

LOLA
Architecture

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JEMM PROPERTIES - THE HIVE
RESIDENTIAL DEVELOPMENT

ISSUED FOR DTR 01 RESPONSE
NOVEMBER 25, 2021



JEMM PROPERTIES - THE HIVE
RESIDENTIAL DEVELOPMENT

MUNICIPAL ADDRESS:
223 9A Street NW, Calgary, AB.

LEGAL ADDRESS:
Lot 41, Block 1, Plan 211 0806

DRAWING LIST

SURVEY

 SITE PLAN AND ELEVATIONS

ARCHITECTURAL

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CIVIL

C195-01 SITE SERVICING PLAN
C195-02 SITE GRADING PLAN

ELECTRICAL

E1.01 ELECTRICAL SITE PLAN
E1.02 PHOTOMETRIC & CALCULATION PLAN
E1.03 LUMINAIRE SCHEDULE

LANDSCAPE

LD-100 DEMO PLAN
LS-100 SITE PLAN
LS-101 BY-LAW CALCULATIONS
LL-100 LAYOUT PLAN
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LS-200 ROOF PLAN
LS-201 ROOF PLAN WITH AREA CALCULATIONS
LS-300 SECTIONS
LS-500 LANDSCAPE DETAILS
LS-501 LANDSCAPE DETAILS
LS-502 HARDSCAPE DETAILS
LS-503 LANDSCAPE DETAILS

CITY OF CALGARY, ALBERTA

PLAN SHOWING SURVEY OF
SITE PLAN AND ELEVATIONS
OF
Lot 41, Block 1, Plan 211 0806
WITHIN
S.W. 1/4 Sec. 21, Twp.24, Rge.1 W. 5 M.

SCALE: 1:500

BY: AZIZ M. DHARAMSHI, A.L.S., 2021

LEGEND
Distances shown are in metres and decimals thereof.
Distances shown on curved boundaries are Arc distances.
Elevations are derived from ASCM 399550 = 1050.242
Bearings are Grid and derived from GPS observations.
The Coordinate System used for this plan is:
Datum — North American Datum 1983
Projection — 3° Transverse Mercator
Reference Meridian — 114° West Longitude
Combined Scale Factor — 0.999739
Elevations are shown thus:
Catch basins are shown thus:
Manholes are shown thus:
Fire Hydrants are shown thus:
Light Standards are shown thus:
Power Poles are shown thus:
Water Valves are shown thus:
Signs are shown thus:
Water Wells are shown thus:
Gas lines are shown thus:
Sanitary lines are shown thus:
Storm lines are shown thus:
Water lines are shown thus:
Overhead Power lines are shown thus:
Telco & TV Cable lines are shown thus:
Face of Curb lines are shown thus:
Lip of Gutter lines are shown thus:
Contour lines are at 0.25m intervals and shown thus:
NOTE:
ALL UNDERGROUND SERVICES ARE TAKEN FROM CITY OF CALGARY BLOCK PROFILE, AND HAVE NOT BEEN LOCATED BY THE SURVEYOR.

ABBREVIATIONS

ASCM Alberta Survey Control Marker
N. North
S. South
E. East
W. West
Sec. Section
Twp. Township
Rge. Range
M. Meridian
Fd. Found
N. Iron Post
Mk. Mark
Mp. Marker Post
C.S. Countersunk
R/W Right-of-Way
m Metres
B.O.C. Back of Curb
L.O.G. Lip of Gutter

The survey was performed on June 29, 2020

Certified Correct this 2nd Day of July, 2020
*Updated legal this 4th day of October, 2021

Alberta Land Surveyor

ADDRESS OF SITE

223 - 9A STREET N.W.,
CALGARY, ALBERTA

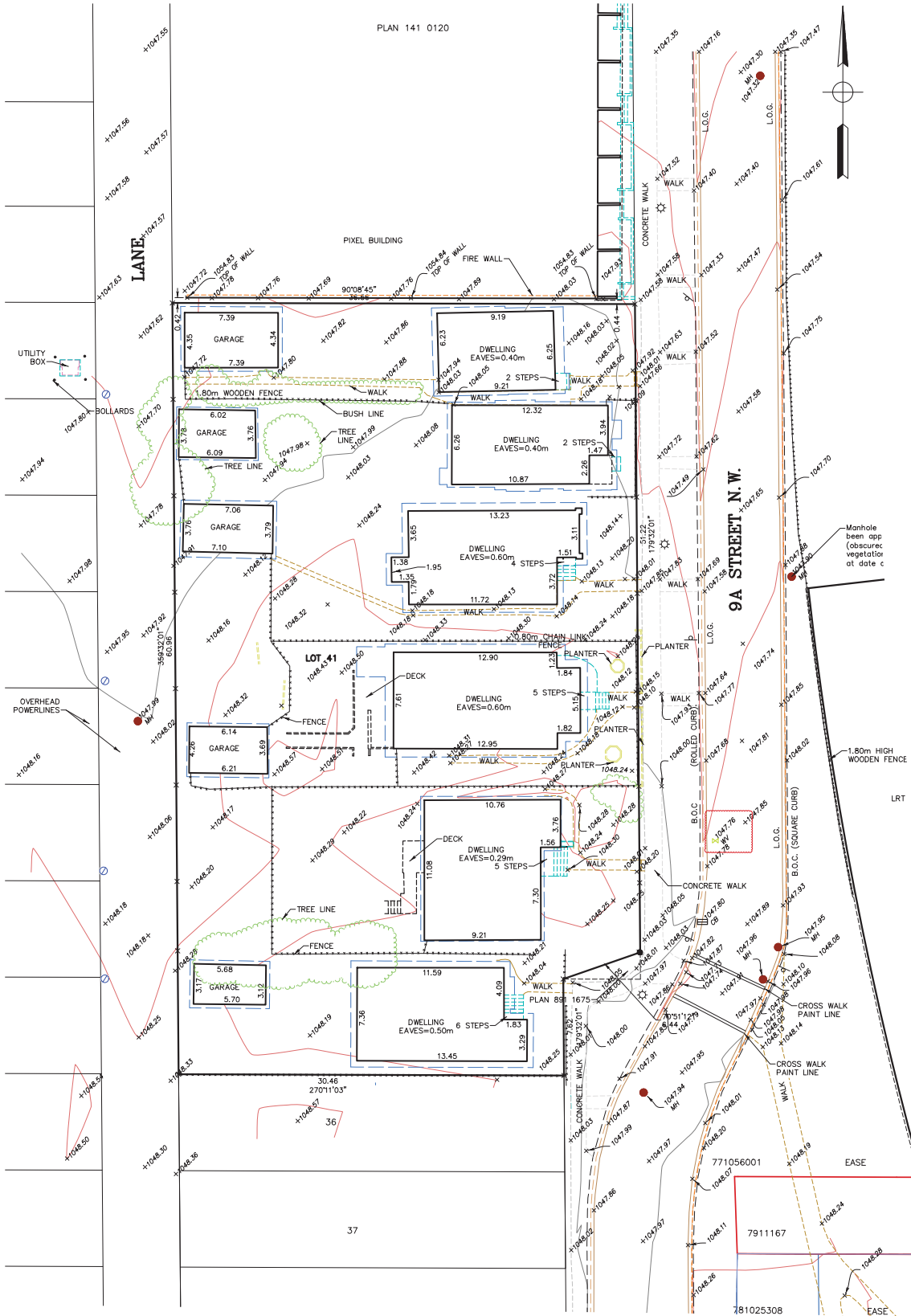
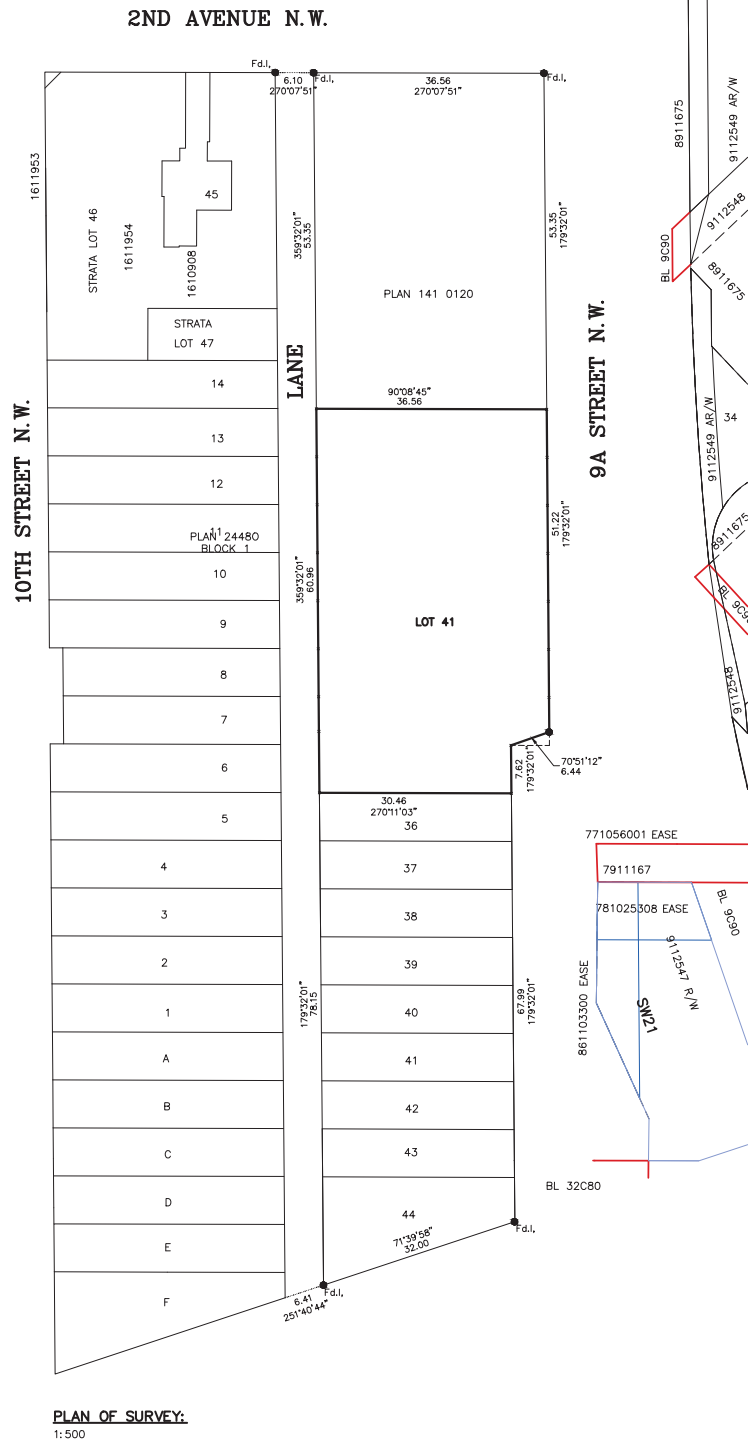
REGISTERED OWNERS

AS OF C. OF T. NO. 211 090 883
JEMM SUNNYSIDE LTD.

CAUTION - PRIOR TO ANY CONSTRUCTION
UNDERGROUND FACILITIES NEED TO BE
LOCATED BY:

ALBERTA 1 CALL
CALL BEFORE YOU DIG
1-800-242-3447
CAD File: 20-1139-ST1-2.dwg

TRONNES GEOMATICS INC., 6135 - 10th Street S.E., Calgary, Alberta T2H 2Z9; 403-207-0303; File: 20-1139



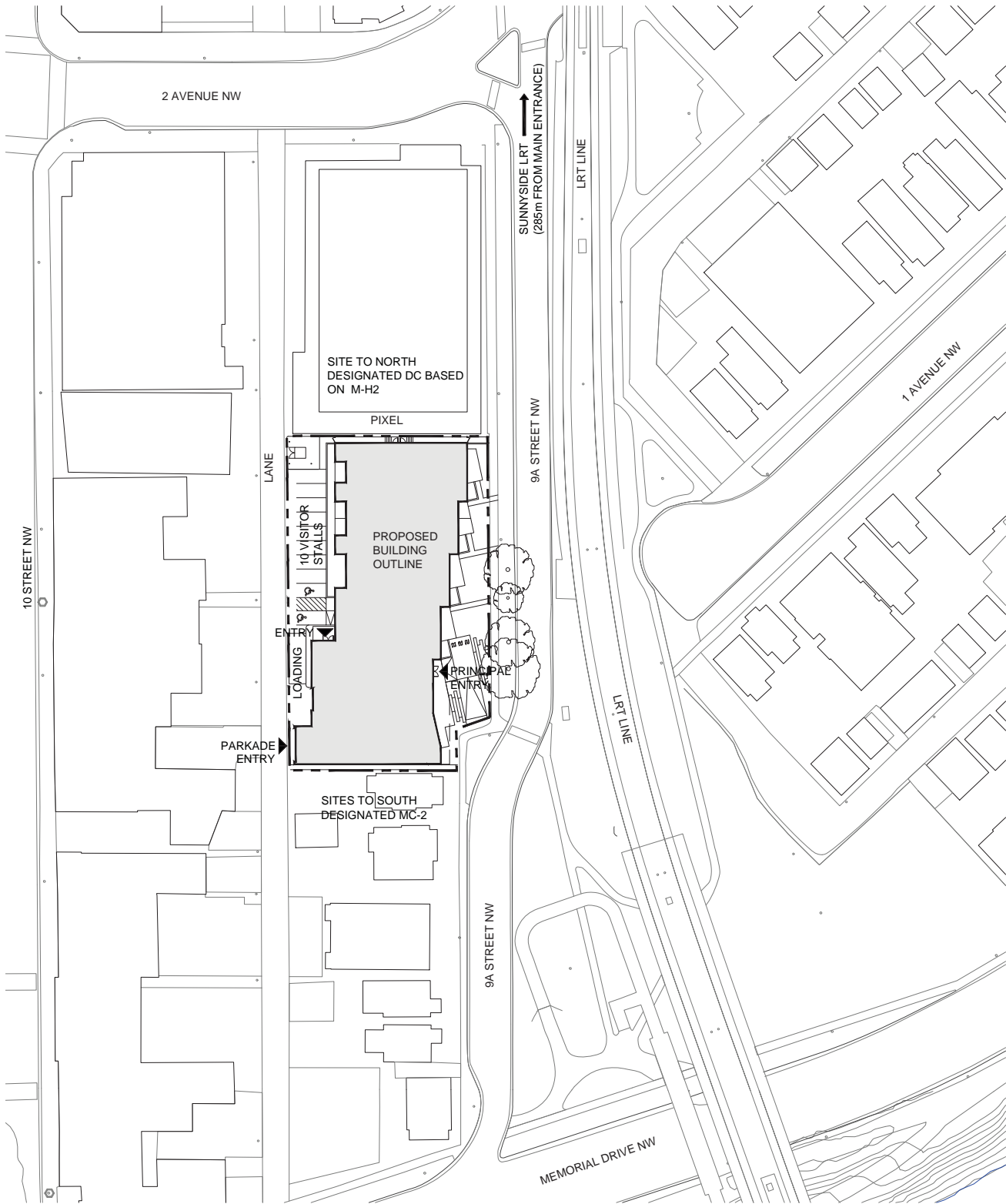
O2 Planning & Design



Seal

NBC - ALBERTA EDITION 2019
GROUP C (RESIDENTIAL), PART 3, SPRINKLERED
HIGH BUILDING CLASSIFICATION

184 CLASS ONE STALLS HAVE BEEN PROVIDED, 96 ARE HORIZONTAL CONFIGURATION IN P1 BIKE STORAGE ROOM LOCKERS; TRANSPORTATION DEMANDS ASK FOR HALF OF REQUIRED (70) TO BE IN HORIZONTAL LOCKERS. BIKE WASH STATION LOCATED ON LEVEL 1 ADJACENT TO LANE, BIKE REPAIR STATION LOCATED IN P1 BIKE STORAGE ROOM.



