

SILVER SPRINGS COMMUNITY CENTRE ADDITION

ADDRESS: 5720 SILVER RIDGE DRIVE NW, CALGARY, ALBERTA

**STEVEN HO
ARCHITECTURE
INCORPORATED**

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LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

d

c

b

a	ISSUED FOR REVIEW	MAY 18, 21
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No.	REVISION	DATE

PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

DETAIL
COVER SHEET

SCALE	AS SHOWN
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DATE	MAY 18, 2021
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JOB No.	
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ALBERTA BUILDING CODE ANALYSIS

APPLICABLE BUILDING CODE: NATIONAL BUILDING CODE 2019 (AB EDITION)

PROJECT DESCRIPTION: ADDITION TO EXISTING BUILDING

MAJOR USE AND OCCUPANCY: GROUP A, DIV 2 (ASSEMBLY OCCUPANCY)

BUILDING AREA:
EXISTING LOWER FLOOR = 732.54 sq.m. (7,885 sf)
EXISTING UPPER FLOOR = 732.54 sq.m. (7,885 sf)

NEW ADDITION
LOWER FLOOR = 223.57 sq.m. (2,406 sf)
UPPER FLOOR = 216.28 sq.m. (2,328 sf)

TOTAL LOWER FLOOR = 956.11 sq.m. (10,291 sf)
TOTAL UPPER FLOOR = 948.82 sq.m. (10,213 sf)

NUMBER OF STOREY: TWO

NUMBER OF STREETS: TWO

BUILDING CLASSIFICATIONS: 3.2.2.25, GROUP A, DIV 2, UP TO 2 STOREYS

SPRINKLER SYSTEM: NO

STANDPIPE SYSTEM: NO

FIRE ALARM SYSTEM: YES (MORE THAN 300 AS PER 3.2.4.1)

HIGH BUILDING: NO

CONSTRUCTION TYPE: COMBUSTIBLE OR NON-COMBUSTIBLE

FLOOR ASSEMBLY: 45 MINS. IF OF COMBUSTIBLE CONSTRUCTION
ROOF ASSEMBLY: 45 MINS. IF OF COMBUSTIBLE CONSTRUCTION
LOADBEARING WALLS / COLUMNS: 45 MINS. IF OF COMBUSTIBLE CONSTRUCTION

STORAGE ROOM: 45 MINS. FIRE SEPARATION (PER ARTICLE 3.3.1.26)
CLOSURES 20 MIN. (PER 3.1.8.10)

STAIRS AND EXITS: 45 MINS. FIRE SEPARATION (PER ARTICLE 3.3.1.26)
CLOSURES 20 MIN. (PER 3.1.8.10)

FUEL FIRED APPLIANCE SERVICE ROOMS: 1 HR. FIRE SEPARATION IF CONTAINING A FUEL-FIRED APPLIANCE (PER ARTICLE 3.6.2.1.(2))
CLOSURES 45 MIN. (PER 3.1.8.4)

EMERGENCY LIGHTING: YES

EXIT SIGN: YES

OCCUPANT LOAD: EXISTING BUILDING = 268 PERSONS

NEW:
PARTY ROOM = 31.68 sq.m. (341 sf) / 0.95 = 34 PERSONS
VIEWING ROOM = 40.32 sq.m. (434 sf) / 0.95 = 43 PERSONS
LOWER FLOOR STORAGE = 24.71 sq.m. (266 sf) / 46 = 1 PERSON
GARAGE = 76.55 sq.m. (824 sf) / 46 = 2 PERSONS
ALL PURPOSE = 134.43 sq.m. (1,447 sf) / 0.95 = 142 PERSONS
UPPER FLOOR STORAGE = 29.91 sq.m. (322 sf) / 46 = 1 PERSON
NEW ADDITION = 223 PERSONS

TOTAL OCCUPANT LOAD = 491 PERSONS

PLUMBING FIXTURE: MALE = 246 PERSONS
REQUIRED 5 PLUMBING FIXTURES
PROVIDED 5 TOILETS & 4 URINALS (INCL. 2 BARRIER FREE TOILETS)

FEMALE = 246 PERSONS
REQUIRED 9 PLUMBING FIXTURES
PROVIDED 11 TOILETS (INCL. 3 BARRIER FREE TOILETS)

EXITING AND MEANS OF EGRESS: A) EGRESS DOORWAYS & NUMBER OF EXITS PER ARTICLE 3.3.1.5 & 3.4.2.1 - TWO DOORWAYS REQUIRED
B) TRAVEL DISTANCE & DISTANCE BETWEEN EXITS PER ARTICLE 3.3.1.6 & 3.4.2.5.(1)(c)
30m MAX DISTANCE TO EXIT FROM WITHIN ROOM OR FLOOR AREA PER ARTICLE 3.4.2.3.(1)(b)
AT LEAST 1/2 OF MAXIMUM FLOOR AREA DIAGONAL, BUT NOT LESS THAN 9m.

