



4th AVENUE TOWER - DP2020-5899

CPC Revisions - 11.11.2021

Design Team

CLIENT:
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S2 ARCHITECTURE
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MECHANICAL:
INTEGRAL GROUP
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ELECTRICAL:
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BUILDING ENVELOPE:
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LANDSCAPE:
NAVAGRAH LANDSCAPE ARCHITECTURE + URBAN
DESIGN
#204, 337 - 17TH AVE SW
CALGARY, AB
PHONE: 403.708.8778



Drawing List

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architecture

403.670.7000
SUITE 900, 110 - 12TH AVENUE SW
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COVER SHEET

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2/19/82

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior elevations, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawings.

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REVISION	DATE
1. D.P. SUBMISSION	09.18.2020
2. DTR 1	01.27.2021
3. DTR 2	03.31.2021
4. CPC Revisions	11.11.2021

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Vicinity Map

Municipal Address

#526 4TH AVENUE SW
CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296

Legal Address

LOT 33, BLOCK 15, PLAN 0914296

Site Summary

SITE AREA: PARCELS A + B
2,598.7m²
0.64 ac / 0.26 ha

PARCEL A (WEST OF PROPOSED PROPERTY LINE)
1730.5 m²
0.43 ac / 0.17 ha

By-Law Zoning

PART 13, DIVISION 2 - COMMERCIAL RESIDENTIAL DISTRICT (CR20-C20/R20)
PART 13, DIVISION 3 - INCENTIVE DENSITY

COMMERCIAL RESIDENTIAL DISTRICT (CR20-C20/R20) INCENTIVE DENSITY
(PART 13, DIVISION 3)

USE:
DWELLING UNITS FLOOR AREA RATIO (FAR) = 3.0

ADDITIONAL INCENTIVE FAR = 12.0
MAX POSSIBLE FAR = 15.0

PUBLIC AMENITY ITEMS THAT MUST BE PROVIDED TO ACHIEVE ADDITIONAL FAR OF 12.0.
Table 8 Item 8.0.4(a), (b) and (c):
(a) at grade pedestrian circulation – public sidewalk setback area where:
(i) the portion of a parcel adjacent to a street must be a hard surface landscaped area and;
(A) where it is part of an arcade must provide, an unobstructed depth of a minimum of 3.5 metres that does not contain structural elements of a building between grade and the bottom of the storey above; and
(B) where it is not part of an arcade, must not contain structural elements of a building (1) between grade and the bottom of the storey above for a minimum depth of 2.2 metres;
(b) at grade pedestrian circulation provided within a triangular area formed on a corner parcel by the two property lines, as determined by Table 1, Road Rights-of-Way, and a straight line which intersects them 7.5 metres from where they meet which;
(c) must not contain any buildings within 3.0 metres from where they meet;
(d) may only contain pillars and structural supports in areas which are greater than 3.0 metres of where they meet; and
(e) must be a minimum height of 4.6 metres measured vertically from grade;
(f) must be a minimum height of 4.6 metres measured vertically from grade;
(c) +15 Skywalk System provisions where:
(i) +15 Skywalk System elements for potential connection to the +15 Skywalk System on the parcel and to adjoining parcels;
(A) +15 Skywalk System walkway with an unobstructed width of 4.5 metres oriented in a manner that provides the greatest opportunity for connection to, and extension of, the +15 Skywalk System, as shown on a plan approved by the Development Authority;
(B) structural supports, at locations indicated on a plan approved by the Development Authority, that would allow for possible expansion of the +15 Skywalk System by way of a +15 Skywalk System bridge which must be incorporated into the overall structure and design of the building; and
(C) vertical movement opportunities between grade and the second storey within a building, which must include:
(i) a publicly accessible elevator; and (2)
(ii) either a pair of escalators or a staircase with a minimum unobstructed width of 2.0 metres (3); and
(f) a financial contribution to the +15 Skywalk System Fund in accordance with the +15 Policy.

By-Law Setback

MINIMUM SETBACK AREAS
FRONT: 0.0m
REAR: 0.0m
SIDE: 0.0m

NOTE:
- 2.134m PUBLIC REALM SETBACK LOCATED ALONG 4TH AVENUE SW AND 5TH STREET SW.
- 7.5m VISIBILITY TRIANGLE SETBACK - BUILDINGS, FINISHED GRADE OF A PARCEL AND VEGETATION WITHIN A CORNER VISIBILITY TRIANGLE MUST NOT BE LOCATED BETWEEN 0.75 METRES AND 4.6 METRES ABOVE THE LOWEST ELEVATION OF THE STREET.
- 6m SETBACK FROM PROPERTY LINE ADJACENT TO A LINE, 9M SETBACK FROM PROPERTY LINE ADJACENT TO ANOTHER PROPERTY, FOR DWELLING UNIT GLAZING.

Proposed Development

DWELLING UNITS (DISCRETIONARY USE)
RETAIL AND CONSUMER SERVICE (DISCRETIONARY USE)
OFFICE (DISCRETIONARY USE)

BUILDING CLASSIFICATION AS PER ALBERTA BUILDING CODE:
GROUP C, ANY HEIGHT, SPRINKLERED

Building Height

MAXIMUM BUILDING HEIGHT
• THERE IS NO MAXIMUM BUILDING HEIGHT, EXCEPT THAT THE SUNLIGHT PROTECTION AREA MUST NOT BE PLACED IN GREATER SHADOW BY A DEVELOPMENT AS MEASURED 10.0m FOR PORTIONS OF A BUILDING WITH IN 3m OF A STREET FOR STREET-ORIENTED MULTI-RESIDENTIAL BUILDINGS. REFER TO DP1.01 FOR SHADOW STUDY.

PROPOSED HEIGHT: 111.75 m / 1160.02 GEO

Floor Area Ratio

MAXIMUM PERMITTED F.A.R. (SM)	PROPOSED F.A.R.
1730.5 SM X 15.0 FAR = 25,957 SM	
GFA: +/- 26,260 SM	15.17 (+/- 303 sm EXCESS)

FLOOR AREA RATIO CALCULATIONS

DWELLING UNITS FAR: 3.0 x 1730.5 SM = ±5191.5 SM
BONUSING FAR: 12.0 x 1730.5 SM = ±20,766 SM
15.0 x 1730.5 SM = ±25,957 SM

EXCESS FAR: 26,260SM (GFA) - 25,957 SM (15.0 FAR) = ±303 SM (0.17 FAR)

TOTAL GROSS FLOOR AREA TO BE ACHIEVED THROUGH BONUSING AND FINANCIAL CONTRIBUTIONS.

Area Summary

NOTE: BALCONY, PATIO, TERRACE AND DECK AREAS, AND MECHANICAL AREAS OPEN TO THE ELEMENTS (LEVEL 35) ARE NOT INCLUDED IN GROSS FLOOR AREA CALCULATIONS.

GROSS FLOOR AREA	
Level 1 - Main	1038 m ² Gross Building Area
Level 2 - Storage	449 m ² Gross Building Area
Level 3 - Amenity	1092 m ² Gross Building Area
Level 4	775 m ² Gross Building Area
Level 5 (Typ. 5-33)	775 m ² Gross Building Area
Level 6	775 m ² Gross Building Area
Level 7	775 m ² Gross Building Area
Level 8	775 m ² Gross Building Area
Level 9	775 m ² Gross Building Area
Level 10	775 m ² Gross Building Area
Level 11	775 m ² Gross Building Area
Level 12	775 m ² Gross Building Area
Level 13	775 m ² Gross Building Area
Level 14	775 m ² Gross Building Area
Level 15	775 m ² Gross Building Area
Level 16	775 m ² Gross Building Area
Level 17	775 m ² Gross Building Area
Level 18	775 m ² Gross Building Area
Level 19	775 m ² Gross Building Area
Level 20	775 m ² Gross Building Area
Level 21	775 m ² Gross Building Area
Level 22	775 m ² Gross Building Area
Level 23	775 m ² Gross Building Area
Level 24	775 m ² Gross Building Area
Level 25	775 m ² Gross Building Area
Level 26	775 m ² Gross Building Area
Level 27	775 m ² Gross Building Area
Level 28	775 m ² Gross Building Area
Level 29	775 m ² Gross Building Area
Level 30	775 m ² Gross Building Area
Level 31	775 m ² Gross Building Area
Level 32	775 m ² Gross Building Area
Level 33	775 m ² Gross Building Area
Level 34 - Mech P 01 / Office	431 m ² Gross Building Area
Level 35 - Mech Chillers	0 m ² Gross Building Area
Grand total: 35	26260 m ²

Dwelling Unit Count

UNIT SUMMARY			
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY
UNIT 01	2 BED	90.8 m ²	30
UNIT 02	1 BED	63.4 m ²	29
UNIT 03	2 BED	88.9 m ²	29
UNIT 04	1 BED	59.2 m ²	29
UNIT 05	1 BED	59.2 m ²	29
UNIT 06	2 BED	88.9 m ²	29
UNIT 07	1 BED	63.4 m ²	29
UNIT 08	2 BED	90.8 m ²	30
UNIT 09	1 BED	55.1 m ²	30
UNIT 12	1 BED	63.4 m ²	1
UNIT 13	2 BED	95.0 m ²	1
UNIT 16	2 BED	95.0 m ²	1
UNIT 17	1 BED	63.4 m ²	1
TOTAL			268

UNIT 12 AND 17 ARE DESIGNED TO BE ADAPTABLE TO ACCESSIBLE ON LEVEL 04 ONLY.
UNIT 13 AND 16 ARE DESIGNED TO BE UNIVERSAL LEVEL 04 ONLY.

Density

DENSITY (UNITS PER HECTARE)		
UNITS	HECTARE	
268	0.17	1,576

Motor Vehicle Parking Requirements

THERE ARE NO REQUIREMENTS FOR COMMERCIAL PARKING IN THIS ZONE.
PARKING RELAXATION FOR VISITOR STALLS COUNT TO BE REQUESTED, SUPPORTED BY THE TRAFFIC IMPACT STATEMENT.

RESIDENTIAL - UNIT PARKING				
DESCRIPTION	UNIT QUANTITY	FACTOR (STALL PER DWELLING UNIT)	REQUIRED	PROVIDED
RESIDENTIAL STANDARD	268	0.5	134	134

RESIDENTIAL - VISITOR PARKING				
	UNIT QUANTITY	FACTOR (STALL PER DWELLING UNIT)	REQUIRED	PROVIDED
RESIDENTIAL VISITOR	270	0.1	27	20

OFFICE - PARKING					
USE	GROSS USABLE FLOOR AREA	STALL	PER	REQUIRED	PROVIDED
OFFICE	195.0 m	0.7	100 m ²	2	2

Bicycle Parking Requirements

RESIDENTIAL				
DESCRIPTION	UNIT QUANTITY	FACTOR (STALL PER DWELLING...)	REQUIRED	PROVIDED
CLASS 1 PARKING	268	1	268	268
CLASS 2 PARKING	268	0.1	27	28

RETAIL					
DESCRIPTION	QUANTITY	STALL	PER	REQUIRED	PROVIDED
CLASS 1 PARKING	188 sm	0	250 sm	1	1
CLASS 2 PARKING	188 sm	1	250 sm	1	1

OFFICE					
DESCRIPTION	QUANTITY	STALL	PER	REQUIRED	PROVIDED
CLASS 1 PARKING	190 sm	1	1000 sm	1	1
CLASS 2 PARKING	190 sm	1	1000 sm	1	1

TOTAL REQUIRED BICYCLE - CLASS 1 PARKING (WALL-MOUNTED VS FLOOR-MOUNTED):

RESIDENTIAL BIKE STORAGE

LEVEL - 02
36 WALL-MOUNTED
104 FLOOR-MOUNTED

LEVEL - 01
22 WALL-MOUNTED

PARKADE - P1
40 WALL-MOUNTED
30 FLOOR-MOUNTED

PARKADE - P2
36 WALL-MOUNTED
30 FLOOR-MOUNTED

PARKADE - P3
0 WALL-MOUNTED
0 FLOOR-MOUNTED

PARKADE - P4
0 WALL-MOUNTED
0 FLOOR-MOUNTED

TOTAL RESIDENTIAL
134 WALL-MOUNTED
134 FLOOR-MOUNTED
268 RESIDENTIAL BIKE STALLS

COMMERCIAL & OFFICE BIKE STORAGE

LEVEL - 01
2 WALL-MOUNTED

TOTAL:
REQ'D: 270
PROVIDED: 270

RESIDENT ACCESS TO CLASS 1 BICYCLE STORAGE ON P2, P1, L1, AND L2. RESIDENTS ARE PERMITTED USE OF ELEVATOR FOR BICYCLE STORAGE ACCESS FOR LIFE OF THE BUILDING. REFER TO PATH OF ACCESS AND NOTE INDICATED ON DP2.63.

Waste & Recycling Requirements

*WASTE & RECYCLING CALCULATIONS BASED ON CITY / PUBLIC SERVICE STANDARDS TO MEET APPROXIMATE NEEDS. NO OFFICIAL REQUIREMENTS FOR PRIVATE PICK-UP.

RESIDENTIAL WASTE & RECYCLING					
DESCRIPTION	QUANTITY	NO. OF BINS (3 yd ³)		STORAGE	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
DWELLING UNIT	268	27	--	243m ²	--
				122m ²	

CALCULATIONS:

RESIDENTIAL
WASTE & RECYCLING PRODUCED (268 UNITS / 10) x 3 yd³ = 80.4 yd³
BINS REQUIRED 80.4 yd³ / 3 yd³ = 26.8 BINS
STORAGE AREA REQUIRED 26.8 BINS x 9 m² = 241.2 m²
STAGING AREA REQUIRED 241.2 m² STORAGE AREA / 2 = 120.6 m²
TOTAL ROOM AREA REQUIRED: 361.8 m²

COMMERCIAL
WASTE & RECYCLING PRODUCED 2 CRUs x 1 yd³ = 2 yd³
BINS REQUIRED 2 yd³ / 3 yd³ = 0.67 BINS
STORAGE AREA REQUIRED 188 sm (9sm / 1000sm) = 9 sm
STAGING AREA REQUIRED 9 m² STORAGE AREA / 2 = 4.5 m²
TOTAL ROOM AREA REQUIRED: 4.5 m²

OFFICE
WASTE & RECYCLING PRODUCED 2 OFFICES x 1 yd³ = 2 yd³
BINS REQUIRED 2 yd³ / 3 yd³ = 0.67 BINS
STORAGE AREA REQUIRED 190 sm (9sm / 1000sm) = 9 sm
STAGING AREA REQUIRED 9 m² STORAGE AREA / 2 = 4.5 m²
TOTAL ROOM AREA REQUIRED: 4.5 m²

IF INCLUDES COMPACTOR
BINS REQUIRED 28.1 BINS / 4 yd³ = 7.0 BINS
STORAGE AREA REQUIRED 7 BINS x 9 m² = 63 m²
STAGING AREA REQUIRED 63 m² STORAGE AREA / 2 = 31.5 m²
TOTAL ROOM AREA REQUIRED: 10 m²
TOTAL ROOM AREA PROVIDED: 98 m²

Residential Amenity Space

RESIDENTIAL AMENITY SPACE

REQUIRED:
268 UNITS X 5.0 SM PER UNIT = 1340 SM
PROPOSED:
320 SM + 431 SM + 399 SM = 1150 SM

PROPOSED BREAKDOWN

PRIVATE AMENITY SPACE
6 UNITS (LEVEL 04) x 5 SM = 30 SM
UNIT 04 & 05 (LEVEL 05 - 33)
2 UNITS X 29 FLOORS X 5 SM = 290 SM
TOTAL = 320 SM

COMMON AMENITY SPACE
(TOTAL REQUIRED AMENITY SPACE - PRIVATE AMENITY SPACE)
1340 SM - 320 SM = 1020 SM
INDOOR / OUTDOOR SPLIT (MAX 50% INDOOR)
1020 SM / 2 = 510 SM EACH

LEVEL 03
GYM = 219 SM
COWORKING SPACE / CAFE = 212 SM
TOTAL = 431 SM

LEVEL 04
OUTDOOR AMENITY = 297 SM
INDOOR AMENITY = 102 SM
TOTAL = 399 SM

S2 architecture

PROJECT INFORMATION

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE

2719182

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

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S2

architecture

526 4TH AVENUE SW

CALGARY, AB T2P 0K4

1 400 600 1000

526 4TH AVENUE SW

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SITE PHOTOS

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296

LACAILLE

2/19/22

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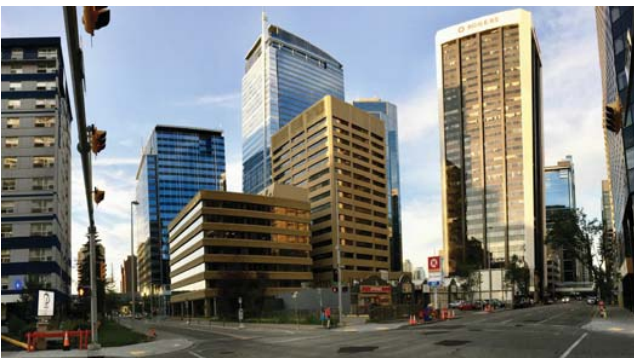
2 North Elevation from Lane
DP0.02 SCALE: 1 : 8



3 NW Corner
DP0.02 SCALE: 1 : 2



4 West Elevation Along 5th Street
DP0.02 SCALE: 1 : 5



5 SW Corner at 4th Ave and 5th St
DP0.02 SCALE: 1 : 4



6 South Elevation Along 4th Avenue
DP0.02 SCALE: 1 : 4



7 SE Corner from 4th Street
DP0.02 SCALE: 1 : 5



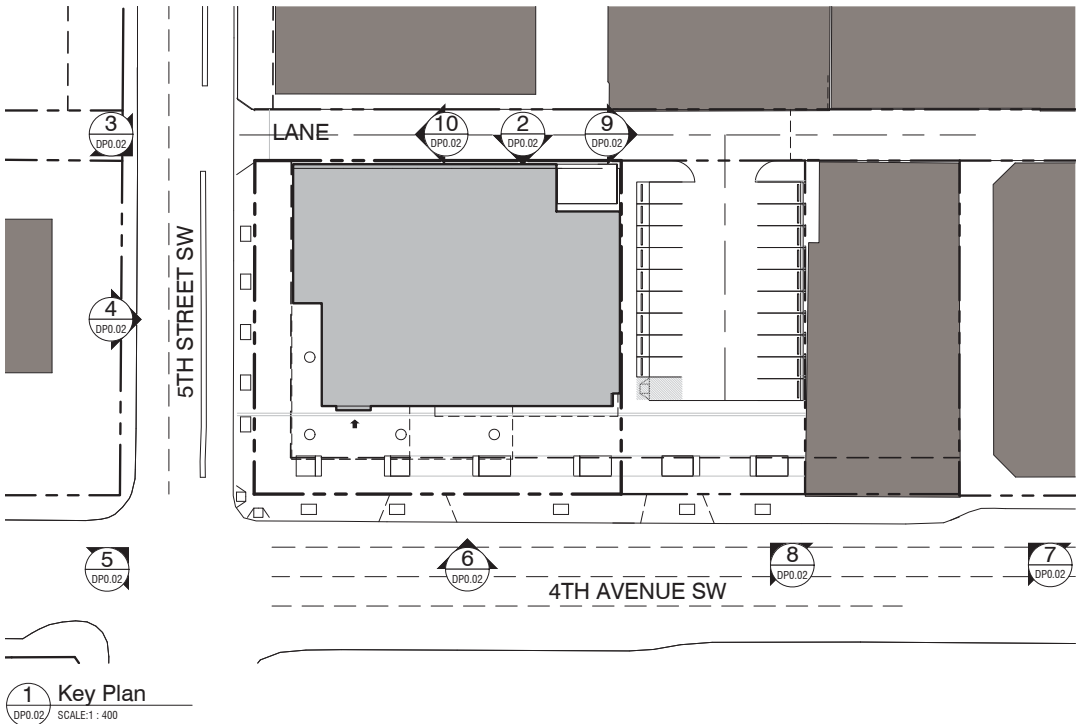
8 SE Corner of Property
DP0.02 SCALE: 1 : 5



