

Development Permit Plans

MIXED-USE DEVELOPMENT - DP APPLICATION

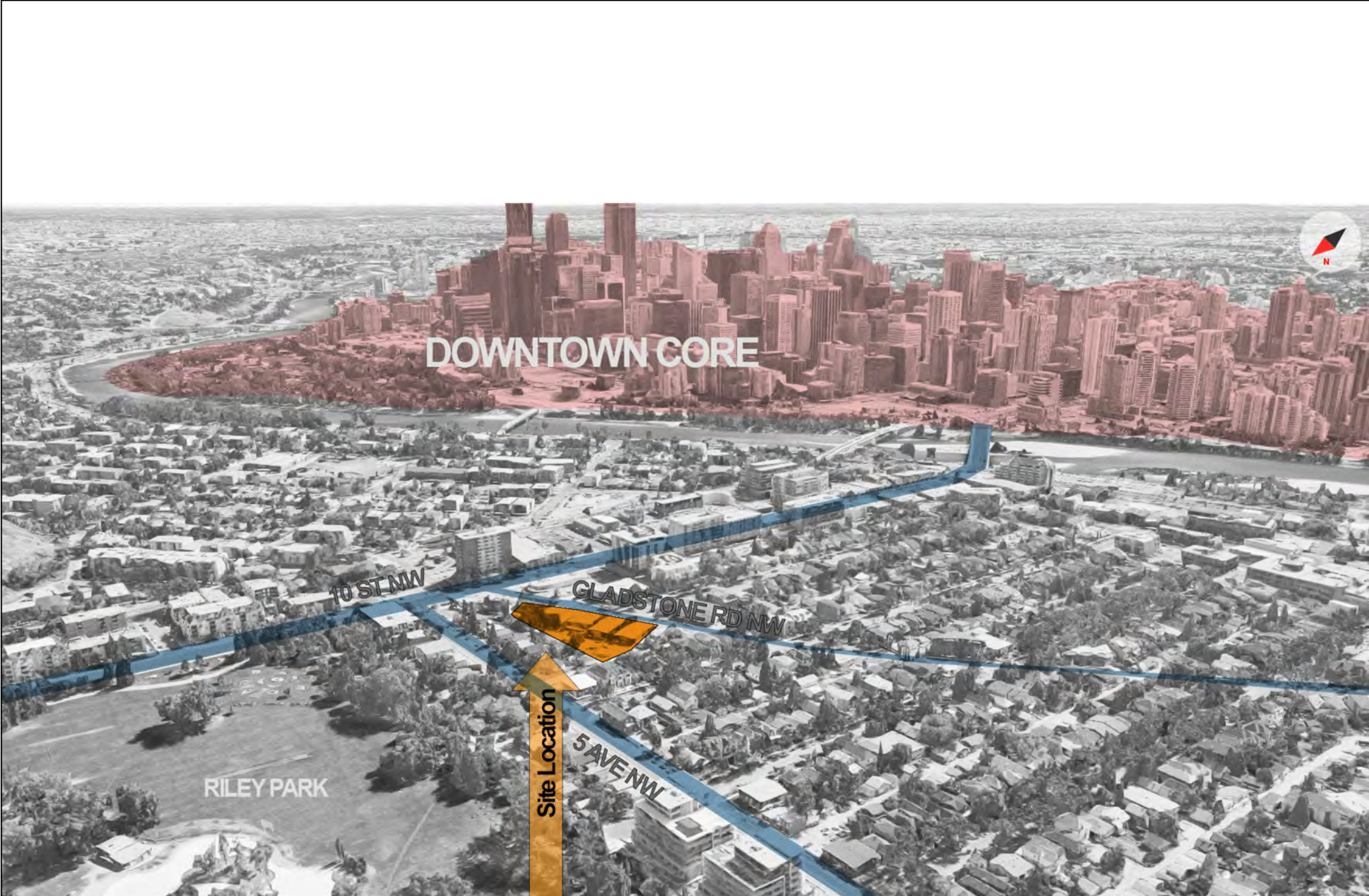


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1110-1126 Gladstone Rd, NW, Calgary, AB
ISSUED FOR DEVELOPMENT PERMIT APPLICATION
JANUARY 31, 2023



BUILDER'S RESPONSIBILITY TO LAYOUT WORK
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PROJECT:
MIXED-USE DEVELOPMENT

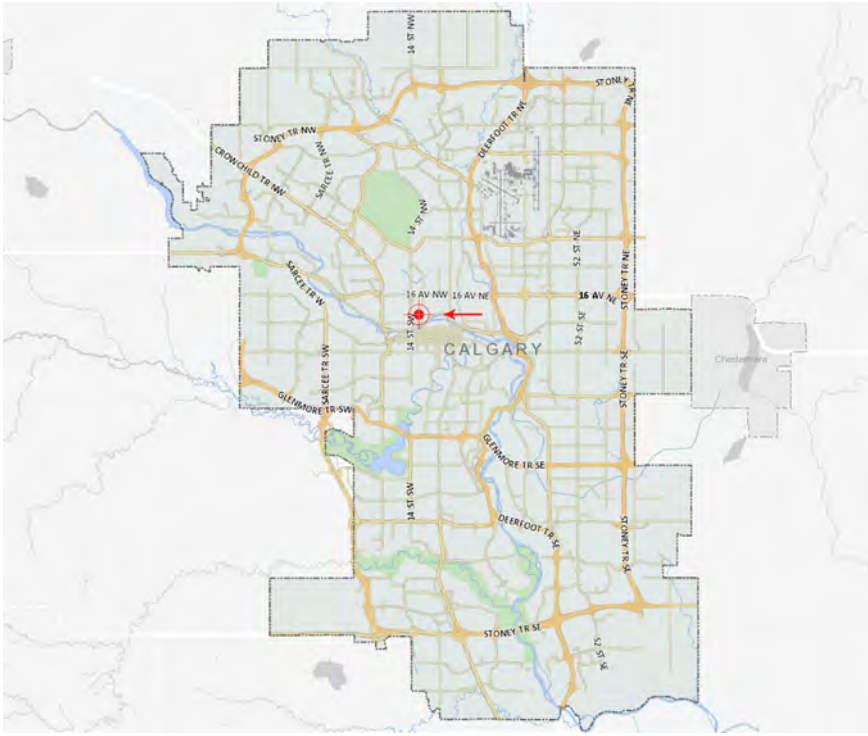
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DATE: 02/08/21	
SCALE:	
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2020-21E	
SHEET TITLE:	

PROJECT LOCATION

DRAWING NO:	REVISION No:
A0.01	



STREET VIEW LOOKING EAST (RARE)



STREET VIEW LOOKING EAST (FRONT)



STREET VIEW LOOKING WEST (FRONT)



STREET VIEW LOOKING WEST (FRONT)



AERIAL VIEW LOOKING SOUTH



AERIAL VIEW LOOKING WEST



PROJECT LOCATION

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PROJECT:
MIXED-USE DEVELOPMENT

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DATE:	08/30/2022
SCALE:	
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VICINITY PLANS

DRAWING NO.:	REVISION NO.:
A0.02	



VIEW 1: EXIST. SITE STREET



AERIAL VIEW OF SITE



VIEW 2: EXIST. NEIGHBOURHOOD



VIEW 3: EXIST. NEIGHBOURHOOD

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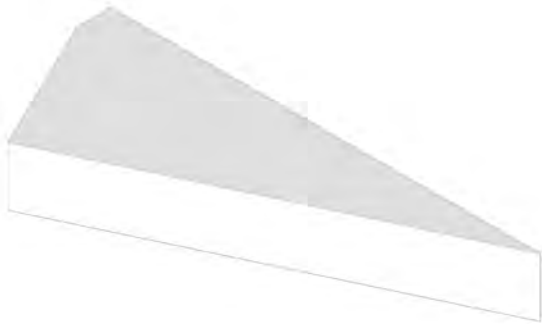
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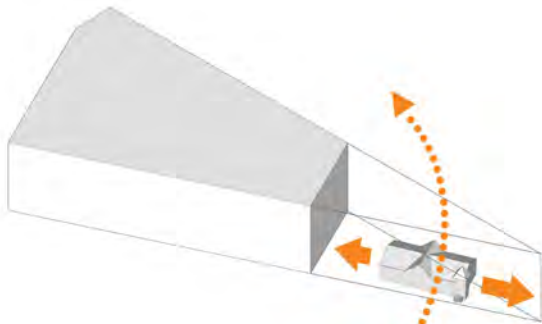
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EXISTING CONTEXT

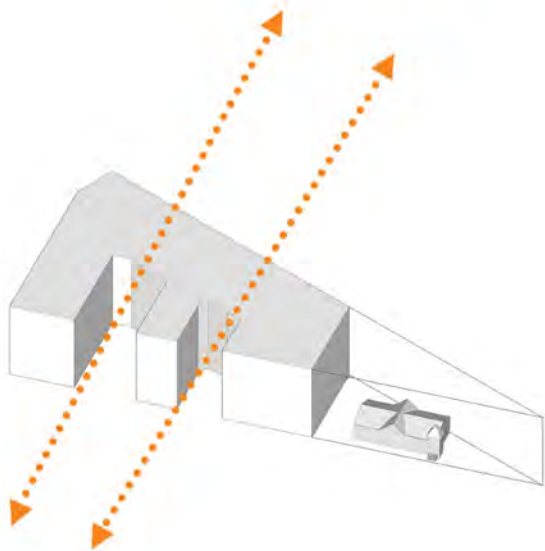
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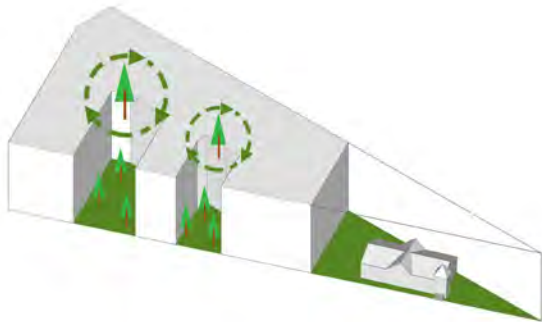
1. Start by following the geometry of the site.



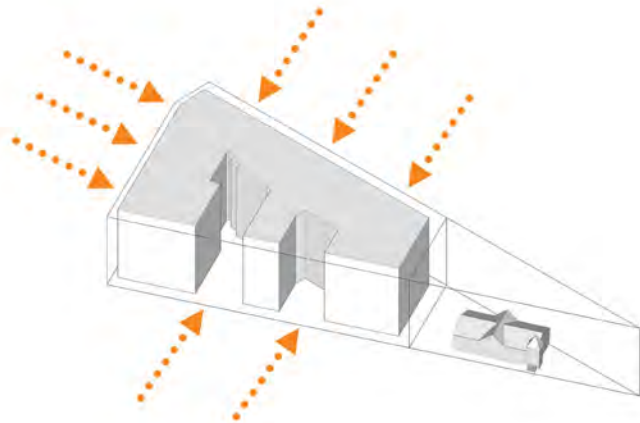
2. Retain the existing church building.



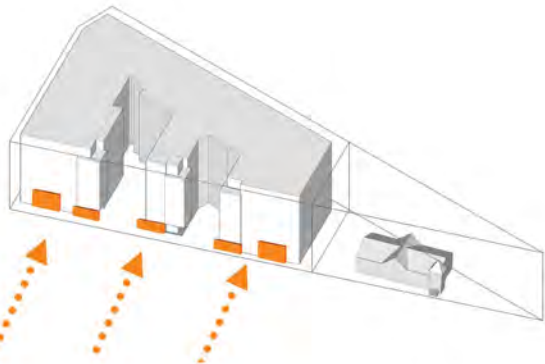
3. Reduce building mass, maximize light, and create social space



4. Two courtyards increase green space and provide community gathering.



5. Building setback along the street and lane create active ground floor residential units with patios and landscaping



6. Pedestrian scale details at the ground oriented unit entries, creating attractive streetscape

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MIXED-USE DEVELOPMENT

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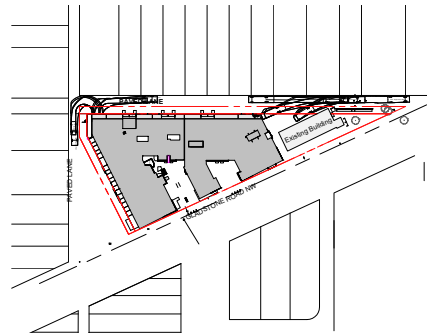
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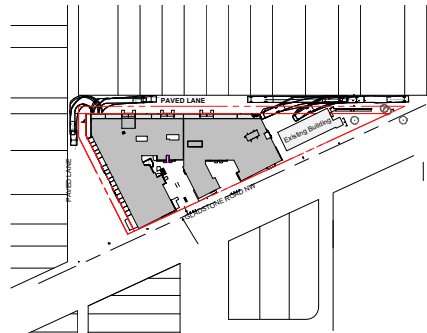
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**MASSING ANALYSIS -
DIAGRAM**

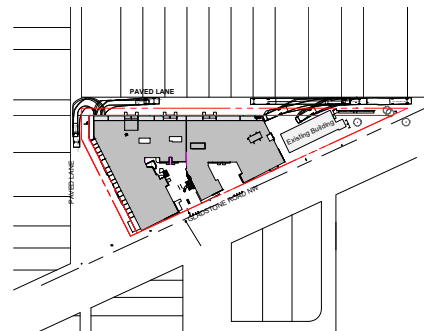
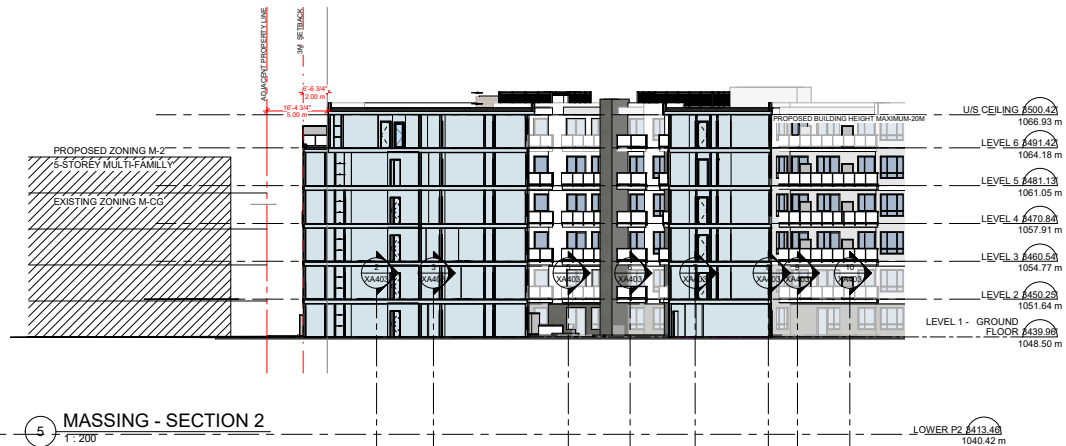
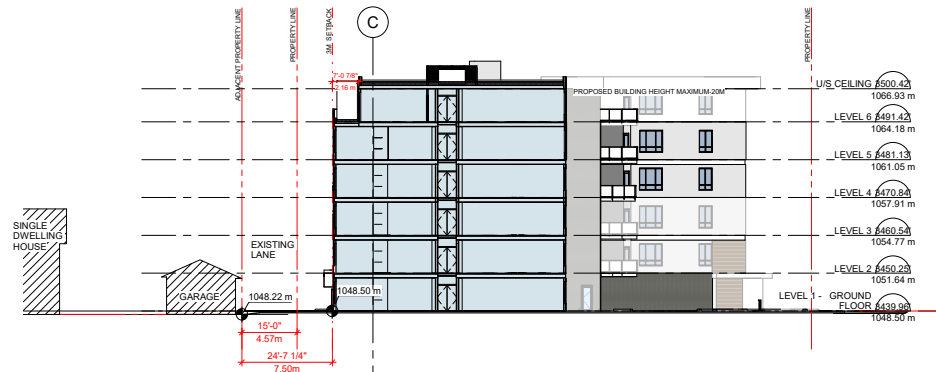
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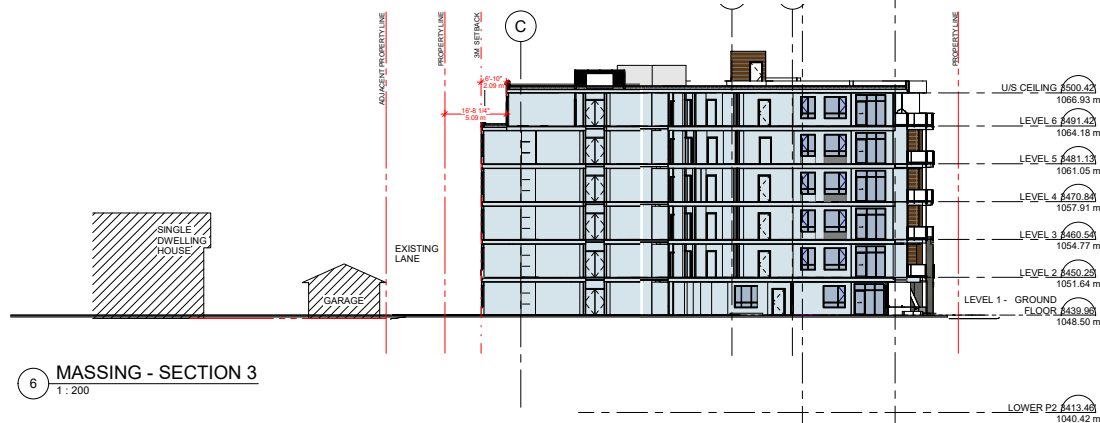
1 SITE PLAN SECTION KEY 1
1:1000



