



Calgary Planning Commission

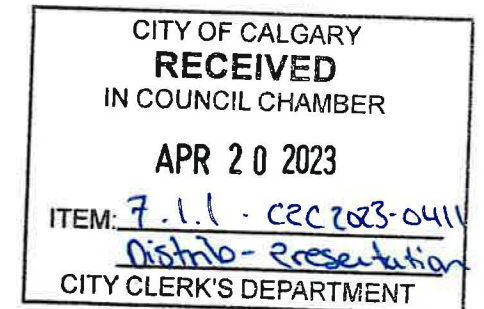
Agenda Item: 7.1.1



DP2022-06848 / CPC2023-0411

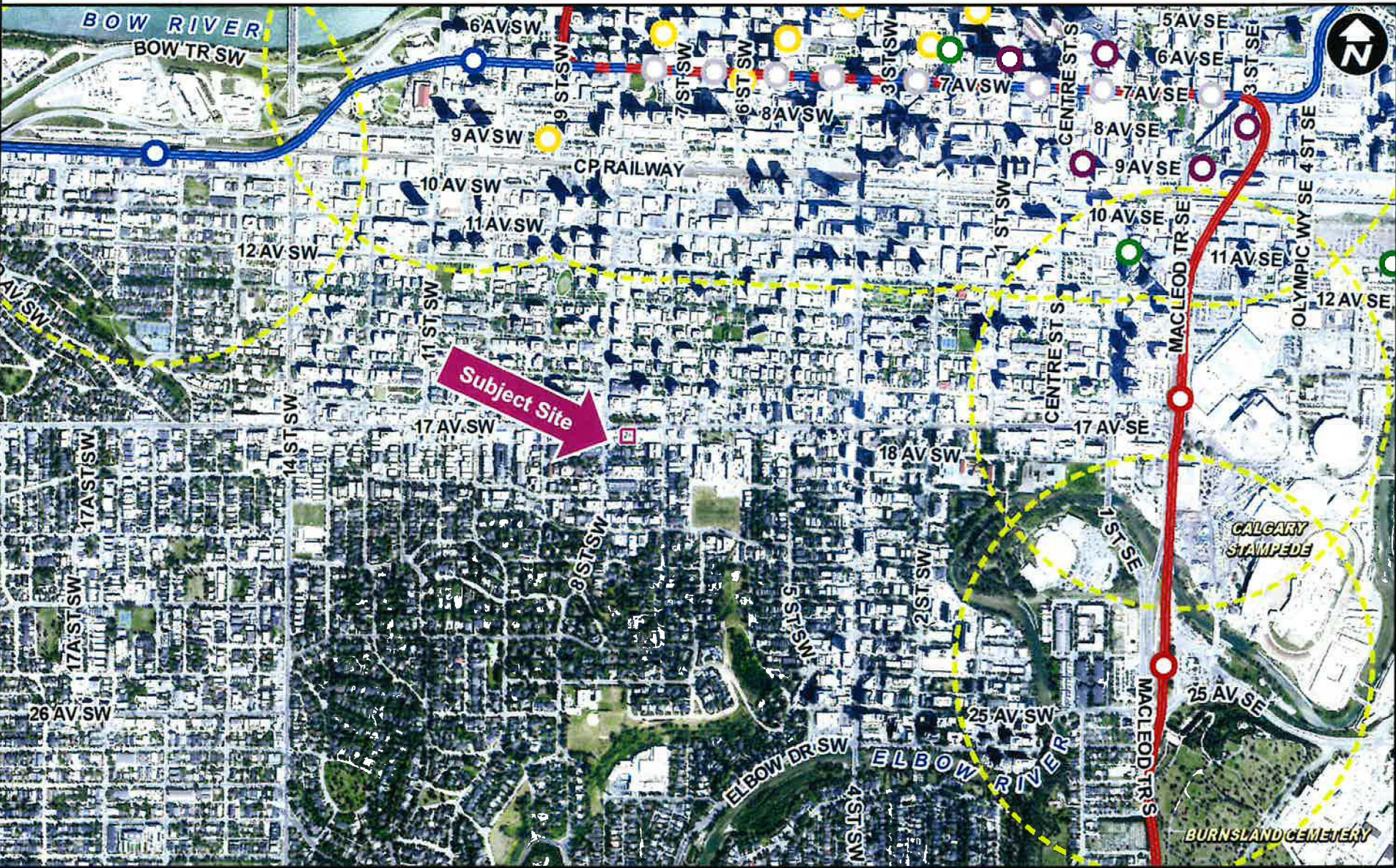
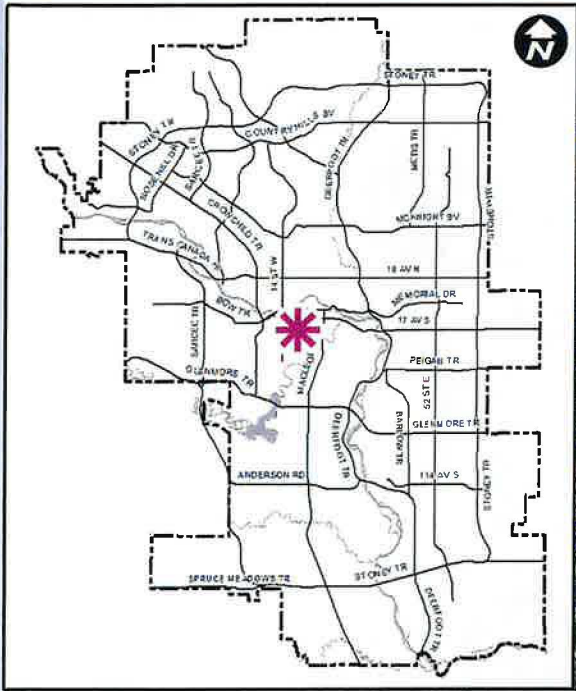
Development Proposal

2023 April 20



RECOMMENDATION:

That Calgary Planning Commission **APPROVE** the Development Permit DP2022-06848 for a New: Dwelling Unit, Retail and Consumer Service, Restaurant: Licensed located at 823 – 17 Avenue SW (Plan 4453L, Block 11, Lots 4 and 5 and a portion of Lot 3), with conditions (Attachment 2).



- LEGEND**
- 600m buffer from LRT station
 - LRT Stations**
 - Blue
 - Downtown
 - Red
 - Green (Future) - LRT Line**
 - Blue
 - Blue/Red
 - Red - Max BRT Stops**
 - Orange
 - Purple
 - Teal
 - Yellow



○ Bus Stop

Parcel Size:

**0.14 ha
38m x 36m**



Looking West along 17 Ave SW



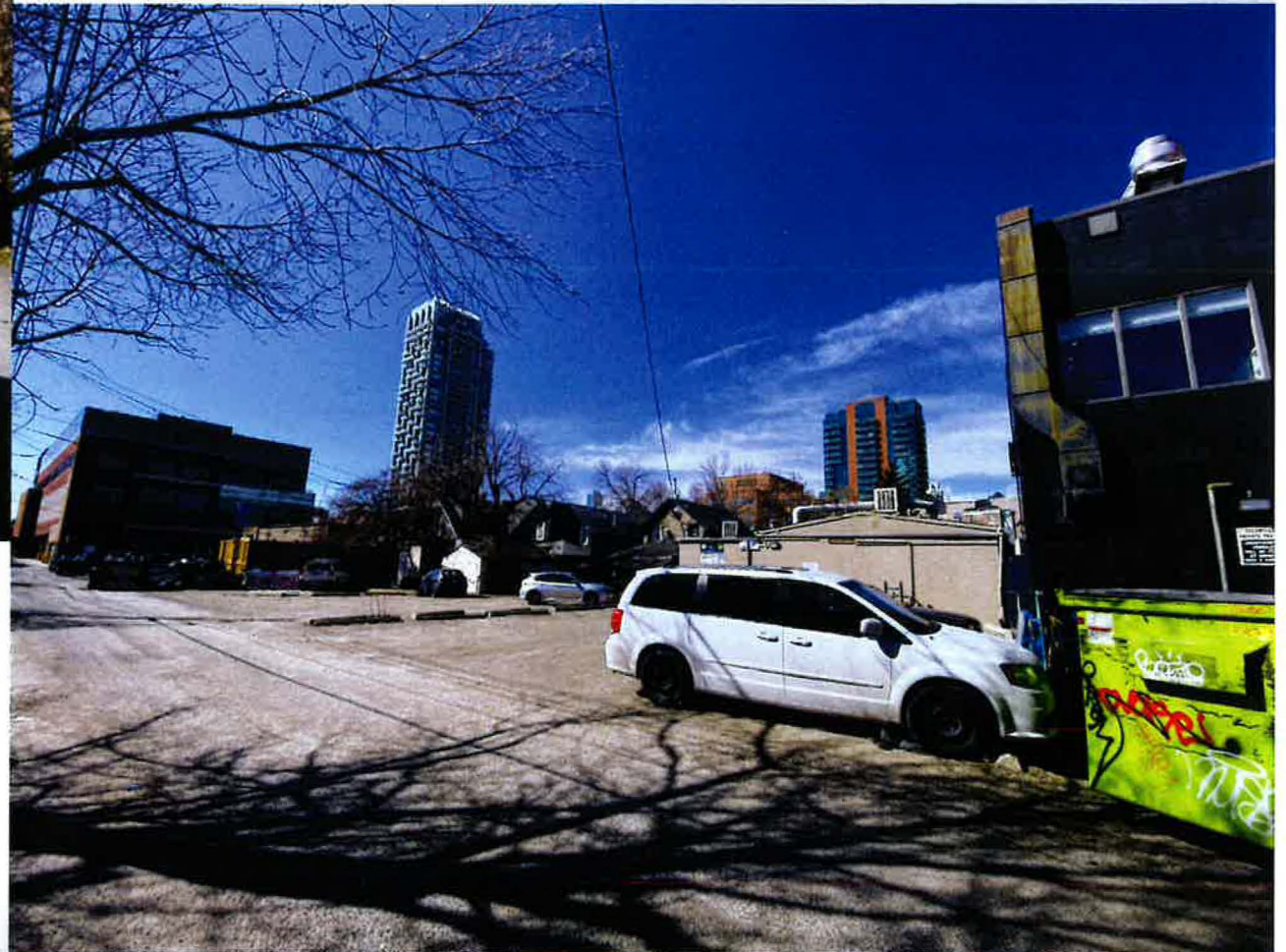
Looking East along 17 Ave SW

Site Photo(s)

