

Development Permit Plans



REVISED MASSING FOR REFERENCE



S2  
architecture

5400 90th St. NW, Suite 100  
Calgary, Alberta T2C 1K1  
T: 403-670-7000  
www.s2architecture.com

COVER SHEET

**EAMONS SITE**

MUNICIPAL ADDRESS: 10310 EAMON ROAD N.W. CALGARY, ALBERTA  
LEGAL ADDRESS: N.E. 1/4 SEC. 17, Twp.25, Rge 2, W. 5 M  
220011

# EAMON'S MULTI RESIDENTIAL

## DTR 2

**Design Team**

|                                     |                                         |                                                 |                                        |
|-------------------------------------|-----------------------------------------|-------------------------------------------------|----------------------------------------|
| <b>ARCHITECT</b>                    | <b>ELECTRICAL</b>                       | <b>CIVIL</b>                                    | <b>LANDSCAPE</b>                       |
| COMPANY: S2 Architecture            | COMPANY: Stebnicki Engineering Ltd.     | COMPANY: Veritas Development                    | COMPANY: 818 Studio Ltd.               |
| CONTACT: Chad Zyla                  | CONTACT: Gerry Stebnicki                | CONTACT: Ryan Bird                              | CONTACT: Rick Gendron                  |
| ADDRESS: 900, 110 12 Ave SW CALGARY | ADDRESS: 10815 - Eamon Road NW, CALGARY | ADDRESS: Unit 4 - 141 Commercial Drive, CALGARY | ADDRESS: 1812 - 14a Street SW, CALGARY |
| OFFICE: 403-670-7000                | OFFICE: 403-547-7230                    | OFFICE: 587-393-5654                            | OFFICE: 403-244-8188                   |
| EMAIL: c.zyla@s2architecture.com    | EMAIL: gstebnicki@stebeng.com           | EMAIL: ryan@veritasdevelopment.ca               | EMAIL: rick@818studio.ca               |

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Verify all dimensions, elevations and details, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for window partitions, and centerline of bearing walls, unless noted otherwise on the drawing.

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| Development Permit        | June 3, 2021     |
| DTR 1                     | November 8, 2021 |
| DTR 2 Review              | March 02, 2022   |
| DTR 2 Submission          | April 14, 2022   |
| DTR 2 Parkade Sweep Paths | May 20, 2022     |

|            |            |
|------------|------------|
| SCALE      | AS NOTED   |
| DATE       | 2022-03-25 |
| DRAWN BY   | DRC        |
| CHECKED BY | CZ         |

DRAWING NO.

**DP0.00**

Drawing List

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CIVIL

S03-02 SVC

S03-02 GRAD

S03-02 SECTIONS

SITE SERVICING PLAN

SITE GRADING PLAN

COMMERCIAL CROSSINGS

LANDSCAPE

DPL 01

DPL 02

LANDSCAPE PLAN

LANDSCAPE DETAILS

ELECTRICAL

EL 01

EL 02

SITE PLAN

SITE PLAN DETAILS

Vicinity Map

Context Map

Municipal Address

10310 EAMON ROAD N.W.  
CALGARY, ALBERTA

Legal Address

N.E. ¼ SEC. 17, Twp.25, Rge 2, W. 5 M.

Site Summary

TOTAL PARCEL AREA:  
8,896.2m²  
0.89ha  
2.2acres

AVAILABLE SITE AREA:  
6,670.9m²  
0.67ha  
1.65acres

By-Law Zoning

M-H24 (H26 MULTI-RESIDENTIAL - HIGH DENSITY, MEDIUM RISE

Discretionary use

Multi-Residential Development

By-Law Setback Summary

MINIMUM SETBACK AREAS

1. MINIMUM BUILDING SETBACK FROM A PROPERTY LINE SHARED WITH A STREET IS 6 METRES.

2. MINIMUM BUILDING SETBACK FROM A PROPERTY LINE SHARED WITH A STREET FOR A STREET-ORIENTED MULTI-RESIDENTIAL BUILDING IS ZERO METRES.

3. MINIMUM BUILDING SETBACK FROM A PROPERTY LINE SHARED WITH A LANE IS ZERO METRES.

4. MINIMUM BUILDING SETBACK FROM A PROPERTY LINE SHARED WITH ANOTHER PARCEL DESIGNATED AS:  
M-C2, M-2, M-H1, M-H2, M-H3, M-X2, CC-MH OR CC-MHX DISTRICT  
IS ZERO METRES.

Building Height

MAXIMUM BUILDING HEIGHT

• 36m

PROPOSED: 18.4m

Floor Area Ratio

| MAXIMUM PERMITTED F.A.R. | PROPOSED F.A.R. |
|--------------------------|-----------------|
| 4                        | 1.67            |

Density

| DENSITY (UNITS PER HECTARE) |                        |                  |
|-----------------------------|------------------------|------------------|
| MIN. PERMITTED DENSITY      | MAX. PERMITTED DENSITY | PROPOSED DENSITY |
| 150                         | N/A                    | 163              |

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

| LEVEL        | GROSS FLOOR AREA (m²)             |
|--------------|-----------------------------------|
| PARKADE P1   | 3,842 (NOT INCLUDED IN TOTAL GFA) |
| PARKADE P2   | 3,902 (NOT INCLUDED IN TOTAL GFA) |
| MAIN FLOOR   | 2407                              |
| SECOND FLOOR | 2513                              |
| THIRD FLOOR  | 2513                              |
| FOURTH FLOOR | 2513                              |
| FIFTH FLOOR  | 2513                              |
| SIXTH FLOOR  | 2395                              |
| TOTAL        | 14,857 m²                         |

Dwelling Unit Count

| LEVEL     | 1 BED<br>57 m² | 1 BED + DEN<br>63 m² | 2 BEDS<br>85 m² | 2BEDS + DEN<br>100 m² | TOTAL |
|-----------|----------------|----------------------|-----------------|-----------------------|-------|
| 1         | 3              | 6                    | 14              | 0                     | 23    |
| 2         | 3              | 2                    | 14              | 6                     | 25    |
| 3         | 3              | 2                    | 14              | 6                     | 25    |
| 4         | 3              | 2                    | 14              | 6                     | 25    |
| 5         | 3              | 2                    | 14              | 6                     | 25    |
| 6         | 0              | 2                    | 14              | 6                     | 22    |
| TOTAL     | 15             | 16                   | 84              | 30                    | 145   |
| RATIO (%) | 10.3           | 11.0                 | 57.9            | 20.8                  | 100   |
|           | 23% 1 BED      |                      | 77% 2 BEDS      |                       |       |

Amenity Space

PRIVATE AMENITY SPACE REQUIREMENT

• REQUIRED AMENITY SPACE IS 5.0SM PER UNIT

• AMENITY SPACE MUST NOT HAVE A DIMENSION LESS THAN 2.0M

PROVIDED:

• 145 UNITS WITH COMPLIANT BALCONIES

COMMON AMENITY SPACE REQUIREMENT

• MUST HAVE A CONTIGUOUS AREA OF NOT LESS THAN 50.0 SM

• AMENITY SPACE MUST NOT HAVE A DIMENSION LESS THAN 6.0M

PROVIDED:

• AREA  
OUTSIDE SPACE: 493SM  
INSIDE SPACE: 1555SM  
TOTAL : 648 SM

Motor Vehicle Parking Requirement

RESIDENTIAL PARKING STALL REQUIREMENTS

| UNIT TYPE                                   | UNIT COUNT           | FACTOR              | REQUIRED |
|---------------------------------------------|----------------------|---------------------|----------|
| DWELLING UNITS                              | 145                  | MIN 1.25 STALL/UNIT | 181      |
| TOD SITE: REDUCTION OF PARKING STALLS 10%   |                      |                     | 163      |
| TOTAL RESIDENTIAL PARKING STALLS REQUIRED   |                      |                     | 163      |
| VISITOR PARKING STALLS REQUIRED             | 0.15 STALLS PER UNIT |                     | 22       |
| TOTAL PARKING STALLS REQUIRED               |                      |                     | 185      |
| MAXIMUM PARKING STALLS CLOSE TO LRT STATION | 1.5 STALLS PER UNIT  |                     | 218      |

RESIDENTIAL PARKING STALL PROVIDED

| SITE PARKING   | VISITORS              |                   |             | RESIDENTIAL           |                   |                 | TOTAL |
|----------------|-----------------------|-------------------|-------------|-----------------------|-------------------|-----------------|-------|
|                | Barrier Free (Stalls) | Standard (Stalls) | EV (Stalls) | Barrier Free (Stalls) | Standard (Stalls) | Tandem (Stalls) |       |
| PARKADE 1      | 0                     | 5                 | 8           | 2                     | 56                | 3               | 66    |
| PARKADE 2      | 0                     | 0                 | 0           | 2                     | 52                | 0               | 54    |
| TOTAL PROVIDED | 0                     | 5                 | 8           | 4                     | 108               | 3               | 125   |

NOTE: -THE CALCULATIONS DO NOT INCLUDE THE EASEMENT PARK 'N' RIDE STALLS  
-TANDEM STALLS ARE COUNTED AS SINGLE STALLS

Bicycle Parking Requirement

BICYCLE PARKING CALCULATIONS

| UNIT TYPE      | UNIT COUNT | FACTOR                    | REQUIRED | PROVIDED |
|----------------|------------|---------------------------|----------|----------|
| DWELLING UNITS | 145        | 0.5/TOTAL UNITS (CLASS 1) | 72       | 107      |
|                |            | 0.1/TOTAL UNITS (CLASS 2) | 15       | 18       |

NOTE: 50% OF THE CLASS 1 BICYCLE STALLS ARE WALL MOUNTED (54 STALLS)

Waste & Recycling Requirements

RESIDENTIAL REQUIREMENTS

• 145 UNITS

• 145 UNITS X 0.3YARDS PER UNIT = 43.5 YARDS

• DIVIDED BY 4 CUBIC YARD BINS = 10.87 BINS REQUIRED.

• PICKED UP TWICE WEEKLY / 2 = 5.43 BINS

• PROVIDED: 6 BINS OF 4 CUBIC YARD.

Loading Stalls Requirements

RESIDENTIAL REQUIREMENTS

• MINIMUM 1 LOADING STALL WHERE A BUILDING CONTAINS 20 OR MORE UNITS WITH SHARED ENTRANCE FACILITIES

PROVIDED:

• 1 LOADING STALLS

1 VIEW FROM SOUTH WEST CORNER  
DP0.01 SCALE: NTS

2 VIEW FROM SOUTH EAST CORNER  
DP0.01 SCALE: NTS

3 VIEW FROM NORTH EAST CORNER  
DP0.01 SCALE: NTS

4 VIEW FROM NORTH WEST CORNER  
DP0.01 SCALE: NTS

PROJECT STATISTICS

EAMONS SITE

MUNICIPAL ADDRESS: 10310 EAMON ROAD N.W. CALGARY, ALBERTA

LEGAL ADDRESS: N.E. ¼ SEC. 17, Twp.25, Rge 2, W. 5 M

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| 5 DTR 2 Parkade Sweep Paths | May 20, 2022     |

SCALE

AS NOTED

DATE

2022-03-25

DRAWN BY

DRC

CHECKED BY

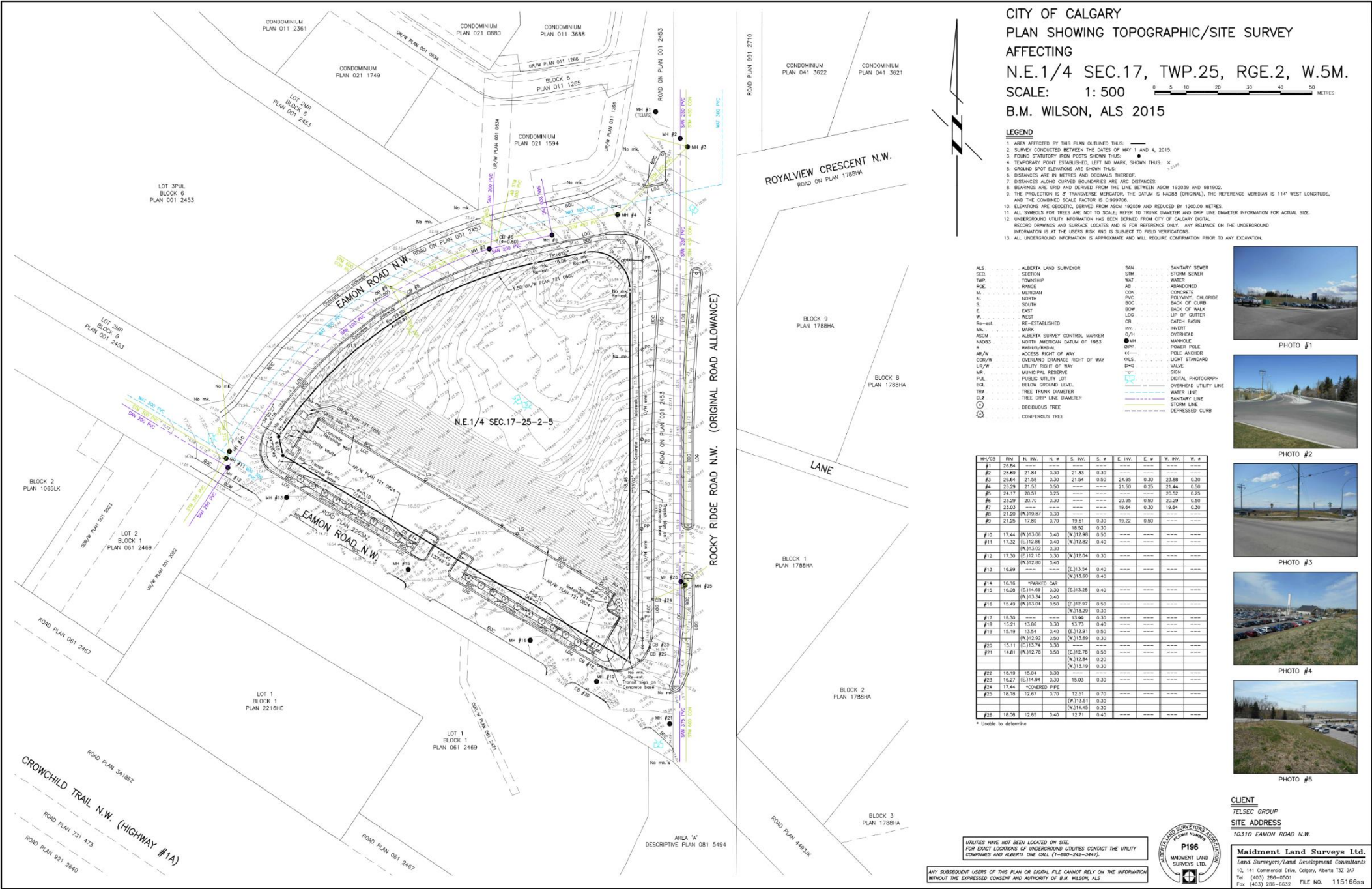
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CPC2022-0862 Attachment 3  
ISC:UNRESTRICTED

