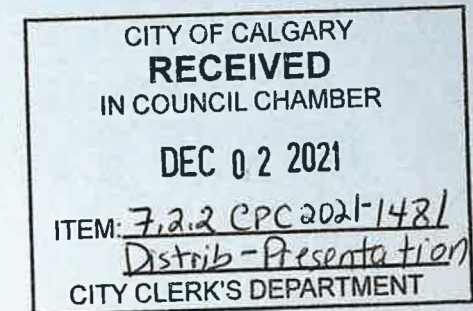


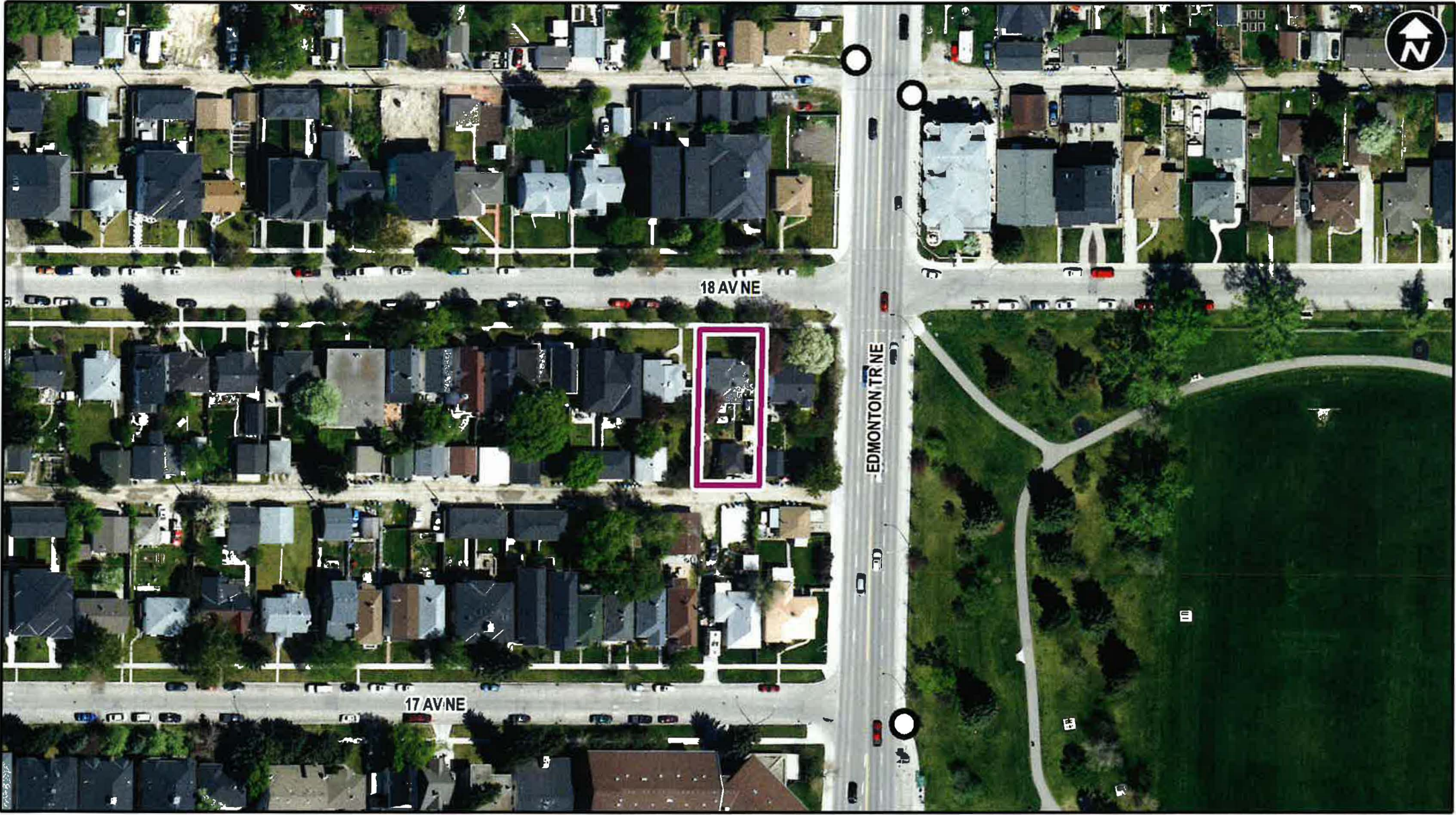


Calgary Planning Commission

Agenda Item: 7.2.2



