

Calgary Planning Commission Report (CPC2021-1414) from 2021 October 21

CPC2021-1569

Attachment 1

Item # 7.1.1

Planning & Development Report to
Calgary Planning Commission
2021 October 21

ISC: UNRESTRICTED

CPC2021-1414

Page 1 of 3

Development Permit in Downtown Commercial Core (Ward 8) at 526 – 4 Avenue SW, DP2020-5899

RECOMMENDATION:

That Calgary Planning Commission **APPROVE** Development Permit DP2020-5899 for a New: Dwelling Unit, Office, Retail and Consumer Service at 526 – 4 Avenue SW (Plan 09T14296, Block 15, Lot 33) with conditions (Attachment 2).

RECOMMENDATION OF THE CALGARY PLANNING COMMISSION, 2021 OCTOBER 21:

That with respect to Report CPC2021-1414, the following be approved:

That the Calgary Planning Commission recommend that DP2020- 5899 be referred to Administration to:

- identify ways that commercial/retail can be added along 5 Street SW;
- identify ways to consolidate the bike parking on level one or P1 of the parkade; and
- To explore ways to reduce spandrel or add glazing to east elevation;

To the satisfaction of Administration, and to report back to the Calgary Planning Commission no later than 2021 December 16.

HIGHLIGHTS

- This application proposes a new mixed-use development providing 268 dwelling units in a single 33-storey building (112 metres in height) with retail uses at-grade and the potential for small offices on the top floor.
- The proposed development would advance and align with the goals and policies of the *Greater Downtown Plan* and the *Municipal Development Plan* (MDP) which encourage downtown livability through new residences and supporting amenities.
- What does this mean to Calgarians? This application proposes new housing options in the Downtown Commercial Core where employment and amenities are easily accessible.
- Why does this matter? Promoting residential growth would allow for dense, urban, low-carbon lifestyles and support the revitalization of downtown as a key component of Calgary's economy and tax base.
- The proposal aligns with Land Use Bylaw 1P2007.
- On 2021 April 26 Council approved a maximum of \$5 million in contributions to the Plus 15 fund to incentivize residential development downtown.
- Strategic Alignment to Council's Citizen Priorities: A city of safe and inspiring neighbourhoods.

DISCUSSION

This application in the Downtown Commercial Core was submitted by S2 Architecture on behalf of the landowner, La Caille Fourth Avenue Group, on 2020 September 18. The site is within the high-density fabric of Downtown and is currently developed with a single-storey commercial plaza. As per the Applicant Submission (Attachment 5), the site's vision is for a high-density

Approval: **S. Lockwood** concurs with this report. Author: **D. Pomreinke**

**Planning & Development Report to
Calgary Planning Commission
2021 October 21**

**ISC: UNRESTRICTED
CPC2021-1414
Page 2 of 3**

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tower consisting of dwelling units with supporting retail uses in a podium at grade. The top-floor units are proposed to be small offices, but may be developed as a large penthouse apartment.

The podium is three storeys tall with the upper storey being supported by columns. At-grade, the main entrance is recessed six metres beyond the columns. The tower is simple with identical floor plates for most of its height. Vertical lines of white panelling will extend the height of the building along its western façade, while the eastern façade will feature a varied pattern of three-tone grey panelling. The full development permit plans can be found in Attachment 4.

As part of the review process, this application was reviewed by the Urban Design Review Panel (UDRP) on 2020 September 30 where further review was recommended. Subsequent amendments to the plans were reviewed by the City Wide Urban Design team and accepted. Comments from UDRP are included in Attachment 3.

This proposal would be the first to make use of Council-approved funding meant to incentivize residential development downtown by offsetting the required contribution to the Plus 15 Fund of approximately \$1 million. The applicant is responsible for making the contribution to the Fund and The City will reimburse the contribution. The building is designed to allow connection to the Plus 15 network in the future, however physical connection to the network is not possible until the adjacent site is redeveloped.

Overall, the proposal would allow for residential growth downtown, furthering a shift from commercial use to residential use to promote greater vibrancy and revitalization in the Downtown Commercial Core. This aligns with the objectives and policies of the MDP and the *Greater Downtown Plan*.

A detailed planning evaluation of this application, including location maps, is provided in Attachment 1, Background and Planning Evaluation.

STAKEHOLDER ENGAGEMENT AND COMMUNICATION (EXTERNAL)

- Outreach was undertaken by the Applicant
- Public/Stakeholders were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed development permit application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with public stakeholders and the community association was appropriate. They determined that no additional outreach would be undertaken.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to stakeholders, notice posted on site and published [online](#). No public comments were received at the time of writing this report. There is no community association for the subject area.

Following Calgary Planning Commission, Commission's decision will be advertised in accordance with the *Municipal Government Act*.

Approval: S. Lockwood concurs with this report. Author: D. Pomreinke

Planning & Development Report to
Calgary Planning Commission
2021 October 21

ISC: UNRESTRICTED
CPC2021-1414
Page 3 of 3

Development Permit in Downtown Commercial Core (Ward 8) at 526 - 4 Avenue SW, DP2020-5899

IMPLICATIONS

Social

This proposal would enable affordable and accessible housing in a location well served by existing infrastructure and within close proximity to services and transit.

Environmental

This application does not include any actions that specifically address the objectives of the [Climate Resilience Strategy](#).

Economic

The proposal includes 268 dwelling units, 188 square metres of net retail space at-grade, and 186 square metres of office space on the top floor. This development would add housing to the Downtown in alignment with the goals of the Downtown Strategy and the economic development strategy [Calgary in the New Economy](#).

Service and Financial Implications

No anticipated financial impact. This proposal would make use of Council-approved funding meant to implement the policies and objectives of the *Greater Downtown Plan* by incentivizing residential development.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Conditions of Approval
3. Urban Design Review Panel Comments
4. Development Permit Plans
5. Applicant Submission

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the Downtown Commercial Core at the northeast corner of 4 Avenue SW and 5 Street SW. The site is approximately 65 metres wide by 37 metres deep (215 by 125 feet) and has a total area of approximately 0.17 hectares (0.64 acres). Vehicular access to the site is provided through dual accesses onto 4 Avenue SW as well as the lane north of the site which accesses 5 Street SW. The 5 Street SW cycle track runs along the site's western property line.

The site is currently developed with a single-storey commercial building featuring a mix of retail uses. Surrounding development consists of a mixture of high-density commercial and residential uses in buildings ranging between six and 32 storeys in height. A two-storey commercial building is immediately east of the site.

The site is a five-minute walk (350 metres) from 7 Avenue SW where transit service is available via LRT and BRT, as well as access to the CORE Shopping Centre. The Bow River Pathway is located a similar distance to the north.

This proposal began with a pre-application enquiry submitted to The City on 2020 June 01. At the time, a major concern was the separation distances for any future mid-block tower. The applicant responded with careful placement of balconies and windows, giving Administration greater comfort supporting smaller separation distances and ensuring the future livability of the entire block.

Community Peak Population Table

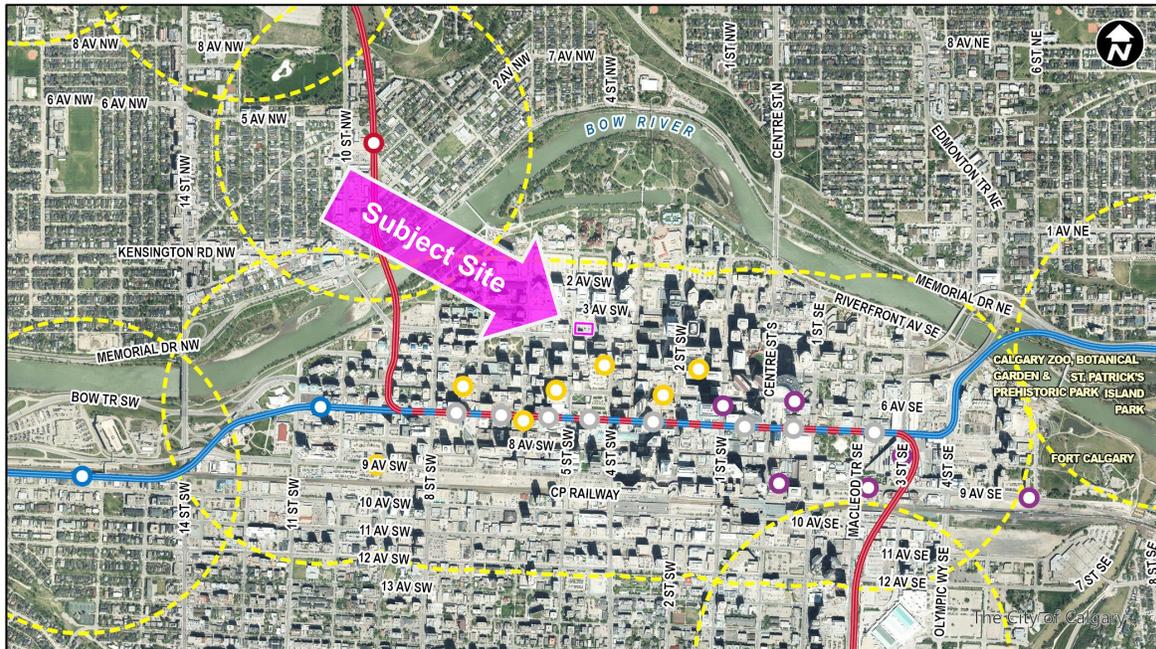
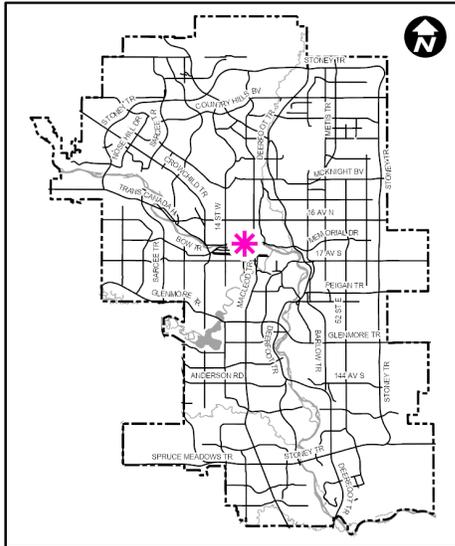
As identified below, the Downtown Commercial Core reached its peak population in 2015.

Downtown Commercial Core	
Peak Population Year	2015
Peak Population	9,083
2019 Current Population	8,683
Difference in Population (Number)	- 400
Difference in Population (Percent)	- 4.4%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Downtown Commercial Core Community Profile](#).

Location Maps





Previous Council Direction

On 2021 April 26 Council approved “Realizing Calgary’s Greater Downtown Plan – Initial Investments and Incentives” (C2021-0524), a \$200 million portfolio of investments meant to create momentum in Greater Downtown and further its revitalization. Key to this momentum is residential growth in the area which can offset lower commercial demand and create a critical mass of people to attract new amenities.

All significant residential development in the Downtown Commercial Core requires a mandatory contribution to the Plus 15 Fund; therefore, the contribution itself can serve as a financial barrier to development. As part of the Council-approved portfolio, a \$5 million fund was set aside to offset the required contribution. This application is the first to make use of the incentive fund and will be seeking to offset the required contribution of approximately \$1 million.

Planning Evaluation

Land Use

The site is designated as the Commercial Residential District (CR20 – C20/R20) which applies to most of the Downtown Commercial Core. The CR20 – C20/R20 District is designed to support high-rise, high-density developments that contribute to downtown’s role as Calgary’s pre-eminent destination for business, retail, entertainment and cultural activities. The District offers numerous opportunities for developments to earn bonus density through provision of desirable amenities such as connections to the Plus 15 system, a high-quality public realm at-grade, and publicly accessible private open space. Residential uses are particularly emphasized as being desirable.

This proposal makes use of available bonus incentives to achieve density as follows:

	Additional FAR	Total FAR
Base density (Dwelling Units)		3.0
On-Site Pedestrian Amenities (including Plus 15 connectivity)	12.0	15.0
Contribution to Central Business District Improvement Fund	0.12	15.12

Development and Site Design

The proposed building consists of a three-story podium with a tower above for a total of 34 storeys. The placement of the building is constrained by the required 2.13 metre setbacks from both streets for public realm improvements, as well as an additional 2.2 metre setback required by the land use district. These setbacks, as well as the realities of parkade geometry below grade, have determined the location of the elevator core and therefore placement of the overall tower. A total of 268 residential units are proposed.

The south and west façades of the podium are recessed by 6.1 and 3.5 metres respectively, creating a wider public realm beneath the canopy, which is supported by four support columns. The canopy and columns serve to frame the main entrances to the residential lobby as well as the commercial retail units. In addition, the space creates opportunities for a plaza or semi-private patios should restaurant uses be desired.

The eastern third of the site is not envisioned for major development at this time but will be converted to a surface parking lot. This surface lot is to be screened by a decorative fence so as not to detract from the public realm.

The at-grade uses will extend into much of the second floor. A stairwell will provide access from grade to a future Plus 15 connection on the third floor. The third floor will also feature residential amenities including individual storage units, a co-working space as well as a gym. Additional common amenity space will be provided on the fourth floor in the form of an indoor lounge as well as an outdoor terrace. This additional outdoor amenity space is meant to offset the lack of private amenity space available to many units. The applicant proposed reducing the number of balconies to minimize heat loss via exposed floor slab, which Administration agreed to as a means of supporting energy efficiency.

Urban Design Review Panel

The Urban Design Review Panel (UDRP) reviewed the application at its initial submission and provided comments. In general, UDRP's comments reflect an acknowledgement of what the project is trying to accomplish with its simplicity but urged the applicant to make several refinements to the plans. Comments from UDRP questioned the utility of the Plus 15 connection in this location. However, the Land Use Bylaw requires that all buildings seeking to make use of bonus density must design their buildings with Plus 15 connectivity in mind.

In response to UDRP's comments, the applicant provided additional articulation to the building façade (particularly at-grade to highlight the commercial entrances), continued the south façade treatment around to the west façade, and instituted several changes to the common outdoor amenity space.

Transportation

The site benefits from strong connectivity for all mobility modes. Both local and rapid transit are available within 300 metres (a five-minute walk), a cycle track connection is immediately adjacent to the site, and the grid network of downtown provides multiple connection points for pedestrians.

Commercial loading and servicing bays will be accessed from the lane, as will the four-level underground parkade. Bicycle parking will be spread throughout the parkade as well as on the second floor, which will otherwise be used for mechanical and storage. At-grade bicycle parking will be clustered along the western façade of the building close to the cycle track.

Environmental Site Considerations

The development has been designed such that the location of all electrical and mechanical equipment is above the 1-in-100-year flood level. An environmental site assessment was provided that identified no evident environmental concerns.

Utilities and Servicing

Water, sewer and storm sewer connections are all available from both 4 Avenue SW and 5 Street SW. Relevant studies have been provided that confirm capacity exists to service the proposed development.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Interim Growth Plan](#) (IGP). The proposed development builds on the principles of the IGP by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

This application falls within the Greater Downtown Activity Centre as identified on Map 1: Urban Structure in the [Municipal Development Plan](#). Policy for this area intends to support Downtown as the urban destination of choice for Calgarians by promoting residential development and livability.

Climate Resilience Strategy (2018)

This application provides more efficient use of land in alignment with Program 6: Land-Use and Transportation Planning of the [Climate Resilience Strategy](#), but no other climate adaptation or mitigation measures are provided.

Greater Downtown Plan (Non-Statutory – 2021)

This application aligns with the vision and principles of the [Greater Downtown Plan](#) primarily by advancing its first strategic move: strengthening neighbourhoods to create vibrant urban life. To that end, policies meant to make downtown living more attractive and to shift the image of the

Downtown Commercial Core rely on increased population downtown in order to increase demand for amenities and make them more cost-effective to provide.

The western portion of the Downtown Commercial Core is an area particularly hard-hit by economic recession due to its older supply of commercial floor space. This proposal can provide a substantial amount of additional foot traffic to help bolster local retail demand and can aid in attracting new office tenants who are seeking more livable areas in which to locate. The creation of a new public plaza in front of this building offers opportunities for place-making initiatives that can transform this block into a more desirable, vibrant location.

Land Use Bylaw (2007)

This development permit requires the following relaxations to the Land Use Bylaw.

Administration has reviewed each relaxation individually and considers each relaxation to be acceptable for the reasons outlined below.

Bylaw Relaxations		
Regulation	Standard	Provided
1298 Residential Amenity Space	Common Amenity Space Outdoors (6)(c) must have a contiguous area of not less than 50.0m ² with no dimension less than 6.0m;	Plans indicate outdoor amenity dimension of 5.0m (-1.0m). Relaxation supported. Additional information provided regarding design of the space.
	Common Amenity Space Indoors (6)(c) must have a contiguous area of not less than 50.0m ² with no dimension less than 6.0m;	Plans indicate indoor amenity dimension of 4.7m (-1.3m). Relaxation supported. Additional information provided regarding design of the space.
1318 Locations of Uses within Buildings	(5) Only those uses listed in the Residential Group of Schedule A to this Bylaw, with the exception of Hotel uses, may share an area of a parking structure with residential uses.	Plans indicate shared parking between the residential and commercial uses within the parkade. Relaxation supported. The office use is only one possibility and consists of 2 stalls maximum.
1325 Motor Vehicle Parking Stalls	(c) the visitor parking stall requirement is 0.1 stalls per unit .	Plans indicate 20 (-7) visitor stalls. Relaxation supported due to high degree of site connectivity.
1331 Location of Bicycle Parking Stalls	Bicycle parking stalls – class 1 must be located at-grade or within the first parkade level directly below grade.	Plans indicate Bicycle – Class 1 stalls located below the first parkade level. Relaxation supported.

Conditions of Approval

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning:

1. A Development Agreement shall be executed in conformity with all reports, plans and materials submitted to and approved by the Development Authority, including:
 - A Plus 15 Development Agreement with The City to the satisfaction of the City Solicitor,
 - The delineation of Plus 15 easement areas, schedules, maintenance obligations, and details regarding reimbursement of the required contribution to the Plus 15 Fund;
 - Details of responsibilities for and construction of all improvements within the adjacent public rights-of-way, and
 - Details with respect to contributions to off-site improvement funds in accordance with the Bonus standards of Part 10 of Land Use Bylaw 1P2007.
2. Submit contribution to the Plus 15 fund at the current rate at the time of payment. Please contact [Charmaine Buhler](#), Senior Engineer, 403-268-1771 for the current Plus 15 fund rate prior to payment.

Development Engineering:

3. Submit three (3) sets of the Development Site Servicing Plan details to Development Servicing, Inspections and Permits, for review and acceptance from Water Resources, as required by Section 5 (2) of the *Utility Site Servicing Bylaw 33M2005*. Contact developmentservicing2@calgary.ca for additional details.

For further information, refer to the following:

Design Guidelines for Development Site Servicing Plans

https://www.calgary.ca/PDA/pd/Documents/urban_development/publications/DSSP-Design-Guidelines.pdf

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Documents/development/development-site-servicing-plan.pdf>

Note: *Each proposed parcel requires a separate storm connection. Storm service must be to 4th AV to avoid connection to double duct. For more information contact water resources.*

4. Remit payment (certified cheque) for the infrastructure upgrades for the Centre City communities, in the amount of **\$203,608.59** to Development Engineering. This levy includes both the Centre City Utility Levy approved under the Centre City Utility Levy Bylaw 38M2009 and an amount approved by Council for community recreation,

transportation, parks upgrading, and greenways. The amount identified above is determined by using \$4710.00 per meter of site frontage (on avenues only) for the proposed development (43.229m on 4 AV SW).

OR

Apply for the Off-Site Levy Payment Relief Program and execute a Centre City Levy Agreement for the payment of Centre City levies pursuant to Bylaw 38M2009, delaying payment to Development Completion Permit. **This option is only applicable on Development Permits to be released by December 31, 2020.**

To obtain the application and the Centre City Levy Agreement, contact the Infrastructure Strategist, Calgary Approvals Coordination (DEBBIE MEILI at 4032688223 or deborah.meili@calgary.ca)

Note: Centre City Levy is being charged as per the Proposed Property Line. If site is not subdivided the centre city levy will be charged for the entire length of parcel along 4 AV SW

5. **After the Development Permit is approved but prior to its release**, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 2M2016. The off-site levy is based on a 2020 development approval date and was based on the following:

Description	Unit(s)
526 4 AV SW	Existing Comm: 1115m2 - New Comm: 202m2/New 1 Bed: 148/New 2 Bed: 120

Based on the information above, the preliminary estimate is **\$160,130.10**. **Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.**

- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Calgary Approvals Coordination, Infrastructure Strategist (DEBBIE MEILI at 4032688223 or deborah.meili@calgary.ca) or offsitelevy@calgary.ca.

Transportation:

6. Execute and register on title an Access Easement Agreement with the City of Calgary over Lot 33, Block 1, Plan 0914296 (Servient Lands) in favour of 4 Avenue & 5 Street S.W. (Dominant Lands) for the purpose of pedestrian access. The agreement and registerable access right of way plan shall be to the satisfaction of the Director, Transportation Planning and the City Solicitor. A standard template for the agreement and an Instruction Document will be provided by the Transportation CPAG Generalist.

Submit an original copy of the executed agreement and the certificate of title(s), indicating the agreement is registered on title, for all affected parcels. **This is to be registered over the Bylaw/ Public realm setback areas.**

7. Remit a performance security deposit (certified cheque, bank draft, letter of credit) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Unit. The amount of the deposit is calculated by Roads and is based on 100% of the estimated cost of construction.

The developer is responsible to arrange for the construction of the infrastructure with their own forces and to enter into an Indemnification Agreement with Roads at the time of construction (the security deposit will be used to secure the work).

Roads

- a. Construction of new sidewalks adjacent to site frontages (4 Avenue & 5 Street S.W.),
 - b. Construction of two new wheelchair ramps,
 - c. Construction of new City tree trenches along site frontages to City standards,
 - d. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc., should it be deemed necessary through a site inspection by Roads personnel.
8. Remit payment (certified cheque, bank draft) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Units. The amount is calculated by the respective Business Unit and is based on 100% of the estimated cost of construction.

The developer is responsible to coordinate the timing of the construction by City forces. The payment is non-refundable.

Roads

- a. Street lighting upgrading adjacent to site frontages (If required).

Parks:

No comments.

Permanent Conditions

The following permanent conditions shall apply:

Planning:

9. The development shall be completed in its entirety, in accordance with the approved plans and conditions.
10. No changes to the approved plans shall take place unless authorized by the Development Authority.
11. A Development Completion Permit shall be issued for the development **before the use is commenced or the development occupied**. A Development Completion Permit is independent from the requirements of Building Permit occupancy. Call Development Inspection Services at 403-268-5311 to request a site inspection for the Development Completion Permit.

12. Upon completion of the main floor (storey) subfloor of the building proof of the geodetic elevation of the constructed main floor (storey) subfloor of the building must be submitted to and approved by the Development Authority prior to any further construction proceeding. Email confirmation to geodetic.review@calgary.ca.
13. All areas of soft landscaping must be watered as identified on the approved plans.
14. All parking and driving aisles shall be fully paved with a minimum of 50 mm asphaltic concrete or equivalent material to the satisfaction of the Development Authority.
15. All electrical servicing for freestanding light standards shall be provided from underground.
16. The walls, pillars and ceiling of the underground parkade shall be painted white or a comparable light colour.
17. The light fixtures in the parkade shall be positioned over the parking stalls (not the drive aisles).
18. All stairwell doors and elevator access areas shall be installed with a transparent panel for visibility.
19. Handicapped parking stalls shall be located as shown on the approved plans released with this permit. Handicap parking stall(s) shall be clearly designated, signed and located close to the entrance of the building with barrier-free accessibility.
20. All roof top mechanical equipment shall be screened as shown on the approved plans.
21. Loading and delivery shall take place in the designated loading stall as shown on the approved plans and shall, at no time, impede the safety of pedestrian movements and use of the parking lot.
22. Parking/Multi-purpose space (as identified on the approved plans) and landscaping must be separated by a 150mm (6 inch) continuous, poured in place, concrete curb or equivalent material to the satisfaction of the Development Authority, where the height of the curb is measured from the finished hard surface.
23. The waste and recycling facilities shall be kept in a good state of repair at all times and the doors shall be kept closed while the enclosures are not actively in use for delivery or removal of refuse.

Development Engineering:

24. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).

25. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

For **all soil disturbing projects**, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.

26. Stormwater runoff must be contained and managed in accordance with the “Stormwater Management & Design Manual’ all to the satisfaction of the Director of Water Resources.
27. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
28. **Prior to issuance of a Development Completion Permit or any occupancy of the building**, payment shall be made for off-site levies pursuant to Bylaw 2M2016. **To obtain a final estimate**, contact the Infrastructure Strategist, Calgary Approvals Coordination (DEBBIE MEILI at 4032688223 or deborah.meili@calgary.ca) or offsitelevy@calgary.ca.
29. **Prior to issuance of a Development Completion Permit or any occupancy of the building**, payment shall be made for Centre City levies pursuant to Bylaw 38M2009. To obtain an invoice, contact the Infrastructure Strategist, Calgary Approvals Coordination (DEBBIE MEILI at 4032688223 or deborah.meili@calgary.ca) or offsitelevy@calgary.ca.

Transportation:

30. For the life of the Development, the occupants of the building will be permitted to use the elevators to access the class #1 bike facilities.
31. The Access Easement Agreement for the purpose of pedestrian access shall remain over Lot 33, Block 1, Plan 0914296 (Servient Lands) in favour of 4 Avenue & 5 Street S.W. (Dominant Lands) until such time as required by the Development or Subdivision Authority in connection with DP2020-5899 or extinguished with the consent of the Development or Subdivision Authority obtained through an application in writing to the Development or Subdivision Authority which shall be accompanied by a registerable discharge of easement and a copy of the certificate of title downloaded or obtained within one week of submission of the application.
132. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Transportation Planning. All work performed on public property shall be done in accordance with City standards.
33. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager of Transportation Planning, at the applicant's expense, upon completion of the foundation. **Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca**

Parks:

34. Public trees located on the boulevard adjacent to the development site shall be retained and protected unless otherwise authorized by Urban Forestry.
35. The submitted plans indicate that the removal of existing public trees along property frontage. As per the City of Calgary Tree Protection By-law, a letter of authorization to remove public trees is required from Parks Urban Forestry. The applicant is to contact Urban Forestry at 311 or email tree.protection@calgary.ca to make arrangements for the letter and compensation.
36. Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications – Landscape Construction (current edition). Applicant is to contact the Parks Development Inspector at 311 or 403-804-9417 to arrange an inspection.

Urban Design Review Panel Comments

Date	September 30, 2020	
Time	1:00	
Panel Members	Present Chad Russill (Chair) Terry Klassen Colin Friesen Michael Sydenham Ben Bailey	Distribution Chris Hardwicke (Co-Chair) Gary Mundy Beverly Sandalack Ryan Agrey Jack Vanstone Noorullah Hussain Zada Jeff Lyness Glen Pardoe
Advisor	David Down, Chief Urban Designer	
Application number	DP2020-5899	
Municipal address	526 4 Av SW	
Community	Downtown Commercial Core	
Project description	New: Dwelling Unit, Office, Retail and Consumer Service	
Review	first	
File Manager	Derek Pomreinke	
City Wide Urban Design	Dawn Clarke	
Applicant	S2 Architecture	

*Based on the applicant's response to the Panel's comments, the Chief Urban Designer will determine if further review will include the Panel or be completed internally only by City Wide Urban Design.

Summary

The building under review, titled '4th Avenue Tower', is a 30 storey residential tower on a two storey lobby and retail podium which includes a Plus 15 link accommodated at the north façade. It is located at the west side of the north edge of the downtown core just south of the developing Eau Claire residential area. It meets the basic planning objectives of various Calgary downtown plans and is an adequate urban design solution for this site but could be improved to provide a stronger urban presence with more defined architectural character. The Panel's position is the project needs further refinement to achieve the goals of good quality urban design.

The goal of the design is stated to be 'deliberately simple'. In this regard the project is perhaps too successful the result being that the building has little to say about contemporary design or culture. The panel noted the following items that could benefit from more design development:

1. The lot to the east could benefit from an extension of the retail space from the building. This could be considered as a temporary measure before future assembly and if/when development happens to the east. This would serve to enliven the streetscape to a greater degree than the proposed surface parking lot. One other, albeit somewhat of a lesser consideration from the urban edge, is noted below that would achieve a greater outcome than the current proposal.
2. The south facing elevation on the corner does take advantage of the available southern exposure. The flat planes of glass at ground level and the repetitive nature of the tower elevations offer little in terms of fine-grain character. A more articulate form for the tower and a stronger architectural statement at the corner of the podium would generate a presence that would enhance the urban environment and wayfinding in this part of the core.
3. The inclusion of the Plus 15 at the edge of the core in a primarily residential building is of questionable value. Unless this connects the downtown center to some meaningful destination beyond the building or is skillfully integrated with the ground plane, this Plus 15 will attract pedestrian traffic away from the at-grade realm and achieve a less desirable outcome in the opinion of the Panel.