Page 2 of 29



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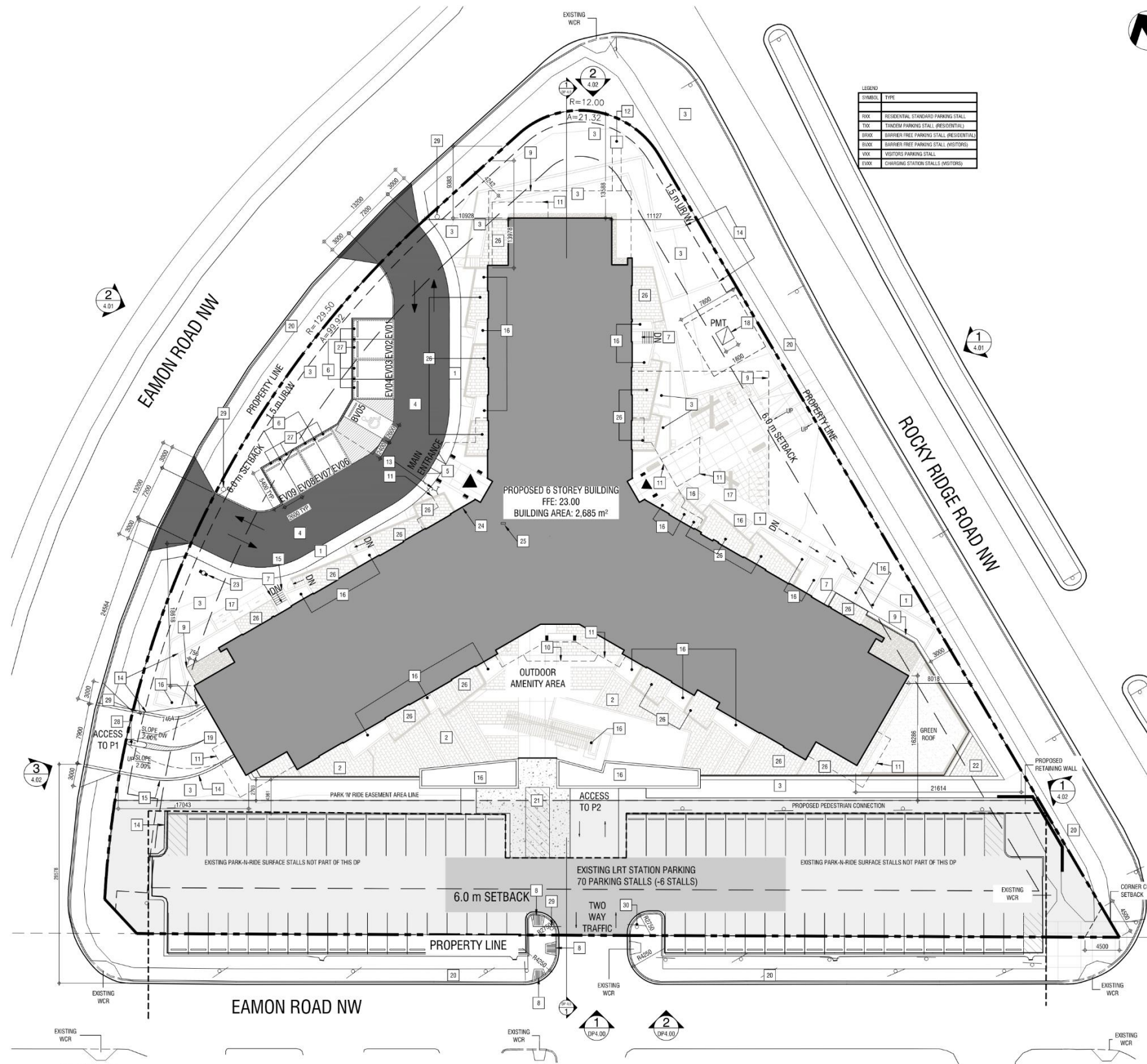
PHOTO #1

PHOTO #2

PHOTO #3

PHOTO #4

PHOTO #5



### Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SITE SPECIFIC REQUIREMENTS
2. REFER TO SITE GRADING PLAN FOR ALL RELATED SITE GRADING
3. REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE SPECIFIC REQUIREMENTS
4. REFER TO ELECTRICAL DRAWINGS FOR PROPOSED LIGHTING & TRANSFORMER LOCATIONS
5. REFER TO THE SURVEY PLAN FOR PROPERTY LINE & RIGHT-OF-WAY & ADJACENT LOT RELATED INFORMATION
6. ALL SIGNAGE TO BE SUBMITTED UNDER A SEPARATE DEVELOPMENT PERMIT APPLICATION
7. ALL SIDEWALKS ARE RAISED ABOVE THE SURFACE OF THE PARKING AREA ±150mm

### Site Plan - Symbol Legend

- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES PAINTED LINE ON ASPHALT / CONCRETE
- INDICATES LOADING STALL 3.1m x 9.2m
- INDICATES EXTENT OF BARRIER FREE STALL ACCESS AISLE, PAINTED
- INDICATES EXTENT & LOCATION OF NEW BUILDING CONSTRUCTION
- INDICATES EXTENT & LOCATION OF HEAVY DUTY ASPHALT/ CONCRETE THAT SUPPORT A MIN WEIGHT OF 25000KG
- INDICATES EXTENT & LOCATION OF HEAVY DUTY ASPHALT/ CONCRETE THAT SUPPORT A MIN WEIGHT OF 38556KG
- PARK N RIDE EASEMENT AREA
- INDICATES EXTENT OF CONCRETE SURFACE
- INDICATES BARRIER FREE PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES BUILDING EGRESS
- INDICATES BUILDING PRIMARY/PRINCIPAL ENTRANCE
- INDICATES RETAIL ENTRY/ACCESS
- INDICATES PARKING LINE PAINTED ON ASPHALT SURFACE
- INDICATES LOCATION OF BARRIER FREE OR COMMERCIAL & RESIDENTIAL HOURS RESTRICTION SIGN
- WHEEL STOP - REFER TO DETAIL 1/DP1.4
- EXISTING STREET LIGHT TO REMAIN

### Site Plan - Notations

- 1 CONCRETE SIDEWALK (REFER TO LANDSCAPE PLAN)
- 2 HARD LANDSCAPING (REFER TO LANDSCAPE PLAN)
- 3 GRASS &/OR SOFT LANDSCAPING (REFER TO LANDSCAPE PLAN)
- 4 ASPHALT DRIVE AISLE TO SUPPORT 38,556kg
- 5 BARRIER FREE CURB CUT TO CITY OF CALGARY STANDARDS - REFER TO DETAIL 02/DP1.04
- 6 FLOOR MOUNTED EV CHARGING STATION
- 7 EXIT STAIRS FROM PARKADE
- 8 PROPOSED WHEELCHAIR RAMP
- 9 OUTLINE OF PARKADE BELOW
- 10 OUTLINE OF BUILDING ABOVE
- 11 OUTLINE OF CANOPY / BALCONY ABOVE
- 12 VERTICAL SURFACE GRATE FOR MECHANICAL INTAKE/EXHAUST
- 13 SIAMENSE CONNECTION
- 14 CONCRETE RETAINING WALL
- 15 METAL GUARDRAIL 1100mm HEIGHT ON RETAINING WALL
- 16 LANDSCAPE PLANTER (REFER TO LANDSCAPE PLAN)
- 17 CLASS 2 BIKE RACKS - REFER TO DETAIL 8/DP1.04 & LANDSCAPE PLAN
- 18 TRANSFORMER ON CONCRETE PAD
- 19 RESIDENTIAL PARKADE DRIVE ISLE - REFER TO DETAIL 10/DP1.04
- 20 EXISTING CONCRETE SIDEWALK
- 21 LOADING STALL
- 22 PROPOSED GYM TERRACE
- 23 NEW FIRE HYDRANT (REFER TO CIVIL PLAN)
- 24 FIRE DEPARTMENT APPROVED LOCKBOX
- 25 FIRE ALARM PANEL LOCATION (REFER TO 1/DP1.03)
- 26 RESIDENTIAL PATIO
- 27 VISITORS EV POINT OF SALE CHARGING STATION WITH SIGN INDICATING "VISITORS STALLS FOR COMBUSTION AND EV CARS"
- 28 PARKADE OVERHEAD DOOR INTERCOM & FOB ACCESS FLOOR MOUNTED GOOSENECK PEDESTAL WITH PROTECTION BOLLARDS
- 29 PROPOSED POLE MOUNTED STOP SIGN
- 30 PROPOSED POLE MOUNTED SIGN INDICATING THAT "PARK AND RIDE PARKING STALLS ARE RESTRICTED FOR THE SOLE USE OF CALGARY TRANSIT CUSTOMERS"



Suite 100, 115, 128 Avenue SW  
Calgary, Alberta, Canada T2R 9J7  
T 403.676.7800  
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SITE PLAN

## EAMONS SITE

MUNICIPAL ADDRESS: 10310 EAMON ROAD N.W. CALGARY, ALBERTA  
LEGAL ADDRESS: N.E. 1/4 SEC. 17, Twp.25, Rge 2, W. 5 M

220011

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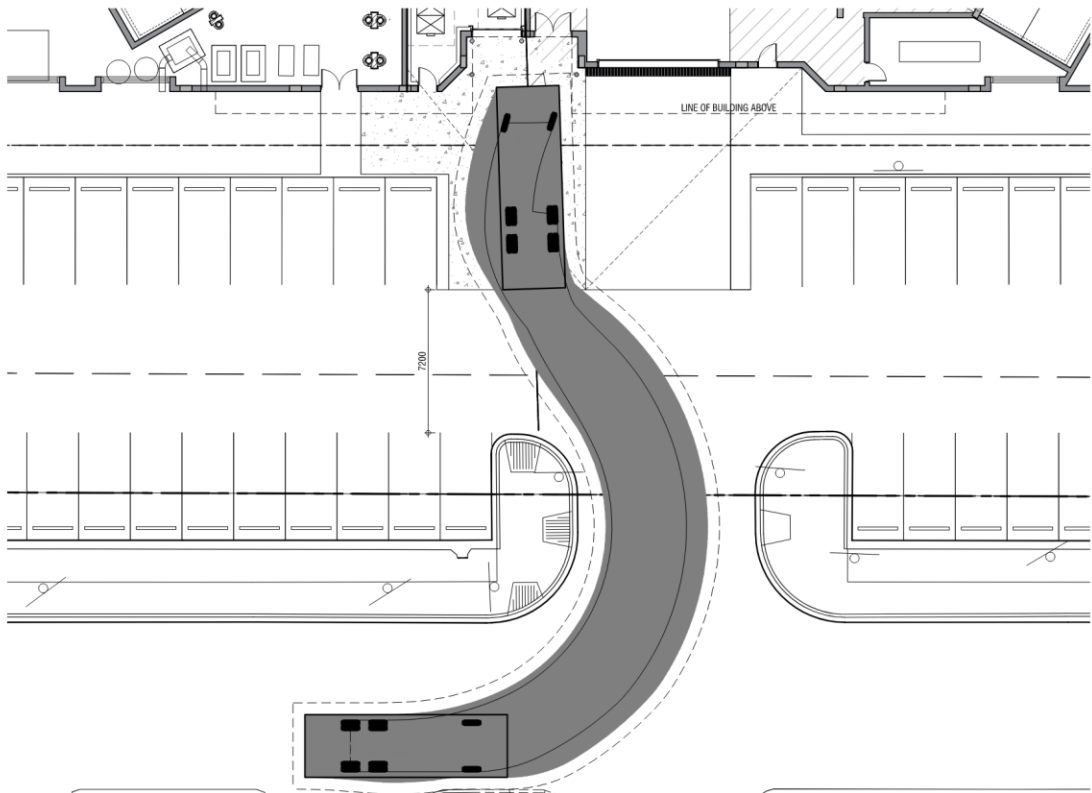
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SCALE AS NOTED  
DATE 2022-03-25  
DRAWN BY BRC  
CHECKED BY CZ

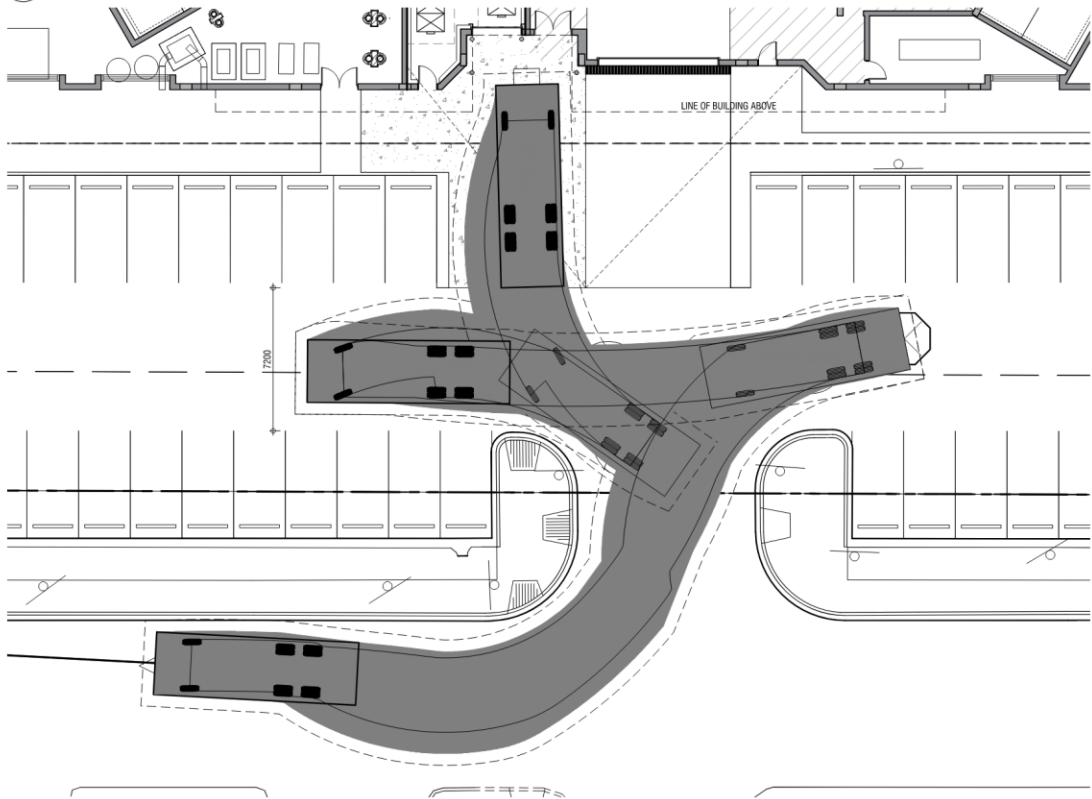
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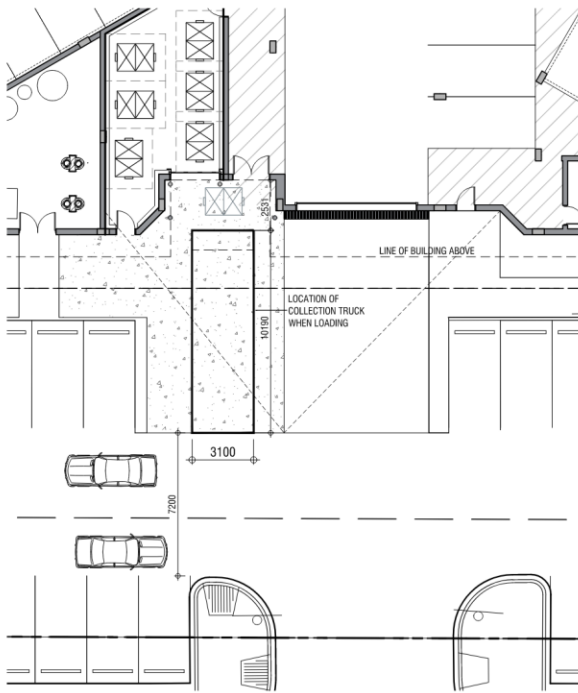
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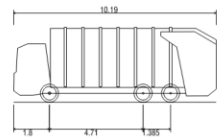
1 W&R Vehicle Turning Analysis Drive-in  
DP1.01 SCALE: 1:150