9 Lane - Looking East
DP0.02 SCALE: 1 : 5



10 Lane - Looking West
DP0.02 SCALE: 1 : 5



1 Key Plan
DP0.02 SCALE: 1 : 400



EXISTING SURVEY

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219182

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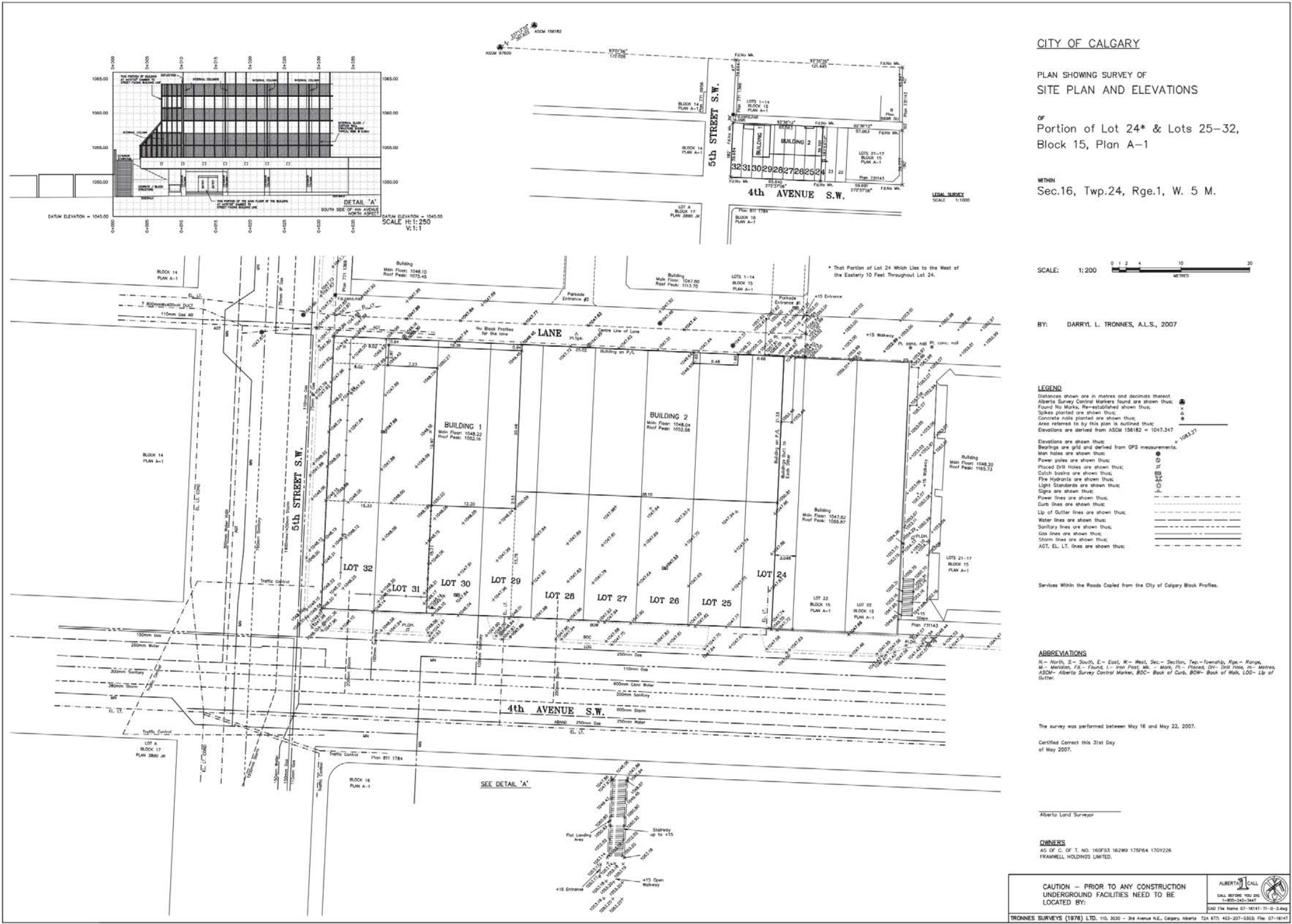
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CITY OF CALGARY

PLAN SHOWING SURVEY OF
SITE PLAN AND ELEVATIONS

OF
Portion of Lot 24* & Lots 25-32,
Block 15, Plan A-1

WITHIN
Sec.16, Twp.24, Rge.1, W. 5 M.

SCALE: 1:200

BY: DARRYL L. TRONNES, A.L.S., 2007

- LEGEND
- Distances shown are in metres and decimals thereof.
 - Alberta Survey Control Markers found are shown thus:
 - Found No Marks, Re-established shown thus:
 - Spikes planted are shown thus:
 - Concrete nails planted are shown thus:
 - Area referred to by this plan is outlined thus:
 - Elevations are derived from ASGM 156182 = 1047.347
 - Elevations are shown thus:
 - Bearings are grid and derived from GPS measurements.
 - Man holes are shown thus:
 - Power poles are shown thus:
 - Placed Driv Holes are shown thus:
 - Cutback signs are shown thus:
 - Fire Hydrants are shown thus:
 - Light Standards are shown thus:
 - Signs are shown thus:
 - Power lines are shown thus:
 - Curb lines are shown thus:
 - Lip of gutter lines are shown thus:
 - Water lines are shown thus:
 - Sanitary lines are shown thus:
 - Gas lines are shown thus:
 - Storm lines are shown thus:
 - ACT, EL, LT, lines are shown thus:

Services Within the Roads Copied from the City of Calgary Block Profiles.

ABBREVIATIONS

N = North, S = South, E = East, W = West, Sec = Section, Twp = Township, Rge = Range, M = Metres, Fd = Front, L = Left, Pst = Post, M = Mark, Pl = Placed, Dr = Drive, m = Metres, ASGM = Alberta Survey Control Marker, BOC = Back of Curb, BOW = Back of Walk, LOD = Lip of Gutter.

The survey was performed between May 16 and May 22, 2007.

Certified Correct this 31st Day of May 2007.

Alberta Land Surveyor

OWNERS
AS OF C. OF T. NO. 160F93 162W9 175P64 170Y226
FRANWELL HOLDINGS LIMITED.

CAUTION - PRIOR TO ANY CONSTRUCTION
UNDERGROUND FACILITIES NEED TO BE
LOCATED BY:



TRONNES SURVEYS (1976) LTD. 110, 3030 - 3rd Avenue N.E., Calgary, Alberta T2A 6T7, 403-207-6303, Fax: 403-16141

General Notes

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3440/3501 72nd Avenue SW
Calgary, Alberta T2C 0K4
T: 403.290.1888
F: 403.290.1889
www.s2architecture.com

CONSOLIDATION PLAN

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219182

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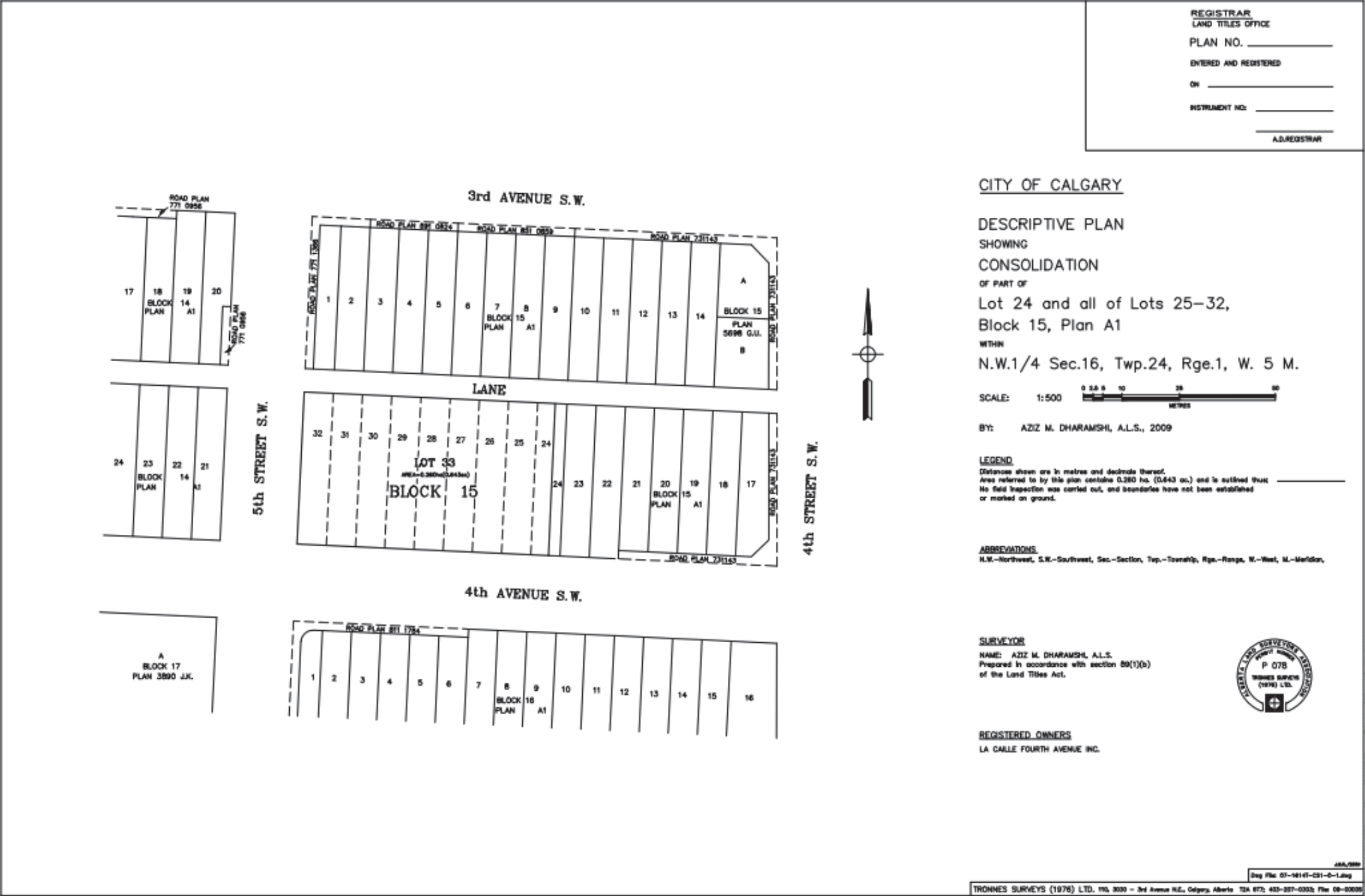
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General Notes

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SITE PLAN

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2/19/82

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Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SITE SPECIFIC REQUIREMENTS
2. REFER TO SITE GRADING PLAN FOR ALL RELATED SITE GRADING
3. REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE SPECIFIC REQUIREMENTS
4. REFER TO ELECTRICAL DRAWINGS FOR PROPOSED LIGHTING
5. REFER TO THE SURVEY PLAN FOR PROPERTY LINE & RIGHT-OF-WAY DIMENSIONS, & ADJACENT LOT RELATED INFORMATION
6. ALL SIGNAGE TO BE SUBMITTED UNDER A SEPARATE DEVELOPMENT PERMIT APPLICATION
7. ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
8. ALL EXISTING TREES TO BE REMOVED AND REPLACED

Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF CONCRETE TO HOLD MINIMUM 38,556 KG / 85,000 LB LOAD.
- INDICATES EXTENT AND LOCATION OF CONCRETE. REFER TO LANDSCAPE PLAN. CONCRETE SURFACE TREATMENTS ARE TO CITY OF CALGARY STANDARDS, WITH TOOLED OR SAW CUT CONTROL JOINTS.
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE. REFER TO CODE LEGEND FOR DETAIL ON FENCE TYPE.
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK (2 PER RACK)
- INDICATES "HANDICAP PARKING SYMBOL" POLE MOUNTED SIGNAGE
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION
- INDICATES PROPOSED PRINCIPAL ENTRANCE
- EXISTING TREE - TO BE REMOVED. REFER TO TREE REMOVAL TABLE BELOW FOR MORE INFORMATION.

Tree Removal

TREE NO. (EAST TO WEST)	SPECIES	CANOPY	HEIGHT	CALLIPER	COMMENT
T-32061808	BRANDON	4M	9M	23CM	TO BE REMOVED
T-51350466	ELM	1M	2M	5CM	TO BE REMOVED
T-51350465	GREEN ASH	1M	2M	5CM	TO BE REMOVED
T-32022810	GREEN ASH	2M	6M	8CM	TO BE REMOVED

Site Plan - Code Legend

1	CONCRETE LANE TO BE PAVED TO SUPPORT A MINIMUM OF 38,555kg / 85,000 lb	14	PROPOSED TRANSFORMER LOCATION	26	TREE GRATE
2	CONCRETE SIDEWALK - REFER TO LANDSCAPE DRAWINGS FOR DETAILS	15	GAS METER LOCATION.	27	CHAINLINK FENCE AROUND GAS METER. REFER TO DETAIL 7/DP6.01
3	NEW CURB AND WHEEL STOP - REFER TO DETAIL 1/DP6.01	16	WASTE & RECYCLING STAGING, MAXIMUM 2% SLOPE IN ANY DIRECTION. REFER TO DETAIL 10/DP6.01	28	ACCESS GRATE TO STORMWATER TANK LOCATED ON PARKADE LEVEL P1
4	MONOLITH CURB CUT - REFER TO DETAIL 2/DP6.01	17	SIAMESE CONNECTION, MOUNTED BELOW CURTAIN WALL.	29	KEYPAD ACCESS TO BE PROVIDED FOR WASTE FACILITIES
5	EXISTING CURB	18	CLASS 2 BICYCLE STALLS - REFER TO LANDSCAPE DRAWINGS FOR DETAILS. REFER TO FLOOR PLANS AND DETAILS 5 & 6/DP6.01 FOR CLASS 1 BICYCLE STALLS	30	EXISTING CURB CUT LOCATION TO BE MAINTAINED. TO BE REHABILITATED AT DEVELOPER'S EXPENSE
6	EXISTING CITY SIDEWALK	19	PLANTING BED - REFER TO LANDSCAPE DRAWINGS FOR DETAILS	31	PARKADE RAMP. EXTERIOR PORTION OF RAMP HEATED.
7	EXISTING DRIVEWAY ACCESS TO BE CLOSED AND REHABILITATED AT THE DEVELOPER'S EXPENSE.	20	BENCH - REFER TO LANDSCAPE DRAWINGS FOR MORE DETAILS		
8	LOADING ZONE	21	1200mm HIGH GLASS PATIO RAIL.		
9	NO PARKING - WALL MOUNTED LOADING ZONE SIGNAGE	22	+15 ACCESS		
10	ASPHALT PARKING AREA	23	PROPOSED DRIVEWAY		
11	TRENCH DRAIN	24	PAID STREET PARKING		
12	OVERHEAD DOOR	25	DECORATIVE SCREEN. REFER TO DETAIL 4/DP6.01		
13	BOLLARD. REFER TO DETAIL 3/DP6.01				



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SHADOW STUDY

4th Avenue Tower
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LACAILLE
2/19/82

NOT FOR
CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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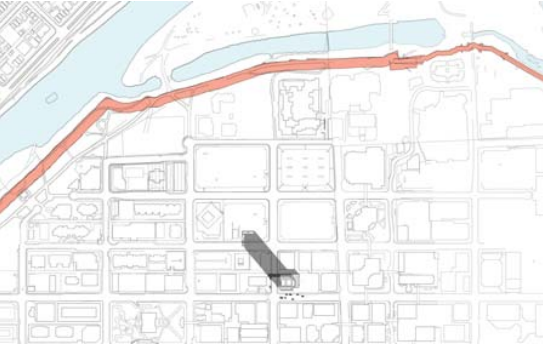
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1 D.P. SUBMISSION	09.18.2020
4 CPC Revisions	11.11.2021

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CHECKED BY	JC

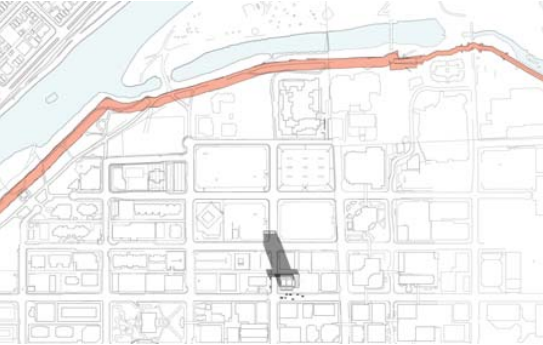
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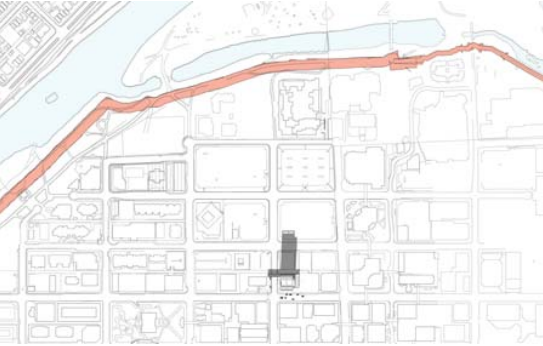
RIVERBANK + RIVERBANK PROMENADE



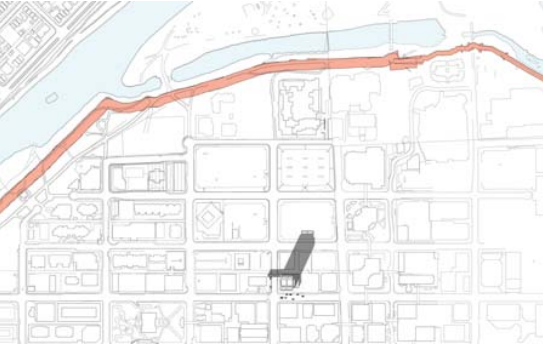
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SEPTEMBER 21 -- 11:00 HR MDT

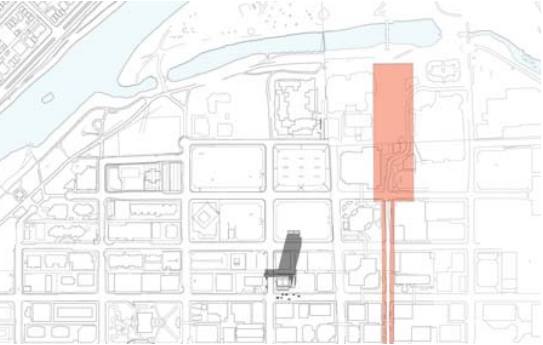


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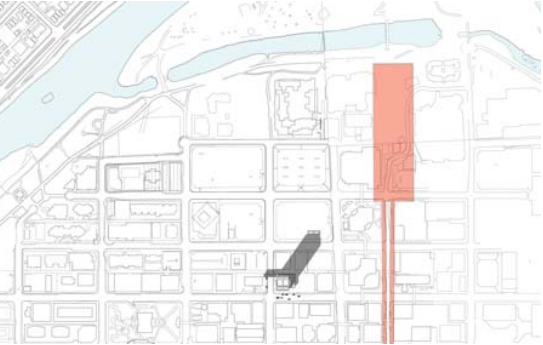