6



Looking East at rear lane



Looking West at rear lane

Surrounding Land Use

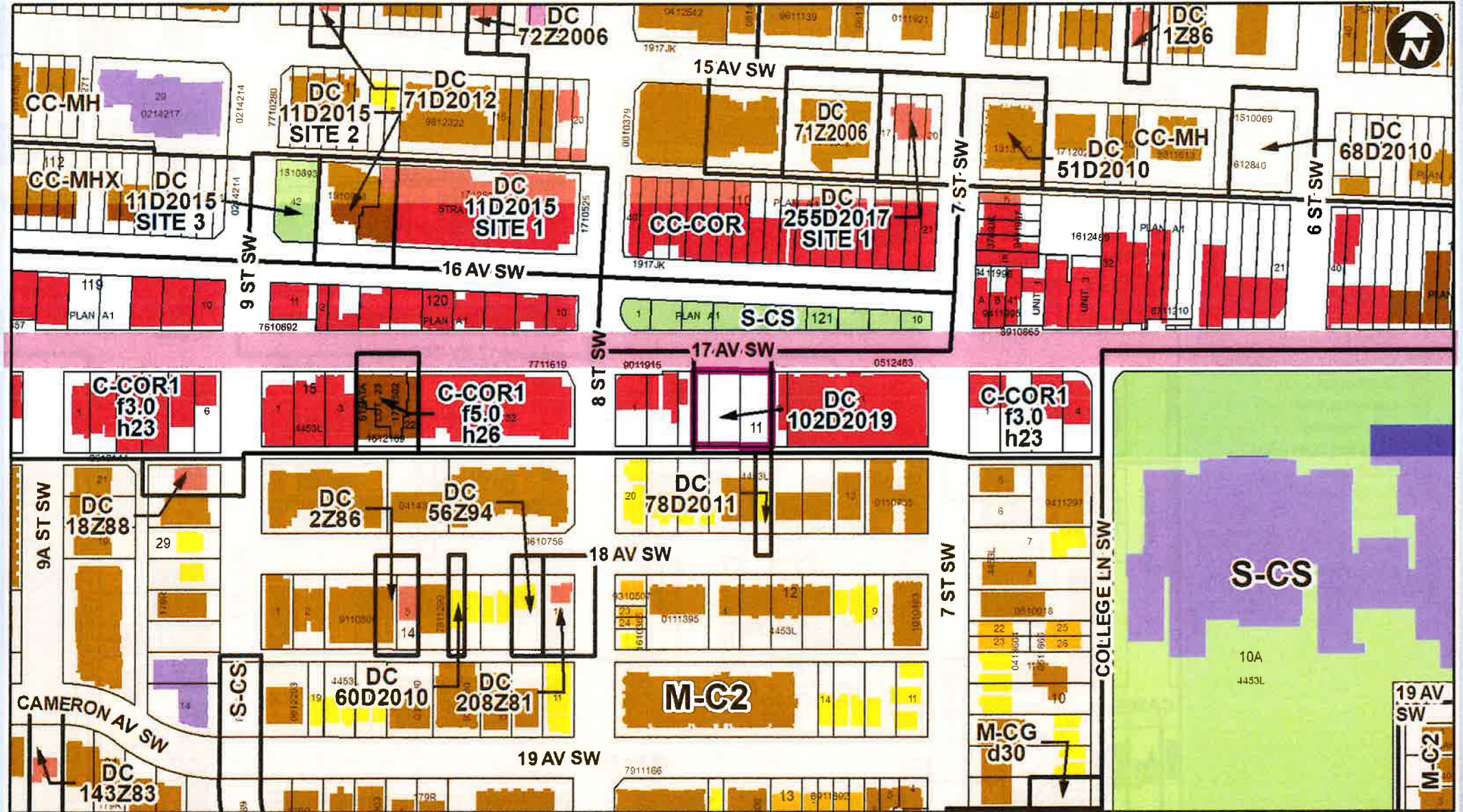
LEGEND

- Single detached dwelling
- Semi-detached / duplex detached dwelling
- Rowhouse / multi-residential
- Commercial
- Heavy Industrial
- Light Industrial
- Parks and Openspace
- Public Service
- Service Station
- Vacant
- Transportation, Communication, and Utility
- Rivers, Lakes
- Land Use Site Boundary



LEGEND

-  Single detached dwelling
-  Semi-detached / duplex detached dwelling
-  Rowhouse / multi-residential
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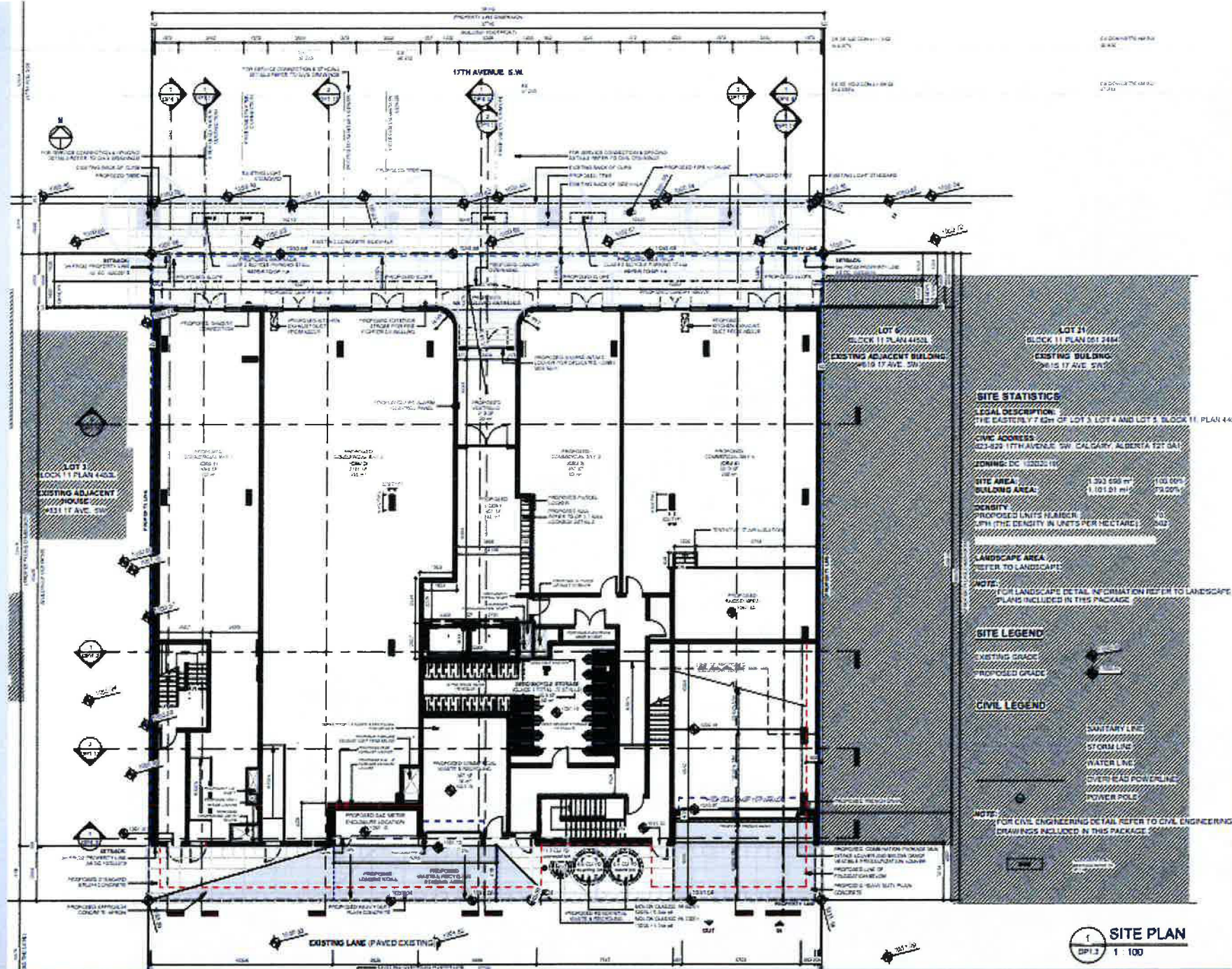
- Based on Commercial Corridor 1 (C-COR1)
- minimal setback area from a lane
- Maximum FAR of 3 with provision for additional FAR to 5
- Additional Floor Area Ratio

12 The following item must be provided as part of the relevant development permit to earn the increased floor area ratio as set out in subsection 8(2) of this Direct Control District:

(a) monetary contribution to the Heritage Incentive Reserve Fund in the amount of \$228,000.00.







LOT 3
BLOCK 11 PLAN 443E
EXISTING ADJACENT HOUSE 443E 17 AVE SW

LOT 4
BLOCK 11 PLAN 443E
EXISTING ADJACENT BUILDING 443E 17 AVE SW

LOT 5
BLOCK 11 PLAN 244M
EXISTING BUILDING 244M 17 AVE SW

SITE STATISTICS
LEGAL DESCRIPTION: THE EASTERN 7.76M OF LOT 3, LOT 4 AND LOT 5, BLOCK 11, PLAN 440
CIVIC ADDRESS: 223-229 17TH AVENUE S.W. CALGARY, ALBERTA T2T 0A1
ZONING: DC 10000 (R)