LOC2021-0075
Land Use Amendment
December 2, 2021



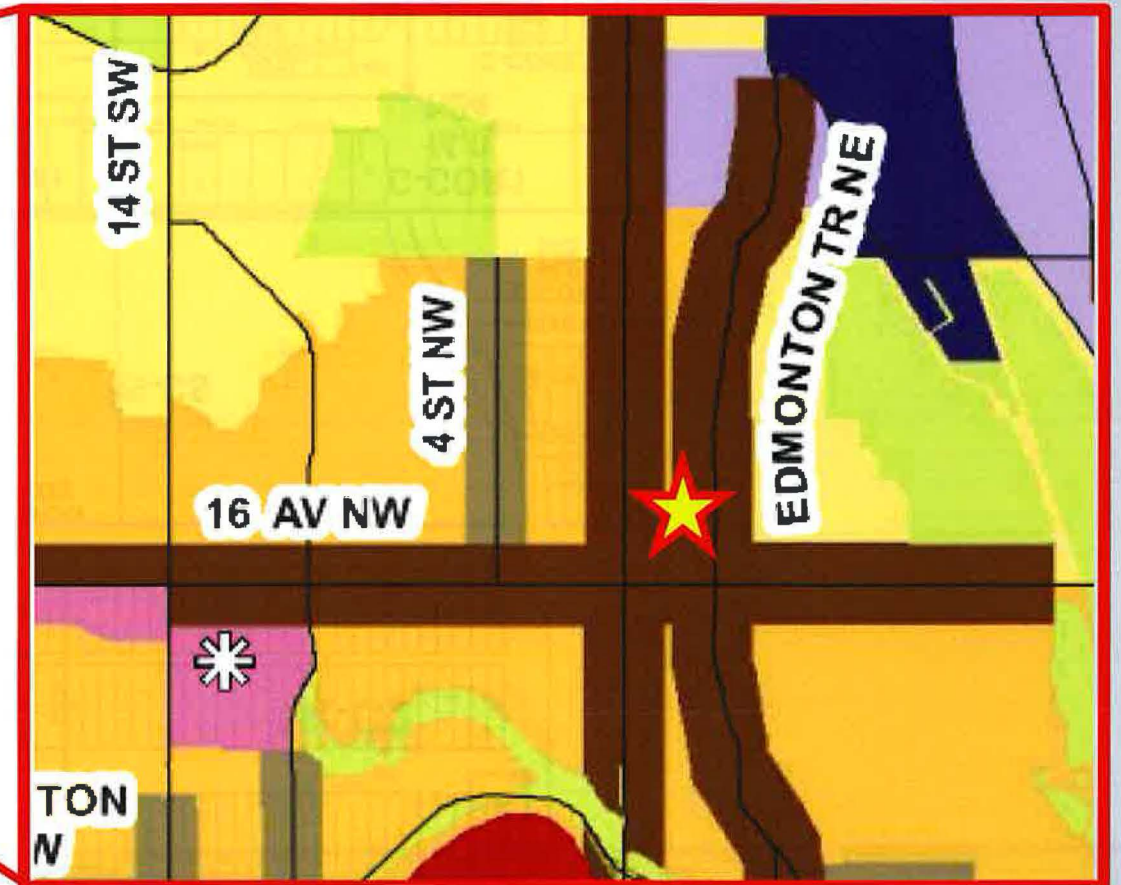
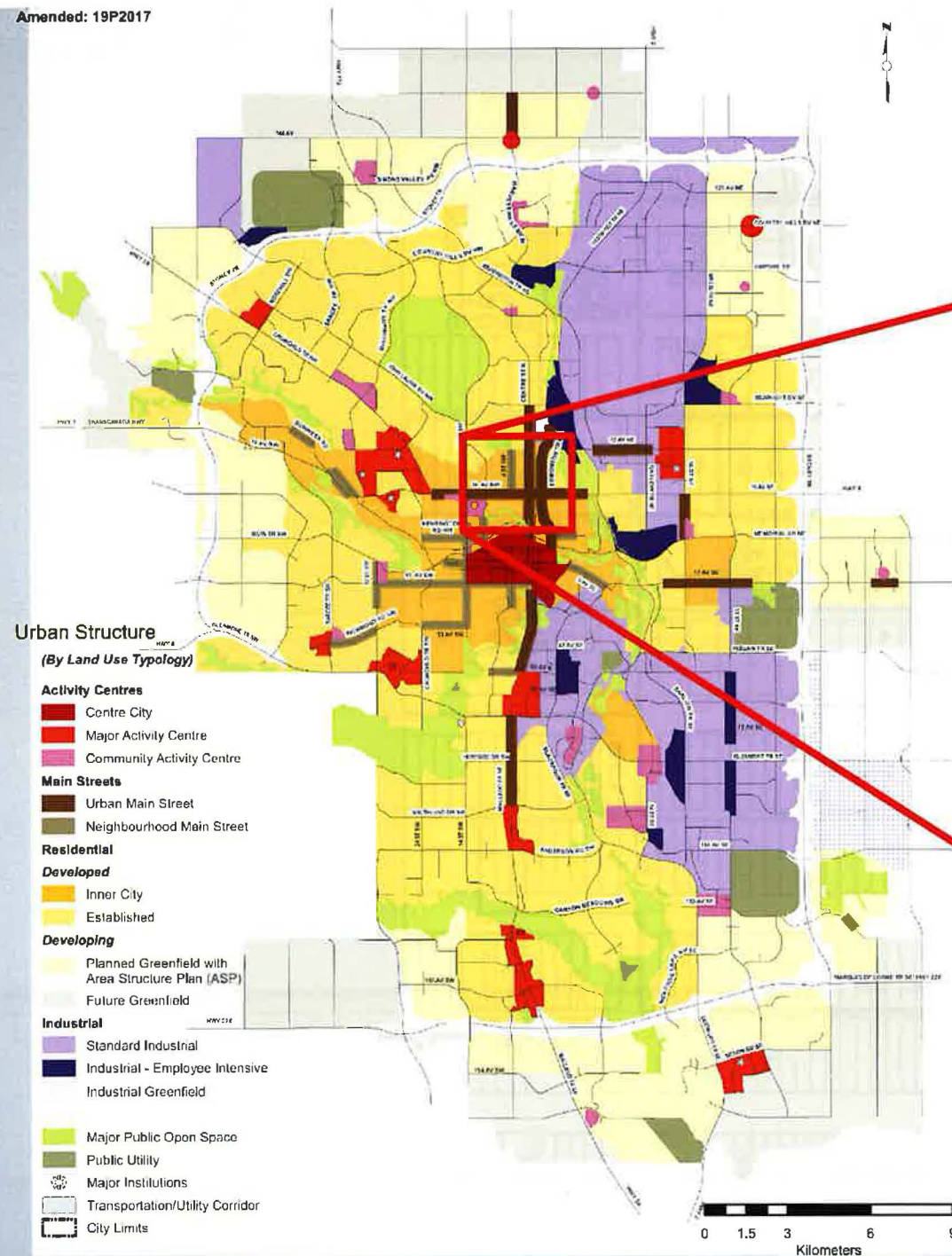
Parcel Size:

0.06 ha
15.3 m x 38m

 Bus Stop

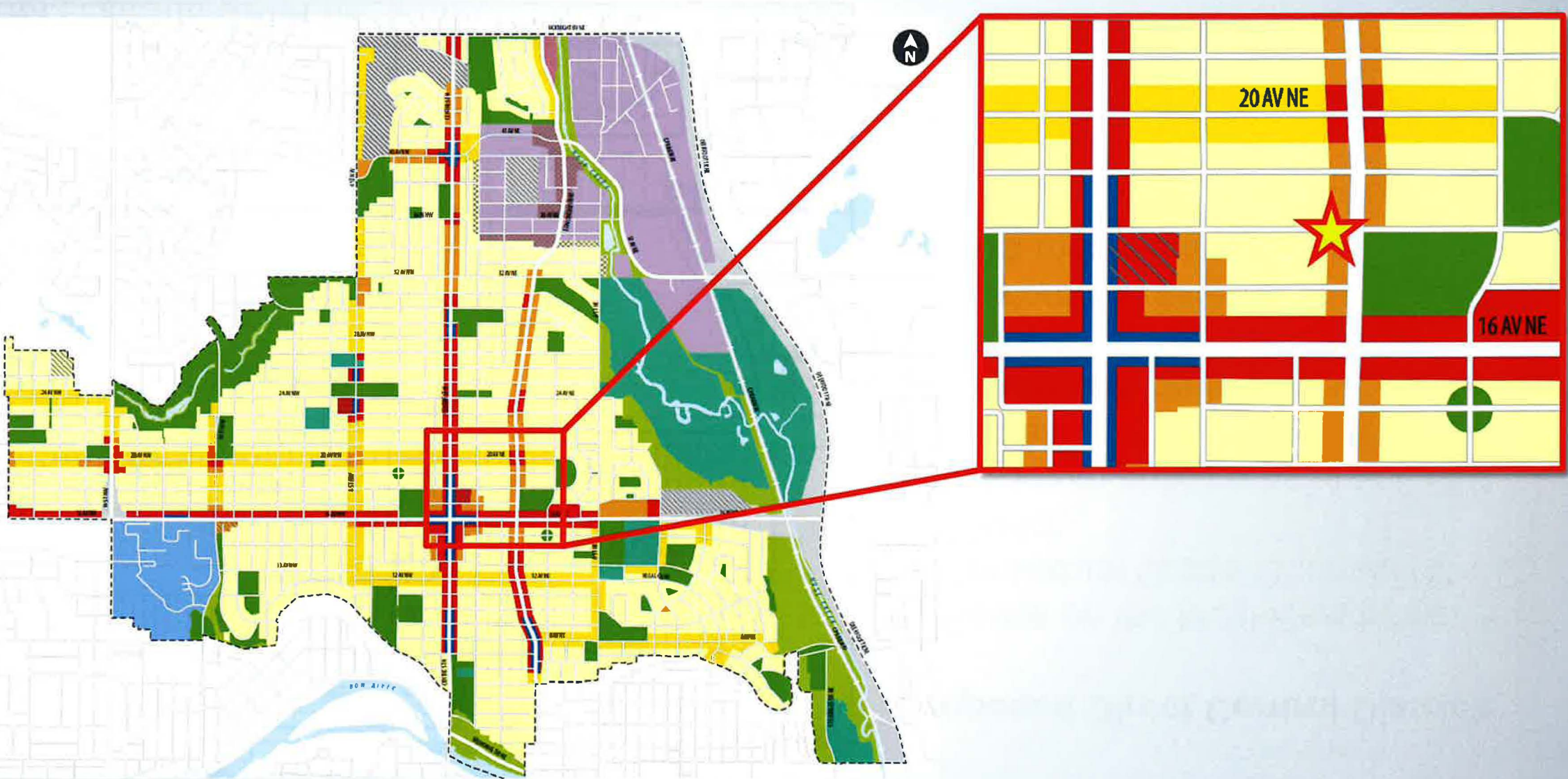


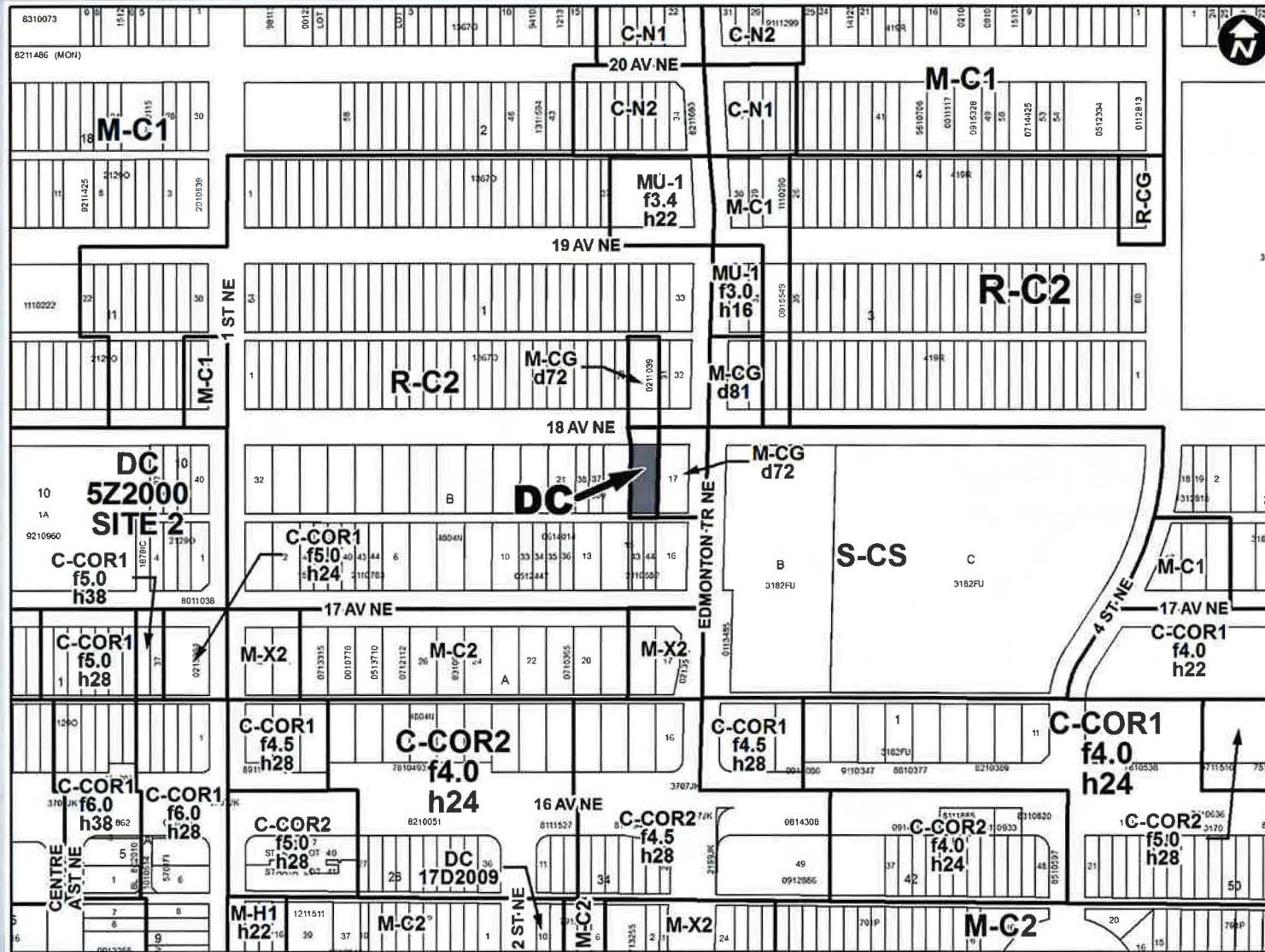




Map 3:
Urban Form

- Legend**
- Urban Form Categories**
- Neighbourhood Commercial
 - Neighbourhood Flex
 - Neighbourhood Connector
 - Neighbourhood Local
 - Commercial Corridor
 - Industrial General
 - Natural Areas
 - Parks and Open Space
 - City Civic and Recreation
 - Regional Campus
 - No Urban Form Category
- Additional Policy Guidance**
- Active Frontage
 - Comprehensive Planning Site
 - Industrial Transition
 - Plan Area Boundary





Proposed Direct Control District:

- Based on the Multi-Residential – Contextual Grade-Oriented (M-CG) District
- Maximum building height of 12.0 metres
- A maximum density of 173 units per hectare
- Customized amenity space and multi-modal storage rules