PROJECT TEAM:

OWNER

SILVER SPRINGS COMMUNITY ASSOCIATION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

ARCHITECT

STEVEN HO ARCHITECTURE INCORPORATED
612, 500 COUNTRY HILLS BLVD. NE
CALGARY, ALBERTA T3K 5K3
TEL: 403-870-6169
EMAIL: info@shoarchitecture.com

STRUCTURAL ENGINEER

RECAD
110, 7920 42 ST SE
CALGARY, ALBERTA
TEL: 403-277-0890
EMAIL: info@recad.ca

MECHANICAL ENGINEER

EMBE CONSULTING ENGINEERS
SUITE 204, 110 12 AVE SW
CALGARY, ALBERTA T2R 0G7
TEL: 403-460-2277
EMAIL: info@embeconsulting.ca

ELECTRICAL ENGINEER

EMBE CONSULTING ENGINEERS
SUITE 204, 110 12 AVE SW
CALGARY, ALBERTA T2R 0G7
TEL: 403-460-2277
EMAIL: info@embeconsulting.ca

GEOTECHNICAL ENGINEER

-
-
CALGARY, ALBERTA
TEL: -
EMAIL: -

CIVIL ENGINEER

-
-
CALGARY, ALBERTA
TEL: -
EMAIL: -

SURVEYOR

-
-
CALGARY, ALBERTA
TEL: -
EMAIL: -

BY-LAW & SITE INFORMATION

OWNER

SILVER SPRING COMMUNITY ASSOCIATION

MUNICIPAL ADDRESS

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

LEGAL ADDRESS:

LOT 23, BLOCK 42, PLAN 731 494

ZONING:

S-CS - SPECIAL SERVICE DISTRICT

SCOPE OF WORK

DEVELOPMENT PERMIT - NEW ADDITION TO EXISTING BUILDING

BUILDING AREA

EXISTING MAIN = 732.54 sq.m. (7,885 sf)
EXISTING UPPER = 732.54 sq.m. (7,885 sf)

NEW ADDITION MAIN = 223.57 sq.m. (2,406.50 sf)
NEW ADDITION UPPER = 216.28 sq.m. (2,328 sf)

TOTAL MAIN = 956.11 sq.m. (10,291.50 sf)
TOTAL UPPER = 948.82 sq.m. (10,213 sf)

ARCHITECTURAL DRAWING LIST

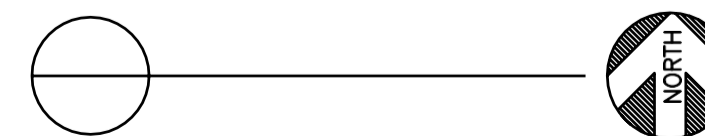
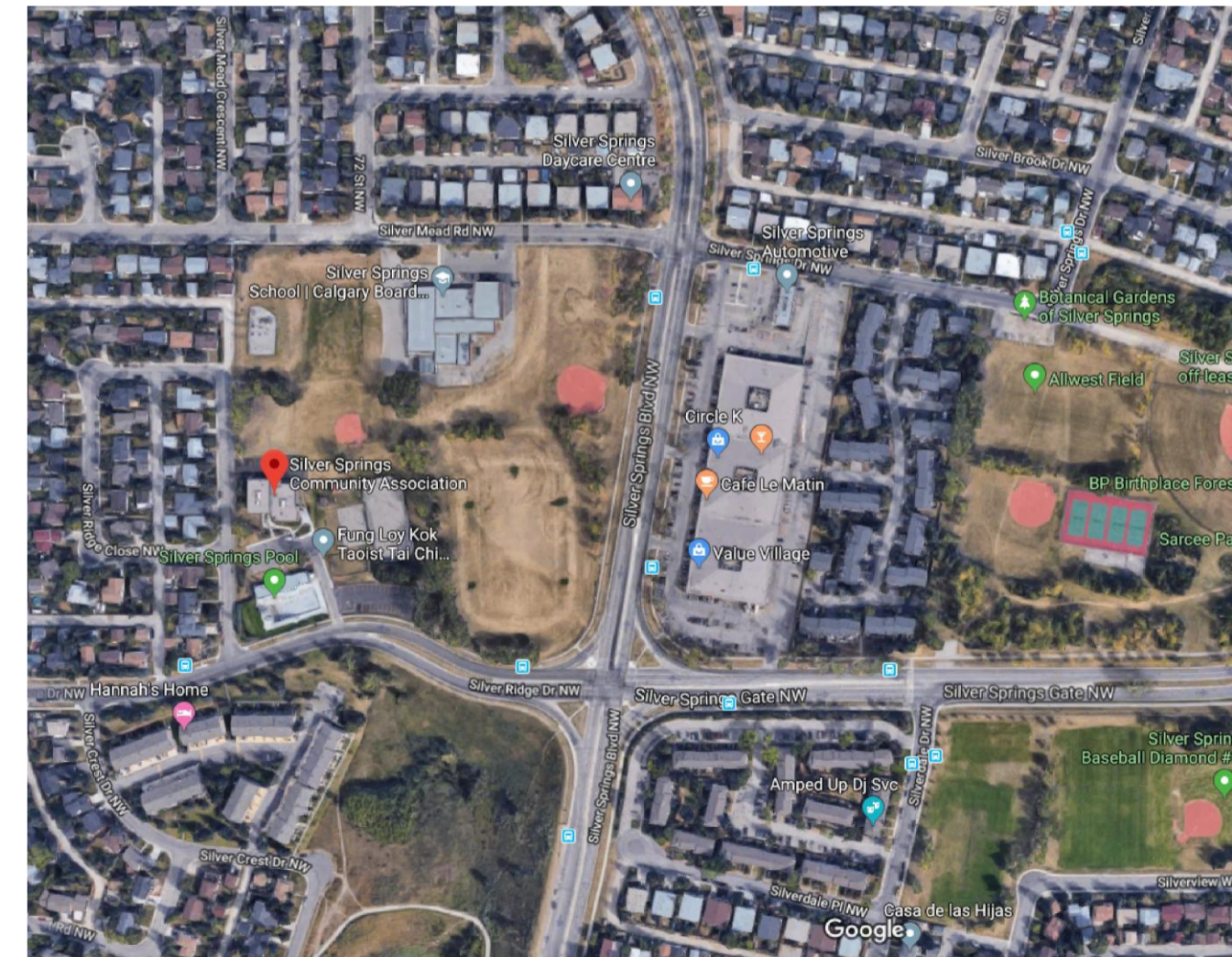
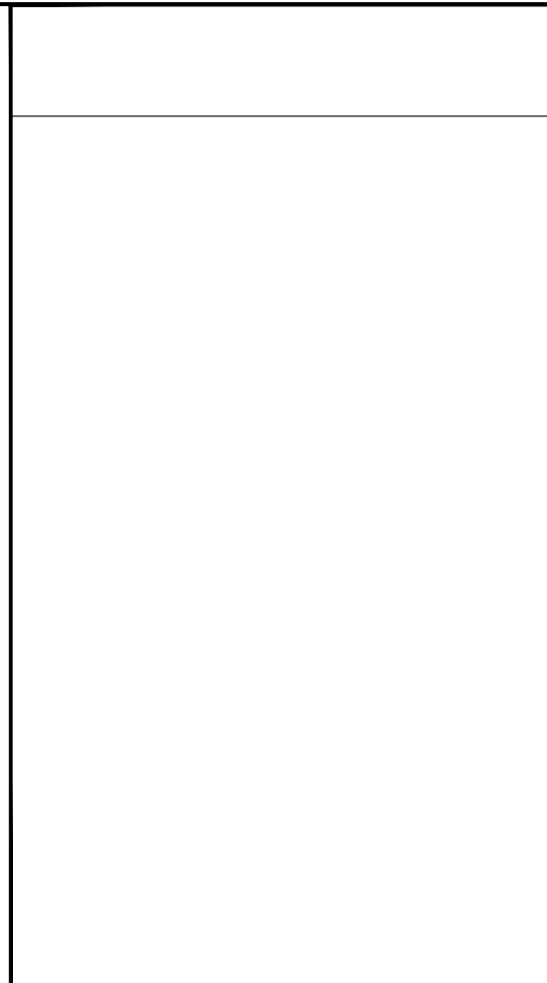
- A0.1 COVER SHEET
- A0.2 DOOR / WINDOW SCHEDULES
- A0.3 WALL / FLOOR / ROOF SCHEDULES
- A0.4 CONSTRUCTION NOTES
- A1.1 OVERALL SITE PLAN
- A1.2 ENLARGED SITE PLAN
- A2.1 KEY PLAN
- A2.2 LOWER FLOOR PLAN
- A2.3 UPPER FLOOR PLAN
- A2.4 LOWER FLOOR REFLECTED CEILING PLAN
- A2.5 UPPER FLOOR REFLECTED CEILING PLAN
- A2.6 LOWER FLOOR FLOORING PLAN
- A2.7 UPPER FLOOR FLOORING PLAN
- A2.8 ROOF PLAN
- A3.1 ELEVATION
- A3.2 ELEVATION
- A4.1 BUILDING SECTION