1
A001

PROJECT INFORMATION

Drawing Number

A001

Page 3 of 40

Project Team

Landscape Consultant
O2 Planning & Design



Seal

Drawing History

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01	DEVELOPMENT PERMIT	2021.10.15
No.	Issued For	Date

Project No. 2020-009

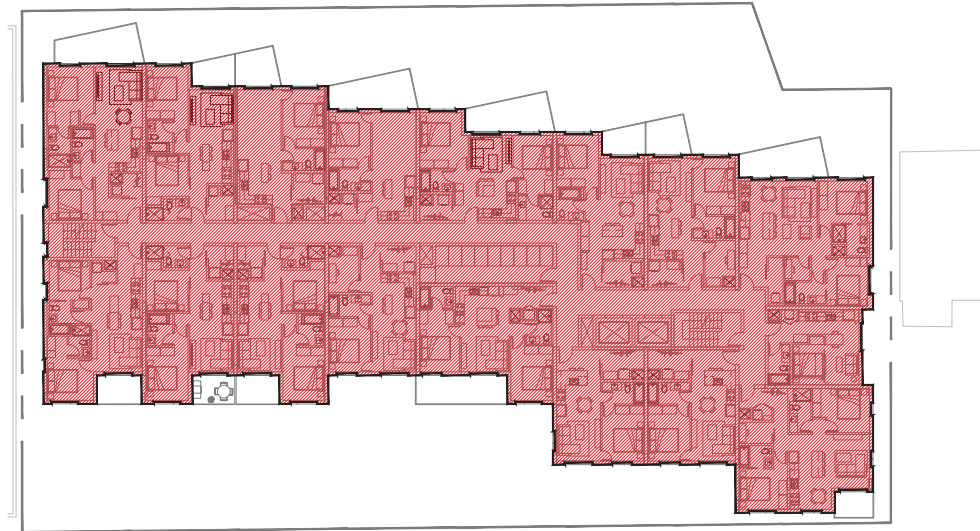
Drawn/Checked
RG / ML

Drawing Title
FAR CALCULATIONS

Scale 1:100

Drawing Number

A002



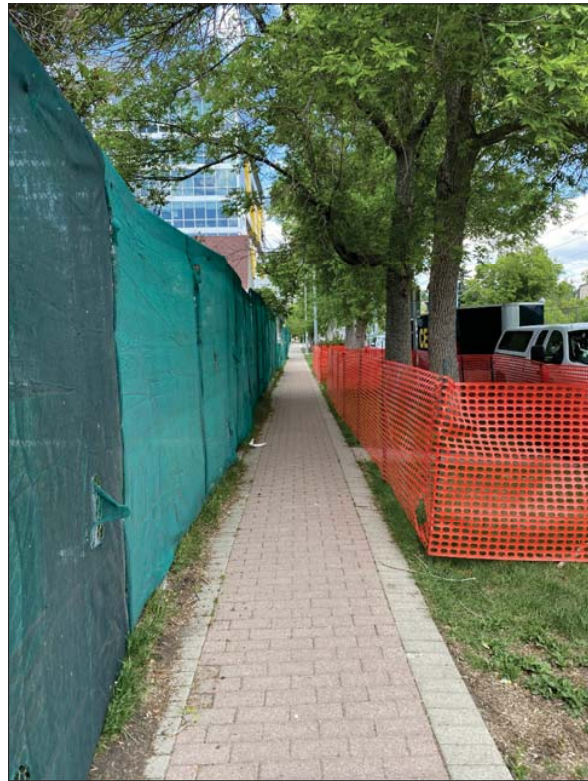
This is a detailed floor plan of the 1st floor. The plan shows a complex arrangement of rooms, corridors, and service areas. A large portion of the right side of the floor is shaded in red, indicating a specific zone or area of interest. The red-shaded area includes several large rooms, corridors, and a central staircase. The unshaded areas on the left and top contain various smaller rooms, including offices, meeting rooms, and a large open area at the top left. The plan also shows numerous corridors, stairs, and service areas throughout the building.

LEVEL 03-08

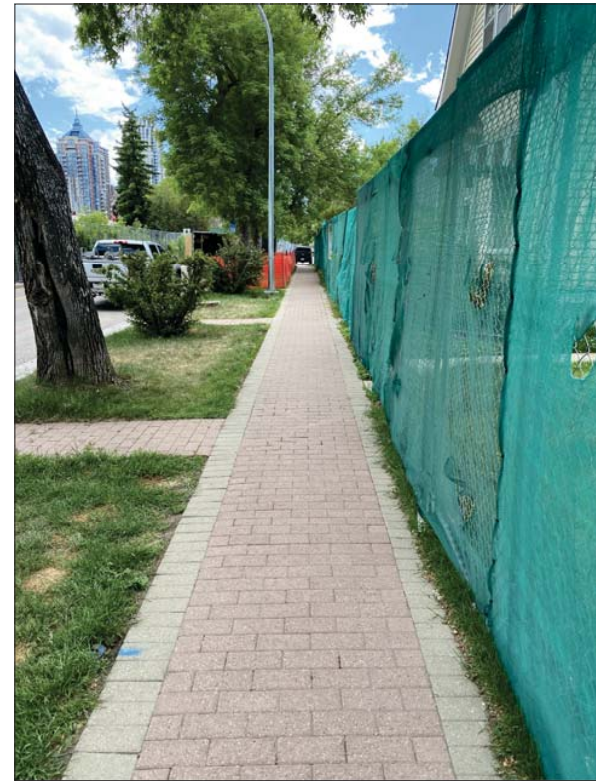
- AREA PER FLOOR: 1227.364
- TOTAL AREA: 7364.184 SQ M

L1:	1269.603
L2:	1227.364
L3:	1227.364
L4:	1227.364
L5:	1227.364
L6:	1227.364
L7:	1227.364
L8:	1227.364
L9:	982.350

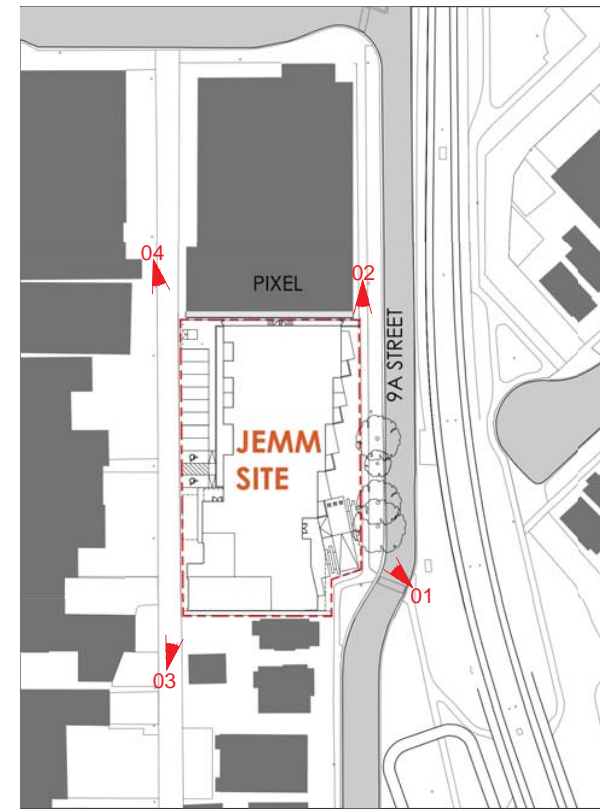
TOTAL AREA: 10,843.501
 PROPOSED FAR = 10,843.501/2175.90
4.983



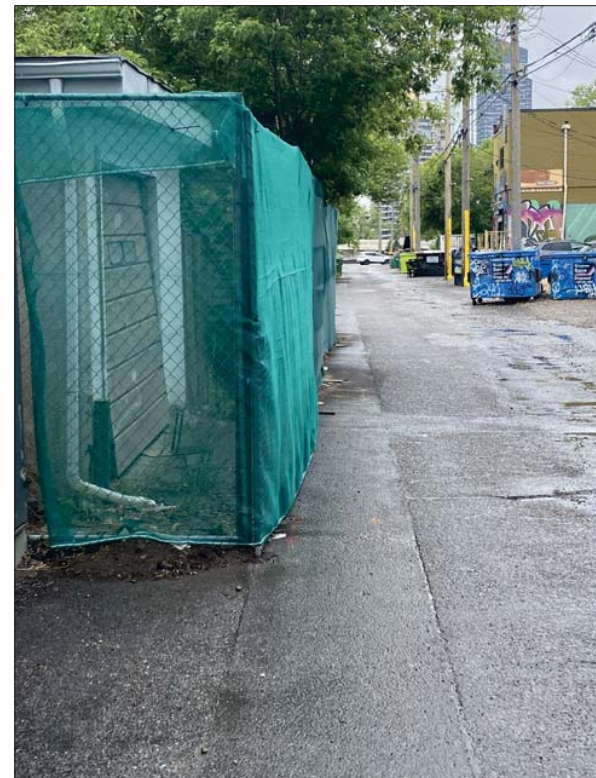
01. 9A STREET LOOKING NORTH



02. 9A STREET LOOKING SOUTH



03. LANE LOOKING NORTH



04. LANE LOOKING SOUTH



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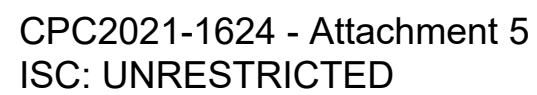
Project
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Drawing Title
SITE PHOTOS

Scale AS SHOWN

Drawing Number

A003

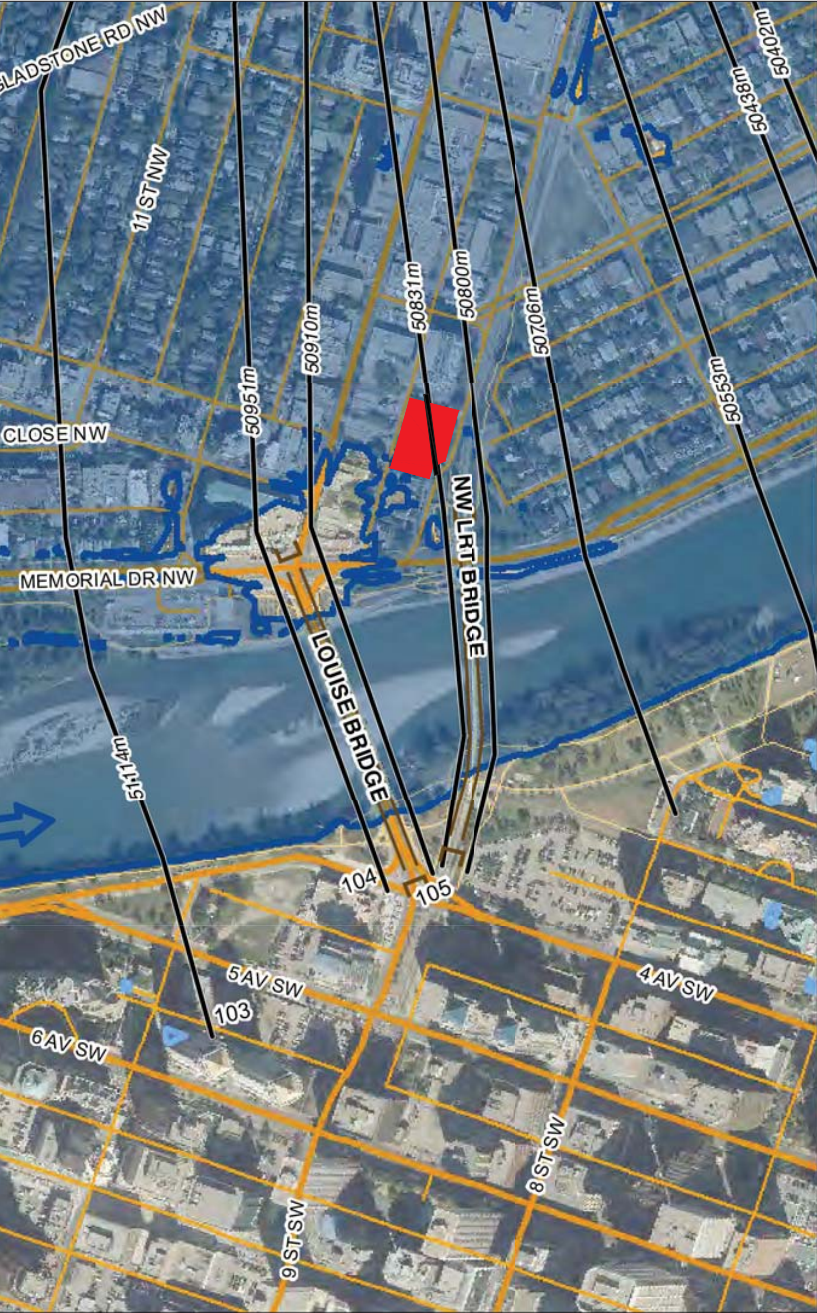


MATERIAL E5
LANDSCAPE BLOCK
COLOUR: RIVIERA
LOCATION: PLANTERS IN LANDSCAPE

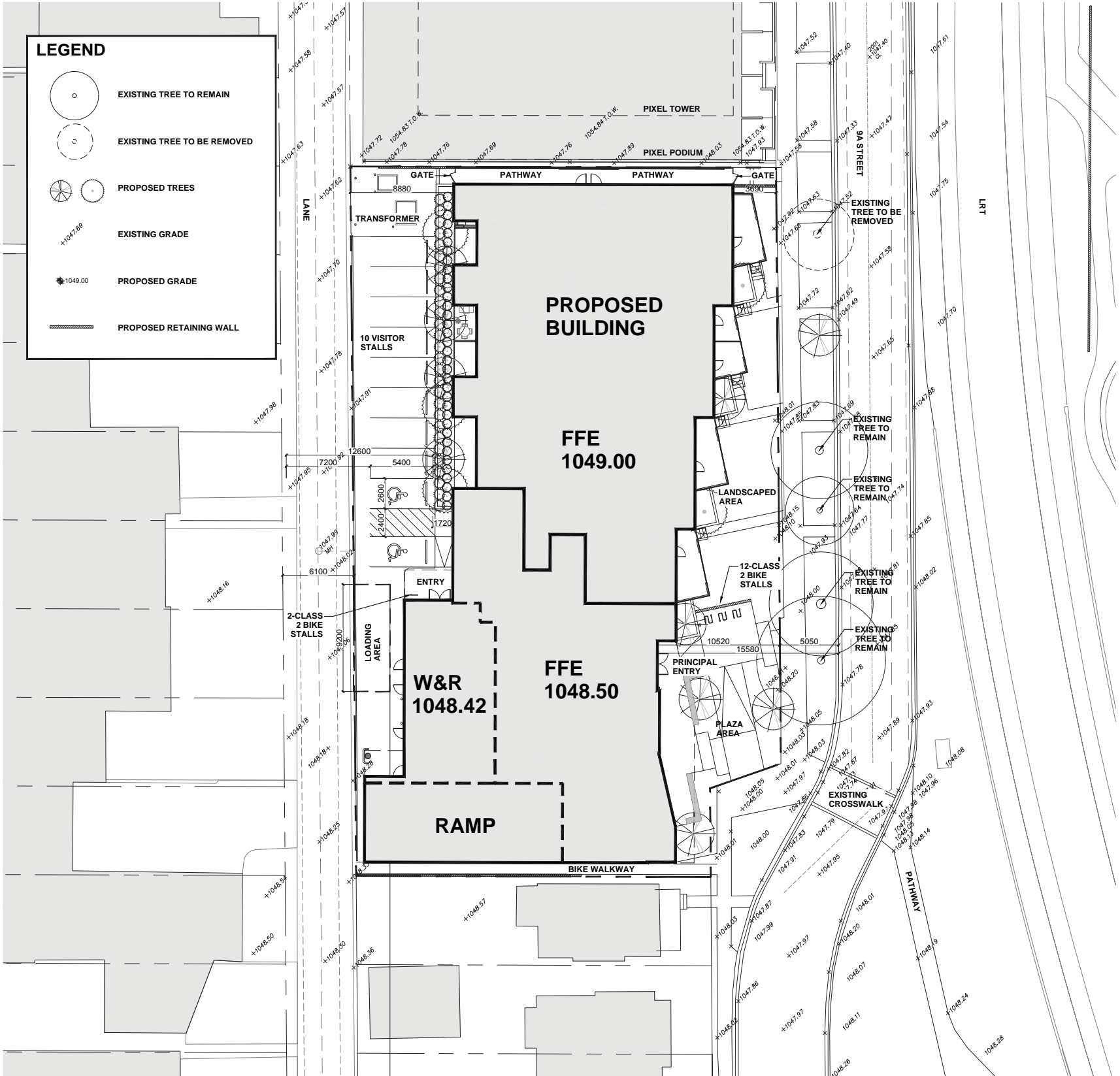
A005

Distance from the Bearsapaw Dam (km)	Station in Flood Mapping	Station in HEC-RAS	Channel Thalweg (m)	100-Year Flood Event		
				Water Level (m)	Channel Velocity (m/s)	Froude Number
17.04	95	52456	1045.44	1051.57	3.81	0.56
17.13	95.1	52366	1045.40	1051.32	3.98	0.60
17.21	96	52279	1045.05	1051.22	3.68	0.54
17.34	97	52149	1045.20	1050.95	3.69	0.53
17.60	98	51893	1045.40	1050.50	3.62	0.54
17.75	99	51741	1045.02	1050.16	3.74	0.56
17.80	100	51688	1045.20	1049.99	3.77	0.56
17.97	101	51519	1044.66	1049.74	3.33	0.51
18.16	102	51328	1043.15	1049.44	3.15	0.46
18.38	103	51114	1043.80	1049.10	2.70	0.41
18.54	104	50951	1042.60	1048.85	2.75	0.40
18.58	105	50910	1042.60	1048.72	2.70	0.39
18.66	106	50831	1042.38	1048.44	3.24	0.46

*BASED ON 2015 FLOOD DATA,
THE RECOMMENDED MAIN
FLOOR ELEVATION IS 1048.44



2 FLOOD INUNDATION MAP
A101 NTS



1 PROPOSED SITE PLAN
A101 Scale: 1:200



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Consultant

Seal

Drawing History

No.	Issued For	Date
02	DTR 01 RESPONSE	2021.11.25
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Drawing Title
SITE PLAN

