- injury to post office delivery personnel,
- injury to the customer.

5.5 Each box in a lockbox assembly must be equipped with a door through which mail can be obtained, and every such door must be equipped with a lock.

5.6 Each box in a lockbox assembly must have a holder in which the name (optional) and apartment suite number of the tenant is placed in such a manner that they are readily visible to the post office delivery personnel when placing mail in the box.

Boxes must be numbered sequentially low to high. Please see page 27 for lockbox sequencing guidelines.

Note: Choose well constructed equipment. Quality boxes will provide many years of trouble-free service. Well built mailboxes will ensure that the tenant's mail is always securely protected and that there is minimum risk of injury to customers and delivery personnel and of damage to mail items. Proper installation is also critical to ensure the security of the mail over a long service life (see section 7).

Appendix B

5.7 Every lockbox assembly must be constructed so that delivery personnel have ready access to the lockboxes in the assembly by means of the following:

- a master lock on the front of the assembly installed not more than 170 cm and not less than 45 cm from the finished floor level;
- an enclosed room at the rear of the assembly having a working space of at least 100 cm in width; or
- where there is an open space or public foyer at both the front and rear of the assembly and the means of access described in paragraphs a) and b) are not reasonably obtainable, a cupboard type door at the rear of the assembly that
 - when closed prevents unauthorized entry;
 - is constructed of metal, 2 cm plywood or other sturdy material;
 - is hinged so that the hinge or hinge-pin cannot be removed from the outside when the doors are closed; and
 - has a master lock that is firmly anchored through the entire thickness of the door and where the door (constructed of a material other than metal) is firmly anchored to a metal plate.

5.8 With regard to the locking mechanism:

- the master door of access to a lockbox assembly must be fitted with a lock obtained from Canada Post only;
- the lock referred to in subsection a) must be fitted in such a manner that, when locked, the bolt of the lock is engaged in metal to a depth of at least 4.5 mm; for a copy of the lock template, contact your delivery planner;
- certain units on the market do not meet specifications to allow the placement of the new Canada Post crown lock; therefore, it is recommended that you contact your delivery planner prior to purchasing and installing the lockbox assembly to ensure that the unit can be fitted with the Canada Post lock; otherwise, all costs to retrofit will be at the expense of the owner.

5.9 The installation of the lock referred to in section 5.8, must be supervised by post office delivery personnel who will retain custody of the key for the lock.

5.10 Any signalling or communication device or other equipment with a function not related to mail delivery that is installed with a lockbox assembly must not permit or require access to the interior of the lockbox assembly in order to use or maintain the device or equipment.

44001 - April 2015

Training Standards Manual - April 2015

Training Standards Manual - April 2015

Training Standards Manual - April 2015



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17	CLIENT REVIEW AND REV CLOUDS	04-07-2023
18	OWNER RESPONSE ISSUANCE - CLIENT REVIEW	11-02-2023
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Project Information

ALTO

MINTO COMMUNITIES
403 TO 421 9A ST NW
CALGARY ALBERTA

Drawing Title

MAIL LOCKBOX DETAILS

Project number 29-06

Issued 12-10-22

Drawn by MR Checked by TS, RN

No.

DP1.6

Scale

MINTO COMMUNITIES

DCRO Dero Duplex **Submittal Sheet**

CAPACITY
Varies per configuration
Maximum 6 bike system required for stability

MATERIALS
Main frame tube: 2\"/>

FINISHES
 Galvanized
An anti-rust treatment has dipped galvanized finish in our standard option.
 Powder Coat
Our powder coat finish ensures a high level of adhesion and durability on following finish coats.
 1. Sandblast
 2. Epoxy primer (electrocoat) applied
 3. Final rock RPO polyurethane powder coat
 Stainless
304 grade stainless steel material with external surface polished to a mirror finish. All hardware polished.

MOUNT OPTIONS
Surface only
Each connector plate accepts 3/8\"/>

U-lock connection

DCRO Dero Duplex **Installation**

1 Attach the Dero Duplex to the Master Unit with each CONNECTOR with hardware.

2 Drill the holes in accordance with the specifications (shown with the anchors). Make sure the holes are at least 17\"/>

3 Continue installing (steps 1 and 2 as necessary).

4 Place WHEEL CATCH and SPACERS and attach with locknuts. Repeat for all trays.

Do not use lock washers or locknuts on the holes to secure wheel catch.

WHY
snaille™
Canada's Parcel Locker Company
In partnership with the industry's leading brands in Canada.

OPTIONAL 16-DOOR (1080mm) EXPANSION
Requires connection to a Master Unit.
Fire rated for Canada to CANULC-5162
Electrically Certified for Canada to CSA C22.2 No.62368-1:19
IP cameras & NVR + Pin hole comes with Master Unit - will be mounted to survey overall installation
Desired wall clearance to facilitate installation - can be zero clearance
100mm back wall clearance to vent CPU
25mm side wall clearance
25mm ceiling clearance
25mm clearance from top of cameras (if cameras are installed)
The expansion connect to the master via 24v low voltage and ethernet connections - installed by Snaille.

CONFIDENTIAL

DCRO Dero Duplex **Setbacks Single Sided**

1 DERO BYCICLE STORAGE DETAILS
DP1.7

DCRO Dero Duplex **Installation**

5 Secure the DUPLEX ASSEMBLY with 1/2\"/>

6 For double sided assemblies, insert each side single wheel attachment back to back with a 7\"/>

WHY
snaille™
Canada's Parcel Locker Company
In partnership with the industry's leading brands in Canada.

MASTER PARCEL LOCKER (REQUIRED) 18-DOOR (1085mm)
IP cameras & NVR + Pin hole comes with Master Unit - will be mounted to survey overall installation
Fire rated for Canada to CANULC-5162
Electrically Certified for Canada to CSA C22.2 No.62368-1:19
Wall Clearance
100mm back wall clearance to vent CPU
25mm side wall clearance - can be zero
25mm ceiling clearance
25mm clearance from top of cameras (if cameras are installed)
Electrical
Standard 15amp grounded plug 48\"/>

The expansion connect to the master via 24v low voltage and ethernet connections - installed by Snaille.

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2 SNAILLE PARCEL LOCKER DETAILS
DP1.7

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No.	Description	Date
12	CLIENT REVIEW NO REV CLOUDS	04-07-2023
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12	CLIENT REVIEW NO REV CLOUDS	04-07-2023
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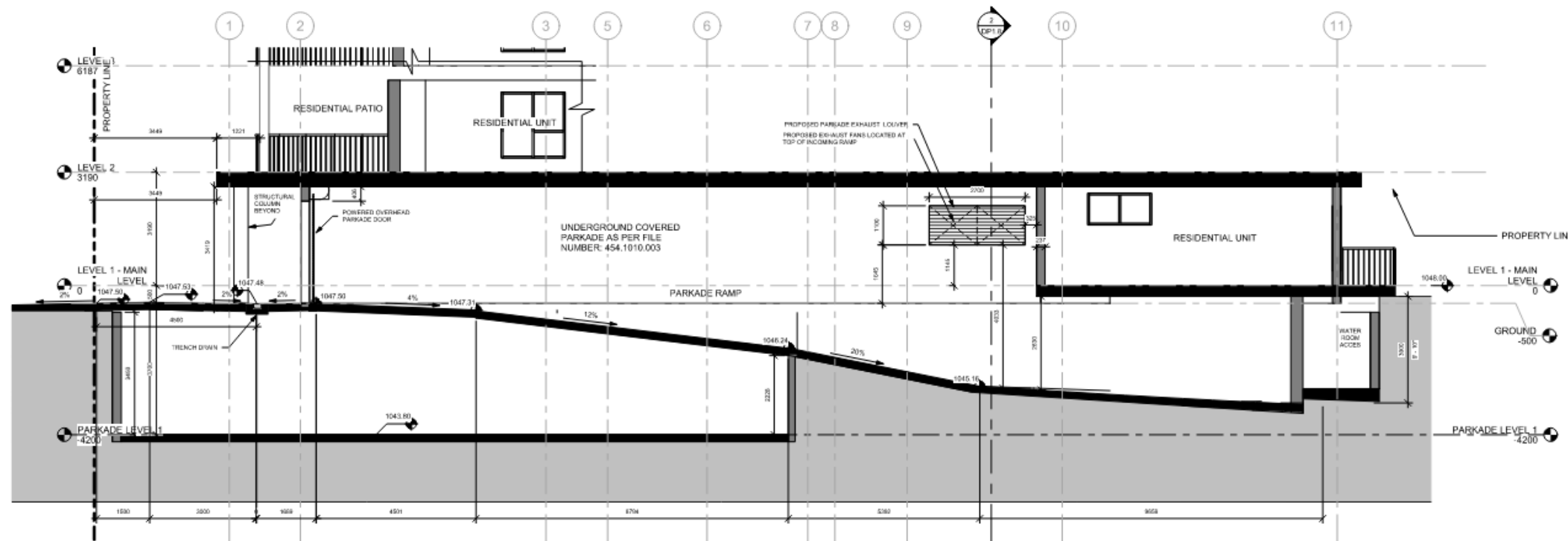
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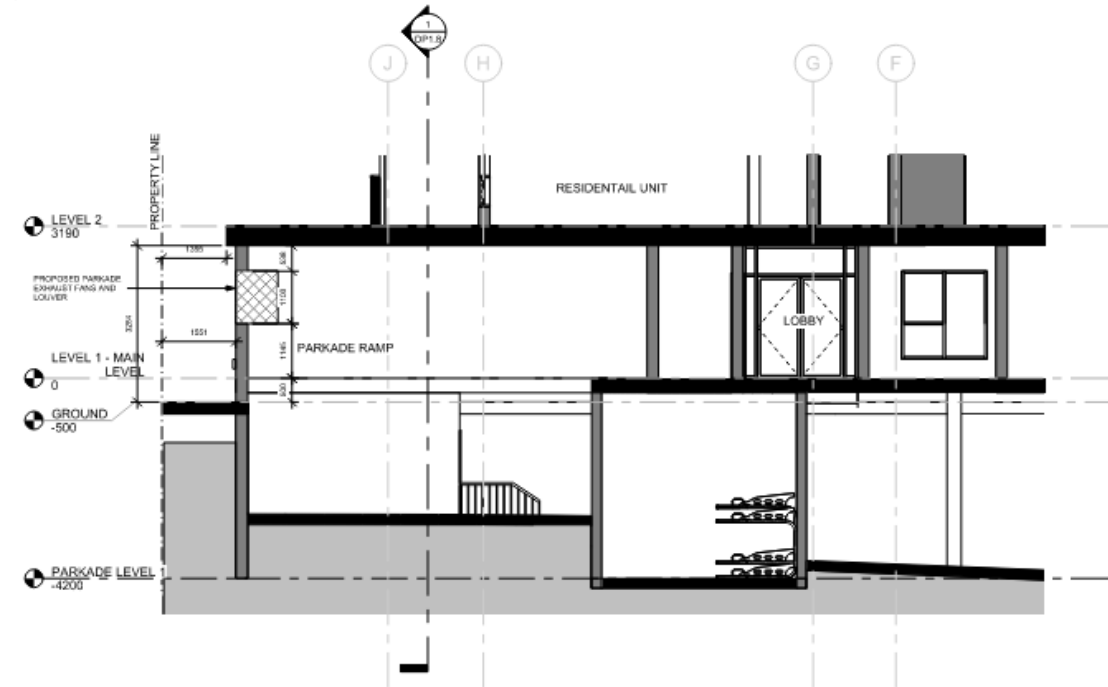
Project number 20-06
Issued 12-18-22
Drawn by MR **Checked by** TS, RN

No.
DP1.7

Scale



1 PARKADE RAMP SECTION
DP1.8 1 : 60



2 PARKADE RAMP SECTION N-S
DP1.8 1 : 60



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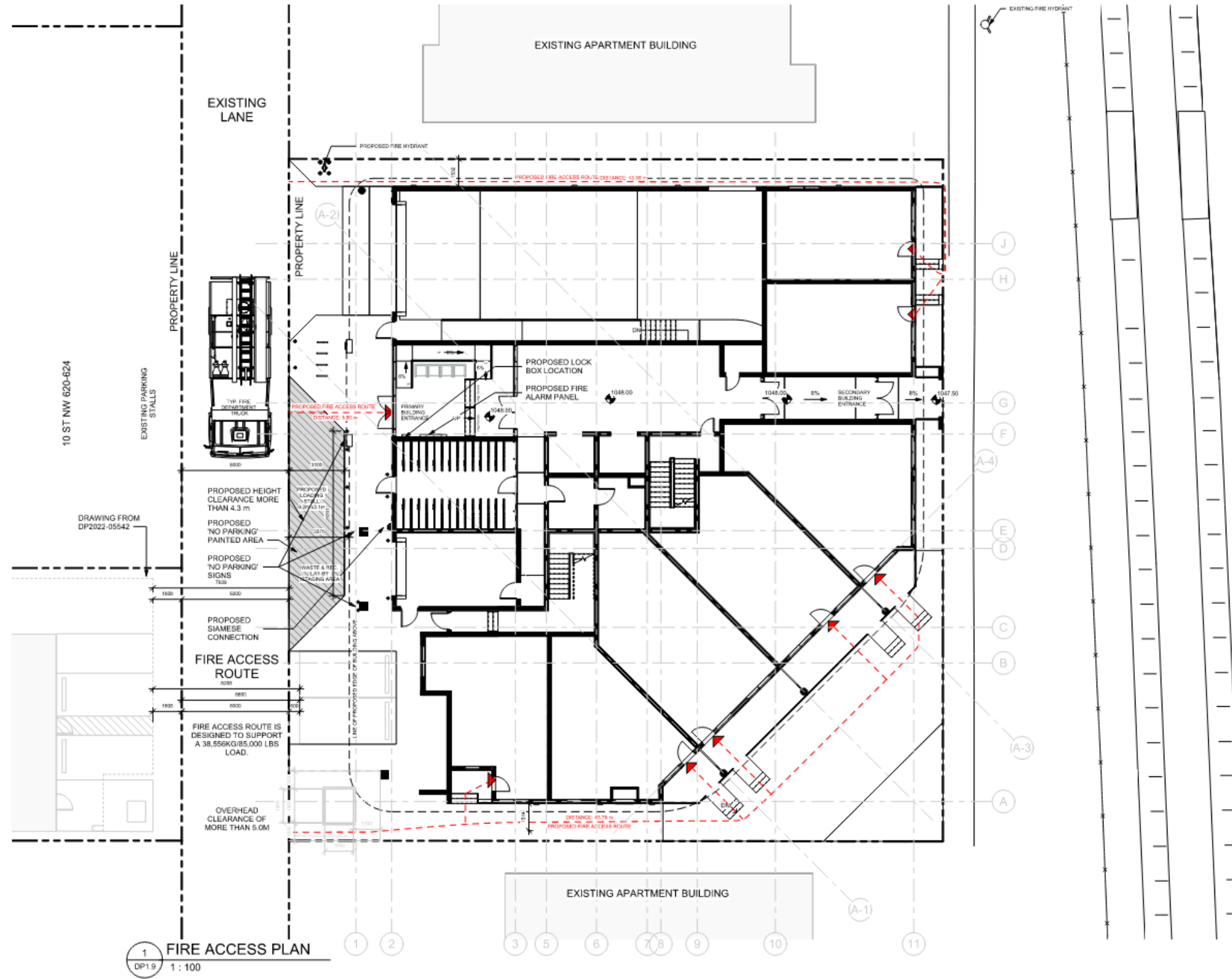
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Drawing Title
PARKADE RAMP SECTION

Project number	20-04
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Drawn by	MR, MD
Checked by	TS, RN
No.	

DP1.8

Scale 1 : 60



1 FIRE ACCESS PLAN
DP1.9 1 : 100



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1	CLIENT REVIEW	10-02-2023
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Project Information

ALTO
MINTO COMMUNITIES
#13 TO #21 9A ST NW
CALGARY ALBERTA

Drawing title
FIRE ACCESS DETAILS

Project number: 20-04
Issued: 12-10-22
Drawn by: MR Checked by: TS, RN
No.

DP1.9
Scale: 1:100

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No.	Description	Date
02	CLIENT REVIEW - NO REV CLOUDS	06-07-2023
01	OTW#2 RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023
00	OTW#1 RESPONSE ISSUANCE - CLIENT REVIEW	03-02-2023

Project Information

ALTO
MINTO COMMUNITIES
613 TO 621 9A ST NW
CALGARY ALBERTA

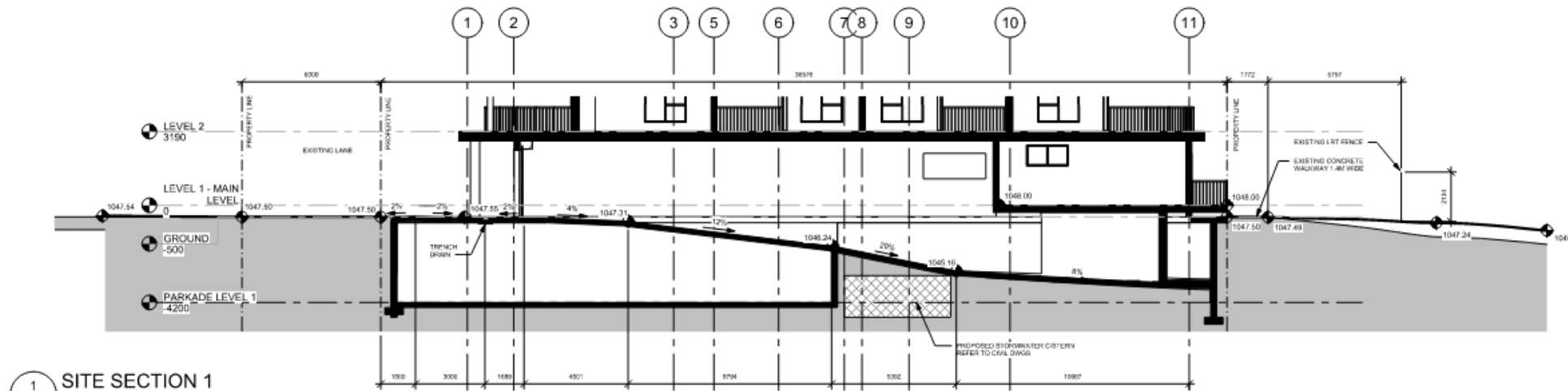
Drawing Title

SITE SECTIONS

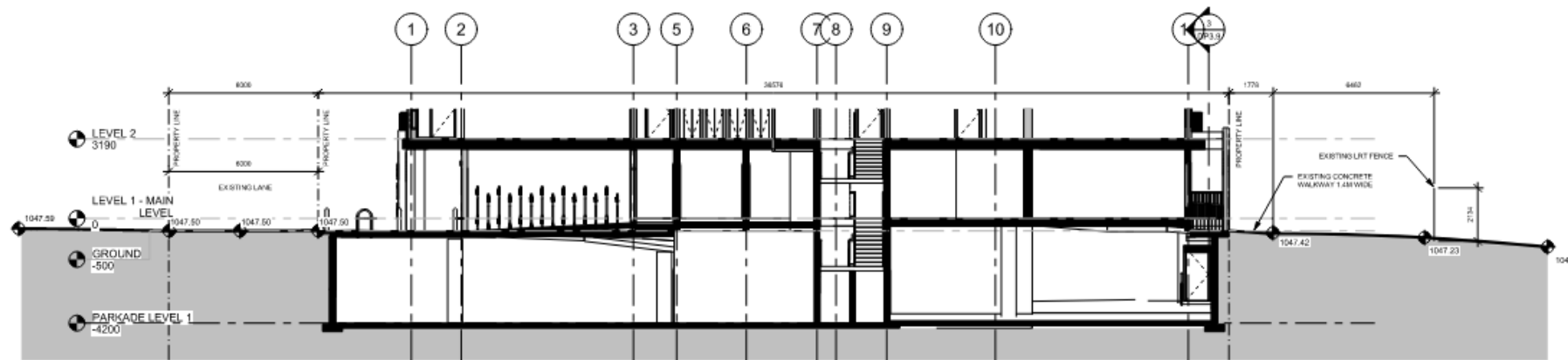
Project number: 20-06
Issue: 02-10-22
Drawn by: HR | Checked by: TS, RN
No.