Applicant Response

2021 January 27

1. **“The lot to the east could benefit from an extension of the retail space from the building. This could be considered as a temporary measure before future assembly and if/when development happens to the east. This would serve to enliven the streetscape to a greater degree than the proposed surface parking lot. One other, albeit somewhat of a lesser consideration from the urban edge, is noted below that would achieve a greater outcome than the current proposal.”**

- a) The east and west lots are to be subdivided to create two separate parcels. Each of these parcels are to have different ownership. This application is for the residential tower on the west side of the site. The east site is to be left undeveloped for future development. The east parcel plus the adjacent landowner (Caesar’s restaurant) provides enough land area to develop a mid-block Phase Two development. The dimension of the east parcel of land plus the Caesar’s restaurant site is 40.280 meters, our proposed west tower is 39.24 meters in width. S2 has also designed a residential tower in East Village (INK) which is on a 30.5 meter-wide, mid-block lot which was approved and built. This addresses the concern that a future tower has the necessary space to be developed in the future. Please refer to revised DP1.00.
- b) The proposed “pocket” parking lot will provide a multi-purpose amenity for existing businesses in a part of the City with few at-grade parking options.
- c) In response to the UDRP’s comments the Design Team have removed parking spaces, thereby pushing the parking further north to align with the exterior south façade of the building and increasing the public realm at grade and further developed a feature decorative screen along the southern edge of the parking lot to conceal the cars beyond and provide a unique urban respite with seating and landscaping along 4th Avenue complementing the proposed treatment in front of the proposed new residential tower. Please refer to revised DP1.00.
- d) The construction of a low-rise retail extension on a different owner’s property is not considered a temporary solution, we feel the development of a well screened surface lot which has the opportunity to act as a multi-use space is more appropriate for the remaining lands today.

2. **“The south facing elevation on the corner does take advantage of the available southern exposure. The flat planes of glass at ground level and the repetitive nature of the tower elevations offer little in terms of fine-grain character. A more articulate form for the tower and a stronger architectural statement at the corner of the podium would generate a presence that would enhance the urban environment and wayfinding in this part of the core.”**

- a) The south and west facing elevations have been revisited to provide a stronger architectural statement at the corner and greater fine-grained detail has been incorporated into the podium level, addressing wayfinding aspects of the project. Please refer to revised DP4.00, DP4.01 and coloured elevations DP4.00A and DP4.01A.
- b) Two canopies have been added to the elevations on both 4th Avenue S.W. and 5th Street S.W. The first canopy is at the second level above the residential entry which projects beyond the ten-meter-high exposed exterior columns and wraps around the corner of the building to the west identifying the residential entry. This canopy will define the residential entrance and lobby from both the west and south. Thin LED lights have been added to the soffit of the canopy and are to

be extended into the building to create a strong residential entry both inside and out. The second canopy is located above the retail spaces at approximately ten feet in height and extends from the retail units east to the property line. This canopy projects off the building four feet and will have feature lights in the soffit to give a human scale to the outdoor patio areas. Having the two canopies at different heights introduces a more human scale to the façade and creates a differentiation between the residential and retail uses along the 4th Avenue SW frontage. Please refer to revised DP4.00 and DP4.00A.

- c) The base of the building has been increased in height to +/-700 mm (2.3 ft) to allow for a durable material and ground the building, the material is to be the same material as is represented on the east and west podium level. By increasing the height of the base this will address any potential maintenance issues around the base. Please refer to revised DP4.00 and DP4.00A.
- d) The entrance to the residential use at the corner has now incorporated an arch below the lower canopy with the underside of the arch at ten feet in height which allows the opportunity to add both surface mounted entry lights on either side of the entry and the project name and address above the doors, this arch is to be the same material as the base. At each of the retail entrances there have been columns introduced on either side of the entry doors to highlight where the respective entrances are, the materials on the columns are to be the same as the base. Please refer to revised DP4.00 and DP4.00A.
- e) The tower has been purposefully designed to keep the simplicity of the tower form. The main feature of the tower are the walls on the east side which are a patterned composite panel system which will add textural character to the building and this treatment is continued from the top of the podium to the roof to tie the podium to the tower element above and will act to also screen the mechanical equipment of the roof. Please refer to revised DP4.01 and DP4.01A.

3. “The inclusion of the Plus 15 at the edge of the core in a primarily residential building is of questionable value. Unless this connects the downtown center to some meaningful destination beyond the building or is skillfully integrated with the ground plane, this Plus 15 will attract pedestrian traffic away from the at-grade realm and achieve a less desirable outcome in the opinion of the Panel.”

- a) The Plus 15 system in downtown Calgary is in place and this project is respecting the guidelines to allow for the continuity of this system. Presently, La Caille has an approved Development Permit for a 52-storey, mixed-use development for the entire site which does connect to the existing Plus 15 system.
- b) The intent of development in downtown Calgary is to respect the Plus 15 network and allow for future connectivity; at this time it is unknown what the next destination will be.
- c) Being a Winter City, Calgarians utilize the Plus 15 system throughout the year, more so in the winter months. However, we do understand that the Plus 15 will attract pedestrian traffic away from the at-grade realm. Access to the Plus 15 system is provided along 5th Street SW. Please refer to revised DP2.03 and DP4.00.

Urban Design Element	
Creativity <i>Encourage innovation; model best practices</i>	
<ul style="list-style-type: none"> Overall project approach as it relates to original ideas or innovation 	
UDRP Commentary	The building is overtly simple to a fault in form and is not considered a strong urban design solution. The Panel recommends an increased focus to create character and identity by adding variety to the tower elevations and more articulation to the ground level glazing. The three prominent south-facing columns represent basic minimalism – a more innovative design response to framing the entrance is encouraged.
Applicant Response	The Design Team have reviewed the podium level façade articulation and introduced canopies above the residential and retail entrances and added more fine-grain detail to the base. Description of the changes is addressed above in the response to Question 2. Please refer to revised DP4.00.
Context <i>Optimize built form with respect to mass and spacing of buildings, placement on site, response to adjacent uses, heights and densities</i>	
<ul style="list-style-type: none"> Massing relationship to context, distribution on site, and orientation to street edges Shade impact on public realm and adjacent sites 	
UDRP Commentary	Generally, the massing and size are appropriate in this context and the ground level does respond to the south exposure. The missing element is observed to be smaller scale articulation. There is currently a missed opportunity to enhance the corner treatment. Potential solution may include smart wayfinding attributes that reinforce placemaking qualities.
Applicant Response	The Design Team have reviewed the design based on the comment above and have reworked the lower podium level to introduce both fine-grain details as well as addressing the corner and assisting with the wayfinding aspect of identifying the residential front door and defining it differently than the retail entrances. Further detail is provided in the response to Question 2 above. Please refer to revised DP4.00 and DP4.00A.
Human Scale <i>Defines street edges, ensures height and mass respect context; pay attention to scale</i>	
<ul style="list-style-type: none"> Massing contribution to public realm at grade 	
UDRP Commentary	Overall massing is appropriate, and the landscaping approach has clarity but the fine-grain detail is missing. In the reviewed design, there is a noticeable lack in small scale articulation for the building, which does not sufficiently address human scale.
Applicant Response	The Design Team have reviewed the massing and the contribution to the public realm at grade, as such, canopies at various heights have been introduced along with additional detail at the podium level. Please refer to the response to Question 2 above for a more detailed breakdown of what has been introduced. Please refer to revised DP4.00 and DP4.00A. The landscape palette is intended as simple with a modular language tying into the building interface. At a broader scale, a pattern of wide charcoal color concrete bands running north-south at regular intervals set the rhythm of the public realm experience. The charcoal bands are also used as organizing elements for the boulevard trees and planting bed delineating the transition from public to private. Additionally, finer charcoal bands running east-west adds a finer grain of pattern as a user moves from south to north, approaching the building from public realm to private realm. The planting beds further add a layer of fine-grain through the introduction of layered planting with low evergreen shrubs along the edge of the sidewalk, with a layer of taller grasses behind. A 200mm (6 inch) curb has been introduced around each of the planting beds to provide greater definition to the planting beds. Please refer to revised DP-L1.
Integration <i>The conjunction of land-use, built form, landscaping and public realm design</i>	
<ul style="list-style-type: none"> Parking entrances and at-grade parking areas are concealed Weather protection at entrances and solar exposure for outdoor public areas Winter city response 	
UDRP Commentary	The surface parking area should be reviewed further. Commentary to extend commercial frontage at-grade and along 4 th Avenue would significantly improve the urban edge. Another consideration discussed by the Panel is the potential for integration of the parking, plaza and laneway into multiuse space with a south side gateway connection and temporary placemaking, to enhance this area.

Applicant Response	The surface parking on the new east parcel has been reduced in size whereby stalls have been removed and a visual screen has been introduced to separate the surface parking from the public realm along 4th Avenue. The screen is in line with the building façade which allows for the public realm space defined on the west site to continue to the east. A south pedestrian access point has been provided against the building allowing access from the Avenue frontage plaza space to the surface parking multiuse space. Please refer to revised DP1.00 and DP6.01.
<p>Connectivity Achieve visual and functional connections between buildings and places; ensure connection to existing and future networks.</p> <ul style="list-style-type: none"> • Pedestrian first design, walkability, pathways through site • Connections to LRT stations, regional pathways and cycle paths • Pedestrian pathway materials extend across driveways and lanes 	
UDRP Commentary	+15 not supported in this location, as it significantly detracts from the Urban Realm environment at-grade.
Applicant Response	The Design Team have reviewed the Plus 15 location and feel that it responds to the connectivity of the Plus 15 system. We understand that it potentially detracts from the Urban Realm but does address the provision of the connectivity to the Plus 15 system. Access to the Plus 15 system is directly off the sidewalk along 5th Street SW and will be signed appropriately. Please refer to revised DP1.00 and DP4.00.
<p>Animation Incorporate active uses; pay attention to details; add colour, wit and fun</p> <ul style="list-style-type: none"> • Building form contributes to an active pedestrian realm • Residential units provided at-grade • Elevations are interesting and enhance the streetscape 	
UDRP Commentary	<p>Building design as reviewed is relatively sterile. While it is noted as integrating a high degree of glazing, there is little articulation and animation of the façade. Fine grain details at the podium are recommended by the Panel.</p> <p>Improved rendering quality for a project of this stature is recommended. This would provide a more accurate representation of the project and therefore a more informed Panel commentary. Some technical aspects of the ability for the 'highly articulated metal panels' to provide as much relief in the built condition as shown in the renderings is identified as being an area of concern.</p>
Applicant Response	The Design Team have reviewed the podium level glazing articulation and introduced various elements to create a more human scale at grade for the public realm. Please refer to the response to Question 2 above. Please refer to revised DP4.00 and coloured elevation DP4.00A, and appended images and material board.
<p>Accessibility Ensure clear and simple access for all types of users</p> <ul style="list-style-type: none"> • Barrier free design • Entry definition, legibility, and natural wayfinding 	
UDRP Commentary	Accessibility seems to meet requirements
Applicant Response	
<p>Diversity Promote designs accommodating a broad range of users and uses</p> <ul style="list-style-type: none"> • Retail street variety, at-grade areas, transparency into spaces • Corner treatments and project porosity 	
UDRP Commentary	Retail allows for a variety of uses and provides transparency into the space, however corner character and fine grain details are missing.
Applicant Response	The Design Team have reviewed the at grade uses which include the entry to the residential tower as well retail uses fronting onto 4th Avenue. Canopies, lighting, definition of entries has been incorporated into the design. The corner treatment has been continued around the corner from 4 th Avenue S.W. to 5th Street S.W. Please refer to the response to Question 2 above for more detailed information. Please refer to revised DP4.00, DP4.00A, DP-L1 and DPE1.1.
<p>Flexibility Develop planning and building concepts which allow adaptation to future uses, new technologies</p> <ul style="list-style-type: none"> • Project approach relating to market and/or context changes 	
UDRP Commentary	While the Panel appreciates the flexibility aspect of a simple design, areas such as the rooftop amenity are noted as being 'just pavers' and provide little guidance regarding actual use. In the current format, the rooftop space should not be considered as amenity space. This area would benefit greatly from integrated planters, built-in greenery, and features that promote physical use of the space.

	Applicant to further review the 'Outdoor Amenity' on level 3 along the northside of the building. This location presents three private patio areas immediately adjacent to a thin strip of outdoor amenity, thus creating an awkward interface with one another. Providing larger private balconies and eliminating the outdoor amenity in this area appears one solution, that may be worth exploring, to reduce potential conflict.
Applicant Response	The Design Team have reviewed the Outdoor Amenity space on level 4 (formerly level 3, per DP package). The modified design responds to comments regarding how the space is to be laid out and utilized. A trellis structure has been added directly outside the doors from the building. Under this trellis will be movable furniture and barbeques for resident use, as well as built-in planters to help define the space. There is to be a screen added which separates the Outdoor Amenity space on the east side from the units facing north. There is to be no public access to the rooftop space directly in front of the private patio areas of the units facing north. Please refer to revised DP2.06, DP-L2 and DPE1.2.
Safety <i>Achieve a sense of comfort and create places that provide security at all times</i> <ul style="list-style-type: none"> • Safety and security • Night time design 	
UDRP Commentary	Ground level and parking areas have adequate sight lines and surveillance. No significant concerns are identified in the presented package.
Applicant Response	The new landscape 'pockets' are to have a raised 200 mm (8 inch) curb around them to articulate wayfinding, increase soil volume for plants and frame the landscaped walking space. The building has also been refined to add greater fine-grain detail as well as addressing wayfinding concerns. Please refer to the response to Question 2 above which outlines the further refined details being incorporated. Please refer to revised DP1.00, DP-L1 and DPE1.1.
Orientation <i>Provide clear and consistent directional clues for urban navigation</i> <ul style="list-style-type: none"> • Enhance natural views and vistas 	
UDRP Commentary	See Context regarding comments on wayfinding. Applicant might consider a slightly raised curb under street tree canopy to balance and frame the landscaped walking space along 4th avenue & 5th streets.
Applicant Response	
Sustainability <i>Be aware of lifecycle costs; incorporate sustainable practices and materials</i> <ul style="list-style-type: none"> • Site/solar orientation and passive heating/cooling • Material selection and sustainable products 	
UDRP Commentary	No meaningful sustainability aspects were discussed as part of the presentation.
Applicant Response	Low-maintenance, drought-tolerant shrubs and decorative grasses are proposed in the planters to ensure viability and sustainability of the proposed planting palette from a maintenance and environmental perspective. Please refer to revised DP-L1.
Durability <i>Incorporate long-lasting materials and details that will provide a legacy rather than a liability</i> <ul style="list-style-type: none"> • Use of low maintenance materials and/or sustainable products • Project detailed to avoid maintenance issues 	
UDRP Commentary	Applicant to review podium materiality, as critical area to enhance project materiality in relationship with the at-grade areas. Landscaping requires adequate planting and soil depth. Soil cell technology should be considered to improve the health of the urban tree canopy
Applicant Response	<p>The Design Team have reviewed the materiality and maintenance aspects of the base of the building. The glazing has been raised up 700 mm (2.3 ft) to allow for proper maintenance and durability for the project. This base is continued along the west face of the resident lobby on 5th Street S.W. as well as along the south façade by the resident entry and the retail uses fronting onto 4th Avenue S.W. The materials to be used are the same as the materials on the podium walls on the west and east elevations. Please refer to the response to Question 2 above for a more detailed description on modifications. Please refer to revised DP1.00.</p> <p>Adequate planting depth and soil volume has been provided in keeping with best industry practices and City of Calgary requirements for planting over the parkade, to ensure long term viability of the plants. Please refer to DP-L2.</p>

Development Permit Plans



4th AVENUE TOWER - DP2020-5899

DTR 2 - 03.31.2021

Design Team

CLIENT:
LA CAILLE GROUP
#603, 888 - 4TH AVE SW
CALGARY, AB, T2P 0V2
PHONE: 403.262.6262



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MECHANICAL:
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BUILDING ENVELOPE:
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CALGARY, AB T2N 1X6
PHONE: 403.400.4567



LANDSCAPE:
NAVAGRAH LANDSCAPE ARCHITECTURE + URBAN DESIGN
#204, 337 - 17TH AVE SW
CALGARY, AB
PHONE: 403.708.8778



Drawing List

DP0.00	COVER SHEET	198-01SVC	PRELIMINARY SERVICING PLAN
DP0.01	PROJECT INFORMATION	198-01GRAD	PRELIMINARY GRADING PLAN
DP0.02	SITE PHOTOS		
DP0.03	EXISTING SURVEY	DP-L1	LAYOUT PLAN
DP0.04	CONSOLIDATION PLAN	DP-L2	LAYOUT PLAN - PODIUM
DP1.00	SITE PLAN		
DP1.01	SHADOW STUDY		
DP1.02	SITE ACCESS DIAGRAMS	DPE1.1	ELECTRICAL SITE PLAN
DP1.03	FAR BONUS DIAGRAMS	DPE1.2	AMENITY LEVEL, MECHANICAL PENTHOUSE LAYOUT & LUMINAIRE SCHEDULE
DP2.00	PARKADE LEVEL P04 PLAN		
DP2.01	PARKADE LEVEL 02		
DP2.02	PARKADE LEVEL 01		
DP2.03	LEVEL 01 PLAN - MAIN FLOOR		
DP2.04	LEVEL 02 - STORAGE		
DP2.05	LEVEL 03 PLAN		
DP2.06	LEVEL 04 PLAN - RESIDENTIAL & AMENITY		
DP2.07	LEVEL 05 - 33 - TYPICAL RESID. FLOOR PLATE		
DP2.08	LEVEL 34 - OFFICE / MECHANICAL		
DP2.09	MECHANICAL CHILLERS		
DP2.10	ROOF TOP SCREEN		
DP4.00	BUILDING ELEVATIONS - S & W		
DP4.00A	BUILDING ELEVATIONS - COLOURED - S & W		
DP4.01	BUILDING ELEVATIONS - N & E		
DP4.01A	BUILDING ELEVATIONS - COLOURED - N & E		
DP5.00	BUILDING SECTIONS		
DP5.01	BUILDING SECTIONS		
DP6.01	DETAILS		
DP6.02	SITE DETAILS		



COVER SHEET

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219182

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.
Verify all dimensions, elevations and details, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centerline of demising walls, unless noted otherwise on the drawing.
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REVISION	DATE
1. D.P. SUBMISSION	09.18.2020
2. DTR 1	01.27.2021
3. DTR 2	03.31.2021

SCALE: DATE: 10/12/2021 10:18:55 AM
DRAWN BY: MC
CHECKED BY: JC

DRAWING NO. **DP0.00**

Vicinity Map

Municipal Address
#526 4TH AVENUE SW
CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296

Legal Address
LOT 33, BLOCK 15, PLAN 0914296

Site Summary

SITE AREA:	PARCELS A + B
	2,598.7m ²
	0.64 ac / 0.26 ha
PARCEL A (WEST OF PROPOSED PROPERTY LINE)	1730.5 m ²
	0.43 ac / 0.17 ha

By-Law Zoning

PART 13, DIVISION 2 - COMMERCIAL RESIDENTIAL DISTRICT (CR20-C20/R20)
PART 13, DIVISION 3 - INCENTIVE DENSITY

COMMERCIAL RESIDENTIAL DISTRICT (CR20-C20/R20) INCENTIVE DENSITY (PART 13, DIVISION 3)

USE:
DWELLING UNITS FLOOR AREA RATIO (FAR) = 3.0
ADDITIONAL INCENTIVE FAR = 12.0
MAX POSSIBLE FAR = 15.0

PUBLIC AMENITY ITEMS THAT MUST BE PROVIDED TO ACHIEVE ADDITIONAL FAR OF 12.0, Table 8 Item 8.0.4(a), (b) and (c):
(a) at grade pedestrian circulation - public sidewalk setback area where:
(i) the portion of a parcel adjacent to a street must be a hard surface landscaped area and:
(A) where it is part of an arcade must provide, an unobstructed depth of a minimum of 3.5 metres that does not contain structural elements of a building between grade and the bottom of the storey above; and
(B) where it is not part of an arcade, must not contain structural elements of a building (1) between grade and the bottom of the storey above for a minimum depth of 2.2 metres;
(b) at grade pedestrian circulation provided within a triangular area formed on a corner parcel by the two property lines, as determined by Table 1, Road Right-of-Way, and a straight line which intersects them 7.5 metres from where they meet which:
(i) must not contain any buildings within 3.0 metres from where they meet;
(ii) may only contain pillars and structural supports in areas which are greater than 3.0 metres of where they meet; and
(iii) must be a minimum height of 4.5 metres measured vertically from grade;
(c) +15 Skywalk System provisions where:
(i) +15 Skywalk System elements for potential connection to the +15 Skywalk System on the parcel and to adjoining parcels:
(A) +15 Skywalk System walkway with an unobstructed width of 4.5 metres oriented in a manner that provides the greatest opportunity for connection to, and extension of, the +15 Skywalk System, as shown on a plan approved by the Development Authority;
(B) structural supports, at locations indicated on a plan approved by the Development Authority, that would allow for possible expansion of the +15 Skywalk System by way of a +15 Skywalk System bridge which must be incorporated into the overall structure and design of the building; and
(C) vertical movement opportunities between grade and the second storey within a building, which must include:
(i) a readily accessible elevator and (2)
(ii) either a pair of escalators or a staircase with a minimum unobstructed width of 2.0 metres (2); and
(iii) a financial contribution to the +15 Skywalk System Fund in accordance with the +15 Policy.

By-Law Setback

MINIMUM SETBACK AREAS
FRONT: 0.0m
REAR: 0.0m
SIDE: 0.0m

NOTE:
• 2.34m PUBLIC REALM SETBACK LOCATED ALONG 4TH AVENUE SW AND 5TH STREET SW.
• 7.5m VERTICAL TRIANGLE SETBACK - BUILDINGS, FINISHED GRADE OF A PARCEL AND VEGETATION WITHIN A CORNER VERTICAL TRIANGLE MUST NOT BE LOCATED BETWEEN 0.75 METRES AND 4.5 METRES ABOVE THE LOWEST ELEVATION OF THE STREET.
• 6m SETBACK FROM PROPERTY LINE ADJACENT TO A LAKE; 9M SETBACK FROM PROPERTY LINE ADJACENT TO ANOTHER PROPERTY, FOR DWELLING UNIT GLAZING.

Proposed Development

DWELLING UNITS (DISCRETIONARY USE)
RETAIL AND CONSUMER SERVICE (DISCRETIONARY USE)
OFFICE (DISCRETIONARY USE)

BUILDING CLASSIFICATION AS PER ALBERTA BUILDING CODE:
GROUP C, ANY HEIGHT, SPRINKLERED

Building Height

MAXIMUM BUILDING HEIGHT
• THERE IS NO MAXIMUM BUILDING HEIGHT, EXCEPT THAT THE 'SUNLIGHT PROTECTION AREA MUST NOT BE PLACED IN GREATER SHADOW BY A DEVELOPMENT AS MEASURED 10.0m FOR PORTIONS OF A BUILDING WITHIN 3m OF A STREET FOR STREET-ORIENTED MULTI-RESIDENTIAL BUILDINGS. REFER TO DP1.01 FOR SHADOW STUDY.

PROPOSED HEIGHT: 111.75 m / 1160.02 GEO

Floor Area Ratio

MAXIMUM PERMITTED F.A.R. (SM)	PROPOSED F.A.R.
1730.5 SM X 15.0 FAR = 25,957 SM	15.12 (+/- 204 sm EXCESS)
GFA +/- 26,161 SM	

FLOOR AREA RATIO CALCULATIONS

DWELLING UNITS FAR: 3.0 x 1730.5 SM = ±5191.5 SM
BONUSING FAR: 12.0 x 1730.5 SM = ±20,766 SM
15.0 x 1730.5 SM = ±25,957 SM

EXCESS FAR: 26,161 SM (GFA) - 25,957 SM (15.0 FAR) = ±204 SM (0.12 FAR)

TOTAL GROSS FLOOR AREA TO BE ACHIEVED THROUGH BONUSING AND FINANCIAL CONTRIBUTIONS.

Area Summary

NOTE: BALCONY, PATIO, TERRACE AND DECK AREAS, AND MECHANICAL AREAS OPEN TO THE ELEMENTS (LEVEL 35) ARE NOT INCLUDED IN GROSS FLOOR AREA CALCULATIONS.

LEVEL	DESCRIPTION	GROSS FLOOR AREA
Level 1 - Main	1038 m ²	Gross Building Area
Level 2 - Storage	350 m ²	Gross Building Area
Level 3 - Amenity	1092 m ²	Gross Building Area
Level 4	775 m ²	Gross Building Area
Level 5 (Typ. 5-33)	775 m ²	Gross Building Area
Level 6	775 m ²	Gross Building Area
Level 7	775 m ²	Gross Building Area
Level 8	775 m ²	Gross Building Area
Level 9	775 m ²	Gross Building Area
Level 10	775 m ²	Gross Building Area
Level 11	775 m ²	Gross Building Area
Level 12	775 m ²	Gross Building Area
Level 13	775 m ²	Gross Building Area
Level 14	775 m ²	Gross Building Area
Level 15	775 m ²	Gross Building Area
Level 16	775 m ²	Gross Building Area
Level 17	775 m ²	Gross Building Area
Level 18	775 m ²	Gross Building Area
Level 19	775 m ²	Gross Building Area
Level 20	775 m ²	Gross Building Area
Level 21	775 m ²	Gross Building Area
Level 22	775 m ²	Gross Building Area
Level 23	775 m ²	Gross Building Area
Level 24	775 m ²	Gross Building Area
Level 25	775 m ²	Gross Building Area
Level 26	775 m ²	Gross Building Area
Level 27	775 m ²	Gross Building Area
Level 28	775 m ²	Gross Building Area
Level 29	775 m ²	Gross Building Area
Level 30	775 m ²	Gross Building Area
Level 31	775 m ²	Gross Building Area
Level 32	775 m ²	Gross Building Area
Level 33	775 m ²	Gross Building Area
Level 34 - Mech P 01 / Office	431 m ²	Gross Building Area
Level 35 - Mech Chillers	0 m ²	Gross Building Area
Grand Total	33	26161 m ²

Dwelling Unit Count

UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY
UNIT 01	2 BED	90.8 m ²	30
UNIT 02	1 BED	63.4 m ²	29
UNIT 03	2 BED	86.9 m ²	29
UNIT 04	1 BED	59.2 m ²	29
UNIT 05	1 BED	59.2 m ²	29
UNIT 06	2 BED	86.9 m ²	29
UNIT 07	1 BED	63.4 m ²	29
UNIT 08	2 BED	90.8 m ²	30
UNIT 09	1 BED	55.1 m ²	30
UNIT 12	1 BED	63.4 m ²	1
UNIT 13	2 BED	95.0 m ²	1
UNIT 16	2 BED	95.0 m ²	1
UNIT 17	1 BED	63.4 m ²	1
TOTAL			268

UNIT 12 AND 17 ARE DESIGNED TO BE ADAPTABLE TO ACCESSIBLE ON LEVEL 04 ONLY.
UNIT 13 AND 16 ARE DESIGNED TO BE UNIVERSAL LEVEL 04 ONLY.

Density

DENSITY (UNITS PER HECTARE)		
UNITS	HECTARE	
268	0.17	1,576

Motor Vehicle Parking Requirements

THERE ARE NO REQUIREMENTS FOR COMMERCIAL PARKING IN THIS ZONE. PARKING RELAXATION FOR VISITOR STALLS COUNT TO BE REQUESTED, SUPPORTED BY THE TRAFFIC IMPACT STATEMENT.