2 W&R Vehicle Turning Analysis Drive-Out  
DP1.01 SCALE: 1:150

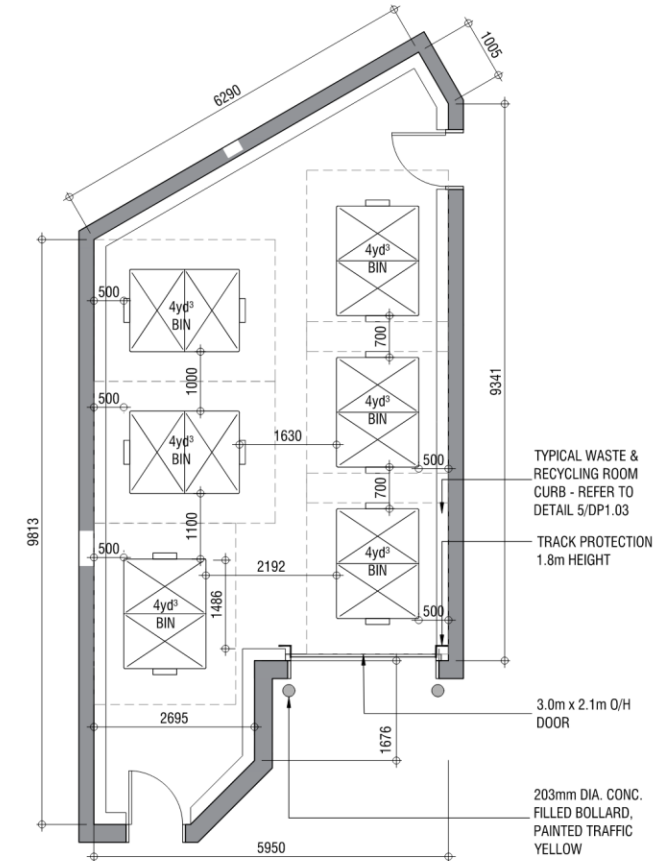


3 W&R Vehicle When Loading  
DP1.01 SCALE: 1:150



5 Vehicle Information

DP1.01 SCALE: NTS



4 W&R Room  
DP1.01 SCALE: 1:50

NOTE  
METHOD OF COLLECTION:  
PRIVATE CONTRACTOR, BI-WEEKLY  
STAGING AREA PROVIDED ON SITE  
PLAN BY COMMERCIAL W&R



Suite 102, 110 - 12th Avenue SW  
Calgary, Alberta, Canada T2H 0C7  
T 403.676.7000  
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W&R TURNING RADIUS & DETAILS

EAMONS SITE

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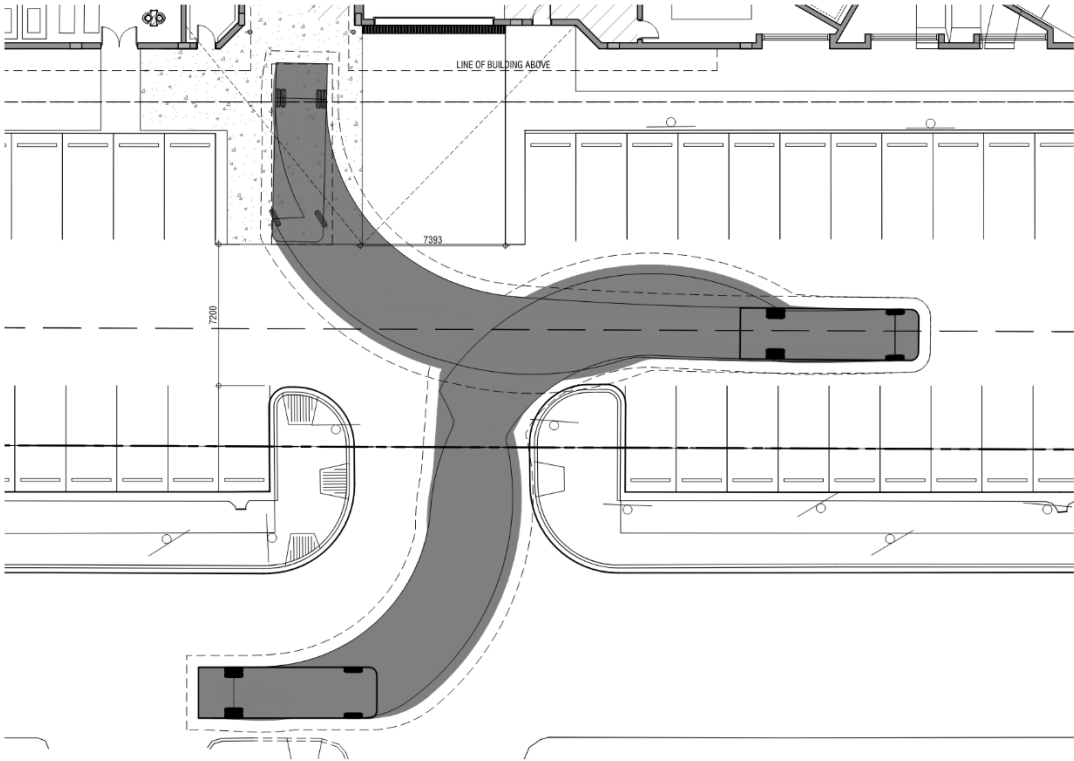
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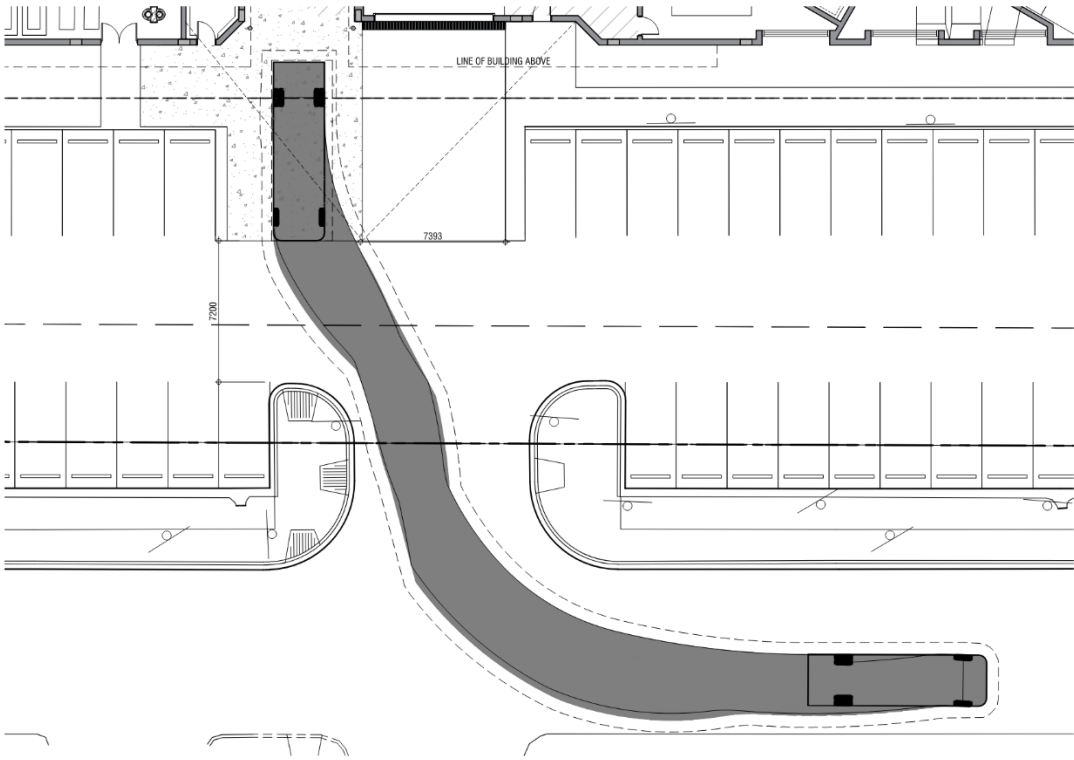
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DP1.01

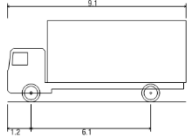
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1 Loading Vehicle Turning Analysis Drive-in  
DP1.02 SCALE: 1:150



2 Loading Vehicle Turning Analysis Drive-Out  
DP1.02 SCALE: 1:150



SU9 - Single Unit or Bus  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Curb to Curb Turning Radius

9.100m  
2.600m  
4.150m  
0.445m  
2.600m  
4.00s  
12.800m

3 Vehicle Information  
DP1.02 SCALE: NTS

Note: Vehicle Sweep Path shows 600mm outline.



Suite 202, 141 - 15th Avenue SW  
Calgary, Alberta, Canada, T2N 1G7  
T 403.619.7000  
www.s2architecture.com

LOADING TRUCK TURNING RADIUS

EAMONS SITE  
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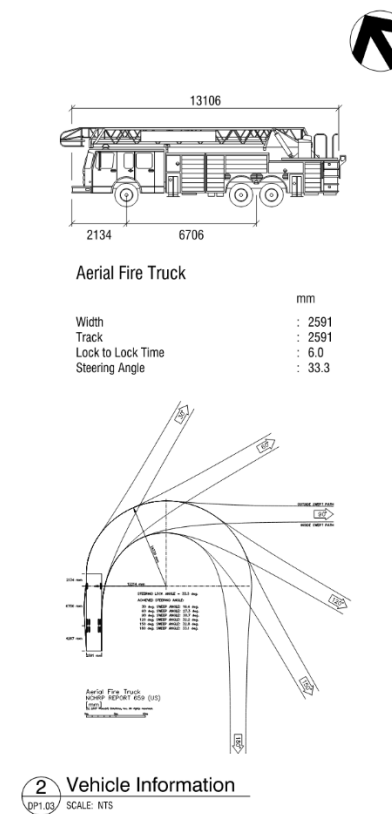
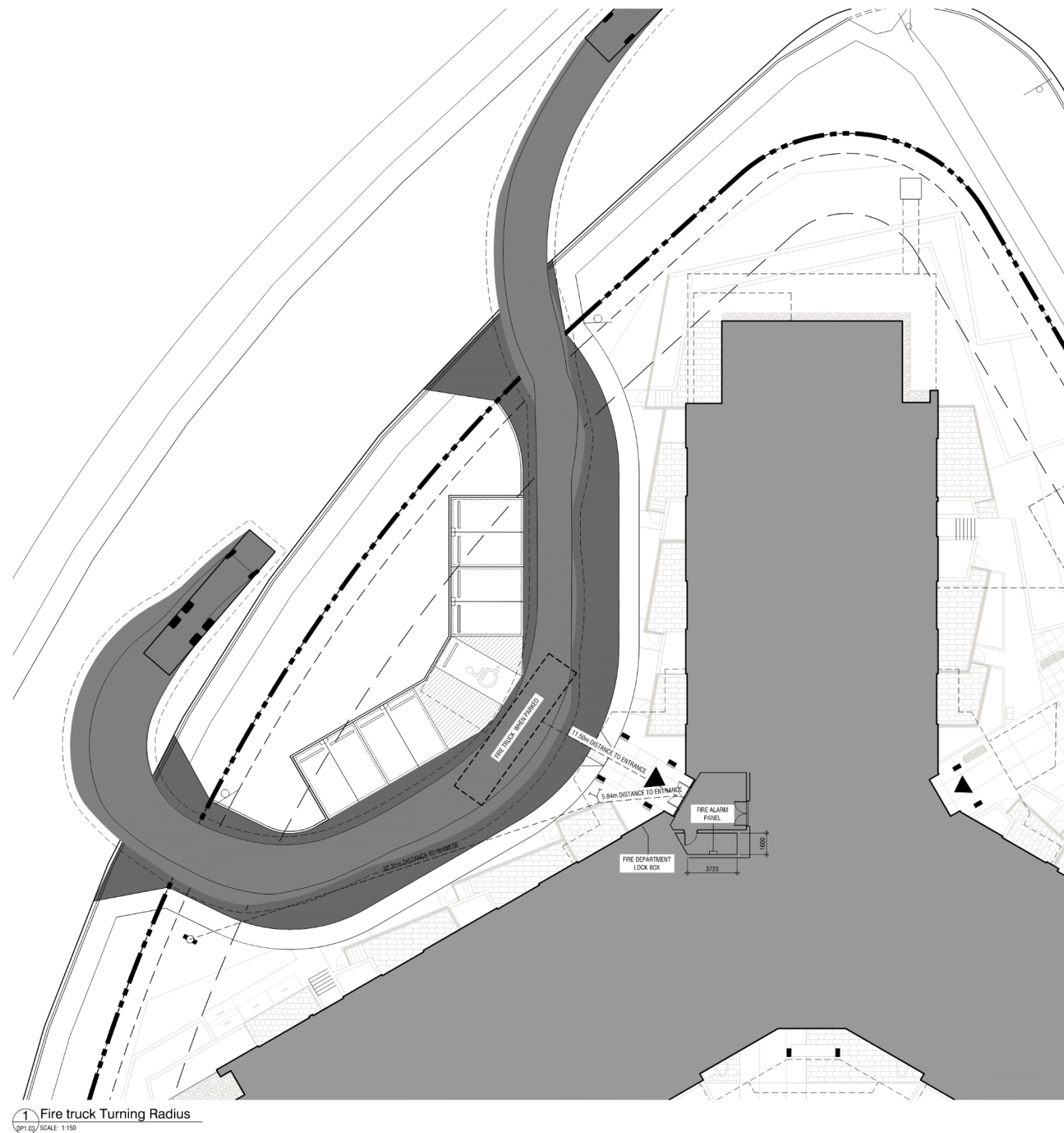
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SCALE  
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DRAWN BY DYC  
CHECKED BY CZ

DRAWING NO.