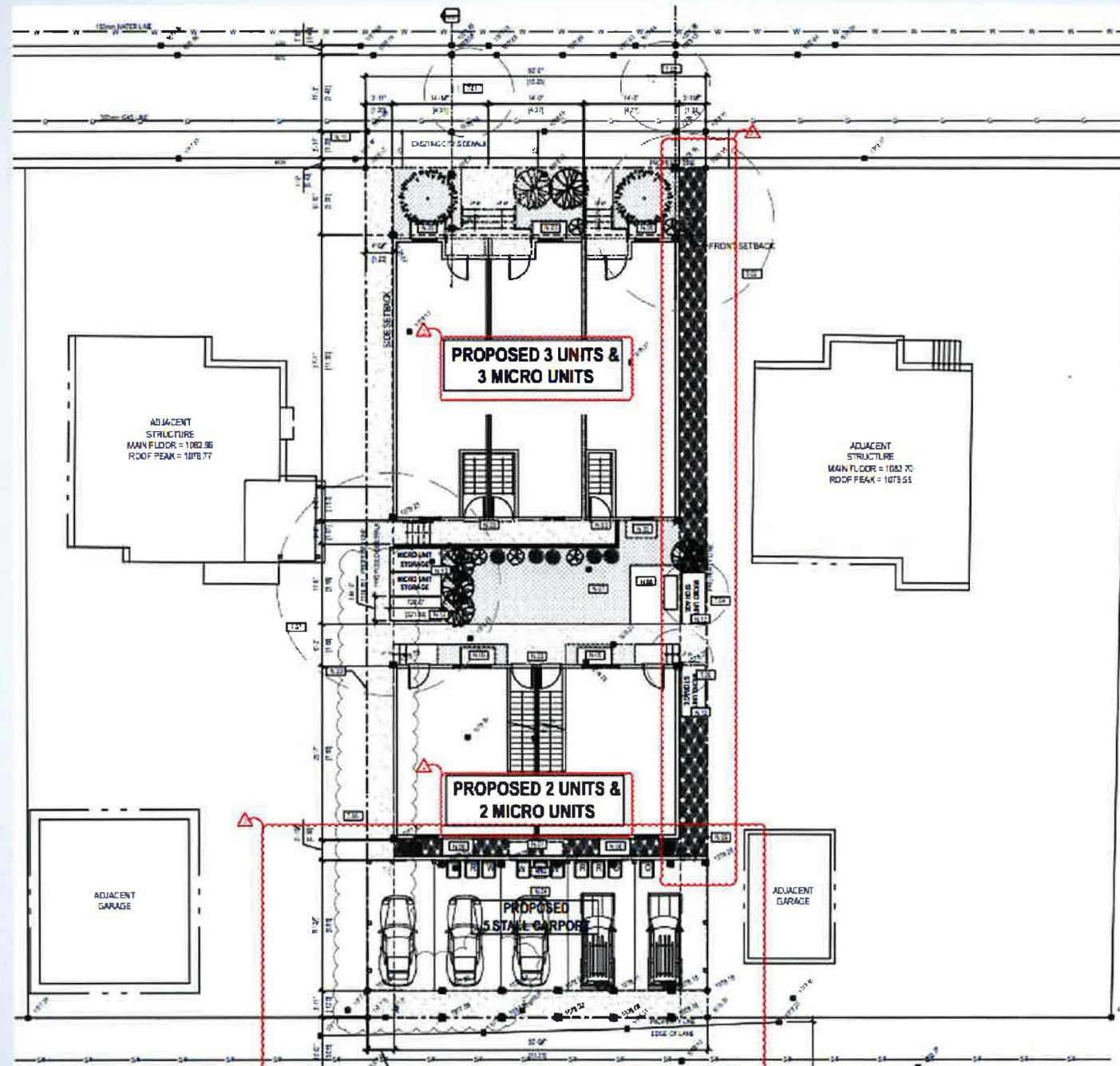


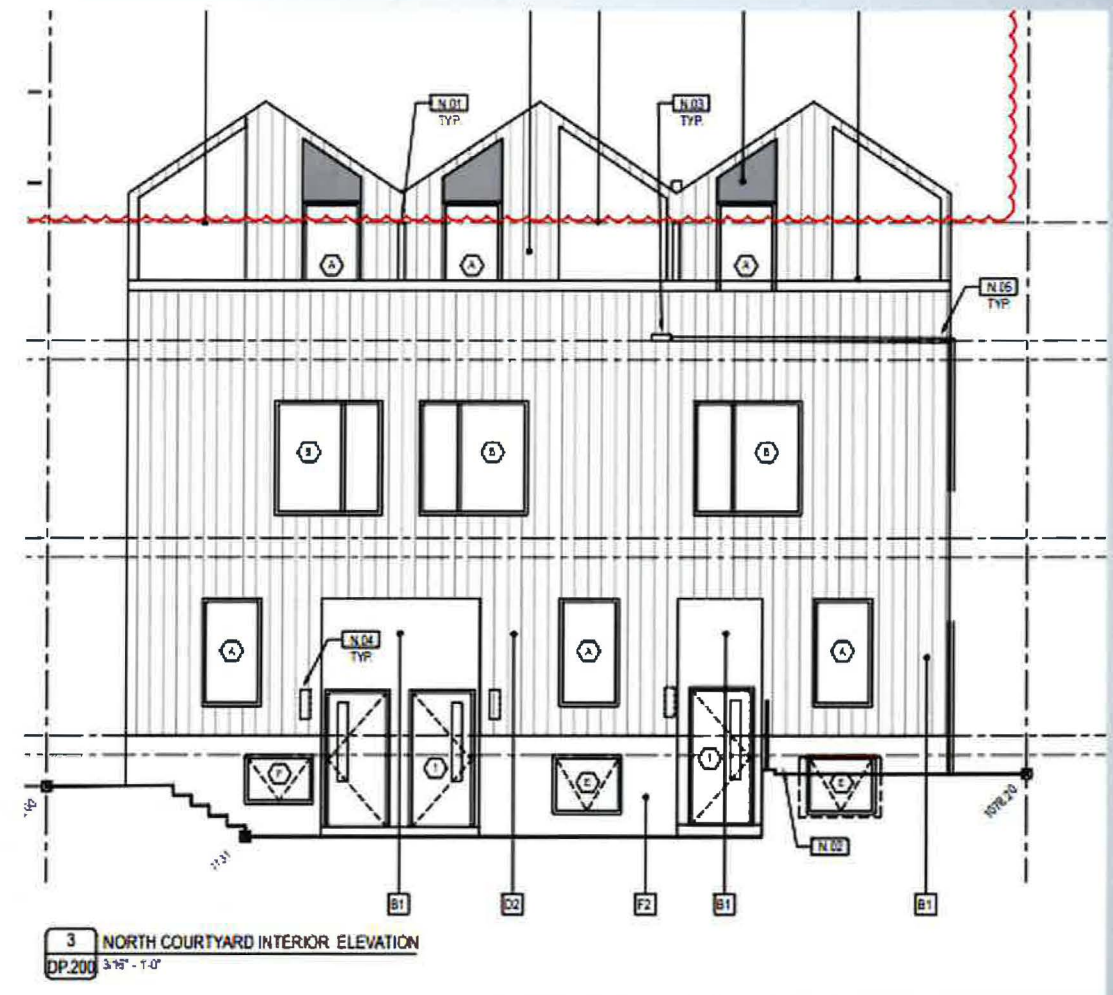
RECOMMENDATION:

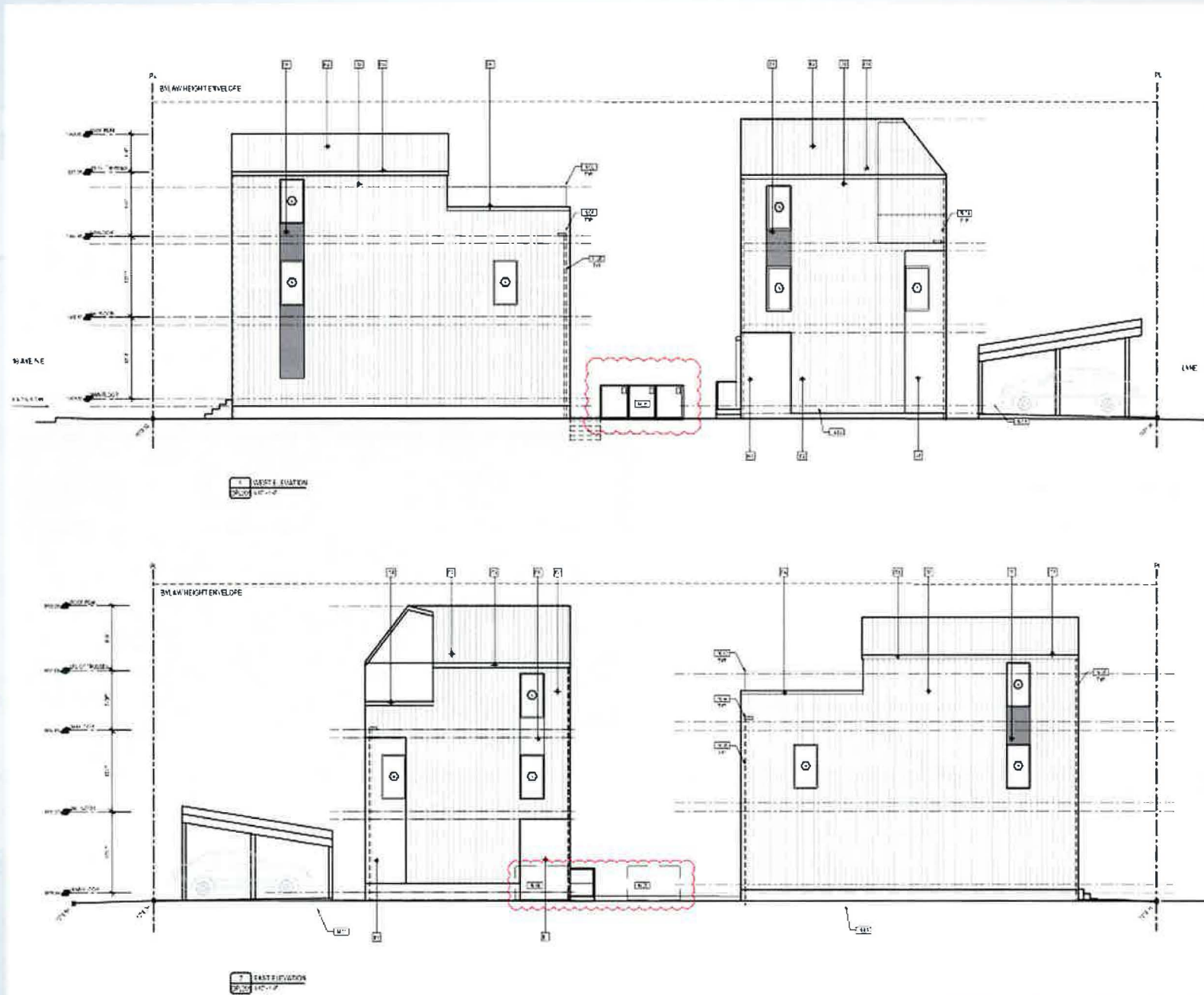
That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.06 hectares $\pm$ (0.14 acres $\pm$) located at 259 18 Avenue NE (Plan 4804N, Block B, Lot 18) from Residential Contextual One/Two Dwelling (R-C2) District to Direct Control (DC) District to accommodate grade-oriented multi-residential development.