RESIDENTIAL - UNIT PARKING					
DESCRIPTION	UNIT QUANTITY	FACTOR (STALL PER DWELLING UNIT)	REQUIRED	PROVIDED	
RESIDENTIAL STANDARD	268	0.5	134	134	

RESIDENTIAL - VISITOR PARKING					
DESCRIPTION	UNIT QUANTITY	FACTOR (STALL PER DWELLING UNIT)	REQUIRED	PROVIDED	
RESIDENTIAL VISITOR	270	0.1	27	20	

OFFICE - PARKING					
USE	GROSS USABLE FLOOR AREA	FACTOR	STALL PER 100 m ²	REQUIRED	PROVIDED
OFFICE	195.0 m	0.7	100 m ²	2	2

Bicycle Parking Requirements

RESIDENTIAL					
DESCRIPTION	UNIT QUANTITY	FACTOR (STALL PER DWELLING UNIT)	REQUIRED	PROVIDED	
CLASS 1 PARKING	268	1	268	268	
CLASS 2 PARKING	268	0.1	27	28	

RETAIL					
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED	
CLASS 1 PARKING	188 sm	0	250 sm	1	1
CLASS 2 PARKING	188 sm	1	250 sm	1	1

OFFICE					
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED	
CLASS 1 PARKING	190 sm	1	1000 sm	1	1
CLASS 2 PARKING	190 sm	1	1000 sm	1	1

TOTAL REQUIRED BICYCLE - CLASS 1 PARKING (WALL-MOUNTED VS FLOOR-MOUNTED):

RESIDENTIAL BIKE STORAGE

LEVEL - 02
0 WALL-MOUNTED
40 FLOOR-MOUNTED

LEVEL - 01
22 WALL-MOUNTED

PARKADE - P1
40 WALL-MOUNTED
0 FLOOR-MOUNTED

PARKADE - P2
36 WALL-MOUNTED
30 FLOOR-MOUNTED

PARKADE - P3
36 WALL-MOUNTED
30 FLOOR-MOUNTED

PARKADE - P4
34 WALL-MOUNTED

TOTAL RESIDENTIAL
134 WALL-MOUNTED
134 FLOOR-MOUNTED
268 RESIDENTIAL BIKE STALLS

COMMERCIAL & OFFICE BIKE STORAGE

LEVEL - 01
2 WALL-MOUNTED

TOTAL
REQD: 270
PROVIDED: 270

RESIDENT ACCESS TO CLASS 1 BICYCLE STORAGE ON P4, P3, P2, P1, L1, AND L2. RESIDENTS ARE PERMITTED USE OF ELEVATOR FOR BICYCLE STORAGE ACCESS FOR LIFE OF THE BUILDING. REFER TO PATH OF ACCESS AND NOTE INDICATED ON DP2.03.

Waste & Recycling Requirements

*WASTE & RECYCLING CALCULATIONS BASED ON CITY / PUBLIC SERVICE STANDARDS TO MEET APPROXIMATE NEEDS. NO OFFICIAL REQUIREMENTS FOR PRIVATE PICK-UP.

RESIDENTIAL WASTE & RECYCLING						
DESCRIPTION	QUANTITY	NO. OF BINS (3 yd ³)		STORAGE		STAGING
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	
DWELLING UNIT	268	27	--	243m ³	--	122m ³

CALCULATIONS:

RESIDENTIAL WASTE & RECYCLING PRODUCED
BINS REQUIRED: 268 UNITS / 10 x 3 yd³ = 80.4 yd³
STORAGE AREA REQUIRED: 26.8 BINS x 9 m² = 241.2 m²
STAGING AREA REQUIRED: 241.2 m² STORAGE AREA / 2 = 120.6 m²
TOTAL ROOM AREA REQUIRED: 361.8 m²

COMMERCIAL WASTE & RECYCLING PRODUCED
BINS REQUIRED: 2 CRUs x 1 yd³ = 2 yd³
STORAGE AREA REQUIRED: 2 yd³ x 9 m² = 18 m²
STAGING AREA REQUIRED: 18 m² (9m / 1000sm) = 9 sm
9 m² STORAGE AREA / 2 = 4.5 m²
TOTAL ROOM AREA REQUIRED: 4.5 m²

OFFICE WASTE & RECYCLING PRODUCED
BINS REQUIRED: 2 OFFICES x 1 yd³ = 2 yd³
STORAGE AREA REQUIRED: 2 yd³ x 9 m² = 18 m²
STAGING AREA REQUIRED: 18 m² (9m / 1000sm) = 9 sm
9 m² STORAGE AREA / 2 = 4.5 m²
TOTAL ROOM AREA REQUIRED: 4.5 m²

TOTAL BINS 26.8 + 0.67 + 0.67

IF INCLUDES COMPACTOR
BINS REQUIRED: 26.1 BINS / 4 yd³ = 7.0 BINS
STORAGE AREA REQUIRED: 7 BINS x 9 m² = 63 m²
STAGING AREA REQUIRED: 63 m² STORAGE AREA / 2 = 31.5 m²
TOTAL ROOM AREA REQUIRED: 104.5 m²
TOTAL ROOM AREA PROVIDED: 98 m²

Residential Amenity Space

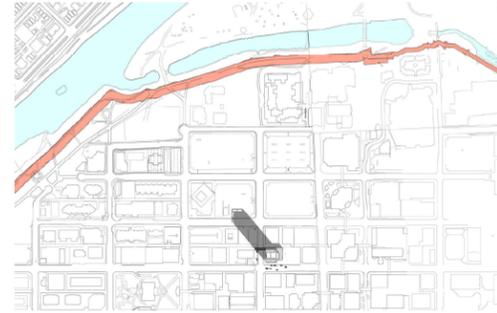
RESIDENTIAL AMENITY SPACE

REQUIRED: 268 UNITS X 5.0 SM PER UNIT = 1340 SM
PROPOSED: 320 SM + 431 SM + 399 SM = 1150 SM</



Suite 202, 110 - 12th Avenue SW
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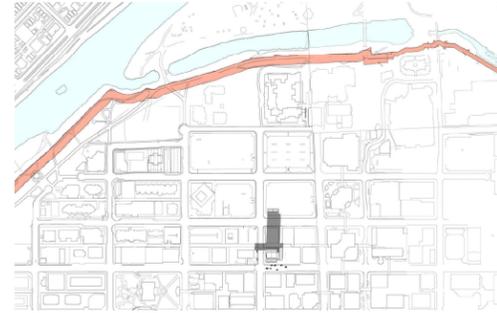
RIVERBANK + RIVERBANK PROMENADE



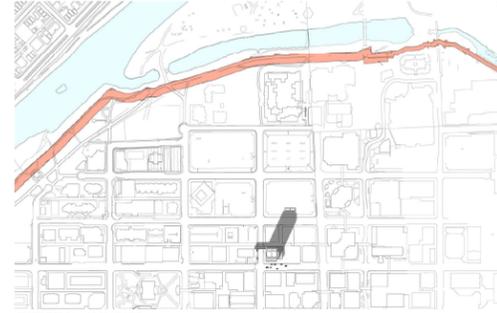
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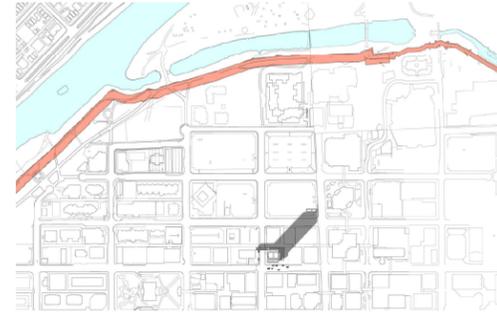
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SEPTEMBER 21 - 12:00 HR MDT



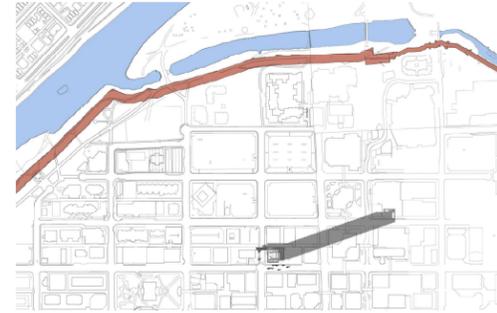
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SEPTEMBER 21 - 14:00 HR MDT

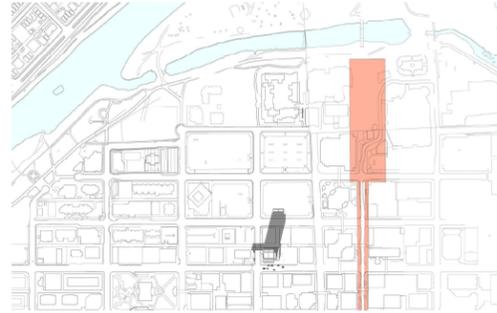


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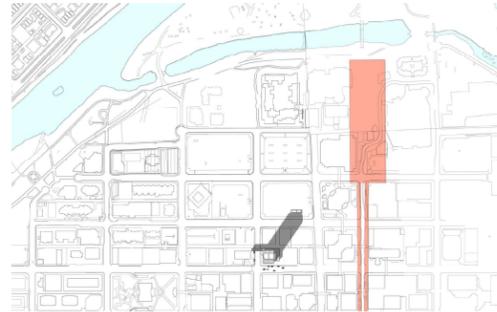


SEPTEMBER 21 - 16:00 HR MDT

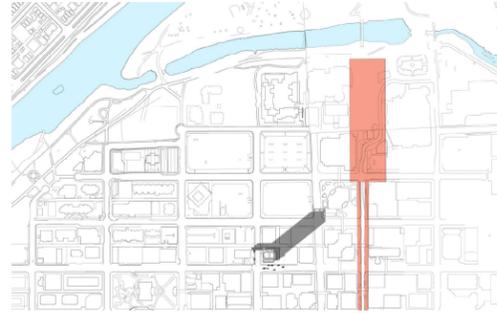
BARCLAY MALL



SEPTEMBER 21 - 12:30 HR MDT

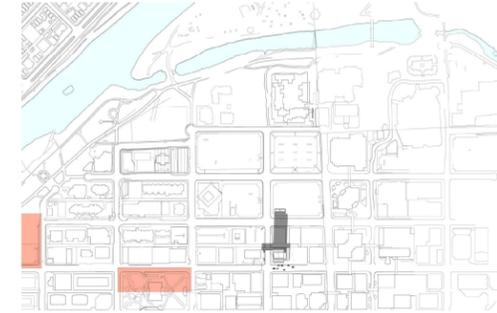


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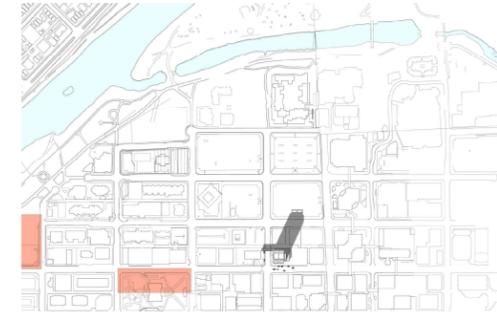


SEPTEMBER 21 - 13:30 HR MDT

MEWATA ARMOURY + McDOUGALL SCHOOL



SEPTEMBER 21 - 12:00 HR MDT



SEPTEMBER 21 - 13:00 HR MDT



SEPTEMBER 21 - 13:00 HR MDT

OTHER SUNLIGHT PROTECTION AREAS REFERENCED IN THE BYLAW ARE DEFINITELY SOUTH OF THE PROJECT, OR TOO FAR AWAY, INCLUDING OLYMPIC PLAZA, CENTURY GARDENS AND COURTHOUSE BLOCK.

SHADOW STUDY

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
21P182

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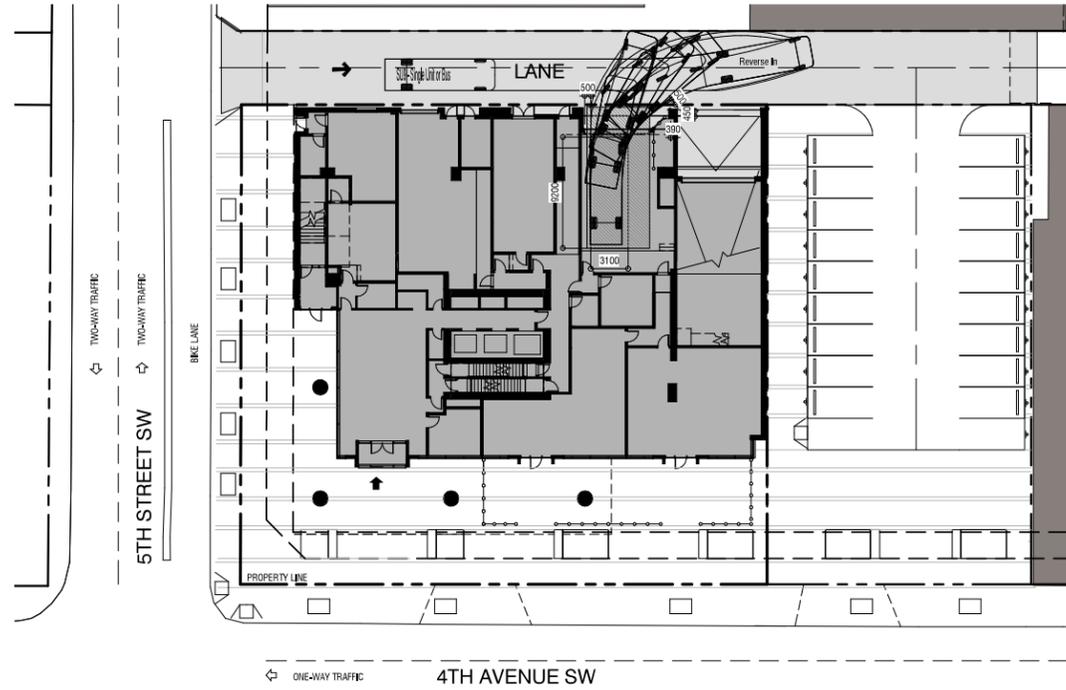
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REVISION	DATE
1 D.P. SUBMISSION	08/18/2020

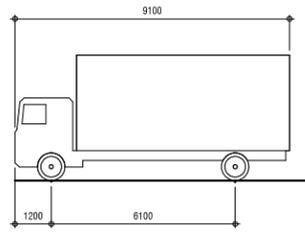
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CHECKED BY	JC

DRAWING NO.
DP1.01

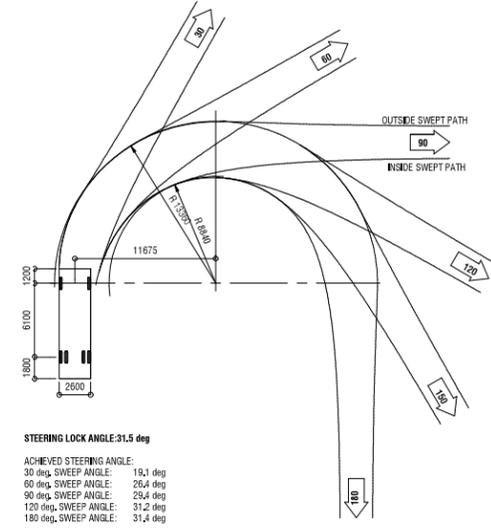
C:\Reel Projects\21P182-4\4th Ave. 4th Avenue Tower.dwg - 4th Avenue Tower.dwg



SU-09
ALBERTA INFRA-HQDG (CA) [mm]

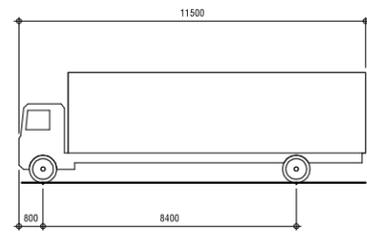
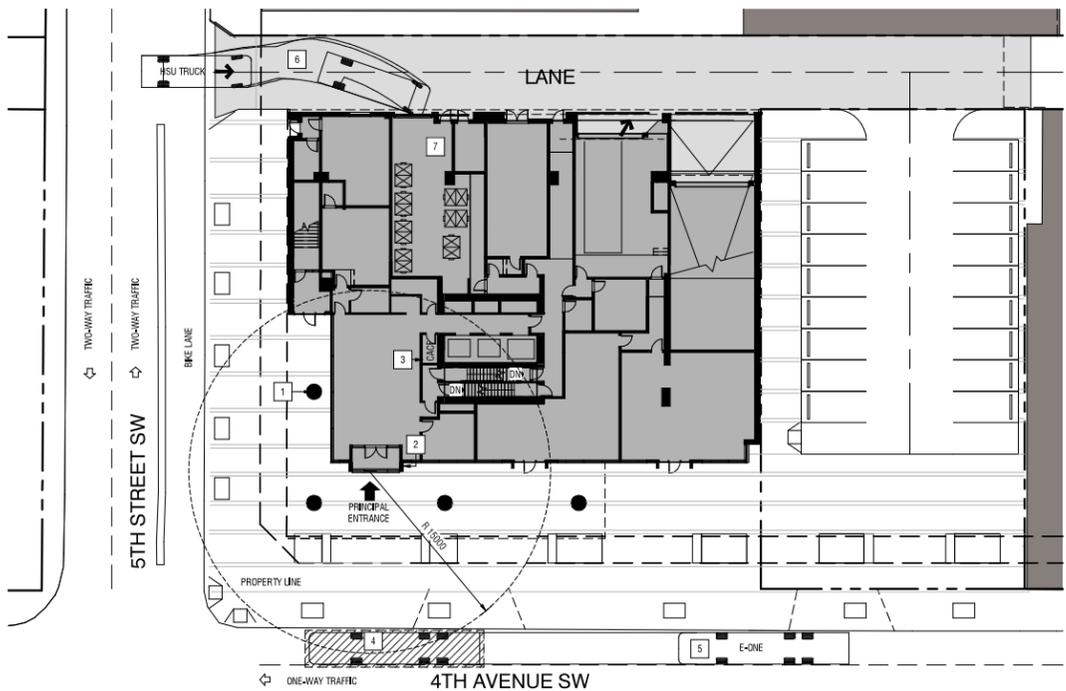


SU-09 - SINGLE UNIT OR BUS
Overall Length 9,100 m
Overall Width 2,600 m
Overall Body Height 4,150 m
Min Body Ground Clearance 0,445 m
Track Width 2,600 m
Lock-to-lock time 6,00
Steering Angle 31,5 deg



STEERING LOCK ANGLE: 31.5 deg
ACHIEVED STEERING ANGLE:
30 deg, SWEEP ANGLE: 26.4 deg
60 deg, SWEEP ANGLE: 26.4 deg
90 deg, SWEEP ANGLE: 29.4 deg
120 deg, SWEEP ANGLE: 31.2 deg
180 deg, SWEEP ANGLE: 31.4 deg

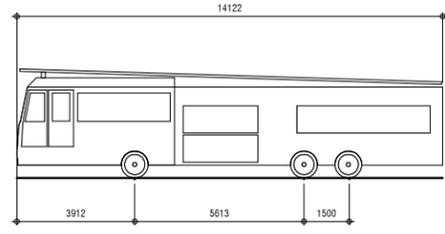
1 SU-09 Truck Sweep - Commercial + Residential Loading
DP1,02 SCALE: 1 : 250



HSU - HEAVY SINGLE UNIT TRUCK
Overall Length 11,500 m
Overall Width 2,600 m
Overall Body Height 3,650 m
Min Body Ground Clearance 0,445 m
Track Width 2,600 m
Lock-to-lock time 4,00 s
Curb to Curb Turning Radius 14,100 m

W+R / Fire Access - Code Legend

- INDICATES EXTENT AND LOCATION OF CONCRETE TO HOLD MINIMUM 38,555 KG / 85,000 LB LOAD.
- 1 SHASEE CONNECTION
- 2 CALGARY FIRE DEPARTMENT APPROVED LOCKBOX
- 3 ALARM PANEL TO HAVE DIRECT ACCESS FROM PRINCIPAL ENTRANCE.
- 4 FIRE ACCESS AREA, DESIGNED TO SUPPORT FIRE FIGHTING VEHICLE. WEIGHT (MIN) 38,555 KG / 85,000 LBS). ACCESS ALSO DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517kPa (75 psi) OVER A 24' X 24' AREA CORRESPONDING TO THE OUTRIGGER SIZE.
- 5 E-ONE OCALA FL
- 6 HSU TRUCK
- 7 WASTE + RECYCLING ROOM. REFER TO DP6.01 FOR W+R DETAILS.



E-ONE EMERGENCY ONE OCALA FL
Overall Length 14,122 m
Overall Width 2,540 m
Overall Body Height 3,607 m
Min Body Ground Clearance 0,425 m
Track Width 2,540 m
Lock-to-lock time 6,00 s
Max Wheel Angle 45,00°

4 Waste + Recycling Collection / Fire Access
DP1,02 SCALE: 1 : 250



SITE ACCESS DIAGRAMS

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2/19/16Z

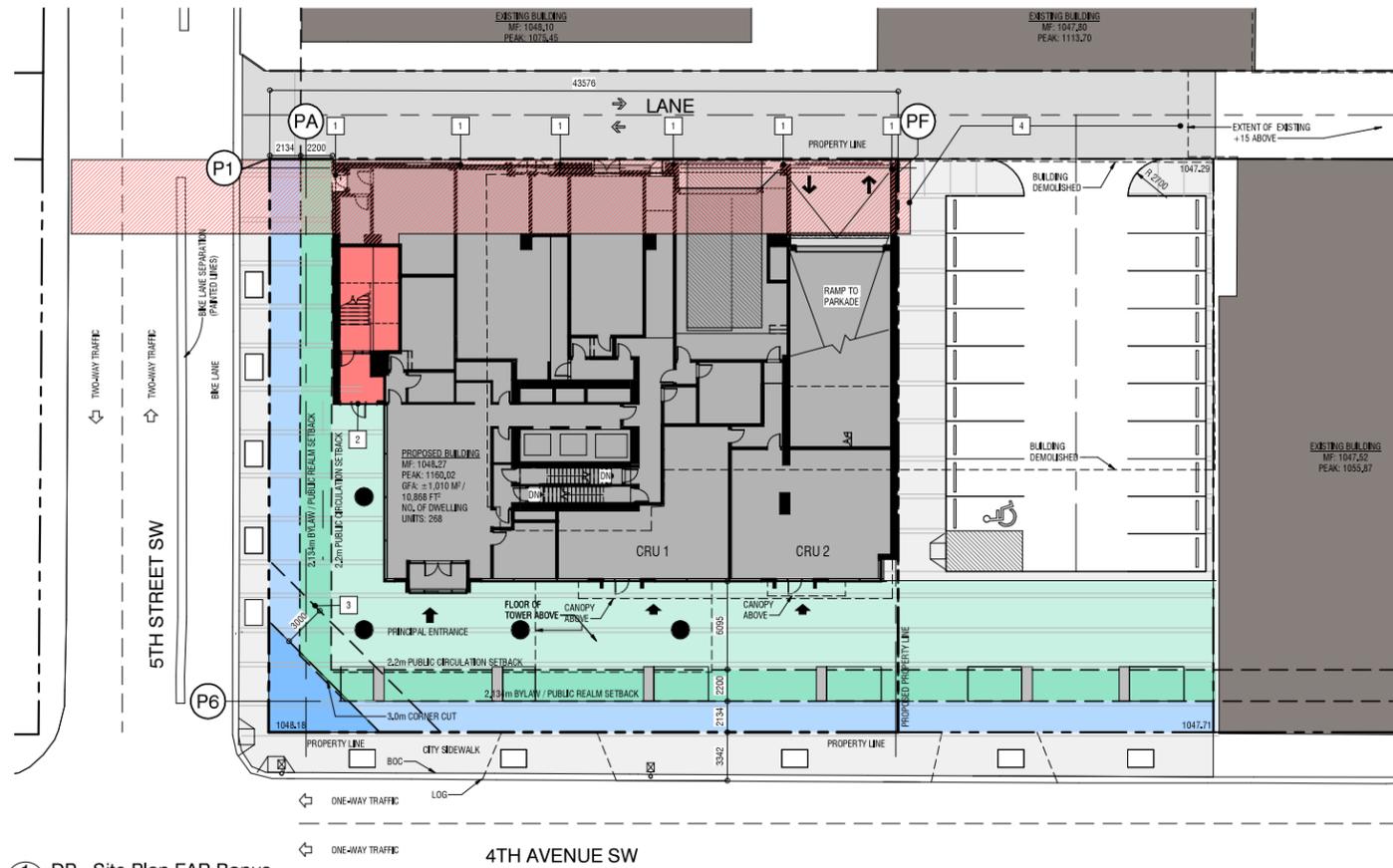
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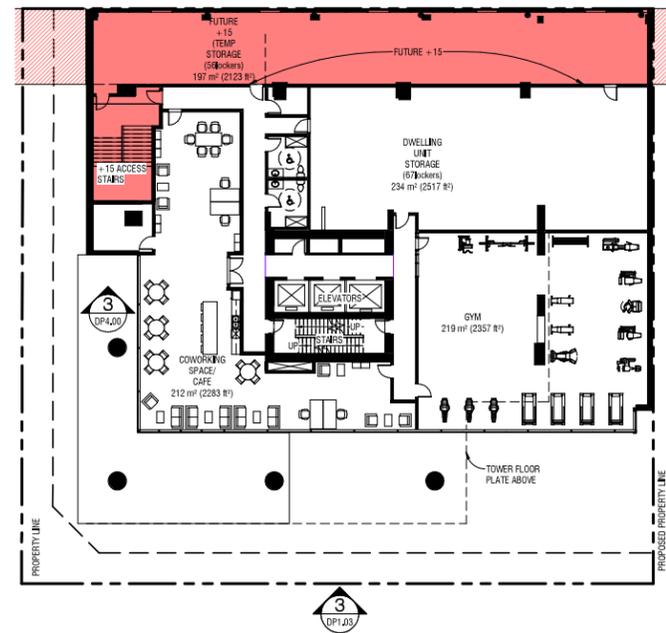
REVISION	DATE
▲ D.P. SUBMISSION	09.16.2020
▲ DTR 1	01.27.2021
▲ DTR 2	03.31.2021

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DATE 10/12/2021 10:19:29 AM
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DP1.02



1 DP - Site Plan FAR Bonus
DPI.03 SCALE: 1 : 200
DPI.03



2 Level 3 - Floor Plan FAR Bonus
DPI.03 SCALE: 1 : 200
DPI.03

FAR Bonus Plan - Symbol Legend

- 7.5m X 7.5m TRIANGLE CORNER CUT
- 2.13m PUBLIC AMENITY SETBACK
- PLUS 15 CIRCULATION
- PLUS 15 CIRCULATION ABOVE
- 2.2m PUBLIC CIRCULATION SETBACK
- PUBLIC CIRCULATION SETBACK + ADDITIONAL AREA PROVIDED

- 1 STRUCTURAL SUPPORT DESIGNED TO ALLOW FOR POSSIBLE EXPANSION OF THE +15 SKYWALK SYSTEM.
- 2 +15 SKYWALK SYSTEM AT-GRADE PEDESTRIAN ACCESS
- 3 3.0m BUILDING CLEARANCE FROM AT-GRADE PUBLIC CIRCULATION TRIANGULAR AREA.
- 4 GREATEST OPPORTUNITY FOR TYPING INTO EXISTING +15 SYSTEM.

FAR Bonus CALCULATIONS

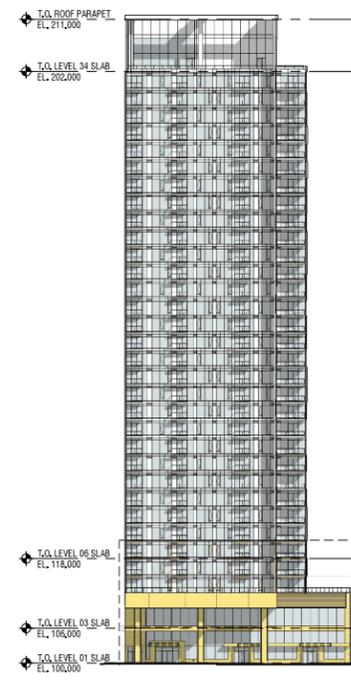
SITE = 1730.5 SM
 FAR WITHOUT INCENTIVE DENSITY = 3.0
 TOTAL FAR = 5,191.5 SM

AREAS LISTED BELOW TAKEN FROM DP1.01 - PROJECT INFORMATION. REFER TO DETAIL 3.0P1.03 FOR LEVELS COUNT CORRELATING TO FAR 3.0.

LEVEL 01	= 1038 SM
LEVEL 02	= 350 SM
LEVEL 03	= 1092 SM
LEVEL 04	= 775 SM
LEVEL 05	= 775 SM
LEVEL 06	= 775 SM
TOTAL	= 4805 SM

4,805 SM / 5,191.5 SM X 3.0 FAR = 2.78 FAR

REFER TO DETAIL 3.0P1.03 FOR LEVELS COUNT CORRELATING TO FAR 3.0.



