

4TH STREET LOFTS



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ARCHITECTURE

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CIVIL

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ELECTRICAL

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WESTERN SECURITIES
ESTABLISHED · 1932

O2 Planning + Design

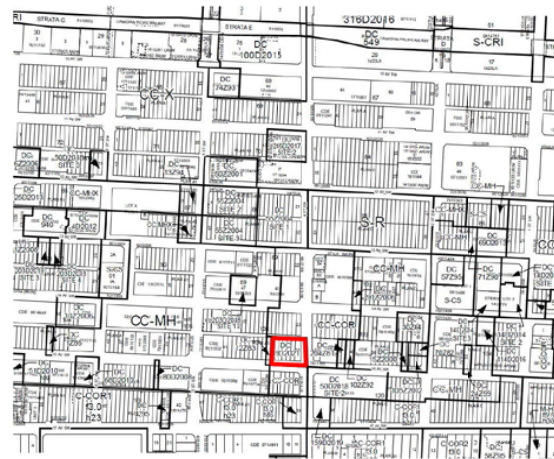


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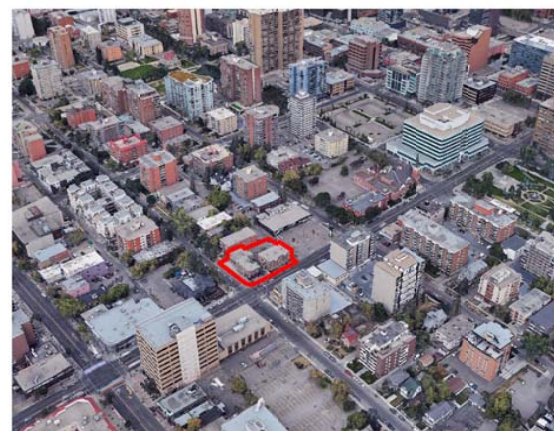
350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

PROJECT NAME: 4TH STREET LOFTS DEVELOPMENT PERMIT: DP2021-7324
PROJECT ADDRESS: 1409 4 St SW PROJECT NUMBER: 21026
Calgary, Alberta

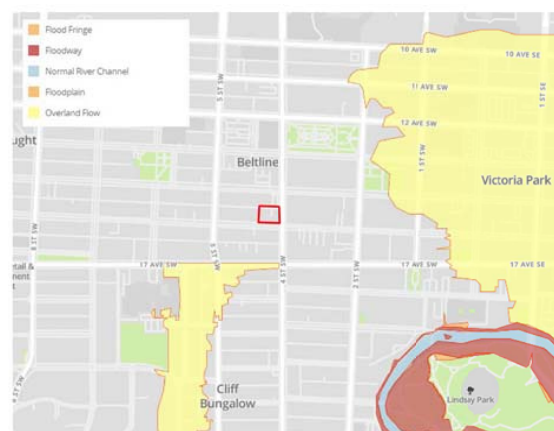
IMAGES SHOWN ON THIS PAGE ARE REPRESENTATIONS ONLY. EXACT CONFIGURATION MAY VARY. ALL BUILDING AND SITE DESIGN SUBJECT TO APPROVAL BY THE APPROVING AUTHORITY



1 LAND USE MAP
DP10.01 1:1
NORTH

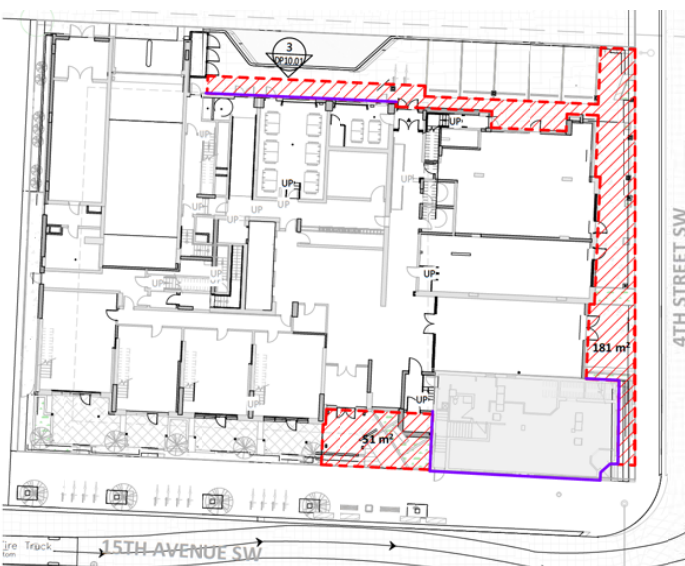


2 AERIAL VIEW
DP10.01 1:1



5 FLOOD MAP
DP10.01 1:1
NORTH

GROSS FLOOR PLATE			DWELLING UNIT COUNT						
LEVEL	AREA	AREA	LEVEL	SUITE	LOFT	TOTAL			
	m ²	sq'		1 bed	2 bed	3 bed			
L01	1331	14327	L01	-	-	1	2	1	4
L01.5	297	3089	L01.5	-	-	-	-	-	8
L02	1346	10979	L02	-	-	6	1	1	10
L02.5	340	595	L02.5	-	-	-	-	-	10
L03	1058	11388	L03	6	4	-	-	-	10
L04	770	8288	L04	6	4	-	-	-	10
L05	770	8288	L05	6	4	-	-	-	10
L06	770	8288	L06	6	4	-	-	-	10
L07	770	8288	L07	6	4	-	-	-	10
L08	770	8288	L08	6	4	-	-	-	10
L09	770	8288	L09	6	4	-	-	-	10
L10	770	8288	L10	6	4	-	-	-	10
L11	770	8288	L11	6	4	-	-	-	10
L12	770	8288	L12	6	4	-	-	-	10
L13	770	8288	L13	6	4	-	-	-	10
L14	770	8288	L14	6	4	-	-	-	10
L15	770	8288	L15	7	3	-	-	-	10
L16	770	8288	L16	7	3	-	-	-	10
L17	770	8288	L17	7	3	-	-	-	10
L18	770	8288	L18	7	3	-	-	-	10
L19	770	8288	L19	7	3	-	-	-	10
L20	770	8288	L20	7	3	-	-	-	10
L21	770	8288	L21	7	3	-	-	-	10
L22	770	8288	L22	7	3	-	-	-	10
L23	770	8288	L23	7	3	-	-	-	10
L24	770	8288	L24	7	3	-	-	-	10
L25	770	8288	L25	7	3	-	-	-	10
L26	770	8288	L26	7	3	-	-	-	10
L27	730	2858	L27	5	4	-	-	-	9
L28	730	2858	L28	5	4	-	-	-	9
L29	276	2971	L29	-	-	-	-	-	-
ELV. ROOM	86	525	ELV. ROOM	-	-	-	-	-	-
TOTAL	23 894	257 193	TOTAL	61%	34%	3%	2%	2%	272



6 PAPOS BONUSING DIAGRAM - PLAN
DP10.01 1:250



3 PAPOS BONUSING DIAGRAM - MURAL A
DP10.01 1:250



4 PAPOS BONUSING DIAGRAM - MURAL B
DP10.01 1:250

BONUSING	PUBLICLY ACCESSIBLE PRIVATE OPEN SPACE (PAPOS)			AFFORDABLE HOUSING (AH)	
	AREA	CONSTRUCTION COST	INCENTIVE FLOOR AREA	INCENTIVE GROSS FLOOR AREA (m ²)	INCENTIVE GROSS FLOOR AREA (m ²)
PLAZA	181 + 52 + 233 m ²	\$325 000	\$125 000 / (\$270 x 0.75) = 1 604 m ²	INCENTIVE GFA = (CONSTRUCTION COST / INCENTIVE RATE @ 0.75) * 0.6	INCENTIVE GFA = (CONSTRUCTION COST / INCENTIVE RATE @ 0.75) * 0.6
EXIST BLDG UPGRADE	N/A	\$200 000	\$100 000 / (\$270 x 0.75) = 988 m ²		
MURAL A	107	\$50 000	\$50 000 / (\$270 x 0.75) = 247 m ²	BONUS FAR = INCENTIVE GFA / SITE AREA	BONUS FAR = INCENTIVE GFA / SITE AREA
MURAL B	52	\$50 000	\$50 000 / (\$270 x 0.75) = 247 m ²		
TOTAL FAR REQUIRED	5.00		3 086 m²	2.61	1.76

*Calculation Incentive Rate is Incentive Rate 1 (\$270) as per Land Use Bylaw IP2007.
*Calculation utilizes \$3228/m² construction cost.

SITE STATISTICS

ZONING
DC 19D2021
BASED ON CC-MHK

SITE AREA
2 221 m² / 0.55 acres / 0.222 ha

MAX GFA
24 431 m²

PROPOSED GFA
TOTAL EXISTING (RED'S DINER) NEW
24 202 m² 308 m² 23 894 m²

MAX FAR
5, OR MAX 11 W/ BONUSING

PROPOSED FAR
INCLUDING EXISTING EXCLUDING EXISTING
24 202 m² / 2221 m² 23 894 m² / 2221 m²
10.9 10.76

SITE COVERAGE
60%

PROGRAM STATISTICS

NUMBER OF RESIDENTIAL UNITS (EXISTING)
2 (WILLIAMS BLOCK)

NUMBER OF RESIDENTIAL UNITS (ADDITION)
272 = 258 TOWER + 14 LOFT/PODIUM

RETAIL GFA (EXISTING)
154 m²

RETAIL GFA (ADDITION) RETAIL GFA (TOTAL)
295 m² 449 m²

AMENITY AREA REQUIRED
5.0 m² PER DWELLING UNIT
272 UNITS X 5 m²
1360 m²

AMENITY AREA PROVIDED

LEVEL	INT. (m ²)	EXT. (m ²)	DESCRIPTION
L01	5.3	-	BIKE/PET WASH
L01	-	56.5	PRIVATE TERRACE (4)
L02	186.4	-	FITNESS CENTRE
L02	-	72.2	PRIVATE TERRACE (8)
L03	-	42.6	DOG RUN
L03	-	199.2	PRIVATE TERRACE (8)
L04-26	-	1 115.5	PRIVATE TERRACE (8/LVL @ ~6m ²)
L27/28	-	124.6	PRIVATE TERRACE (8/LVL)
L29	-	150.1	AMENITY TERRACE
L29	-	75.4	AMENITY SPACE

TOTAL 191.7 1 846.1 2 037.8

PARKING (VEHICLE)

RESIDENT PARKING REQUIRED
0.75 STALLS PER DWELLING UNIT
+0.10 STALLS
(0.75 + 0.10) X 272
232 STALLS

VISITOR PARKING REQUIRED
0.10 STALLS PER DWELLING UNIT
0.10 X 272
28 STALLS

TOTAL PARKING REQUIRED
260 STALLS

PARKING PROVIDED
204 STALLS (PARKADE)
5 STALLS (SURFACE)

PARKING (BICYCLE)

CLASS 1 STALLS REQUIRED
0.50 STALLS PER DWELLING UNIT
0.50 X 272
136 STALLS

CLASS 2 STALLS REQUIRED
0.10 STALLS PER DWELLING UNIT
0.10 X 272
28 STALLS

PARKING PROVIDED
CLASS 1 - 131 + IN-SUITE PARKING
CLASS 2 - 28

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ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW	
Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

Gibbs Gage
ARCHITECTS

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Drawing Title:
CONTEXT PLAN &
PROJECT STATISTICS

Drawn by: _____ Scale: _____
Reviewed by: _____ As indicated
Manager: JH Date: (YYYY-MM-DD)
Tech Review: _____

Drawing Number
DP10.01
Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION

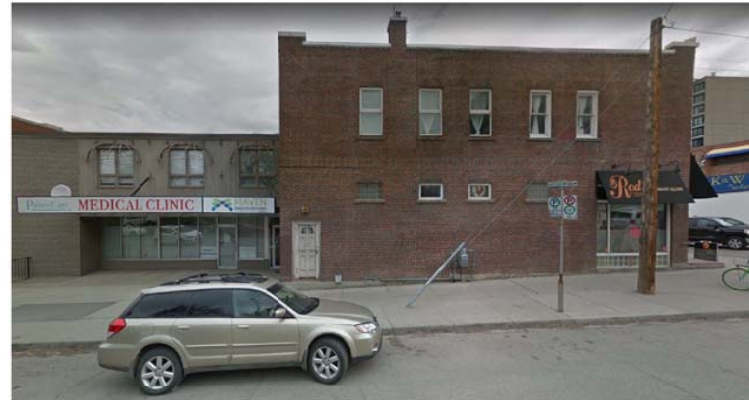
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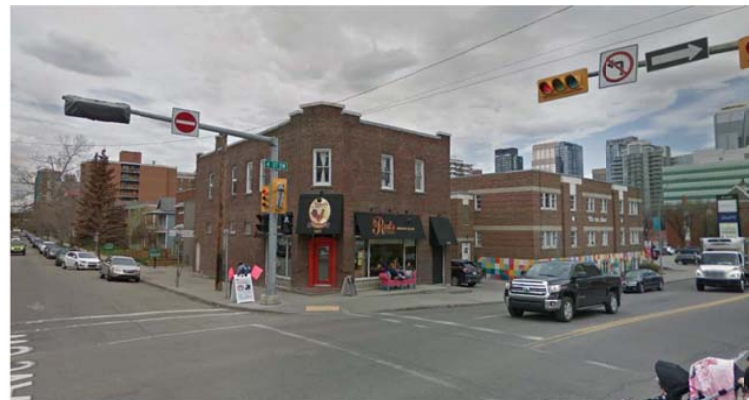
2 SITE FROM EAST
DP10.02
1:1



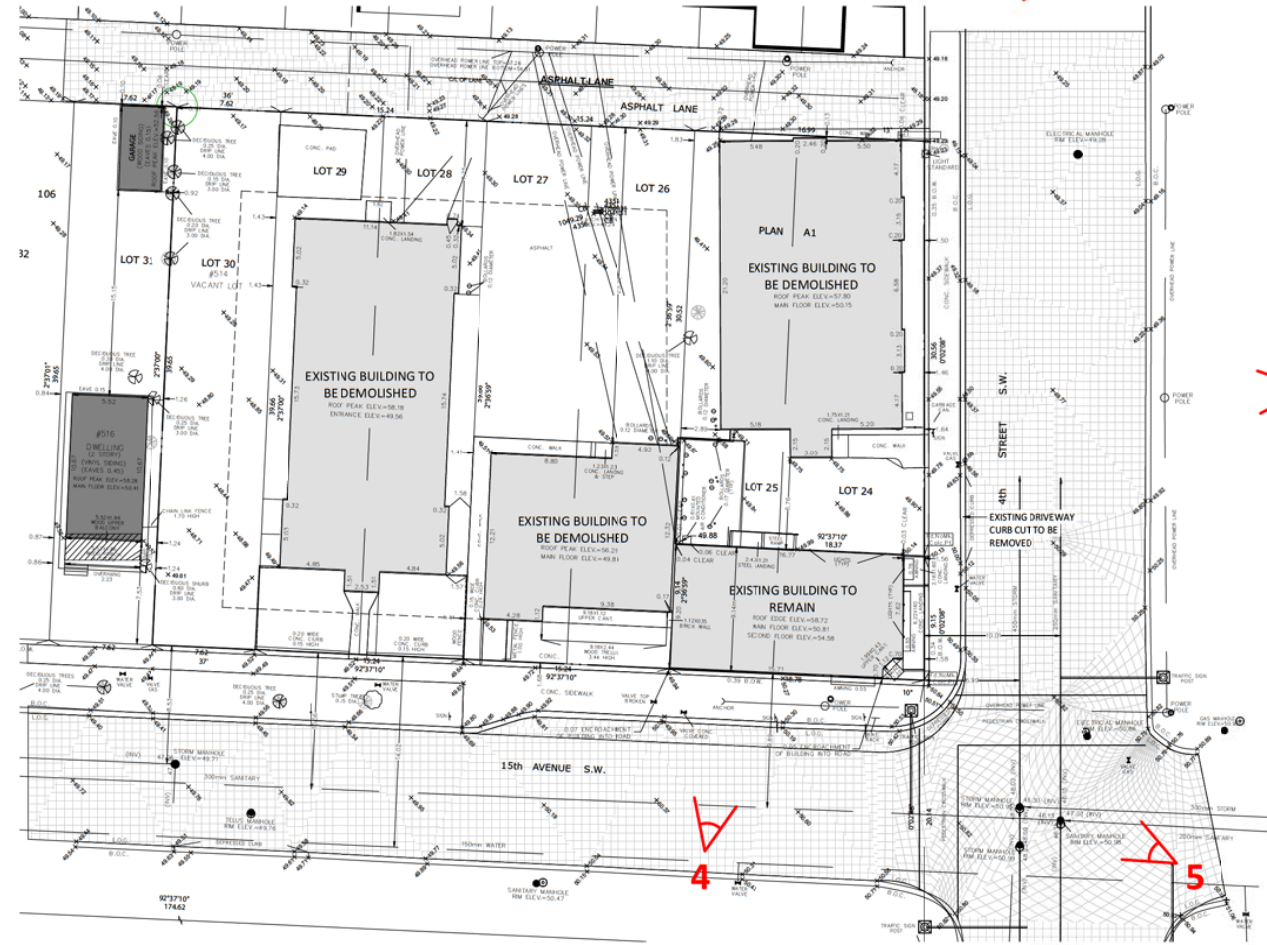
3 SITE FROM NORTH EAST
DP10.02
1:1



4 SITE FROM SOUTH
DP10.02
1:1



5 SITE FROM SOUTH EAST
DP10.02
1:1



1 EXISTING SURVEY PLAN
DP10.02
1:200

- Notes:**
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No. Description	Date

Issued For / Revisions

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4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

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Drawing Title
EXISTING SITE SURVEY & PHOTOS

Drawn by:	Author	Scale
Reviewed by:	JH	As indicated
Manager:	JH	Date (YYYY-MM-DD)
Tech Review:		

Drawing Number	Revision Number
DP10.02	

PRELIMINARY - NOT FOR CONSTRUCTION

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1 RENDER A - VIEW FROM 15TH AVENUE SW, LOOKING NE
DP10.03 1:1



2 RENDER B - VIEW FROM 15TH AVE & 4TH ST SW, LOOKING NW
DP10.03 1:1



3 RENDER C - VIEW FROM 4TH STREET SW, LOOKING W
DP10.03 1:1



4 RENDER D - VIEW FROM 4TH STREET SW, LOOKING SW
DP10.03 1:1

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No. Description	Date
	Preparation

Issued For / Revisions

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PLAN SA1 BLOCK 106 LOTS	
24-30	
Development Permit No.	DSSP No.
DP2021-7324	

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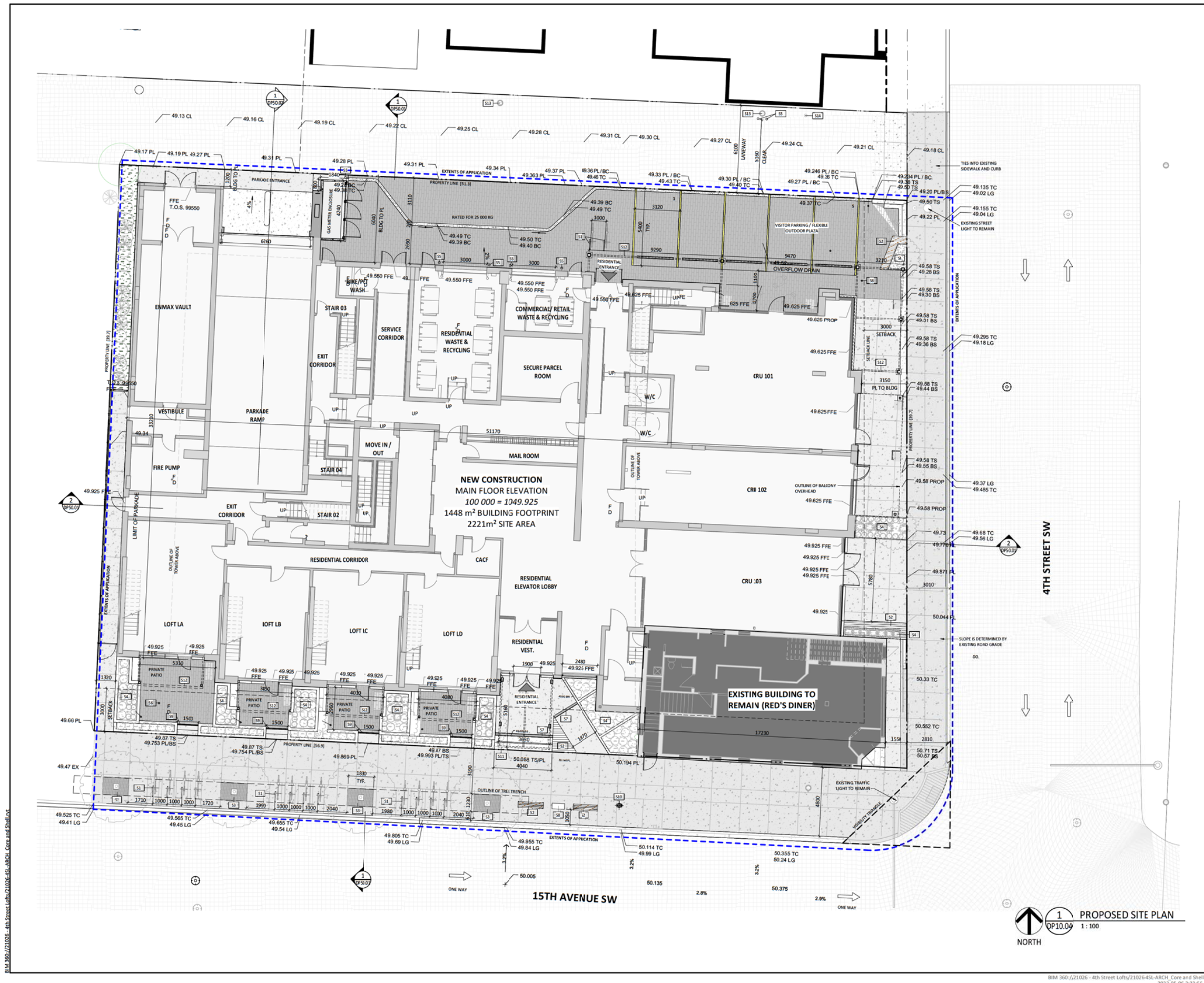
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Drawing Title
CONCEPTUAL RENDERINGS

Drawn by: Author	Scale
Reviewed by:	1:1
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	

Drawing Number	Revision Number
DP10.03	

BIM 360//21026 - 4th Street Lofts/21026-451-ARCH_Core and Shell.rvt



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SITE MATERIAL LEGEND

[Pattern]	PAVERS
[Pattern]	NEW CONCRETE SIDEWALK
[Pattern]	GRASS

SITE KEYNOTES
(APPLIES TO THIS SHEET ONLY)

NO.	DESCRIPTION
S1	CLASS 2 BIKE RACK (2 BIKES EA)
S2	BENCH
S3	TREE GRATE
S4	PLANTER
S5	BOLLARD
S6	FLOOR DRAIN
S7	TRENCH DRAIN
S8	WASTE BIN
S9	GATE
S10	FIRE HYDRANT
S11	OUTLINE OF PERFORATED BRICK SCREEN OVERHEAD
S12	OUTLINE OF STEEL CANOPY OVERHEAD
S13	EXISTING POWER POLE TO REMAIN
S14	EXISTING POWER LINE ANCHOR

NOTE: PROPOSED BIKE RACKS AND FURNITURE LOCATED WITHIN CITY RIGHT OF WAY WILL BE REMOVED AT THE OWNER'S EXPENSE WITHIN 30 DAYS OF NOTICE UNLESS REGISTERED AS A LICENSE OF OCCUPATION WITH A 5 YEAR TERM.

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Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

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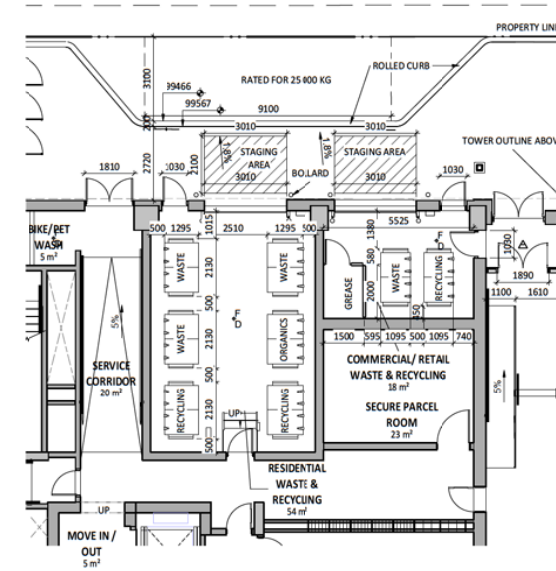
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Ph: 403.233.2000 Fax: 403-264-2077

PROPOSED SITE PLAN

Drawn by: Author	Scale
Reviewed by: JH	As indicated
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	
Drawing Number	Revision Number
DP10.04	

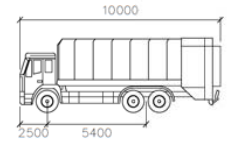
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DP10.04
PROPOSED SITE PLAN
1:100

DETAIL MOVED TO NEW SHEET PROVIDED BY
TRANSPORTATION ENGINEER.

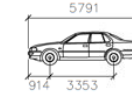


1 ENLARGED WASTE & RECYCLING
1:100

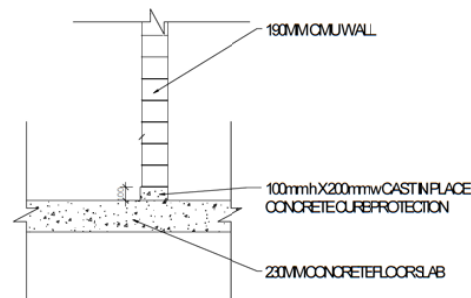
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Calgary Garbage Truck
mm
Width : 3150
Track : 2550
Lock to Lock Time : 6.0
Steering Angle : 28.0



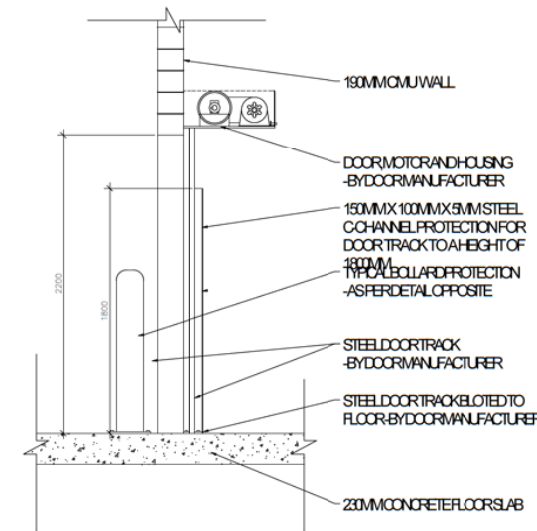
Passenger Car
mm
Width : 2134
Track : 1829
Lock to Lock Time : 6.0
Steering Angle : 31.6



3 TYP. CURB PROTECTION DETAIL
1:20



4 TYP. STEEL BOLLARD DETAIL
1:20



5 DOOR TRACK PROTECTION DETAIL
1:20

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Legal Description PLAN SA1 BLOCK 106 LOTS 24-30	Building Permit No.
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Drawing Title
WASTE & RECYCLING

Drawn by: Author Scale
Reviewed by: As indicated
Manager: JH Date (YYYY-MM-DD)
Tech Review:

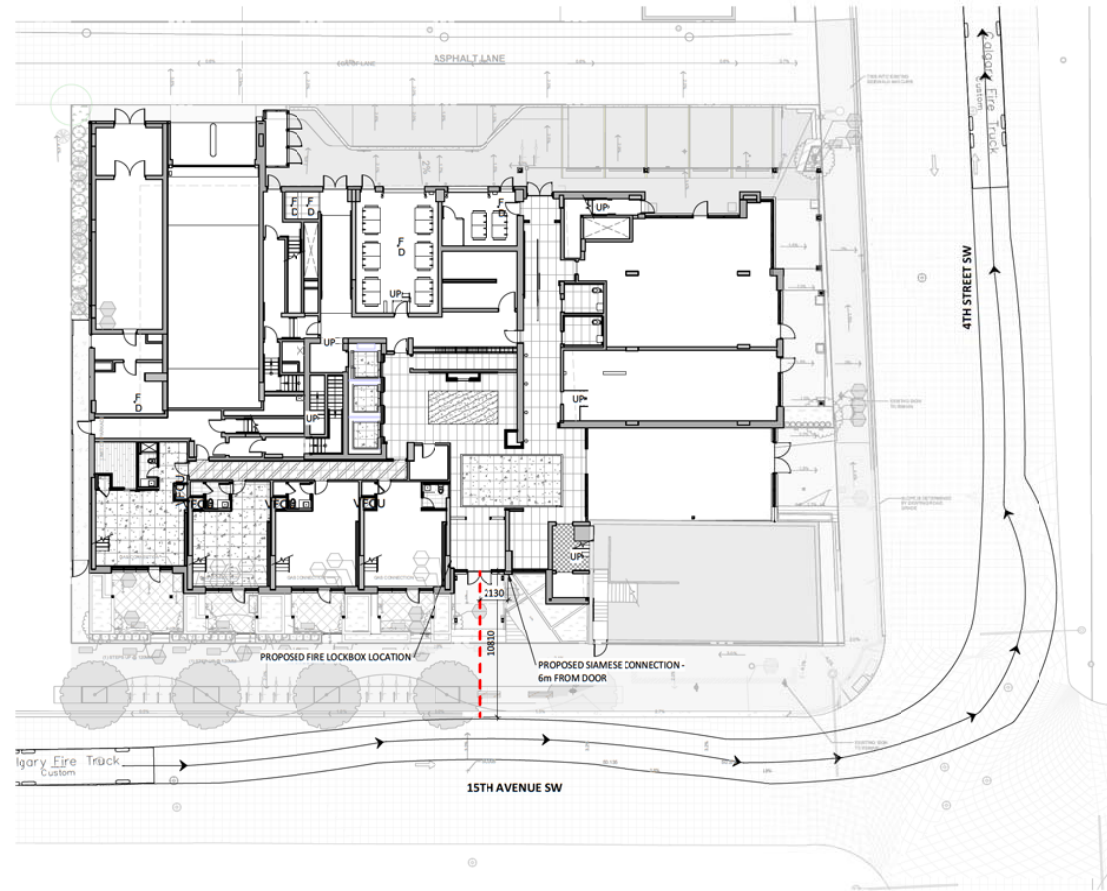
Drawing Number
DP10.05
Revision Number

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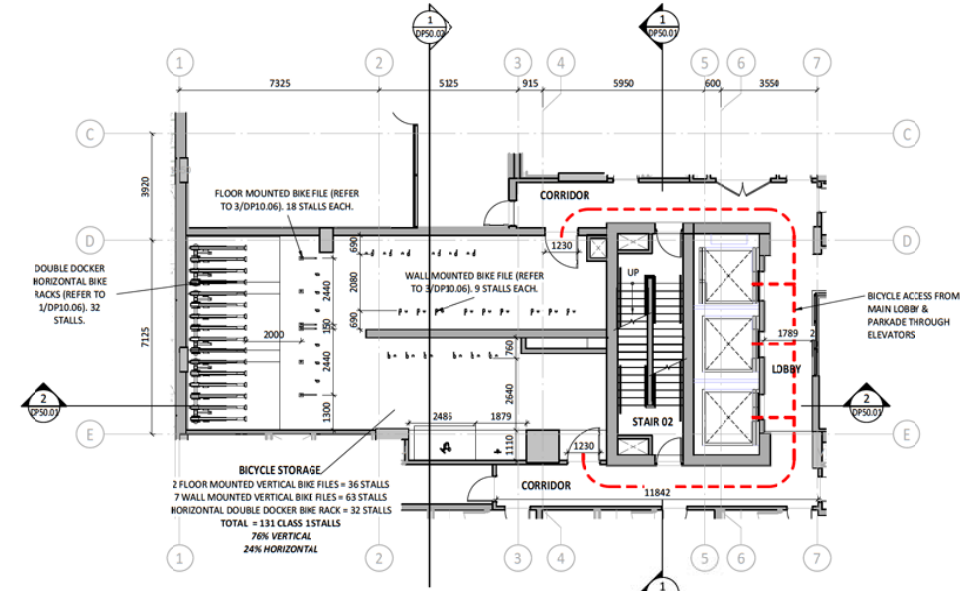
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BIM 360 / 21026 - 4th Street Lofts/21026-451-ARCH_Core and Shell.rvt

DETAIL MOVED TO NEW SHEET PROVIDED BY
TRANSPORTATION ENGINEER.