DP1.10

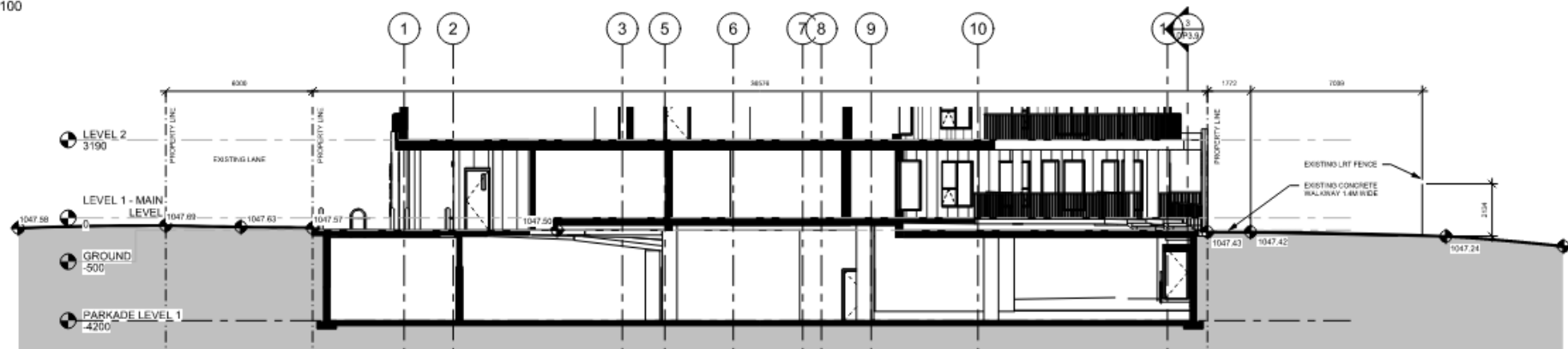
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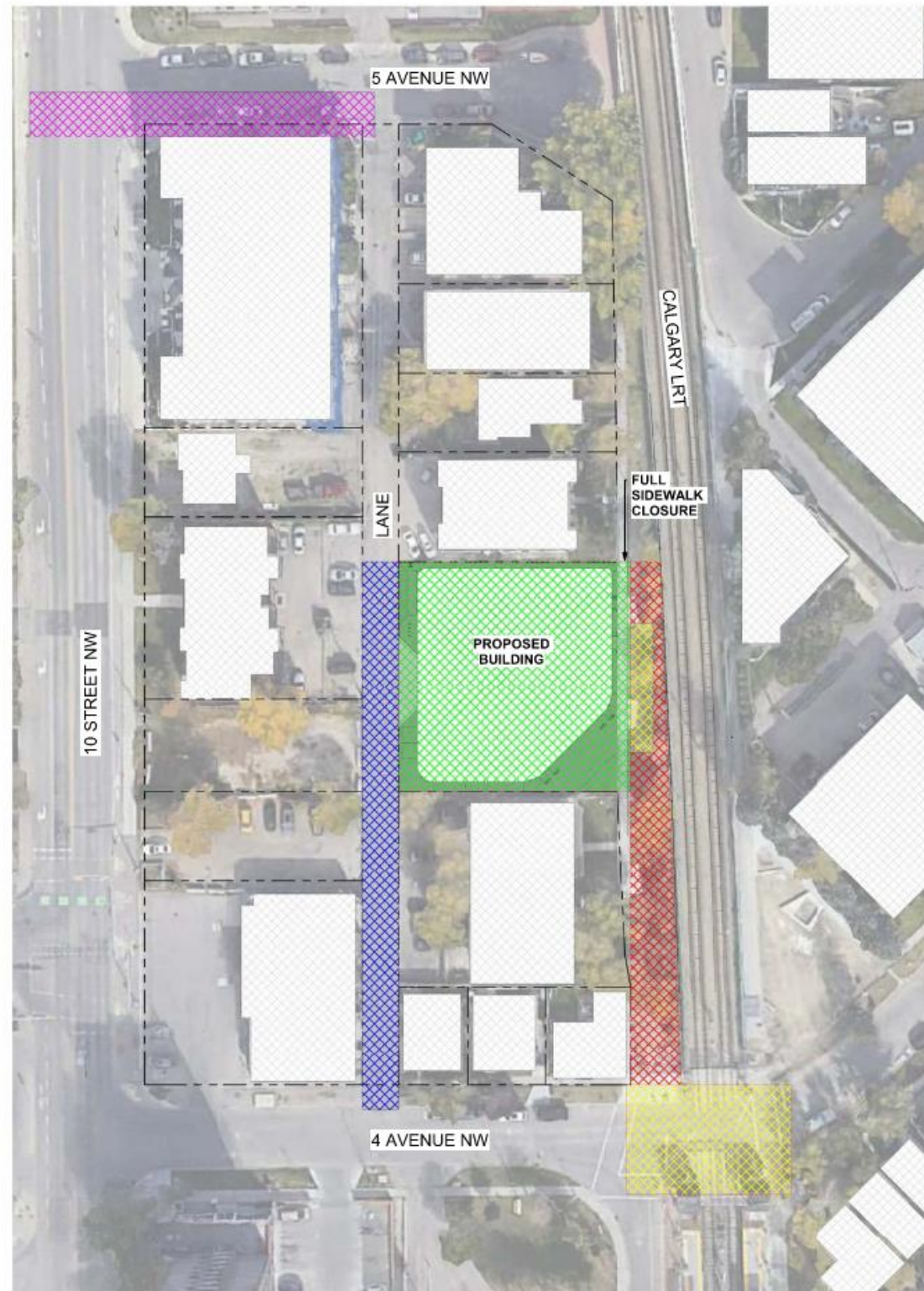
1 SITE SECTION 1
DP1.10 1:100



2 SITE SECTION 2
DP1.10 1:100



3 SITE SECTION 3
DP1.10 1:100



1
DP1.12 1 : 400
EXTENT OF CONSTRUCTION DISTURBANCE

- EXISTING BUILDINGS
- LAYDOWN AREA
- ACTIVE CONSTRUCTION ZONE
- AREA TO BE REPAVED
- TRENCHING AND INSTALLING OF FIRE HYDRANT
- BOW TO BLUFF IMPROVEMENTS

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No.	Description	Date
12	CLIENT REVIEW AND REV CLOUDS	06-07-2023
11	CLIENT RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023

Project Information

ALTO
MINTO COMMUNITIES
610 TO 621 9A ST NW
CALGARY ALBERTA

Drawing title: **EXTENT OF CONSTRUCTION + IMPROVEMENTS**
Project number: 23-04
Issued: 02-18-23
Drawn by: MR Checked by: TS, RN

No. **DP1.12**
Scale: 1 : 400

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No.	Description	Date
02	CLIENT REVIEW NO REV CLOUDS	04-07-2023
01	OTR#2 RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023
00	OTR#1 RESPONSE ISSUANCE - CLIENT REVIEW	03-02-2023

Project Information

ALTO
MINTO COMMUNITIES
413 TO 421 1A ST NW
CALGARY ALBERTA

Drawing title

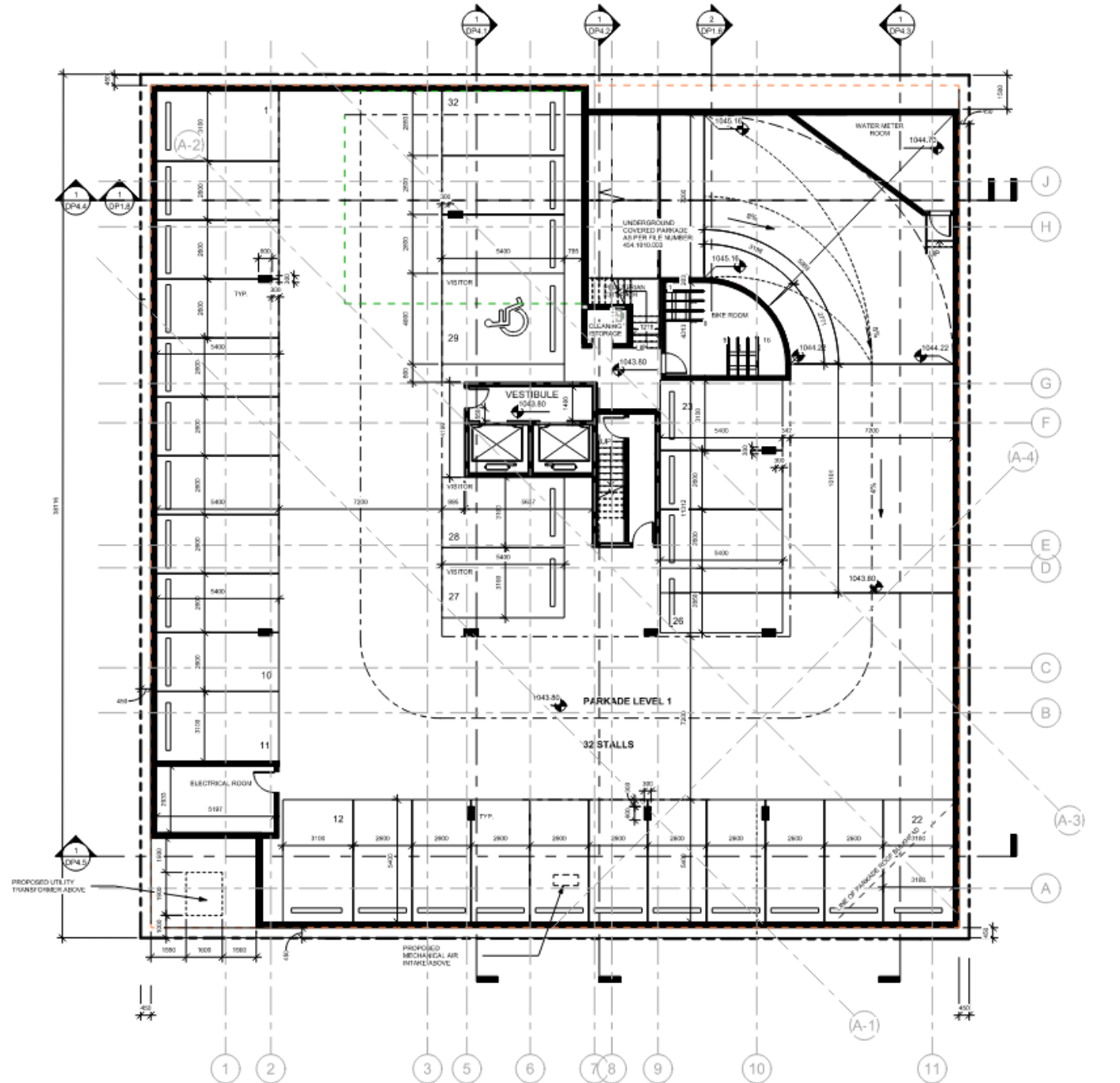
PARKADE LEVEL PLAN

Project number	20-04
Issued	12-18-22
Drawn by	MR, MD
Checked by	TS, RN

No.

DP2.0

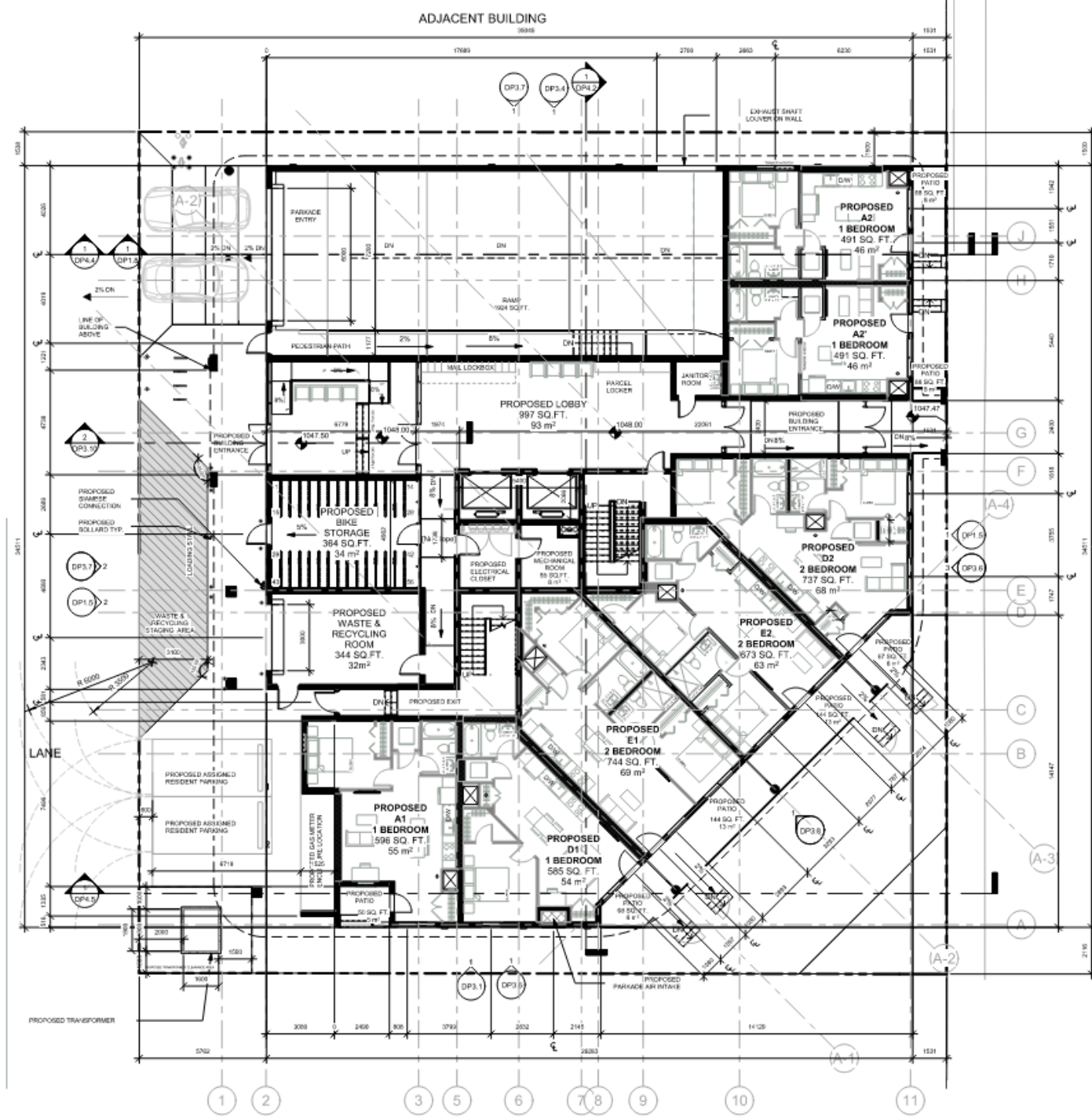
Scale 1:100



2 PARKADE LEVEL 1
DP2.0 1:100

PARKADE NOTES:

- BUILDING IS DESIGNED TO PREVENT STRUCTURAL DAMAGE IN THE EVENT OF A FLOOD.
- ALL WALLS, COLUMNS AND CEILINGS OF THE PARKADE ARE TO BE PAINTED WHITE.
- ALL BARRIER-FREE AND VISITOR PARKING SIGNAGE TO BE PAINTED ACCORDING TO THE CITY OF CALGARY SYMBOLS AND REGULATIONS.
- ALL STRUCTURAL SLABS AT PARKING DRIVE AISLES AND PARKING STALLS TO BE PROVIDED TRAFFIC TOPPING.
- ALL PARKING STALLS ARE A MIN. 2800 x 5400 U.M.O. WITH A MIN. OVERHEAD CLEARANCE OF 2100.
- ALL DOORS TO STAIRWELLS, STAIRWELL VESTIBULES AND ELEVATOR LOBBY TO HAVE TRANSPARENT VISION PANELS TO ENSURE VISIBILITY TO THOSE AREAS.



1 LEVEL 1 - MAIN LEVEL PLAN
DP2.1 1 : 100

UNIT STATISTICS

1 BEDROOM	=	4 UNITS
2 BEDROOM	=	3 UNITS
TOTAL	=	7 UNITS



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12	CLIENT REVIEW NO REV CLUDB	04-07-2023
11	OTRM RESPONSE ISSUANCE -	10-01-2023
	CLIENT REVIEW	
1	ISSUED FOR DP	09-07-2022
No.	Description	Date

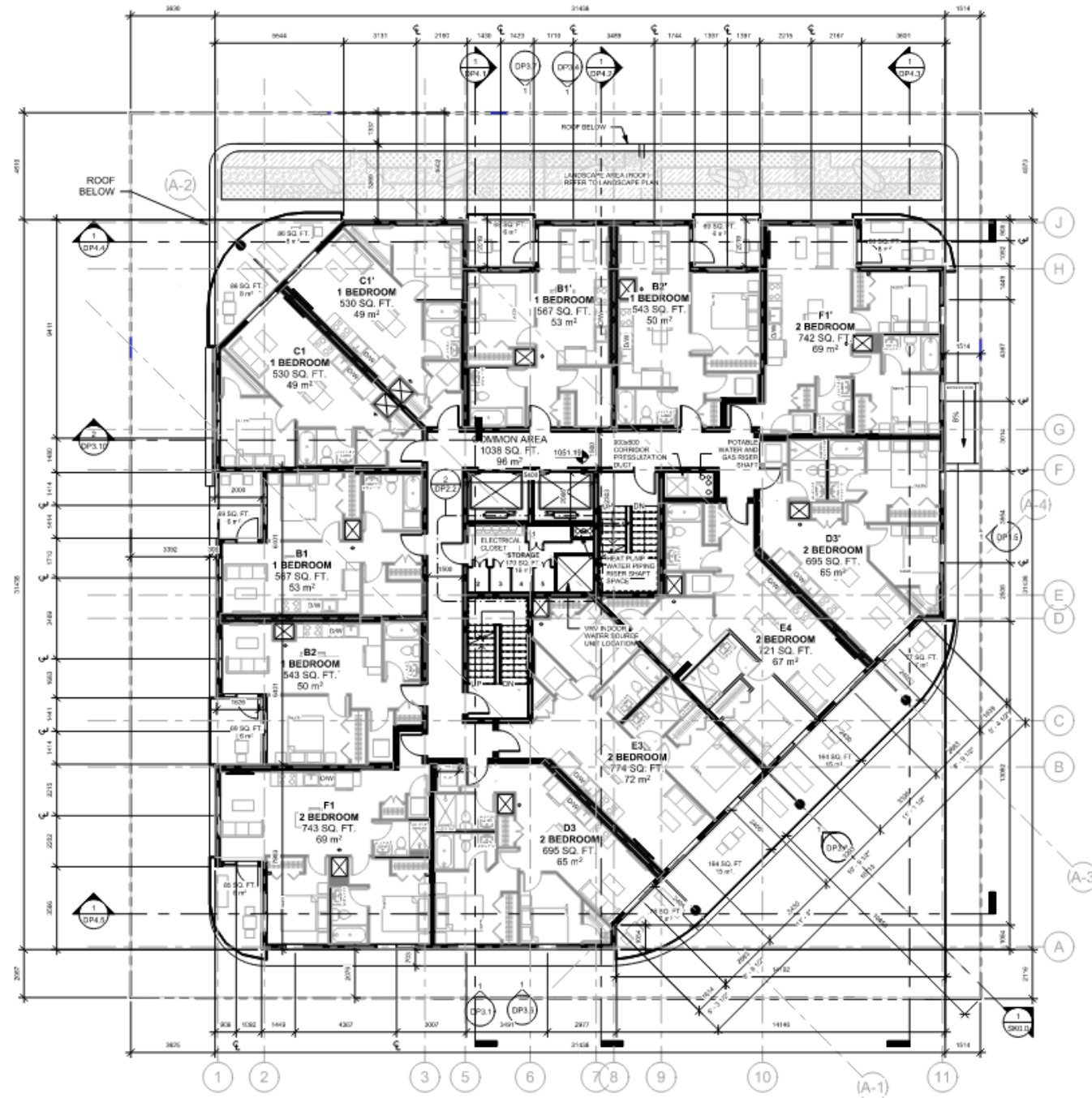
Project Information

ALTO
MINTO COMMUNITIES
#10 TO #21 9A ST NW
CALGARY ALBERTA

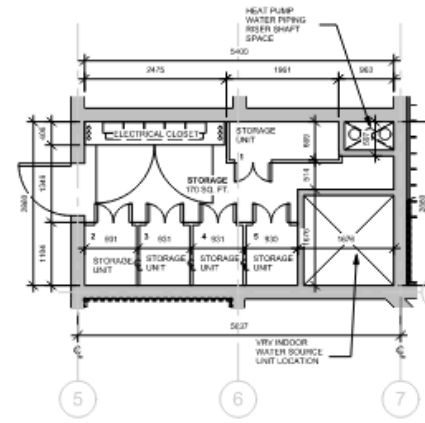
Drawing title
MAIN LEVEL FLOOR PLAN

Project number: 20-04
Issued: 12-10-22
Drawn by: MR,MD | Checked by: TS,RN
No.

