

# ICON AT TRINITY HILLS

## CALGARY, ALBERTA

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### DRAWING INDEX

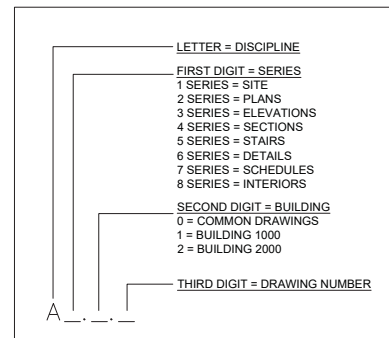
#### ARCHITECTURAL

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- A1.0.0-B SITE PLAN - N/A DRIVE GRADES
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- A3.1.0 BUILDING 1000 ELEVATIONS (1/2)
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#### LANDSCAPE

- DPL1.0 LANDSCAPE PLAN
- DPL1.1 LANDSCAPE DETAILS

### DRAWING INDEXING LEGEND



#### OWNER



#### ARCHITECT



#### LANDSCAPE



December 8, 2021

ISSUED FOR DTR3

NO	DD/MM/YY	REVISION
5	08/12/21	ISSUED FOR DTR3
4	18/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW

**The Tarjan Group**  
ARCHITECTURE  
INTERIOR DESIGN

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SCALE AS NOTED



PROJECT  
**CITY VIBE  
ICON AT TRINITY HILLS**  
1390 N/A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE START DATE DEC 2019

DRAWING  
**TITLE PAGE**

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A0.0.1

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**MATERIAL LEGEND**

- 1 CONCRETE CURB
- 1A CONCRETE CURB CROSSING-REFER TO DETAIL 8/A.1.0.1.
- 1B CONCRETE CURB & GUTTER-REFER TO DETAIL 5/A.1.0.1.
- 2 CONCRETE SIDEWALK
- 3 HANDICAP RAMP TO CITY OF CALGARY STANDARDS
- 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
- 5 HANDICAP PARKING SYMBOL, PAINTED ON ASPHALT SURFACE (YELLOW)
- 6 WASTE & RECYCLING ENCLOSURE-REFER TO DETAIL 1/A.1.0.1.
- 7 HEAVY-DUTY ASPHALT PAVING  
-MIN. 25,000 KG. AVE. WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE  
-TRUCK PATH TO SUPPORT A LOAD OF 38,556 KG. TO SUPPORT THE N.P.A. 1901 POINT LOAD OF 517KPA(72PSI) OVER A 24"x24" AREA
- 8 ASPHALT PAVING
- 9 PAINTED PEDESTRIAN CROSSING
- 10 CONCRETE ASPHALT  
-MIN. OF 25,000 KG. WEIGHT CAPACITY
- 11 PARKADE RAMP CONCRETE RETAINING WALL
- 12 LANDSCAPING
- 13 CONCRETE PATIO
- 14 BIKE RACK
- 15 "VISITOR PARKING" SIGN
- 16 RESERVED
- 17 RESERVED
- 18 ENTRANCE SIGN- REFER TO DETAIL A1.0.2
- 19 "HANDICAP PARKING" SIGN
- 20 WHEEL STOPS
- 21 "NO PARKING" SIGN
- 22 1.7m CONTINUOUSLY GLAZED PATIO RAILINGS AT GROUND LEVEL PATIOS FOR NOISE ATTENUATION, NO GAPS
- 23 PARKADE RAMPS EITHER TO BE DESIGNED TO SUPPORT THE TRUCK WEIGHT REQUIREMENTS PER NOTE 7 ABOVE, OR HIGH RESISTION CLEARANCE BAR TO BE INSTALLED AT BEGINNING OF RAMP

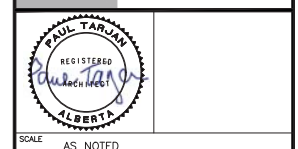
- LEGEND**
- HEAVY DUTY ASPHALT
  - RIGHT-OF-WAY
  - V INDICATES VISITOR STALLS
  - RETAINING WALL

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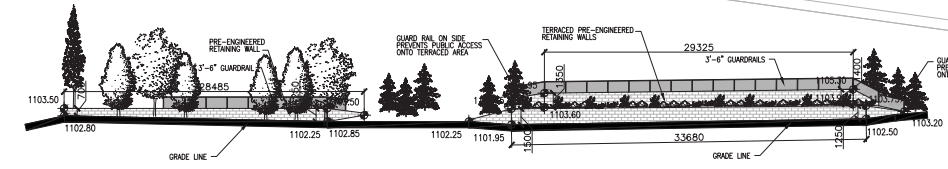
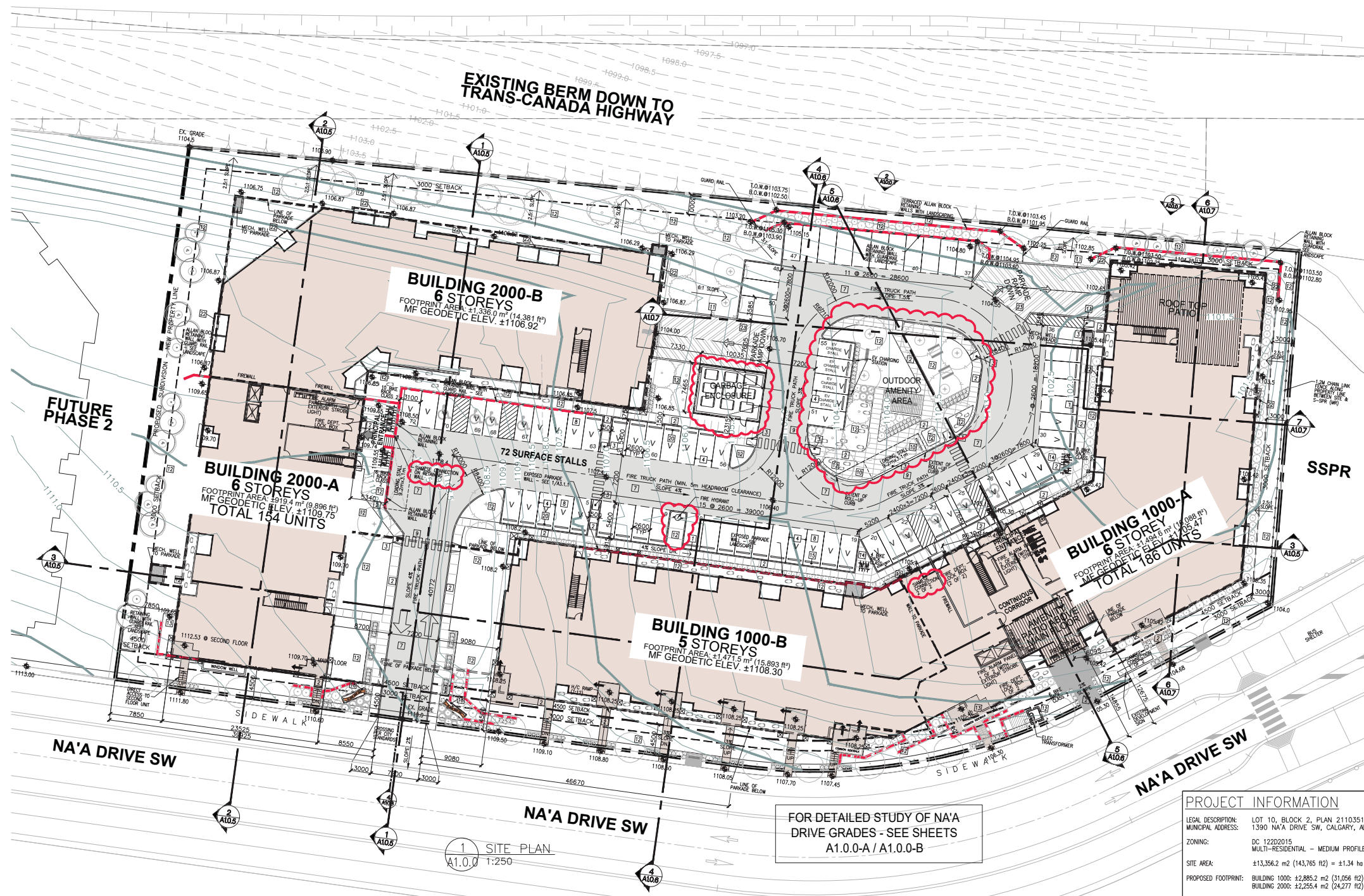


**CITY VIBE**  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE START DATE DEC 2019

**SITE PLAN**

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A1.0.0



2 RETAINING WALL ELEVATION  
A1.0.0 1:250

**NOTES**

1. THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY: URBAN SYSTEMS. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
2. UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
3. MIN. 12m RADIUS FOR FIRE TRUCK AND GARBAGE TRUCK ACCESS.
4. TEST MANHOLE LOCATION TO BE DETERMINED.
5. ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
6. REFER TO SURVEY DRAWING FOR EXISTING GRADES.
7. REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY.
8. FIRE TRUCK ACCESS ROUTE OVER UNDERGROUND PARKADE CAPABLE OF SUPPORTING A LOAD OF 38,556 KG (85,000 LB).
9. EXISTING BOULEVARD TREES IN THE CITY BOULEVARD ARE TO BE RETAINED AND PROTECTED DURING ALL PHASES OF CONSTRUCTION.
10. PRIVATE LOT DRAINAGE IS NOT PERMITTED TO MR. PARCELS.

**PARKING CALCULATIONS**

PARKING STALLS REQUIRED (AS PER URB. LP2007, PART 6, DIVISION 1, 558 (1) (a)):  
UNITS <math>60m^2 < 1.25</math> (STALLS/UNIT) 312 x 1.25 = 390 STALLS  
UNITS <math>60m^2 < 1</math> (STALL/UNIT) 28 x 1 = 28 STALLS  
VISITOR STALLS: 0.15 (STALLS/UNIT) 340 x 0.15 = 51 STALLS  
STALLS REQUIRED: 469 STALLS

PARKING STALLS PROVIDED:  
SURFACE STALLS (INCL. 43 VISITOR STALLS, OF WHICH 8 ARE H/C STALLS) 72 STALLS  
UNDERGROUND STALLS 353 STALLS  
TOTAL STALLS PROVIDED 425 STALLS

**PARKING RATIO: 1.25 STALLS/UNIT**

BICYCLE PARKING REQUIRED (AS PER BYLAW SECTION PART 6 (5591)):  
CLASS 1: 340 x 0.5 (STALLS/UNIT) 170 STALLS  
CLASS 2: 340 x 0.1 (STALLS/UNIT) 34 STALLS  
TOTAL NUMBER OF STALLS 204 STALLS

BICYCLE PARKING PROVIDED:  
CLASS 1 (UNDERGROUND) 175 STALLS  
CLASS 2 (IN OUTDOOR BICYCLE BACKS) 34 STALLS  
TOTAL NUMBER OF STALLS 209 STALLS

**PROJECT INFORMATION**

LEGAL DESCRIPTION: LOT 10, BLOCK 2, PLAN 2110351  
MUNICIPAL ADDRESS: 1390 NA'A DRIVE SW, CALGARY, ALBERTA  
ZONING: DC 12202015 MULTI-RESIDENTIAL - MEDIUM PROFILE  
SITE AREA: ±13,356.2 m<sup>2</sup> (143,765 ft<sup>2</sup>) = ±1.34 ha (±3.31 acres)  
PROPOSED FOOTPRINT: BUILDING 1000: ±2,885.2 m<sup>2</sup> (31,056 ft<sup>2</sup>)  
BUILDING 2000: ±2,255.4 m<sup>2</sup> (24,277 ft<sup>2</sup>)

PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (5/6 STOREY APARTMENTS)

BY # OF BDRS	1 BDR	2BDR	3BDR	TOTAL
B1000	40	94	20	154
B2000	56	102	28	186
TOTAL	96	196	48	340

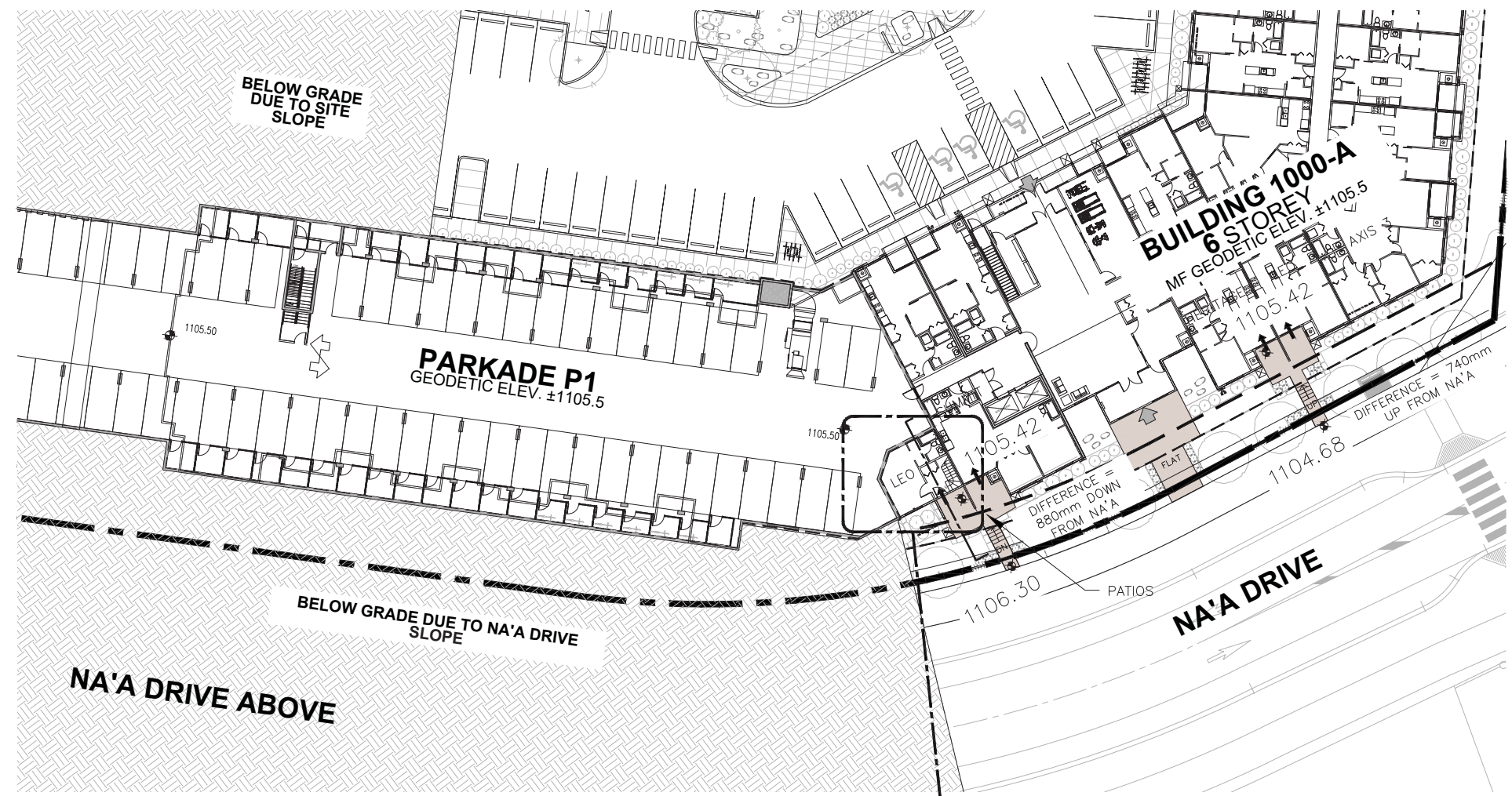
BY AREA (m <sup>2</sup> )	<math>60m^2</math>	>math>60m^2</math>	TOTAL
B1000	18	168	186
B2000	10	144	154
TOTAL	28	312	340

MAXIMUM DENSITY ALLOWED: NO MAXIMUM REQUIREMENT  
MINIMUM DENSITY REQUIRED: NO MINIMUM REQUIREMENT  
DENSITY PROVIDED: 340 UNITS/1.34ha = 253.7 UNITS/ha  
MAX. FLOOR AREA RATIO: NO MAXIMUM REQUIREMENT  
FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:  
BUILDING 1000 GFA 16,023.3 m<sup>2</sup> (172,473 ft<sup>2</sup>)  
BUILDING 2000 GFA 13,449.0 m<sup>2</sup> (144,764 ft<sup>2</sup>)  
TOTAL FLOOR AREA: 29,472.3 m<sup>2</sup> (317,237 ft<sup>2</sup>)

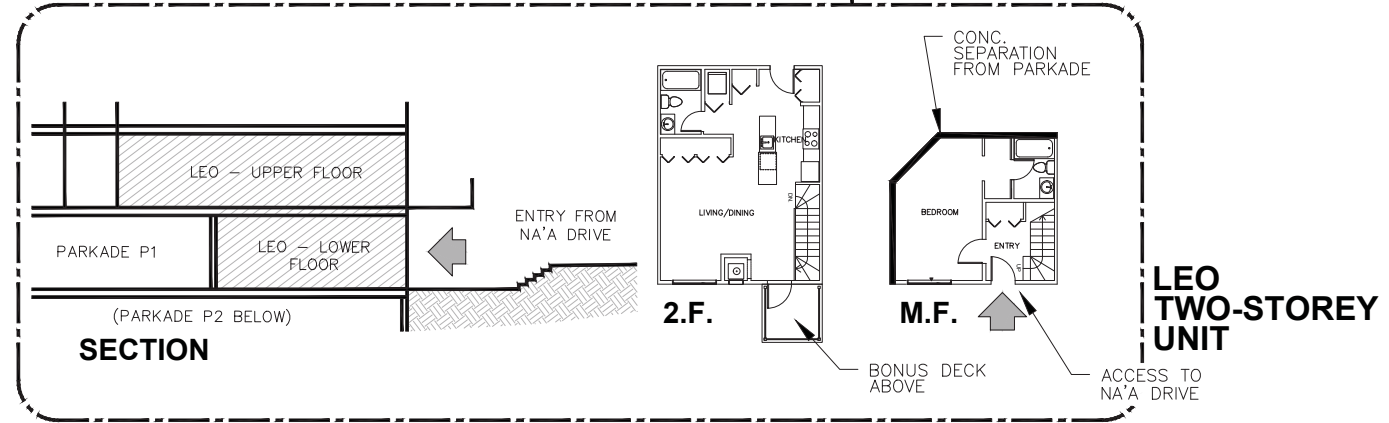
LANDSCAPE AREAS: 29,472.3 m<sup>2</sup> / 13,356.2 m<sup>2</sup> = 2.21  
REFER TO LANDSCAPE DRAWINGS PREPARED BY: SCATLUFF MILLER MURRAY  
BUILDING HEIGHT ALLOWED: MAX. 21m  
BUILDING HEIGHT PROVIDED: MAX. 20.4m



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**B1000 MAIN FLOOR / P1 LEVEL PLAN**  
*N.T.S.*



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SCALE AS NOTED



**CITY VIBE**  
DEVELOPMENTS INC.

PROJECT  
**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE START DATE DEC 2019

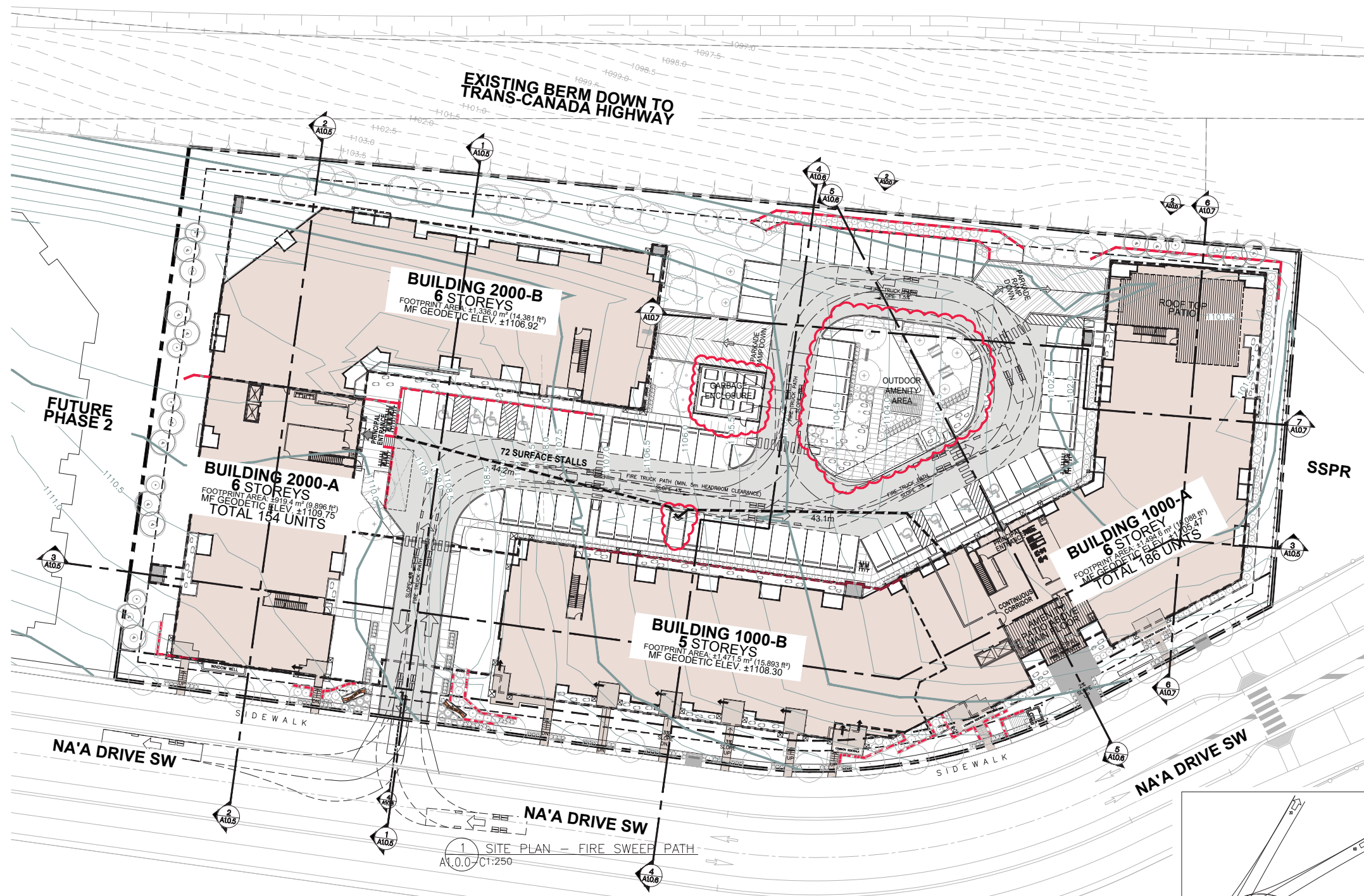
DRAWING  
**SITE PLAN -**  
**NA'A DRIVE GRADES**

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A1.0.0-A

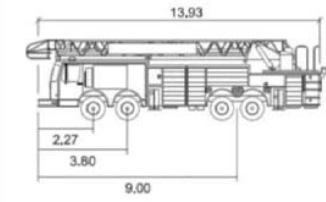




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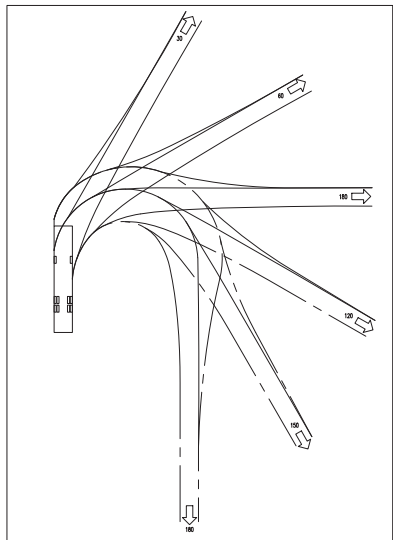


= HEAVY DUTY ASPHALT FIRE TRUCK PATH TO SUPPORT A LOAD OF 38,556 Kg + TO SUPPORT THE NFPA 1901 POINT LOAD OF 517kPa(75PSI) OVER A 24"x24" AREA.  
 - PARKADE RAMPS EITHER TO BE DESIGNED TO SUPPORT THIS LOAD, OR HEIGHT RESTRICTION CLEARANCE BAR TO BE ADDED AT BEGINNING OF RAMP



CFD\_Bronto\_Skylift

	metres
Width	: 2.57
Track	: 2.57
Lock to Lock Time	: 6.0
Steering Angle	: 47.5
Turning Radius	: 10.18