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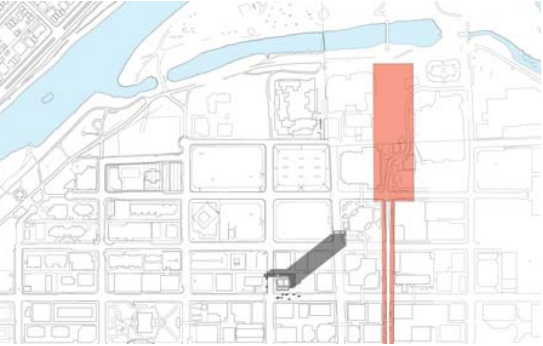
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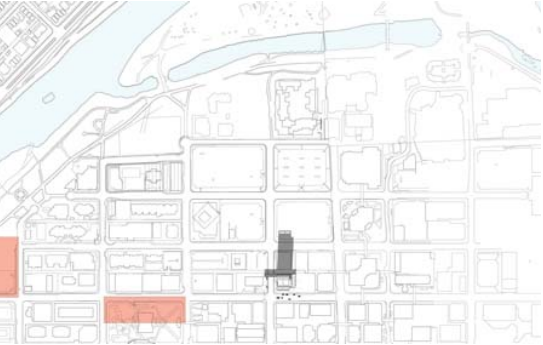


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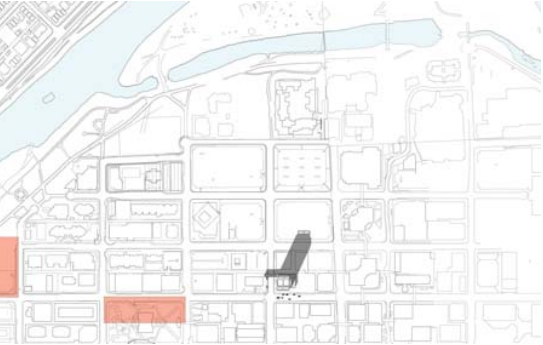


SEPTEMBER 21 -- 13:30 HR MDT

MEWATA ARMOURY + McDOUGALL SCHOOL



SEPTEMBER 21 -- 12:00 HR MDT

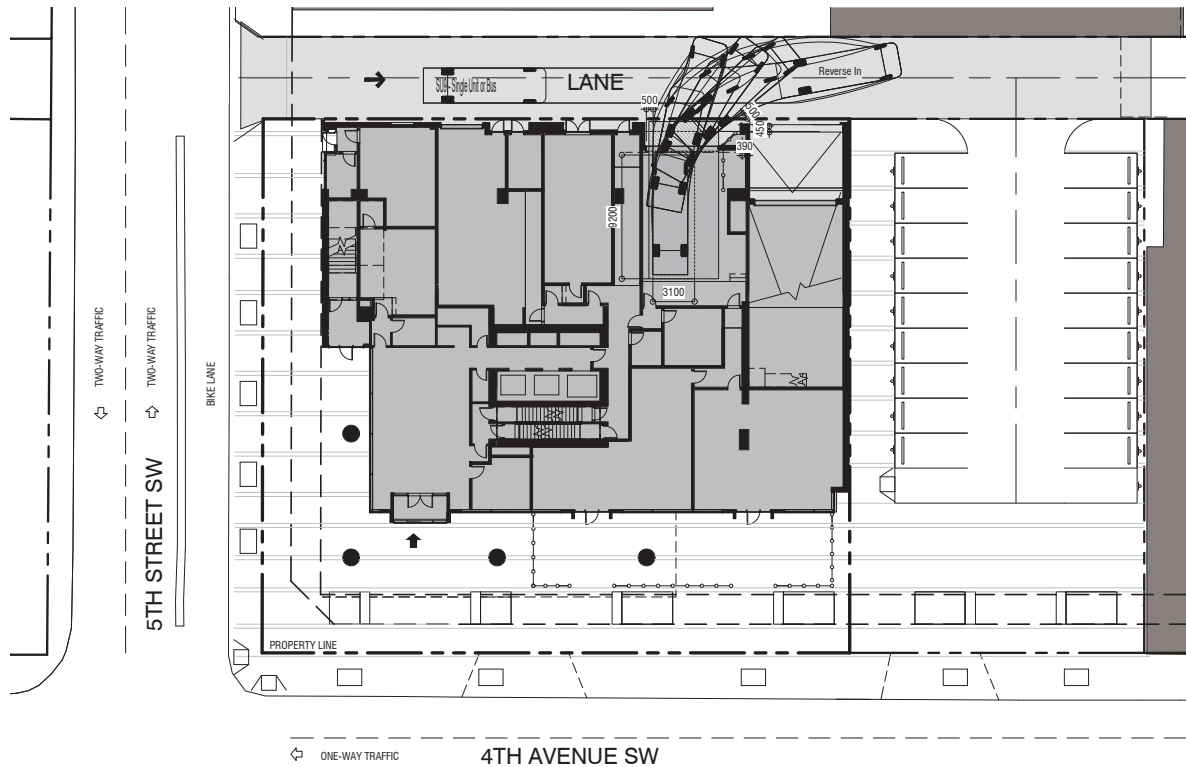


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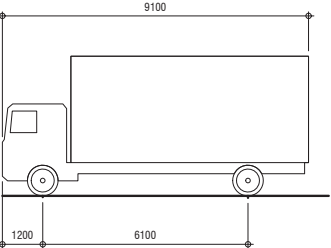


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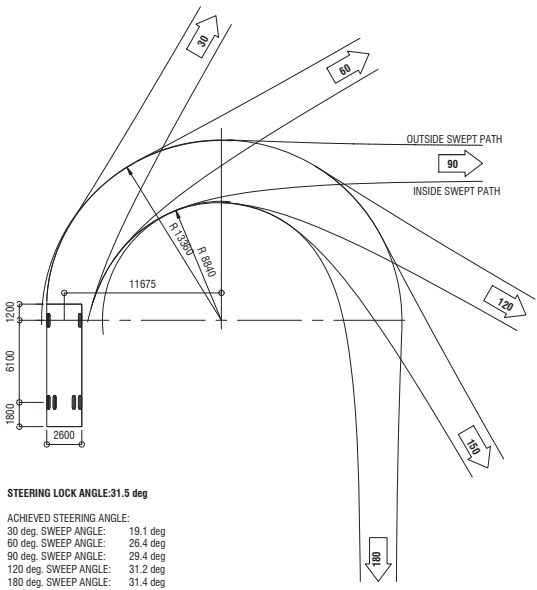
OTHER SUNLIGHT PROTECTION AREAS REFERENCED IN THE BYLAW ARE DEFINITELY SOUTH OF THE PROJECT, OR TOO FAR AWAY, INCLUDING OLYMPIC PLAZA, CENTURY GARDENS AND COURTHOUSE BLOCK.



SU-09
ALBERTA INFRA-HGDG (CA) (mm)

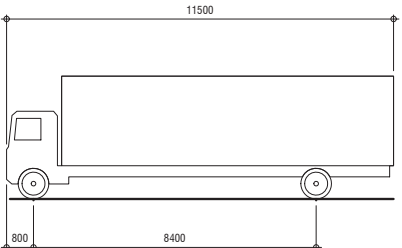
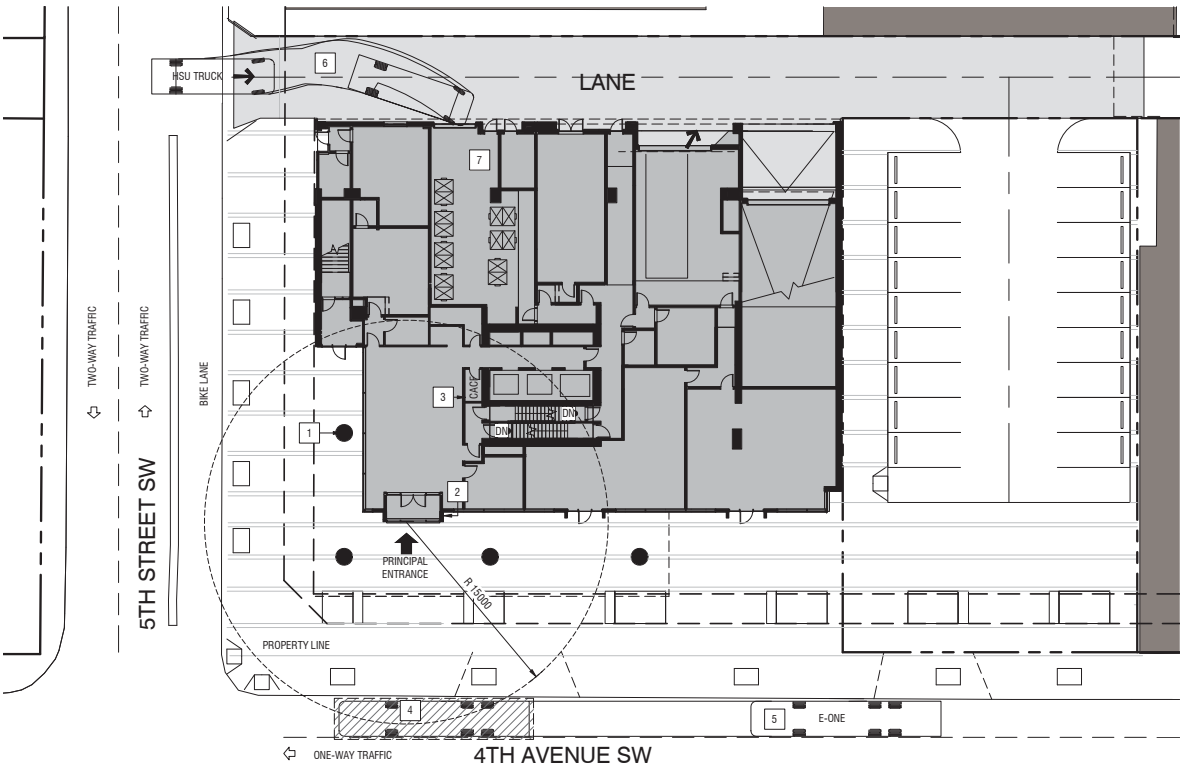


SU-09 - SINGLE UNIT OR BUS
Overall Length 9100 m
Overall Width 2600 m
Overall Body Height 4150 m
Min Body Ground Clearance 0.445 m
Track Width 2600 m
Lock-to-lock time 6.00
Steering Angle 31.5 deg

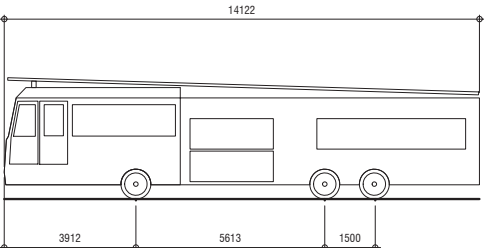


STEERING LOCK ANGLE: 31.5 deg
ACHIEVED STEERING ANGLE:
30 deg. SWEEP ANGLE: 19.1 deg
60 deg. SWEEP ANGLE: 28.4 deg
90 deg. SWEEP ANGLE: 28.4 deg
120 deg. SWEEP ANGLE: 31.2 deg
180 deg. SWEEP ANGLE: 31.4 deg

1 SU-09 Truck Sweep - Commercial + Residential Loading
DP1.02 SCALE: 1 : 250



HSU - HEAVY SINGLE UNIT TRUCK
Overall Length 11500 m
Overall Width 2600 m
Overall Body Height 3.650 m
Min Body Ground Clearance 0.445 m
Track Width 2600 m
Lock-to-lock time 4.00 s
Curb to Curb Turning Radius 14.100 m



E-ONE EMERGENCY ONE OCALA FL
Overall Length 14122 m
Overall Width 2540 m
Overall Body Height 3.607 m
Min Body Ground Clearance 0.425 m
Track Width 2540 m
Lock-to-lock time 6.00 s
Max Wheel Angle 45.00°

W+R / Fire Access - Code Legend

- INDICATES EXTENT AND LOCATION OF CONCRETE TO HOLD MINIMUM 38,556 KG / 85,000 LB LOAD.
- SIAMESE CONNECTION
- CALGARY FIRE DEPARTMENT APPROVED LOCKBOX
- ALARM PANEL TO HAVE DIRECT ACCESS FROM PRINCIPAL ENTRANCE.
- FIRE ACCESS AREA, DESIGNED TO SUPPORT FIREFIGHTING VEHICLE WEIGHT (MIN. 38,556 KG/ 85,000 LBS). ACCESS ALSO DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517kPa (75 psi) OVER A 24" X 24" AREA CORRESPONDING TO THE OUTRIGGER SIZE.
- E-ONE OCALA FL
- HSU TRUCK
- WASTE + RECYCLING ROOM. REFER TO DP6.01 FOR W+R DETAILS.

4 Waste + Recycling Collection / Fire Access
DP1.02 SCALE: 1 : 250



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SITE ACCESS DIAGRAMS

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACALLE
219182

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CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

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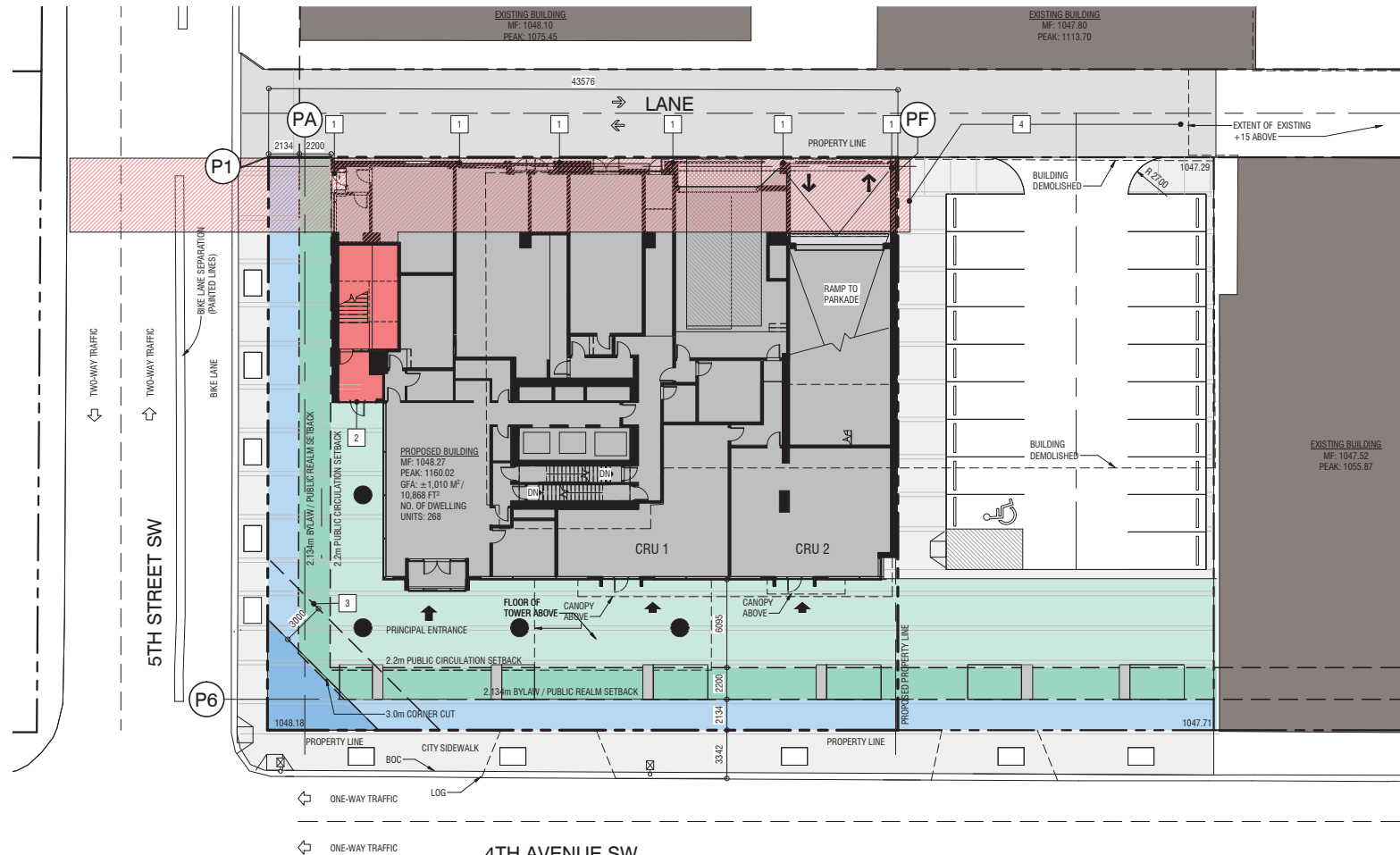
REVISION	DATE
1. D.P. SUBMISSION	09.18.2020
2. DTR 1	01.27.2021
3. DTR 2	03.31.2021
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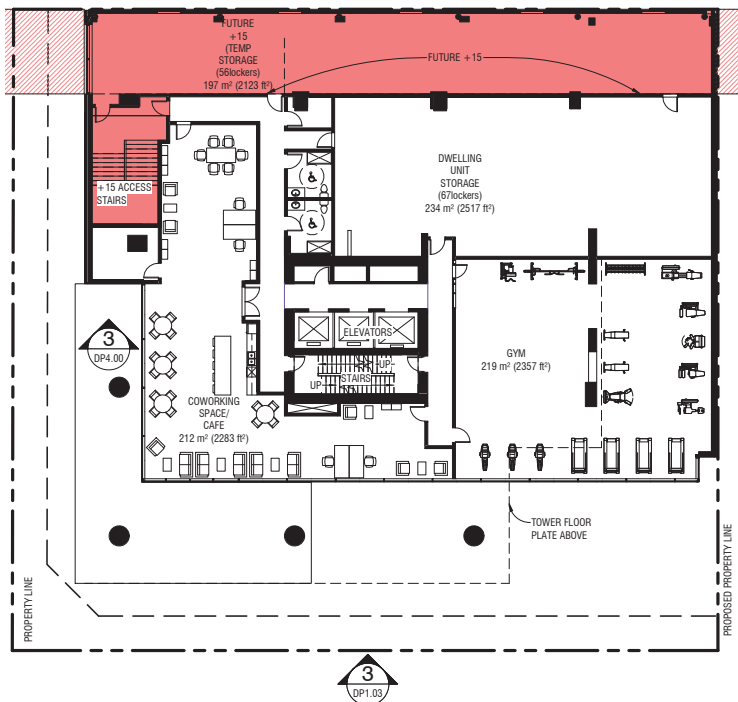
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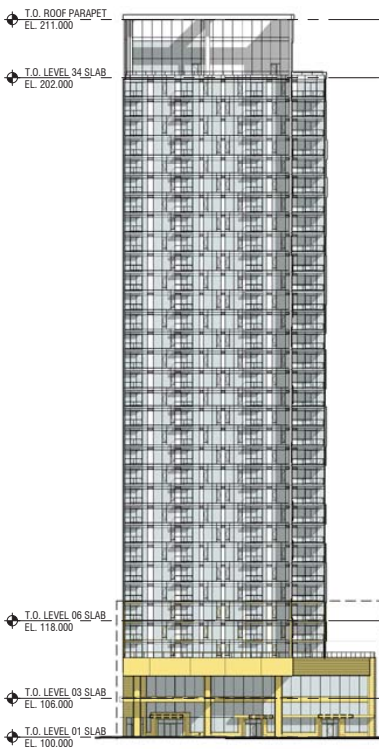
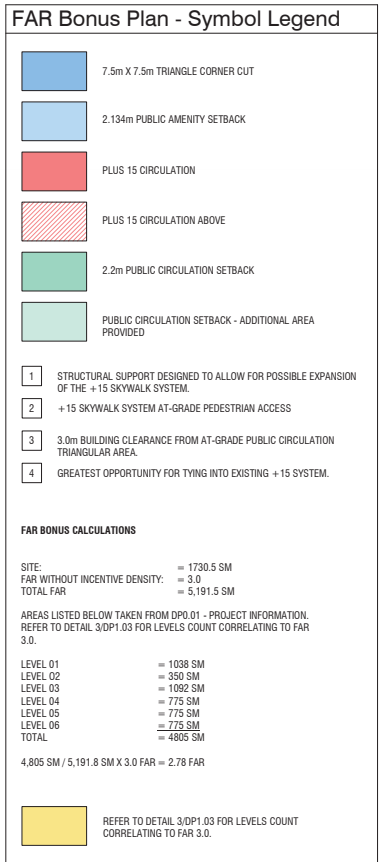
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1 DP - Site Plan FAR Bonus
DP1.03 SCALE: 1 : 200
DP1.03