DP2.1
Scale: 1:100



1 LEVEL 2 PLAN
DP2.2 1:100



2 LEVEL 2 - 5 STORAGE
DP2.2 1:50

UNIT STATISTICS

1 BEDROOM	=	6 UNITS
2 BEDROOM	=	6 UNITS
TOTAL	=	12 UNITS



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12	CLIENT REVIEW AND REV CLOUDS	04-07-2023
11	CLIENT RESPONSE ISSUANCE -	12-02-2023
10	CLIENT REVIEW	12-02-2023
1	ISSUED FOR BIP	19-01-2022
No.	Description	Date

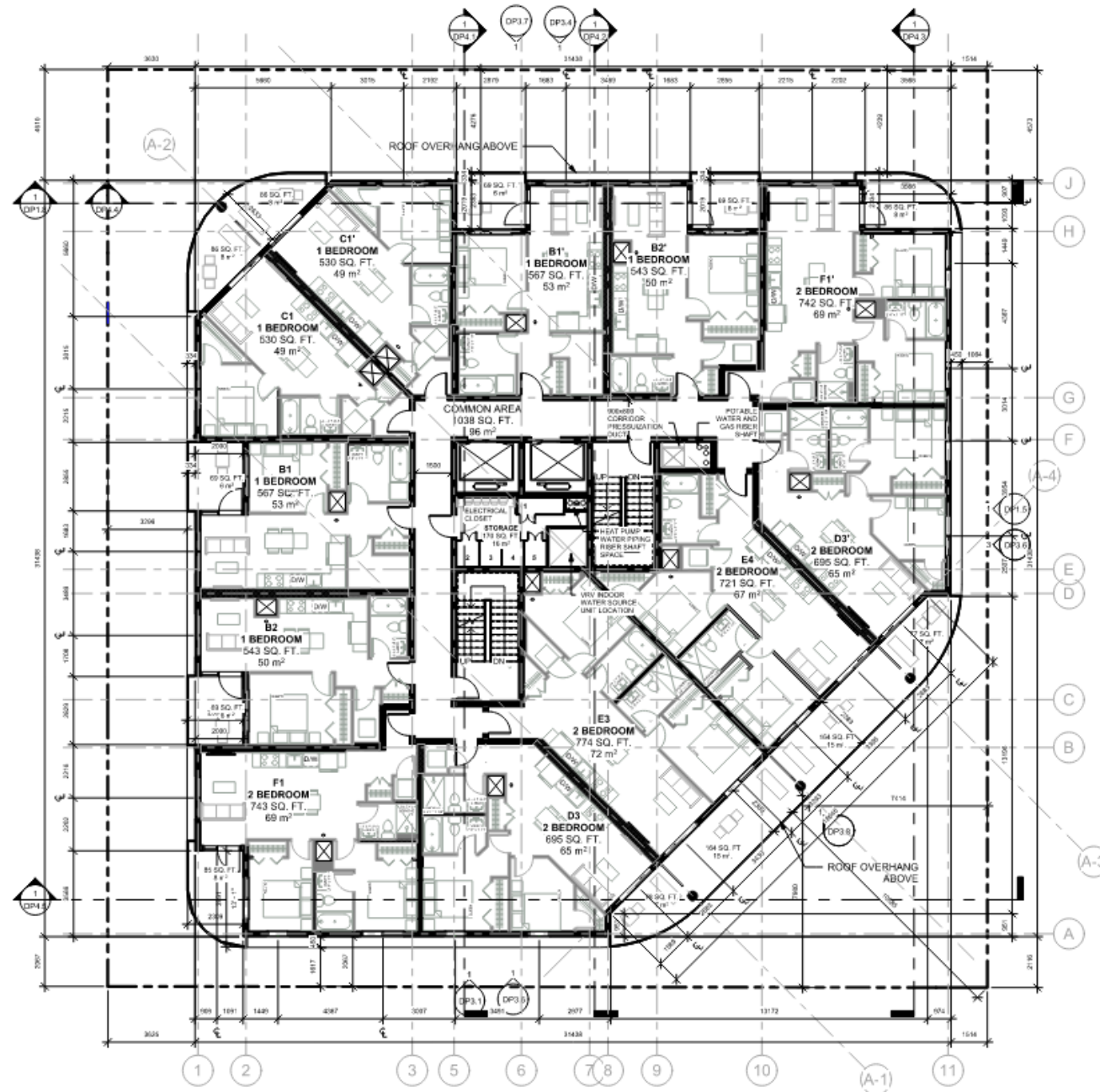
Project Information

ALTO
MINTO COMMUNITIES
613 TO 621 9A ST NW
CALGARY ALBERTA

Drawing title
LEVEL 2 FLOOR PLAN

Project number: 20-16
Issued: 12-18-22
Drawn by: HR,MD Checked by: TS, RN

No. **DP2.2**
Scale: As indicated



1 LEVEL 3-5 PLAN
DP2.3 1:100

UNIT STATISTICS

1 BEDROOM	=	6 UNITS
2 BEDROOM	=	6 UNITS
TOTAL	=	12 UNITS



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12	CLIENT REVIEW NO REV CLAUDE	04-07-2023
11	CLIENT RESPONSE ISSUANCE -	10-03-2023
1	ISSUED FOR DP	09-07-2022
No.	Description	Date

Project Information

ALTO
MINTO COMMUNITIES
413 TO 421 9A ST NW
CALGARY ALBERTA

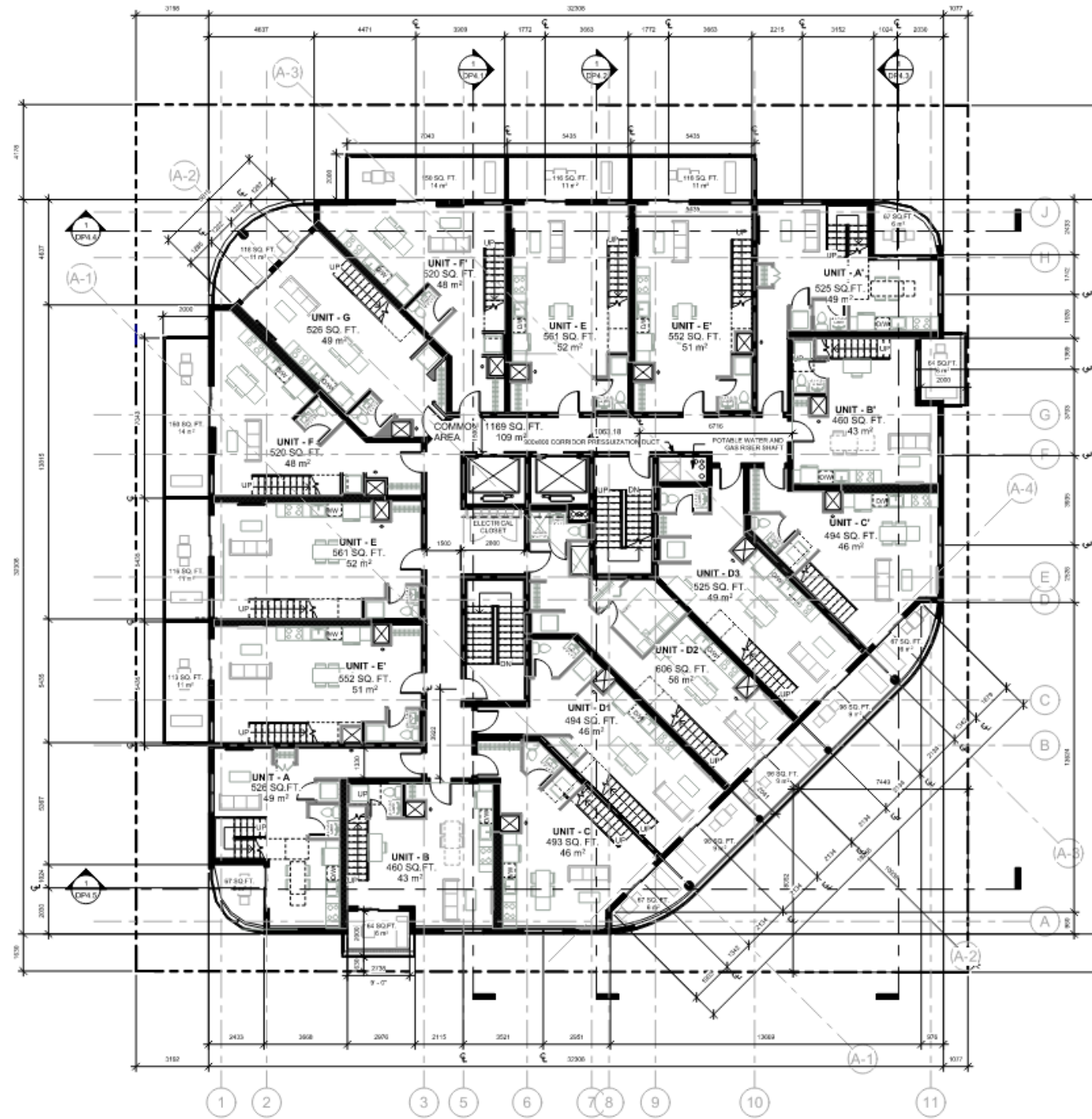
Drawing title

LEVEL 3 - 5 FLOOR PLAN

Project number	20-06
Issued	12-10-22
Drawn by	MR, MD
Checked by	TS, RN
No.	

DP2.3

Scale 1:100



1 LEVEL 6 PLAN
DP2.4 1:100

UNIT STATISTICS ON LEVEL 6 FLOOR

1 BEDROOM	=	15 UNITS
2 BEDROOM	=	1 UNIT
TOTAL	=	16 UNITS



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12	CLIENT REVIEW - NO REV CLOUDS	04-07-2023
10	DIRTY RESPONSE ISSUANCE - CLIENT REVIEW	13-03-2022
1	ISSUED FOR DP	16-07-2022
No.	Description	Date

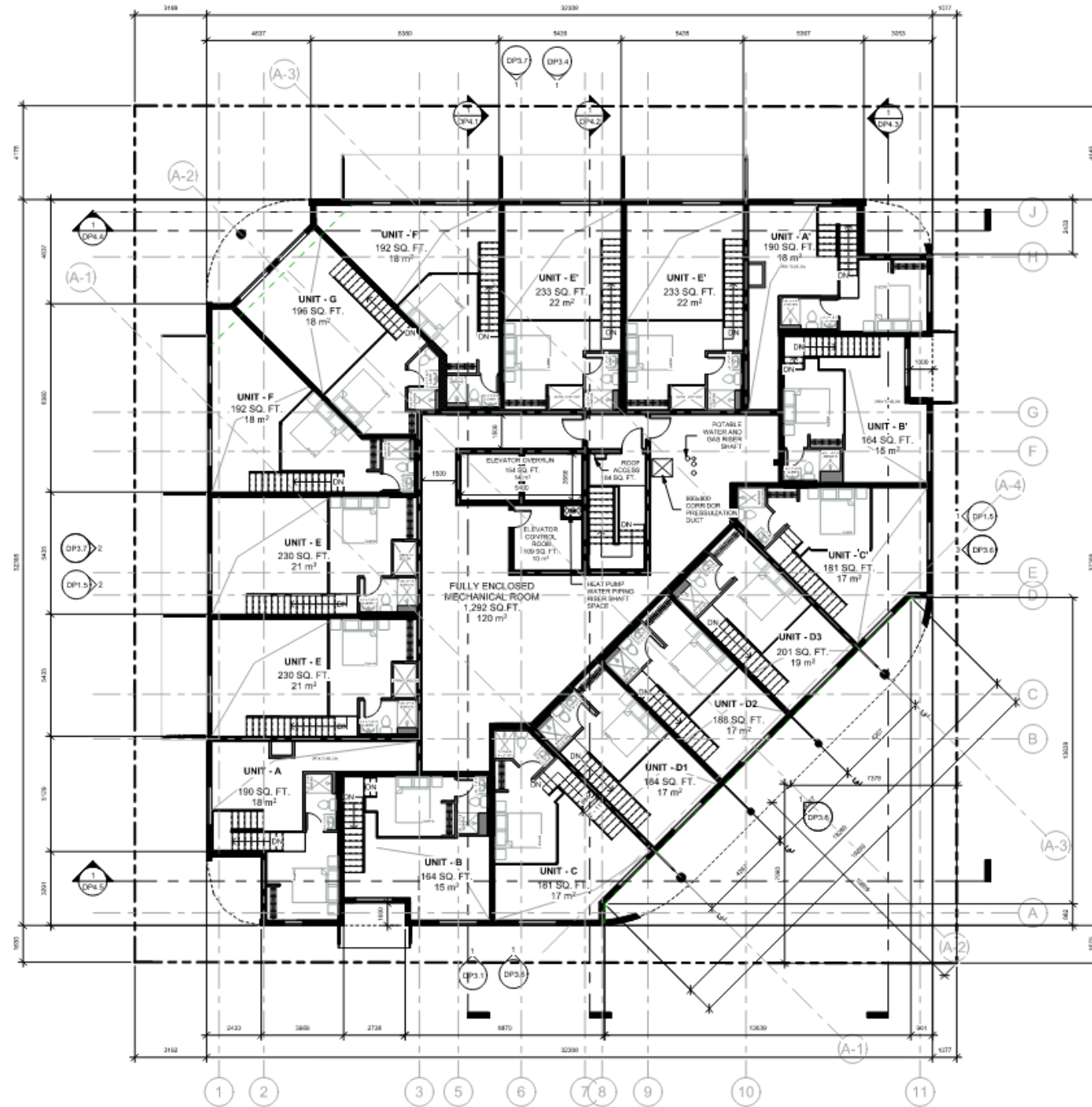
Project Information

ALTO
MINTO COMMUNITIES
413 TO 421 9A ST NW
CALGARY ALBERTA

Drawing title
LEVEL 6 FLOOR PLAN

Project number 25-06
Issued 12-10-22
Drawn by MD, WR Checked by TS, RN
No.

DP2.4
Scale 1:100



1 LEVEL 6 MEZZANINE PLAN / MECHANICAL FLOOR
DP2.5 1 : 100

NOTE:
EACH MEZZANINE FLOOR AREA IS CALCULATED AS 40% AT LEVEL 6
OPEN SPACE OF EACH UNIT

DAAS



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No.	Description	Date
02	CLIENT REVIEW: NO REV CLOUDS	06-27-2023
10	CLIENT RESPONSE ISSUANCE	13-02-2023
1	CLIENT REVIEW	
1	ISSUED FOR DP	10-07-2022

Project Information

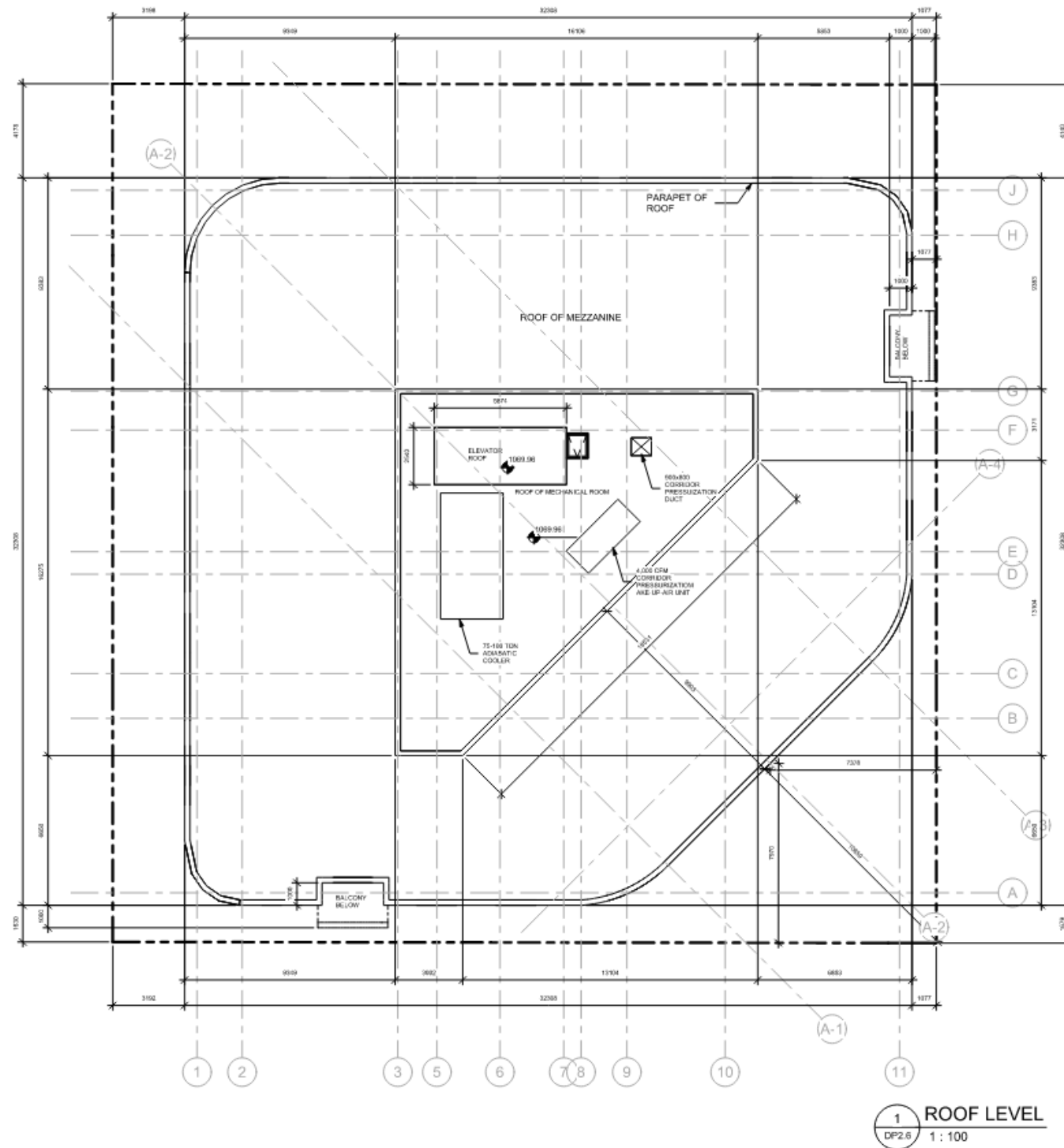
ALTO
MINTO COMMUNITIES
413 TO 421 16 ST NW
CALGARY ALBERTA