2 FIRE TRUCK ACCESS PLAN
DP10.06
1:200



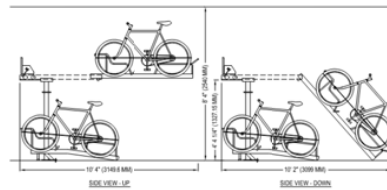
6 CLASS 1 BIKE PARKING (LEVEL 2)
DP10.06
1:100

NOTE: FOR THE LIFE OF THE DEVELOPMENT, ELEVATOR ACCESS SHALL BE PROVIDED FOR USES OF THE CLASS 1 BIKE FACILITIES.

BikeRack.ca
park your bike

BIKE RACK MFG. & DIST. CO.
81 BASS PRO MILLS DR., UNIT 24
VAUGHAN, ON L4K 5V9
PHONE: (416) 827-7469
FAX: (416) 827-7469
www.bikerack.ca

- SELECT DESIRED RACK
- 3 BIKES IF 800 MM SECTIONS
- 4 BIKES IF 1000 MM SECTIONS
- 2 BIKES SINGLE SECTIONS (SHOWN)
- SELECT DESIRED SPACE USAGE/STOPS
- 1/2 JOY WING CENTER TO CENTER (SHOWN)
- 1/2 JOY WING CENTER TO CENTER (SHOWN)

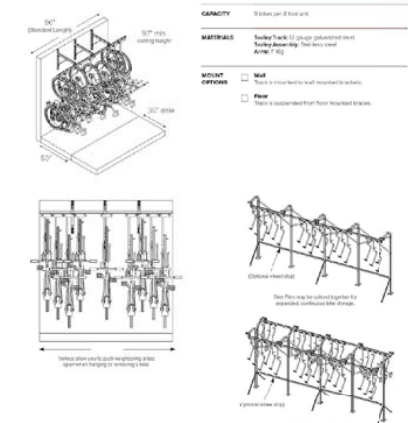


- FEATURES:
- GALVANNEAL STEEL
- POWDER COAT FINISH
- ANTI-RUST PROTECTION
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.bikerack.ca AND ENTER REFERENCE NUMBER 428-026.

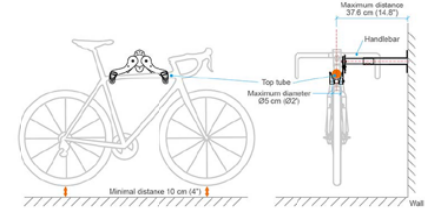
1 DOUBLE DOCKER BIKE HORIZONTAL BIKE RACKS
DP10.06
1:1

ORANGE Bike File

Submital Sheet



3 BIKE FILE RACKS
DP10.06
1:1



4 IN-SUITE B CYCLE HOOK
DP10.06
1:1

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ISSUED FOR DTR1 RESPONSE 22-01-31
ISSUED FOR DEVELOPMENT PERMIT 21-10-08
No. Description Date
DP10.06

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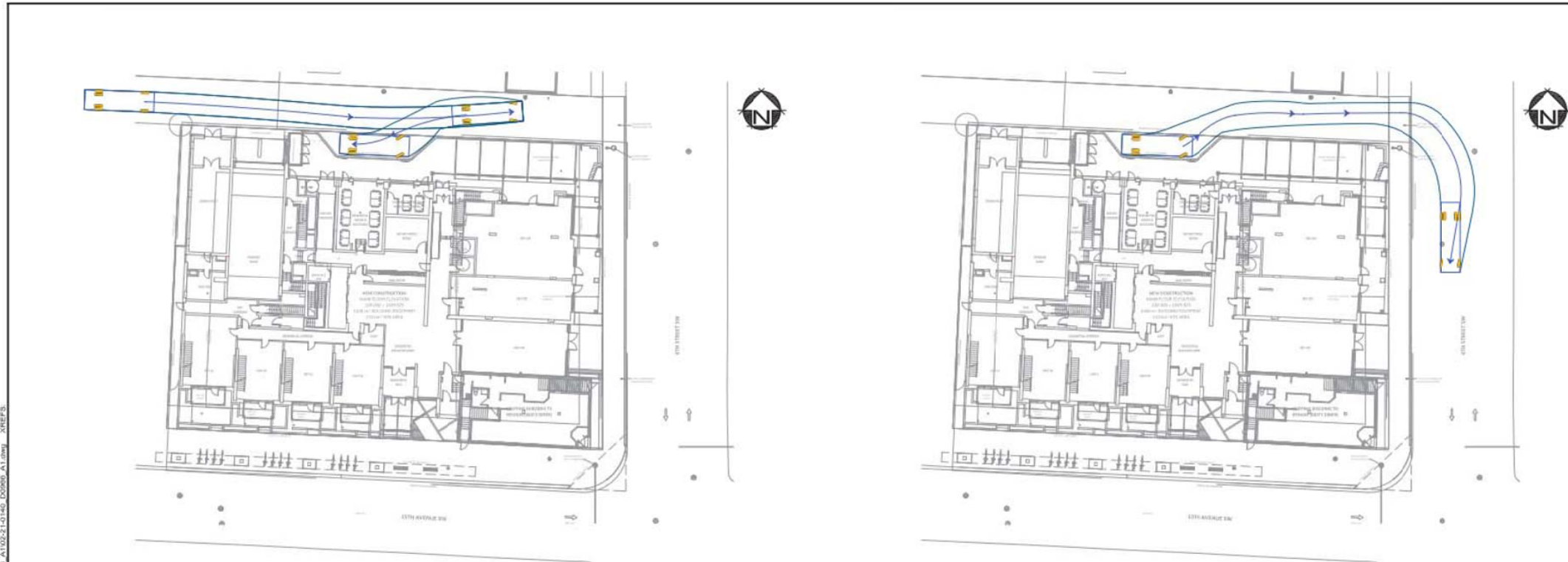
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Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title SITE DETAILS	
Drawn by: Author	Scale As indicated
Reviewed by: JH	Date (YYYY-MM-DD)
Manager: JH	
Tech Review:	
Drawing Number DP10.06	Revision Number

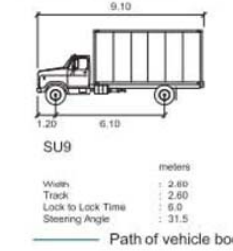
- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise.
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supersedes previous issues.



1 Loading Vehicle Swept Path - SU9 Inbound
101 1:500

2 Loading Vehicle Swept Path - SU9 Outbound
101 1:500

Design Vehicle



	NO.	REVISION	DATE	INITIAL

PERMIT NO: P13898

PERMIT TO PRACTICE
Bunt & Associates Engineering Ltd.
Signature *[Signature]* 88645
Date 05 May 2022

PERMIT NUMBER: P13898
The Association of Professional Engineers
Geologists and Geophysicists of Alberta



4th Street Lofts
Vehicle Swept Path Analysis
SU9 Loading Maneuvering

DRAWN BY: BM	SCALE: 1:500	DATE: 2022-05-04	SHEET NO. 1 of 4
CHECKED BY:	DWG NO. 101	REV. 0	PROJECT 02-21-0140
CADD SYSTEM AutoCAD			

No	Description	Date
Issued For / Revisions		
Project	Project Number: 21026	
4TH STREET LOFTS		
1409 4 St SW		
Calgary, Alberta		
Legal Description	Building Permit No.	
PLAN SA1 BLOCK 106 LOTS 24-30		
Development Permit No. DP2021-7324	DSSP No.	

Gibbs Gage
ARCHITECTS

350,140 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

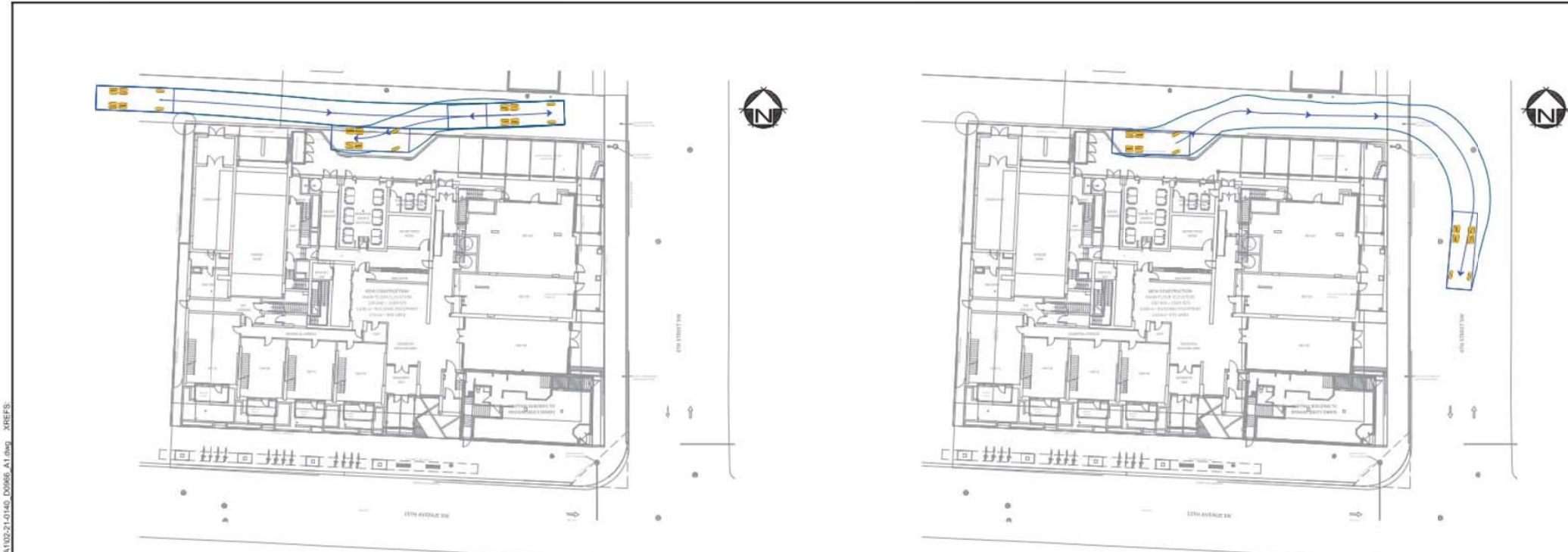
Drawing Title
SITE DETAILS - LOADING SWEEP PATH

Drawn by: Author Scale
Reviewed by: Date (YYYY-MM-DD)
Manager: JH
Tech Review:
Drawing Number
DP10.06A

BIM 360://21026 - 4th Street Lofts/21026-451-ARCH_Core and Shell.rvt
 Prof Date: May 04, 2022 - 10:11:40am Plotted by:jmcmillan
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PRELIMINARY - NOT FOR CONSTRUCTION

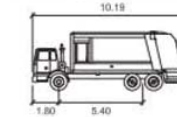
- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise.
 - Note when required minimum clear dimensions will be identified.
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 - Do not scale drawings.
 - This drawing supersedes previous issues.



1 Waste Collection Vehicle Maneuvering - Inbound
102 1:500

2 Waste Collection Vehicle Maneuvering - Outbound
102 1:500

Design Vehicle



CofC Waste Collection

Width	: 3.15
Track	: 2.60
Lock to Lock Time	: 6.0
Steering Angle	: 28.8

Path of vehicle body

BIM 360 / 21026 - 4th Street Lofts/21026-451-ARCH_Core and Shell.rvt



NO.	REVISION	DATE	INITIAL

PERMIT NO: P13898

PERMIT TO PRACTICE
Bunt & Associates Engineering Ltd.
Signature: *[Signature]* 88645
Date: 05 May 2022
PERMIT NUMBER: P13898
The Association of Professional Engineers
Geologists and Geophysicists of Alberta



4th Street Lofts
Vehicle Swept Path Analysis
Waste Collection Maneuvering

DRAWN BY: BM	SCALE: 1:500	DATE: 2022-05-04	SHEET NO. 2 of 4
CHECKED BY:	DWG NO. 102	REV. 0	PROJECT 02-21-0140
CADD SYSTEM AutoCAD			

ISSUED FOR DTR2 RESPONSE	22-05-06
No. Description	Date Preparation
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description PLAN SA1 BLOCK 106 LOTS 24-30	Building Permit No.
Development Permit No. DP2021-7324	DSSP No.

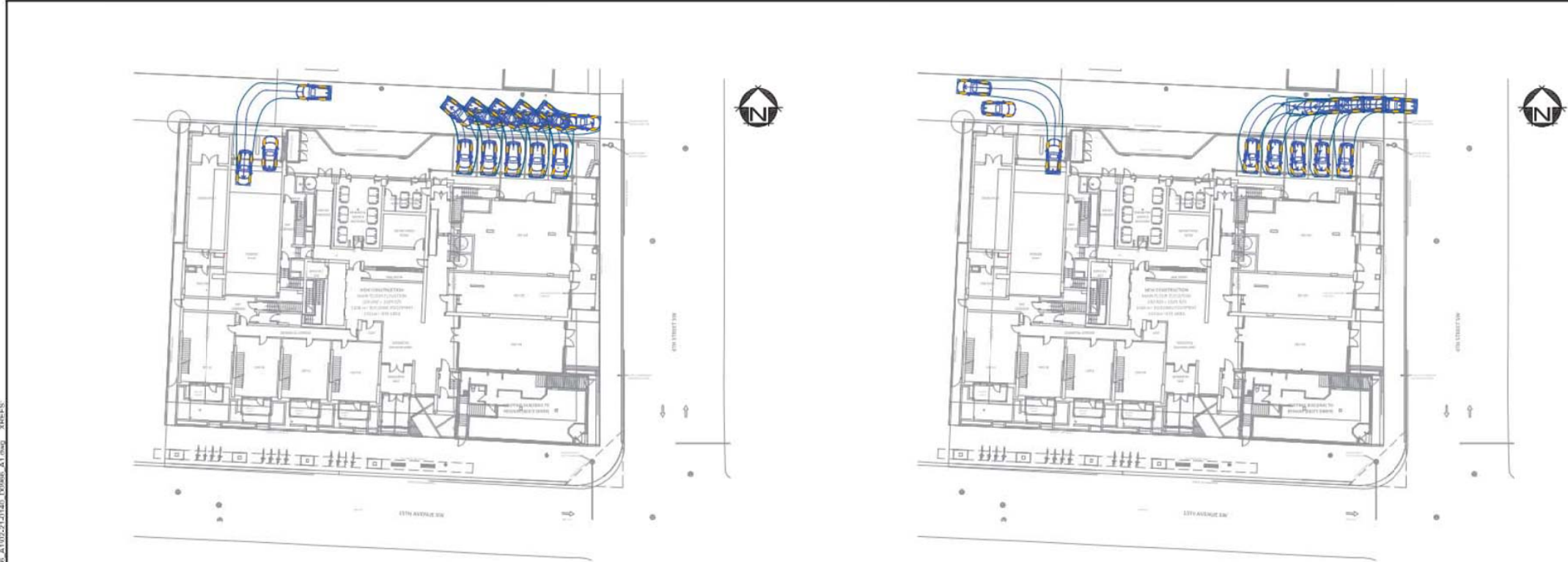
Gibbs Gage
ARCHITECTS

350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title SITE DETAILS - WASTE COLLECTION SWEEP PATH	
Drawn by: Author	Scale
Reviewed by:	Date (YYYY-MM-DD)
Manager: JH	
Tech Review:	
Drawing Number DP10.06B	Revision Number

BIM 360 / 21026 - 4th Street Lofts/21026-451-ARCH_Core and Shell.rvt
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B1 Title Block - Rev 2 (2019-03-21)

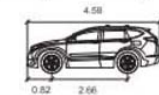
- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise.
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 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supersedes previous issues.



1
103
1 : 500
Typical Passenger Vehicle Maneuvering at Parkade Ramp - Inbound Left Turn
Typical Passenger Vehicle Maneuvering at Lane Parking Stalls - Inbound

2
103
1 : 500
Typical Passenger Vehicle Maneuvering at Parkade Ramp - Outbound Left Turn
Typical Passenger Vehicle Maneuvering at Lane Parking Stalls - Outbound

Design Vehicle



Honda CRV 2019

	width	1.85
	Track	1.86
	Lock to Lock Time	6.0
	Steering Angle	34.3

Path of vehicle body



Plot Date: May 04, 2022 - 10:19:42am Plotted by: jmmillan
M:\Operations\2022\21026\451-ARCH_Core and Shell.rvt

NO.	REVISION	DATE	INITIAL

PERMIT NO: P13898

PERMIT TO PRACTICE
Bunt & Associates Engineering Ltd.
Signature *[Signature]* 88645
Date 05 May 2022
PERMIT NUMBER: P13898
The Association of Professional Engineers
Geologists and Geophysicists of Alberta



4th Street Lofts
Vehicle Swept Path Analysis
Typical Passenger Vehicle Maneuvering

DRAWN BY: BM	SCALE: 1:500	DATE: 2022-05-04	SHEET NO. 3 of 4
CADD SYSTEM AutoCAD	DWG NO. 103	REV. 0	PROJECT 02-21-0140

ISSUED FOR DTR2 RESPONSE	22-05-06
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW	
Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	
24-30	DSSP No.
Development Permit No.	DSP2021-7324

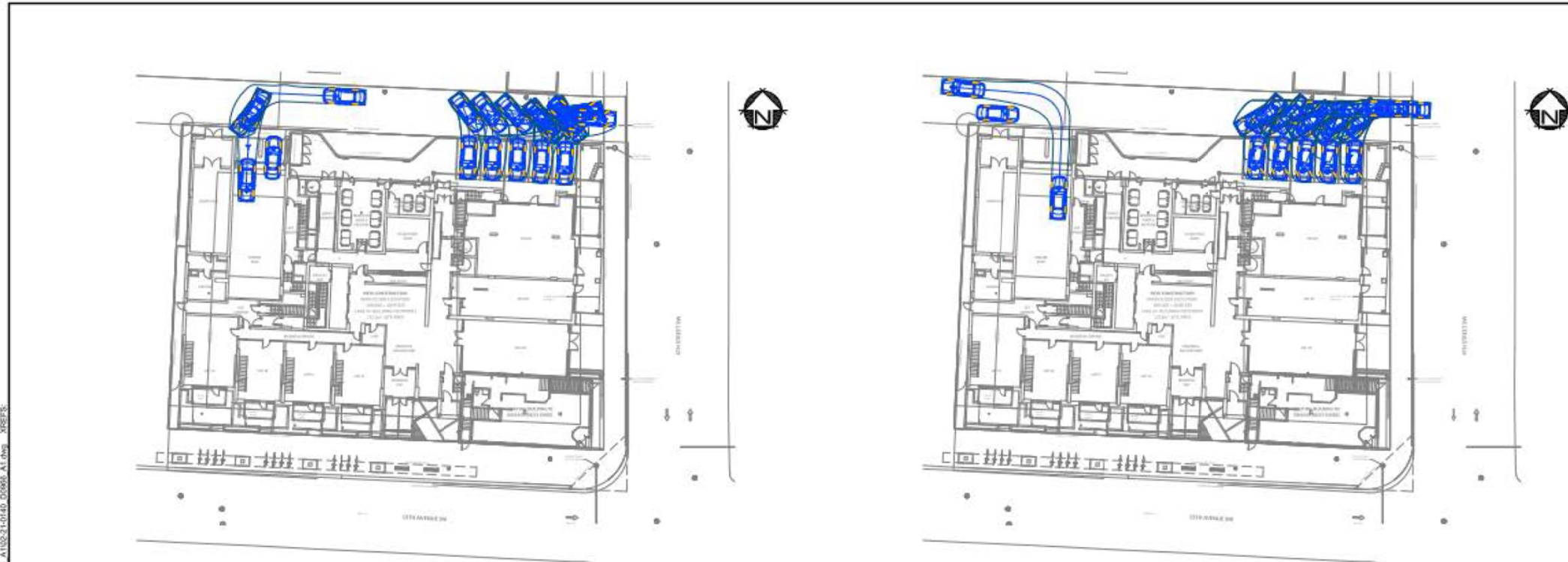
Gibbs Gage
ARCHITECTS

350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title
SITE DETAILS - TYP. PASSENGER VEHICLE SWEEP PATH

Drawn by: Author Scale
Reviewed by: JH Date (YYYY-MM-DD)
Manager: JH
Tech Review:
Drawing Number
DP10.06C
Revision Number

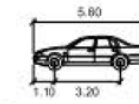
- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise.
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 - Do not scale drawings.
 - This drawing supersedes previous issues.



1
104
Oversized Passenger Vehicle Maneuvering at Parkade Ramp - Inbound Left Turn
Oversized Passenger Vehicle Maneuvering at Lane Parking Stalls - Inbound
1 : 500

2
104
Oversized Passenger Vehicle Maneuvering at Parkade Ramp - Outbound Left Turn
Oversized Passenger Vehicle Maneuvering at Lane Parking Stalls - Outbound
1 : 500

Design Vehicle



P

	metres
Width	: 2.00
Track	: 2.00
Lock to Lock Time	: 6.0
Steering Angle	: 35.9

— Path of vehicle body



NO.	REVISION	DATE	INITIAL

PERMIT NO: P13896

4th Street Lofts
Vehicle Swept Path Analysis
Oversized Passenger Vehicle Maneuvering

DRAWN BY: BM	SCALE: 1:500	DATE: 2022-05-04	SHEET NO. 4 of 4
CADD SYSTEM AutoCAD	DWG NO. 104	REV. 0	PROJECT 02-21-0140

ISSUED FOR DTR2 RESPONSE	22-05-06
No. Description	Date

Issued For / Revisions

Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description PLAN SA1 BLOCK 106 LOTS 24-30	Building Permit No.
Development Permit No. DP2021-7324	DSSP No.

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Drawing Title SITE DETAILS - OVERSIZED PASSENGER VEHICLE SWEPT PATH	
Drawn by: Author	Scale
Reviewed by:	Date (YYYY-MM-DD)
Manager: JH	Tech Review:
Drawing Number DP10.06D	Revision Number

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- Notes:**
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 - Do not scale drawings.
 - This drawing supersedes previous issues.

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ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	

Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

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ARCHITECTS

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Ph: 403.233.2000 Fax: 403-264-2077

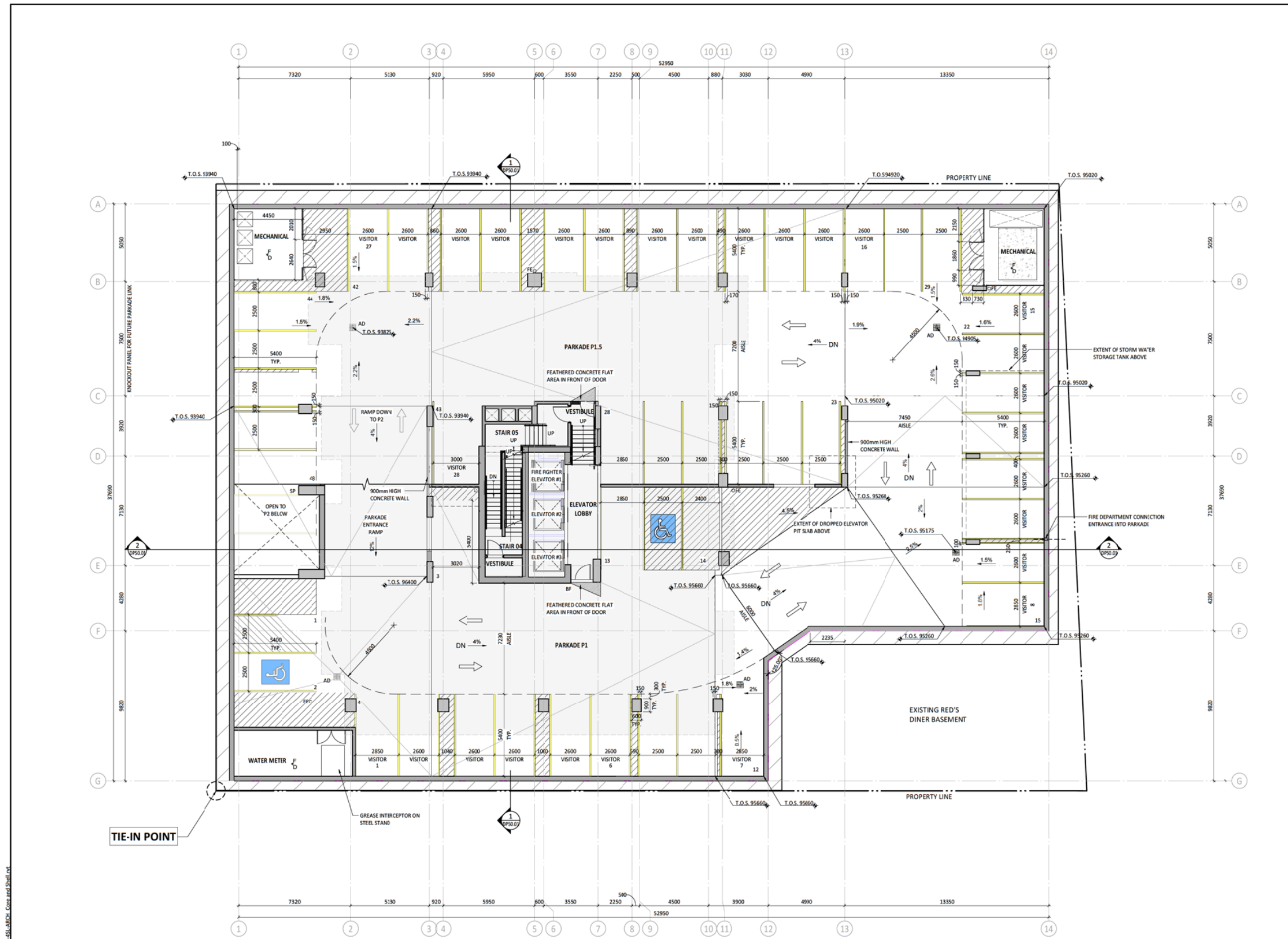
Drawing Title
SHADOW STUDY

Drawn by:	Author	Scale
Reviewed by:		
Manager:	JH	Date (YYYY-MM-DD)
Tech Review:		

Drawing Number	Revision Number
DP10.07	

PRELIMINARY - NOT FOR CONSTRUCTION

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- Notes:**
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*NOTE: ALL VISITOR PARKING STALLS TO BE IDENTIFIED WITH POSTED SIGNS.

1 PARKADE PLAN (LEVEL P1-P1.5)
DP20.01 1:100

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

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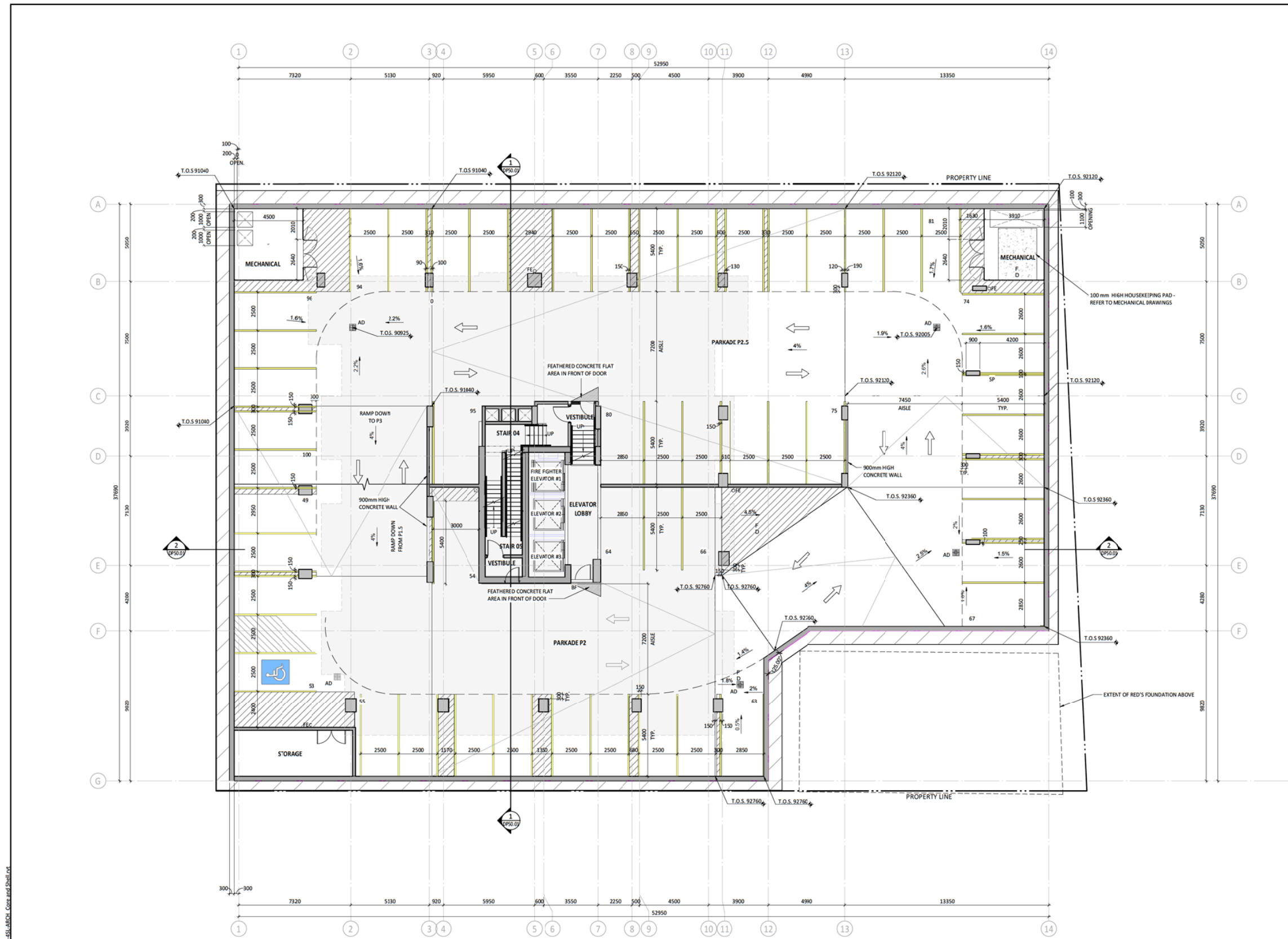
350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title	
PARKADE PLAN (LEVEL P1-1.5)	
Drawn by: Author	Scale: 1:100
Reviewed by: JH	Date (YYYY-MM-DD)
Manager: JH	
Tech Review:	

Drawing Number: **DP20.01** Revision Number:

PRELIMINARY - NOT FOR CONSTRUCTION

BIM: 360//21026 - 4th Street Lofts/21026-4SL-ARCH_Core and Shell.rvt



- Notes:**
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 - Do not scale drawings.
 - This drawing supersedes previous issues.

