



GLENDALE COMMONS

ISSUED FOR DTR3 RESPONSE
21-12-16

CONSULTANT LIST & DRAWING INDEX

ARCHITECTURAL

SYSTEMIC	CONSULTANT NAME: Systemic Architecture Inc. STREET ADDRESS: 4320 Kensington Road NW, Calgary AB T2N 3M7 TELEPHONE: PH: 587.315.8871 CONTACT NAME: Partner in Charge (johed.nash@systemic-ai.com) Project Lead: (barnes.alfred@systemic-ai.com)
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DP-00 DP COVER
 DP-01 SITE CONTEXT & PROJECT STATISTICS
 DP-02 SITE PLAN
 DP-03 SITE PLANS: GARBAGE TRUCK TURNING
 DP-04 SITE DETAILS
 DP-01 MAIN, SECOND FLOOR & ROOF PLANS
 DP-02 MAIN, SECOND & ROOF PLANS
 DP-03 EXTERIOR ELEVATIONS
 DP-04 EXTERIOR ELEVATIONS
 DP-05 BUILDING SECTIONS
 DP-06 BUILDING SECTIONS @ POWER LINES

CIVIL ENGINEERING

Jubilee Engineering Consultants Ltd.	CONSULTANT NAME: Jubilee Engineering Consultants Ltd. STREET ADDRESS: 2102 Edmonton Trail NE, Calgary, AB T2E 2P4 TELEPHONE: PH: 403.276.1001 CONTACT NAME: David Wallace
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SP1 SITE GRADING PLAN
 SP2 SITE GRADING PLAN
 SP3 STORMWATER MANAGEMENT CALCULATIONS AND SITE DETAILS PLAN

ELECTRICAL ENGINEERING

TOWER ENGINEERING	CONSULTANT NAME: Tower Engineering STREET ADDRESS: 100-2139 6th Ave, Calgary, AB T2N 2N6 TELEPHONE: PH: 403.276.2655 (ext. 2358) CONTACT NAME: Tim Labadie
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E100 ELECTRICAL SITE PLAN
 E200 ELECTRICAL LIGHTING CALCULATION

LANDSCAPING

SCATLIF + MILLER + MURRAY	CONSULTANT NAME: Scatiff-Miller-Murray Inc. STREET ADDRESS: - TELEPHONE: PH: 403.999.7810 CONTACT NAME: Adam Patterson
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L100 LANDSCAPE PLAN
 L200 LANDSCAPE DETAILS

Issued For	Date
DEVELOPMENT PERMIT	21-05-21
DTR1 RESPONSE	21-08-27
DTR2 RESPONSE	21-11-22
DTR3 RESPONSE	21-12-16

SYSTEMIC Architecture Inc.

2120 Kensington Street NW
Calgary, Alberta, Canada T2N 3R7
587.315.8871

Project Number: 2022-011_222
 Project City: CALGARY, AB
 Site Legal Address: Lot 29-31, Block 24, Plan 2022 05
 Site Civic Address: 4020, 4021, 4011-17th Avenue SW
 Development Permit: TO BE ASSIGNED
 Building Permit: TO BE ASSIGNED

Note: This image represents an artist's conception of the building only.

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2021-12-16 9:10:43 AM

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2 LAND USE MAP
DP-1.1 1:1



1 LOCATION PLAN
DP-1.1



3 EXISTING SITE CONDITIONS
DP-1.1 1:300

PROJECT STATISTICS

PROJECT DESCRIPTION
PROPOSED NEW MIXED USE BUILDINGS. 2 STOREYS.

LEGAL DESCRIPTION
LOTS 29-31, BLOCK 24, PLAN 2002 GS

CIVIC ADDRESS
4503, 4507 AND 4511-17th AVE. SW, CALGARY, ALBERTA

LAND USE DESIGNATION
1P2007 (CALGARY LAND USE BYLAW)
DC-231D2019 (DIRECT CONTROL DISTRICT)
MU-1 (2.5 H1) (MIXED USE - GENERAL DISTRICT)

LAND USE DESCRIPTION
DISCRETIONARY USES
BUILDING A
RESTAURANT, NEIGHBOURHOOD (GROUND FLOOR)
DWELLING UNITS (SECOND FLOOR)

BUILDING B
MEDICAL CLINIC (GROUND FLOOR)
DWELLING UNITS (SECOND FLOOR)

SITE ANALYSIS
SITE AREA 1752.9 m² (0.43 Acres, 0.18 H.)

PROPOSED NUMBER OF BUILDINGS 2

CUMULATIVE GROSS FLOOR AREA (BUILDING A + BUILDING B) 718.7 m² / 7736 ft²

FLOOR AREA RATIO (G.F.A. / SITE AREA)
PERMITTED PROJECT F.A.R. 2.5 MAX
PROPOSED PROJECT F.A.R. 718.7m² / 1752.9 m² = 0.40

YARD SETBACKS
NORTH 0.0 m (17th Ave SW)
SOUTH 7.5 m (Lane)
EAST 0.0 m (Glenmount Dr SW)
WEST 3.0 m (Residential Lot)

BUILDING ANALYSIS
BUILDING A (GFA)
MAIN FLOOR 189.7 m² / 2,042 ft²
SECOND FLOOR 160.9 m² / 1,732 ft²
*TOTAL GFA 350.5 m² / 3,773 ft²

BUILDING B (GFA)
MAIN FLOOR 221.3 m² / 2,382 ft²
SECOND FLOOR 146.9 m² / 1,581 ft²
*TOTAL GFA 368.2 m² / 3,963 ft²

* GFA (Gross Floor Area): The sum of the areas of all above grade floors of a building measured to the glass, or where there is no glassline, to the outside surface of the exterior walls, or where buildings are separated by firewalls, to the centreline of the common firewalls, and includes all mechanical equipment areas and all open areas inside a building that do not contain a floor including atriums, elevator shafts, stairwells and similar areas.

UNIT ANALYSIS
BUILDING A (*GFA)
UNIT 101 181.6 m² / 1,955 ft²
UNIT 201 66.2 m² / 712 ft²
UNIT 202 29.1 m² / 314 ft²
UNIT 203 65.5 m² / 705 ft²
342.5 m² / 3,686 ft²

BUILDING B (*GFA)
UNIT 101 213.0 m² / 2,283 ft²
UNIT 201 51.0 m² / 548 ft²
UNIT 202 50.2 m² / 540 ft²
UNIT 203 45.7 m² / 492 ft²
359.9 m² / 3,874 ft²

VEHICLE PARKING ANALYSIS
PARKING DEFINITIONS
Part 4 (283.1) RESTAURANT NEIGHBOURHOOD:
(i) 1.7 stalls per 10.0 square metres of public area

Part 14 Div 1 (1350a) RETAIL AND CONSUMER SERVICE:
(i) 2.0 stalls per 100.0 square metres of total gross usable floor area;
(ii) the cumulative number of stalls referenced in subsection (i) are reduced by 1.0 stall per 50.0 square metres of total gross usable floor area located on the ground floor to a maximum reduction of 3.0 stalls

Part 14 Div 1 (1350a) DWELLING UNIT:
(i) 0.25 stalls per unit of residential parking; and
(ii) 0.1 visitor stalls per unit of residential parking

Part 4 (185) DRIVE THROUGH:
(i) 5.0 motor vehicle parking stalls

Part 14 Div 1 (1352) REDUCTION TRANSIT SUPPORTIVE DEVELOPMENT:
(i) The required number of motor vehicle parking stalls is reduced by 25% when the use is located in a building located within 600.0 metres of an existing or approved capital funded LRT platform.

PARKING REQUIREMENTS
BUILDING A
RESTAURANT NEIGHBOURHOOD
1.7 stalls x 9 (90 m² public area) = 15.3 - LRT reduction = 11.5 STALLS

DWELLING UNITS
0.75 stalls x 4 units = 3 - LRT reduction
0.1 visitor stalls x 4 units = 0.4 - LRT reduction
2.6 STALLS

BUILDING B
RETAIL AND CONSUMER SERVICES (MEDICAL OFFICE)
2 stalls x 2.00 (200.0 m² G.U.F.A.) = 4.0 - LRT reduction - 3 stalls reduction = 1.0 STALLS
(Further reduction applied as per Bylaw 1350(e)(iii))

DWELLING UNITS
0.75 stalls x 4 units = 3
0.1 visitor stalls x 4 units = 0.4
2.6 STALLS
(LRT reduction applied as per Bylaw 1352)

DRIVE THROUGH
5 stalls - LRT reduction = 3.6 STALLS
(LRT reduction applied as per Bylaw 1352)

PARKING COUNT
TOTAL OF PARKING STALLS REQUIRED: 22 (21.5)
TOTAL OF PARKING STALLS PROVIDED: 13
(NOTE: REFER TO BUNT REPORT FOR FURTHER INFORMATION)

LOADING ANALYSIS
LOADING DEFINITIONS
Part 3 Div 6 (123.5)
(b) 0.0 loading stalls where the cumulative gross floor area of all buildings on a parcel is less than or equal to 930.0 square metres.

Part 3 Div 6 (123.6)
The following use is not included in the calculation of required loading stalls:
(h) dwelling unit
(123.7) Where a building contains 20 or more units with shared entrance facilities, a minimum of 1.0 loading stalls is required.

LOADING COUNT
LOADING PARKING STALLS REQUIRED: 0
LOADING PARKING STALLS PROVIDED: 0

BICYCLE PARKING ANALYSIS
BICYCLE PARKING DEFINITIONS
CLASS 1
Part 14 Div 1 (1353.1a) DWELLING UNIT:
(i) no (class 1) requirement where the number of units is less than 20

Part 4 Div 1 (283.1)(g) RESTAURANT NEIGHBOURHOOD:
(i) does not require bicycle parking - class 1 or class 2

Part 4 Div 1 (286.1)(g) RETAIL AND CUSTOMER SERVICE:
(i) does not require bicycle parking - class 1.

Part 4 Div 1 (185)(i) DRIVE THROUGH:
(i) does not require bicycle parking - class 1 or class 2

CLASS 2
Part 14 Div 1 (1353.2a) DWELLING UNIT:
(i) 2.0 stalls for developments of 20 units or less

Part 14 Div 1 (1353.2b)
All other uses is 5.0 per cent of the minimum number of motor vehicle parking stalls.

BICYCLE PARKING REQUIREMENTS
BUILDING B
DWELLING UNITS
2 BICYCLE STALLS

BASED ON MINIMUM DEVELOPMENT PARKING
17 (MINIMUM) PARKING STALLS x 0.05 (5%) = 0.86 BICYCLE STALLS

BICYCLE PARKING COUNT
BICYCLE PARKING STALLS CLASS 1 REQUIRED: 0
BICYCLE PARKING STALLS CLASS 1 PROVIDED: 6

BICYCLE PARKING STALLS CLASS 2 REQUIRED: 3
BICYCLE PARKING STALLS CLASS 2 PROVIDED: 4

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This drawing supersedes previous issues.

ARCHITECT'S SEAL
**PRELIMINARY
NOT FOR CONSTRUCTION**

3	ITR RESPONSE	21-11-22
2	OTR RESPONSE	21-08-21
1	DEVELOPMENT PERMIT	21-05-21
No.	Description	Date (YYYY-MM-DD)

ISSUED FOR / REVISIONS

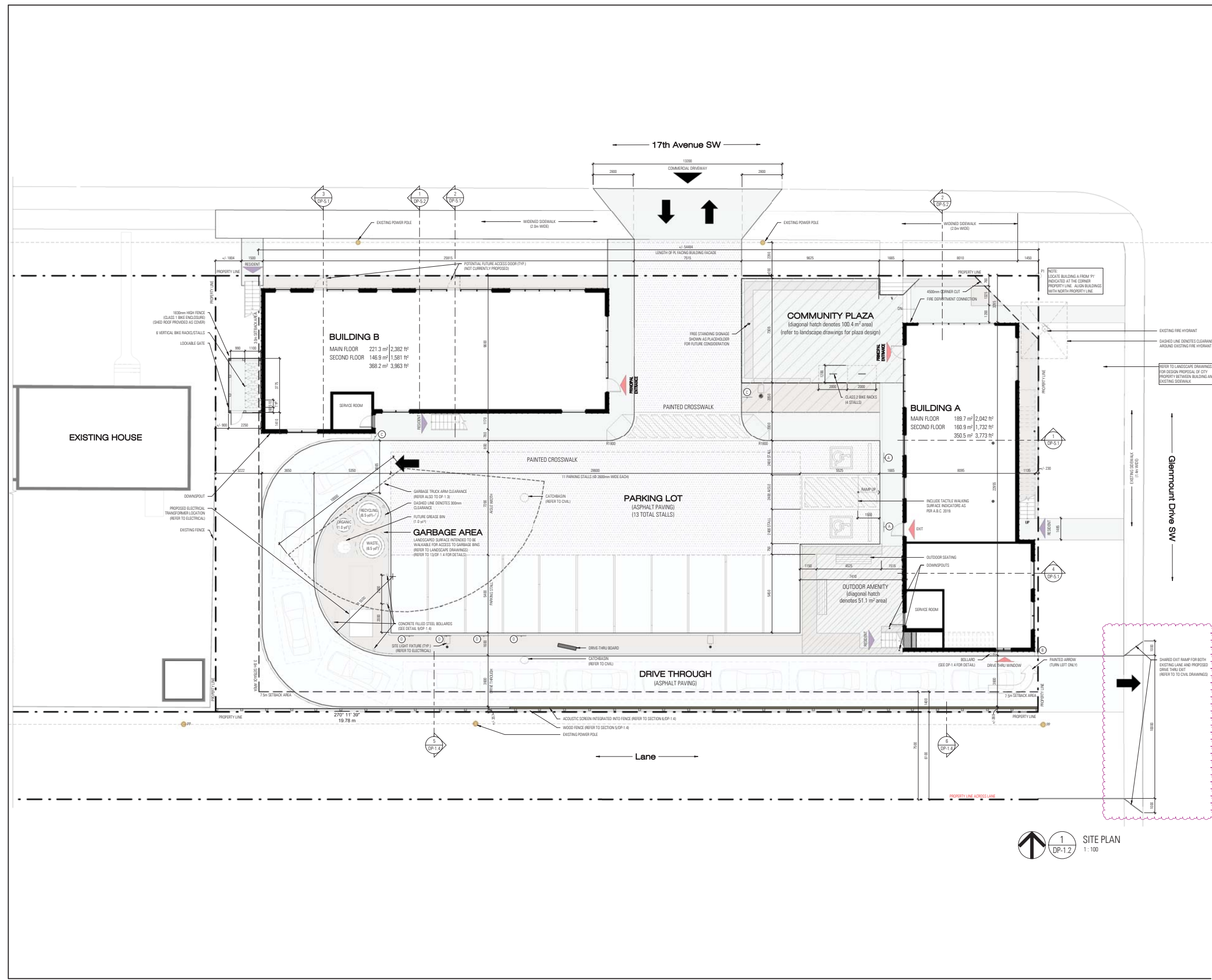
Architect	CA
Project Lead	TA
Drawn By	As indicated
Scale	As indicated
Project Number	2024-01-002
Site Civic	4503, 4507, 4511-17th Avenue SW
Site Legal	Lot 29-31, Block 24, Plan 2002 GS
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS
Drawn By	CREATOR, AI

Drawing Title
SITE CONTEXT & PROJECT STATISTICS

System Architecture Inc.
203 - 2120 Kensington Road
Calgary, Alberta, Canada T2N 3R7
587.315.9001

Drawing

DP-1.1



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ARCHITECT'S SEAL
PRELIMINARY
NOT FOR CONSTRUCTION

SITE PLAN NOTES
 APPLIES TO THIS SHEET ONLY
 ALL PROPOSED BUILDING AND SITE ELEMENTS ARE NEW UNLESS NOTED OTHERWISE AS EXISTING.

