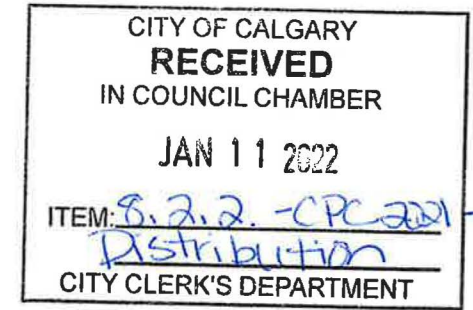


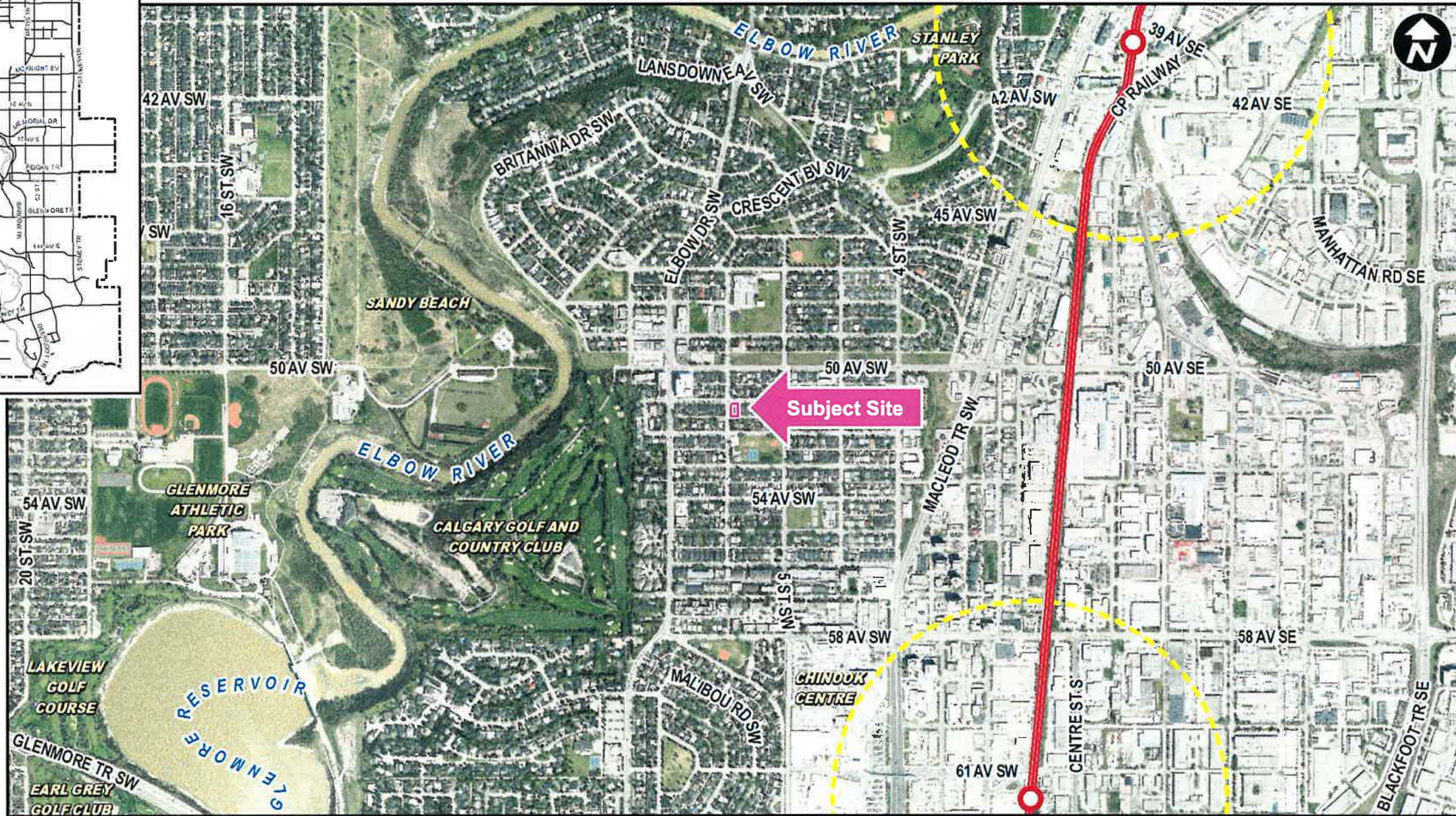
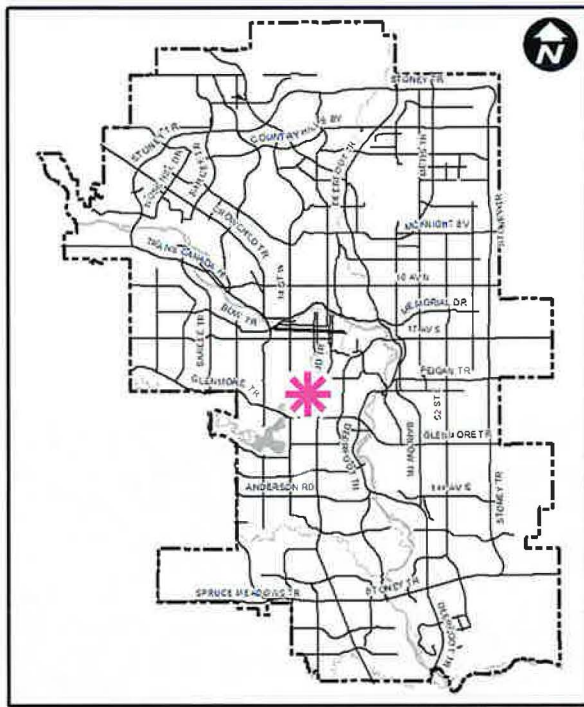