2 SITE PLAN SECTION KEY 2
1:1000



3 SITE PLAN SECTION KEY 3
1:1000



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MIXED-USE DEVELOPMENT

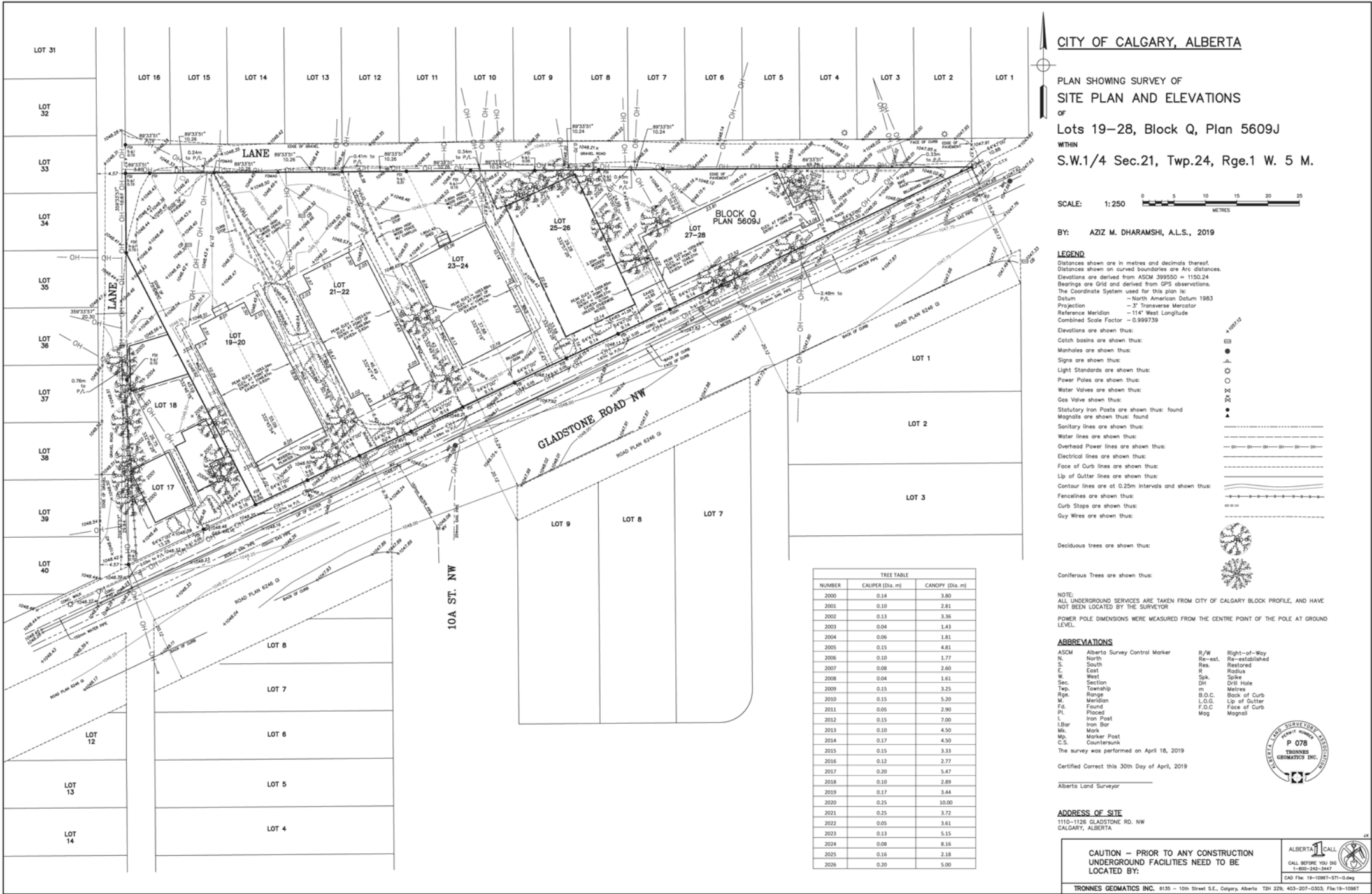
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DATE:	08/20/2022
SCALE:	As Indicated
JOB NO.:	2020-21E

SHEET TITLE:
MASSING ANALYSIS - SECTION

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A0.05	



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MIXED-USE DEVELOPMENT

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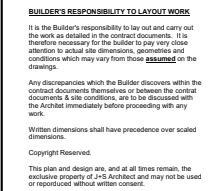
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SURVEY PLAN

DRAWING NO:

A0.06

REVISION NO:



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SCALE: 1 : 150	
JOB NO: 2020-21E	

FIRE ACCESS PLAN

DRAWING NO.:	REVISION No.
A0.07	



Project Development Data - Residential Development

A. Project: 6 Storeys Multi-Family Residential

B. Legal Description:

C. Zoning:
Existing Zoning: DC (MU-1)

D. Site Coverage Calculations:

Gross Site Area	39,966 sq ft	3713 sq m
Net Site Area	39,966 sq ft	3713 sq m
Building Footprint Area	21,738 sq ft	2020 sq m
Site Coverage Percentage	54.4%	

E. Floor Area Ratio (F.A.R.) Calculation:

Phase 1-3

Site Use	Net Site Area	Proposed FAR Area (New. Cons.)	Proposed Total FAR Area (New.+Exist.)	Proposed Gross F.A.R. (New+Exist.)
Residential	39,966 sq ft	123,539 sq ft	128,499 sq ft	3.22

F. Residential Statistics - Floor Areas

Level	Number of Floors	Unit Area per Floor	Total Unit Area	Common Area per Floor	Total Common Area	Mechanical/Service Area	Amenity Area	Gross Area per Floor	Gross Area All Floors	Total Area All Floors(FAR)*	Efficiency
L1	1	14,003 sq ft	14,003 sq ft	3,560 sq ft	3,560 sq ft	1,266 sq ft	870 sq ft	19,699 sq ft	19,699 sq ft	18,829 sq ft	
L2	1	18,809 sq ft	18,809 sq ft	2,466 sq ft	2,466 sq ft	58 sq ft		21,333 sq ft	21,333 sq ft	21,333 sq ft	
L3 & L4	2	18,865 sq ft	37,730 sq ft	2,397 sq ft	4,794 sq ft	121 sq ft		21,383 sq ft	42,766 sq ft	42,766 sq ft	
L5	1	18,609 sq ft	18,609 sq ft	2,394 sq ft	2,394 sq ft	116 sq ft		21,119 sq ft	21,119 sq ft	21,119 sq ft	
L6	1	16,997 sq ft	16,997 sq ft	2,379 sq ft	2,379 sq ft	116 sq ft		19,492 sq ft	19,492 sq ft	19,492 sq ft	
TOTAL	6		106,148 sq ft		15,593 sq ft	1,566 sq ft	870 sq ft			123,539 sq ft	

gross floor area means the sum of the areas of all above grade floors of a building measured to the glassline, or where there is no glassline, to the outside surface of the exterior walls, or where buildings are separated by firewalls, to the centre line of the common firewalls, and includes all mechanical equipment areas and all open areas inside a building that do not contain a floor including atriums, elevator shafts, stairwells and similar areas.

G. Residential Statistics - Unit Counts

Level	Studio	1 Bed	1Bed + Den	2 Bed	3 Bed	3 Bed + Den	Total	Number of Floors
L1	1	10	0	6	2	1	20	1
L2	1	11	0	10	3	1	26	1
L3 & L4	1	11	0	10	3	1	26	2
L5	1	12	0	10	2	1	26	1
L6	1	17	0	6	2	0	26	1
Total	6	72	0	52	15	5	150	
Distribution	4%	48%	0%	35%	10%	3%	100%	

H. Commercial Statistics - Floor Areas (Exist. To Remain)

Level	Number of Floors	Leasable Area per Floor	Total Unit Area	Common Area per Floor	Total Common Area	Mechanical/Service Area		Gross Area per Floor	Gross Area All Floors	Total Area All Floors(FAR)	Efficiency
L1	1							2,480 sq ft	2,480 sq ft	2,480 sq ft	
Basement	1							2,480 sq ft	2,480 sq ft	2,480 sq ft	
TOTAL	2		0 sq ft		0 sq ft		0 sq ft			4,960 sq ft	

I. Vehicular Parking

Type	Requirement	Units	Required stalls	Required Stalls (25% reduction applied)	Provided Stalls
Residential	0.75/stall/unit	150	112.5* *25% reduction per section 1352 of Land Use Bylaw 1P2007	84.38	134
Visitor	0.1/stall/unit	150	15.0* *25% reduction per section 1352 of Land Use Bylaw 1P2007	11.25	15
Commercial	-	-	-	-	5

Bicycle Parking

Type	Requirement	Units	Retail and Consumer Service GUFA (m²)	Required Stalls	Provided Stalls
Class 1	0.50/stalls/unit	150		75.0	102
Class 2	0.10 stalls/unit 1.00 stall/250.0 m² GUFA	150	229.1	15.0 0.92	16

Waste storage and collection

Anticipated total volume of waste per week = # of dwelling units x 0.3 yd³ =										1.5
Garbage			Recycling			Food & Yard Waste				
4 yd³ x 2pcs			4 yd³ x 3pcs			4 yd³ x 1pcs				
Width	Length	Height	Width	Length	Height	Width	Length	Height		
6'8	4'9	4'11	6'8	4'9	4'11	6'8	4'9	4'11		

Electric vehicle charging stations and parking stalls

	Level		Gross
	P1	P2	
Total	10	10	20

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PROJECT:

MIXED-USE DEVELOPMENT

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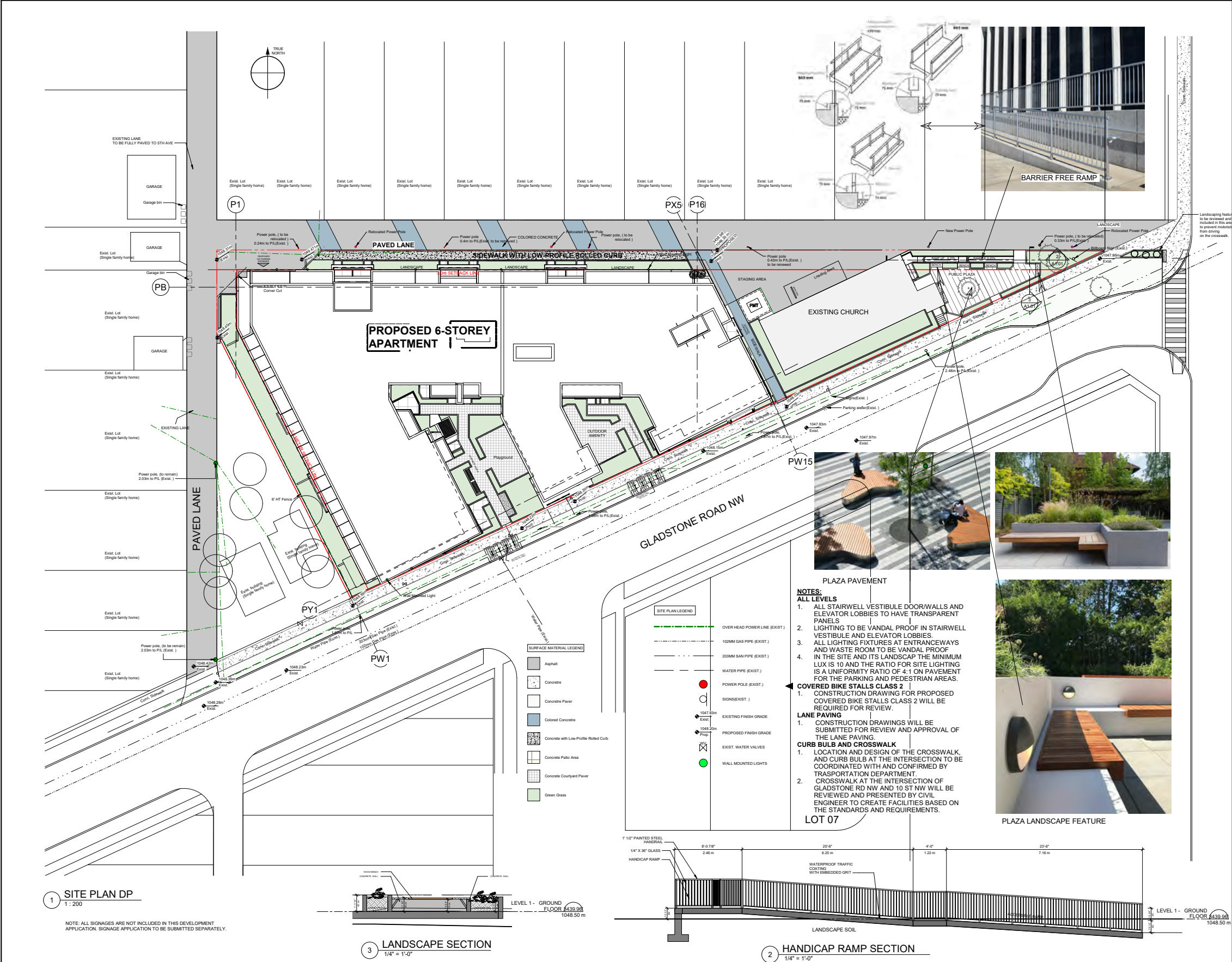
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PROJECT DATA

DRAWING NO:	REVISION NO:
A0.08	



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MIXED-USE DEVELOPMENT

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DATE: 05/17/22	
SCALE: As Indicated	
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2020-21E	
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SITE PLAN

DRAWING NO: **A1.01** REVISION NO:



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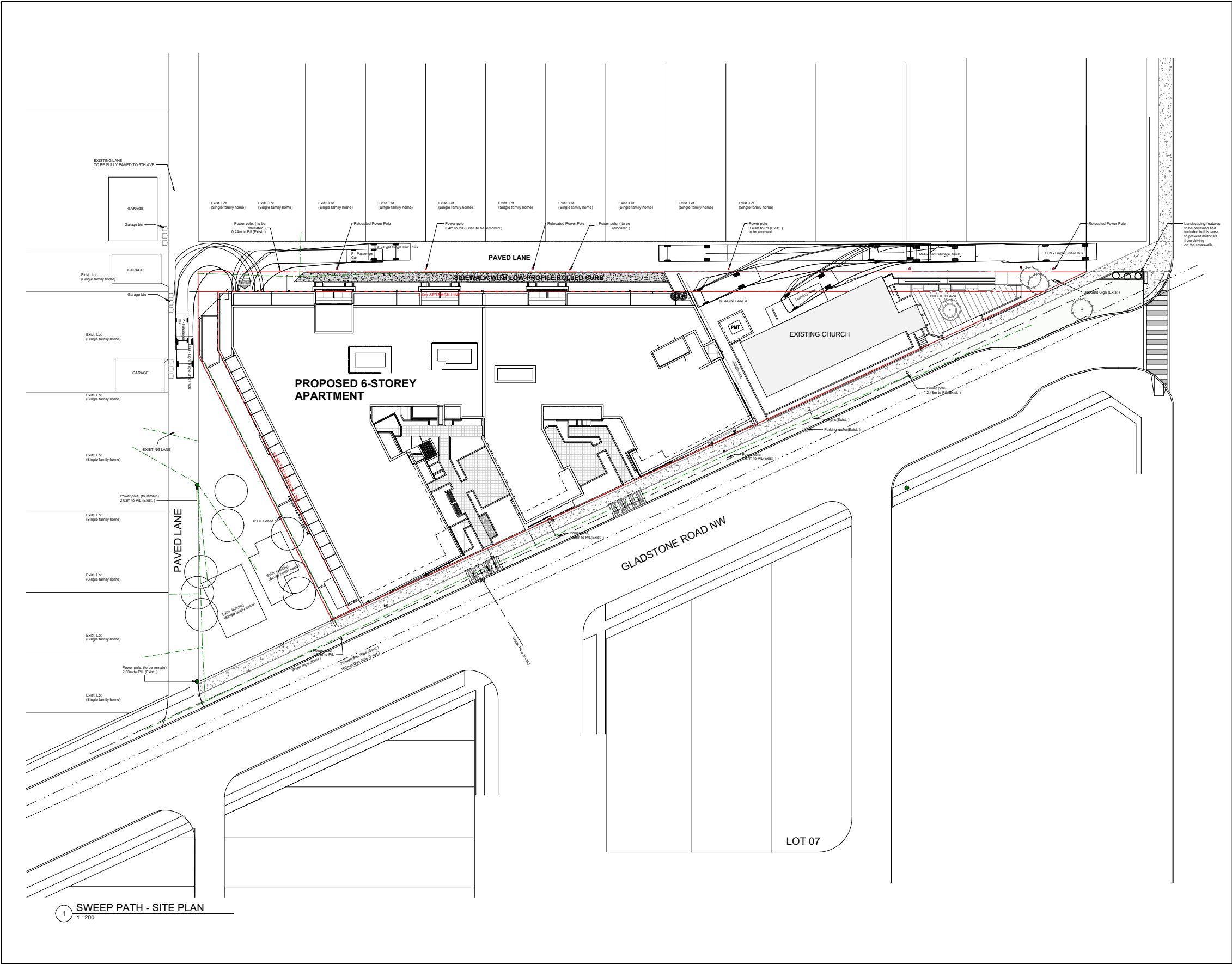
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2020-21E	

SHEET TITLE:
PLAZA LANDSCAPE PLAN

DRAWING NO:	REVISION No:
A1.02	





1 SWEEP PATH - SITE PLAN
1 : 200

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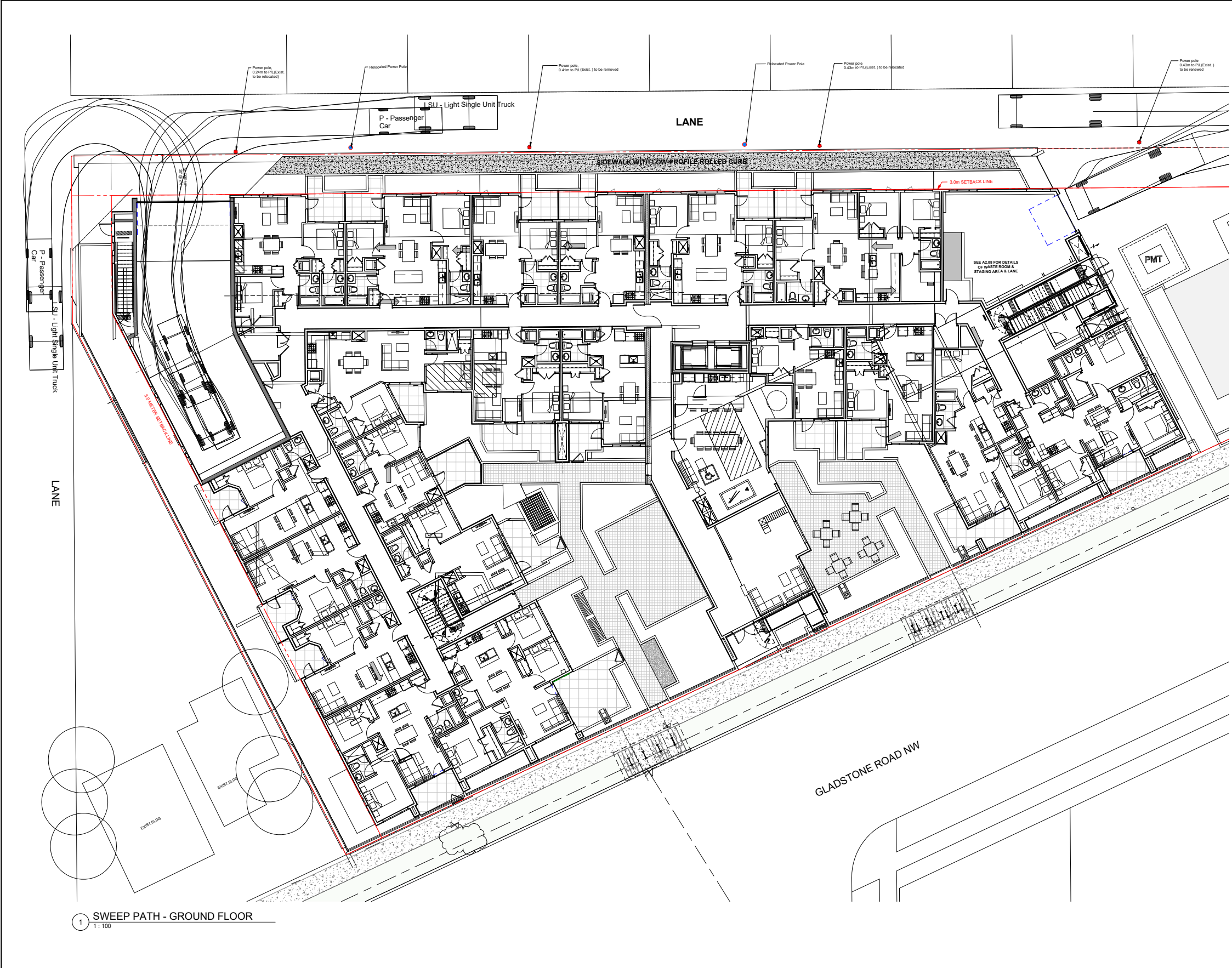
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2020-21E	

SHEET TITLE:

SWEEP PATH - SITE PLAN

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A1.03	



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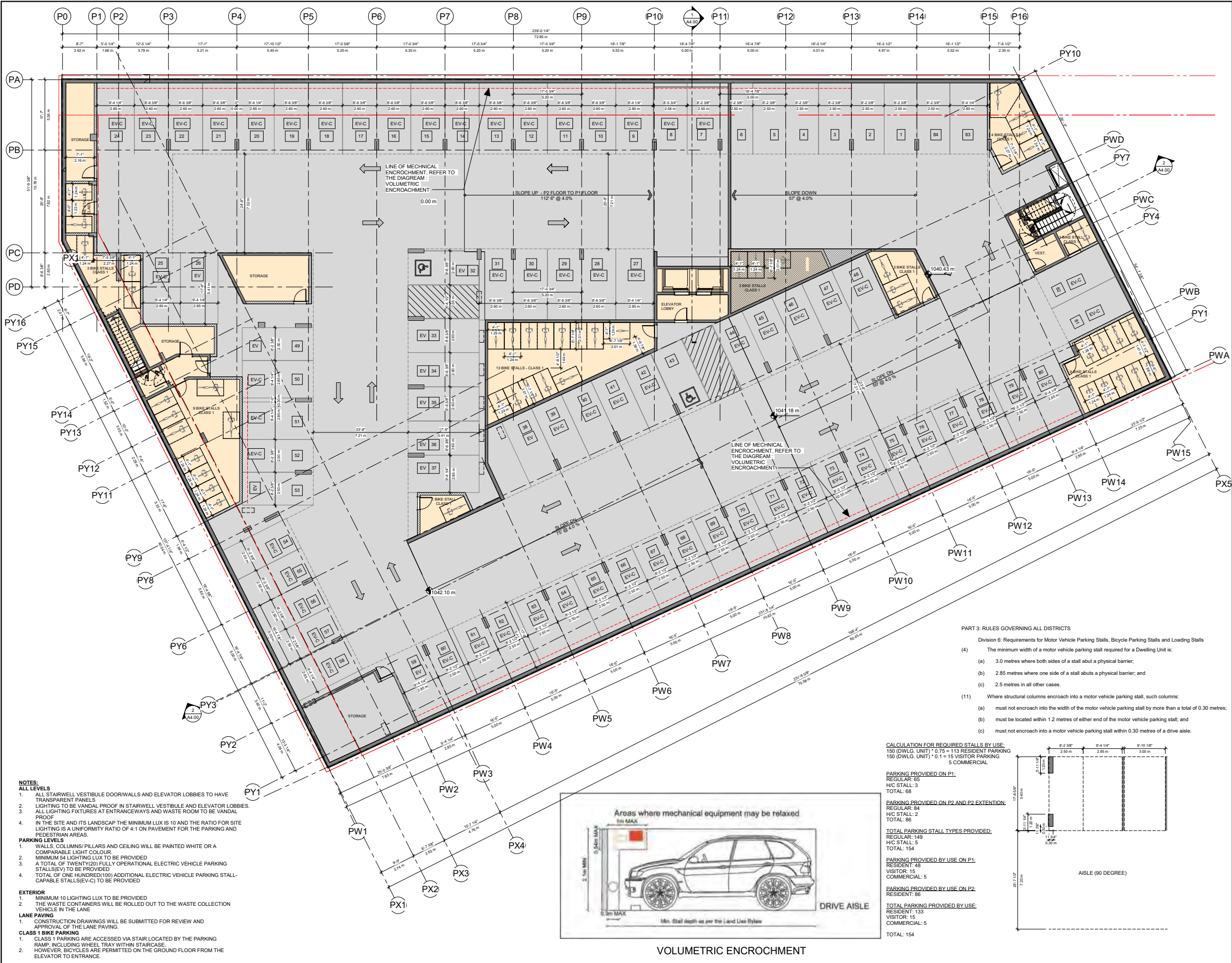
CLIENT:

CONSULTANT:

DRAWN BY:	SEAL
DATE: 12/01/22	
SCALE: 1:100	
JOB NO:	
2020-21E	

SHEET TITLE:
**SWEEP PATH -
GROUND FLOOR**

DRAWING NO:	REVISION NO:
A1.04	1



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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REVISIONS:	MAKING
ISSUED FOR:	DATE
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PROJECT:

MIXED-USE DEVELOPMENT

1110-1126 Gladstone Rd, NW,
Calgary, AB

CLIENT:

CONSULTANT:

DRAWN BY: SEAL

DATE: 08/11/2020

SCALE: As Indicated

JOB NO:

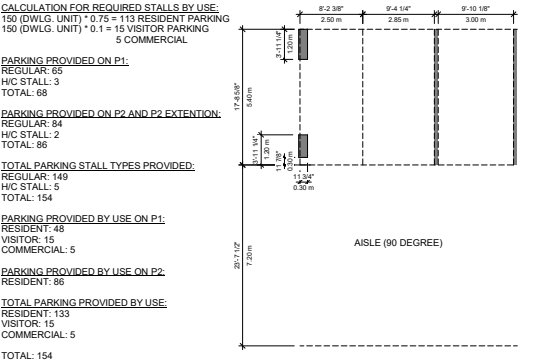
SHEET TITLE:

Parking Level 2

DRAWING NO: A2.00

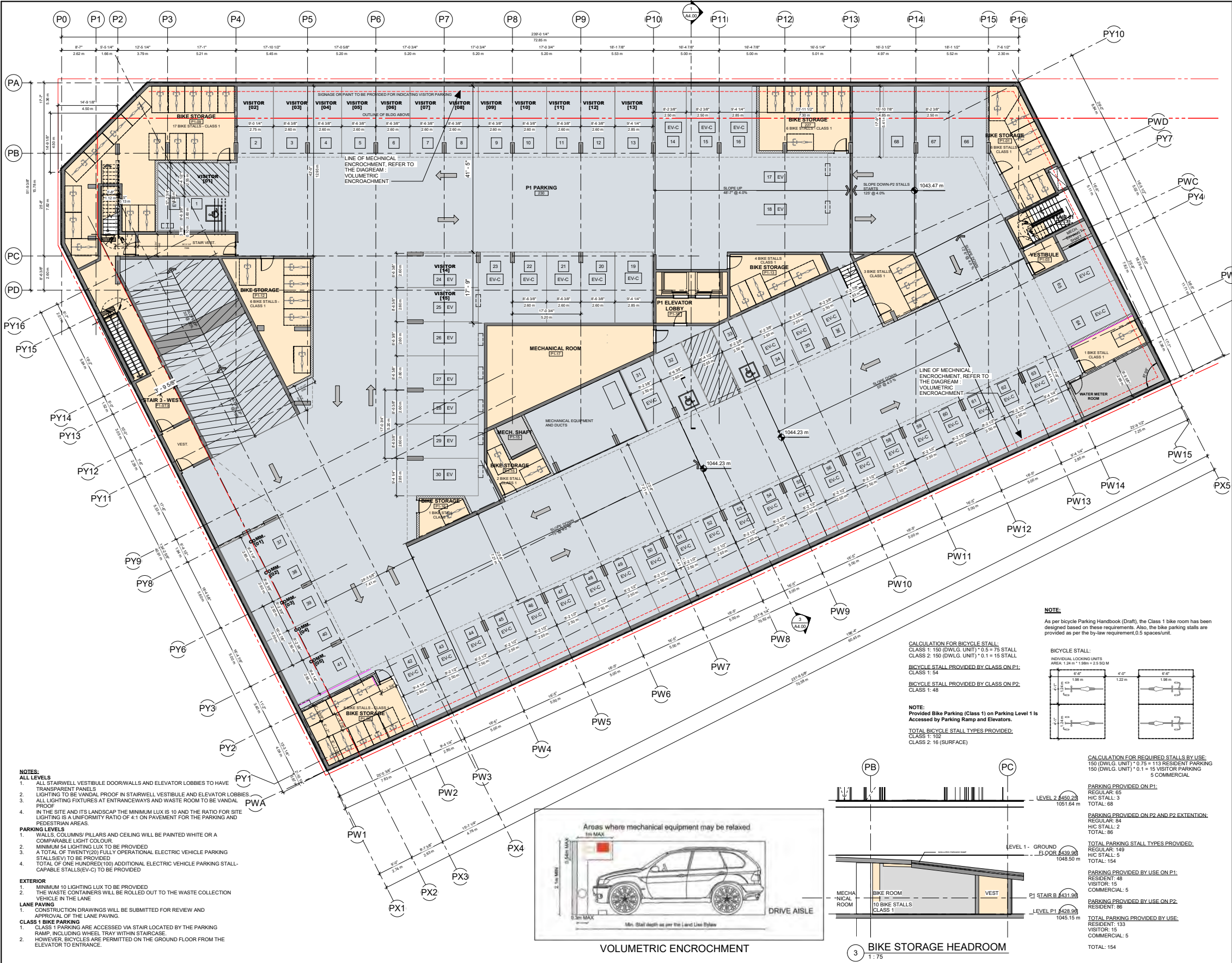
REVISION NO:

- PART 3: RULES GOVERNING ALL DISTRICTS**
- Division 6: Requirements for Motor Vehicle Parking Stalls, Bicycle Parking Stalls and Loading Stalls
- (4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:
- (a) 3.0 metres where both sides of a stall abuts a physical barrier;
 - (b) 2.85 metres where one side of a stall abuts a physical barrier; and
 - (c) 2.5 metres in all other cases.
- (11) Where structural columns encroach into a motor vehicle parking stall, such columns:
- (a) must not encroach into the width of the motor vehicle parking stall by more than a total of 0.30 metres;
 - (b) must be located within 1.2 metres of either end of the motor vehicle parking stall; and
 - (c) must not encroach into a motor vehicle parking stall within 0.30 metres of a drive aisle.



