



**CITY OF CALGARY
RECEIVED
IN COUNCIL CHAMBER**

MAY 16 2023

ITEM: 7.2.10 CFC2023-0263
Distrib-Presentation 2
CITY CLERK'S DEPARTMENT



PROMINENCE POINT REZONING
1186 PROMINENCE POINT
CALGARY, ALBERTA

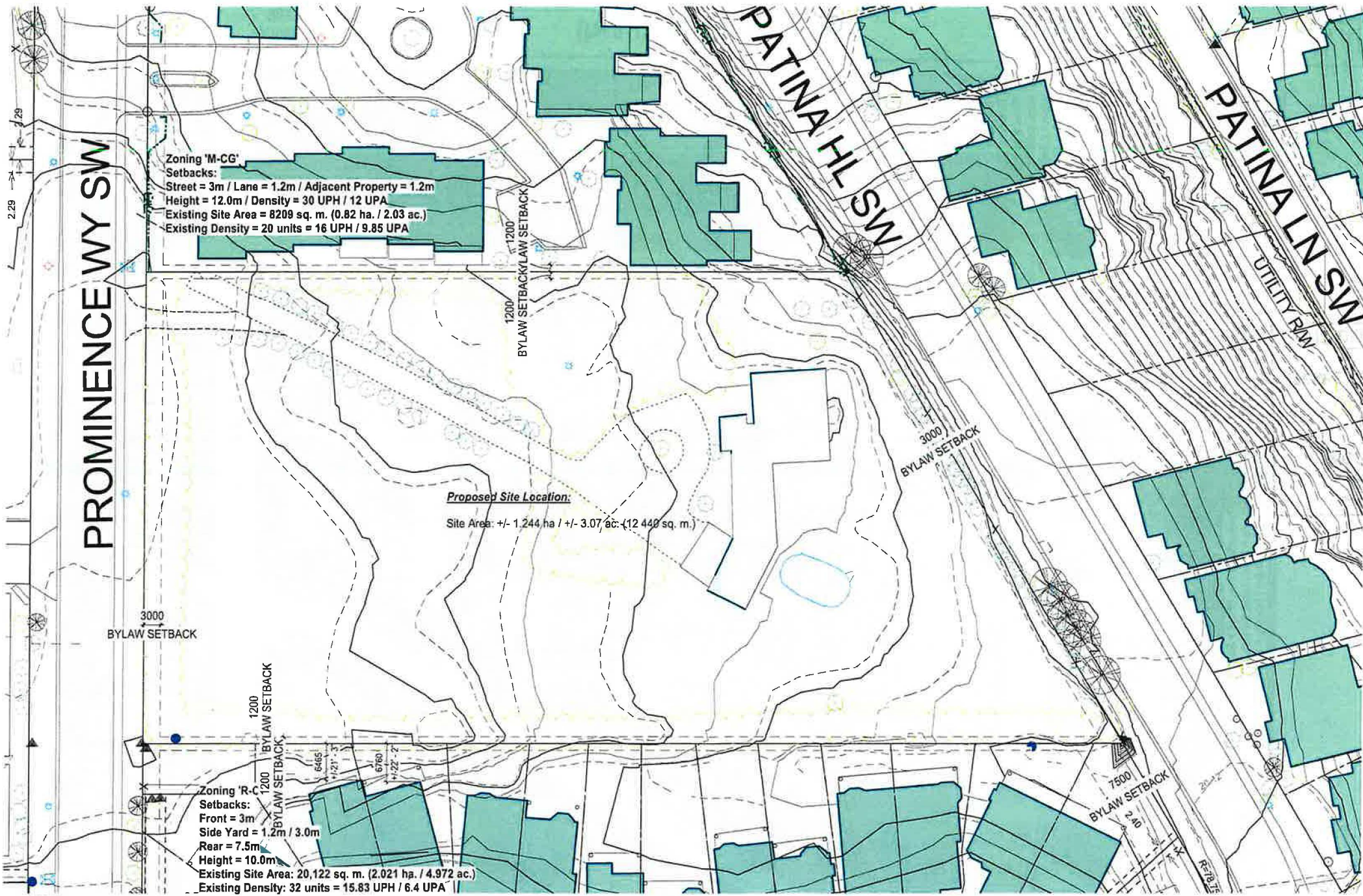
DRAWING DATE:
PROJECT NUMBER:
ISSUED FOR COMMUNITY MEETING REVIEW