1 TYPICAL PARKADE PLAN (LEVEL P2-P2.5 & LEVEL P3-P3.5)
DP20.02 1:100

ISSUED FOR DTR2 RESPONSE	22-05-06
No. Description	Date Preparation
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description PLAN SA1 BLOCK 106 LOTS 24-30	Building Permit No.
Development Permit No. DP2021-7324	DSSP No.

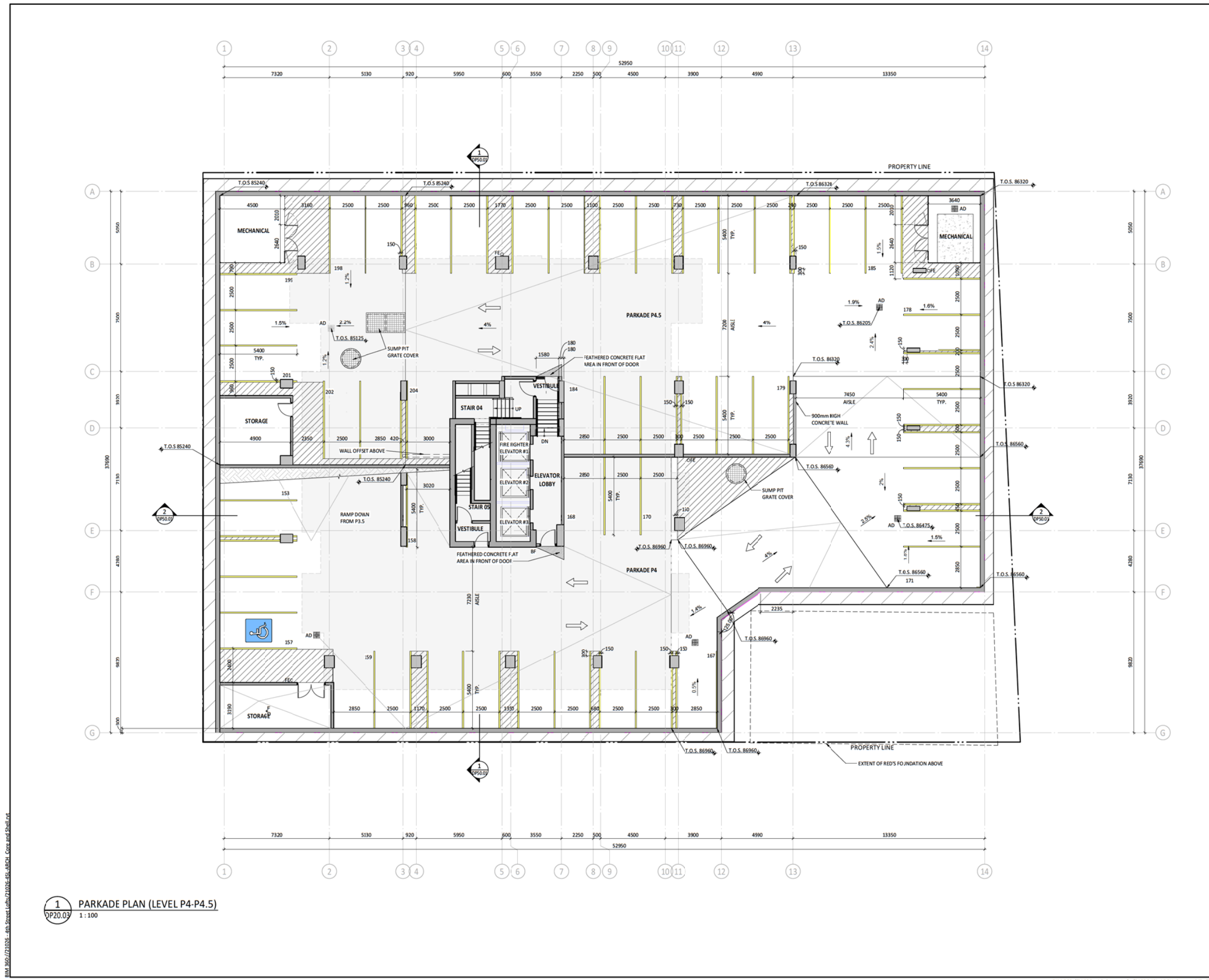
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Drawing Title	
PARKADE PLAN (LEVEL P2-P3.5)	
Drawn by: Author	Scale: 1:100
Reviewed by: JH	Date (YYYY-MM-DD)
Manager: JH	
Tech Review:	
Drawing Number	Revision Number
DP20.02	

PRELIMINARY - NOT FOR CONSTRUCTION

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ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date Preparation
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description PLAN SA1 BLOCK 106 LOTS 24-30	Building Permit No. DP2021-7324
Development Permit No. DP2021-7324	DSSP No.

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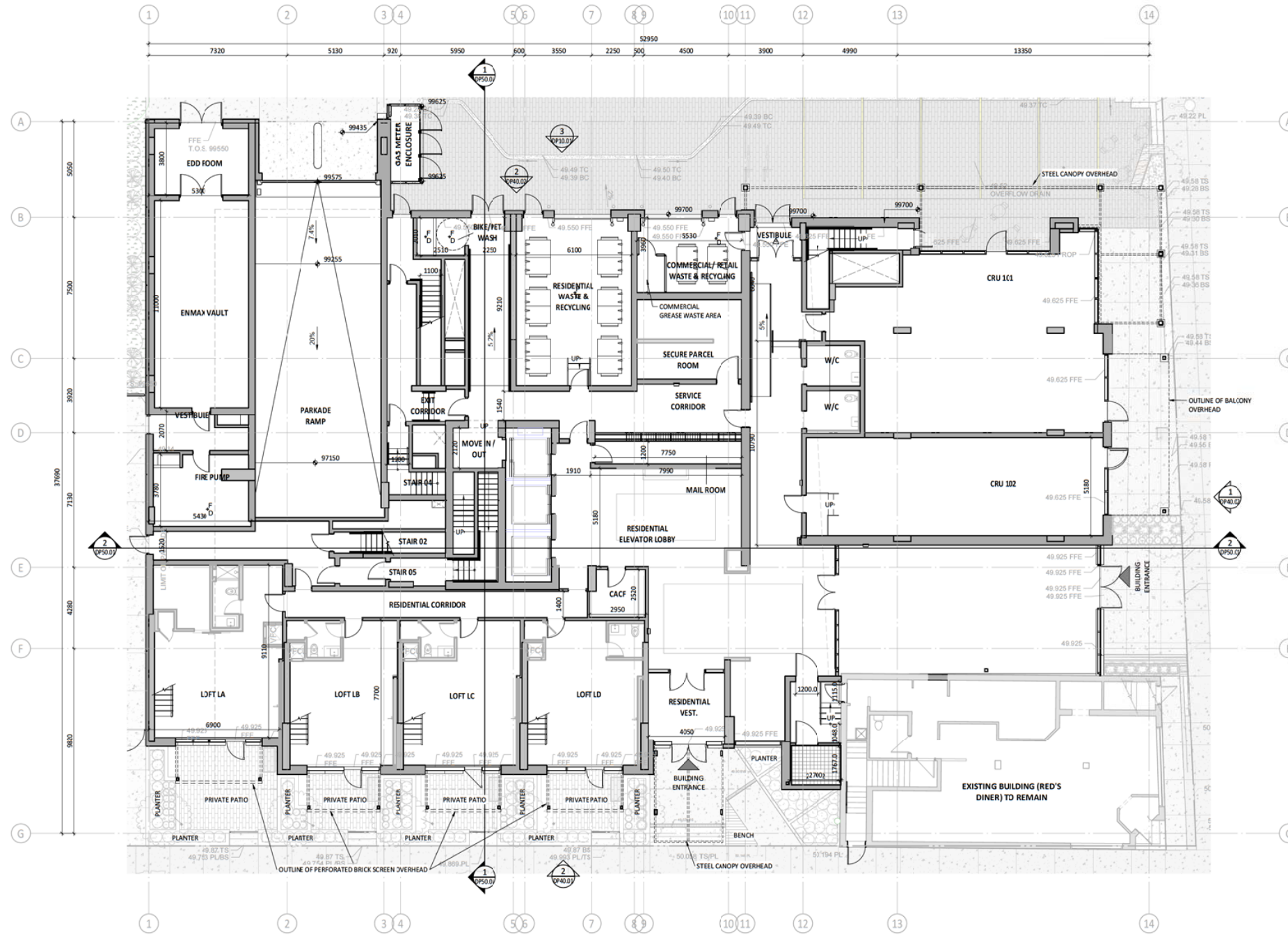
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Drawn by: Author	Scale 1 : 100
Reviewed by: JH	Date (YYYY-MM-DD)
Manager: JH	Tech Review:
Drawing Number DP20.03	Revision Number

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- Notes:**
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1 MAIN FLOOR PLAN
DP20.04
1:100

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

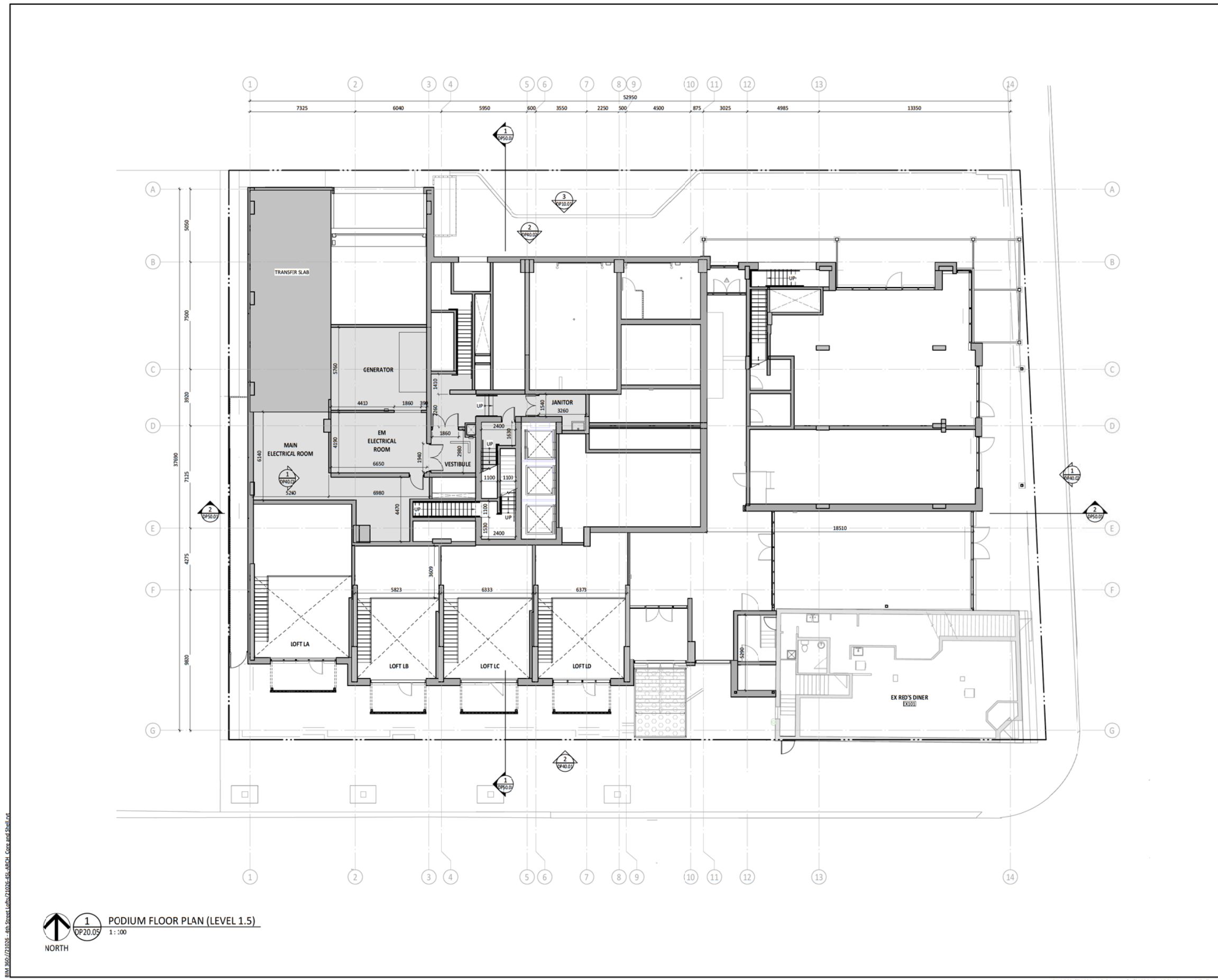
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350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title
MAIN FLOOR PLAN

Drawn by: Author	Scale
Reviewed by:	1:100
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	

Drawing Number	Revision Number
DP20.04	



- Notes:**
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 - Do not scale drawings.
 - This drawing supersedes previous issues.

NOTE: OCCUPIED SPACE SHOWN AS GREY FOR CLARITY.

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW	
Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

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350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title	
PODIUM FLOOR PLAN (LEVEL 1.5)	
Drawn by: Author	Scale: 1 : 100
Reviewed by:	Date (YYYY-MM-DD)
Manager: JH	
Tech Review:	
Drawing Number	Revision Number
DP20.05	

1 PODIUM FLOOR PLAN (LEVEL 1.5)
1 : 100

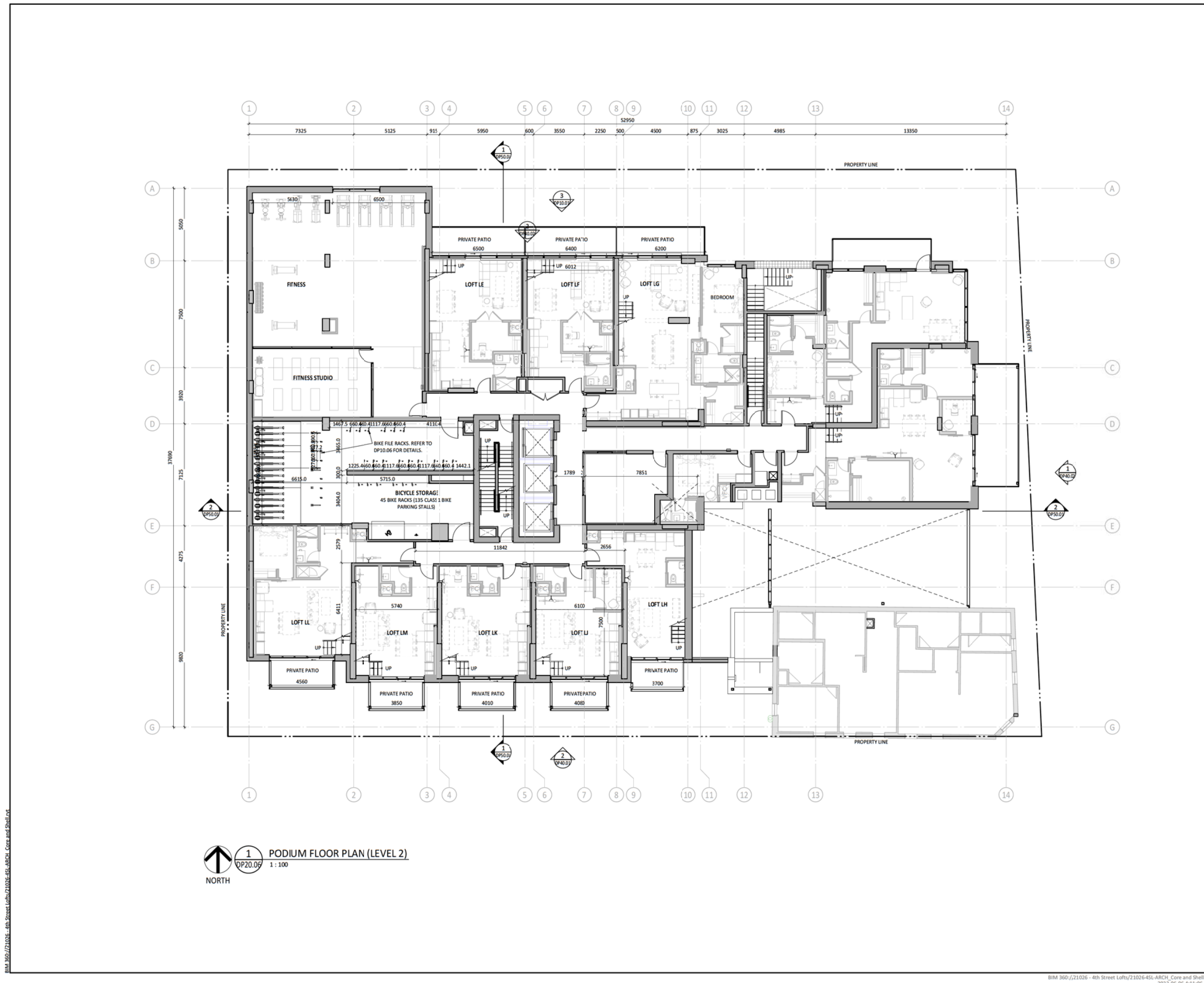


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- Notes:**
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 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supersedes previous issues.

NOTE: INSULITE BIKE RACK SUBJECT TO CHANGE UPON LEASE AGREEMENT.

← INSULITE BIKE HOOK

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW	
Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

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ARCHITECTS

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Ph: 403.233.2000 Fax: 403-264-2077

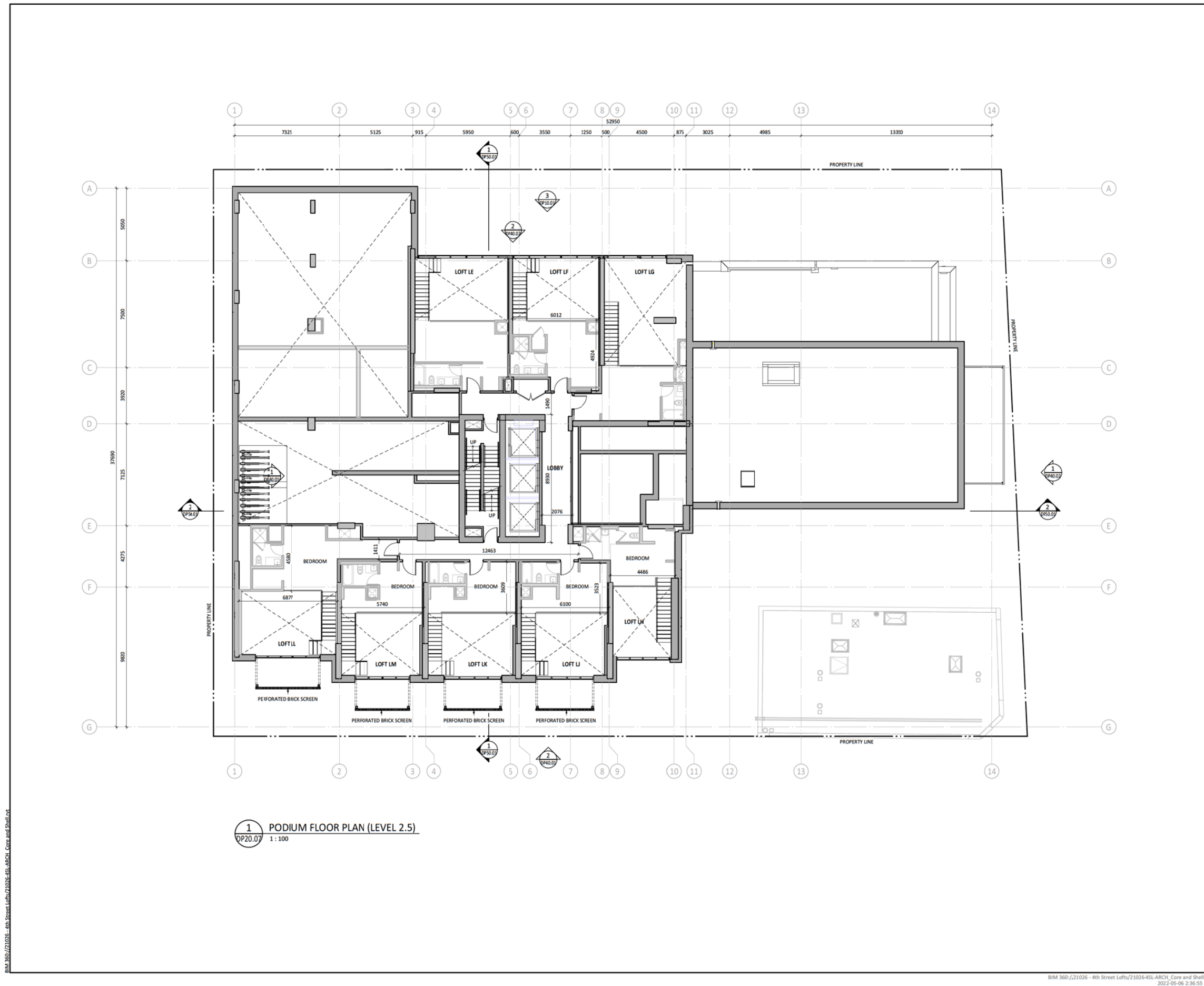
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PODIUM FLOOR PLAN (LEVEL 2)	
Drawn by:	Author
Reviewed by:	Scale
Manager:	1 : 100
Tech Review:	Date (YYYY-MM-DD)
Drawing Number	Revision Number
DP20.06	

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PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION



- Notes:**
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 - Note when required minimum clear dimensions will be identified.
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 - Do not scale drawings.
 - This drawing supersedes previous issues.

1 PODIUM FLOOR PLAN (LEVEL 2.5)
DP20.07 1:100

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW	
Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	
24-30	DSSP No.
Development Permit No.	
DP2021-7324	

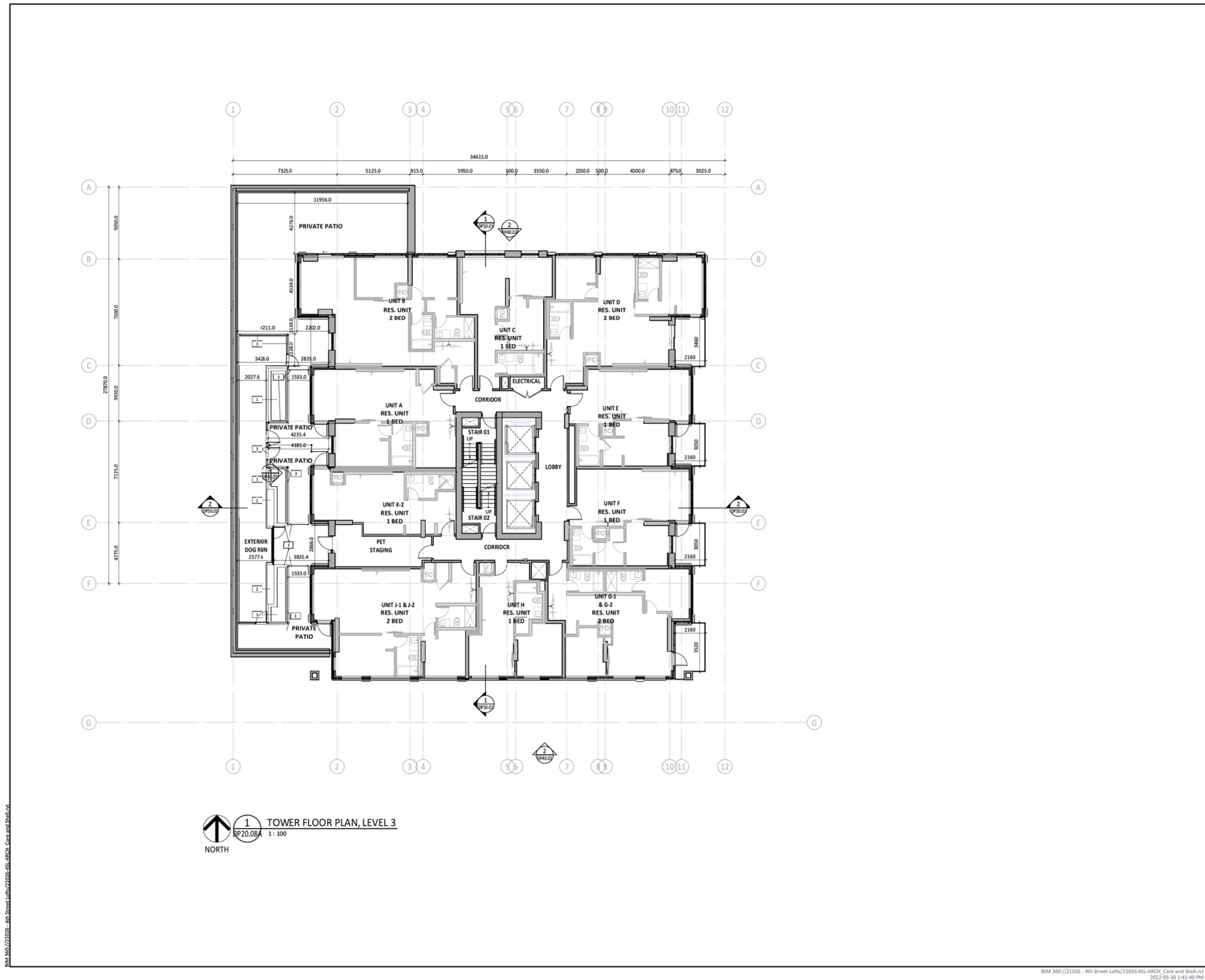
Gibbs Gage
ARCHITECTS

350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title	
PODIUM FLOOR PLAN (LEVEL 2.5)	
Drawn by:	Author
Reviewed by:	Scale
Manager:	Date (YYYY-MM-DD)
Tech Review:	
Drawing Number	Revision Number
DP20.07	

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2022-05-06 2:36:55 PM

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B1 Title Block - Rev 2 (2019-03-21)



- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise.
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 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supersedes previous issues.

NOTE: INSUITE BIKE RACK SUBJECT TO CHANGE UPON LEASE AGREEMENT.