NOTES:

- ALL LEVELS**
- ALL STAIRWELL VESTIBULE DOOR/WALLS AND ELEVATOR LOBBIES TO HAVE TRANSPARENT PANELS
 - LIGHTING TO BE VANDAL PROOF IN STAIRWELL VESTIBULE AND ELEVATOR LOBBIES.
 - ALL LIGHTING FIXTURES AT ENTRANCEWAYS AND WASTE ROOM TO BE VANDAL PROOF
 - IN THE SITE AND ITS LANDSCAPE THE MINIMUM LUX IS 10 AND THE RATIO FOR SITE LIGHTING IS A UNIFORMITY RATIO OF 4:1 ON PAVEMENT FOR THE PARKING AND PEDESTRIAN AREAS.
- PARKING LEVELS**
- WALLS, COLUMNS/ PILLARS AND CEILING WILL BE PAINTED WHITE OR A COMPARABLE LIGHT COLOUR.
 - MINIMUM 54 LIGHTING LUX TO BE PROVIDED
 - A TOTAL OF TWENTY(20) FULLY OPERATIONAL ELECTRIC VEHICLE PARKING STALLS(V-EV) TO BE PROVIDED
 - TOTAL OF ONE HUNDRED(100) ADDITIONAL ELECTRIC VEHICLE PARKING STALL-CAPABLE STALLS(EV-C) TO BE PROVIDED
- EXTERIOR**
- MINIMUM 10 LIGHTING LUX TO BE PROVIDED
 - THE WASTE CONTAINERS WILL BE ROLLED OUT TO THE WASTE COLLECTION VEHICLE IN THE LANE
- LANE PAVING**
- CONSTRUCTION DRAWINGS WILL BE SUBMITTED FOR REVIEW AND APPROVAL OF THE LANE PAVING.
- CLASS 1 BIKE PARKING**
- CLASS 1 PARKING ARE ACCESSED VIA STAIR LOCATED BY THE PARKING RAMP, INCLUDING WHEEL TRAY WITHIN STAIRCASE.
 - HOWEVER, BICYCLES ARE PERMITTED ON THE GROUND FLOOR FROM THE ELEVATOR TO ENTRANCE.



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REVISIONS:	DATE:
NO. REVISION	DATE
1	08/01/2022
2	08/11/2022
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100	09/11/2022

MIXED-USE DEVELOPMENT

1110-1126 Gladstone Rd, NW,
Calgary, AB

CLIENT:

CONSULTANT:

DRAWN BY:	SEAL:
DATE: 08/11/2022	
SCALE: As Indicated	
JOB NO:	
2020-21E	
SHEET TITLE:	

Parking Level 1

A2.01



BUILDER'S RESPONSIBILITY TO LAYOUT WORK
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CONSULTANT:

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DATE:	08/01/2022
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JOB NO.:	2020-21E
SHEET TITLE:	

**GROUND FLOOR
PLAN**

DRAWING NO.:	REVISION NO.:
A2.02	



BUILDER'S RESPONSIBILITY TO LAYOUT WORK	
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PROJECT:
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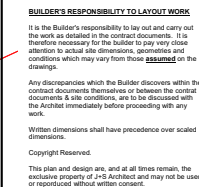
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CLIENT:

CONSULTANT:

DRAWN BY:	SEAL
DATE: 08/05/20	
SCALE: 1:100	
JOB NO:	
2020-21E	
SHEET TITLE:	

LEVEL 2 FLOOR
PLAN

DRAWING NO:	REVISION NO:
A2.03	



<u>REVISIONS:</u>	08/30/2022
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SCALE: 1 : 100	
JOB NO.: 2020-21E	

LEVEL 3-4 FLOOR PLAN

DRAWING NO.:	REVISION:
A2.04	



BUILDER'S RESPONSIBILITY TO LAYOUT WORK
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DATE: 08/17/21	DATE: MAKDDYVY
SCALE: 1/8" = 1'-0"	
JOB NO:	
2020-21E	
SHEET TITLE:	

**LEVEL 5 FLOOR
PLAN**

DRAWING NO:	REVISION NO:
A2.05	



BUILDER'S RESPONSIBILITY TO LAYOUT WORK
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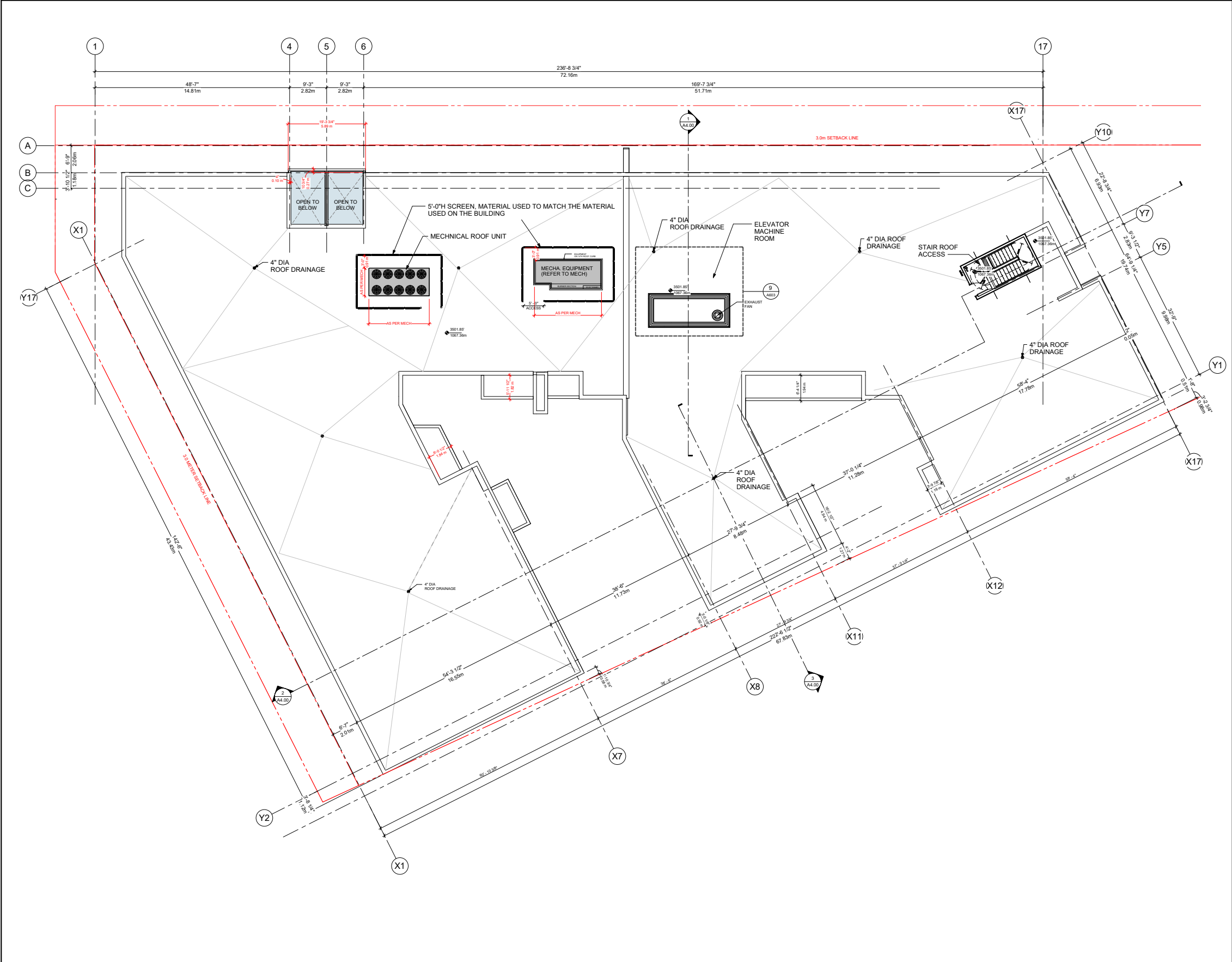
1110-1126 Gladstone Rd, NW,
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CLIENT:

CONSULTANT:

DRAWN BY:	SEAL
DATE:	08/05/20
SCALE:	1:100
JOB NO.:	2020-21E
SHEET TITLE:	

**LEVEL 6 FLOOR
PLAN**

DRAWING NO.:	REVISION NO.:
A2.06	



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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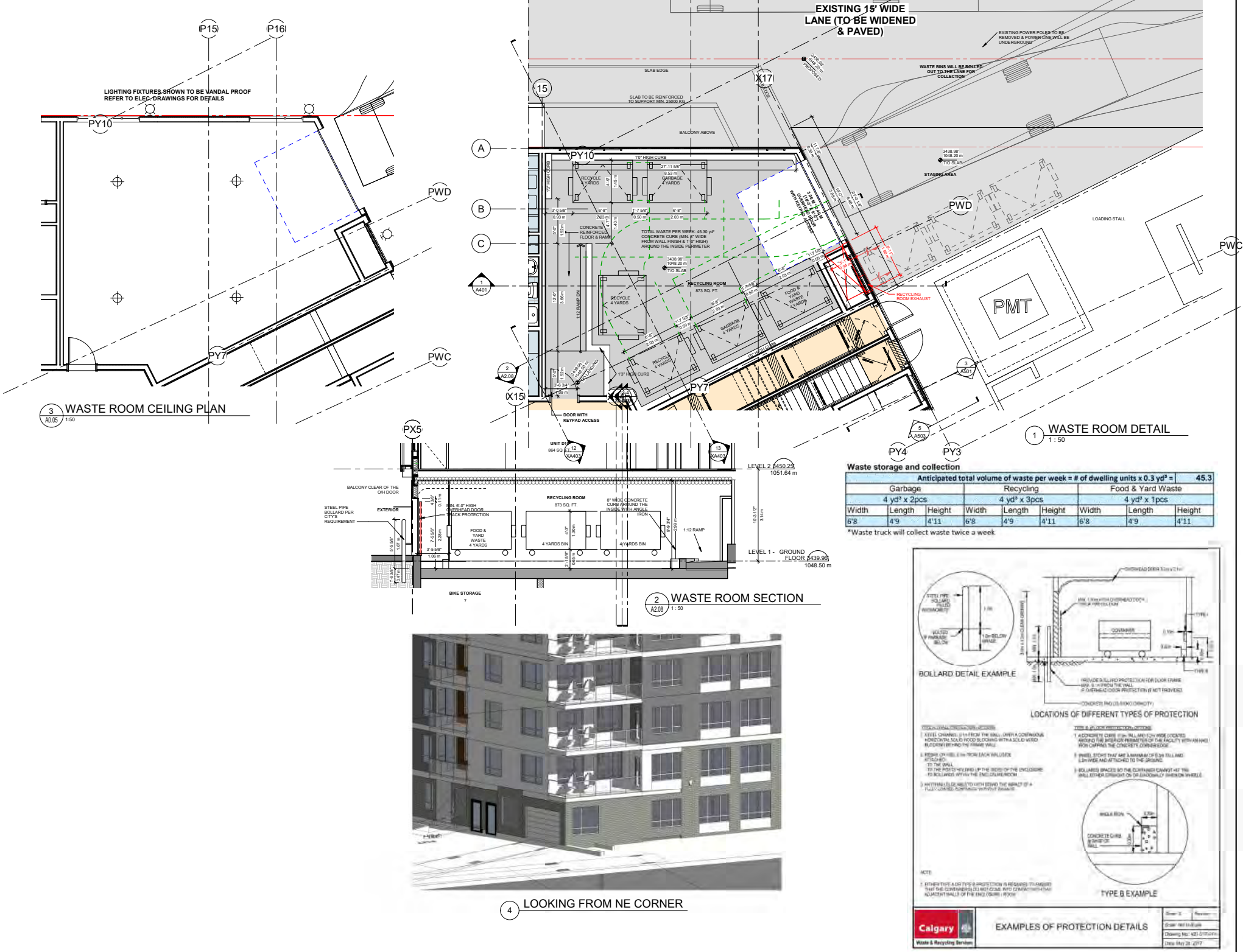
CLIENT:

CONSULTANT:

DRAWN BY:	SEAL
DATE: 08/01/2022	
SCALE: 1:100	
JOB NO:	
2020-21E	
SHEET TITLE:	

ROOF PLAN

DRAWING NO:	REVISION NO:
A2.07	





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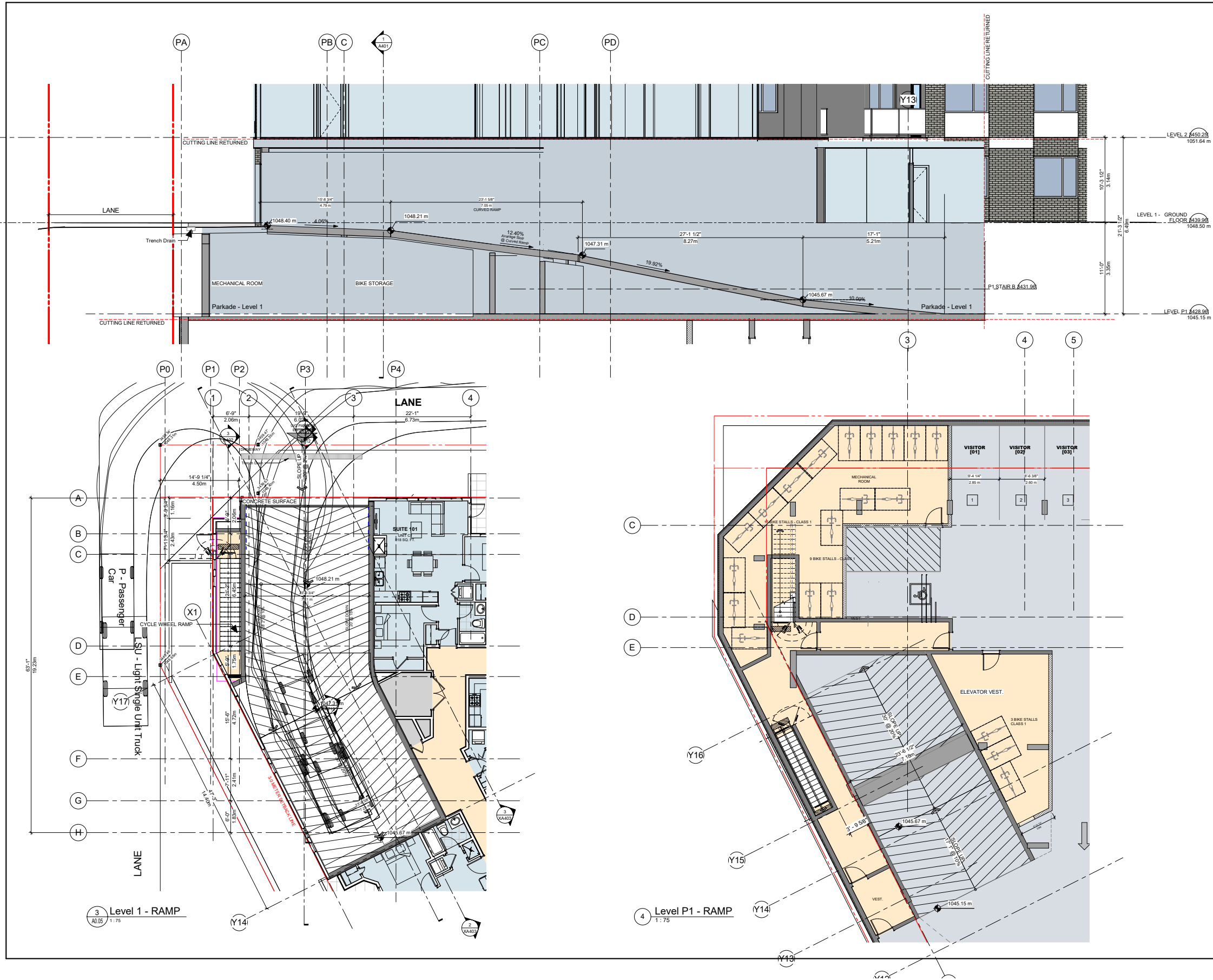
1110-1126 Gladstone Rd, NW,
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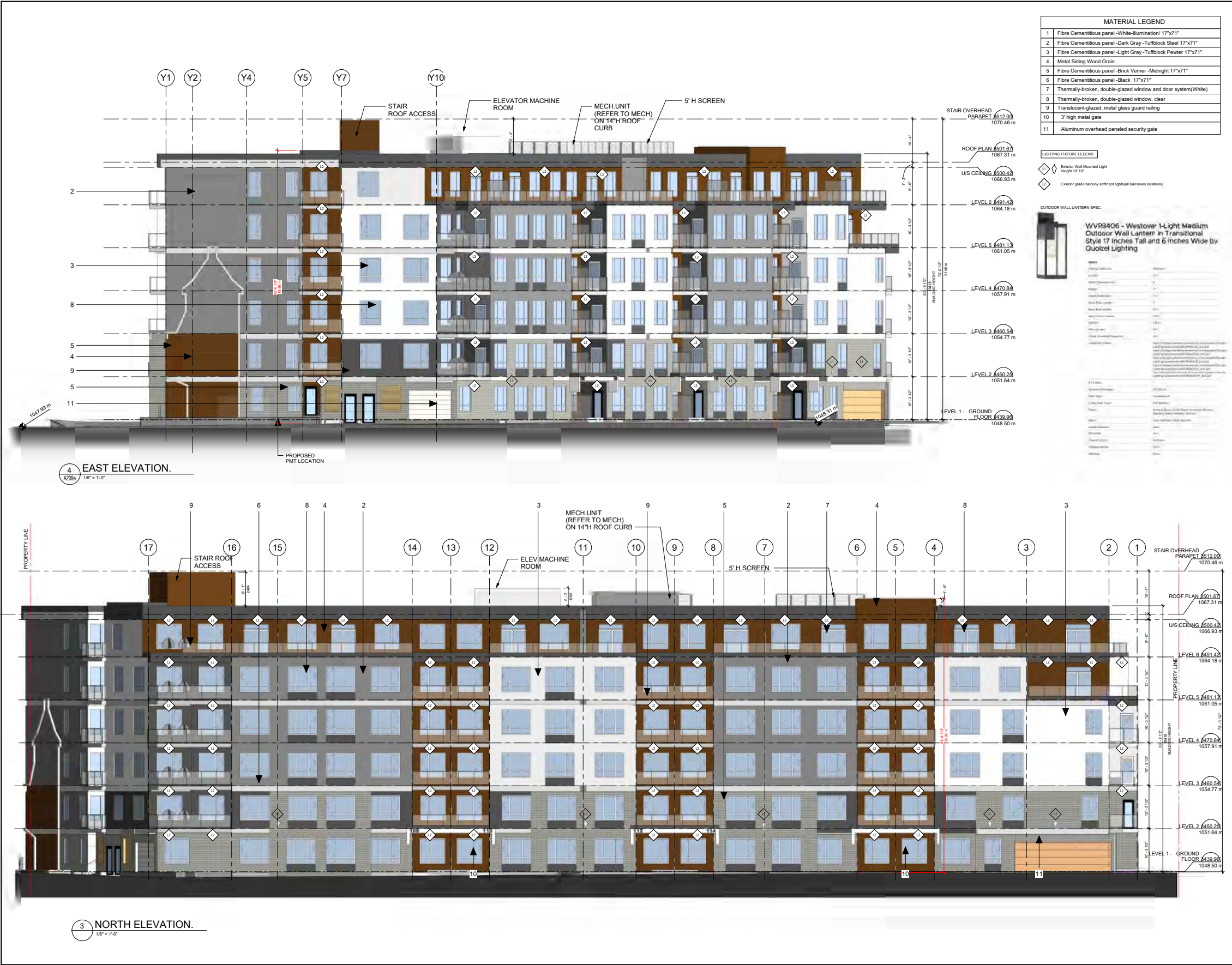
CONSULTANT:

DRAWN BY:	SEAL
DATE: 01/19/21	
SCALE: As Indicated	
JOB NO:	
2020-21E	
SHEET TITLE:	

**PARKING RAMP
DETAIL**

DRAWING NO:	REVISION NO:
A2.09	







T: 804 210 9598 F: 206 463 0000 BURNABY BC V8H 4M4
WWW.JSARCHITECT.CA EMAIL: INFO@JSARCHITECT.CA

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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CONSULTANT:

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DATE: 08/10/22	
SCALE: As Indicated	
JOB NO:	
2020-21E	
SHEET TITLE:	

ELEVATIONS -
SOUTH & WEST

DRAWING NO:	REVISION NO:
A3.01	

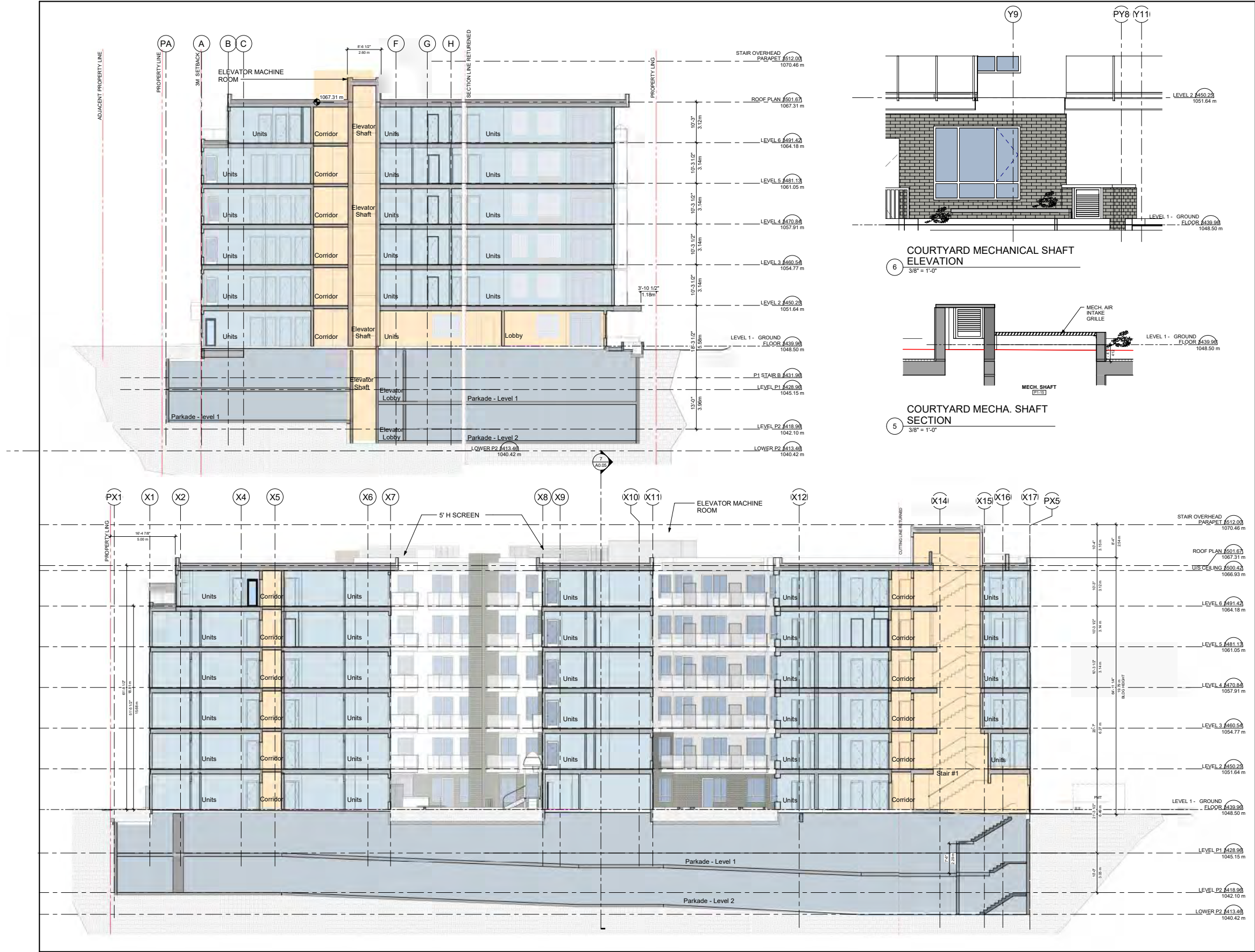
MATERIAL LEGEND	
1	Fibre Cementitious panel -White-Illumination/ 17"x71"
2	Fibre Cementitious panel -Dark Gray -Tuffblock Steel 17"x71"
3	Fibre Cementitious panel -Light Gray -Tuffblock Pewter 17"x71"
4	Metalsiding Wood Grain
5	Fibre Cementitious panel -Brick Verner -Midnight 17"x71"
6	Fibre Cementitious panel -Black 17"x71"
7	Thermally-broken, double-glazed window and door system(White)
8	Thermally-broken, double-glazed window, clear
9	Translucent-glazed, metal glass guard railing
10	3' high metal gate
11	Aluminum overhead paneled security gate



LIGHTING FIXTURE LEGEND	
1	Exterior Wall Mounted Light Height: 10' 10"
2	Exterior grade balcony soffit pot lights(all balconies locations)

OUTDOOR WALL LANTERN SPEC:
WVVRB406 - Westover 1-Light Medium Outdoor Wall Lantern in Transitional Style 17 inches Tall and 6 inches Wide by Quoizel Lighting

Model:	WVVRB406
Height:	17"
Width:	6"
Depth:	6"
Weight:	15 lbs
Material:	Aluminum
Finish:	Black
Light Source:	LED
Wattage:	100W
Beam Angle:	120°
Color Temperature:	3000K
Dimmable:	Yes
UL Listed:	Yes
ETL Listed:	Yes
CEC Listed:	Yes
Energy Star:	Yes
RoHS Compliant:	Yes
REMARKS:	See drawing for location and details.



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MIXED-USE DEVELOPMENT

1110-1126 Gladstone Rd, NW,
Calgary, AB

CLIENT:

CONSULTANT:

DRAWN BY:	SEAL
DATE: 08/01/2020	
SCALE: As Indicated	
JOB NO:	
2020-21E	
SHEET TITLE:	

SECTIONS

DRAWING NO:	REVISION NO:
A4.00	



▲ North Elevation

▼ GLADSTONE ROAD - Looking Entrance



Metal Siding
Wood Grain



Cementitious Panel
Black



Cementitious Panel
Dark Grey



Cementitious Panel
Light Grey



Cementitious Panel
White



Brick Veneer
Carbon Colour



Balcony Guardrail
Frosted Glass



Courtyard Pavers
Grey



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NO. REVISIONS DATE

REVISIONS: 08/20/2022

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PROJECT:

MIXED-USE DEVELOPMENT

1110-1126 Gladstone Rd, NW,
Calgary, AB

CLIENT:

CONSULTANT:

DRAWN BY: SEAL

DATE: 02/08/21

SCALE:

JOB NO:

2020-21E

SHEET TITLE:

MATERIAL BOARD

DRAWING NO. REVISION NO.

A5.00



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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CONSTRUCTION

DRAWN BY:	SEAL
DATE: 02/08/21	
SCALE:	
JOB NO:	
2020-21E	

SHEET TITLE:

LIGHTING FIXTURE

DRAWING NO:	REVISION NO:
A5.01	



Ceiling Recessed Light



Wall Mounted Light

Refer to A3.0/A3.1
for spec



Bollard Light



Ultra Thin 3" LED Waller Downlight
By Luminex Lighting

LUMENS



Ultra Thin 3" LED Waller Downlight
By Luminex Lighting

Product Features:

- Finish: Matte White
- Light Temperature: 3000K

Details:

- Material: Die Cast Aluminum (3003) (3003) (3003)
- Finish: Matte White
- Light Temperature: 3000K
- Light Output: 1500 Lumens
- Beam Angle: 120°
- Mounting: Flush Mount
- Dimensions: 3" Dia. x 1.5" H
- Weight: 0.5 lbs
- Warranty: 5 Years

Technical Data:

Finish:	Matte White
Light Temperature:	3000K
Light Output:	1500 Lumens
Beam Angle:	120°
Mounting:	Flush Mount
Dimensions:	3" Dia. x 1.5" H
Weight:	0.5 lbs
Warranty:	5 Years

553PHB-567P-BK-LED - Luminata - 14W
1 LED Outdoor Post Mount Lantern in
Seaside Style - 9 Inches Wide by 95.23
Inches High by Z-Lite

Spec:	
Product Code:	553PHB-567P-BK-LED
Manufacturer:	Z-Lite
Material:	Aluminum
Finish:	Black
Light Source:	LED
Power:	14W
Beam Angle:	120°
Mounting:	Post Mount
Dimensions:	9" W x 95.23" H
Weight:	10 lbs
Warranty:	5 Years



Light Pole



P5247 - LED Landscape - Landscape
Light - 1 Light - Low Voltage - 2.63
Inches wide by 24 Inches high by
Progress Lighting

Spec:	
Product Code:	P5247
Manufacturer:	Progress Lighting
Material:	Aluminum
Finish:	Black
Light Source:	LED
Power:	2.63W
Beam Angle:	120°
Mounting:	Post Mount
Dimensions:	2.63" W x 24" H
Weight:	0.5 lbs
Warranty:	5 Years



FRONT PERSPECTIVE-FROM GLADSTONE ROAD



AERIAL VIEW - NW TO SE

BUILDER'S RESPONSIBILITY TO LAYOUT WORK
It is the Builder's responsibility to lay out and carry out the work as detailed in the contract documents. It is therefore necessary for the Builder to pay very close attention to actual site dimensions, grades and conditions which may vary from those assumed on the drawings.

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PROJECT:
MIXED-USE DEVELOPMENT

1110-1126 Gladstone Rd, NW,
Calgary, AB

CLIENT:

CONSULTANT:

DRAWN BY:	SEAL
DATE: 04/23/21	
SCALE:	
JOB NO:	
2020-21E	
SHEET TITLE:	
BUILDING PERSPECTIVE VIEWS	
DRAWING NO:	REVISION No:
A5.02	



MAIN ENTRY & COURTYARD-FROM GLADSTONE ROAD



MAIN ENTRY & COURTYARD-FROM GLADSTONE ROAD



MAIN ENTRY & COURTYARD-FROM GLADSTONE ROAD

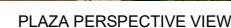


PERSPECTIVE VIEW - FROM NORTH LANE



PERSPECTIVE VIEW - FROM HERITAGE BUILDING ALONG GLADSTONE ROAD

BUILDER'S RESPONSIBILITY TO LAYOUT WORK											
It is the Builder's responsibility to lay out and carry out the work as detailed in the contract documents. It is therefore necessary for the Builder to pay very close attention to actual site dimensions, geometries and conditions which may vary from those <u>assumed</u> on the drawings.											
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REVISIONS:	08/20/2022										
NO. REVISION	DATE										
REVISIONS:	MAKEDYYYY										
ISSUED FOR:	DATE										
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PROJECT: MIXED-USE DEVELOPMENT											
1110-1126 Gladstone Rd, NW, Calgary, AB											
CLIENT:											
CONSULTANT:											
DRAWN BY:	SEAL										
DATE: 02/08/21											
SCALE:											
JOB NO:											
2020-21E											
SHEET TITLE:											
BUILDING PRESPECTIVE VIEWS											
DRAWING NO:	REVISION NO:										
A5.03											



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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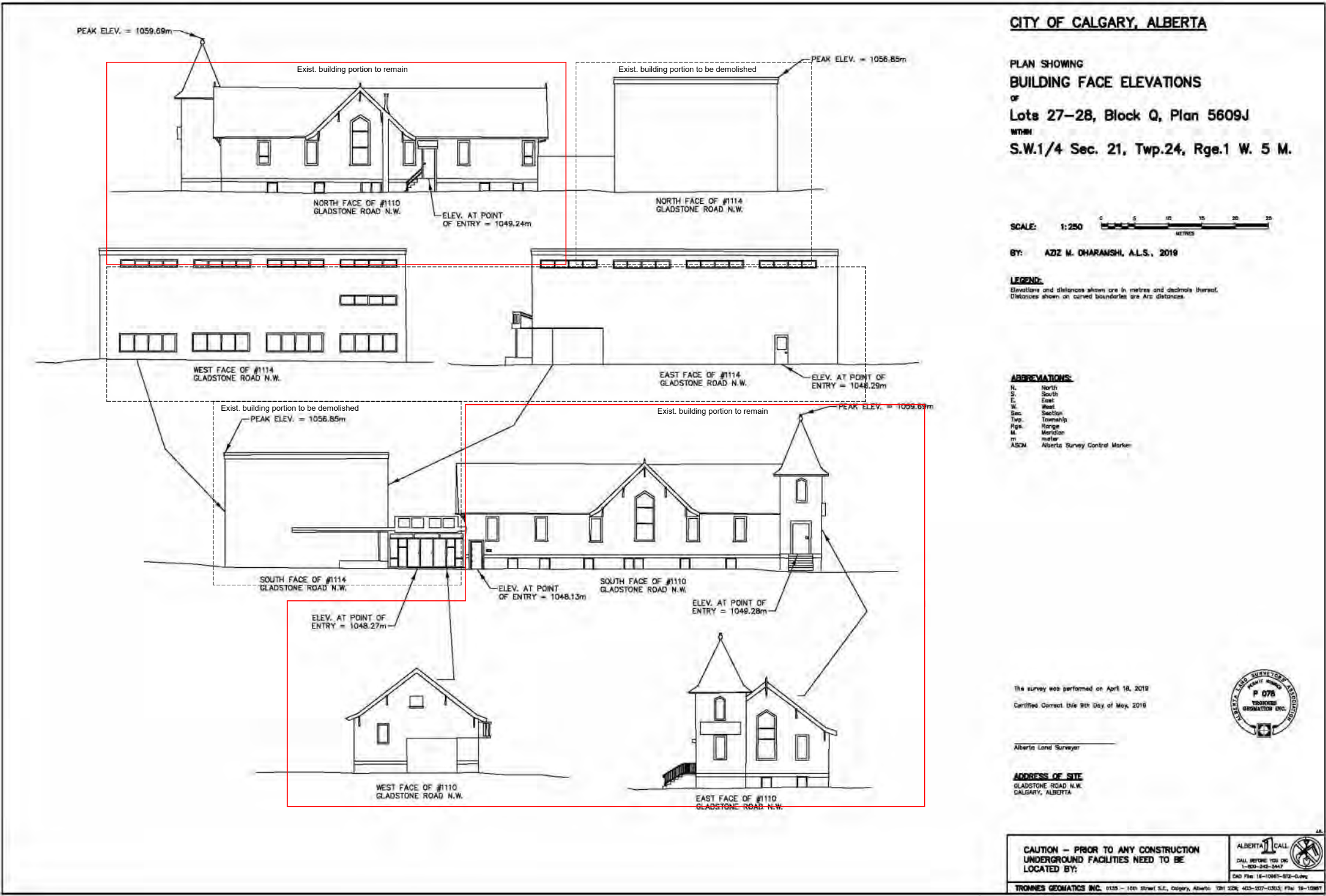
1110-1126 Gladstone Rd, NW,
Calgary, AB

CONSULTANT:

DRAWN BY:	SEAL:
DATE: 08/30/22	
SCALE:	
JOB NO: 2020-21E	

PLAZA
PERSPECTIVE
VIEWS

DRAWING NO.:	REVIS
A5.04	





NOTES:

1. CHURCH WILL BE UPGRADED AS PER THE LEGAL AGREEMENT EXECUTED WITH THE CITY AND IMPROVEMENTS TO THE CHURCH WILL BE COMPLETED AS PART OF THIS DEVELOPMENT PERMIT.