21/04/07
181329

OVERALL SITE PLAN
DRAWING SCALE: 1: 500

KUMLIN SULLIVAN
ARCHITECTURE STUDIO LTD.
310, 5819 - 2 STREET S.W., CALGARY, ALBERTA, T2H 0H3
PHONE: (403) 283 8361 FAX: (403) 252 7877

DRWG. NO.
A0.3



Zoning 'M-CG'
Setbacks:
Street = 3m / Lane = 1.2m / Adjacent Property = 1.2m
Height = 12.0m / Density = 30 UPH / 12 UPA
Existing Site Area = 8209 sq. m. (0.82 ha. / 2.03 ac.)
Existing Density = 20 units = 16 UPH / 9.85 UPA

Proposed Site Location:
Site Area: +/- 1,244 ha / +/- 3.07 ac. (12,440 sq. m.)

Zoning 'R-C'
Setbacks:
Front = 3m
Side Yard = 1.2m / 3.0m
Rear = 7.5m
Height = 10.0m
Existing Site Area: 20,122 sq. m. (2.021 ha. / 4.972 ac.)
Existing Density: 32 units = 15.83 UPH / 6.4 UPA

1 SITE PLAN
SCALE: 1 : 300

DRAWING DATE:
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ENLARGED SITE PLAN
DRAWING SCALE: 1 : 300

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PROMINENCE POINT REZONING
1186 PROMINENCE POINT
CALGARY, ALBERTA

DRWG. No.
A0.4

PROMINENCE WY S

Zoning 'M-CG'

Setbacks:

Street = 3m / Lane = 1.2m / Adjacent Property = 1.2m
Height = 12.0m / Density = 30 UPH / 12 UPA
Existing Site Area = 8209 sq. m. (0.82 ha. / 2.03 ac.)
Existing Density = 20 units = 16 UPH / 9.85 UPA

Proposed Site Location:

Site Area: +/- 1.244 ha / +/- 3.07 ac. (12 440 sq. m.)

Buildable Area Original: +/- 1.15 ha / +/- 2.85 ac. (11 554 sq. m.)
Buildable Area Revised: +/- 1.09 ha / +/- 2.69 ac. (10 866 sq. m.)

Proposed Project Envelope Setbacks

Proposed Contextual Height Setbacks

Zoning 'R-C2'

Setbacks:

Front = 3m
Side Yard = 1.2m / 3.0m
Rear = 7.5m
Height = 10.0m
Existing Site Area: 20,122 sq. m. (2.021 ha. / 4.972 ac.)
Existing Density: 32 units = 15.83 UPH / 6.4 UPA