DP1.02

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T 403.476.7880  
www.s2architecture.com

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FIRETRUCK ACCESS

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| 6        | DTR 2 Parkade Sweep Paths | May 20, 2022     |

SCALE

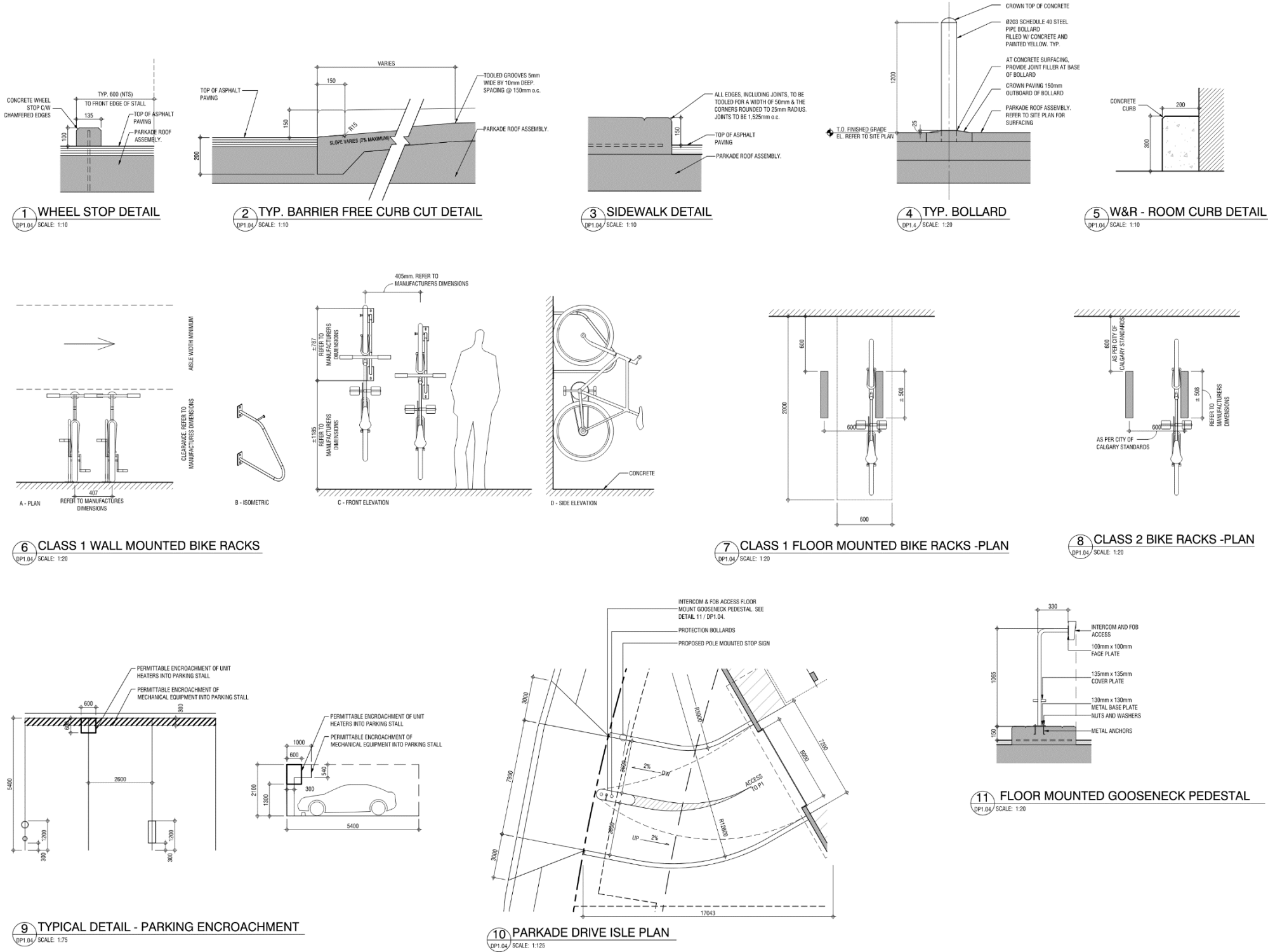
DATE                      2022-03-25

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CHECKED BY        CZ

DRAWING NO.

# DP1.03



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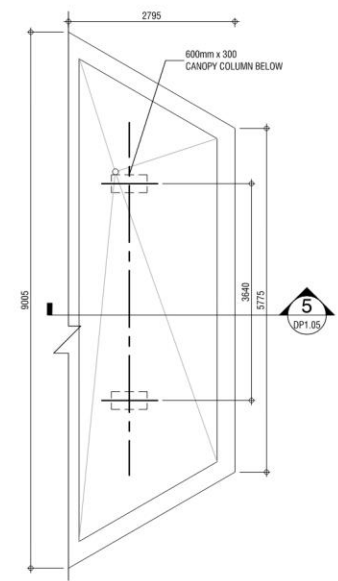
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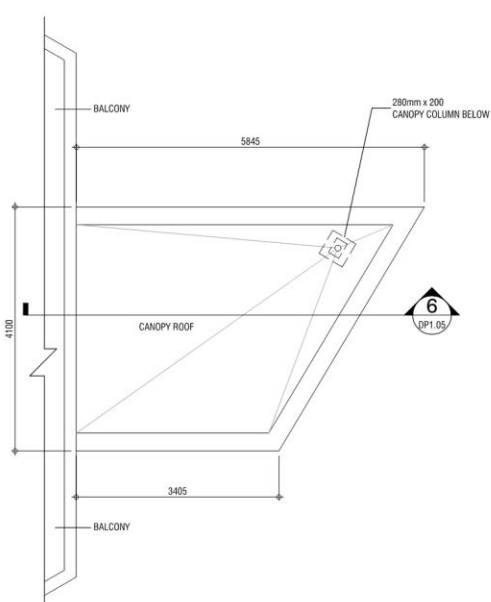
SCALE  
DATE 2022-03-25  
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**DP1.04**

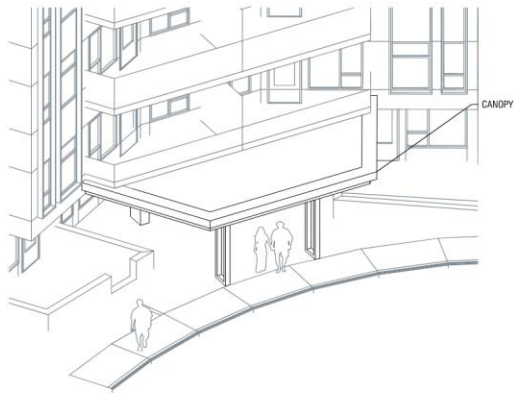
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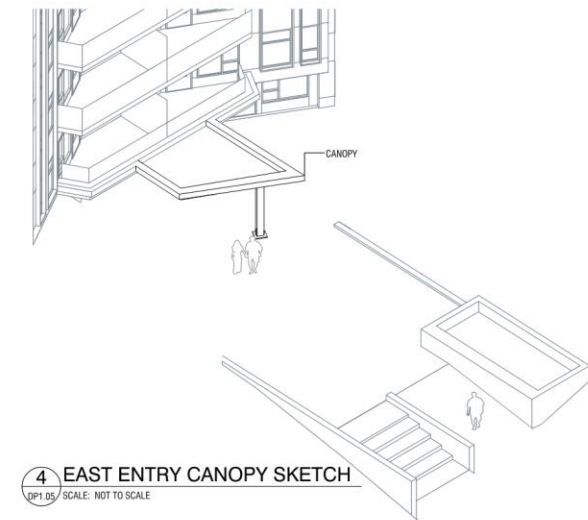
1 MAIN ENTRY CANOPY PLAN  
DP1.05 SCALE: 1:1



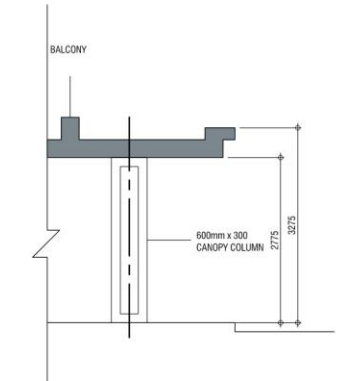
2 EAST ENTRY CANOPY PLAN  
DP1.05 SCALE: 1:1



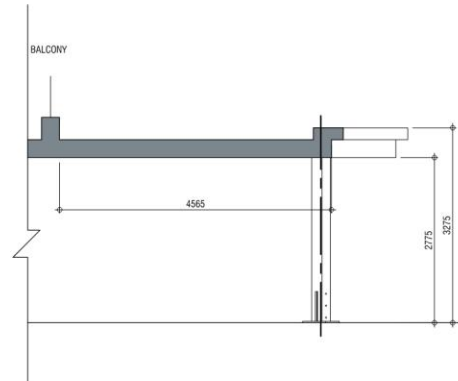
3 MAIN ENTRY CANOPY SKETCH  
DP1.05 SCALE: NOT TO SCALE



4 EAST ENTRY CANOPY SKETCH  
DP1.05 SCALE: NOT TO SCALE



5 MAIN ENTRY CANOPY SECTION  
DP1.05 SCALE: 1:1



6 EAST ENTRY CANOPY SECTION  
DP1.05 SCALE: 1:1

7 FREE STANDING STRUCTURE ELEVATION  
DP1.05 SCALE: 1:1

8 FREE STANDING STRUCTURE ELEVATION  
DP1.05 SCALE: 1:1



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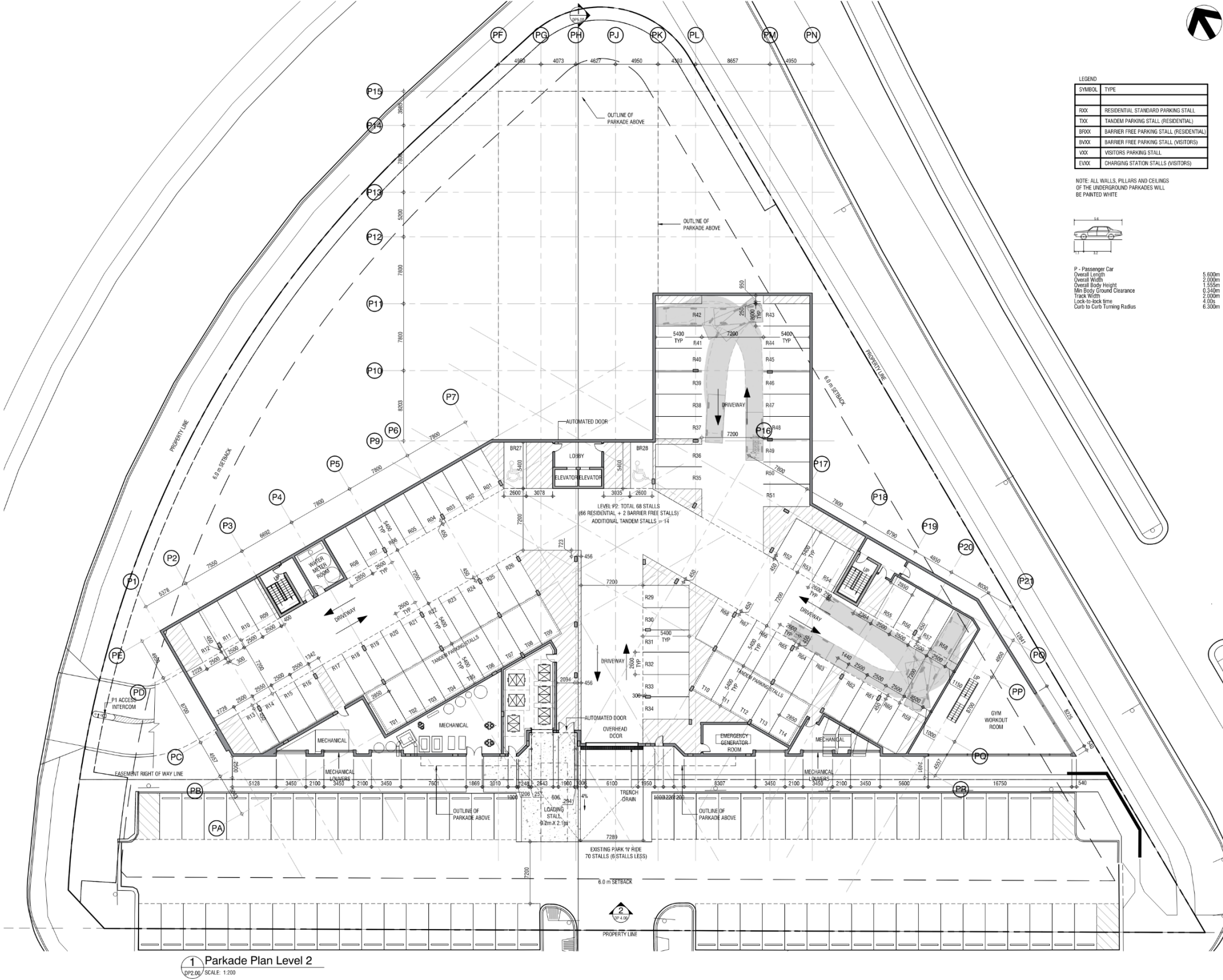
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DATE 2022-03-25  
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DRAWING NO.  
**DP1.05**



| LEGEND |                                          |
|--------|------------------------------------------|
| SYMBOL | TYPE                                     |
| RXX    | RESIDENTIAL STANDARD PARKING STALL       |
| TXX    | TANDEM PARKING STALL (RESIDENTIAL)       |
| BXXX   | BARRIER FREE PARKING STALL (RESIDENTIAL) |
| BXXX   | BARRIER FREE PARKING STALL (VISITORS)    |
| VXX    | VISITORS PARKING STALL                   |
| EVXX   | CHARGING STATION STALLS (VISITORS)       |