Scale 1:200

Drawing Number

A101

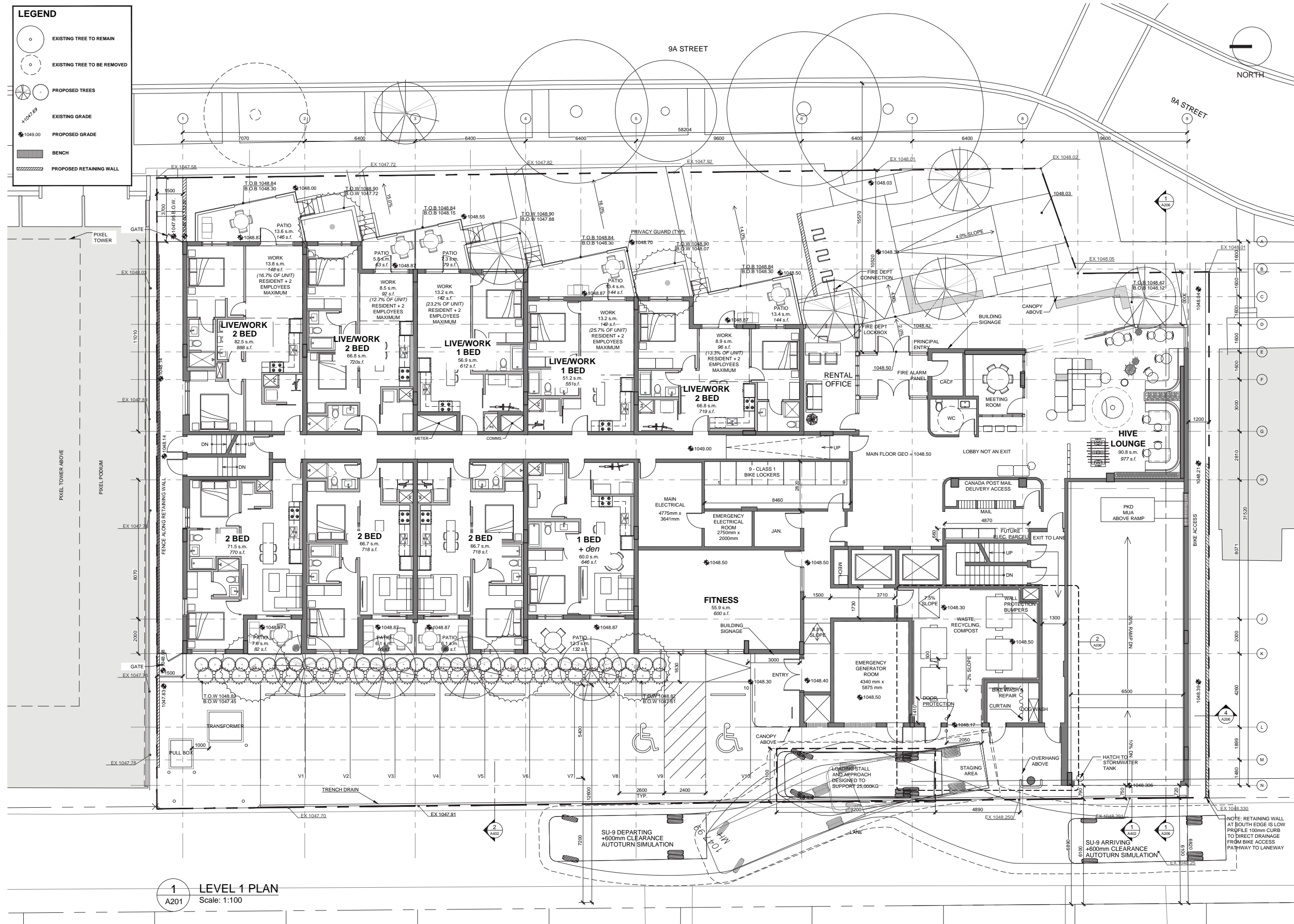
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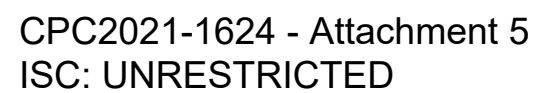
Project
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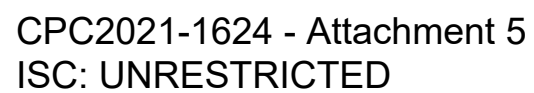
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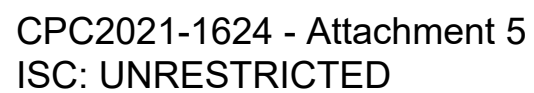
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Project
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Drawing Title
ROOF PLAN

Scale	1:100
Drawing Number	

A205

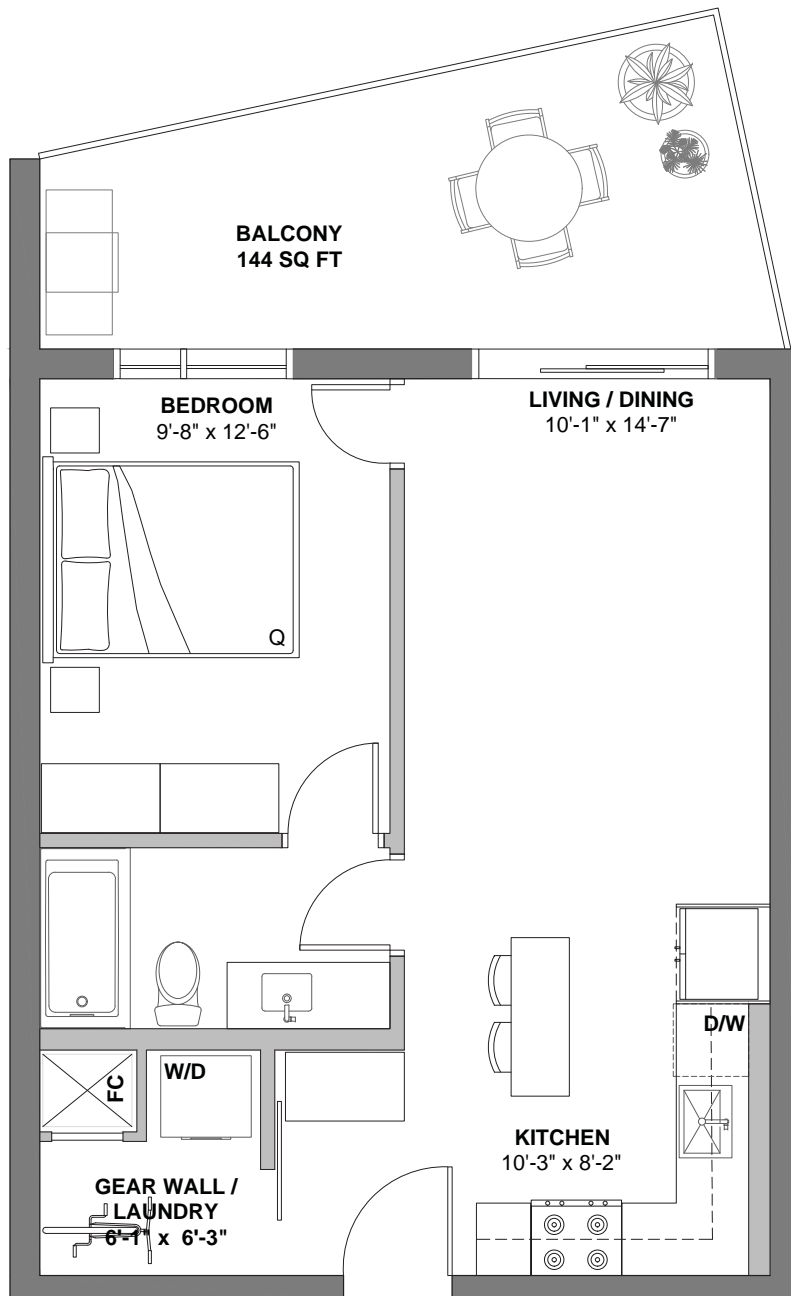




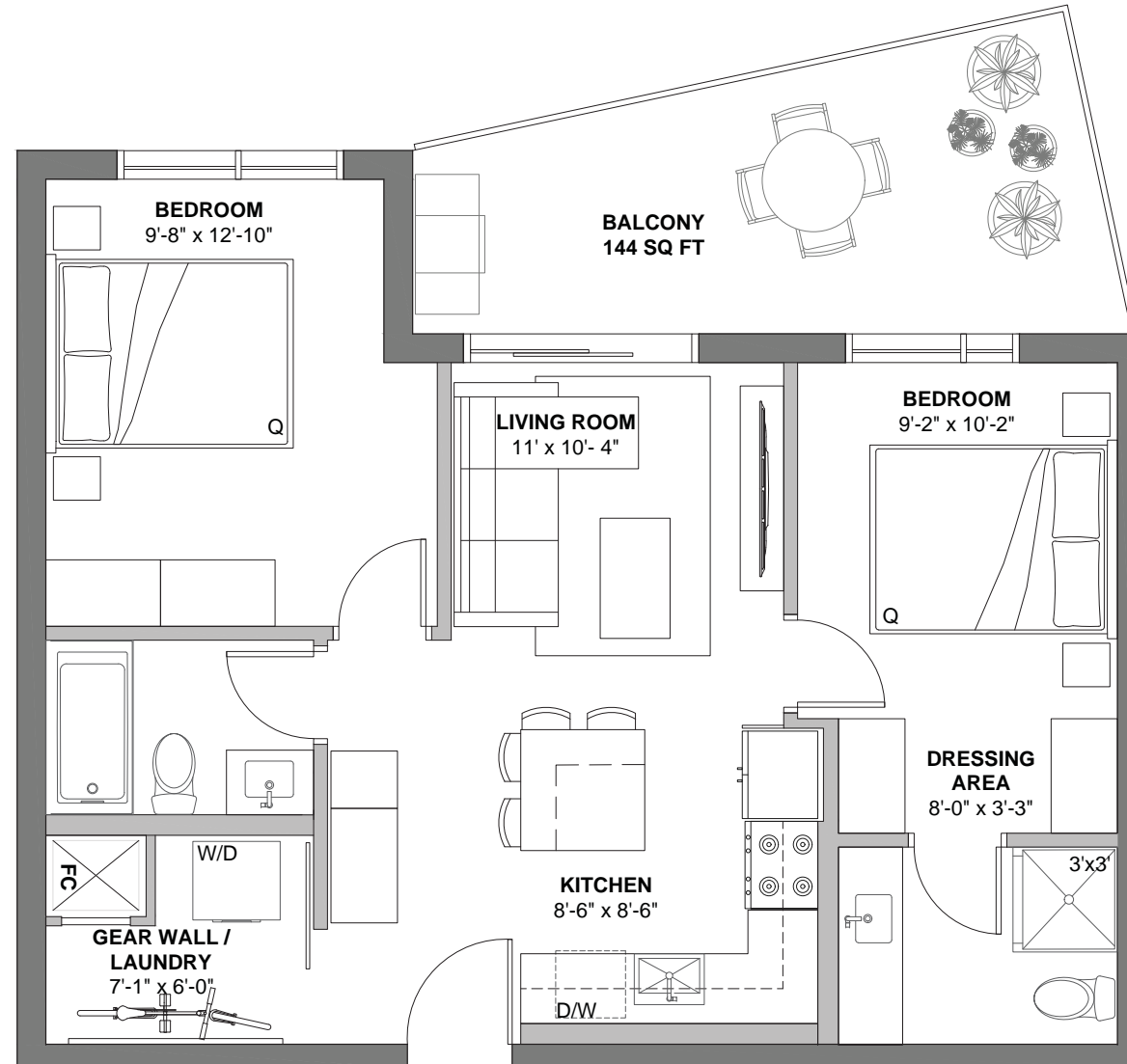
Seal

Scale	1:30
Drawing Number	

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A wooden sliding barn door with a black metal track and rollers, partially open, revealing a bicycle storage area with a black pegboard wall, a bicycle, and a basket.



A modern, minimalist living room with white walls and a light-colored floor. A large black TV is mounted on a white console. To the left of the TV is a potted plant. In the foreground, there is a glass coffee table and a white sofa. In the background, there is a kitchen area with white cabinetry and a dark countertop.

Client



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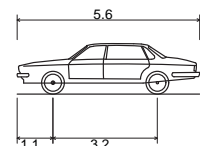
Seal

[illegible]

Drawing Title
PARKADE ENTRY

Scale	1:50
Drawing Number	

Page 17 of 40



P - Passenger Car	
Overall Length	5.600m
Overall Width	2.000m
Overall Body Height	1.555m
Min Body Ground Clearance	0.340m
Track Width	2.000m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	6.300m



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Drawing Title
EAST ELEVATION

Scale
Drawing Number

A301

E1: FIBRE CEMENT PANEL - ASH

E2: FIBRE CEMENT PANEL - HONEY

E3: BRICK - OBSIDIAN

E4:FIBRE CEMENT PANEL - CHARCOAL

FINISH LEGEND

E1 FIBRE CEMENT PANEL - SAND

E2 FIBRE CEMENT PANEL - HONEY

E3 BRICK - OBSIDIAN

E4 FIBRE CEMENT PANEL - CHARCOAL

*NOTE

ALL GUARDRAILS TO BE STEEL FRAME

PAINTED CHARCOAL WITH CLEAR

TEMPERED/LAMINATED GLASS PANELS

3 MATERIALS LEGEND
A401 NTS



1 THE HIVE - EAST ELEVATION
A301 Scale: 1:100



E1: FIBRE CEMENT PANEL - ASH

E2: FIBRE CEMENT PANEL - HONEY

E3: BRICK - OBSIDIAN

E4:FIBRE CEMENT PANEL - CHARCOAL

2

MATERIALS LEGEND

A302

NTS

FINISH LEGEND

E1

FIBRE CEMENT PANEL - SAND

E2

FIBRE CEMENT PANEL - HONEY

E3

BRICK - OBSIDIAN

E4

FIBRE CEMENT PANEL - CHARCOAL



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Project
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Drawing Title
NORTH ELEVATION

Scale
1 : 100

Drawing Number

A302

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Drawing Title
WEST ELEVATION

Scale
Drawing Number

A303

E1: FIBRE CEMENT PANEL - ASH

E2: FIBRE CEMENT PANEL - HONEY

E3: BRICK - OBSIDIAN

E4:FIBRE CEMENT PANEL - CHARCOAL

FINISH LEGEND

E1 FIBRE CEMENT PANEL - SAND

E2 FIBRE CEMENT PANEL - HONEY

E3 BRICK - OBSIDIAN

E4 FIBRE CEMENT PANEL - CHARCOAL

2 MATERIALS LEGEND
A303 NTS



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2020-009

Drawn/Checked
RG / ML

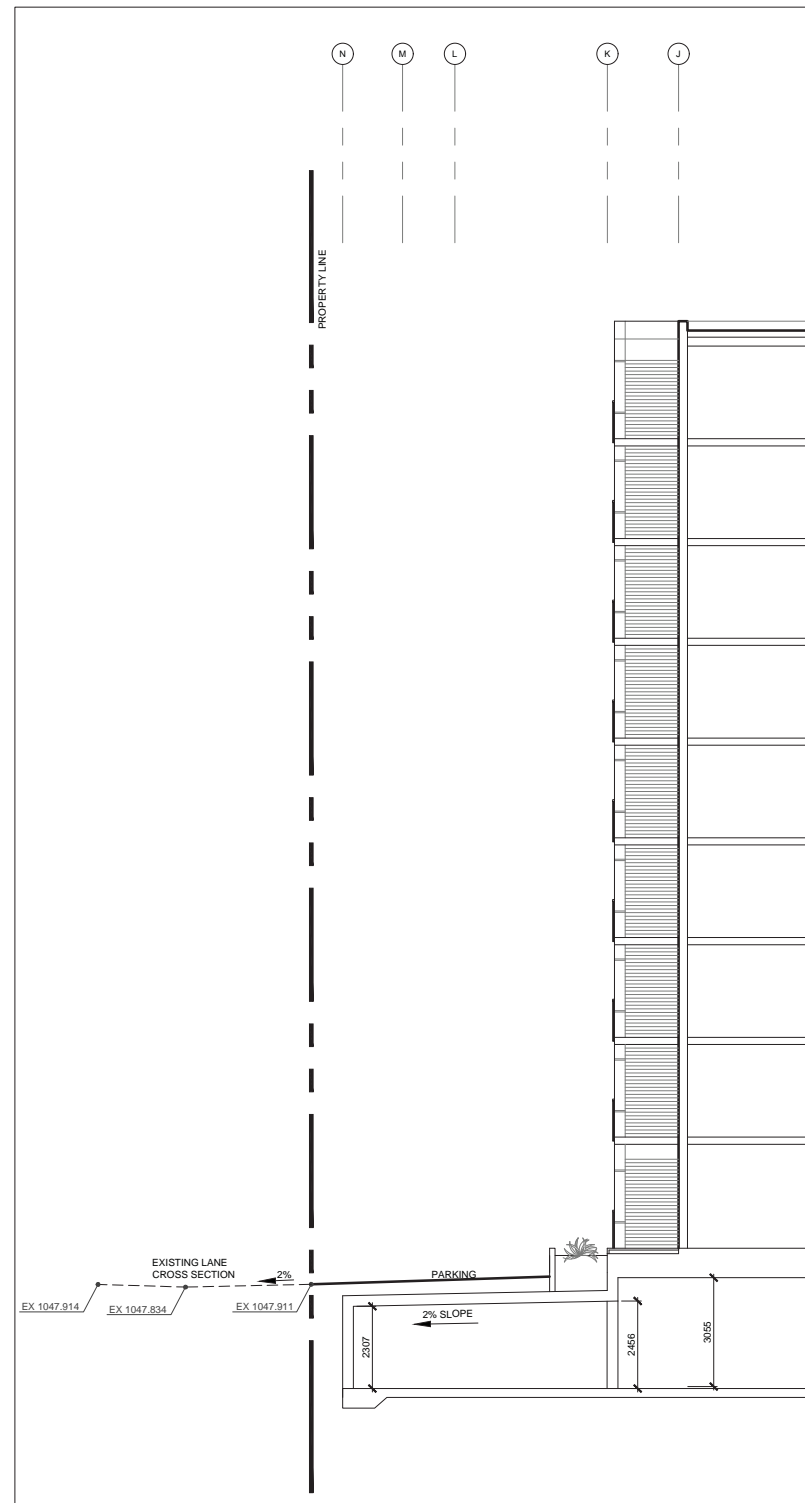
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Drawing Title
BUILDING SECTION 1