3 FAR 3.0 Building Portion
DPI.03 SCALE: 1 : 500



4th Avenue Tower
LACAILLE
219182

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296

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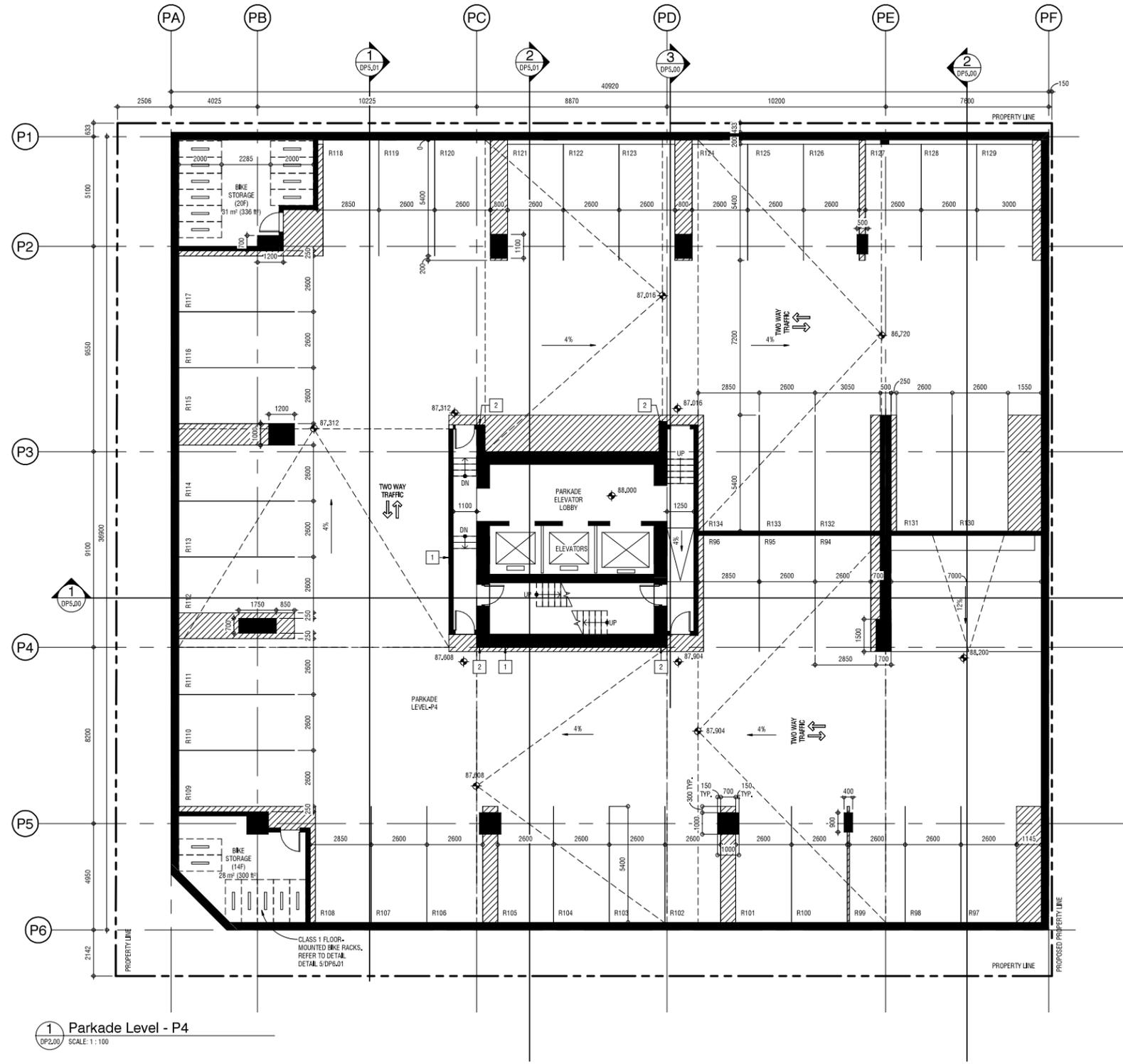
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▲ DTR 1	01/27/2021

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DRAWING NO. **DP1.03**

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- Parkade - General Notes**
1. REFER TO DP021 FOR ALL VEHICULAR AND BICYCLE PARKING STATISTICS
 2. ALL PAINTED LINES TO BE 100MM (YELLOW)
 3. VISITOR PARKING STALLS REPRESENTED BY 'V#*' & BY THE SIGNAGE
 4. OFFICE PARKING STALL REPRESENTED BY 'OF#*' & BY THE SIGNAGE
 5. ALL WALLS, COLUMNS & CEILINGS TO BE PAINTED WHITE
 6. LIGHT FIXTURES IN THE PARKADE TO BE POSITIONED OVER THE STALLS (NOT THE DRIVE AISLES)
 7. ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS SHALL HAVE A TRANSPARENT PANEL FOR VISIBILITY AS PER A.B.C.

- Parkade - Symbol Legend**
- HATCHED AREA INDICATES 'NO PARKING ZONE'
 - INDICATES BARRIER FREE PARKING STALL
 - 'VISITOR PARKING ONLY' - WALL MOUNTED
 - 'OFFICE PARKING ONLY' - WALL MOUNTED
 - 'TO ELEVATOR LOBBY'
 - 'NO PARKING AT ANY TIME'

1 Parkade Level - P4
SCALE: 1 : 100



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PARKADE LEVEL P04 PLAN

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2/19/22

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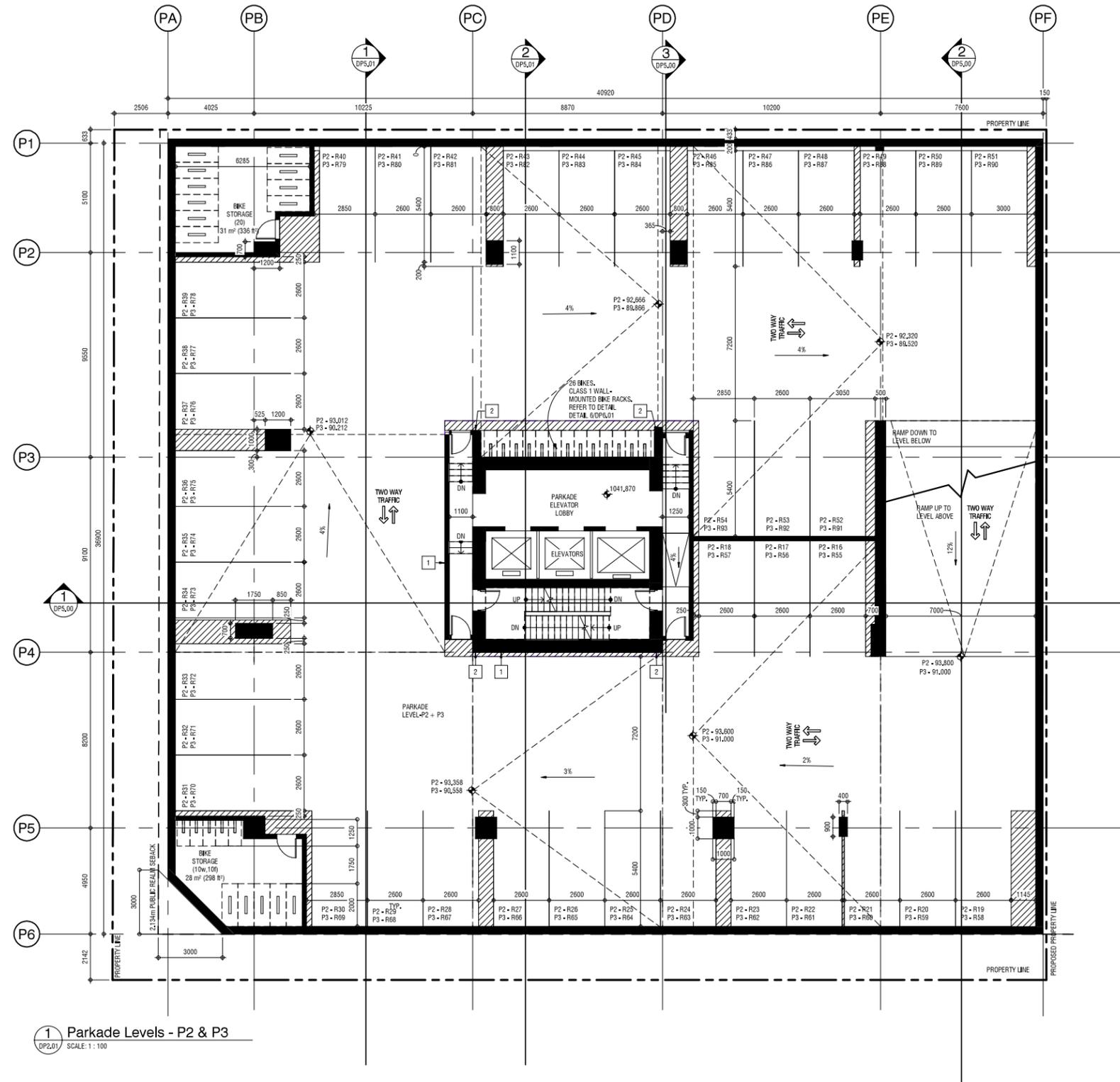
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REVISION	DATE
1 D.P. SUBMISSION	09.16.2020
2 DTR 1	01.27.2021
3 DTR 2	03.31.2021

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DATE: 10/12/2021 10:19:47 AM
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DRAWING NO. **DP2.00**





- Parkade - General Notes**
1. REFER TO DP2.01 FOR ALL VEHICULAR AND BICYCLE PARKING STATISTICS
 2. ALL PAINTED LINES TO BE 100MM (YELLOW)
 3. VISITOR PARKING STALLS REPRESENTED BY 'V#' & BY THE SIGNAGE
 4. OFFICE PARKING STALL REPRESENTED BY 'OF#' & BY THE SIGNAGE
 5. ALL WALLS, COLUMNS & CEILINGS TO BE PAINTED WHITE
 6. LIGHT FIXTURES IN THE PARKADE TO BE POSITIONED OVER THE STALLS (NOT THE DRIVE AISLES)
 7. ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS SHALL HAVE A TRANSPARENT PANEL FOR VISIBILITY AS PER A,B,C.

- Parkade - Symbol Legend**
- HATCHED AREA INDICATES 'NO PARKING ZONE'
 - INDICATES BARRIER FREE PARKING STALL
 - 'VISITOR PARKING ONLY' - WALL MOUNTED
 - 'OFFICE PARKING ONLY' - WALL MOUNTED
 - 'TO ELEVATOR LOBBY'
 - 'NO PARKING AT ANY TIME'



PARKADE LEVEL 02
4th Avenue Tower
 #526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
 LACAILLE
 21P182

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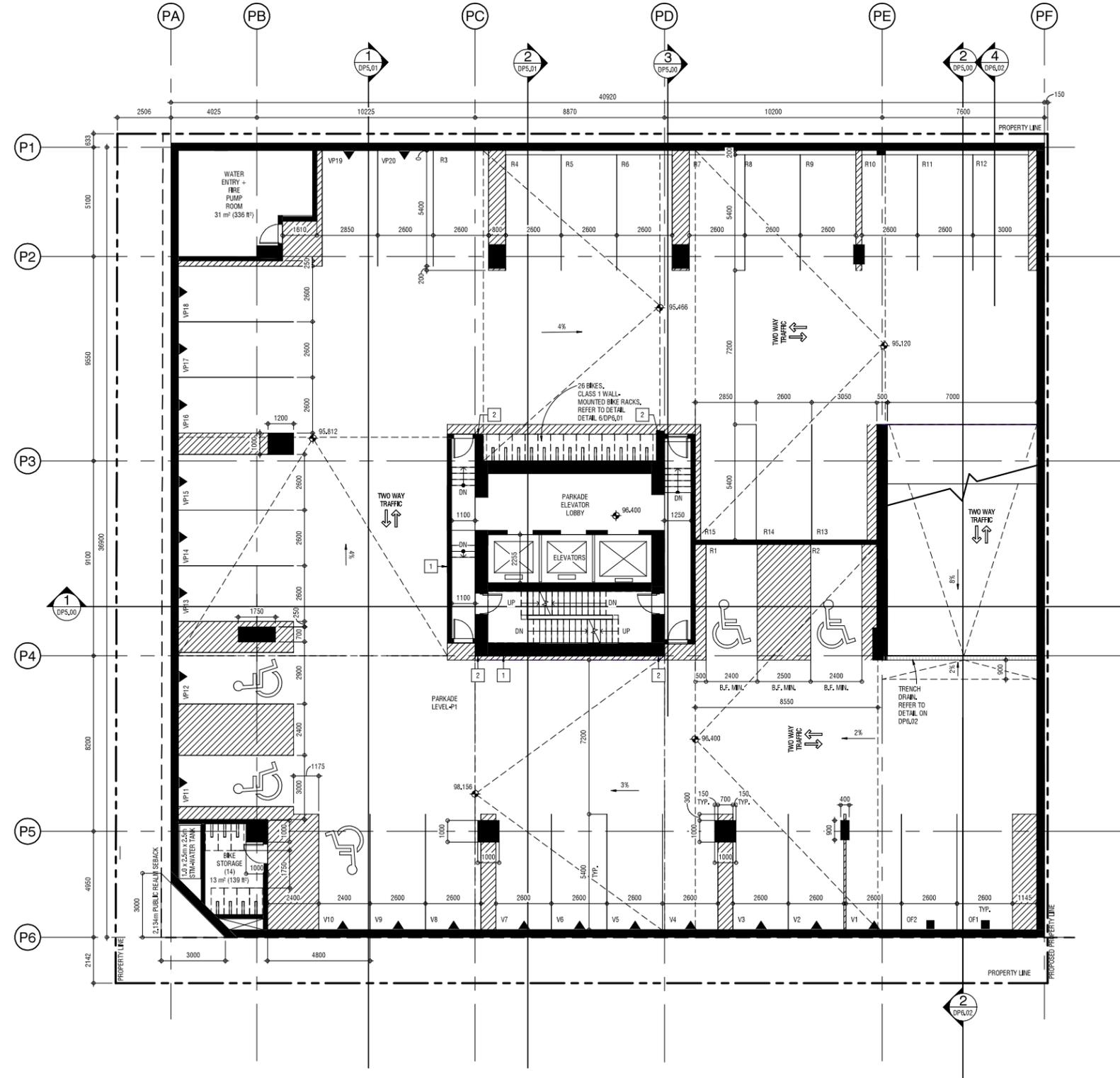
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DRAWING NO.
DP2.01





1 Parkade Level - P1
DP2.02 SCALE: 1 : 100

Parkade - General Notes

1. REFER TO DP0.01 FOR ALL VEHICULAR AND BICYCLE PARKING STATISTICS
2. ALL PAINTED LINES TO BE 100MM (YELLOW)
3. VISITOR PARKING STALLS REPRESENTED BY "V#" & BY THE SIGNAGE
4. OFFICE PARKING STALL REPRESENTED BY "OF#" & BY THE SIGNAGE
5. ALL WALLS, COLUMNS & CEILINGS TO BE PAINTED WHITE
6. LIGHT FIXTURES IN THE PARKADE TO BE POSITIONED OVER THE STALLS (NOT THE DRIVE AISLES)
7. ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS SHALL HAVE A TRANSPARENT PANEL FOR VISIBILITY AS PER A.B.C.

Parkade - Symbol Legend

- HATCHED AREA INDICATES NO PARKING ZONE
- INDICATES BARRIER FREE PARKING STALL
- "VISITOR PARKING ONLY" - WALL MOUNTED
- "OFFICE PARKING ONLY" - WALL MOUNTED
- "TO ELEVATOR LOBBY"
- "NO PARKING AT ANY TIME"



PARKADE LEVEL 01
4th Avenue Tower
 #526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
 LACAILLE
 219182

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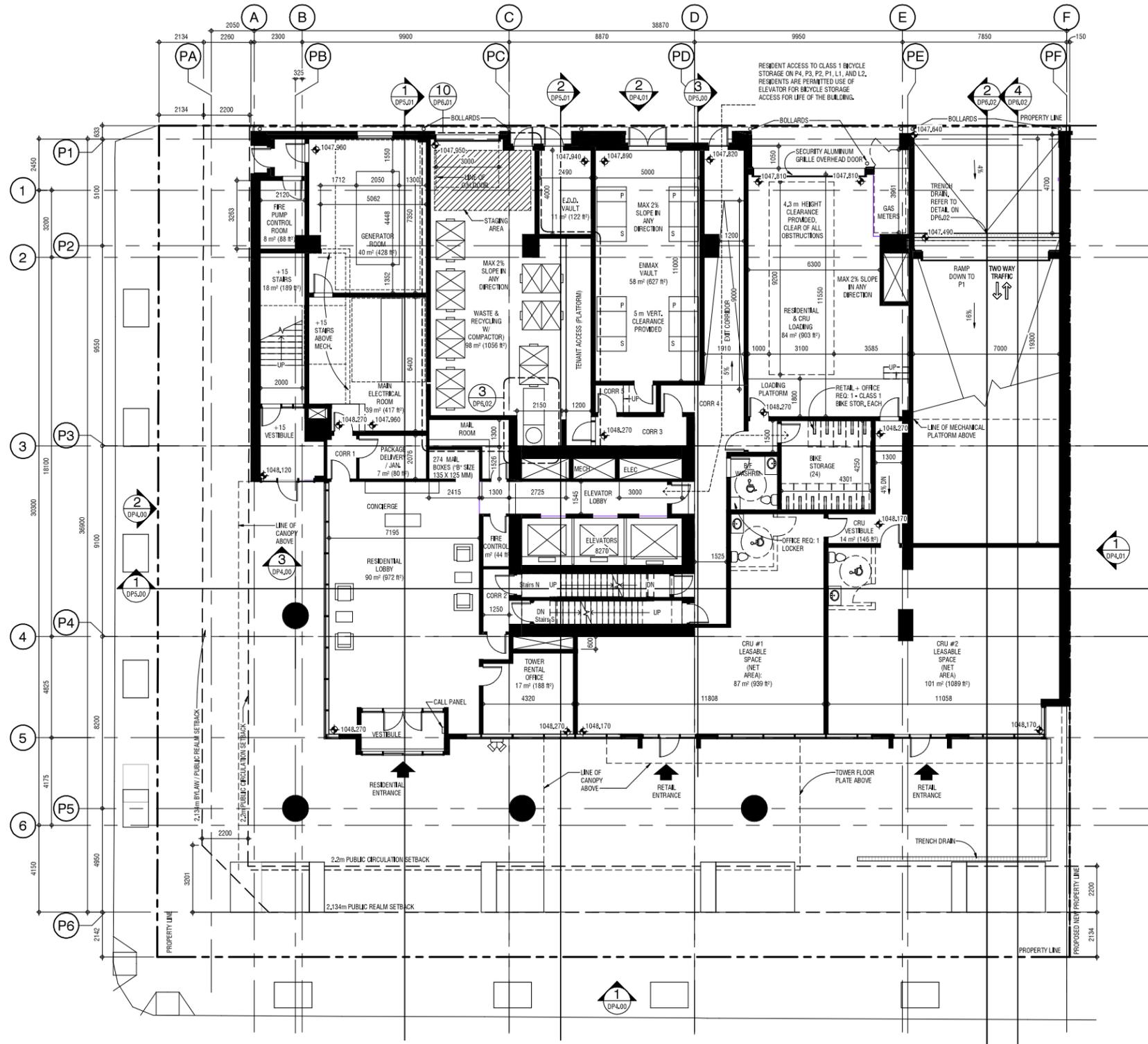
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DP2.02





1 Level 1 - Floor Plan
SCALE: 1:100



LEVEL 01 PLAN - MAIN FLOOR

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219 882

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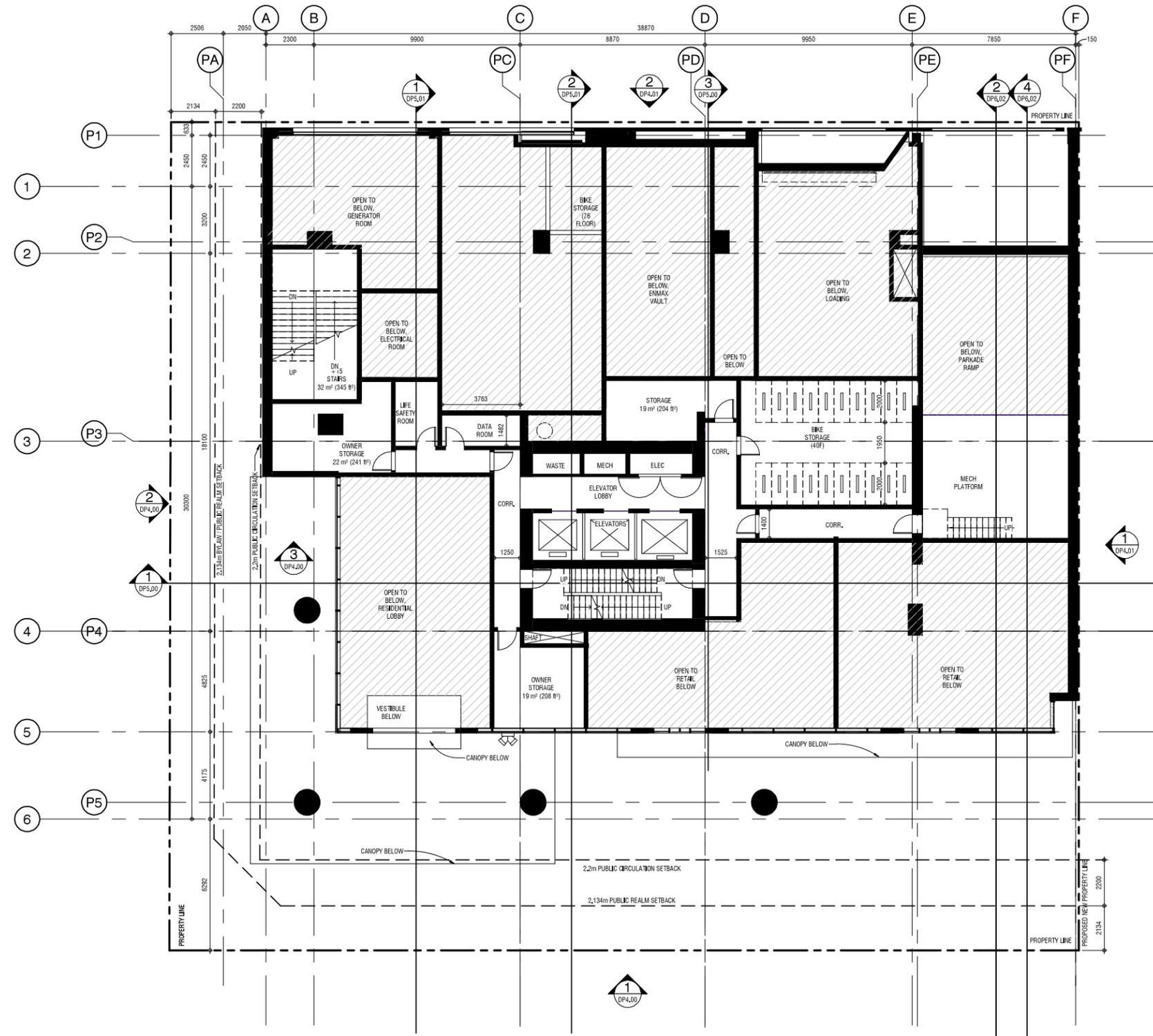
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REVISION	DATE
1 D.P. SUBMISSION	09.18.2020
2 DTR 1	01.27.2021
3 DTR 2	03.31.2021

SCALE 1:100
DATE 10/12/2021 10:19:54 AM
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CHECKED BY JC

DRAWING NO.
DP2.03





1 Level 2 - Storage
DP2.04 SCALE: 1:100

LEVEL 02 - STORAGE

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219162

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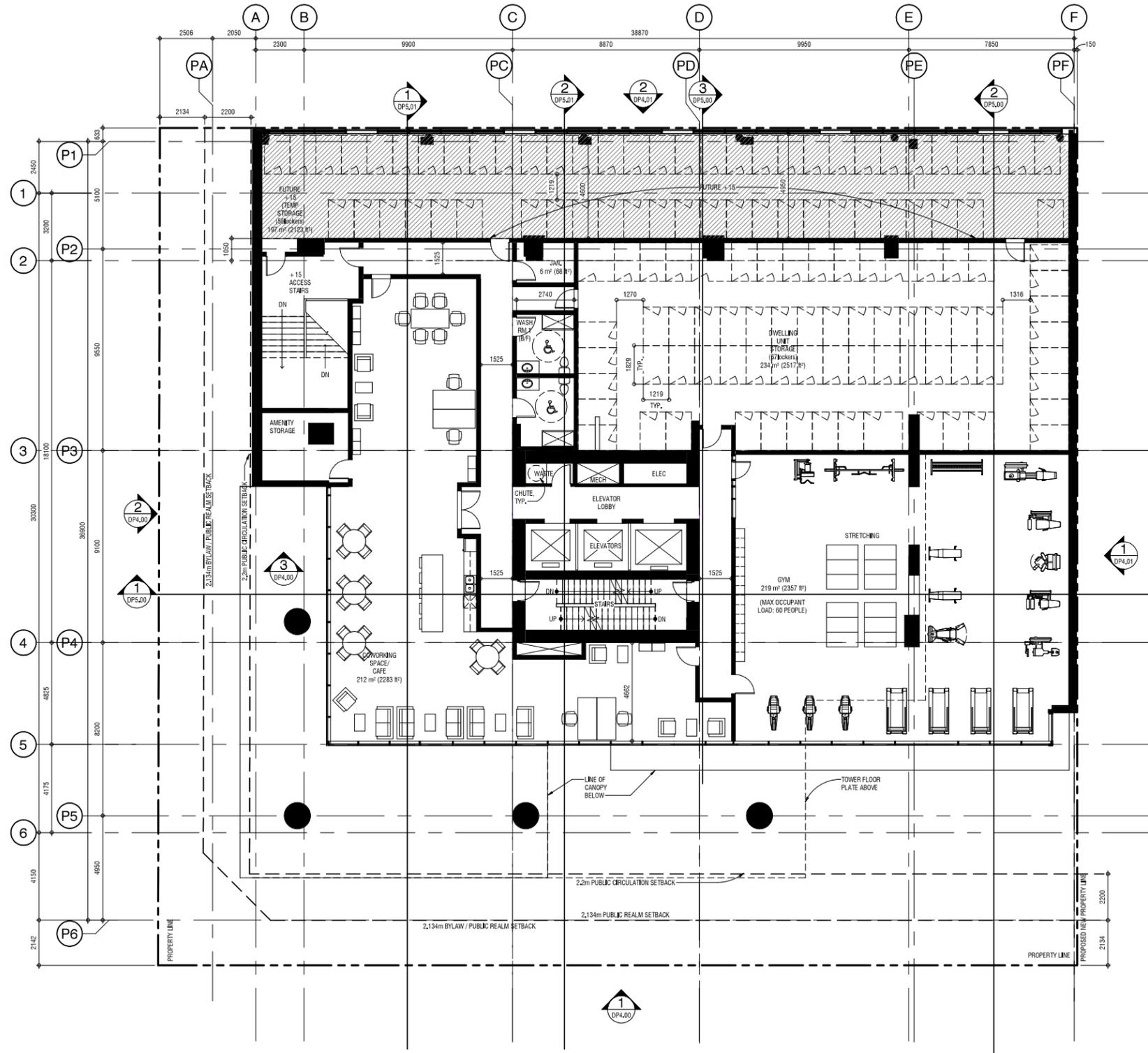
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REVISION	DATE
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2 DTR 1	01.27.2021
3 DTR 2	03.31.2021