SITE AREA: 1,202,650 sq ft / 100.00%
BUILDING AREA: 1,101,511 sq ft / 91.52%

DENSITY
PROPOSED UNITS NUMBER: 701
SPM (THE DENSITY IN UNITS PER SQUARE METRE): 583

LANDSCAPE AREA: REFER TO LANDSCAPE

NOTE: FOR LANDSCAPE DETAIL INFORMATION REFER TO LANDSCAPE PLANS INCLUDED IN THIS PACKAGE

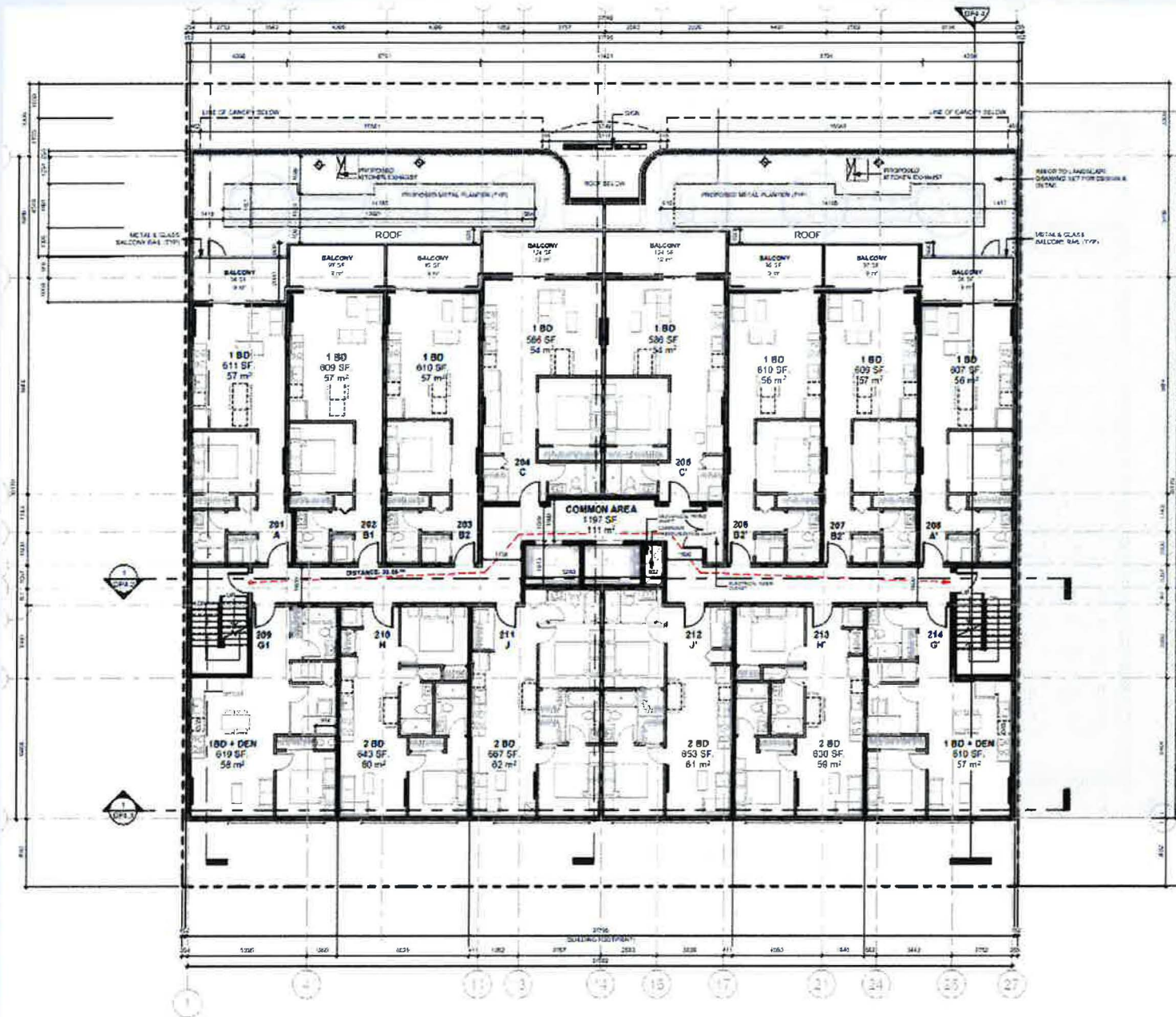
SITE LEGEND

- EXISTING GRADE
- PROPOSED GRADE

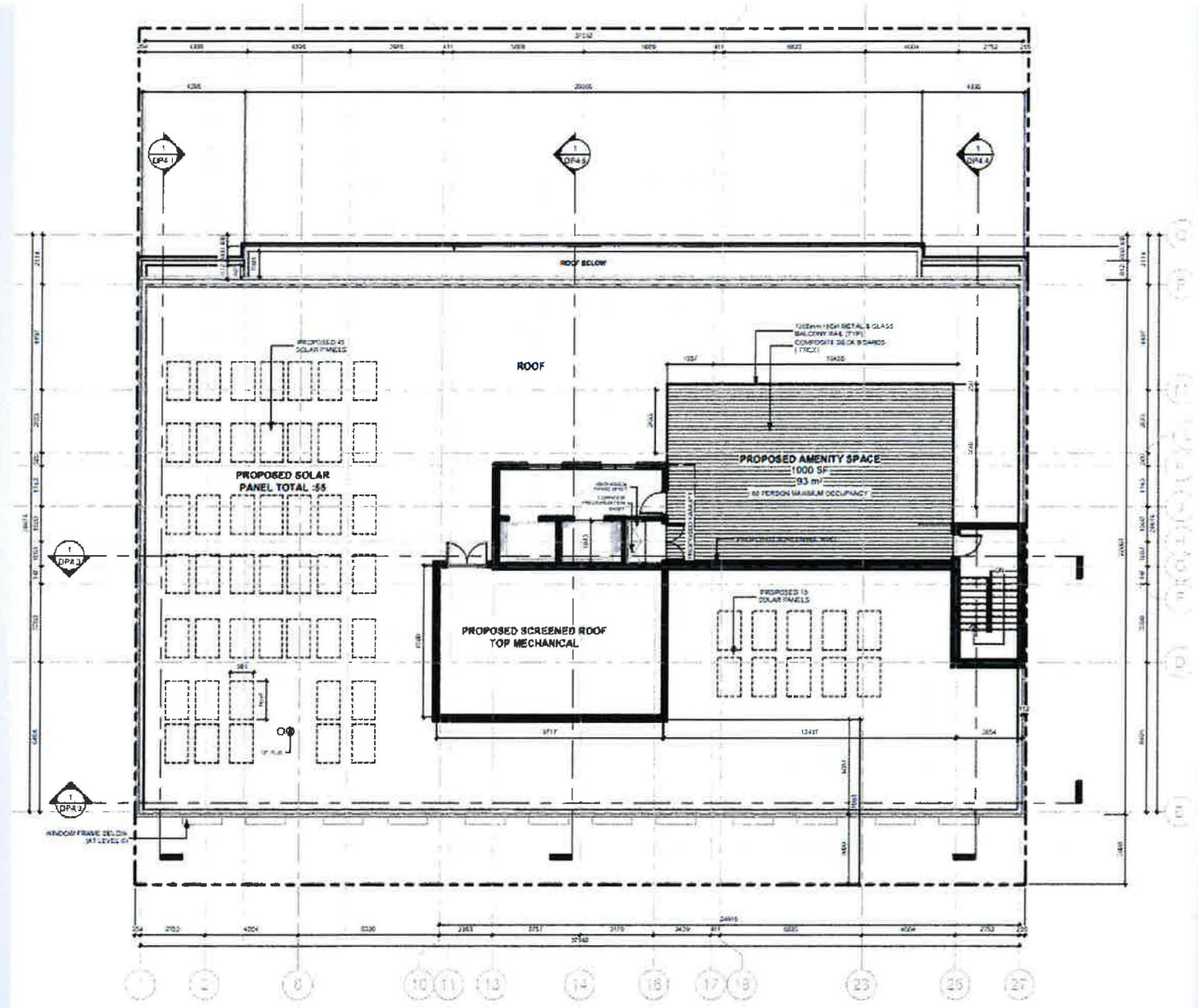
CIVIL LEGEND

- SANITARY LINE
- STORM LINE
- WATER LINE
- CIVIL ENGINEERING DETAIL
- POWER POLE

NOTE: FOR CIVIL ENGINEERING DETAIL REFER TO CIVIL ENGINEERING DRAWINGS INCLUDED IN THIS PACKAGE



1 LEVEL 2 FLOOR PLAN
DP2.2 1 : 100



1 ROOF LEVEL PLAN
DP2.5 1:100

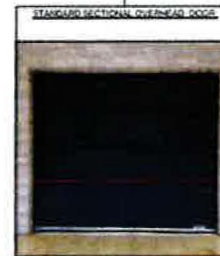
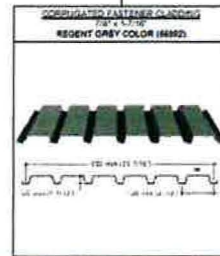
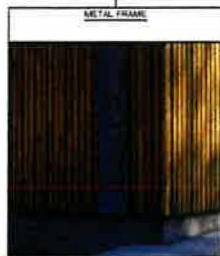
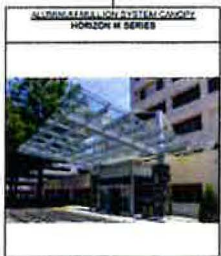
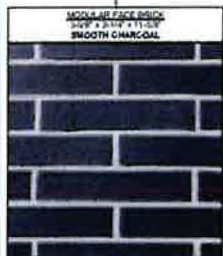
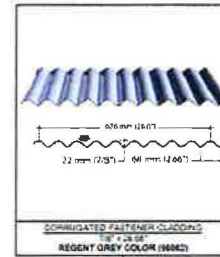
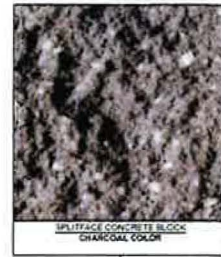
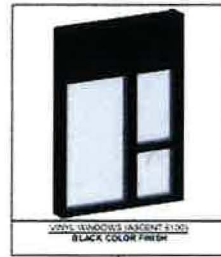


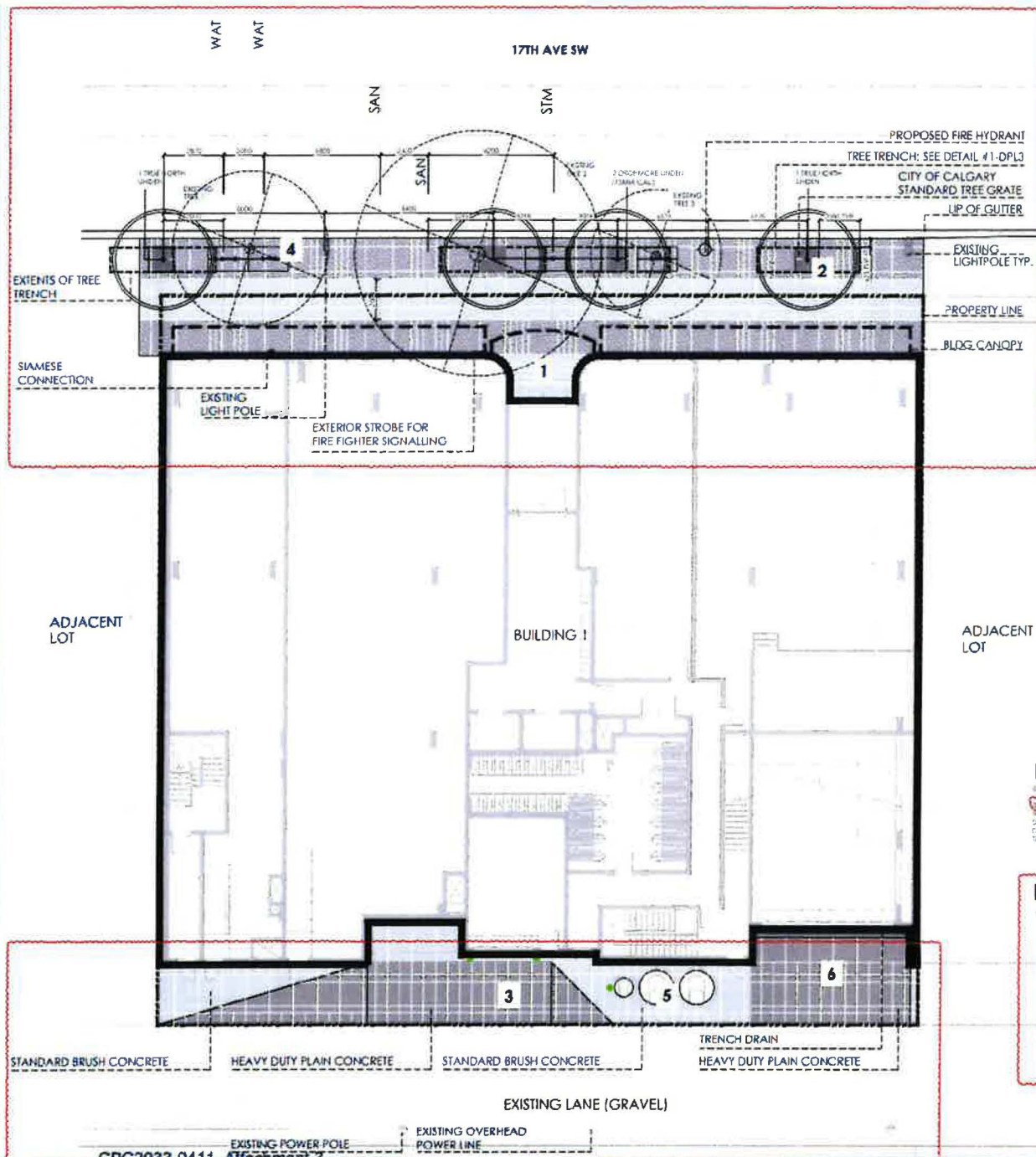
RECOMMENDATION:

That Calgary Planning Commission **APPROVE** the Development Permit DP2022-06848 for a New: Dwelling Unit, Retail and Consumer Service, Restaurant: Licensed located at 823 – 17 Avenue SW (Plan 4453L, Block 11, Lots 4 and 5 and a portion of Lot 3), with conditions (Attachment 2).