NOTE: ALL WALLS, PILLARS AND CEILINGS  
OF THE UNDERGROUND PARKADES WILL  
BE PAINTED WHITE



P - Passenger Car  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Curb to Curb Turning Radius

5.600m  
2.000m  
1.550m  
0.340m  
2.000m  
4.00s  
6.300m



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PARKADE PLAN LEVEL 2

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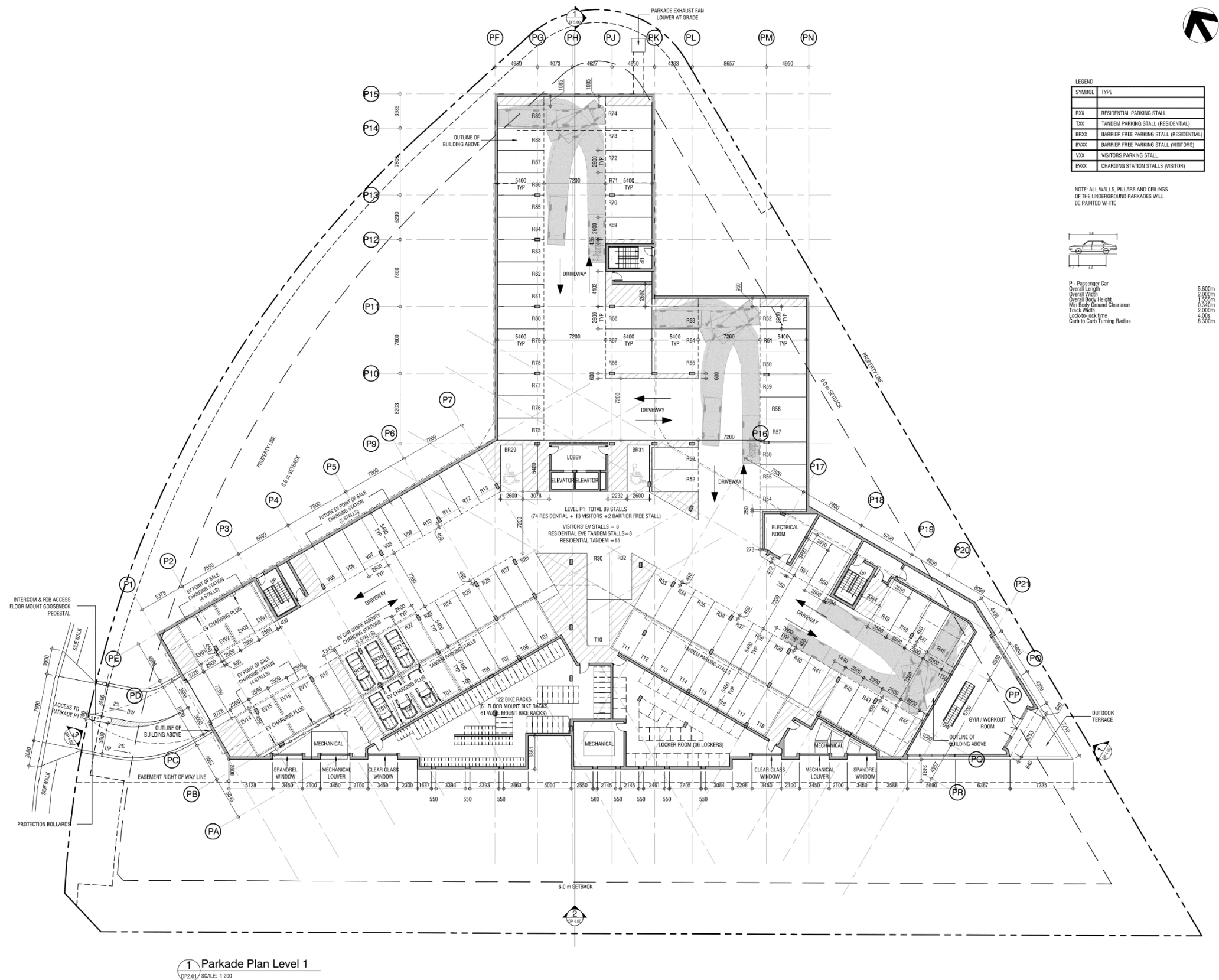
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DRAWING NO.

DP2.00

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| LEGEND |                                          |
|--------|------------------------------------------|
| SYMBOL | TYPE                                     |
|        |                                          |
| RXX    | RESIDENTIAL PARKING STALL                |
| TXX    | TANDEM PARKING STALL (RESIDENTIAL)       |
| BRXX   | BARRIER FREE PARKING STALL (RESIDENTIAL) |
| BVXX   | BARRIER FREE PARKING STALL (VISITORS)    |
| VXX    | VISITOR PARKING STALL                    |
| EVXX   | CHARGING STATION STALLS (VISITOR)        |

NOTE: ALL WALLS, PILLARS AND CEILINGS OF THE UNDERGROUND PARKADES WILL BE PAINTED WHITE



P - Passenger Car  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Curb to Curb Turning Radius

5.600m  
2.000m  
1.555m  
0.340m  
2.000m  
4.00s  
6.300m

PARKADE PLAN LEVEL 1

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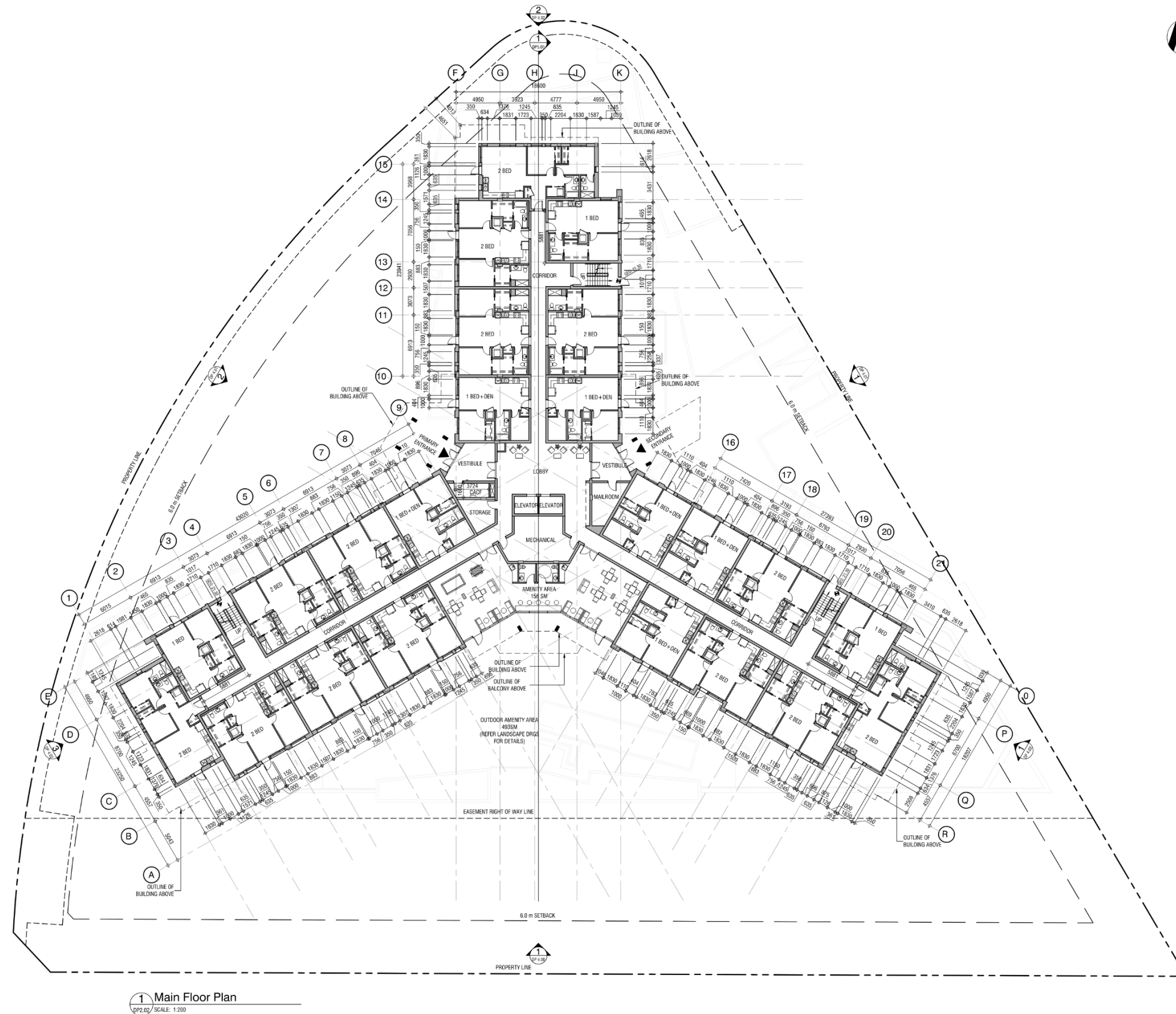
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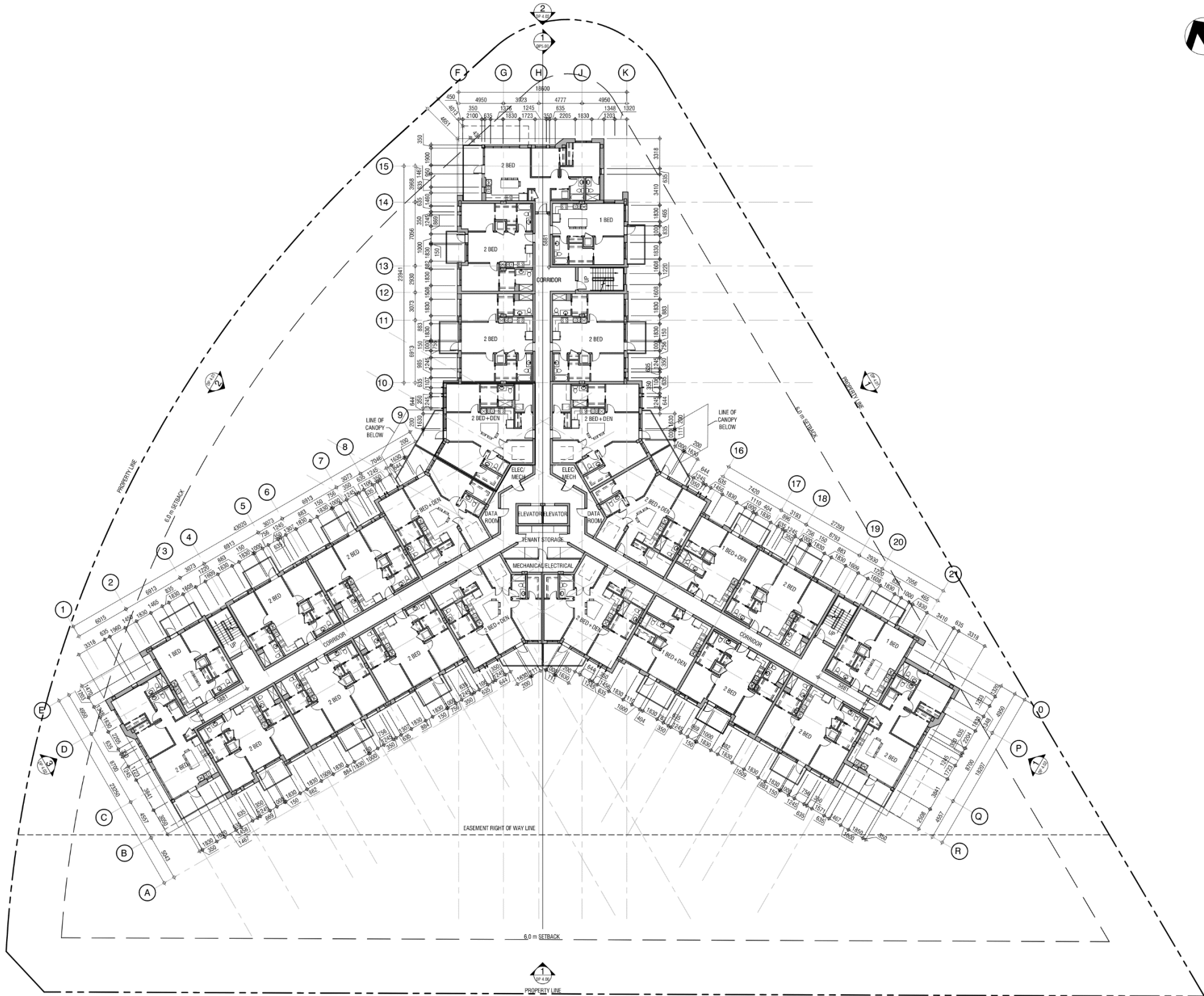
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|            |            |
|------------|------------|
| SCALE      | AS NOTED   |
| DATE       | 2022-03-25 |
| DRAWN BY   | DRC        |
| CHECKED BY | CZ         |

DRAWING NO.