VICINITY PLAN N.T.S.

DRAWING No.

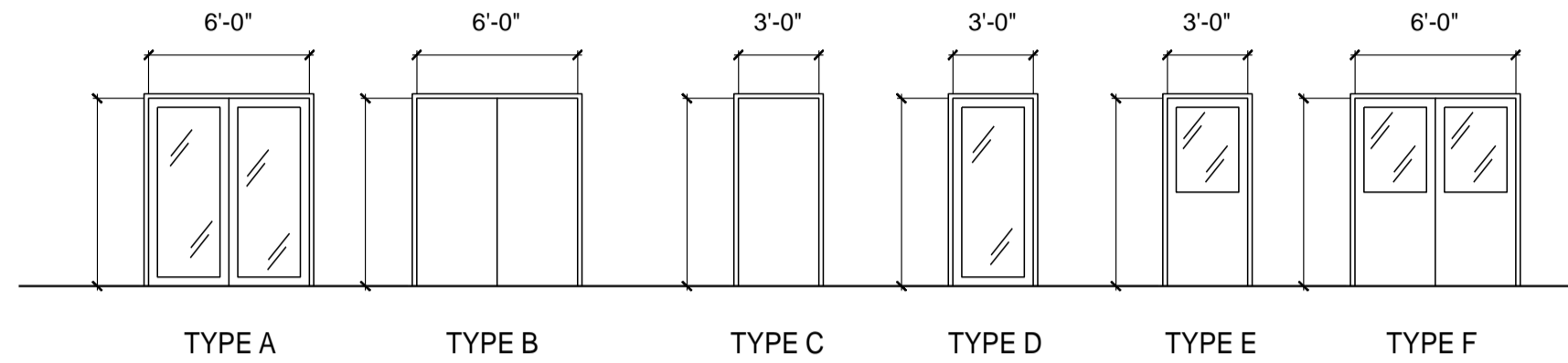
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DOOR SCHEDULE (LOWER FLOOR)

DOOR TYPE



NOTE: ALL DOOR HANDLE TO BE LEVER TYPE UNLESS OTHERWISE NOTED.

DOOR SCHEDULE (UPPER FLOOR)

WINDOW SCHEDULE



- NOTES:
- 1) WINDOW HARDWARE STYLE & FINISH SELECTED BY OWNER.
 - 2) ALL WINDOW SIZES TO BE CONFIRMED WITH MANUFACTURER PRIOR TO FRAMING.
 - 3) ALL WINDOWS SHALL BE INSTALLED WITH ALL REQUIRED PERIMETER FLASHINGS & SEALANTS TO ENSURE THAT EVERY WINDOW IS AIR-TIGHT AND WATER-TIGHT ALL-ROUND.
 - 4) REFER TO SPECIFICATIONS FOR ADDITIONAL WINDOW INFORMATION

NOTE: ALL DOOR HANDLE TO BE LEVER TYPE UNLESS OTHERWISE NOTED.