CONCRETE PAVED AREA
 ENSURE ADEQUATE SLOPE AWAY FROM BUILDING TO SHED WATER

ASPHALT
 NOTE: HEAVY DUTY ASPHALT IN GARBBAGE TRUCK TURNING AREAS CAPABLE OF SUPPORTING LOAD AS PER CITY OF CALGARY REQUIREMENTS

SIGNAGE LEGEND

TYPE	DESCRIPTION
(A)	RESERVED PARKING - BARRIER FREE STALL
(B)	LEFT TURN ONLY ONTO GLENSMOUNT DR SW
(C)	DRIVE THRU WAYFINDING
(D)	NO PARKING DURING WASTE COLLECTION HOURS

SIGNAGE CONSTRUCTION NOTES
 All signs shown on site plan to be constructed as follows:
 • All signs to be made of aluminum or equivalent material.
 • All signs to have content on single face only, U.N.O.
 • For signs facing to the west, aluminum faces, clear coated.
 • For signs facing to the east, white background, provide 300mm diameter 900mm deep precast concrete pile base.
 • For signs located atop concrete pillars, provide precast concrete base plate & sleeve haunched directly to concrete surface. Ensure base plate is prepared from concrete surface in a manner that does not trap or dam water under the plate.
 • Sign type B to be 200mm (width) x 300mm (height) aluminum sign face, weather protected on all surfaces. Exact color, text and font dimensions to be confirmed by architect. Provide 100mm tall, reflective aluminum post sign post.

FENCING, RETAINING WALL AND UPSTAND NOTES
 • Exposed concrete upstands along plaza from 150mm to be board form concrete as indicated on elevation drawings. Contractor to use 4" boards and leave board profile in retained concrete face.
 • Fence substrate to provide engineered shop drawings describing all connection points, embed plates and details prior to concrete wall casting.
 • Top of all Allow Block walls to include 2% slope on all horizontal top surfaces, directed away from building and towards nearest safe landscape area. Provide slip edge within wall casting on downward side of this surface.

PAINTED LINE NOTES
 • All areas shown as Painted Lines to be 100mm wide lines with 200mm gaps in between.
 • All painted lines to be white or color, heavy duty paint suitable for application to asphalt surfaces.

WASTE COLLECTION
 • Waste recycling, compost and green waste pick up not to occur during hours of drive through operation.
 • Parking stalls within the waste collection vehicle's crane sweep and driving paths are not to be in use during hours of waste collection pick up. Controlled use of parking stalls as required in conjunction with waste collection hours.

SITE GRADING
 • Parking lot to be sloped a minimum of 1% up to a maximum of 2% with the cut-off of drive through operation.
 • All pavements (both asphalt and concrete) adjacent to the building shall slope away from the building a minimum of 1% to ensure proper drainage.
 • Refer to civil engineering drawings for proposed grading design.

FIRE FIGHTING ACCESS
 • As per A.B.C. 2019 3.2.5.4, no fire access route provided on site.
 • Firefighting access is provided to the site from 17th Avenue SW (the Building B) and Glensmount Dr SW (the Building A).
 • Building A is connected to the sidewalk. A fire department connection is provided on the north elevation facing 17th Avenue SW, which is less than 15m from the building face and the principal entrance. An existing fire hydrant is located not less than 60m away from the principal entrance.
 • Building B is not connected to the sidewalk. An existing fire hydrant is located not less than 80m away from the principal entrance.

No.	Description	Date
1	ISSUED FOR / REVISIONS	21-12-16
2		21-11-22
3		21-09-27

Architect	CA
Project Lead	TA
Drawn By	TA
Scale	As Indicated
Project Number	2020-01-002
Site Civic	401, 402, 401-17th Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 05
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS
Drawing Title	SITE PLAN

SYSTEMIC Architecture Inc.
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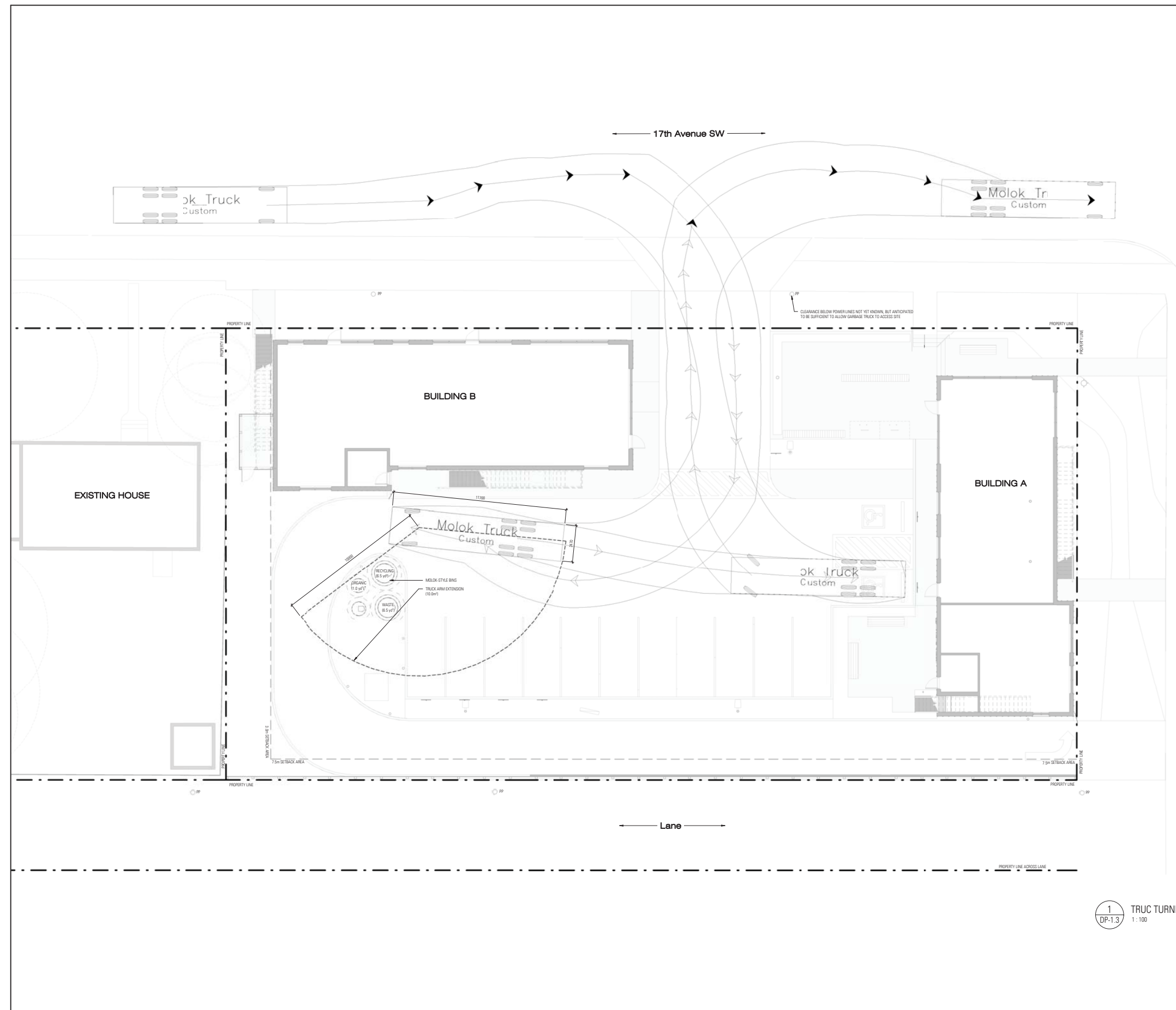
DP-1.2

1 SITE PLAN
 DP-1.2
 1:100

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ARCHITECT'S SEAL

**PRELIMINARY
NOT FOR CONSTRUCTION**



3	TRC RESPONSE	21-11-22
2	TRC RESPONSE	21-08-22
1	DEVELOPMENT PERMIT	21-05-21

ISSUED FOR / REVISIONS

Architect	SA
Project Lead	TA
Drawn By	TA
Scale	1:100
Project Number	2020-01-002
Site Civic	400, 402, 404-176 Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 02
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS

GLENDALE COMMONS

TRUCK TURNING

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 403.243.9001

Drawing

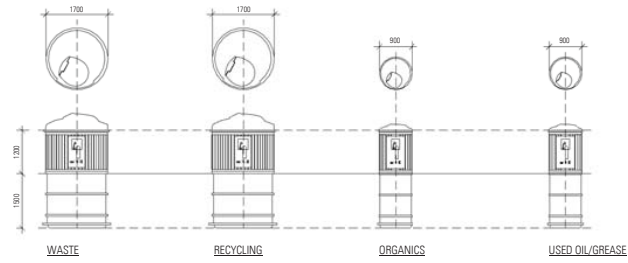
DP-1.3

1 DP-1.3 TRUCK TURNING
1:100

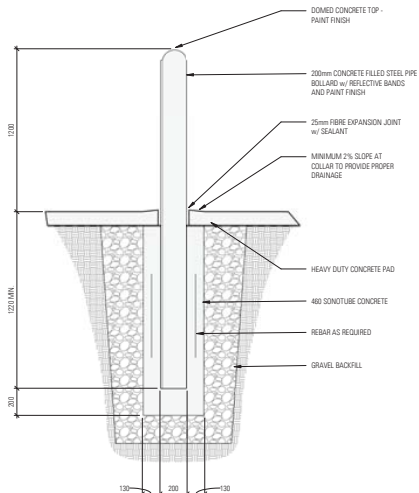
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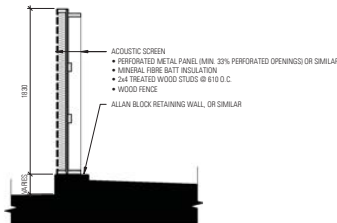
**PRELIMINARY
NOT FOR CONSTRUCTION**



13
DP-1.4
WASTE COLLECTION BINS
1:75



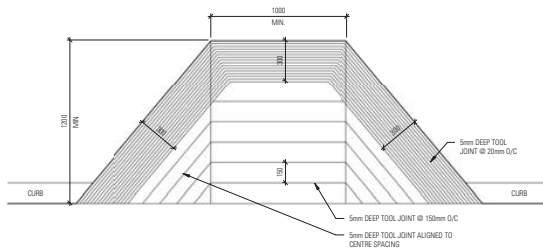
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DP-1.4
BOLLARD DETAIL
1:20



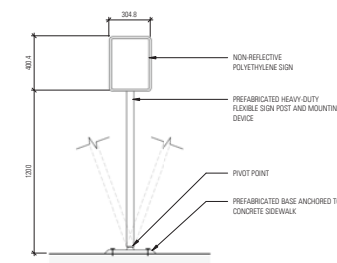
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DP-1.4
SITE SECTION @ ACOUSTIC SCREEN
1:30



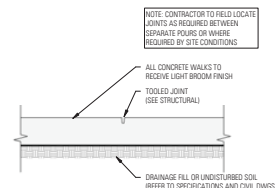
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DP-1.4
SITE SECTION @ FENCE
1:30



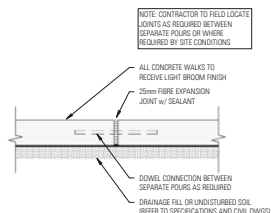
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DP-1.4
BARRIER FREE RAMP
1:20



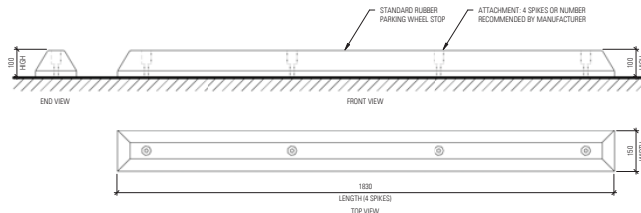
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DP-1.4
SITE SIGNAGE DETAIL
1:20



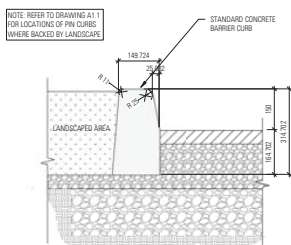
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DP-1.4
TYPICAL CONCRETE CONTROL JOINT
1:10



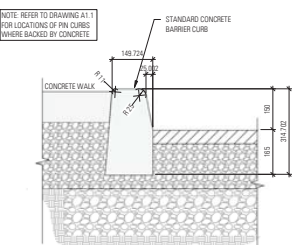
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DP-1.4
CONCRETE EXPANSION JOINT
1:10



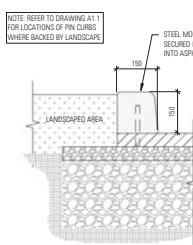
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DP-1.4
TYPICAL RUBBER WHEEL STOP
1:10



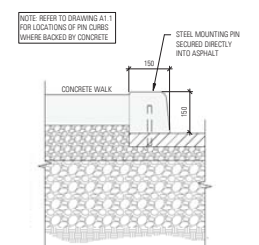
10
DP-1.4
BARRIER CURB DETAIL A BORDERING LANDSCAPE
1:10



9
DP-1.4
BARRIER CURB DETAIL B BORDERING CONCRETE
1:10



2
DP-1.4
PIN CURB DETAIL A BORDERING LANDSCAPE
1:10



1
DP-1.4
PIN CURB DETAIL B BORDERING CONCRETE
1:10

3	ITR RESPONSE	21-11-22
2	ITR RESPONSE	21-08-22
1	DEVELOPMENT PERMIT	21-05-21
NO	DESCRIPTION	TYPE (BY/DATE/ISS)

ISSUED FOR / REVISIONS	
Architect	CAI
Project Lead	TA
Drawn By	As Indicated
Scale	As Indicated
Project Number	2020-01-002
Site Civic	401, 402, 401-176 Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 02
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS

CAI
 Drawing Title
SITE DETAILS

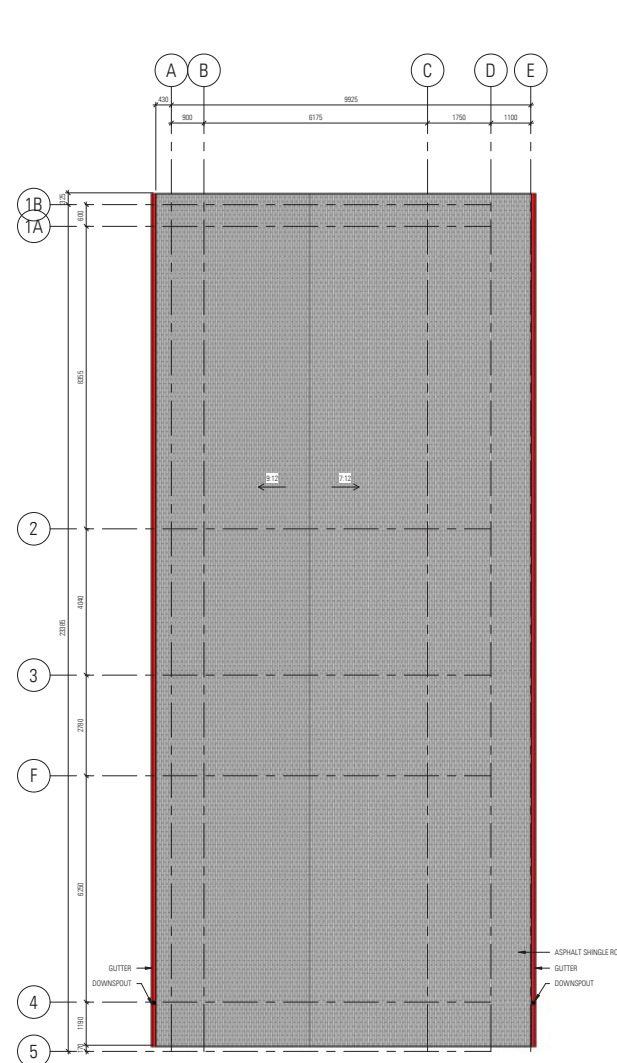
SYSTEMIC Architecture Inc.
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Drawing
DP-1.4