Drawing Title **LEVEL 6
MEZZANINE &
MECHANICAL PLAN**

Project number 20-06
Issued 12-10-22
Drawn by MD, MR Checked by TS, BN

No. **DP2.5**

Scale 1 : 100



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No.	Description	Date
02	CLIENT REVIEW NO REV CLOUDS	04-07-2023
1	ISSUED FOR DP	10-07-2022

Project Information

ALTO
MINTO COMMUNITIES
413 TO 621 9A ST NW
CALGARY ALBERTA

Drawing Title

ROOF LEVEL PLAN

Project number: 20-06
Issued: 12-10-22
Drawn by: MD Checked by: TS, RN

No. **DP2.6**

Scale: 1 : 100

DAAS



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No.	Description	Date
12	CLIENT REVIEW: NO REV CLOUDS	06-07-2023
13	CITY RESPONSE ISSUANCE - CLIENT REVIEW	13-02-2023
1	ISSUED FOR DP	09-07-2022

Project Information

ALTO

MINTO COMMUNITIES
412 TO 421 9A ST NW
CALGARY ALBERTA

Drawing title

SOUTH ELEVATION

Project number: 20-04

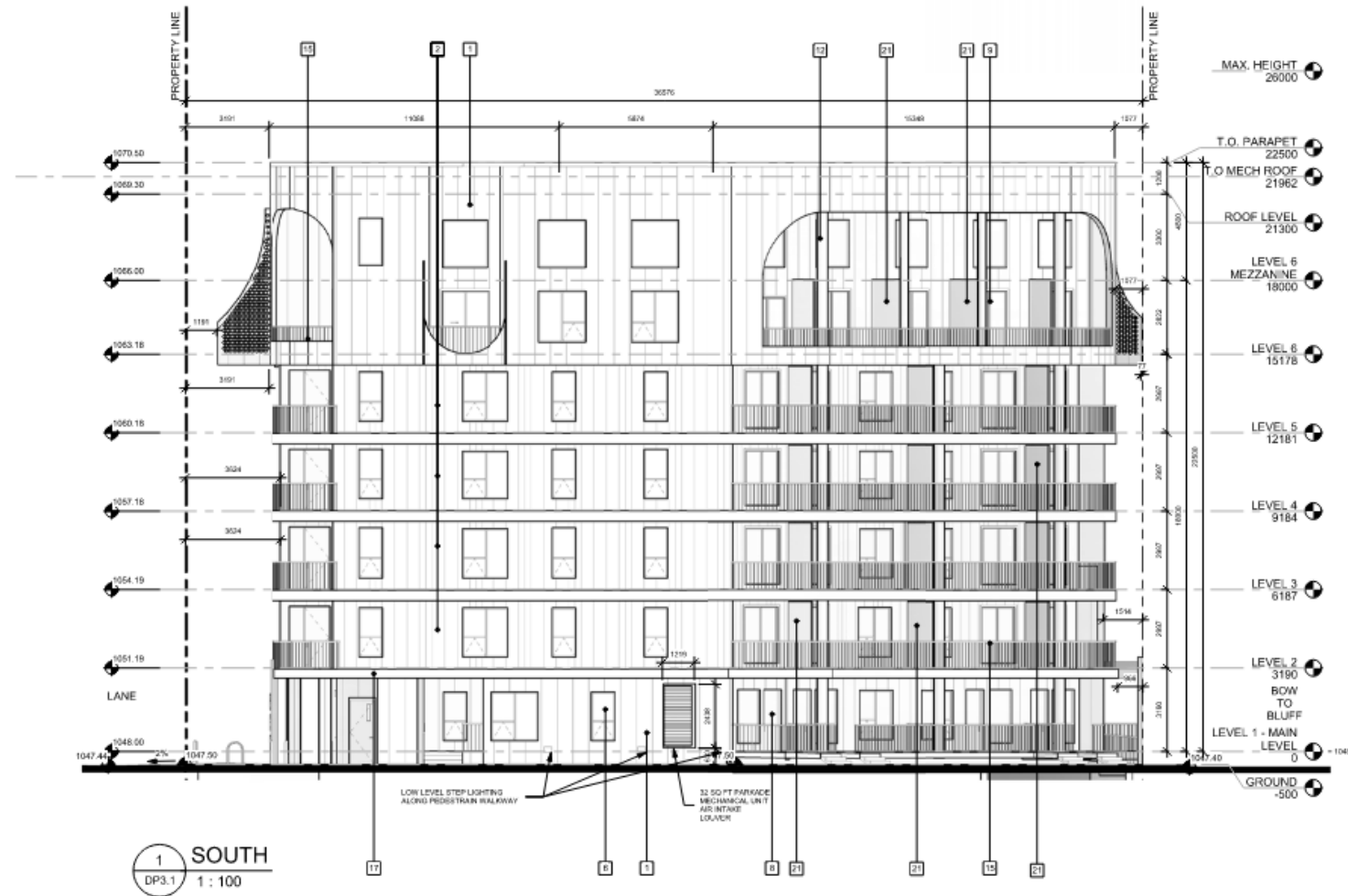
Issued: 12-10-22

Drawn by: HR, MD Checked by: TS, RN

No.

DP3.1

Scale: As indicated



1 SOUTH
DP3.1
1 : 100

ELEVATION LEGEND

1 WALL FINISH - METAL 1 (CEMENTITIOUS BOARD 1 (REFER TO COLOUR ELEVATIONS))	7 GLAZED ENTRY DOOR	13 CLAD (METAL/CEMENTITIOUS) COLUMN 2	19 TRANSFORMER
2 WALL FINISH - METAL 2 (CEMENTITIOUS BOARD 2 (REFER TO COLOUR ELEVATIONS))	8 FIRST FLOOR UNIT GLAZED DOORS	14 8" W x 10" DOWNPOUT	20 MECHANICAL INTAKE (METALLIC) LOUVER
3 CUSTOM BUILDING SIGN	9 BALCONY GLAZED DOOR	15 METAL RAILING TYP. 42" HEIGHT	21 FROSTED GLASS BALCONY PARTITION WALL
4 PARKING	10 METAL MAIN DOOR	16 BALCONY PANEL	22 WALL FINISH - METAL 3 (CEMENTITIOUS BOARD 3 (REFER TO COLOUR ELEVATIONS))
5 RESERVED	11 (DN) METAL PARKADE DOOR	17 EXTERIOR FLOOR STRIP	
6 VINYL WINDOWS	12 CLAD (METAL/CEMENTITIOUS) COLUMN 1	18 RESERVED	

*NOTE: SEE DP3.6 - DP3.8 FOR PROPOSED COLOUR STANDARDS

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02	CLIENT REVIEW NO REV CL. DUDES	04-07-2023
03	CLIENT RESPONSE ISSUANCE - CLIENT REVIEW	05-02-2023
01	ISSUED FOR DP	09-07-2022
No.	Description	Date

Project Information

ALTO

MINTO COMMUNITIES
#13 TO 471 9A ST NW
CALGARY ALBERTA

Drawing Title

EAST ELEVATION

Project number: 20-04

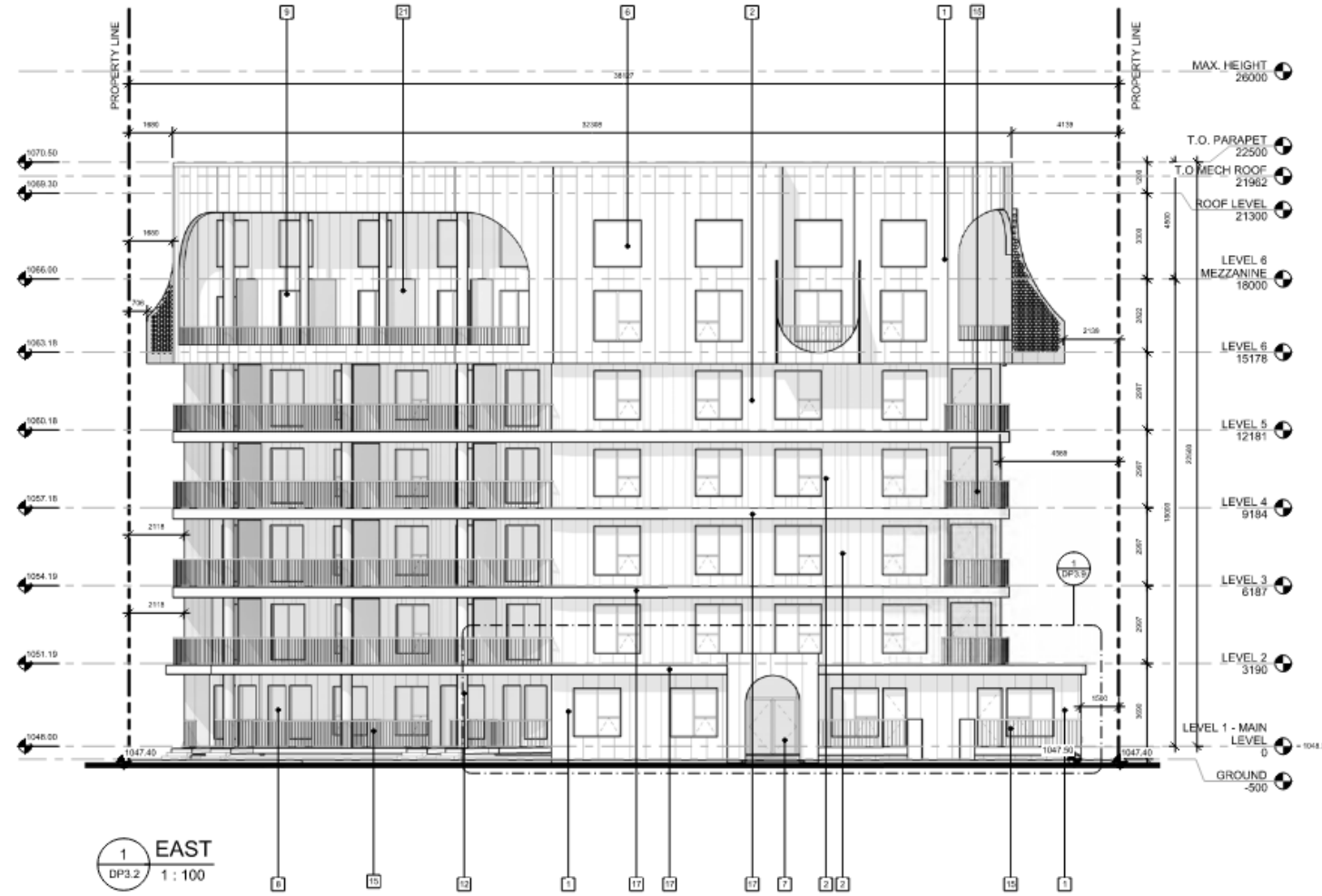
Issued: 12-10-22

Drawn by: MR, MD | Checked by: TS, RM

No.

DP3.2

Scale: As indicated



ELEVATION LEGEND

1	WALL FINISH - METAL 1 / CEMENTITIOUS BOARD 1 (REFER TO COLOUR ELEVATIONS)	7	GLAZED ENTRY DOOR	13	CLAD (METAL/CEMENTITIOUS) COLUMN 2	19	TRANSOM BRICK
2	WALL FINISH - METAL 2 / CEMENTITIOUS BOARD 2 (REFER TO COLOUR ELEVATIONS)	8	FIRST FLOOR UNIT GLAZED DOORS	14	5/8" W/D DOWNSPOUT	20	MECHANICAL INTAKE W/METALLIC LOUVER
3	CUSTOM BUILDING SKIN	9	BALCONY GLAZED DOOR	15	METAL RAILING TYP. 42" HEIGHT	21	FRIGTED GLASS BALCONY PARTITION WALL
4	PARKING	10	METAL MAIN DOOR	16	BALCONY PANEL	22	WALL FINISH - METAL 3 / CEMENTITIOUS BOARD 3 (REFER TO COLOUR ELEVATIONS)
5	RESERVED	11	OH METAL PARKADE DOOR	17	EXTD FLOOR STRIP		
6	VINYL WINDOWS	12	CLAD (METAL/CEMENTITIOUS) COLUMN 1	18	RESERVED		

* NOTE: SEE DP3.6 - DP3.9 FOR PROPOSED COLOUR STANDARDS

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No.	Description	Date
02	CLIENT REVIEW: NO REV CLOUDS	04-11-2023
01	ISSUED FOR DP	10-07-2022

Project Information

ALTO
MINTO COMMUNITIES
#13 TO #21 9A ST NW
CALGARY ALBERTA

Drawing title

**SOUTHEAST
ELEVATION**

Project number: 20-06

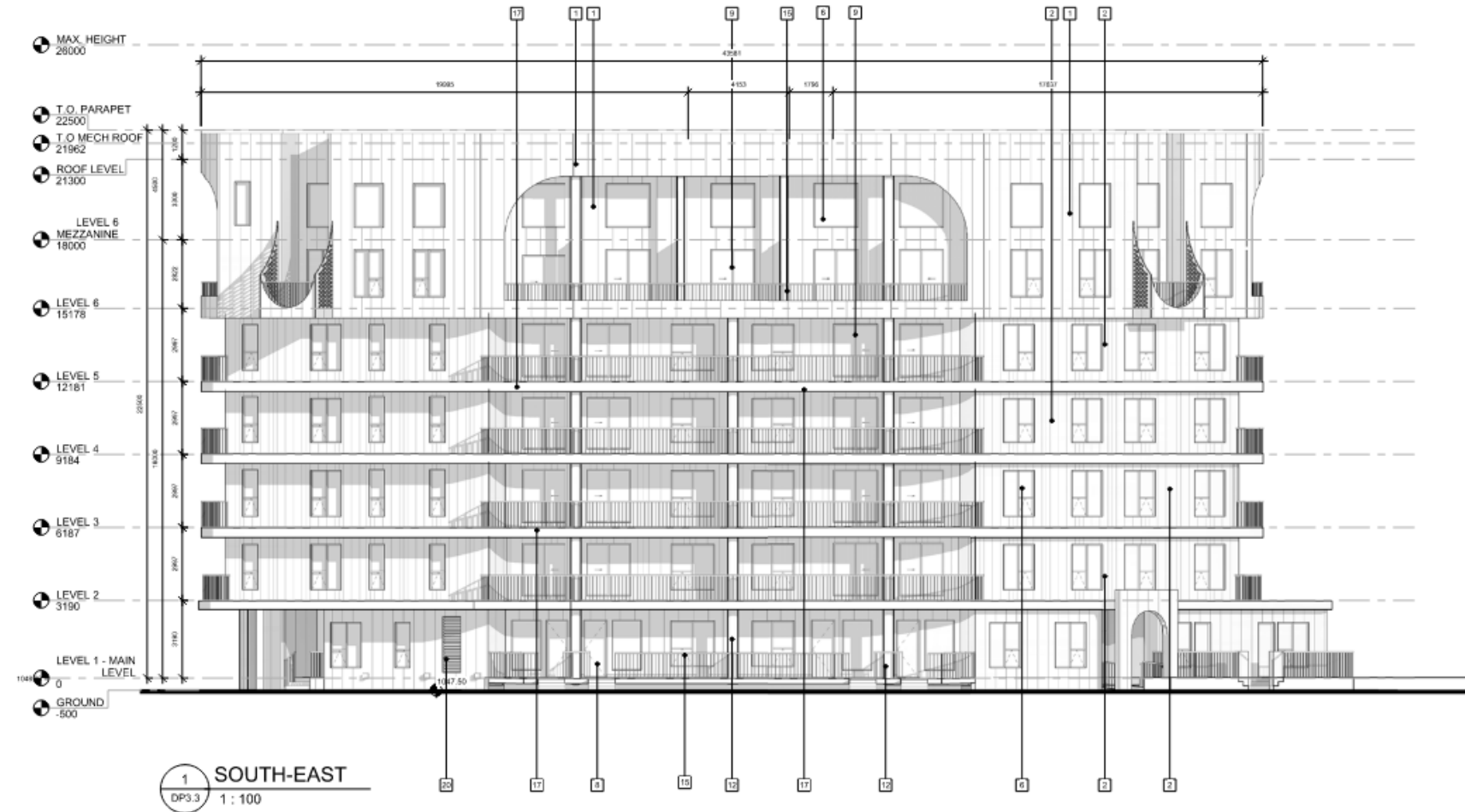
ISSUED: 12-10-22

Drawn by: MR, MD Checked by: TS, RN

No.

DP3.3

Scale: As indicated



ELEVATION LEGEND

1 WALL FINISH - METAL 1 / CEMENTITIOUS BOARD 1 (REFER TO COLOUR ELEVATIONS)	7 GLAZED ENTRY DOOR	13 CLAD (METAL/CEMENTITIOUS) COLUMN 2	19 TRANSFORMER
2 WALL FINISH - METAL 2 / CEMENTITIOUS BOARD 2 (REFER TO COLOUR ELEVATIONS)	8 FIRST FLOOR UNIT GLAZED DOORS	14 5"X 4" D DOWNPOUT	20 MECHANICAL INTAKE W/METALLIC LOUVER
3 CUSTOM BUILDING SKIN	9 BALCONY GLAZED DOOR	15 METAL RAILING TYP. 42" HEIGHT	21 FROSTED GLASS BALCONY PARTITION WALL
4 PARKING	10 METAL MAIN DOOR	16 BALCONY PANEL	22 WALL FINISH - METAL 3 / CEMENTITIOUS BOARD 3 (REFER TO COLOUR ELEVATIONS)
5 RESERVED	11 OH METAL PARKING DOOR	17 EXTED FLOOR STRIP	
6 VINYL WINDOWS	12 CLAD (METAL/CEMENTITIOUS) COLUMN 1	18 RESERVED	

*NOTE: SEE DP3.6 - DP3.8 FOR PROPOSED COLOUR STANDARDS

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No.	Description	Date
12	CLIENT REVIEW NO REV CLOUDS	04-07-2023
10	CLIENT RESPONSE ISSUANCES -	13-02-2023
9	CLIENT REVIEW	
1	ISSUED FOR DP	19-07-2022

Project Information

ALTO

MINTO COMMUNITIES
613 TO 621 9A ST NW
CALGARY ALBERTA

Drawing Title

NORTH ELEVATION

Project number: 20-06

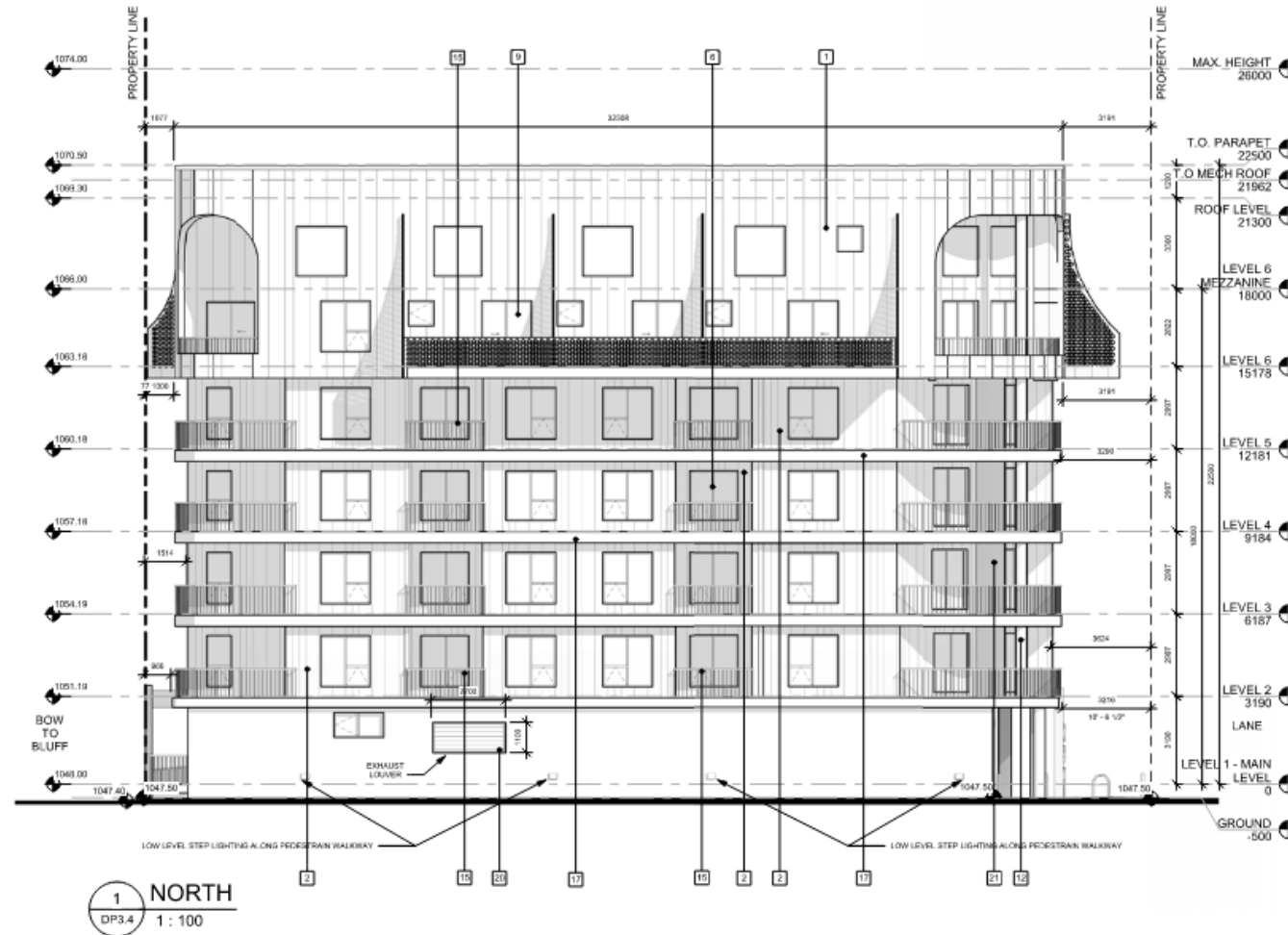
Issued: 12-10-22

Drawn by: HR, MD | Checked by: TS, RM

No.