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PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

DETAIL
SCHEDULES

SCALE	AS SHOWN
DATE	MAY 18, 2021
DRAWN	SHO

CHECKED _____
JOB No. 2018166
DRAWING No. A0.2
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NO.	LOCATION	DOOR			FRAME		HARDWARE	REMARKS
		SIZE	MAT.	FIN.	MAT.	FIN.		
L1	VESTIBULE L008	NEW 2 - 3'-0"x7'-0"	ALUM		ALUM		SWING DOOR	LOCKSET, WEATHERSTRIP, PANIC HARDWARE
L2	VIEWING AREA L004	NEW 2 - 3'-0"x7'-0"	ALUM		ALUM		SWING DOOR	LOCKSET, WEATHERSTRIP, PANIC HARDWARE
L3	VIEWING AREA L004	NEW 2 - 3'-0"x7'-0"	ALUM		ALUM		SWING DOOR	LOCKSET, WEATHERSTRIP, PANIC HARDWARE
L4	GARAGE L006	NEW 2 - 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	LOCKSET, WEATHERSTRIP
L5	PARTY ROOM L001	NEW 3'-0"x7'-0"	ALUM		ALUM		SWING DOOR	LOCKSET
L6	WASHROOM L002	NEW 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	PRIVACY LOCK, LEVER HARDWARE
L7	WASHROOM L003	NEW 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	PRIVACY LOCK, LEVER HARDWARE
L8	PARTY ROOM L001	NEW 2 - 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	LOCKSET
L9	STORAGE L005	NEW 2 - 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	LOCKSET, 20 MINS F.R.R.
L10	MECHANICAL L007	NEW 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	LOCKSET

7'-0" 7'-0" 7'-0" 7'-0" 7'-0" 7'-0"

NO.	LOCATION	DOOR			FRAME		HARDWARE	DOOR TYPE	REMARKS
		SIZE	MAT.	FIN.	MAT.	FIN.			
U1	HALLWAY U006	NEW 2 - 3'-0"x7'-0"	ALUM		ALUM		SWING DOOR	A LOCKSET, WEATHERSTRIP, PANIC HARDWARE	
U2	WASHROOM U004	NEW 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	C PRIVACY LOCK, LEVER HARDWARE	
U3	STORAGE U003	NEW 2 - 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	B LOCKSET, 20 MINS. F.R.R.	
U4	STORAGE U002	NEW 2 - 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	B LOCKSET, 20 MINS. F.R.R.	
U5	ALL PURPOSE U001	NEW 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	E LOCKSET	
U6	STORAGE U005	NEW 2 - 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	B LOCKSET, 20 MINS. F.R.R.	
U7	ALL PURPOSE U001	NEW 2 - 3'-0"x7'-0"	HOLLOW METAL		METAL PSF		SWING DOOR	F LOCKSET	

NO	SIZE	QTY	GLAZING							FRAMES					RATING	TYPE	NOTES
			SINGLE GLAZING	DOUBLE GLAZING	CLEAR	TINTED	WIRED GLASS	SAFETY GLASS	WOOD	METAL	ALUM	PVC	THERMAL BREAK	PREFINISHED			
A	NOMINAL 10'-0" x 6'-0"	3															PICTURE
B	NOMINAL 6'-0" x 2'-6"	3															PICTURE
C	NOMINAL 10'-0" x 6'-0"	4															PICTURE



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PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

DETAIL
SCHEDULES

SCALE	AS SHOWN
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ROOM FINISH SCHEDULE

PARTY ROOM
FLOOR - MARMOLEUM SHEET
BASE - 4" VINYL
WALL - PAINTED GWB
CEILING - T-BAR CEILING

WASHROOM
FLOOR - RUBBER TILE
BASE - 4" VINYL
WALL - CERAMIC TILE / PAINTED GWB
CEILING - T-BAR CEILING

VIEWING AREA
FLOOR - RUBBER TILE
BASE - 4" VINYL
WALL - PAINTED GWB
CEILING - T-BAR CEILING

STORAGE / MECHANICAL / GARAGE
FLOOR - SEALED CONCRETE
BASE - n/a
WALL - CONCRETE / PAINTED GWB
CEILING - T-BAR CEILING

ALL PURPOSE ROOM
FLOOR - HARDWOOD
BASE - 6" MDF
WALL - PAINTED GWB
CEILING - T-BAR CEILING

UPPER FLOOR HALLWAY
FLOOR - MARMOLEUM SHEET
BASE - 4" VINYL
WALL - PAINTED GWB
CEILING - T-BAR CEILING

UPPER FLOOR STORAGE
FLOOR - MARMOLEUM SHEET
BASE - 4" VINYL
WALL - PAINTED GWB
CEILING - T-BAR CEILING

UPPER FLOOR WASHROOM
FLOOR - MARMOLEUM SHEET
BASE - 4" VINYL
WALL - CERAMIC TILE / PAINTED GWB
CEILING - T-BAR CEILING

WALL SCHEDULE

EW1 EXISTING FOUNDATION WALL (NO CHANGE)
- CONCRETE WALL

EW2 EXISTING EXTERIOR WALL (NO CHANGE)
- BRICK VENEER
- 8" CMU WALL
- STEEL STUD FURRING
- 1/2" DRYWALL

W1 NEW FOUNDATION WALL
- 8" CONCRETE FOUNDATION WALL (AS PER STRUCT.)
REBAR TOP & BTM (BACKFILL WITH NON-FROST SUSCEPTIBLE SOIL)
- EXTERIOR BITUMINOUS DAMP-PROOFING
- CONTINUOUS CONCRETE FOOTINGS (AS PER STRUCT.)