2 Level 3 - Floor Plan FAR Bonus
DP1.03 SCALE: 1 : 200
DP1.03



3 FAR 3.0 Building Portion
DP1.03 SCALE: 1 : 500



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FAR Bonus DIAGRAMS

4th Avenue Tower

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LACAILLE
219182

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PARKADE LEVEL P04 PLAN

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2/19/82

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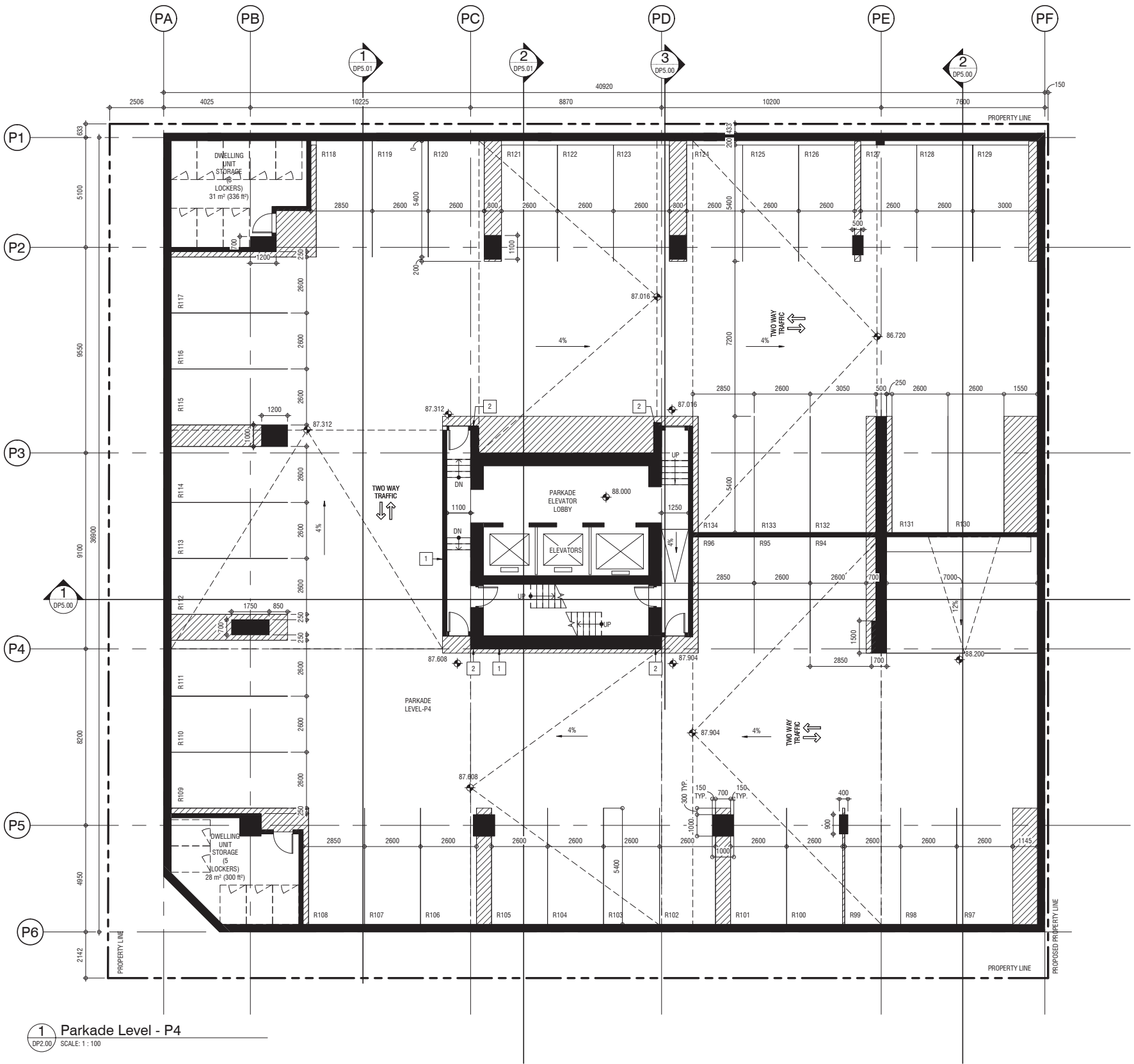
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3. DTR 2	03.31.2021
4. CPC Revisions	11.11.2021

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DP2.00





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PARKADE LEVEL P03 PLAN

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2/19/82

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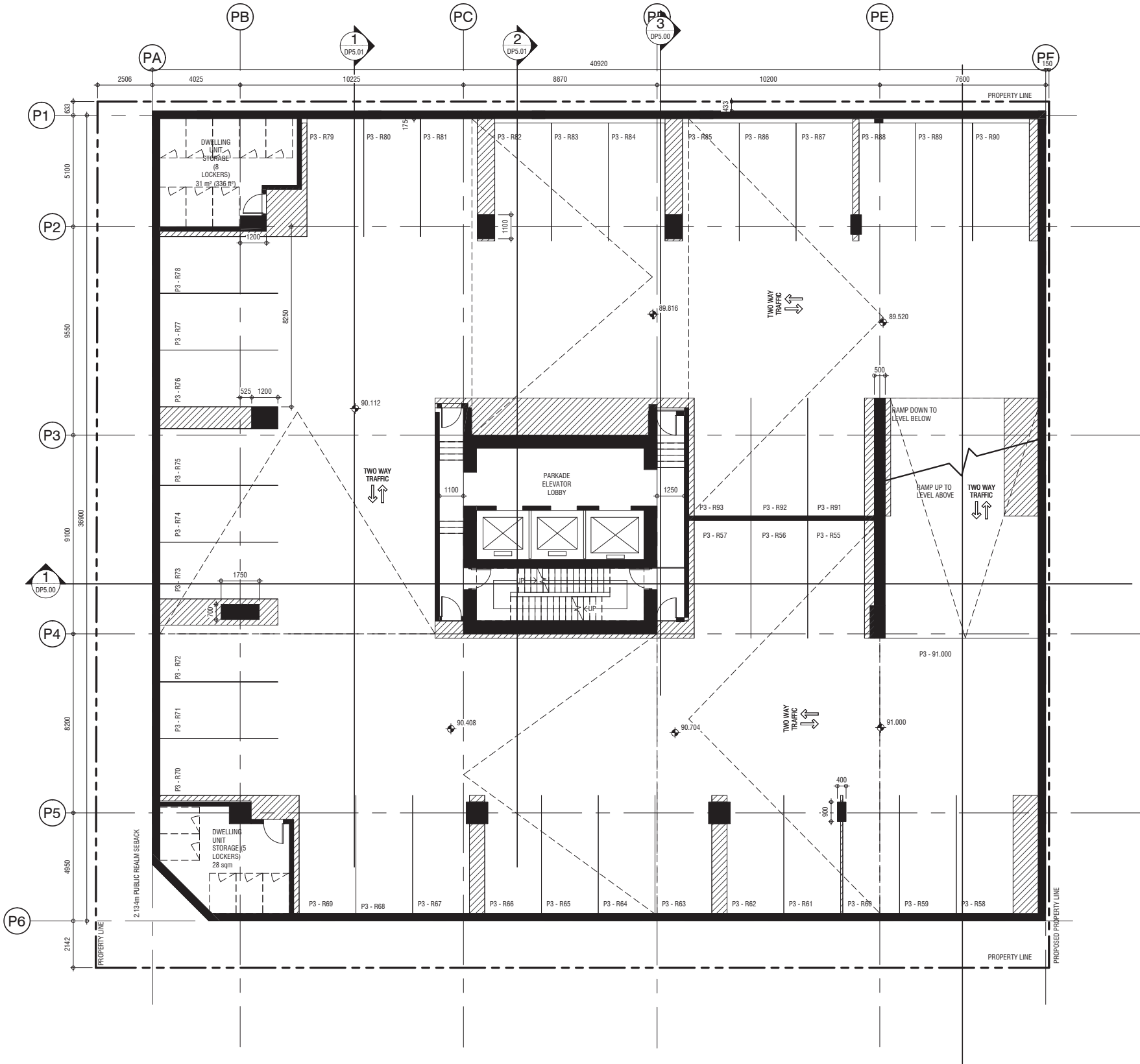
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4. CPC Revisions	11.11.2021

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DP2.00-1

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Parkade - Symbol Legend

- HATCHED AREA INDICATES 'NO PARKING ZONE'
- INDICATES BARRIER FREE PARKING STALL
- 'VISITOR PARKING ONLY' - WALL MOUNTED
- 'OFFICE PARKING ONLY' - WALL MOUNTED
- 'TO ELEVATOR LOBBY'
- 'NO PARKING AT ANY TIME'

02 DP - Parkade - Symbol Legend
SCALE: 1 : 200

Parkade - General Notes

- REFER TO DP0.01 FOR ALL VEHICULAR AND BICYCLE PARKING STATISTICS
- ALL PAINTED LINES TO BE 100MM (YELLOW)
- VISITOR PARKING STALLS REPRESENTED BY "V#" & BY THE SIGNAGE
- OFFICE PARKING STALL REPRESENTED BY "OF#" & BY THE SIGNAGE
- ALL WALLS, COLUMNS & CEILINGS TO BE PAINTED WHITE
- LIGHT FIXTURES IN THE PARKADE TO BE POSITIONED OVER THE STALLS (NOT THE DRIVE AISLES)
- ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS SHALL HAVE A TRANSPARENT PANEL FOR VISIBILITY AS PER A.B.C.

02 DP - Parkade - General Notes
SCALE: 1 : 1

1 DP - Parkade Level 3
DP2.00-1
SCALE: 1 : 100
DPS.00



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PARKADE LEVEL 02

4th Avenue Tower
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LACAILLE
2/19/82

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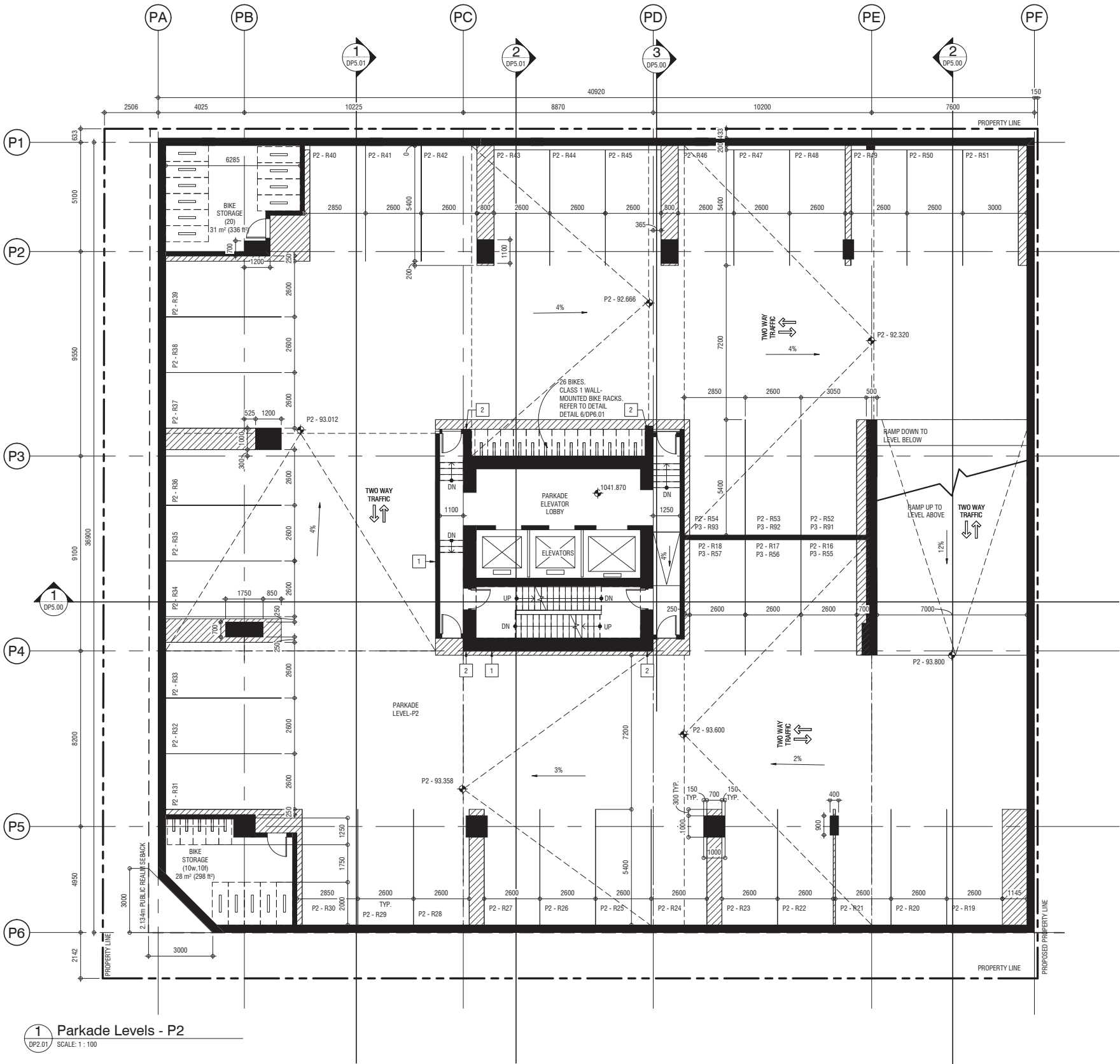
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DP2.01



Parkade - General Notes

1. REFER TO DP0.01 FOR ALL VEHICULAR AND BICYCLE PARKING STATISTICS
2. ALL PAINTED LINES TO BE 100MM (YELLOW)
3. VISITOR PARKING STALLS REPRESENTED BY 'V#*' & BY THE SIGNAGE
4. OFFICE PARKING STALL REPRESENTED BY 'OF#*' & BY THE SIGNAGE
5. ALL WALLS, COLUMNS & CEILINGS TO BE PAINTED WHITE
6. LIGHT FIXTURES IN THE PARKADE TO BE POSITIONED OVER THE STALLS (NOT THE DRIVE AISLES)
7. ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS SHALL HAVE A TRANSPARENT PANEL FOR VISIBILITY AS PER A.B.C.

Parkade - Symbol Legend

- HATCHED AREA INDICATES 'NO PARKING ZONE'
- INDICATES BARRIER FREE PARKING STALL
- 'VISITOR PARKING ONLY' - WALL MOUNTED
- 'OFFICE PARKING ONLY' - WALL MOUNTED
- 'TO ELEVATOR LOBBY'
- 'NO PARKING AT ANY TIME'



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PARKADE LEVEL 01

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
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2/19/82

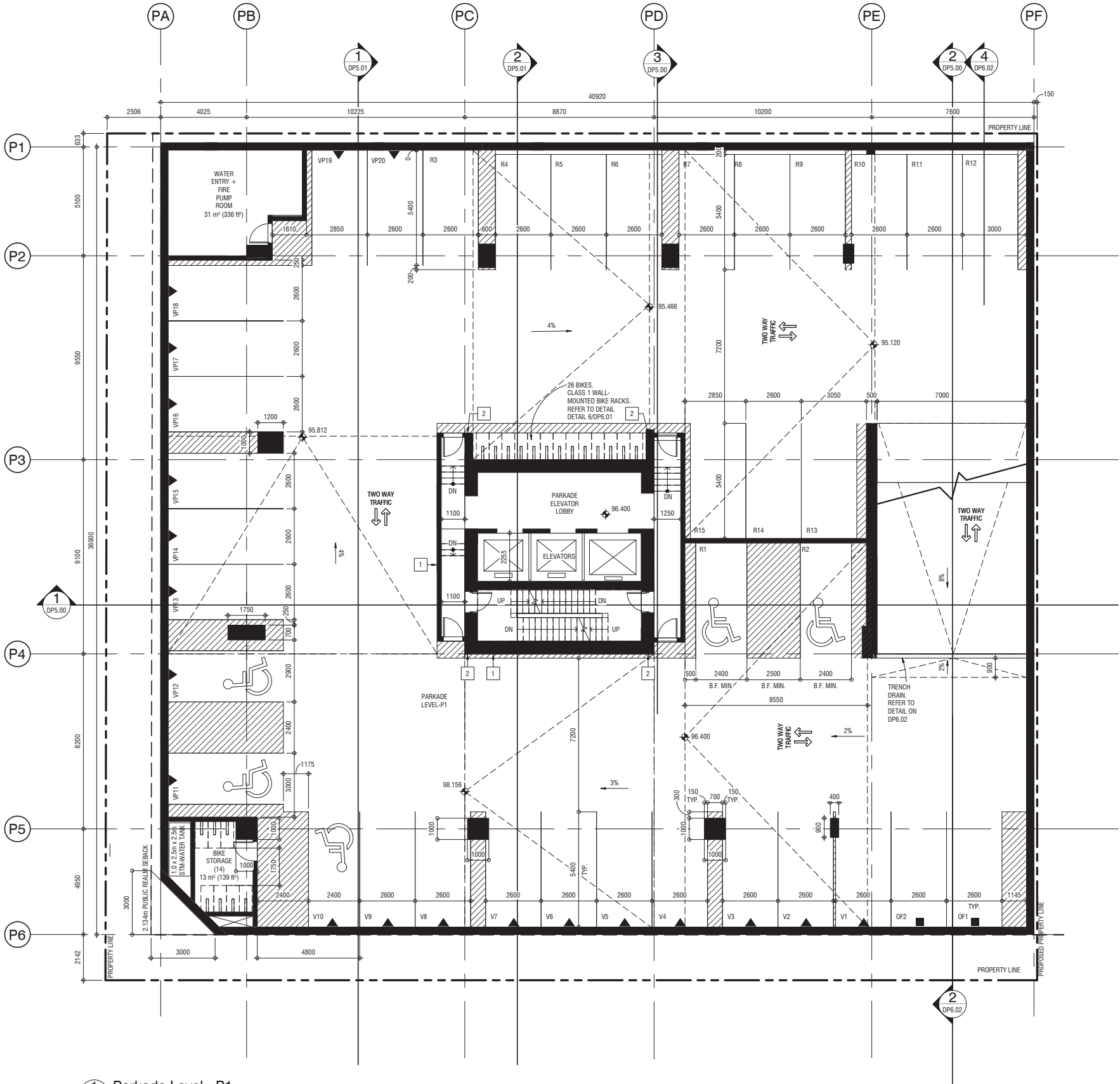
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DRAWING NO.
DP2.02



1 Parkade Level - P1
DP2.02 SCALE: 1:100

Parkade - General Notes

1. REFER TO DP0.01 FOR ALL VEHICULAR AND BICYCLE PARKING STATISTICS
2. ALL PAINTED LINES TO BE 100MM (YELLOW)
3. VISITOR PARKING STALLS REPRESENTED BY "V#" & BY THE SIGNAGE
4. OFFICE PARKING STALL REPRESENTED BY "OF#" & BY THE SIGNAGE
5. ALL WALLS, COLUMNS & CEILINGS TO BE PAINTED WHITE
6. LIGHT FIXTURES IN THE PARKADE TO BE POSITIONED OVER THE STALLS (NOT THE DRIVE AISLES)
7. ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS SHALL HAVE A TRANSPARENT PANEL FOR VISIBILITY AS PER A.B.C.