2 FIRE TRUCK SWEEP TEMPLATE  
A1.0.0-CN.T.S.

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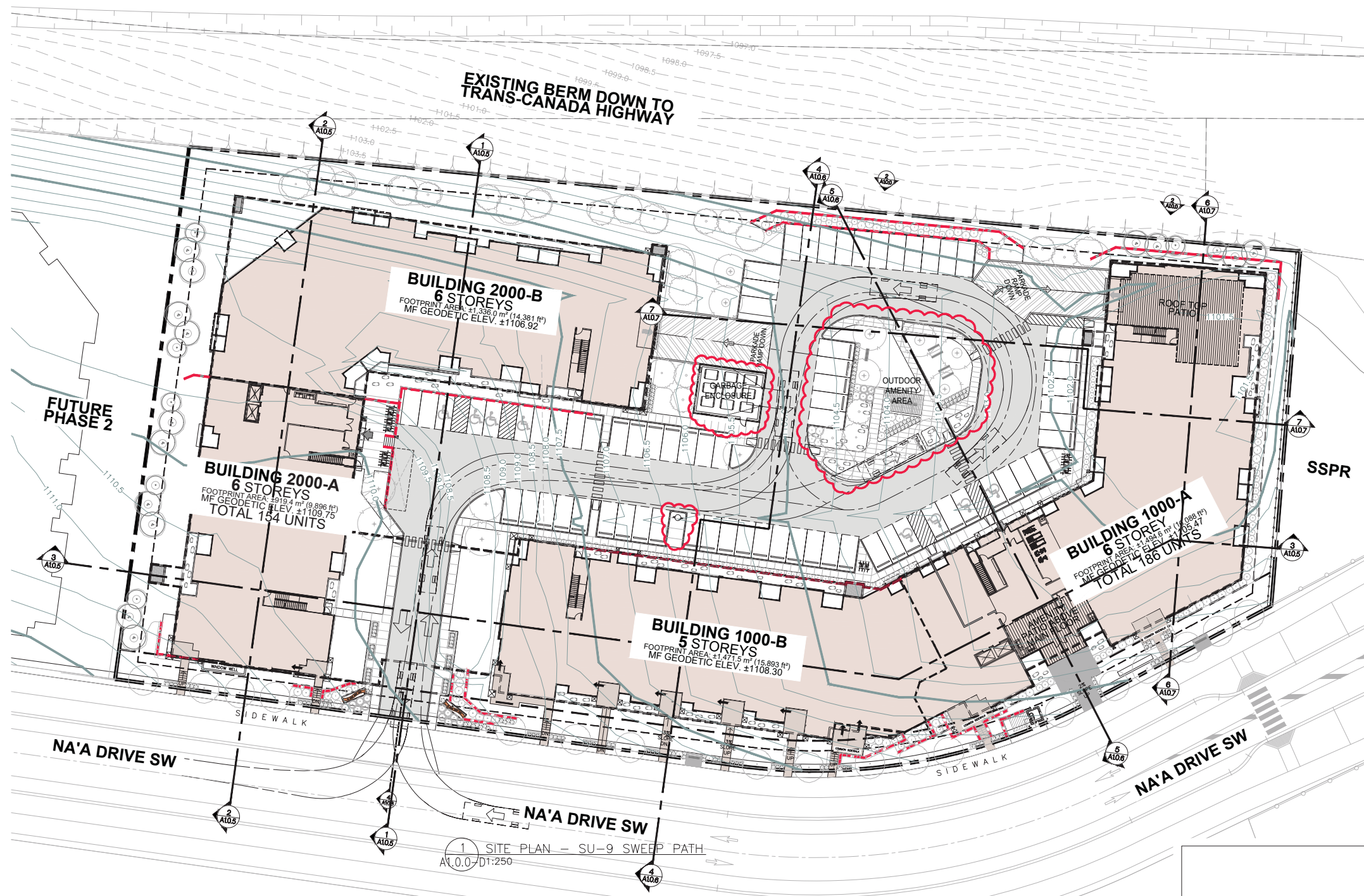
DRAWING **SITE PLAN - SWEEP PATHS FIRE**



DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924

DWG No. **A1.0.0-C**

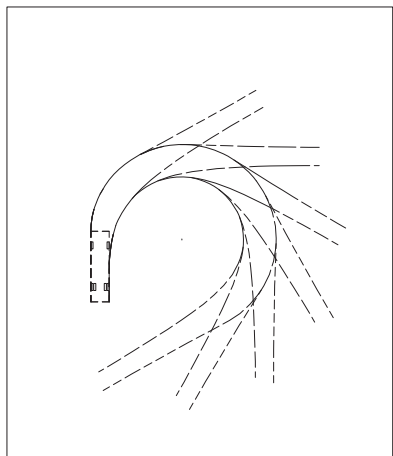


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 = PARKADE RAMPS EITHER TO BE DESIGNED TO SUPPORT THIS LOAD, OR HEIGHT RESTRICTION CLEARANCE BAR TO BE ADDED AT BEGINNING OF RAMP

1 SITE PLAN - SU-9 SWEEP PATH  
A1.0.0-DT:250



2 SU-9 SWEEP TEMPLATE  
A1.0.0-Cn.T.S.

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DRAWING  
**SITE PLAN -  
SWEEP PATHS SU-9**

DESIGNED	TN/SKM	CHECKED	PT
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DWG No. A1.0.0-D



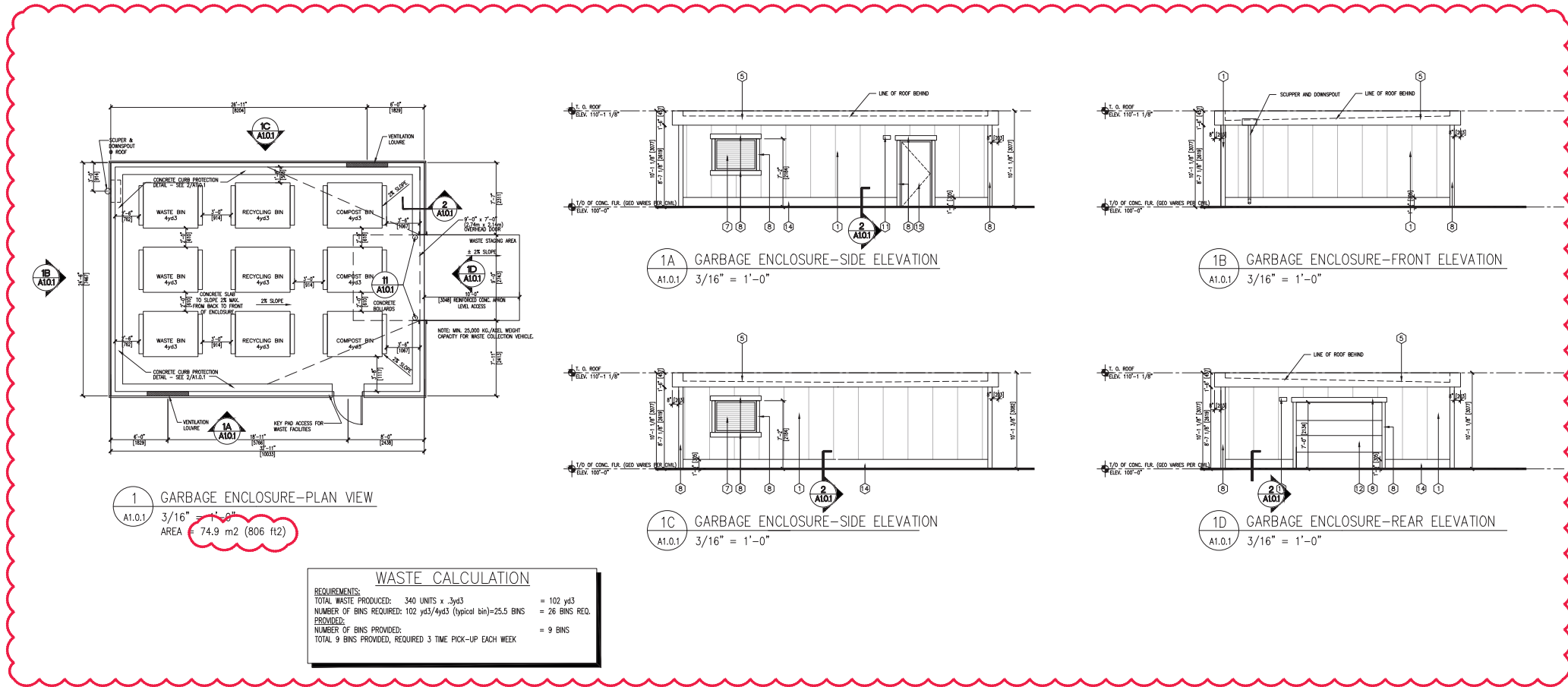
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**MATERIAL LEGEND**

- ① HARDIE BOARD PANEL (TIMBER BARK)
- ② HARDIE BOARD PANEL (RICH ESPRESSO)
- ③ RESERVED
- ④ STUCCO (TO MATCH HARDIE RICH ESPRESSO)
- ⑤ HARDIE BOARD PANEL (ARCTIC WHITE)
- ⑥ RESERVED
- ⑦ VENTILATION LOUVRE - 54"(W)x40"(H)
- ⑧ HARDIE TRIM 4" OR 6" (COBBLESTONE)
- ⑨ RESERVED
- ⑩ RESERVED
- ⑪ EXTERIOR WALL MOUNTED LIGHT
- ⑫ INSULATED OH STEEL DOOR (COLOR TO MATCH WALL)
- ⑬ METAL FLASHING (COLOUR TO MATCH)
- ⑭ EXPOSED CONCRETE
- ⑮ EXTERIOR INSULATED METAL DOOR (COLOR TO MATCH WALL)

**NOTE:**

- 1) TPO ROOF MEMBRANE
- 2) PAINT BOLLARD YELLOW
- 3) PAINT R.W.L. AND LADDER TO MATCH WALL



1 GARBAGE ENCLOSURE-PLAN VIEW  
A1.0.1 3/16" = 1'-0"  
AREA = 74.9 m2 (806 ft2)

1A GARBAGE ENCLOSURE-SIDE ELEVATION  
A1.0.1 3/16" = 1'-0"

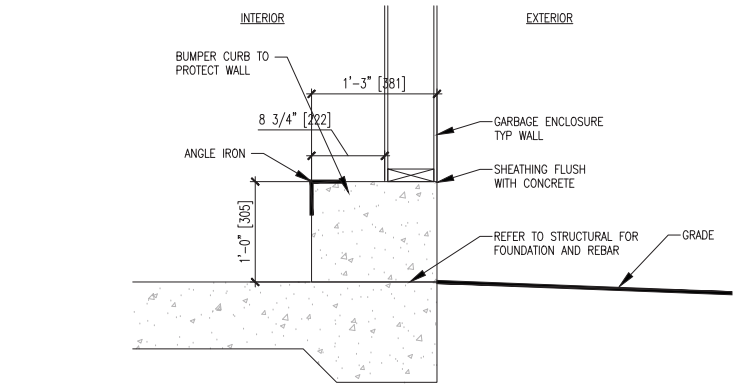
1B GARBAGE ENCLOSURE-FRONT ELEVATION  
A1.0.1 3/16" = 1'-0"

1C GARBAGE ENCLOSURE-SIDE ELEVATION  
A1.0.1 3/16" = 1'-0"

1D GARBAGE ENCLOSURE-REAR ELEVATION  
A1.0.1 3/16" = 1'-0"

**WASTE CALCULATION**

REQUIREMENTS:		
TOTAL WASTE PRODUCED:	340 UNITS x .3yd3	= 102 yd3
NUMBER OF BINS REQUIRED:	102 yd3/4yd3 (typical bin)	= 26 BINS REQ.
PROVIDED:		
NUMBER OF BINS PROVIDED:		= 9 BINS
TOTAL 9 BINS PROVIDED, REQUIRED 3 TIME PICK-UP EACH WEEK		



2 TYP CONC. PROTECTION CURB FOR GARBAGE ENCLOSURE  
A1.0.1 1 1/2" = 1'-0"

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REGISTERED ARCHITECT  
PAUL TARJAN  
ALBERTA

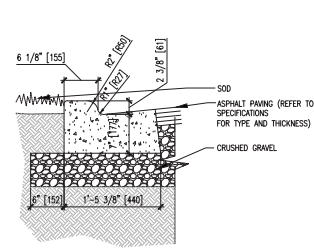
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**CITY VIBE DEVELOPMENTS INC.**

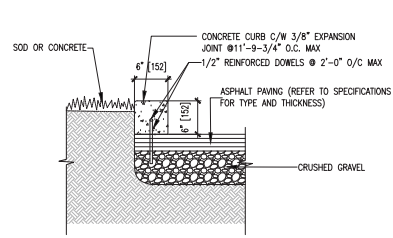
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<b>SITE DETAILS</b>		
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		DWG No. A1.0.1

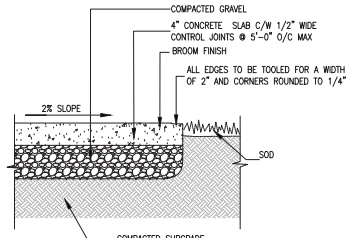
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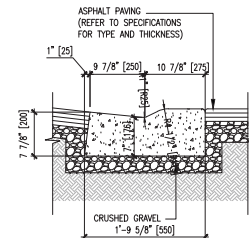
5 TYPICAL CONCRETE CURB AND GUTTER  
A1.0.2 1" = 1'-0"



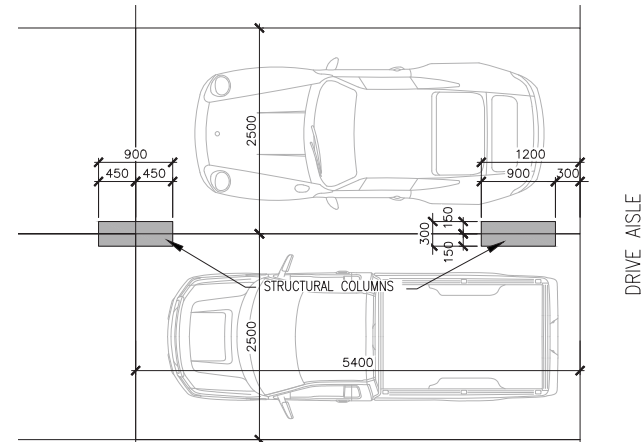
6 TYPICAL CONCRETE CURB  
A1.0.2 1" = 1'-0"



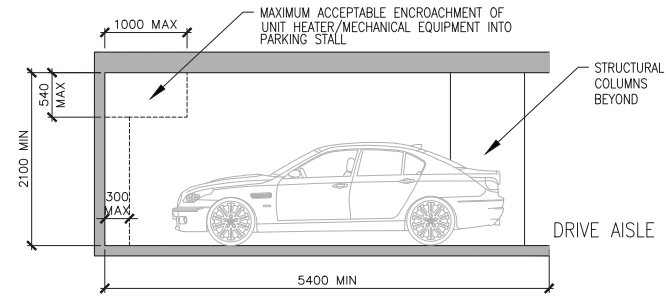
7 TYPICAL SIDEWALK DETAIL  
A1.0.2 1" = 1'-0"



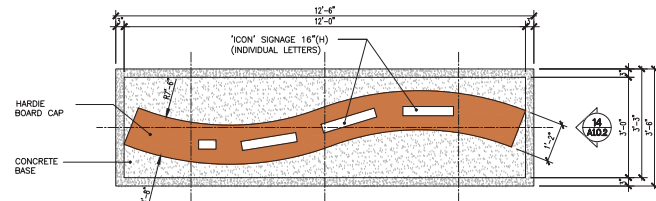
8 TYPICAL CONCRETE CURB CRO:  
A1.0.2 1" = 1'-0"



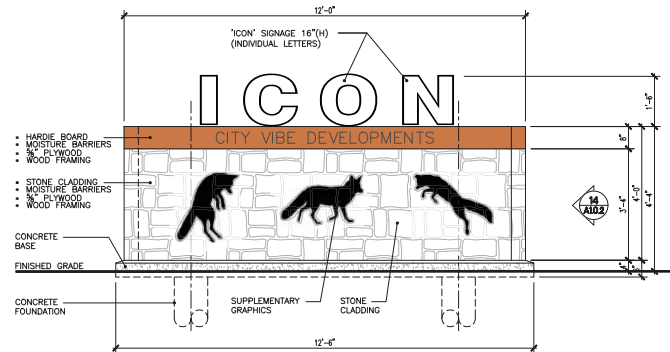
9 PARKING STALL PLAN( ENCROACHMENT DRAWING)  
A1.0.2 3/8" = 1'-0"



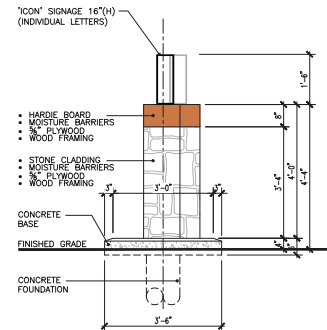
10 PARKING STALL SECTION( ENCROACHMENT DRAWING)  
A1.0.2 3/8" = 1'-0"



12 ENTRY SIGNAGE - PLAN  
A1.0.2 1/2" = 1'-0"



13 ENTRY SIGNAGE - FRONT ELEVATION  
A1.0.2 1/2" = 1'-0"



14 ENTRY SIGNAGE - SIDE ELEVATION  
A1.0.2 1/2" = 1'-0"

December 8, 2021

ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	18/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

**The Tarjan Group**  
ARCHITECTURE  
INTERIOR DESIGN

1417 Kensington Road N.W.  
Calgary, Alberta T2N 3R1  
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Fax: (403) 237-7486  
Email: info@tarjanguroup.com



SCALE AS NOTED



PROJECT  
**CITY VIBE  
ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

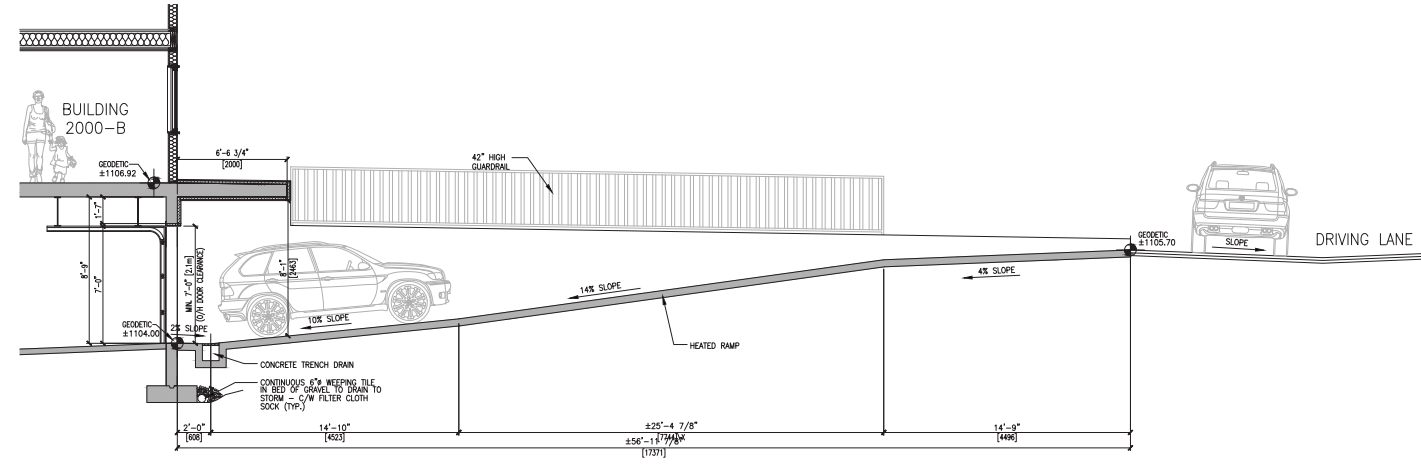
TRADE	START DATE	DEC 2019
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DRAWING  
**SITE DETAILS**

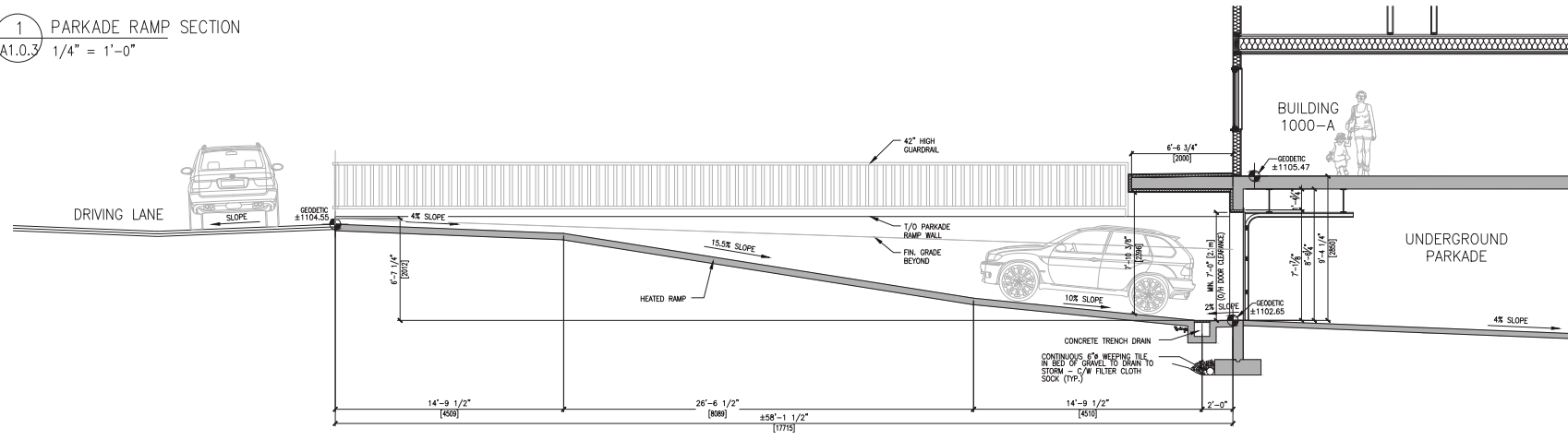
DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924

DWG No. **A1.0.2**





1 PARKADE RAMP SECTION  
A1.0.3 1/4" = 1'-0"



2 PARKADE RAMP SECTION  
A1.0.3 1/4" = 1'-0"

**Individual Series Delta**  
vertical stalls wall mounted

solid steel racks, spaced to suit requirements  
subtle engineering minimizes handbar conflicts  
bicycle is suspended from its frame, not wheel  
heavy rubber sleeves at contact points  
concrete is best for tamper-proof installation

reinforcing for framed walls may be 2x4's or 3/4" PLY

Individual use 1 bike per rack  
Shared use 2 bikes per rack

rack spacing may be 30" (762mm) adjacent bikes are auto-staggered

40" BKE (1016mm)  
3/8" BACK (9.5mm)

STANDARD SPECIFICATIONS  
Delta model, as manufactured by Dobra Design, Vancouver BC. (604-733-9486) info@dobradesign.com  
Material to be hot rolled steel, 1/4" x 2" Flat & 1/2" dia Round (6.4 x 50.8 x 12.7mm) ASTM A36/ CSA G40.21  
Preparation to be by mechanical & chemical cleaning and iron phosphate treatment  
Finish to be electrostatic polyester powdercoating and oven cure  
Installation to be by tamperproof friction anchors, 8 per rack, each 1/4" dia x 1.125" lg (6 x 29mm) All fastener heads to be smooth and protrude no more than 1/8" above rack surface (3mm)  
Carrying horns to be fitted with user renewable rubber sleeves, min 0.090" (2.4mm) thick

www.dobradesign.com  
5139 Somerville Street, Vancouver, BC V5W 3H3 Canada PHONE: 604-733-9486

**Individual Series Iota**  
vertical stalls floor mounted no wall required

NARROW and WIDE versions to suit requirements  
with Iota-N adjacent bikes are automatically staggered  
with Iota-W adjacent stalls are automatically spaced at 24" (600mm)  
tamper-proof installation to concrete floor  
bicycle is suspended from its frame, not wheel  
heavy, user renewable rubber sleeves at contact points

Iota-W (wide)  
Iota-N (narrow)

Iota-W Specific to City Codes requiring 24" wide stalls provides for 2 bikes  
Iota-N may be used individually for comfort or shared by two bikes for economy

STANDARD SPECIFICATIONS  
Pi-2 model, as manufactured by Dobra Design, Vancouver BC. 604-733-9486 info@dobradesign.com  
Material to be ERW steel 1.25" dia x 0.095" (32dia x 2.4mm) ASTM 513/ CSA G40.21-92 Preparation to be by mechanical & chemical cleaning & iron phosphate treatment  
Finish to be electrostatic polyester powdercoating & oven cure  
Installation to be by tamperproof friction anchors, 8 per rack, each 1/4" dia x 1.125" lg (6 x 29mm) All fastener heads to be smooth and to protrude no more than 1/8" above rack surface (3mm)

www.dobradesign.com  
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**Individual Series Pi-2**  
tubular steel racks, spaced to suit requirements  
tamper-proof installation on concrete wall or floor

two bicycles, two-way use  
or for two bicycles

floor problem? mount to wall

23" (584mm) for individual use (300-700mm)

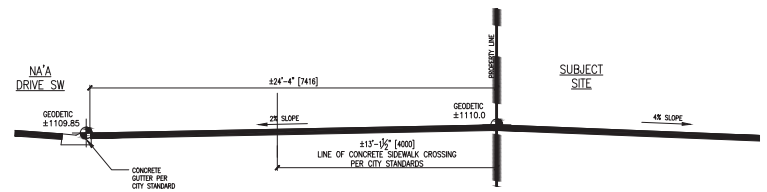
always U-lock the bike frame and one wheel

STANDARD SPECIFICATIONS  
Pi-2 model, as manufactured by Dobra Design, Vancouver BC. (604-733-9486) info@dobradesign.com  
Material to be ERW steel 1.25" dia x 0.095" (32dia x 2.4mm) ASTM 513/ CSA G40.21-92 Preparation to be by mechanical & chemical cleaning & iron phosphate treatment  
Finish to be electrostatic polyester powdercoating & oven cure  
Installation to be by tamperproof friction anchors, 8 per rack, each 3/16" dia x 1.125" lg (4.8 x 29mm) All fastener heads to be smooth and to protrude no more than 1/8" above rack surface (3mm)

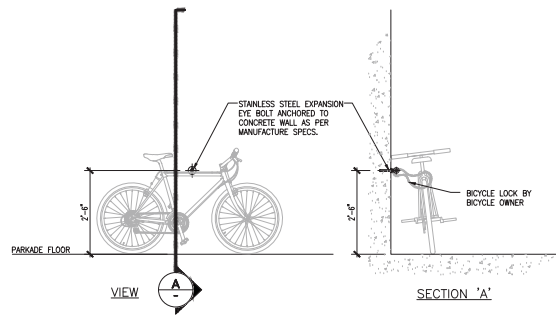
www.dobradesign.com  
5139 Somerville Street, Vancouver, BC V5W 3H3 Canada PHONE: 604-733-9486

3 BIKE RACK DETAILS  
A1.0.3 N.T.S.

NOTE: U-LOCK SECURE TO ABOVE BIKE FRAMES.