Supplementary Slides

Material Board 18





NOTES

1. THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
2. ALL PLANT MATERIAL TO COMPLY TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARD.
3. ALL PLANT MATERIAL SIZES SHOWN ARE IN MILLIMETERS.
4. DO NOT SCALE DRAWINGS.
5. ALL PLANTING AREAS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
6. ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND LOW WATER IRRIGATION SYSTEM WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
7. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

TOPSOIL AVAILABLE FOR PLANTINGS OVER STRUCTURE:
 TREES 150MM
 SHRUBS 400MM
 GRASS & PERENNIALS 300MM

LANDSCAPE ANALYSIS

TOTAL TREES PROVIDED = 10
 DECIDUOUS TREES PROVIDED = 10
 DECIDUOUS TREES WITH SANITARY CALLIPER REQUIRED = 4
 REMAINING DECIDUOUS TREES TO HAVE SANITARY CALLIPER
 TOTAL BOULEVARD TREES PROVIDED = 4

LEGEND

- CHARGED COLOR CONCRETE WITH CONTROL JOINT
- REGULAR GREY COLOR CONCRETE WITH CONTROL JOINT
- LIGHTLY SCHEDULED CONCRETE
- DECIDUOUS TREES
- EXISTING TREES TO BE REMOVED
- CLASS 2 BINE STAKES TOTAL QUANTITY 28
- SECURITY BOLLARD
- TREE GRATE TO THE CITY OF CALGARY STANDARD
- REVISION

1. MAIN ENTRANCE
2. BOULEVARD TREE PLANTING
3. LOADING AREA
4. BIKE RACK AREA
5. MOLOK BINS
6. PARKADE ENTRANCE

PLANTING SCHEDULE

Common Name	Latin Name	Job / Species	Quantity
Deciduous Tree	FRAXILIS PENNYC VANCE	300MM CAL	02
Deciduous Tree	FRAXILIS PENNYC VANCE	300MM CAL	02
Deciduous Tree	FRAXILIS PENNYC VANCE	300MM CAL	02

EXISTING TREE INFORMATION

- TREE 1**
- TREE SPECIES: FRAXILIS PENNYC VANCE
 - CALIPER OF TREE TRUNK: 300MM
 - HEIGHT OF TREE (LARGE AT MATURETY)
 - LOCATION OF THE CENTRE POINT OF THE TREE TRUNK. SEE PLAN
 - SCALED OUTLINE OF THE TREE CANOPY OR THE SEE PLAN
- TREE 2**
- TREE SPECIES: FRAXILIS PENNYC VANCE
 - CALIPER OF TREE TRUNK: 300MM
 - HEIGHT OF TREE (LARGE AT MATURETY)
 - LOCATION OF THE CENTRE POINT OF THE TREE TRUNK. SEE PLAN
 - SCALED OUTLINE OF THE TREE CANOPY OR THE SEE PLAN
- TREE 3**
- TREE SPECIES: FRAXILIS PENNYC VANCE
 - CALIPER OF TREE TRUNK: 250MM
 - HEIGHT OF TREE (LARGE AT MATURETY)
 - LOCATION OF THE CENTRE POINT OF THE TREE TRUNK. SEE PLAN
 - SCALED OUTLINE OF THE TREE CANOPY OR THE SEE PLAN



NOT FOR CONSTRUCTION

DESIGNED FOR	GAR
REVIEW	2022/03
DATE	21/07/22
BY	CP
CHECKED BY	TH
SCALE	1:100
DATE	2022/06
DRAWN BY	CP
CHECKED BY	TH

DP-L1
GROUND FLOOR LAYOUT PLAN

CPC2022 Attach

NAVAGRAH

2221 2 B01A

ROYAL PARK

NOT FOR CONSTRUCTION

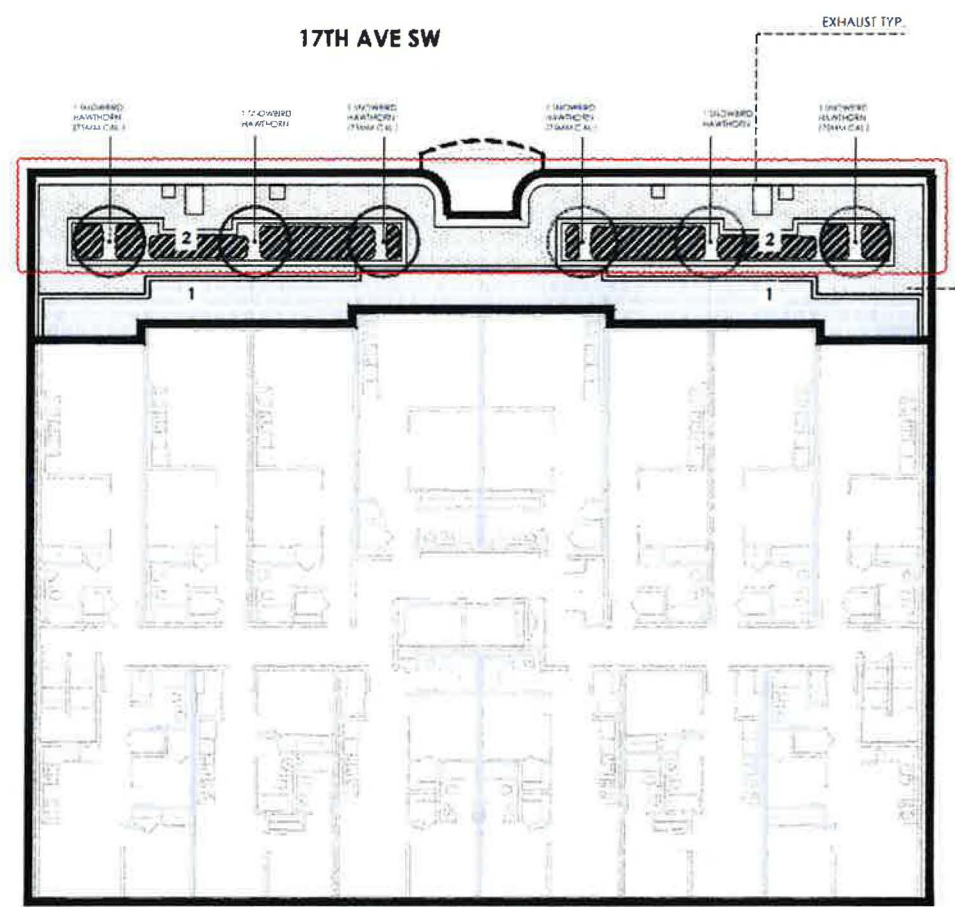
SCALE 1:100

DATE 202308

DRAWN BY CP

CHECKED BY TH

DP-L2 SECOND FLOOR LAYOUT PLAN



METAL AND GLASS BALCONY RAILING

LEGEND

- REGULAR GREY COLOR CONCRETE BAND
- FLOOR
- DECIDUOUS TREE
- PERENNIAL
- REVISED

1. PATIO BALCONY TYP.
2. PROPOSED 1070MM HT. PLANTER

PLANTING SCHEDULE

COMMON NAME	GEN. NAME	VEGET. CODE	QUANTITY
DECIDUOUS TREE (TOTAL DECIDUOUS TREES: 10) (95MM CAL)	CESTRUGL MICROFIDENS (SHOUBRO)	55MM CAL	02
SHOUBRO HAWTHORN	CESTRUGL MICROFIDENS (SHOUBRO)	75MM CAL	02
SHOUBRO HAWTHORN	CESTRUGL MICROFIDENS (SHOUBRO)	75MM CAL	02
DOGWOOD (SHOUBRO)	TRIA COEGLIF. DISFANGIS	55MM CAL	02
TRUE NORTH (SHOUBRO)	LA AMERICANA DURCO	55MM CAL	02