2. THE IMPROVEMENTS THAT WILL BE COMPLETED TO THE CHURCH : REPAIRS TO OR REPLACEMENT OF THE EXTERIOR CLADDING; REPAIRS TO OR REINFORCEMENT OF THE CONCRETE FOUNDATION; REPLACEMENT OF WINDOWS; AND REHABILITATION OF THE WEST ELEVATION AND FINISH.

REVISIONS:	08/20/2022
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PROJECT:

MIXED-USE DEVELOPMENT

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Calgary, AB

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CLIENT

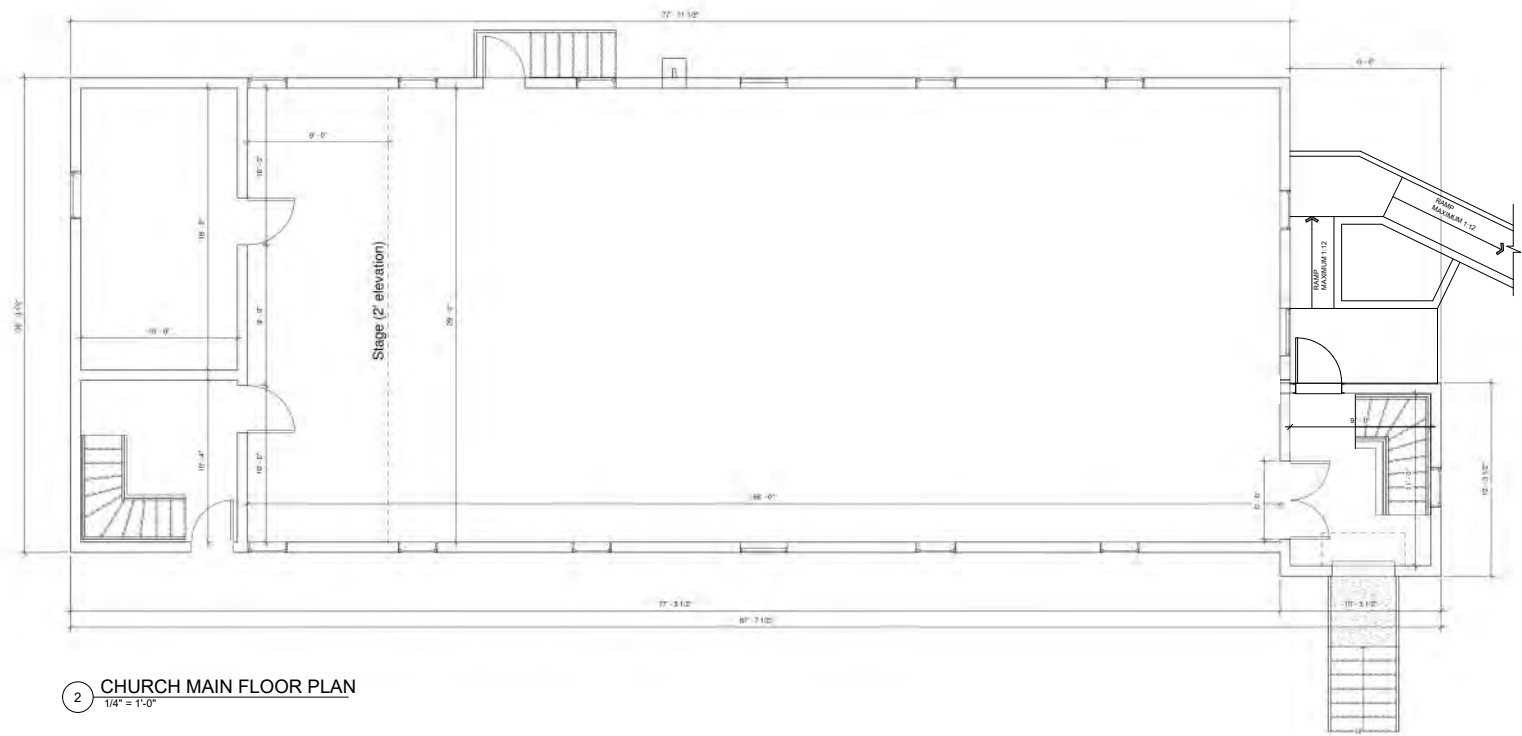
CONSULTANT:

DRAWN BY:	SEAL:
DATE: 08/13/21	
SCALE: As indicated	
JOB NO: 2020-21E	

QUESTIONS

CHURCH BASEMENT FLOOR PLAN

DRAWING NO.:	REVISION:
A7.01	



2 CHURCH MAIN FLOOR PLAN
1/4" = 1'-0"

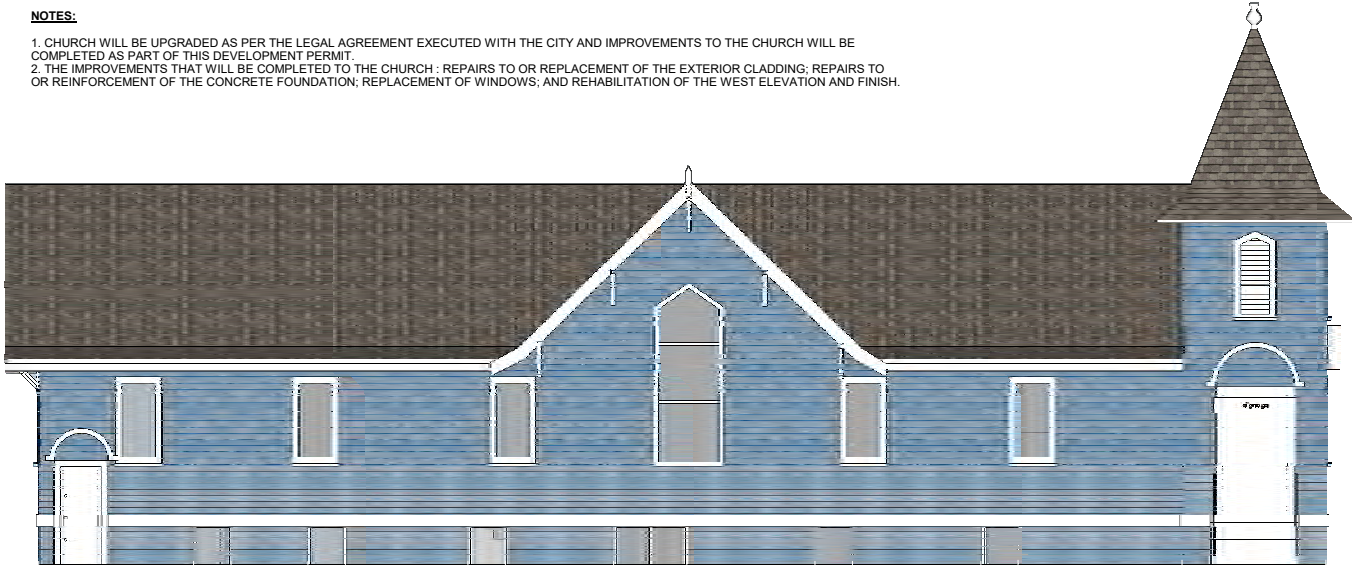
- NOTES:**
- 1. CHURCH WILL BE UPGRADED AS PER THE LEGAL AGREEMENT EXECUTED WITH THE CITY AND IMPROVEMENTS TO THE CHURCH WILL BE COMPLETED AS PART OF THIS DEVELOPMENT PERMIT.
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ISSUED FOR DEVELOPMENT PERMIT	SEP 30, 2022
PROJECT:	
MIXED-USE DEVELOPMENT	
1110-1126 Gladstone Rd, NW, Calgary, AB	
CLIENT:	
CONSULTANT:	
DRAWN BY:	SEAL
DATE: 06/28/21	
SCALE: As Indicated	
JOB NO:	
2020-21E	
SHEET TITLE:	
CHURCH MAIN FLOOR PLAN	
DRAWING NO:	REVISION No:
A7.02	



2 PRESPECTIVE
1 : 50

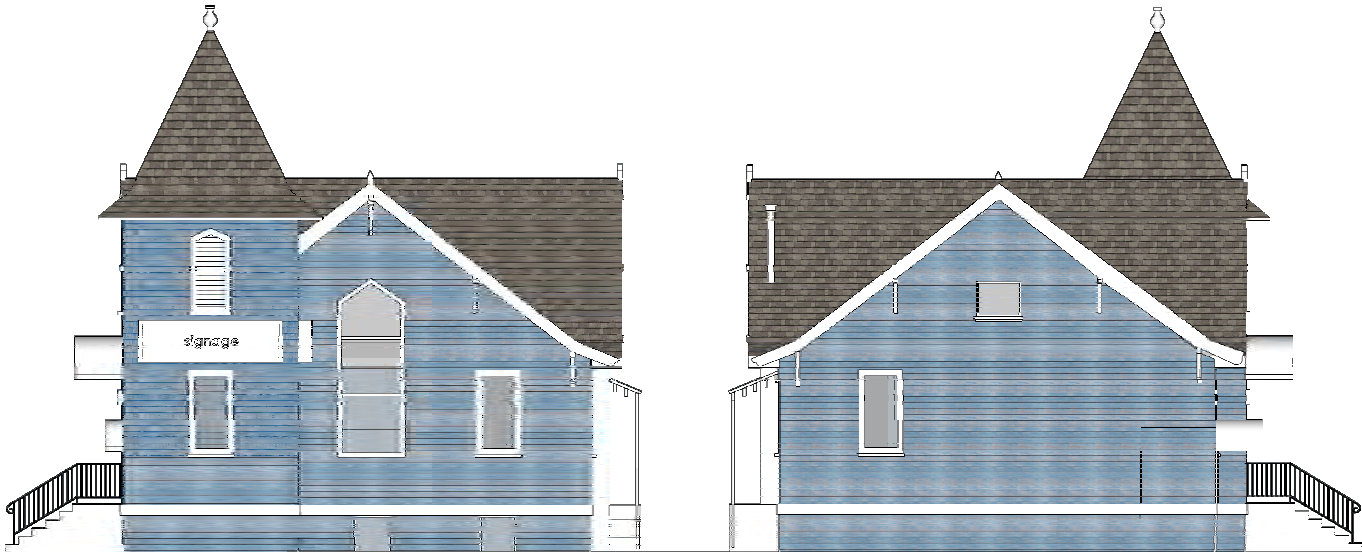
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1. CHURCH WILL BE UPGRADED AS PER THE LEGAL AGREEMENT EXECUTED WITH THE CITY AND IMPROVEMENTS TO THE CHURCH WILL BE COMPLETED AS PART OF THIS DEVELOPMENT PERMIT.
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1 SOUTH
1 : 50

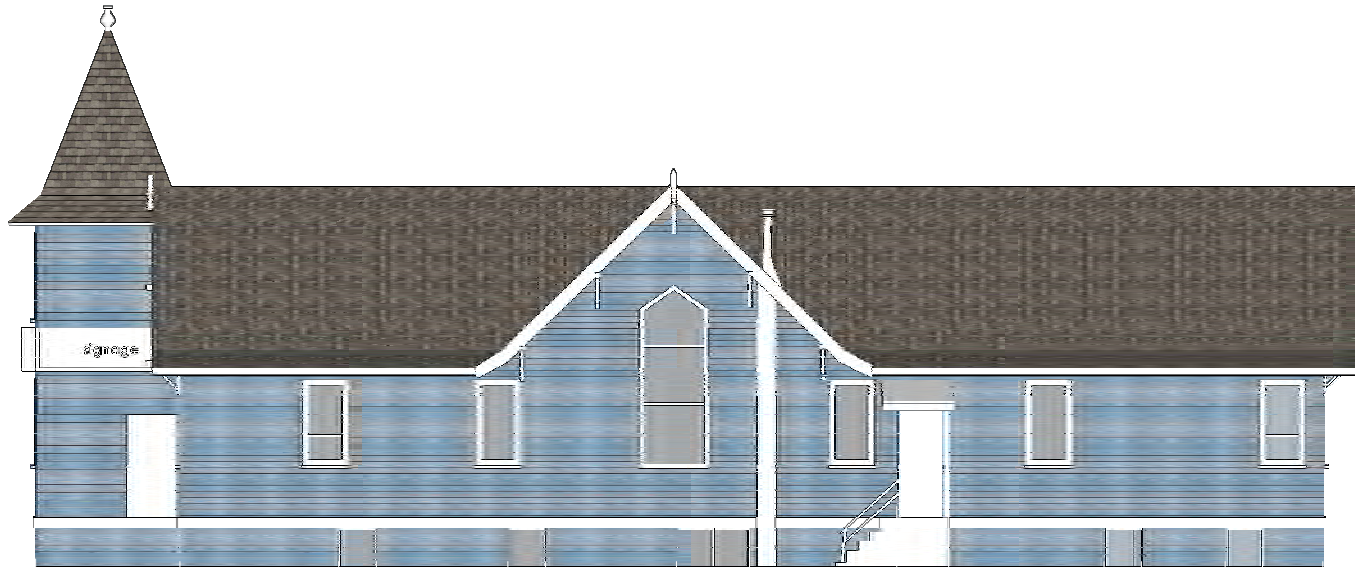
BUILDER'S RESPONSIBILITY TO LAYOUT WORK	
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PROJECT:	
MIXED-USE DEVELOPMENT	
1110-1126 Gladstone Rd, NW, Calgary, AB	
CLIENT:	
CONSULTANT:	
DRAWN BY:	SEAL
DATE: 06/28/21	
SCALE: As Indicated	
JOB NO:	
2020-21E	
SHEET TITLE:	
CHURCH SOUTH ELEVATION	
DRAWING NO:	REVISION No:
A7.03	



1 EAST & WEST
1 : 50

- NOTES:**
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2 NORTH
1 : 50

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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1110-1126 Gladstone Rd, NW,
Calgary, AB

CLIENT:

CONSULTANT:

DRAWN BY:	SEAL
DATE: 06/28/21	
SCALE: As Indicated	
JOB NO:	
2020-21E	

SHEET TITLE:

CHURCH EAST,
WEST AND NORTH
ELEVATIONS

DRAWING NO:	REVISION No:
A7.04	



1 PERSPECTIVES WITH CONTEXT
1:50

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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MIXED-USE DEVELOPMENT