1 SITE PLAN SETBACKS
SCALE: 1:250

PROPOSED SITE SETBACKS

DRAWING SCALE: 1:250

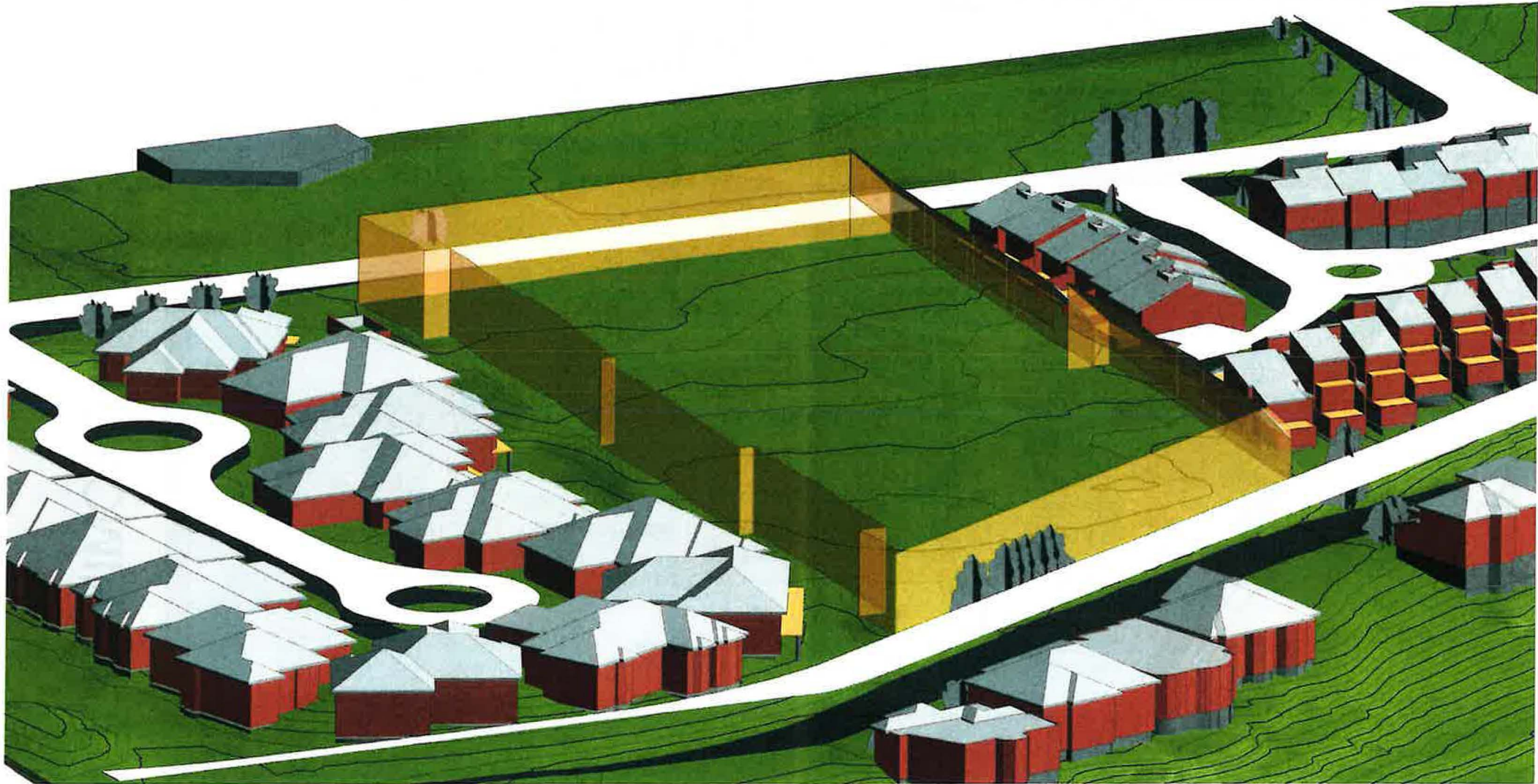
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PROMINENCE POINT REZONING
1186 PROMINENCE POINT
CALGARY, ALBERTA

DRWG. No.
A0.5



1 3D-Envelope View NW
 A0.6 SCALE

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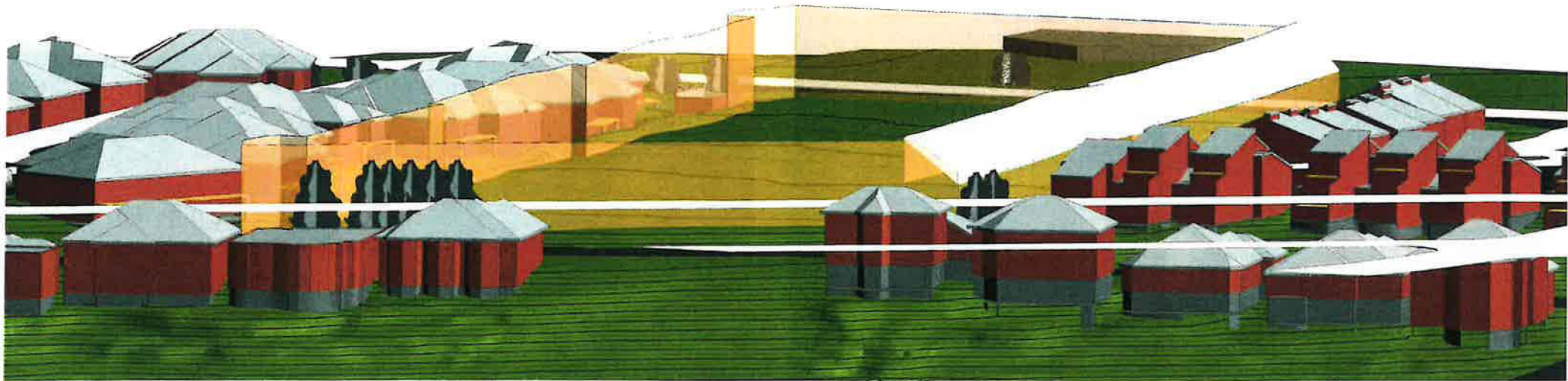
21/09/08
 181329