DP3.4

Scale: As indicated



ELEVATION LEGEND

1 WALL FINISH - METAL 1 / CEMENTITIOUS BOARD 1 (REFER TO COLOUR ELEVATIONS)	7 GLAZED ENTRY DOOR	13 CLAD (METAL / CEMENTITIOUS) COLUMN 2	19 TRANSFORMER
2 WALL FINISH - METAL 2 / CEMENTITIOUS BOARD 2 (REFER TO COLOUR ELEVATIONS)	8 FIRST FLOOR UNIT GLAZED DOORS	14 SW AIR/D DOWNSPOUT	20 MECHANICAL INTAKE W/ METALLIC LOUVER
3 CUSTOM BUILDING SIGN	9 BALCONY GLAZED DOOR	15 METAL RAILING TYP. 4'7" HEIGHT	21 FROSTED GLASS BALCONY PARTITION WALL
4 PARKING	10 METAL W/AF DOOR	16 BALCONY PANEL	22 WALL FINISH - METAL 3 / CEMENTITIOUS BOARD 3 (REFER TO COLOUR ELEVATIONS)
5 RESERVED	11 GH METAL PARKADE DOOR	17 EXTED FLOOR STRIP	
6 UNKY WINDOWS	12 CLAD (METAL / CEMENTITIOUS) COLUMN 1	18 RESERVED	

*NOTE: SEE DP3.6 - DP3.8 FOR PROPOSED COLOUR STANDARDS

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No.	Description	Date
12	CLIENT REVIEW - NO REV CLOUDS	04-07-2023
11	CLIENT RESPONSE ISSUANCE - CLIENT REVIEW	03-02-2023
1	ISSUED FOR DP	09-07-2022

Project Information

ALTO

MINTO COMMUNITIES
#13 TO #21 9A ST NW
CALGARY ALBERTA

Drawing title

WEST ELEVATION

Project number: 20-04

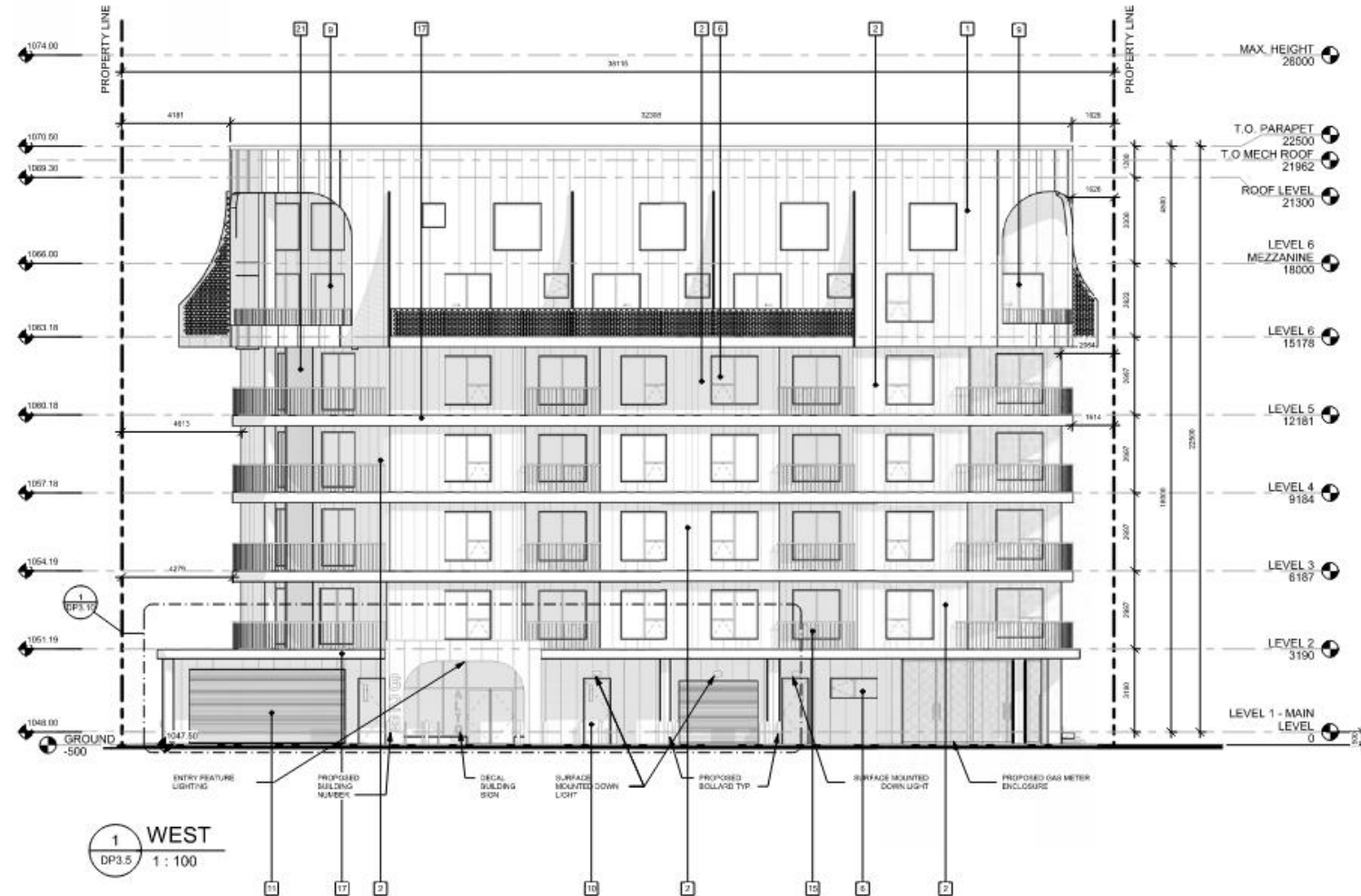
Issued: 12-10-22

Drawn by: NR, MD | Checked by: TS, RK

No.

DP3.5

Scale: As indicated



ELEVATION LEGEND

1. WALL FINISH - METAL 1 / CEMENTITIOUS BOARD 1 (REFER TO COLOUR ELEVATIONS)	7. GLAZED ENTRY DOOR	15. CLAD (METAL/CEMENTITIOUS) COLUMN 2	19. TRANSFORMER
2. WALL FINISH - METAL 2 / CEMENTITIOUS BOARD 2 (REFER TO COLOUR ELEVATIONS)	8. FIRST FLOOR UNIT GLAZED DOORS	14. 5"Ø #4"3 DOWNSPOUT	20. MECHANICAL EXTERIOR METALLIC LOUVER
3. CUSTOM BUILDING SIGN	9. BALCONY GLAZED DOOR	15. METAL RAILING TYP. 42" HEIGHT	21. FROSTED GLASS BALCONY PARTITION WALL
4. PARKING	10. METAL MAIN DOOR	16. BALCONY PANEL	22. WALL FINISH - METAL 3 / CEMENTITIOUS BOARD 3 (REFER TO COLOUR ELEVATIONS)
5. RESERVED	11. OH METAL PARKADE DOOR	17. EXTERIOR FLOOR STP	
6. VINYL WINDOWS	12. CLAD (METAL/CEMENTITIOUS) COLUMN 1	18. RESERVED	

* NOTE: SEE DP3.6 - DP3.8 FOR PROPOSED COLOUR STANDARDS

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No.	Description	Date
02	CLIENT REVIEW NO REV CLOUDS	06-07-2023
11	OTR#2 RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023
10	OTR#1 RESPONSE ISSUANCE - CLIENT REVIEW	13-02-2023

Project Information

ALTO

MINTO COMMUNITIES
613 TO 621 9A ST NW
CALGARY ALBERTA

Drawing Title

**COLOUR
ELEVATIONS**

Project number: 23-04

Issue# 12-18-22

Drawn by: NR | Checked by: TS, RN

No.

DP3.6

Scale: As indicated



1 COLOUR ELEV - SOUTH
DP3.6 1 : 100



3 COLOUR ELEV - EAST
DP3.6 1 : 100



STANDING SEAM - COPPER PENNY



STANDING SEAM - SILVER



STANDING SEAM - DARK GREY

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THE DRAWER HAS CONDUCTED VISUAL ANALYSIS OF THE PROPOSED PROJECT AND HAS DETERMINED THAT THE PROPOSED PROJECT IS IN ACCORDANCE WITH THE CITY OF CALGARY'S ZONING BYLAW AND THE CITY OF CALGARY'S DEVELOPMENT PERMITTING BYLAW. THE DRAWER HAS CONDUCTED VISUAL ANALYSIS OF THE PROPOSED PROJECT AND HAS DETERMINED THAT THE PROPOSED PROJECT IS IN ACCORDANCE WITH THE CITY OF CALGARY'S ZONING BYLAW AND THE CITY OF CALGARY'S DEVELOPMENT PERMITTING BYLAW.

No.	Description	Date
01	CLIENT REVIEW NO REV CLOUDS	04-07-2023
02	CLIENT RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023
03	CLIENT RESPONSE ISSUANCE - CLIENT REVIEW	03-03-2023

Project Information

ALTO

MINTO COMMUNITIES
413 TO 421 9A ST NW
CALGARY ALBERTA

Drawing title

COLOUR ELEVATIONS

Project number: 20-04

Issued: 17-10-22

Drawn by: MR Checked by: TS, RN

No.

DP3.7

Scale: As indicated



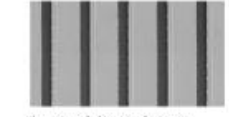
1 COLOUR ELEV - NORTH
DP3.7 1:100



2 COLOUR ELEV - WEST
DP3.7 1:100



STANDING SEAM - COPPER PENNY



STANDING SEAM - SILVER



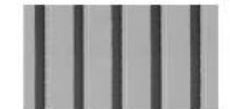
STANDING SEAM - DARK GREY



1 COLOUR ELEV - SOUTH-EAST
DP3.8 1 : 100



STANDING SEAM - COPPER PENNY



STANDING SEAM - SILVER



STANDING SEAM - DARK GREY

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No.	Description	Date
12	CLIENT REVIEW - NO REV CLOUDS	04-21-2023
11	OTR#2 RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023
10	OTR#1 RESPONSE ISSUANCE - CLIENT REVIEW	13-02-2023

Project Information

ALTO
MINTO COMMUNITIES
413 TO 421 16 ST NW
CALGARY ALBERTA

Drawing title
COLOUR ELEVATIONS

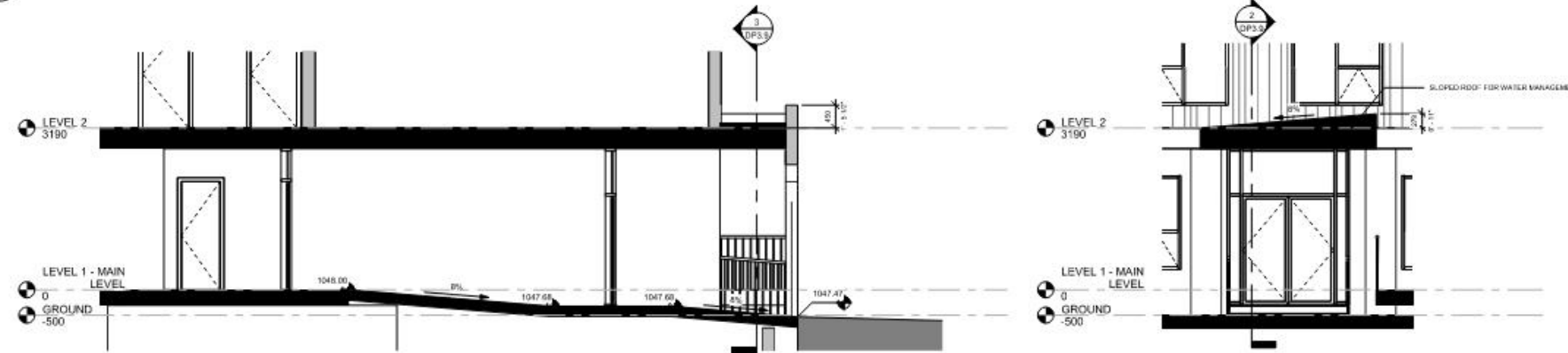
Project number: 25-04
Issued: 12-10-22
Drawn by: MR | Checked by: TS, RN

No. **DP3.8**

Scale: As indicated



1 EAST - BUILDING ENTRANCE
DP3.9 1 : 50



2 EAST ENTRANCE SECTION 1
DP3.9 1 : 50

3 EAST ENTRANCE SECTION 2
DP3.9 1 : 50



4 EAST ENTRANCE PERSPECTIVE- SOUTH
DP3.9



5 EAST ENTRANCE PERSPECTIVE- NORTH
DP3.9

DAAS



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No.	Description	Date
12	CLIENT REVIEW - NO REV CLOUDS	06-07-2023
11	OTR#2 RESPONSE ISSUANCE - CLIENT REVIEW	26-05-2023
10	OTR#1 RESPONSE ISSUANCE - CLIENT REVIEW	13-02-2023

Project Information

ALTO
MINTO COMMUNITIES
412 TO 421 9A ST NW
CALGARY ALBERTA

Drawing Title:
EAST BUILDING ENTRANCE DETAIL

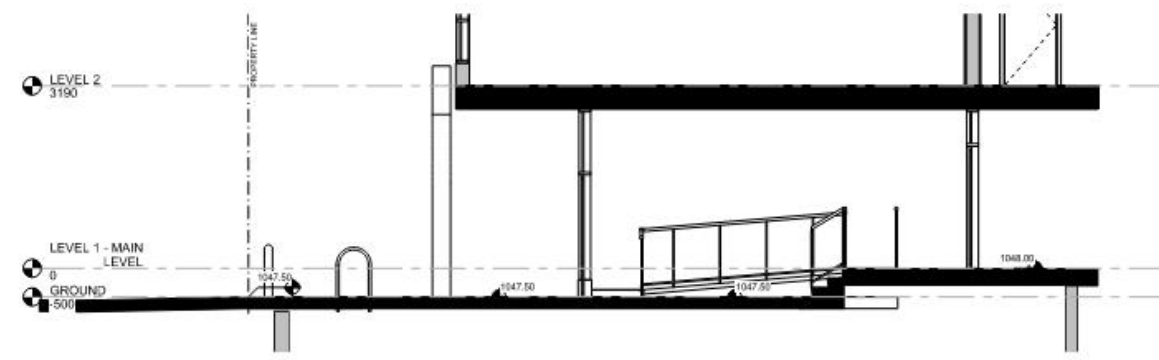
Project number: 23-06
Issued: 12-15-22

Drawn by: Author | Checked by: Checker
No. **DP3.9**

Scale: 1 : 50



1 WEST - BUILDING ENTRANCE
DP3.10 1 : 50



2 WEST ENTRANCE SECTION
DP3.10 1 : 50



3 WEST ENTRANCE PERSPECTIVE - NORTH
DP3.10



4 WEST ENTRANCE PERSPECTIVE - SOUTH
DP3.10

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10	CLIENT REVIEW - NO REV CLOUDS	06-07-2023
11	OWNER RESPONSE ISSUANCE - CLIENT REVIEW	24-05-2023
12	OWNER RESPONSE ISSUANCE - CLIENT REVIEW	10-02-2023
No.	Description	Date

Project Information

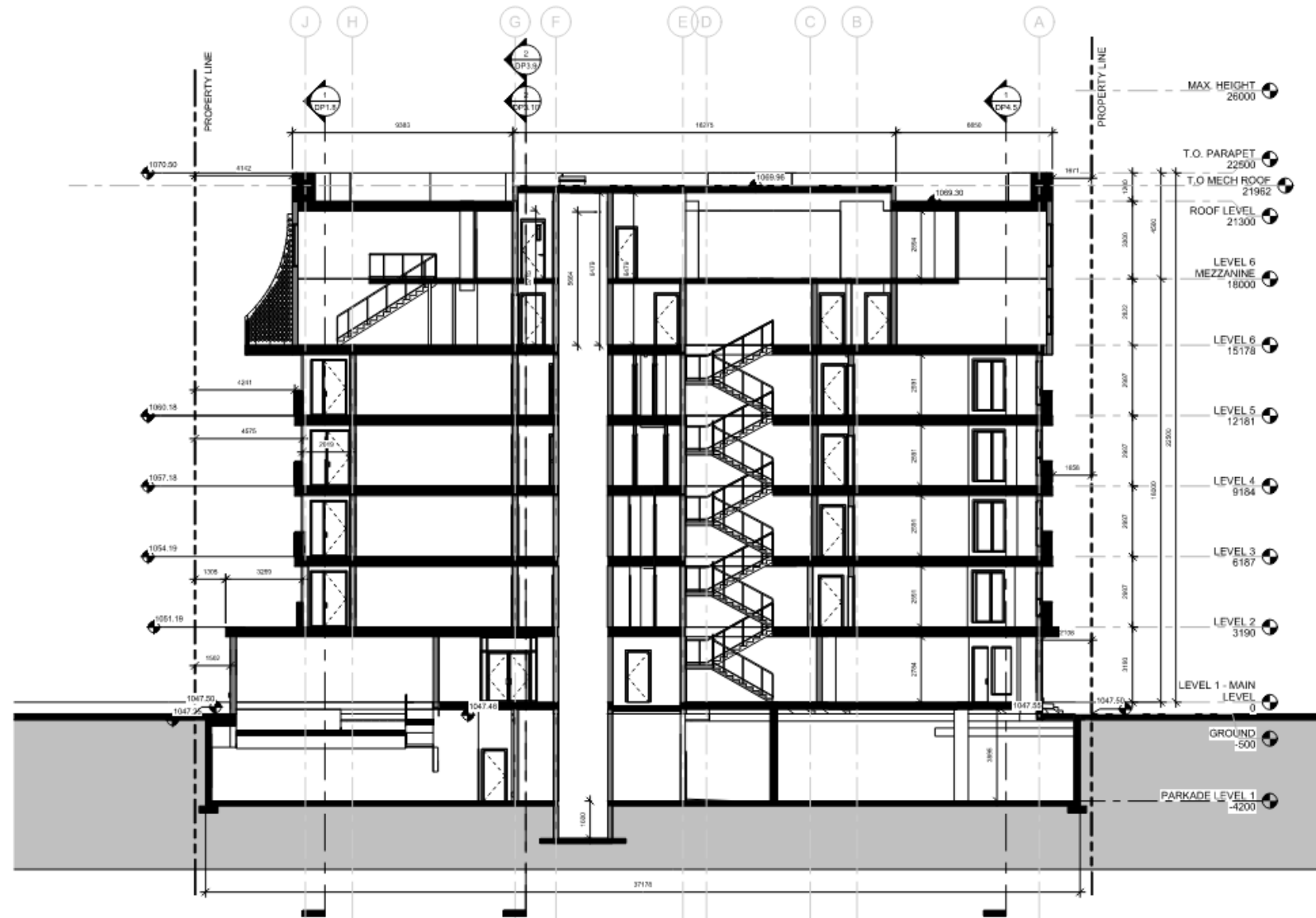
ALTO
MINTO COMMUNITIES
815 TO 821 9A ST NW
CALGARY ALBERTA

Drawing title
WEST BUILDING ENTRANCE DETAIL

Project number	20-08
Issued	12-10-22
Drawn by	Author
Checked by	Checker
No.	