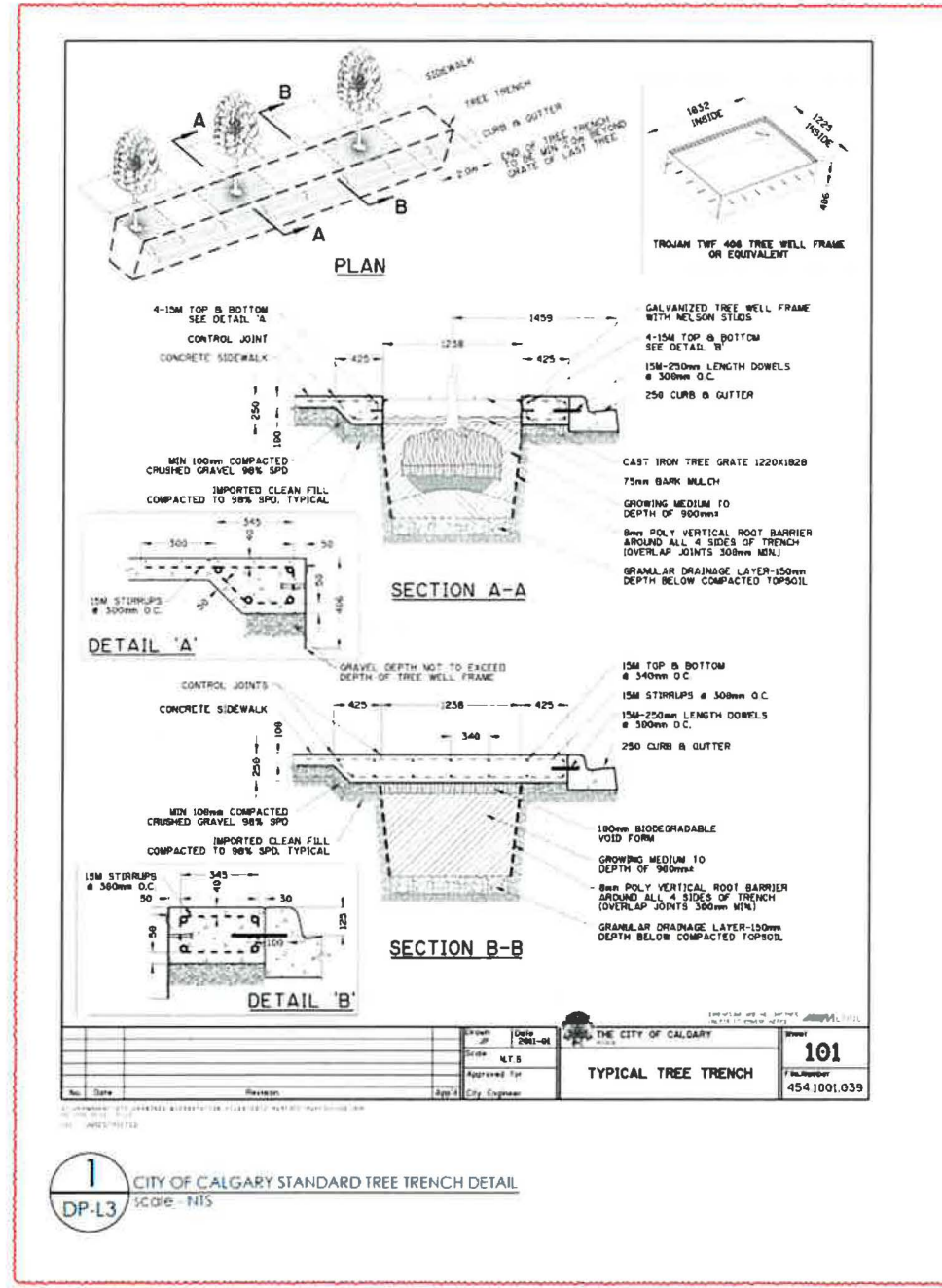


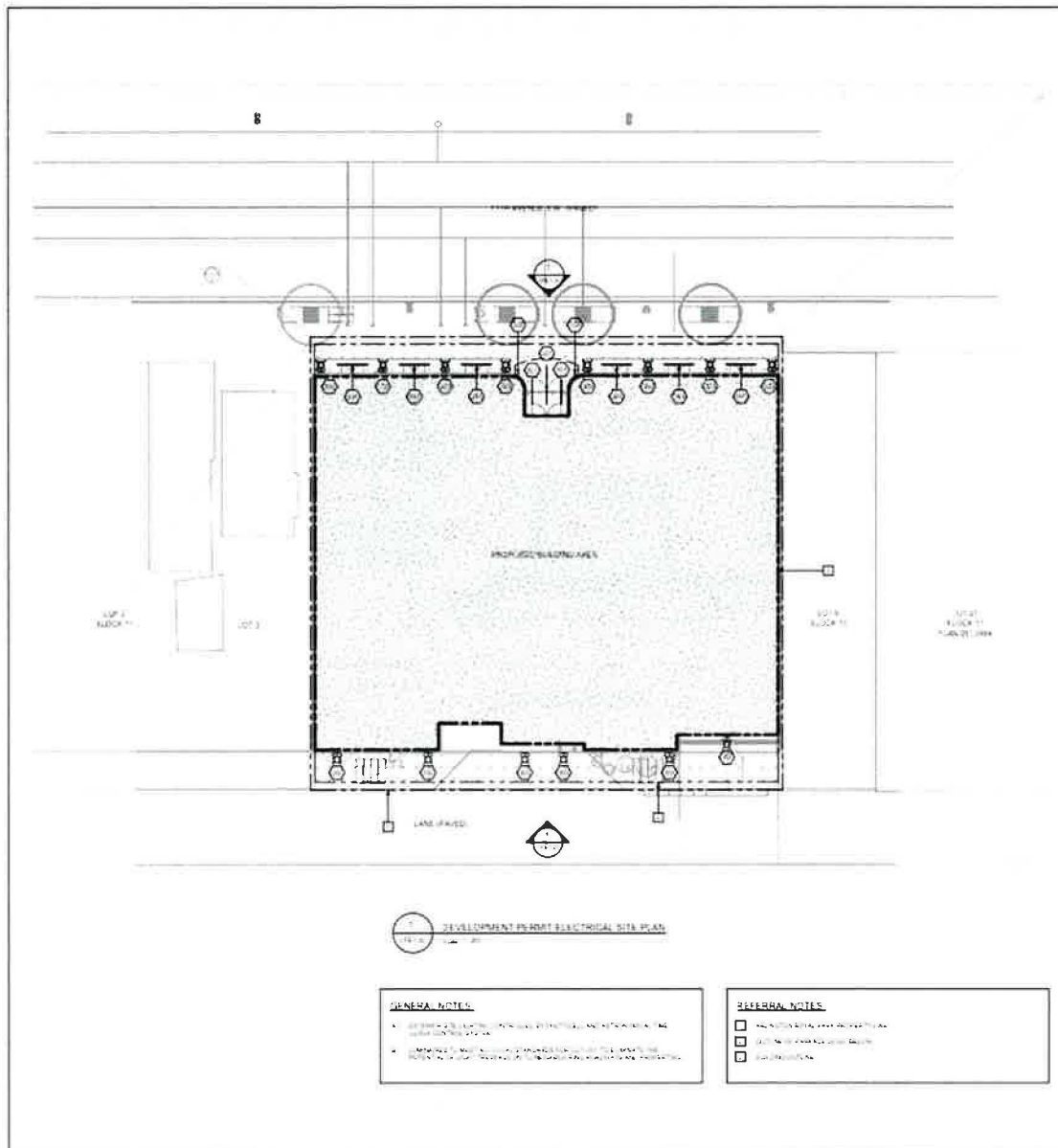
NOT FOR CONSTRUCTION

22018 80304
ROYAL PARK

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
DATE	202308
DRAWN BY	CP
CHECKED BY	PL

DP-L3 DETAILS





LIGHTING			
[Symbol]	LED RECESSED DOWNLIGHT	[Symbol]	LED RECESSED DOWNLIGHT
[Symbol]	LED RECESSED DOWNLIGHT	[Symbol]	LED RECESSED DOWNLIGHT
[Symbol]	LED RECESSED DOWNLIGHT	[Symbol]	LED RECESSED DOWNLIGHT
[Symbol]	LED RECESSED DOWNLIGHT	[Symbol]	LED RECESSED DOWNLIGHT

NO.	DESCRIPTION	MANUFACTURER	MODEL	WATTAGE	BEAM ANGLE	HEIGHT	NOTES
01	LED RECESSED DOWNLIGHT	PHILIPS	LED-01	15W	30°	1.2m	INSTALL IN GRID CEILING
02	LED RECESSED DOWNLIGHT	PHILIPS	LED-02	15W	30°	1.2m	INSTALL IN GRID CEILING
03	LED RECESSED DOWNLIGHT	PHILIPS	LED-03	15W	30°	1.2m	INSTALL IN GRID CEILING
04	LED RECESSED DOWNLIGHT	PHILIPS	LED-04	15W	30°	1.2m	INSTALL IN GRID CEILING
05	LED RECESSED DOWNLIGHT	PHILIPS	LED-05	15W	30°	1.2m	INSTALL IN GRID CEILING
06	LED RECESSED DOWNLIGHT	PHILIPS	LED-06	15W	30°	1.2m	INSTALL IN GRID CEILING
07	LED RECESSED DOWNLIGHT	PHILIPS	LED-07	15W	30°	1.2m	INSTALL IN GRID CEILING
08	LED RECESSED DOWNLIGHT	PHILIPS	LED-08	15W	30°	1.2m	INSTALL IN GRID CEILING
09	LED RECESSED DOWNLIGHT	PHILIPS	LED-09	15W	30°	1.2m	INSTALL IN GRID CEILING
10	LED RECESSED DOWNLIGHT	PHILIPS	LED-10	15W	30°	1.2m	INSTALL IN GRID CEILING
11	LED RECESSED DOWNLIGHT	PHILIPS	LED-11	15W	30°	1.2m	INSTALL IN GRID CEILING
12	LED RECESSED DOWNLIGHT	PHILIPS	LED-12	15W	30°	1.2m	INSTALL IN GRID CEILING
13	LED RECESSED DOWNLIGHT	PHILIPS	LED-13	15W	30°	1.2m	INSTALL IN GRID CEILING
14	LED RECESSED DOWNLIGHT	PHILIPS	LED-14	15W	30°	1.2m	INSTALL IN GRID CEILING
15	LED RECESSED DOWNLIGHT	PHILIPS	LED-15	15W	30°	1.2m	INSTALL IN GRID CEILING
16	LED RECESSED DOWNLIGHT	PHILIPS	LED-16	15W	30°	1.2m	INSTALL IN GRID CEILING
17	LED RECESSED DOWNLIGHT	PHILIPS	LED-17	15W	30°	1.2m	INSTALL IN GRID CEILING
18	LED RECESSED DOWNLIGHT	PHILIPS	LED-18	15W	30°	1.2m	INSTALL IN GRID CEILING
19	LED RECESSED DOWNLIGHT	PHILIPS	LED-19	15W	30°	1.2m	INSTALL IN GRID CEILING
20	LED RECESSED DOWNLIGHT	PHILIPS	LED-20	15W	30°	1.2m	INSTALL IN GRID CEILING



AREA DESCRIPTION	AREA (SQ. M)	AREA (SQ. FT)	AVG. HGT. (M)	AVG. HGT. (FT)
WORKING AREA	100	1076	2.4	7.9
OFFICE AREA (LOADING AREA)	15	163	2.4	7.9

NO.	DESCRIPTION	DATE
01	DP ELECTRICAL SITE PLAN	2022-06-15
02	DP ELECTRICAL SITE PLAN - POINT-BY-POINT	2022-06-15

GENERAL NOTES

- 1. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CANADIAN ELECTRICAL CODE (CEC).
- 2. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

REFERENCE NOTES

- 1. CANADIAN ELECTRICAL CODE (CEC)
- 2. MANUFACTURER'S INSTALLATION INSTRUCTIONS

DAAS
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ARLINGTON GROUP

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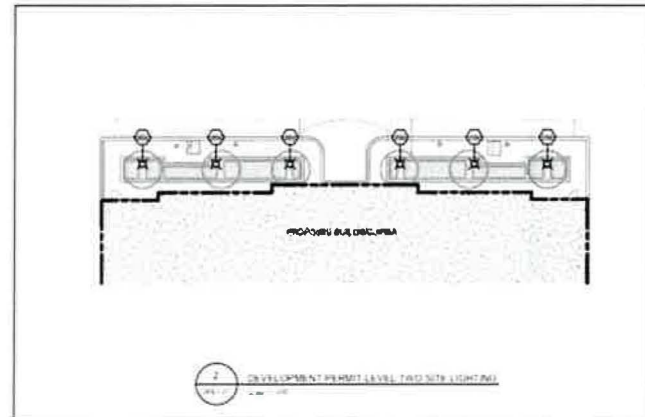
PROJECT ENGINEER
NAYANAR LANDSCAPE ARCHITECTURE
SUITE 101, 1100-11th St SW
CALGARY AB T2P 0A1
T: 403 278 2400