4 DRIVEWAY SECTION TO CITY STREET  
A1.0.3 1/4" = 1'-0"



5 BICYCLE EYE BOLT ANCHOR DETAIL  
A1.0.3 1/2" = 1'-0"

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December 8, 2021  
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5	08/12/21	ISSUED FOR DTR3
4	18/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

**The Tarjan Group**  
ARCHITECTURE INTERIOR DESIGN

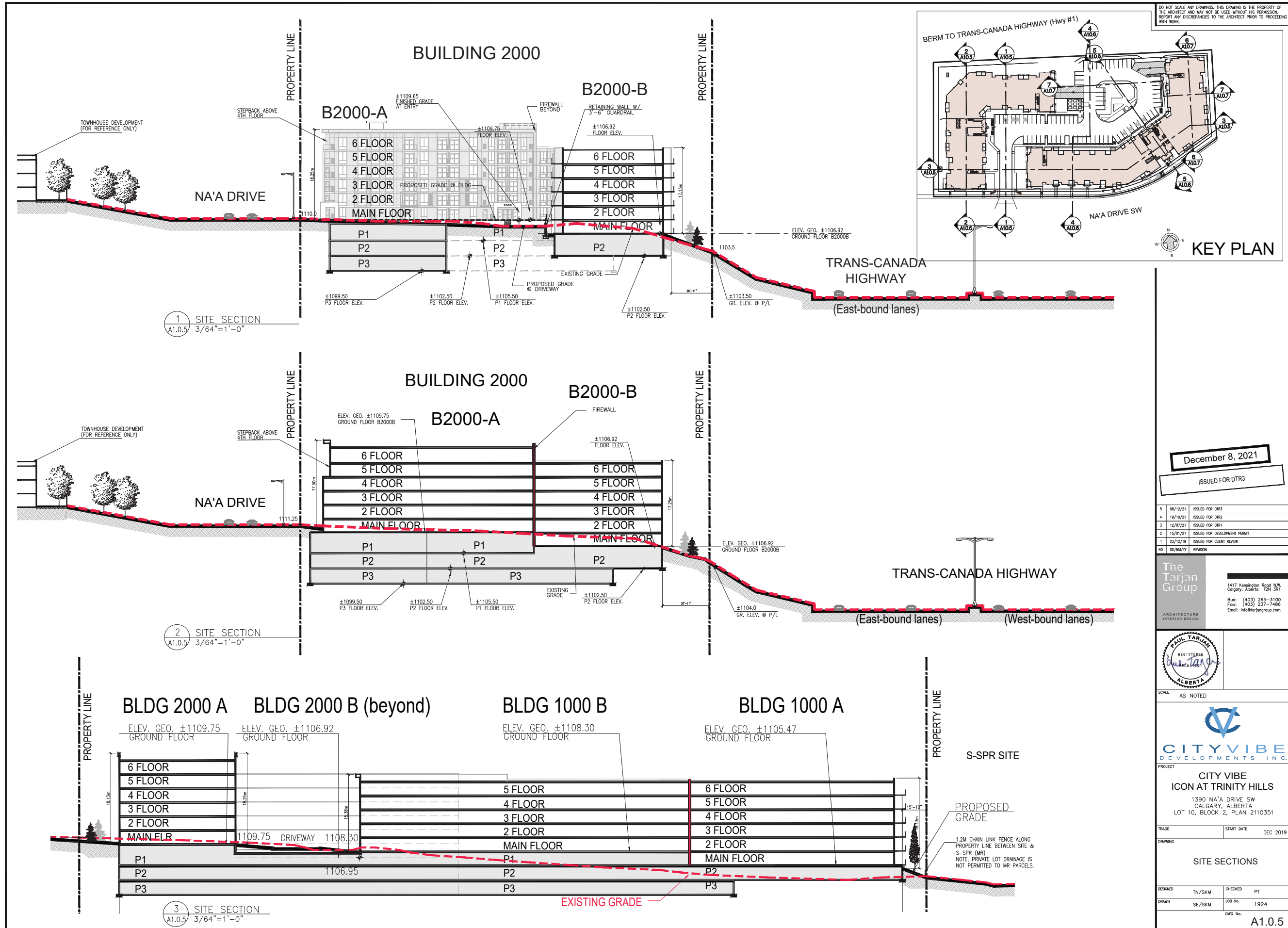
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Bus: (403) 265-3100  
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Email: info@tarjanguroup.com

**PAUL TARJAN**  
REGISTERED ARCHITECT  
ALBERTA

**CITYVIBE DEVELOPMENTS INC.**

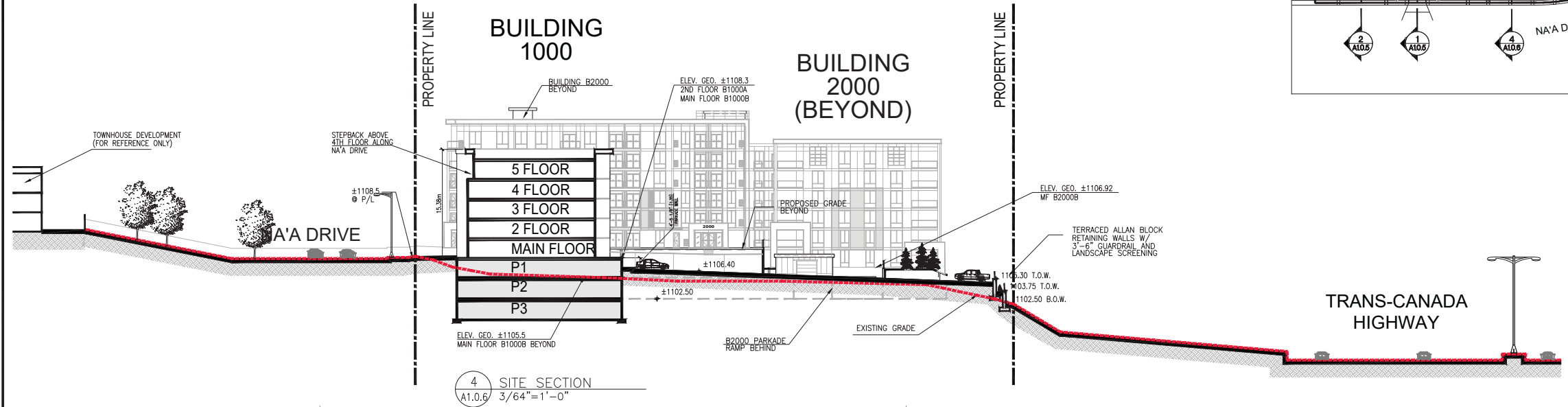
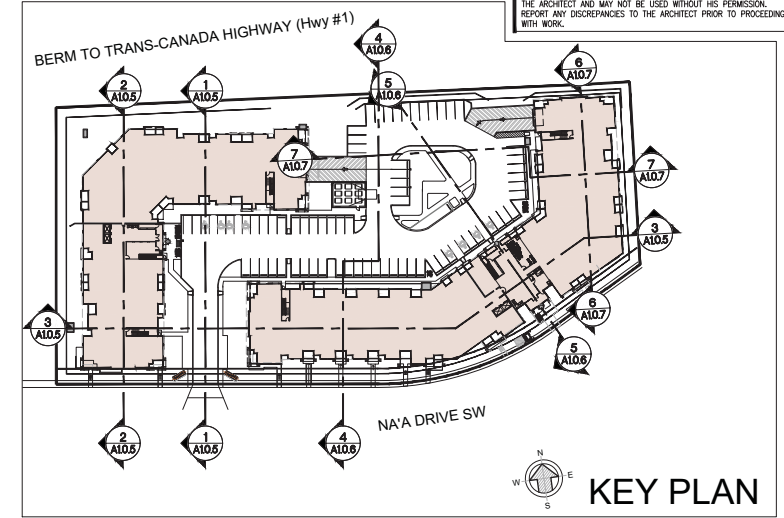
PROJECT  
**CITY VIBE ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE	START DATE	DEC 2019
DRAWING	RAMP SECTIONS + BICYCLE RACK DETAILS	
DESIGNED	TN/SKM	CHECKED PT
DRAWN	SF/SKM	JOB No. 1924
DWG No.		A1.0.3





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4 SITE SECTION  
A1.0.6 3/64"=1'-0"

December 8, 2021  
ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	18/10/21	ISSUED FOR DTR2
3	12/01/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	00/00/00	REVISION

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Calgary, Alberta T2N 3R1  
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Email: info@tarjanguroup.com



SCALE AS NOTED

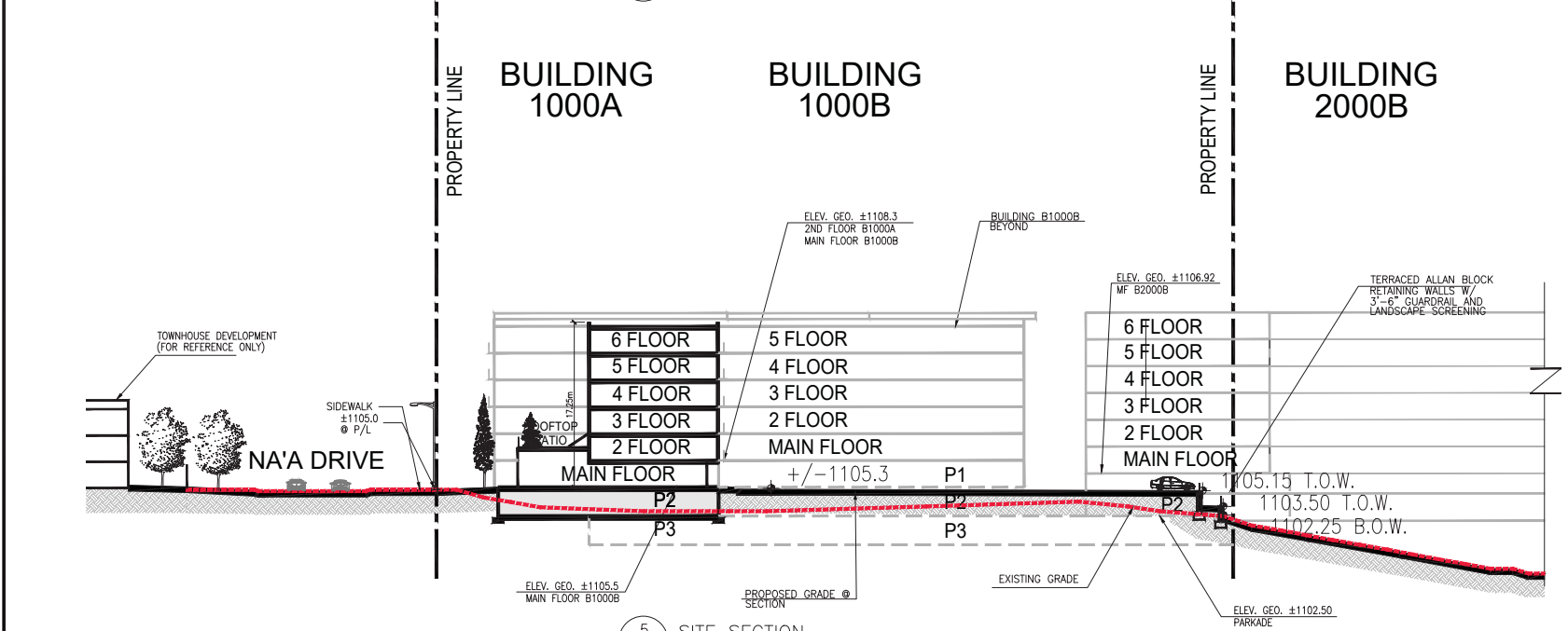


**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1390 N/A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE: DRAWING START DATE: DEC 2019

**SITE SECTIONS**

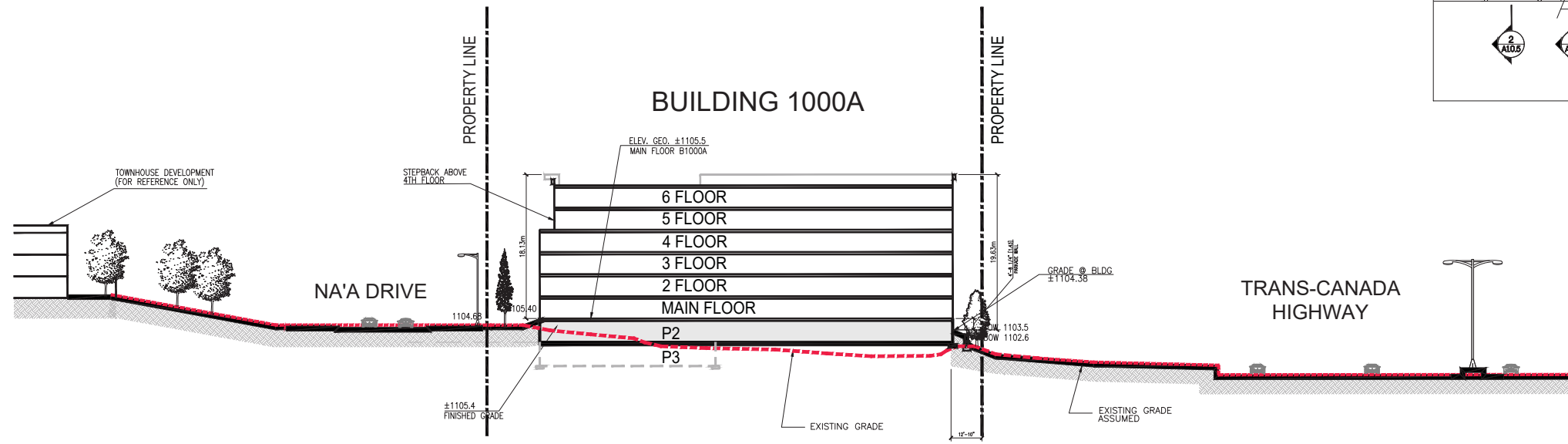
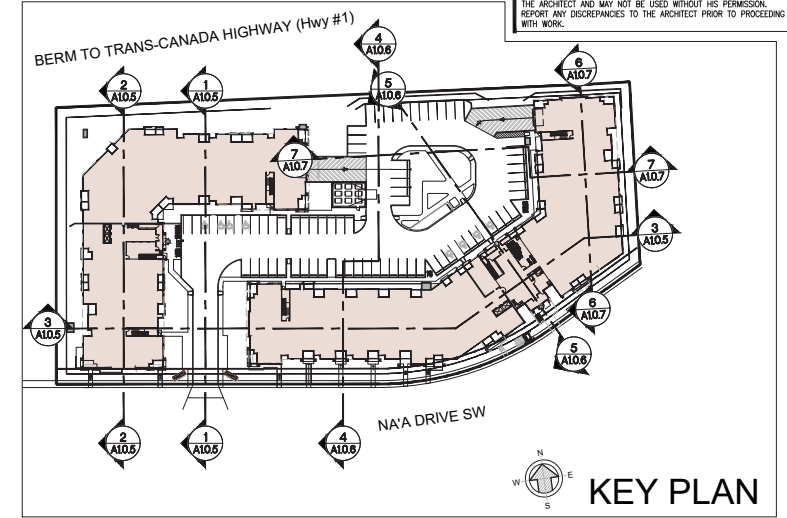
DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A1.0.6



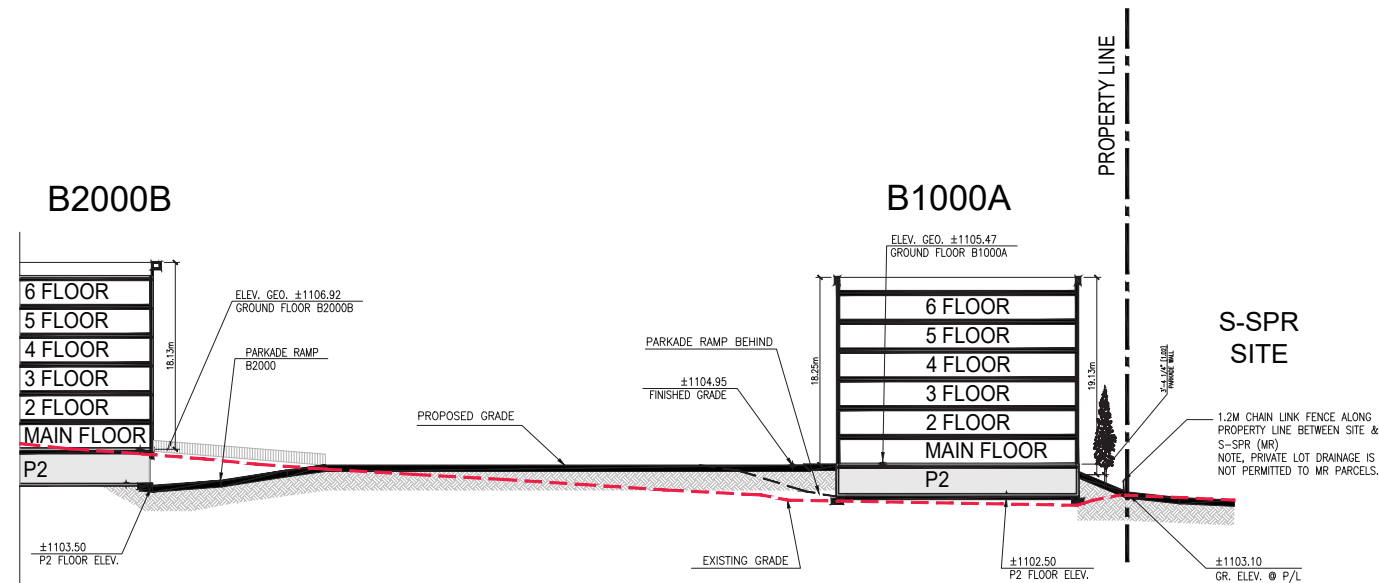
5 SITE SECTION  
A1.0.6 3/64"=1'-0"

TO TRANS-CANADA HIGHWAY

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6 SITE SECTION  
A1.0.7 3/64"=1'-0"

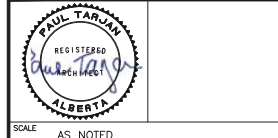


7 SITE SECTION  
A1.0.7 3/64"=1'-0"

December 8, 2021  
ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	18/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

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Email: info@tarjanguroup.com



PROJECT  
CITY VIBE  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE START DATE DEC 2019

DRAWING SITE SECTIONS

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924

DWG No. A1.0.7

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**NOTE:**

1. ALL UNDERGROUND PARKADE WALLS, COLUMNS AND CEILING TO BE PAINTED WHITE OR A COMPARABLE LIGHT COLOR.
2. MIN LIGHTING OF 54 LUX FOR ALL PARKADE LEVELS
3. PROVIDE EYE BOLT ANCHOR IN EACH INDIVIDUAL BIKE ROOM TO ALLOW FOR LOCKING OF BICYCLE, REFER TO DETAIL 5/A1.0.3

December 8, 2021

ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	18/10/21	ISSUED FOR DTR2
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1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

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ARCHITECTURE  
INTERIOR DESIGN



SCALE AS NOTED



**CITY VIBE**  
DEVELOPMENTS INC.  
PROJECT  
**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE START DATE DEC 2019

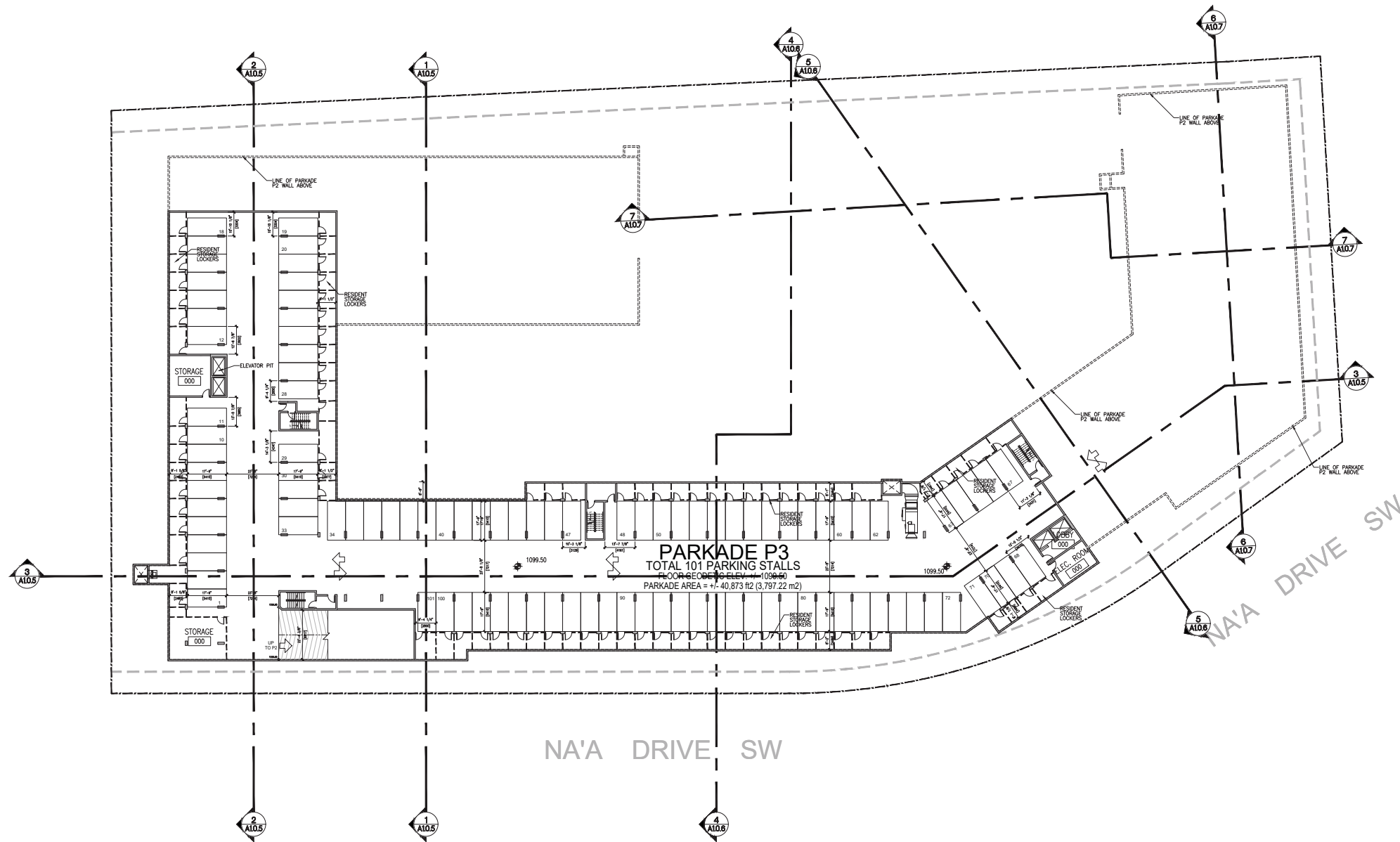
DRAWING

**PARKADE P3 PLAN**

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924

DWG No. A2.0.0

TRANS-CANADA HIGHWAY (Hwy #1)  
(16th Avenue NW)



**PARKADE P3**  
TOTAL 101 PARKING STALLS  
PARKADE AREA = +/- 40,873 ft<sup>2</sup> (3,797.22 m<sup>2</sup>)

1  
A2.0.0  
PARKADE P3 PLAN  
AREA = +/- 40,210 ft<sup>2</sup> (3,735.63 m<sup>2</sup>)  
SCALE: 3/64"=1'-0"

PARKADE STALL COUNT		BICYCLE (CLASS 1):	
PARKADE P1	77	PARKADE P1	0
PARKADE P2	175	PARKADE P2 (ENTRY LVL)	175
PARKADE P3	101	PARKADE P3	0
TOTAL	353	TOTAL	175



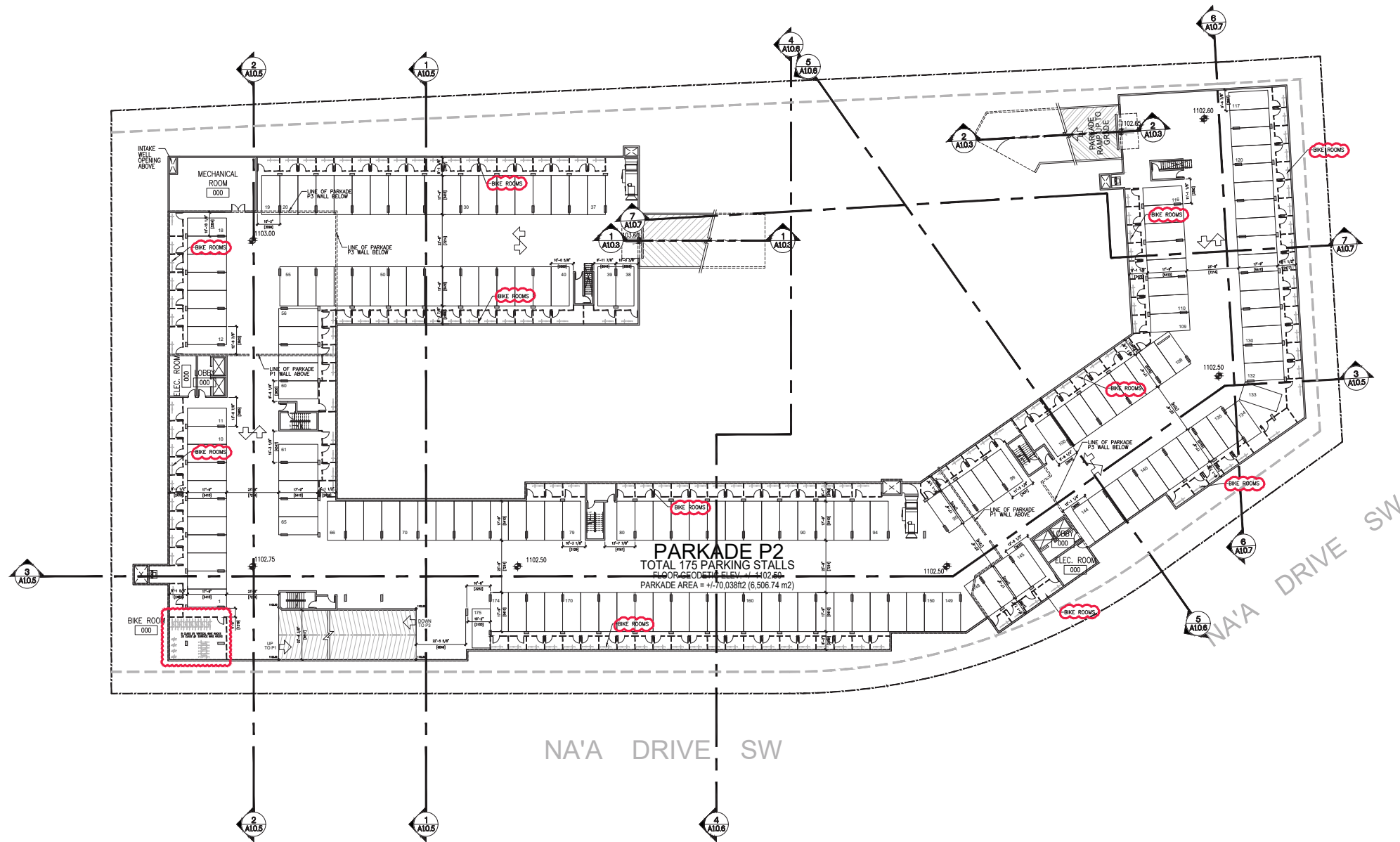
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NOTE:

1. ALL UNDERGROUND PARKADE WALLS, COLUMNS AND CEILING TO BE PAINTED WHITE OR A COMPARABLE LIGHT COLOR.
2. MIN LIGHTING OF 54 LUX FOR ALL PARKADE LEVELS
3. PROVIDE EYE BOLT ANCHOR IN EACH INDIVIDUAL BIKE ROOM TO ALLOW FOR LOCKING OF BICYCLE, REFER TO DETAIL 5/A1.0.3

TRANS-CANADA HIGHWAY (Hwy #1)  
(16th Avenue NW)



NA'A DRIVE SW

1  
A2.0.1  
PARKADE P2 PLAN  
AREA = +/-69,090 ft2 (6,418.7 m2)  
SCALE: 3/64"=1'-0"

PARKADE STALL COUNT		BICYCLE (CLASS 1):	
PARKADE P1	77	PARKADE P1	0
PARKADE P2	175	PARKADE P2 (ENTRY LVL)	175
PARKADE P3	101	PARKADE P3	0
TOTAL	353	TOTAL	175

December 8, 2021  
ISSUED FOR DTR3

NO	DD/MM/YY	REVISION
5	08/12/21	ISSUED FOR DTR3
4	18/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW

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INTERIOR DESIGN



SCALE AS NOTED



CITY VIBE  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE START DATE DEC 2019

DRAWING PARKADE P2 PLAN

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924

DWG No. A2.0.1

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NOTE:

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2. MIN LIGHTING OF 54 LUX FOR ALL PARKADE LEVELS
3. PROVIDE EYE BOLT ANCHOR IN EACH INDIVIDUAL BIKE ROOM TO ALLOW FOR LOCKING OF BICYCLE, REFER TO DETAIL 5/A1.0.3

December 8, 2021

ISSUED FOR DTR3

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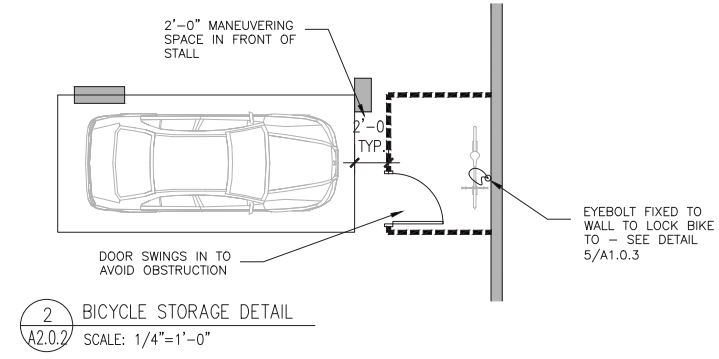
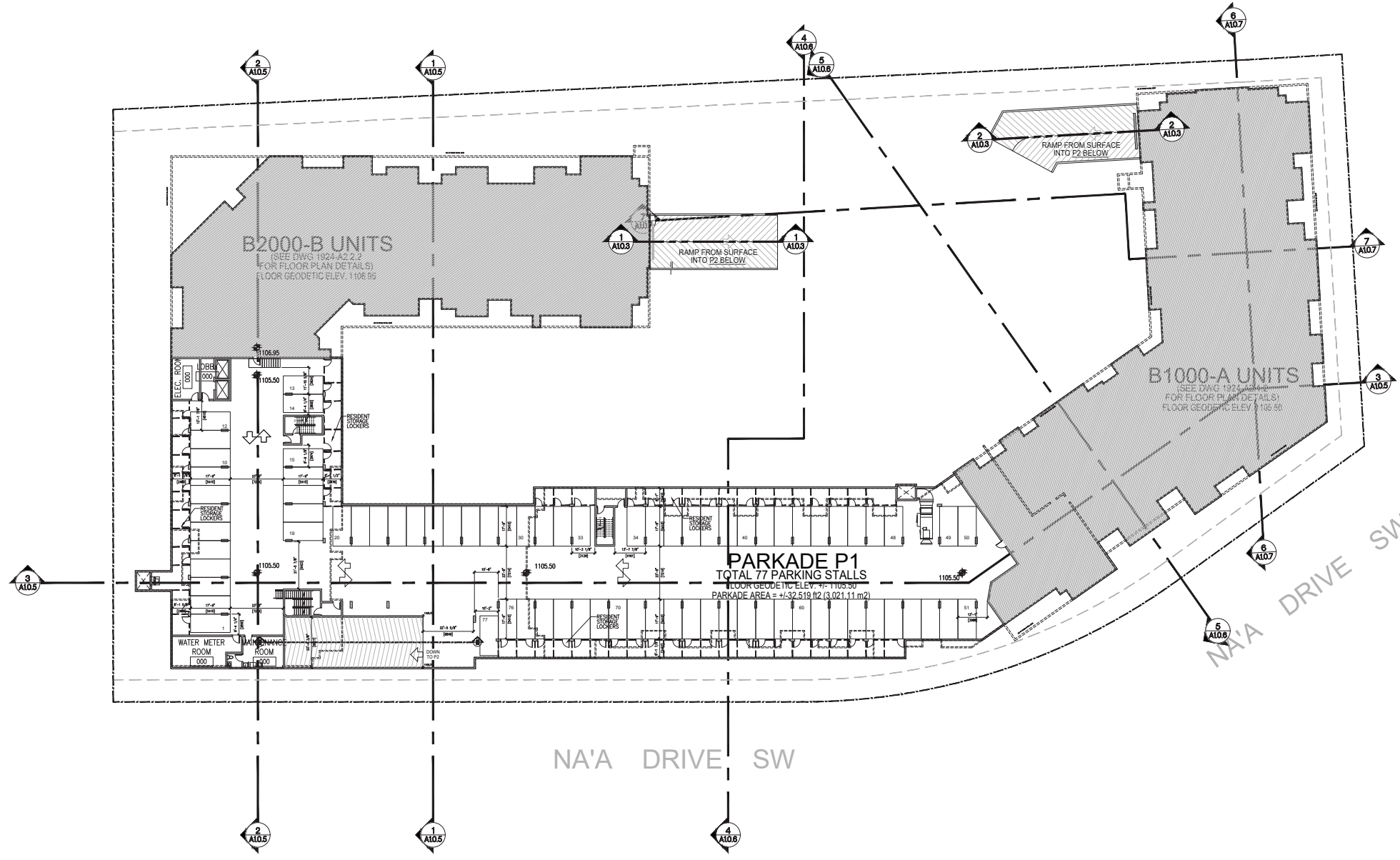
**CITY VIBE**  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE START DATE DEC 2019

**PARKADE P1 PLAN**

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A2.0.2

TRANS-CANADA HIGHWAY (Hwy #1)  
(16th Avenue NW)



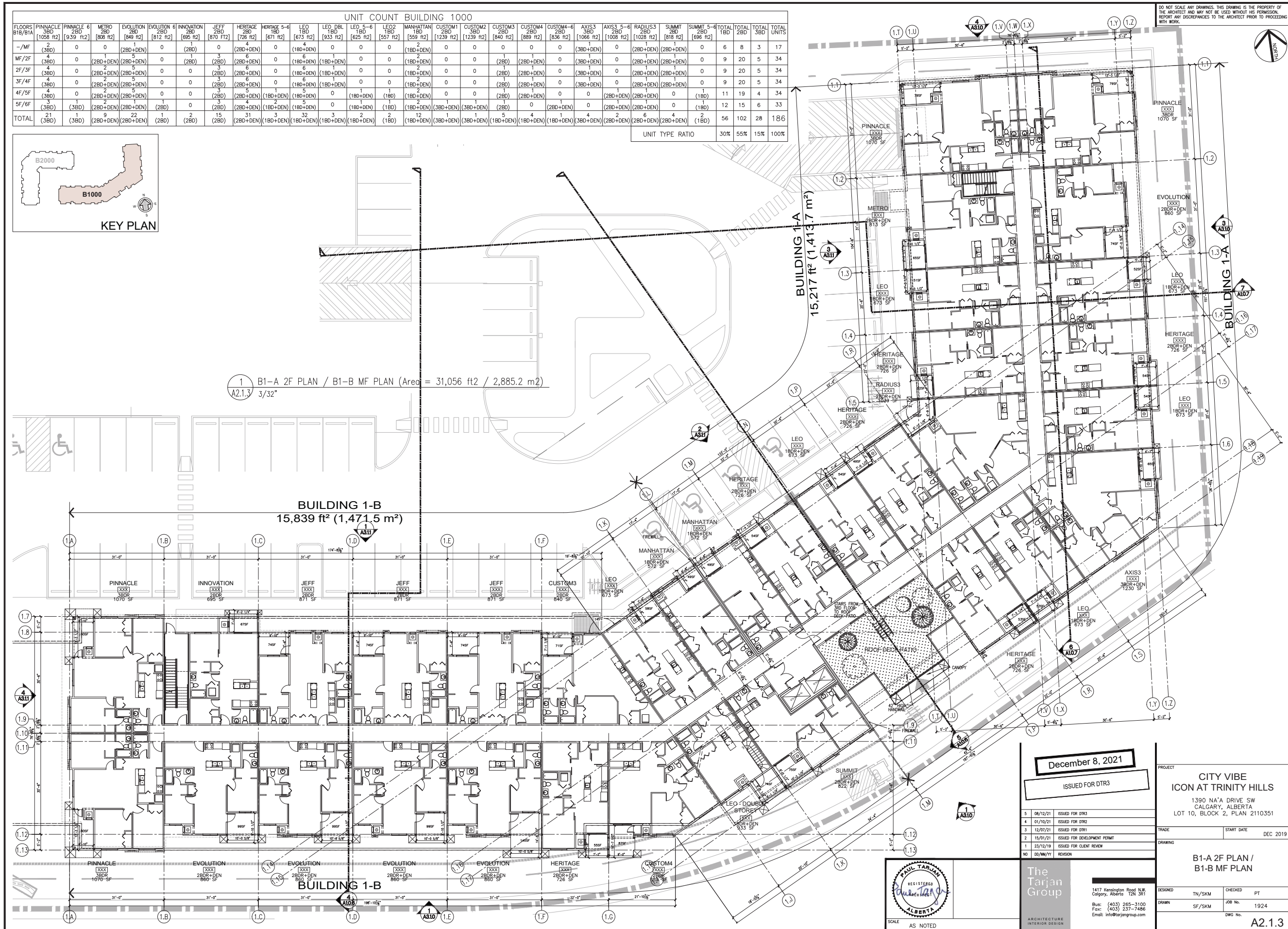
1 PARKADE P1 PLAN  
AREA = +/-31,830 ft<sup>2</sup> (2,957.1 m<sup>2</sup>)  
SCALE: 3/64"=1'-0"

PARKADE STALL COUNT		BICYCLE (CLASS 1):	
PARKADE P1	77	PARKADE P1	0
PARKADE P2	175	PARKADE P2 (ENTRY LVL)	175
PARKADE P3	101	PARKADE P3	0
TOTAL	353	TOTAL	175









December 8, 2021  
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3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

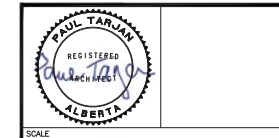
PROJECT  
**CITY VIBE  
ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE  
START DATE  
DEC 2019

DRAWING  
**B1-A 2F PLAN /  
B1-B MF PLAN**

DESIGNED  
TH/SKM  
CHECKED  
PT  
DRAWN  
SF/SKM  
JOB No.  
1924  
DWG No.

A2.1.3



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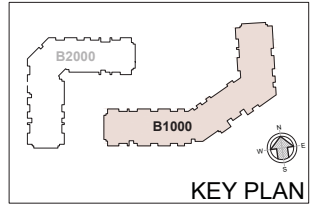
SCALE  
AS NOTED



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FLOORS	PINNACLE 3BD (1058 HZ)	PINNACLE 6 2BD (939 HZ)	METRO 2BD (808 HZ)	EVOLUTION 2BD (849 HZ)	EVOLUTION 6 2BD (812 HZ)	INNOVATION 2BD (695 HZ)	JEFF 2BD (870 F1Z)	HERITAGE 2BD (726 HZ)	HERITAGE 5-6 1BD (671 HZ)	LEO 1BD (673 HZ)	LEO DBL 1BD (933 HZ)	LEO 5-6 1BD (625 HZ)	LEO2 1BD (557 HZ)	MANHATTAN 1BD (559 HZ)	CUSTOM1 2BD (1239 HZ)	CUSTOM2 3BD (1239 HZ)	CUSTOM3 2BD (840 HZ)	CUSTOM4 2BD (889 HZ)	CUSTOM4-6 2BD (836 HZ)	AXIS3 3BD (1066 HZ)	AXIS3 5-6 2BD (1008 HZ)	RADIUS3 2BD (1028 HZ)	SUMMIT 2BD (818 HZ)	SUMMIT 5-6 2BD (696 HZ)	TOTAL 1BD	TOTAL 2BD	TOTAL 3BD	TOTAL UNITS
-/MF	2 (3BD)	0	0	1 (2BD+DEN)	0	1 (2BD)	0	4 (2BD+DEN)	0	4 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	0	0	0	0	1 (3BD+DEN)	0	1 (2BD+DEN)	0	0	6	8	3	17
MF/2F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	1 (2BD)	3 (2BD)	6 (2BD+DEN)	0	6 (1BD+DEN)	1 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	1 (2BD)	1 (2BD+DEN)	0	3 (3BD+DEN)	0	2 (2BD+DEN)	0	0	9	20	5	34
2F/3F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	6 (1BD+DEN)	1 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	1 (2BD)	1 (2BD+DEN)	0	3 (3BD+DEN)	0	2 (2BD+DEN)	0	0	9	20	5	34
3F/4F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	6 (1BD+DEN)	1 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	1 (2BD)	1 (2BD+DEN)	0	3 (3BD+DEN)	0	2 (2BD+DEN)	0	0	9	20	5	34
4F/5F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	6 (1BD+DEN)	1 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	1 (2BD)	1 (2BD+DEN)	0	3 (3BD+DEN)	0	2 (2BD+DEN)	0	1	11	19	4	34
5F/6F	3 (3BD)	1 (3BD)	2 (2BD+DEN)	2 (2BD+DEN)	2 (2BD)	0	2 (2BD)	4 (2BD+DEN)	1 (1BD+DEN)	5 (1BD+DEN)	0	1 (1BD)	1 (1BD)	1 (1BD+DEN)	1 (3BD+DEN)	1 (3BD+DEN)	1 (2BD)	0	1 (2BD+DEN)	1 (2BD+DEN)	0	1 (1BD)	0	0	12	15	6	33
TOTAL	21 (3BD)	1 (3BD)	9 (2BD+DEN)	22 (2BD+DEN)	2 (2BD)	1 (2BD)	15 (2BD)	31 (2BD+DEN)	1 (1BD+DEN)	32 (1BD+DEN)	3 (1BD+DEN)	2 (1BD)	2 (1BD)	12 (1BD+DEN)	1 (3BD+DEN)	1 (3BD+DEN)	5 (1BD+DEN)	4 (1BD+DEN)	1 (1BD+DEN)	4 (3BD+DEN)	2 (2BD+DEN)	6 (2BD+DEN)	4 (2BD+DEN)	2 (1BD)	56	102	28	186

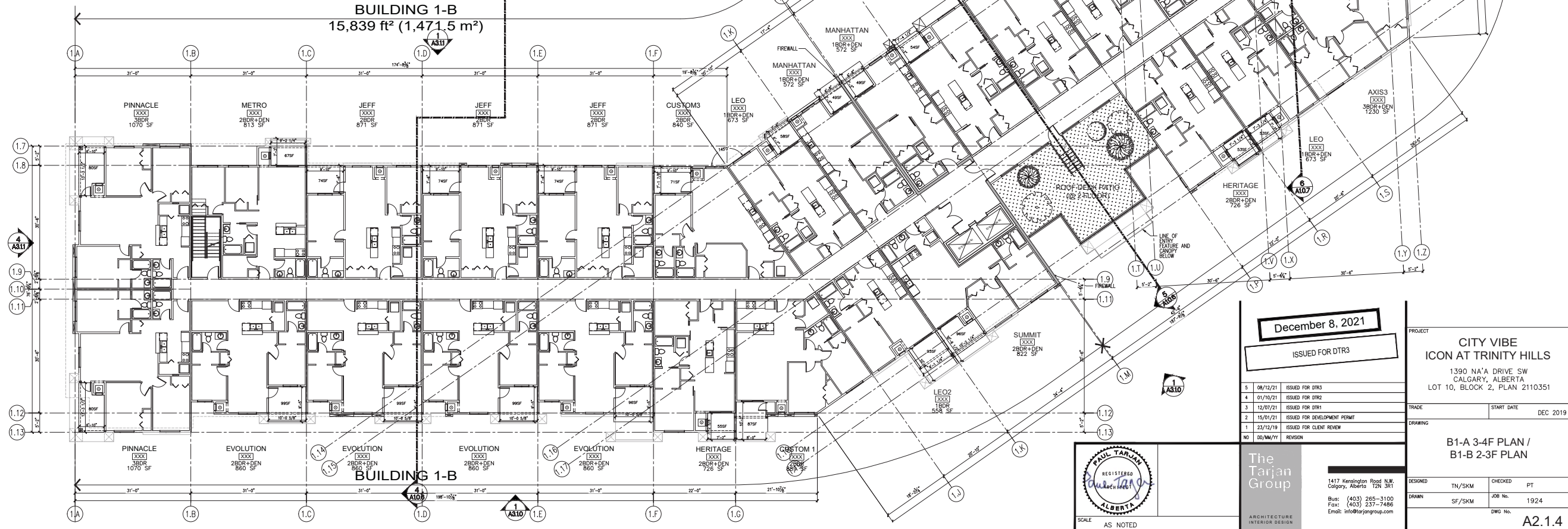
UNIT TYPE RATIO	30%	55%	15%	100%
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1 B1-A 3-4F PLAN / B1-B 2-3F PLAN (Area = 31,056 ft<sup>2</sup> / 2,885.2 m<sup>2</sup>)  
A2.1.4 3/32"

BUILDING 1-B  
15,839 ft<sup>2</sup> (1,471.5 m<sup>2</sup>)

BUILDING 1-A  
15,217 ft<sup>2</sup> (1,413.7 m<sup>2</sup>)



December 8, 2021  
ISSUED FOR DTR3

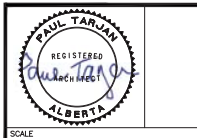
5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW

PROJECT  
**CITY VIBE  
ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE  
START DATE  
DEC 2019

DRAWING  
**B1-A 3-4F PLAN /  
B1-B 2-3F PLAN**

DESIGNED  
TH/SKM  
CHECKED  
PT  
DRAWN  
SF/SKM  
JOB No.  
1924  
DWG No.



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ARCHITECTURE  
INTERIOR DESIGN

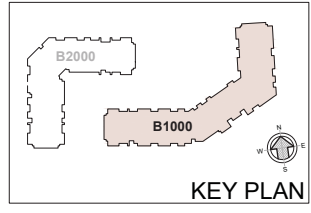
SCALE  
AS NOTED

A2.1.4

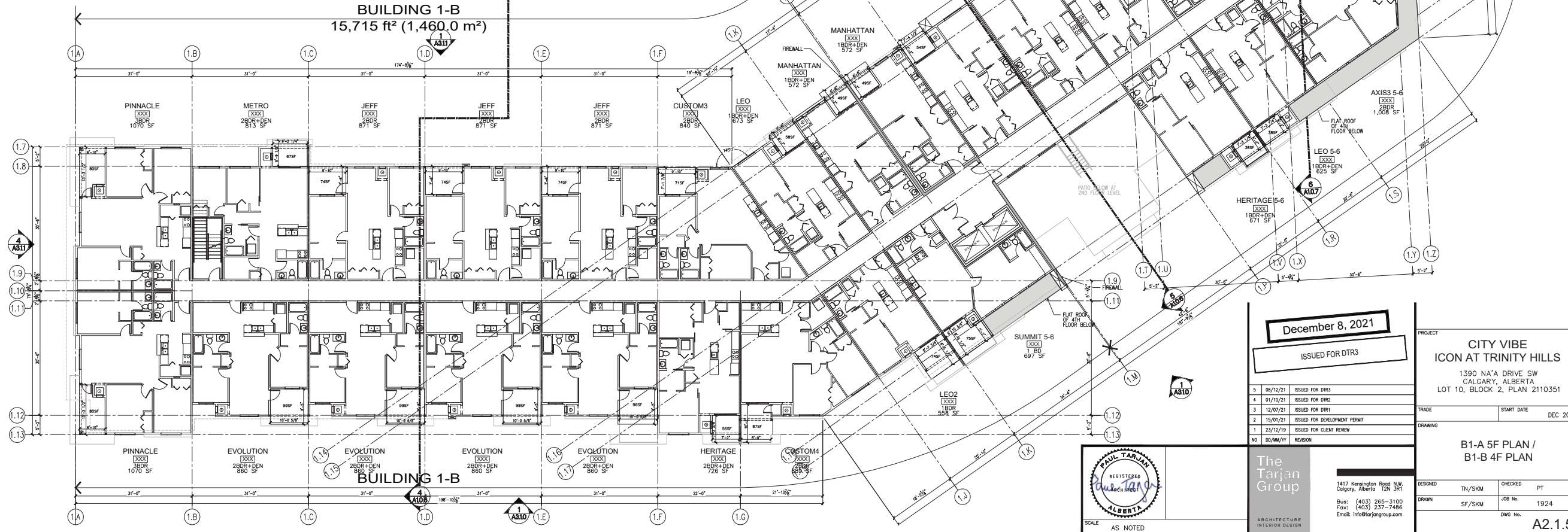
DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

		UNIT COUNT BUILDING 1000																				TOTAL			TOTAL UNITS				
FLOORS	B1B/B1A	PINNACLE 3BD (1058 HZ)	PINNACLE 6 2BD (939 HZ)	METRO 2BD (808 HZ)	EVOLUTION 2BD (849 HZ)	EVOLUTION 6 2BD (812 HZ)	INNOVATION 2BD (695 HZ)	JEFF 2BD (870 F1Z)	HERITAGE 2BD (726 HZ)	HERITAGE 5-6 1BD (671 HZ)	LEO 1BD (673 HZ)	LEO DBL 1BD (933 HZ)	LEO 5-6 1BD (625 HZ)	LEO2 1BD (557 HZ)	MANHATTAN 1BD (559 HZ)	CUSTOM1 2BD (1239 HZ)	CUSTOM2 3BD (1239 HZ)	CUSTOM3 2BD (840 HZ)	CUSTOM4 2BD (889 HZ)	CUSTOM4-6 2BD (836 HZ)	AXIS3 3BD (1066 HZ)	AXIS3 5-6 2BD (1008 HZ)	RADIUS3 2BD (1028 HZ)	SUMMIT 2BD (818 HZ)	SUMMIT 5-6 2BD (696 HZ)	TOTAL 1BD	TOTAL 2BD	TOTAL 3BD	TOTAL UNITS
-/MF	2 (3BD)	0	0	0	1 (2BD+DEN)	0	1 (2BD)	0	4 (2BD+DEN)	0	4 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	0	0	0	1 (3BD+DEN)	0	0	0	0	0	6	8	3	17
MF/2F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	1 (2BD)	3 (2BD)	6 (2BD+DEN)	0	1 (1BD+DEN)	1 (1BD+DEN)	0	0	1 (1BD+DEN)	0	0	1 (2BD)	1 (2BD+DEN)	0	1 (3BD+DEN)	0	0	0	0	0	9	20	5	34
2F/3F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	1 (1BD+DEN)	1 (1BD+DEN)	0	0	1 (1BD+DEN)	0	0	1 (2BD)	1 (2BD+DEN)	0	1 (3BD+DEN)	0	0	0	0	0	9	20	5	34
3F/4F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	1 (1BD+DEN)	1 (1BD+DEN)	0	0	1 (1BD+DEN)	0	0	1 (2BD)	1 (2BD+DEN)	0	1 (3BD+DEN)	0	0	0	0	0	9	20	5	34
4F/5F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	1 (1BD+DEN)	1 (1BD+DEN)	0	0	1 (1BD+DEN)	0	0	1 (2BD)	1 (2BD+DEN)	0	1 (3BD+DEN)	0	0	0	0	1	11	19	4	34
5F/6F	3 (3BD)	1 (3BD)	2 (2BD+DEN)	1 (2BD+DEN)	1 (2BD)	0	3 (2BD)	4 (2BD+DEN)	1 (1BD+DEN)	2 (1BD+DEN)	0	1 (1BD)	1 (1BD)	1 (1BD)	1 (1BD+DEN)	1 (3BD+DEN)	1 (3BD+DEN)	1 (2BD)	0	1 (2BD+DEN)	1 (2BD+DEN)	0	0	0	1	12	15	6	33
TOTAL	21 (3BD)	1 (3BD)	9 (2BD+DEN)	22 (2BD+DEN)	1 (2BD)	2 (2BD)	15 (2BD)	31 (2BD+DEN)	1 (1BD+DEN)	3 (1BD+DEN)	3 (1BD+DEN)	2 (1BD+DEN)	2 (1BD)	1 (1BD)	12 (1BD+DEN)	1 (3BD+DEN)	1 (3BD+DEN)	1 (1BD+DEN)	1 (1BD+DEN)	1 (1BD+DEN)	4 (3BD+DEN)	2 (2BD+DEN)	0 (1BD)	2 (1BD)	56	102	28	186	

UNIT TYPE RATIO	30%	55%	15%	100%
-----------------	-----	-----	-----	------



1 B1-A 5F PLAN / B1-B 4F PLAN (Area = 30,627 ft<sup>2</sup> / 2,845.3 m<sup>2</sup>)  
A2.1.5 3/32" = 1'-0"



December 8, 2021  
ISSUED FOR DTR3

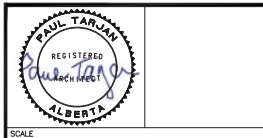
5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW

PROJECT  
**CITY VIBE  
ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE  
START DATE  
DEC 2019