DP3.10

Scale 1 : 50



1 SECTION 1
DP4.1 1 : 100

DAAS



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No.	Description	Date
02	CLIENT REVIEW: NO REV CLOUDS	04-27-2023
10	CLIENT RESPONSE ISSUANCE	13-02-2023
1	ISSUED FOR DP	19-07-2022

Project Information

ALTO
MINTO COMMUNITIES
413 TO 421 9A ST NW
CALGARY ALBERTA

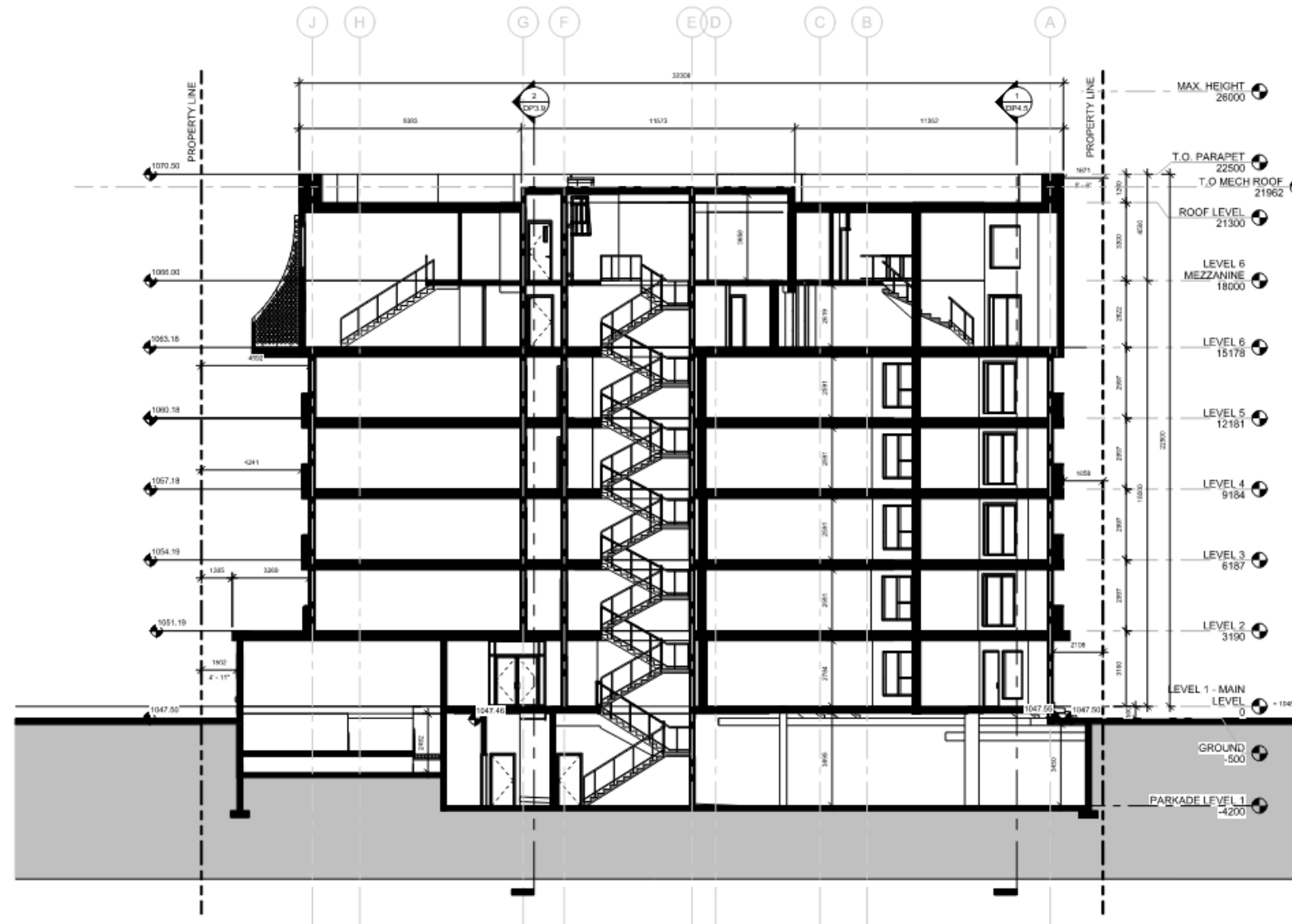
Drawing title

BUILDING SECTION 1

Project number: 22-06
Issued: 12-10-22
Drawn by: MD Checked by: TS, RN

No. **DP4.1**

Scale: 1 : 100



1 SECTION 2
DP4.2 1 : 100

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No.	Description	Date
0	CLIENT REVIEW NO REV CLOUDS	04-01-2023
10	OTRM RESPONSE ISSUANCE	19-02-2023
	CLIENT REVIEW	
1	ISSUED FOR DP	16-07-2022

Project Information

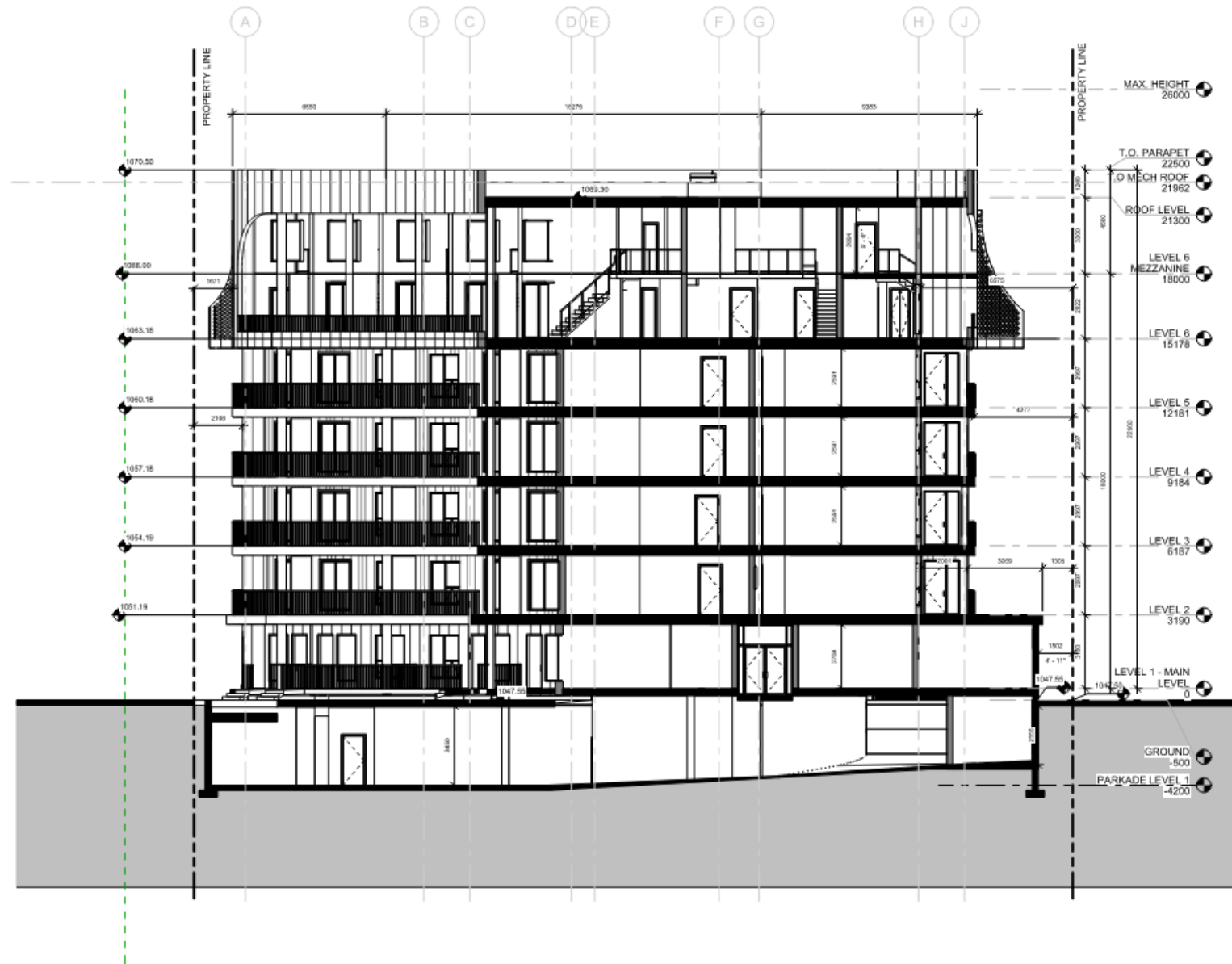
ALTO
MINTO COMMUNITIES
#13 TO 421 9A ST NW
CALGARY ALBERTA

Drawing title
BUILDING SECTION 2

Project number 20-06
Issued 12-30-22
Drawn by MD Checked by TS, RN

No. **DP4.2**

Scale 1 : 100



1 SECTION 3
DP4.3 1:100

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No.	Description	Date
12	CLIENT REVIEW: NO REV CLOUDS	20-07-2023
10	CLIENT RESPONSE ISSUANCE	19-02-2023
1	ISSUED FOR DP	16-07-2022

Project Information

ALTO
MINTO COMMUNITIES
413 TO 421 16 ST NW
CALGARY ALBERTA

Drawing title

**BUILDING
SECTION 3**

Project number: 25-06
Issued: 12-10-22
Drawn by: MD Checked by: TS, RN

No. **DP4.3**

Scale: 1:100

DAAS



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No.	Description	Date
12	CLIENT REVIEW - NO REV CLOUDS	06-07-2023
10	CLIENT RESPONSE ISSUANCE -	11-02-2023
1	ISSUED FOR DP	19-07-2022

Project Information

ALTO
MINTO COMMUNITIES
403 TO 421 9A ST NW
CALGARY ALBERTA

Drawing title

BUILDING SECTION 4

Project number 23-04

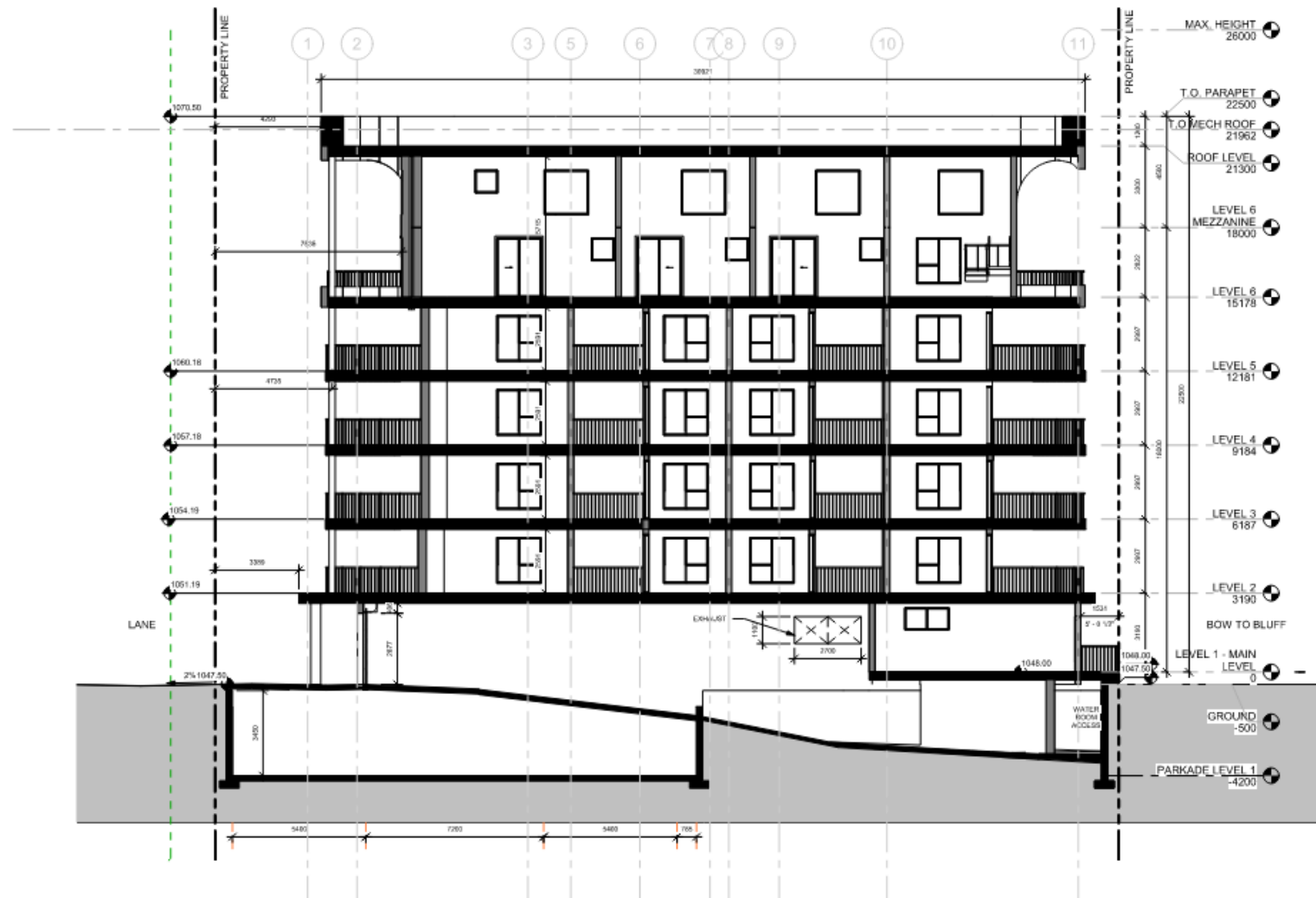
Issued 12-10-22

Drawn by MD Checked by TS, RN

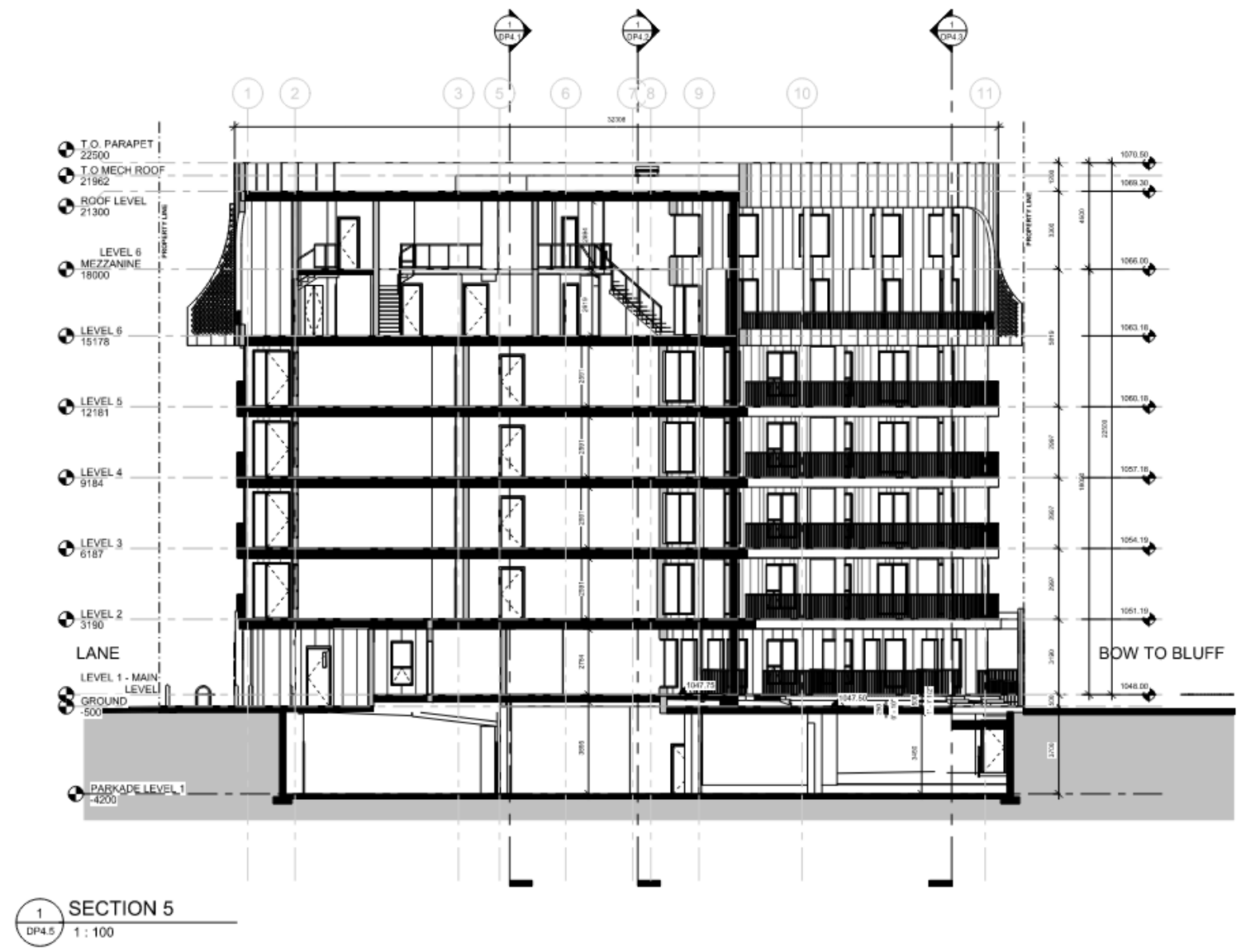
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DP4.4

Scale 1:100



SECTION 4
DP4.4 1:100



1 SECTION 5
DP4.5 1 : 100



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No.	Description	Date
10	CLIENT REVIEW NO REV CLAUDES	04-07-2023
09	CITY RESPONSE ISSUANCE - CLIENT REVIEW	03-02-2023
1	ISSUED FOR DP	09-07-2022

Project Information

ALTO
MINTO COMMUNITIES
#13 TO #21 9A ST NW
CALGARY ALBERTA

Drawing site
BUILDING SECTION 5

Project number: 20-04
Issued: 12-19-22
Drawn by: MR Checked by: TS, RN

No. **DP4.5**
Scale: 1:100

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02	CLIENT REVIEW: NO REV CLOUDS	06-07-2022
03	OTHER RESPONSE ISSUANCE	12-02-2022
04	CLIENT REVIEW	
01	ISSUED FOR OIP	10-07-2022
No.	Description	Date

Project Information

ALTO
MINTO COMMUNITIES
413 TO 421 1A ST NW
CALGARY ALBERTA

Drawing Title
MASSING
PERSPECTIVES

Project number: 20-06
Issued: 12-10-22
Drawn by: MR Checked by: TS, BN
No.