Parkade - Symbol Legend

- HATCHED AREA INDICATES 'NO PARKING ZONE'
- INDICATES BARRIER FREE PARKING STALL
- 'VISITOR PARKING ONLY' - WALL MOUNTED
- 'OFFICE PARKING ONLY' - WALL MOUNTED
- 2 TO ELEVATOR LOBBY
- 1 NO PARKING AT ANY TIME



3440 15th Avenue SW
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LEVEL 01 PLAN - MAIN FLOOR

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACALLE
219182

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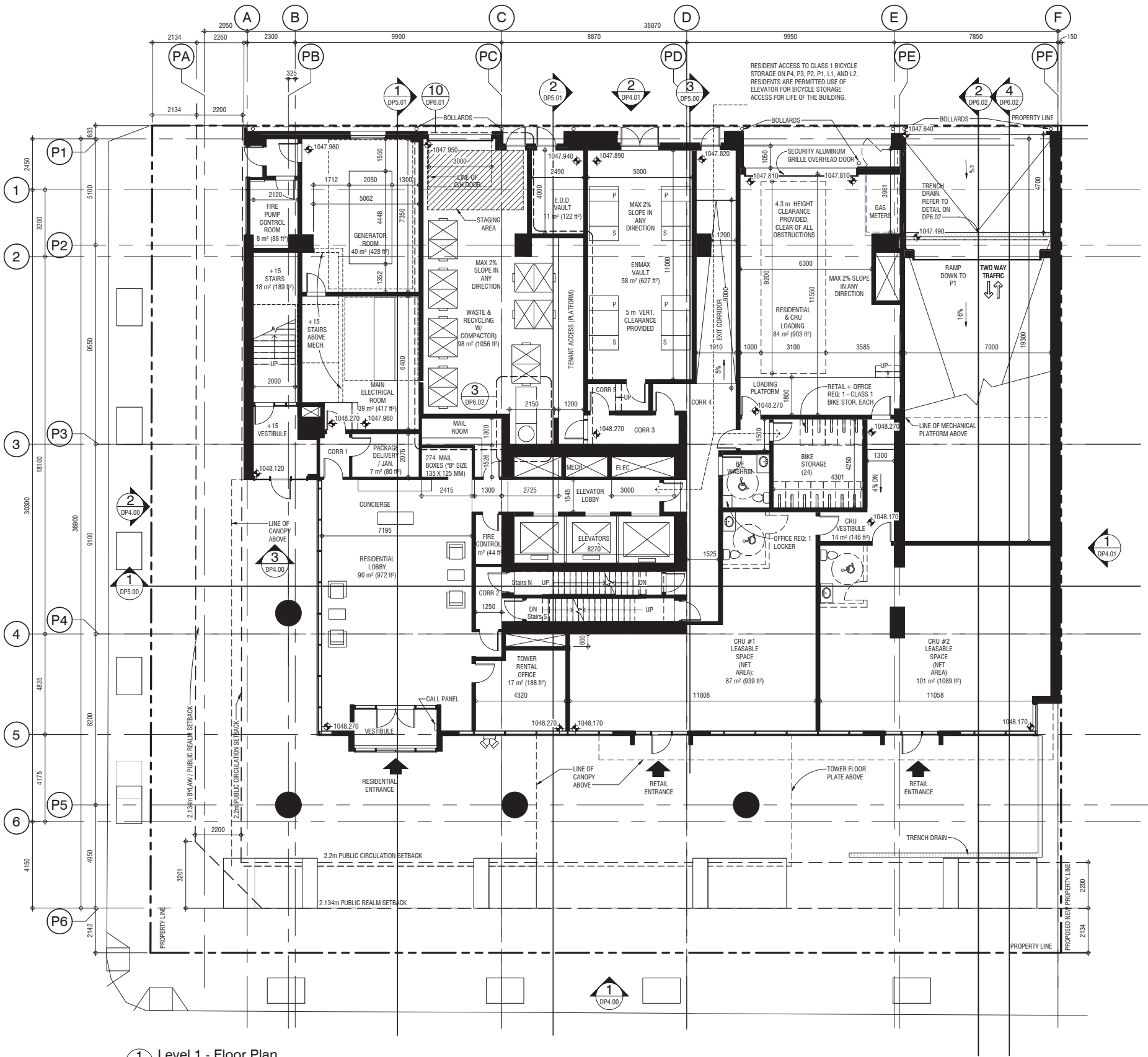
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DRAWING NO.
DP2.03

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1 Level 1 - Floor Plan
DP2.03 SCALE: 1 : 100



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LEVEL 02 - STORAGE

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2/10/22

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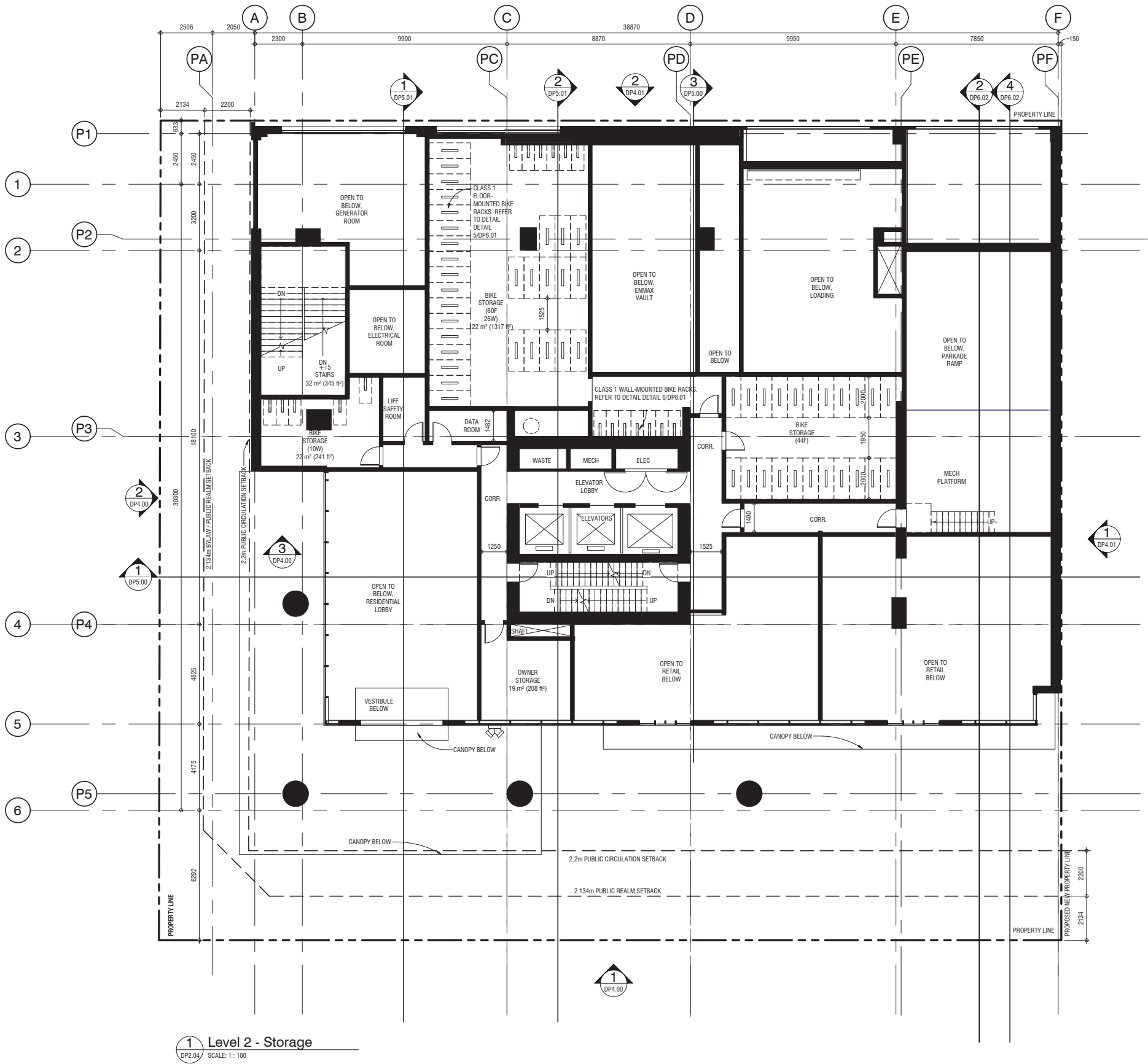
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1. D.P. SUBMISSION	09.18.2020
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DP2.04



219182

DP2.05





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LEVEL 04 PLAN - RESIDENTIAL & AMENITY

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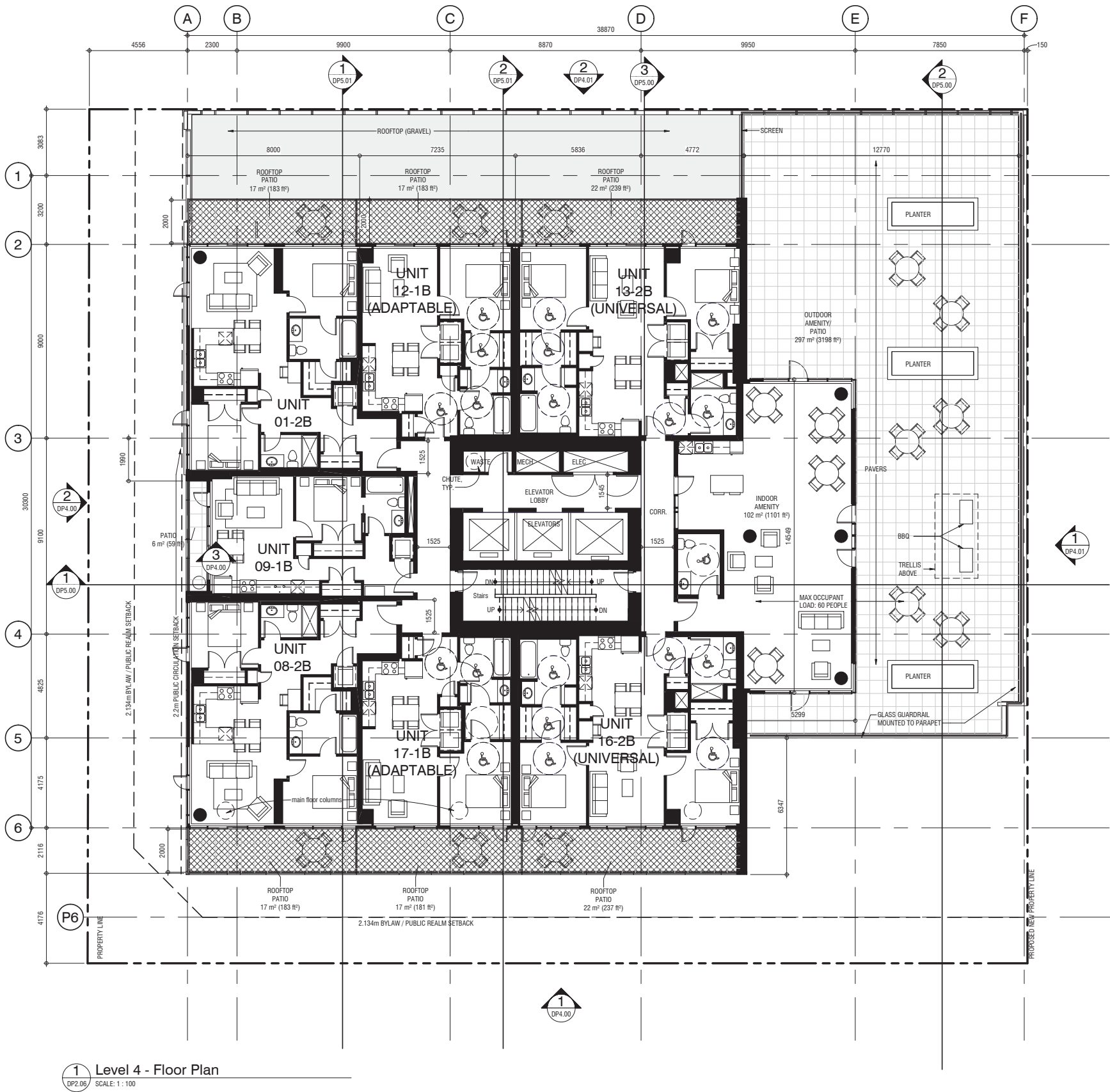
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DP2.06

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1 Level 4 - Floor Plan
DP2.06 SCALE: 1:100





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LEVEL 05 - 33 - TYPICAL RESID. FLOOR PLATE

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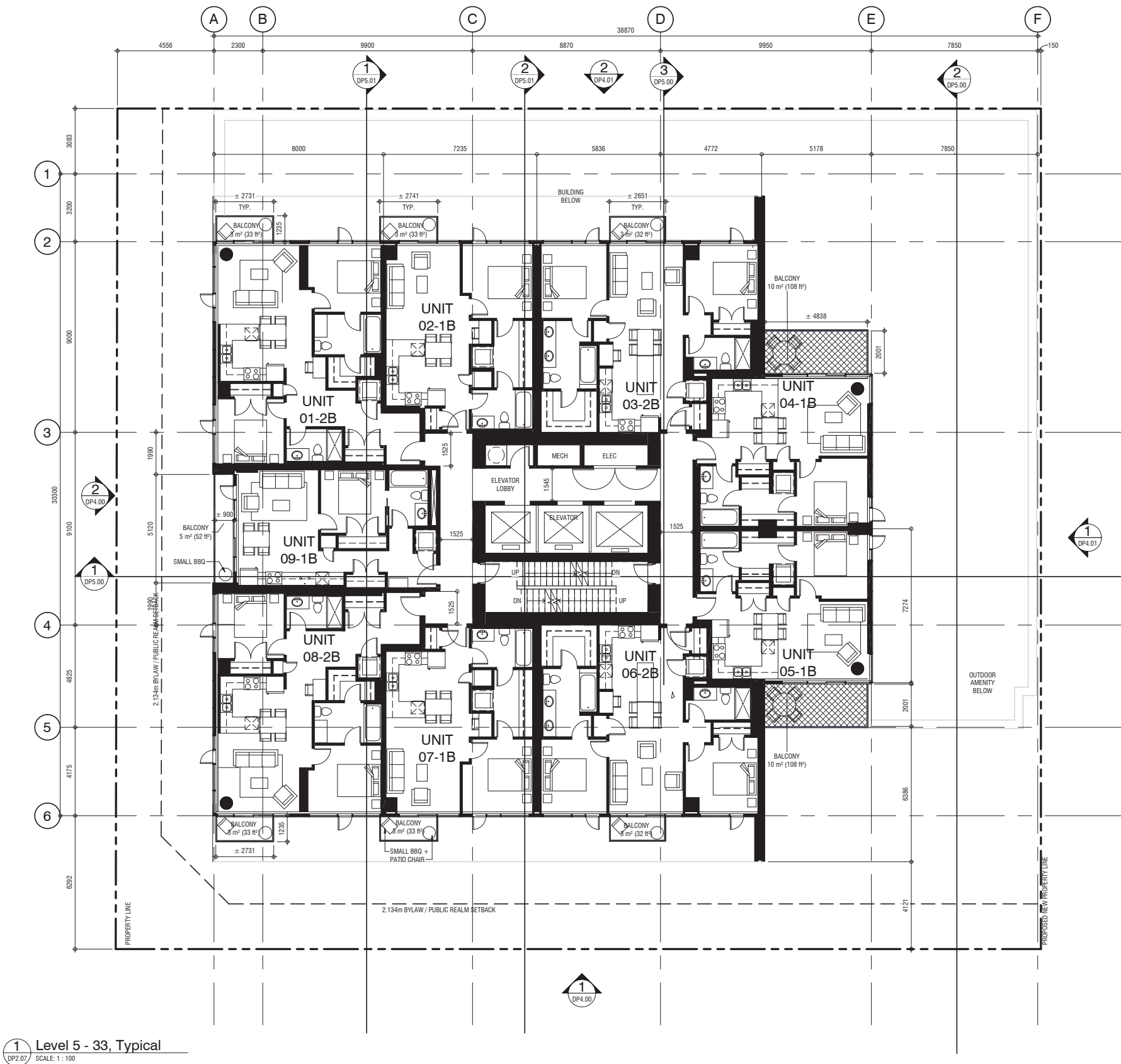
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DP2.07

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Residential Floor - Symbol Legend

1. ALL TOWER BALCONIES ARE AN EXTENSION OF THE FLOOR SLAB. REFER TO STRUCTURAL FOR MORE INFORMATION.

- INDICATES EXTENT OF ROOF TERRACE, RESIDENTIAL ROOF PATIOS TO BE PAVERS. SERVICE ROOF BALCONIES TO BE GRAVEL
- INDICATES EXTENT OF ROOF TERRACE PATIO PAVERS
- INDICATES DWELLING UNIT PRIVATE AMENITY THAT MEETS BYLAW AREA REQUIREMENTS

1 Level 5 - 33, Typical
DP2.07 SCALE: 1 : 100





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LEVEL 34 - OFFICE / MECHANICAL

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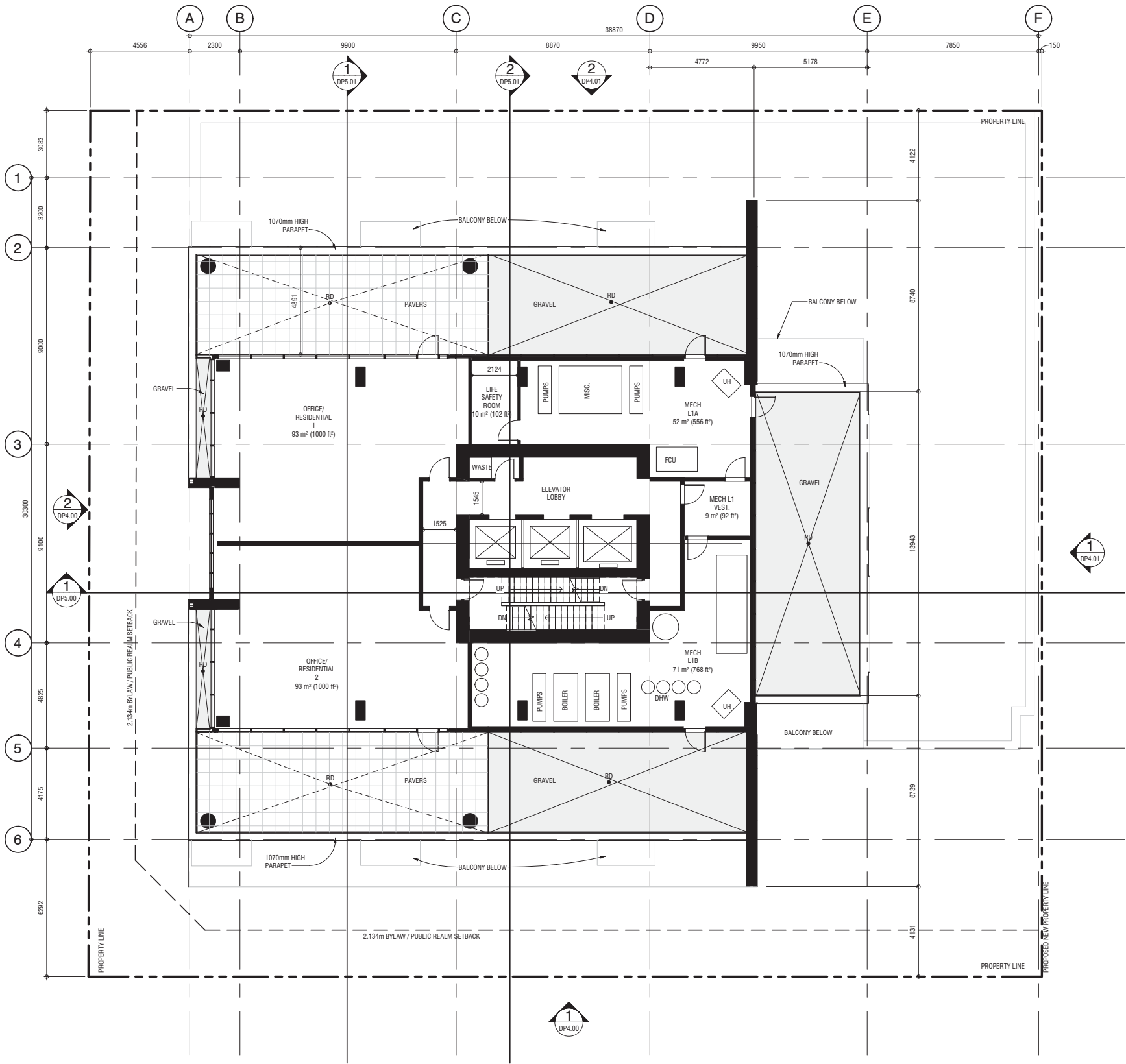
REVISION	DATE
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3 DTR 2	03.31.2021
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Residential Floor - Symbol Legend