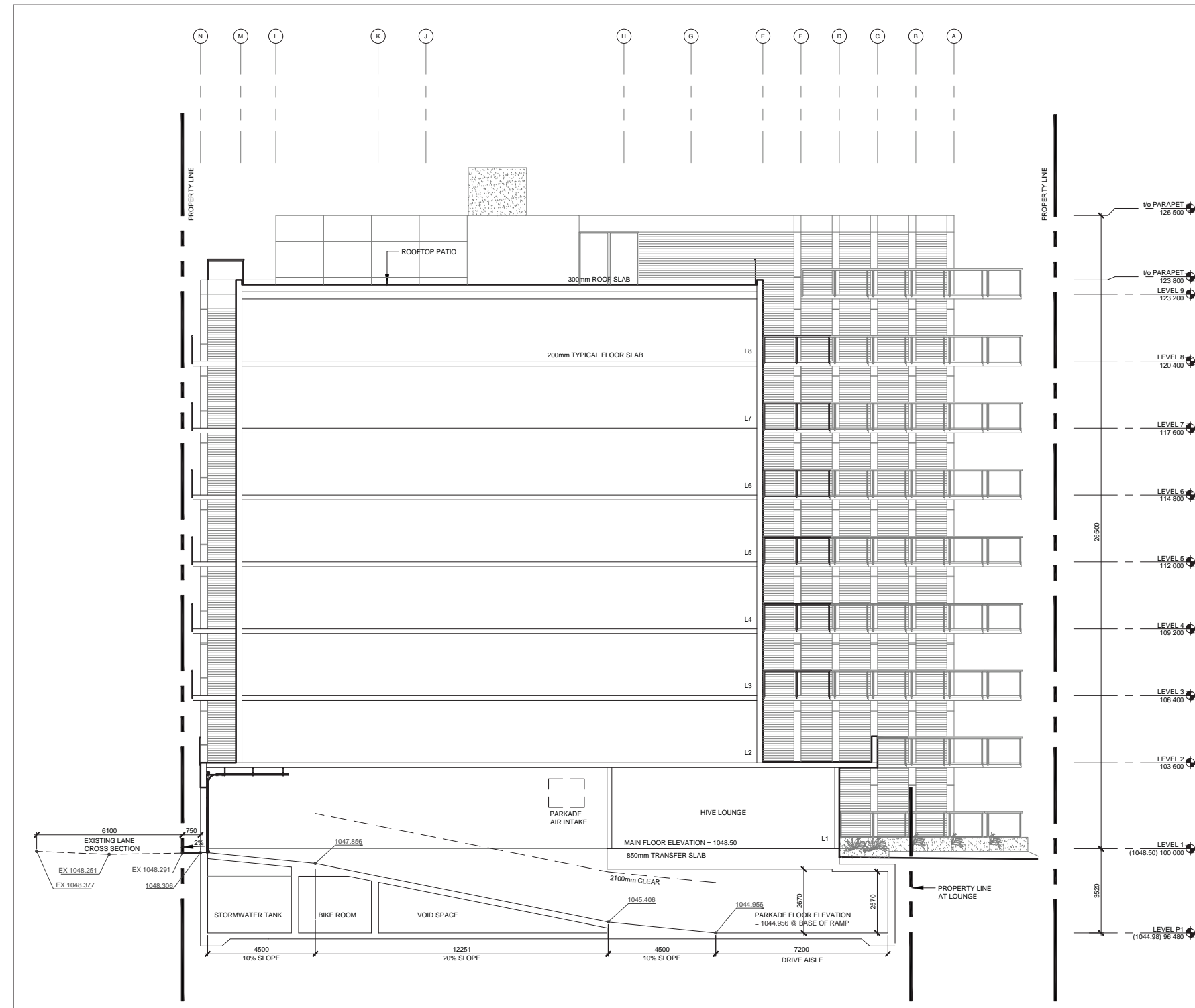
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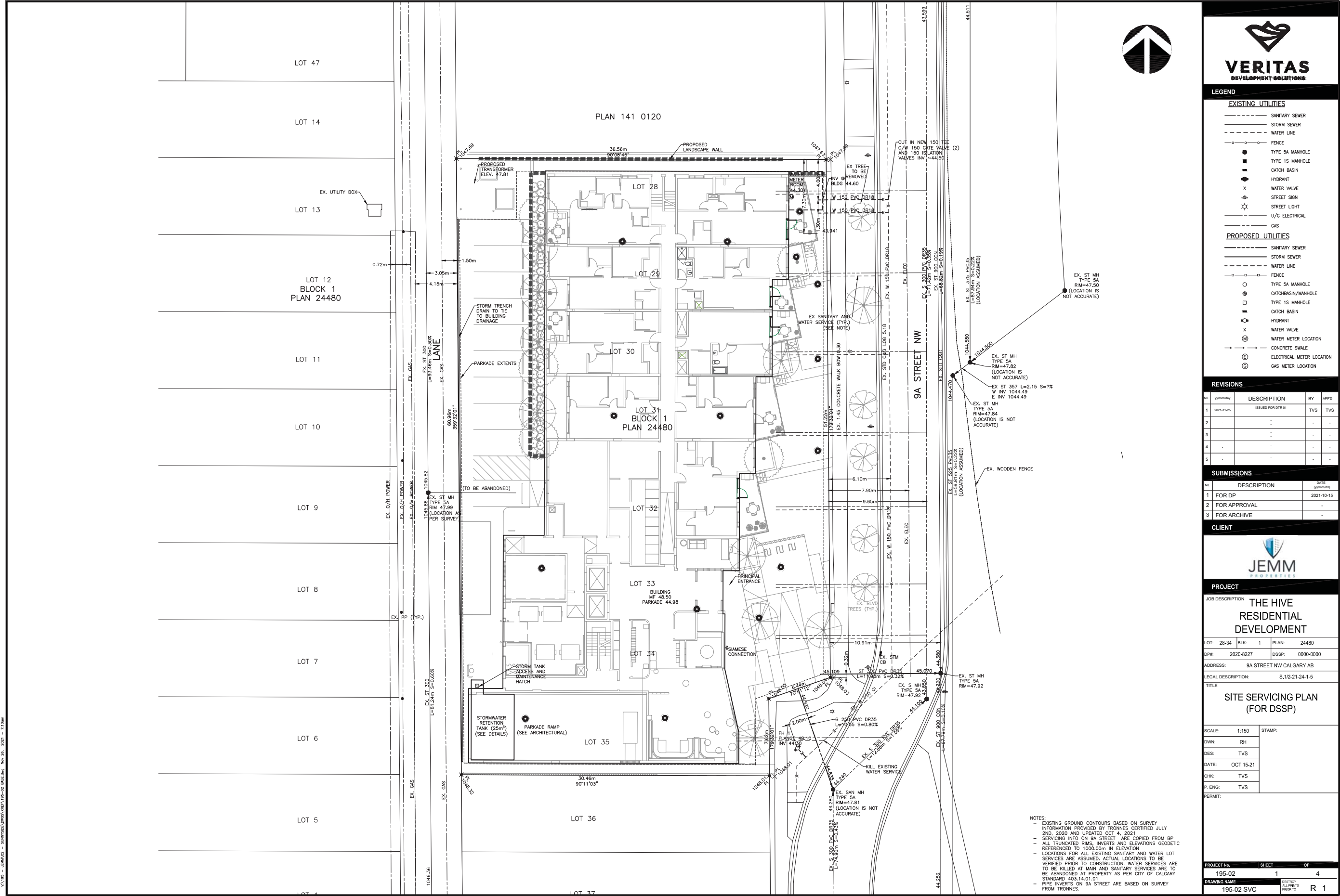
A402

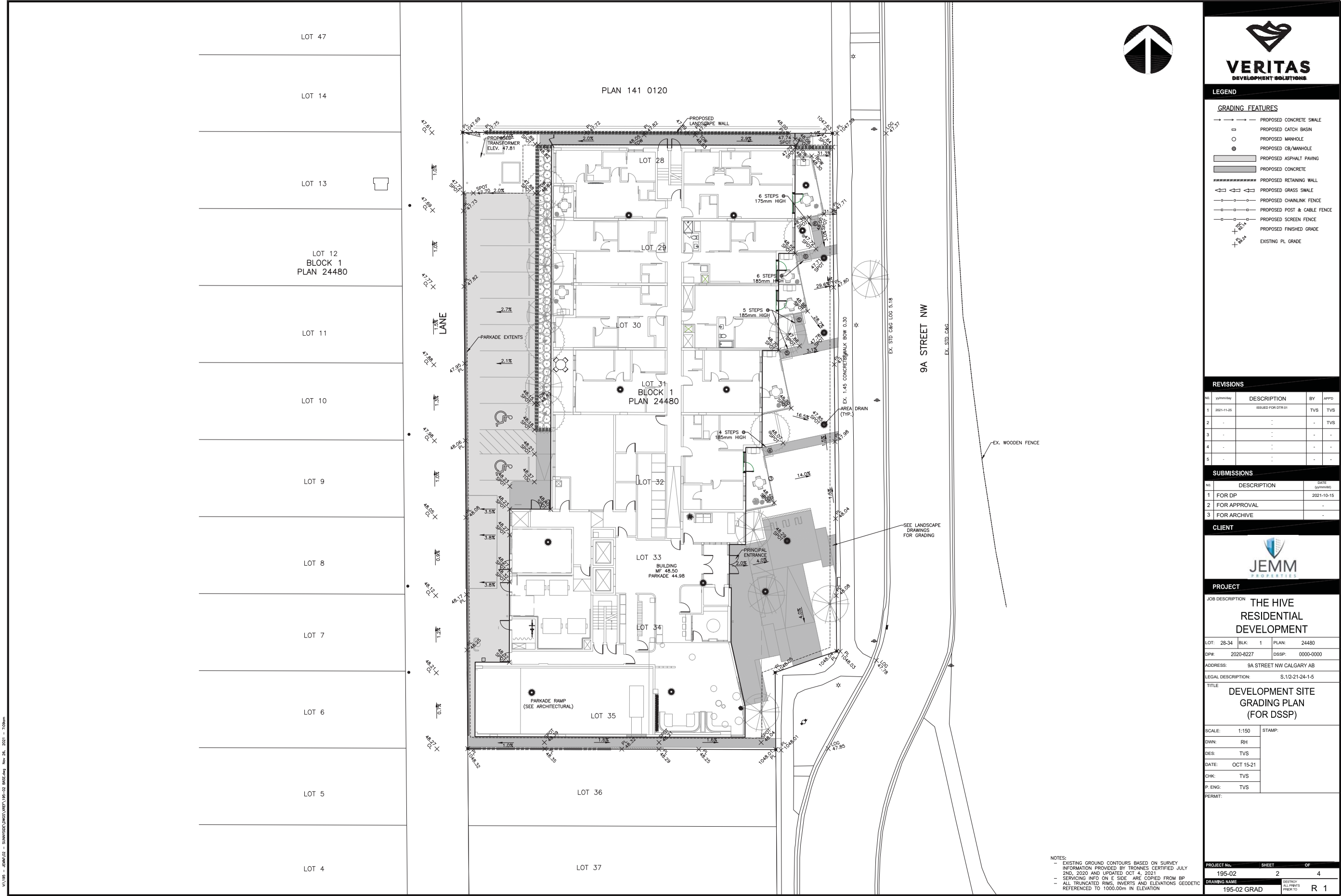


2 EAST / WEST BUILDING SECTION 2
A402 Scale: 1:100



1 EAST / WEST BUILDING SECTION 1
A402 Scale: 1:100





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TEL: (403) 294-9027 FAX: (403) 294-9028

14 KING ST. WEST, SUITE 214 TORONTO, ON M5H3S6
TEL: (647) 253-0086 FAX: (647) 253-2085

009 WEST 4TH AVENUE, VANCOUVER, BC V6J1N3
TEL: (604) 736-6562 FAX: (604) 736-9805

E-MAIL: ENGINEERS@NEMETZ.COM

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Drawing History

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C167	AD/BL&SS

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Drawing Title

SITE PLAN

Scale 1:100

Drawing Number

DP-E1.01





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C167	AD/BL&SS	

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PHOTOMETRIC &
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Scale 1:100

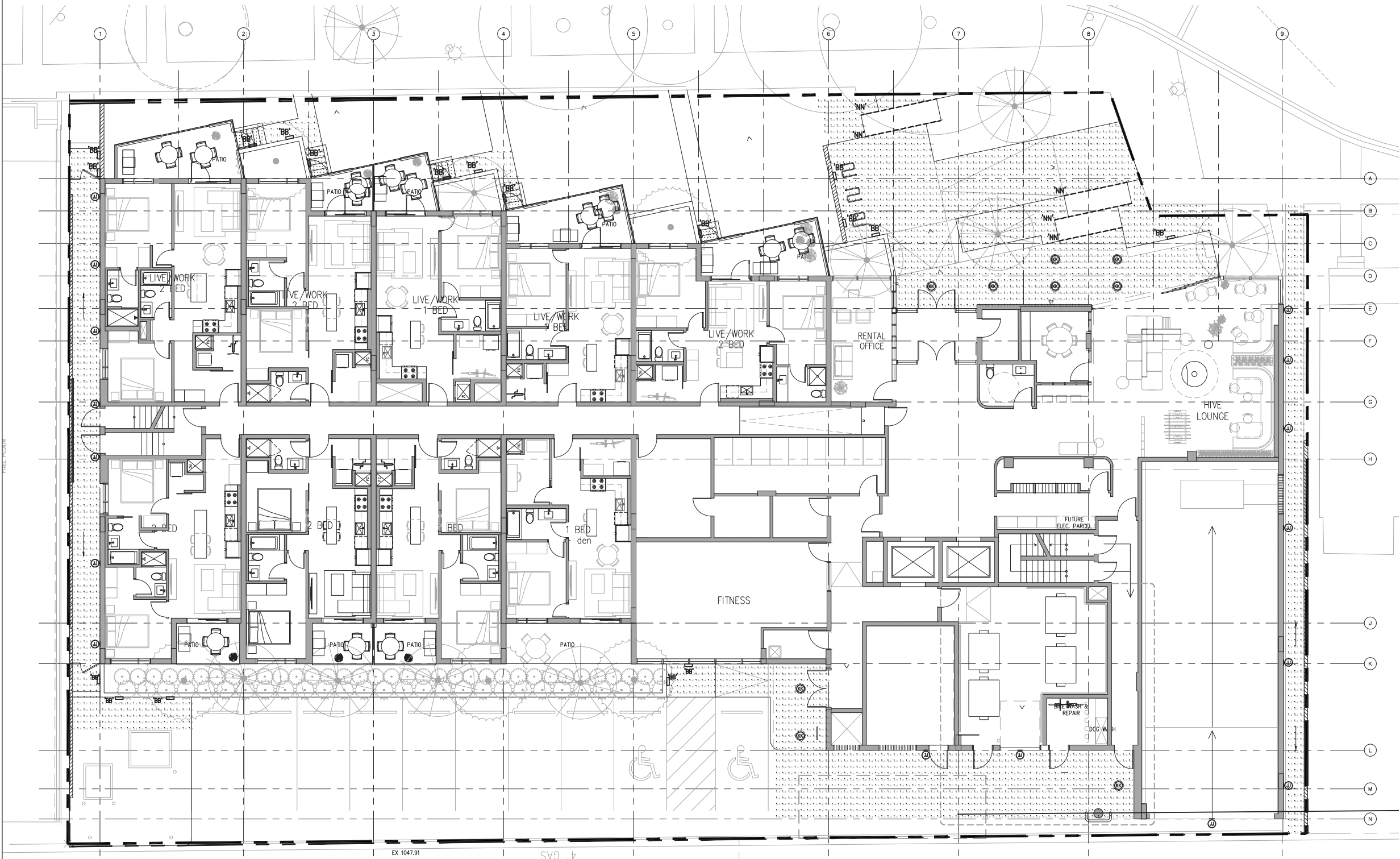
Drawing Number

DP-E1.02



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
East Walkway	Illuminance	Fc	4.72	9.5	0.2	23.60	47.50
Main Entry	Illuminance	Fc	4.72	35.4	0.1	47.20	354.00
N walkway1	Illuminance	Fc	2.22	16.3	0.0	N.A.	N.A.
N walkway2	Illuminance	Fc	1.92	10.5	0.0	N.A.	N.A.
South Entry	Illuminance	Fc	4.72	14.0	1.1	4.29	12.73
Stair1_Top	Illuminance	Fc	0.81	1.1	0.6	1.35	1.83
Stair10_Top	Illuminance	Fc	0.30	0.3	0.3	1.00	1.00
Stair11_Top	Illuminance	Fc	2.43	2.5	2.3	1.06	1.09
Stair12_Top	Illuminance	Fc	7.98	10.7	5.2	1.53	2.06
Stair13_Top	Illuminance	Fc	6.14	9.0	3.3	1.86	2.73
Stair14_Top	Illuminance	Fc	0.35	0.4	0.3	1.17	1.33
Stair15_Top	Illuminance	Fc	1.09	1.3	0.9	1.21	1.44
Stair16_Top	Illuminance	Fc	6.48	8.2	4.8	1.35	1.71
Stair17_Top	Illuminance	Fc	11.37	18.1	4.7	2.42	3.85
Stair18_Top	Illuminance	Fc	0.75	1.0	0.5	1.50	2.00
Stair19_Top	Illuminance	Fc	2.40	2.5	2.3	1.04	1.09
Stair2_Top	Illuminance	Fc	2.73	2.8	2.6	1.05	1.08
Stair20_Top	Illuminance	Fc	7.98	10.6	5.4	1.48	1.95
Stair21_Top	Illuminance	Fc	6.28	9.2	3.4	1.85	2.71
Stair3_Top	Illuminance	Fc	7.95	10.5	5.4	1.47	1.94
Stair4_Top	Illuminance	Fc	5.14	7.2	3.1	1.66	2.32
Stair5_Top	Illuminance	Fc	0.30	0.3	0.3	1.00	1.00
Stair6_Top	Illuminance	Fc	0.61	0.8	0.4	1.53	2.00
Stair7_Top	Illuminance	Fc	2.34	2.5	2.2	1.06	1.14
Stair8_Top	Illuminance	Fc	7.93	10.6	5.3	1.50	2.00
Stair9_Top	Illuminance	Fc	5.92	8.5	3.4	1.74	2.50
West walkway	Illuminance	Fc	6.07	16.8	0.3	20.23	56.00