DP5.1

Scale



2 **SOUTHEAST PERSPECTIVE**
DP5.1



1 **SOUTHWEST PERSPECTIVE**
DP5.1

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02	CLIENT REVIEW NO REV CLOUDS	04-07-2023
04	CLIENT RESPONSE ISSUANCE -	09-02-2023
01	CLIENT REVIEW	09-07-2022
01	ISSUED FOR DIP	09-07-2022
No.	Description	Date

Project Information

ALTO
MINTO COMMUNITIES
#13 TO #21 9A ST NW
CALGARY ALBERTA

Drawing title

**MASSING
PERSPECTIVES**

Project number: 20-06

Issued: 02-10-22

Drawn by: MR Checked by: TS, RN

No.

DP5.2

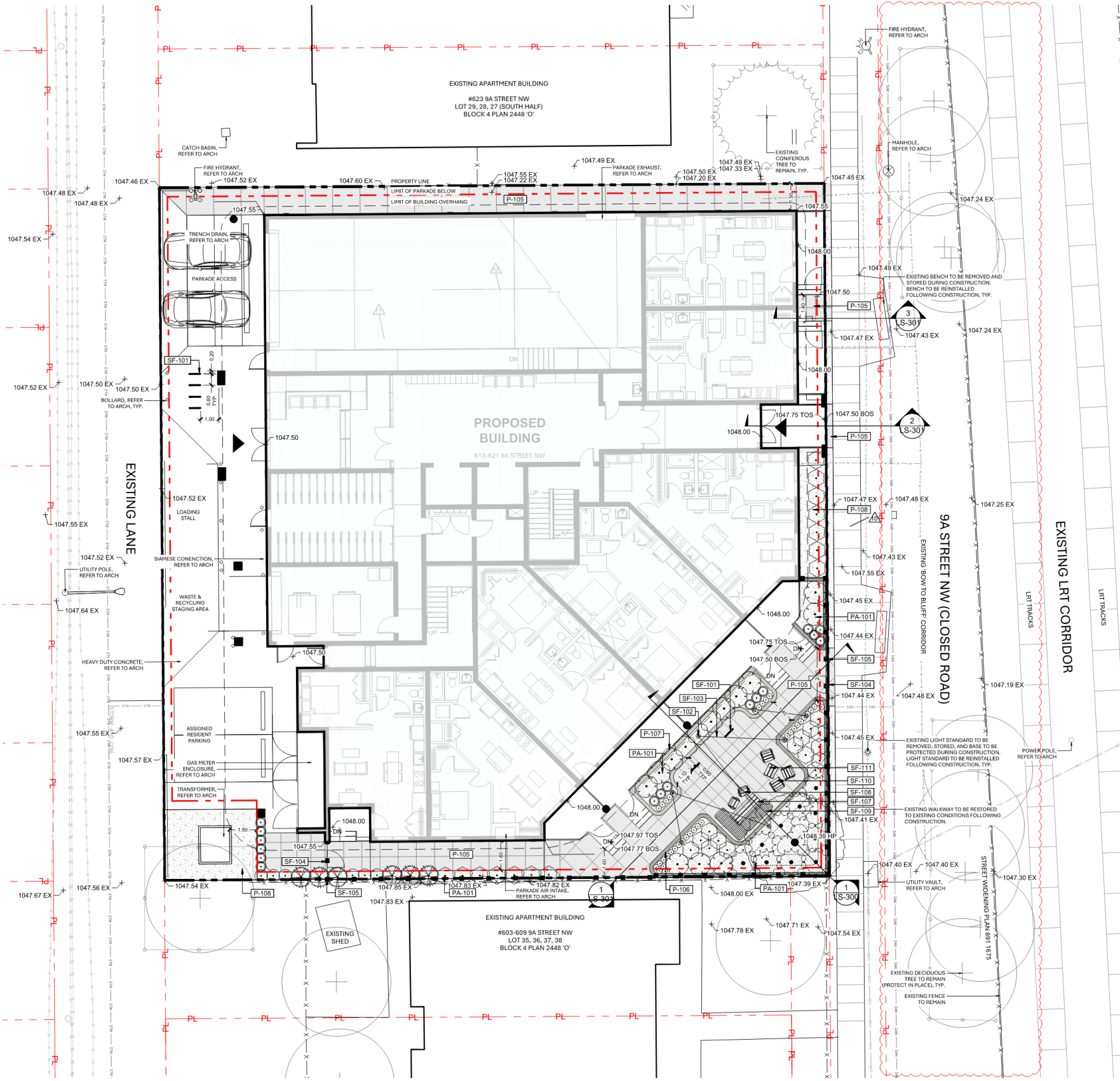
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2 **NORTHEAST PERSPECTIVE**
DP5.2



1 **NORTHWEST PERSPECTIVE**
DP5.2



PROPOSED LANDSCAPE SCHEDULE

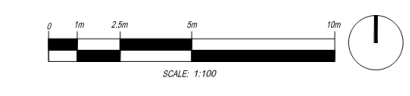
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|----------|------------------------------|
| [Symbol] | DE-101 TREE PROTECTION FENCE |
-
- | SYMBOL | PAVING DESCRIPTION |
|----------|--|
| [Symbol] | P-105 PEDESTRIAN CONCRETE WALK C/W SAWCUTS |
| [Symbol] | P-106 400MM HT. CONCRETE SEATWALL |
| [Symbol] | P-107 200MM HT. CONCRETE SEATWALL |
| [Symbol] | P-108 ROCK MULCH |
-
- | SYMBOL | PLANT AREA DESCRIPTION |
|----------|------------------------|
| [Symbol] | PA-101 PLANTING BED |
-
- | SYMBOL | SITE FEATURE DESCRIPTION |
|----------|---|
| [Symbol] | SF-101 BIKE RACK (2 STALLS PER RACK) |
| [Symbol] | SF-102 POLE FOR CATENARY LIGHTING REFER TO ELEC. |
| [Symbol] | SF-103 CATENARY LIGHTING REFER TO ELEC. TYPE 103. |
| [Symbol] | SF-104 1.2M HT. METAL GATE |
| [Symbol] | SF-105 1.2M HT. METAL FENCE |
| [Symbol] | SF-107 ACCESSIBLE TABLE |
| [Symbol] | SF-108 MOVEABLE CHAIR |
| [Symbol] | SF-109 MODULAR BENCH |
| [Symbol] | SF-110 MOVEABLE LOUNGE CHAIR |
| [Symbol] | SF-111 MOVEABLE LOUNGE TABLE |

BYLAW PLANTING REQUIREMENTS		
	REQUIRED	PROVIDED
Landscape Area (40%)	556	533*
Landscape Area at Grade (90% Min)	531	462*
Landscape Area on Roof	N/A	N/A
Hard Surfaced Landscape Area (Max 40% of Landscape Area)	40% of 556 = 222 MAX	477*
75mm 1 TREE / 45m2	13	13
2 SHRUBS / 45m2	25	53
3m Coniferous Trees (25%)	4	6

*BYLAW RELAXATION REQUIRED

GENERAL NOTES

- ALL PLAN DRAWINGS ARE SHOWN IN METERS UNLESS OTHERWISE NOTED.
- ALL DETAIL DRAWINGS ARE SHOWN IN MILLIMETERS UNLESS OTHERWISE NOTED.
- EXISTING CONDITIONS ARE BASED ON BEST AVAILABLE INFORMATION. NO RESPONSIBILITY WILL BE ASSUMED BY THE LANDSCAPE ARCHITECT FOR COMPLETENESS OF DRAWINGS. WHEN PROVIDED, WITH RESPECT TO THE EXISTING UTILITIES, PIPES OR OTHER OBJECTS UNDERGROUND OR ON SURFACE.
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON SITE.
- THE CONTRACTOR SHALL MAKE CAREFUL EXAMINATION OF EXISTING CONDITIONS AND ADVISE THE PARKS APPROVED REPRESENTATIVE OF UNSATISFACTORY CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH OTHER RELEVANT DRAWINGS AND THE SPECIFICATIONS.
- REPORT ANY ON-SITE DISCREPANCIES TO THE PARKS APPROVED REPRESENTATIVE IMMEDIATELY.
- ALL EXISTING SITE CONDITIONS TO BE RETURNED TO PRE-CONSTRUCTION CONDITION OR BETTER FOLLOWING THE COMPLETION OF THE WORK.
- CONTRACTOR TO REMAIN WITHIN LIMIT TO DISTURBANCE AT ALL TIMES.
- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES WITHIN 3m OF DISTURBED AREAS AND TO INFORM LANDSCAPE ARCHITECT AND OWNER OF ANY TREE REMOVALS REQUIRED AND/OR IMPACT TO TREES.
- REFER TO ARCH FOR EXTENTS OF CONSTRUCTION + IMPROVEMENTS.



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PROJECT
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FOR
minto

MUNICIPAL ADDRESS
613 9A ST NW CALGARY, AB

LEGAL DESCRIPTION
PLAN 2448'0' BLOCK 4 LOT 30,31,32,
(NORTH HALF) 33, (SOUTH HALF) 33 AND 34

PERMIT
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REINBOLD ENGINEERING GROUP
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ELEVATOR
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IRRIGATION

SEALS

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1	DP PRE-APP REVIEW	2022/04/07	ZW

DRAWN BY: ZW / YZ / DP CHECKED BY: MW

DRAWING TITLE:
LANDSCAPE PLAN

LS-100

PROPOSED LANDSCAPE SCHEDULE

SYMBOL	PAVING MATERIALS DESCRIPTION
	PM-101 ROOFTOP ROCK MULCH - TYPE 1
	PM-102 ROOFTOP ROCK MULCH - TYPE 2
	PM-103 ROOFTOP ROCK MULCH - TYPE 3
	PM-104 FEATURE BOULDER

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SEALS

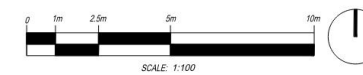
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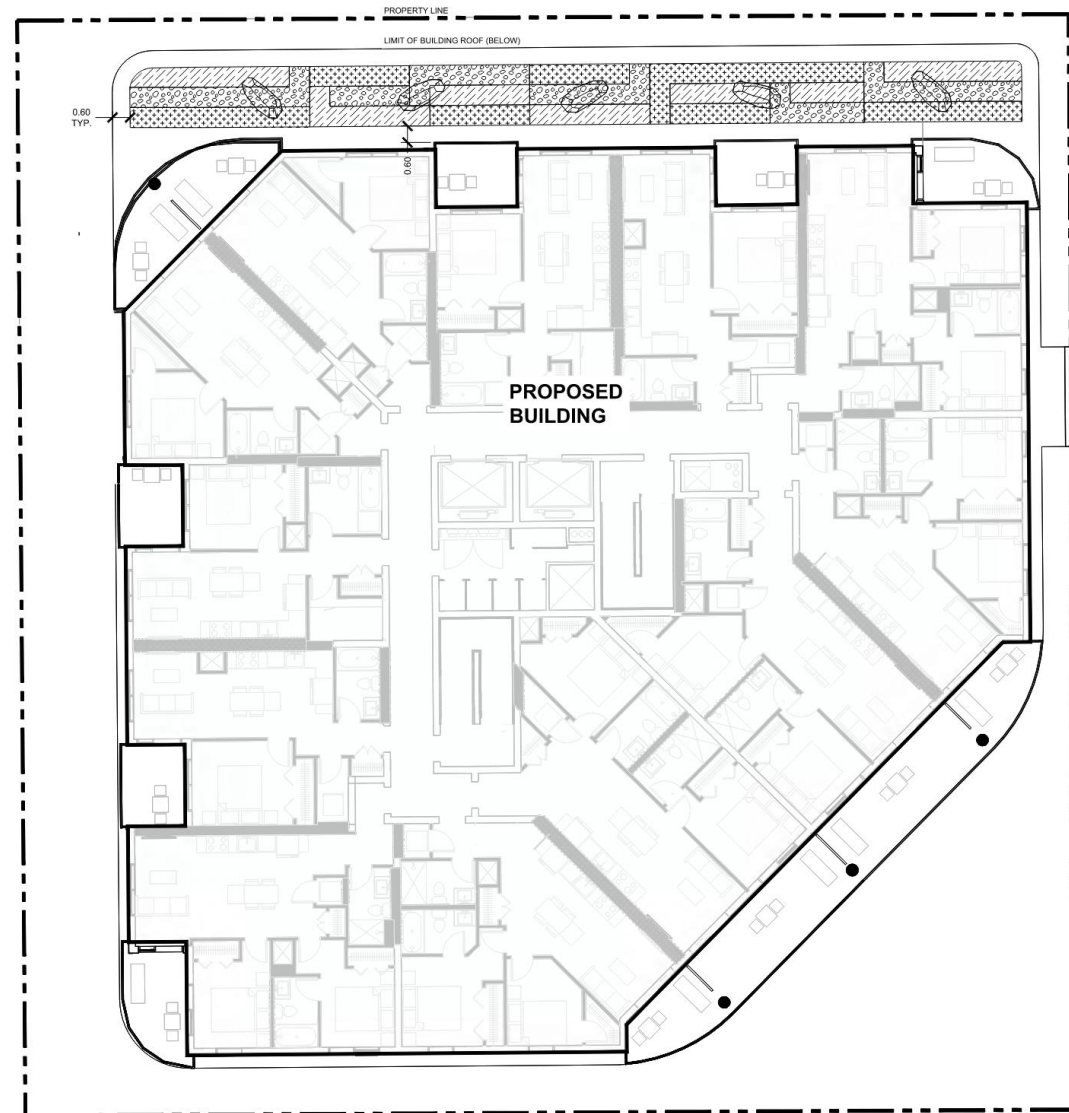
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DRAWING TITLE:
LEVEL 2 LANDSCAPE PLAN

NOTE:
REFER TO ARCH FOR ROOF DRAINAGE



LS-101





MUNICIPAL ADDRESS
613 9A ST NW CALGARY, AB

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DRAWING TITLE:
PLANTING PLAN

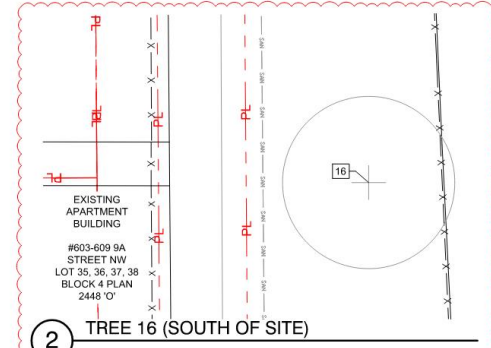
LP-100

PROPOSED PLANTING SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	SIZE
	PF	6	PICEA PUNGENS 'FASTIGIATA'	COLUMNAR COLORADO SPRUCE	B & B	3.0M HT.	
	PE	6	POPULUS TREMULA 'ERECTA'	COLUMNAR ASPEN	B & B	75MM CAL.	
	TG	1	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	B & B	75MM CAL.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD
	JB	10	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#5 CONT.		0.6M
	SS	3	SPIRAEA SORBIFOLIA 'SEM'	SEM FALSE SPIREA	#5 CONT.	0.6M	
	SA	29	SYMPHORICARPOS ALBUS	COMMON WHITE SNOWBERRY	#5 CONT.	0.6M	
	VA	11	VIBURNUM TRILOBUM 'BAILEY COMPACT'	BAILEY COMPACT HIGHBUSH CRANBERRY	#5 CONT.	0.6M	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD
	CE	16	CALAMAGROSTIS X ACUTIFLORA 'EL DORADO'	EL DORADO FEATHER REED GRASS	#2 CONT.		
	FG	38	FESTUCA OVINA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	#1 CONT.		

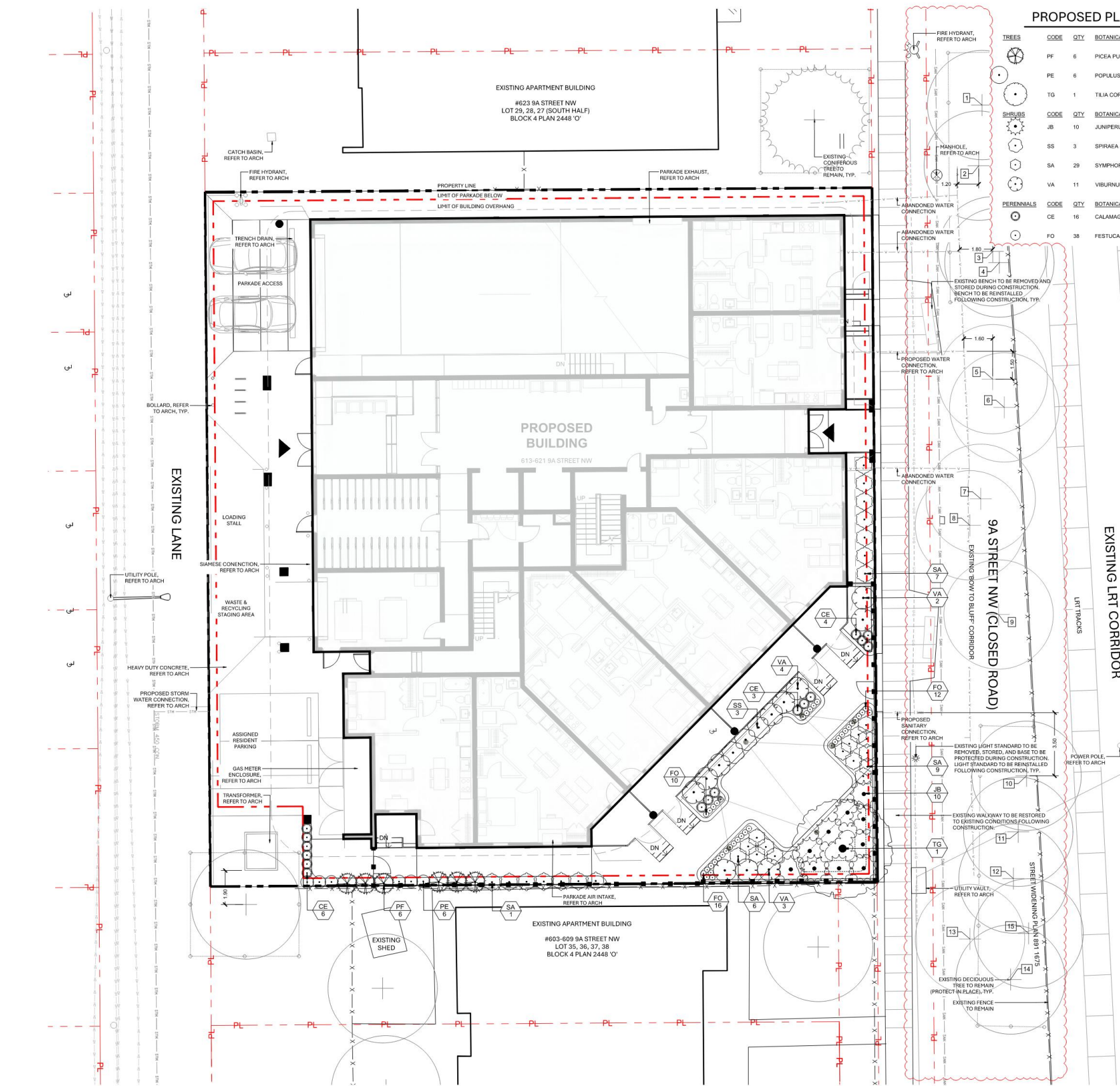
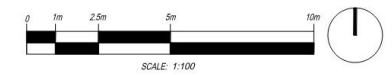
EXISTING CITY TREE SCHEDULE