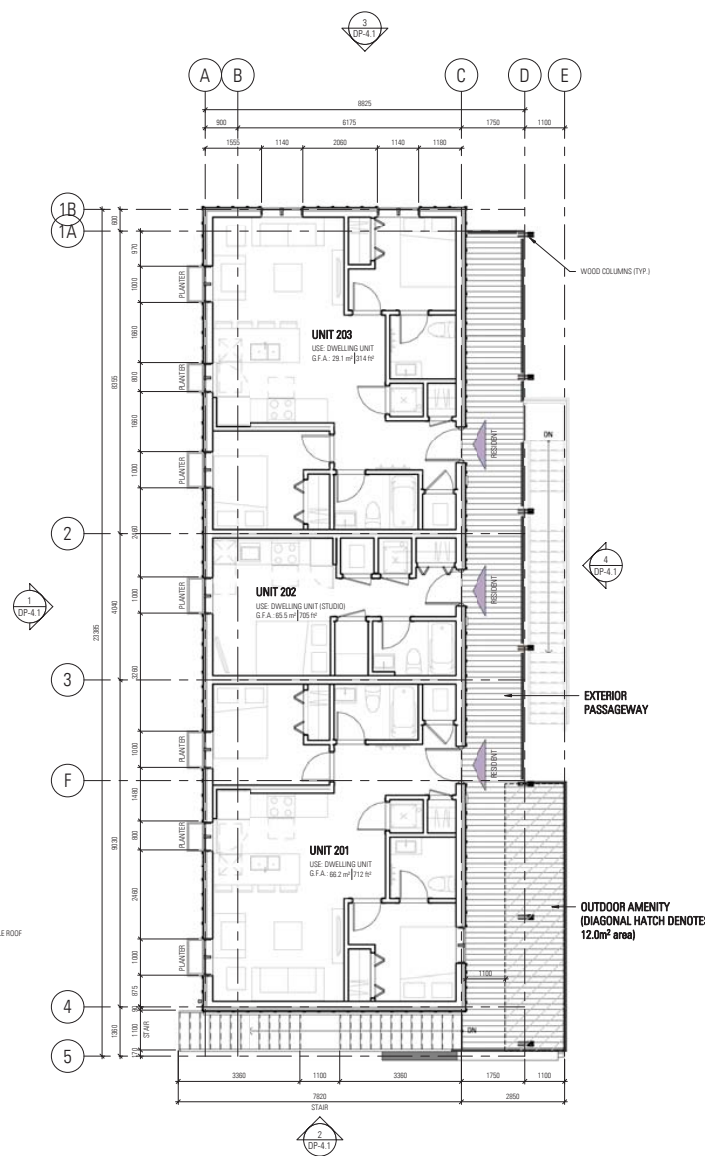
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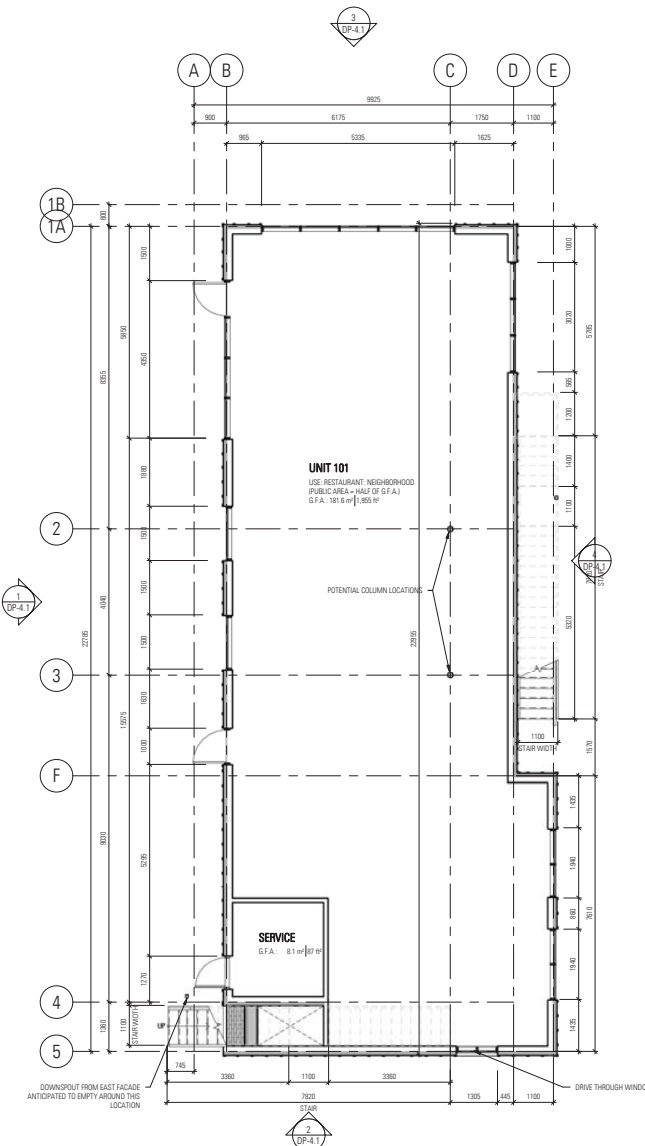
**PRELIMINARY
NOT FOR CONSTRUCTION**



3 ROOF PLAN
1:75
DP-2.1



2 SECOND FLOOR PLAN
1:75
DP-2.1



1 MAIN FLOOR PLAN
1:75
DP-2.1

No.	Description	Date
3	ITR RESPONSE	21-11-22
2	ITR RESPONSE	21-08-22
1	DEVELOPMENT PERMIT	21-05-21

ISSUED FOR / REVISIONS

Architect	CAR
Project Lead	TA
Drawn By	TA
Scale	1:75
Project Number	2020-011_002
Site Civic	401, 402, 403-176 Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 02
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS

Drawing Title
MAIN, SECOND FLOOR & ROOF PLANS

SYSTEMIC Architecture Inc.
 203 - 2120 Kensington Road
 Calgary, Alberta, Canada T2N 3R7
 403.215.9001

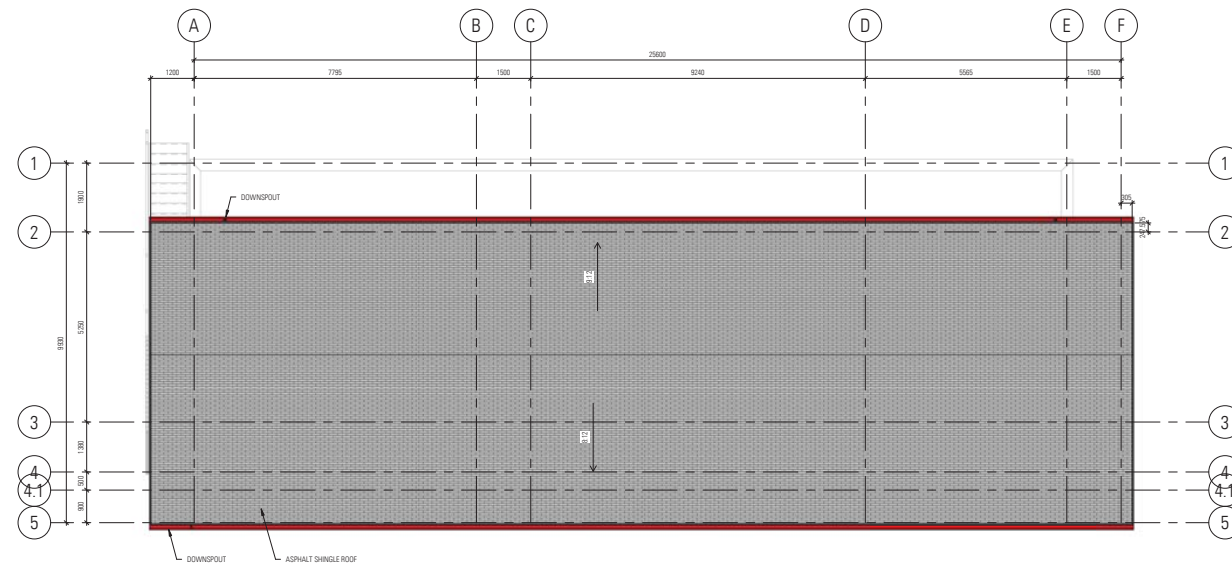
Drawing Building Number

DP-2.1 A

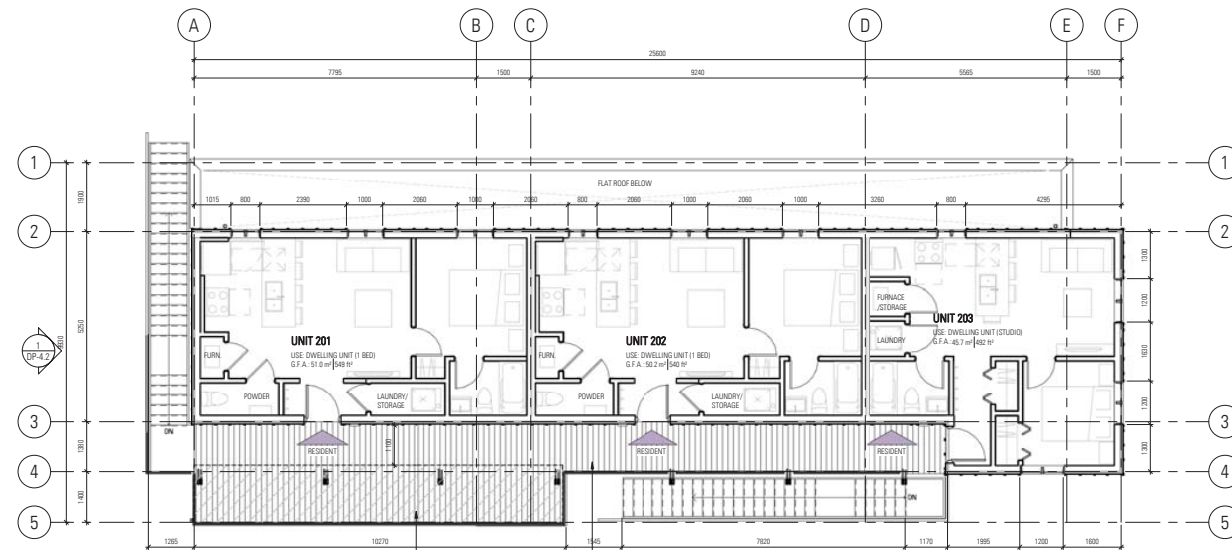
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ARCHITECTS SEAL

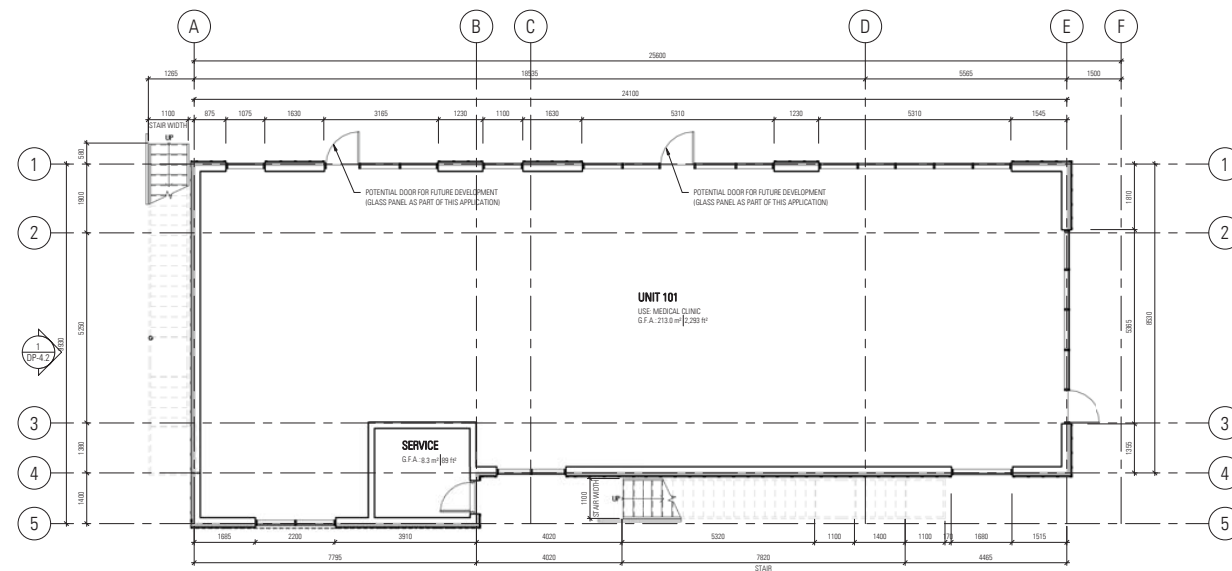
**PRELIMINARY
NOT FOR CONSTRUCTION**



3 ROOF PLAN
DP-2.2 1:75



2 SECOND FLOOR PLAN
DP-2.2 1:75



1 MAIN FLOOR PLAN
DP-2.2 1:75

No.	Description	Date
3	IFR RESPONSE	21-11-22
2	IFR RESPONSE	21-08-22
1	DEVELOPMENT PERMIT	21-05-21

ISSUED FOR / REVISIONS	
Architect	CA
Project Lead	TA
Drawn By	TA
Scale	1:75
Project Number	2020-01-002
Site Civic	401, 402, 411-176 Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 02
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS

DRAWN BY
GLENDALE COMMONS

Architecture Inc.
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 203 - 2120 Kensington Road
 Calgary, Alberta, Canada T2N 3P7
 403.215.9001

Drawing Title
DP-2.2 B



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ARCHITECT'S SEAL
PRELIMINARY
NOT FOR CONSTRUCTION

KEYNOTES
 (SHOWN AS THIS)
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- 1 CONCRETE FOUNDATION WALL
- 2 STOREFRONT GLAZING
GLASS: CLEAR
FRAME: BLACK
- 3 STOREFRONT GLAZING - DOOR
TYPE: CLEAR
- 4 WINDOW
FRAME COLOUR: BLACK
GLASS TYPE: CLEAR
- 5 FIBRE CEMENT BOARD AND BATTEN SIDING
COLOUR: WHITE
- 6 FIBRE CEMENT BOARD AND BATTEN SIDING
COLOUR: CHARCOAL GREY
- 7 FIBRE CEMENT SPANDREL PANEL
COLOUR: CHARCOAL GREY
- 8 COLUMN
COLOUR: WOOD TONE
- 9 FIBRE CEMENT TRIM
COLOUR: TO MATCH ADJACENT FINISH
- 10 PLASTER BOA
COLOUR: WOOD TONE
- 11 METAL STAIR
COLOUR: BLACK
- 12 METAL GUARDRAIL/HANDRAIL
COLOUR: BLACK
- 13 RESIDENTIAL UNIT ENTRY DOOR
COLOUR: DARK
- 14 COMMERCIAL UNIT SERVICE/EXIT DOOR
TYPE: ASPHALT CHINGLES
COLOUR: DARK
- 15 EXTERIOR LIGHT FIXTURE
SPECIFICATION: REFER TO ELECTRICAL
- 16 METAL BUTTER AND DOWNPOUT
COLOUR: BLACK
- 17 DRIVE THROUGH CANOPY
COLOUR: TID
- 18 COLUMN
COLOUR: TO MATCH STAIR

SIGNAGE
 ALL NOTED SIGNAGE ARE PLACEHOLDER ONLY AND TO BE SUBMITTED UNDER A SEPARATE DEVELOPMENT PERMIT.

No.	Description	Date
3	100% RESPONSE	21-11-22
2	50% RESPONSE	21-08-21
1	DEVELOPMENT PERMIT	21-05-21

ISSUED FOR / REVISIONS	
Architect	CM
Project Lead	TA
Drawn By	As Informed
Scale	AS SHOWN
Project Number	2020-411_002
Site Civic	400, 402, 411-176 Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 05
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS

SYSTEMIC Architecture Inc.
 203 - 2120 Kensington Road
 Calgary, Alberta, Canada T2N 3R7
 403.215.9001

Drawing Title: **EXTERIOR ELEVATIONS**

Drawing: **DP-4.1** Building Number: **A**

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**PRELIMINARY
NOT FOR CONSTRUCTION**

KEYNOTES

(SHOWN AS THIS)

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- 1 CONCRETE FOUNDATION WALL
- 2a STOREFRONT GLAZING
GLASS CLEAR
FRAME BLACK
- 2b STOREFRONT GLAZING - DOOR
TYPE CLEAR
- 3 WINDOW
FRAME COLOUR BLACK
GLASS TYPE CLEAR
- 4a FIBRE CEMENT SIDING AND BATTEN SIDING
COLOUR CHARCOAL GREY
- 4b FIBRE CEMENT SIDING
COLOUR WHITE
- 5 FIBRE CEMENT SPANDREL PANEL
COLOUR CHARCOAL GREY
- 6 COLUMN
COLOUR WOOD TONE
- 7a FIBRE CEMENT TRIM
COLOUR TO MATCH ADJACENT FINISH
- 7b FIBRE CEMENT TRIM
COLOUR WOOD TONE
- 8 PLASTER BOA
COLOUR WOOD TONE
- 9a METAL STAIR
COLOUR BLACK
- 9b METAL GUARDRAIL/HANDRAIL
COLOUR BLACK
- 10 RESIDENTIAL UNIT ENTRY DOOR
COLOUR DARK
- 11 COMMERCIAL UNIT SERVICE/EXIT DOOR
TYPE ASPHALT CHINGLES
- 12 ROOF
TYPE ASPHALT CHINGLES
COLOUR DARK
- 13 EXTERIOR LIGHT FIXTURE
SPECIFICATION REFER TO ELECTRICAL
- 14 METAL BUTTER AND DOWNSPOUT
COLOUR BLACK
- 15 DRIVE THROUGH CANOPY
COLOUR TID
- 16 COLUMN
COLOUR TO MATCH STAIR

SIGNAGE

ALL NOTED SIGNAGE AREAS ARE PLACEHOLDER ONLY AND TO BE SUBMITTED UNDER A SEPARATE DEVELOPMENT PERMIT.