DP2.01





1 Second Floor Plan  
DP2.03 SCALE: 1/200





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SECOND FLOOR PLAN

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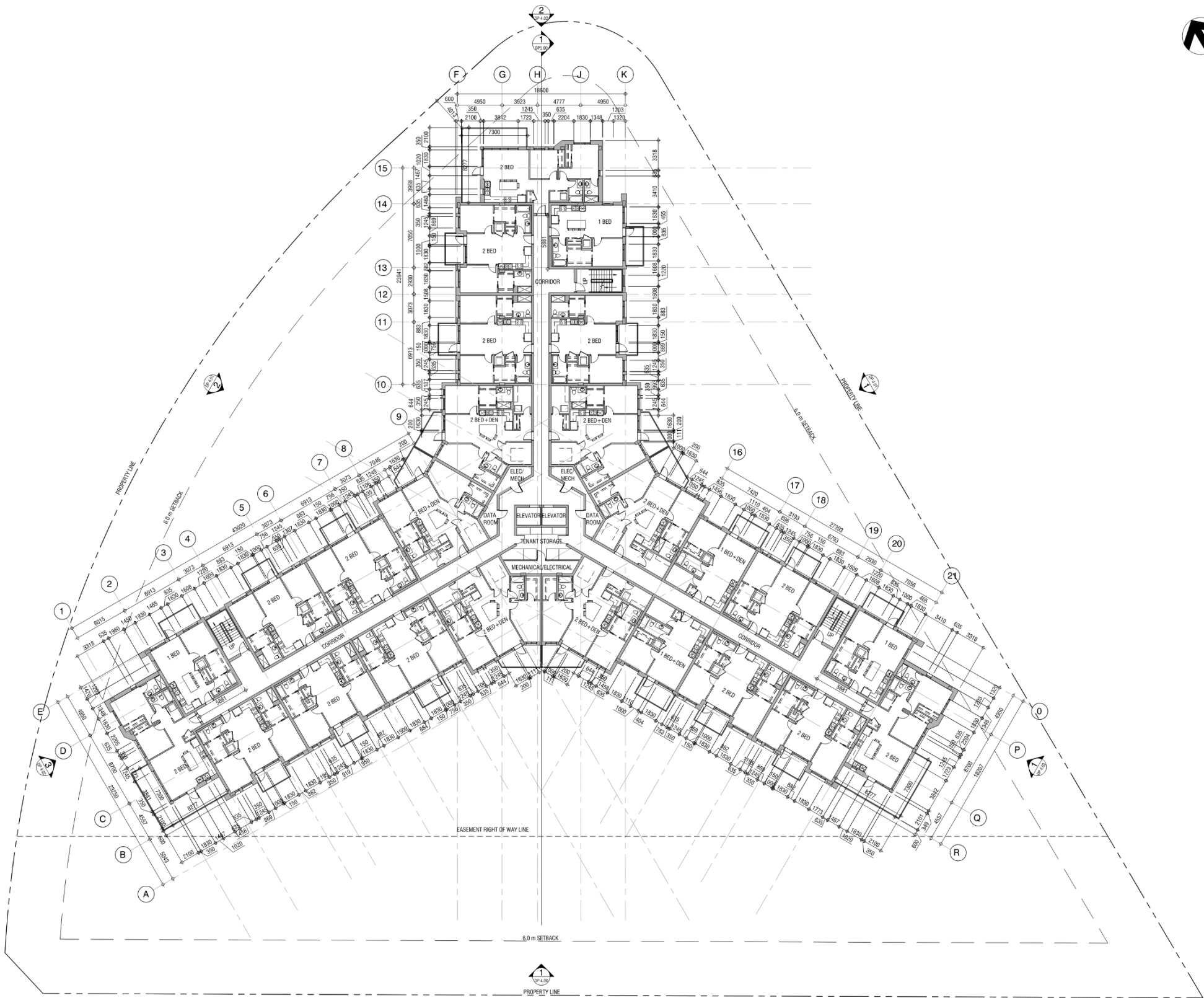
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DRAWING NO.

**DP2.03**

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1 Third and Fourth Floor Plans  
DP2.04 SCALE: 1:200



Scale: B0, 1:50 - 1:200 (Horizontal)  
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THIRD AND FOURTH FLOOR PLANS

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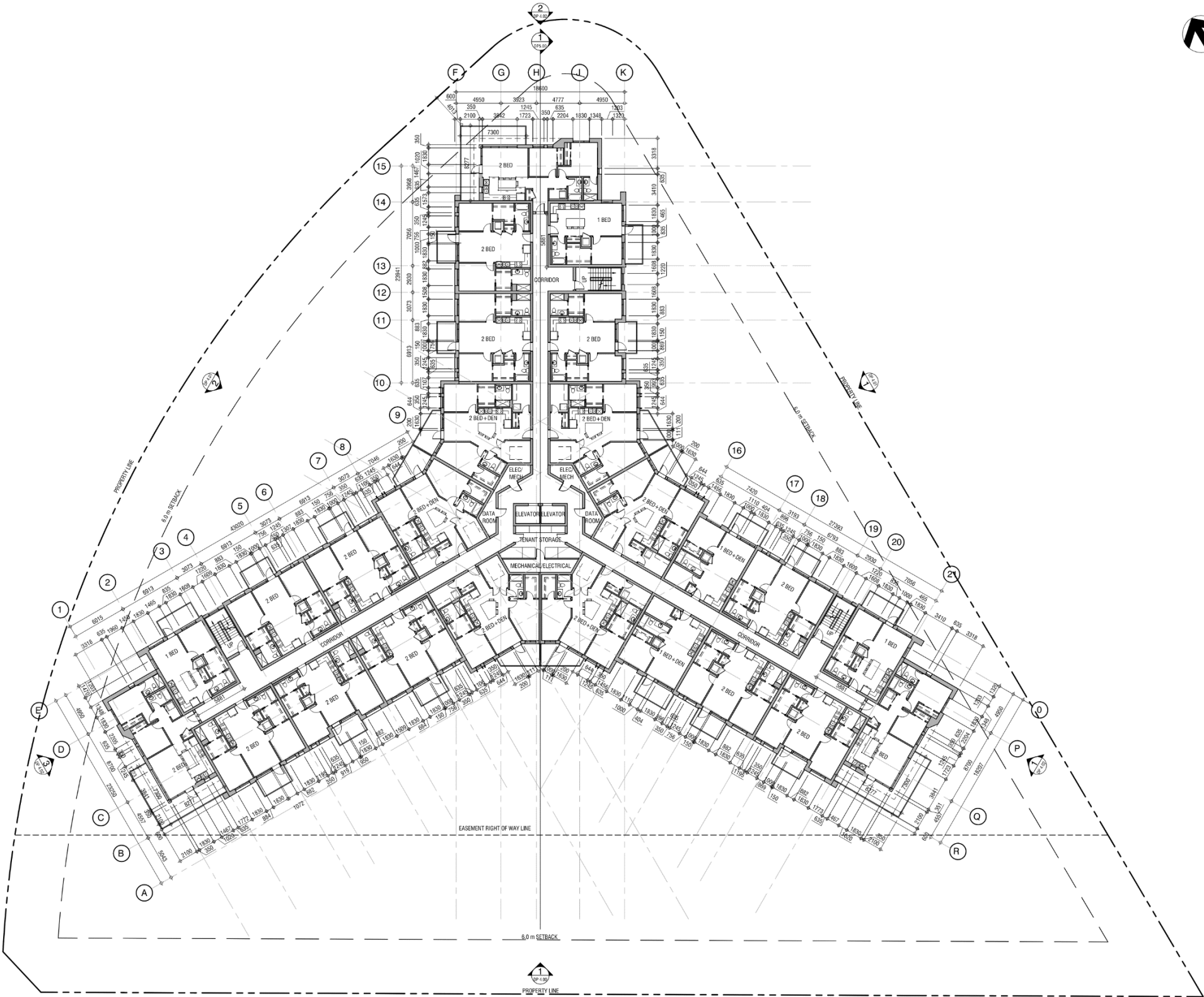
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**DP2.04**

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1 Fifth and Sixth Floor Plan  
DP2.05 SCALE: 1:200





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FIFTH FLOOR PLAN

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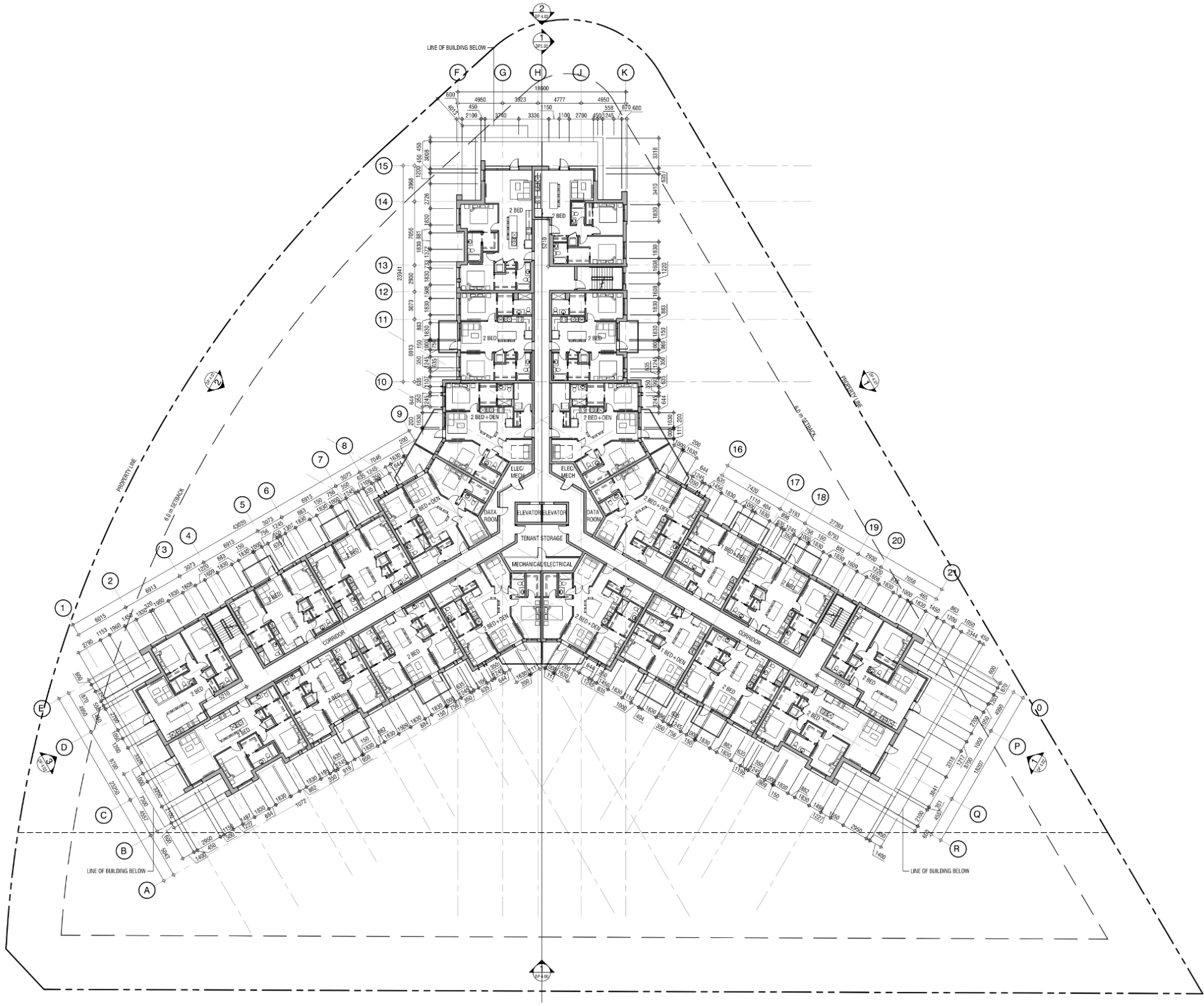
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**DP2.05**

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SIXTH FLOOR PLAN

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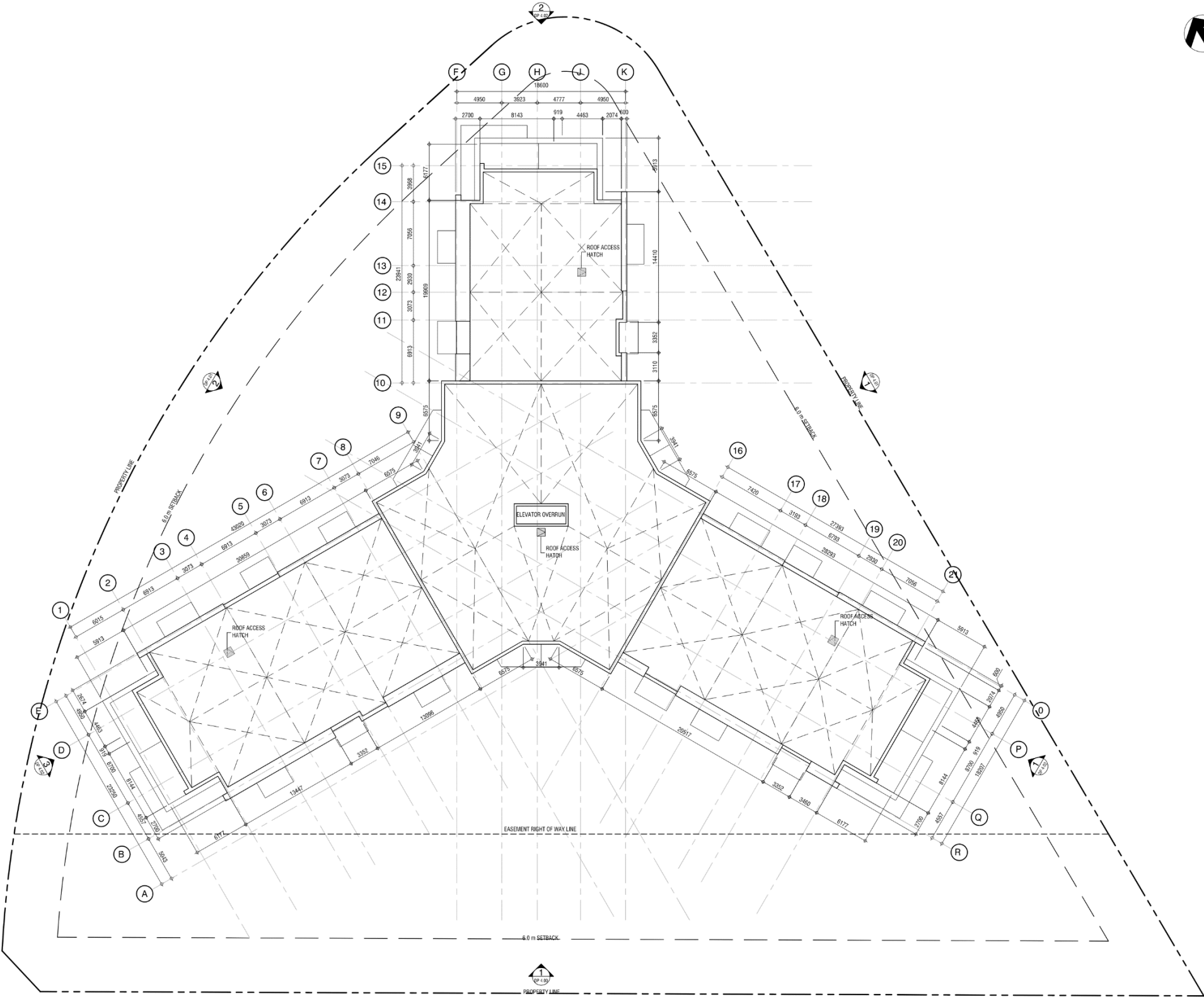
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**DP2.06**

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ROOF PLAN

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DATE 2022-03-25

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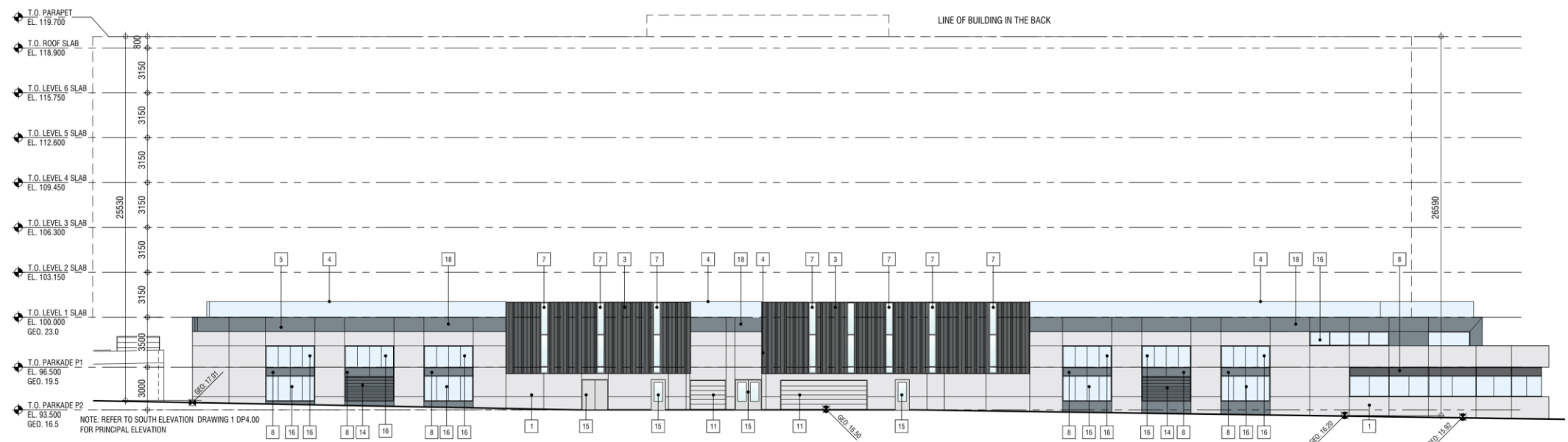
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DRAWING NO.