← INSUITE BIKE HOOK

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date

Issued For / Revisions

Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS 24-30	
Development Permit No.	DSSP No.
DP2021-7324	

Gibbs Gage
ARCHITECTS

350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title
TOWER FLOOR PLANS

Drawn by: Author	Scale
Reviewed by:	1:100
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	

Drawing Number

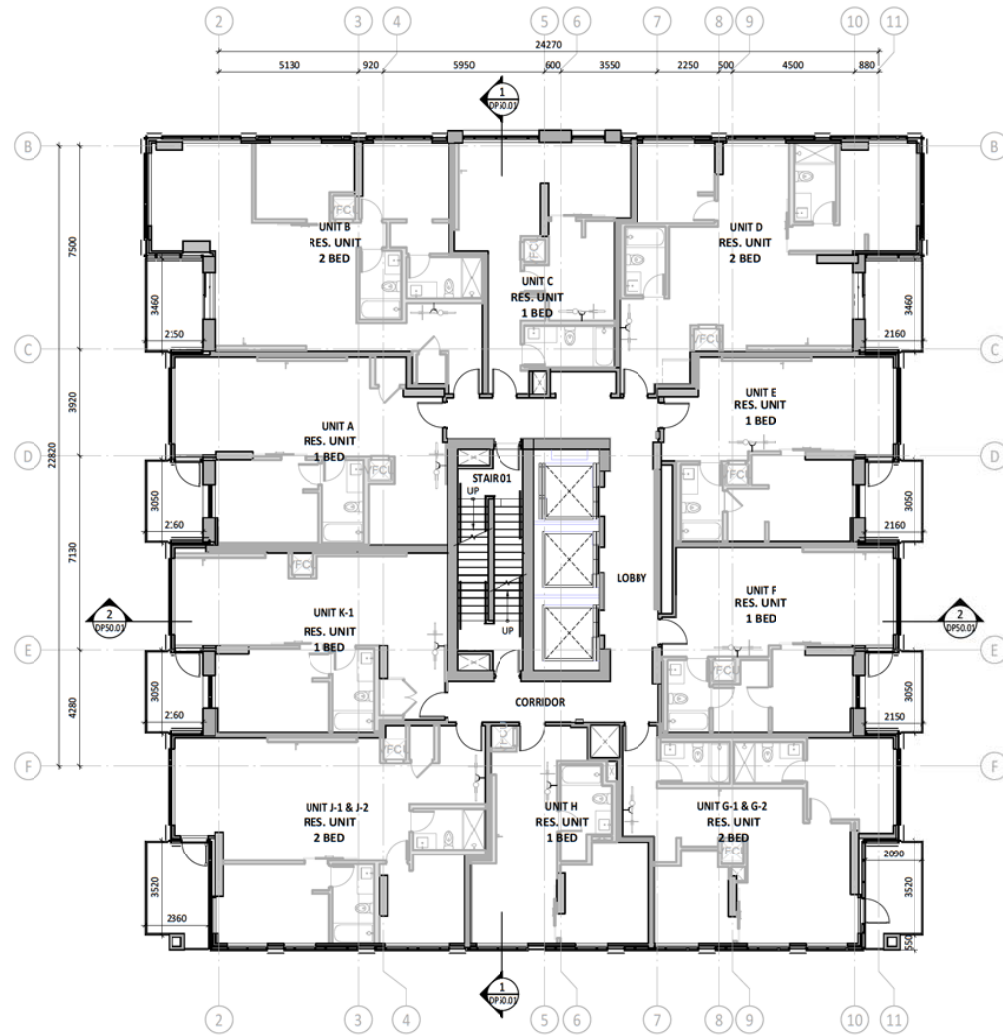
DP20.08A

Revision Number

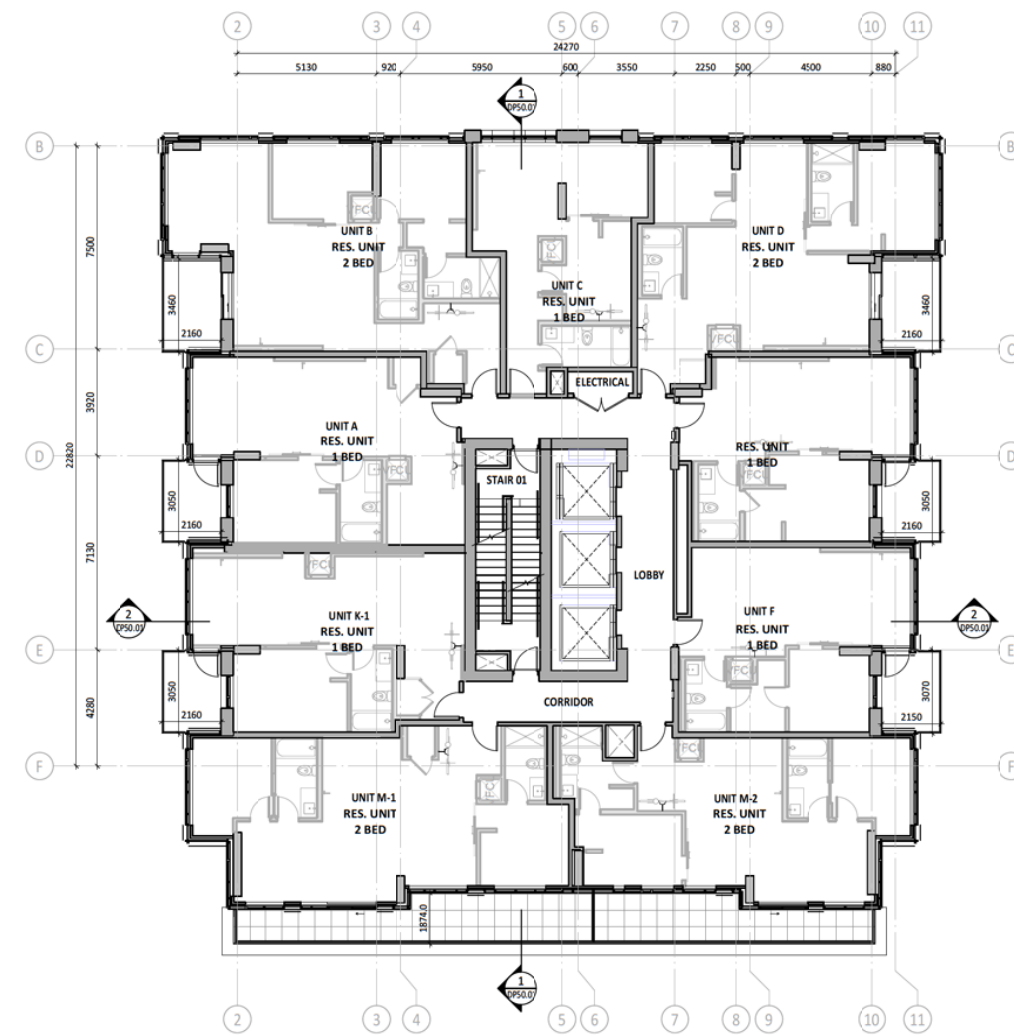
- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise.
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supersedes previous issues.

NOTE: INSULITE BIKE RACK SUBJECT TO CHANGE UPON LEASE AGREEMENT.

← INSULITE BIKE HOOK



1 TYPICAL TOWER FLOOR PLAN, LEVEL 4-26
DP20.08 1:100
NORTH



2 TYPICAL TOWER FLOOR PLAN, LEVEL 27/28
DP20.08 1:100
NORTH

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description PLAN SA1 BLOCK 106 LOTS 24-30	Building Permit No.
Development Permit No. DP2021-7324	DSSP No.

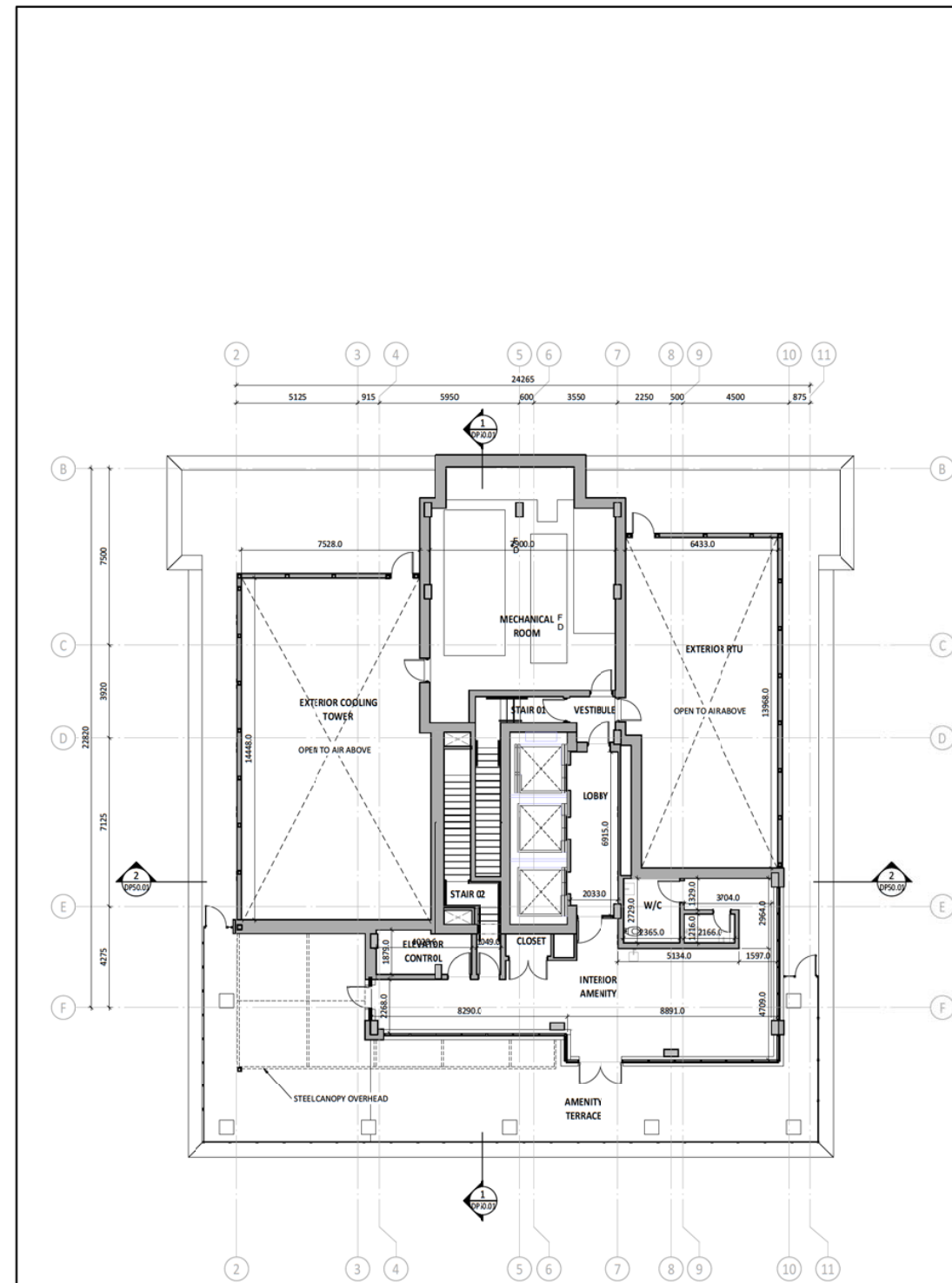
Gibbs Gage
ARCHITECTS

350.140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title
TOWER FLOOR PLANS

Drawn by: Author	Scale
Reviewed by:	1 : 100
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	

Drawing Number	Revision Number
DP20.08	



1 TOWER FLOOR PLAN, LEVEL 29
DP20.09 1:100

- Notes:**
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ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date

Issued For / Revisions

Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description PLAN SA1 BLOCK 106 LOTS 24-30	Building Permit No.
Development Permit No. DP2021-7324	DSSP No.

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Drawing Title TOWER FLOOR PLANS	
Drawn by: Author	Scale 1 : 100
Reviewed by:	Date (YYYY-MM-DD)
Manager: JH	Tech Review:
Drawing Number DP20.09	Revision Number

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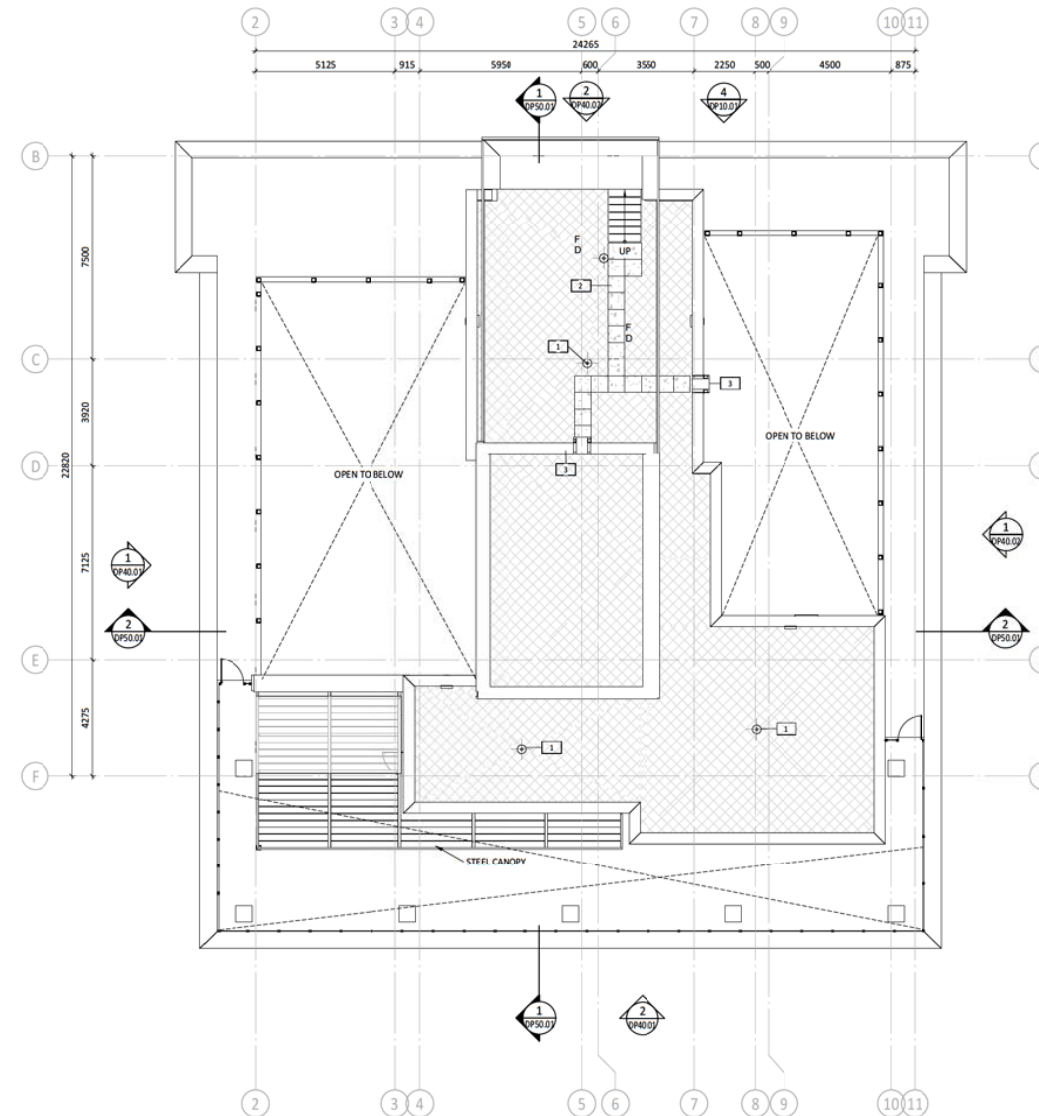
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KEYNOTES

(APPLIES TO THIS SHEET ONLY)
[Symbol] (SHOWN AS THIS)

NO.	DESCRIPTION
1	ROOF DRAIN
2	CONCRETE PAVERS
3	ACCESS LADDER



1 TOWER ROOF PLAN
DP20.10
1:100

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date

Issued For / Revisions

Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

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Drawing Title
ROOF PLAN

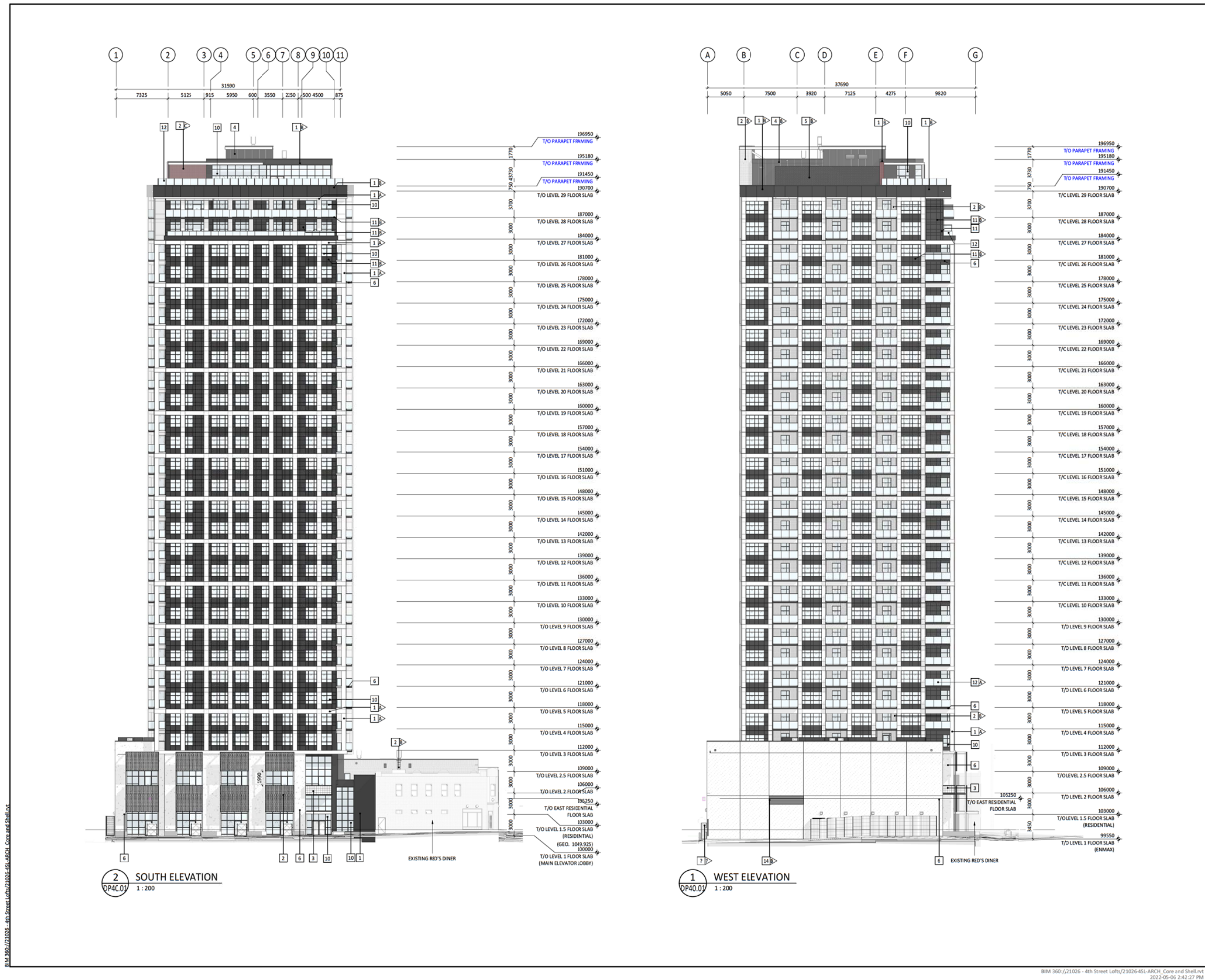
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Reviewed by:	1:100
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	

Drawing Number	Revision Number
DP20.10	

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- MATERIAL LEGEND**
- 1 COMPOSITE METAL PANEL
 - 2 MASONRY
 - 3 METAL MESH
 - 4 METAL PANEL
 - 5 PERFORATED METAL CLADDING
 - 6 CONCRETE
 - 9 WINDOW FRAME SYSTEM W/ GLAZED SPANDREL PANEL
 - 10 WINDOW FRAME SYSTEM W/ GLAZING
 - 11 WINDOW FRAME SYSTEM W/ METAL SPANDREL PANEL
 - 12 GLASS GUARDRAIL WITH BLACK ALUMINUM FRAME
 - 13 ALUMINUM DOOR
 - 14 LOUVER
 - 15 OVERHEAD DOOR
- COLOUR LEGEND**
- A WHITE
B BLACK
C

ISSUED FOR DTR2 RESPONSE	22-05-06
ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date Drawn by
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description PLAN SA1 BLOCK 106 LOTS 24-30	Building Permit No. DSSP No.
Development Permit No. DP2021-7324	

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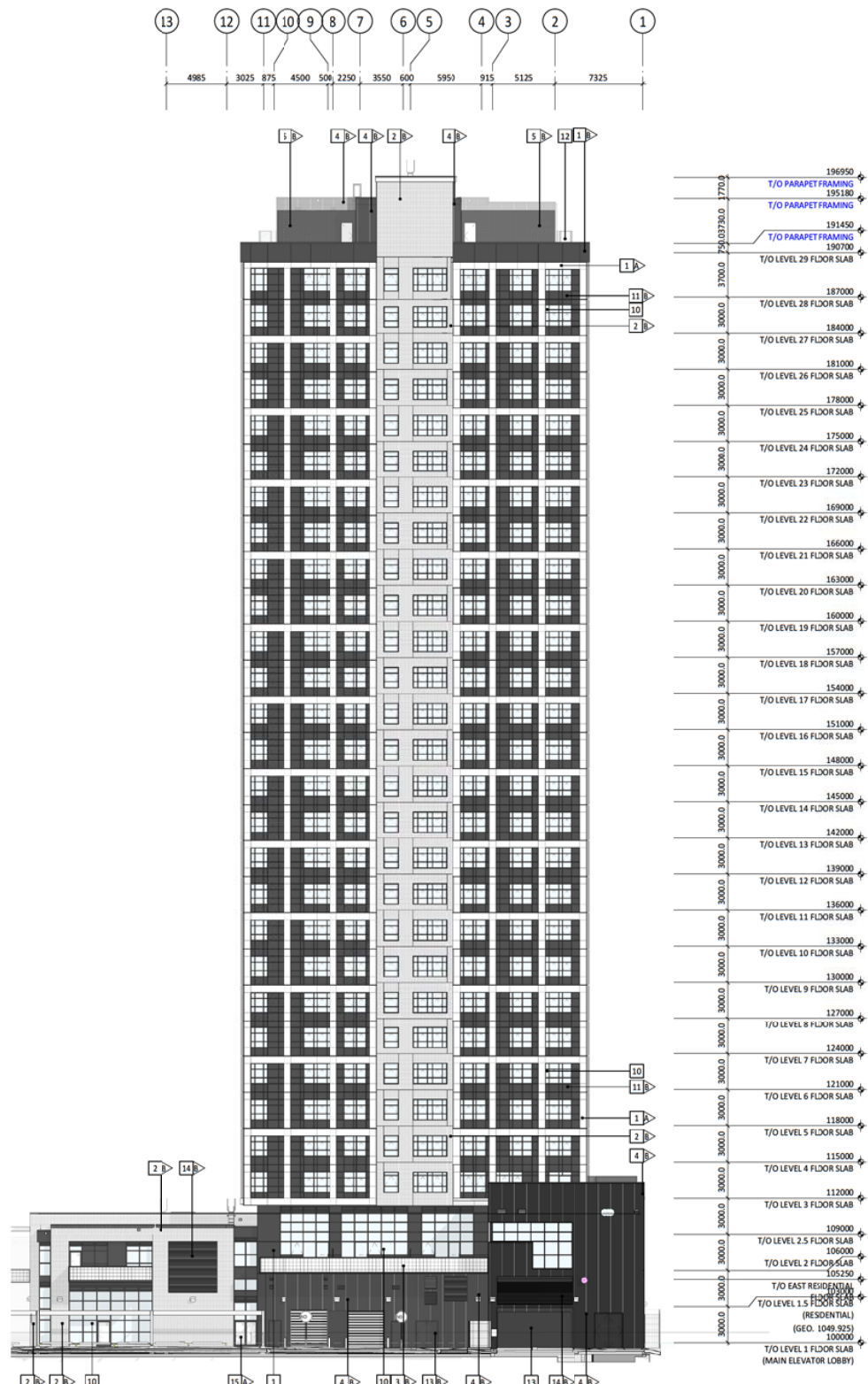
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Drawn by: Author	Scale 1 : 200
Reviewed by: JH	Date (YYYY-MM-DD)
Manager: JH	
Tech Review:	
Drawing Number DP40.01	Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION

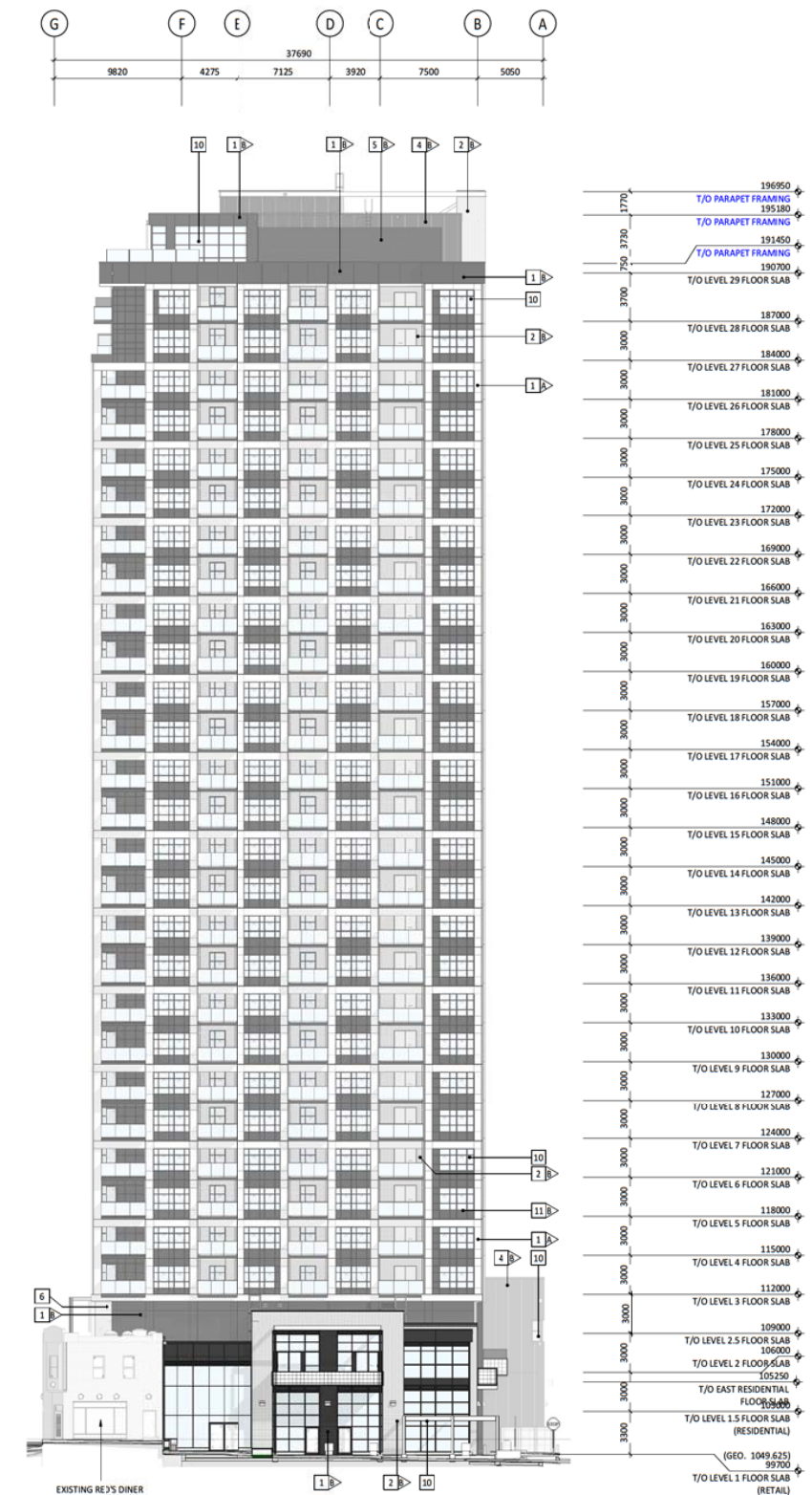
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2 NORTH ELEVATION
DP40.02
1 : 200



1 EAST ELEVATION
DP40.02
1 : 200

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 - 12 GLASS GUARDRAIL WITH BLACK ALUMINUM FRAME
 - 13 ALUMINUM DOOR
 - 14 LOUVER
 - 15 OVERHEAD DOOR
- COLOUR LEGEND**
- A WHITE
B BLACK
C

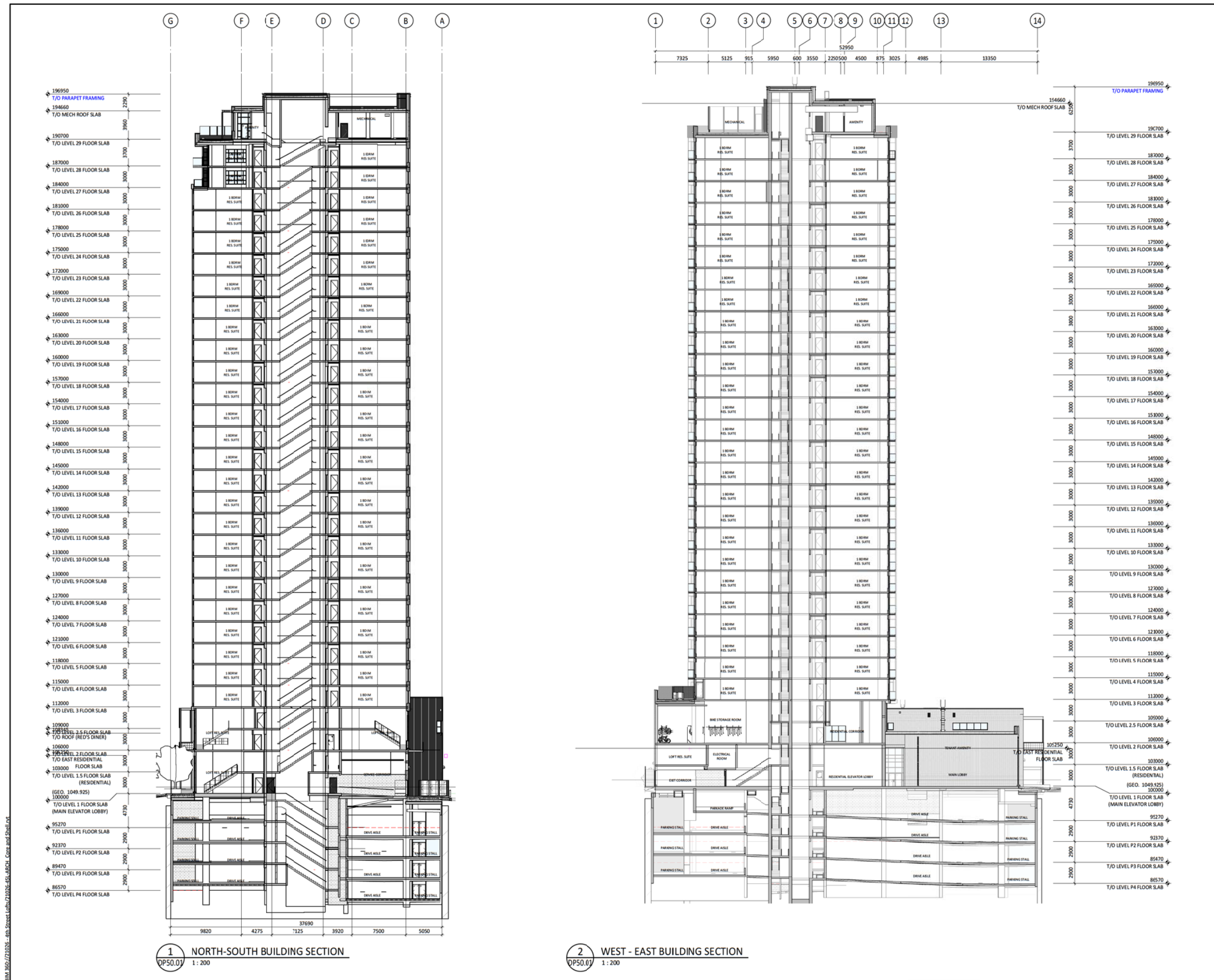
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ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date (YYYY-MM-DD)
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS 24-30	21-10-08
Development Permit No.	DSSP No.
DP2021-7324	

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Drawing Title	
EXTERIOR ELEVATIONS	
Drawn by: Author	Scale
Reviewed by: JH	1 : 200
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	
Drawing Number	Revision Number
DP40.02	