No.	Description	Date
3	3RD RESPONSE	21-11-22
2	2ND RESPONSE	21-08-22
1	DEVELOPMENT PERMIT	21-05-21

ISSUED FOR / REVISIONS

Architect	CA
Project Lead	TA
Drawn By	TA
Scale	As Indicated
Project Number	2020-011_002
Site Civic	401, 402, 401-176 Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 02
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS
Drawing Title	EXTERIOR ELEVATIONS

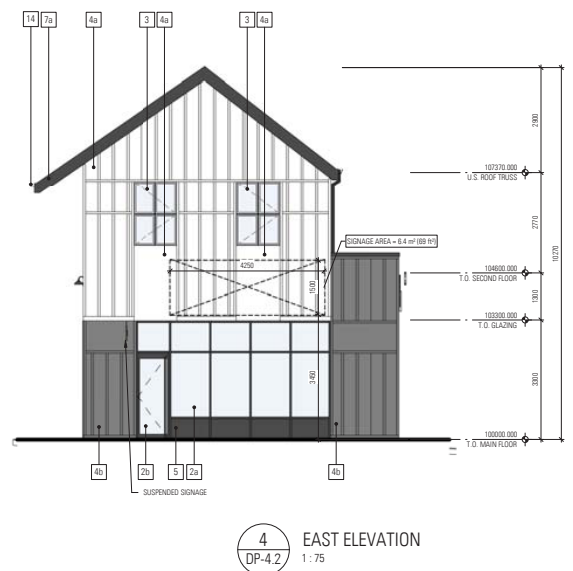
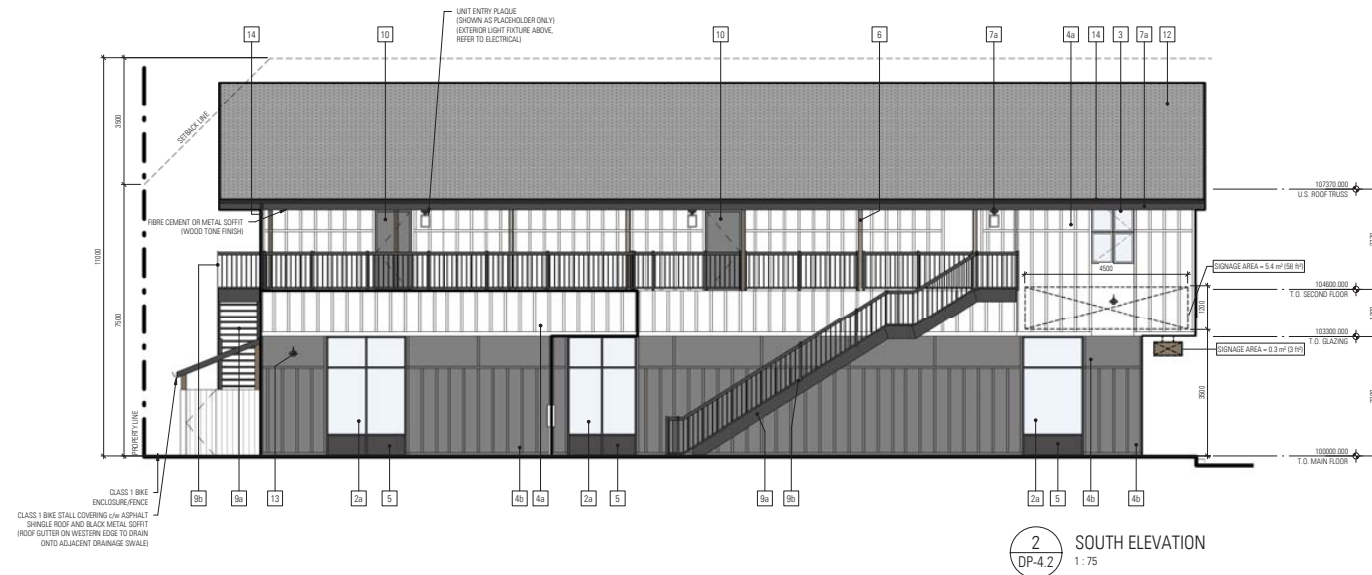
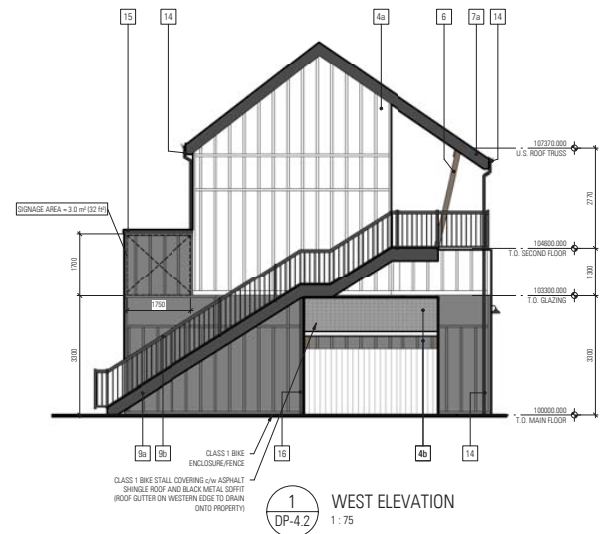
CREATED BY
 Drawing Title
 EXTERIOR ELEVATIONS

SYSTEMIC Architecture Inc.
 203 - 2120 Kensington Road
 Calgary, Alberta, Canada T2N 3P7
 403.215.9001

Drawing Building Number

DP-4.2 B

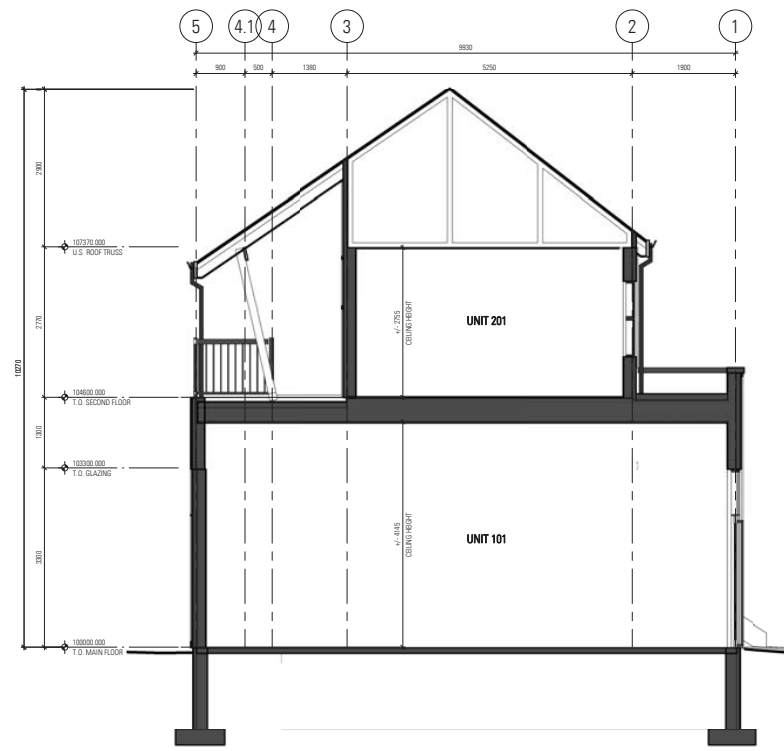
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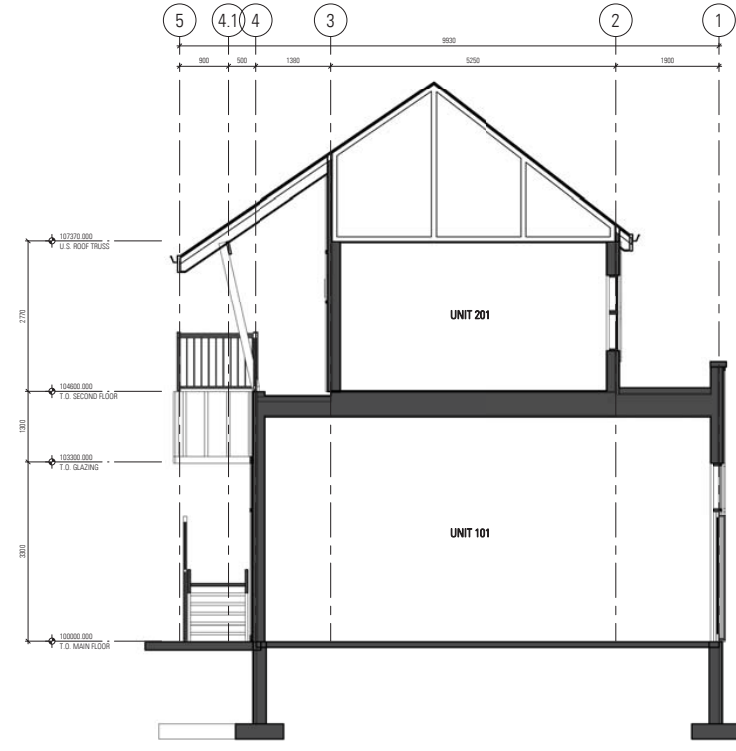
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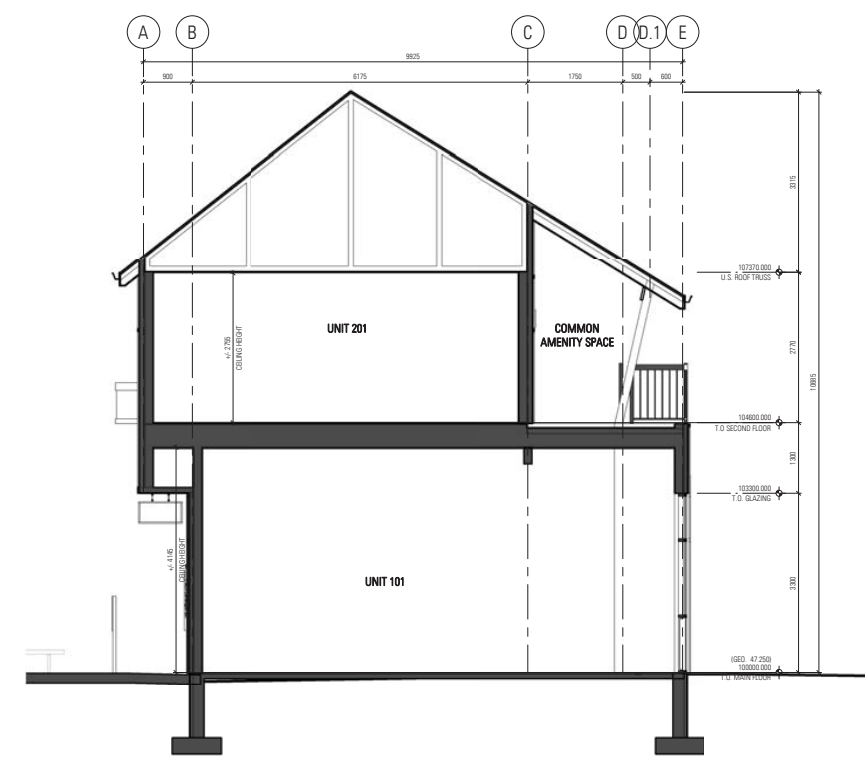
**PRELIMINARY
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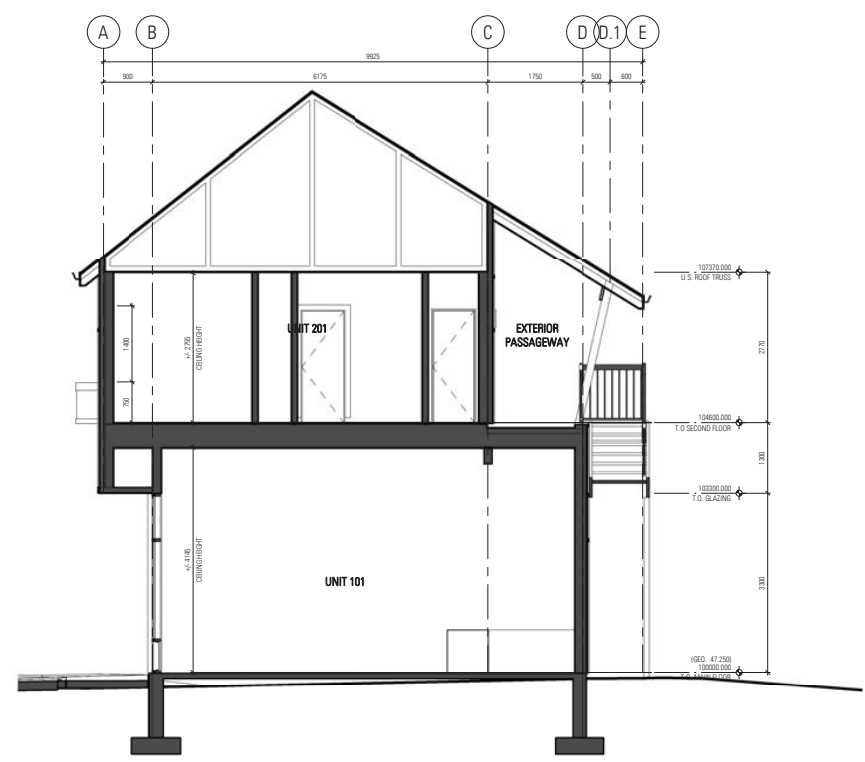
3 BUILDING 'B' SECTION
DP-5.1 1:50



2 BUILDING 'B' SECTION
DP-5.1 1:50



4 BUILDING 'A' SECTION
DP-5.1 1:50



1 BUILDING 'A' SECTION
DP-5.1 1:50

1	STRG RESPONSE	21-11-22
2	STRG RESPONSE	21-08-21
No.	Description	Date
		(YY-MM-DD)

ISSUED FOR / REVISIONS

Architect	CAI
Project Lead	TA
Drawn By	TA
Scale	1:50
Project Number	2020-01-002
Site Civic	401, 402, 411-176 Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 05
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS

CREATED BY

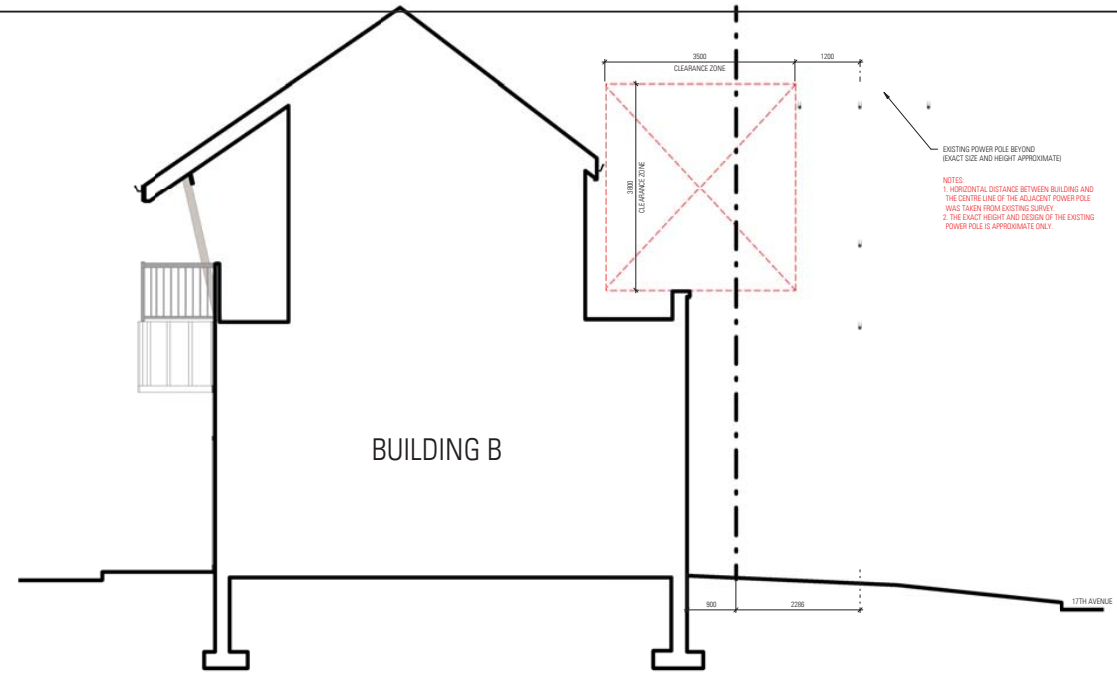
Drawing Title

BUILDING SECTIONS

SYSTEMIC Architecture Inc.
 203 - 2120 Kensington Road
 Calgary, Alberta, Canada T2N 3R7
 403.243.9001