TREE NO.	SPECIES	TRUNK DIA. (cm)	MATURE HT. (m)	TO REMAIN (Y/N/OTHER)
1	MANTOBA MAPLE	20	12	Y
2	MANTOBA MAPLE	24	12	Y
3	MANTOBA MAPLE	45	12	Y
4	MANTOBA MAPLE	43	12	Y
5	MANTOBA MAPLE	23	12	N
6	MANTOBA MAPLE	17	12	N
7	GREENASH	15	15	N
8	MANTOBA MAPLE	17	12	N
9	MANTOBA MAPLE	16	12	N
10	MANTOBA MAPLE	13	12	Y
11	MANTOBA MAPLE	17	12	Y
12	MANTOBA MAPLE	28	12	Y
13	MANTOBA MAPLE	30	12	3 STEMS TO BE TRIMMED BACK, SEE 3 L.P. 100
14	MANTOBA MAPLE	27	12	Y
15	MANTOBA MAPLE	11	12	Y
16	MANTOBA MAPLE	40	12	N



PLANTING NOTES

- ALL PLANTING BEDS TO BE MULCHED WITH FINELY SHREDDED BARK MULCH.
- ALL PLANTING BEDS TO BE WATERED WITH A LOW WATER AUTOMATIC IRRIGATION SYSTEM. TREES AND SHRUBS WITH SIMILAR WATER REQUIREMENTS TO BE GROUPED TOGETHER. DELIVERY OF IRRIGATED WATER TO BE CONFINED TO TREES AND SHRUBS.
- FOR LANDSCAPED AREAS WITH A BUILDING BELOW, PLANTING AREAS TO HAVE THE FOLLOWING MINIMUM SOIL DEPTHS:
 - (a) 1.2 METRES FOR TREES;
 - (b) 0.6 METRES FOR SHRUBS; AND
 - (c) 0.3 METRES FOR ALL OTHER PLANTING AREAS.
- ALL TREES SHOWN OUTSIDE PROPERTY LINE ARE APPROXIMATE AND TENTATIVE LOCATIONS, AND SHOWN FOR REVIEW AND CONTEXT ONLY. ALL TREES OUTSIDE PROPERTY LINE DO NOT CONTRIBUTE TO MINIMUM BYLAW PLANTING REQUIREMENTS.
- ALL SHRUBS TO BE MINIMUM 0.6M HEIGHT AND/OR SPREAD AT TIME OF PLANTING.
- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES WITHIN 3M OF DISTURBED AREAS AND TO INFORM LANDSCAPE ARCHITECT AND OWNER OF ANY TREE REMOVALS REQUIRED AND/OR IMPACT TO TREES.





MUNICIPAL ADDRESS
613 9A ST NW CALGARY, AB

LEGAL DESCRIPTION
PLAN 2448'0" BLOCK 4 LOT 30,31, 32,
(NORTH HALF) 33, (SOUTH HALF) 33 AND 34

PERMIT
#1917

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IRRIGATION

SEALS

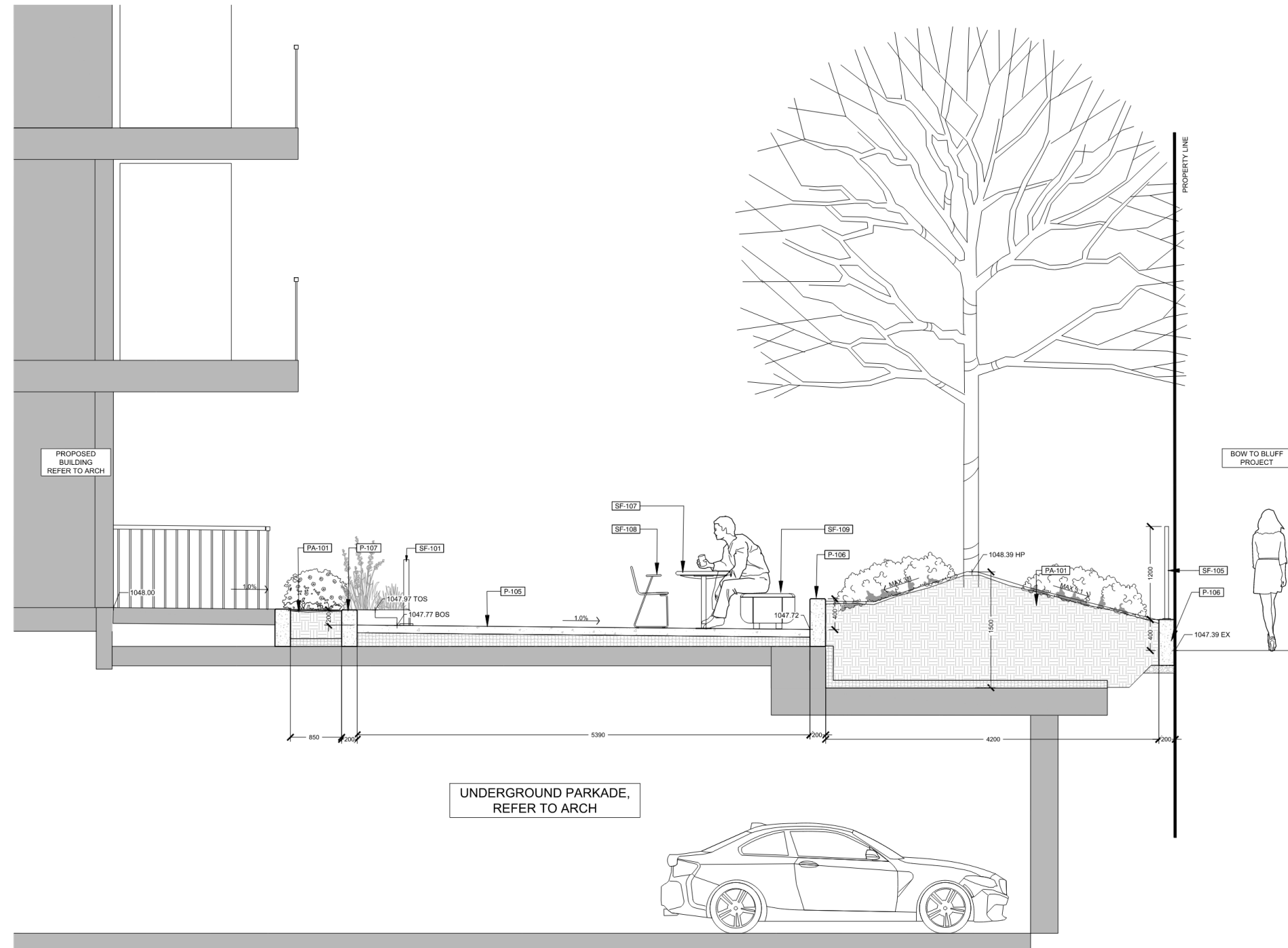
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LANDSCAPE SECTIONS

LS-300



1 LANDSCAPE SECTION A
1:25

P-02-MAN2-15



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SEALS

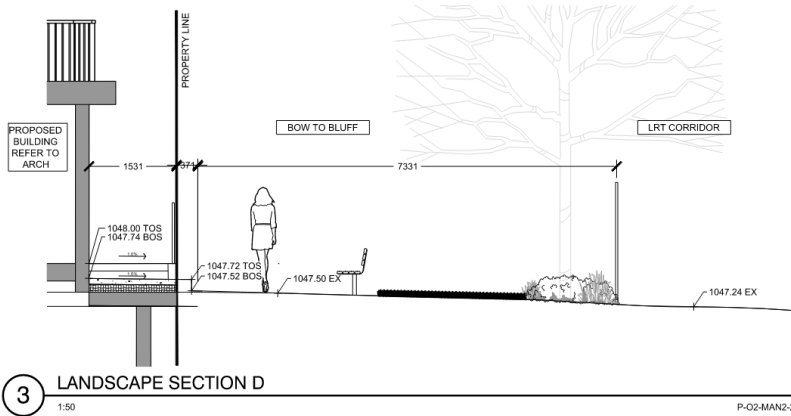
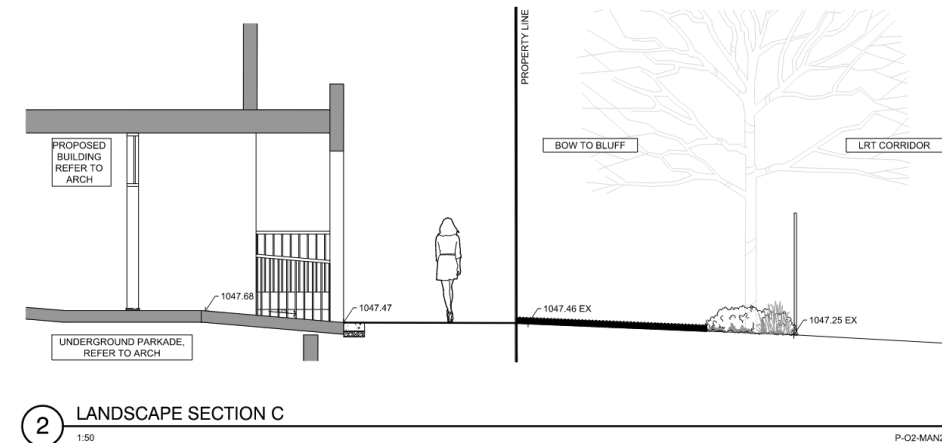
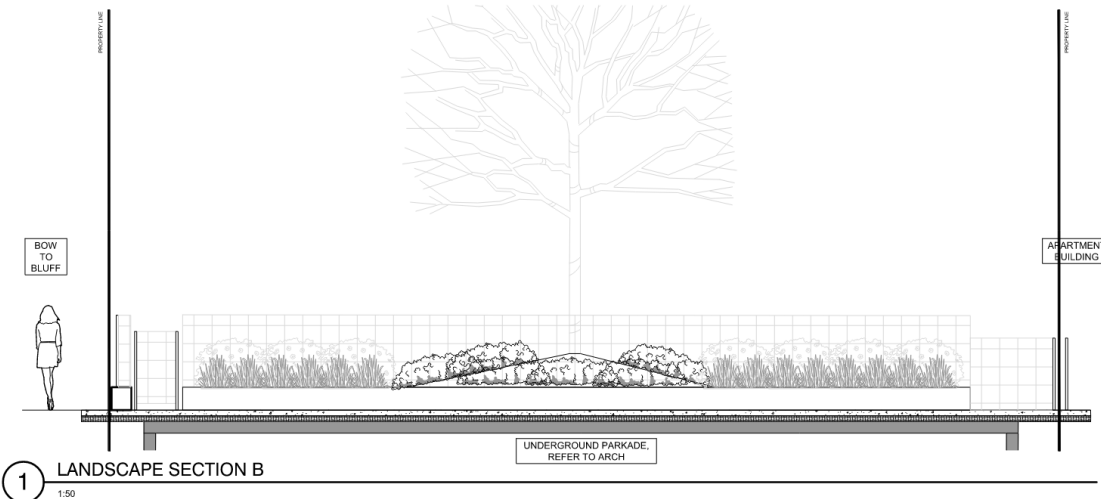
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LANDSCAPE SECTIONS

LS-301



OMEGA 20 PANEL MOUNTED ON FLANGED POST (HEIGHT 47" H)
Panneau Omega 20 sur poteaux avec base (grandeur 47" H) REVISION 1

PANEL (H)	OPENING	POSTS
4'	3' to 7'	3" x 3" 11ga
6.5'	3' to 6'	3" x 3" 11ga
8'	3' to 5'	3" x 3" 11ga
8.5'	7'	4" x 4" 11ga
8'	6' & 7'	4" x 4" 11ga

Horizontal Wires / Tiges Horizontales	6GA / Ø4.88mm
Frame / Cadre	1" x 9GA / 25mm x 4mm
Flat Vertical Bars / Plaques verticales	1" x 14GA / 25mm x 2mm

Panel Height / Hauteur du panneau	Number of Bracket Kits per Post / Nombre d'assemblages d'attaches par poteau
1194 mm (47" H)	2
1980 mm (78" H)	3
2514 mm (99" H)	3

SYSTÈMES DE CLÔTURES omega II FENCE SYSTEMS | **Système de Clôtures Omega II** | Tel: 450-686-9600 | 1735 boul. St-Ezèze Ouest | Laval, Québec | H7L 3N6 | www.omegafence.com

1 1.2M HT. METAL FENCE
N.T.S. P-Q2-MAN2-14

OMEGA 20 SINGLE SWING GATE MODEL GPG20
Barrière OMEGA 20 à battant simple modèle GPG20 REVISION 01

Panel (H)	Opening	Posts
4'	3' to 7'	3" x 3" 11ga
6.5'	3' to 6'	3" x 3" 11ga
8'	3' to 5'	3" x 3" 11ga
8.5'	7'	4" x 4" 11ga
8'	6' & 7'	4" x 4" 11ga

Panel (H)	Opening	Post
4'	3' & 7'	3" x 3" 11ga
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2 1.2M HT. METAL GATE
N.T.S. P-Q2-MAN2-13

Product sheet

VROOM bicycle rack

696-904A
Designed by Tore Bergersen, Michael Olofsson, Espen Voll

Vroom bicycle rack comes in narrow and wide versions, and provides good support for two bicycles. It is made from extruded aluminum and has user-friendly rounded edges. The wide version can also be used as a tree guard.

Primary material
Powder-coated aluminum

Sustainability
Recycled content: 20%
Recycled content: 10%
Recycled content: 5%

Certifications
ISO 9001
ISO 14001
ISO 45001

Warranty
15 years

IRRIGATION

3 BIKE RACK
N.T.S. P-Q2-MAN2-11

- 150mm THICK CAST IN PLACE CONCRETE
- 25mm DIA. CRUSHED GRANULAR BASE EXTENDED 150mm BEYOND CONCRETE, COMPACTED TO 98% SPD.
- PREPARED SUBGRADE SLOPED PARALLEL TO FINISHED CONCRETE, COMPACTED TO 98% SPD.
- 5mm SAWCUT CONTRACTION JOINT TO 30mm DEPTH. REFER TO PLAN FOR LAYOUT
- 150X150mm No.10 GAUGE WIRE MESH
- ADJACENT CONDITION - REFER TO PLANS

4 PEDESTRIAN CONCRETE WALK
1:10 P-Q2-MAN2-16

- 100mm THICK CAST IN PLACE CONCRETE
- INSULATION, REFER TO ARCH
- WATERPROOFING, REFER TO ARCH
- 5mm SAWCUT CONTRACTION JOINT TO 30mm DEPTH. REFER TO PLAN FOR LAYOUT
- 150X150mm No.10 GAUGE WIRE MESH
- PARKADE SLAB, REFER TO ARCH

5 PEDESTRIAN CONCRETE WALK OVER STRUCTURE
1:10 P-Q2-MAN2-27

- ADJACENT SURFACE
- 20mm RUNDLE ROCK
- COMPACTED SUBGRADE

6 ROCK MULCH
1:10 P-Q2-MAN2-12

- PLANTING BED
- 32MPa CONCRETE WITH 5-7% AIR ENTRAINMENT AND 10mm CHAMFER ON ALL EXPOSED EDGES
- 15m CONTINUOUS REBAR
- GRAVEL SUBGRADE COMPACT TO 98%
- ADJACENT WALKWAY

7 400MM HT. CONCRETE SEATWALL
1:10 P-Q2-MAN2-12

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LANDSCAPE DETAILS

LS-500



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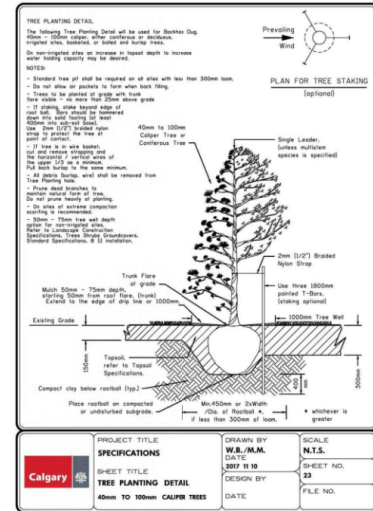
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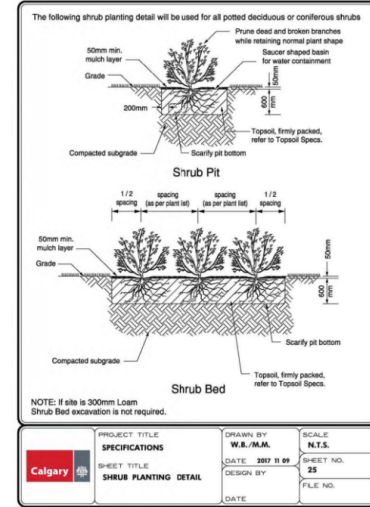
IRRIGATION

Detail Sheet 23: Tree Planting - 40 mm to 100 mm Caliper Trees

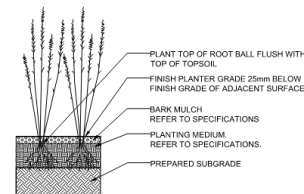


Calgary Parks 2021 249

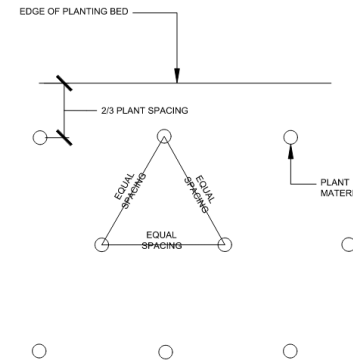
Detail Sheet 25: Tree Planting - Shrubs



Calgary Parks 2021 251



3 PERENNIAL PLANTING
1:30 P-02-MAN2-19



4 GROUNDCOVER SPACING
1:5 P-02-MAN2-20

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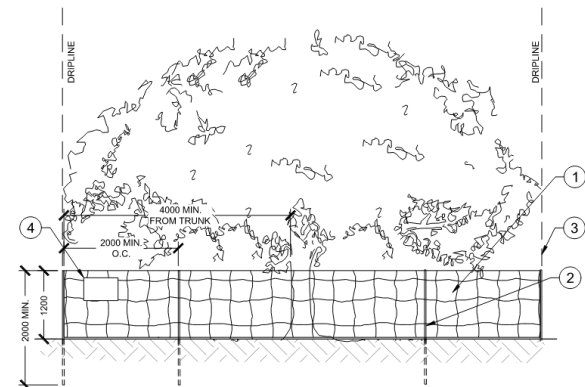
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DRAWING TITLE:
PLANTING DETAILS

LP-500

1 TREE PLANTING
N.T.S. P-02-MAN2-18

2 SHRUB PLANTING
N.T.S. P-02-MAN2-17



- TREE PROTECTION FENCING ORANGE SNOW FENCE SECURED TO T-BAR WITH WIRE AT TOP AND BOTTOM OF BAR
- T-BAR, 2000MM IN LENGTH, BURIED 1/3 MIN. BELOW GROUND
- PLACE TREE PROTECTION FENCING 4000MM MIN. FROM TRUNK AND OUTSIDE OF DRIP LINE
- PROTECTED TREE SIGN, WHITE CORRUGATED PLASTIC BOARD OR EQUIVALENT MATERIAL, 40CM X 60CM MIN.

NOTE:
REFER TO CITY OF CALGARY TREE PROTECTION BYLAW 23M2002

5 TREE PROTECTION FENCING
1:50 P-02-MAN2-22