W2 NEW BEARING WALL
- 8" CONCRETE BLOCK WALL (AS PER STRUCT.)
- CONTINUOUS CONCRETE FOOTINGS (AS PER STRUCT.)

W3 NEW EXTERIOR WALL
- SMOOTH FINISH ACRYLIC STUCCO (TO MATCH EXISTING)
- FIBERGLASS REINFORCING MESH AND POLYMER CEMENT SKIM COAT
- CEMENT PLASTER - SCRATCH & BROWN COATS (3/4" MAX.)
- 8" CONCRETE BLOCK WALL
- CONTINUOUS CONCRETE FOOTINGS (AS PER STRUCT.)
- 3 5/8" STEEL STUDS @ 16" O.C. (AS PER STRUCT.)
- SPRAY FOAM INSULATION
- 1/2" GWB

W4 NEW INTERIOR WALL
- 1/2" GWB
- 3 5/8" STEEL STUDS @ 16" O.C.
- 1/2" GWB

W5 NEW INTERIOR PLUMBING WALL
- 1/2" GWB
- 6" STEEL STUDS @ 16" O.C.
- 1/2" GWB

W6 NEW EXTERIOR WALL
ASHRAE 90.1 COMPLIANT

- THIN BRICK BY GENERAL SHALE

ROOF SCHEDULE

R1 NEW ROOF
- SBS MEMBRANE
- COVER BOARD
- 2" POLYSIO INSULATION (R11.4)
- 2"-10" R23.6 TAPERED EPS SLOPE TO ROOF DRAIN
- SELF ADHERED VAPOUR BARRIER
- DENSDECK DECK BOARD
- OWSJ

FLOOR SCHEDULE

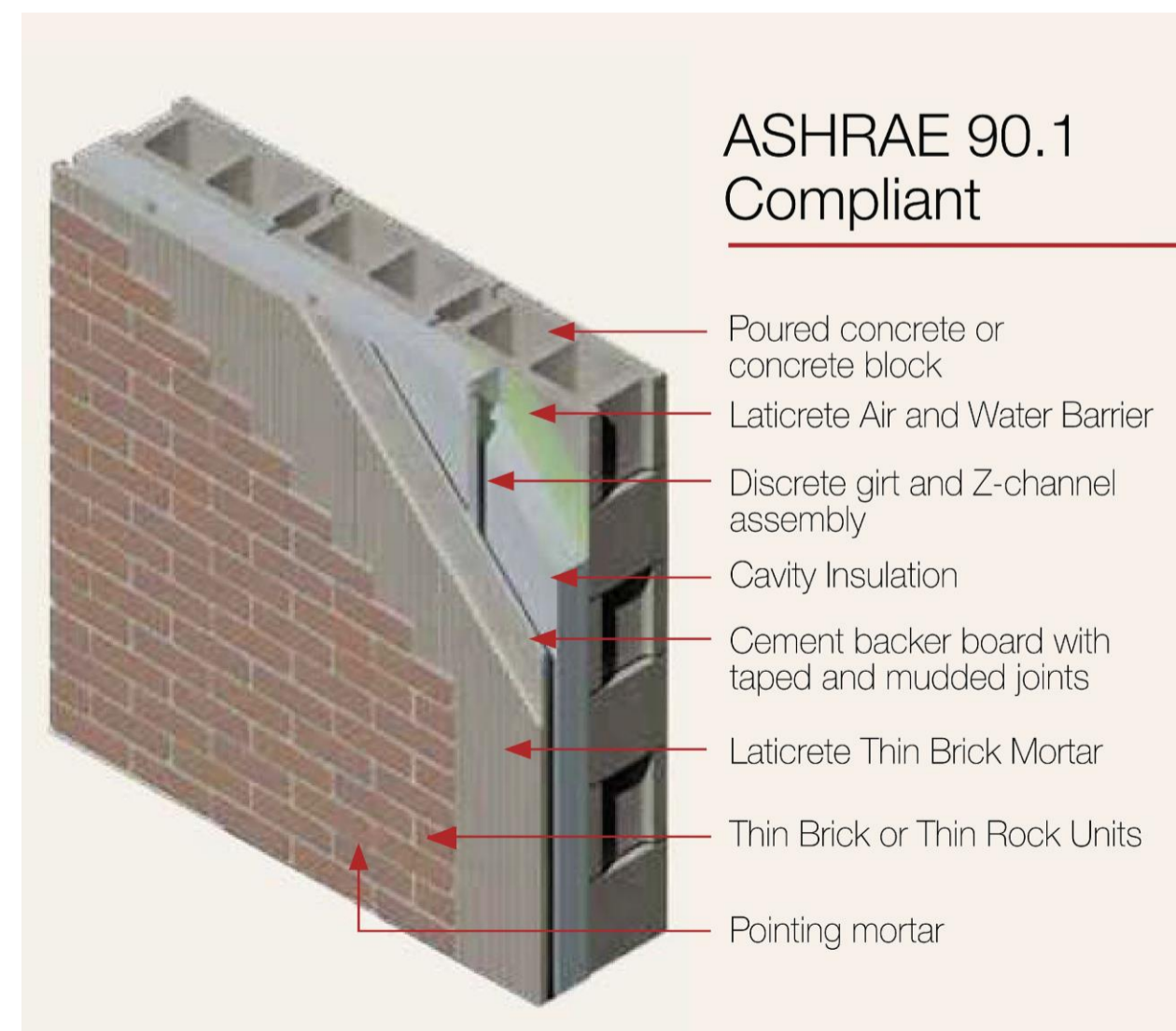
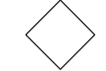
F1 NEW CONCRETE SLAB
- CONCRETE SEALER
- CAST IN PLACE CONC. SLAB AS PER STRUCTURAL
- VAPOUR BARRIER AS PER NEW CODE AND COMPLIES TO RADON GAS REQUIREMENTS
- 1 1/2" XPS INSULATION @ PERIMETER 1.2m
- 8" MIN. COMPACTED GRANULAR FILL AS PER STRUCTURAL
- SOLID BEARING
- PROVIDE SAW CUTS IN SLABS AT 20'-0" O.C. EACH WAY (SEAL JOINTS)