Drawing

DP-5.1



1 BUILDING SECTION (BUILDING B)
DP-5.2 1:50

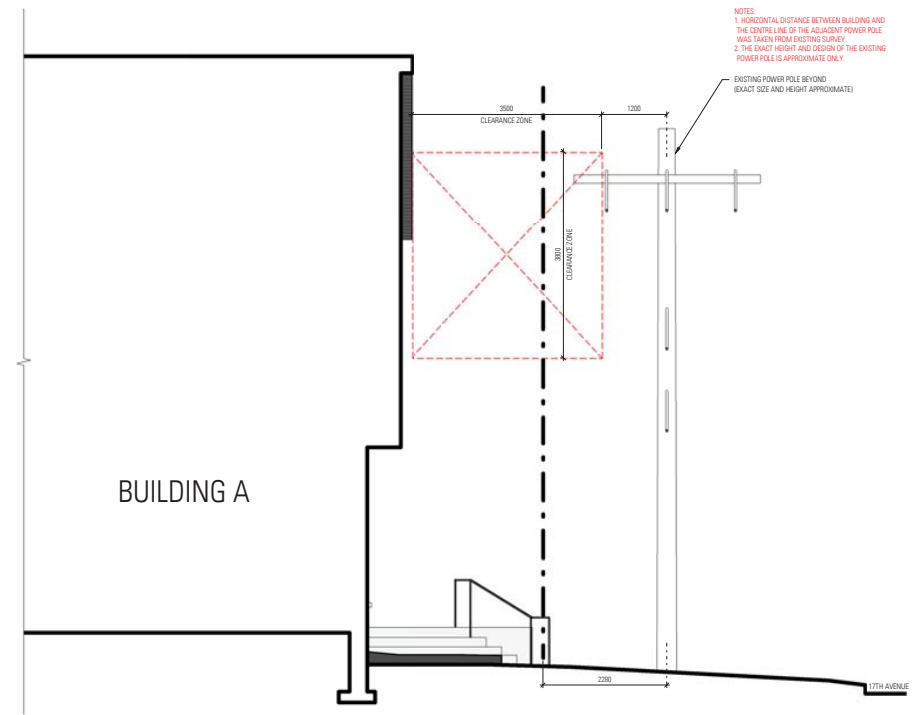
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ARCHITECT'S SEAL

**PRELIMINARY
NOT FOR CONSTRUCTION**

EXISTING POWER POLE BEYOND
EXACT SIZE AND HEIGHT APPROXIMATE

NOTES:
 1. HORIZONTAL DISTANCE BETWEEN BUILDING AND THE CENTRE LINE OF THE ADJACENT POWER POLE WAS TAKEN FROM EXISTING SURVEY.
 2. THE EXACT HEIGHT AND DESIGN OF THE EXISTING POWER POLE IS APPROXIMATE ONLY.



2 BUILDING SECTION (BUILDING A)
DP-5.2 1:50

3	ITR RESPONSE	21-11-22
2	ITR RESPONSE	21-08-21
1	DEVELOPMENT PERMIT	21-05-21
No.	Description	Date
		(17) (18) (20)

ISSUED FOR / REVISIONS

Architect	CA
Project Lead	TA
Drawn By	TA
Scale	1:50
Project Number	2020-011_002
Site Civic	401, 402, 411-176 Avenue SW
Site Legal	Lot 29-21, Block 24, Plan 2002 05
Development Permit	TO BE ASSIGNED
Building Permit	TO BE ASSIGNED
Project Name	GLENDALE COMMONS

GLENDALE COMMONS

CREATED BY

Drawing Title
**BUILDING SECTIONS @
POWER LINES**

SYSTEMIC Architecture Inc.
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 Calgary, Alberta, Canada T2N 3R7
 403.243.9001

Drawing

DP-5.2

[SMM]

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PROJECT

GLENDALE
COMMONS

SITE ADDRESS

GLENMOUNT DR. SW

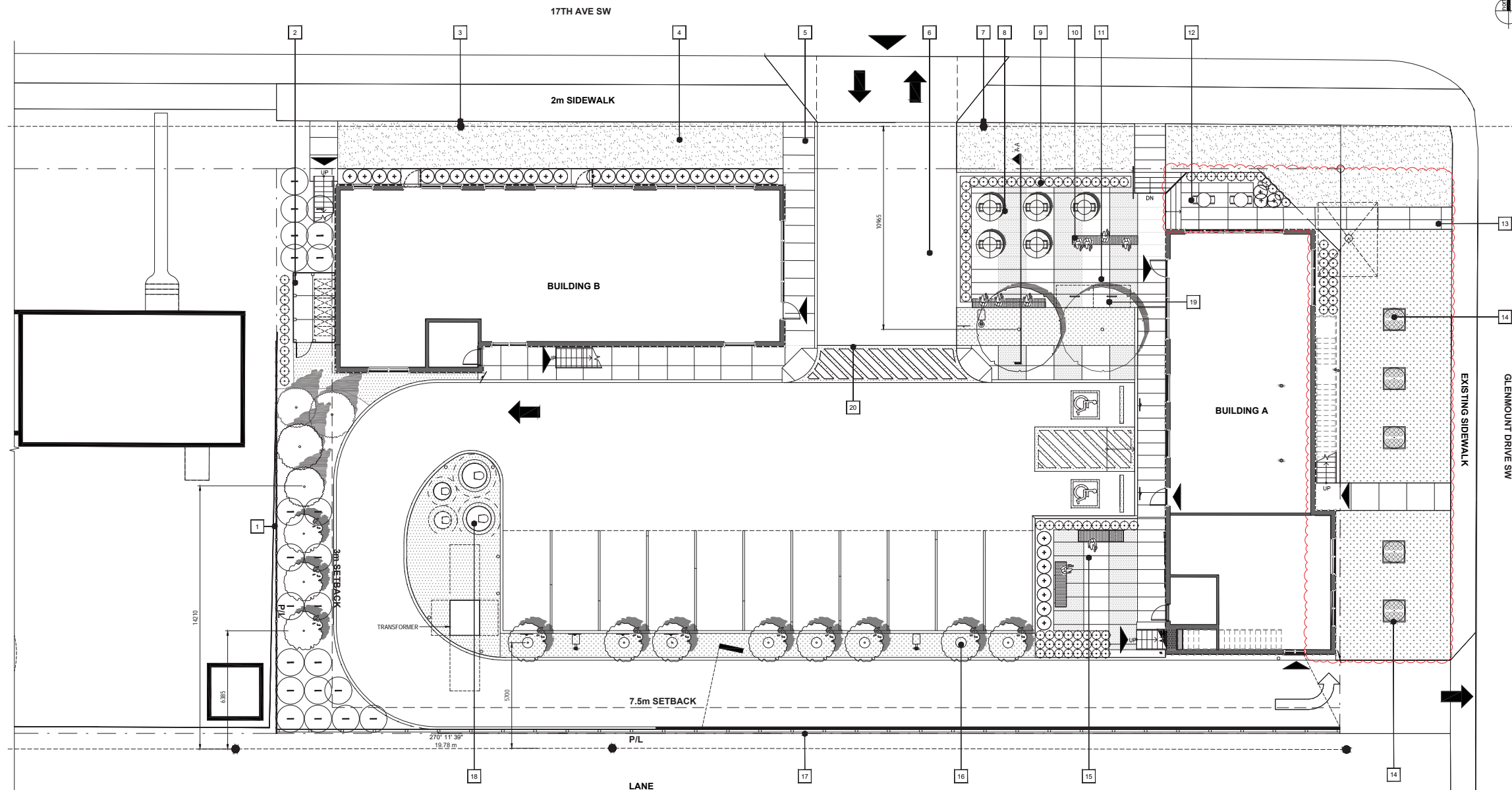
KEY PLAN

PROJECT NORTH



CONSULTANTS

SEAL



1 LANDSCAPE PLAN
SCALE: 1:100

PROJECT DATA/SITE BUILDING DATA

ZONING: Direct Control District 23102019
SITE AREA: 1,752 m²

LANDSCAPE CALCULATIONS

Based on Mixed-Use General MU-1

WEST SETBACK	SOUTH SETBACK
1 TREE / 45m ² = 2	NO TREE OR SHRUB REQUIREMENTS
2 SHRUBS / 45m ² = 4	

DECIDUOUS TOTAL	DECIDUOUS TOTAL
DEC @ 75mm CAL 01	DEC @ 75mm CAL 00
DEC @ 50mm CAL 00	DEC @ 50mm CAL 00
CONIFEROUS TOTAL (25%)	CONIFEROUS TOTAL (25%)
CON @ 3500mm HT 01	CON @ 3500mm HT 00
CON @ 2500mm HT 00	CON @ 2500mm HT 00

LABELS

- EXISTING FENCE TO REMAIN
- ENCLOSED CLASS 1 BIKE RACK LOCATION - REFER TO ARCH
- EXISTING OVERHEAD POWER LINE POLE
- SODDED CITY BOULEVARD
- BARRIER FREE ACCESS FROM PUBLIC SIDEWALK
- VEHICULAR WAITING CUE FOR PEDESTRIAN CROSSING
- EXISTING OVERHEAD POWER LINE POLE
- PUBLIC AMENITY SPACE W/ MOVABLE TABLE + CHAIRS + OPTIONAL UMBRELLA
- ORNAMENTAL GRASS INTEGRATED INTO RAISED PLAZA
- DOUBLE SIDED WOOD SLAT BENCH
- AMENITY PLAZA
- LOWERED PLAZA ACCESSED FROM GLENMOUNT DRIVE
- PEDESTRIAN ACCESS FROM GLENMOUNT DRIVE SW
- LOWER PLAZA SEATING AREA W/ MOVABLE TABLES AND CHAIRS
- PRIVATE AMENITY SPACE
- LOW ORNAMENTAL TREE BUFFER
- ACOUSTIC SCREEN FENCE - REFER TO ARCH
- WASTE AND RECYCLING BINS WITHIN DECORATIVE RUNDLES STONE MULCH
- CLASS 2 BIKE RACKS
- PAINTED PEDESTRIAN CROSSING

GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
- ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES
- ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
- ALL LANDSCAPE AREAS TO BE EQUIPPED WITH A LOW-WATER HIGH EFFICIENCY IRRIGATION SYSTEM
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. DRIP IRRIGATION TO BE USED FOR TREES AND PLANTING BEDS AND A ROTARY SYSTEM FOR ALL TURF AREAS

SURFACE LEGEND

- STANDARD CONCRETE
W/ SAW CUT JOINTS AND MEDIUM SANDBLAST FINISH
- STANDARD CONCRETE
W/ SAW CUT JOINTS AND LIGHT SANDBLAST FINISH
- SOD
- BLUE LYME GRASS
- 10mm DIA RUNDLE STONE ROCK
- URBAN F GRASS SEED MIX
- 1200x600x450 (LxWxH) RUNDLE BOULDER

SHRUB + GRASS LEGEND

- MORDEN SUNRISE ROSE
- FALSE SPIREA
- SNOWBERRY
- KARL FOERSTER GRASS

TREE LEGEND

- TATARIAN MAPLE 75mm cal
- JAPANESE TREE LILAC 75mm cal
- COLUMNAR COLORADO BLUE SPRUCE 2.5m ht
- COLUMNAR COLORADO BLUE SPRUCE 3.0m ht

PLANT LIST: DECIDUOUS TREES

SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
<i>Acer tataricum</i> 'GarAnn'	TATARIAN MAPLE	75mm CAL, B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	02
<i>Syringa reticulata</i>	JAPANESE TREE LILAC	75mm CAL, B&B, MIN 700 mm wd x 400mm DEPTH ROOT BALL	11

PLANT LIST: CONIFEROUS TREES

SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
<i>Picea pungens</i> 'Fastigiata'	COLUMNAR COLORADO SPRUCE	3.0m ht, B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	02
<i>Picea pungens</i> 'Fastigiata'	COLUMNAR COLORADO SPRUCE	2.5m ht, B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	02

PLANT LIST: DECIDUOUS SHRUBS

SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
<i>Symphoricarpos albus</i>	SNOWBERRY	#5 CONT, MIN 800mm ht, MIN. 4 MAJOR BASAL STEMS, ROOT SPREAD 200mm	37
<i>Sorbaria sorbifolia</i>	FALSE SPIREA	#5 CONT, MIN 800-1000mm ht, MIN. 4 MAJOR BASAL STEMS, ROOT SPREAD 250mm	22
<i>Rosa</i> 'Morden Sunrise'	MORDEN SUNRISE ROSE	#5 CONT, MIN 800-1000mm ht, MIN. 4 MAJOR BASAL STEMS, ROOT SPREAD 250mm	5

PLANT LIST: GRASSES & PERENNIALS

SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
<i>Calamagrostis acutiflora</i> 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	15cm POT	91
<i>Leymus arenarius</i>	BLUE LYME GRASS	15cm POT	150

3	x	ISSUED FOR DTR2	2021/11/22
2	x	ISSUED FOR DTR1	2021/08/28
1	x	ISSUED FOR DEVELOPMENT PERMIT	2021/05/20
NO.	x	ISSUED FOR	DATE (YY/MM/DD)

DRAWING ISSUED: X : INDICATES THE DRAWING IS INCLUDED IN THE PACKAGE

PROJECT NO.:
DATE PLOTTED: 2021/04/09
SCALE: AS SHOWN
DRAWN BY: AP
APPROVED BY: DM

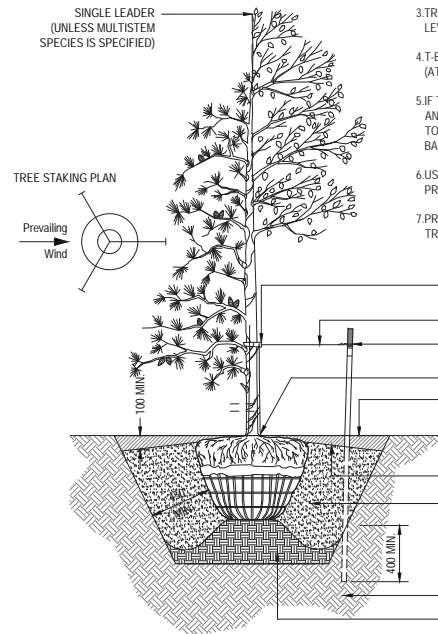
DRAWING TITLE

LANDSCAPE PLAN

DRAWING NUMBER

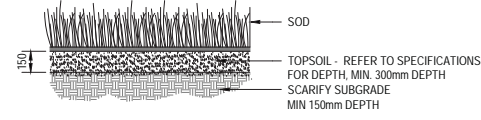
L100

CONIFEROUS DECIDUOUS
Less than 3.0m height 40mm-100mm Caliper
Spade Hole Preparation for Basket or Ball & Burlap Trees

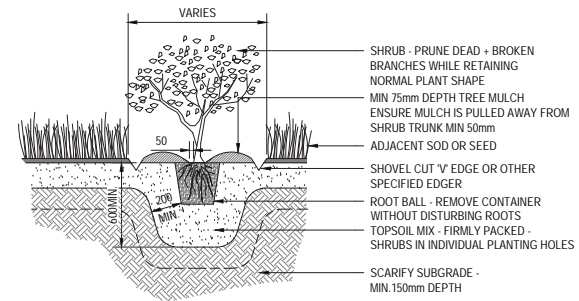


1 TYPICAL TREE PLANTING DETAIL
L200 SCALE 1:20

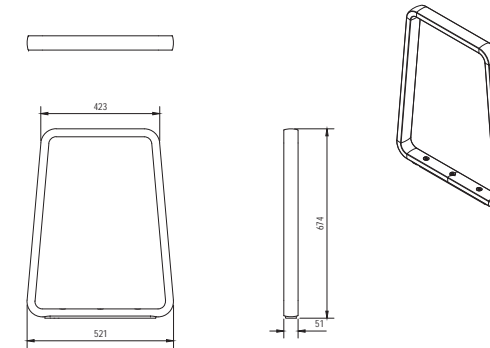
- NOTES:**
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
 - STAKE BEYOND EDGE OF ROOT BALL.
 - TREE SHOULD BE PLANTED 75mm-100mm BELOW GROUND LEVEL.
 - T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
 - IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
 - USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT.
 - PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.