No. Description Date

Owner
ENZO
523 829 17th Avenue SW, 121 0A1
CALGARY ALBERTA

Drawing No.
DP ELECTRICAL SITE PLAN - POINT-BY-POINT

Project Number: 22105
Issued: 2022-02-06
Drawn by: KT MB Checked by: VM
Drawing Number: **DPE1.00**
Scale: 1:200



MULTIMEDIA

DAAS

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CIVIL ENGINEER
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 E info@navigant.ca

No.	Description	Date

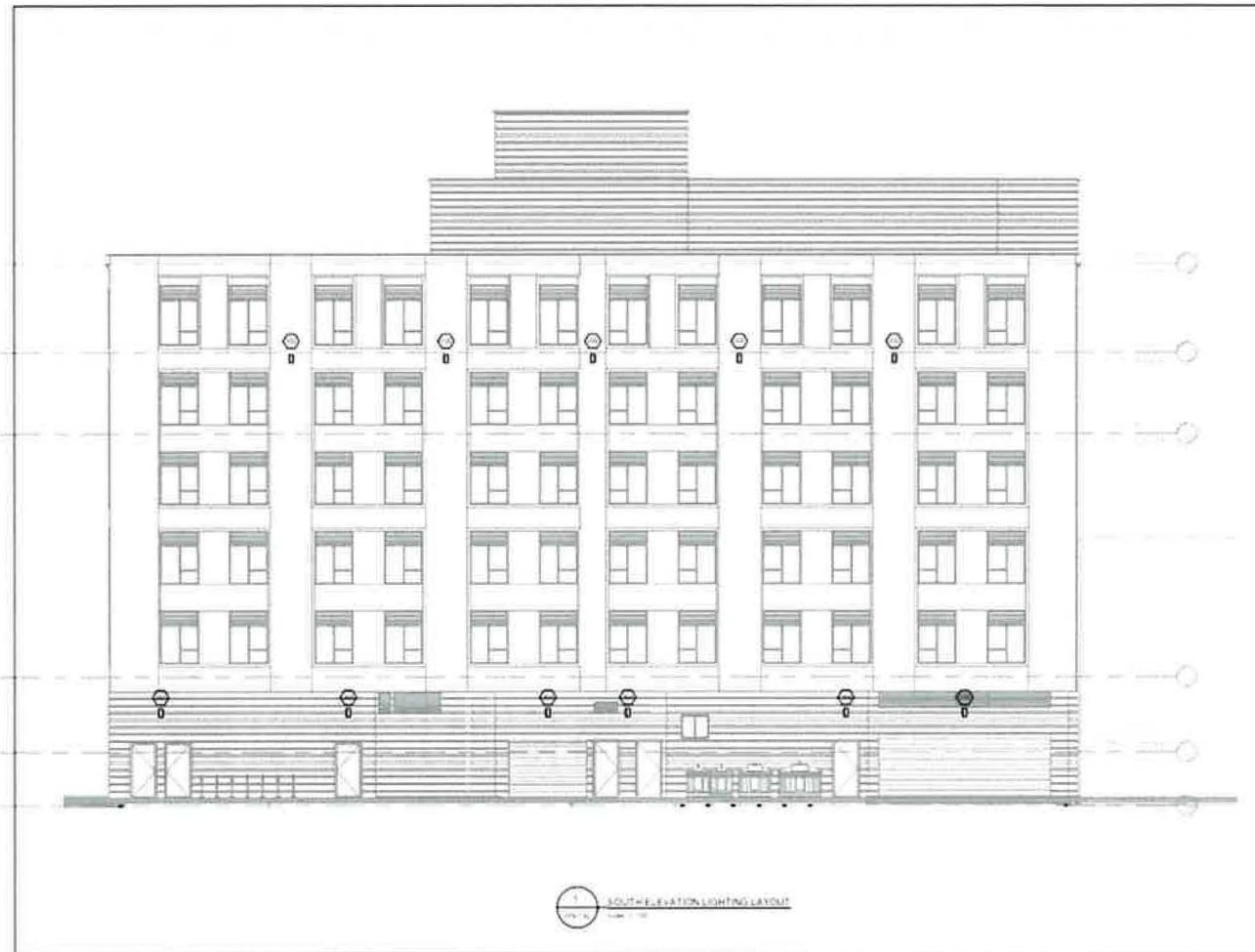
Owner

ENZO
 823-829 17TH AVENUE SW T2T 0A1
 CALGARY ALBERTA

Drawing Title DP NORTH
 ELEVATION & LEVEL
 TWO SITE LIGHTING
 LAYOUTS

Project Number 22165
Issued 2023-03-06
Drawn by K.T. MB **Checked by** JSM
Drawing number **DPE1.01**
Scale As indicated

Page 54 of 68



DAAS
DESIGN AND ARCHITECTURE STUDIO

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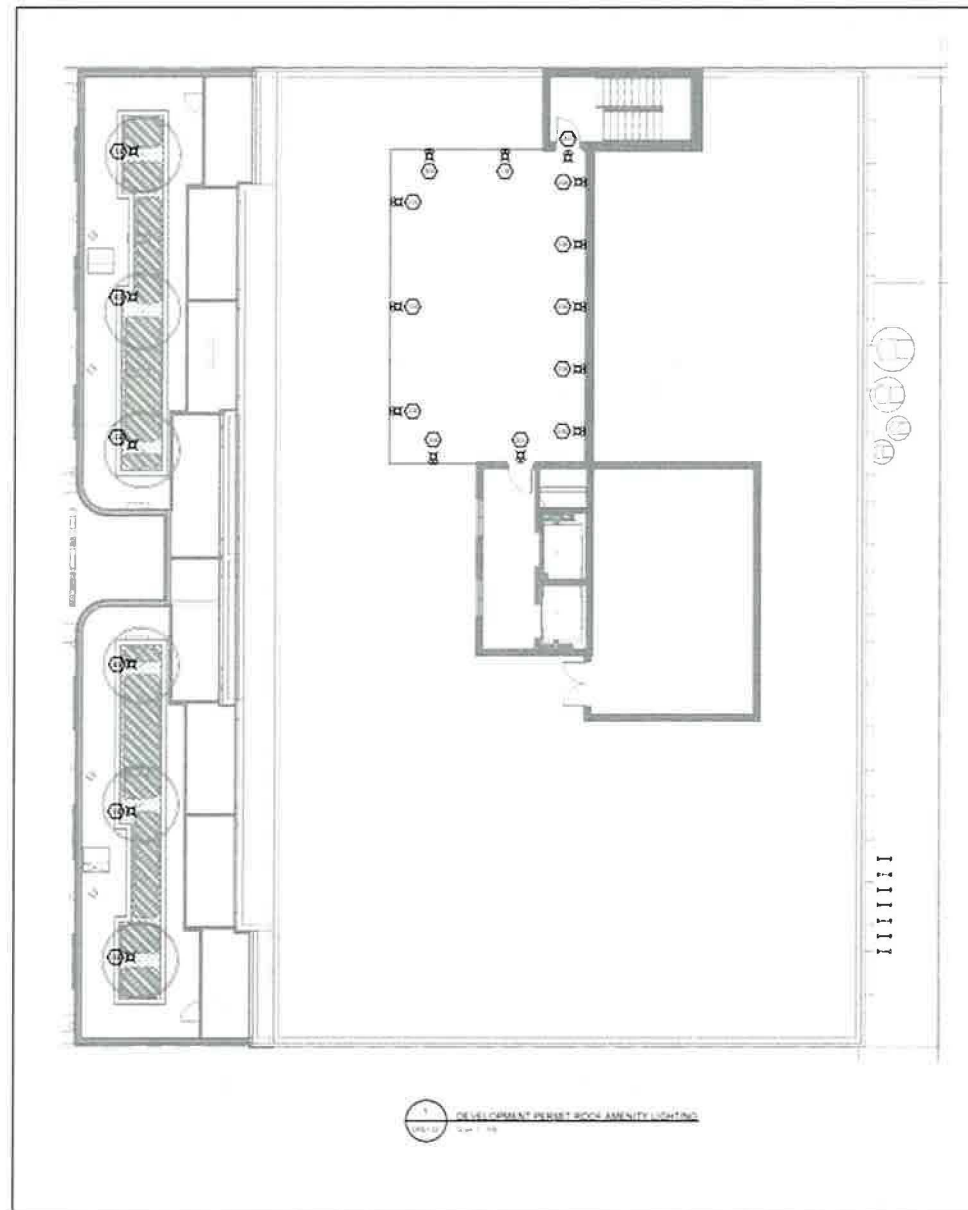
No.	Description	Date

Owner

ENZO
823-825 17TH AVENUE SW T2T 0A1
CALGARY ALBERTA

DP SOUTH ELEVATION

Project number: 22165
Issued: 2023-02-06
Drawn by: KT MB Checked by: NM
Drawing number: **DPE1.02**
Scale: 1/100



1 DEVELOPMENT PERMIT SPEC AMENITY LIGHTING
 Date: 1/18

DAAS
 DESIGN AND ARCHITECTURE STUDIO

ARLINGTON GROUP

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 T 403 530 2100

MERCHANDISE CONSULTANT
 HENRIKSSON DESIGN ARCHITECTURE GROUP
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 Calgary AB T2M 0T1
 T 403 326 1022

ELECTRICAL ENGINEER
 DESIGNLINE ENGINEERING LTD
 #101 4720 13 St SW
 Calgary AB T2C 4K5
 T 403 276 2125

LANDSCAPE ARCHITECT
 SAFTI CONSULTING GROUP
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 CALGARY AB T2A 0R4
 T 403 270 2027

LANDSCAPE ARCHITECT
 NAVAGHAN LANDSCAPE ARCHITECTURE
 LANDSCAPE
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 T 403 248 2179
 E info@navaghan.ca

No.	Description	Date

Owner

ENZO
 523-829 17TH AVENUE SW T2T 0A1
 CALGARY ALBERTA

Drawn By

**DP ELECTRICAL
 ROOF PLAN**

Project Number 22165
Issued 2023-02-08
Drawn by KJ **Checked by** VM
Drawing Number DPE1.03
Scale 1:100
 Drawn: 50 of 50

NOTES

ALL DIMENSIONS AND DIMENSIONS BETWEEN ALL DIMENSIONS ARE IN METERS
UNLESS OTHERWISE NOTED
ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

LEGEND

LEGAL AND SURFACE	
	EASEMENT
	UTILITY EASEMENT
	FIRE LANE
	DRIVEWAY
	FIRE HYDRANT
	WATER MAIN
	SEWER MAIN
	STORM MAIN
	STREET
	SIDEWALK
	CURB
	GAS MAIN
	ELECTRIC MAIN
	WATER MAIN
	SEWER MAIN
	STORM MAIN
	STREET
	SIDEWALK
	CURB
	GAS MAIN
	ELECTRIC MAIN
	WATER MAIN
	SEWER MAIN
	STORM MAIN