PRELIMINARY - NOT FOR CONSTRUCTION



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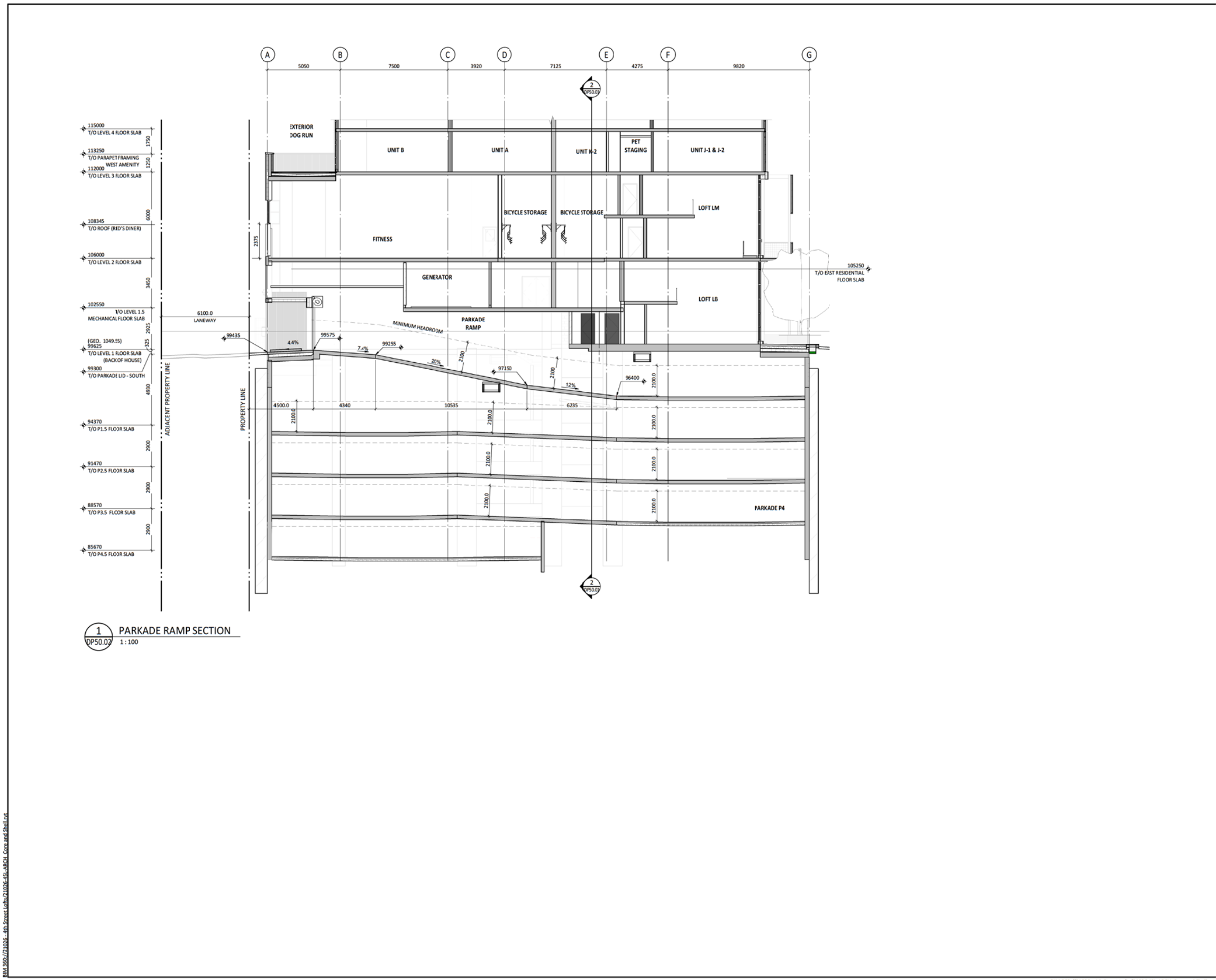
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ISSUED FOR DTR1 RESPONSE	22-01-31
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	
24-30	DSSP No.
Development Permit No.	DP2021-7324

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Drawing Title	
BUILDING SECTIONS	
Drawn by: Author	Scale
Reviewed by: JH	1 : 200
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	
Drawing Number	Revision Number
DP50.01	

PRELIMINARY - NOT FOR CONSTRUCTION



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PRELIMINARY - NOT FOR CONSTRUCTION

1 PARKADE RAMP SECTION
DP50.02
1:100

ISSUED FOR DTR1 RESPONSE	22-01-31
No. Description	Date
Issued For / Revisions	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 St SW Calgary, Alberta	
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP2021-7324	

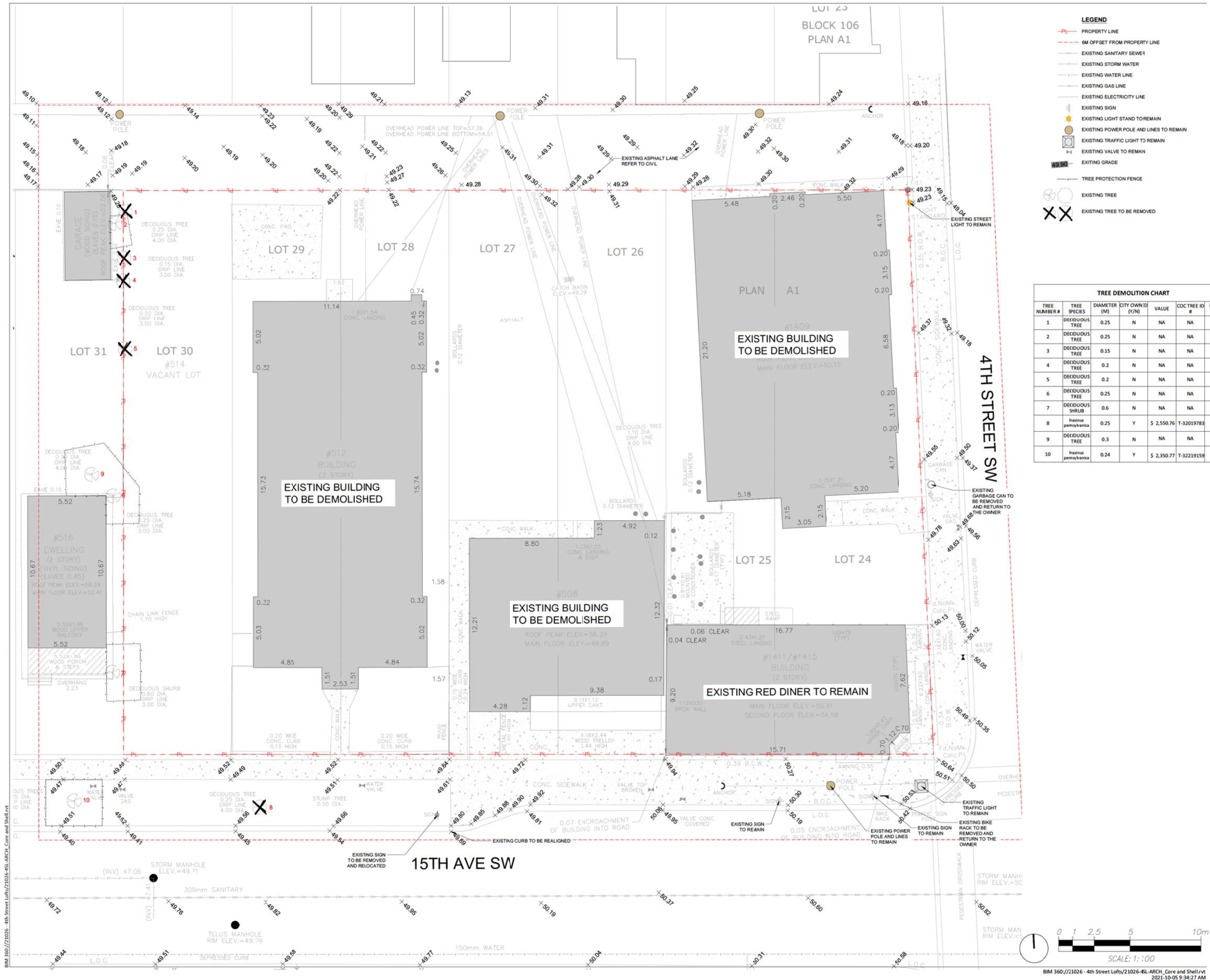
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Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title	
PARKADE SECTION	
Drawn by: Author	Scale
Reviewed by:	1:100
Manager: JH	Date (YYYY-MM-DD)
Tech Review:	
Drawing Number	Revision Number
DP50.02	

PRELIMINARY - NOT FOR CONSTRUCTION

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TREE DEMOLITION CHART

TREE NUMBER #	TREE SPECIES	DIAMETER (M)	CITY OWNED (Y/N)	VALUE	CO2 TREE #	REMOVE (Y/N)
1	DECIDUOUS TREE	0.25	N	NA	NA	Y
2	DECIDUOUS TREE	0.25	N	NA	NA	N
3	DECIDUOUS TREE	0.15	N	NA	NA	Y
4	DECIDUOUS TREE	0.2	N	NA	NA	Y
5	DECIDUOUS TREE	0.2	N	NA	NA	Y
6	DECIDUOUS TREE	0.25	N	NA	NA	N
7	DECIDUOUS SHRUB	0.6	N	NA	NA	N
8	Fraxinus pennsylvanica	0.25	Y	\$ 2,550.76	T-32019783	Y
9	DECIDUOUS TREE	0.3	N	NA	NA	N
10	Fraxinus pennsylvanica	0.24	Y	\$ 2,350.77	T-32219159	N

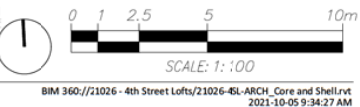
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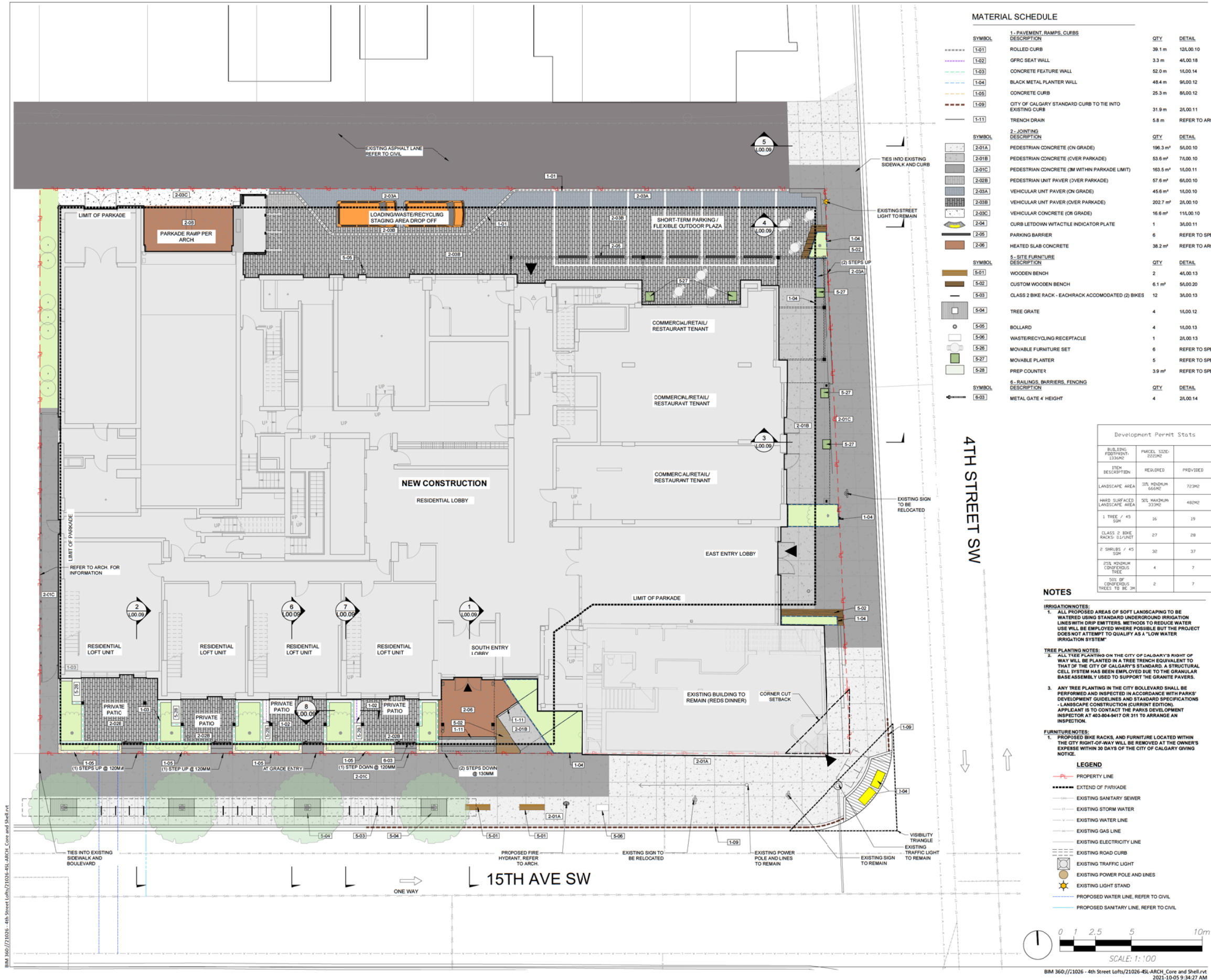
ISSUED FOR DTR2 RESPONSE	22-05-05
ISSUED FOR DTR1 RESPONSE	22-01-17
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / REVISIONS	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW	Calgary, Alberta
Legal Description	Building Permit No.
PLAN S41 BLOCK 106 LOTS 24-30	24-30
Development Permit No.	DSSP No.
DP0021-734	

O2

255, 17 Ave SW, Calgary, Alberta. T2S 2T8

DEMOLITION / TREE PROTECTION PLAN	
Drawn by: ZW, YZ	Scale
Reviewed by:	As indicated
Manager: MW	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	Revision Number
L00.00	0





MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1-01	PAVEMENT RAMP CURB		
1-01	ROLLED CURB	39.1 m	12L00.10
1-02	GFRG SEAT WALL	3.3 m	4L00.18
1-03	CONCRETE FEATURE WALL	52.0 m	1A.00.14
1-04	BLACK METAL PLANTER WALL	48.4 m	9A.00.12
1-05	CONCRETE CURB	25.3 m	8A.00.12
1-09	CITY OF CALGARY STANDARD CURB TO TIE INTO EXISTING CURB	31.9 m	2A.00.11
1-11	TRENCH DRAIN	5.8 m	REFER TO ARCH.
2 - JOINTING			
2-01A	PEDESTRIAN CONCRETE (ON GRADE)	196.3 m ²	5A.00.10
2-01B	PEDESTRIAN CONCRETE (OVER PARKADE)	53.6 m ²	7A.00.10
2-01C	PEDESTRIAN CONCRETE (M WITHIN PARKADE LIMIT)	163.5 m ²	1A.00.11
2-02B	PEDESTRIAN UNIT PAVER (OVER PARKADE)	57.8 m ²	6A.00.10
2-03A	VEHICULAR UNIT PAVER (ON GRADE)	45.6 m ²	1A.00.10
2-03B	VEHICULAR UNIT PAVER (OVER PARKADE)	202.7 m ²	2A.00.10
2-03C	VEHICULAR CONCRETE (ON GRADE)	16.8 m ²	11A.00.10
2-04	CURB LETDOWN W/TACTILE INDICATOR PLATE	1	3A.00.11
2-05	PARKING BARRIER	6	REFER TO SPEC.
2-06	HEATED SLAB CONCRETE	38.2 m ²	REFER TO ARCH.
5 - SITE FURNITURE			
5-01	WOODEN BENCH	2	4A.00.13
5-02	CUSTOM WOODEN BENCH	6.1 m ²	5A.00.20
5-03	CLASS 2 BIKE RACK - EACH RACK ACCOMMODATED (2) BIKES	12	3A.00.13
5-04	TREE GRATE	4	1A.00.12
5-05	BOLLARD	4	1A.00.13
5-06	WASTERECYCLING RECEPTACLE	1	2A.00.13
5-26	MOVABLE FURNITURE SET	6	REFER TO SPEC.
5-27	MOVABLE PLANTER	5	REFER TO SPEC.
5-28	PREP COUNTER	3.9 m ²	REFER TO SPEC.
6 - RAILINGS, BARRIERS, FENCING			
6-03	METAL GATE 4' HEIGHT	4	2A.00.14

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Development Permit Stats

BUILDING FOOTPRINT: 1334M ²	PARCEL SIZE: 2223M ²	
ITEM DESCRIPTION	REQUIRED	PROVIDED
LANDSCAPE AREA	30% MINIMUM 666M ²	723M ²
HARD SURFACED LANDSCAPE AREA	30% MAXIMUM 233M ²	480M ²
1 TREE / 45 SQM	16	19
CLASS 2 BIKE RACKS (2 BIKES)	27	28
2 SHRUBS / 45 SQM	32	37
20% MINIMUM CONIFEROUS TREE	4	7
50% OF CONIFEROUS TREES TO BE 3M	2	7

NOTES

IRRIGATION NOTES:

- ALL PROPOSED AREAS OF SOFT LANDSCAPING TO BE WATERED USING STANDARD UNDERGROUND IRRIGATION LINES WITH DRIP EMITTERS. METHODS TO REDUCE WATER USE WILL BE EMPLOYED WHERE POSSIBLE BUT THE PROJECT DOES NOT ATTEMPT TO QUALIFY AS A "LOW WATER IRRIGATION SYSTEM"

TREE PLANTING NOTES:

- ALL TREE PLANTING ON THE CITY OF CALGARY'S RIGHT OF WAY WILL BE PLANTED IN A TREE TRENCH EQUIVALENT TO THAT OF THE CITY OF CALGARY'S STANDARD. A STRUCTURAL CELL SYSTEM HAS BEEN EMPLOYED DUE TO THE GRANULAR BASE ASSEMBLY USED TO SUPPORT THE GRANITE PAVERS.
- ANY TREE PLANTING IN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS' DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT IS TO CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-804-9417 OR 311 TO ARRANGE AN INSPECTION.

FURNITURE NOTES:

- PROPOSED BIKE RACKS AND FURNITURE LOCATED WITHIN THE CITY RIGHT-OF-WAY WILL BE REMOVED AT THE OWNER'S EXPENSE WITHIN 30 DAYS OF THE CITY OF CALGARY GIVING NOTICE.

LEGEND

- PL — PROPERTY LINE
- EXTEND OF PARKADE
- EXISTING SANITARY SEWER
- EXISTING STORM WATER
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING ELECTRICITY LINE
- EXISTING ROAD CURB
- EXISTING TRAFFIC LIGHT
- EXISTING POWER POLE AND LINES
- EXISTING LIGHT STAND
- PROPOSED WATER LINE, REFER TO CIVIL
- PROPOSED SANITARY LINE, REFER TO CIVIL



PRELIMINARY - NOT FOR CONSTRUCTION

ISSUED FOR DTR2 RESPONSE 22-05-05
ISSUED FOR DTR1 RESPONSE 22-01-17
ISSUED FOR DEVELOPMENT PERMIT 21-10-08

No. Description Date
DPM 001 001

Issued For / REVISIONS

Project Number: 21026
4TH STREET LOFTS

1409 4 ST SW
Calgary, Alberta

Legal Description
PLAN S43 BLOCK 106 LOTS 24-30
Development Permit No. DPO021-7324

Building Permit No.
DSSP No.

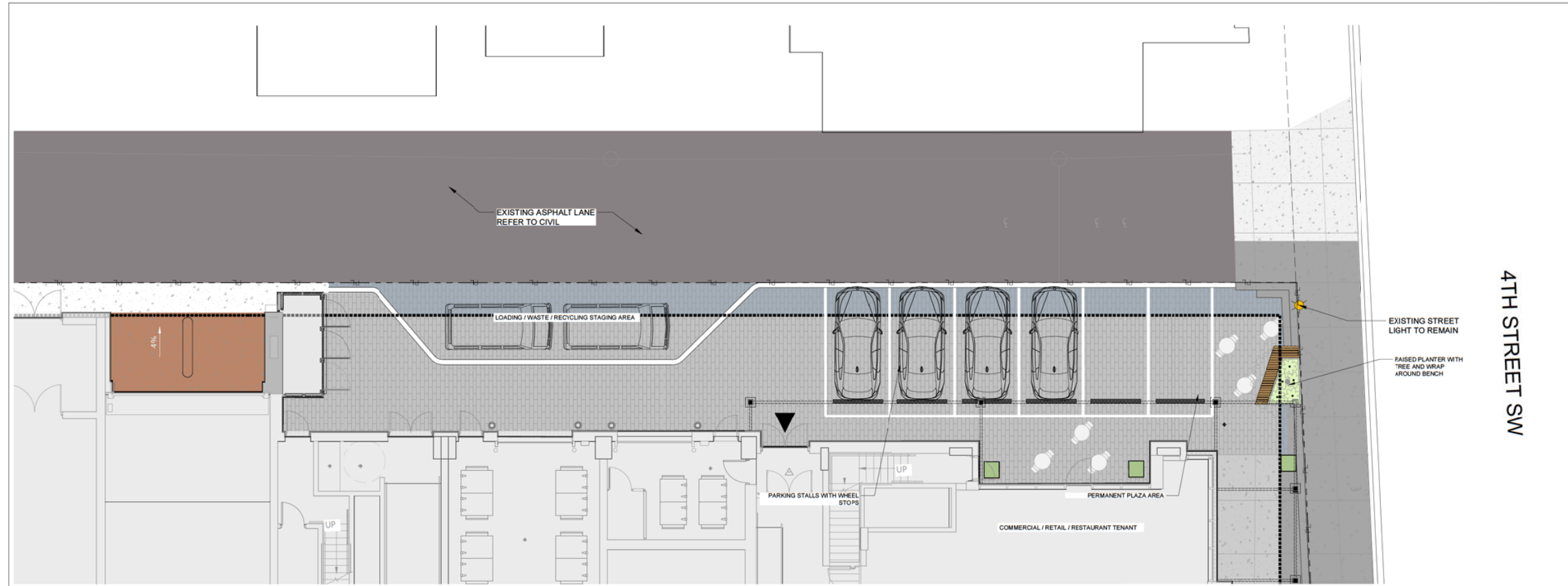
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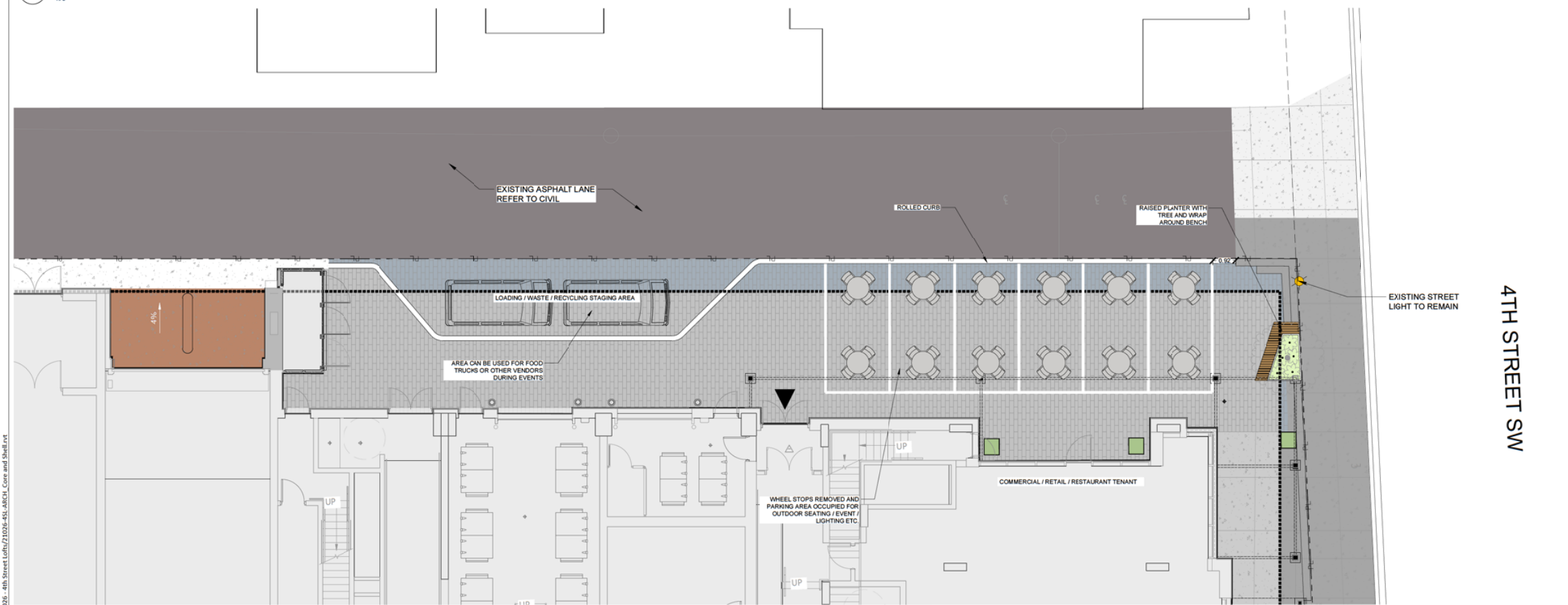
Drawing Title
SITE PLAN

Drawn by: ZW, YZ Scale
Reviewed by: As indicated
Manager: MW Date (YYYY-MM-DD)
Tech Review: 2022-05-05

Drawing Number
L00.01 Revision Number
0



1 LANEWAY SCENARIO ONE: ANGLED PARKING WITH PERMANENT PLAZA
175



2 LANEWAY SCENARIO 2: FLEXIBLE PLAZA SPACE
175

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ISSUED FOR DTR1 RESPONSE	22-01-17
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / REVISIONS	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW Calgary, Alberta	
Legal Description PLAN S43 BLOCK 106 LOTS 24-30	Building Permit No.
Development Permit No. DP0021-7324	DSSP No.

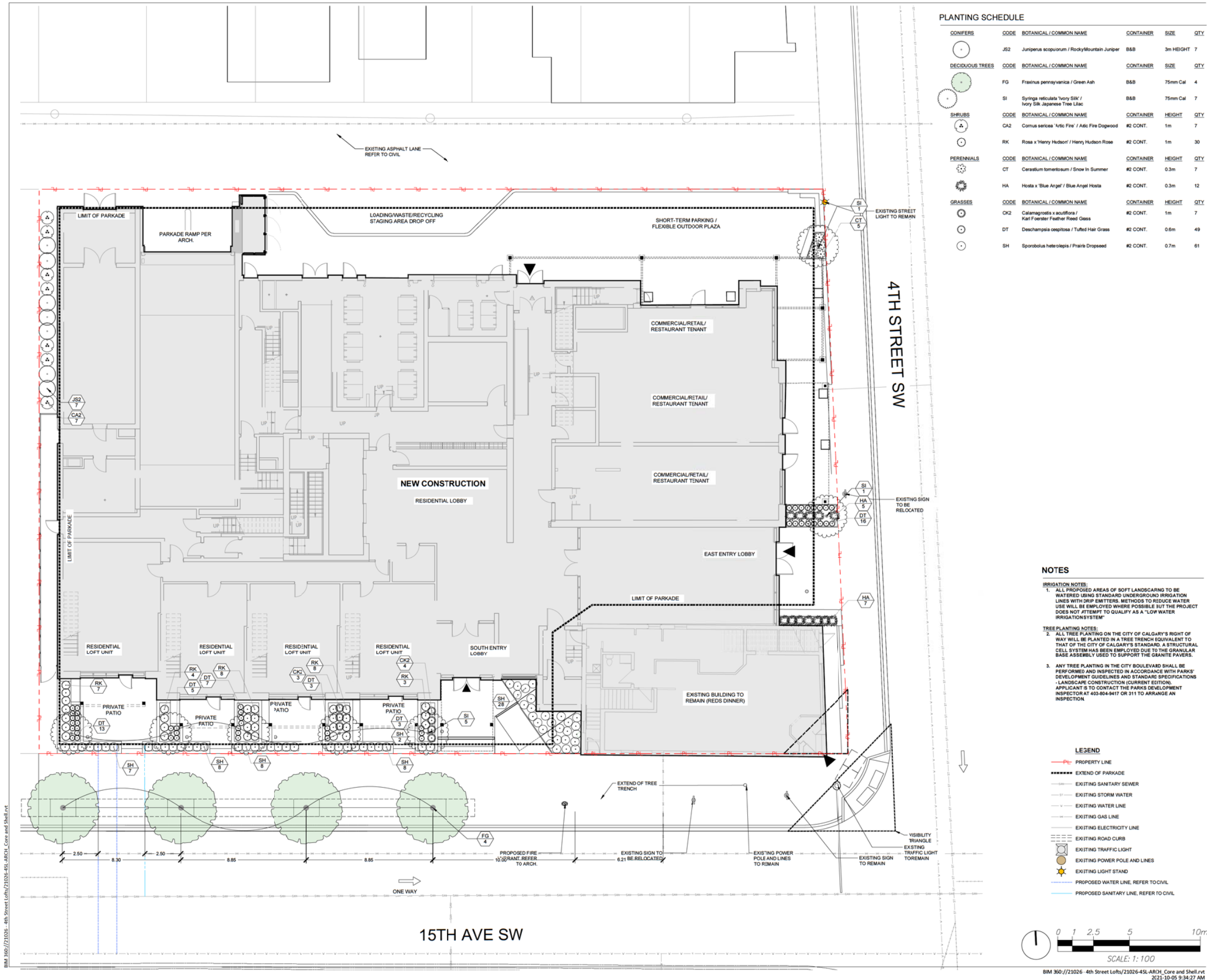
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255, 17 Ave SW, Calgary, Alberta. T2S 2T8

Drawing Title	
LANEWAY OCCUPATION SCENARIOS	
Drawn by: ZW, YZ	Scale
Reviewed by:	As indicated
Manager: MW	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	Revision Number
L00.02	0

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B1 Title Block - Rev 2 (2019-03-21)



PLANTING SCHEDULE

CONFERS	CODE	BOTANICAL / COMMON NAME	CONTAINER	SIZE	QTY
JS2	JS2	Juniperus scopulorum / Rocky Mountain Juniper	B&B	3m HEIGHT	7
FG	FG	Fraxinus pennsylvanica / Green Ash	B&B	75mm Cal	4
SI	SI	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B&B	75mm Cal	7
DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	SIZE	QTY
CA2	CA2	Cornus sericea 'Artic Fire' / Artic Fire Dogwood	#2 CONT.	1m	7
RK	RK	Rosa x 'Henry Hudson' / Henry Hudson Rose	#2 CONT.	1m	30
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	QTY
CT	CT	Cerastium tomentosum / Snow In Summer	#2 CONT.	0.3m	7
HA	HA	Hosta x 'Blue Angel' / Blue Angel Hosta	#2 CONT.	0.3m	12
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	QTY
CK2	CK2	Calamagrostis x acutiflora / Karl Foerster Feather Reed Grass	#2 CONT.	1m	7
DT	DT	Deschampsia cespitosa / Tufted Hair Grass	#2 CONT.	0.6m	49
SH	SH	Sporobolus heterolepis / Prairie Dropseed	#2 CONT.	0.7m	61
GRASSES	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	QTY

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NOTES

IRRIGATION NOTES:

1. ALL PROPOSED AREAS OF SOFT LANDSCAPING TO BE WATERED USING STANDARD UNDERGROUND IRRIGATION LINES WITH DRIP EMITTERS. METHODS TO REDUCE WATER USE WILL BE EMPLOYED WHERE POSSIBLE BUT THE PROJECT DOES NOT ATTEMPT TO QUALIFY AS A "LOW WATER IRRIGATION SYSTEM"

TREE PLANTING NOTES:

2. ALL TREE PLANTING ON THE CITY OF CALGARY'S RIGHT OF WAY WILL BE PLANTED IN A TREE TRENCH EQUIVALENT TO THAT OF THE CITY OF CALGARY'S STANDARD. A STRUCTURAL CELL SYSTEM HAS BEEN EMPLOYED DUE TO THE GRANULAR BASE ASSEMBLY USED TO SUPPORT THE GRANITE PAVERS.
3. ANY TREE PLANTING IN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS' DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT IS TO CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-804-9417 OR 311 TO ARRANGE AN INSPECTION.