SCALE: 1:100
DATE: 10/12/2021 10:19:57 AM
DRAWN BY: Author
CHECKED BY: Checker

DRAWING NO. **DP2.04**





1 Level 3 - Floor Plan
DP2.05 SCALE: 1 : 100
DP1.03



LEVEL 03 PLAN

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219182

NOT FOR CONSTRUCTION

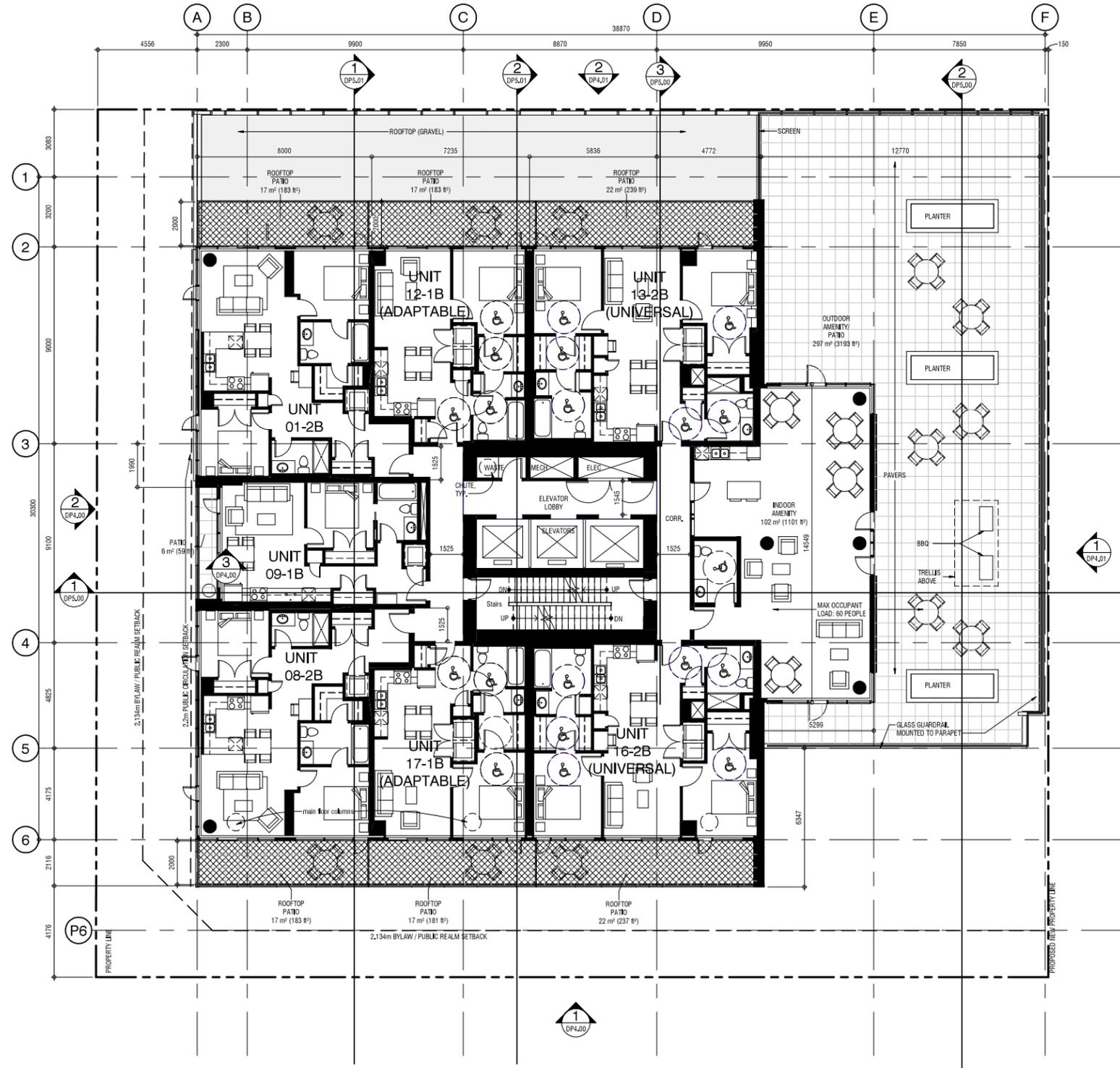
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DRAWING NO.
DP2.05





Residential/Amenity Floor - Legend

1. REFER TO DP-4.2 LANDSCAPE LAYOUT PLAN TOP ROOF FOR MORE INFORMATION ON OUTDOOR AMENITY AREA + ROOF TOP DECK FINISHES.

- INDICATED EXTENT OF GRAVEL
- INDICATES EXTENT OF ROOF TERRACE PATIO PAVERS
- INDICATES DWELLING UNIT PRIVATE AMENITY THAT MEETS BYLAW AREA REQUIREMENTS

1 Level 4 - Floor Plan
SCALE: 1 : 100



LEVEL 04 PLAN - RESIDENTIAL & AMENITY

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
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DTR 1	01.27.2021

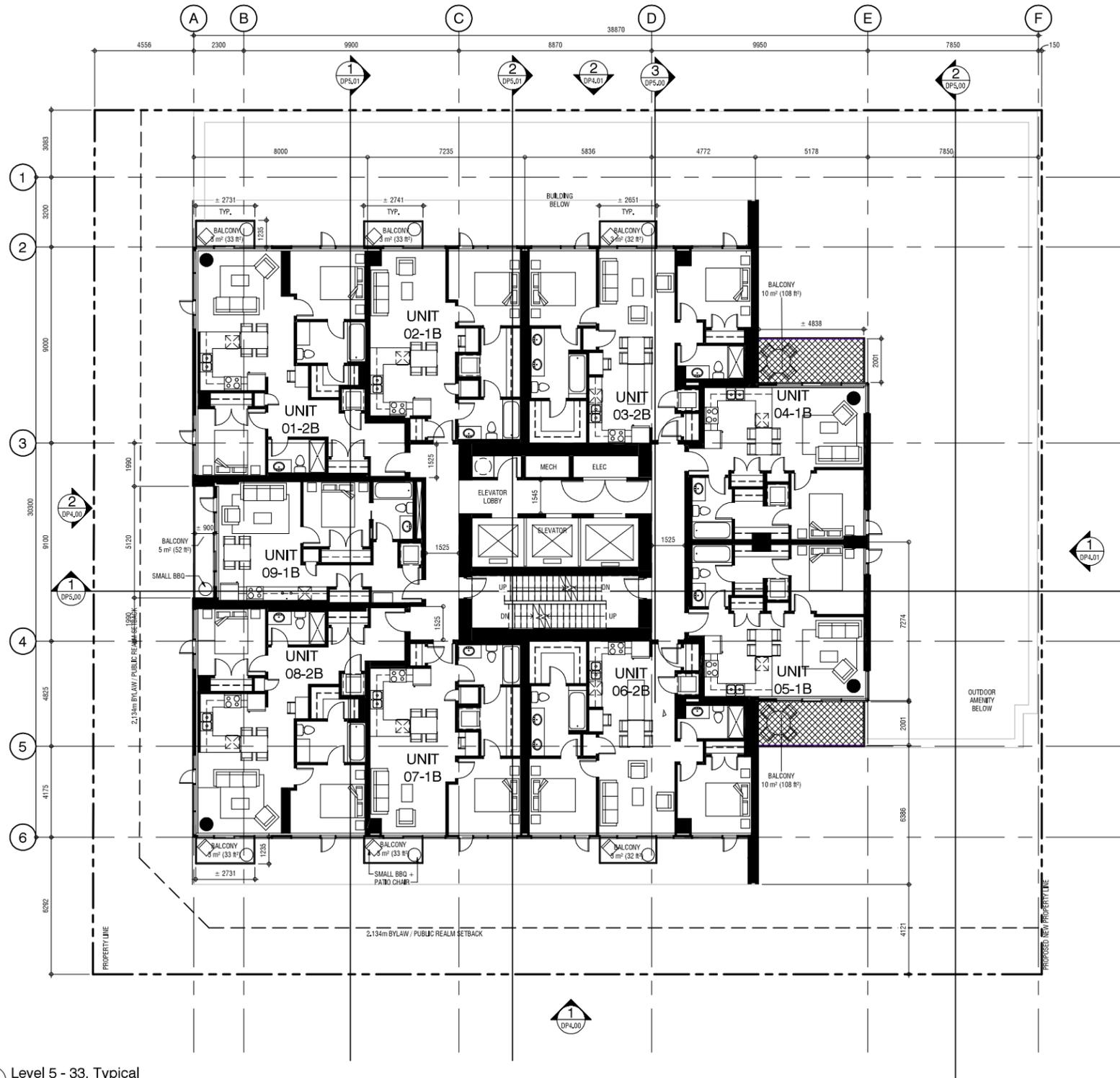
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DRAWING NO.
DP2.06





21100011 PWB - HCBM Inc. 531
Calgary, AB T2C 0G6 Canada V6B 2K4
T: 403.270.2228
F: 403.270.9888
www.s2architecture.com



Residential Floor - Symbol Legend

1. ALL TOWER BALCONIES ARE AN EXTENSION OF THE FLOOR SLAB. REFER TO STRUCTURAL FOR MORE INFORMATION.

- [Hatched Box] INDICATES EXTENT OF ROOF TERRACE, RESIDENTIAL ROOF PATIOS TO BE PAVERS, SERVICE ROOF BALCONIES TO BE GRAVEL
- [Grid Box] INDICATES EXTENT OF ROOF TERRACE PATIO PAVERS
- [Cross-hatched Box] INDICATES DWELLING UNIT PRIVATE AMENITY THAT MEETS BY-LAW AREA REQUIREMENTS

1 Level 5 - 33, Typical
DP2.07 SCALE: 1 : 100

LEVEL 05 - 33 - TYPICAL RESID. FLOOR PLATE

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
21P162

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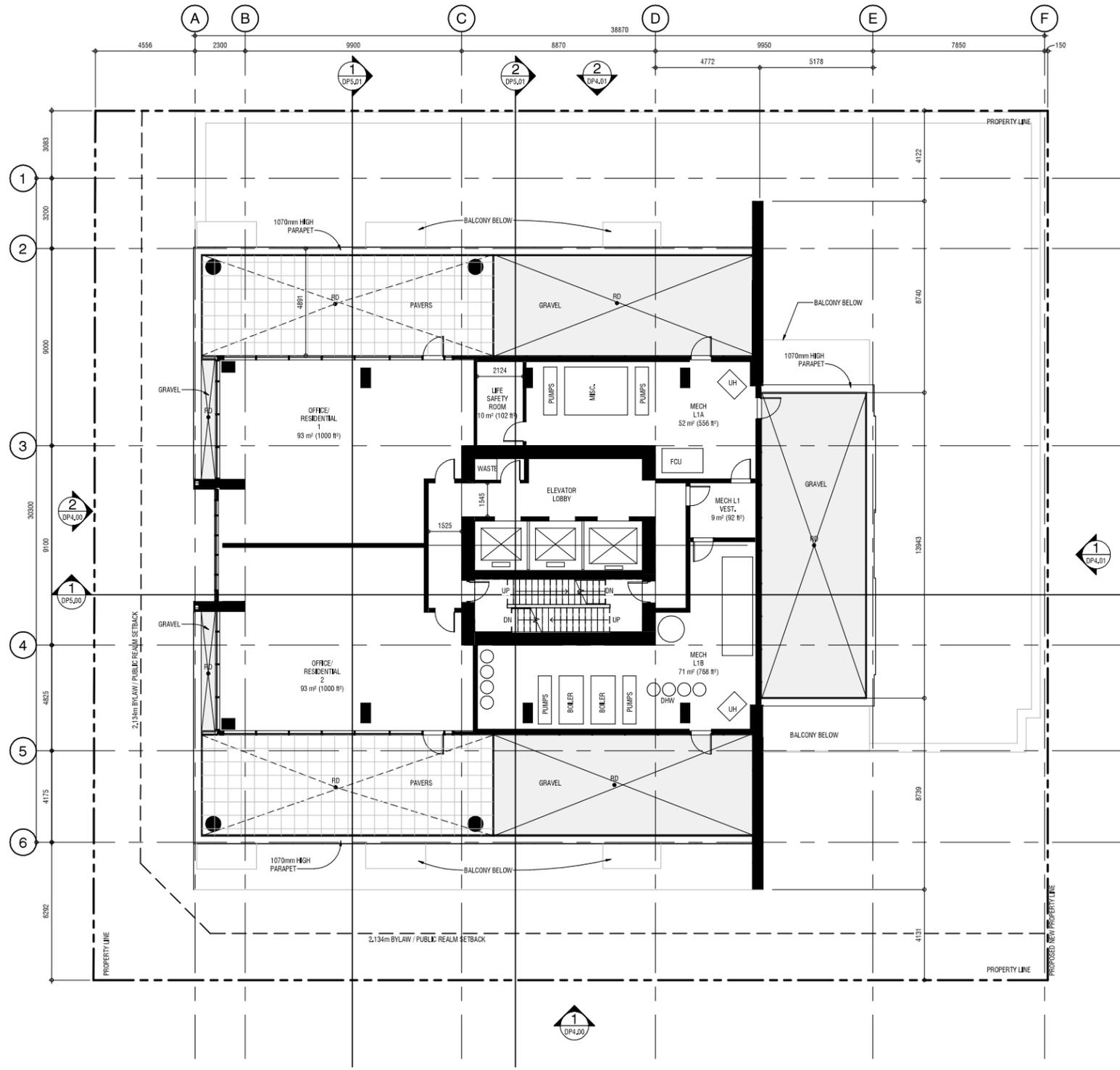
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DRAWING NO. **DP2.07**



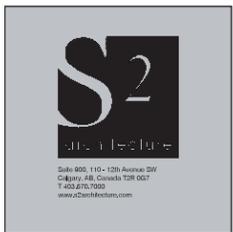


Residential Floor - Symbol Legend

- ALL TOWER BALCONIES ARE AN EXTENSION OF THE FLOOR SLAB. REFER TO STRUCTURAL FOR MORE INFORMATION.

- INDICATES EXTENT OF ROOF TERRACE, RESIDENTIAL ROOF PATIOS TO BE PAVERS, SERVICE ROOF BALCONIES TO BE GRAVEL
- INDICATES EXTENT OF ROOF TERRACE PATIO PAVERS
- INDICATES DWELLING LIMIT PRIVATE AMENITY THAT MEETS BYLAW AREA REQUIREMENTS

1 Level 34 - Office / Mechanical
SCALE: 1 : 100



LEVEL 34 - OFFICE / MECHANICAL

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219/82

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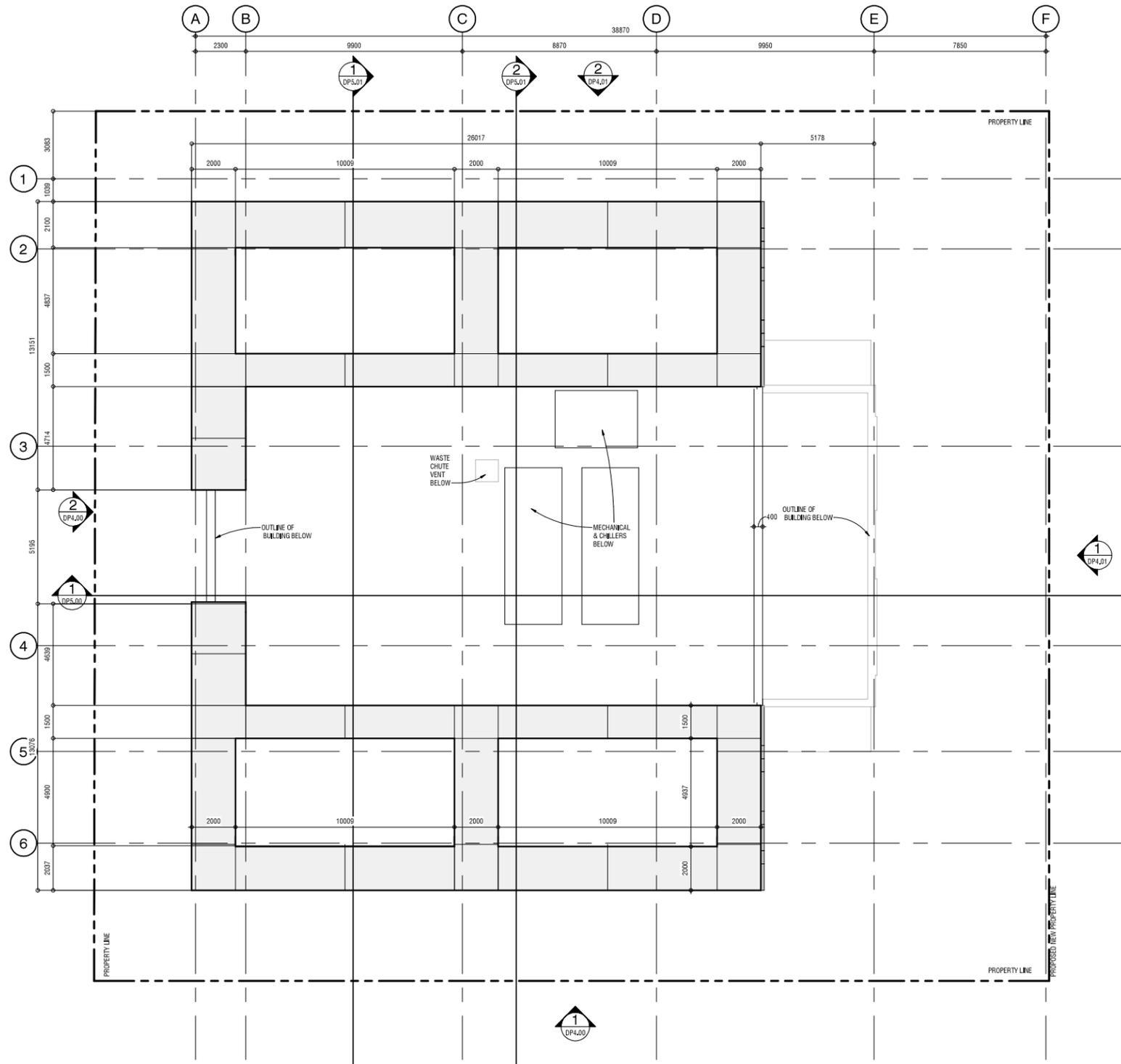
REVISION	DATE
1 D.P. SUBMISSION	09.18.2020
2 DTR 1	01.27.2021

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DRAWING NO.
DP2.08



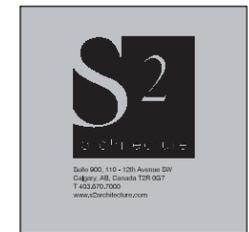
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Roof Plan - Symbol Legend

INDICATES EXTENT OF ROOF TOP CANOPY - METAL PANEL SYSTEM

1 Roof Top Screen (Above Chillers)
DP2.10 SCALE: 1 : 100



ROOF TOP SCREEN

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219182

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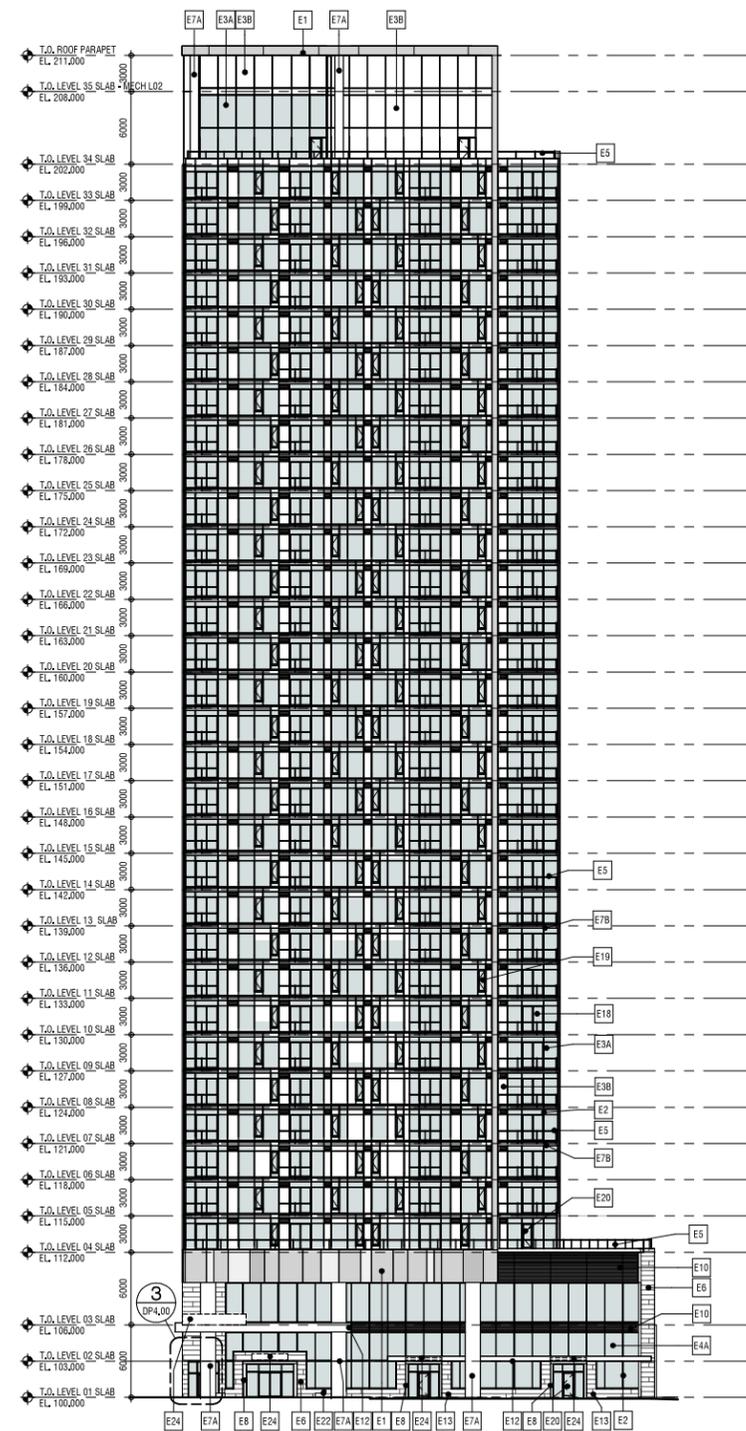
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DRAWING NO.
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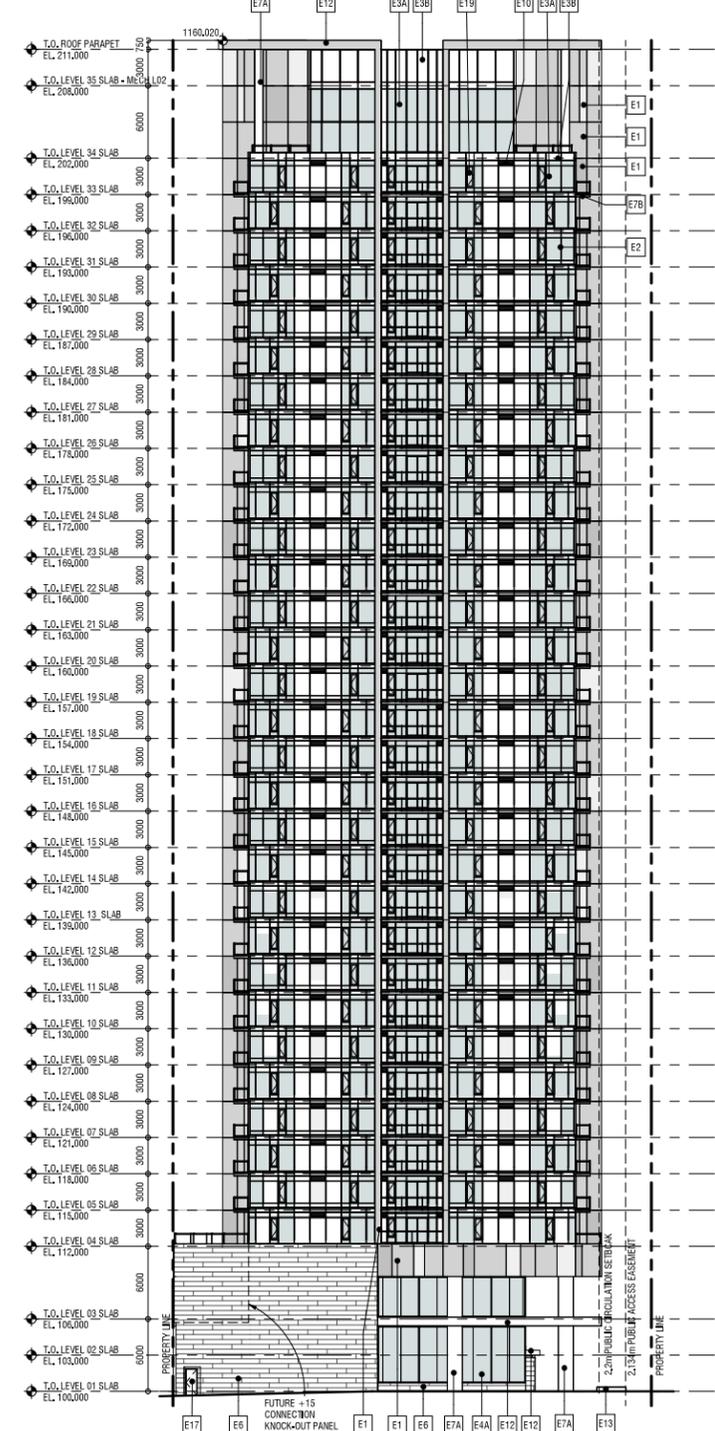
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BUILDING ELEVATIONS - S & W
4th Avenue Tower
 #526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
 LACAILLE
 219 182



1 South Elevation
DP4.00 SCALE: 1 : 250



2 West Elevation
DP4.00 SCALE: 1 : 250

Elevation - General Notes

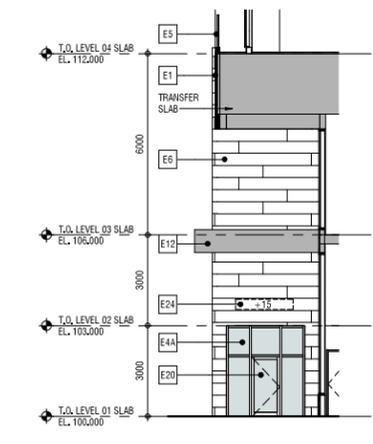
- ALL ALUMINUM SOFFIT, EAVES & RAINWATER LEADERS TO BE GREY
- ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Material Legend

E1	COMPOSITE PANELS - COLOUR: THREE TONES OF GREY, SEE PATTERN NUMBERS BELOW.
E2	PRE-FINISHED ALUMINUM WINDOW SYSTEM - COLOUR: ANODIZED
E3A	ALUMINUM WINDOW WALL - GLAZING: TINTED
E3B	ALUMINUM WINDOW WALL - SPANDREL: WHITE
E4A	ALUMINUM CURTAIN WALL - GLAZING: CLEAR
E5	PRE-FINISHED ALUMINUM RAILING C/W GLASS INFILL PANEL
E6	FIBRE-REINFORCED CEMENTITIOUS PANELS - (400MM X 3000MM) - COLOUR: MEDIUM GREY
E7A	SACK-RUBBED CONCRETE
E7B	CONCRETE BALCONY
E8	PRE-FINISHED METAL CLADDING
E10	PRE-FINISHED LOUVER - COLOUR: ANODIZED
E12	PRE-FINISHED METAL CANOPY - COLOUR: ANODIZED
E13	BENCH - REFER TO LANDSCAPE
E16	OVERHEAD DOOR - PARKADE
E17	DOOR - TYPE 03 - PRE-FINISHED STEEL DOOR
E18	DOOR - TYPE 04 - ALUMINUM W. CLEAR GLAZING
E19	PRE-FINISHED LOUVER - COLOUR: ANODIZED
E20	PRE-FINISHED METAL CANOPY - COLOUR: ANODIZED
E22	BENCH - REFER TO LANDSCAPE
E23	CHAINLINK FENCE 1800 HIGH REFER TO DETAIL 7.DP6.21
E24	SIGNAGE, TO BE SUBMITTED AS A SEPARATE DP.

COMPOSITE PANELS - COLOUR PATTERN
PATTERN INDICATED IS SUGGESTIVE. FINAL PATTERN TO BE COORDINATED WITH SUPPLIER.