2 TYPICAL SOD PLANTING DETAIL
L200 SCALE 1:20



3 TYPICAL SHRUB PLANTING DETAIL
L200 SCALE 1:20



4 TYPICAL BIKE RACK DETAIL - ICONIC BY MAGLIN
L200 SCALE 1:20

RUTHERFORD PLANTER BOX
SUPPLIER - WISHBONE SITE FURNISHINGS
MODEL - RPL-47
COLOUR - WALNUT
SIZE - 1200mm X 1200mm X 500mm



7 MOVABLE PLANTER
L200 SCALE: NTS



CONSULTANTS

SEAL

NO.	ISSUED FOR	DATE
3	ISSUED FOR DPR2	2021/11/22
2	ISSUED FOR DPR1	2021/08/26
1	ISSUED FOR DEVELOPMENT PERMIT	2021/05/20
NO. 1	ISSUED FOR	DATE (Y/M/D)

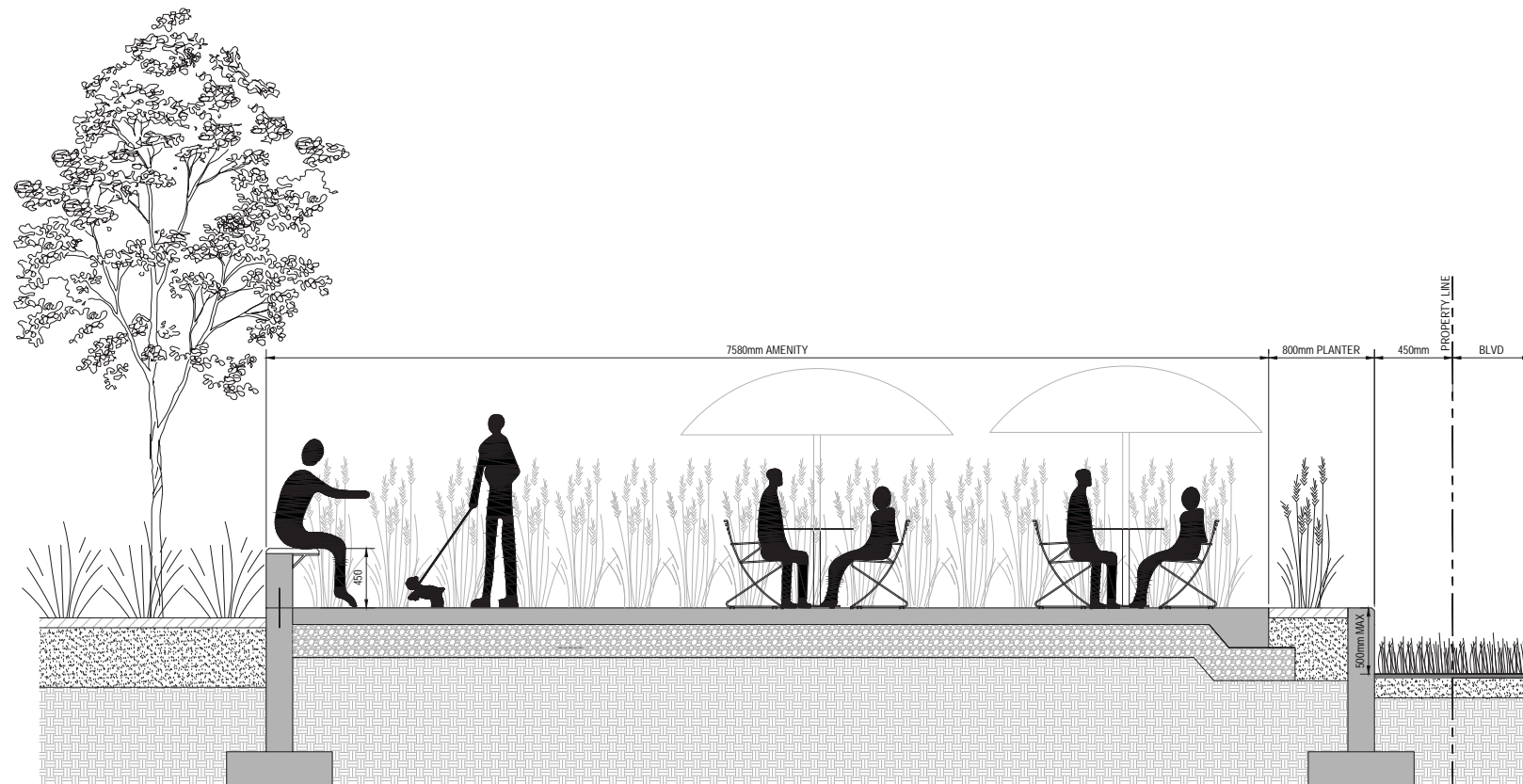
DRAWING ISSUED:
X: INDICATES THE DRAWING IS INCLUDED IN THE PACKAGE

PROJECT NO.:
DATE PLOTTED: 2021/04/09
SCALE: AS SHOWN
DRAWN BY: AP
APPROVED BY: DM
DRAWING TITLE:

LANDSCAPE DETAILS

DRAWING NUMBER

L200



5 SECTION A-A
L200 SCALE 1:20



6 TYPICAL WOODSLAT BENCH - 1050 SERIES BY MAGLIN
L200 SCALE 1:20



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PERMIT TO PRACTICE
JUBILEE ENGINEERING CONSULTANTS LTD.
RM SIGNATURE: _____
RM AREGA ID #: 62132
DATE: _____
PERMIT NUMBER: P 3550
The Association of Professional
Engineers and Geoscientists of Alberta



- NOTES
- All elevations referenced to 100m Geodetic Datum.
 - Hydrants, valves, check valves, manholes, sewer lines etc., to be installed to City of Calgary standards.
 - All manholes to be S.R.C.
 - Match crown minimum at all sewer connections.
 - All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes $\leq 150\text{mm}$ to be SDR 28 PVC. Sewer service pipes > than 150mm to be SDR 35.
 - Sewer lines to minimum slopes as per City of Calgary Standards.
 - Use City of Calgary Type 2 installation, Class 1A bedding for sewer pipes unless unwise noted.
 - Insulation required for sanitary sewers if cover less than 2.50m on mains.
 - Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
 - All water mains to be DR 18 PVC unless otherwise noted.
 - Use City of Calgary Type 1 installation, Class 1A bedding for water mains, Type 2 installation, class 3 bedding for services.
 - Depth of bury for water lines to conform with City of Calgary standards.
 - No trees to be planted over water lines.
 - Protection of Potable Water Supply From Contamination: All Cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
 - For building locations and dimensions refer to latest Architectural drawings.
 - The contractor is responsible for locating all shallow utilities.
 - The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
 - Weeping Tile & Free Flow area drains to be tied to unrestricted free flow storm sewer.
 - All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.

LEGEND

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Water meter location
- Existing elevation
- S-A 00.00 Sanitary manhole number & elevation
- CB/GT/ST-1 00.00 CB/GT/Storm manhole number & elevation
- M.F. 000.00 Main floor elevation
- T.F. 000.00 Top of footing elevation
- S 000.00 Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2021-3689
DSSP 2021-186

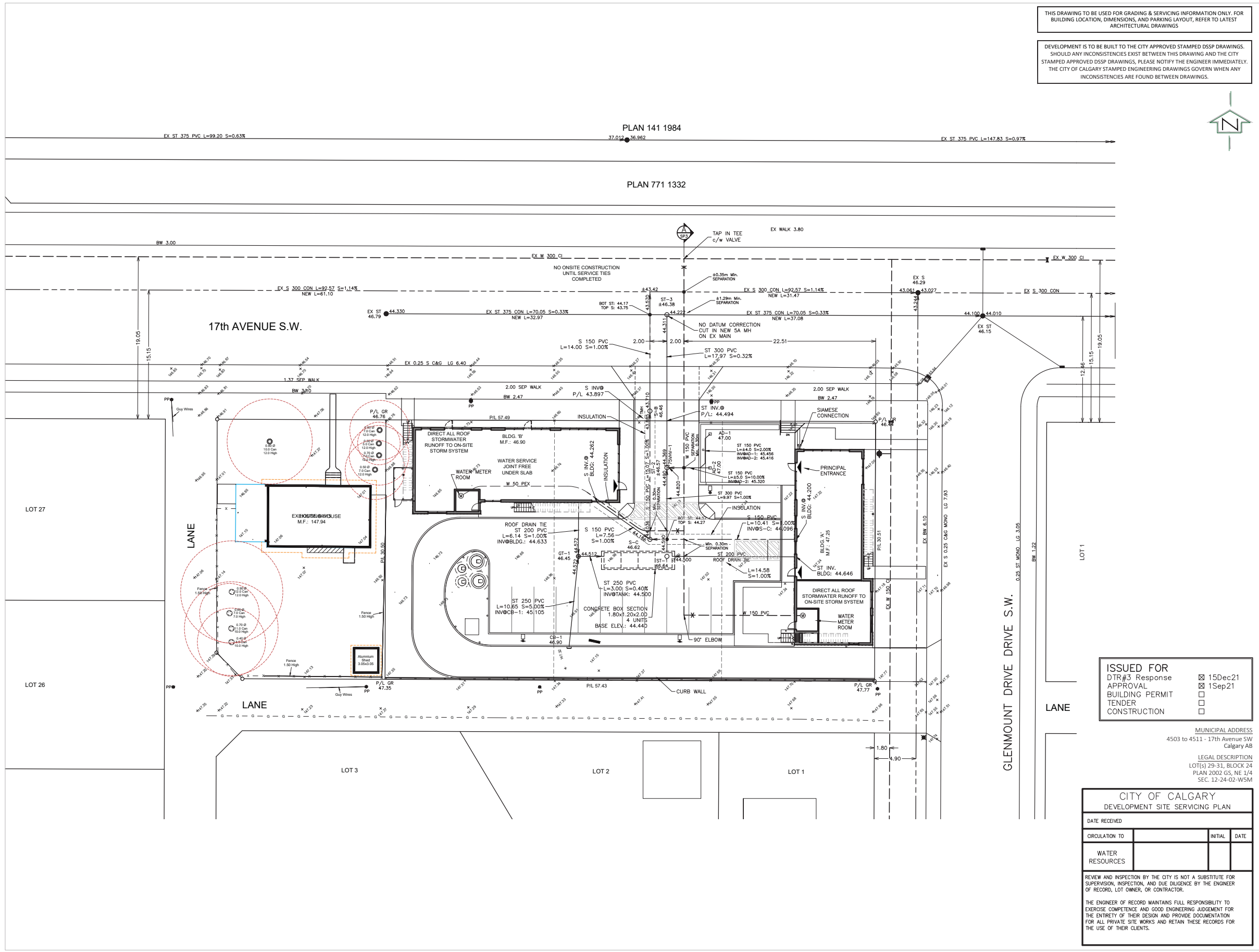
NO.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1	15-Dec-21	DP 2021-3689 (DTRM)	RDC

ISSUED FOR	DATE	APPROVAL
4 AS-BUILT		
3 FOR CONSTRUCTION		
2 FOR TENDER		
1 DEVELOPMENT PERMIT	21-May-21	RDC
NO. DRAWING STATUS		DATE APP.

CLIENT
SYSTEMIC

PROJECT
GLENDALE COMMONS - MULTI-RESIDENTIAL
(2 BLDGS, 6 UNITS) MEDICAL CLINIC, RESTAURANT
4503 to 4511 - 17th AVENUE SW

DESIGN BY:	D.V.	SCALE:	1:200	JOB NUMBER:	21-047
DRAWN BY:	RDC	REV NO.:	1	DRAWING NUMBER:	SP1
CHECKED BY:		DATE:	15-Dec-21		



ISSUED FOR
DTR#3 Response 15Dec21
APPROVAL 1Sep21
BUILDING PERMIT
TENDER
CONSTRUCTION

MUNICIPAL ADDRESS
4503 to 4511 - 17th Avenue SW
Calgary AB

LEGAL DESCRIPTION
LOT(S) 29-31, BLOCK 24
PLAN 2002 GS, NE 1/4
SEC. 12-24-02-W5M

CITY OF CALGARY
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED	
CIRCULATION TO	INITIAL DATE
WATER RESOURCES	

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S:\21\0471\Drawings\1-047.dwg, 12/15/2021 8:22:13 AM Robert D. Christie, C.E.T.



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PERMIT TO PRACTICE
JUBILEE ENGINEERING CONSULTANTS LTD.
RM SIGNATURE: [Signature]
RM APECA ID # 62132
DATE: [Date]
PERMIT NUMBER: P 3550
The Association of Professional Engineers and Geoscientists of Alberta

NOTES
1. All elevations referenced to 100m Geodetic Datum.

LEGEND

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Proposed swale
- Overland flow
- Overland escape route
- Design elevation
- Existing elevation
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- Sanitary manhole number & elevation
- CB/GT/ST-1 manhole number & elevation
- Traplow

M.F. 000.00 Main floor elevation
T.F. 000.00 Top of footing elevation
000.00 Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2021-3689
DSSP 2021-186

REVISIONS

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1	15Dec21	DP2021-3689 DTR#3	RDC

ISSUED FOR

4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	21May21 RDC
No.	DRAWING STATUS	DATE APP.

MUNICIPAL ADDRESS
4503 to 4511 - 17th Avenue SW
Calgary AB

LEGAL DESCRIPTION
LOT(s) 29-31, BLOCK 24
PLAN 2002 GS, NE 1/4
SEC. 12-24-02-W5M

CLIENT
SYSTEMIC

PROJECT
GLENDALE COMMONS - MULTI-RESIDENTIAL
(2 BLDG'S, 6 UNITS) MEDICAL CLINIC, RESTAURANT
4503 to 4511 - 17th Avenue SW

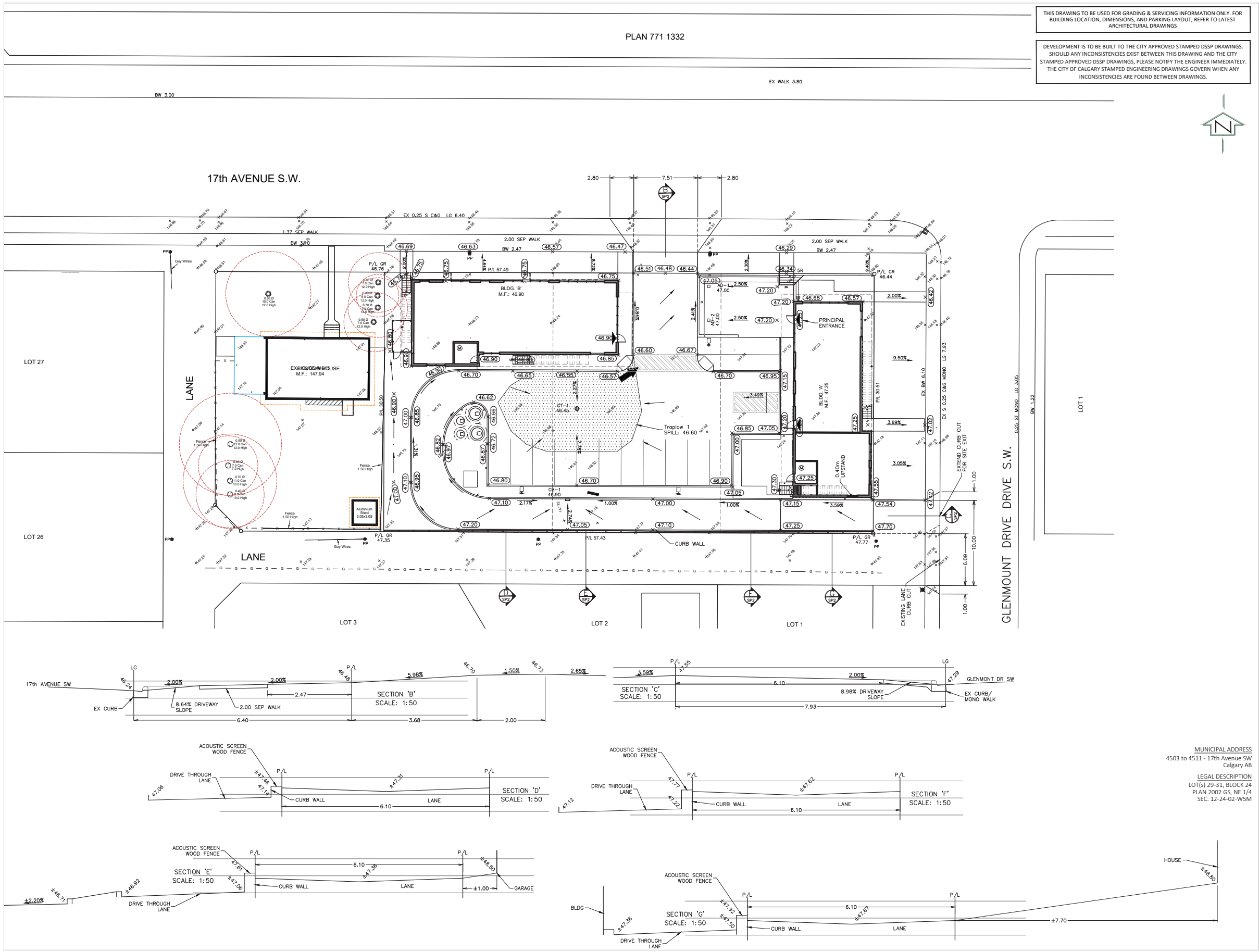
TITLE
SITE GRADING PLAN

DESIGN BY:	D.V.	SCALE:	1:200	JOB NUMBER:	21-047
DRAWN BY:	RDC	REV. NO.:	1	DRAWING NUMBER:	SP2
CHECKED BY:		DATE:	15-Dec-21		