Public Hearing of Council

Agenda Item: 8.2.2



LOC2021-0099
Land Use Amendment
January 11, 2022

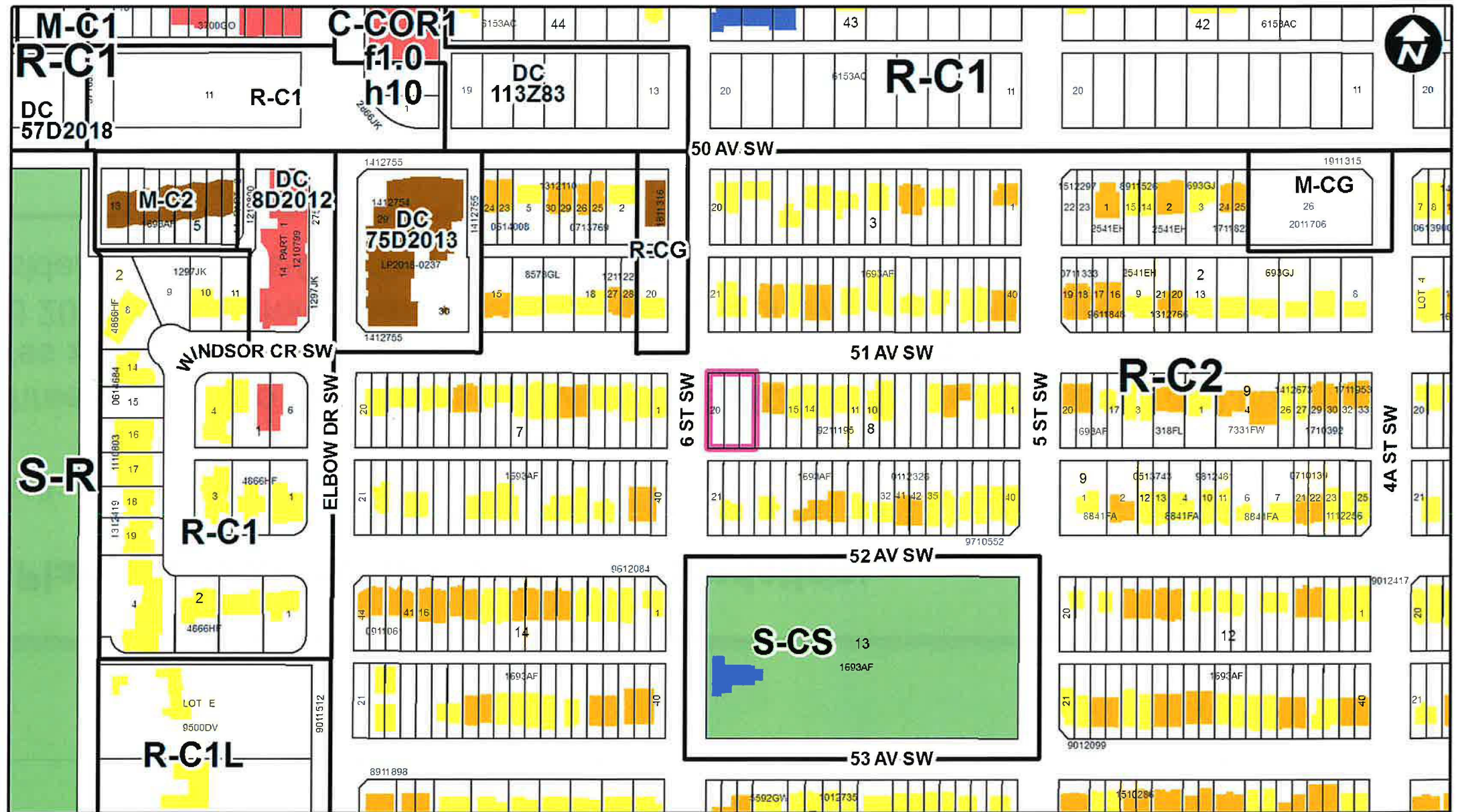


LEGEND

- 600m buffer from LRT station
- LRT Stations**
- Blue
- Downtown
- Red
- Green (Future)
- LRT Line**
- Blue
- Blue/Red
- Red
- Max BRT Stops**
- Orange
- Purple
- Teal
- Yellow







- LEGEND**
- Residential Low Density