**DP2.07**



1 South Elevation  
DP4.00 SCALE: 1:150



2 South Elevation (Parkade)  
DP4.00 SCALE: 1:150

| Elevation - Code Legend |                                                    |   |                                           |    |                                                                 |    |                                        |    |                                                 |
|-------------------------|----------------------------------------------------|---|-------------------------------------------|----|-----------------------------------------------------------------|----|----------------------------------------|----|-------------------------------------------------|
| 1                       | ALUMINUM COMPOSITE MATERIAL - COLOUR: LIGHT GRAY   | 5 | PAINTED CONCRETE - COLOUR: CHARCOAL       | 9  | PAINTED EXPOSE CONCRETE FOUNDATION - COLOUR: DARK GRAY          | 13 | FROSTED GLASS PRIVACY PANEL            | 17 | REMOVED                                         |
| 2                       | REINFORCED FIBER CEMENT PLANK - COLOUR: TERRACOTTA | 6 | CANOPY - COLOUR: CHARCOAL                 | 10 | EXIT DOOR - COLOUR: CHARCOAL                                    | 14 | MECHANICAL LOUVRE - COLOUR: LIGHT GRAY | 18 | ALUMINUM COMPOSITE MATERIAL - COLOUR: DARK GRAY |
| 3                       | STANDING SEAM METAL PANEL - COLOUR: CHARCOAL       | 7 | CLEAR GLASS WINDOW SYSTEM - COLOUR: BLACK | 11 | OVERHEAD DOOR - COLOUR: LIGHT GRAY                              | 15 | ENTRY / EXIT DOOR - COLOUR: LIGHT GRAY | 19 | CMU - COLOUR: DARK GRAY                         |
| 4                       | CLEAR GLASS RAILING WITH BLACK METAL TRIM          | 8 | SPANDREL PANEL - COLOUR: MEDIUM GRAY      | 12 | WINDOW SYSTEM WITH BLACK MULLION AND LIGHT GRAY PROJECTING TRIM | 16 | CLEAR GLASS                            |    |                                                 |



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**DP4.00**

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DRAWING NO.  
**DP4.01**

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**1 South-East End Elevation**



**2 North End Elevation**  
DP4.02 SCALE: 1:150



**3 South-West Elevation**

| Elevation - Code Legend |                                                                 |    |                                                 |
|-------------------------|-----------------------------------------------------------------|----|-------------------------------------------------|
| 1                       | ALUMINUM COMPOSITE MATERIAL - COLOUR: LIGHT GRAY                | 5  | PAINTED CONCRETE - COLOUR: CHARCOAL             |
| 2                       | REINFORCED FIBER CEMENT PLANK - COLOUR: TERRACOTTA              | 6  | CANOPY - COLOUR: CHARCOAL                       |
| 3                       | STANDING SEAM METAL PANEL - COLOUR: CHARCOAL                    | 7  | CLEAR GLASS WINDOW SYSTEM - COLOUR: BLACK       |
| 4                       | CLEAR GLASS RAILING WITH BLACK METAL TRIM                       | 8  | SPANDREL PANEL - COLOUR: MEDIUM GRAY            |
| 9                       | PAINTED EXPOSE CONCRETE FOUNDATION - COLOUR: DARK GRAY          | 13 | FROSTED GLASS PRIVACY PANEL                     |
| 10                      | EXIT DOOR - COLOUR: CHARCOAL                                    | 14 | MECHANICAL LOUVER - COLOUR: LIGHT GRAY          |
| 11                      | OVERHEAD DOOR - COLOUR: LIGHT GRAY                              | 15 | ENTRY / EXIT DOOR - COLOUR: LIGHT GRAY          |
| 12                      | WINDOW SYSTEM WITH BLACK MULLION AND LIGHT GRAY PROJECTING TRIM | 16 | CLEAR GLASS                                     |
| 17                      | REMOVED                                                         | 18 | ALUMINUM COMPOSITE MATERIAL - COLOUR: DARK GRAY |
| 19                      | CMU - COLOUR: DARK GRAY                                         |    |                                                 |



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220311

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| REVISIONS                                                                                                                                                                           | DATE             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|
| <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 2px; margin-right: 5px;">1</div>           Development Permit         </div>        | June 3, 2021     |
| <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 2px; margin-right: 5px;">2</div>           DTR 1         </div>                     | November 8, 2021 |
| <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 2px; margin-right: 5px;">3</div>           DTR 2 Review         </div>              | March 02, 2022   |
| <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 2px; margin-right: 5px;">4</div>           DTR 2 Submission         </div>          | April 14, 2022   |
| <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 2px; margin-right: 5px;">5</div>           DTR 2 Package Sweep Paths         </div> | May 20, 2022     |

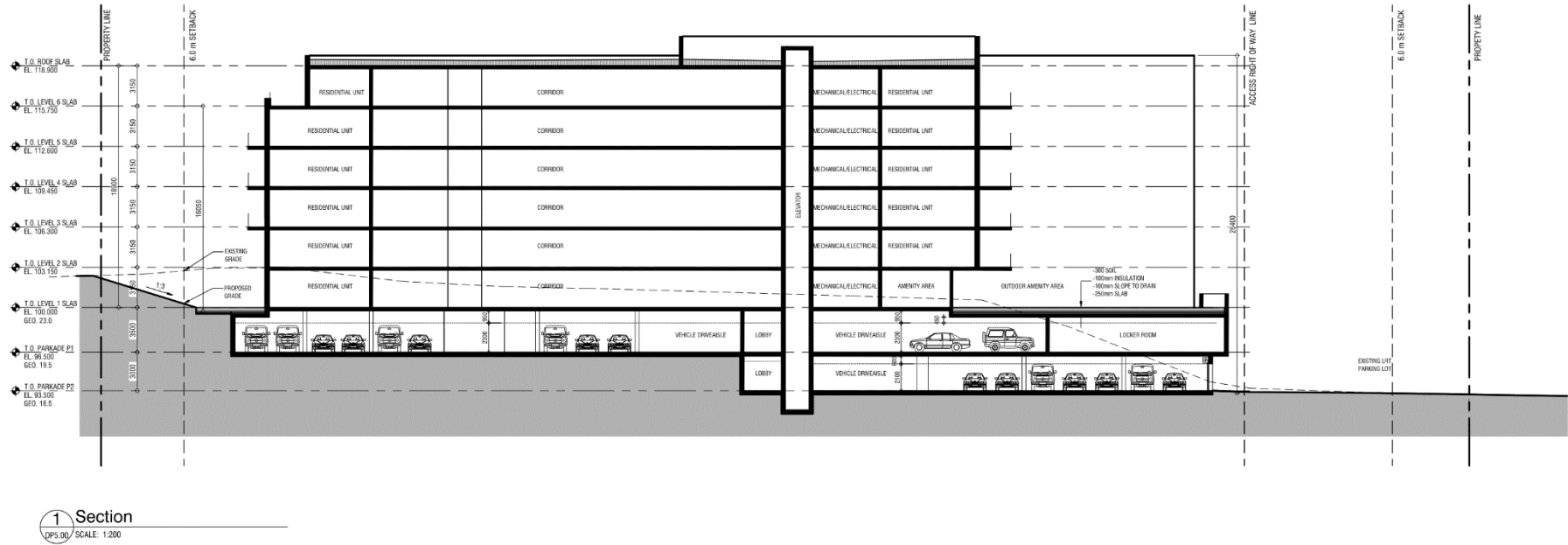
SCALE AS NOTED

DATE 2022-03-25

DRAWN BY BRC

CHECKED BY CZ

DRAWING NO. DP4.02





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architecture

2009 10th St. NW, 11th Avenue SW  
Calgary, Alberta, Canada, T2N 1G7  
T 403 476 1700  
www.s2architect.com

SECTIONS

**EAMONS SITE**

MUNICIPAL ADDRESS: 10310 EAMON ROAD N.W. CALGARY, ALBERTA  
LEGAL ADDRESS: N.E. ¼ SEC. 17, Twp. 25, Rge 2, W. 5 M

220511

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| REVISIONS                   | DATE             |
|-----------------------------|------------------|
| 1 Development Permit        | June 3, 2021     |
| 2 DTR 1                     | November 8, 2021 |
| 3 DTR 2 Review              | March 02, 2022   |
| 4 DTR 2 Submission          | April 14, 2022   |
| 5 DTR 2 Parkade Sweep Paths | May 20, 2022     |

|            |            |
|------------|------------|
| SCALE      | AS NOTED   |
| DATE       | 2022-03-25 |
| DRAWN BY   | BRC        |
| CHECKED BY | CZ         |

DRAWING NO.

**DP5.00**

P:\Calgary\2020 Projects\220011, Telles Property Corporation - Eamons Site.dwg 3 Working\3.1 CAD\AutoCAD\Design\Narrative\Sheets\220011-DP5.00 Sections.dwg



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architecture

Suite 302, 115 - 12th Avenue SW  
Calgary, Alberta, Canada T2N 1G2  
T 403.576.7000  
www.s2architect.com

RENDERINGS

EAMONS SITE

MUNICIPAL ADDRESS: 10310 EAMON ROAD N.W. CALGARY, ALBERTA  
LEGAL ADDRESS: N.E. ¼ SEC. 17, Twp.25, Rge 2, W. 5 M  
220011

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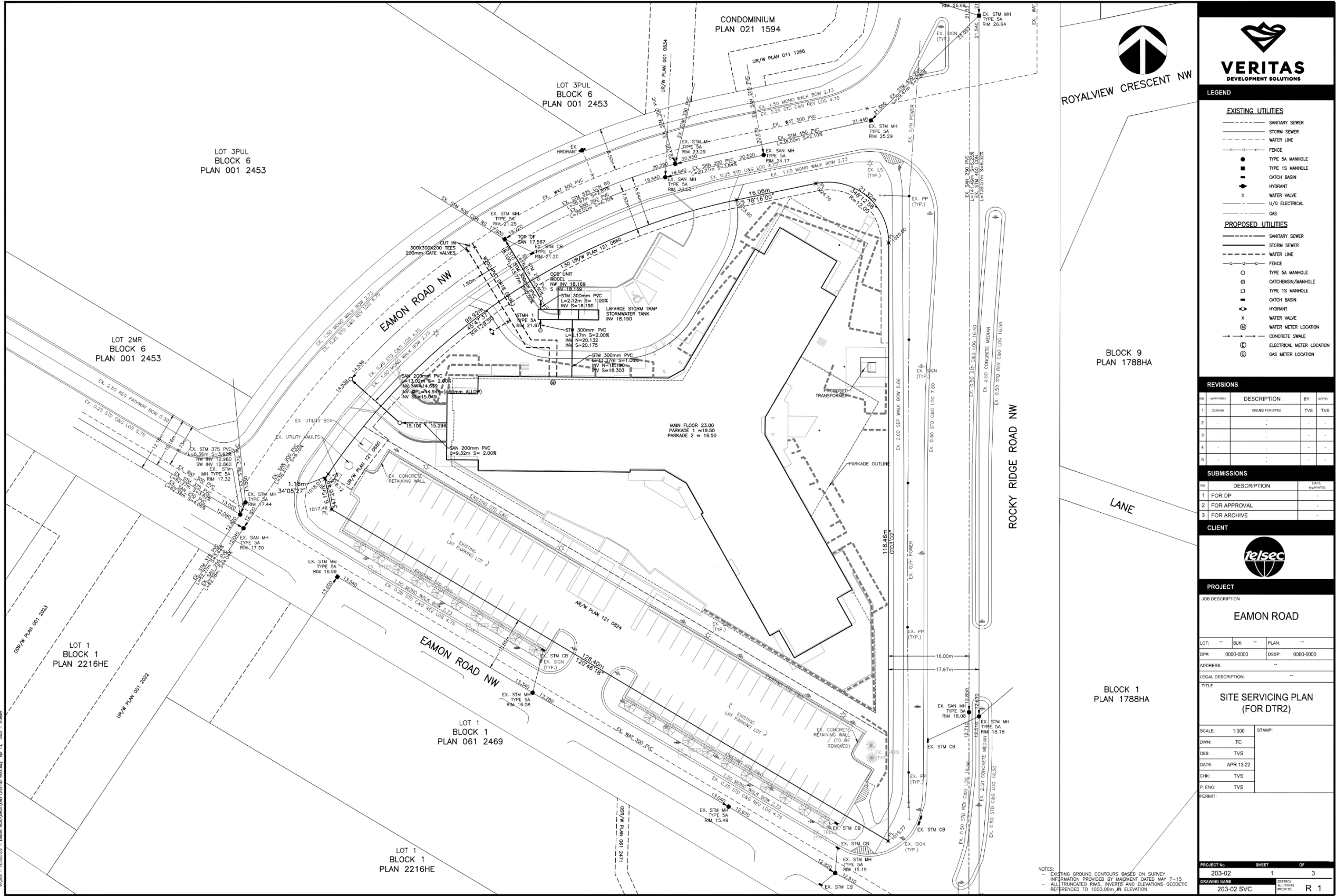
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|-----------------------------|------------------|
| 1 Development Permit        | June 3, 2021     |
| 2 DTR 1                     | November 8, 2021 |
| 3 DTR 2 Review              | March 02, 2022   |
| 4 DTR 2 Submission          | April 14, 2022   |
| 5 DTR 2 Parkade Sweep Paths | May 20, 2022     |