PLAN 771 1332

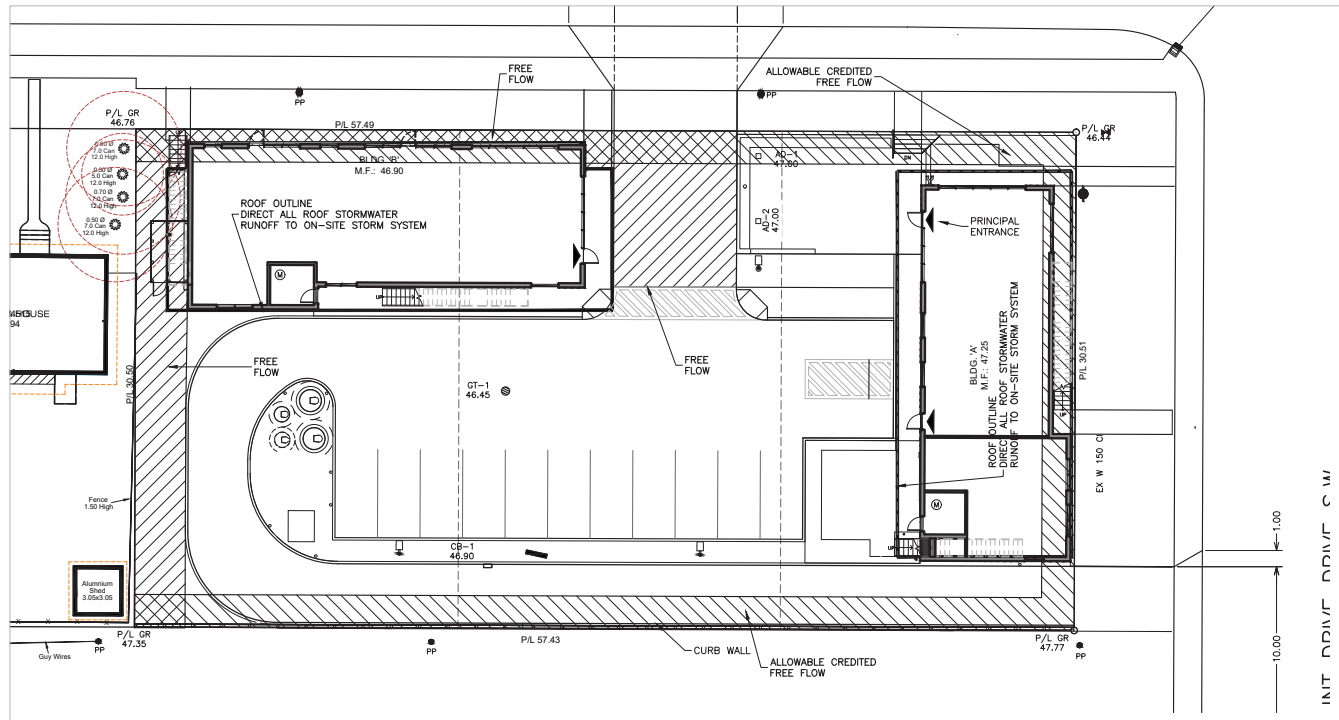
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DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.



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RM SIGNATURE: _____
RM APEGA ID #: 62132
DATE: _____
PERMIT NUMBER: P 3550
The Association of Professional
Engineers and Geoscientists of Alberta

NOTES
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DRAINAGE AREA KEY PLAN
SCALE: 1:200

STORM CALCULATION - SITE TOTAL
Input Variables

C1 = 0.2179 (Coefficient of runoff to Main)
I = 82.55 mm/hr. (Intensity)
100yr. Storm runoff

Ar = 524.94 m² (Area of Roof)
Ap = 1014.90 m² (Area of Paving)
Al = 211.87 m² (Area of Landscaping)
Ag = 0.00 m² (Area of Gravel)
A = 0.0191 ha

Allowable flow to Main
Q1 = C1 x I x A x 2.78
= 8.76 l/s

Realistic Run-off From Site
(Ar x 1) + (Ap x 0.9) + (Al x 0.3) + (Ag x 0.5)
C2 = 0.839

Q2 = C2 x I x A x 2.78
= 33.74 l/s

STORM CALCULATION - FREE FLOW
Input Variables

C1 = 0.2179 (Coefficient of runoff to Main)
I = 168 mm/hr. (Intensity)
100yr. Storm runoff

Ar = 0.00 m² (Area of Roof)
Ap = 79.46 m² (Area of Paving)
Al = 111.52 m² (Area of Landscaping)
Ag = 0.00 m² (Area of Gravel)
A = 0.0191 ha

Allowable flow to Main
Q1 = C1 x I x A x 2.78
= 1.94 l/s

Realistic Run-off From Site
(Ar x 1) + (Ap x 0.9) + (Al x 0.15) + (Ag x 0.5)
C2 = 0.462

Q2 = C2 x I x A x 2.78
= 4.12 l/s

STORM CALCULATION
Input Variables

C1 = 0.2179 (Coefficient of runoff to Main)
I = 82.55 mm/hr. (Intensity)
100 yr. Storm runoff

Ar = 524.94 m² (Area of Roof)
Ap = 935.43 m² (Area of Paving)
Al = 100.35 m² (Area of Landscaping)
Ag = 0.00 m² (Area of Gravel)
A = 0.1561 ha

Allowable flow to Main
Q1 = C1 x I x A x 2.78
= 7.80 l/s

Realistic Run-off From Site
(Ar x 1) + (Ap x 0.9) + (Al x 0.3) + (Ag x 0.5)
C2 = 0.584

Q2 = C2 x I x A x 2.78
= 20.92 l/s

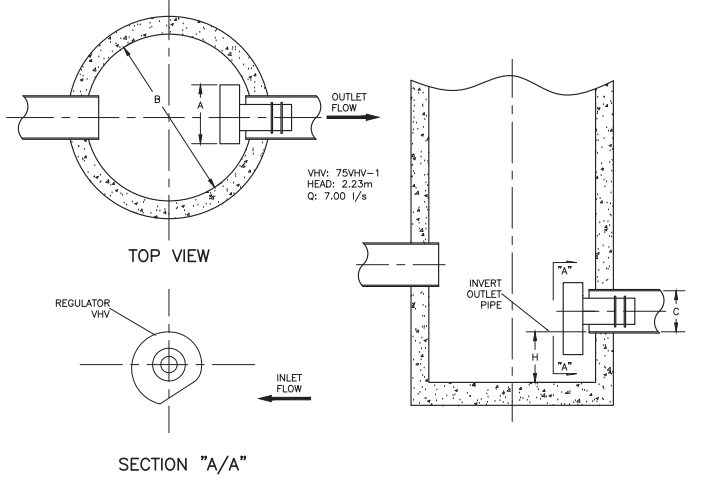
Manning's Formula
H1 = 1044.746 (Interior top of pipe @ lower end)
H2 = 1046.600 (Top of Pond)
L = 17.97 m
Sh = 10.32 %
dia = 300 mm
n = 0.011 (Conc = 0.013; PVC = 0.011)
Qa = 367.13 l/s (Pipe Control Discharge)
ICD IS Required. Use 75VHV-1
H = 2.245 m
Qat = 7.00 l/s (Discharge through flow control device)
C1' = 0.195
C2' / C1' = 2.988
SVF = 0.7027 (from Storage Volume Factors chart)
V = 21.43 cu.m. (required storage volume)

Vol. ST-2 Concrete Box Section Length= 1.78 m. Storage Volume 4.15 cum.x 4. Area= 133.5 sq.m. Dia= 1.219 m. Depth= 0.15 m. View= Area x 0.3 / 3. Vol= 2.08 cu.m. (Usable Vol. 14.82 cu.m.)
Trap 1 1.78 m. Storage Volume 4.15 cum.x 4. Area= 133.5 sq.m. Dia= 1.219 m. Depth= 0.15 m. View= Area x 0.3 / 3. Vol= 2.08 cu.m. (Usable Vol. 14.82 cu.m.)

REGULATOR TYPICAL INSTALLATION.

HYDROVEX Model No.	Regulator Width A (mm)	Manhole Diameter B (mm)	Outlet Pipe Diameter C (mm)	Minimum Clearance H (mm)
75VHV-1	250	1219	300	150

* Minimum Recommended
Please note that the minimum clearance "H" is a function of the outlet diameter shown. If the outlet diameter increases the minimum clearance "H" will decrease.



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282.96 SQ.M ALLOWABLE AREA TO BE CREDITED IN TOTAL AREA OF FREEFLOW
Qcredit = C2 x I x A x 2.78
Qcredit = C2(0.676) x I(168 mm/hr) x A(0.0283 ha) x 2.78
Qcredit = 8.935 l/s
Qcredit must be less than or equal to free flow Qff therefore use Qcredit for credit

STORM CALCULATION SUMMARY

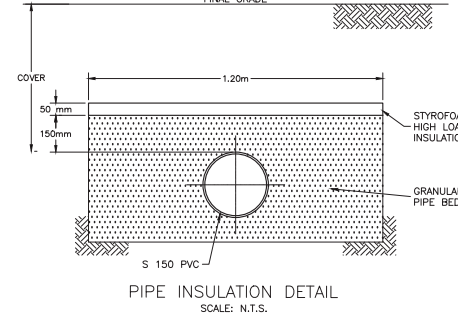
ALLOWABLE FLOW TO MAIN:
Qallow = 50 l/s/ha
A = 0.1752 ha
Qallow = 4.76 l/s [Site Allowable]
Qallow = C1(I) x (82.55 mm/hr) x A(0.1752 ha) x 2.78
C1 = 0.2179
FREE FLOW:
Qff = C2(0.462) x I(168 mm/hr) x A(0.0191 ha) x 2.78

Qff = 4.12 l/s
Qat(Area) = 7.00 l/s
- Qcredit = 4.12 l/s [Max Credit]

ACTUAL DISCHARGE: 7.00 l/s

TOTAL REQUIRED VOLUME: 21.43 m³
VOLUME (ST-2): 2.08 m³
VOLUME (Trap-1): 6.68 m³
VOLUME (Concrete Box): 16.60 m³ (Usable Vol. 14.82 cu.m.)

TOTAL VOLUME: 23.58 m³



LEGEND

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- Design elevation
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- Traplow

M.F. 000.00 Main floor elevation
T.F. 000.00 Top of footing elevation
000.00 Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2021-3689
DSSP 2021-186

REVISIONS

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1	15-Dec-21	DP 2021-3689 07/18/21	RDC

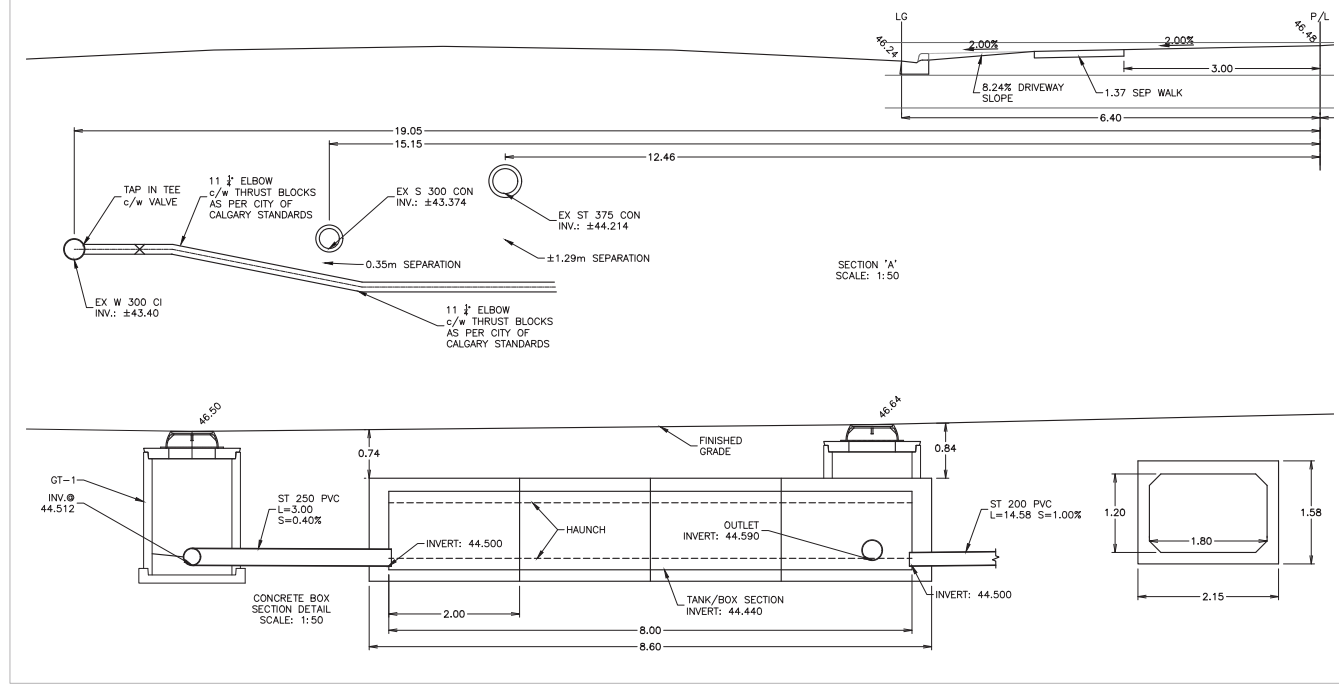
ISSUED FOR:
4 AS-BUILT
3 FOR CONSTRUCTION
2 FOR TENDER
1 DEVELOPMENT PERMIT 211Mn21 RDC
No. DRAWING STATUS DATE APP.

CLIENT
SYSTEMIC

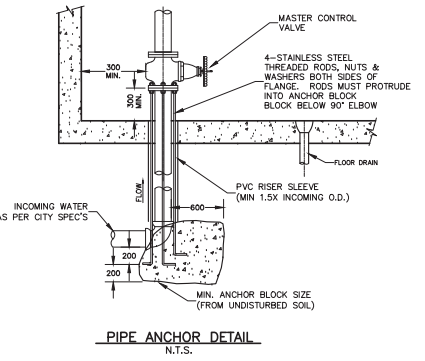
PROJECT
GLENDALE COMMONS - MULTI-RESIDENTIAL (2 BLDG'S, 6 UNITS) MEDICAL CLINIC, RESTAURANT 4503 to 4511 - 17th Avenue SW

TITLE
STORMWATER MANAGEMENT CALCULATIONS AND SITE DETAILS PLAN

DESIGN BY:	D.V.	SCALE:	JOB NUMBER:
DRAWN BY:	RDC	As-Shown	21-047
CHECKED BY:		REV NO.:	DRAWING NUMBER
DATE:	15-Dec-21	1	SP3



REQUIRED LOW IMPACT DEVELOPMENT (LID)
A min. depth of 0.30m of topsoil is required for sod areas.
A min. depth of 0.60m of topsoil is recommended for shrub and tree beds.
Shrub and tree beds may have up to 1.0m depth of topsoil.
Site grading should direct rain water runoff to plants with high water needs to reduce reliance on potable water.