[Pattern]	P1
[Pattern]	P2
[Pattern]	P3



3 +15 Entrance
DP4.00 SCALE: 1 : 100

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DRAWING NO.
DP4.00



1 S & W ELEVATIONS - COLOURED
SCALE: 1 : 75



BUILDING ELEVATIONS - COLOURED - S & W

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2/19/22

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DATE 10/12/2021 10:20:28 AM
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DRAWING NO.
DP4.00A

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Calgary, Alberta, Canada T2C 0A4
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404-2010100-000-000
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BUILDING ELEVATIONS - N & E

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219 852

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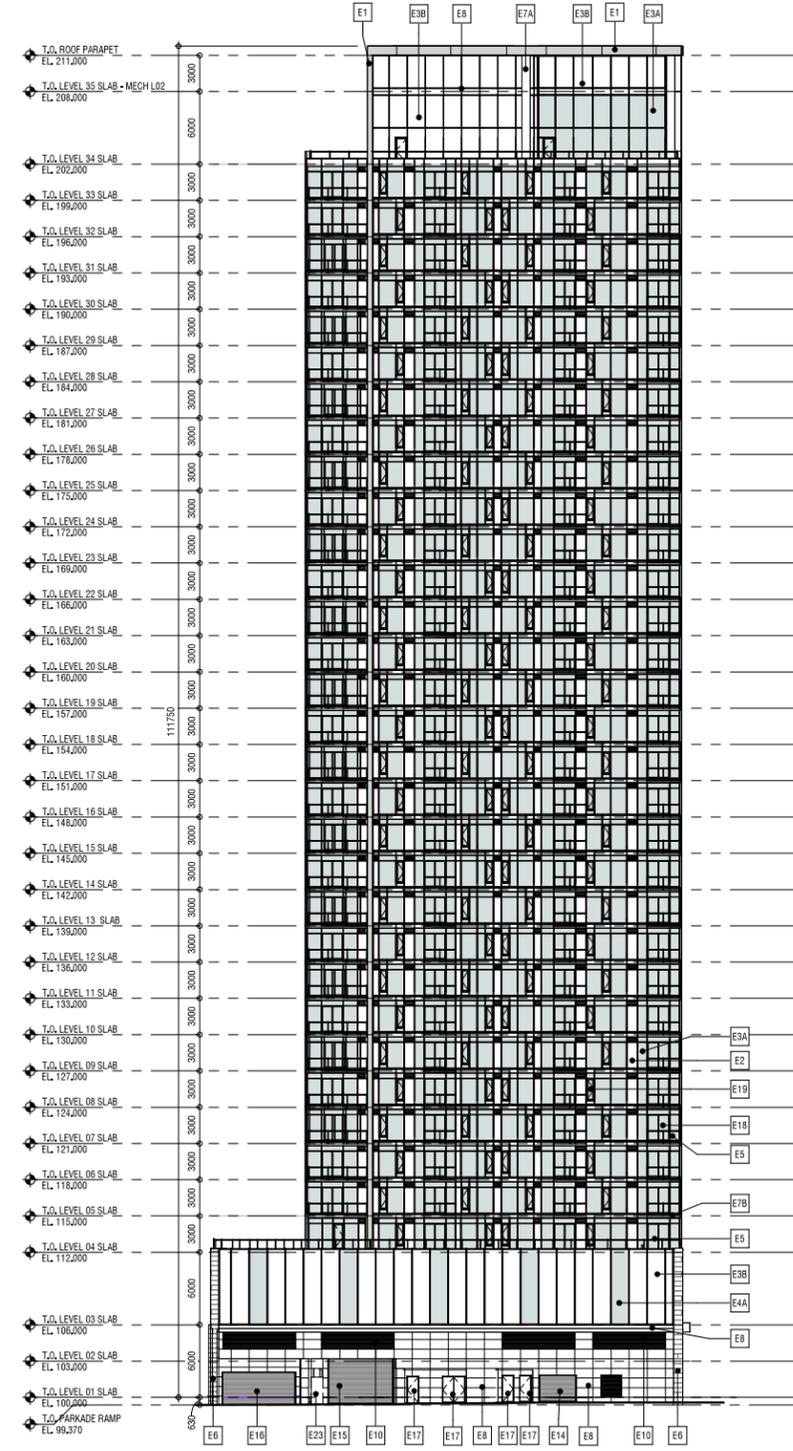
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D.P. SUBMISSION	09/18/2020
DTR 1	01/27/2021

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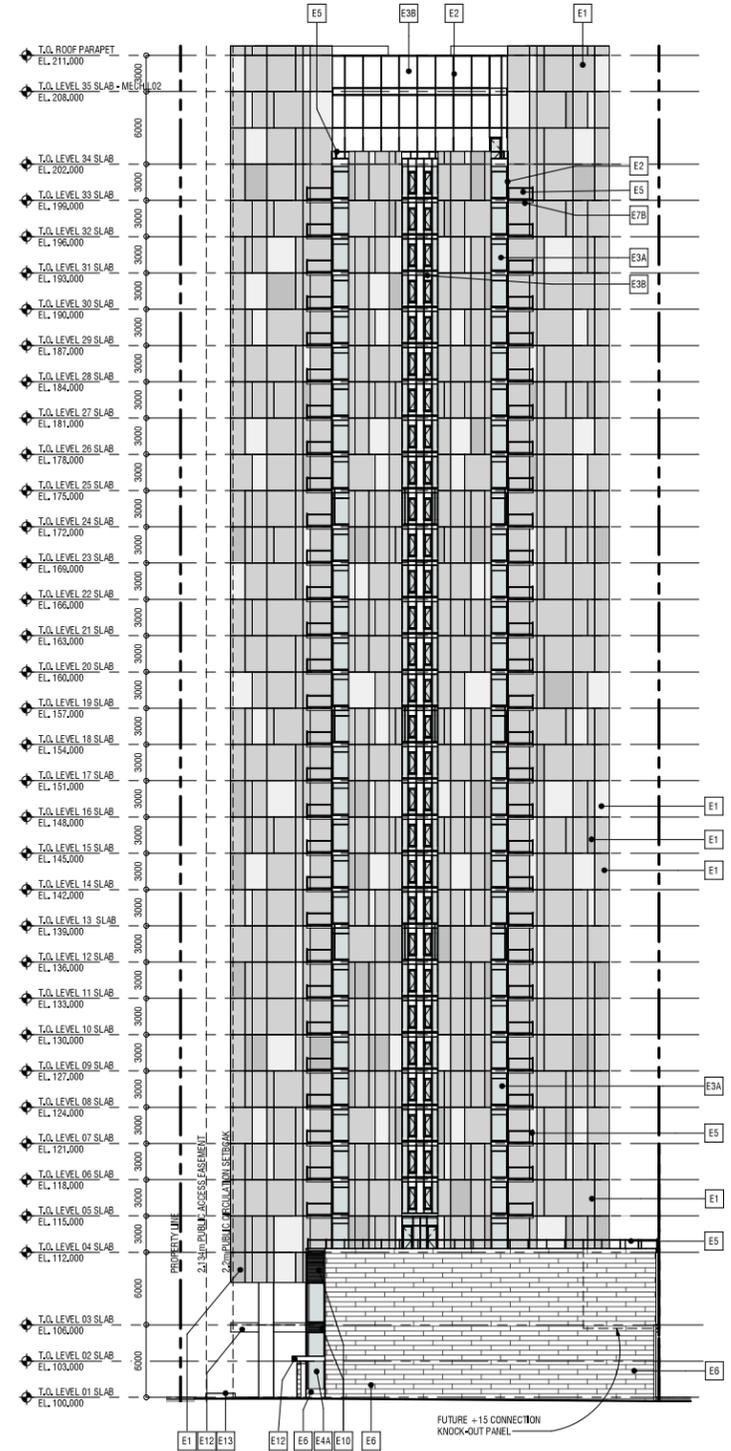
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DP4.01

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2 North Elevation
DP4.01 SCALE: 1 : 250



1 East Elevation
DP4.01 SCALE: 1 : 250

Elevation - General Notes

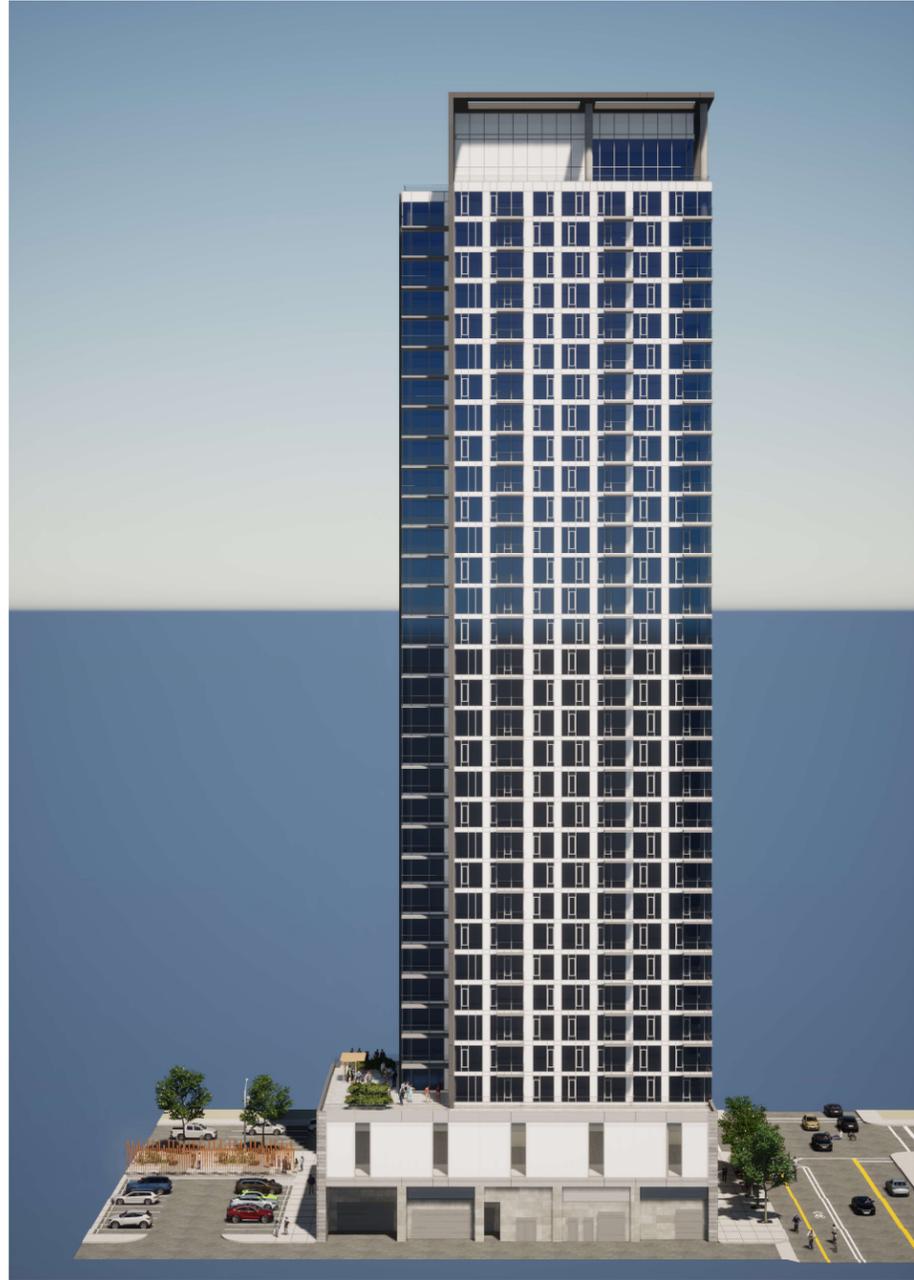
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2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Material Legend

- E1 COMPOSITE PANELS - COLOUR: THREE TONES OF GREY, SEE PATTERN NUMBERS BELOW.
- E2 PRE-FINISHED ALUMINUM WINDOW SYSTEM - COLOUR: ANODIZED
- E3A ALUMINUM WINDOW WALL - GLAZING: TINTED
- E3B ALUMINUM WINDOW WALL - SPANDREL: WHITE
- E4A ALUMINUM CURTAIN WALL - GLAZING: CLEAR
- E5 PRE-FINISHED ALUMINUM RAILING C/W GLASS INFILL PANEL
- 6 FIBRE-REINFORCED CEMENTITIOUS PANELS - (400MM X 3000MM) - COLOUR: MEDIUM GREY
- E7A SACK-RUBBED CONCRETE
- E7B CONCRETE BALCONY
- E8 PRE-FINISHED METAL CLADDING
- E10 PRE-FINISHED LOUVER - COLOUR: ANODIZED
- E12 PRE-FINISHED METAL CANOPY - COLOUR: ANODIZED
- E13 BENCH - REFER TO LANDSCAPE
- E16 OVERHEAD DOOR - PARKADE
- E17 DOOR - TYPE 03 - PRE-FINISHED STEEL DOOR
- E18 DOOR - TYPE 04 - ALUMINUM W/ CLEAR GLAZING
- E19 PRE-FINISHED LOUVER - COLOUR: ANODIZED
- E20 PRE-FINISHED METAL CANOPY - COLOUR: ANODIZED
- E22 BENCH - REFER TO LANDSCAPE
- E23 CHAINLINK FENCE 1800 HIGH REFER TO DETAIL 7.DP6.01
- E24 SIGNAGE, TO BE SUBMITTED AS A SEPARATE DP.

COMPOSITE PANELS - COLOUR PATTERN
PATTERN INDICATED IS SUGGESTIVE, FINAL PATTERN TO BE COORDINATED WITH SUPPLIER.





1 N & E ELEVATIONS - COLOURED
DP4.01A SCALE: 1:75



BUILDING ELEVATIONS - COLOURED - N & E

4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
2119182

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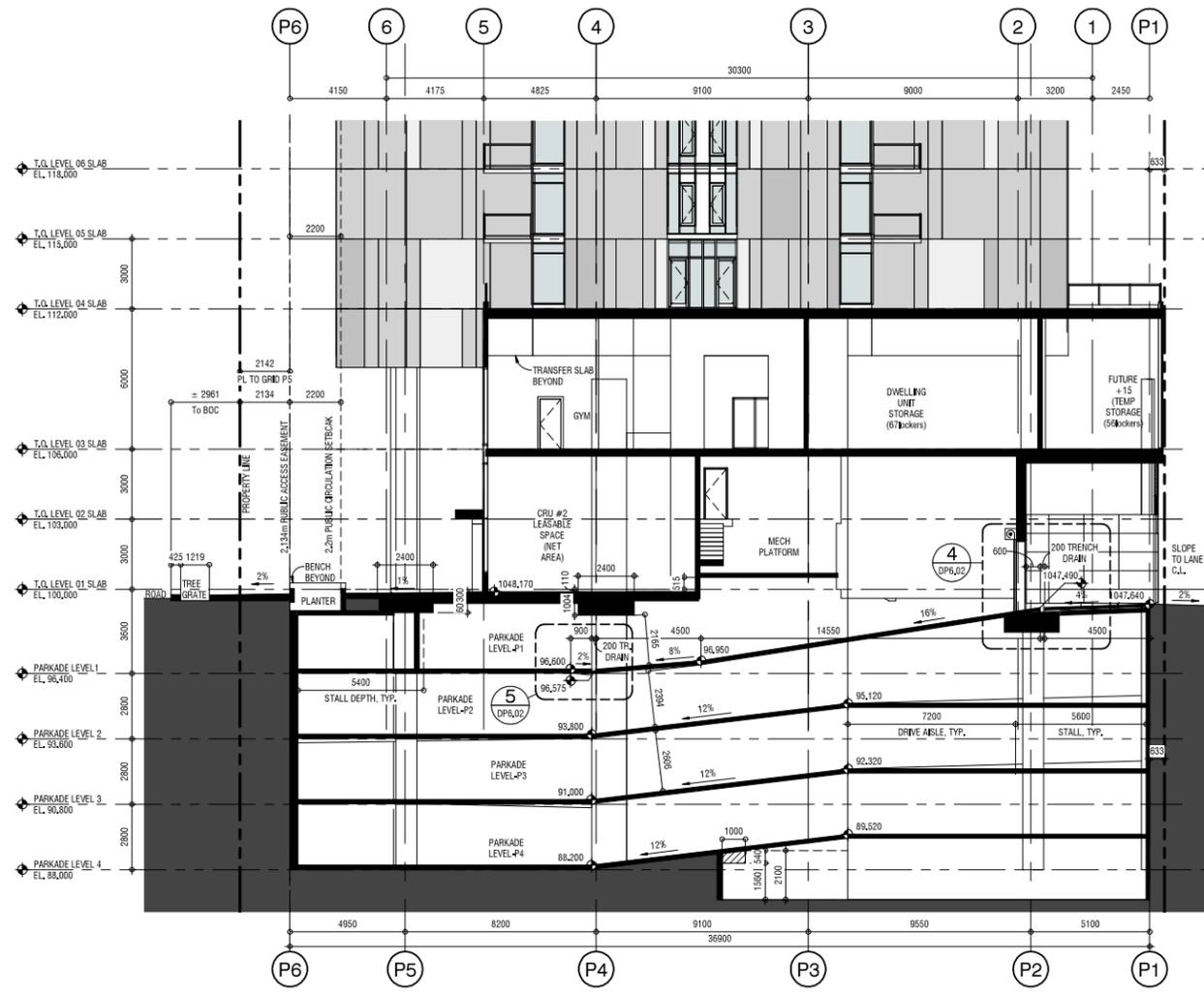
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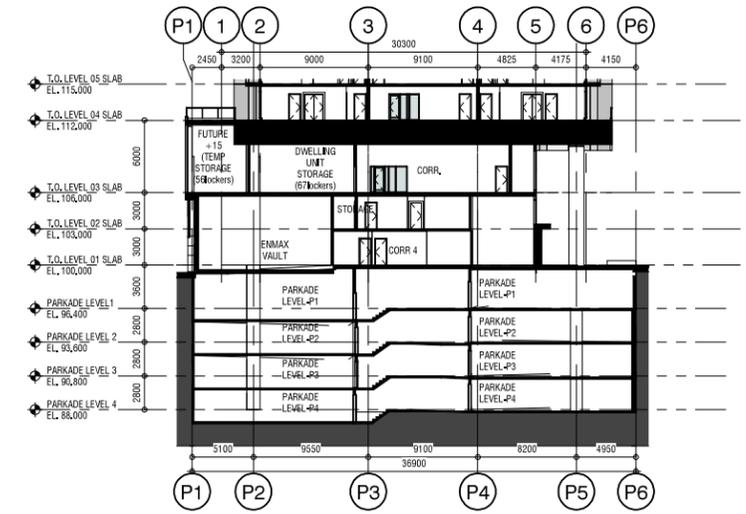
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CHECKED BY Checker

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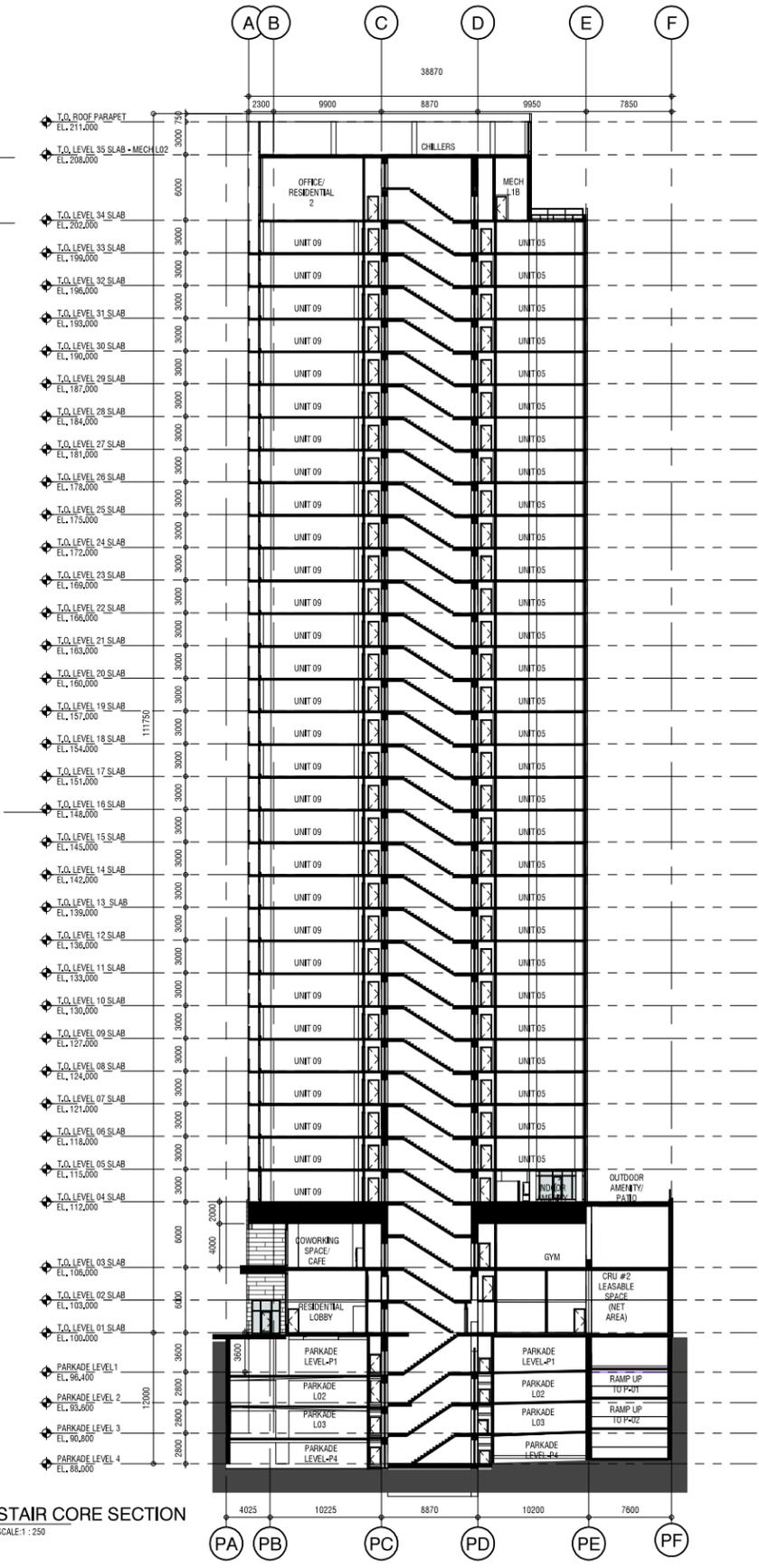
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2 PLAZA + PARKADE RAMP SECTION
SCALE: 1:125
DP5.00
DP2.00



3 PARKADE CORE ACCESS SECTION
SCALE: 1:250
DP5.00
DP2.00



1 STAIR CORE SECTION
SCALE: 1:250
DP5.00



BUILDING SECTIONS
4th Avenue Tower
#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE
219182

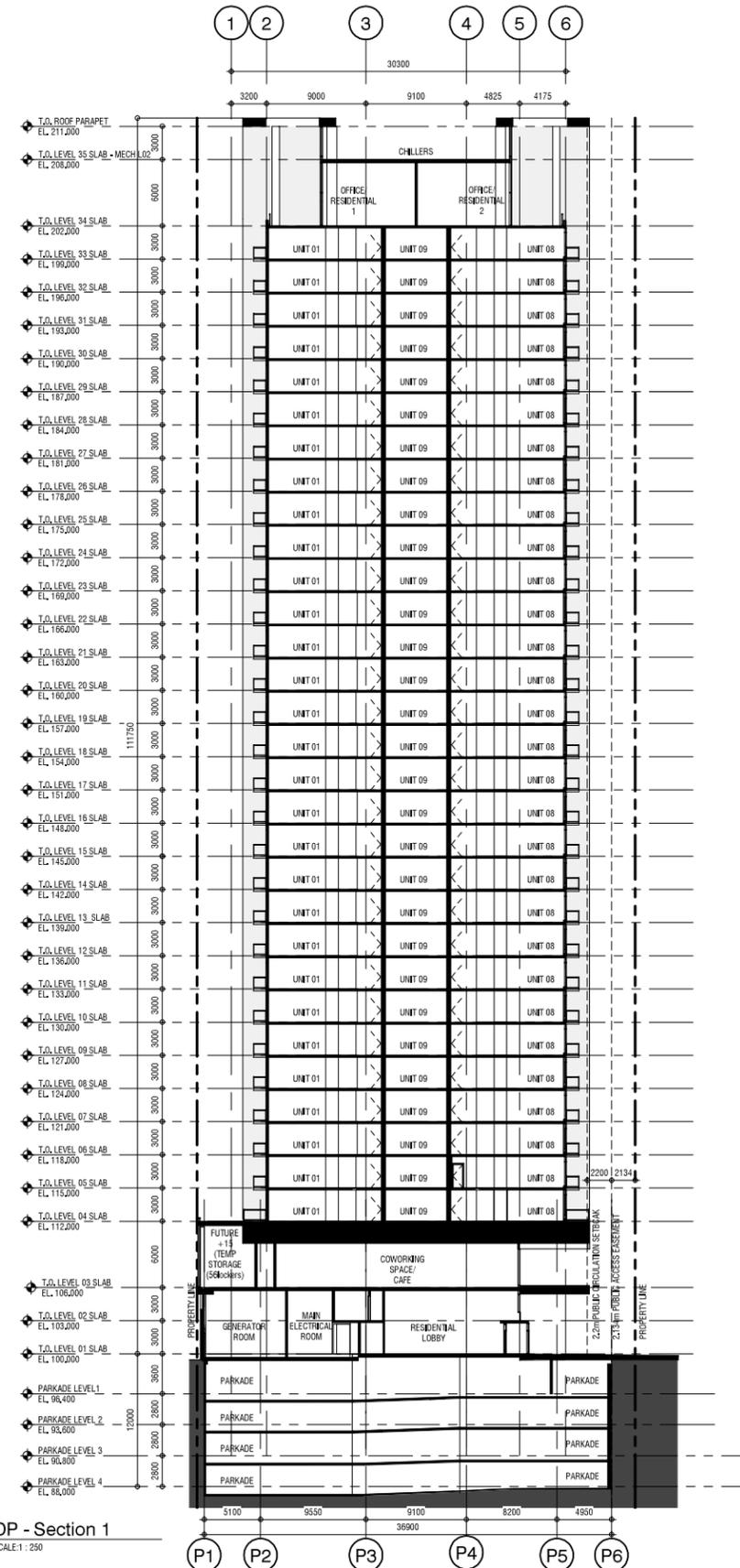
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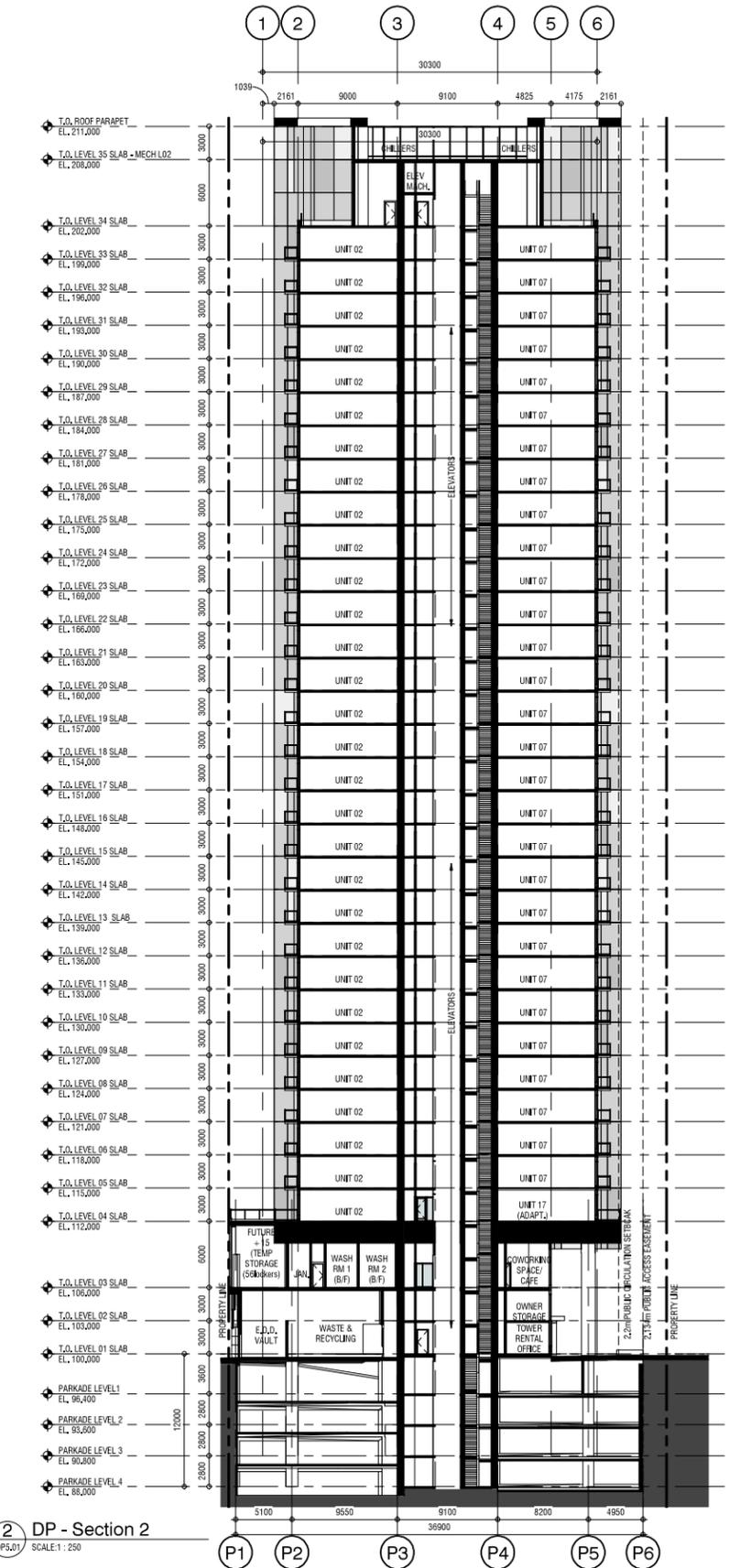
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DTR 1	01.27.2021
DTR 2	03.31.2021