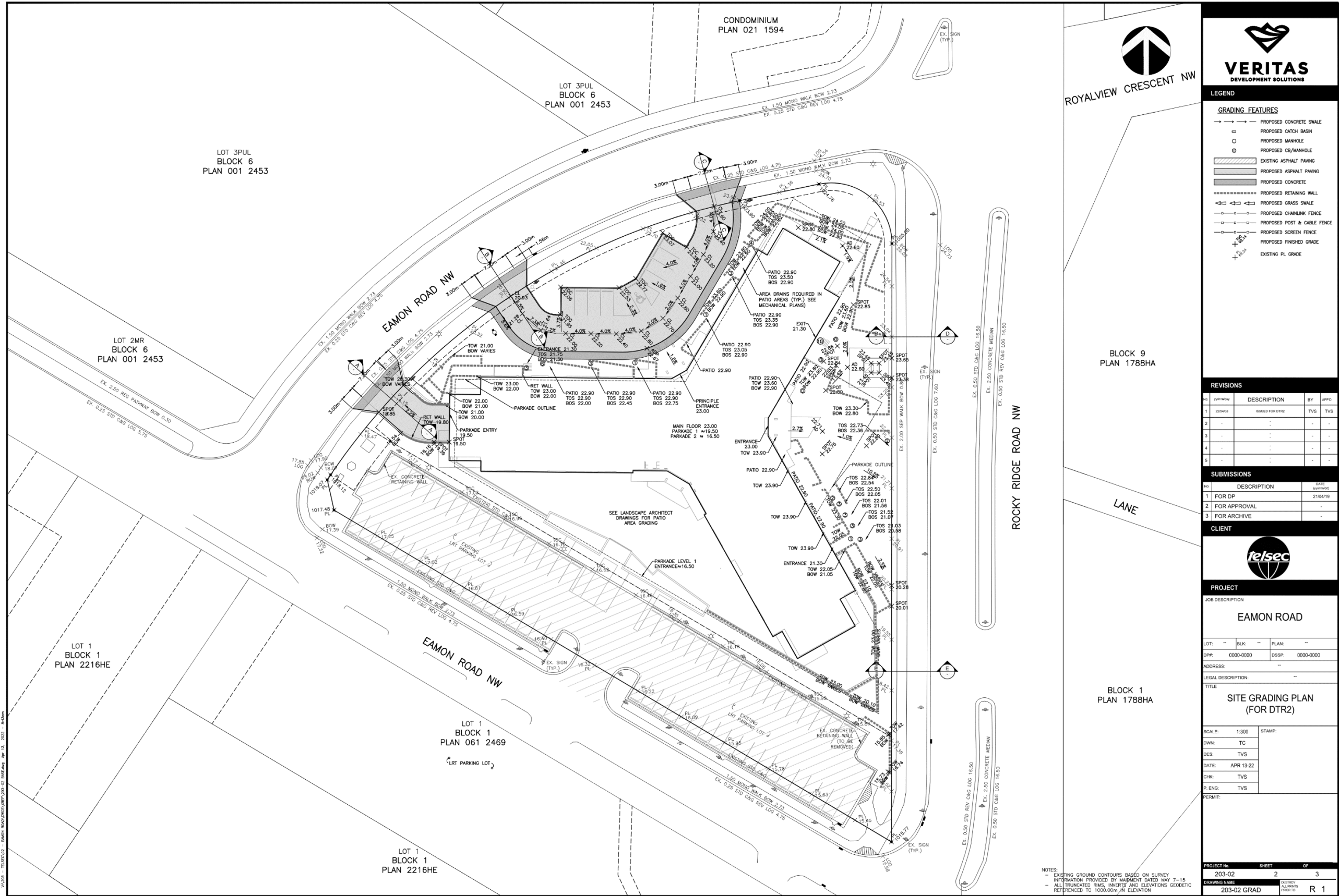
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| SCALE      | AS NOTED   |
| DATE       | 2022-03-25 |
| DRAWN BY   | DRC        |
| CHECKED BY | CZ         |

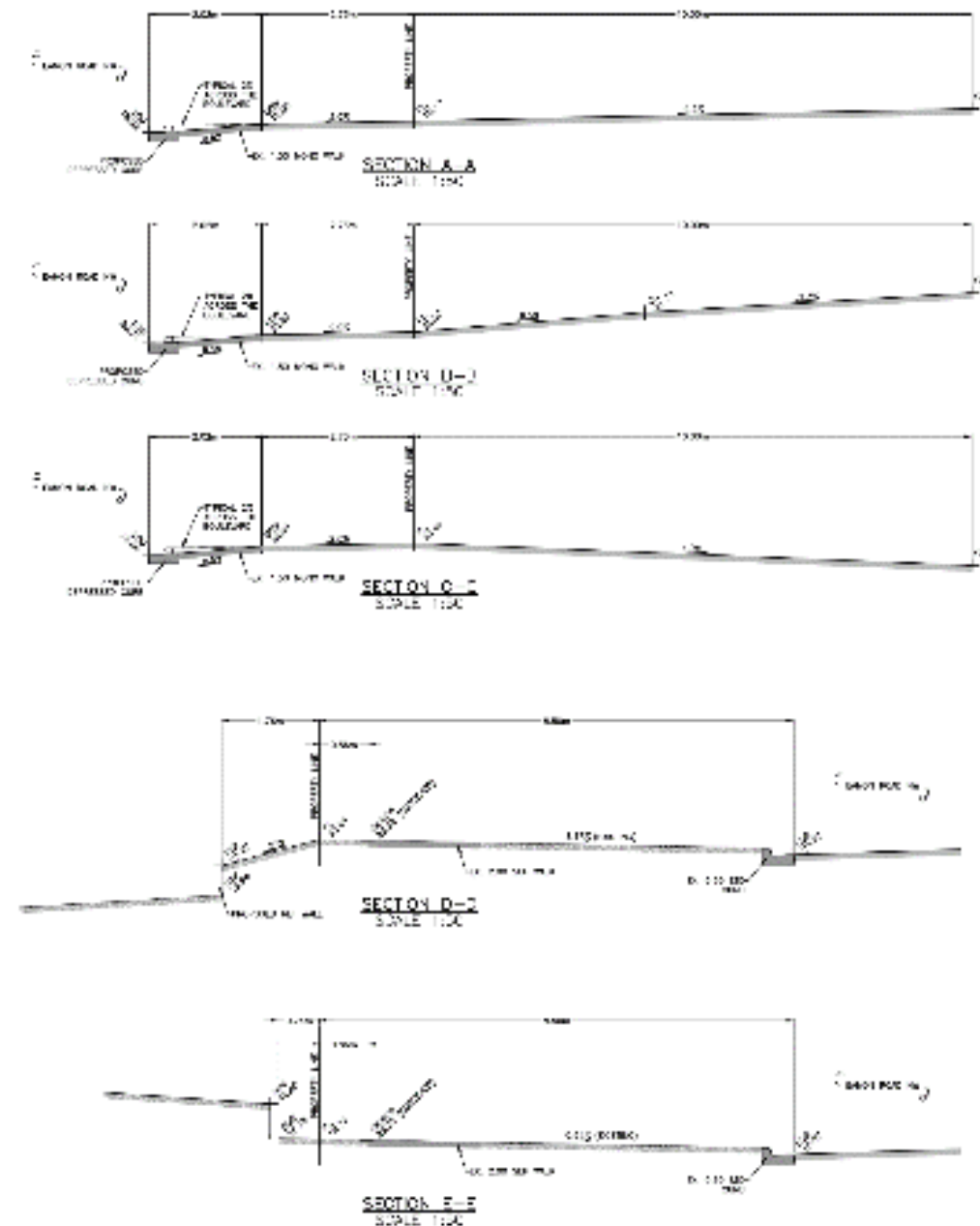
DRAWING NO.

DP6.00

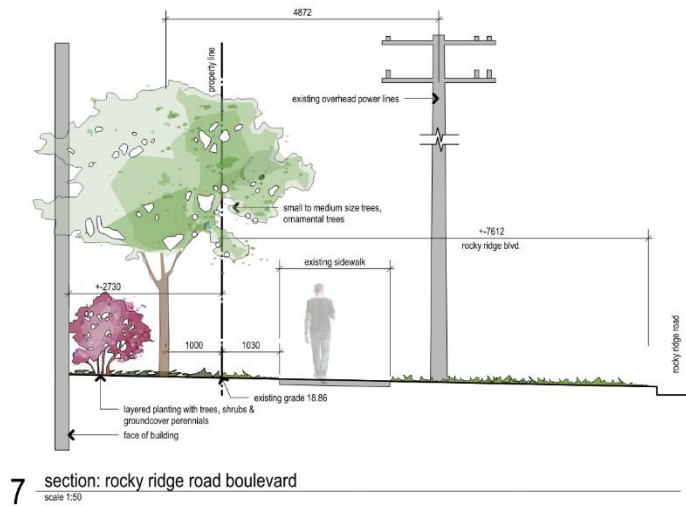
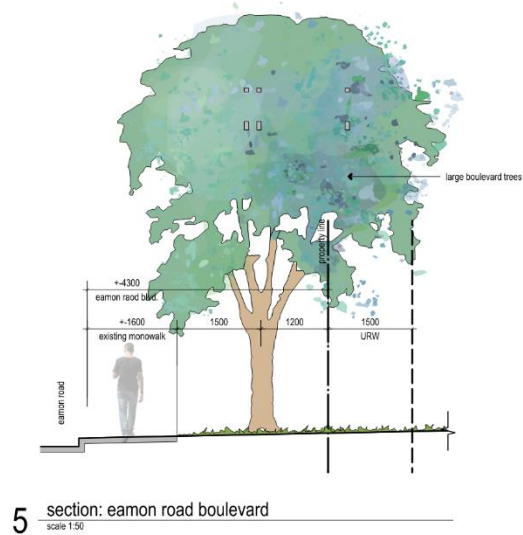
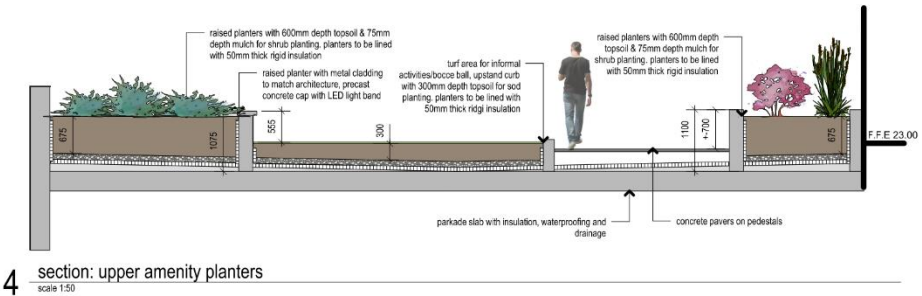
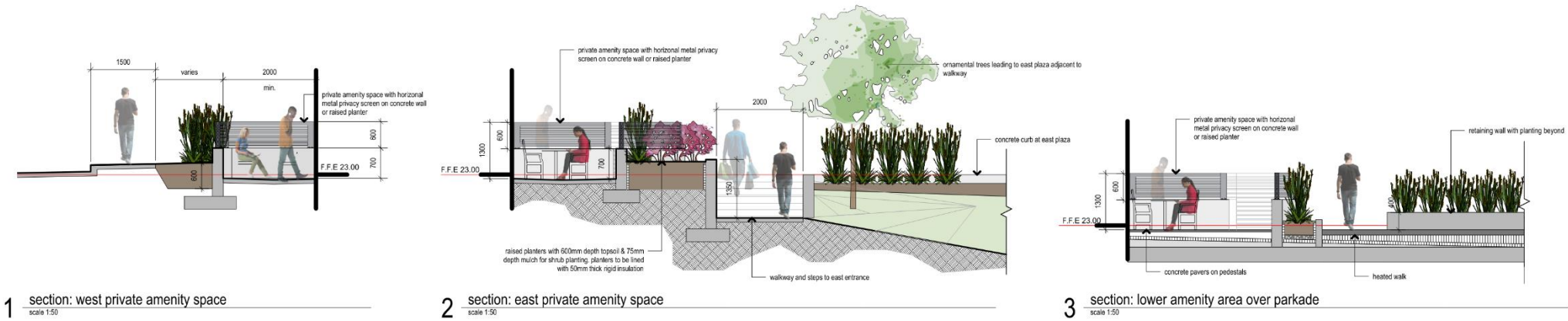
P:\Calgary\2020 Projects\220011\Tasking\Property Corporation - Eamons Site\203 Working\3.5 CAD\AutoCAD\Design\Renderings\Sheet\220011\_DP6.00\_Renderings.dwg





[illegible]





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- notes
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  2. Do not scale drawings.
  3. Refer to Civil drawings for all grading information.
  4. All walkways are plain concrete unless noted otherwise.
  5. All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and turning the irrigation system.
  6. All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.

818 studio  
planning + design collaborative  
1812 14th street sw  
calgary, ab t2t 3w6  
p 403.244.8188  
e info@818studio.ca

|        |                   |            |     |          |
|--------|-------------------|------------|-----|----------|
| 3      | revised site plan | 2022-03-22 | asg | asg      |
| 2      | revised site plan | 2021-11-03 | asg | asg      |
| 1      | revised sections  | 2021-11-03 | asg | asg      |
| number | revision          | date       | by  | approved |

|            |                              |              |  |  |
|------------|------------------------------|--------------|--|--|
| 3          | issue for DTR#2              | 2022-04-13   |  |  |
| 2          | issue for DTR#1              | 2021-11-04   |  |  |
| 1          | issue for development permit | 2021-06-01   |  |  |
| issued for |                              | date (y.m.d) |  |  |

project  
Eamon Multifamily

drawing  
LANDSCAPE DETAILS

|         |            |                |        |
|---------|------------|----------------|--------|
| drawn   | asg        | approved       | asg    |
| checked | asg        | project number | 0157.2 |
| date    | 2021/06/01 | sheet          |        |
| scale   | 1:250      |                |        |

DPL02