LEGEND

- PROPERTY LINE
- EXTEND OF PARKADE
- EXISTING SANITARY SEWER
- EXISTING STORM WATER
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING ELECTRICITY LINE
- EXISTING ROAD CURB
- EXISTING TRAFFIC LIGHT
- EXISTING POWER POLE AND LINES
- EXISTING LIGHT STAND
- PROPOSED WATER LINE. REFER TO CIVIL
- PROPOSED SANITARY LINE. REFER TO CIVIL



PRELIMINARY - NOT FOR CONSTRUCTION

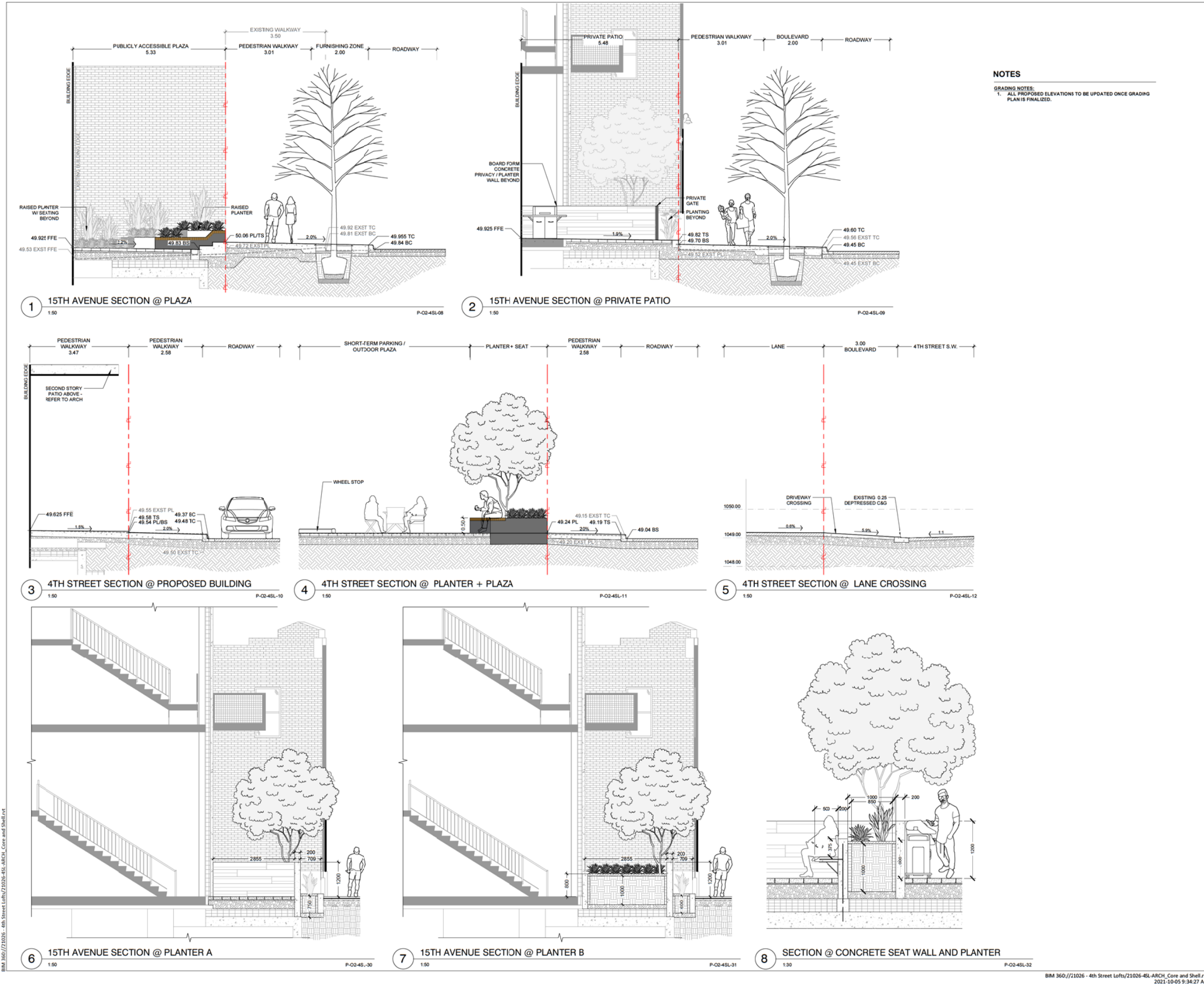
ISSUED FOR DTR2 RESPONSE	22-05-05
ISSUED FOR DTR1 RESPONSE	22-01-17
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No Description	Date
Issued For / REVISIONS	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW	Calgary, Alberta
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP1021-7324	

O2

255, 17 Ave SW, Calgary, Alberta. T2S 2T8

Drawing Title	
PLANTING PLAN	
Drawn by: ZW, YZ	Scale
Reviewed by: MW	As Indicated
Manager: MW	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	Revision Number
L00.05	0

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NOTES
GRADING NOTES:
1. ALL PROPOSED ELEVATIONS TO BE UPDATED ONCE GRADING PLAN IS FINALIZED.

Notes:
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• This drawing supercedes previous issues.

PRELIMINARY - NOT FOR CONSTRUCTION

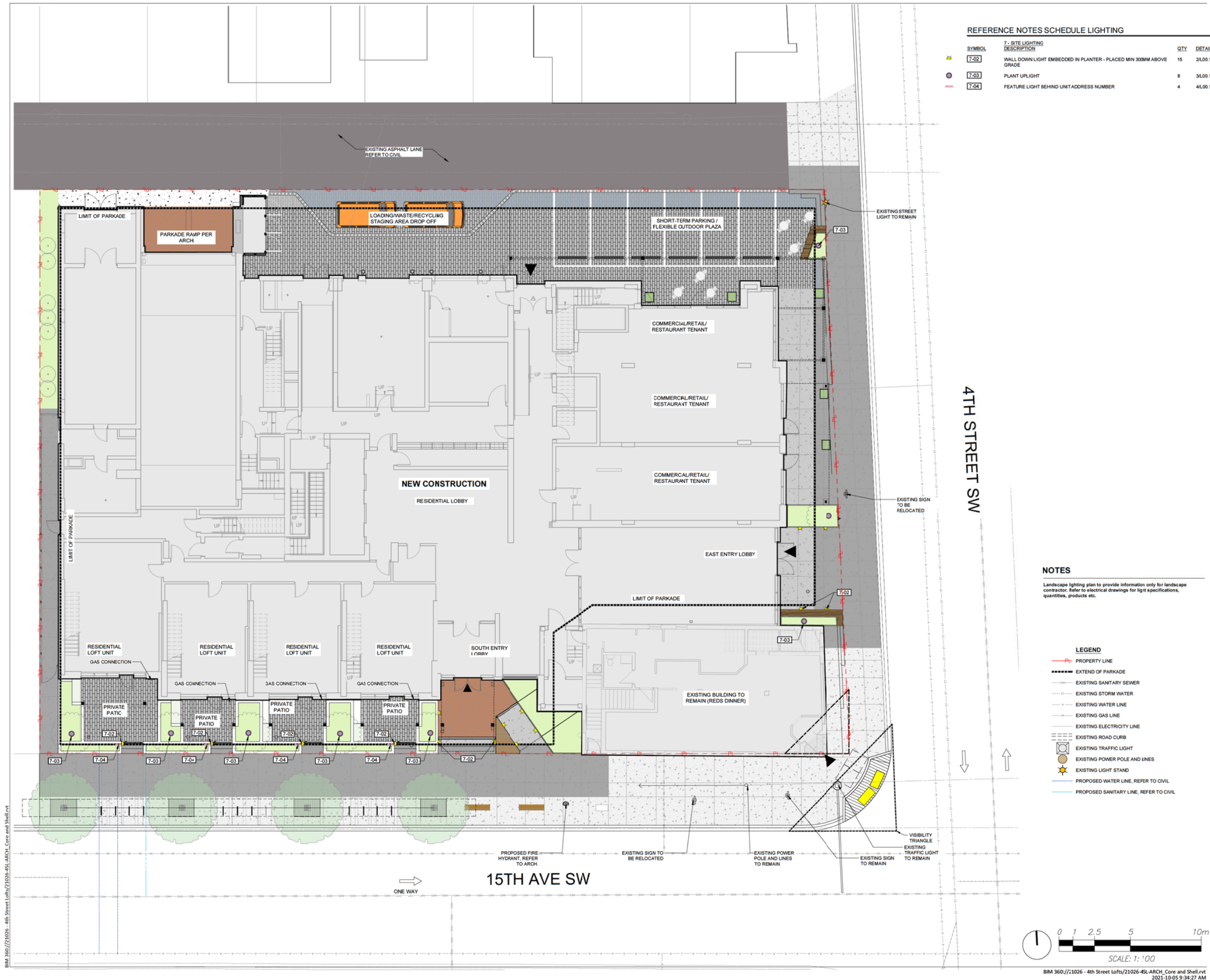
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ISSUED FOR DTR1 RESPONSE	22-01-17
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No	Description
Issued For / REVISIONS	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW Calgary, Alberta	
Legal Description PLAN S41 BLOCK 106 LOTS 24-30	Building Permit No.
Development Permit No. DP0021-7324	DSSP No.

O2

255, 17 Ave SW, Calgary, Alberta. T2S 2T8

Drawing Title	
LANDSCAPE SECTIONS	
Drawn by: ZW, YZ	Scale
Reviewed by:	As indicated
Manager: MW	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	
L00.09	Revision Number
	0

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4TH STREET SW

15TH AVE SW

EXISTING SIGN TO BE RELOCATED

EXISTING STREET LIGHT TO REMAIN

EXISTING SIGN TO BE RELOCATED

EXISTING SIGN TO REMAIN

EXISTING SIGN TO REMAIN

EXISTING SIGN TO REMAIN

EXISTING SIGN TO REMAIN

EXISTING SIGN TO REMAIN

REFERENCE NOTES SCHEDULE LIGHTING

SYMBOL	7 - SITE LIGHTING DESCRIPTION	QTY	DETAIL
7-02	WALL DOWN LIGHT EMBEDDED IN PLANTER - PLACED MIN 300MM ABOVE GRADE	15	2/L00.15
7-03	PLANT UPLIGHT	8	3/L00.15
7-04	FEATURE LIGHT BEHIND UNIT ADDRESS NUMBER	4	4/L00.15

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NOTES

Landscape lighting plan to provide information only for landscape contractor. Refer to electrical drawings for light specifications, quantities, products etc.

LEGEND

- PROPERTY LINE
- EXTEND OF PARKADE
- EXISTING SANITARY SEWER
- EXISTING STORM WATER
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING ELECTRICITY LINE
- EXISTING ROAD CURB
- EXISTING TRAFFIC LIGHT
- EXISTING POWER POLE AND LINES
- EXISTING LIGHT STAND
- PROPOSED WATER LINE, REFER TO CIVIL
- PROPOSED SANITARY LINE, REFER TO CIVIL

ISSUED FOR DTR2 RESPONSE	22-05-05
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No. Description	Date
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Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW	
Calgary, Alberta	
Legal Description	Building Permit No.
PLAN S43 BLOCK 106 LOTS	24-30
Development Permit No.	DSSP No.
DP0021-7324	

O2

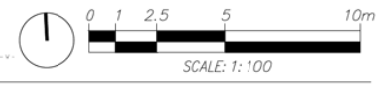
255, 17 Ave SW, Calgary, Alberta. T2S 2T8

Drawing Title

LIGHTING PLAN

Drawn by: ZW, YZ	Scale
Reviewed by:	As indicated
Manager: MW	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	Revision Number

L00.07 Revision Number
0



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SOIL ASSEMBLIES SCHEDULE

SYMBOL	DESCRIPTION	QTY.
[Hatched Box]	01-01 LANDSCAPE AREA	566.7 m ²
[Grey Box]	01-02 NON-LANDSCAPE AREA	1,675 m ²
[Green Box]	01-03 SOFTSCAPE	71.1 m ²
[Orange Box]	01-04 HARDCAPE	487.7 m ²
TOTAL LANDSCAPE AREA REQUIRED:		777.36 m ²
TOTAL LANDSCAPE AREA PROVIDED:		567 m ²

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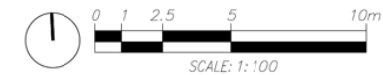
LEGEND

[Red Line]	PROPERTY LINE
[Dashed Line]	EXTEND OF PARKADE
[Grey Line]	EXISTING SANITARY SEWER
[Blue Line]	EXISTING STORM WATER
[Green Line]	EXISTING WATER LINE
[Orange Line]	EXISTING GAS LINE
[Black Line]	EXISTING ELECTRICITY LINE
[Dotted Line]	EXISTING ROAD CURB
[Circle]	EXISTING TRAFFIC LIGHT
[Square]	EXISTING POWER POLE AND LINES
[Star]	EXISTING LIGHT STAND
[Blue Line]	PROPOSED WATER LINE, REFER TO CIVIL
[Green Line]	PROPOSED SANITARY LINE, REFER TO CIVIL

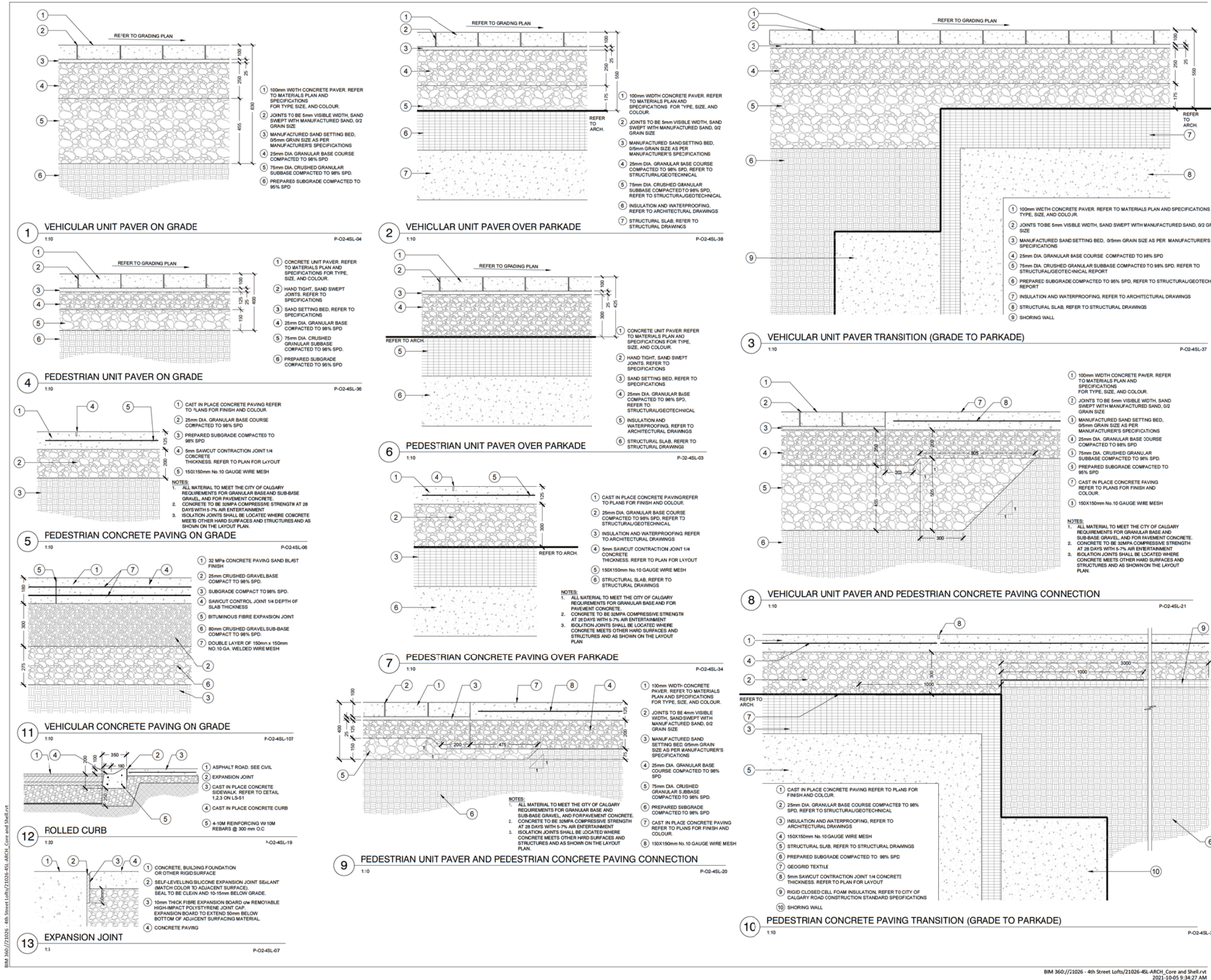
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ISSUED FOR DTR1 RESPONSE	22-01-17
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / REVISIONS	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW Calgary, Alberta	
Legal Description PLAN S43 BLOCK 106 LOTS 24-30	Building Permit No.
Development Permit No. DP0021-7324	DSSP No.

O2
255, 17 Ave SW, Calgary, Alberta. T2S 2T8

Drawing Title	
BY-LAW CALCULATIONS	
Drawn by: ZW, YZ	Scale
Reviewed by:	As indicated
Manager: MW	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	Revision Number
LXX	0



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PRELIMINARY - NOT FOR CONSTRUCTION

Notes:

1. ALL MATERIAL TO MEET THE CITY OF CALGARY REQUIREMENTS FOR GRANULAR BASE AND SUB-BASE GRAVEL AND FOR PAVEMENT CONCRETE.
2. CONCRETE TO BE 30MPA COMPRESSIVE STRENGTH AT 28 DAYS WITH 5-7% AIR ENTRAINMENT
3. ISOLATION JOINTS SHALL BE LOCATED WHERE CONCRETE MEETS OTHER HARD SURFACES AND STRUCTURES AND AS SHOWN ON THE LAYOUT PLAN.

No	Description	Date
1	ISSUED FOR DTR2 RESPONSE	22-05-05
2	ISSUED FOR DTR1 RESPONSE	22-01-17
3	ISSUED FOR DEVELOPMENT PERMIT	21-10-08

Issued For / REVISIONS

Project Number: 21026

4TH STREET LOFTS

1409 4 ST SW
Calgary, Alberta

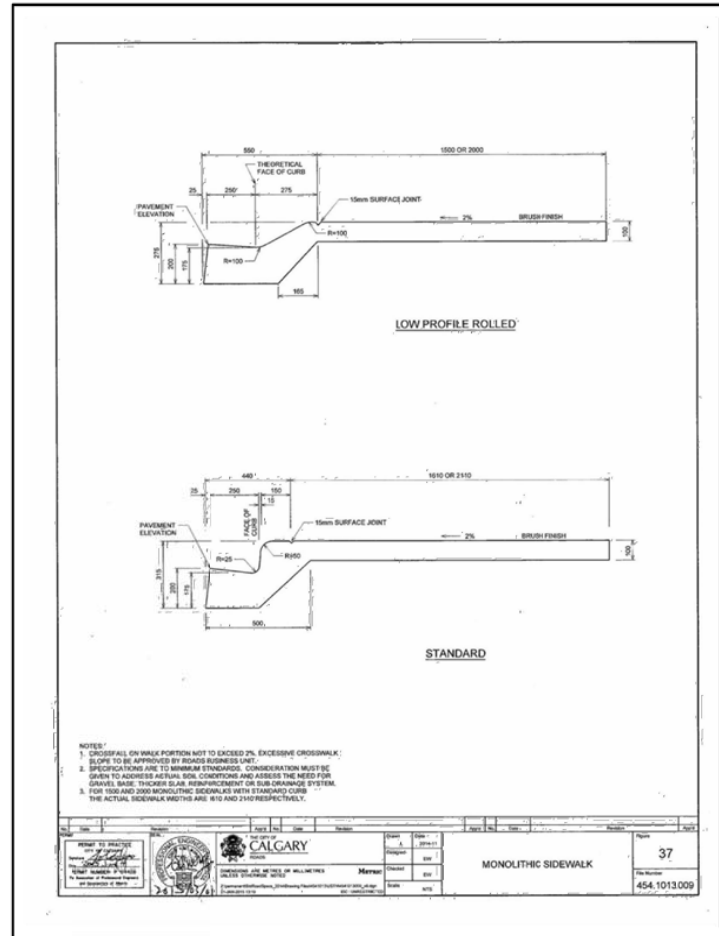
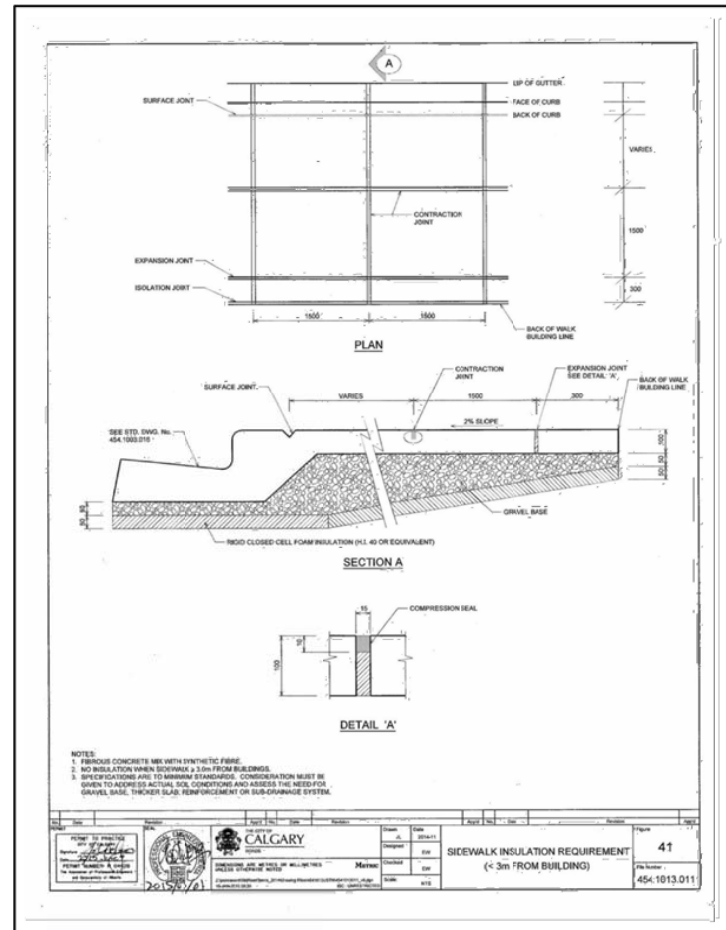
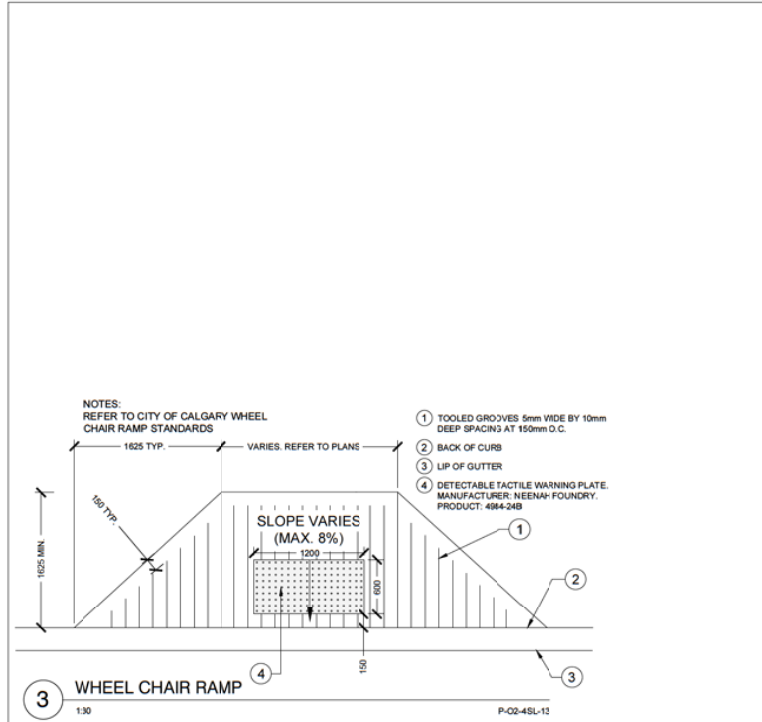
Legal Description: PLAN S41 BLOCK 106 LOTS 24-30
Development Permit No. DP0021-7324

Building Permit No.
DSSP No.

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Reviewed by: MW	Date: (YYYY-MM-DD) 2022-05-05
Manager: MW	Tech Review: 2022-05-05
Drawing Number: L00.10	Revision Number: 0

- Notes:**
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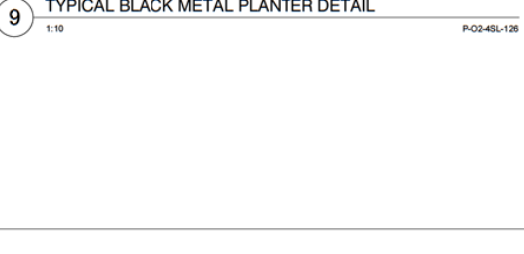
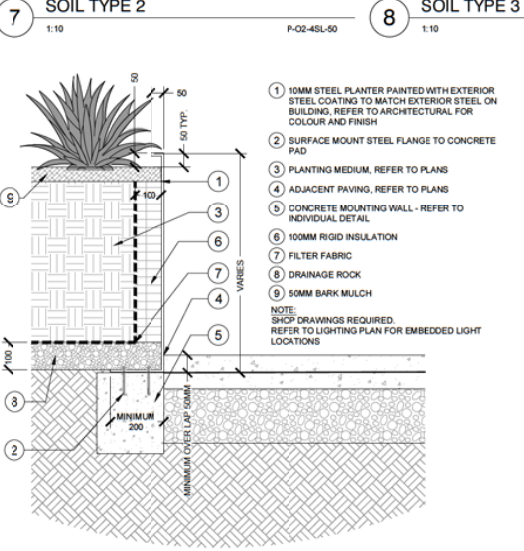
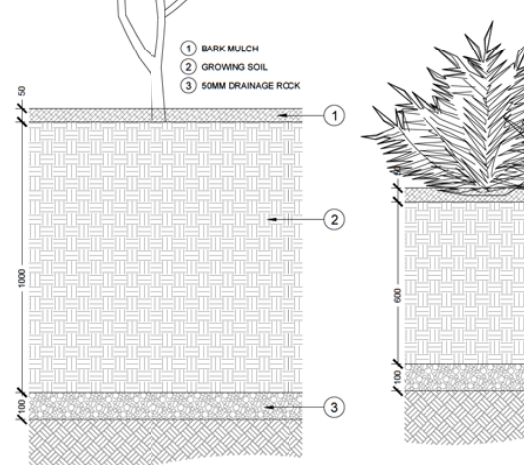
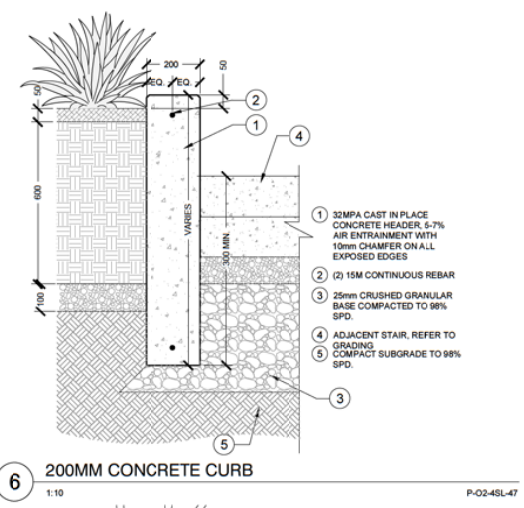
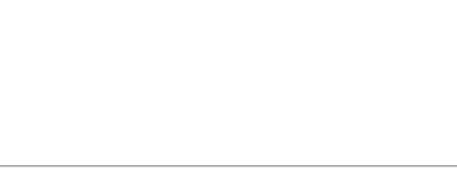
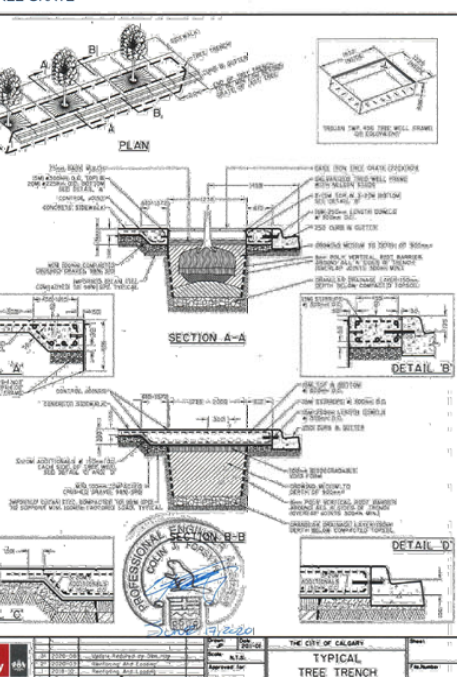
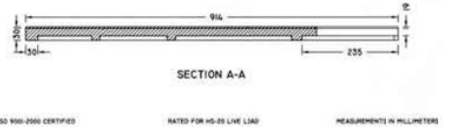
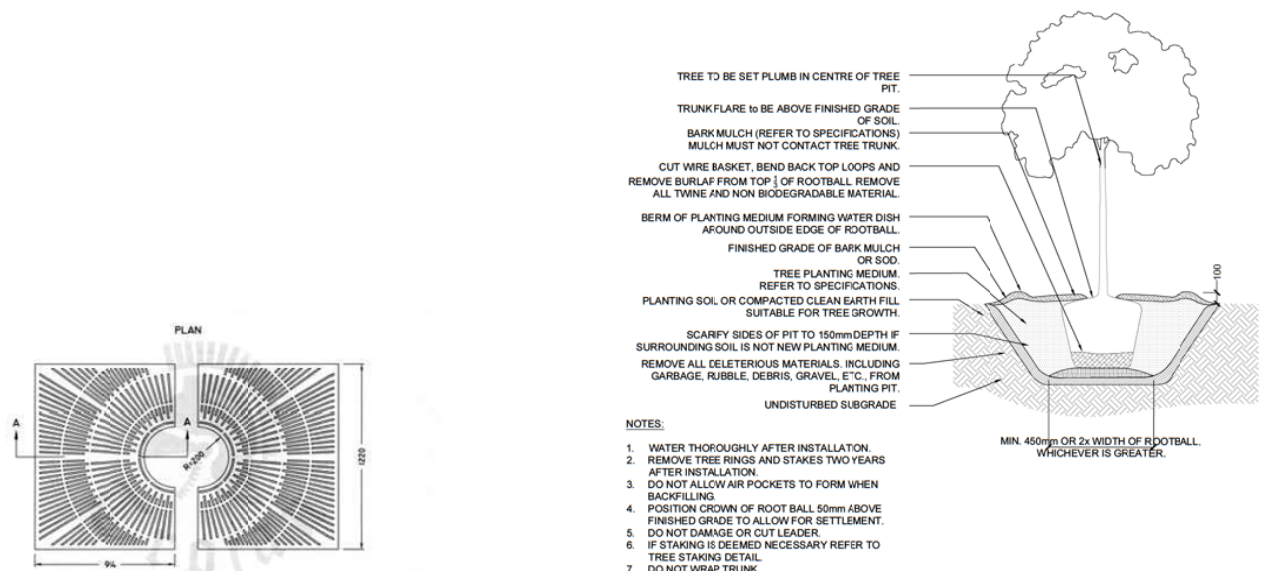
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ISSUED FOR DTR1 RESPONSE	22-01-17	
ISSUED FOR DEVELOPMENT PERMIT	21-10-08	
No	Description	Date
		(YYYY-MM-DD)
Issued For / REVISIONS		
Project	Project Number: 21026	
4TH STREET LOFTS		
1409 4 ST SW Calgary, Alberta		
Legal Description	Building Permit No.	
PLAN S41 BLOCK 106 LOTS	24-30	
Development Permit No.	DSSP No.	
DP0021-7324		