 - Residential Medium Density
 - Residential High Density
 - Commercial
 - Heavy Industrial
 - Light Industrial
 - Parks and Openspace
 - Public Service
 - Service Station
 - Vacant
 - Transportation, Communication, and Utility
 - Rivers, Lakes
 - Land Use Site Boundary

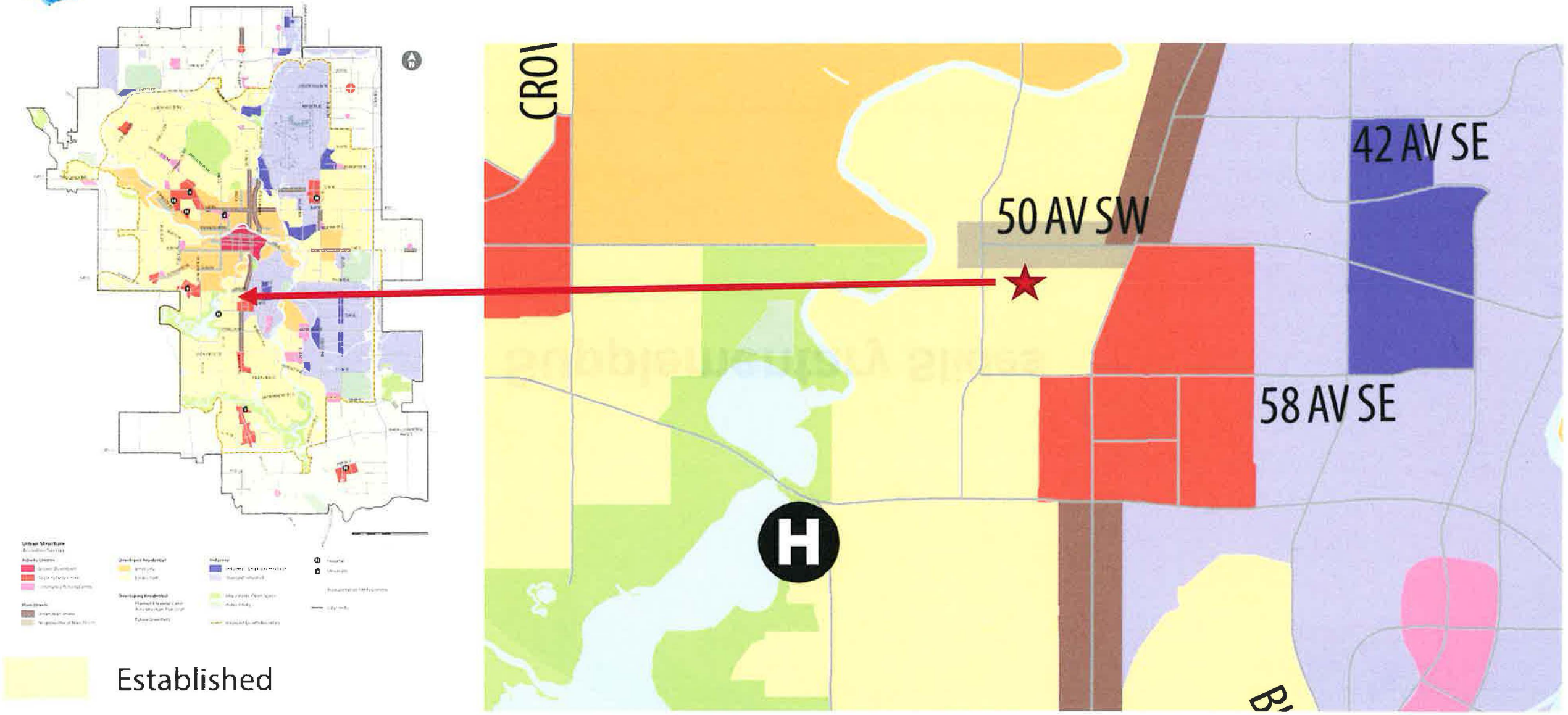
Calgary Planning Commission's Recommendation:

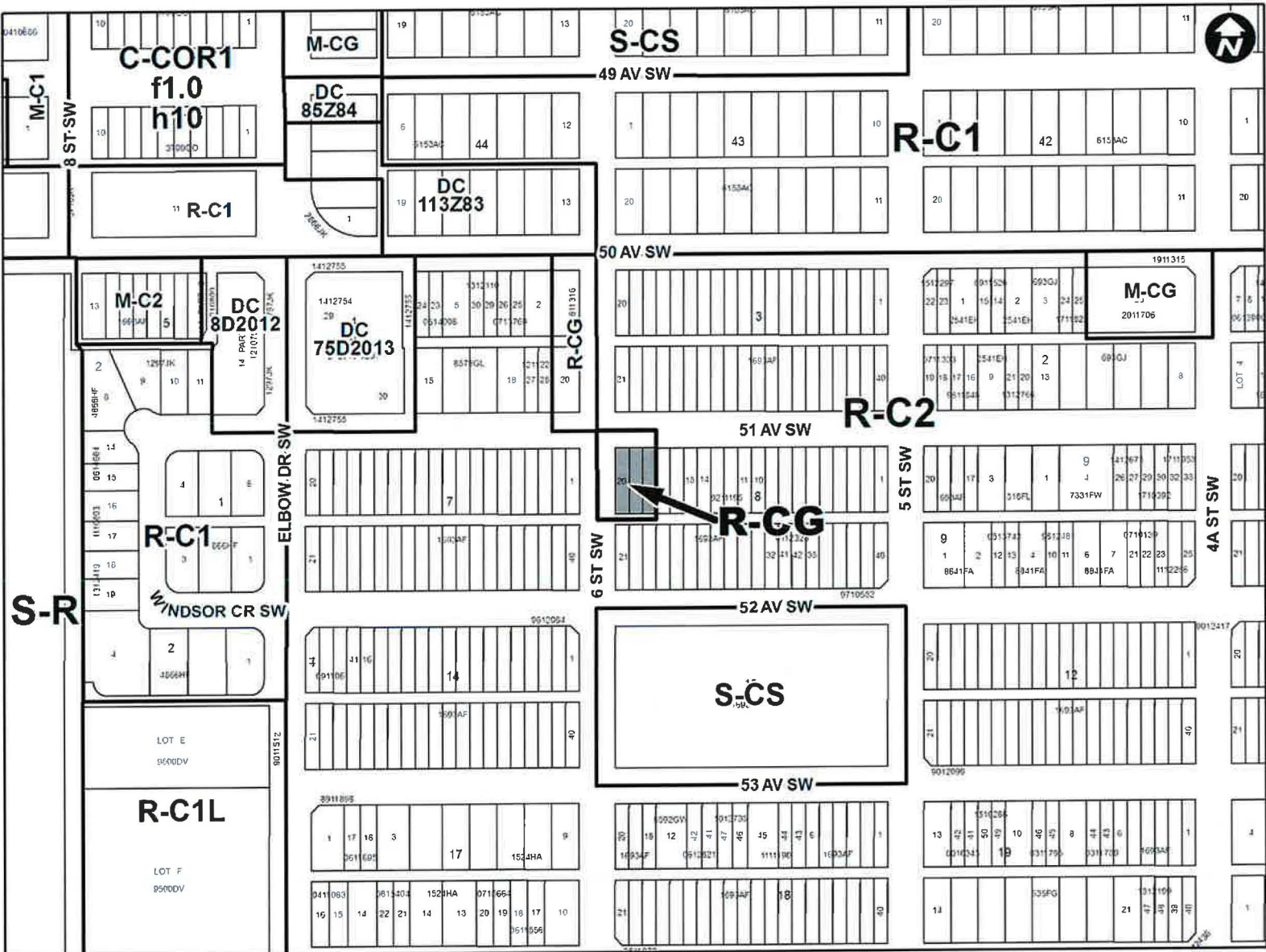
That Council:

Give three readings to the **Proposed Bylaw 171D2021** for the redesignation of 0.08 hectares \pm (0.21 acres) located at 637 – 51 Avenue SW (Plan 1693AF, Block 8, Lots 18 and 20 inclusive) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

Supplementary Slides

1 Urban Structure





Proposed Residential – Contextual Grade-Oriented (R-CG) District:

- Grade-oriented low density development in the form of rowhouses, duplexes, semi-detached and cottage clusters
- Accommodates secondary suites and backyard suites
- Maximum of 75 units per hectare (6 units on this site)
- Maximum height of 11 metres