DRAWING  
**B1-A 5F PLAN /  
B1-B 4F PLAN**

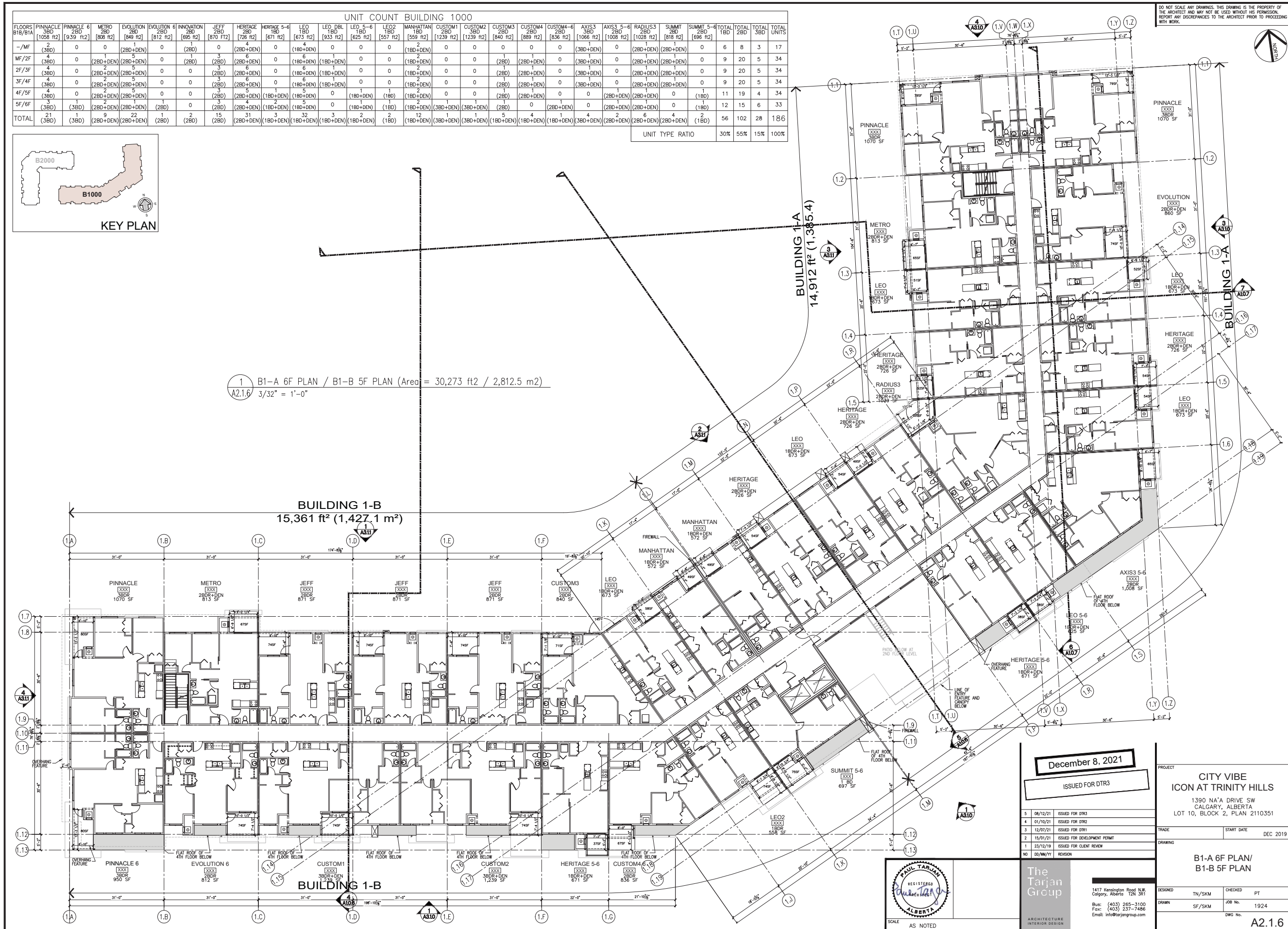
DESIGNED  
TH/SKM  
CHECKED  
PT  
DRAWN  
SF/SKM  
JOB No.  
1924  
DWG No.  
A2.1.5



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SCALE  
AS NOTED

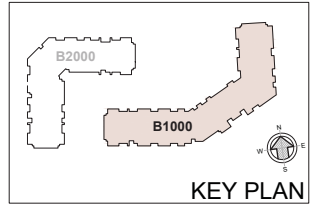




**UNIT COUNT BUILDING 1000**

FLOORS	PINNACLE 3BD 1058 FT <sup>2</sup>	PINNACLE 6 2BD 939 FT <sup>2</sup>	METRO 2BD 808 FT <sup>2</sup>	EVOLUTION 2BD 849 FT <sup>2</sup>	EVOLUTION 6 2BD 812 FT <sup>2</sup>	INNOVATION 2BD 695 FT <sup>2</sup>	JEFF 2BD 870 FT <sup>2</sup>	HERITAGE 2BD 726 FT <sup>2</sup>	HERITAGE 5-6 1BD 671 FT <sup>2</sup>	LEO 1BD 673 FT <sup>2</sup>	LEO DBL 1BD 933 FT <sup>2</sup>	LEO 5-6 1BD 625 FT <sup>2</sup>	LEO2 1BD 557 FT <sup>2</sup>	MANHATTAN 1BD 559 FT <sup>2</sup>	CUSTOM1 2BD 1239 FT <sup>2</sup>	CUSTOM2 3BD 1239 FT <sup>2</sup>	CUSTOM3 2BD 840 FT <sup>2</sup>	CUSTOM4 2BD 889 FT <sup>2</sup>	CUSTOM4-6 2BD 836 FT <sup>2</sup>	AXIS3 3BD 1066 FT <sup>2</sup>	AXIS3 5-6 2BD 1008 FT <sup>2</sup>	RADIUS3 2BD 1028 FT <sup>2</sup>	SUMMIT 2BD 818 FT <sup>2</sup>	SUMMIT 5-6 2BD 696 FT <sup>2</sup>	TOTAL 1BD	TOTAL 2BD	TOTAL 3BD	TOTAL UNITS
-/MF	2 (3BD)	0	0	1 (2BD+DEN)	0	1 (2BD)	0	4 (2BD+DEN)	0	4 (1BD+DEN)	0	0	0	2 (1BD+DEN)	0	0	0	0	0	1 (3BD+DEN)	0	1 (2BD+DEN)	0	0	6	8	3	17
MF/2F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	1 (2BD)	3 (2BD)	6 (2BD+DEN)	0	6 (1BD+DEN)	1 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	2 (2BD)	2 (2BD+DEN)	0	3 (3BD+DEN)	0	2 (2BD+DEN)	2 (2BD+DEN)	0	9	20	5	34
2F/3F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	6 (1BD+DEN)	1 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	2 (2BD)	2 (2BD+DEN)	0	3 (3BD+DEN)	0	2 (2BD+DEN)	2 (2BD+DEN)	0	9	20	5	34
3F/4F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	6 (1BD+DEN)	1 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	2 (2BD)	2 (2BD+DEN)	0	3 (3BD+DEN)	0	2 (2BD+DEN)	2 (2BD+DEN)	0	9	20	5	34
4F/5F	4 (3BD)	0	2 (2BD+DEN)	5 (2BD+DEN)	0	0	3 (2BD)	6 (2BD+DEN)	0	6 (1BD+DEN)	1 (1BD+DEN)	0	0	2 (1BD+DEN)	0	0	2 (2BD)	2 (2BD+DEN)	0	3 (3BD+DEN)	0	2 (2BD+DEN)	2 (2BD+DEN)	0	11	19	4	34
5F/6F	3 (3BD)	1 (3BD)	2 (2BD+DEN)	1 (2BD+DEN)	2 (2BD)	0	2 (2BD)	3 (2BD+DEN)	2 (2BD+DEN)	3 (1BD+DEN)	0	1 (1BD+DEN)	1 (1BD)	2 (1BD+DEN)	1 (1BD+DEN)	1 (3BD+DEN)	1 (3BD+DEN)	2 (2BD)	0	2 (2BD+DEN)	1 (1BD)	0	0	1	12	15	6	33
TOTAL	21 (3BD)	1 (3BD)	9 (2BD+DEN)	22 (2BD+DEN)	2 (2BD)	2 (2BD)	15 (2BD)	31 (2BD+DEN)	18 (1BD+DEN)	32 (1BD+DEN)	3 (1BD+DEN)	2 (1BD+DEN)	2 (1BD)	12 (1BD+DEN)	3 (3BD+DEN)	3 (3BD+DEN)	5 (1BD+DEN)	4 (1BD+DEN)	0	4 (3BD+DEN)	2 (2BD+DEN)	6 (2BD+DEN)	4 (2BD+DEN)	2 (1BD)	56	102	28	186

**UNIT TYPE RATIO**  
30% 55% 15% 100%



1 B1-A 6F PLAN / B1-B 5F PLAN (Area = 30,273 ft<sup>2</sup> / 2,812.5 m<sup>2</sup>)  
A2.1.6 3/32" = 1'-0"

**BUILDING 1-B**  
15,361 ft<sup>2</sup> (1,427.1 m<sup>2</sup>)

**BUILDING 1-A**  
14,912 ft<sup>2</sup> (1,385.4)

December 8, 2021  
ISSUED FOR DTR3

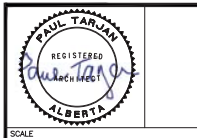
5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE: \_\_\_\_\_ START DATE: DEC 2019

**B1-A 6F PLAN/  
B1-B 5F PLAN**

DESIGNED: TH/SKM CHECKED: PT  
DRAWN: SF/SKM JOB No. 1924  
DWG No. \_\_\_\_\_



**The Tarjan Group**

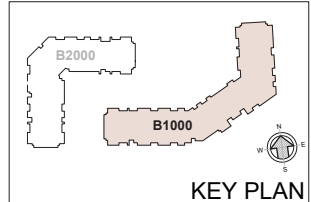
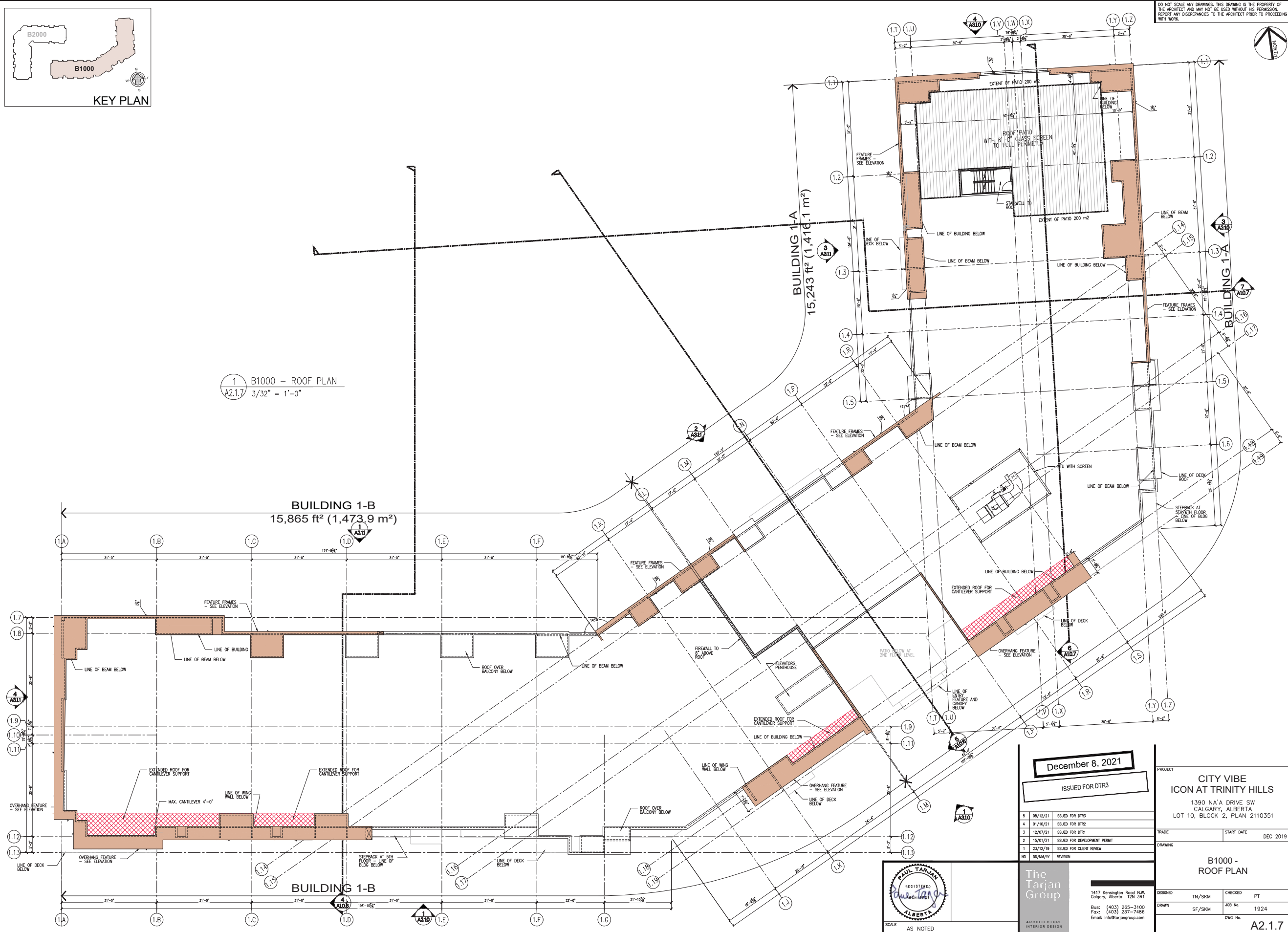
1417 Kensington Road N.W.  
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SCALE: AS NOTED

A2.1.6



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1 B1000 - ROOF PLAN  
A2.1.7 3/32" = 1'-0"

December 8, 2021  
ISSUED FOR DTR3

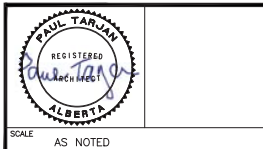
5	08/12/21	ISSUED FOR DIR3
4	01/10/21	ISSUED FOR DIR2
3	12/07/21	ISSUED FOR DIR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

PROJECT  
**CITY VIBE  
ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

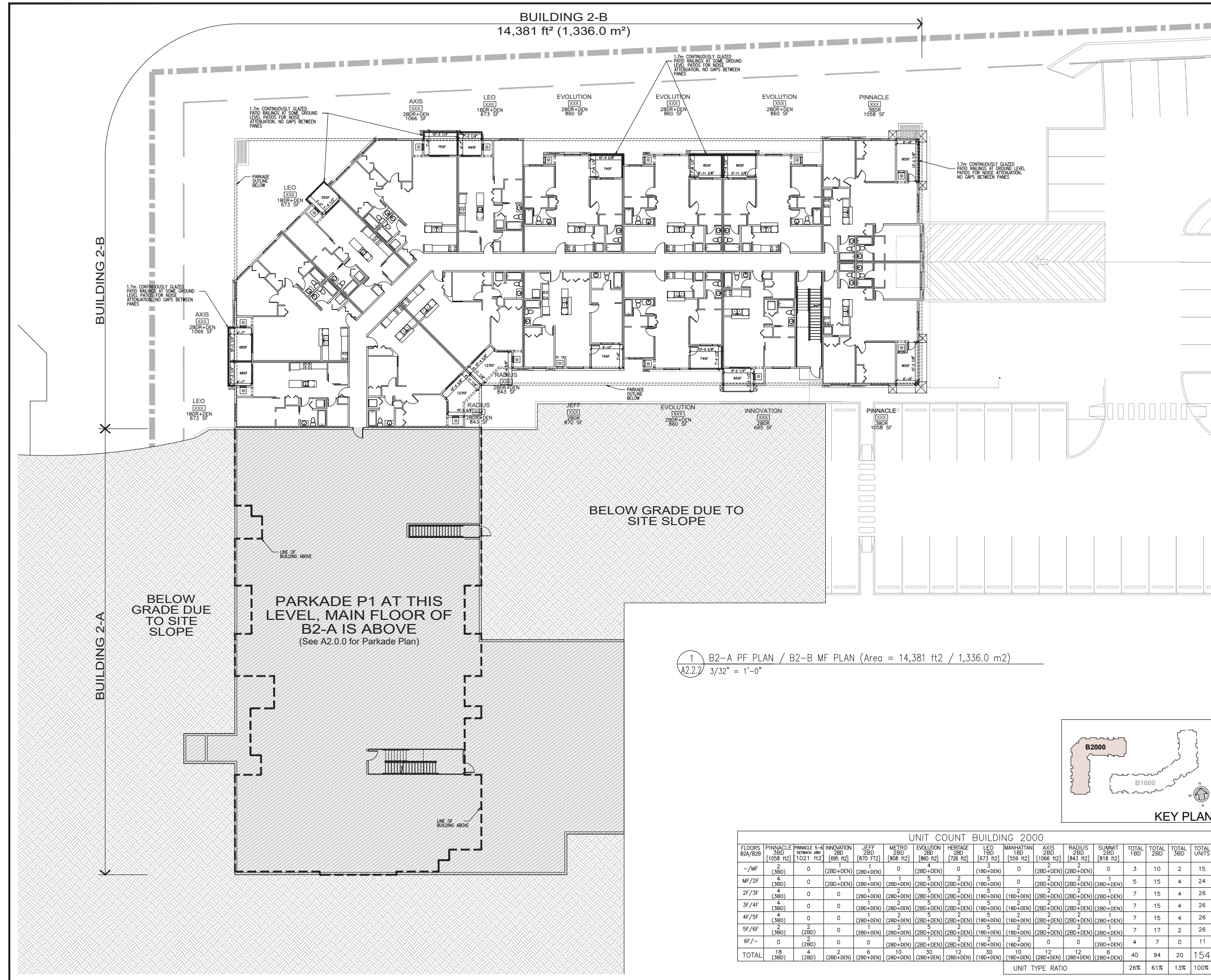
TRADE  
START DATE  
DEC 2019

DRAWING  
**B1000 -  
ROOF PLAN**

DESIGNED  
TH/SKM  
CHECKED  
PT  
DRAWN  
SF/SKM  
JOB No.  
1924  
DWG No.  
A2.1.7



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ARCHITECTURE  
INTERIOR DESIGN



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December 8, 2021

ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

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SCALE AS NOTED



**CITY VIBE**  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

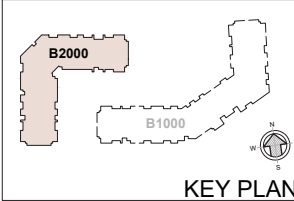
TRADE: START DATE: DEC 2019

DRAWING: B2-A PF PLAN / B2-B MF PLAN

DESIGNED: TN/SKM CHECKED: PT  
DRAWN: SF/SKM JOB No: 1924

DWG No. A2.2.2

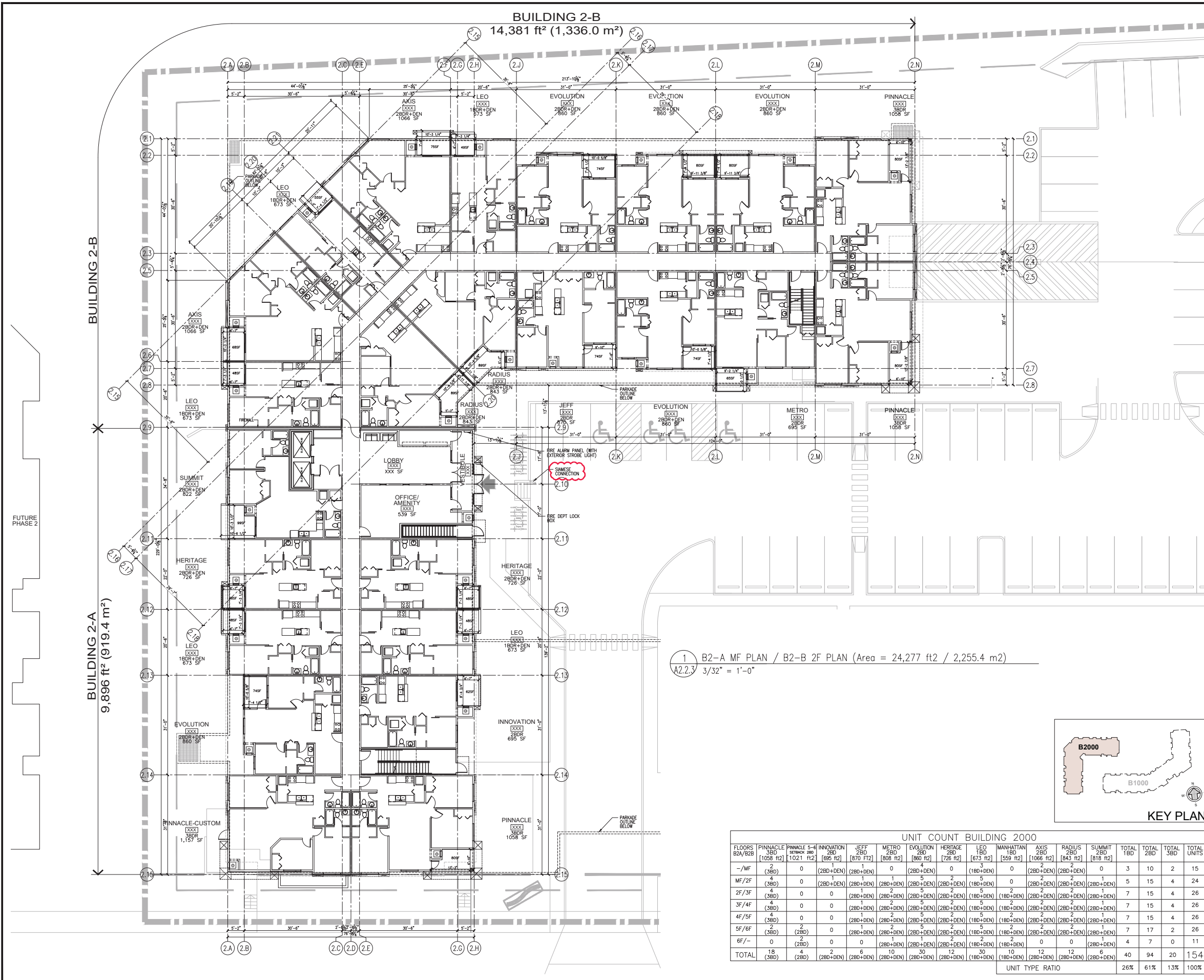
1 B2-A PF PLAN / B2-B MF PLAN (Area = 14,381 ft2 / 1,336.0 m2)  
A2.2.2 3/32" = 1'-0"



UNIT COUNT BUILDING 2000														TOTAL	TOTAL	TOTAL	TOTAL
FLOORS	Pinnacle	Pinnacle 5-6	Innovation	Jeff	Metro	Evolution	Heritage	LEO	Manhattan	Axis	Radius	Summit	TOTAL	TOTAL	TOTAL	TOTAL	
B2A/B2B	[1058 ft2]	[1021 ft2]	[695 ft2]	[870 ft2]	[808 ft2]	[726 ft2]	[673 ft2]	[559 ft2]	[843 ft2]	[818 ft2]			3BD	2BD	3BD	UNITS	
-/MF	2 (3BD)	0 (2BD+DEN)	1 (2BD+DEN)	0	4 (2BD+DEN)	0	3 (1BD+DEN)	0	2 (2BD+DEN)	2 (2BD+DEN)	0	3	10	2	15		
MF/2F	4 (3BD)	0 (2BD+DEN)	1 (2BD+DEN)	1 (2BD+DEN)	5 (2BD+DEN)	2 (2BD+DEN)	1 (1BD+DEN)	0	2 (2BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	5	15	4	24		
2F/3F	4 (3BD)	0	1 (2BD+DEN)	2 (2BD+DEN)	5 (2BD+DEN)	2 (2BD+DEN)	2 (1BD+DEN)	2 (1BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	7	15	4	26		
3F/4F	4 (3BD)	0	1 (2BD+DEN)	2 (2BD+DEN)	5 (2BD+DEN)	2 (2BD+DEN)	2 (1BD+DEN)	2 (1BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	7	15	4	26		
4F/5F	4 (3BD)	0	1 (2BD+DEN)	2 (2BD+DEN)	5 (2BD+DEN)	2 (2BD+DEN)	2 (1BD+DEN)	2 (1BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	7	15	4	26		
5F/6F	2 (3BD)	0	1 (2BD+DEN)	2 (2BD+DEN)	5 (2BD+DEN)	2 (2BD+DEN)	2 (1BD+DEN)	2 (1BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	7	17	2	26		
6F/-	0 (2BD)	0	0 (2BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	2 (2BD+DEN)	2 (1BD+DEN)	2 (1BD+DEN)	0	0	0	4	7	0	11		
<b>TOTAL</b>	<b>18 (3BD)</b>	<b>4 (2BD)</b>	<b>2 (2BD+DEN)</b>	<b>6 (2BD+DEN)</b>	<b>10 (2BD+DEN)</b>	<b>30 (2BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>30 (1BD+DEN)</b>	<b>10 (1BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>6 (2BD+DEN)</b>	<b>40</b>	<b>94</b>	<b>20</b>	<b>154</b>	
	UNIT TYPE RATIO												26%	61%	13%	100%	



DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



December 8, 2021

ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/01/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

**The Tarjan Group**  
1417 Kensington Road N.W.  
Calgary, Alberta T2N 3R1  
Bus: (403) 265-3100  
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Email: info@tarjanguroup.com