F2 NEW FLOOR
- FINISH FLOORING
- 4" CONCRETE TOPPING
- Q-DECK
- OWSJ AS PER STRUCTURAL

F3 EXISTING FLOOR
- CONCRETE TOPPING TO LEVEL WITH NEW FLOOR
- EXISTING CANTILEVER CONC SLAB TO REMAIN

- LATICRETE THIN BRICK MORTAR
- CEMENT BACKER BOARD WITH TAPED AND MUDDED JOINTS
- DISCRETE GIRT AND Z-CHANNEL ASSEMBLY
- 2" RIGID INSULATION
- LATICRETE AIR AND WATER BARRIER
- CONCRETE BLOCK AS PER STRUCTURAL
- FURRING CHANNEL
- 1 LAYER 1/2" GWB

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JOB No. 2018166
DRAWING No. A0.3
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CONSTRUCTION NOTES

1.0 GENERAL REQUIREMENTS:

4.0 MASONRY / CULTURED STONE:

7.0 THERMAL AND MOISTURE PROTECTION:

8.0 DOORS AND WINDOWS: Refer to Door schedule A0.02 & Window schedule A0.02

3.4 Any changes in concrete grades without prior approval of the Structural Engineer, Landscape Architect and Architect are to be the Contractor's responsibility to correct.

7.27 Provide access panels to all fire dampers. All access panels in shaft walls to be rated metal closures. All branch ducts from ducts in shaft walls to have fire dampers at shaft-wall. Rated closures to have rating equal or greater than the separation containing them, except doors.

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DETAIL
**CONSTRUCTION
NOTES**

SCALE AS SHOWN

DATE MAY 18, 2021

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3.5 Contractor shall review drawings for extent of exposed architectural finish concrete and...
1.1 All site work to be carried out under the advice and supervision of soils mechanics and foundation...
1.2 All site work to be carried out under the advice and supervision of soils mechanics and foundation...
1.3 All site work to be carried out under the advice and supervision of soils mechanics and foundation...
1.4 Mechanical design and specifications by AACC Ltd.
1.5 Electrical design and specifications by AACC Ltd.
1.6 Reserved.
1.7 Civil design by Civil Engineer.
1.8 Contractor to review and adhere to the requirements any required and approved Building Code...
1.9 Sprinkler Design Engineer shall follow the performance specifications as outlined by the Mechanical...
1.10 The Contractor shall exercise proper precaution to verify dimensions shown on the drawings before...
1.11 Do not scale drawings. Larger scale drawings take precedence over smaller scale drawings.
1.12 Maintain at all times on site, for reference, all approved Building Permit drawings, posting cards...
1.13 All deviations from these drawings to be approved by the Architect. Contractor is to keep a...
1.14 All materials shall be new and of the quality and grade specified. No seconds, off grades or...
1.15 All work performed on this project is to be in strict accordance with the most current...
1.16 Interior dimensions are taken to the center line of walls. Exterior dimensions are taken to the...
1.17 Party walls are to be constructed for their full height as a continuous fire separation as per...
1.18 Shop Drawings are to be prepared by, and are the responsibility of, the General Contractor...
1.19 Shop drawings and specifications, complete with Assurance of Design and Commitment for Field...
1.20 Engineered sprinkler system shop drawings are to be and reviewed by the Mechanical Engineer...
1.20b The design of special elements requiring shop drawings is not to be considered final until...
1.21 Provide emergency access through locked doors and emergency signs to the Fire Warden's...
1.22 Fire Safety Plan: Prior to occupancy, a "Fire Safety Plan" and "Record of Installed Fire Safety Systems" conforming...
1.23 Specifications issued for architectural, structural, mechanical, electrical and landscape and...
1.24 The General Contractor shall coordinate with the Coordinating Registered Professional, and...
1.25 The building Owner, and not the Building Official, has the ultimate responsibility for building...
2.0 SITE WORK:
2.1 For site and landscape information and details, the contractor shall refer to the drawings and...
2.2 Sidewalks, street lighting, trees and roadways to be repaired by the Contractor to the standards...
3.0 CONCRETE:
3.1 All parts of suspended parking garage ramp and suspended slab to conform to CSA-S413-94...
3.2 All vertical concrete corners to be chamfered 20mm unless otherwise noted for larger...
3.3 All exposed concrete to be architectural finish - see structural notes for additional