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Calgary, AB

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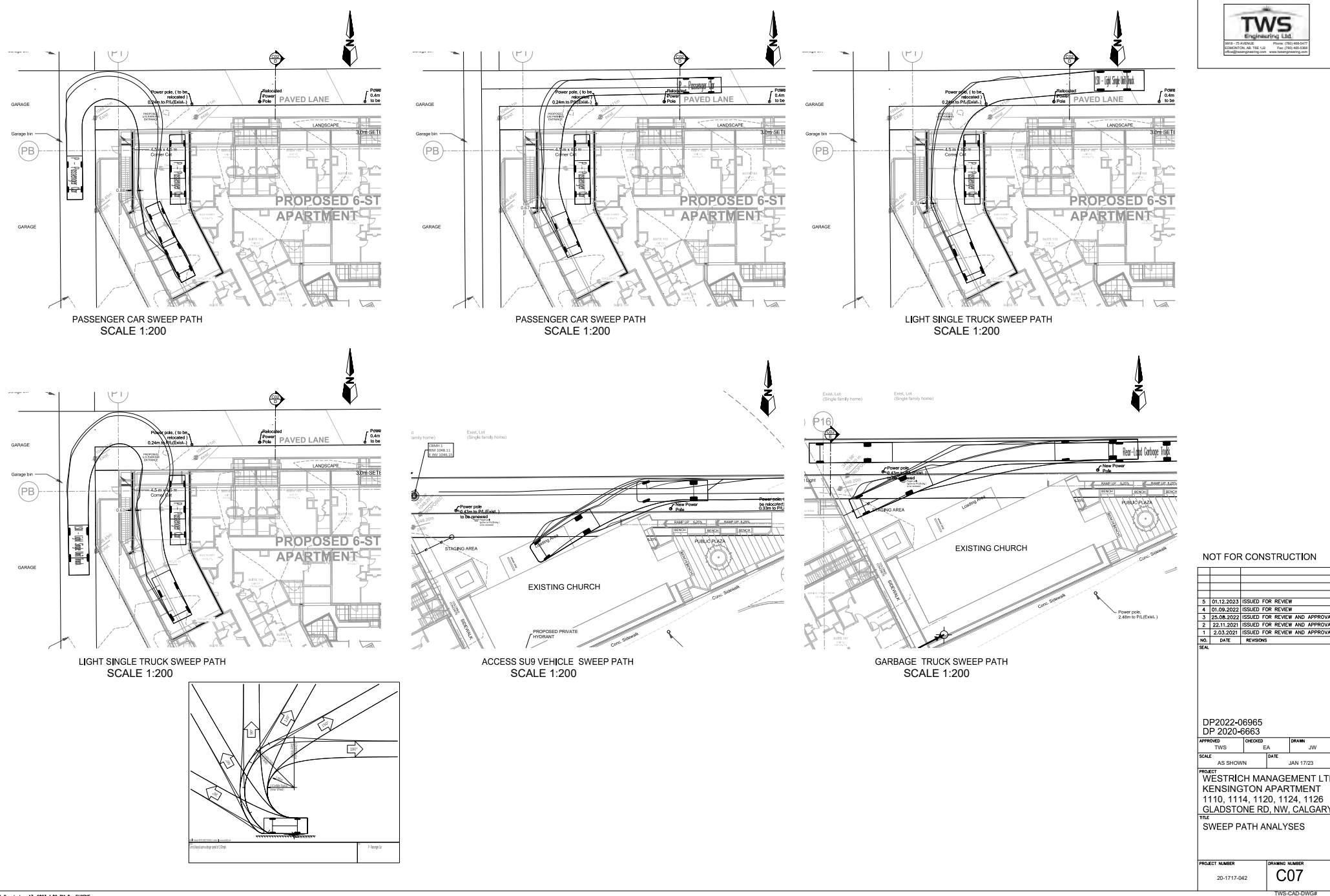
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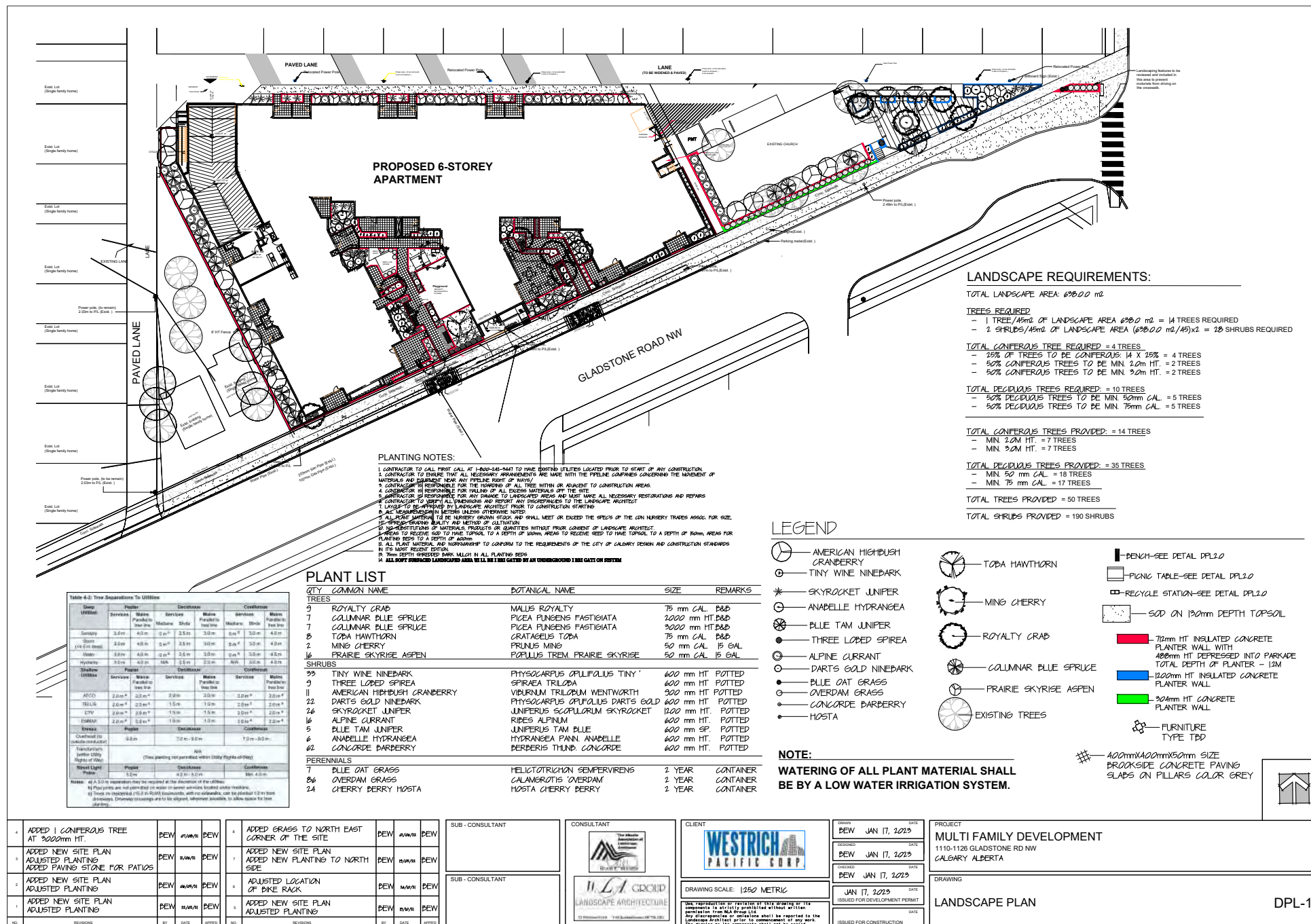
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DATE: 11/28/22	
SCALE: 1:50	
JOB NO:	
2020-21E	

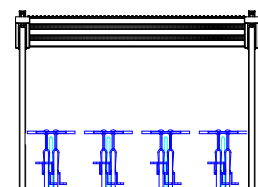
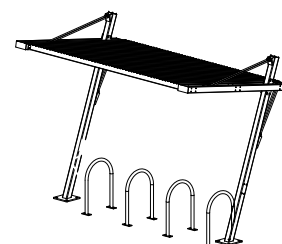
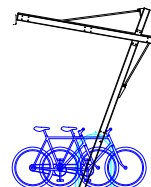
SHEET TITLE:

**CHURCH
PERSPECTIVE**

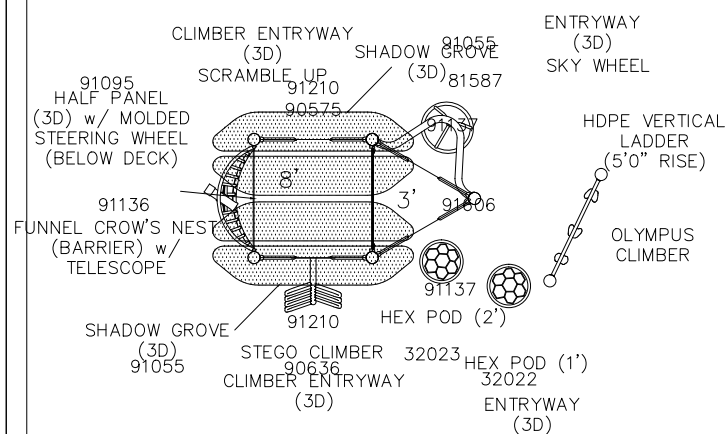
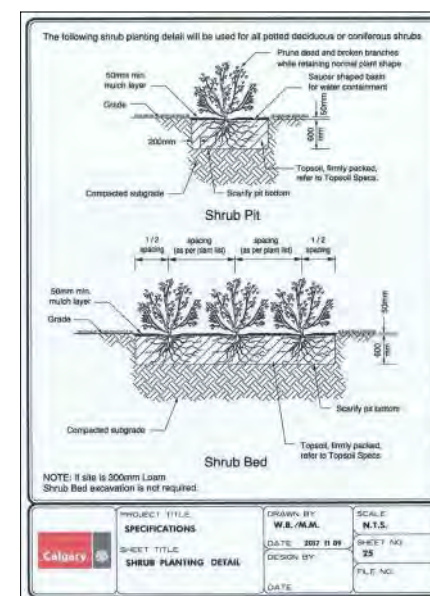
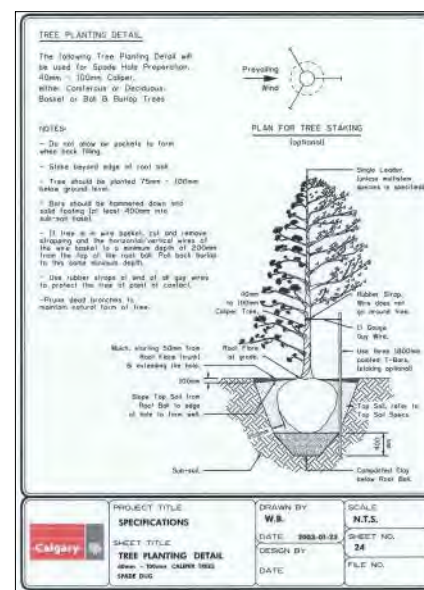
DRAWING NO:	REVISION No:
A7.05	







VIZOR BIKE SHELTER BY DERO PLAYCORE
See DPL1 for Location



PLAYGROUND STRUCTURE
See DPL1 for Location



BENCH

See DPL1 for Location



URBAN FORM RECYCLE STATION
See DPL1 for Location



TYPICAL PICNIC TABLE
See DPL1 for Location

SITE FURNITURE SCHEDULE

SHEET FORMWORK SCHEDULE					
ITEM	QTY.	MANUFACTURER	STYLE	COLOUR	INSTALLATION
BENCH	3	WISHBONE INDUSTRIES	STANDARD PARK BENCH PB-6	BROWN SURFACE BLACK METAL	SURFACE MOUNT
PICNIC TABLE	1	WISHBONE INDUSTRIES	BAYVIEW BVPTWC-8	BROWN SURFACE BLACK METAL	SURFACE MOUNT
RECYCLE STATION	2	WISHBONE INDUSTRIES	URBAN FORM UFRS-44	SAND SURFACE BLACK METAL	SURFACE MOUNT



PATIO and PLAZA PAVERS
See DPL1 for Location

4					8				
3					7				
2					6				
1					5				
NO.	DESCRIPTION	NO.	DATE	AMOUNT	NO.	DESCRIPTION	NO.	DATE	AMOUNT

SUB - CONSULTANT

CONSULTANT

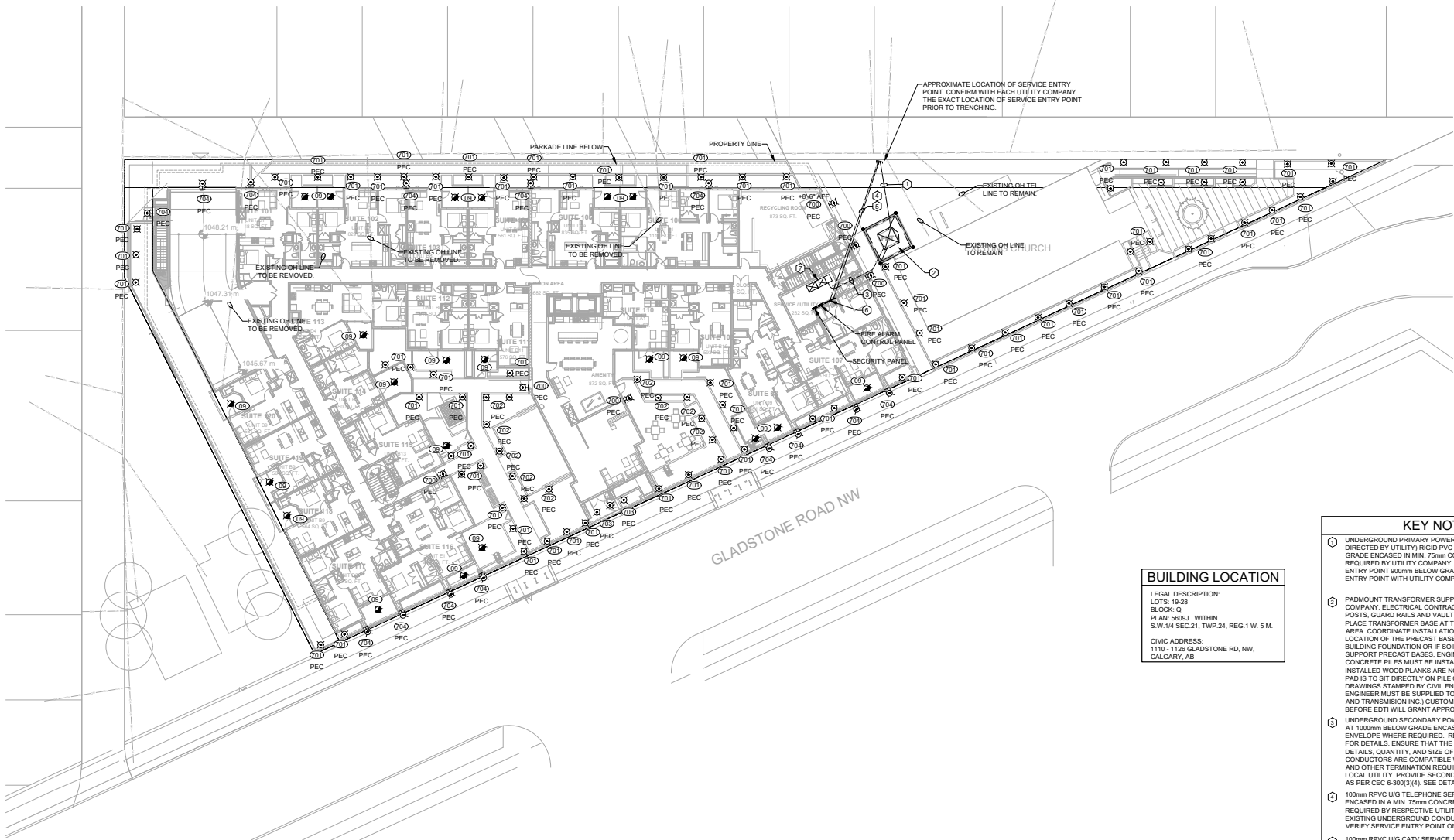

The Alabama Institute of
Landscape Architects
ROBERT HARRIS

W. L. A. GROUP
LANDSCAPE ARCHITECTURE

23 Montgomery • 714 Bucklehorse • 9775 5th

DESIGN	DA
BEW JAN 17, 2013	
DESIGNED	DA
BEW JAN 17, 2013	
CHECKED	DA
BEW JAN 17, 2013	
JAN 17, 2013	DA
ISSUED FOR DEVELOPMENT PERM	
	DA
ISSUED FOR CONSTRUCTION	

PROJECT	MULTI FAMILY DEVELOPMENT 1110-1126 GLADSTONE RD NW CALGARY ALBERTA	
DRAWING	LANDSCAPE DETAILS AND FURNITURE	DPL-2.0



BUILDING LOCATION

LEGAL DESCRIPTION:
LOTS: 19-28
BLOCK: Q
PLAN: 5609J WITHIN
S.W. 1/4 SEC. 21, TWP. 24, REG. 1 W. 5 M.
CIVIC ADDRESS:
1110 - 1126 GLADSTONE RD. NW,
CALGARY, AB