1. ALL TOWER BALCONIES ARE AN EXTENSION OF THE FLOOR SLAB. REFER TO STRUCTURAL FOR MORE INFORMATION.

INDICATES EXTENT OF ROOF TERRACE, RESIDENTIAL ROOF PATIOS TO BE PAVERS. SERVICE ROOF BALCONIES TO BE GRAVEL

INDICATES EXTENT OF ROOF TERRACE PATIO PAVERS

INDICATES DWELLING UNIT PRIVATE AMENITY THAT MEETS BYLAW AREA REQUIREMENTS

1 Level 34 - Office / Mechanical
DP2.08 SCALE: 1 : 100





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MECHANICAL CHILLERS

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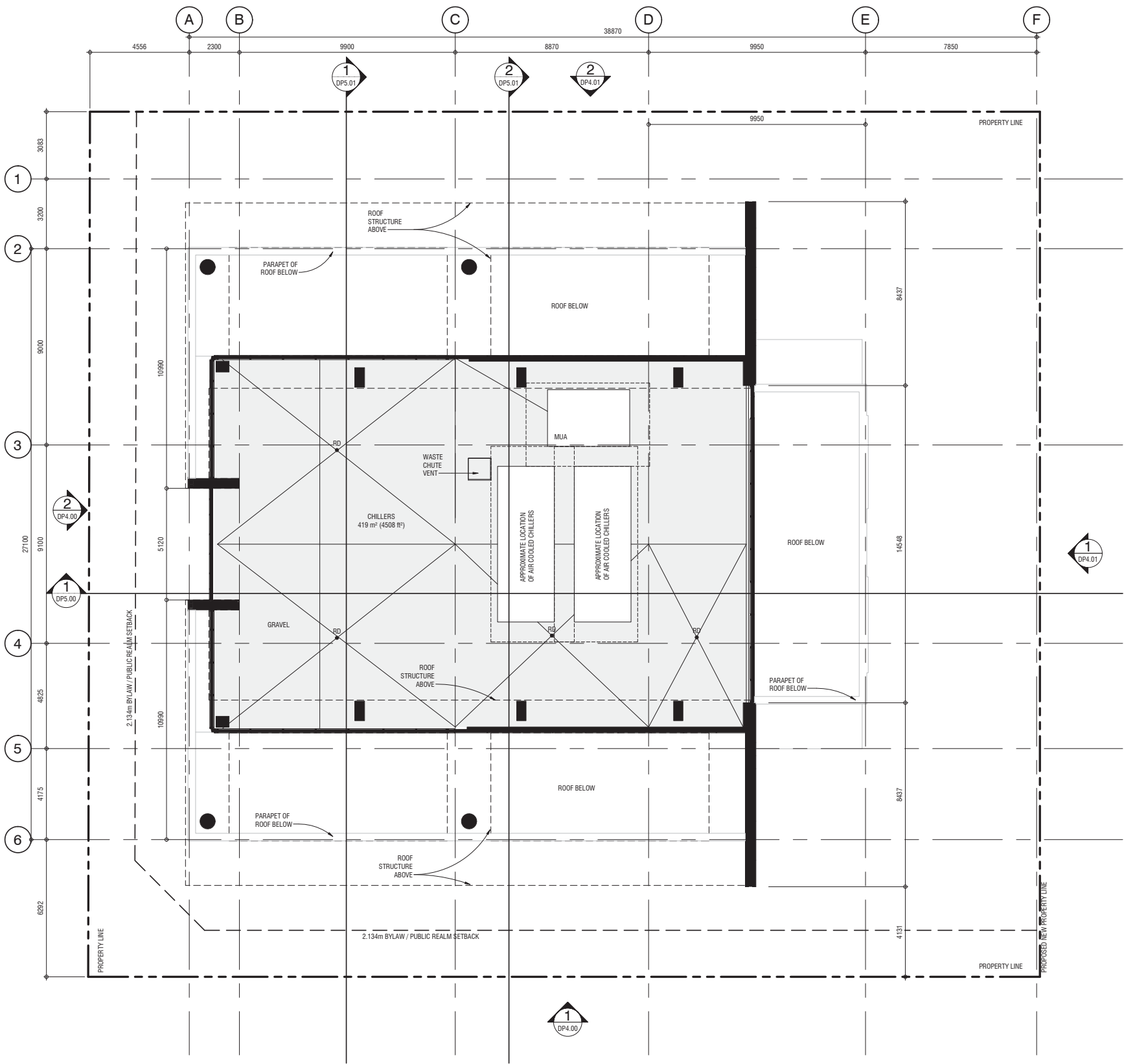
REVISION	DATE
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DP2.09

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1 Level 35 - Roof Plan (Chillers)
DP2.09 / SCALE: 1 : 100

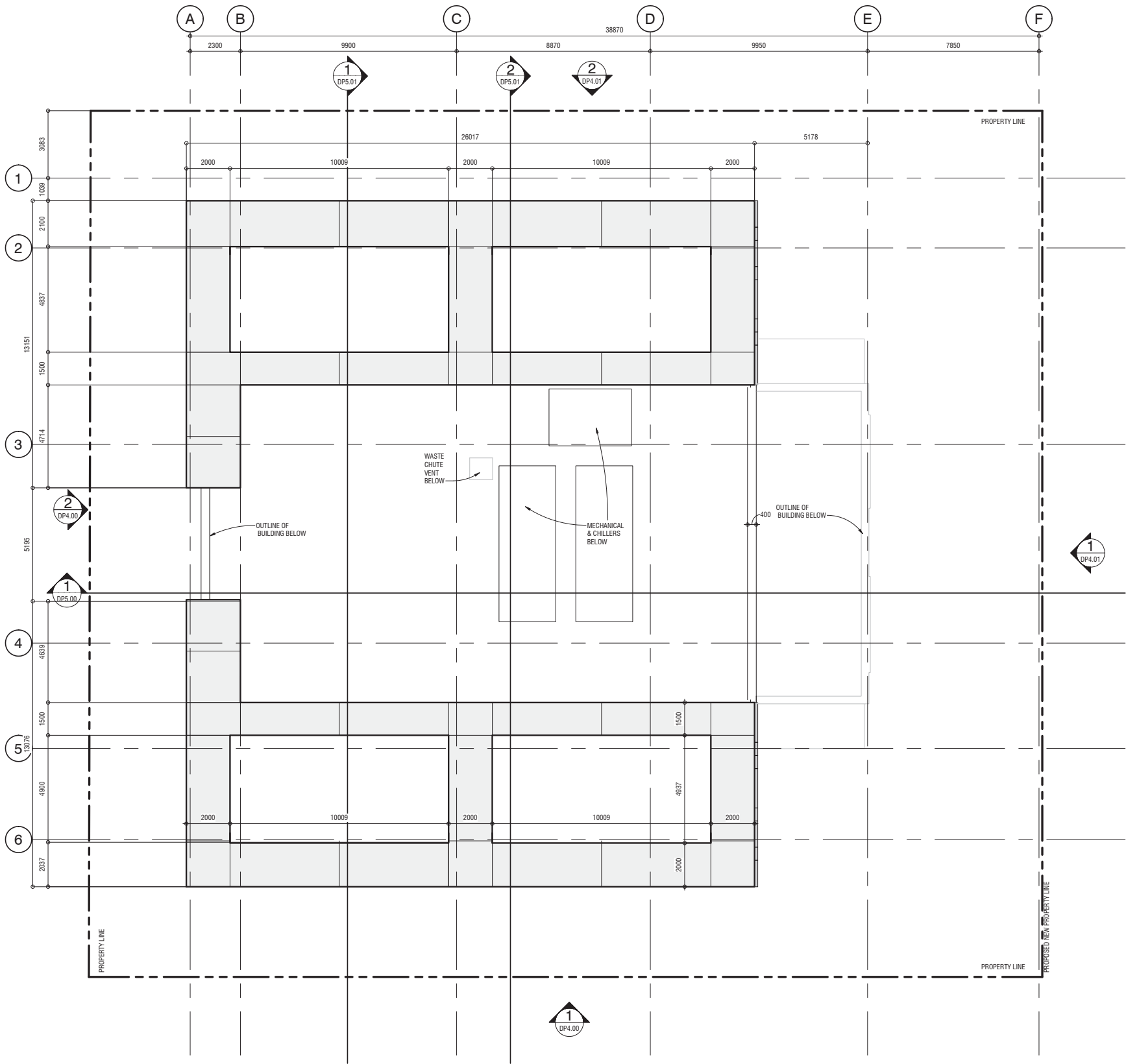
Residential Floor - Symbol Legend

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INDICATES EXTENT OF ROOF TERRACE, RESIDENTIAL ROOF PATIOS TO BE PAVERS. SERVICE ROOF BALCONIES TO BE GRAVEL

INDICATES EXTENT OF ROOF TERRACE PATIO PAVERS

INDICATES DWELLING UNIT PRIVATE AMENITY THAT MEETS BYLAW AREA REQUIREMENTS



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ROOF TOP SCREEN

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DP2.10

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BUILDING ELEVATIONS - S & W

4th Avenue Tower
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LACAILLE
2/19/22

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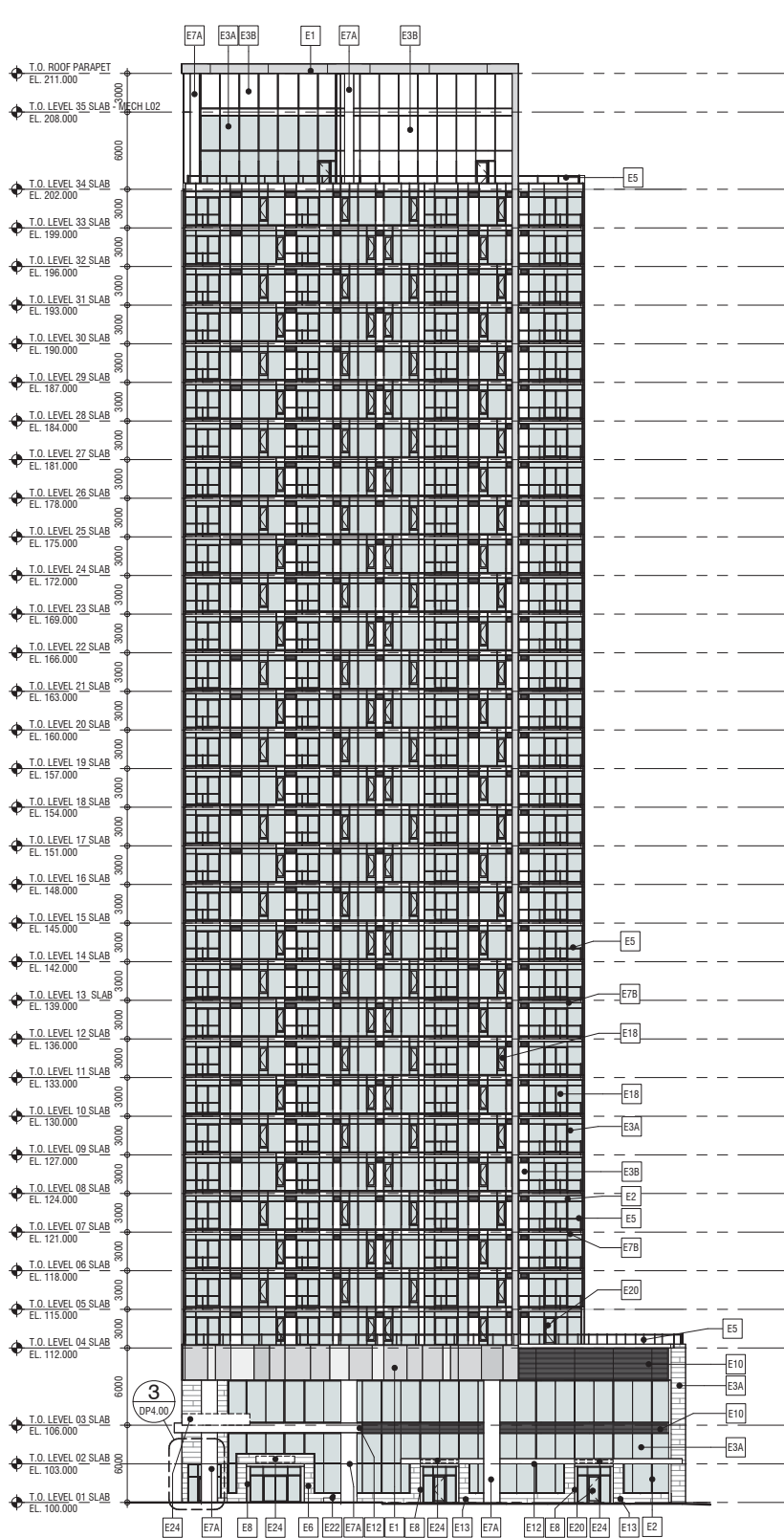
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DP4.00





BUILDING ELEVATIONS - COLOURED - S & W

4th Avenue Tower
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LACAILLE
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4 CPC Revisions	11.11.2021

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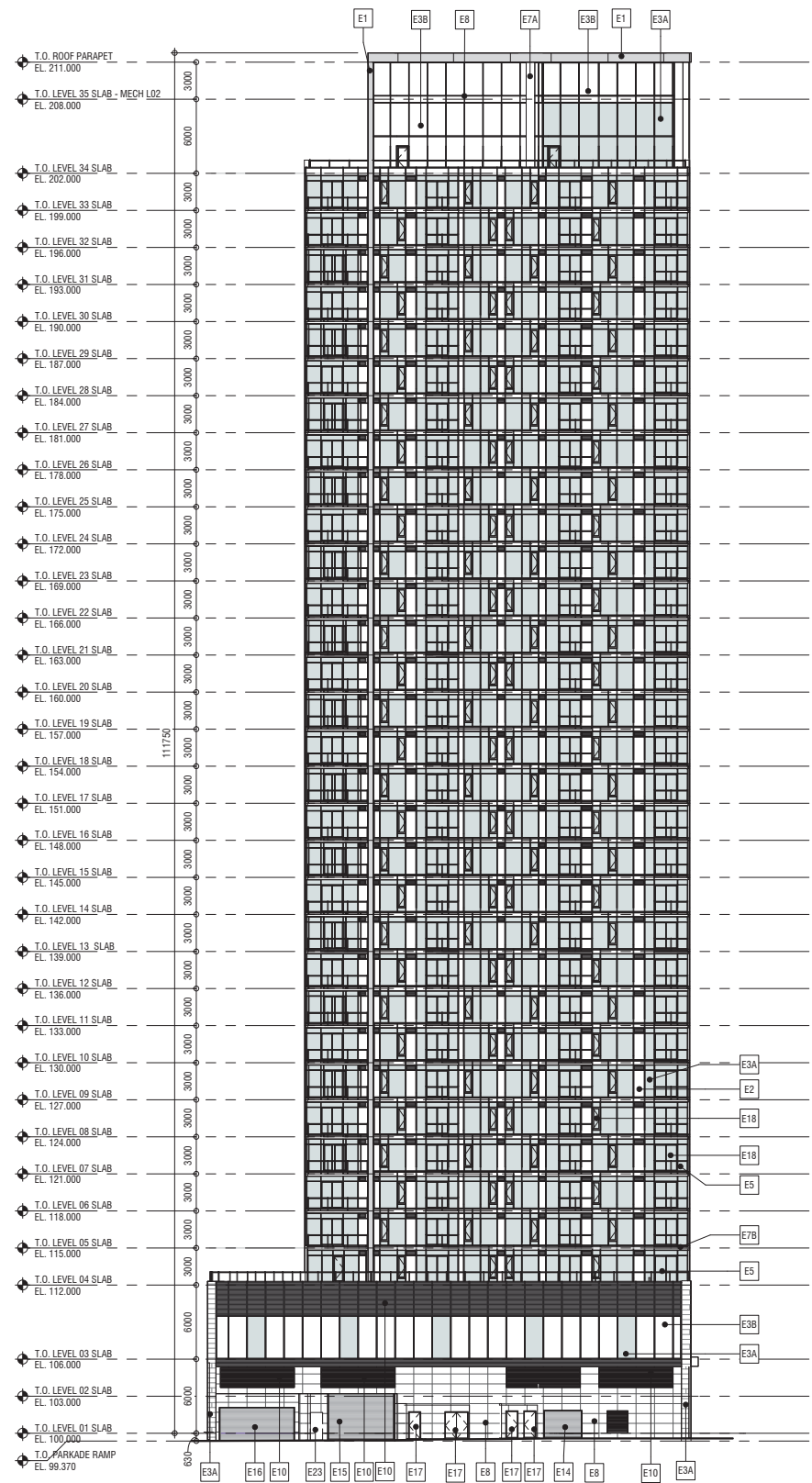
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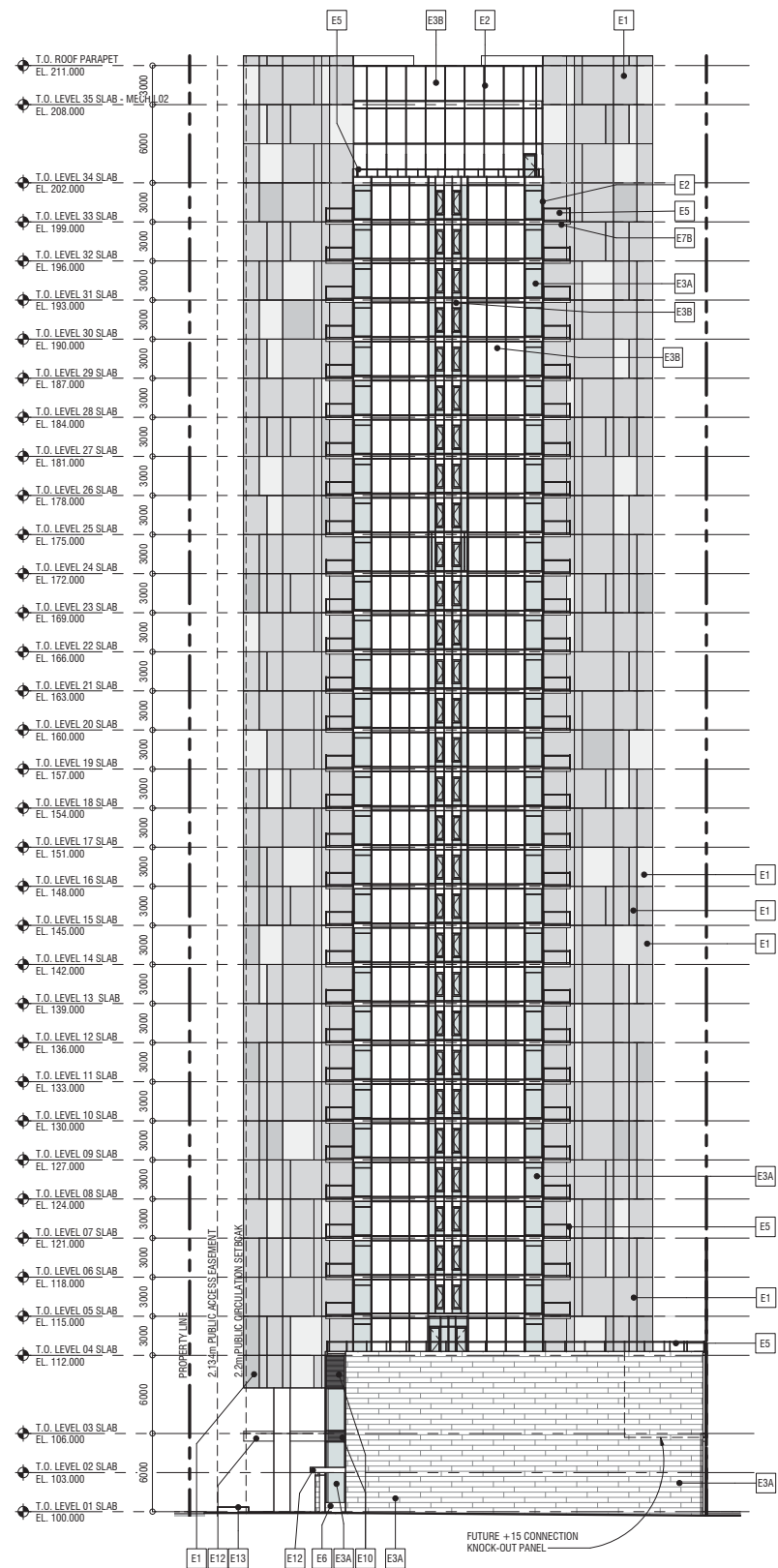