SCALE AS NOTED



**CITY VIBE**  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

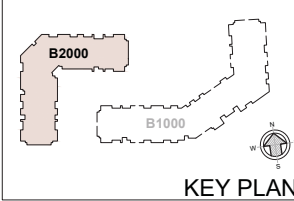
TRADE: START DATE: DEC 2019

**B2-A MF PLAN / B2-B 2F PLAN**

DESIGNED: TN/SKM CHECKED: PT  
DRAWN: SF/SKM JOB No: 1924

DWG No. **A2.2.3**

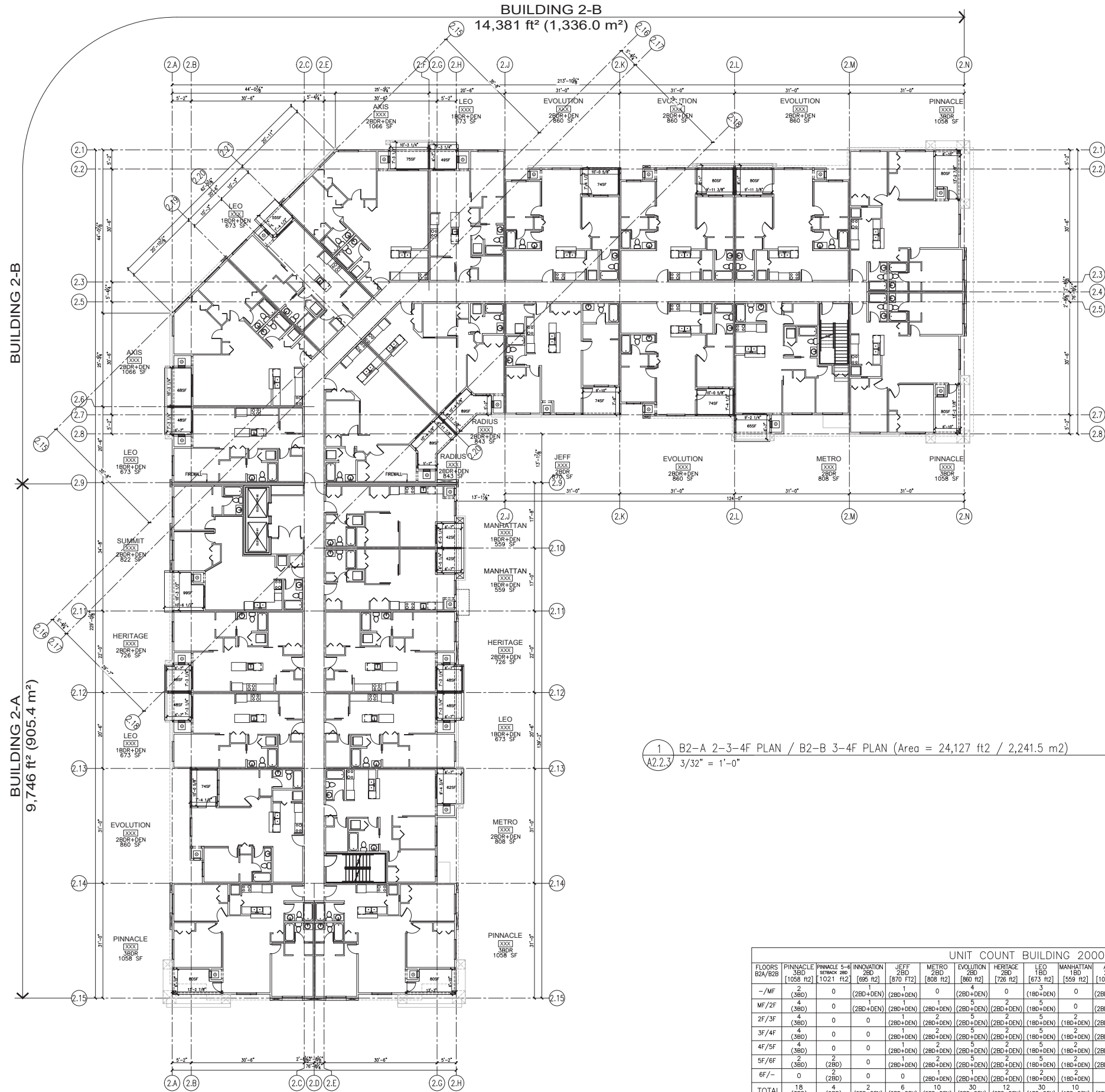
1 B2-A MF PLAN / B2-B 2F PLAN (Area = 24,277 ft<sup>2</sup> / 2,255.4 m<sup>2</sup>)  
A2.2.3 3/32" = 1'-0"



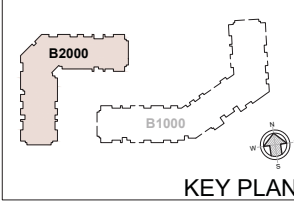
UNIT COUNT BUILDING 2000														TOTAL	TOTAL	TOTAL	TOTAL
FLOORS	Pinnacle	Pinnacle 5-6	Innovation	JEFF	METRO	Evolution	Heritage	LEO	Manhattan	Axis	Radius	Summit	TOTAL	TOTAL	TOTAL	TOTAL	
B2A/B2B	(1058 U2)	(1021 U2)	(695 U2)	(870 FT2)	(808 U2)	(860 U2)	(726 U2)	(843 U2)	(559 U2)	(1066 U2)	(843 U2)	(818 U2)	1BD	2BD	3BD	UNITS	
-/MF	2 (3BD)	0	(2BD+DEN)	(2BD+DEN)	0	(2BD+DEN)	0	(1BD+DEN)	0	(2BD+DEN)	(2BD+DEN)	0	3	10	2	15	
MF/2F	4 (3BD)	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	15	4	24	
2F/3F	(3BD)	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
3F/4F	4 (3BD)	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
4F/5F	4 (3BD)	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
5F/6F	2 (3BD)	2 (2BD)	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	17	2	26	
6F/-	0	2 (2BD)	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	4	7	0	11	
<b>TOTAL</b>	<b>18 (3BD)</b>	<b>4 (2BD)</b>	<b>2 (2BD+DEN)</b>	<b>6 (2BD+DEN)</b>	<b>10 (2BD+DEN)</b>	<b>30 (2BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>30 (1BD+DEN)</b>	<b>10 (1BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>6 (2BD+DEN)</b>	<b>40</b>	<b>94</b>	<b>20</b>	<b>154</b>	
													UNIT TYPE RATIO				
													26%	61%	13%	100%	



DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



1 B2-A 2-3-4F PLAN / B2-B 3-4F PLAN (Area = 24,127 ft<sup>2</sup> / 2,241.5 m<sup>2</sup>)  
A2.2.3 3/32" = 1'-0"



UNIT COUNT BUILDING 2000																
FLOORS	Pinnacle	Pinnacle 5-6	Innovation	JEFF	METRO	EVOLUTION	HERITAGE	LEO	MANHATTAN	AXIS	RADIUS	SUMMIT	TOTAL	TOTAL	TOTAL	TOTAL
B2A/B2B	3BD	2BD	2BD	2BD	2BD	2BD	2BD	1BD	1BD	2BD	2BD	2BD	1BD	2BD	3BD	UNITS
-/MF	2	0	0	0	0	0	0	0	0	0	0	0	3	10	2	15
MF/2F	4	0	0	0	0	0	0	0	0	0	0	0	5	15	4	24
2F/3F	4	0	0	0	0	0	0	0	0	0	0	0	7	15	4	26
3F/4F	4	0	0	0	0	0	0	0	0	0	0	0	7	15	4	26
4F/5F	4	0	0	0	0	0	0	0	0	0	0	0	7	15	4	26
5F/6F	2	2	0	0	0	0	0	0	0	0	0	0	7	17	2	26
6F/-	0	0	0	0	0	0	0	0	0	0	0	0	4	7	0	11
<b>TOTAL</b>	<b>18</b>	<b>4</b>	<b>2</b>	<b>6</b>	<b>10</b>	<b>30</b>	<b>12</b>	<b>30</b>	<b>10</b>	<b>12</b>	<b>12</b>	<b>6</b>	<b>40</b>	<b>94</b>	<b>20</b>	<b>154</b>
	UNIT TYPE RATIO															
	26% 61% 13% 100%															

December 8, 2021  
ISSUED FOR DTR3

NO	DATE	REVISION
5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/01/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW

**The Tarjan Group**  
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Email: info@tarjangurop.com



SCALE AS NOTED



**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

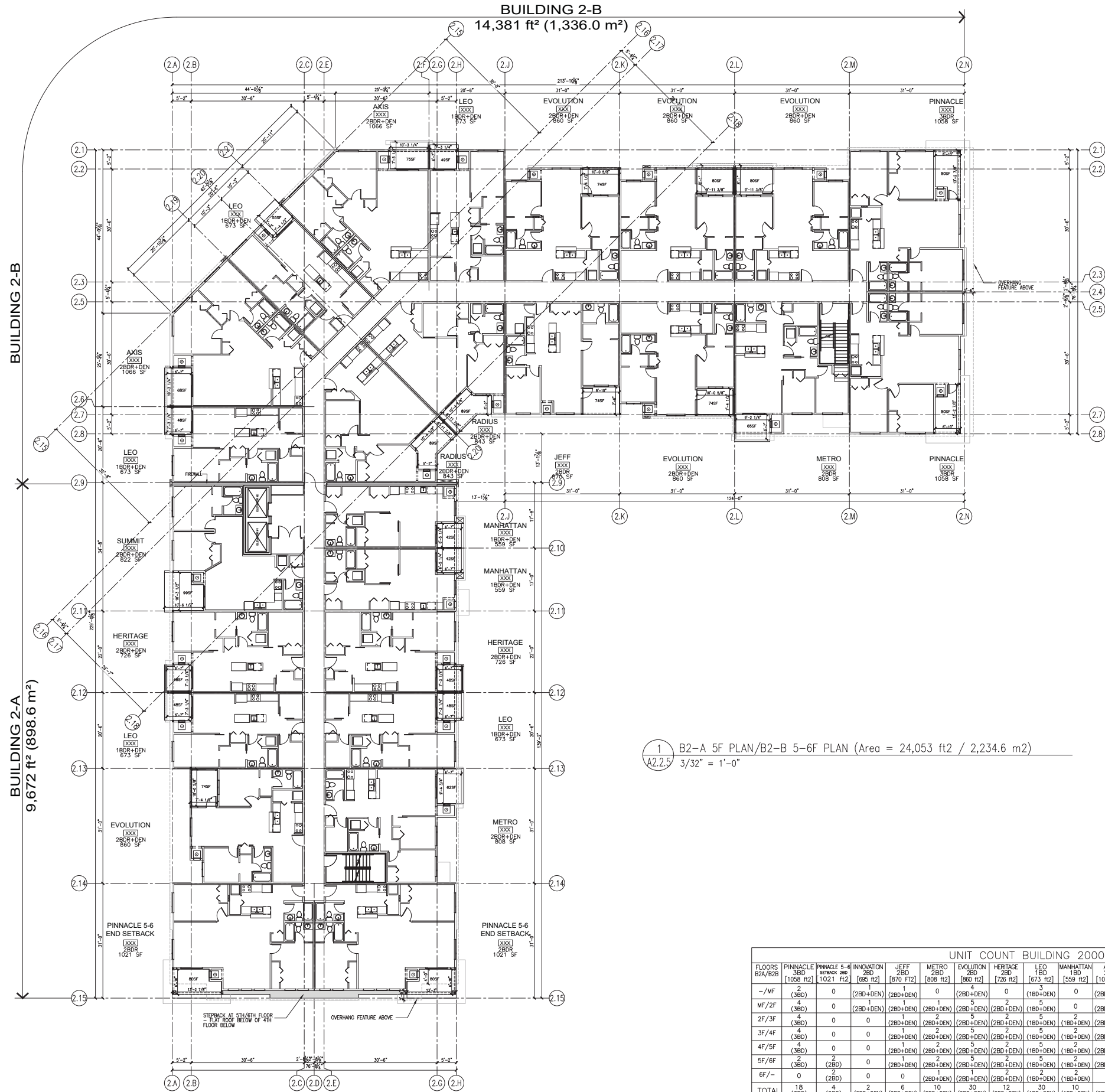
TRADE START DATE DEC 2019

**B2-A 2-3-4F PLAN /**  
**B2-B 3-4F PLAN**

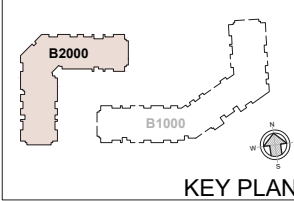
DESIGNED TN/SKM CHECKED PT  
DRAWN SF/SKM JOB No. 1924

DWG No. **A2.2.4**

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1 B2-A 5F PLAN/B2-B 5-6F PLAN (Area = 24,053 ft2 / 2,234.6 m2)  
A2.2.5 3/32" = 1'-0"



UNIT COUNT BUILDING 2000																	
FLOORS	Pinnacle	Pinnacle 5-6	INNOVATION	JEFF	METRO	EVOLUTION	HERITAGE	LEO	MANHATTAN	AXIS	RADIUS	SUMMIT	TOTAL	TOTAL	TOTAL	TOTAL	
B2A/B2B	3BD	2BD	2BD	2BD	2BD	2BD	2BD	1BD	1BD	2BD	2BD	2BD	1BD	2BD	3BD	UNITS	
-/MF	2	0	(2BD+DEN)	(2BD+DEN)	0	(2BD+DEN)	0	(1BD+DEN)	0	(2BD+DEN)	(2BD+DEN)	0	3	10	2	15	
MF/2F	4	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	15	4	24	
2F/3F	4	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
3F/4F	4	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
4F/5F	4	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
5F/6F	2	2	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	17	2	26	
6F/-	0	2	0	0	0	(2BD+DEN)	(2BD+DEN)	2	0	0	0	0	4	7	0	11	
<b>TOTAL</b>	<b>18</b>	<b>4</b>	<b>2</b>	<b>6</b>	<b>10</b>	<b>30</b>	<b>12</b>	<b>30</b>	<b>10</b>	<b>12</b>	<b>12</b>	<b>6</b>	<b>40</b>	<b>94</b>	<b>20</b>	<b>154</b>	
	(3BD)	(2BD)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	(1BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)		26%	61%	13%	100%

December 8, 2021  
ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/01/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

**The Tarjan Group**  
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Calgary, Alberta T2N 3R1  
Bus: (403) 265-3100  
Fax: (403) 237-7486  
Email: info@tarjangurop.com



SCALE AS NOTED



**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE: START DATE: DEC 2019

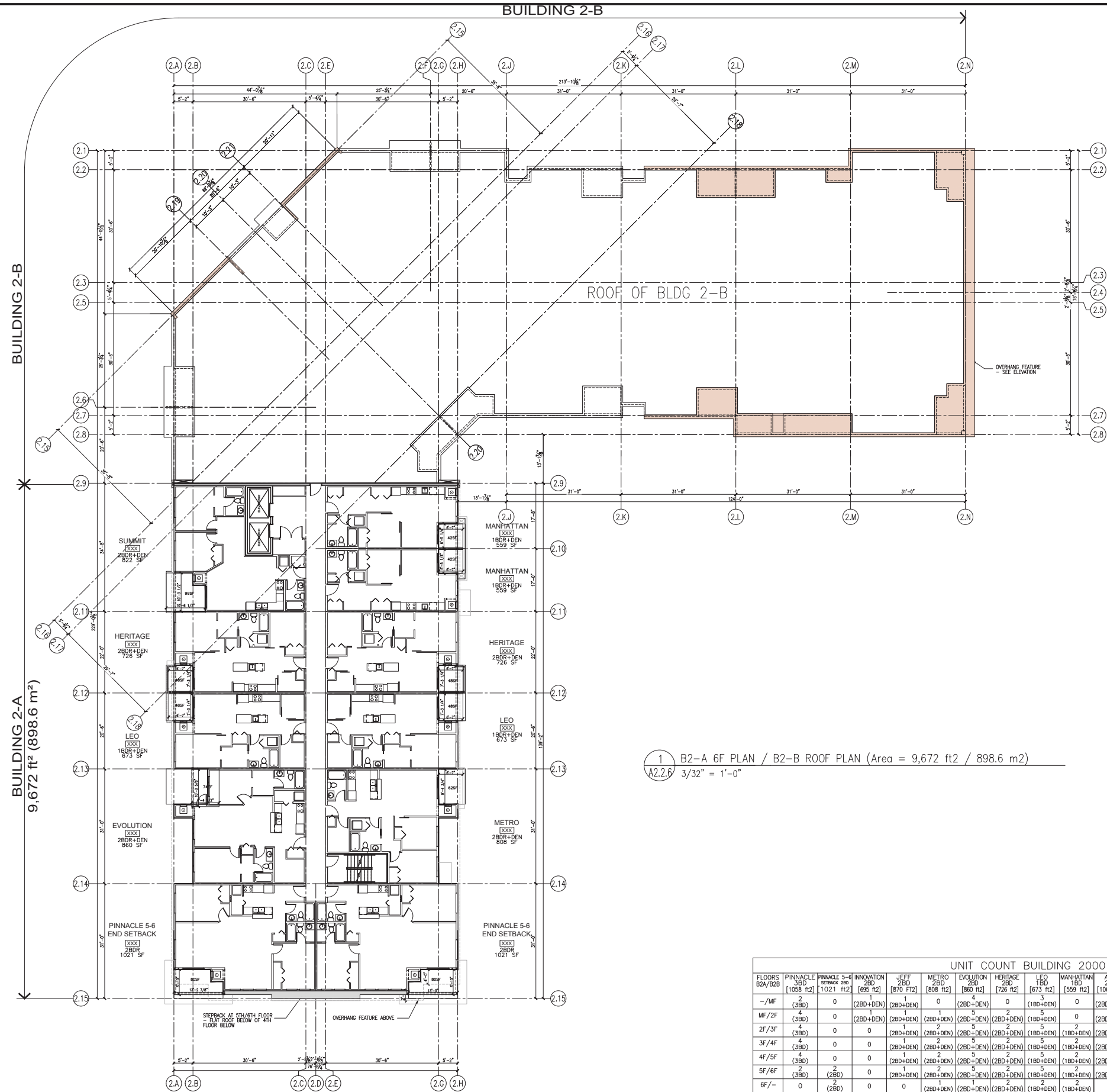
**B2-A 5F PLAN / B2-B**  
**5-6F PLAN**

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924

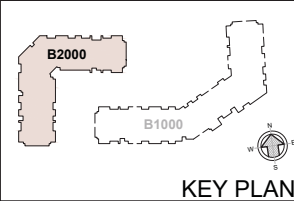
DWG No. **A2.2.5**



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1 B2-A 6F PLAN / B2-B ROOF PLAN (Area = 9,672 ft<sup>2</sup> / 898.6 m<sup>2</sup>)  
A2.2.6 3/32" = 1'-0"



UNIT COUNT BUILDING 2000																	
FLOORS	PINNACLE	PINNACLE 5-6	INNOVATION	JEFF	METRO	EVOLUTION	HERITAGE	LEO	MANHATTAN	AXIS	RADIUS	SUMMIT	TOTAL	TOTAL	TOTAL	TOTAL	
B2A/B2B	3BD	5BD	2BD	2BD	2BD	2BD	2BD	1BD	1BD	2BD	2BD	2BD	1BD	2BD	3BD	3BD	
-/MF	2	0	(2BD+DEN)	(2BD+DEN)	0	4	0	3	0	2	2	0	3	10	2	15	
MF/2F	4	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	15	4	24	
2F/3F	(3BD)	0	0	(2BD+DEN)	(2BD+DEN)	5	2	5	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
3F/4F	(3BD)	0	0	(2BD+DEN)	(2BD+DEN)	5	2	5	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
4F/5F	(3BD)	0	0	(2BD+DEN)	(2BD+DEN)	5	2	5	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
5F/6F	2	2	0	(2BD+DEN)	(2BD+DEN)	5	2	5	2	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	17	2	26	
6F/-	0	2	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	(1BD+DEN)	0	0	(2BD+DEN)	4	7	0	11	
TOTAL	18	4	2	6	10	30	12	30	10	12	12	6	40	94	20	154	
	(3BD)	(2BD)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	(1BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)					
	UNIT TYPE RATIO													26%	61%	13%	100%

December 8, 2021  
ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/NA/YY	REVISION

The Tarjan Group  
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Calgary, Alberta T2N 3R1  
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Fax: (403) 237-7486  
Email: info@tarjangurop.com



CITY VIBE DEVELOPMENTS INC.

CITY VIBE  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

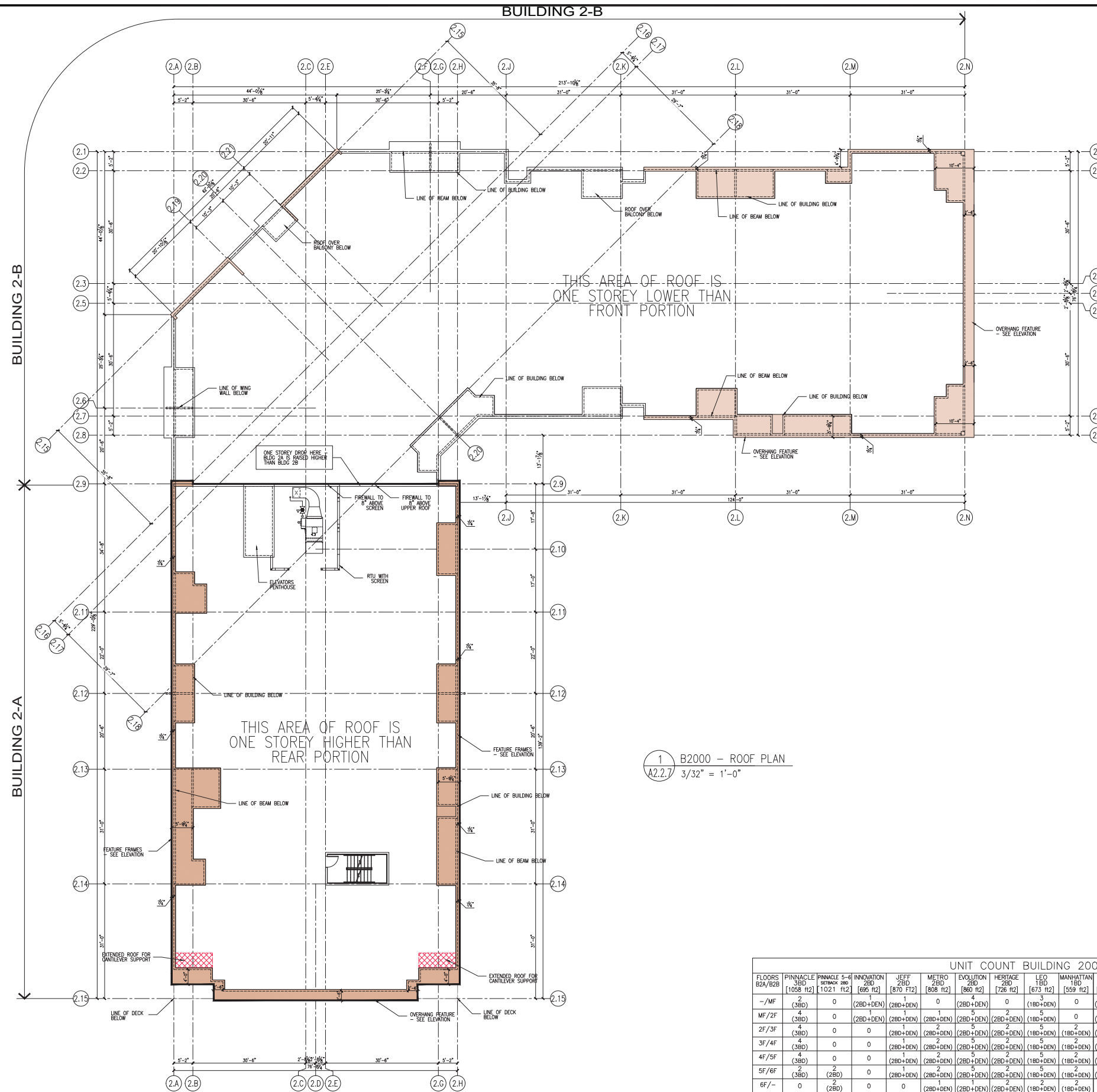
TRADE: START DATE: DEC 2019

B2-A 6F PLAN / B2-B  
ROOF PLAN

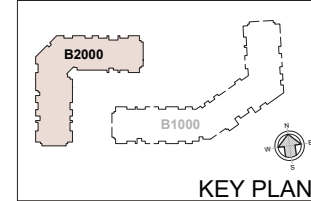
DESIGNED: TN/SKM CHECKED: PT  
DRAWN: SF/SKM JOB No: 1924

DWG No. A2.2.6

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1 B2000 - ROOF PLAN  
A2.2.7 3/32" = 1'-0"



UNIT COUNT BUILDING 2000														TOTAL 1BD	TOTAL 2BD	TOTAL 3BD	TOTAL UNITS
FLOORS	PINNACLE	PINNACLE 5-6	INNOVATION	JEFF	METRO	EVOLUTION	HERITAGE	LEO	MANHATTAN	AXIS	RADIUS	SUMMIT	TOTAL 1BD	TOTAL 2BD	TOTAL 3BD	TOTAL UNITS	
	3BD	2BD	2BD	2BD	2BD	2BD	2BD	1BD	1BD	2BD	2BD	2BD					
-/MF	2 (3BD)	0	(2BD+DEN)	(2BD+DEN)	0	4 (2BD+DEN)	0	3 (1BD+DEN)	0	(2BD+DEN)	(2BD+DEN)	0	3	10	2	15	
MF/2F	4 (3BD)	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	5	15	4	24	
2F/3F	(3BD)	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	(1BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
3F/4F	(3BD)	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	(1BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
4F/5F	(3BD)	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	(1BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	15	4	26	
5F/6F	2 (3BD)	2 (2BD)	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	(1BD+DEN)	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	7	17	2	26	
6F/-	0	2 (2BD)	0	0	(2BD+DEN)	(2BD+DEN)	(2BD+DEN)	(1BD+DEN)	(1BD+DEN)	0	0	(2BD+DEN)	4	7	0	11	
<b>TOTAL</b>	<b>18 (3BD)</b>	<b>4 (2BD)</b>	<b>2 (2BD+DEN)</b>	<b>6 (2BD+DEN)</b>	<b>10 (2BD+DEN)</b>	<b>30 (2BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>30 (1BD+DEN)</b>	<b>10 (1BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>12 (2BD+DEN)</b>	<b>6 (2BD+DEN)</b>	<b>40</b>	<b>94</b>	<b>20</b>	<b>154</b>	
													UNIT TYPE RATIO	26%	61%	13%	100%

December 8, 2021  
ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

**The Tarjan Group**  
ARCHITECTURE  
INTERIOR DESIGN

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Fax: (403) 237-7486  
Email: info@tarjanguip.com