ENVELOPE PERSPECTIVE
 DRAWING SCALE:

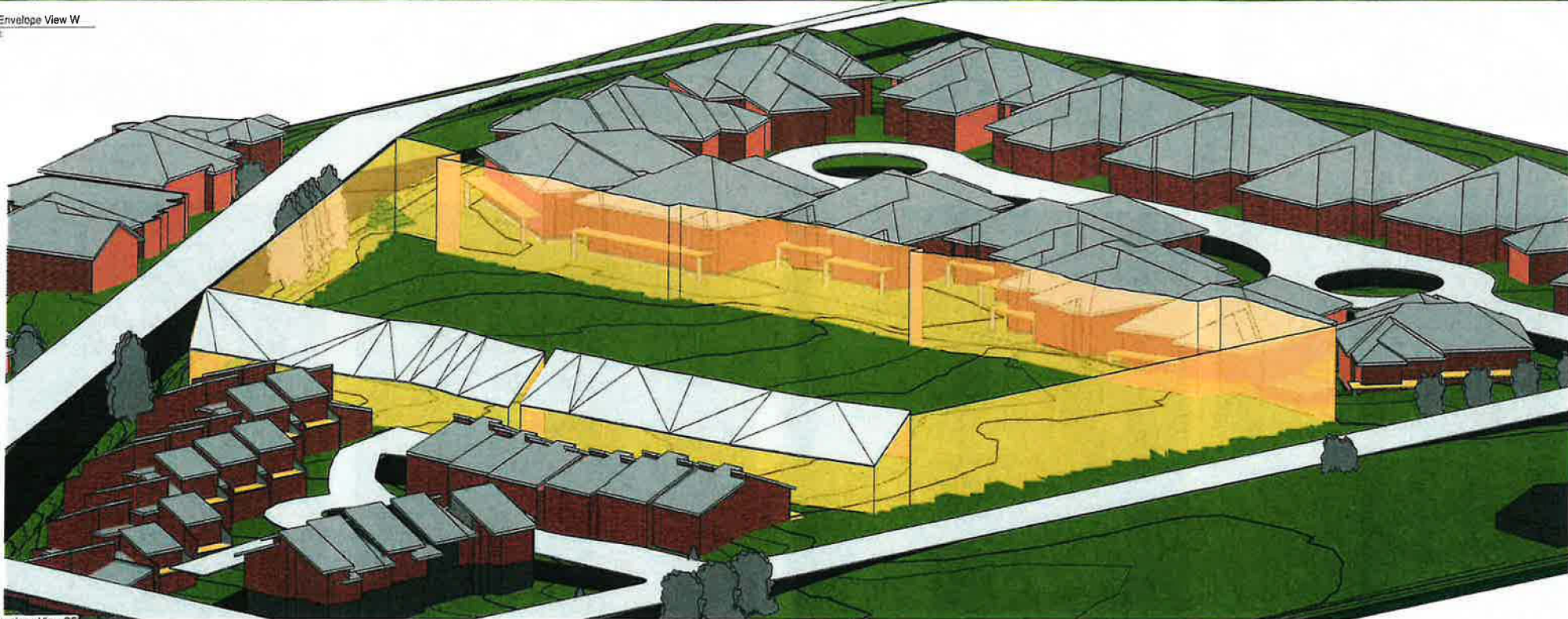
KUMLIN SULLIVAN
 ARCHITECTURE STUDIO LTD.
 310, 5819 - 2 STREET S.W., CALGARY, ALBERTA, T2H 0H3
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FILE 111
 REVISION No.

DRWG. No.
 A0.6



2 3D-Envelope View W
A0.7
SCALE



1 3D Envelope View SE
A0.7
SCALE

PROMINENCE POINT REZONING
1186 PROMINENCE POINT
CALGARY, ALBERTA

FILE 112
REVISION 04

DRAWING DATE:
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ENVELOPE PERSPECTIVE SE
DRAWING SCALE:

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DRWG. No.
A0.7



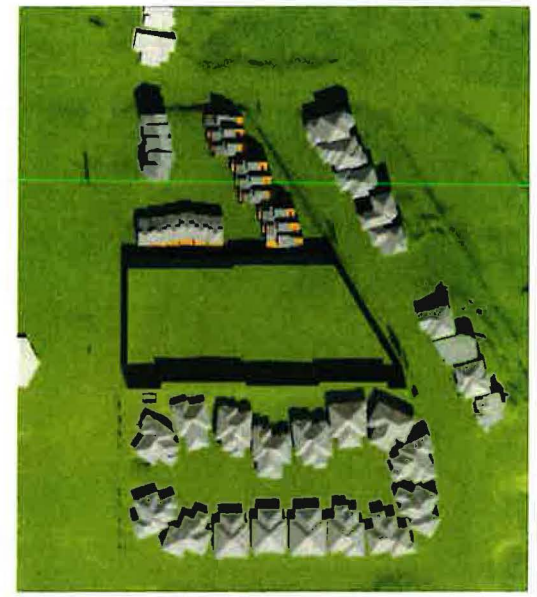
10:00 am



11:00 am



12:00 pm



1:00 pm



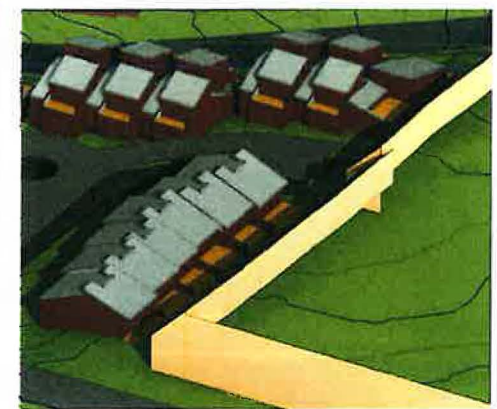
2:00 pm



3:00 pm



4:00 pm



Perspective View at 4:00 pm





10:00 am



11:00 am



12:00 pm



1:00 pm



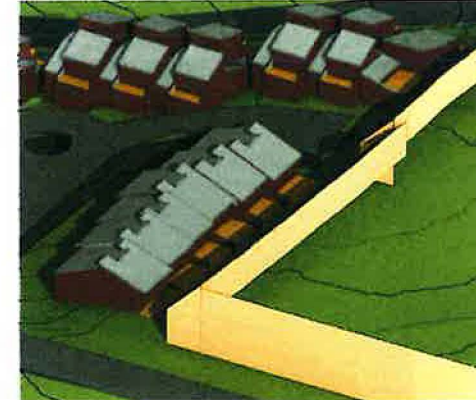
2:00 pm



3:00 pm