1 S & W ELEVATIONS - COLOURED
DP4.00A SCALE:1:75





2 North Elevation
DP4.01 SCALE:1 : 250



1 East Elevation
DP4.01 SCALE: 1 : 250

Elevation - General Notes

1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE GREY
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Material Legend

- | | |
|-----|---|
| E1 | COMPOSITE PANELS - COLOUR: THREE TONES OF GREY. SEE PATTERN NUMBERS BELOW. |
| E2 | PRE-FINISHED ALUMINUM WINDOW SYSTEM - COLOUR: ANODIZED |
| E3A | ALUMINUM WINDOW WALL - GLAZING: TINTED |
| E3B | ALUMINUM WINDOW WALL - SPANDREL: WHITE |
| E4A | ALUMINUM CURTAIN WALL - GLAZING: CLEAR |
| E5 | PRE-FINISHED ALUMINUM RAILING C/W GLASS INFILL PANEL |
| 6 | FIBRE-REINFORCED CEMENTITIOUS PANELS - (400MM X 3000MM) - COLOUR: MEDIUM GREY |
| E7A | SACK-RUBBED CONCRETE |
| E7B | CONCRETE BALCONY |
| E8 | PRE-FINISHED METAL CLADDING |
| E10 | PRE-FINISHED LOUVER - COLOUR: ANODIZED |
| E12 | PRE-FINISHED METAL CANOPY - COLOUR: ANODIZED |
| E13 | BENCH - REFER TO LANDSCAPE |
| E16 | OVERHEAD DOOR - PARKADE |
| E17 | DOOR - TYPE 03 - PRE-FINISHED STEEL DOOR |
| E18 | DOOR - TYPE 04 - ALUMINUM W. CLEAR GLAZING |
| E19 | PRE-FINISHED LOUVER - COLOUR: ANODIZED |
| E20 | PRE-FINISHED METAL CANOPY - COLOUR: ANODIZED |
| E22 | BENCH - REFER TO LANDSCAPE |
| E23 | CHAINLINK FENCE 1800 HIGH REFER TO DETAIL 7/DP6.01 |
| E24 | SIGNAGE. TO BE SUBMITTED AS A SEPARATE DP. |

COMPOSITE PANELS - COLOUR PATTERN
PATTERN INDICATED IS SUGGESTIVE. FINAL PATTERN TO BE COORDINATED WITH SUPPLIER.

- ☐ P1
 - ☐ P2
 - ☐ P3

BUILDING ELEVATIONS - N & E

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
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1 N & E ELEVATIONS - COLOURED
DP4.01A SCALE: 1 : 75

BUILDING ELEVATIONS - COLOURED - N & E

4th Avenue Tower

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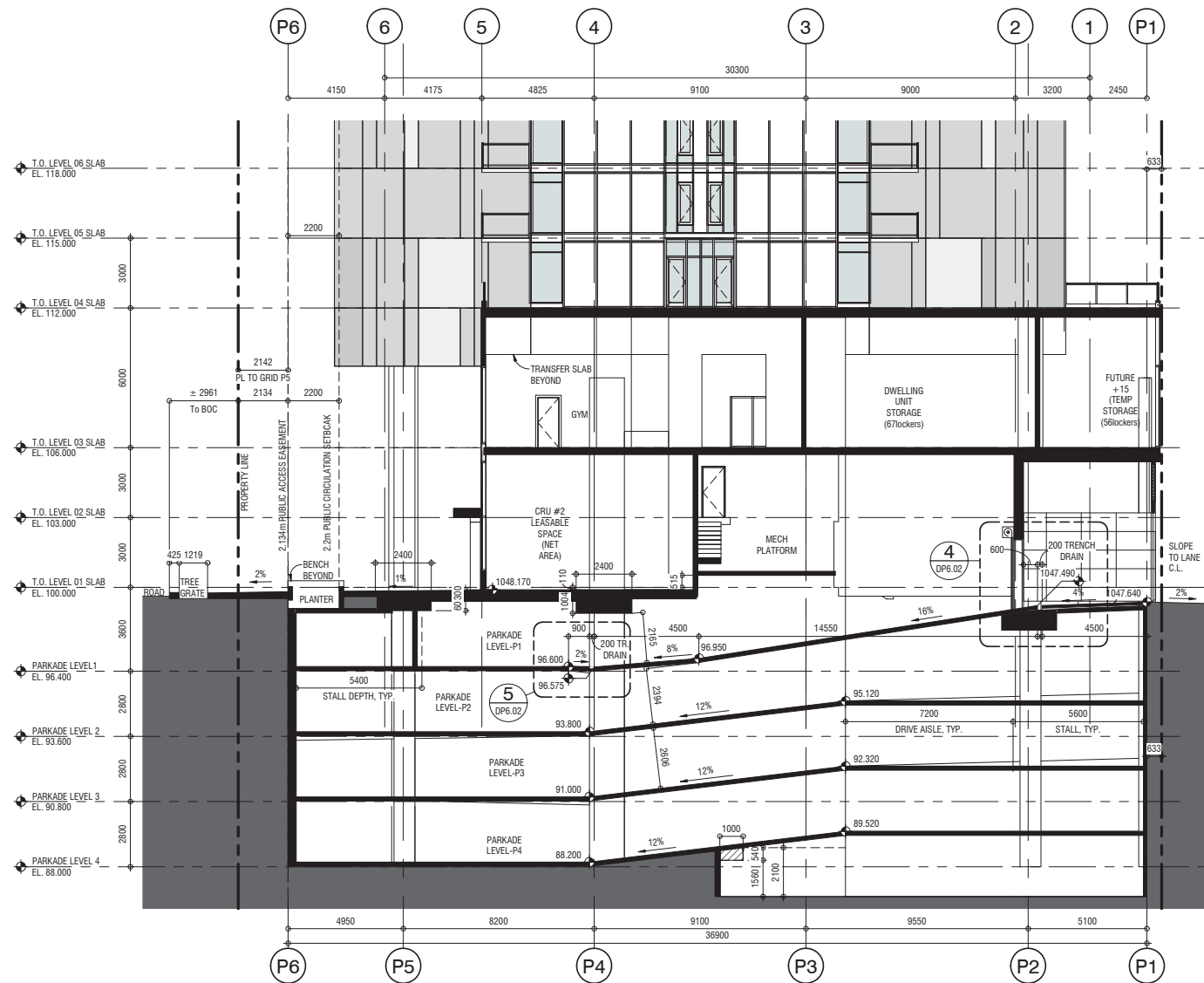
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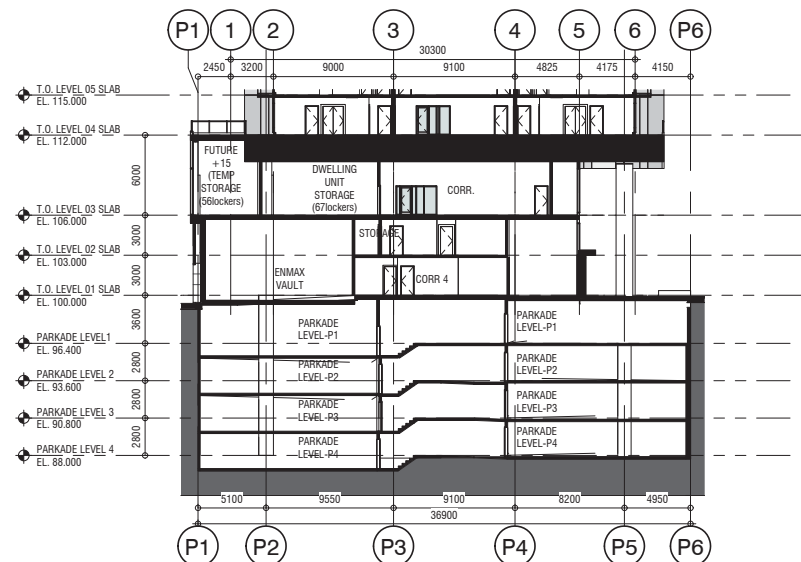
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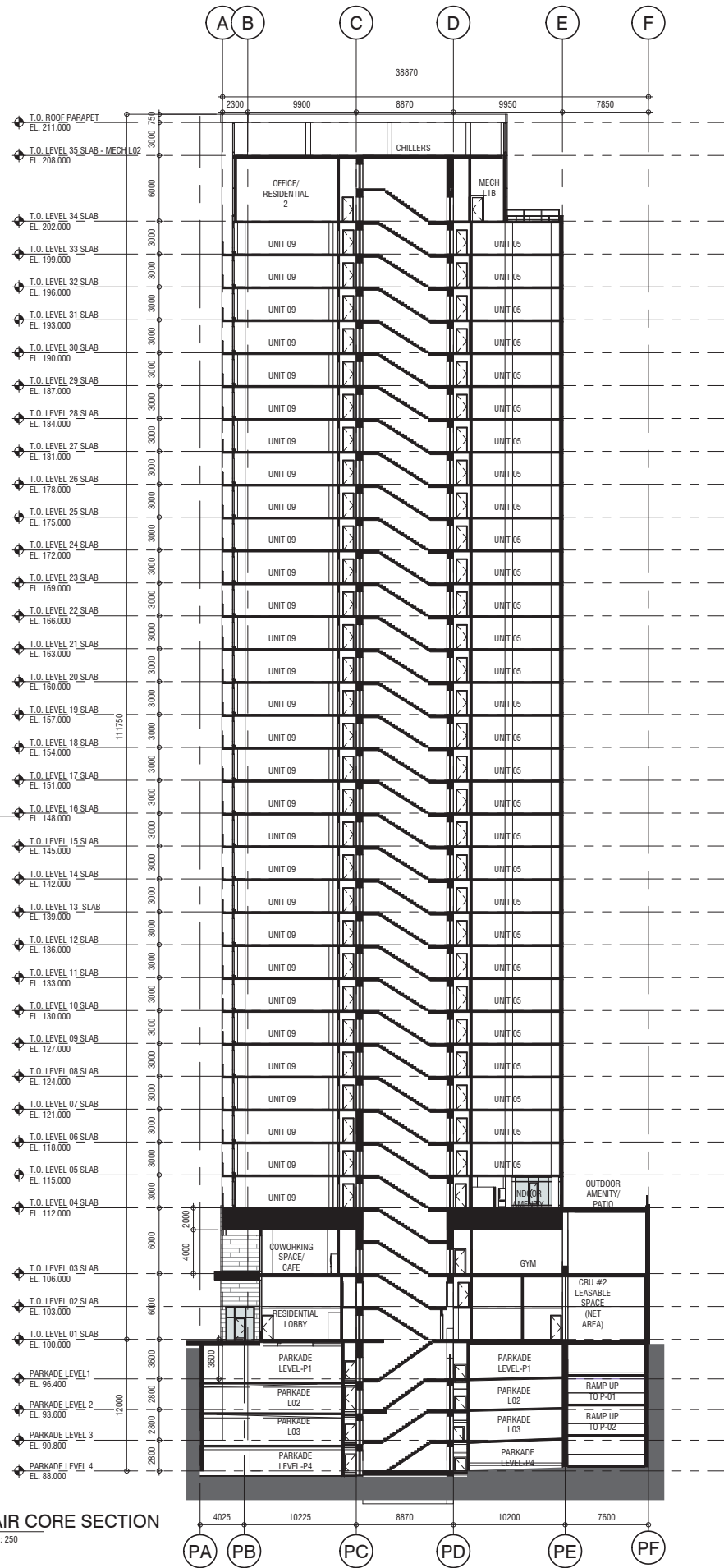
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2 PLAZA + PARKADE RAMP SECTION
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DP2.00



3 PARKADE CORE ACCESS SECTION
DPS.00 SCALE: 1 : 250
DP2.00



1 STAIR CORE SECTION
DPS.00 SCALE: 1 : 250



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BUILDING SECTIONS

4th Avenue Tower

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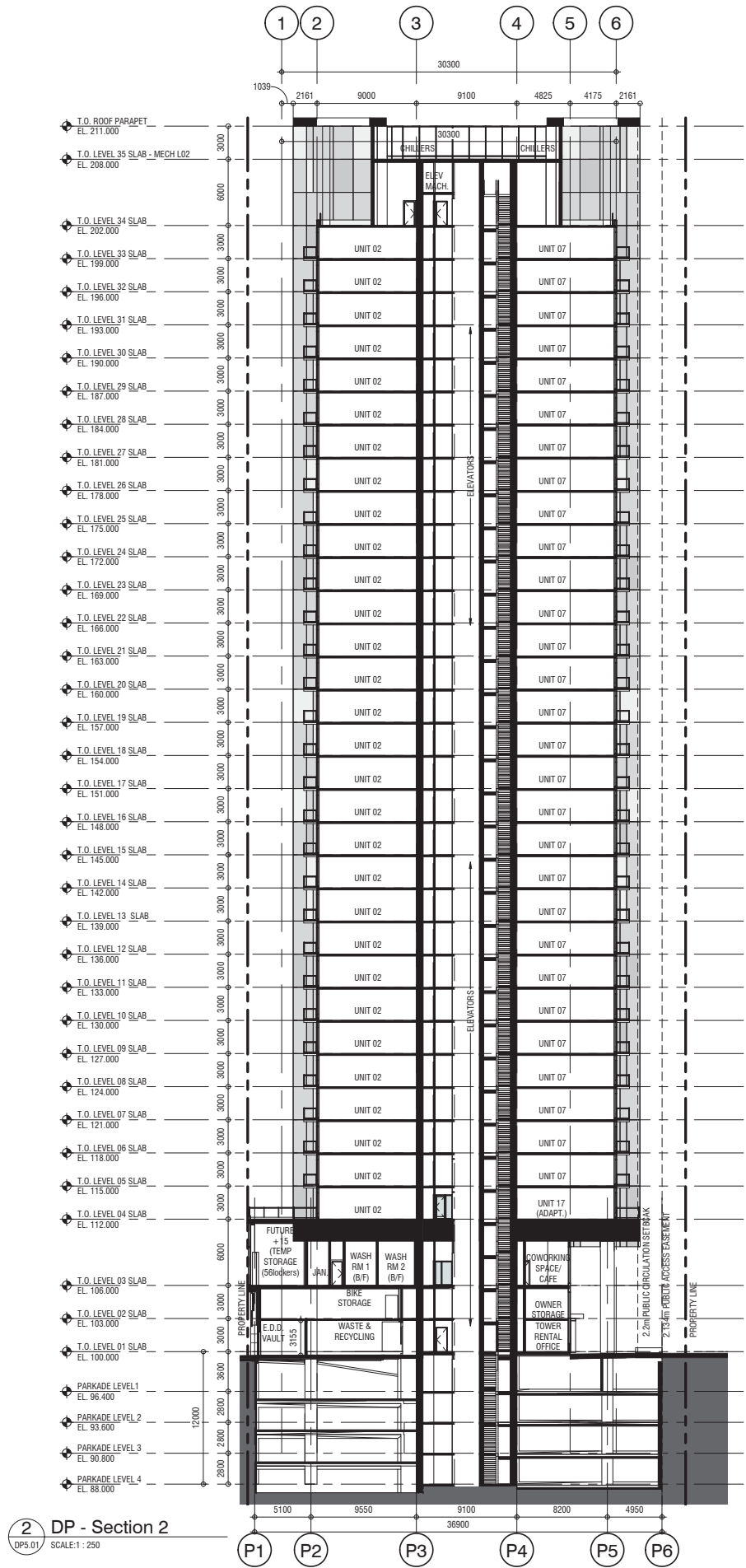
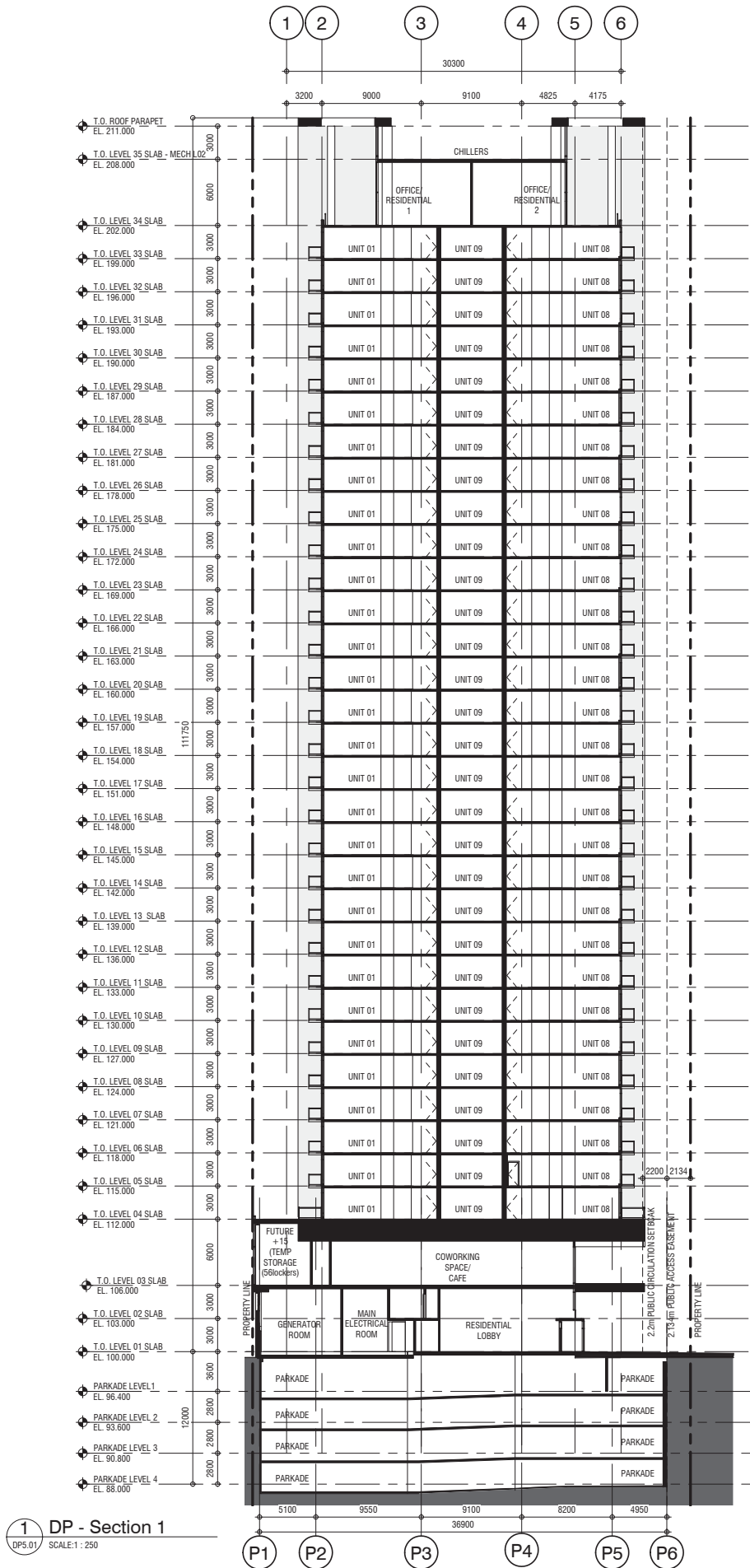
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BUILDING SECTIONS