Symbol	Tag	Qty	Label	Lum. Lumens	LLF	Description
15	WDGB1 LED P1 30K 80CRI VW	1164	0.850	WDGB1 LED P1 30K 80CRI VW		
9	WFE LED 27K30K35K 90CRI 3000	1208	0.850	WFE LED 27K30K35K 90CRI 3000K		
NN	SL1 3000K	99	0.850			
BB	33163 BEGA_IES	239	0.850			





Suite 203 822 11th avenue SW
Calgary, AB T2R 0E5
info@lolaarchitecture.ca
403.289.2891

Project Team
Prime Consultant / Architect
LOLA Architecture
Structural Consultant
ENTUITIVE
Mechanical Consultant
EMBE
Electrical Consultant
Nemetz
Civil Consultant
Veritas
Landscape Consultant
O2 Planning & Design

Client



Consultant

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Seal

Drawing History

02	DTR 01 RESPONSE	2021-11-25
01	DEVELOPMENT PERMIT	2021-10-15
No.	Issued For	Date

Project No. C167
Drawn/Checked AD/BL&SS

Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT





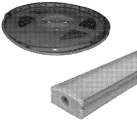
Drawing Title

LUMINAIRE SCHEDULE

Scale NTS
Drawing Number

DP-E1.03



LUMINAIRE SCHEDULE							
<div>NOTES</div> <div><div><div>1. LIGHTING IS DESIGNED TO COMPLY WITH APPLICABLE CURRENT ENERGY CODE. THE CONTRACTOR SHALL NOT CHANGE LIGHTING WITHOUT ENGINEER'S APPROVAL.</div><div>2. ANY CONTRACTOR PROPOSED ALTERNATE LIGHT FIXTURE IN LIEU OF SPECIFIED SHALL BE SUBJECT TO APPROVAL BY THE DESIGNER AND ENGINEER. SUBMIT A BREAKDOWN OF COST SHOWING THE NET DIFFERENCE TO THE DEDUCTED OR ADDED TO THE TENDER PRICE IF ACCEPTED. INCLUDE FOR AND ASSUME RESPONSIBILITY FOR ANY ADDITIONAL COST INCURRED BY OTHER DISCIPLINES AND TRADES, RESULTING FROM SUBSTITUTION AS WELL AS LIGHTING SYSTEM PERFORMANCE.</div><div>3. CONTRACTOR AND/OR SUPPLIER TO PROVIDE UNIT PRICING OF EACH LUMINAIRE TO BE PROVIDED AT TENDER AS PART OF TENDER AND BID PROCESS.</div><div>4. PARKADE LIGHTING LOCATED IN SPRAY-ON INSULATION SHALL BE SET DOWN TO CLEAR THE INSULATION.</div><div>5. INSTALLATION OF ALL PARKADE LIGHTING FIXTURES TO BE CLEAR OF ALL OBSTRUCTIONS IN ORDER TO MAINTAIN PROPER LIGHT LEVELS. MINIMUM CLEAR HEIGHT FOR LIGHT FIXTURE TO BE 7'-6" (2.30m) ABOVE HANDICAP PARKING STALLS AND ACCESS ROUTE TO HANDICAP PARKING STALLS; 6'-10" (2.10m) ABOVE REGULAR STALLS AND DRIVEWAYS, UP TO 12'-0" (3.60m) MAXIMUM. WHERE THE MINIMUM HEIGHT ABOVE STALL IS NOT ATTAINABLE, LUMINAIRE MUST BE PROTECTED FROM MECHANICAL INJURY BY A GUARD, I.e. IMPACT LENSES, OR BY LOCATION PER CANADIAN ELECTRICAL CODE (C.E.C.).</div><div>6. LIGHTING IN MECHANICAL ROOMS, SERVICE ROOMS, CORRIDORS AND PARKADE TO BE SUSPENDED AS NECESSARY TO CLEAR MECHANICAL LINES AND DUCTS.</div></div><div><div>7. LIGHTING IN SPRINKLER MECHANICAL ROOMS AND ELECTRICAL ROOMS SHALL BE ON EM POWER.</div><div>8. ALL RECESSED LIGHTS LOCATED IN INSULATED CEILING MUST BE SUPPLIED WITH I.C. RATED HOUSINGS.</div><div>9. E.C. TO ENSURE ALL LINEAR AND COMPACT FLUORESCENT LAMPS TO BE SUPPLIED AND INSTALLED ARE LOW MERCURY, WITH AVERAGE MERCURY CONTENT OF 70 PICOGRAMS PER LUMEN-HOUR OR BELOW.</div><div>10. ALL LUMINAIRES MUST BE CSA OR CUL APPROVED OR EQUIVALENT AS A SYSTEM.</div><div>11. ALL LUMINAIRES AND LIGHTING CONTROL SYSTEM TO BE COMPATIBLE.</div><div>12. ALL FLUORESCENT LUMINAIRES MUST BE SUPPLIED WITH ELECTRONIC PROGRAM START BALLASTS.</div><div>13. MINIMUM CLEAR HEIGHT FOR LUMINAIRES LOCATED IN EXITS, EXIT CORRIDORS, PUBLIC AND OTHER EGRESS TO BE 6'-10" (2.10m).</div><div>14. ENSURE 12 INCHES OF CLEARANCE IS PROVIDED FROM CABINETRY AND DOOR SWING FOR INCANDESCENT AND HALOGEN LAMPING.</div><div>15. IF LOCATED IN AIR PLENUM SPACE, LIGHTING TO BE COMPLETE WITH FT6 FIRE RATED CABLES AND COMPONENTS.</div></div></div>							
Nemetz Type			Description	Location	Control *	Lamp	Mounting
			LANDSCAPE AND EXTERIOR				
Landscape Type	Image	Nemetz Type					
Type 102		BB	BEGA 22377-K3-XX. CONFIRM FINISH WITH ARCHITECT. NOTE: MOUNTED AT 15" (381Mmm) A.F.F.	EXTERIOR STAIRS/PATH	PHOTOCELL & TIME CLOCK	6W LED 253 LUMENS 3000K	STEP LIGHTS
		CC	BK LIGHTING ARTSTAR XX-UL-F-AR-LED-e65-MFL-A9-XXX-XX-11 (CONFIRM FINISH WITH ARCHITECT)	TREE UPLIGHT	PHOTOCELL & TIME CLOCK	7W LED 400 DEL LUMENS 3000K	GROUND/STEAK
Type 100		JJ	LITHONIA LIGHTING WDGE1 LED-P1-30K-80CRI-VW-MVOLT-SRM. CONFIRM FINISH WITH ARCHITECT. NOTE: MOUNTED AT 6'-8" (2033mm) A.F.F.	ENTRY DOORS	PHOTOCELL & TIME CLOCK	10W LED 1031 DEL. LUMENS 3000K	SURFACE/WALL
		KK	LITHONIA LIGHTING WF6-LED-27K30K35K-90CRI-XX (CONFIRM FINISH WITH ARCHITECT)	CANOPY	PHOTOCELL & TIME CLOCK	13W LED 1032 DEL. LUMENS 3000K	SURFACE/CEILING
		NN	DIFFUSION LIGHTING SL1-OUT-XX-24V-3000K TO BE COMPLETE WITH SLC-002s EXTRUSION (CONFIRM MOUNTING DETAILS W/ ARCHITECT)	EXTERIOR LINEAR	PHOTOCELL & TIME CLOCK	1.5W/FT LED 126 LM/FT 3000K	TBC



PROJECT
**THE HIVE MULTI- FAMILY
DEVELOPMENT**

FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS
223 9A STREET NW, CALGARY, AB, T2N 1T5

LEGAL DESCRIPTION
BLOCK 1, PLAN 24480 S. 1/2 SEC. 21,
TWP .24, RGE.1 W.5.M.
PERMIT
TWP .24, RGE.1 W.5.M.

CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER
ELECTRICAL

SEALS

KEYMAP



ISSUED FOR: DEVELOPMENT PERMIT
DATE: 11/25/2021

NOT FOR CONSTRUCTION

REVISIONS:
NO. DESCRIPTION. DATE. BY.

2. ISSUED FOR DTR 1 2021-11-25
1. ISSUED FOR DEVELOPMENT PERMIT 2021-10-15
DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE :
DEMO PLAN

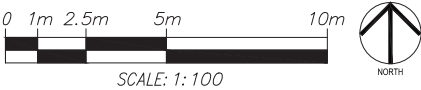
SPECIES INVENTORY						
TREE #	PUBLIC	EXISTING SPECIES OR TYPE	TRUNK DIA (1m ABOVE GROUND)	ESTIMATED HEIGHT (M)	ESTIMATED CROWN WIDTH (M)	TO REMAIN
1	Y	GREEN ASH / Fraxinus pennsylvanica	0.5300	18	9	N
2	Y	GREEN ASH / Fraxinus pennsylvanica	0.5300	18	9	Y
3	Y	GREEN ASH / Fraxinus pennsylvanica	0.4000	18	5	Y
4	Y	GREEN ASH / Fraxinus pennsylvanica	0.5900	18	9	Y
5	Y	GREEN ASH / Fraxinus pennsylvanica	0.4100	18	11	Y

LANDSCAPE NOTES

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LEGEND

- PROPERTY LINE
- EXISTING CURB + GUTTER
- 1.82m HIGH FENCE ALONG PROPERTY LINE
- STORM WATER LINE
- GAS
- EXISTING SANITARY PIPE
- EXISTING WATER MAIN
- POWER
- TREE PROTECTION FENCING
- TREE TO BE REMOVED





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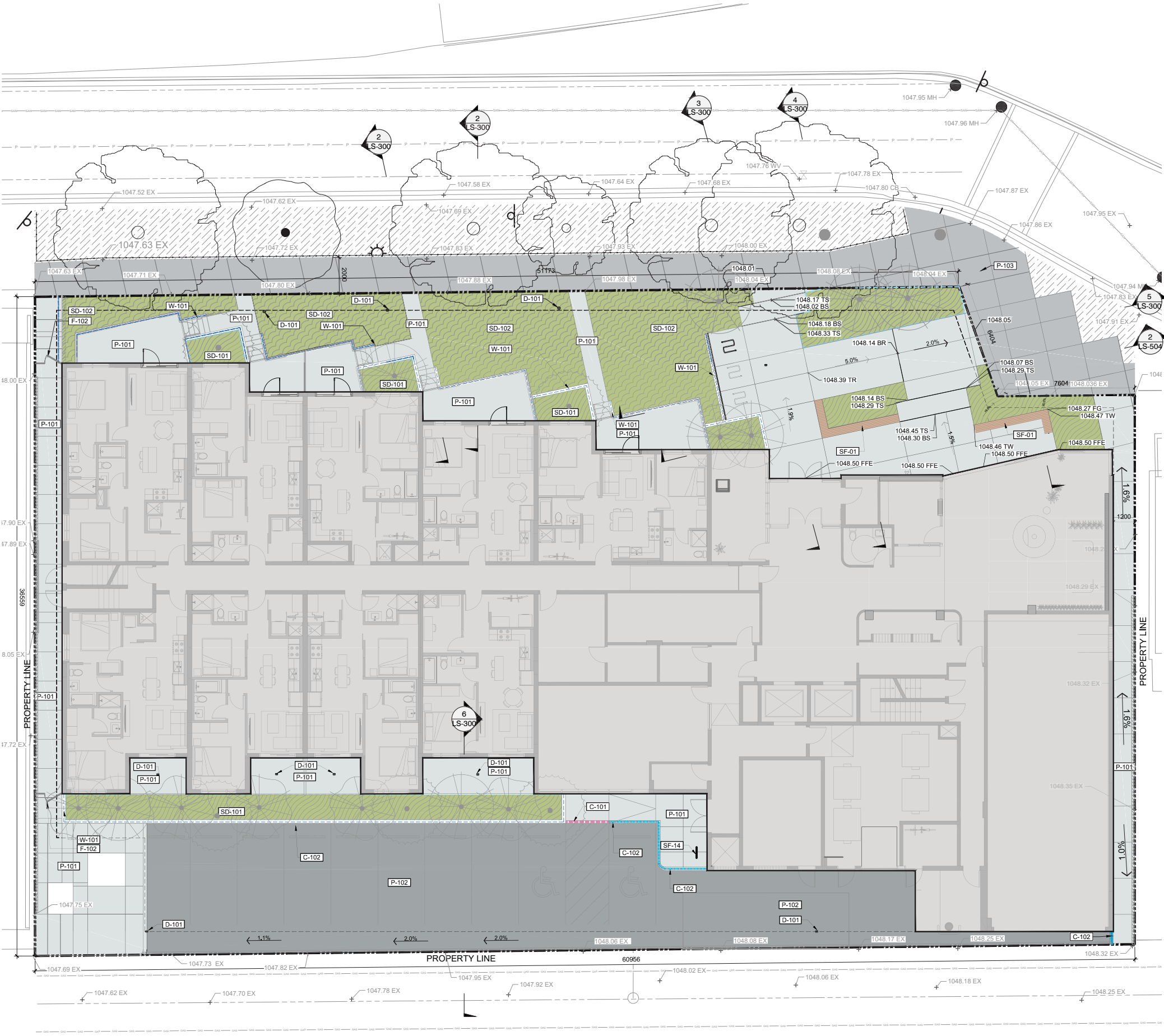
REVISIONS:
NO. DESCRIPTION. DATE. BY.

2. ISSUED FOR DTR 1 2021-11-25
1. ISSUED FOR DEVELOPMENT PERMIT 2021-10-15

DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE :
SITE PLAN

LS-100



LEGEND

---	PROPERTY LINE
---	EXTENT OF PARKADE BELOW
---	PROPOSED CURB + GUTTER
---	EXISTING CURB + GUTTER
---	1.82m HIGH FENCE ALONG PROPERTY LINE
---	STORM WATER LINE
---	GAS
---	EXISTING SANITARY PIPE
---	EXISTING WATER MAIN
---	POWER
---	PROPOSED WATER LINE
---	PROPOSED SANITARY PIPE
---	PROPOSED STORM
+	1048.25 EX
+	1048.33
---	IRRIGATION ZONES

REFERENCE NOTES SCHEDULE

SYMBOL	CURB DESCRIPTION	QTY	DETAIL
CS-101	CURB LETDOWN	2.4 m	7.5.5-501
CS-102	TYPICAL CITY OF CALGARY CONCRETE CURB	8.7 m	8.5.5-501
SYMBOL	DRAINAGE DESCRIPTION	QTY	DETAIL
D-101	AREA DRAIN	10	REFER TO MECHANICAL
SYMBOL	FENCES AND GATES DESCRIPTION	QTY	DETAIL
F-102	SECURED GATE	2	26.5-503
SYMBOL	PAVING DESCRIPTION	QTY	DETAIL
P-101	PEDESTRIAN CONCRETE	355.6 m ²	26.5-501
P-102	VEHICULAR CONCRETE	270.9 m ²	16.5-501
P-103	SIDEWALK	162.1 m ²	36.5-501
SYMBOL	PLANT AREA DESCRIPTION	QTY	DETAIL
PA-101	SOFTSCAPE AREA	241.3 m ²	N/A
SYMBOL	SOIL ASSEMBLIES DESCRIPTION	QTY	DETAIL
SS-101	PLANTER - 50mm MULCH BARK - 100mm TOPSOIL	130.8 m ²	7.5.5-500
SS-102	PERENNIAL PLANTING - 350mm TOPSOIL	123.3 m ²	8.5.5-500
SS-103	SOD PLANTING - 200mm TOPSOIL	17.3 m ²	9.5.5-500
SS-104	SOFTSCAPE OUTSIDE OF PROPERTY LINE	145.9 m ²	N/A
SYMBOL	SEATING DESCRIPTION	QTY	DETAIL
SF-01	BENCH	11.1 m	16.5-507
SYMBOL	SITE FEATURE DESCRIPTION	QTY	DETAIL
SF-02	CLASS 2 BIKE RACK (4 BIKES EACH)	3	16.5-502
SF-03	U BIKE RACK (2 BIKES EACH)	2	36.5-502
SYMBOL	WALLS, RETAINING WALLS DESCRIPTION	QTY	DETAIL
W-101	600mm CONCRETE PLANTER WALL	96.0 m	WALL BY ARCH

BY-LAW REQUIREMENTS

	REQUIREMENT	PROVIDED
1 TREE/45m ²	19, of which 7 (30%) need to be from Table 3 identified in section 556 in the bylaw	19 TOTAL, 3 coniferous, 16 deciduous (10 from Table 3)
2 SHRUBS/45m ²	39, of which 13 (30%) need to be from Table 4 identified in section 556 in the bylaw	85 (49 from Table 4)

LANDSCAPE NOTES

AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION AND INSTALLATION OF THE SIDEWALK IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION.