O2
255, 17 Ave SW, Calgary, Alberta. T2S 2T8

Drawing Title	
PAVING DETAILS 2	
Drawn by:	Scale
Reviewed by:	As indicated
Manager:	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	
L00.11	Revision Number
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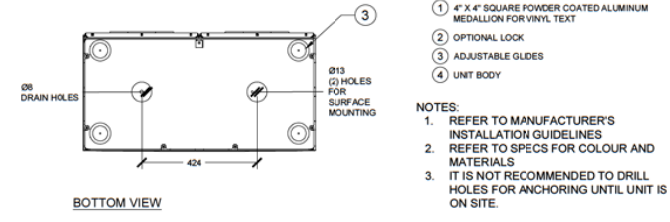
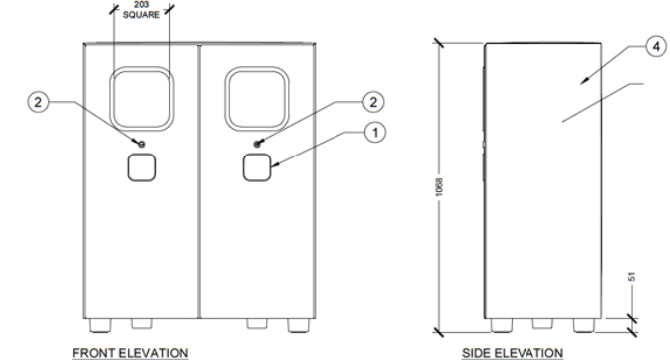
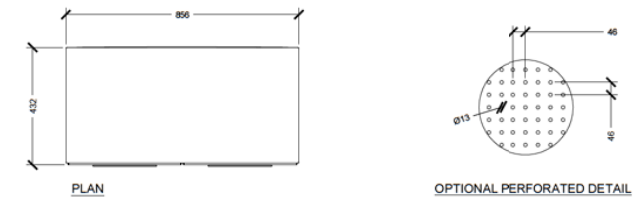
Notes:
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ISSUED FOR DTR2 RESPONSE	22-05-05
ISSUED FOR DTR1 RESPONSE	22-01-17
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No Description	Date
Issued For / REVISIONS	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW	Calgary, Alberta
Legal Description	Building Permit No.
PLAN SA1 BLOCK 106 LOTS 24-30	DSSP No.
Development Permit No. DP12021-7324	

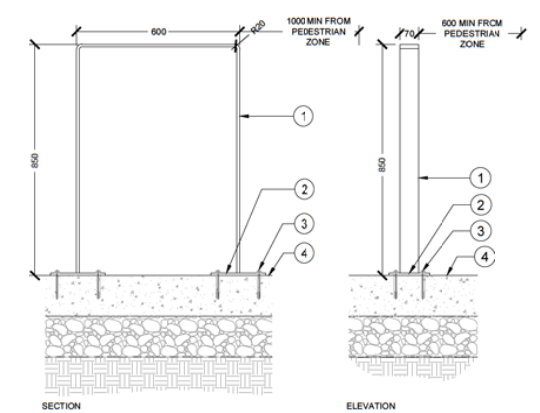
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Reviewed by: MW	Date: (YYYY-MM-DD) 2022-05-05
Manager: MW	Tech Review: MW
Drawing Number	Revision Number
L00.12	0

PRELIMINARY - NOT FOR CONSTRUCTION

- Notes:**
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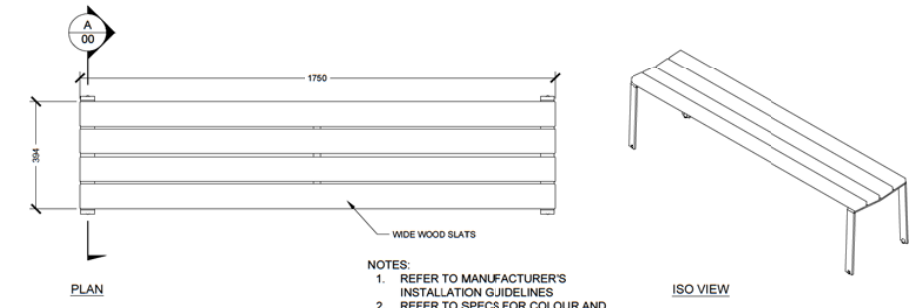


2 WASTE/RECYCLING RECEPTACLE
1:10 P-02-4SL-67

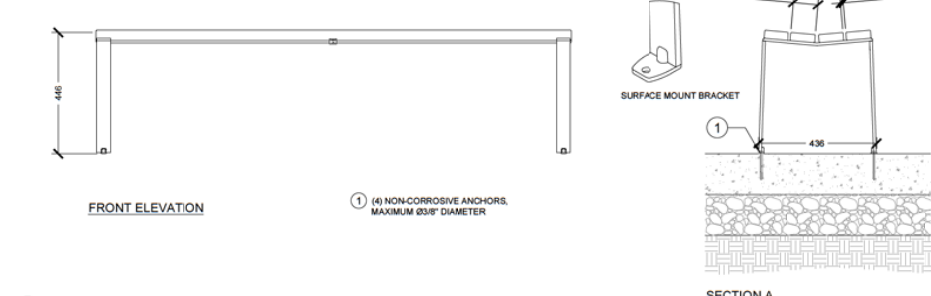


- 1** 10mm THICK BLACK POWDER-COATED STEEL RACK
2 150mm x 200mm HOT DIP GALVANIZED STEEL FLAT BAR BASE PLATE WELDED TO STEEL RACK c/w MOUNTING HOLES, POWDER-COATED
3 STAINLESS STEEL EXPANSION ANCHOR c/w STAINLESS STEEL ACORN NUT
4 FINISH GRADE REFER TO PLANS
- NOTES:**
1. REFER TO SPECS FOR COLOUR AND MATERIALS

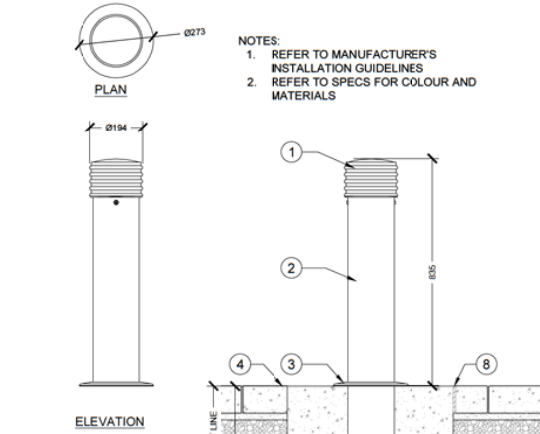
3 CLASS 2 BIKE RACK
1:10 P-02-4SL-01



- NOTES:**
1. REFER TO MANUFACTURER'S INSTALLATION GUIDELINES
2. REFER TO SPECS FOR COLOUR AND MATERIALS

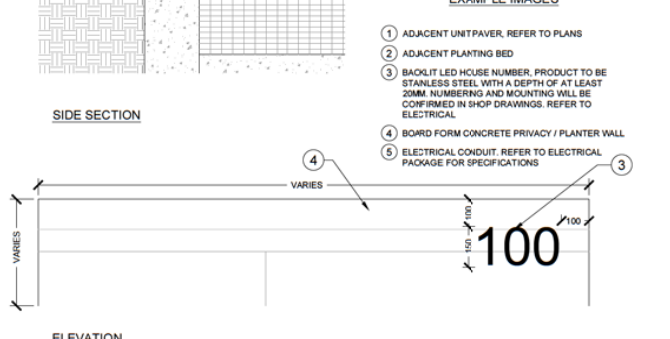
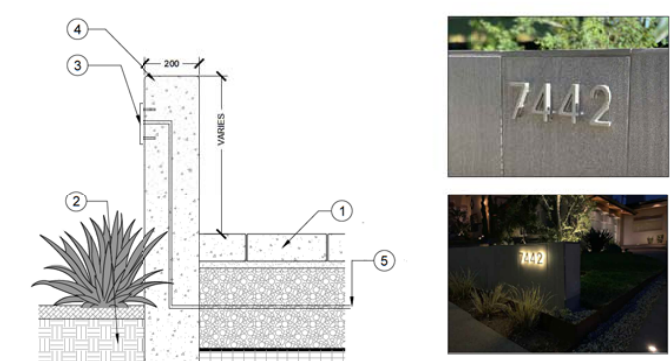


4 WOODEN BENCH
1:10 P-02-4SL-68



- 1** CAST ALUMINUM TOP
2 6" (152mm) STRUCTURAL STEEL PIPE
3 SPUN ALUMINUM COVER RING
4 ADJACENT PAVING, REFER TO PLANS
5 CONCRETE
6 REBAR THROUGH Ø1" HOLE
7 ENGINEERED FILL TO ALLOW FOR DRAINAGE
8 EXPANSION JOINT

1 BOLLARD
1:10 P-02-4SL-29



- 1** ADJACENT UNIT PAVER, REFER TO PLANS
2 ADJACENT PLANTING BED
3 BACKLIT LED HOUSE NUMBER, PRODUCT TO BE STAINLESS STEEL WITH A DEPTH OF AT LEAST 20MM. NUMBERING AND MOUNTING WILL BE CONFIRMED IN SHOP DRAWINGS. REFER TO ELECTRICAL
4 BOARD FORM CONCRETE PRIVACY / PLANTER WALL
5 ELECTRICAL CONDUIT, REFER TO ELECTRICAL PACKAGE FOR SPECIFICATIONS

5 FEATURE LIGHT BEHIND UNIT NUMBER DETAIL
1:10 P-02-4SL-67

ISSUED FOR DTR2 RESPONSE	22-05-05
ISSUED FOR DTR1 RESPONSE	22-01-17
ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No. Description	Date
Issued For / REVISIONS	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW Calgary, Alberta	Building Permit No.
Legal Description PLAN S43 BLOCK 106 LOTS 24-30	DSSP No.
Development Permit No. DP0021-7324	

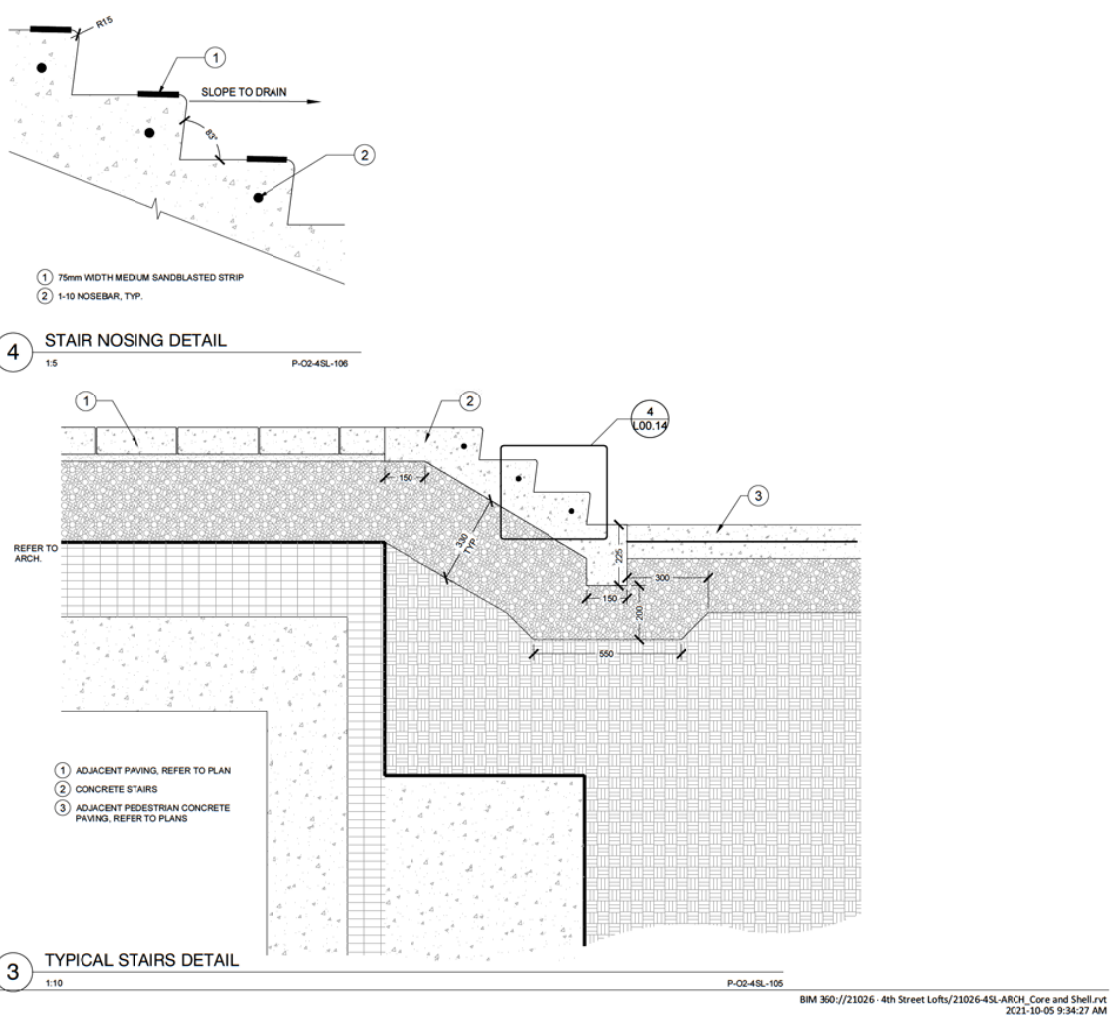
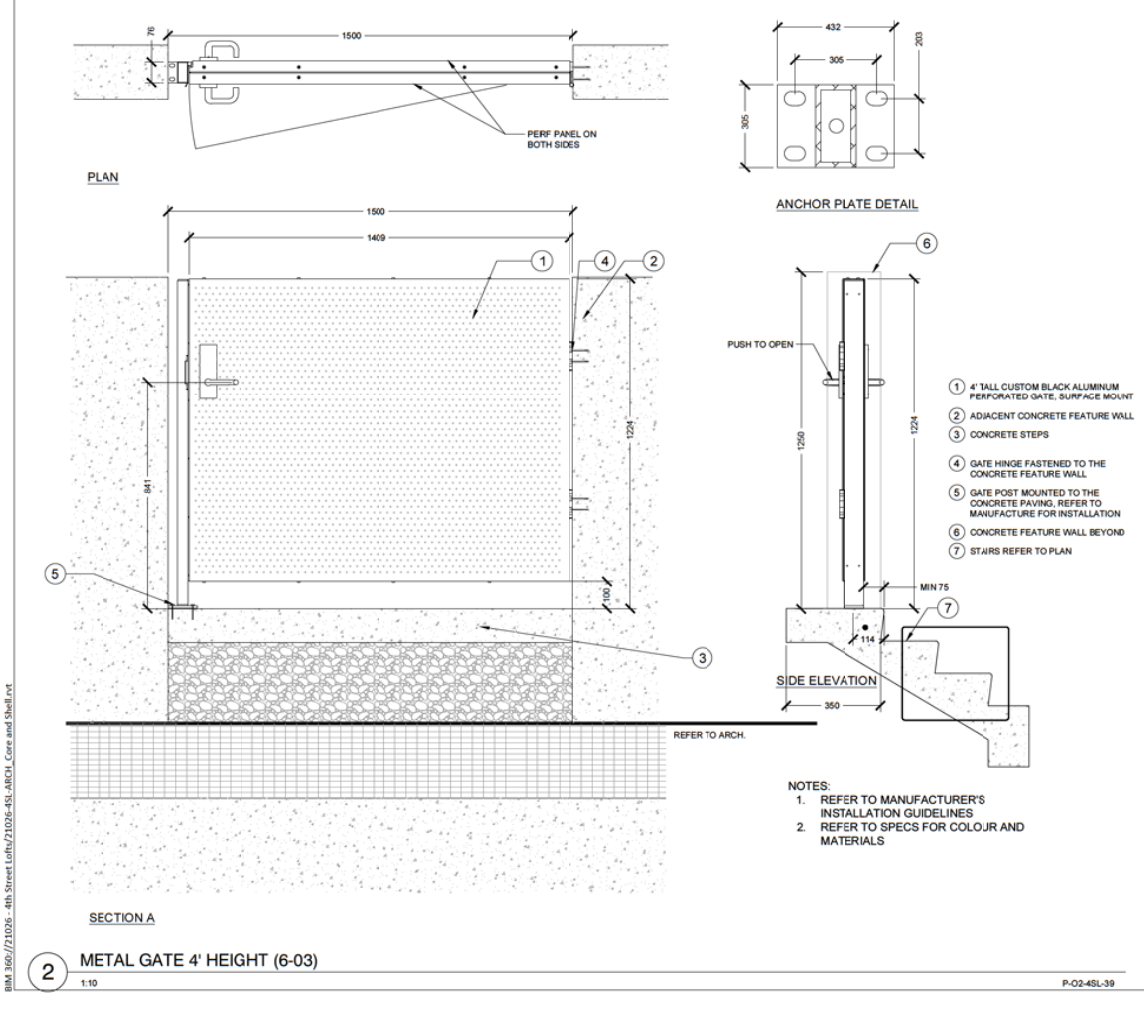
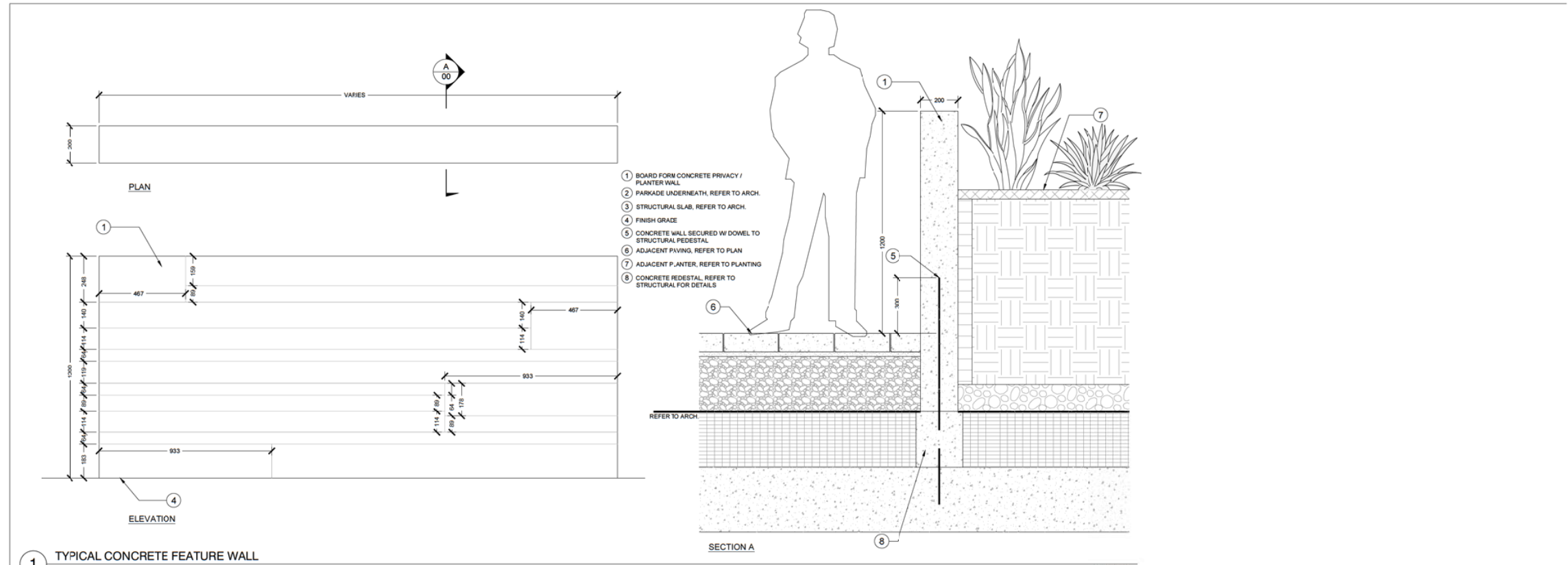
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255, 17 Ave SW, Calgary, Alberta. T2S 2T8

FURNITURE DETAILS	
Drawn by: ZW, YZ	Scale: As indicated
Reviewed by:	Date (YYYY-MM-DD): 2022-05-05
Manager: MW	Tech Review:
Drawing Number	Revision Number
L00.13	0

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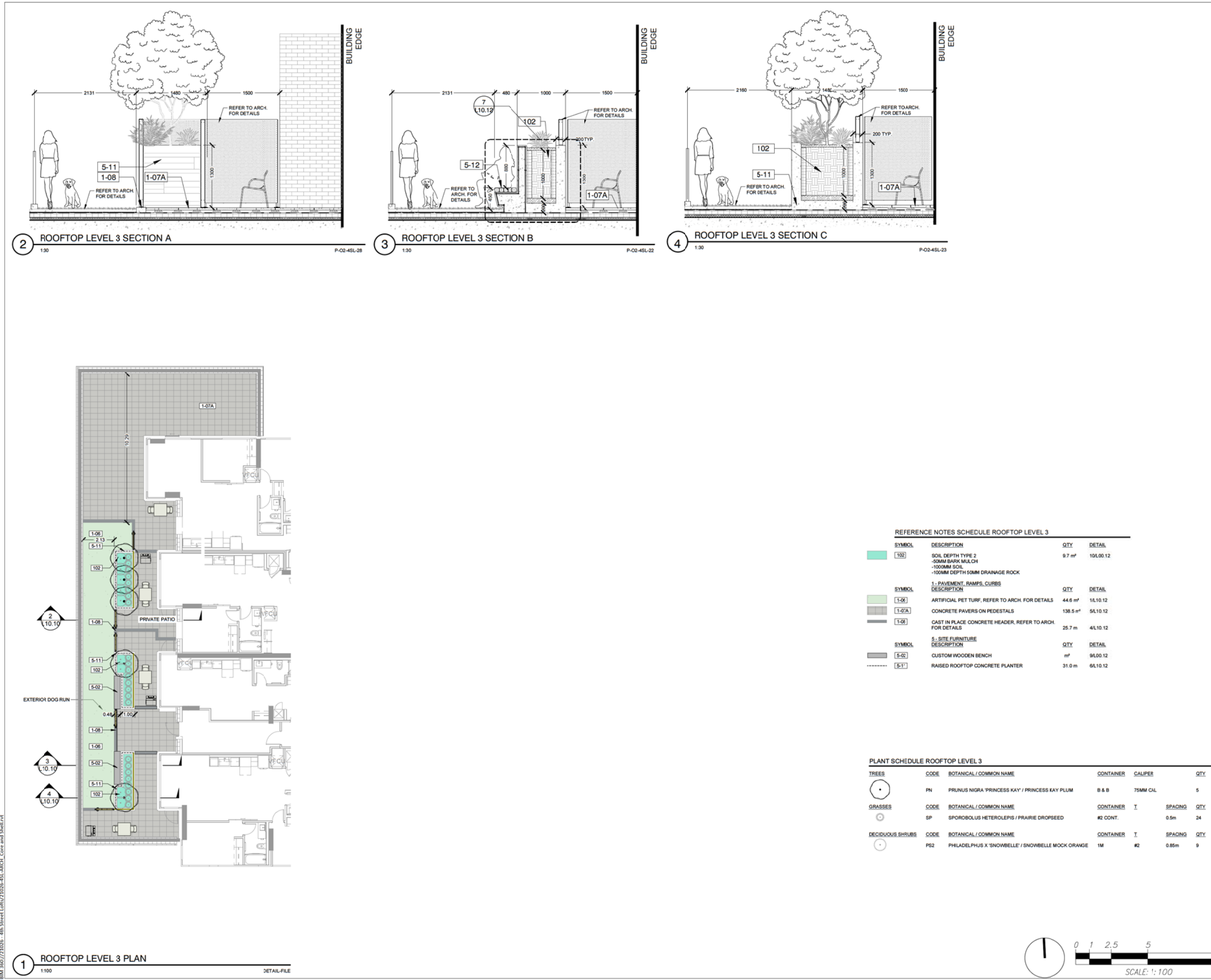
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ISSUED FOR DTR2 RESPONSE	22-05-05
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ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No Description	Date
Issued For / REVISIONS	
Project	Project Number: 21026
4TH STREET LOFTS	
1409 4 ST SW	Building Permit No.
Calgary, Alberta	
Legal Description	DPSP No.
PLAN SA1 BLOCK 106 LOTS	
24-30	
Development Permit No.	
DP12021-7324	

O2	
255, 17 Ave SW, Calgary, Alberta. T2S 2T8	
Drawing Title	
FURNITURE DETAILS	
Drawn by: ZW, YZ	Scale
Reviewed by:	As Indicated
Manager: MW	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	Revision Number
L00.14	0
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PRELIMINARY - NOT FOR CONSTRUCTION

REFERENCE NOTES SCHEDULE ROOFTOP LEVEL 3

SYMBOL	DESCRIPTION	QTY	DETAIL
102	SOIL DEPTH TYPE 2 -50MM BARK MULCH -100MM SOIL -100MM DEPTH 50MM DRAINAGE ROCK	9.7 m ²	10L/0.12
1-06	1. PAVEMENT, RAMPS, CURBS		
1-06	ARTIFICIAL PET TURF, REFER TO ARCH. FOR DETAILS	44.6 m ²	1L/10.12
1-07A	CONCRETE PAVERS ON PEDESTALS	138.5 m ²	5L/10.12
1-08	CAST IN PLACE CONCRETE HEADER, REFER TO ARCH. FOR DETAILS	25.7 m	4L/10.12
5-02	5. SITE FURNITURE		
5-02	CUSTOM WOODEN BENCH	m	9L/0.12
5-11	RAISED ROOFTOP CONCRETE PLANTER	31.0 m	6L/10.12

PLANT SCHEDULE ROOFTOP LEVEL 3

TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	QTY	
●	PN	PRUNUS NIGRA 'PRINCESS KAY' / PRINCESS KAY PLUM	B & B	75MM CAL	5	
GRASSES	CODE	BOTANICAL / COMMON NAME	CONTAINER	SPACING	QTY	
○	SP	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSSEED	#2 CONT.	0.5m	24	
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER	SPACING	QTY	
○	PS2	PHILADELPHUS X 'SNOWBELLE' / SNOWBELLE MOCK ORANGE	1M	#2	0.85m	9

ISSUED FOR DTR2 RESPONSE 22-05-05
ISSUED FOR DTR1 RESPONSE 22-01-17
ISSUED FOR DEVELOPMENT PERMIT 21-10-08

Issued For / REVISIONS

Project: 4TH STREET LOFTS
Project Number: 21026

1409 4 ST SW
Calgary, Alberta

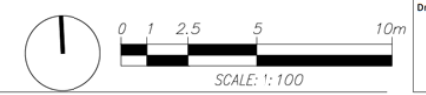
Legal Description: PLANK S43 BLOCK 106 LOTS 24-30
Development Permit No. DP0021-7324
Building Permit No.
DSSP No.