**PAUL TARIAN**  
REGISTERED ARCHITECT  
ALBERTA

SCALE AS NOTED

**CITYVIBE DEVELOPMENTS INC.**

**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

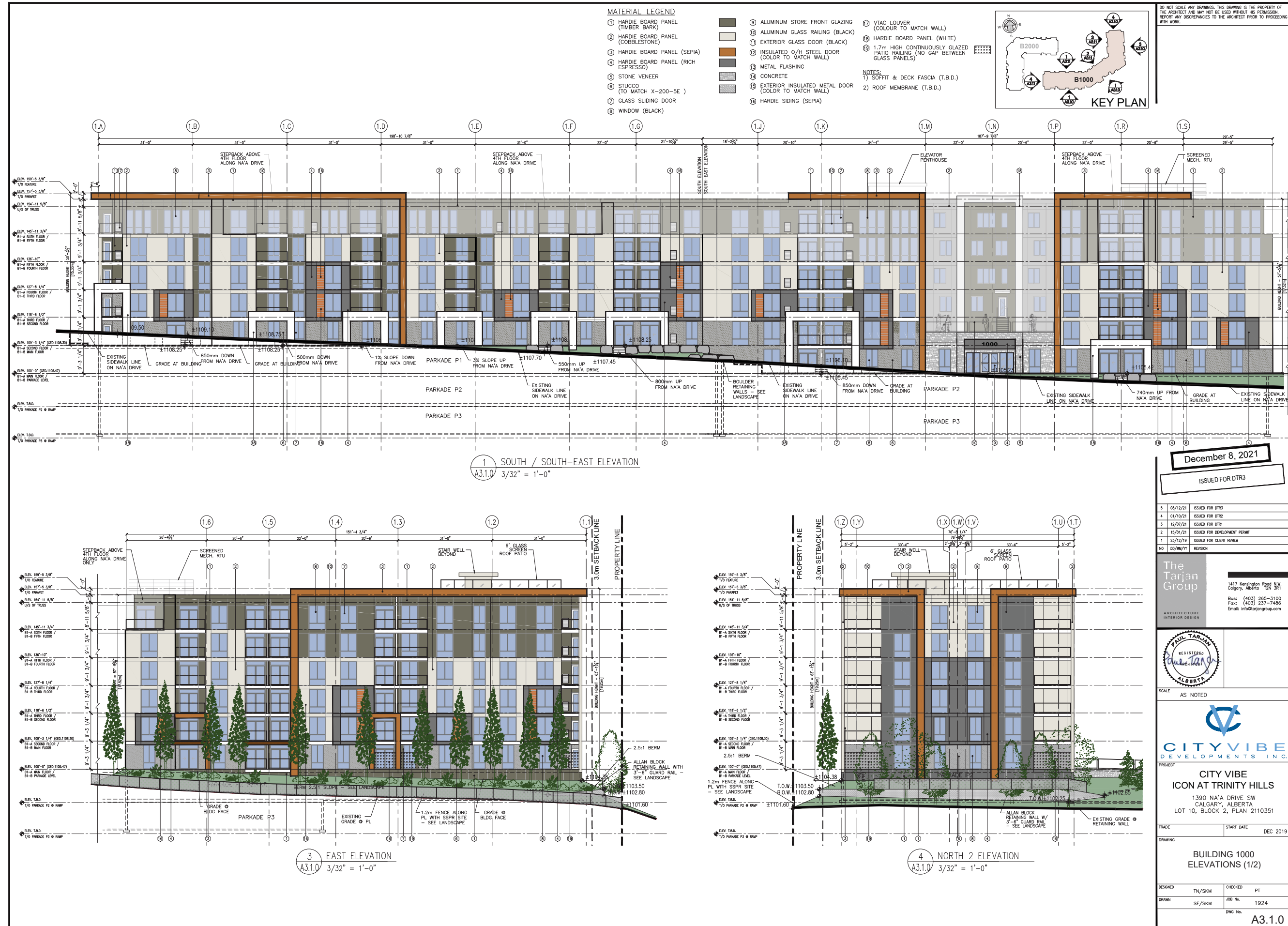
TRADE: START DATE: DEC 2019

**B2000 ROOF PLAN**

DESIGNED: TN/SKM CHECKED: PT  
DRAWN: SF/SKM JOB No: 1924

DWG No. **A2.2.7**





December 8, 2021  
ISSUED FOR DTR3

5	08/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	00/00/00	REVISION

**The Tarjan Group**  
ARCHITECTURE  
INTERIOR DESIGN  
1417 Kensington Road N.W.  
Calgary, Alberta T2N 3R1  
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Email: info@tarjanguroup.com

**CITY VIBE DEVELOPMENTS INC.**  
PROJECT  
**CITY VIBE  
ICON AT TRINITY HILLS**  
1390 N.A. DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

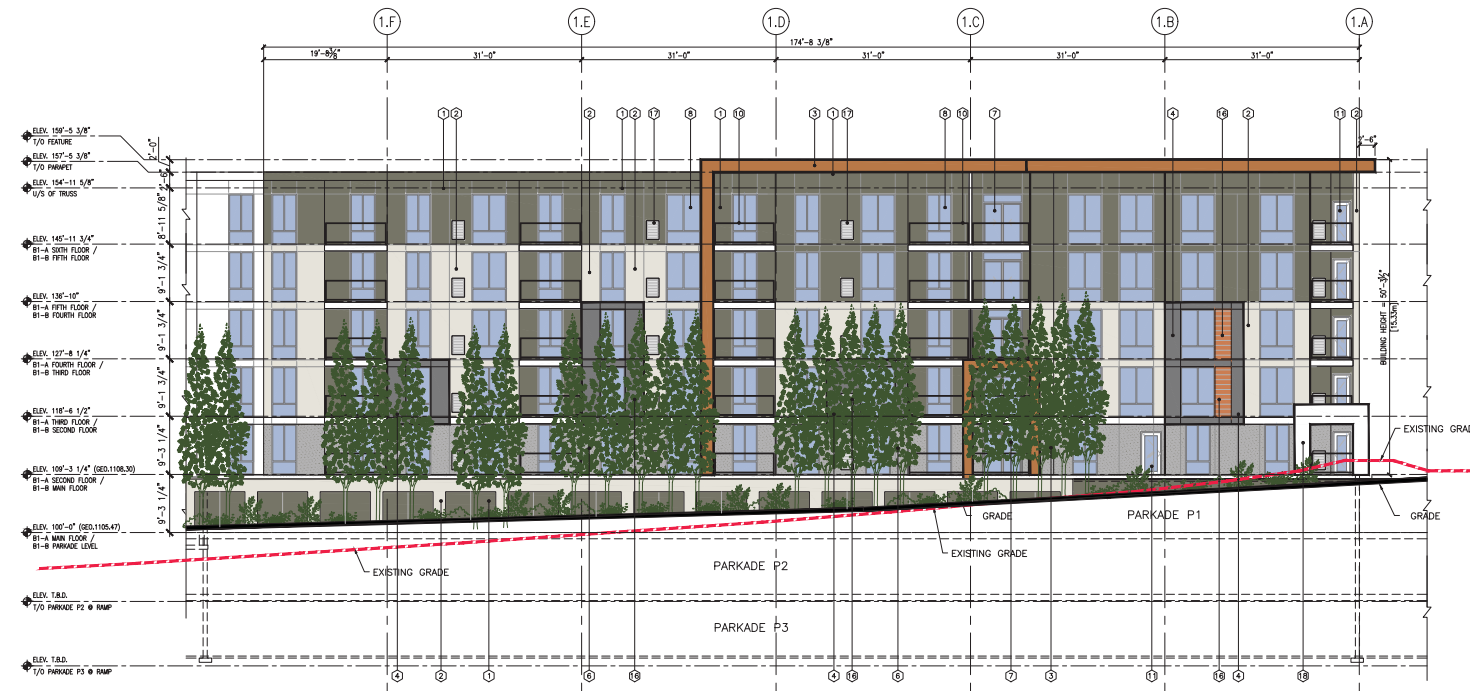
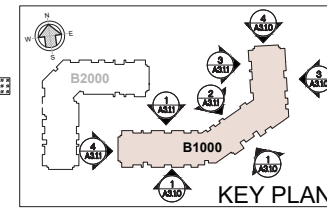
TRADE	START DATE	DEC 2019	
DRAWING			
DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A3.1.0

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**MATERIAL LEGEND**

- ① HARDIE BOARD PANEL (TIMBER BARK)
- ② HARDIE BOARD PANEL (COBBLESTONE)
- ③ HARDIE BOARD PANEL (SEPIA)
- ④ HARDIE BOARD PANEL (RICH ESPRESSO)
- ⑤ STONE VENEER
- ⑥ STUCCO (TO MATCH X-200-5E)
- ⑦ GLASS SLIDING DOOR
- ⑧ WINDOW (BLACK)
- ⑨ ALUMINUM STORE FRONT GLAZING
- ⑩ ALUMINUM GLASS RAILING (COLOUR TO MATCH WALL)
- ⑪ EXTERIOR GLASS DOOR (BLACK)
- ⑫ INSULATED O/H STEEL DOOR (COLOUR TO MATCH WALL)
- ⑬ METAL FLASHING
- ⑭ CONCRETE
- ⑮ EXTERIOR INSULATED METAL DOOR (COLOUR TO MATCH WALL)
- ⑯ HARDIE SIDING (SEPIA)
- ⑰ VTAC LOUVER (COLOUR TO MATCH WALL)
- ⑱ HARDIE BOARD PANEL (WHITE)
- ⑲ 1.7m HIGH CONTINUOUSLY GLAZED PATIO RAILING (NO GAP BETWEEN GLASS PANELS)

- NOTES:**  
1) SOFFIT & DECK FASCIA (T.B.D.)  
2) ROOF MEMBRANE (T.B.D.)



1 NORTH 1 ELEVATION  
A3.1.1 3/32" = 1'-0"



3 WEST 1 ELEVATION  
A3.1.1 3/32" = 1'-0"



2 NORTH-WEST ELEVATION  
A3.1.1 3/32" = 1'-0"



4 WEST 2 ELEVATION  
A3.1.1 3/32" = 1'-0"

December 8, 2021  
ISSUED FOR DTR3

5	06/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

**The Tarjan Group**  
1417 Kensington Road N.W.  
Calgary, Alberta T2N 3R1  
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Fax: (403) 237-7486  
Email: info@tarjanguroup.com



SCALE AS NOTED



**CITY VIBE**  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE START DATE DEC 2019

**BUILDING 1000**  
ELEVATIONS (2/2)

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A3.1.1

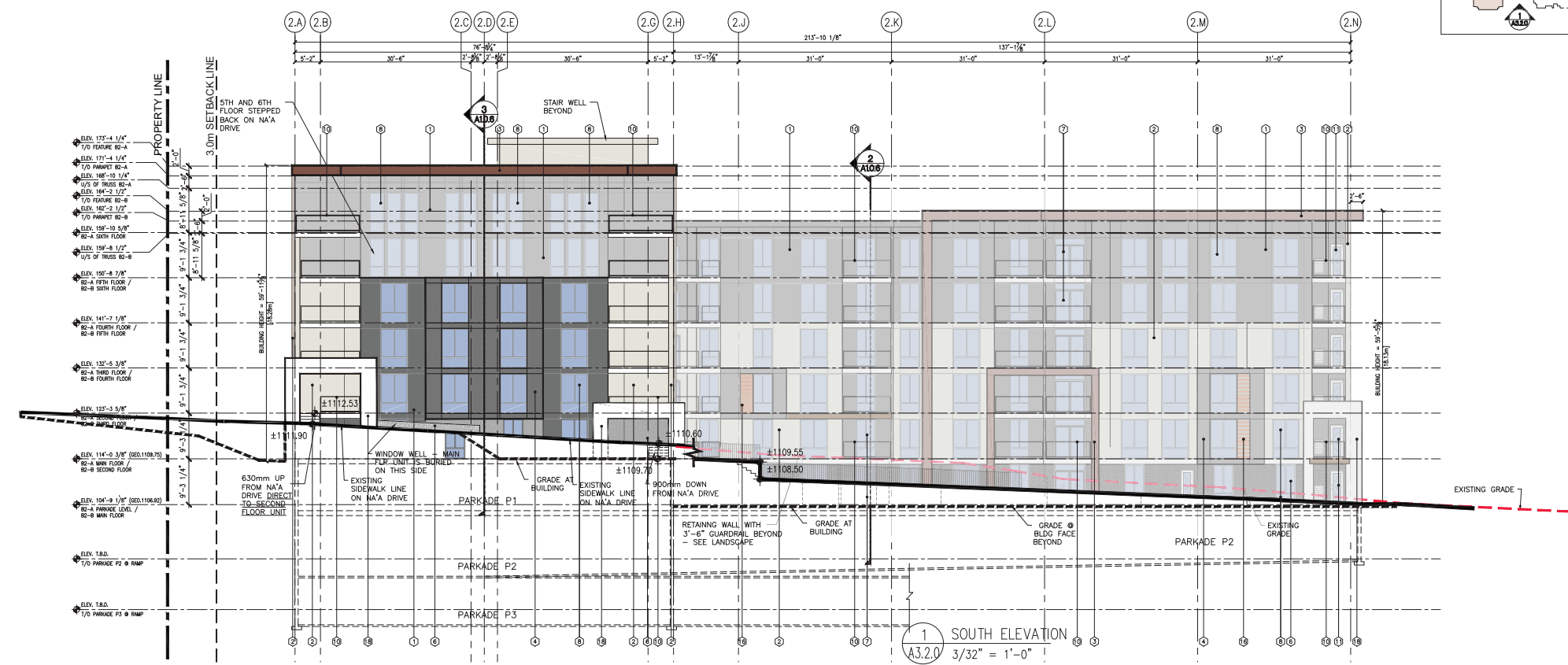
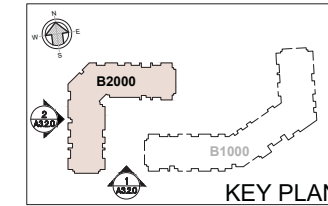


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MATERIAL LEGEND

- ① HARDIE BOARD PANEL (TIMBER BARK)
- ② HARDIE BOARD PANEL (COBBLESTONE)
- ③ HARDIE BOARD PANEL (WILD BERRY)
- ④ HARDIE BOARD PANEL (RICH ESPRESSO)
- ⑤ STONE VENEER
- ⑥ STUCCO (TO MATCH X-200-5E)
- ⑦ GLASS SLIDING DOOR
- ⑧ WINDOW (BLACK)
- ⑨ ALUMINUM STORE FRONT GLAZING
- ⑩ ALUMINUM GLASS RAILING (BLACK)
- ⑪ EXTERIOR GLASS DOOR (BLACK)
- ⑫ INSULATED O/H STEEL DOOR (COLOR TO MATCH WALL)
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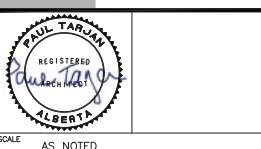
- NOTES:
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  - 2) ROOF MEMBRANE (T.B.D.)



December 8, 2021  
ISSUED FOR DTR3

5	06/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
3	12/07/21	ISSUED FOR DTR1
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	DD/MM/YY	REVISION

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CITYVIBE  
ICON AT TRINITY HILLS  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 2110351

TRADE: START DATE: DEC 2019

DRAWING: BUILDING 2000 ELEVATIONS (1/2)

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A3.2.0

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**NOTES:**  
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2) ROOF MEMBRANE (T.B.D.)

December 8, 2021  
ISSUED FOR DTR3

5	06/12/21	ISSUED FOR DTR3
4	01/10/21	ISSUED FOR DTR2
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SCALE: AS NOTED

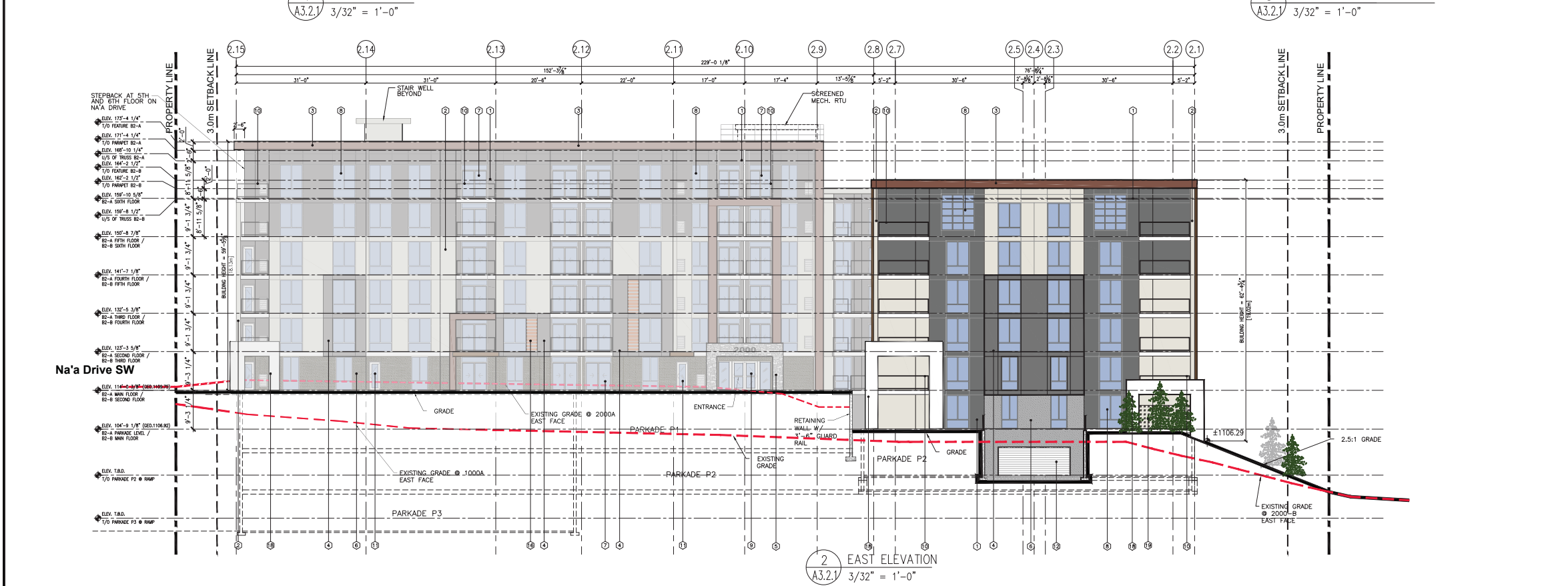
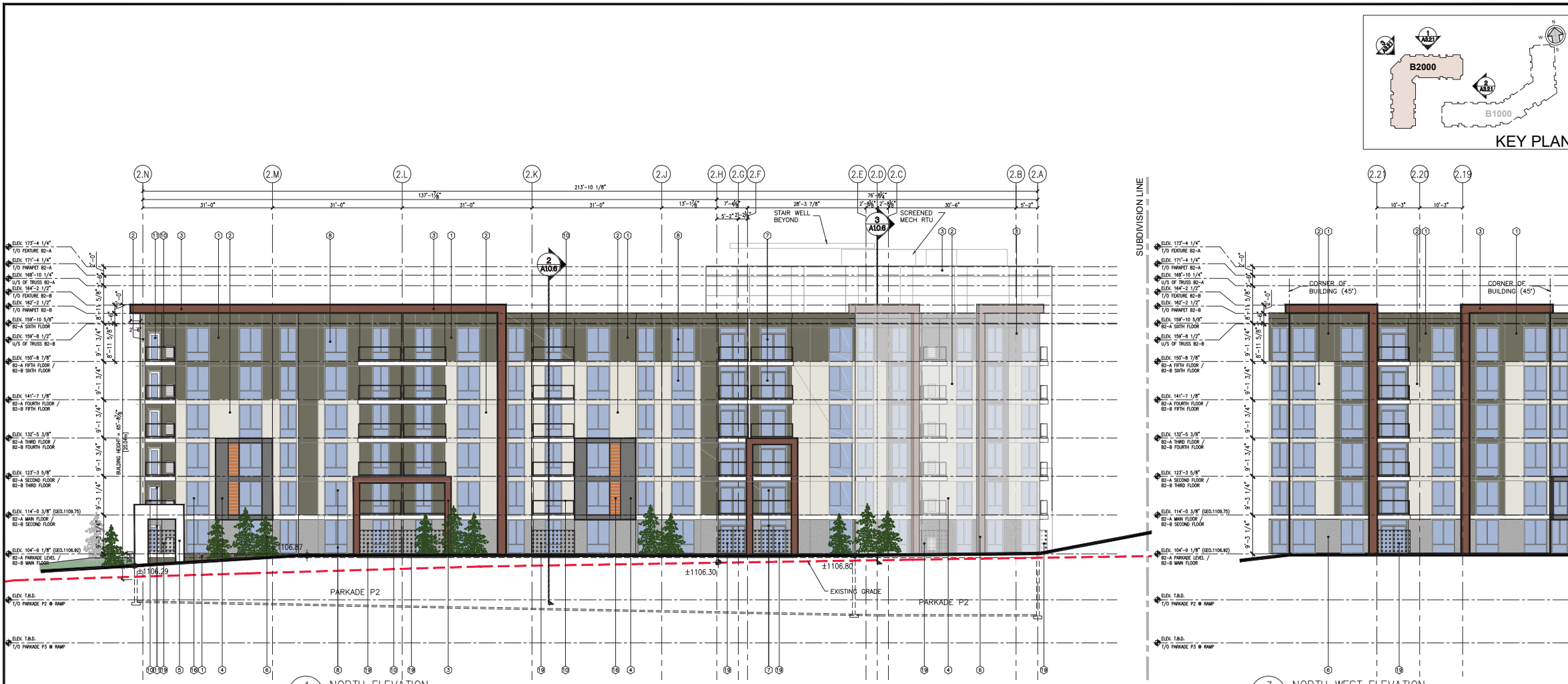
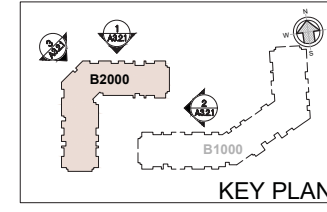


**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1390 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 10, BLOCK 2, PLAN 210351

TRADE: START DATE: DEC 2019

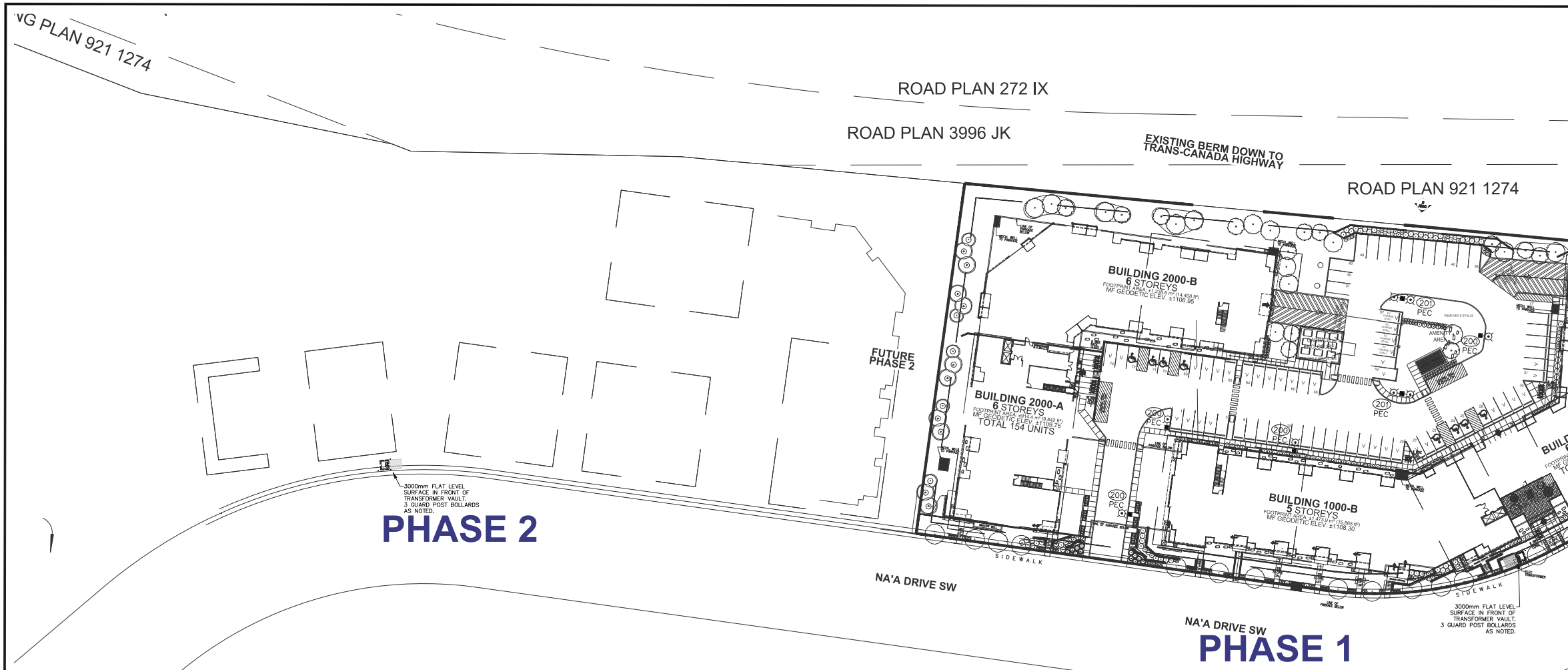
**BUILDING 2000**  
**ELEVATIONS (2/2)**

DESIGNED	TN/SKM	CHECKED	PT
DRAWN	SF/SKM	JOB No.	1924
		DWG No.	A3.2.1





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**PHASE 2**

**PHASE 1**

SITE PLAN – ELECTRICAL  
1:400

SYMBOL LEGEND

200	SITE LIGHT LED SINGLE HEAD FIXTURE
201	SITE LIGHT LED TWO HEAD FIXTURE
202	CEILING OR WALL MOUNTED LED FIXTURE

FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOGUE NUMBER	LAMPS	MOUNTING AND REMARKS
200	TAMLITE	ARP57550K13R1H-UN4-BK	75WATT LED	SITE LIGHTING ON 16' POLE - SINGLE HEAD/TYP. IV DISTRIBUTION
201	TAMLITE	ARP57550K13R2H-UN4-BK	75WATT LED	SITE LIGHTING ON 16' POLE - DOUBLE HEAD/TYP. IV DISTRIBUTION

NO	DD/MM/YY	REVISION
4	11/25/21	ISSUED FOR DP COMMENTS - SITE LIGHTING ADDED
3	07/12/21	ISSUED FOR DP COMMENTS - NEW XMER LOCATIONS
2	07/07/21	ISSUED FOR DP COMMENTS - XMER BOLLARDS ADDED
1	29/06/21	ISSUED FOR DP COMMENTS - TRANSFORMERS ADDED

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ARCHITECTURE  
INTERIOR DESIGN

SCALE AS NOTED



PROJECT  
**CITY VIBE**  
ICOT TRIOITY  
1470 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 5, BLOCK 2, PLAN 161 2948