TREE PLANTING WITHIN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT WILL CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-426-3216 OR AT 311 TO ARRANGE AN INSPECTION.

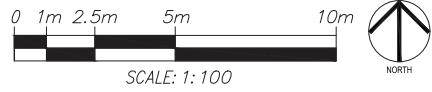
ALL SHRUB BEDS TO HAVE A BARK MULCH GROUND COVER TO REDUCE WEED SPREAD AND RETAIN MOISTURE.

ALL TREES WITHIN THE BOULEVARD ARE SUBJECT TO LINE ASSIGNMENT APPROVAL.

FOR LANDSCAPED AREAS WITH A BUILDING BELOW, PLANTING AREAS TO HAVE THE FOLLOWING MINIMUM SOIL DEPTHS:

(A) 1.2M FOR TREES;
(B) 0.4M FOR SHRUBS;
(C) 0.3M FOR ALL OTHER PLANTING AREAS.

IRRIGATION NOTES:
ALL SOFTSCAPE AREAS WITHIN PROPERTY LINE TO BE IRRIGATED USING LOW-WATER USAGE DRIP IRRIGATION SYSTEM. THE DESIGN INCORPORATES THE 'LOW WATER LANDSCAPING OPTION' IDENTIFIED IN SECTION 556 OF THE BYLAW TO REDUCE REQUIRED LANDSCAPE AREA BY 3%. ALL SHRUB AND TREE PLANTINGS CONFORM TO CITY RECOMMENDED SPECIES AND ARE LOCATED WITHIN SIMILAR HYDROZONES OR MOISTURE REQUIREMENTS. SEE THE PLAN FOR RESTRICTED IRRIGATION AREAS.





PROJECT
THE HIVE MULTI- FAMILY DEVELOPMENT
FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS
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BY-LAW CALCULATIONS		
SYMBOL	DESCRIPTION	QTY
[01-01]	LANDSCAPE AREA	626.8 m ²
[01-02]	NON-LANDSCAPE AREA	1,551 m ²
[01-03]	SOFTSCAPE	246.4 m ²
[01-04]	HARDSCAPE	379.4 m ²
TOTAL PARCEL		2,178 m ²
TOTAL LANDSCAPE AREA REQUIRED		870 m ²
TOTAL LANDSCAPE AREA REQUIRED AFTER REDUCTION OPTIONS		717 m ²
TOTAL LANDSCAPE AREA PROVIDED		766.74 m ²

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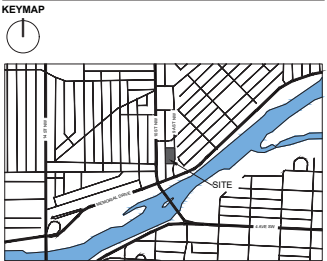
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LEGEND	
[Symbol]	PROPERTY LINE
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[Symbol]	EXISTING CURB + GUTTER
[Symbol]	1.82m HIGH FENCE ALONG PROPERTY LINE
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[Symbol]	PROPOSED WATER LINE
[Symbol]	PROPOSED SANITARY LINE
[Symbol]	GAS
[Symbol]	EXISTING SANITARY PIPE
[Symbol]	EXISTING WATER MAIN
[Symbol]	EXISTING STORM PIPE

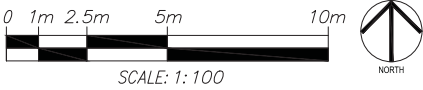


ISSUED FOR: DTR 1
DATE: 11/25/2021
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REVISIONS:		
NO.	DESCRIPTION	DATE
2.	ISSUED FOR DTR 1	2021-11-25
1.	ISSUED FOR DEVELOPMENT PERMIT	2021-10-15

DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
SITE PLAN



LS-100



PROJECT
**THE HIVE MULTI- FAMILY
DEVELOPMENT**

FOR
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KEYMAP



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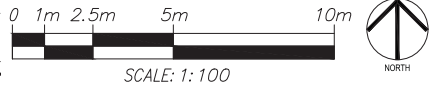
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2. ISSUED FOR DTR 1 2021-11-25
1. ISSUED FOR DEVELOPMENT PERMIT 2021-10-15
DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
LAYOUT PLAN

- LEGEND
- PROPERTY LINE
 - EXTENT OF PARKADE BELOW
 - PROPOSED CURB + GUTTER
 - EXISTING CURB + GUTTER
 - 1.82m HIGH FENCE ALONG PROPERTY LINE
 - STORM WATER LINE
 - GAS
 - EXISTING SANITARY PIPE
 - EXISTING WATER MAIN
 - POWER
 - PROPOSED WATER LINE
 - PROPOSED SANITARY PIPE
 - PROPOSED STORM
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - IRRIGATION ZONES

+ 1048.25 EX
+ 1048.33





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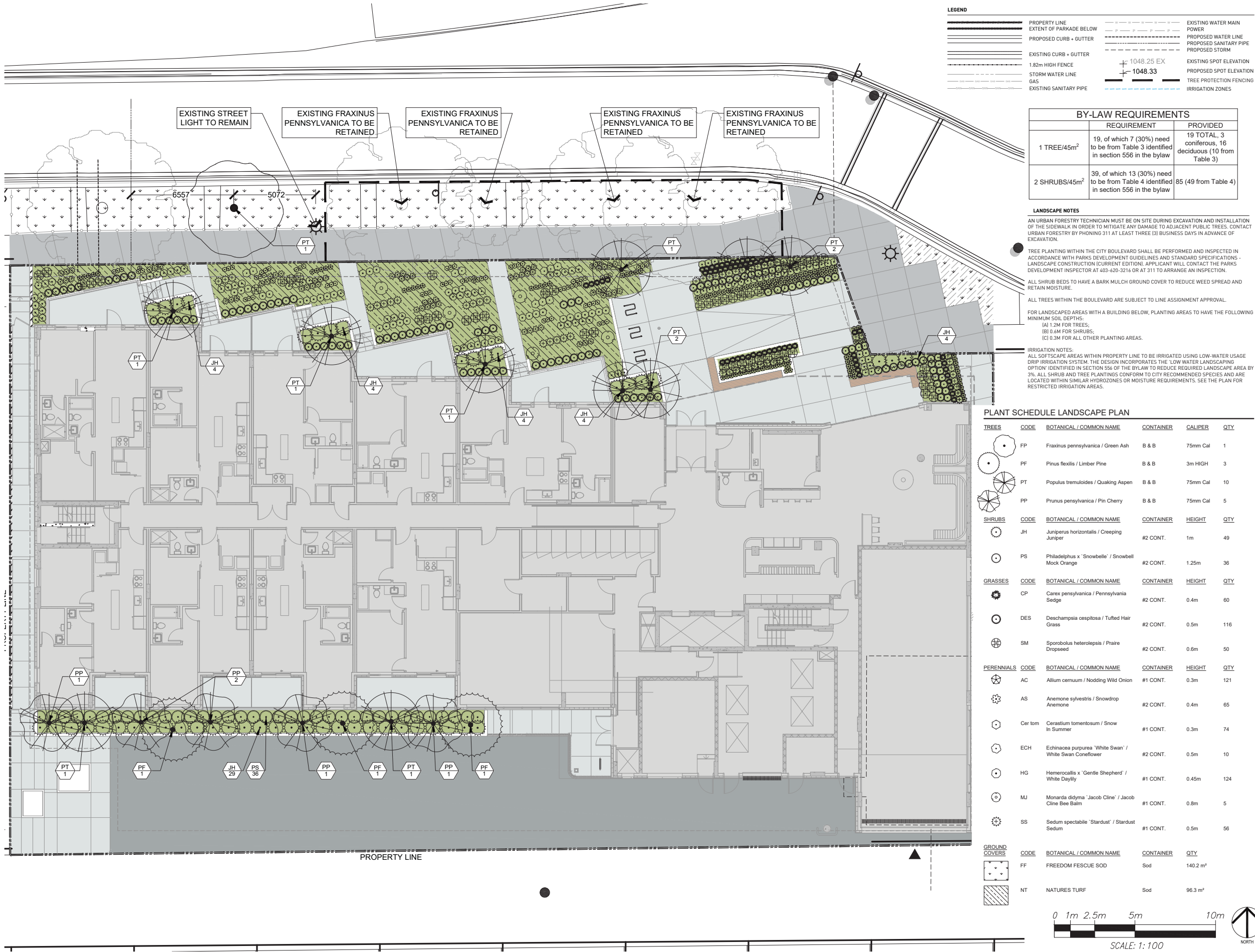
2. ISSUED FOR DTR 1 2021-11-25

1. ISSUED FOR DEVELOPMENT PERMIT 2021-10-15

DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
PLANTING PLAN

LP-100





PROJECT
THE HIVE MULTI- FAMILY
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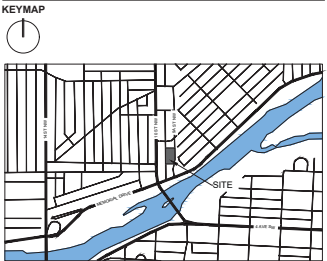
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PERMIT
TWP .24, RGE.1 W.5.M.

CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER

ELECTRICAL

SEALS



ISSUED FOR: DTR 1
DATE: 11/25/2021

NOT FOR CONSTRUCTION

REVISIONS:
NO. DESCRIPTION. DATE. BY.

REVISIONS:
NO. DESCRIPTION. DATE. BY.

2. ISSUED FOR DTR 1 2021-11-25

1. ISSUED FOR DEVELOPMENT PERMIT 2021-10-15

DESIGNED BY: ZW

CHECKED BY: MW

DRAWING TITLE :
ROOF PLAN

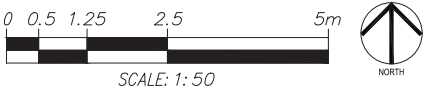
REFERENCE NOTES SCHEDULE AMENITY ROOF

SYMBOL	CURBS DESCRIPTION	DETAIL
C-103	150mm CONCRETE CURB	6/LS-508
C-104	200mm CONCRETE CURB	10/LS-508
SYMBOL	DRAINAGE DESCRIPTION	DETAIL
D-101	AREA DRAIN	REFER TO MECHANICAL
SYMBOL	FENCES AND GATES DESCRIPTION	DETAIL
F-101	DOG RUN FENCE	1/LS-511
F-103	DOG RUN GATE	1/LS-511
SYMBOL	KITCHEN DESCRIPTION	DETAIL
K-01	BBQ. REFER TO SPECS	REFER TO SPECS
SYMBOL	PAVING DESCRIPTION	DETAIL
P-104	PAVING SLABS	1/LS-508
P-105	DECKING	2/LS-508
P-106	ARTIFICIAL TURF	4/LS-508
SYMBOL	PLANT AREA DESCRIPTION	DETAIL
PA-102	GREENROOF PERENNIAL AND SEDUM PLANTING	3/LS-508
SYMBOL	SOIL ASSEMBLIES DESCRIPTION	DETAIL
SD-101	PLANTER - 75mm MULCH BARK - 1000mm TOPSOIL	7/LS-500
SYMBOL	SEATING DESCRIPTION	DETAIL
SE-101	DINING BENCH	REFER TO SPECS
SE-102	450mm WOOD BENCH	4/LS-510
SE-103	DINING CHAIR	REFER TO SPECS
SE-104	LOUNGE CHAIR	REFER TO SPECS
SE-105	LOUNGE CHAIR TYPE 2 - LOLL DESIGN PLATFORM ONE CORNER	REFER TO SPECS
SE-106	LOUNGE COUCH - LOLL DESIGN PLATFORM ONE SOFA RIGHT	REFER TO SPECS
SYMBOL	SITE FEATURE DESCRIPTION	DETAIL
SF-01	BENCH	1/LS-503
SF-13	FIRE FEATURE	REFER TO SPECS
SF-102	HOSE BIB - REFER TO MECHANICAL FOR SPECIFICATIONS - SURFACE MOUNTED TO CONCRETE PLANTER WALL - RUN PIPE TUP THROUGH PLANTER	REFER TO MECHANICAL
SYMBOL	TABLES DESCRIPTION	DETAIL
T-05	DINING TABLE TYPE 1	REFER TO SPECS
T-11	DINING TABLE TYPE 2	REFER TO SPECS

PLANT SCHEDULE AMENITY ROOF

TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER
AG	AG	Prunus maackii / Amur Cherry	B & B	75mm Cal
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT
ECH	ECH	Echinacea purpurea 'White Swan' / White Swan Coneflower	#2 CONT.	
NA	NA	Narcissus x 'Actaea' / Actaea Poeticus Daffodil	30cm	Bulb
SS	SS	Sedum spectabile 'Stardust' / Stardust Sedum	60cm	#1 CONT.
Thy	Thy	Thymus praecox 'Coccineus' / Red Creeping Thyme	#1 CONT.	

IRRIGATION NOTES:
ALL SOFTSCAPE AREAS WITHIN PROPERTY LINE TO BE IRRIGATED USING LOW-WATER USAGE DRIP IRRIGATION SYSTEM.
THE DESIGN INCORPORATES THE 'LOW WATER LANDSCAPING OPTION' IDENTIFIED IN SECTION 556 OF THE BYLAW TO
REDUCE REQUIRED LANDSCAPE AREA BY 3%. ALL SHRUB AND TREE PLANTINGS CONFORM TO CITY RECOMMENDED
SPECIES AND ARE LOCATED WITHIN SIMILAR HYDROZONES OR MOISTURE REQUIREMENTS. SEE THE PLAN FOR
RESTRICTED IRRIGATION AREAS.



SCALE: 1: 50

LS-200



PROJECT
THE HIVE MULTI- FAMILY
DEVELOPMENT

FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS
223 9A STREET NW, CALGARY, AB, T2N 1T5

LEGAL DESCRIPTION
BLOCK 1, PLAN 24480 S. 1/2 SEC. 21,
TWP. 24, RGE.1 W.5.M.
PERMIT
TWP. 24, RGE.1 W.5.M.

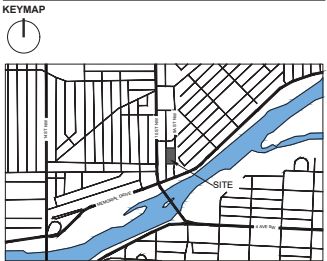
CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER

ELECTRICAL

SEALS

BYLAW REQUIREMENTS

SYMBOL	GENERAL DESCRIPTION	QTY
[Green Box]	LANDSCAPED AREA PROVIDED AT L9 AMENITY SOFT = 48.92m²	
[Orange Box]	LANDSCAPED AREA PROVIDED AT L9 AMENITY HARD = 92.02m²	
[Red Dashed Box]	LANDSCAPED AREA PROVIDED L9 TOTAL = 140.94m²	
	TOTAL LANDSCAPE AREA PROVIDED: = 765.74m²	



ISSUED FOR: DEVELOPMENT PERMIT
DATE: 11/25/2021

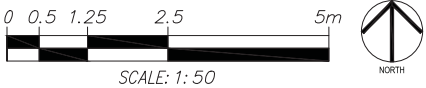
NOT FOR CONSTRUCTION

REVISIONS:
NO. DESCRIPTION. DATE. BY.

2.	ISSUED FOR DTR 1	2021-11-25
1.	ISSUED FOR DEVELOPMENT PERMIT	2021-10-15

DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
ROOF PLAN WITH AREA
CALCULATIONS



LS-201

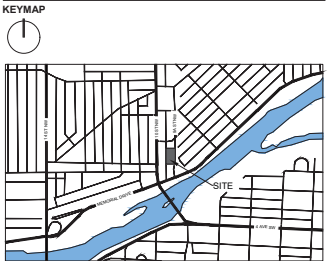


PROJECT
THE HIVE MULTI-FAMILY DEVELOPMENT
FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS
223 9A STREET NW, CALGARY, AB, T2N 1T5
LEGAL DESCRIPTION
BLOCK 1, PLAN 24480 S. 1/2 SEC. 21,
TWP .24, RGE.1 W.5.M.
PERMIT
TWP .24, RGE.1 W.5.M.

CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER
ELECTRICAL

SEALS

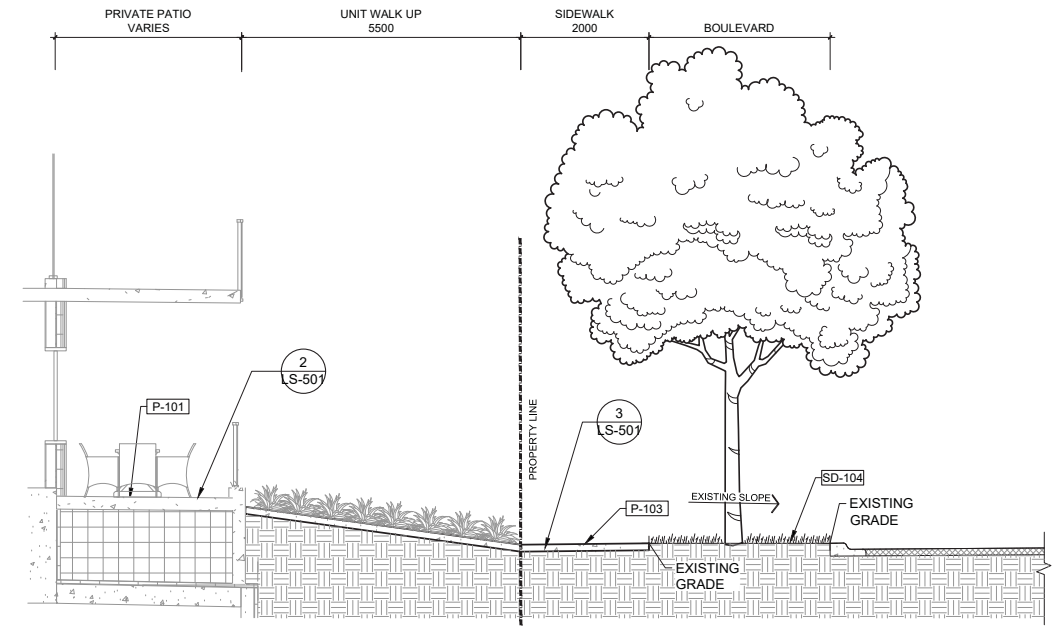


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NO. DESCRIPTION. DATE. BY.

2. ISSUED FOR DTR 1 2021-11-25
1. ISSUED FOR DEVELOPMENT PERMIT 2021-10-15
DESIGNED BY: ZW CHECKED BY: MW

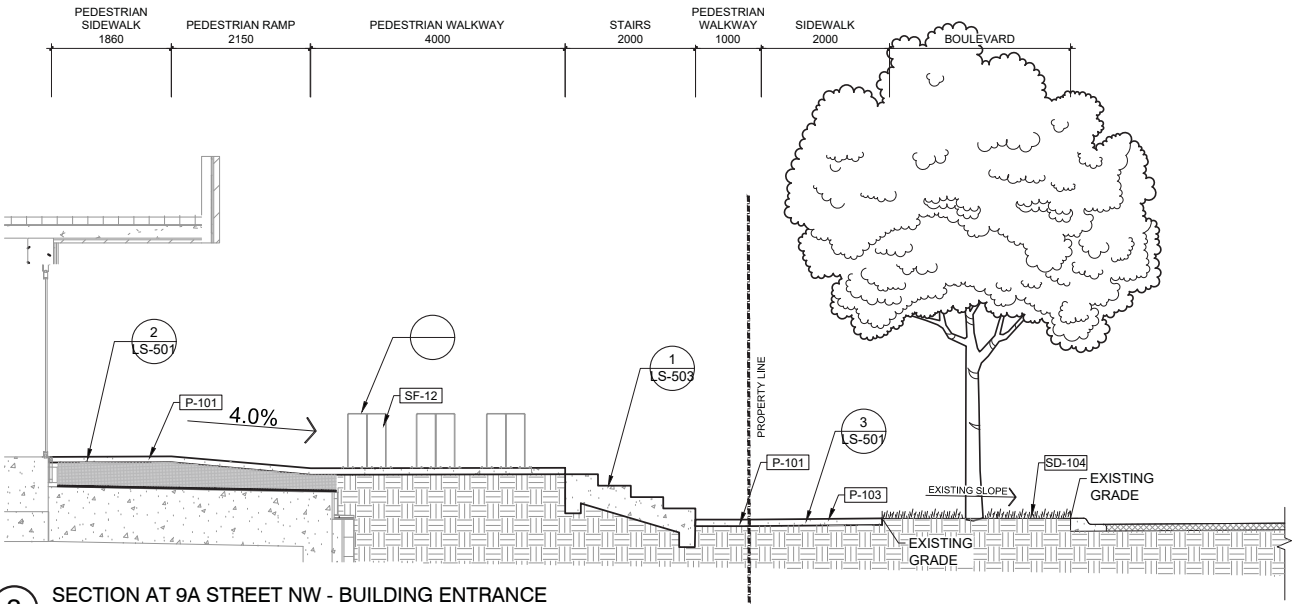
DRAWING TITLE:
SECTIONS



1 SECTION AT 9A STREET NW - NORTH WITH WALK UP

1:50

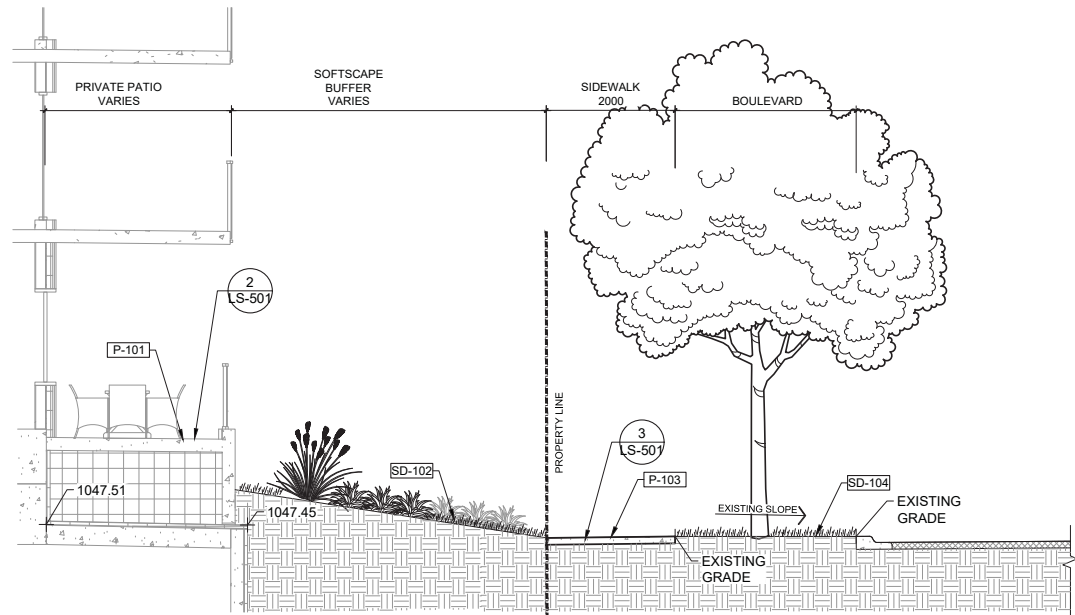
P-02-JEM-25



3 SECTION AT 9A STREET NW - BUILDING ENTRANCE

1:50

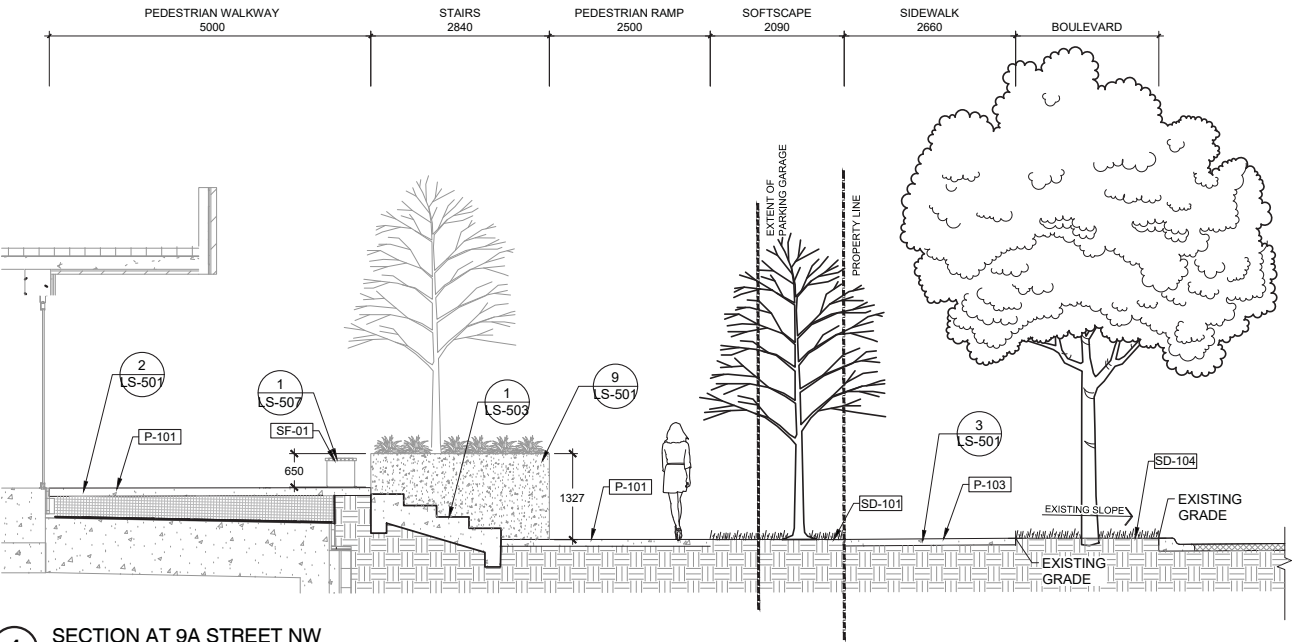
P-02-JEM-18



2 SECTION AT 9A STREET NW - NORTH

1:50

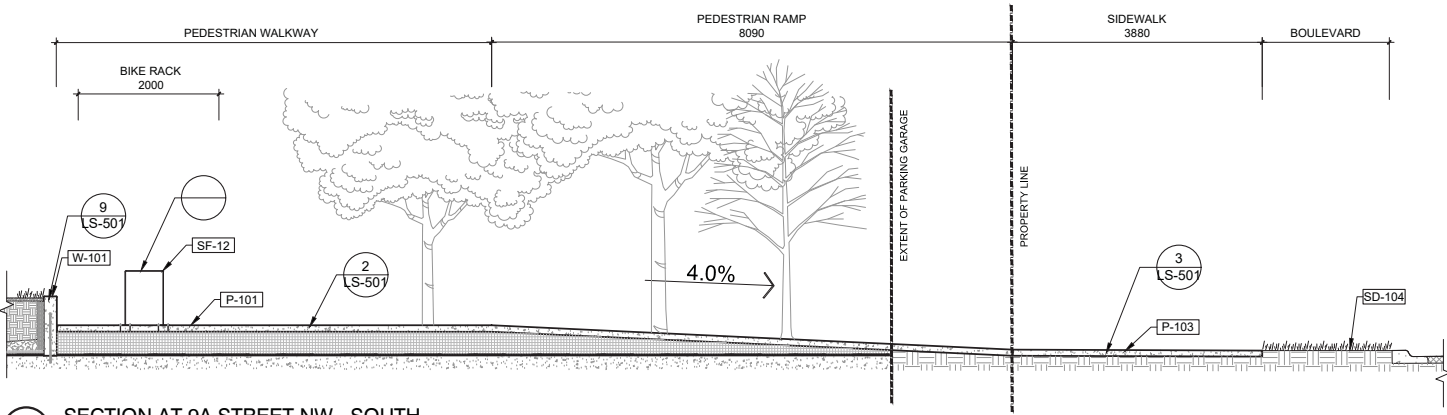
P-02-JEM-17



4 SECTION AT 9A STREET NW

1:50

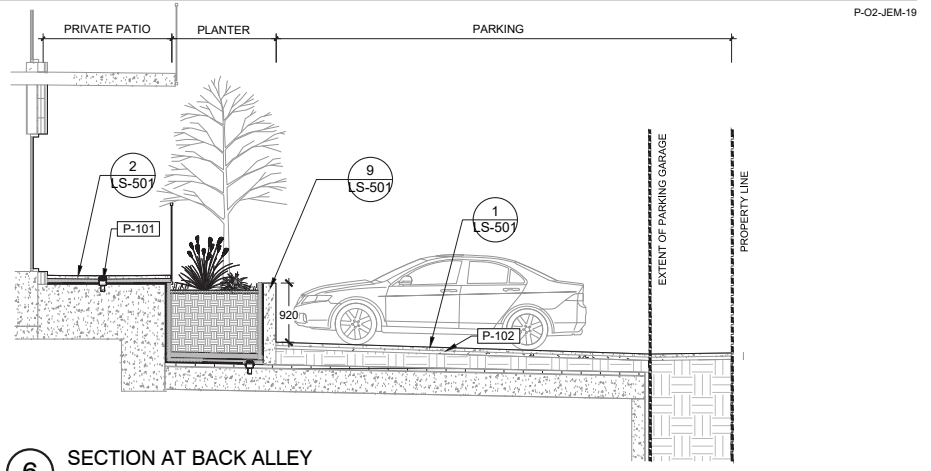
P-02-JEM-19



5 SECTION AT 9A STREET NW - SOUTH

1:50

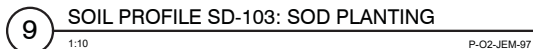
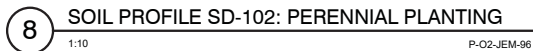
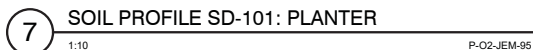
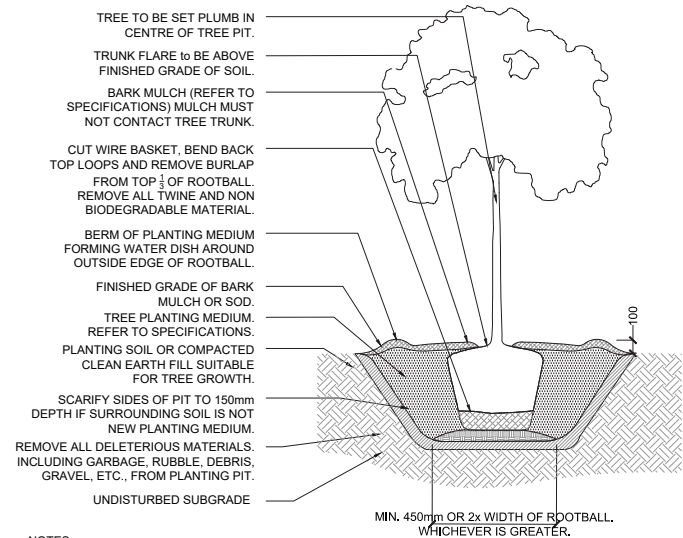
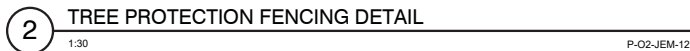
P-02-JEM-20



6 SECTION AT BACK ALLEY

1:50

P-02-JEM-21





PROJECT
THE HIVE MULTI- FAMILY
DEVELOPMENT

FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS
223 9A STREET NW, CALGARY, AB, T2N 1T5

LEGAL DESCRIPTION
BLOCK 1, PLAN 24480 S. 1/2 SEC. 21,
TWP .24, RGE.1 W.5.M.
PERMIT
TWP .24, RGE.1 W.5.M.

CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER

ELECTRICAL

SEALS

KEYMAP



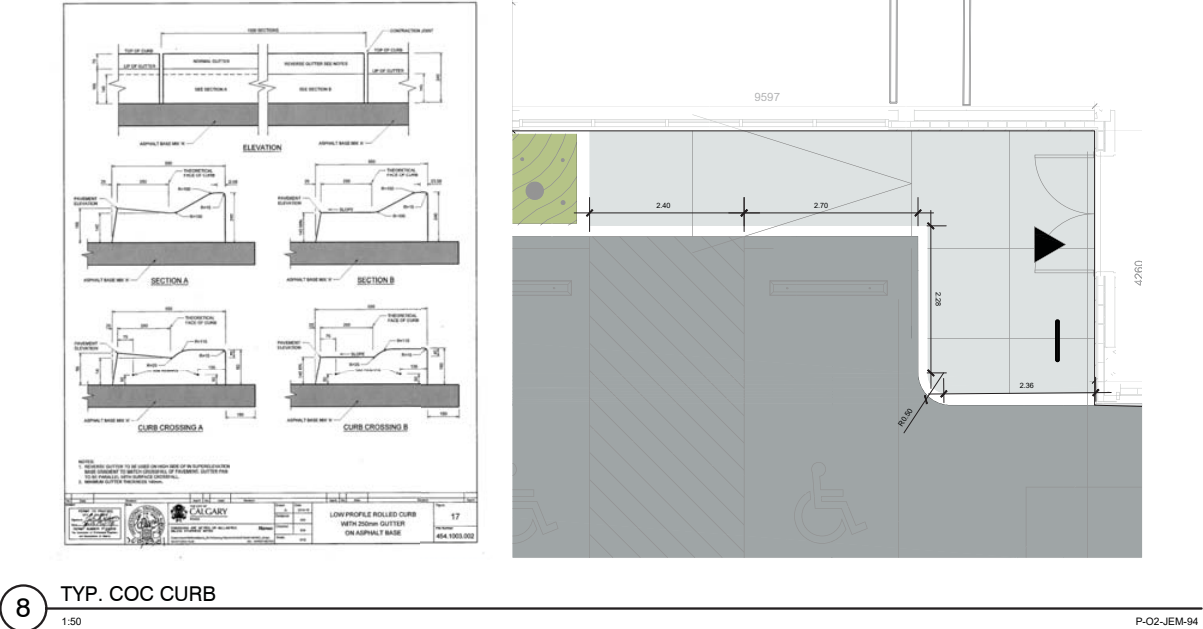
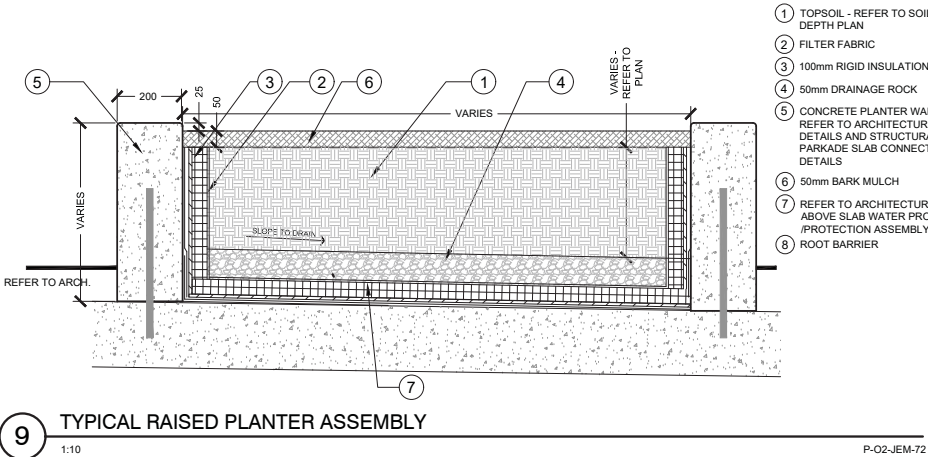
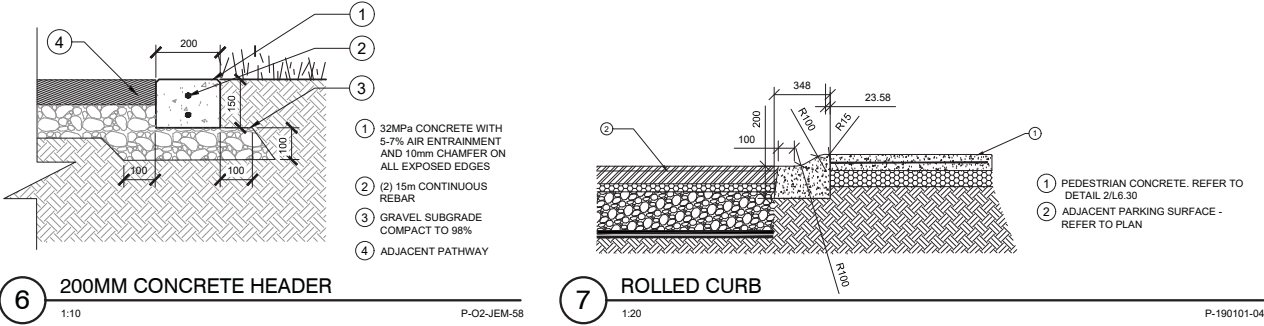
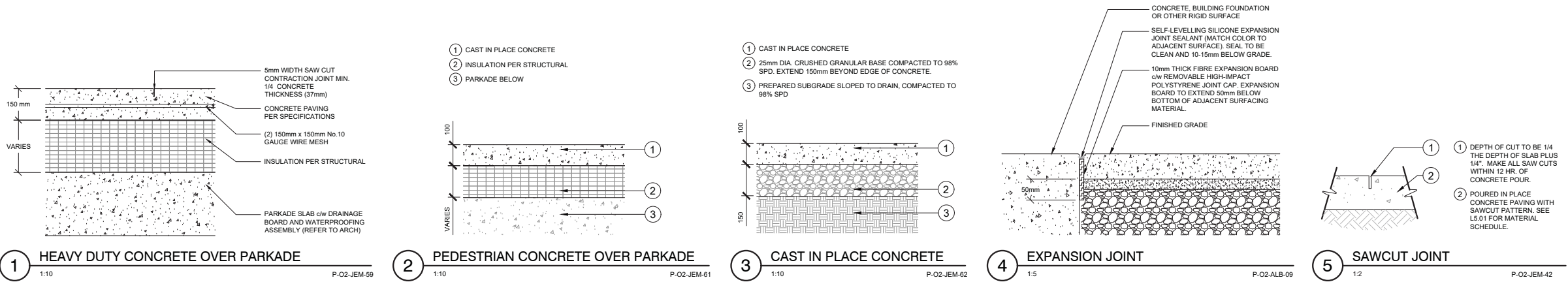
ISSUED FOR: DEVELOPMENT PERMIT
DATE: 11/25/2021

NOT FOR CONSTRUCTION

REVISIONS:
NO. DESCRIPTION. DATE. BY.

2. ISSUED FOR DTR 1 2021-11-25
1. ISSUED FOR DEVELOPMENT PERMIT 2021-10-15
DESIGNED BY: ZW CHECKED BY: MNV

DRAWING TITLE :
LANDSCAPE DETAILS





PROJECT
THE HIVE MULTI- FAMILY DEVELOPMENT
FOR
JEMM PROPERTIES

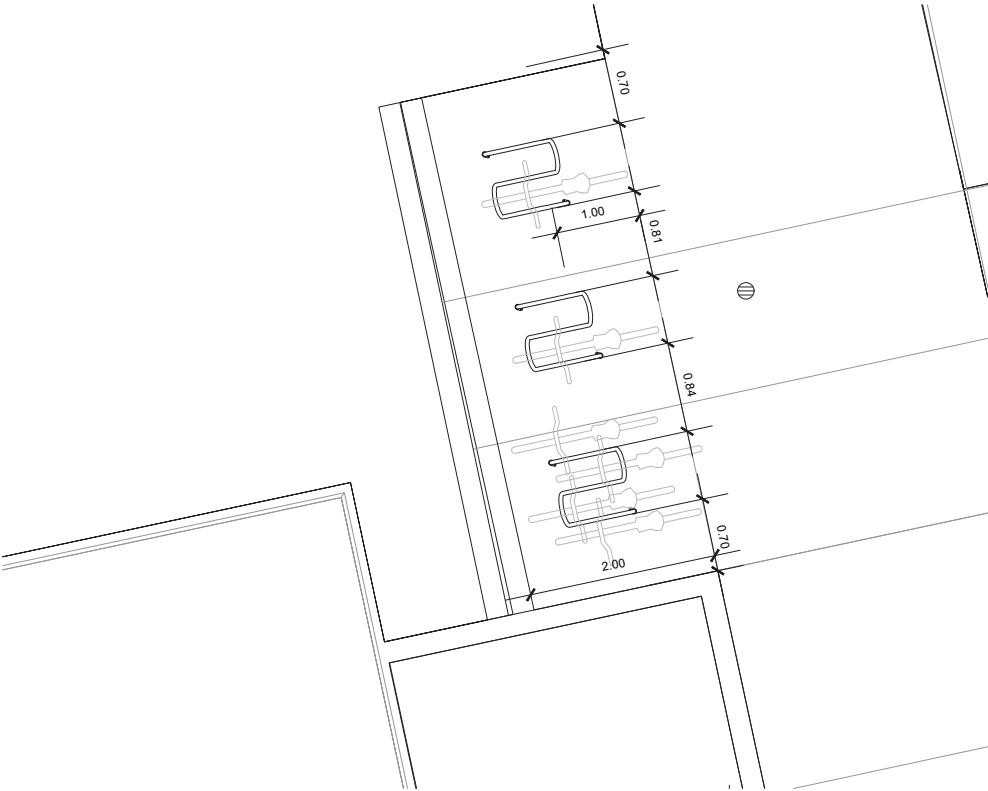
MUNICIPAL ADDRESS
223 9A STREET NW, CALGARY, AB, T2N 1T5

LEGAL DESCRIPTION
BLOCK 1, PLAN 24480 S. 1/2 SEC. 21,
TWP .24, RGE.1 W.5.M.
PERMIT
TWP .24, RGE.1 W.5.M.

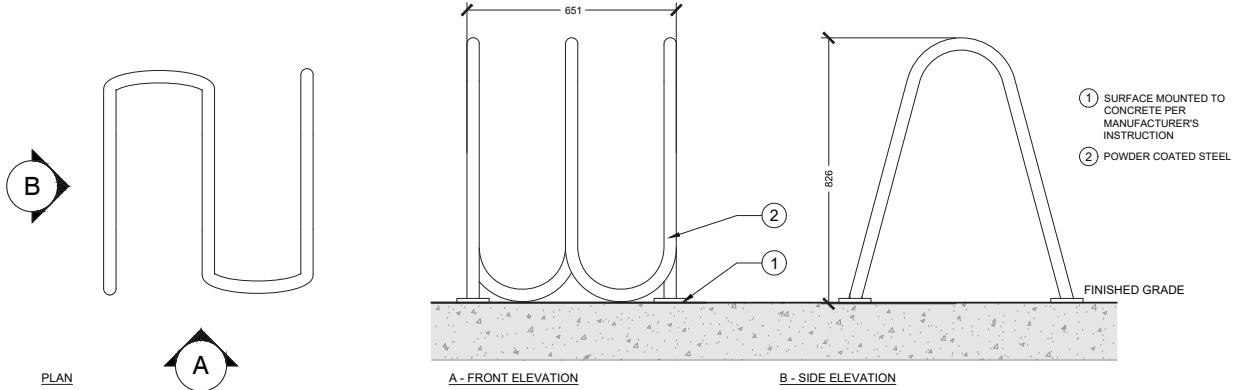
CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER

ELECTRICAL

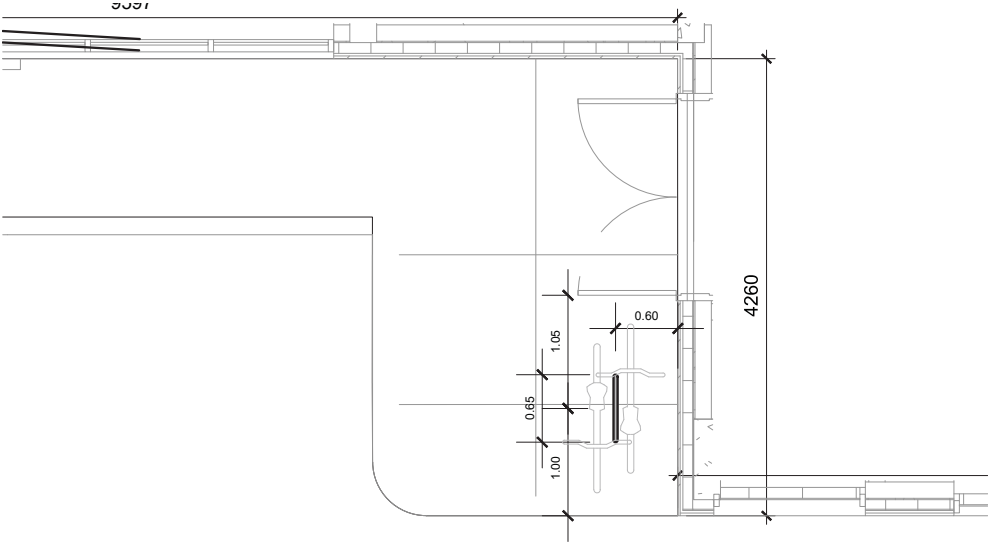
SEALS



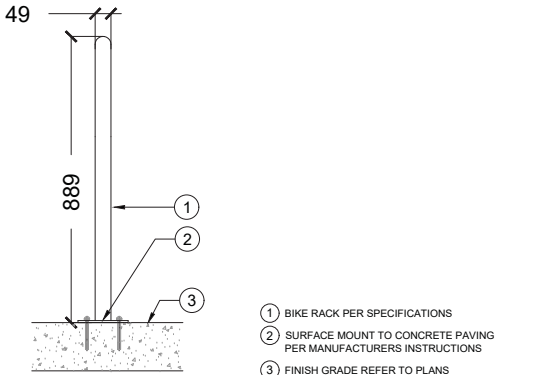
1 ENLARGEMENT OF CLASS 2 FLO BIKE RACKS WITH TYP. SPACING
1:30
DETAIL-FILE



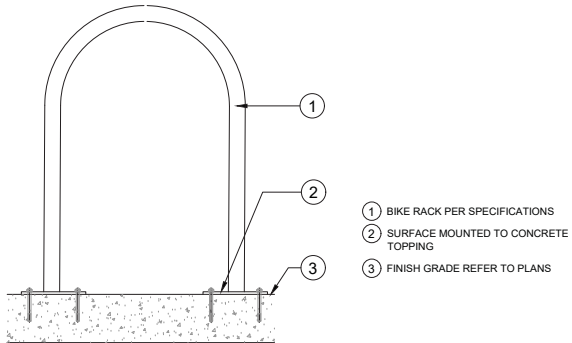
2 FLO BIKE RACK
1:10
P-02-JEM-98



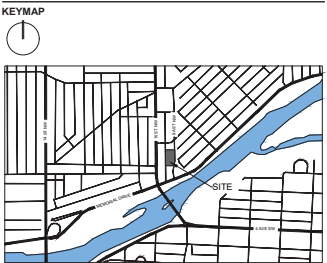
3 ENLARGEMENT OF CLASS 2 U BIKE RACK WITH TYP. SPACING
1:30
DETAIL-FILE



4 BIKE RACK SECTION
1:10
DETAIL-FILE



5 BIKE RACK SECTION
1:10
DETAIL-FILE



ISSUED FOR: DEVELOPMENT PERMIT
DATE: 11/25/2021

NOT FOR CONSTRUCTION

REVISIONS:
NO. DESCRIPTION. DATE. BY.

2. ISSUED FOR DTR 1 2021-11-25
1. ISSUED FOR DEVELOPMENT PERMIT 2021-10-15
DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
HARDSCAPE DETAILS

LS-502



PROJECT
THE HIVE MULTI- FAMILY DEVELOPMENT
FOR
JEMM PROPERTIES

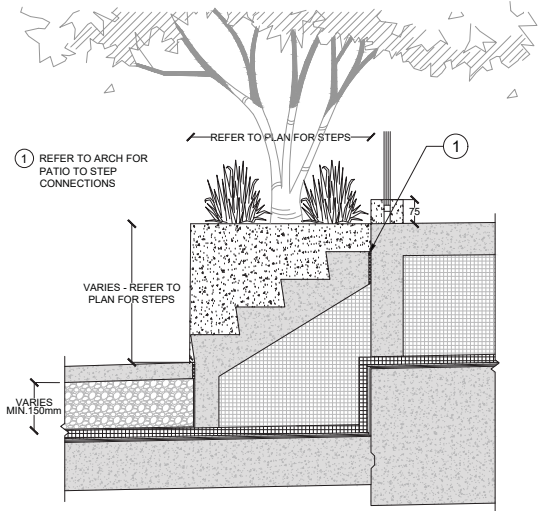
MUNICIPAL ADDRESS
223 9A STREET NW, CALGARY, AB, T2N 1T5

LEGAL DESCRIPTION
BLOCK 1, PLAN 24480 S. 1/2 SEC. 21,
TWP .24, RGE.1 W.5.M.
PERMIT
TWP .24, RGE.1 W.5.M.

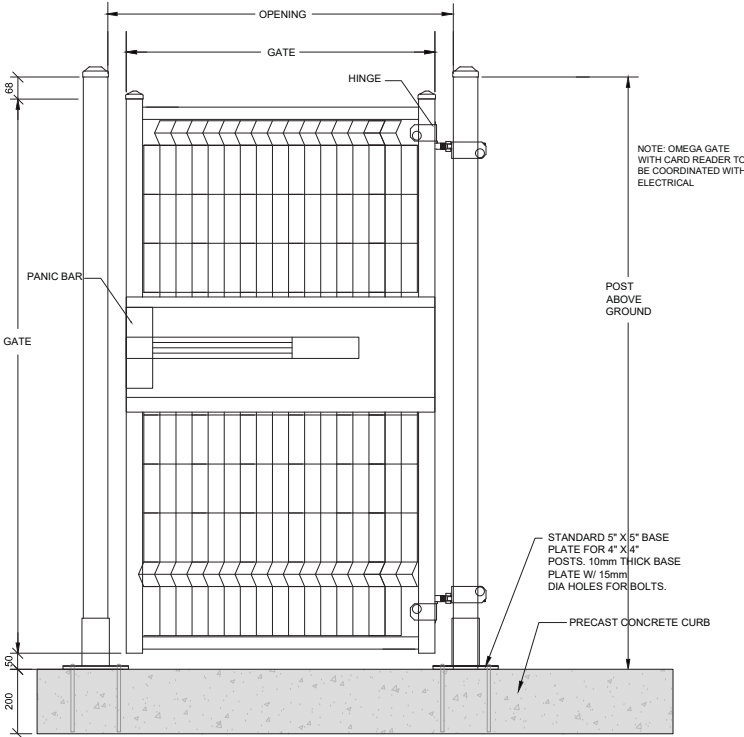
CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER

ELECTRICAL

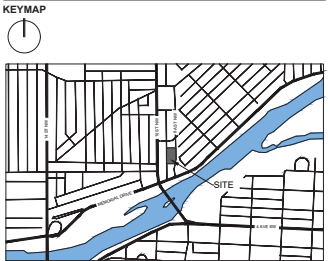
SEALS



1 STAIR DETAIL
1:20 P-02-JEM-51



2 OMEGA SINGLE SWING GATE WITH PANIC BAR
1:10 P-02-JEM-85



ISSUED FOR: DEVELOPMENT PERMIT
DATE: 11/25/2021
NOT FOR CONSTRUCTION

REVISIONS:		DATE	BY.
NO.	DESCRIPTION		
2.	ISSUED FOR DTR 1	2021-11-25	
1.	ISSUED FOR DEVELOPMENT PERMIT	2021-10-15	
DESIGNED BY: ZW		CHECKED BY: MNW	

DRAWING TITLE :
LANDSCAPE DETAILS