4:00 pm



Perspective View at 4:00 pm



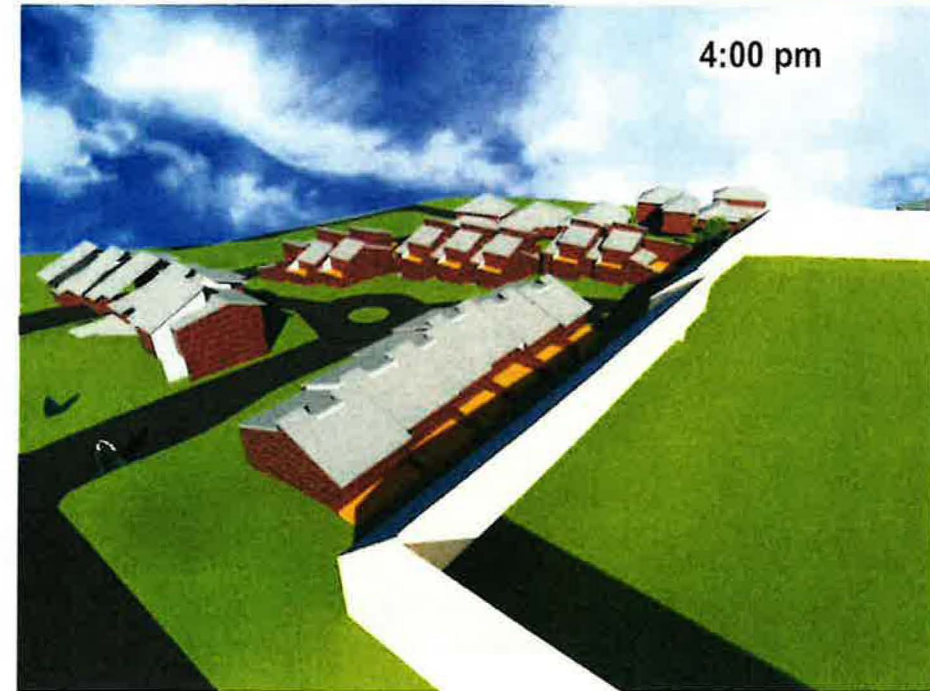
10:00 am



12:00 pm



2:00 pm

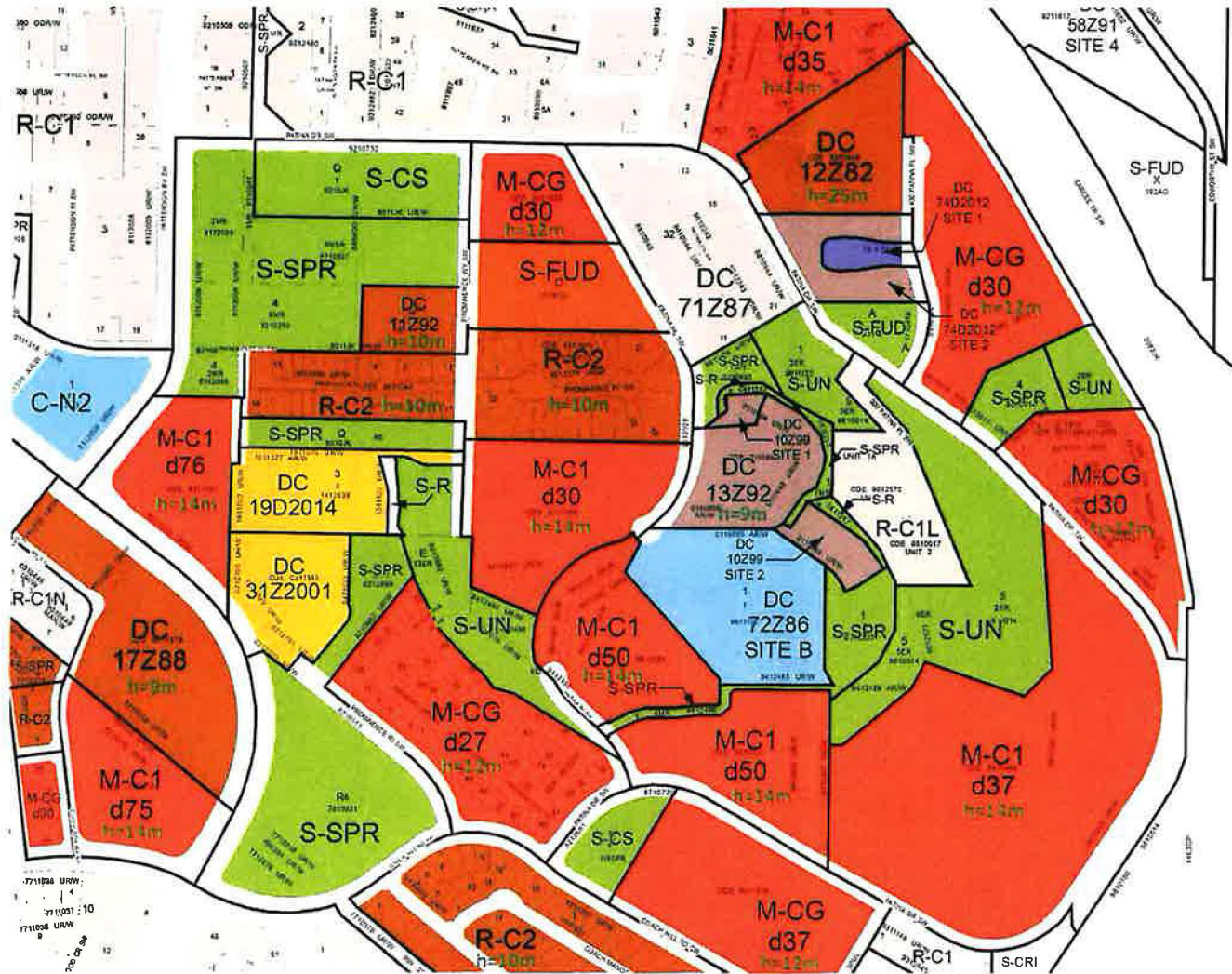


4:00 pm



Zoning Types

- Proposed Site
- Special Zoning
- Multi-family Grade Oriented
- Semi-detached Residential
- Single Family
- Multi-Family Duplex / Triplex
- Commercial
- Heritage
- Seniors Housing