4.1 Bricks to be treated with water repellent, conforming to manufacturer's printed...
4.2 Secondary building components including architectural, mechanical and semi-structural...
4.3 Submit to the architect and structural engineer shop drawings, complete with Assurance of...
4.4 Contractor to arrange for the provision of a test panel of a typical wall containing a...
4.5 The Contractor is to schedule an on-site meeting with the Architect, Building Envelope...
4.6 Masonry ties and anchorage are required for architectural masonry work shown on the...
4.7 All masonry ties are to be nickel plated or stainless steel assemblies consisting of, 47mm dia...
4.8 Masonry anchors to concrete walls to be galvanized dove tail anchors inserted into...
4.9 Mortar for brick and concrete masonry to be type "S" with nominal 28 day strength of 12...
4.10 Through wall flashings in brick veneer system to be Blueskin AG Thru-Wall Flashing with...
4.11 Caulking in brick veneer system to be: Polyurethane base, two-component sealant, conforming...
4.12 Cultured stone to be installed by sub-contractor completely familiar with the...
5.0 METALS:
5.1 For all masonry and concrete re-tying refer to structural.
5.2 Provide handrails to minimum 865mm, maximum 965mm above nosing for all stairs forming part...
5.3 One handrail shall be continuous along the full length of each stair, including landings, as per...
5.4 Guards shall be 1070mm high and have no clear opening greater than 100mm. Handrails and...
5.5 At least one handrail at the side of a stairway or ramp shall extend 300mm horizontally past...
5.6 Handrails shall have a circular cross-section with an outside diameter not less than 30mm and...
5.7 Contractor shall provide shop drawings for all decorative metal fences, gates and related...
6.0 WOODS AND PLASTICS:
6.1 Wood framing shall be protected from rain and snow during construction. Moisture test wood...
6.2 All exterior wood framing, wood sleepers and wood in contact with concrete to be pressure...
6.3 All wood framing to be separated from concrete by moisture barrier.
6.4 Moisture content shall be no greater than 19% as required by support blocking behind drywall...
7.28 Provide access to every attic or roof space more than 900mm high as per Article 3.6.4.4 of...
7.1 All other protected flashing are to be pre-finished aluminum or standard colour. Flashing over...
7.29 Portland fire-resisting masonry in residential buildings shall be constructed with improved and...
7.2 All roofing and waterproof membranes are to be installed in strict accordance with Provincial...
7.30 Roofing membranes shall be installed on a substrate that is compatible with the roofing...
7.31 Stone veneer shall be installed in strict accordance with the manufacturer's instructions...
7.32 Waterproofing shall be provided to all exterior walls, including basement walls, in accordance...
7.4 Vapour and air barriers shall be continuous and installed so that all joints and edges are sealed...
7.5 Provide flashing, including but not limited to, over all exterior doors and windows, exposed curbs...
7.6 Waterproof membrane over parking slab to be pre-approved and inspected and tested by an...
7.7 Waterproof membranes for decks over habitable areas to be approved for use in residential...
7.8 Insulate all stud cavities where mechanical and plumbing lines run through. All drainage...
7.9 All window and door frames are to be sealed at shim space with closed cell expanding...
7.10 Contractor to provide Architect with a copy of roofing and flashing test report from an...
7.11 Moisture barrier to be 2 layers of continuous 30 minute rated building paper with all joints...
7.12 Provide peel and stick self-adhesive membrane, with primer compatible with substrate material...
7.13 Provide peel and stick in a saddle flashing at all wall/wall and parapet/wall conditions...
7.14 All wall pilotes to be set on sill gaskets and be anchored as per structural drawings.
7.15 Contractor shall provide shop drawings for connection of eaves-trough and through-parapet...
7.16 All exterior sealants shall be multi-component based. Silicone based sealants are not...
7.17 Roof ventilation shall be made continuous (unless noted otherwise) so that maximum eave...
7.18 All piping, including traps and toilet flanges, tubing, ducts, wiring, conduit, electrical outlet...
7.19 All fire stops, including traps and toilet flanges, tubing, ducts, wiring, conduit, electrical outlet...
7.20 All fire stops to be installed according to the requirements of the Alberta Building Code...
7.21 Fire-stopping of concealed spaces to be in accordance with Alberta Building Code, Section 3.1.9...
7.22 No service penetrations into a party wall may be larger than 100mm square. Back to back...
7.23 Fire-stop systems shall maintain the integrity of separations between units within concealed...
7.24 Penetrations through wood floor assemblies shall be protected with Dow System No. SP81 fire-...
7.25 All units to have smoke alarms at each level installed according to Article 3.2.4.2.1 of the...
7.26 Sprinkler system shop drawings to be engineered by an engineer registered in the Province...