O2

255, 17 Ave SW, Calgary, Alberta. T2S 2T8

Drawing Title
ROOFTOP PLAN - LEVEL 3

Drawn by: ZW, YZ
Reviewed by: As indicated
Manager: MW
Date (YYYY-MM-DD): 2022-05-05
Tech Review:
Drawing Number: L10.10
Revision Number: 0

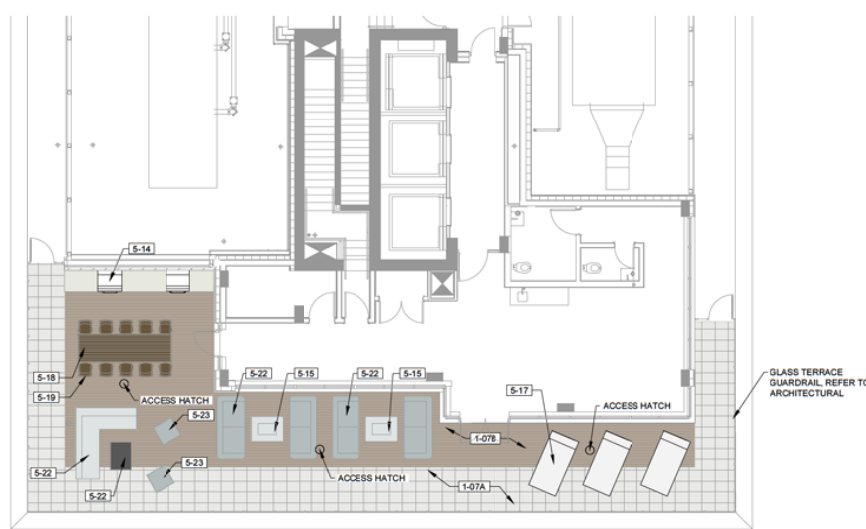


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2021-10-05 9:34:27 AM

PRELIMINARY - NOT FOR CONSTRUCTION

- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supercedes previous issues.



REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
[1-07A]	CONCRETE PAVERS ON PEDESTALS	6' 0m2
[1-07B]	ROOFTOP WOOD DECKING	76.2m2
S - SITE FURNITURE		
SYMBOL	DESCRIPTION	QTY
[S-13]	GFRC COUNTER	4.3m2
[S-14]	BBQ	2
[S-15]	FIRE PIT	2
[S-17]	DAYBED	3
[S-18]	HARVEST TABLE	1
[S-19]	HARVEST CHAIR	10
[S-21]	SECTIONAL COUCH	4
[S-22]	LOUNGE COUCH	2
[S-23]	LOUNGE CHAIR	2
[S-24]	FEATURE TABLE	1

1 LEVEL 29 ROOFTOP PLAN
1:100

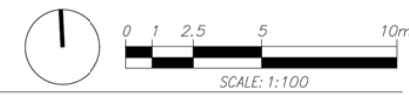
DETAIL-FILE

ISSUED FOR DTR2 RESPONSE	22-05-05	
ISSUED FOR DTR1 RESPONSE	22-01-17	
ISSUED FOR DEVELOPMENT PERMIT	21-10-08	
No	Description	Date
Issued For / REVISIONS		
Project	Project Number: 21026	
4TH STREET LOFTS		
1409 4 ST SW Calgary, Alberta		
Legal Description	Building Permit No.	
PLAN S43 BLOCK 106 LOTS	24-30	
Development Permit No.	DSSP No.	
DP2021-7324		

O2

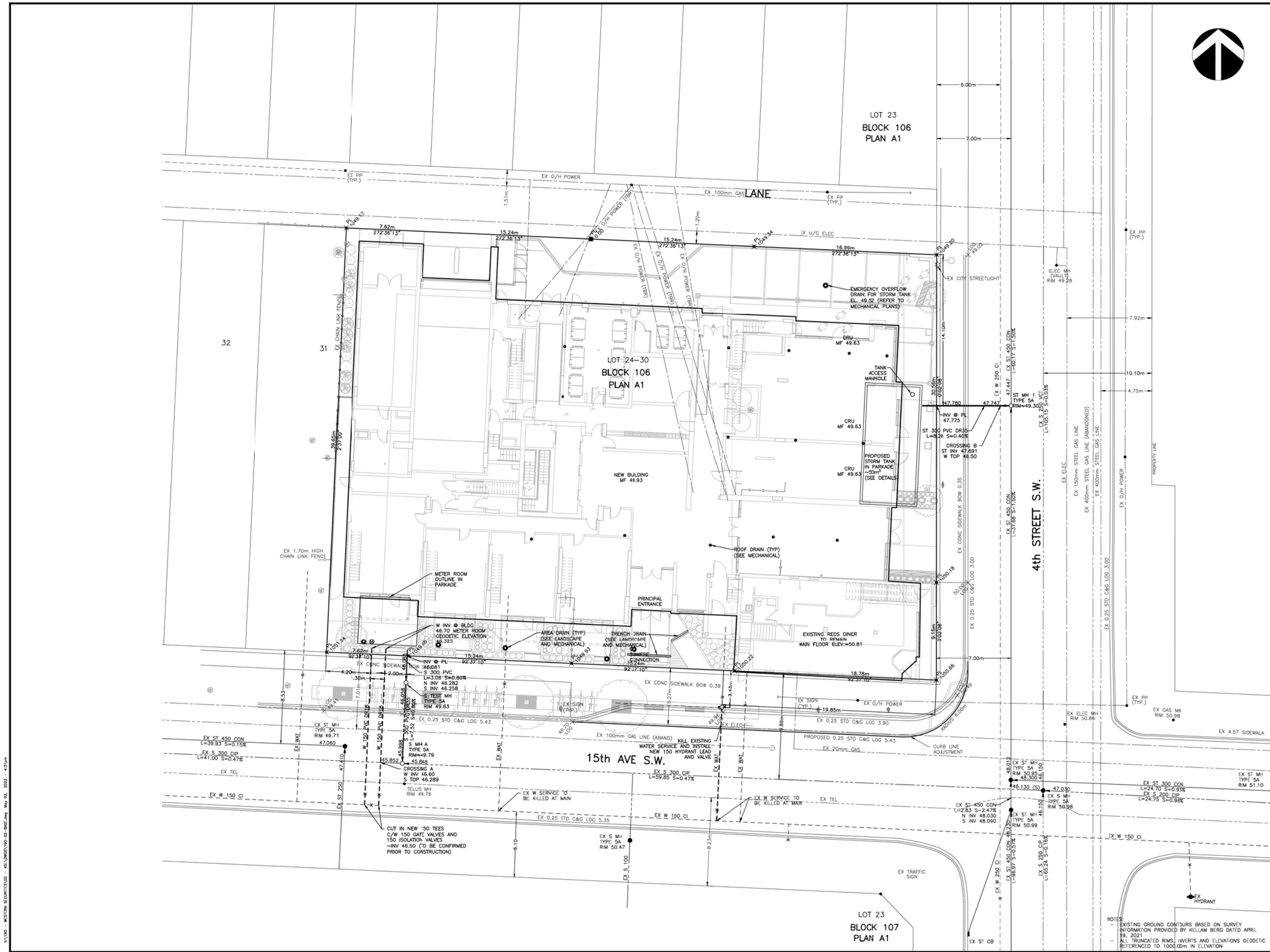
255, 17 Ave SW, Calgary, Alberta. T2S 2T8

Drawing Title	
ROOFTOP PLAN - LEVEL 29	
Drawn by: ZW, YZ	Scale
Reviewed by:	As indicated
Manager: MW	Date (YYYY-MM-DD)
Tech Review:	2022-05-05
Drawing Number	Revision Number
L10.11	0



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V:\190 - WESTERN SECURITIES\190-02-1902.dwg May 02, 2022 - 4:31pm



VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

EXISTING UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE SA MANHOLE
- TYPE 1S MANHOLE
- CATCH BASIN
- HYDRANT
- ✕ WATER VALVE
- U/G ELECTRICAL
- GAS

PROPOSED UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE SA MANHOLE
- CATCHBASIN/MANHOLE
- TYPE 1S MANHOLE
- CATCH BASIN
- HYDRANT
- ✕ WATER VALVE
- ⊙ WATER METER LOCATION
- CONCRETE SIALE
- ⊙ ELECTRICAL METER LOCATION
- ⊙ GAS METER LOCATION

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1	220505	REVISIONS PER CITY COMMENTS	MC	TVS
2				
3				
4				
5				

SUBMISSIONS

NO.	DESCRIPTION	DATE (SYSTEM)
1	FOR DP	
2	FOR APPROVAL	
3	FOR ARCHIVE	

CLIENT

WESTERN SECURITIES
ESTABLISHED 1932

PROJECT

4TH STREET LOFTS

LOT: 24-30 BLK: 106 PLAN: A1
 DPE: DP2021-7324 DGRP: 0000-0000
 ADDRESS: 1409,1411 AND 1415 4th STREET SW
 LEGAL DESCRIPTION: SEC 16-24-1-WSM

TITLE

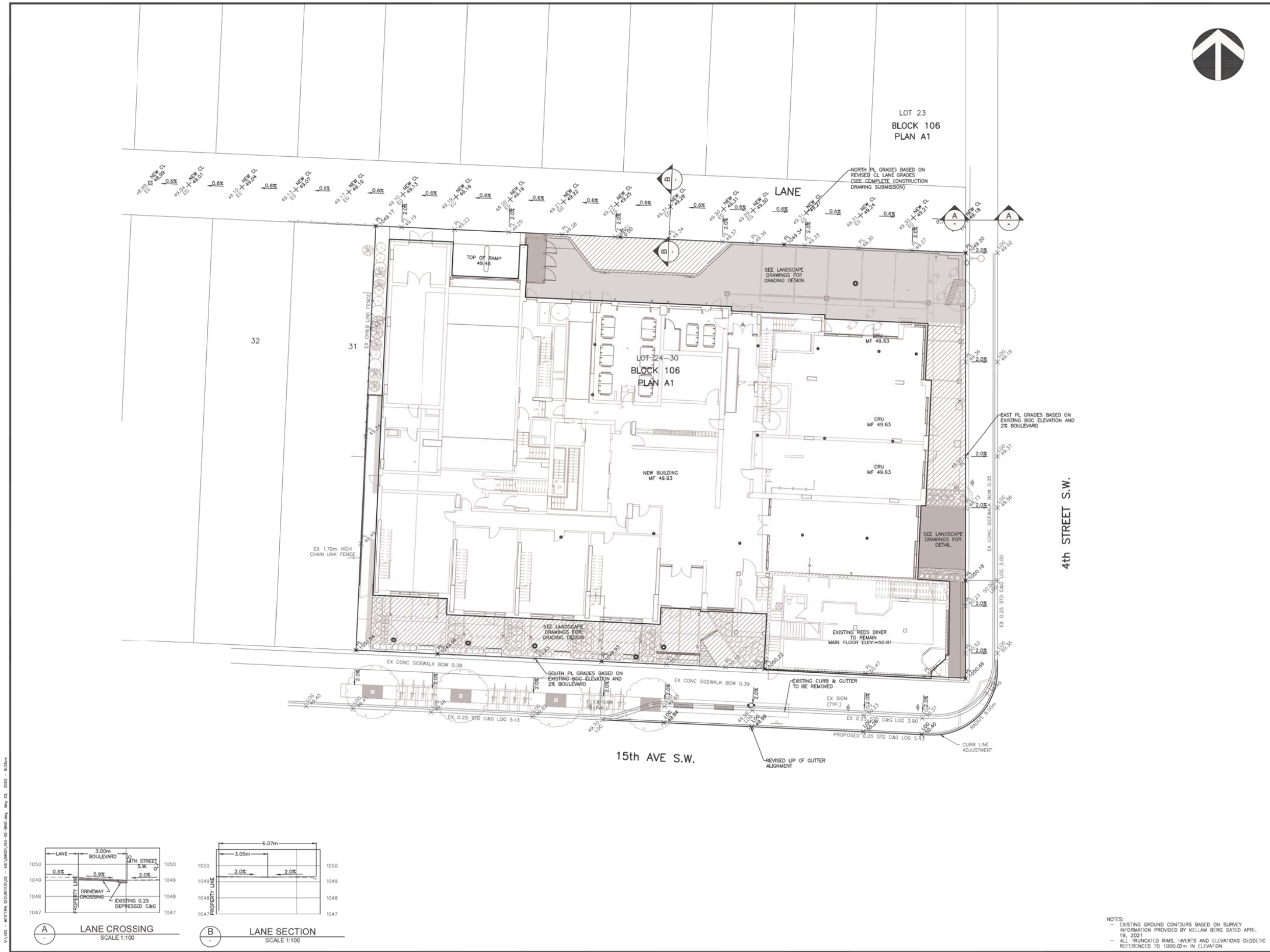
SITE SERVICING PLAN FOR DP

SCALE: 1:150
 DWN: RH
 DES: TVS
 DATE: MAY 2-22
 CHK: TVS
 P. ENG: TVS
 PERMIT:

NOTES:

- EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY KELLAM BERG DATED APRIL 19, 2021
- ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION

PROJECT NO. 190-02 **SHEET** 1 **OF** 2
DRAWING NAME 190-02 SVC **DESTROY ALL PRINTS HERE TO** R 1



VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

GRADING FEATURES

- PROPOSED CONCRETE SWALE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED CS/MANHOLE
- ▨ PROPOSED ASPHALT PAVING
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED LANDSCAPE AREAS
- PROPOSED RETAINING WALL
- PROPOSED GRASS SWALE
- PROPOSED CHAINLINK FENCE
- PROPOSED POST & CABLE FENCE
- PROPOSED SCREEN FENCE
- PROPOSED FINISHED GRADE
- EXISTING PL GRADE

REVISIONS				
NO.	DATE	DESCRIPTION	BY	APPD.
1	220505	REVISED AS PER CITY COMMENTS	MC	TVS
2				
3				
4				
5				

SUBMISSIONS		
NO.	DESCRIPTION	DATE (yy/mm/dd)
1	FOR DP	-
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT

WESTERN SECURITIES
ESTABLISHED 1932

PROJECT

4TH STREET LOFTS

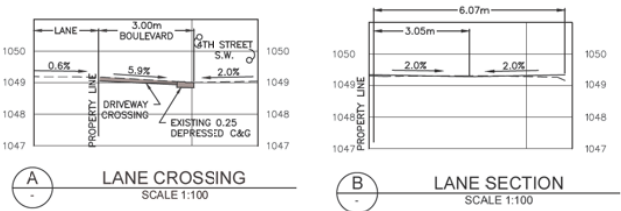
LOT: 24-30 | BLK: 106 | PLAN: A1
 DPE: 2021-7324 | DSSP: 0000-0000
 ADDRESS: 1409, 1411 AND 1415 4th STREET SW
 LEGAL DESCRIPTION: SEC 16-24-1-WSM

TITLE

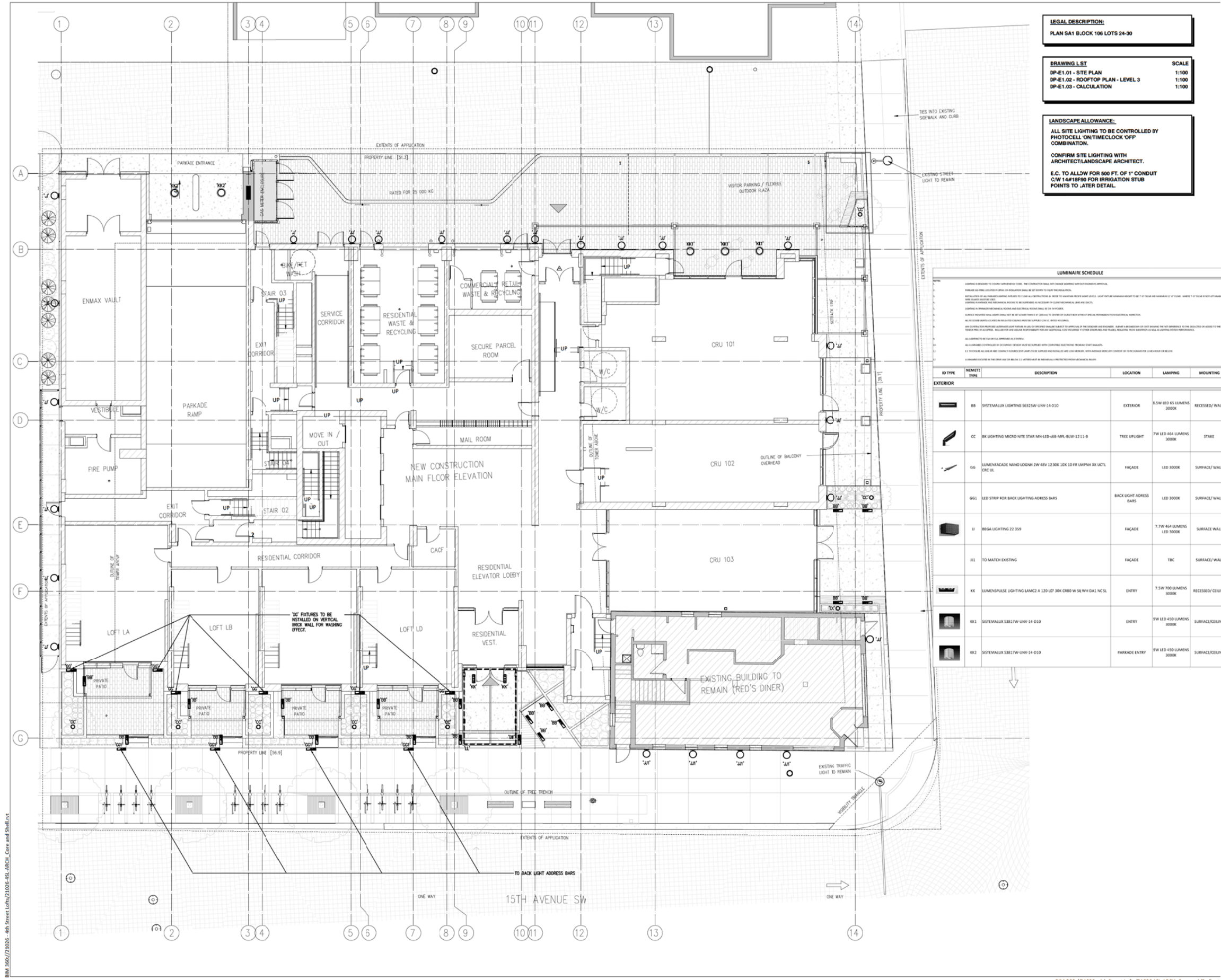
SITE GRADING PLAN FOR DP

SCALE: 1:150	STAMP:
DWN: RH	
DES: TVS	
DATE: MAY 3-22	
CHK: TVS	
P. ENG: TVS	
PERMIT:	

PROJECT NO.	SHEET	OF
190-02	2	2
DRAWING NAME	DESIGNER	SCALE
190-02 GRAD	RH	R 1



NOTES:
 - EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY KELLAM BERG DATED APRIL 19, 2021
 - ALL TRUNCATED BMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION



LEGAL DESCRIPTION:
PLAN SA1 BLOCK 106 LOTS 24-30

BRAWING LIST SCALE
 DP-E1.01 - SITE PLAN 1:100
 DP-E1.02 - ROOFTOP PLAN - LEVEL 3 1:100
 DP-E1.03 - CALCULATION 1:100

LANDSCAPE ALLOWANCE:
 ALL SITE LIGHTING TO BE CONTROLLED BY PHOTOCELL ON/TIMECLOCK OFF COMBINATION.
 CONFIRM SITE LIGHTING WITH ARCHITECT/LANDSCAPE ARCHITECT.
 E.C. TO ALLOW FOR 500 FT. OF 1" CONDUIT CW 14#18B90 FOR IRRIGATION STUB POINTS TO LATER DETAIL.

NEMETZ (S/A) & ASSOCIATES LTD.
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 525 11th AVENUE SW, SUITE 101, CALGARY, AB T2R 0C1
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 214 KING ST. WEST, SUITE 214 TORONTO, ON M5H 3S1
 TEL: (416) 253-0586 FAX: (416) 253-2085
 2009 WEST 4TH AVENUE, VANCOUVER, BC V6J 1N1
 TEL: (604) 736-6562 FAX: (604) 736-9405
 E-MAIL: ENGINEERS@NEMETZ.COM

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Issued For / Revisions

3	ISSUED FOR DTR2	22-05-04
2	ISSUED FOR DTR1	22-01-18
1	ISSUED FOR DEVELOPMENT PERMIT	21-10-08

Project Number: 21026
4TH STREET LOFTS

Calgary, Alberta
 Legal Description: PLAN SA1 BLOCK 106 LOTS 24-30
 Building Permit No.:
 Development Permit No.: DSSP No.:

Gibbs Gage
ARCHITECTS

350,140 10 Ave SE, Calgary, Alberta, T2G 0R1
 Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title:
SITE PLAN

Drawn by: DJBB	Scale: 1:100
Reviewed by: BL/SS	Date: (YYYY-MM-DD)
Manager: BL	21-10-08
Tech Review:	

Drawing Number: DP-E1.01
 Revision Number:

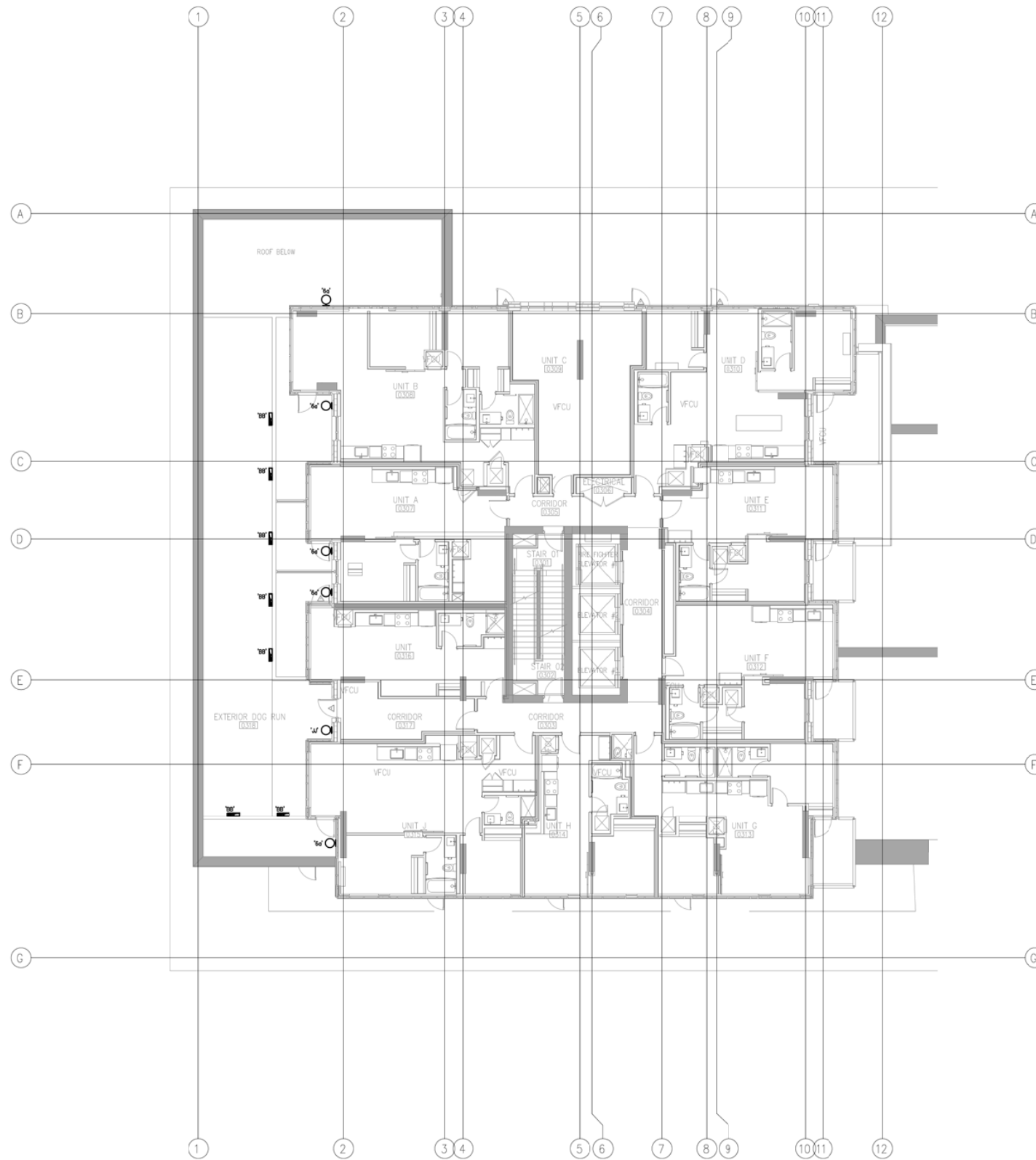
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3	ISSUED FOR DTR2	22-05-04
2	ISSUED FOR DTR1	22-01-18
1	ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No	Description	Date
		(YYYY-MM-DD)

Issued For / Revisions

Project	Project Number: 21026
4TH STREET LOFTS	
Calgary, Alberta	
Legal Description	Building Permit No.
PLAN S41 BLOCK 106 LOTS	
24-30	
Development Permit No.	DSSP No.

Gibbs Gage
ARCHITECTS

350,140 10 Ave SE, Calgary, Alberta. T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title:
ROOFTOP PLAN - LEVEL 3

Drawn by: DJBB	Scale: 1:100
Reviewed by: BL/SS	Date (YYYY-MM-DD): 21-10-08
Manager: BL	Tech Review: 21-10-08

Drawing Number	Revision Number
DP-E1.02	

PRELIMINARY - NOT FOR CONSTRUCTION

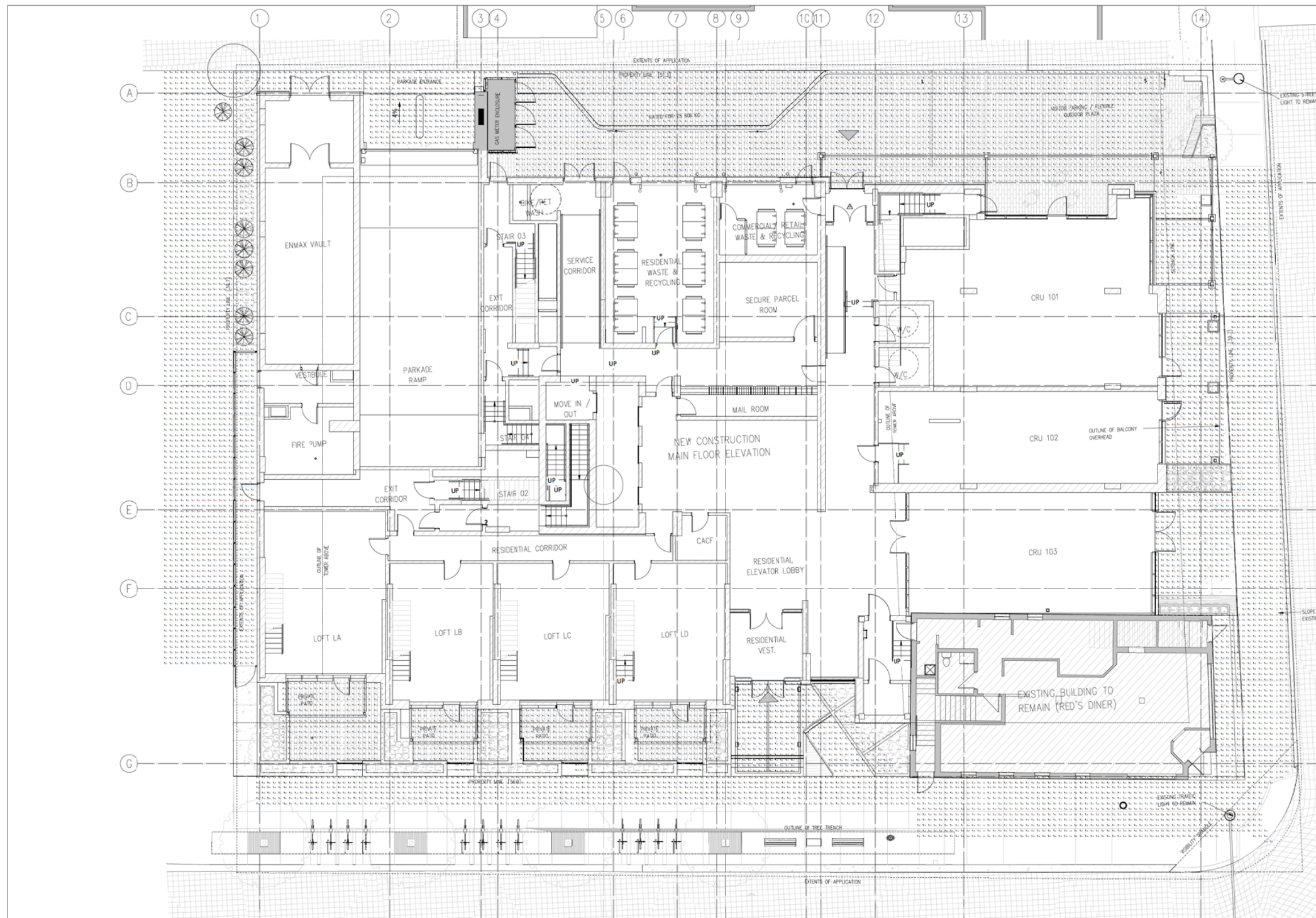
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PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

3	ISSUED FOR DTR2	22-05-04
2	ISSUED FOR DTR1	22-01-18
1	ISSUED FOR DEVELOPMENT PERMIT	21-10-08
No.	Description	Date

Issued For / Revisions
Project: 4TH STREET LOFTS
Project Number: 21026

Calgary, Alberta
Legal Description: PLAN S41 BLOCK 106 LOTS 24-30
Development Permit No.:
Building Permit No.:
DSSP No.:

Gibbs Gage
ARCHITECTS

350,140 10 Ave SE, Calgary, Alberta, T2G 0R1
Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title: CALCULATION

Drawn by: DJBB Scale: 1:100
Reviewed by: BL/SS Date: (YYYY-MM-DD)
Manager: BL Tech Review: 21-10-08

Drawing Number: DP-E1.03

Revision Number

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Symbol	Qty	Label	Lum. Lumens	LLF	Description
⊙	19	22359 BEGA IES	464	0.850	
⊙	4	LAMC1-120-L07-30K-CR80-N-WH	684	0.850	LAMC1-120-L07-30K-CR80-N-WH
⊙	9	LOGN-2W-48V-12-30K-W-FR-XX-SI	100	0.850	LOGN-2W-48V-12-30K-W-FR-XX-SI
⊙	44	SL1 3000K	99	0.850	
⊙	5	MAGRPC MSGRPC EFX08B14C8030M	1107	0.850	MAGRPC MSGRPC EFX08B14C8030M
⊙	2	MAGRPC MSGRPC EFX08B14C8030M	1504	0.850	MAGRPC MSGRPC EFX08B14C8030M
⊙	37	S6325W	67	1.000	S6325W 14

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entrance	Illuminance	Fc	6.45	35.3	0.1	64.50	353.00
Ground	Illuminance	Fc	1.70	51.1	0.0	N.A.	N.A.
Residential Entry	Illuminance	Fc	0.80	29.5	0.0	N.A.	N.A.

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