Regional Zoning Parameters:

- M-CG Zoning**
 - A. Setbacks:
 - a. Street = 3.0m (10'-0")
 - b. Lane = 1.2m (4'-0")
 - c. Adjacent Parcel = 1.2m (4'-0")
 - B. Height: 12.0m (39'-4")
 - C. Density:
 - a. (d27) = 27 units per hectare / 11 units per acre
 - b. (d30) = 30 units per hectare / 12 units per acre
 - c. (d35) = 35 units per hectare / 14 units per acre
 - d. (d37) = 37 units per hectare / 15 units per acre
- M-C1 Zoning**
 - A. Setbacks:
 - a. Street = 3.0m (10'-0")
 - b. Lane = 1.2m (4'-0")
 - c. Adjacent Parcel = 1.2m (4'-0")
 - B. Height: 14.0m (46'-0")
 - C. Density:
 - a. (d37) = 37 units per hectare / 15 units per acre
 - b. (d50) = 50 units per hectare / 20 units per acre
 - c. (d75) = 75 units per hectare / 30 units per acre
- R-C2 Zoning**
 - A. Setbacks:
 - a. Front = 3.0m (10'-0")
 - b. Lane = 1.2m (4'-0")
 - c. Side Yard = 3.0m (10'-0")
 - d. Rear Yard = 7.5m (25'-0")
 - B. Height: 10.0m (32'-10")
 - C. Density:
 - a. (d44) = 44 units per hectare / 18 units per acre
- DC12282 Zoning (RM-1 Zoning)**
 - A. Setbacks:
 - a. Front / Street = 3.0m (10'-0")
 - b. Side Yard = 1.2m (4'-0")
 - c. Rear Yard = 6.0m (19'-6")
 - B. Height: 11.0m (36'-0")
 - C. Density:
 - a. (d44) = 44 units per hectare / 18 units per acre
- DC17287 Zoning (R-1 Zoning)**
 - A. Setbacks:
 - a. Front / Street = 7.5m (25'-0")
 - b. Side Yard = 1.2m (4'-0")
 - c. Rear Yard = 3.0m (10'-0")
 - B. Height: 25.0m (82'-0")
 - C. Density:
 - a. (d20) = 20 units per hectare / 8 units per acre
- DC17288 Zoning (RM-1 Zoning)**
 - A. Setbacks:
 - a. Front / Street = 3.0m (10'-0")
 - b. Side Yard = 1.2m (4'-0")
 - c. Rear Yard = 6.0m (19'-8")
 - B. Height: 1 storey
 - C. Density:
 - a. (d29) = 29 units per hectare / 12 units per acre
- DC11292 Zoning (R-2 Zoning)**
 - A. Setbacks:
 - a. Front / Street = 3.0m (10'-0")
 - b. Side Yard = 1.2m (4'-0")
 - c. Rear Yard = 6.0m (19'-6")
 - B. Height: 7.5m (25'-0")
 - C. Density:
 - a. (d20) = 20 units per hectare / 8 units per acre
- DC13292 Zoning (RM-1 Zoning)**
 - A. Setbacks:
 - a. Front / Street = 3.0m (10'-0")
 - b. Side Yard = 1.2m (4'-0")
 - c. Rear Yard = 6.0m (19'-8")
 - B. Height: 9.0m (30'-0")
 - C. Density:
 - a. (d29) = 29 units per hectare / 12 units per acre
- DC3122001 Zoning (RM-4 Zoning) - Congregate Care**
 - A. Setbacks:
 - a. Front / Street = 3.0m (10'-0")
 - b. Side Yard = 1.2m (4'-0")
 - c. Rear Yard = 7.5m (25'-0")
 - B. Height: 9.0m (30'-0")
 - C. Density:
 - a. Maximum 74 units (23 units per acre)
- DC19D2014 Zoning (M-C2 Zoning) - Assisted Living & Residential Care**
 - A. Setbacks (of building)
 - a. North setback = 10.0m (10'-0")
 - b. West setback = 1.2m (4'-0")
 - c. South setback = 5.0m (16'-5")
 - d. East setback = 70.0m (229'-7")
 - B. Height: 9.0m (30'-0")
 - C. Density:
 - a. Total 180 dwelling units

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REGIONAL SITE PLAN
DRAWING SCALE:

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Drwg. No.
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