Supplementary Slides



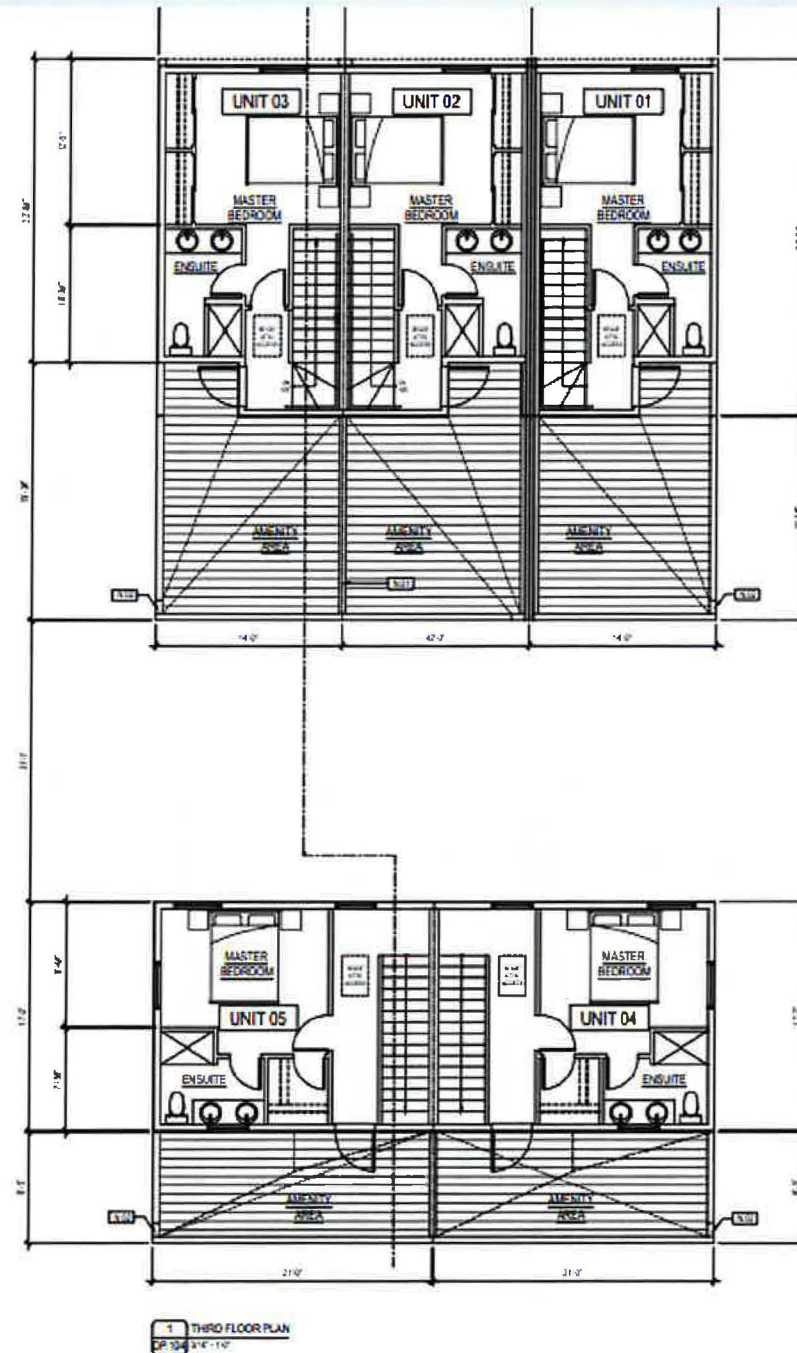


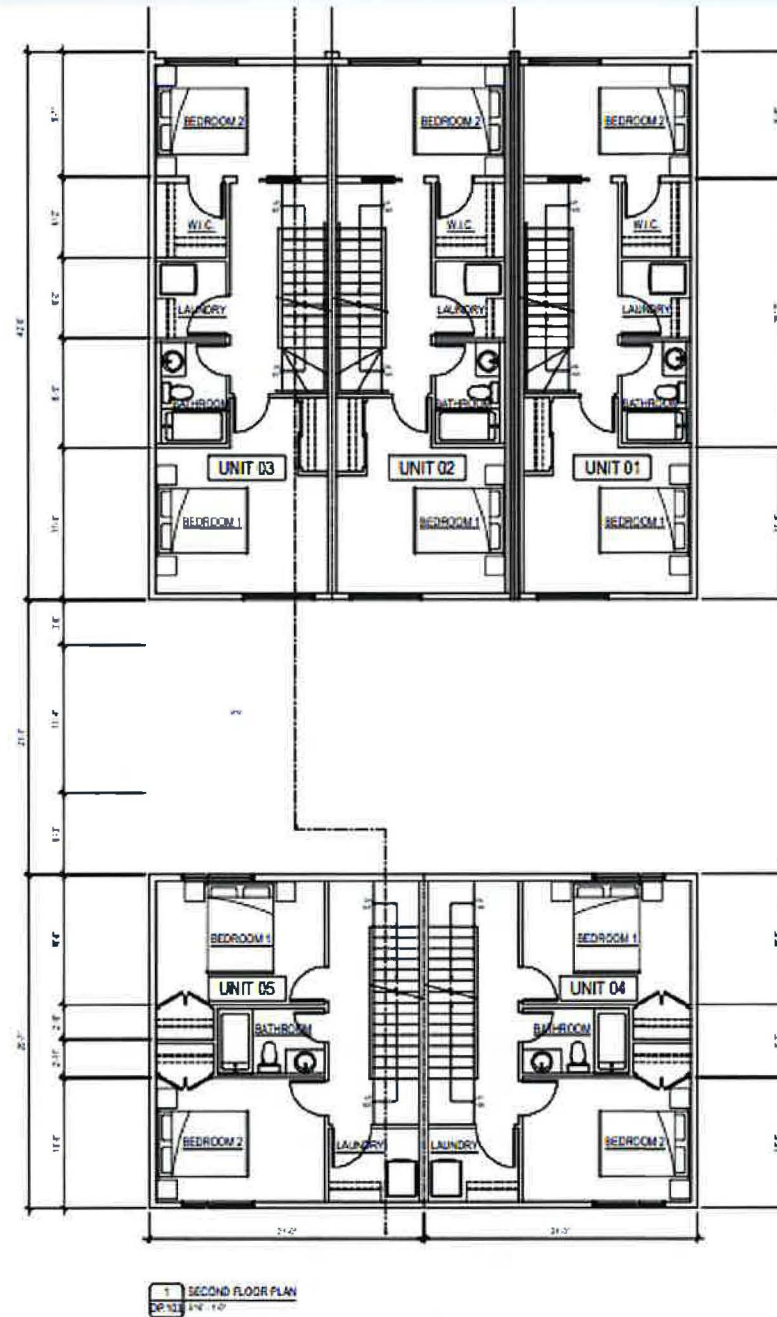


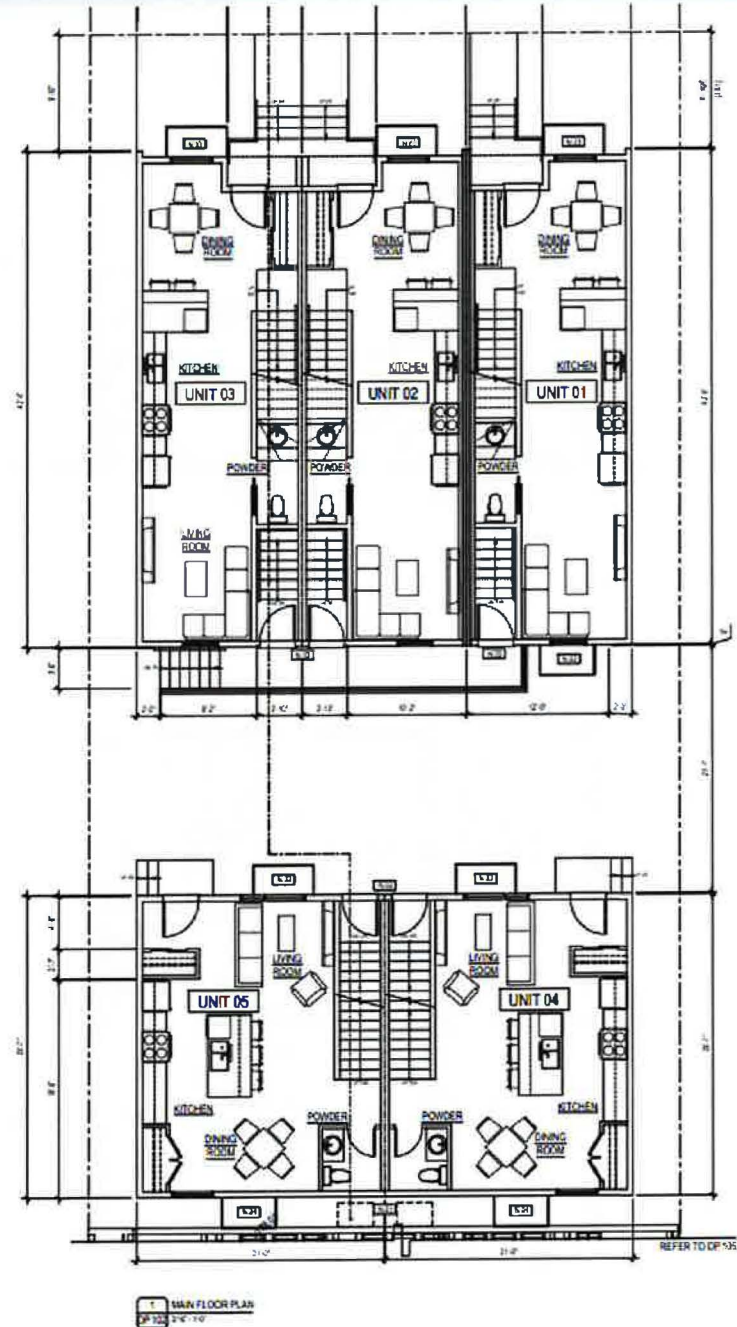