NO.	DESCRIPTION	DATE	BY	REV
01	ISSUED FOR PERMITTING	2023/04/20	JLR	1
02	REVISIONS			

DATE	BY	REV

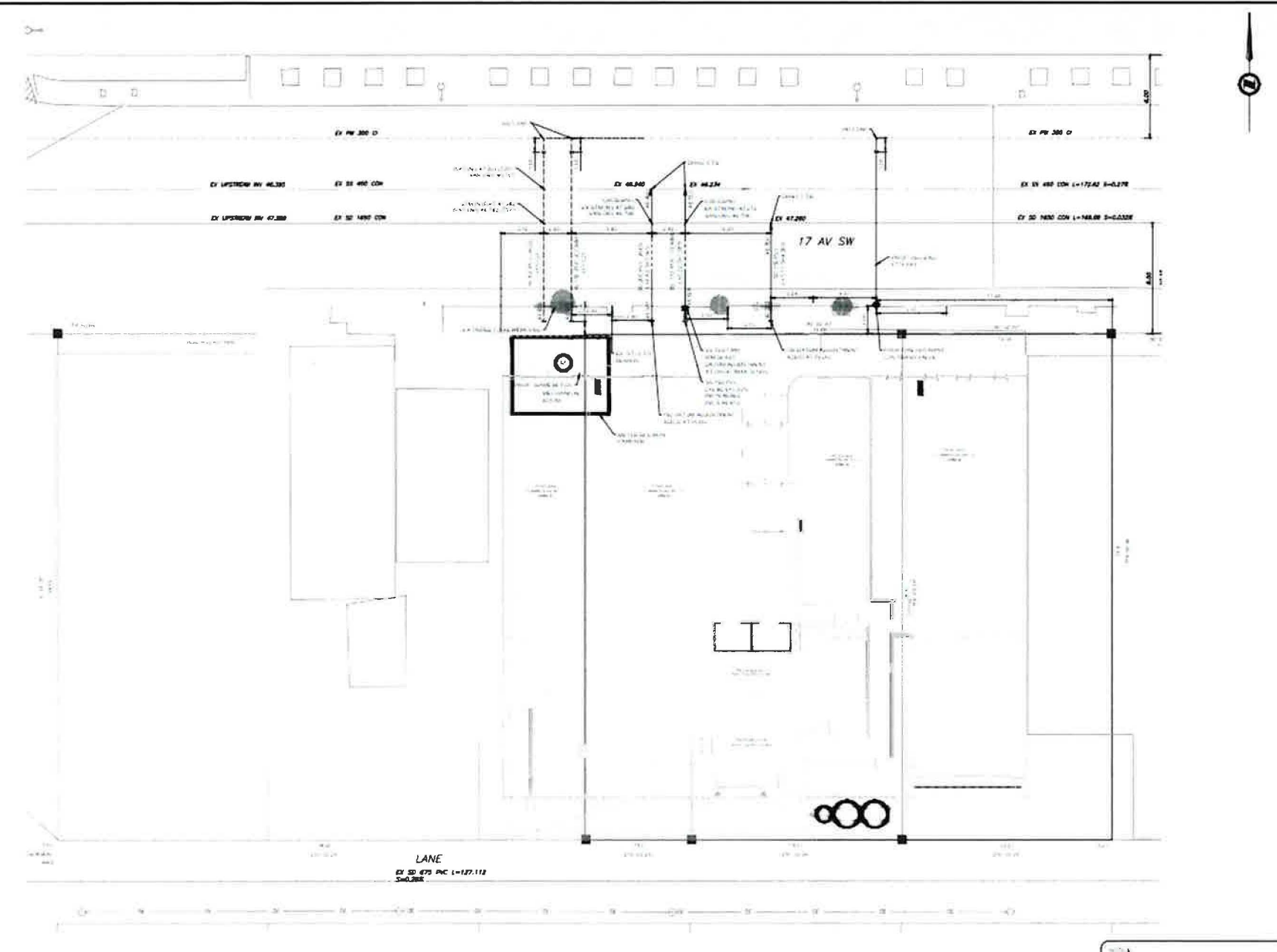


ENZO ON 17TH
DEVELOPMENT SITE SERVICING PLAN

SITE SERVICING PLAN

PROJECT NO.	
DATE	
CLIENT	
PROJECT ADDRESS	
PROJECT ID	C01

DATE	
BY	

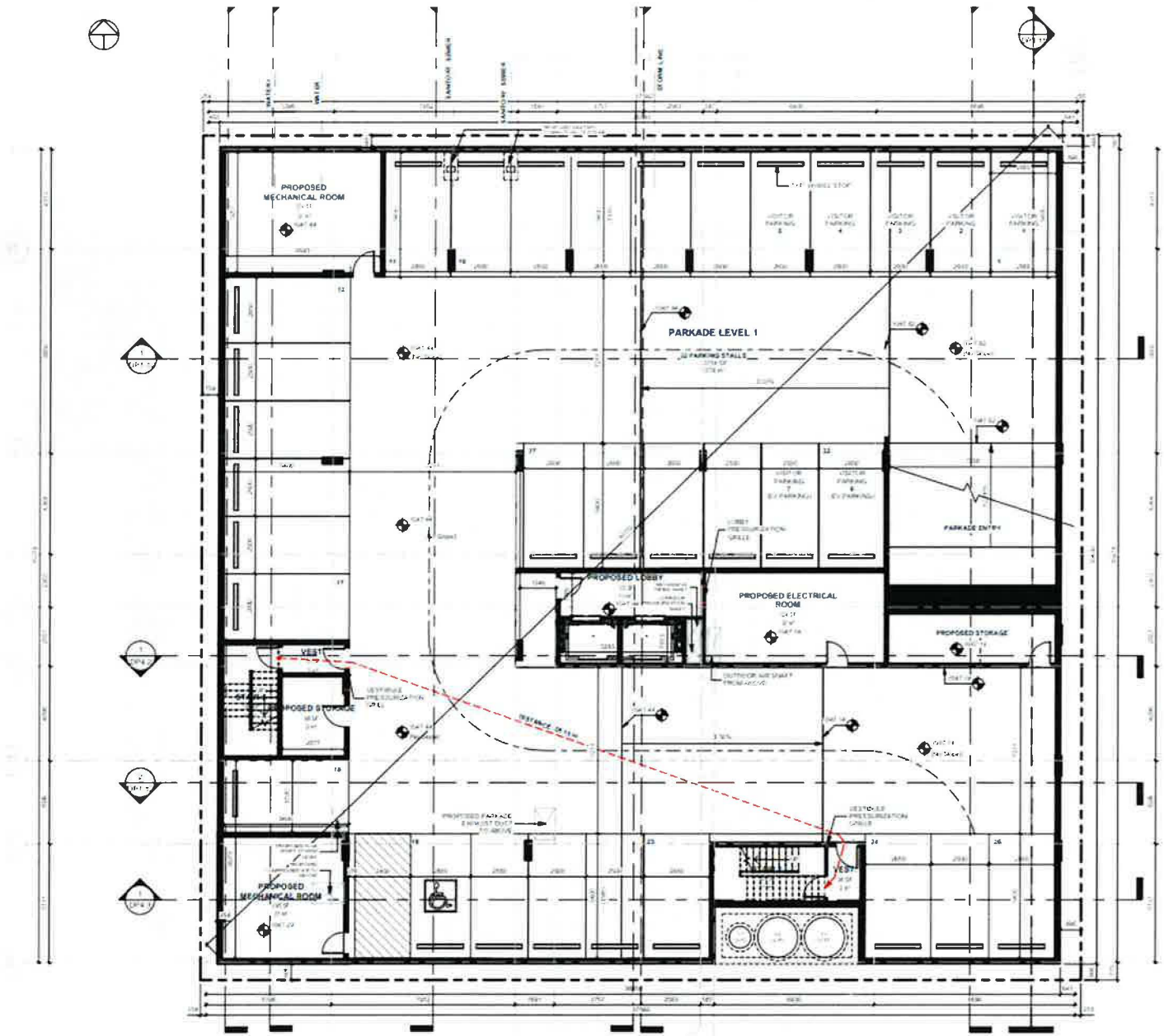


NOTES

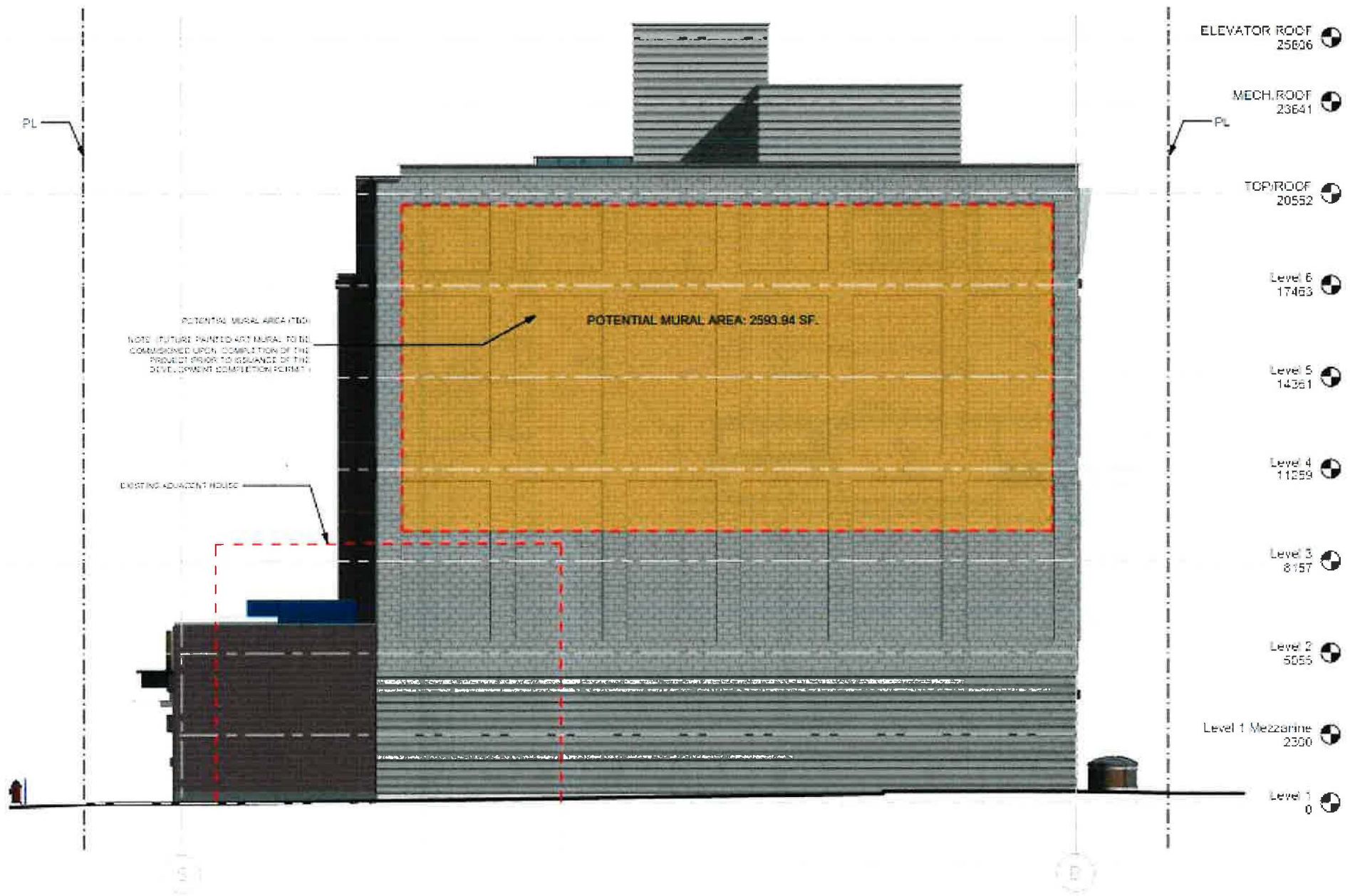
ALL DIMENSIONS AND DIMENSIONS BETWEEN ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED



1 PARKADE LEVEL 1 PLAN
DP2 0 1 : 100



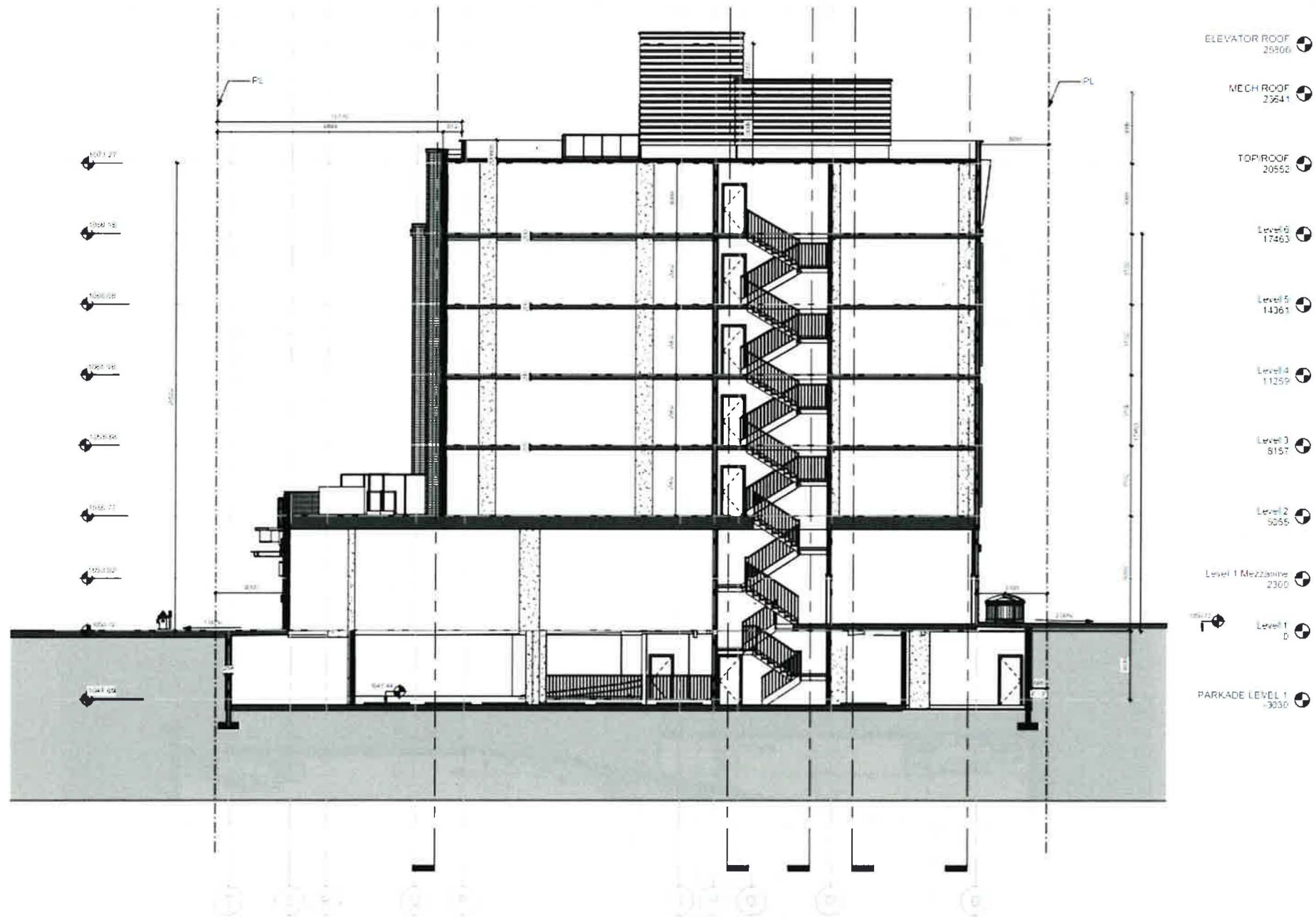
POTENTIAL MURAL AREA (TO BE COMMISSIONED UPON COMPLETION OF THE PROJECT PRIOR TO ISSUANCE OF THE DEVELOPMENT COMPLETION PERMIT)

POTENTIAL MURAL AREA: 2593.94 SF.

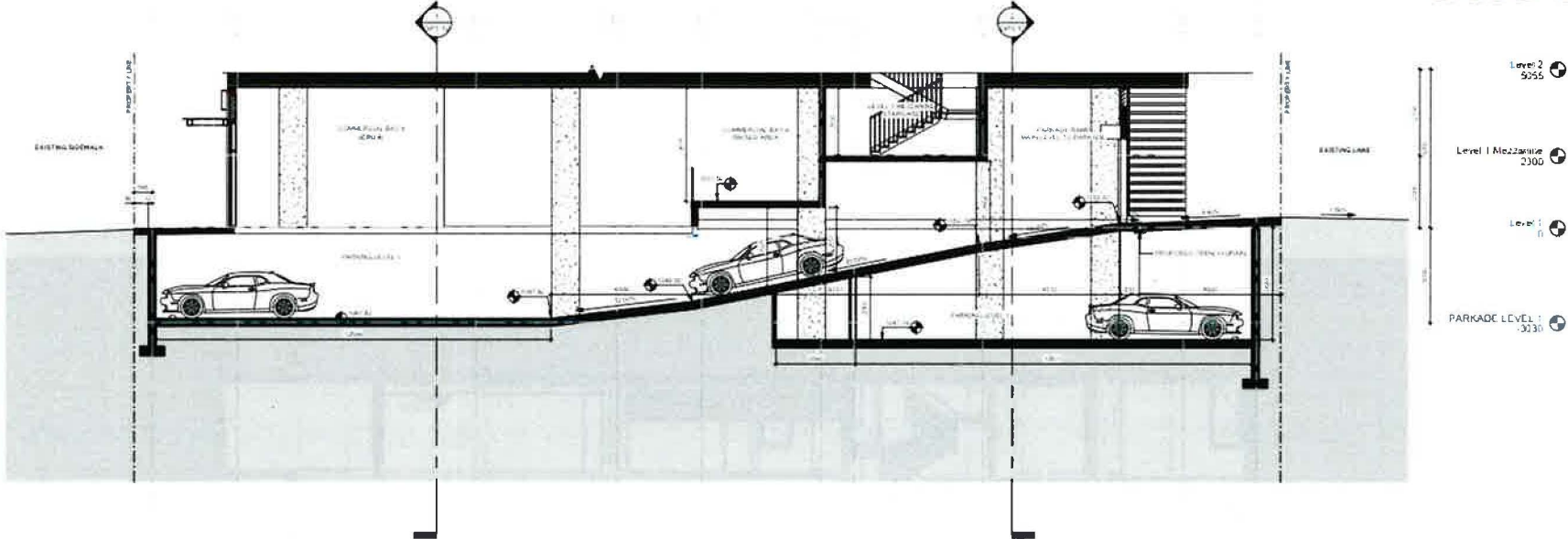
EXISTING ADJACENT HOUSE

- ELEVATOR ROOF 25606
- MECH. ROOF 23641
- TOP ROOF 20592
- Level 6 17463
- Level 5 14361
- Level 4 11259
- Level 3 8157
- Level 2 5055
- Level 1 Mezzanine 2300
- Level 0

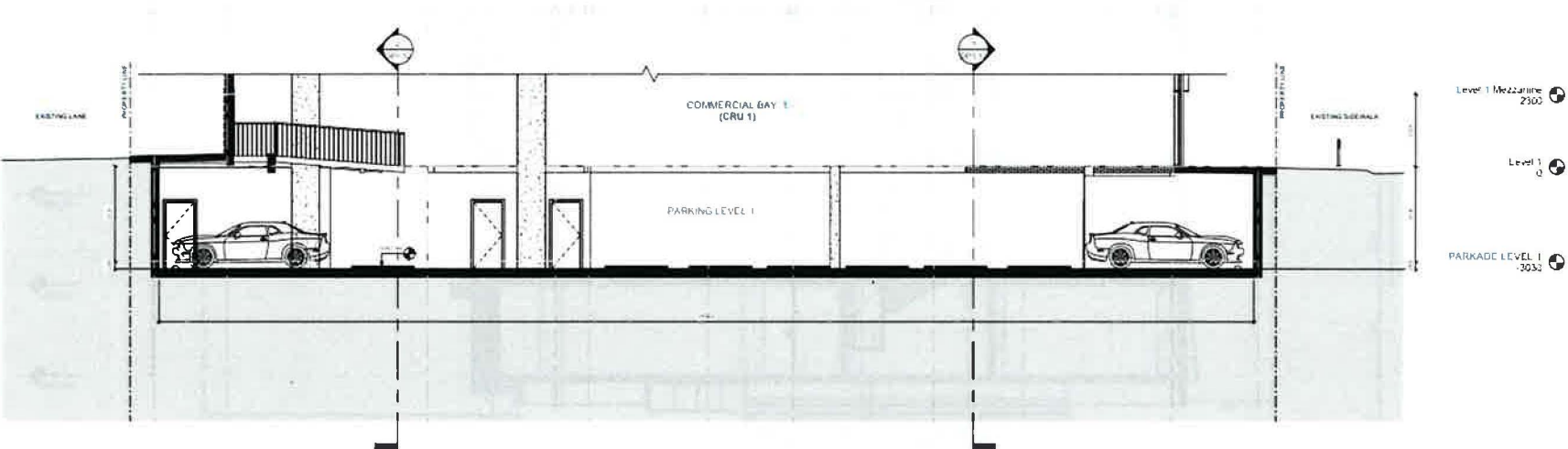
1 WEST COLOR ELEVATION
DPS.4 1 : 100



1 BUILDING SECTION 1
 DP4.1 1:100



1 PARKADE RAMP SECTION 1
DPI 1/4" = 1' 7 1/2"



2 PARKADE RAMP SECTION 2
DPI 1/4" = 1' 7 1/2"