- NOTES:**
- THE MASTER CONTROL VALVE SHALL BE ONE OF THE FOLLOWING:
a) RESILENT SEATED RISING SPINDLE (OS & Y) FLANGE GATE VALVE (UL or ULC LISTED) FOR FIRE LINES AND CSA APPROVED FOR DOMESTIC LINES.
b) SHORT-BODY, RUBBER SEATED FLANGED OR LUG WATER TYPE BUTTERFLY VALVE c/w HAND WHEEL, REDUCTION GEAR OPERATOR, POSITION INDICATOR (UL or ULC LISTED) PROVIDED THEY ARE NOT IN A SUCTION LINE FOR FIRE PUMPS(S).
c) SHORT-BODY, RUBBER SEATED FLANGED OR LUG WATER TYPE BUTTERFLY VALVE c/w HAND WHEEL, REDUCTION GEAR OPERATOR, POSITION INDICATOR (UL or ULC LISTED) PROVIDED THEY ARE NOT IN A SUCTION LINE FOR FIRE PUMPS(S).
 - ENTRANCE PIPE MATERIAL THROUGH THE OUTSIDE WALL AND THROUGH THE FLOOR SHALL BE DUCTILE IRON PIPE AWWA C151 (LATEST EDITION) CLASS B3 OR APPROVED EQUAL. BURIED FITTINGS (90° ELBOW) SHALL BE CAST OR DUCTILE IRON CONFORMING TO AWWA C110 (LATEST EDITION) OR APPROVED EQUAL. ALL SERVICE ENTRIES (INCLUDING ANCHOR DETAILS) SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND DETAILED ON THE MECHANICAL SITE PLAN. (ANCHOR RODS SHALL BE 18-8 STAINLESS STEEL, WHERE A STANDARD 3.0m LENGTH OF ROD REQUIRES EXTENSION. (AN APPROVED STAINLESS HEXAGON NUT COUPLING SHALL BE INSTALLED AT THE UPPER END OF THE ROD).
 - PROVIDE ADEQUATE PIPE SUPPORT. REFER TO DEVELOPMENT SITE SERVING PLAN GUIDELINES (2.6.8.3 PIPING SUPPORT)
 - INTERNAL PLUMBING STUB TO TERMINATE A MINIMUM OF 2.0m OUT FROM EXTERNAL WALL OR FOOTING. ENTRANCE OF PIPE THROUGH WALL SHALL BE PERPENDICULAR (90°) TO WALL.
 - ANCHOR RODS TO BE 3/4" FOR 100mm - 200mm SERVICE, 7/8" 250mm - 300mm SERVICE & 1" FOR 350mm 400mm SERVICE.
 - A RESTRAINED FLANGE ADAPTOR MAY BE USED TO CONNECT THE RISER OR WALL ENTRY PIPE TO THE MASTER CONTROL VALVE. RESTRAINED FLANGE ADAPTOR SHALL BE EBAA SERIES 2100 MEGA FLANGE OR APPROVED EQUAL.

PIPE ANCHOR BLDG 'A' ONLY
SCALE: NTS

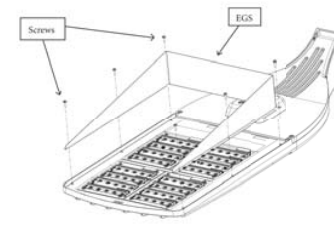
MUNICIPAL ADDRESS
4503 to 4511 - 17th Avenue SW
Calgary AB

LEGAL DESCRIPTION
LOT(s) 29-31, BLOCK 24
PLAN 2002 GS, NE 1/4
SEC. 13-24-02-W5M

EXTERIOR LUMINAIRE SCHEDULE

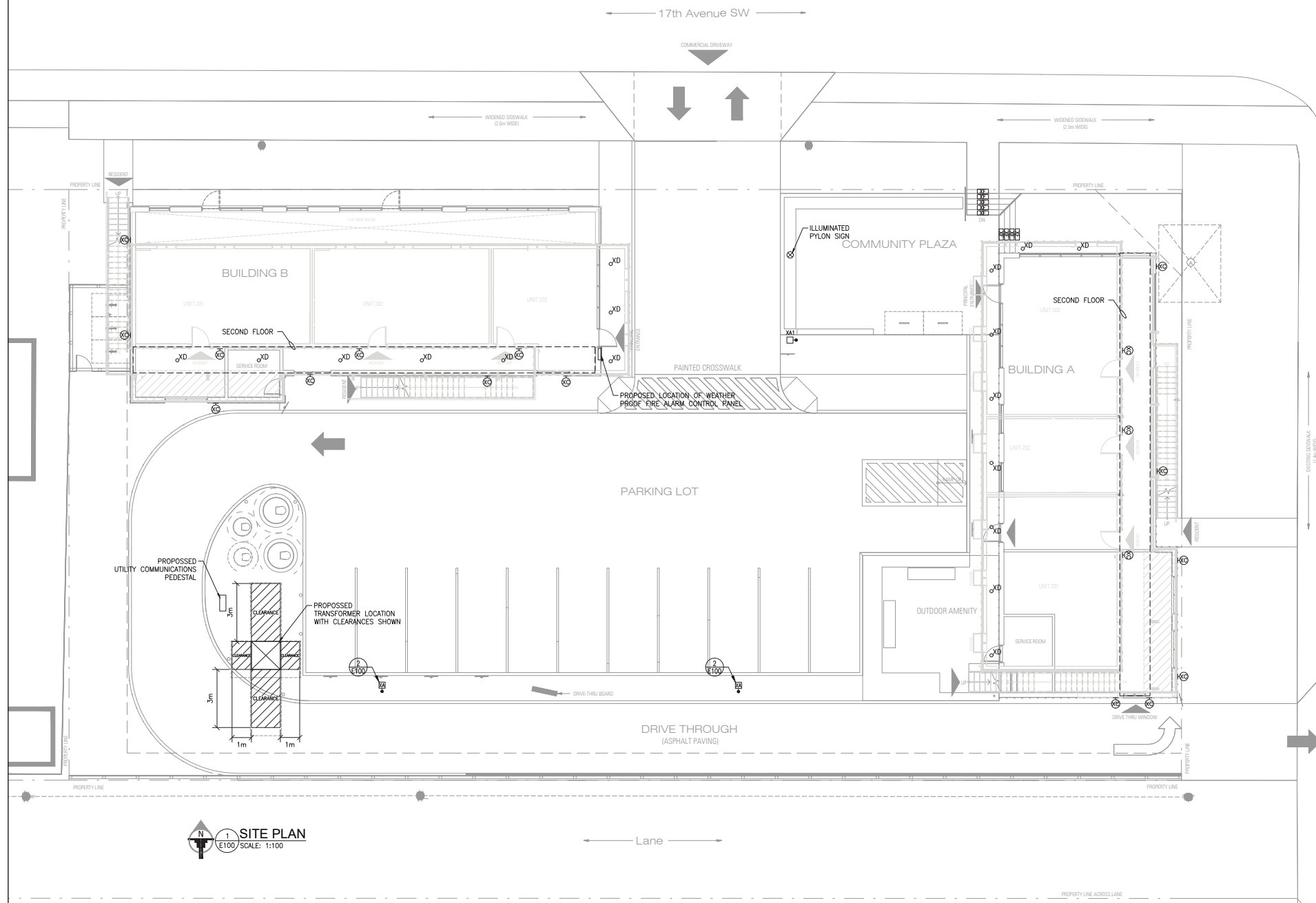
TYPE	MANUFACTURER	CATALOGUE NO.	LAMPS		VOLTS	MOUNTING TYPE	COLOUR TEMP. (°K)	BACK (B)	UP (U)	GLARE (G)	REMARKS	NOTES	WATTS
			CRI	TYPE									
XA	LITHONIA LIGHTING	DSX1 LED P3 40K BLC MVOLT SPA PIRH1FC3V EGS	80	LED	120V	P	4000	1	0	2	14" POLE	1,2	101
XA1	LITHONIA LIGHTING	DSX1 LED P3 40K TSW MVOLT SPA PIRH1FC3V EGS	80	LED	120V	P	4000	4	0	3	14" POLE	1,2	102
XC	BEGA	66411 +K4 BLK	80	LED	120V	W	4000	N/A	0	N/A		1,2	8,9
XD	ALPHABET	NU4-RD-15LM-40K-SS60-NL-UNV-10V-1C-WH-WH	80	LED	120V	R	4000	N/A	0	N/A		1,2	14
XF	BEGA	33018	80	LED	120V	R	4000	0	0	N/A	STEP LIGHTS	1,2	2,7

NOTES: 1. ALL LED LIGHT FIXTURES ARE TO BE 4000°K OTHERWISE AS INDICATED. R = RECESSED W = WALL TB = T-BAR
2. FINISH AS SELECTED BY ARCHITECT. B = BOLLARD V = VALANCE DW = DRYWALL
C = CEILING P = POLE (FREE STANDING) CH = CHAIN



2 TYPE 'XA' LUMINAIRE SHIELD DETAIL
E100 SCALE: N.T.S.

LEGEND	
•	LIGHT POLES (XA DENOTES TYPE)
⊙	WALL MOUNTED LIGHT FIXTURE (XC TYPE)
⊘	DOWN LIGHT (XD DENOTES TYPE)
⊞	STEP LIGHTS (XF TYPE)
⊠	TRANSFORMER
□	FIRE ALARM CONTROL PANEL - SURFACE/FLUSH MOUNT



NO.	REVISIONS	DATE	BY
04	ISSUED FOR DTR2 RESPONSE	11/22/21	BD
03	RE-ISSUED FOR DEVELOPMENT PERMIT	08/26/21	BD
02	RE-ISSUED FOR DEVELOPMENT PERMIT	07/30/21	BD
01	ISSUED FOR DEVELOPMENT PERMIT	05/21/21	BD

TOWER ENGINEERING Project: 213033
Calgary: 403-235-2655
Winnipeg: 204-925-1150
lowereng.ca

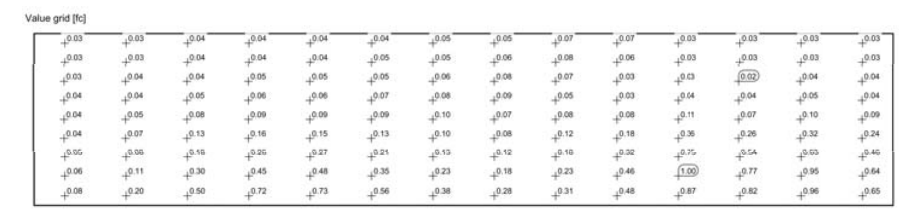
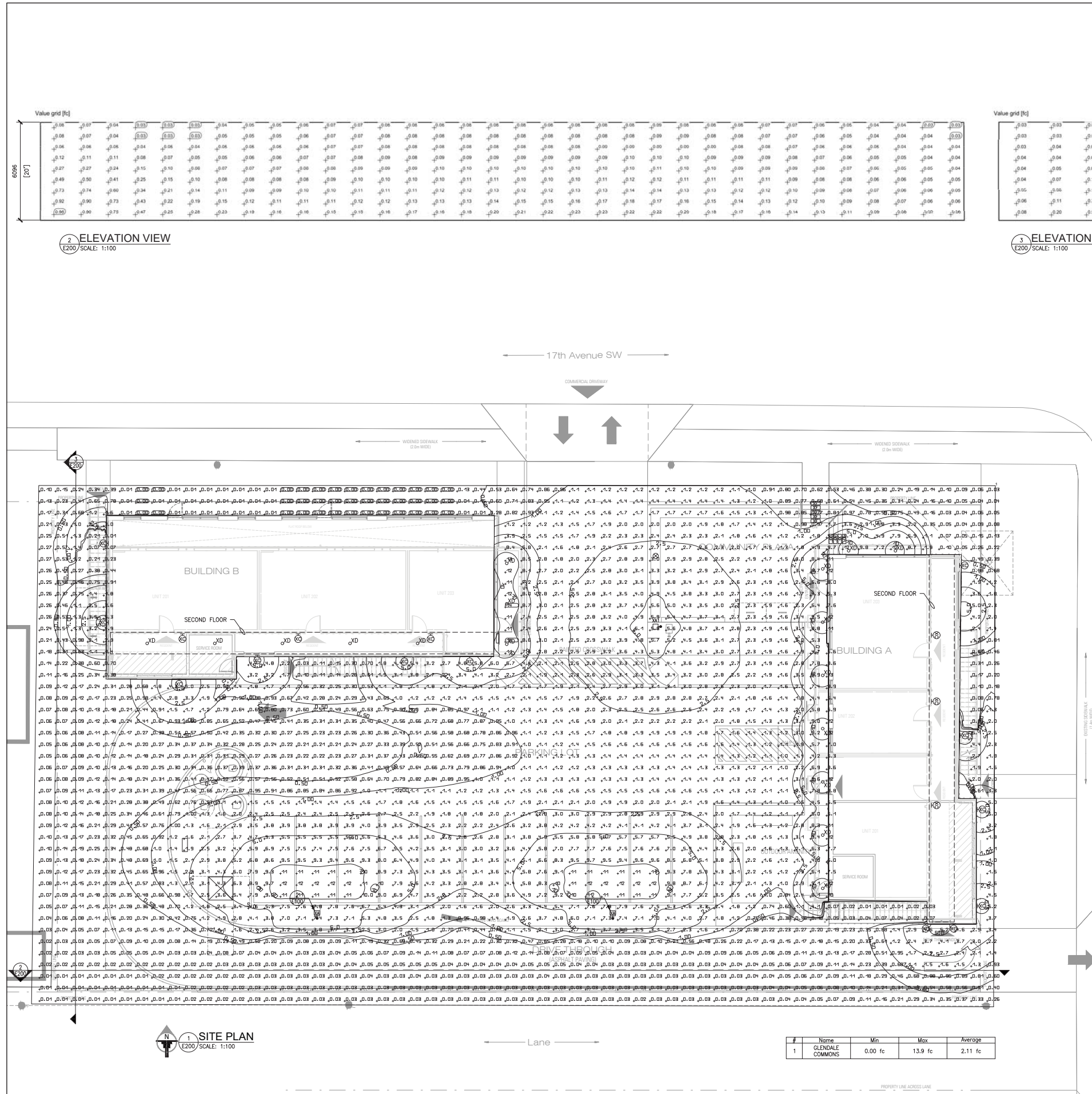
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SEAL	SEAL
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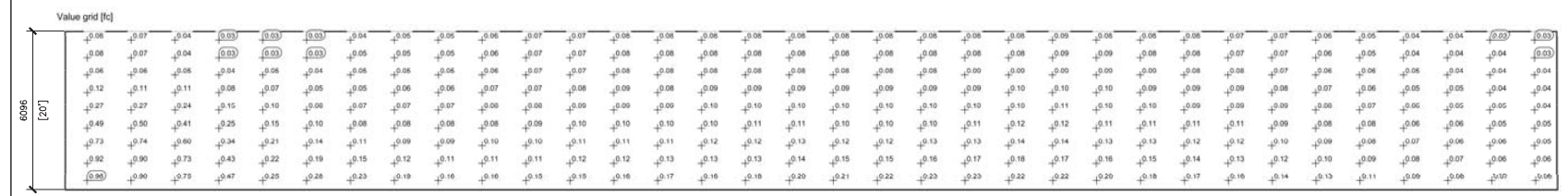
PROJECT
**GLENDALE COMMONS
MIXED USE BUILDING**
GLENMOUNT DRIVE SW
CALGARY, AB

DRAWING
**ELECTRICAL
SITE PLAN**

DESIGNED: BD	DRAWING NO. E100
DRAWN: NW	REVISION 04
CHECKED: YL	
SCALE: AS NOTED	
PLOT DATE: 2021-11-18	
PROJECT NO.:	



3 ELEVATION VIEW
E200 SCALE: 1:100



2 ELEVATION VIEW
E200 SCALE: 1:100

NO.	REVISIONS	DATE	BY
04	ISSUED FOR DTR2 RESPONSE	11/22/21	BD
03	RE-ISSUED FOR DEVELOPMENT PERMIT	08/26/21	BD
02	RE-ISSUED FOR DEVELOPMENT PERMIT	07/30/21	BD
01	ISSUED FOR DEVELOPMENT PERMIT	05/21/21	BD

TOWER ENGINEERING
Calgary: 403-235-2655
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towereng.ca

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PROJECT

**GLENDALE COMMONS
MIXED USE BUILDING**

GLENMOUNT DRIVE SW
CALGARY, AB

DRAWING

**ELECTRICAL
LIGHTING CALCULATION**

DESIGNED:	BD	DRAWING NO.	E200
DRAWN:	NW	04	
CHECKED:	YL		
SCALE:	AS NOTED		
PLOT DATE:	2021-11-18		
PROJECT NO.:			