KEY NOTES:

- UNDERGROUND PRIMARY POWER SERVICE 100 OR 125mm (AS DIRECTED BY UTILITY) RIGID PVC DUCT AT 1000mm BELOW GRADE ENCASED IN MIN. 75mm CONCRETE ENVELOPE WHERE REQUIRED BY UTILITY COMPANY. TERMINATE AT POWER SERVICE ENTRY POINT 900mm BELOW GRADE. VERIFY EXACT SERVICE ENTRY POINT WITH UTILITY COMPANY PRIOR TO TRENCHING.
- PADMOUNT TRANSFORMER SUPPLIED AND INSTALLED BY UTILITY COMPANY. ELECTRICAL CONTRACTOR TO PROVIDE: GROUNDING, POSTS, GUARD RAILS AND VAULT AS REQUIRED BY UTILITY. PLACE TRANSFORMER BASE AT THE CROWN OF LANDSCAPE AREA. COORDINATE INSTALLATION WITH UTILITY ON SITE. IF THE LOCATION OF THE PRECAST BASE IS WITHIN 4 METER OF A BUILDING FOUNDATION OR IF SOIL CONDITIONS DO NOT SUPPORT PRECAST BASES, ENGINEERED SCREW PILES OR CONCRETE PILES MUST BE INSTALLED. WHEN PILES ARE INSTALLED WOOD PLANKS ARE NOT REQUIRED. THE CONCRETE PAD IS TO SIT DIRECTLY ON PILE CAP/PLATE. ENGINEERED DRAWINGS STAMPED BY CIVIL ENGINEER / GEOTECHNICAL ENGINEER MUST BE SUPPLIED TO EDTI (EPCOR DISTRIBUTION AND TRANSMISSION INC.) CUSTOMER ENGINEERING SERVICES BEFORE EDTI WILL GRANT APPROVAL.
- UNDERGROUND SECONDARY POWER SERVICE RIGID PVC DUCTS AT 1000mm BELOW GRADE ENCASED IN A MIN. 75mm CONCRETE ENVELOPE WHERE REQUIRED. REFER TO SINGLE LINE DIAGRAM FOR DETAILS. ENSURE THAT THE SECONDARY CONDUCTOR DETAILS, QUANTITY, AND SIZE OF THE SECONDARY CONDUCTORS ARE COMPATIBLE WITH THE TRANSFORMER LUGS AND OTHER TERMINATION REQUIREMENTS REQUIRED BY THE LOCAL UTILITY. PROVIDE SECONDARY SERVICE CONDUITS DRAIN AS PER CEC 6-300(3)(4). SEE DETAIL.
- 100mm RPVC UG TELEPHONE SERVICE 1m BELOW GRADE ENCASED IN A MIN. 75mm CONCRETE ENVELOPE WHERE REQUIRED BY RESPECTIVE UTILITY COMPANY. CONNECT TO EXISTING UNDERGROUND CONDUITS 1000mm BELOW GRADE. VERIFY SERVICE ENTRY POINT ON SITE.
- 100mm RPVC UG CATV SERVICE 1m BELOW GRADE ENCASED IN A MIN. 75mm CONCRETE ENVELOPE WHERE REQUIRED BY RESPECTIVE UTILITY COMPANY. CONNECT TO EXISTING UNDERGROUND CONDUITS 1000mm BELOW GRADE. VERIFY SERVICE ENTRY POINT ON SITE.
- APPROXIMATE LOCATION OF TTB/ TVTB IN ELECTRICAL ROOM. REFER TO FLOOR PLANS.
- APPROXIMATE LOCATION OF MDP IN ELECTRICAL ROOM. REFER TO FLOOR PLANS AND SINGLE LINE DIAGRAM FOR DETAILS.

GENERAL NOTES

- ELECTRICAL CONTRACTOR TO CONFIRM ENTRY POINTS AND REQUIREMENTS OF INCOMING SERVICES BEFORE COMMENCING WORK.
- ELECTRICAL CONTRACTOR TO VERIFY CLEARANCES FROM ALL OTHER DEEP SERVICES AND UTILITIES PRIOR TO ANY UNDERGROUND ELECTRICAL SERVICE WORK, INCLUDING BUT NOT LIMITED TO PIPING, TRANSFORMER VAULTS, AND PEDESTALS.
- ALL EXTERIOR LIGHTING TO BE CONTROLLED BY PHOTO-ELECTRIC CELL (PEC) / TIMECLOCK (TC). REFER TO EXTERIOR LIGHTING CONTROL SCHEMATIC FOR FURTHER INFORMATION.
- MINIMUM ACCEPTABLE VOLTAGE DROP FOR SITE LIGHTING IS 3% FROM BRANCH CIRCUIT PANEL TO THE FURTHEST LIGHT FIXTURE.
- PROVIDE A PULL ROPE IN ALL EMPTY CONDUITS.
- STUB CONDUITS INTO BUILDING ENVELOPE TO BE EXTENDED TO ELECTRICAL ROOM DURING FUTURE BUILDING CONSTRUCTION.
- EXTEND DUCTS OFF PROPERTY TO PEDESTAL. PROVIDE SWEEPING BENDS INTO PEDESTAL AS DIRECTED BY EACH UTILITY.

SITE PLAN
SCALE: 1:200

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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1	ISSUED FOR:	DATE	
2	ISSUED FOR DEVELOPMENT PERMIT	OCT 16, 2023	
3	ISSUED FOR RESPONSE OF COMMENT	MAR 09, 2024	
4	ISSUED FOR RESPONSE OF COMMENT	OCT 26, 2023	
5	ISSUED FOR RESPONSE OF COMMENT	OCT 26, 2023	
6	ISSUED FOR RESPONSE OF COMMENT	DEC 03, 2023	
7	ISSUED FOR RESPONSE OF COMMENT	DEC 13, 2023	
8	ISSUED FOR RESPONSE OF COMMENT	JAN 16, 2024	

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PROJECT:

MIXED-USE DEVELOPMENT

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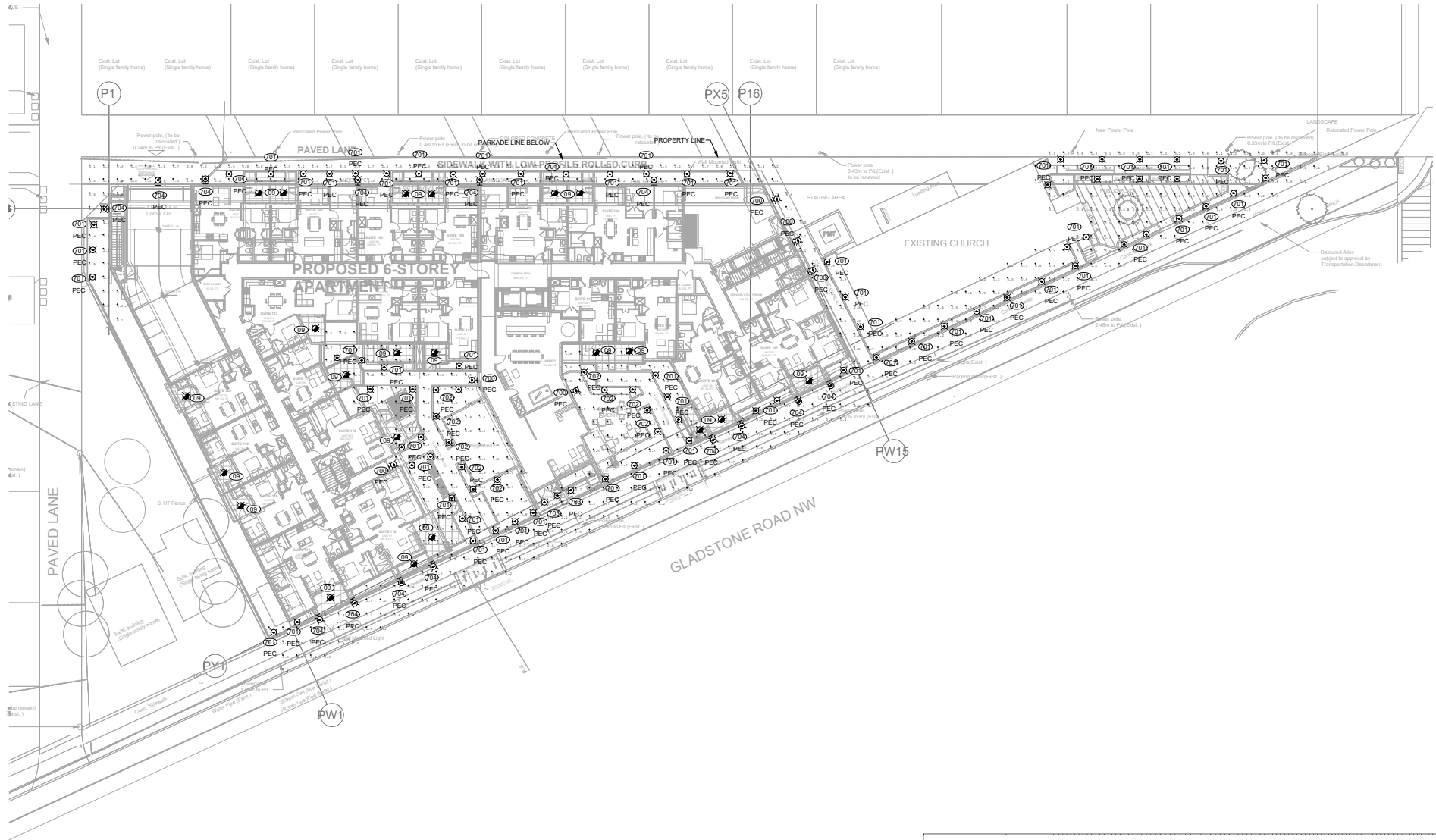
CONSULTANT:



DRAWN BY: GD/ET	SEAL:
CHECKED BY: GB	
DATE: 12/01/21	PRELIMINARY NOT FOR CONSTRUCTION
SCALE: AS SHOWN	
JOB NO.: 20-1717-042E	
SHEET TITLE:	

SITE PLAN

DRAWING NO.: E101	REVISION NO.:
-------------------	---------------



SITE PLAN - LIGHTING LEVEL
SCALE: 1:200



TYPE 09
SCALE: N.T.S.



TYPE 700
SCALE: N.T.S.



TYPE 701
SCALE: N.T.S.



TYPE 702
SCALE: N.T.S.



TYPE 703
SCALE: N.T.S.



TYPE 704
SCALE: N.T.S.

LUMINAIRE SCHEDULE											
TAG	DESCRIPTION	MODEL DESCRIPTION	VOLTAGE (V)	LOAD (WATTS)	LUMEN OUTPUT (L)	COLOUR TEMP (K)	MIN CRI	LAMPS DESCRIPTION	BALLAST/ DRIVER	DIMMING LEVEL	REMARKS
69	SUITE BALCONY LIGHT / POT LIGHT	LUMENS, ULTRA THIN 3" LED WAFER DOWNLIGHT	120V	8W	550L	3000K	80	LED	STANDARD 120V		3 INCHES POT LIGHT/ WET LOCATION/ CONFIRM COLOR WITH ARCHITECT
700	EXTERIOR WALL MOUNT LIGHT FIXTURE/ TYPE 3 DISTRIBUTION	KEENE LPW16 SERIES	120V	22W	2668L	4000K	70	LED	STANDARD 120V		EXTERIOR WALL MOUNTED FIXTURE/ PEC/ CONFIRM COLOR WITH OWNER OR ARCHITECT/ RATED AMBIENT TEMPERATURE 15-40C/ WET LOCATION/ VANDAL RESISTANT
701	BOLLARD LIGHT FIXTURE/	LUMINIS CL613 L4L5	12V	5W	805L	4000K	80	LED	STANDARD 12V		CONFIRM FINISH COLOR WITH OWNER OR ARCHITECT/ 42" HIGH/ PEC
702	TALL BOLLARD LIGHT FIXTURE/	LUMINIS EC610	120V	15W	1163L	4000K	80	LED	STANDARD 120V		CONFIRM FINISH COLOR WITH OWNER OR ARCHITECT/ 7' 6" ROUND POLE/ 8 FEET HIGH ROUND POLE/ PEC
703	CANOPY LIGHT FIXTURE/	LUMENS, ULTRA THIN 3" LED WAFER DOWNLIGHT	120V	8W	550L	4000K	80	LED	STANDARD 120V		3 INCHES POT LIGHT/ WET LOCATION/ CONFIRM COLOR WITH ARCHITECT
704	WALL MOUNTED LIGHT FIXTURE	WAC LIGHTING	120V	16W	927L	4000K	90	LED	0-10V DRIVER	0-10%	WET LOCATION/ PEC/ 17 INCHES HIGH/ E26 MEDIUM LAMP BASE/ LED BULB/ CONFIRM FINISH COLOR WITH ARCHITECT
ALTERNATE FIXTURES ARE ACCEPTABLE UPON PRIOR APPROVAL OF ENGINEER. ALTERNATE FIXTURES THAT ARE CARRIED IN A TENDER PRICE WITHOUT APPROVAL PRIOR TO CLOSE OF TENDER WILL BE REJECTED BY THE ENGINEER. UNLESS SIGNIFICANT EXTENUATING CIRCUMSTANCES EXIST. IN CASE OF REJECTION, THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ONE OF THE APPROVED FIXTURE PACKAGES AT NO ADDITIONAL COST TO THE OWNER. ALTERNATE PACKAGES ARE TO BE SUBMITTED TO THE ENGINEERS TWO (2) WORKING DAYS PRIOR TO CLOSE OF TENDER TO ALLOW SUFFICIENT TIME FOR REVIEW (OFFICE@TWSENGINEERING.COM).											
LIGHTING CONTROL PACKAGE TO BE INCLUDED IN BID AS A BREAKOUT PRICE FROM THE LIGHTING FIXTURES. LIGHTING FIXTURE SUPPLIERS WHO WISH TO SUPPLY CONTROLS AND FIXTURES ARE TO BREAKOUT THEIR FIXTURE AND CONTROL PACKAGES OR RISK THEIR PRICE BEING UNUSABLE BY BIDDERS.											
LED BULBS TO BE SUPPLIED BY CONTRACTOR FROM STANDARD, PHILIPS LIGHTING, OSRAM OR APPROVED ALTERNATE.											

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHURCH	Illuminance	FC	1.78	10.9	0.1	N/A	N/A
EAST LANE	Illuminance	FC	3.74	11.5	0.4	9.35	28.75
NORTH	Illuminance	FC	2.40	9.2	0.1	24.00	92.00
SOUTH	Illuminance	FC	1.48	7.4	0.1	14.80	74.00
WEST LANE	Illuminance	FC	3.48	13.0	0.2	17.40	65.00

BUILDING LOCATION
LEGAL DESCRIPTION:
LOTS: 19-28
BLOCK: Q
PLAN: S695J WITHIN
S.W. 1/4 SEC 21, TWP. 24, REG. 1 W. 5 M.
CIVIC ADDRESS:
1110 - 1126 GLADSTONE RD. NW,
CALGARY, AB

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

It is the Builder's responsibility to lay out and carry out the work as detailed in the contract documents. It is therefore necessary for the builder to pay very close attention to actual site dimensions, geometries and conditions which may vary from those assumed on the drawings.

Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.

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NO. REVISION	DATE
REVISIONS:	
ISSUED FOR:	
ISSUED FOR DEVELOPMENT PERMIT	DEC 16, 2023
ISSUED FOR RESPONSE OF COMMENT	MAR 09, 2024
ISSUED FOR RESPONSE OF COMMENT	OCT 28, 2023
ISSUED FOR RESPONSE OF COMMENT	OCT 28, 2023
ISSUED FOR RESPONSE OF COMMENT	DEC 03, 2023
ISSUED FOR RESPONSE OF COMMENT	DEC 13, 2023
ISSUED FOR RESPONSE OF COMMENT	JAN 16, 2024

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MIXED-USE DEVELOPMENT

1110-1126 Gladstone Rd, NW,
Calgary, AB

CLIENT:



CONSULTANT:



DRAWN BY: GDET	SEAL:
CHECKED BY: GB	
DATE: 12/21/21	PRELIMINARY NOT FOR CONSTRUCTION
SCALE: AS SHOWN	
JOB NO.: 20-1717-042E	
SHEET TITLE:	

SITE PLAN - LIGHTING LEVEL

DRAWING NO.: E102	REVISION NO.:
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