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CHECKED BY: JC

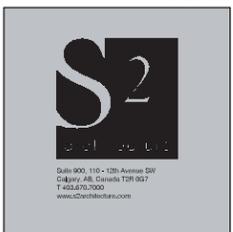
DRAWING NO.
DP5.00



1 DP - Section 1
SCALE: 1 : 250



2 DP - Section 2
SCALE: 1 : 250



BUILDING SECTIONS

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296

LACAILLE

219 182

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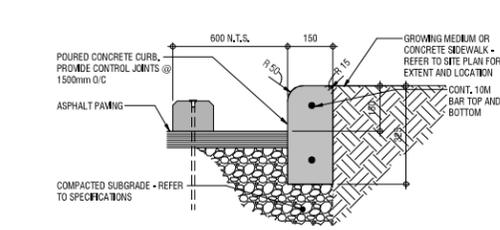
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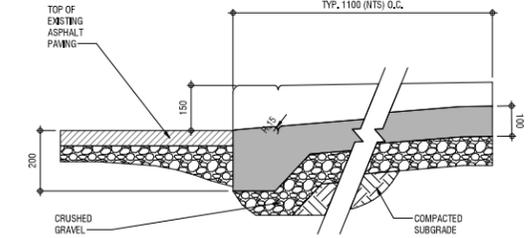
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1 D.P. SUBMISSION	09/18/2020
2 DTR 1	01/27/2021

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CHECKED BY: JC

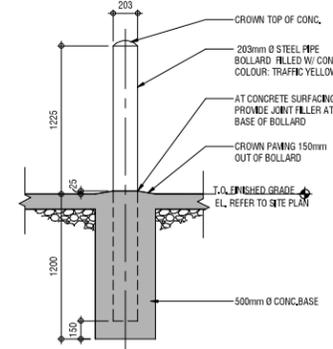
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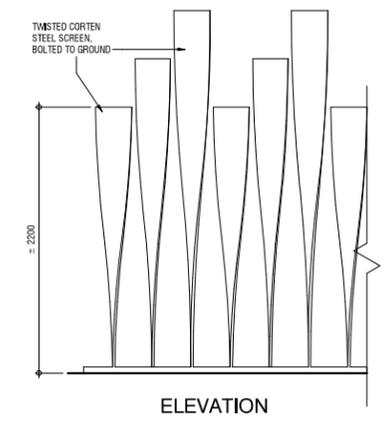
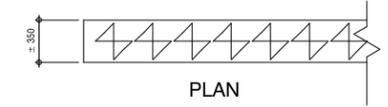
1 Curb (Typ) & Wheel Stop
DP6.01 SCALE: 1:10



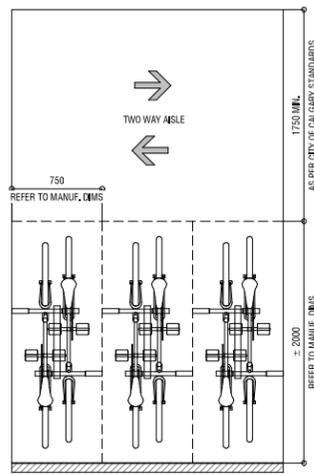
2 Monolith Curb Cut Sidewalk
DP6.01 SCALE: 1:10



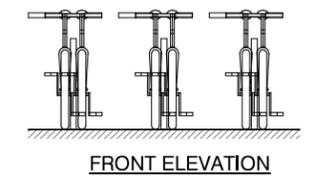
3 BOLLARD, TYP.
DP6.01 SCALE: 1:25



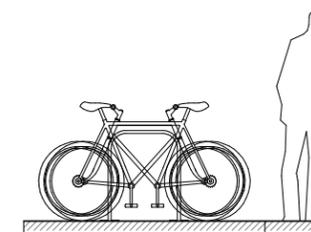
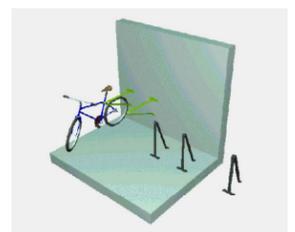
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DP6.01 SCALE: 1:25



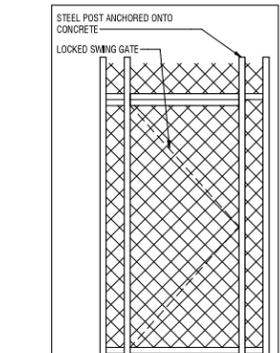
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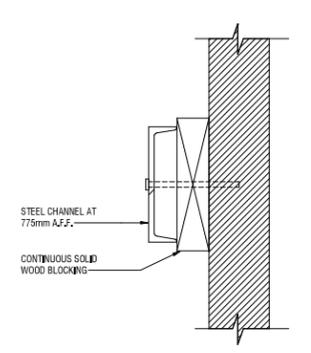
FRONT ELEVATION



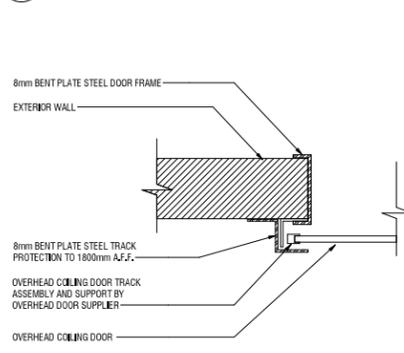
SIDE ELEVATION



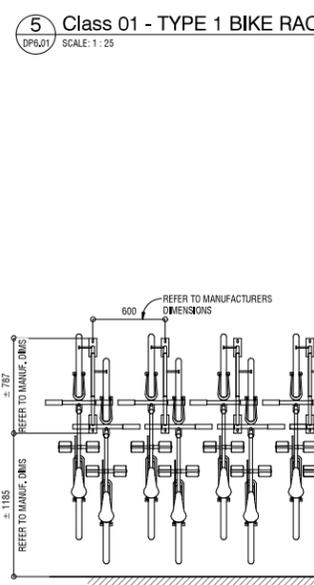
7 GAS METER CHAIN-LINK FENCE
DP6.01 SCALE: 1:25



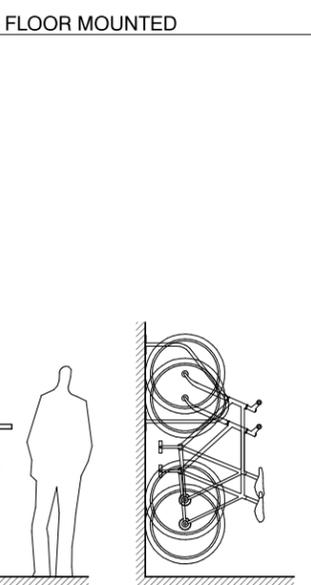
8 WALL PROTECTION DETAIL
DP6.01 SCALE: 1:10



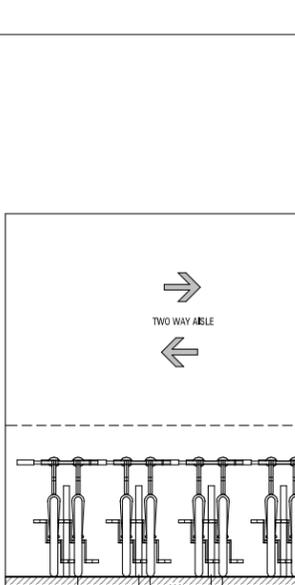
9 OVERHEAD DOOR RAIL DETAIL
DP6.01 SCALE: 1:10



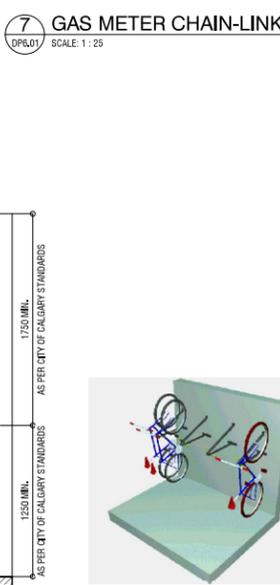
6 Class 01 - TYPE 1 BIKE RACK PLAN - WALL MOUNTED
DP6.01 SCALE: 1:25



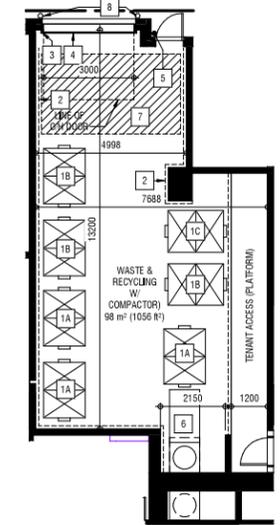
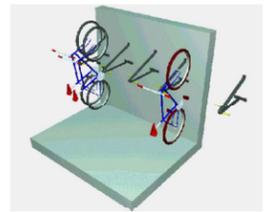
FRONT ELEVATION



SIDE ELEVATION



PLAN



10 W & R Storage & Staging
DP6.01 SCALE: 1:100

Waste & Recycling - General Notes	
1.	FOR SU-B VEHICLE TRAVEL PATH REFER TO DP 1.01
2.	ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM 25,000KG LOAD
3.	THE MAXIMUM GRADE WHERE CONTAINERS ARE STORED, MANEUVERED OR COLLECTED IS 2% IN ALL DIRECTIONS.
Waste & Recycling - General Notes	
1A	4 CIL YD. BIN - LANDFILL WASTE
1B	4 CIL YD. BIN - RECYCLABLE WASTE
1C	4 CIL YD. BIN - COMPOSTABLE WASTE
2	TYPICAL WALL PROTECTION - REFER TO DETAIL 8/DP6.01
3	1.80m HIGH OVERHEAD DOOR TRACK PROTECTION ANCHORED TO WALL AND FLOOR - REFER TO DETAIL 9/DP6.01
4	OVERHEAD DOOR 2.1m HEIGHT
5	KEYPAD ACCESS DOOR
6	WASTE COMPACTOR (3.1) DIMENSIONS: 1800mm (L) X 1000mm (W)
7	WASTE AND RECYCLING STAGING AREA
8	BOLLARDS PROTECTING THE OVERHEAD DOOR COMPONENTS



219 B2

4th Avenue Tower

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296
LACAILLE

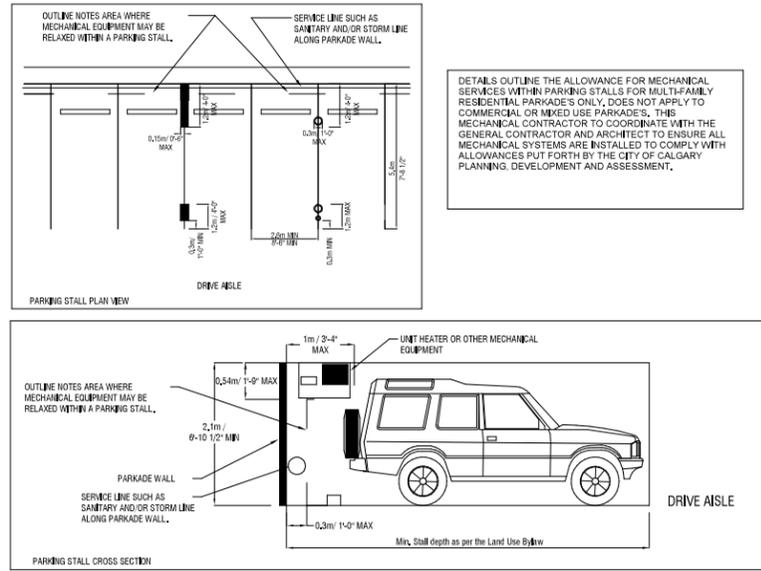
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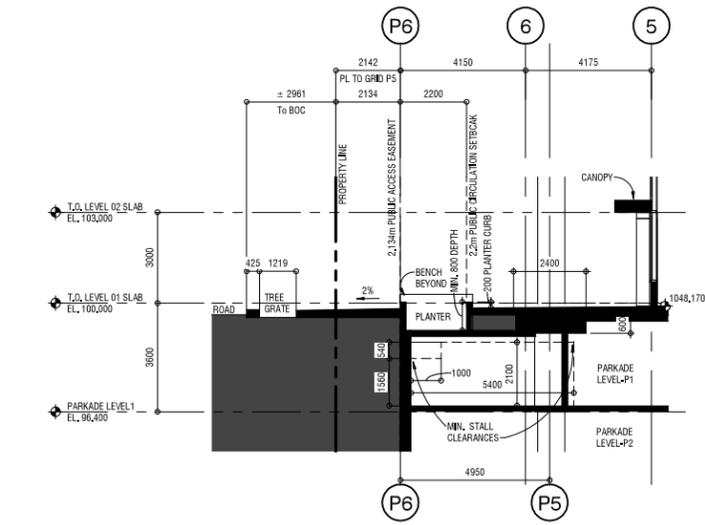
REVISION	DATE
▲ D.P. SUBMISSION	09.18.2020
▲ DTR 1	01.27.2021
▲ DTR 2	03.31.2021

SCALE: As indicated
DATE: 10/12/2021 10:21:08 AM
DRAWN BY: Author
CHECKED BY: Checker

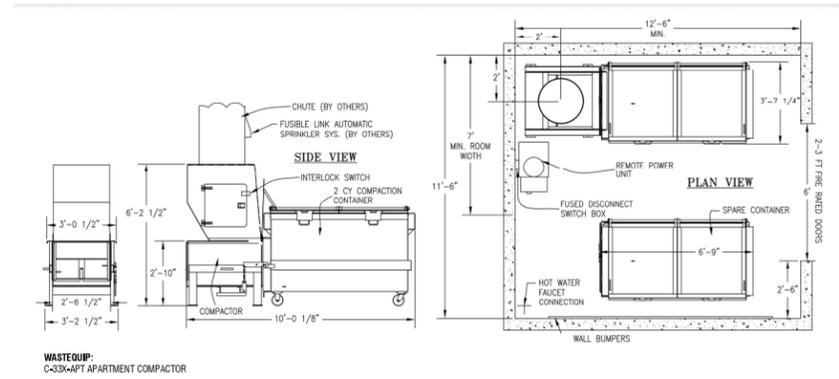
DRAWING NO. **DP6.01**



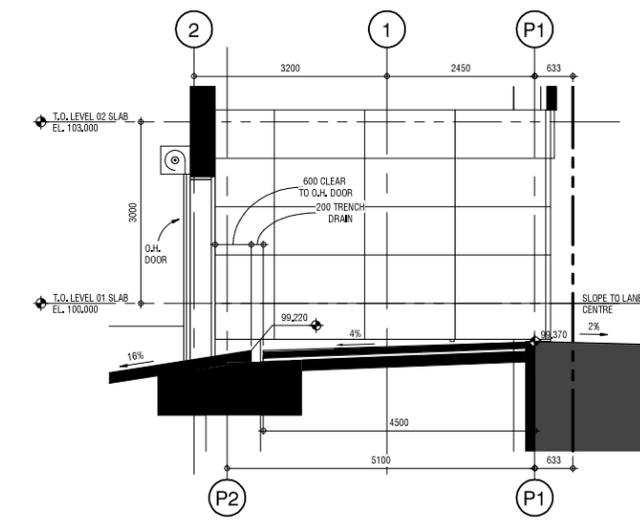
1 ENCROACHMENT DETAIL
DP6.02 SCALE: 1 : 100



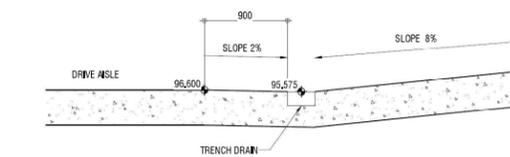
2 PLAZA SECTION
DP6.02 SCALE: 1 : 100



3 COMPACTOR
DP6.02 SCALE: 1 : 50



4 PARKADE TRENCH DRAIN 1
DP6.02 SCALE: 1 : 50



5 PARKADE TRENCH DRAIN 2
DP6.02 SCALE: 1 : 50



5200004 PEB-1030 Rev.0101
Calgary, AB T2C 0P6 Canada TEL 304
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4th Avenue Tower
LACAILLE

#526 4TH AVENUE SW, CALGARY, AB, LOT 33, BLOCK 1, PLAN 0914296

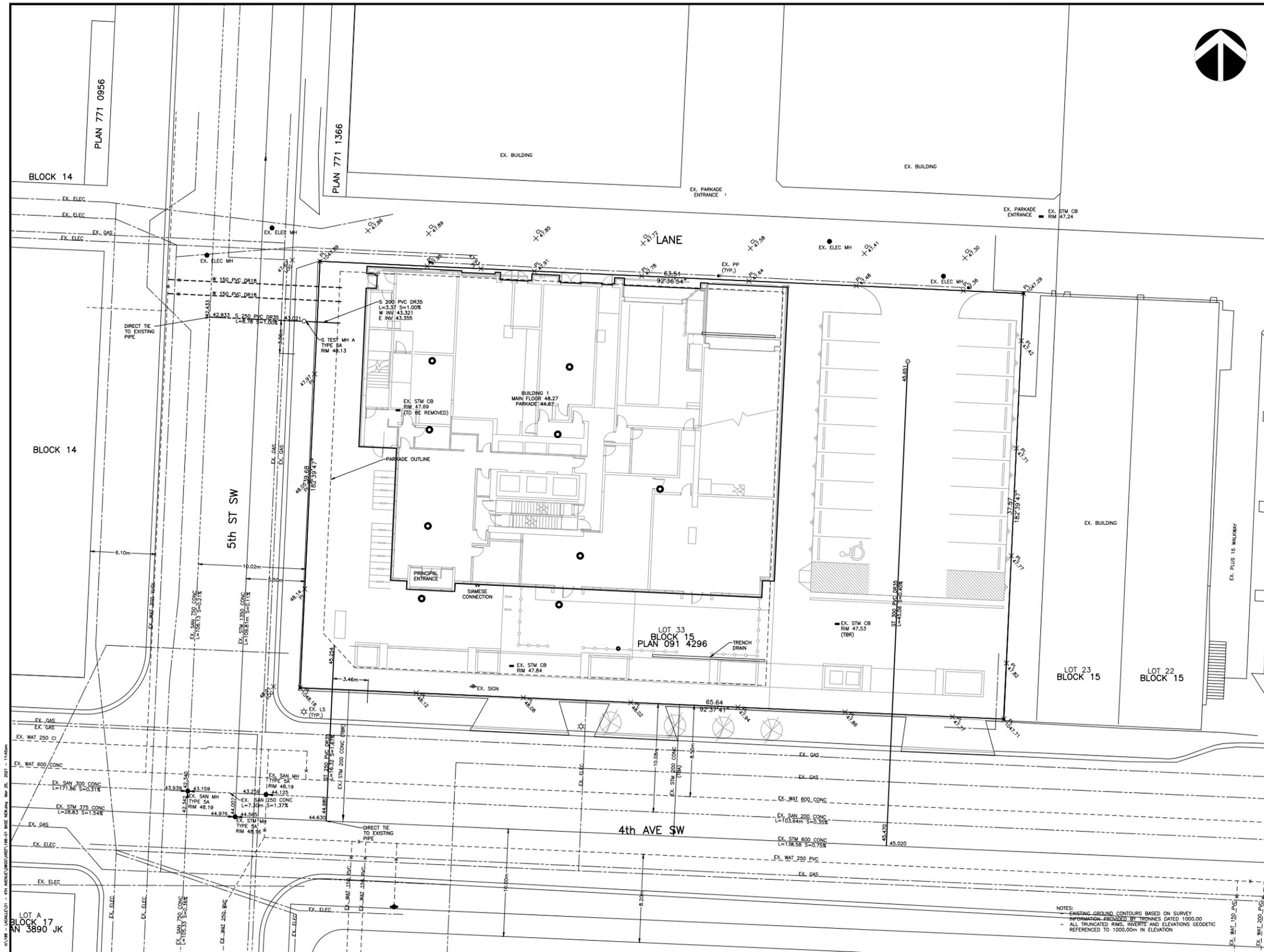
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D.P. SUBMISSION	09.18.2020
DTR 1	01.27.2021
DTR 2	03.31.2021

SCALE: As indicated
DATE: 10/12/2021 10:21:08 AM
DRAWN BY: Author
CHECKED BY: Checker

DRAWING NO. **DP6.02**



VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

EXISTING UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE SA MANHOLE
- TYPE 15 MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE
- U/G ELECTRICAL
- GAS

PROPOSED UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE SA MANHOLE
- CATCHBASIN/MANHOLE
- TYPE 15 MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE
- WATER METER LOCATION
- CONCRETE SIALE
- ELECTRICAL METER LOCATION
- GAS METER LOCATION

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1	2/18/21	DIR#2	TVS	TVS
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	-
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT

PROJECT

JOB DESCRIPTION
LACAILLE

LOT: 33 BLK: 15 PLAN: 091 4296
DPE: - DSSP: -
ADDRESS: 4 AVE SW CALGARY
LEGAL DESCRIPTION: -
TITLE: -

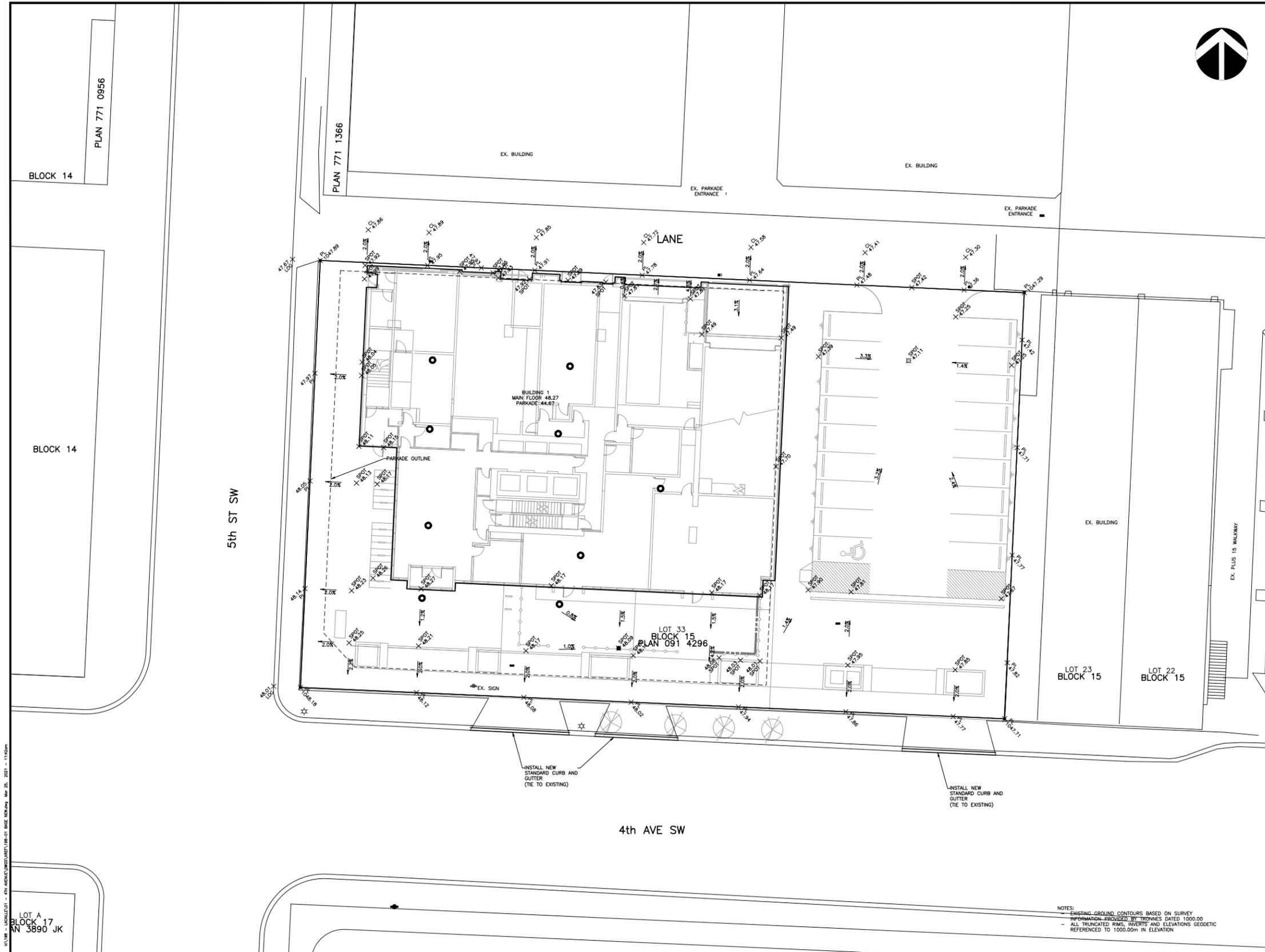
PRELIM SERVICING PLAN

SCALE: 1:150
DWN: TC
DES: TVS
DATE: AUG 7-20
CHK: TVS
P. END: TVS
PERMIT: -

NOTES:

- EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY TRONNES DATED 1000.00
- ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION

PROJECT NO.	198-01	SHEET	1	OF	2
DRAWING NAME	198-01 SVC	SECTION	ALL PERITS	FRP TO	R 1



LEGEND

GRADING FEATURES

- → → PROPOSED CONCRETE SMALE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED CB/MANHOLE
- ▨ PROPOSED ASPHALT PAVING
- ▩ PROPOSED CONCRETE
- ===== PROPOSED RETAINING WALL
- ⇄ ⇄ ⇄ PROPOSED GRASS SMALE
- ○ ○ PROPOSED CHAINLINK FENCE
- --- --- PROPOSED POST & CABLE FENCE
- - - - - PROPOSED SCREEN FENCE
- --- --- PROPOSED FINISHED GRADE
- --- --- EXISTING PL GRADE

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1	2/15/21	DIR#2	TVS	TVS
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	-
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT

PROJECT

JOB DESCRIPTION
LACAILLE

LOT: 33 BLK: 15 PLAN: 091 4296
DPE: - DSSP: -
ADDRESS: 4 AVE SW CALGARY
LEGAL DESCRIPTION: -
TITLE: -

PRELIM GRADING PLAN

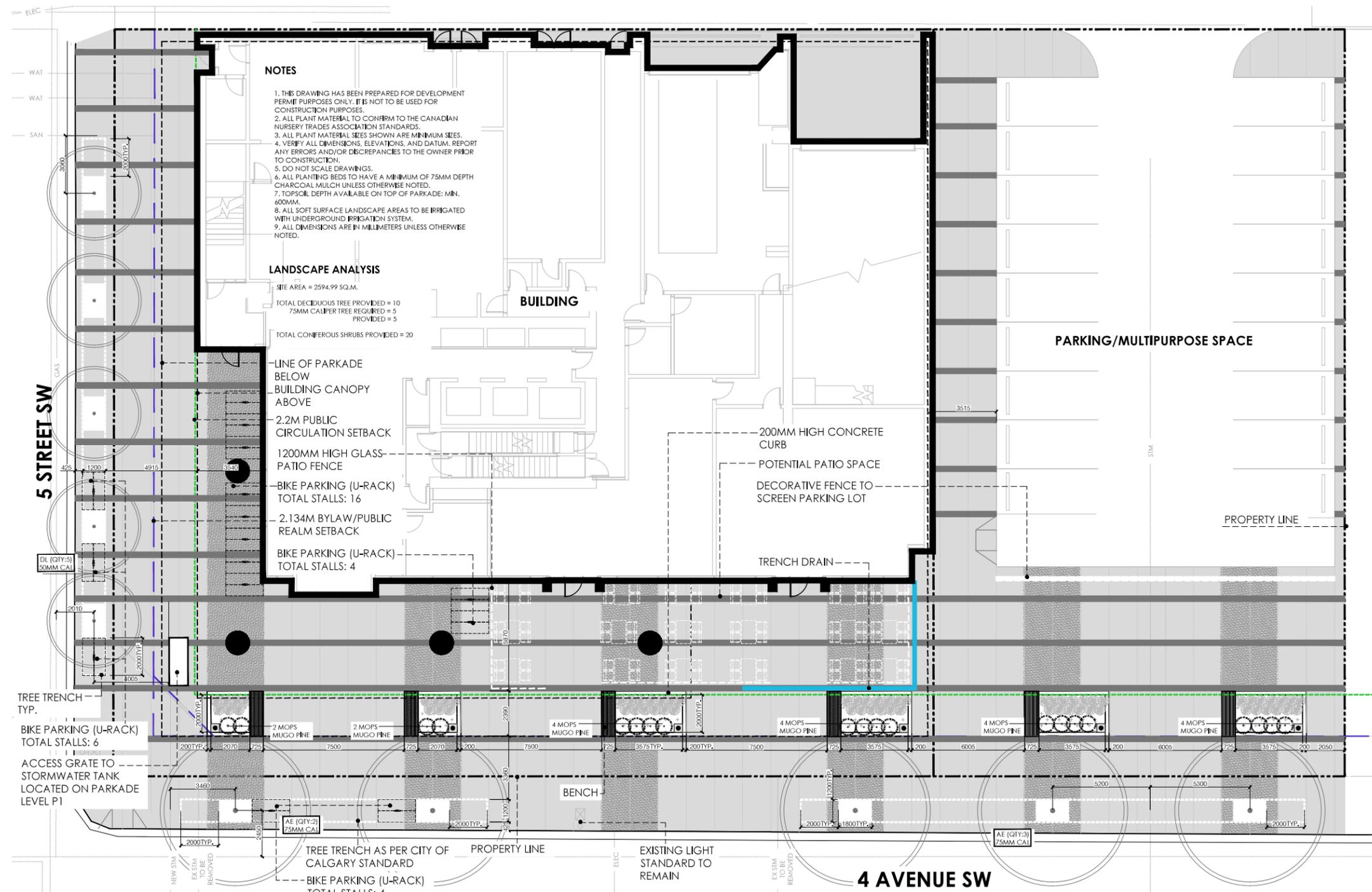
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DWN: TC
DES: TVS
DATE: AUG 7-20
CHK: TVS
P. ENG: TVS
PERMIT: -