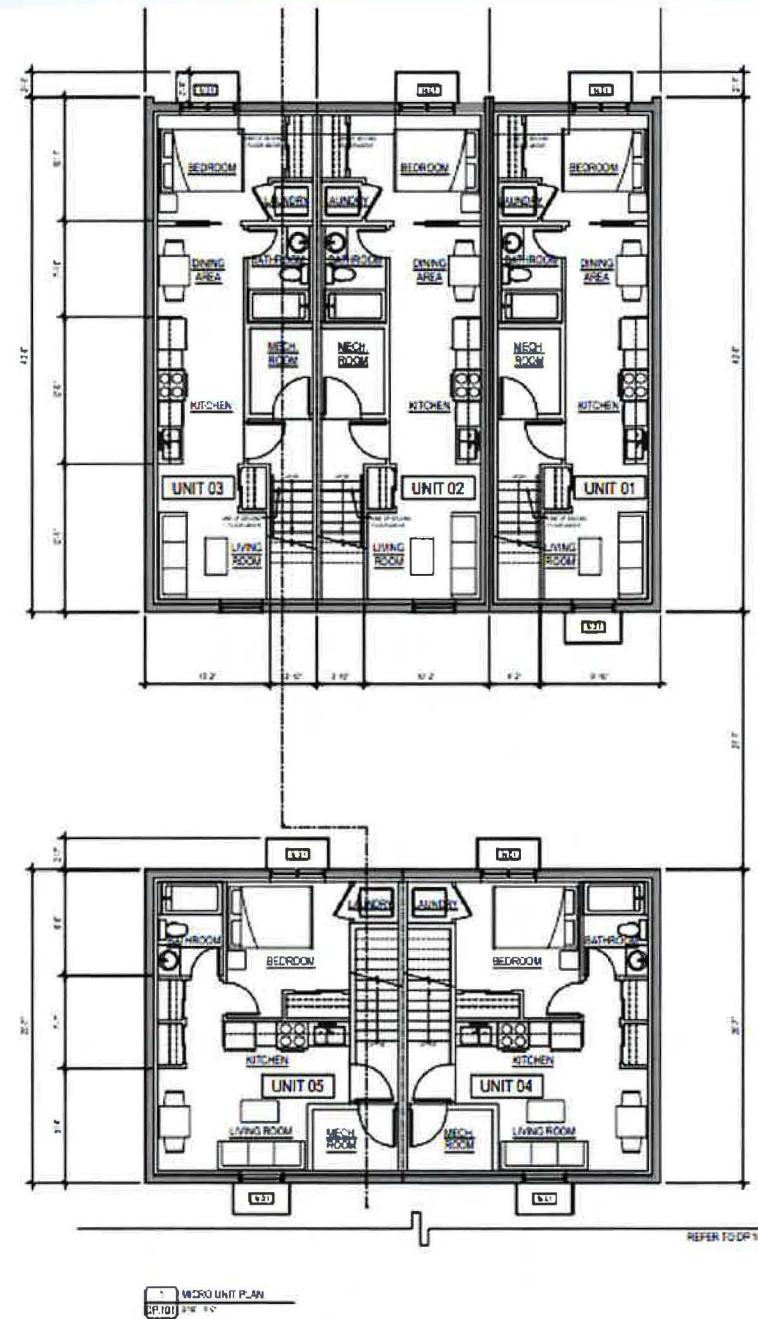


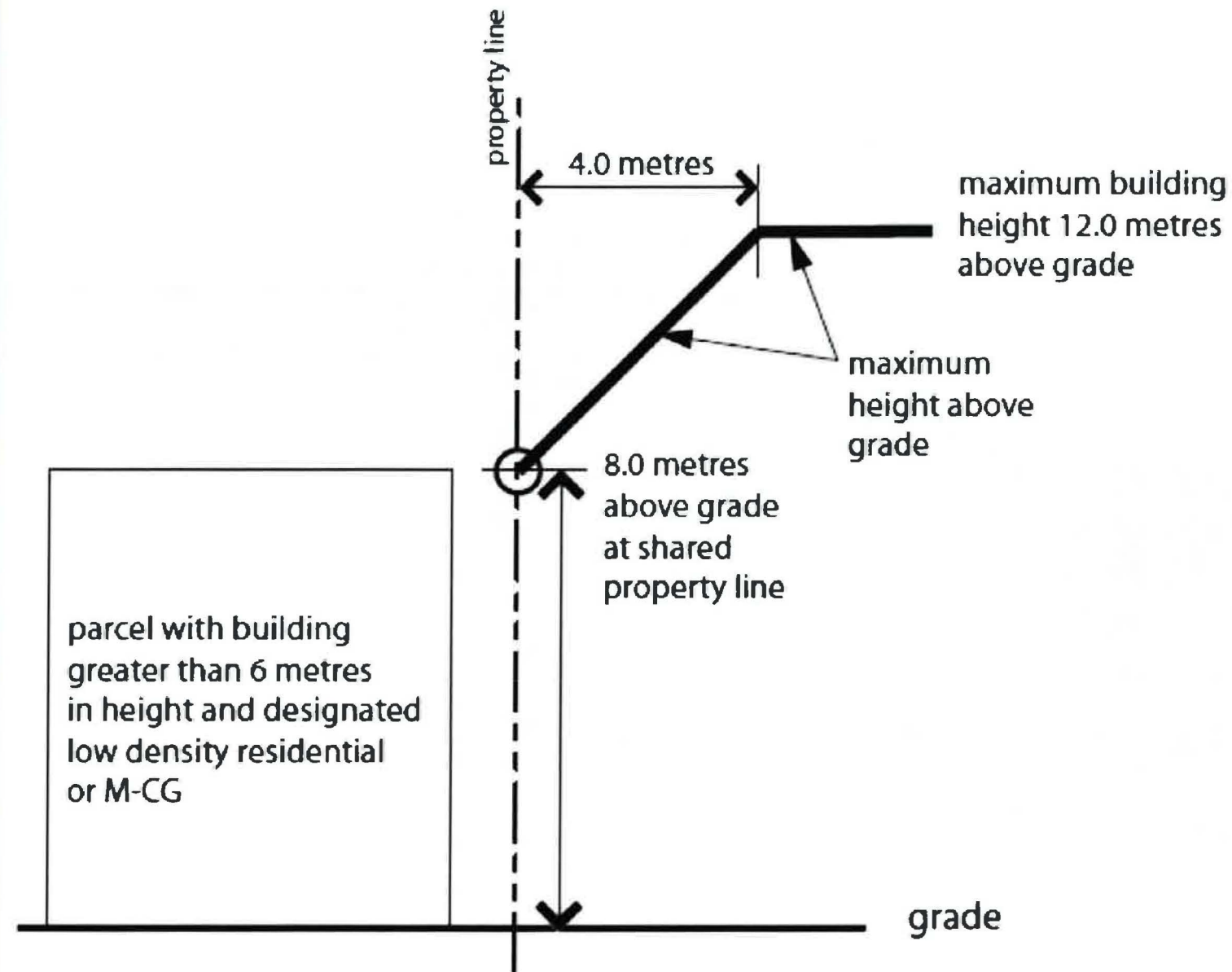
Third Floor Plan 17











Map 4:
Building Scale

- Legend**
- No Scale Modifier
 - Limited (up to 3 Storeys)
 - Low - Modified (up to 4 Storeys)
 - Low (up to 6 Storeys)
 - Mid (up to 12 Storeys)
 - High (up to 26 Storeys)
 - Parks, Civic and Recreation
 - Plan Area Boundary