4th Avenue Tower

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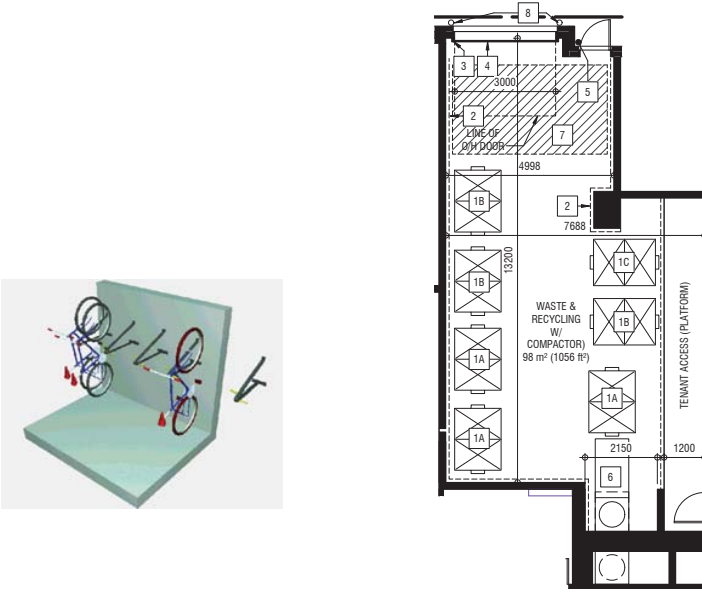
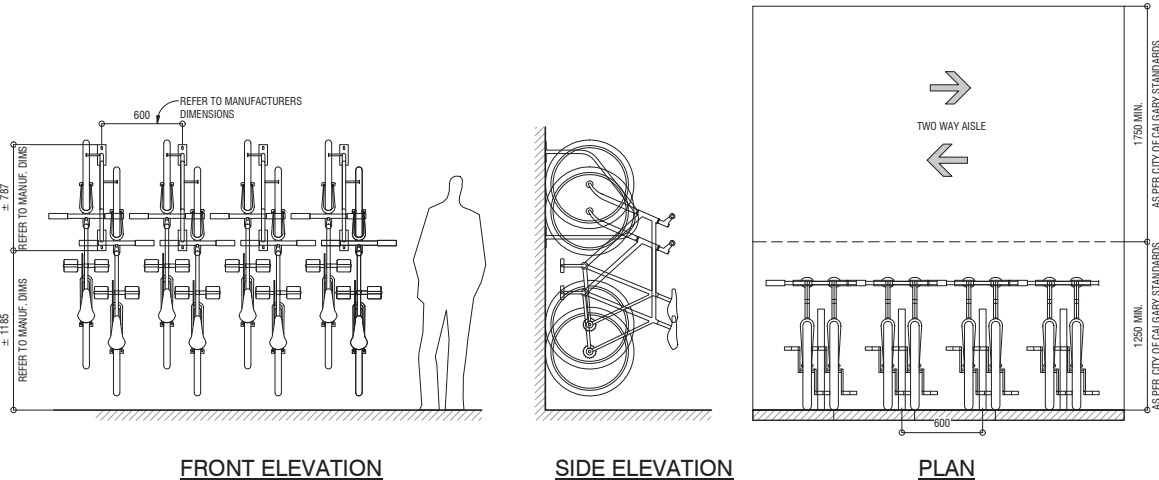
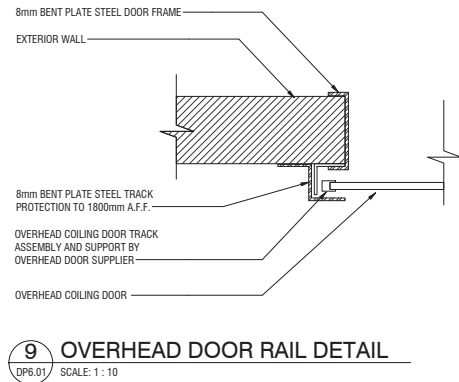
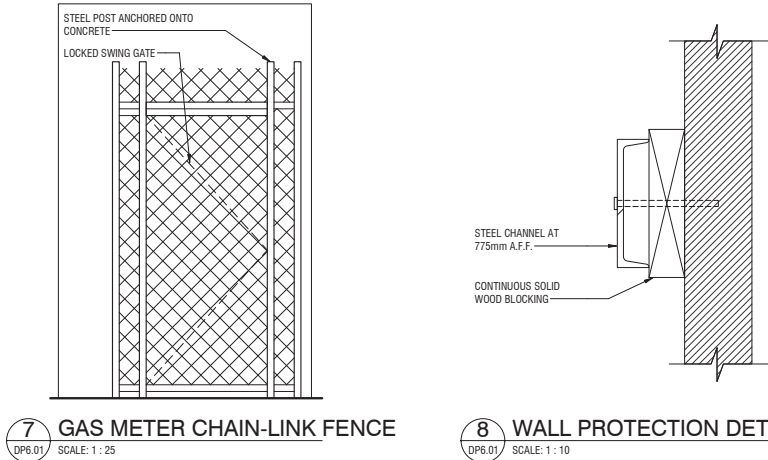
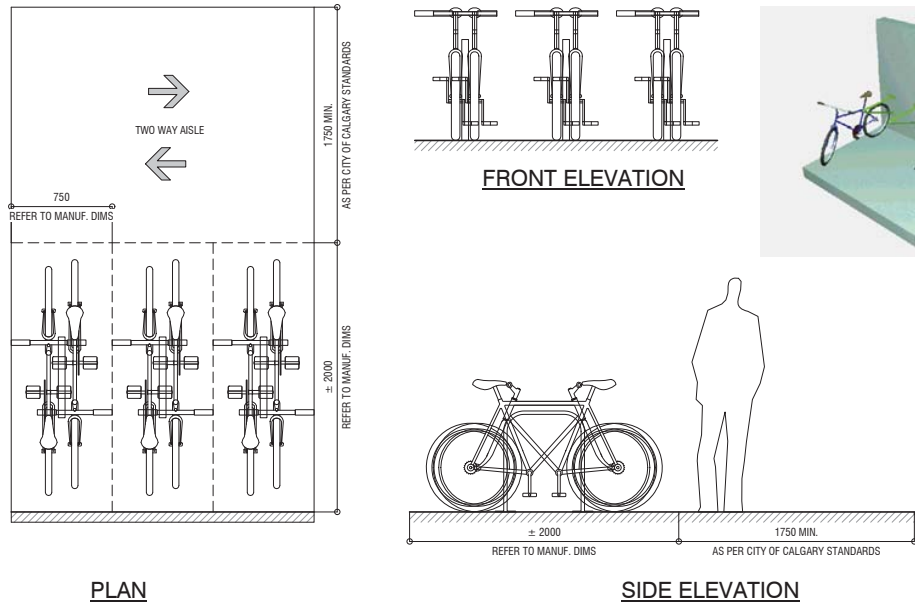
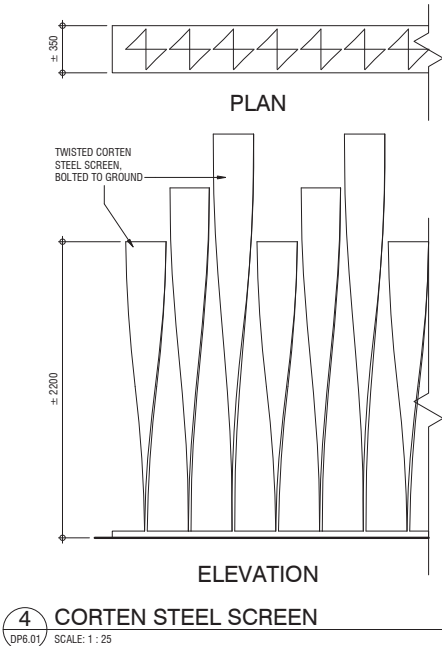
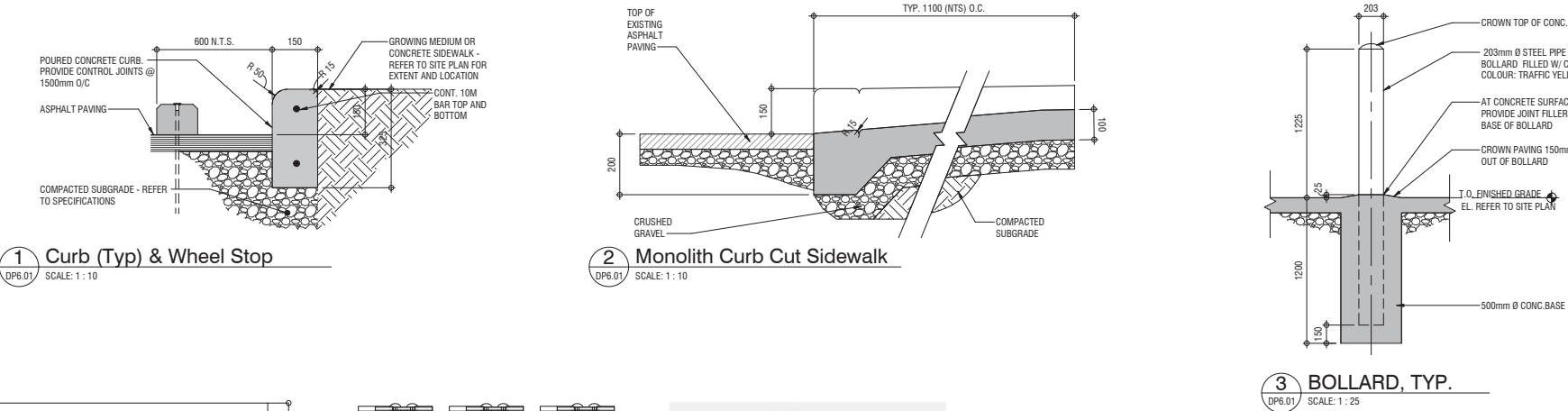
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DP5.01

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Waste & Recycling - General Notes	
1.	FOR SU-9 VEHICLE TRAVEL PATH REFER TO DP 1.01
2.	ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM 25,000KG LOAD
3.	THE MAXIMUM GRADE WHERE CONTAINERS ARE STORED, MANUEVERED OR COLLECTED IS 2% IN ALL DIRECTIONS.
Waste & Recycling - General Notes	
1A	4 CU. YD. BIN - LANDFILL WASTE
1B	4 CU. YD. BIN - RECYCLABLE WASTE
1C	4 CU. YD. BIN - COMPOSTABLE WASTE
2	TYPICAL WALL PROTECTION - REFER TO DETAIL 8/DP6.01
3	1.80m HIGH OVERHEAD DOOR TRACK PROTECTION ANCHORED TO WALL AND FLOOR - REFER TO DETAIL 9/DP6.01
4	OVERHEAD DOOR 2.1m HEIGHT
5	KEYPAD ACCESS DOOR
6	WASTE COMPACTOR (3:1) DIMENSIONS: 1800mm (L) X 1000mm (W)
7	WASTE AND RECYCLING STAGING AREA
8	BOLLARDS PROTECTING THE OVERHEAD DOOR COMPONENTS



DETAILS

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296

LACALLE

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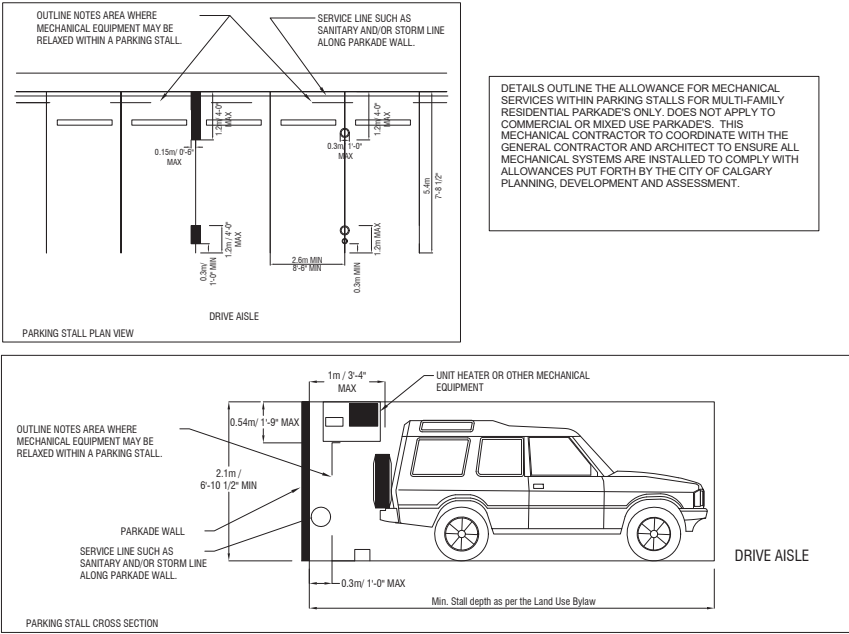
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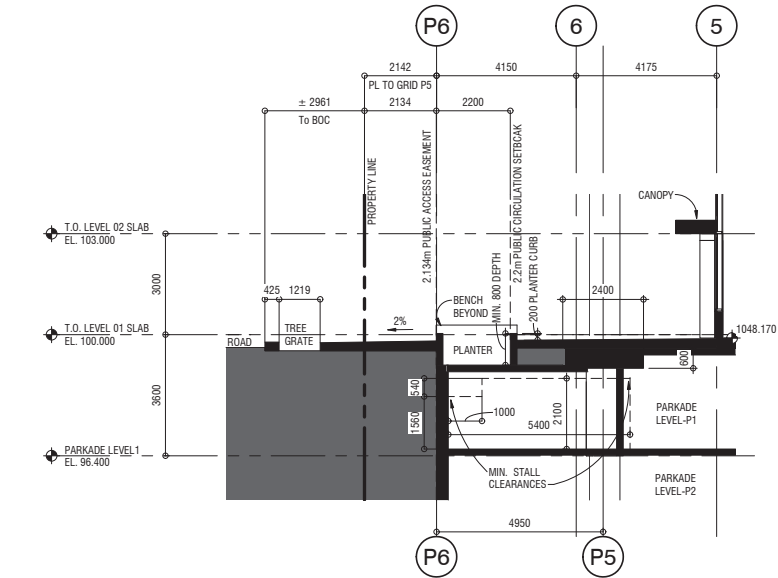
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DRAWING NO.

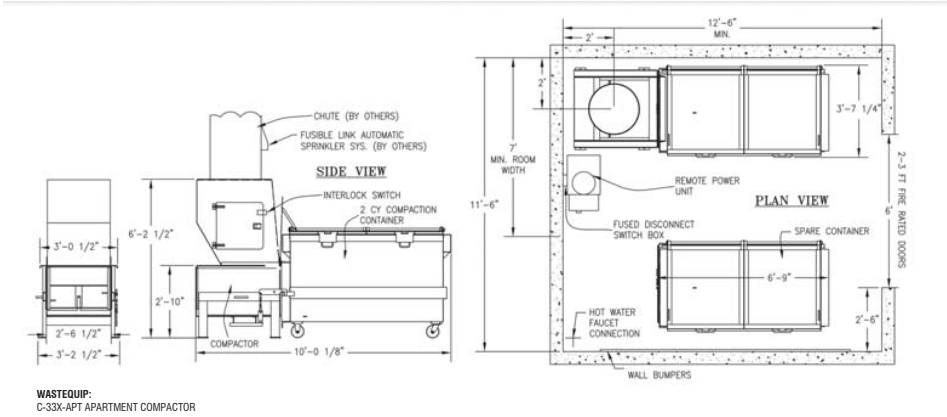
DP6.01



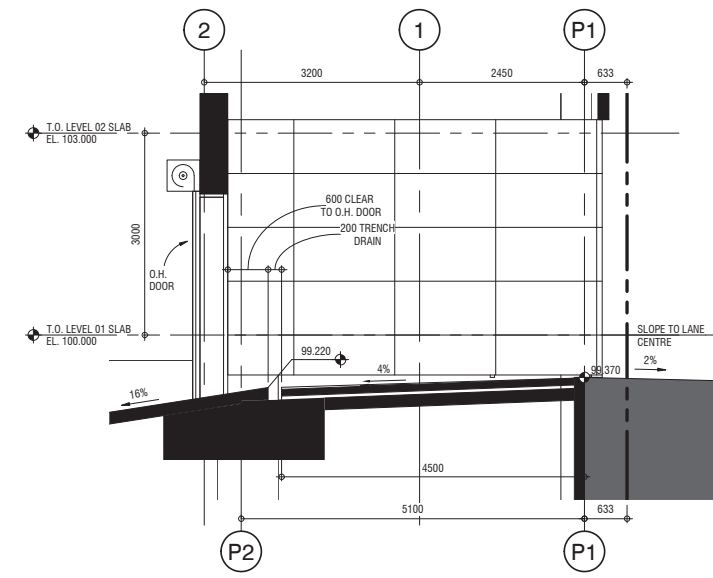
1 ENCROACHMENT DETAIL
DP6.02 SCALE: 1 : 100



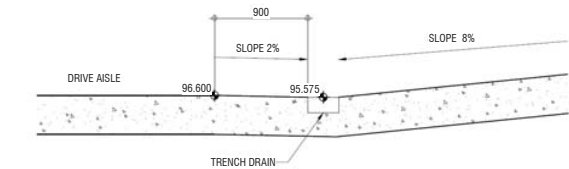
2 PLAZA SECTION
DP6.02 SCALE: 1 : 100



3 COMPACTOR
DP6.02 SCALE: 1 : 50



4 PARKADE TRENCH DRAIN 1
DP6.02 SCALE: 1 : 50



5 PARKADE TRENCH DRAIN 2
DP6.02 SCALE: 1 : 50

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SITE DETAILS

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACALLE

2/19/22

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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REVISION	DATE
1. D.P. SUBMISSION	09.18.2020
2. DTR 1	01.27.2021
3. DTR 2	03.31.2021
4. CPC Revisions	11.11.2021

SCALE: As indicated
DATE: 11/15/2021 1:16:16 PM
DRAWN BY: Author
CHECKED BY: Checker

DRAWING NO. **DP6.02**

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