NOTES:

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PROJECT NO.	SHEET	OF
198-01	2	2
DRAWING NAME	SECTION	
198-01 GRAD	ALL PERITS	R 1

V:\198 - LACAILLE\01 - 4TH AVENUE SW\01\198-01 GRAD - NEW.dwg, Mar 25, 2021 - 11:28am



20140 FATO
FOURTH AVENUE TOWER
LACAILLE GROUP

SEAL

NOT FOR CONSTRUCTION

ISSUED FOR DP SUBMISSION	DATE 200917
DP SUBMISSION	200923
DTR 1	210127
DTR 2	210331

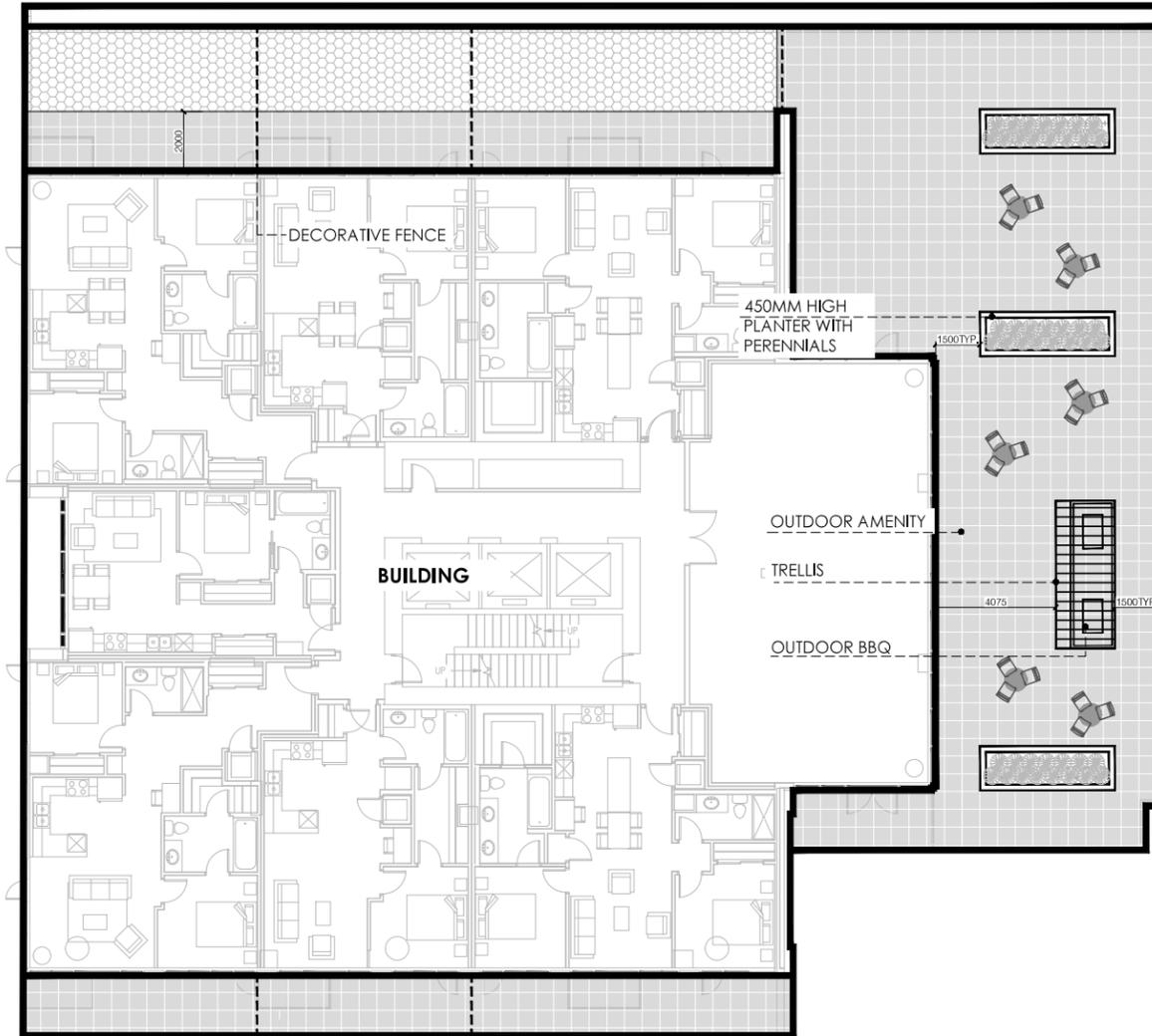
SCALE 1:100
DATE 200811
DRAWN BY CC
CHECKED BY YN

DP-L1 LAYOUT PLAN

File Location: N:\Projects\20160FATO_Fourth Avenue Tower\Current\20160FATO_Site Landscape Plan_210326.dwg Plotted: March 26, 2021 11:08:36 PM by Chen Chen

PLANTING SCHEDULE

common name	latin name	size/ spread	quantity
deciduous trees			
01 DROPMORE LINDEN	TILIA X FLAVESCENS 'DROPMORE'	50MM CAL.	05
04 AMERICAN ELM	ULMUS AMERICANA	75MM CAL.	05
common name	latin name	size/ spread	quantity
coniferous shrubs			
MOPS MUGO PINE	PINUS MUGO 'MOPS'	600MM SPREAD	20



LEGEND

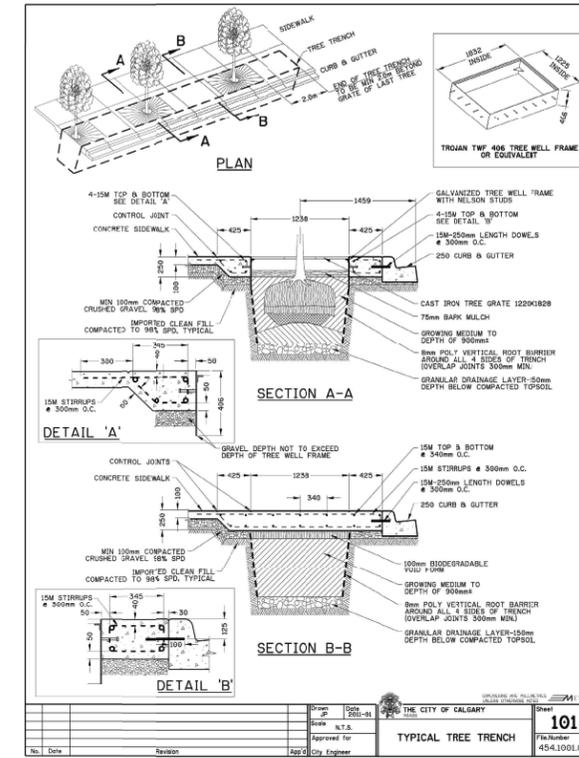
- REGULAR GREY COLOR CONCRETE PAVER
- 20MM RUNDLE ROCK
- PLANTING BED WITH CEDAR MULCH
- PERENNIALS
- MOVABLE FURNITURE FOR PATIO

NOTES

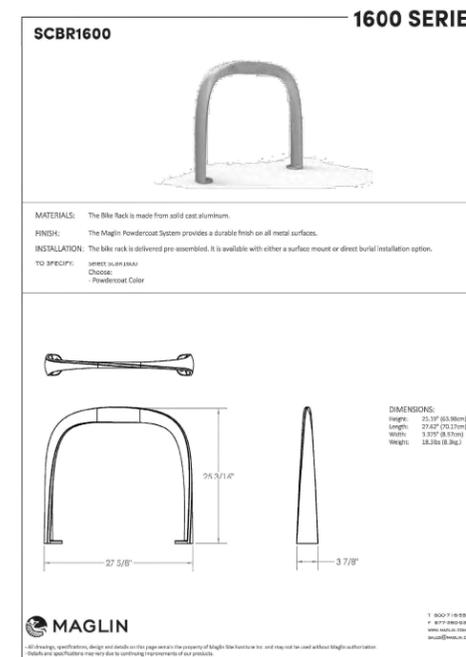
1. THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
2. ALL PLANT MATERIAL TO CONFIRM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
3. ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
4. VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
5. DO NOT SCALE DRAWINGS.
6. ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
7. TOPSOIL DEPTH AVAILABLE ON TOP OF PARKADE: MIN. 600MM.
8. ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND IRRIGATION SYSTEM.
9. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

TREE PLANTING

(ALONG 4TH AVENUE SW AND 5TH STREET SW BACK OF CURB)



BIKE RACK



20160 FATO
FOURTH AVENUE TOWER
LACAILLE GROUP

SEAL

ISSUED FOR	DATE
DP SUBMISSION	200917
DP SUBMISSION	200923
DTR	210127
DTR 2	210331

SCALE	1:100
DATE	200811
DRAWN BY	CC
CHECKED BY	YN

DP-L2 LAYOUT PLAN - TOP ROOF

NOT FOR CONSTRUCTION

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Location: N:\Projects\20160\FATO_04\Fourth Avenue Tower\Curent\20160\FATO_Site_Landscape Plan_210326.dwg Pkited: March 26, 2021 10:15:28 AM by Chen Chen

DP SHEET LIST		
SHEET NUMBER	SHEET NAME	
DPE1.1	ELECTRICAL SITE PLAN	
DPE1.2	AMENITY LEVEL, MECHANICAL PENTHOUSE LAYOUT & LUMINAIRE SCHEDULE	

STATISTICS					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN
DRIVE AISLE & LOADING AREA	+	15.8 LUX	31.8 LUX	10 LUX	1.6:1
MAIN ENTRANCE AREA	+	223.1 LUX	612.6 LUX	85.1 LUX	2.6:1

GENERAL NOTES:

A) EXTERIOR SITE LIGHTING CONTROLLED BY PHOTOCELL AND ASTRONOMICAL TIME CLOCK CONTROL SYSTEM.

B) LUMINAIRES TO MEET ALL LOCAL STANDARDS FOR CUT OFF TO ELIMINATE THE POTENTIAL OF LIGHT TRESPASS ON TO NEIGHBOURING ROADWAYS.

REFERRAL NOTES:

1) AREA OF WORK.

2) OUTLINE OF PARKADE LEVEL BELOW.

3) APPROXIMATE LOCATION OF MAIN ELECTRICAL ROOM LOCATED ON THE MAIN FLOOR.

4) UTILITY VAULT TRANSFORMER ROOM LOCATED ON THE MAIN LEVEL.

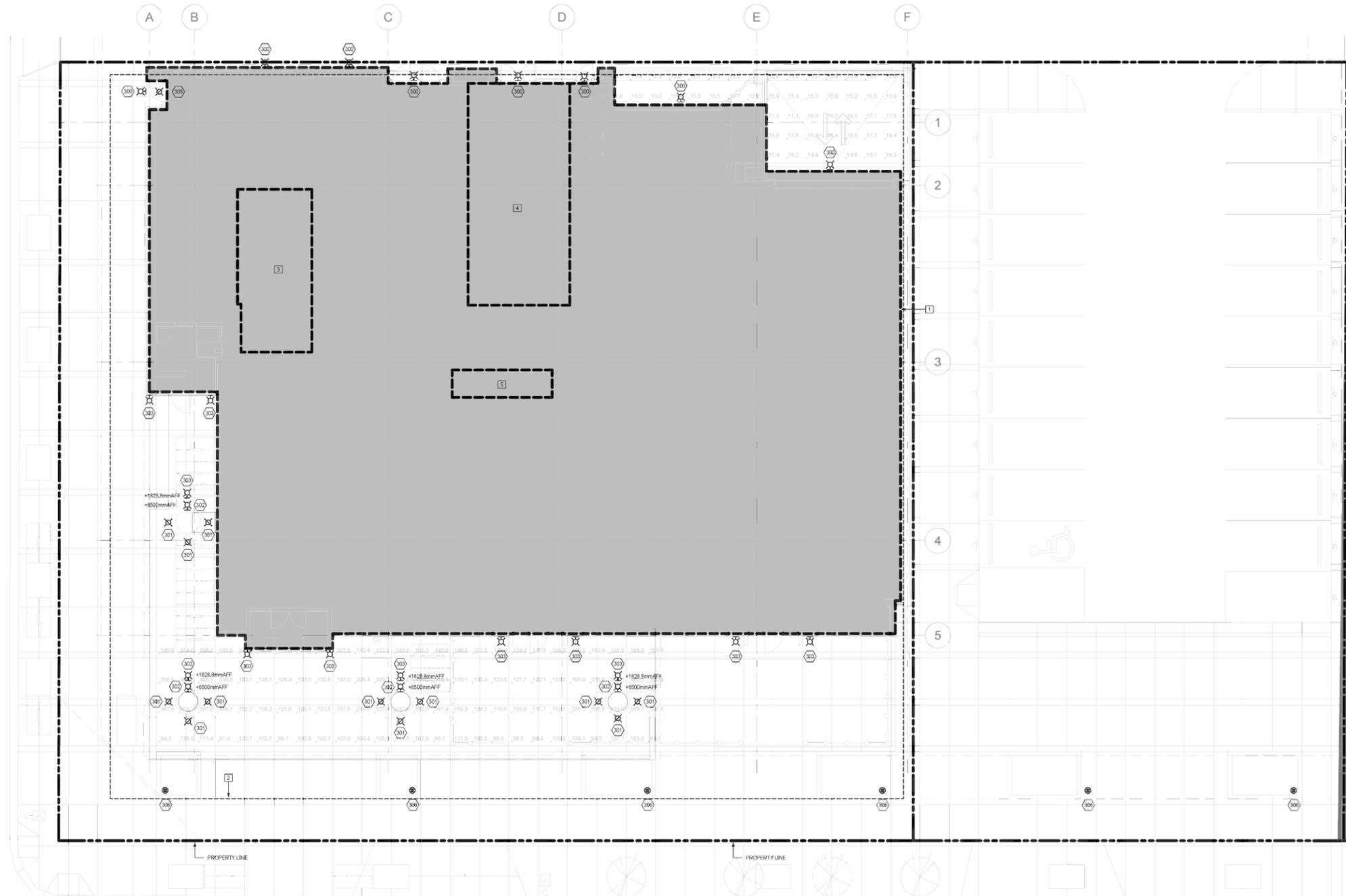
5) APPROXIMATE LOCATION OF ELECTRICAL RISER ROOM.

DEVELOPMENT PERMIT LEGEND OF SYMBOLS			
LIGHTING			
	RECESSED/SEMI RECESSED STEP LIGHT		SURFACE MOUNTED LUMINAIRE
	POLE MOUNTED LUMINAIRE		RECESSED DOWNLIGHT
	LIGHTING BOLLARD		WALL MOUNTED LUMINAIRE
	LINEAR LUMINAIRE		LIGHTING LUMINAIRE TYPE TAG
POWER & SYSTEMS			
	WALL MOUNTED FIRE ALARM STROBE		SITE TRANSFORMER



ELECTRICAL SITE PLAN

4th Avenue Tower
5th STREET & 4th AVENUE SW,
LACAILLE
201/08



1 DP ELECTRICAL SITE PLAN
Scale: 1:100

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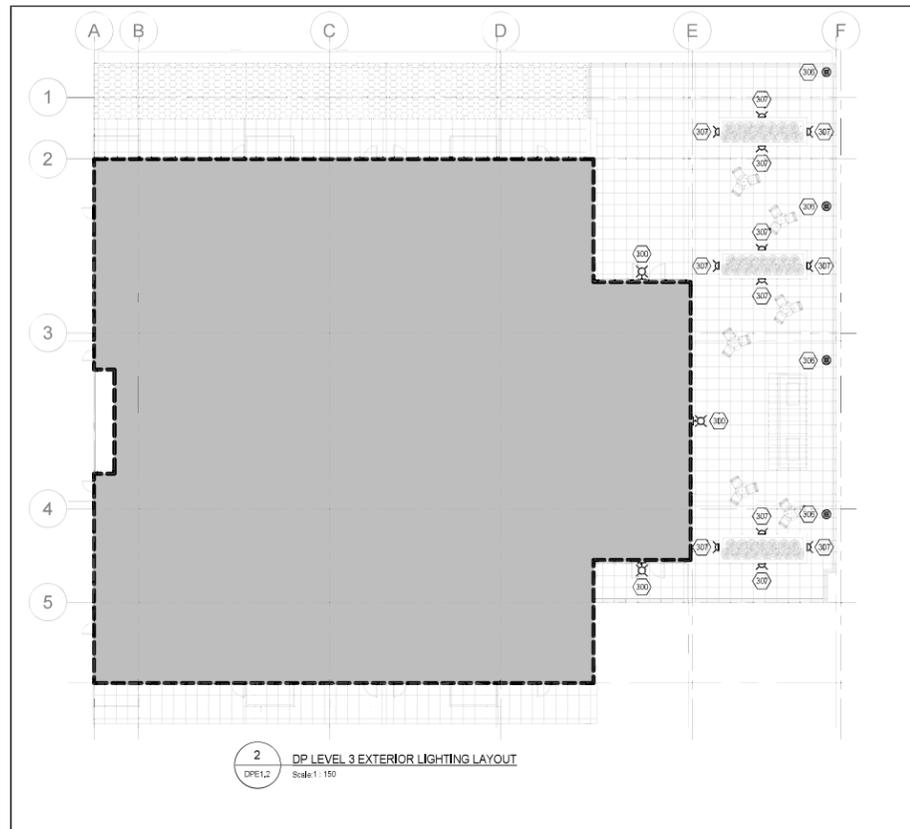
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REVISION	DATE
1	ISSUED FOR DP 2020-09-17
2	DTR #1 2021-01-27
3	DTR #2 2021-03-31

SCALE: AS SHOWN
DATE: 2021-03-31
DRAWN BY: RZ
CHECKED BY: NM

DRAWING NO. **DPE1.1**

BIM: 2021/03/31 - 4th Avenue Tower/202103/31.dwg



DP LUMINAIRE SCHEDULE					
LIGHT TYPE	DESCRIPTION	LAMP	MOUNTING	VOLTAGE (V)	MANUFACTURER
300	EXTERIOR WALL PACK	LED 25W 4000K	SURFACE	277 V	LITHONIA LIGHTING CAT.# DS8W2 LED-200-35-40-12MM/VOLT
301	RECESSED DOWNLIGHT - ILLUMINATING EXTERIOR COLUMNS	LED 58W 4000K	RECESSED	277 V	UTELINE GENESIS S CAT.# GENIS-05-40-58-12-40-40-40
302	EXTERIOR UPFLIGHT - CEILING ILLUMINATING LUMINAIRE	LED 119W 4000K	SURFACE	277 V	GREE LIGHTING CAT.# GFL-ARTFS12L-40K-08
303	EXTERIOR WALL SCENE - METH UPFLIGHTING AND DOWNLIGHTING	LED 31W 4000K	SURFACE	277 V	LUMINA LIGHTING CAT.# SY624-2L15-R15-277V
304	MECHANICAL PENTHOUSE RGB UPLIGHT	LED 20WFT 4000K	SURFACE	277 V	OVA LIGHTING INC. CAT.# STRB-600-4M-20W-RGBA-10-65-RNF
305	RECESSED DOWNLIGHT	LED W 4000K	RECESSED	277 V	
306	BOLLARD	LED 14W 4000K	BOLLARD	277 V	PERFORMANCE ILLUMINATING CAT.# NHA-8LM-3P-078419
307	STEP LIGHT	LED	SURFACE	277 V	
308	FEATURE LED LINEAR LUMINAIRE	LED	SURFACE	277 V	



TYPE 300



TYPE 301 & 305



TYPE 302



TYPE 303



TYPE 304



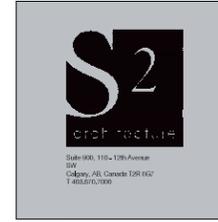
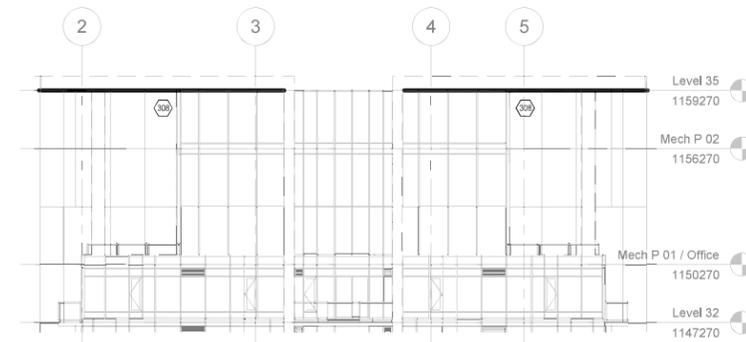
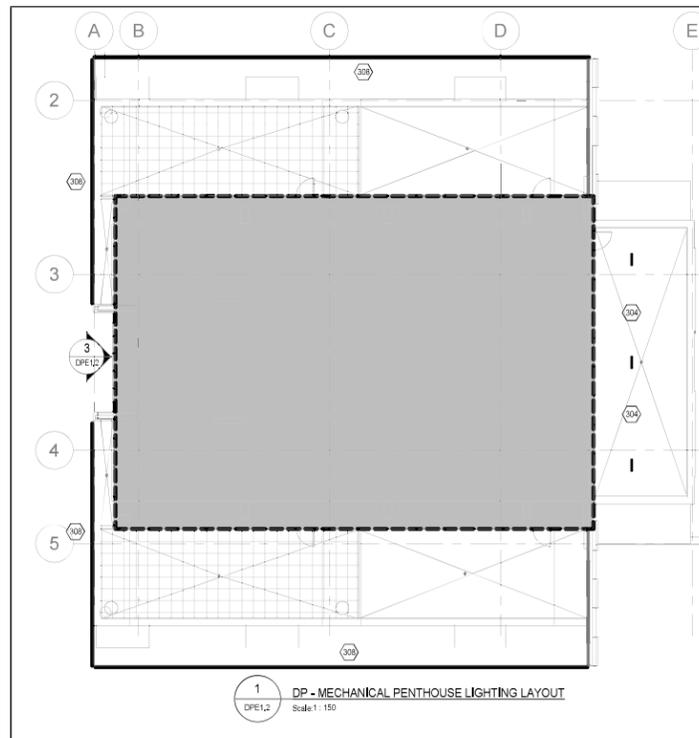
TYPE 306



TYPE 307



TYPE 308



AMENITY LEVEL, MECHANICAL PENTHOUSE LAYOUT & LUMINAIRE SCHEDULE

4th Avenue Tower
5th STREET & 4th AVENUE SW,
LACAILLE
201/08

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REVISION	DATE
1 ISSUED FOR DP	2020-09-17
2 DTR #1	2021-01-27
3 DTR #2	2021-03-31

SCALE: AS SHOWN
DATE: 2021-03-31
DRAWN BY: RZ
CHECKED BY: NM

DRAWING NO. **DPE1.2**

BIM: 300-2217182-4th Avenue Tower/202103-4-Bim.rvt

Applicant Submission

CPC2021-1414
Attachment 5

September 16, 2020



900, 110 - 12 Avenue SW
Calgary, AB T2R 0G7
T: 403.670.7000
s2architecture.com

The City of Calgary
3rd Floor, Municipal Building,
800 Macleod Tr. S.E.
Calgary, AB Canada T2P 2M5

**Re: 4th Ave Tower – S2 Project #219182
Planning Analysis**

To whom it may concern:

The La Caille Group is proposing the development of a single phase, mixed-used building located at the junction of 4th Avenue SW and 5th Street SW. This 32-storey mixed-use project, 4th Ave Tower, incorporates a two-storey podium containing the residential lobby and retail at grade, along with future connectivity to the plus fifteen network. Large indoor amenity space for residents is provided at second floor level and indoor-outdoor access for residents is provided at the third podium level. This project will provide a high-density Transit Oriented Development supported by existing infrastructure, public transportation, while meeting all the primary objectives of the City Centre Plan, and the policies and guidelines set out in the Municipal Development Plan.

4th Ave Tower is zoned as Commercial Residential District (CR20-C20/R20) with a site area of 0.46 acres and exists in a transit-oriented development area with access to the CTrain Free Fare Zone and a multitude of bus routes. The project is seeking incentive density (3 FAR + an additional 12 FAR) by providing public amenity items including public circulation space at grade in the form of a south-facing plaza, and allocated area for future +15 Skywalk System. The project's cumulative gross floor area is approximately 25,455 sm, using approximately 14.84 of the 15 FAR.

The project is located at the interface between the commercial bustle of downtown and the residential nature of Eau Claire to the north. A generous plaza space with trees, seating and canopies is located on the building's southside along 4th Ave SW. The landscape design creates a pronounced street edge along 4th Ave and enhances the pedestrian connection to the LRT station to the west and city to the east. In keeping with the adjacent streetscape, the proposed urban realm contains a mix of hard and softscape elements, along with benches and lighting that support the retail frontage while additionally promoting pedestrian traffic.

The architectural massing takes advantage of the zoning's no-height restriction, without casting shadow in the nearby sun protection areas and opts for a smaller, efficient tower plate which is considerably smaller than the zoning's allowable max floor plate area. The tower itself overhangs the podium which creates a covered plaza and defines the two-storey residential lobby. This entrance is located on the south west corner of the site, activating the public realm and the intersection.

The tower has a total of 268 residential rental units which will significantly increase the community's density. The living spaces include a range of studio, one bedroom, and two bedrooms units ranging in size from 55sm to 95sm. A portion of the residential units will meet the requirements for accessible and adaptable units. Four levels of below grade parking are provided along with the specified amount of bicycle parking required. The entire building will be accessible and is designed to CPTED standards. In addition, all private areas will contain electronically-controlled access with additional security and concierge service at the ground level for the residences.

The architecture of the proposed development is deliberately simple. Curtain-wall glazing along the podium's southwest provides a strong visual connection from interior to exterior. Self-coloured fibre-reinforced cementitious panels will make up the remainder of the podium's cladding. Highly-articulated metal panels are proposed on the

PRINCIPALS

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David Symons *Architect, AAA, AIBC, SAA, OAA, MRAIC, Licensed Architect California*
Linus Murphy *Architect, AAA, AIBC, SAA, OAA, FRAIC, LEED® AP*
Brian Corkum *Architect, AAA, AIBC, OAA, LEED® AP*
Genevieve Giguere *Architect, AAA, MRAIC*
Peter Streith *Architect, AAA, AIBC, OAA, NWTAA, FRAIC*
Robert Lange *Architect, AIBC, MRAIC, LEED® AP*

ASSOCIATE PRINCIPALS

Ken Shaman *Interim Architect, AAA*
Jason Curtis *Architect, AAA, MRAIC, LEED® AP*
Charles Gushaty
Madeleine Schmidts *Interior Designer, NCIDQ*

ASSOCIATES

Jason Dolha
Jane Kratochvil
Stephen Jabs
Steven Mott
Jason Bright *Architect, AAA, AIA, MRAIC*
Michelle Rowles *Architect, AAA, MRAIC*
Shaad Oosman *CPA, CMA*
Natalie Weiss *Interior Designer, NCIDQ, LEED® AP*
Pierre Ferronato

S2 ARCHITECTURE

CALGARY | EDMONTON | VANCOUVER

CPC2021-1414 Attachment 5
ISC: UNRESTRICTED

Page 1 of 2

feature east walls to frame the tower and wrap the transfer slab at the third level and will provide a rich patina that will change with sun's path each day. Lastly, the tower itself is expressed through considered placement of mullions, glazing panels, operable windows, composite metal panels and balconies.

This mixed-use Transit Oriented Development will maintain and respect the neighbouring context while promoting future design innovation. The retail spaces provide flexibility to variety of potential commercial uses and the increase in density will bring a broad range of uses and users to the Downtown community. Overall, the massing, orientation, durable and long-lasting materials will create a safe and comfortable public corridor along 4th Avenue SW.

Should you have any questions or concerns, please do not hesitate to call me directly at 403-670-7050 ext. 1092.

Yours truly,
S2 Architecture



Melissa Christenson
Intern Architect