TRADE START DATE  
ELECTRIC DEC 2019

DRAWING  
SITE  
ELECTRIC

DESIGNED	DM	CHECKED	DM/MMA
DRAWN	DM	JOB No.	21-247-016

DWG No. **E**

**Implicit**  
ENGINEERING LTD.

Implicit Engineering Ltd.  
5255 Muller Crest  
Edmonton, Alberta T6R 0P9  
office@impliciteng.com  
T: 780.983.5123  
F: 780.665.7100

PLAN 3996 JK

ROAD PLAN 921 1274

RP

ROAD PLAN 911 2357



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  - ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION
  - ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK
  - ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS
  - ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
- IRRIGATION NOTE:**
- ALL LANDSCAPE AREAS TO BE EQUIPPED WITH A LOW WATER HIGH EFFICIENCY DRIP IRRIGATION SYSTEM CONFINED TO TREES AND SHRUBS ONLY

December 13, 2021

6	13/12/21	ISSUED FOR PERMITS
5	05/12/21	ISSUED FOR PERMITS
4	03/09/21	ISSUED FOR LEASING
3	15/07/21	ISSUED FOR PERMITS
2	15/01/21	ISSUED FOR DEVELOPMENT PERMIT
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	02/06/19	REVISION

**The Tarjan Group**  
ARCHITECTURE  
INTERIOR DESIGN

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**[ SMM ]**  
SCATURF-MILLER-MURRAY INC.  
403.262.9744 | SCATURF.CA

**1 LANDSCAPE PLAN**  
DPL-1.0 SCALE 1:250

**ADDRESS + LEGAL DESCRIPTION**  
LOT 5, BLOCK 2, PLAN 161 2948  
1470 NA'A DRIVE SW, CALGARY, AB

**PROJECT DATA**  
ZONING: Mx2 MULTI-RESIDENTIAL MEDIUM PROFILE  
PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT  
SITE AREA: 13358.20m<sup>2</sup>

**LANDSCAPE CALCULATIONS**

LANDSCAPE AREA REQUIRED	40% (13358.20 X 0.4) = 5343.28m <sup>2</sup>
LANDSCAPE AREA REDUCTION OPTIONS	
55% STREET ORIENTED MULTI-RESIDENTIAL	141.77 m X 2m = 283.54 m <sup>2</sup>
56% LOW WATER LANDSCAPE	3%
REDUCED LANDSCAPE AREA REQUIRED TOTAL	4703.25 m <sup>2</sup>
40% (2m x 3% (664.78m <sup>2</sup> ) = 203.54m <sup>2</sup> )	
TOTAL TREES REQUIRED (145m <sup>2</sup> OF TOTAL LANDSCAPE AREA PROVIDED)	105
DECIDUOUS 1 75% 1 75 TREES (28 LARGES)	
CONIFEROUS 1 25% 1 27 TREES (14 LARGES)	
TOTAL TREES PROVIDED (145m <sup>2</sup> OF TOTAL LANDSCAPE AREA PROVIDED)	105
DECIDUOUS 1 75% 1 75 TREES (28 LARGES)	
CONIFEROUS 1 25% 1 27 TREES (14 LARGES)	
TOTAL SHRUBS REQUIRED (245m <sup>2</sup> OF TOTAL LANDSCAPE AREA)	210
TOTAL SHRUBS PROVIDED	210

**LEGEND**

- SOD (SPRUCKLY BLUE GRASS SOD ON 100mm DEPTH) TOPSOIL
- NATURAL TURF (EAGLE LAKE NATURAL TURF MATS @ NATIVE SEED)
- MULCH (SHRUBS/SMALL TREES)
- ROCK MULCH (40mm-60mm)
- CONCRETE PAVING (CONCRETE, EXPANDED AGGREGATE @ SPACED JOINTS)
- 2IN ASPHALT PATHWAY
- BIKE RACK (REFER TO DPL 1.1)
- DECORATIVE SANDSTONE BOULDERS (SITE COLLECTED)
- GRAVITY BLOCK RETAINING WALL WITH FEATURE SCREEN
- NATURAL STONE RETAINING WALL (REFER TO DPL 1.1)
- WOOD PERGOLA (REFER TO DPL 1.1)
- BENCH (REFER TO DPL 1.1)
- WILDLIFE FOOTPRINT TRAILS (REFER TO DPL 1.1)
- PUBLIC TREES TO BE PROTECTED (REFER TO DPL 1.1)
- PUBLIC TREES TO BE REMOVED

**PLANT LIST**

SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
	<i>Fraxinus pennsylvanica</i> 'Rugby'	PRAIRIE SPIRE GREEN ASH	65mm CAL. BAB, MIN 900mm Ø ROOT BALL, SINGLE LEADER	18
	<i>Populus tremula</i> 'Erecta'	SWEDISH COLUMNAR ASPEN	85mm CAL. BAB, MIN 900mm Ø ROOT BALL, SINGLE LEADER	51
	<i>Populus tremuloides</i>	TREMBLING ASPEN	85mm CAL. BAB, MIN 900mm Ø ROOT BALL, SINGLE LEADER	14
	<i>Populus tremuloides</i>	TREMBLING ASPEN	65mm CAL. BAB, MIN 900mm Ø ROOT BALL, SINGLE LEADER	07
	<i>Acer tartaricum</i> var. 'GarAnn'	HOTWINGS MAPLE	65mm CAL. BAB, MIN 900mm Ø ROOT BALL	15

**CONIFEROUS TREES**

SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
	<i>Picea pungens</i>	BLUE SPRUCE	3.0m H. BAB, MIN 1200mm Ø ROOT BALL, SINGLE LEADER	14
	<i>Picea pungens</i>	BLUE SPRUCE	2.0m H. BAB, MIN 900mm Ø ROOT BALL, SINGLE LEADER	13

**CONIFEROUS SHRUBS**

SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
	<i>Pinus mugo</i> var. 'pumilo	DWARF MUGO PINE	#5 CONT. MIN. 600mm H. OR SPREAD	16
	<i>Juniperus horizontalis</i> 'Prince of Wales'	PRINCE OF WALES JUNIPER	#5 CONT. MIN. 600mm spread	16

**DECIDUOUS SHRUBS**

SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
	<i>Cornus alba</i> 'sibirica'	SIBERIAN DOGWOOD	#5 CONT. MIN. 600mm H.	12
	<i>Elaeagnus commutata</i>	SILVERBERRY (WOLF WILLOW)	#5 CONT. MIN. 600mm H.	56
	<i>Syringa meyeri</i> 'palibin'	KOREAN LILAC	#5 CONT. MIN. 600mm H.	05
	<i>Rosa acicularis</i>	PRICKLY ROSE	#5 CONT. MIN. 600mm H.	39
	<i>Symphoricarpos albus</i>	SNOWBERRY	#5 CONT. MIN. 600mm H.	57
	<i>Sorbaria sorbifolia</i>	URAL FALSE SPIREA	#5 CONT. MIN. 600mm H.	09

**GRASSES & PERENNIALS**

SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
	<i>Calamagrostis x acutiflora</i>	KARL FOERSTER GRASS	10cm POT	183

SCALE: AS NOTED

**CITY VIBE DEVELOPMENTS INC.**

PROJECT: CITY VIBE ICON AT TRINITY HILLS

1470 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 5, BLOCK 2, PLAN 161 2946

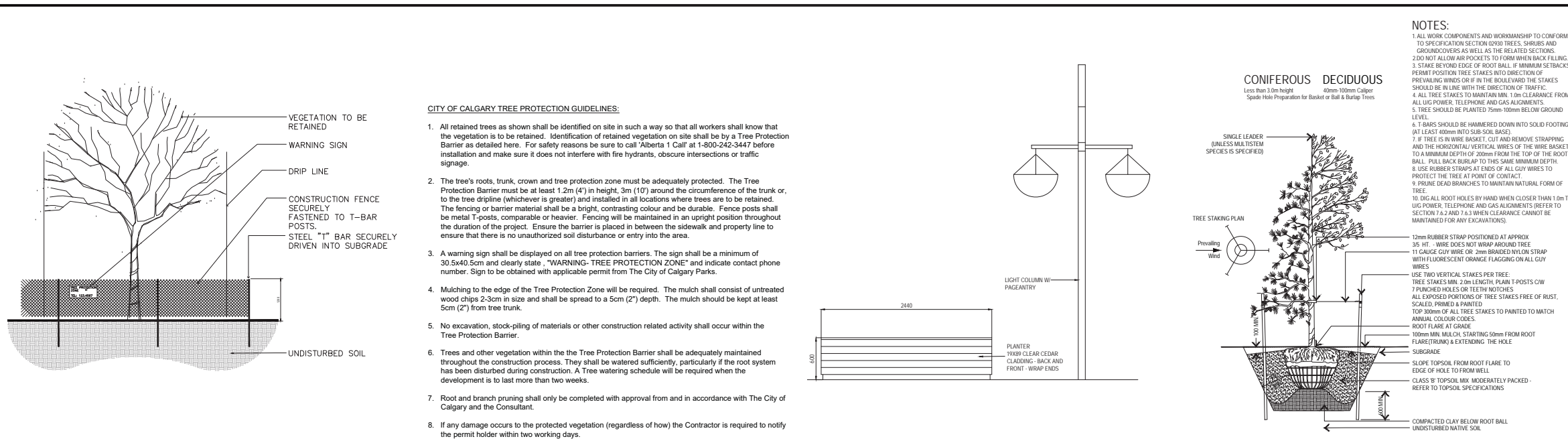
TRADE: START DATE: DEC 2019

**LANDSCAPE PLAN**

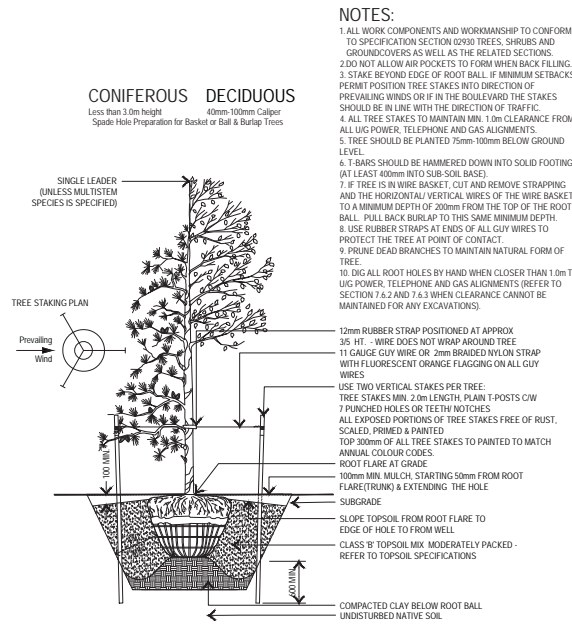
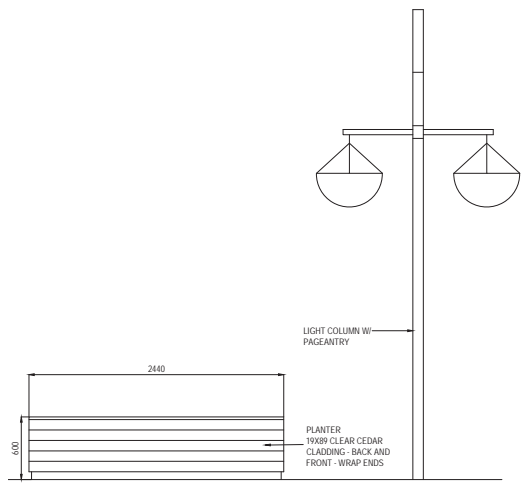
DESIGNED	AP/DTM	CHECKED	DTM
DRAWN	AP	JOB NO.	1924
		SVC NO.	

**DPL1.0**





- CITY OF CALGARY TREE PROTECTION GUIDELINES:**
- All retained trees as shown shall be identified on site in such a way so that all workers shall know that the vegetation is to be retained. Identification of retained vegetation on site shall be by a Tree Protection Barrier as detailed here. For safety reasons be sure to call 'Alberta 1 Call' at 1-800-242-3447 before installation and make sure it does not interfere with fire hydrants, obscure intersections or traffic signage.
  - The tree's roots, trunk, crown and tree protection zone must be adequately protected. The Tree Protection Barrier must be at least 1.2m (4') in height, 3m (10') around the circumference of the trunk or, to the tree dripline (whichever is greater) and installed in all locations where trees are to be retained. The fencing or barrier material shall be a bright, contrasting colour and be durable. Fence posts shall be metal T-posts, comparable or heavier. Fencing will be maintained in an upright position throughout the duration of the project. Ensure the barrier is placed in between the sidewalk and property line to ensure that there is no unauthorized soil disturbance or entry into the area.
  - A warning sign shall be displayed on all tree protection barriers. The sign shall be a minimum of 30.5x40.5cm and clearly state, "WARNING- TREE PROTECTION ZONE" and indicate contact phone number. Sign to be obtained with applicable permit from The City of Calgary Parks.
  - Mulching to the edge of the Tree Protection Zone will be required. The mulch shall consist of untreated wood chips 2-3cm in size and shall be spread to a 5cm (2") depth. The mulch should be kept at least 5cm (2") from tree trunk.
  - No excavation, stock-piling of materials or other construction related activity shall occur within the Tree Protection Barrier.
  - Trees and other vegetation within the Tree Protection Barrier shall be adequately maintained throughout the construction process. They shall be watered sufficiently, particularly if the root system has been disturbed during construction. A Tree watering schedule will be required when the development is to last more than two weeks.
  - Root and branch pruning shall only be completed with approval from and in accordance with The City of Calgary and the Consultant.
  - If any damage occurs to the protected vegetation (regardless of how) the Contractor is required to notify the permit holder within two working days.



- NOTES:**
- ALL WORK COMPONENTS AND WORKMANSHIP TO CONFORM TO SPECIFICATION SECTION 0290 TREES, SHRUBS AND GROUNDCOVERS AS WELL AS THE RELATED SECTIONS.
  - DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
  - STAKE BEYOND EDGE OF ROOT BALL IF MINIMUM SETBACKS PERMIT POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS OR IF IN THE BOULEVARD THE STAKES SHOULD BE IN LINE WITH THE DIRECTION OF TRAFFIC.
  - ALL TREE STAKES TO MAINTAIN MIN. 1.0m CLEARANCE FROM ALL UIC POWER, TELEPHONE AND GAS ALIGNMENTS.
  - TREE SHOULD BE PLANTED 75mm-100mm BELOW GROUND LEVEL.
  - T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
  - IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BASKET TO THIS SAME MINIMUM DEPTH.
  - USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT.
  - PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.
  - DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1.0m TO UIC POWER, TELEPHONE AND GAS ALIGNMENTS (REFER TO SECTION 7.4.2 AND 7.4.3 WHEN CLEARANCE CANNOT BE MAINTAINED FOR ANY EXCAVATIONS).

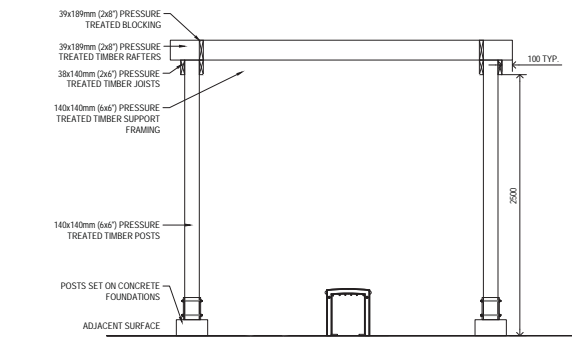
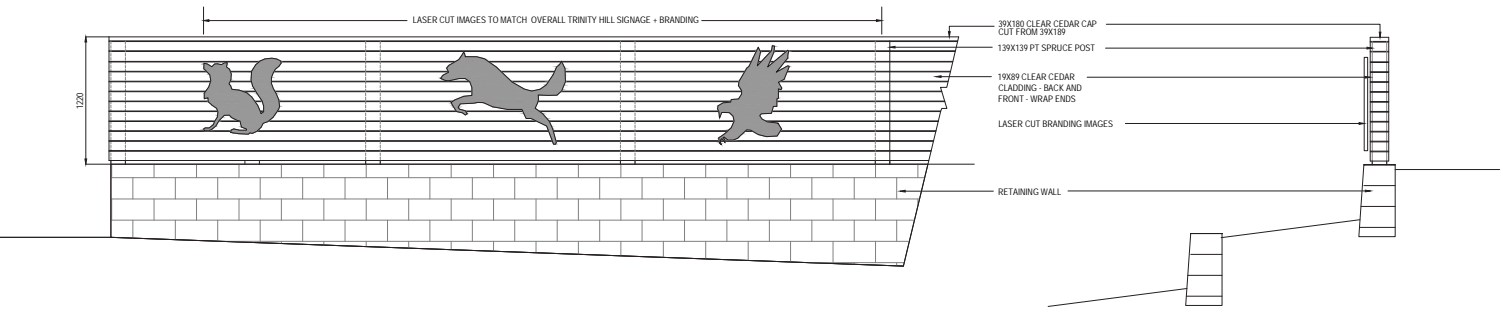
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  - ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS.
  - ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH.

**12 TYPICAL TREE PROTECTION DETAIL**  
DPL-1.1 SCALE 1:50

**11 TYPICAL ENTRY FEATURE ELEMENTS**  
DPL-1.1 SCALE 1:50

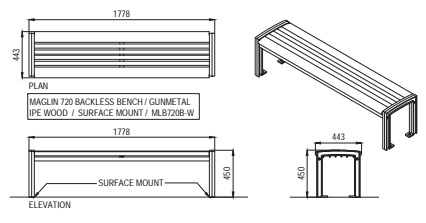
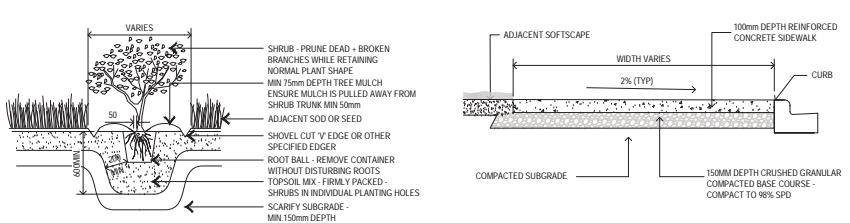
**10 TYPICAL TREE PLANTING PLAN**  
DPL-1.1 SCALE 1:25



**ISSUED**  
December 13, 2021  
ISSUED FOR DEVELOPMENT PERMIT

5	13/12/21	ISSUED FOR DIR3
4	06/10/21	ISSUED FOR DIR2
3	15/07/21	ISSUED FOR DIR1
2	19/08/20	ISSUED FOR DEVELOPMENT PERMIT MEETING
1	23/12/19	ISSUED FOR CLIENT REVIEW
NO	30/NA/YY	REVISION

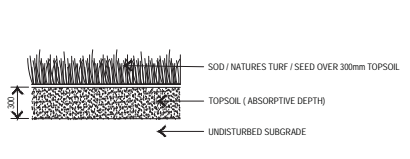
**1 TYPICAL FEATURE SCREEN**  
DPL-1.1 SCALE 1:25



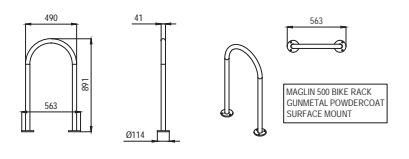
**6 TYPICAL BENCH DETAIL**  
DPL-1.1 SCALE 1:25

**2 TYPICAL SHRUB PLANTING DETAIL**  
DPL-1.1 SCALE 1:25

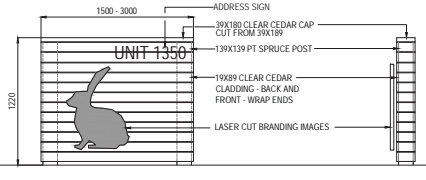
**4 TYPICAL CONCRETE WALK DETAIL**  
DPL-1.1 SCALE 1:25



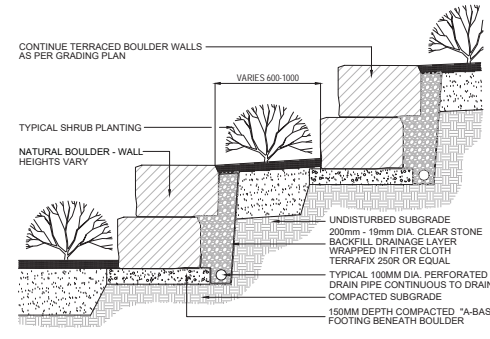
**3 TYPICAL TURF DETAIL**  
DPL-1.1 SCALE 1:250



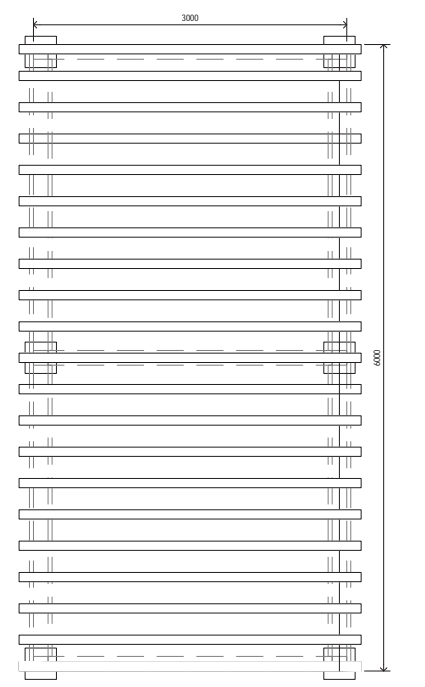
**5 TYPICAL TURF DETAIL**  
DPL-1.1 SCALE 1:250



**7 TYPICAL WOOD SCREEN**  
DPL-1.1 SCALE 1:25



**8 TYPICAL NATURAL BOULDER RETAINING WALL**  
DPL-1.1 SCALE 1:25



**9 TYPICAL PERGOLA DETAIL**  
DPL-1.1 SCALE 1:25

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SCALE AS NOTED

**CITY VIBE DEVELOPMENTS INC.**

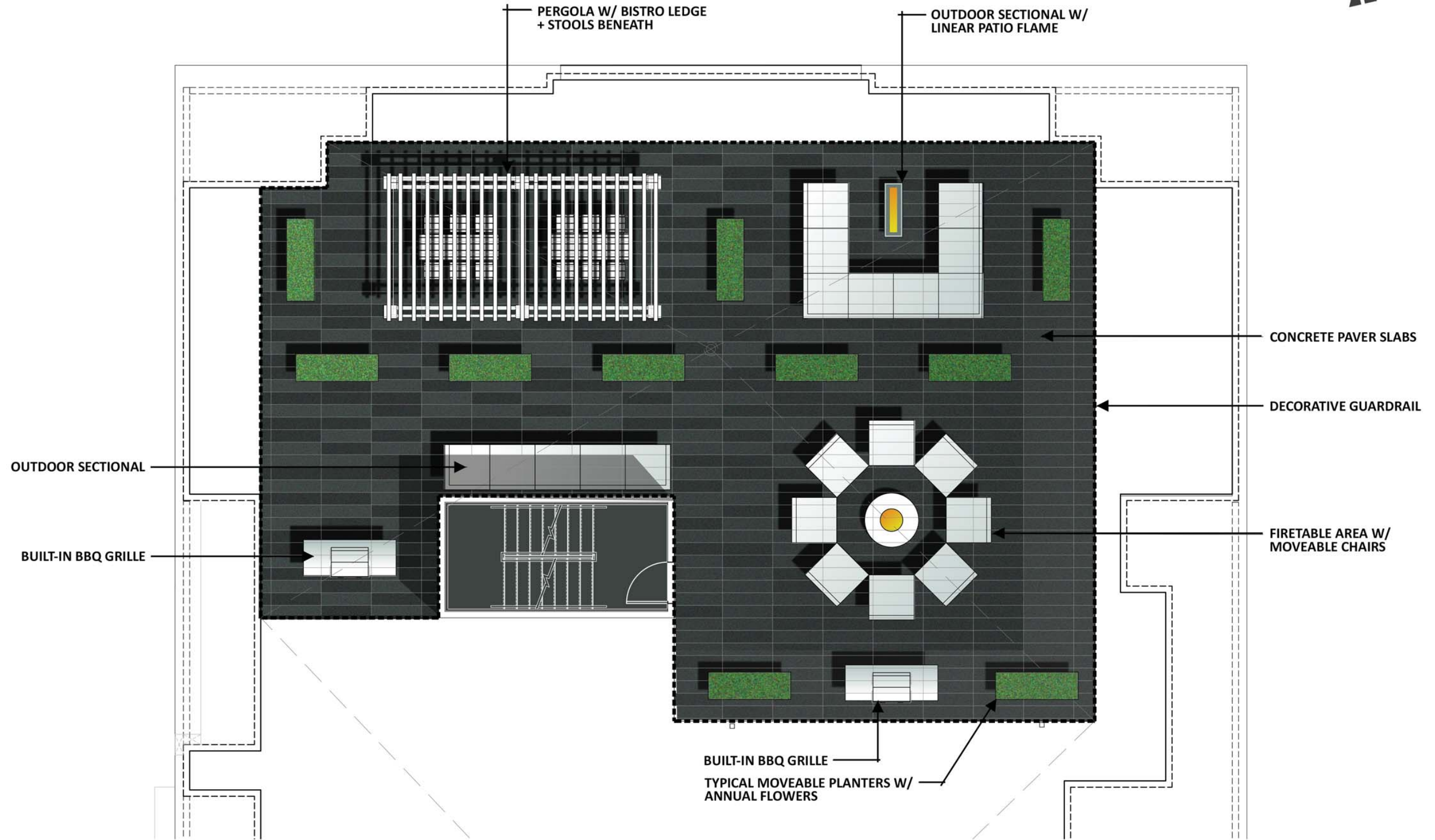
**CITY VIBE**  
**ICON AT TRINITY HILLS**  
1470 NA'A DRIVE SW  
CALGARY, ALBERTA  
LOT 5, BLOCK 2, PLAN 161 2946

TRADE START DATE DEC 2019

**LANDSCAPE DETAILS**

DESIGNED	SM/DTM	CHECKED	DTM
DRAWN	SM/DTM	JOB No.	1924
			DWG No.

DPL-1.1











## NORTH VIEW ON TRANS-CANADA HIGHWAY

ICON AT TRINITY HILLS  
Nov. 30, 2021





**NORTH-EAST VIEW ON TRANS-CANADA HIGHWAY**

**ICON AT TRINITY HILLS**  
Nov. 30, 2021