9.0 FINISHES:
9.1 All Exit stairs to have non-slip finish on treads. Stair nosings to be painted contrasting colour...
9.2 All concrete floors and toppings in residential areas to be level, troweled and prepared to...
9.3 Point all raised door curbs in Parking Level yellow.
9.4 Refer to Room Finish Schedule and details for finishing notes.
9.5 Contractor to provide Architect with colour samples of all interior and exterior finishes for...
9.6 For additional finishing information, refer to the Interior Designer's drawings and specifications.
10.0 SPECIALTIES:
10.1 Sign Requirements:
10.1.1 Stairwells are to be numbered to indicate floor levels on stair side of wall as per Article...
10.1.2 All Exit doors, other than those on electric hold open devices, connected to fire alarm system...
10.1.3 Sign to be posted at elevator lobby "In Case of Fire Use Stairs, Do Not Use Elevator".
10.1.4 All suite entry doors to bear unit number.
10.1.5 Provide Fire safety plan at main contractor panel.
10.1.6 Elevator Street address at main entry to each building.
10.1.7 Elevator for emergency use (fire, ambulance, etc) shall be clearly labeled and identified at the...
10.2 All gas fireplaces to be tested and labeled by an approved testing agency, such as Warnock...
10.3 Contractor to confirm minimum clearances to opening windows for all direct vent fireplace flues...
10.4 Canopies, Skylights, Glass Roofs:
10.4.1 Contractor to provide engineered, sealed shop drawings for all canopies, skylights and glass...
10.5 Overhead garage doors to have "Safety Edge" for automatic retraction if unable to fully close...
10.6 Mailboxes are to comply with standards established by Canada Post Corporation. Final location to be reviewed and confirmed by the Architect and Interior...
10.7 Enter-phone system to be provided at each main building entrance and at the North vehicle ramp...
10.8 Recessed fire fighters lock box to be provided at the main building entrance. Final location and...
11.0 EQUIPMENT:
11.1 Main entry and parking garage elevator access doors equipped with hold-open devices and electric...
11.2 Main entry and parking garage elevator access doors required to have automatic door openers...
12.0 CONVEYING SYSTEMS:
12.1 Elevator to be installed, inspected, and tested in accordance with Can 3-B44 "Safety Code for...
12.2 "In-car" emergency service switches to be provided.
15.0 MECHANICAL:
15.1 The mechanical systems are to be designed and installed as indicated in mechanical drawings...
15.2 The mechanical system is to be designed to provide the number of air changes per hour as...
15.3 Provide access panels to all fire dampers. All access panels in shaft walls to be rated metal...
15.4 All bathroom sinks are to be positioned such that the center-line of the sink is not less than...
15.5 All vestibules required as part of the life safety systems are to be ventilated and pressurized...
15.6 ELECTRICAL:
16.1 The electrical systems are to be designed and installed as indicated in electrical...
16.2 All automatic sprinkler systems required by Articles 3.2.2.18 of the Alberta...
16.3 All fire alarm systems shall have a main control panel unit to receive alarm/

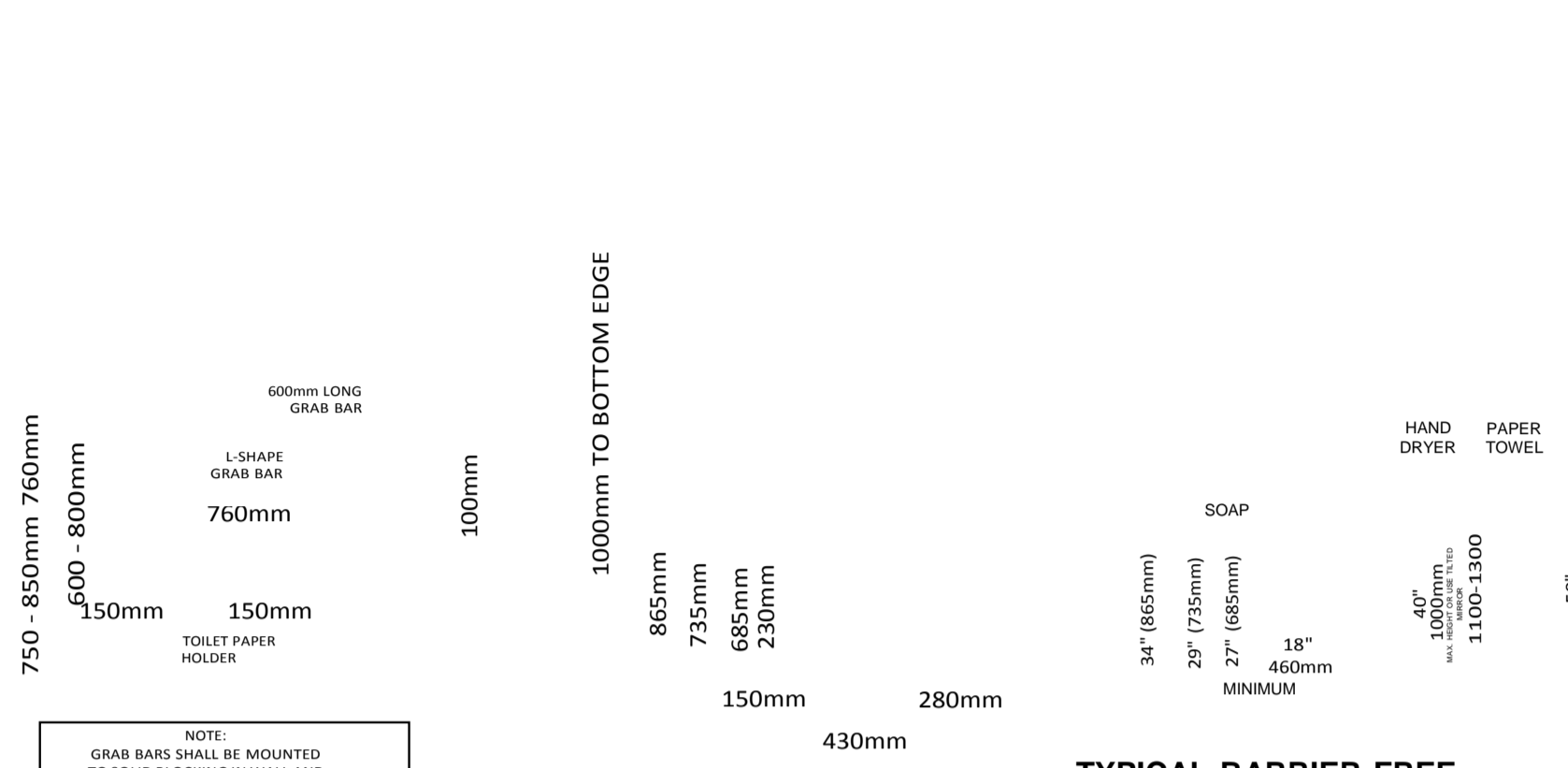
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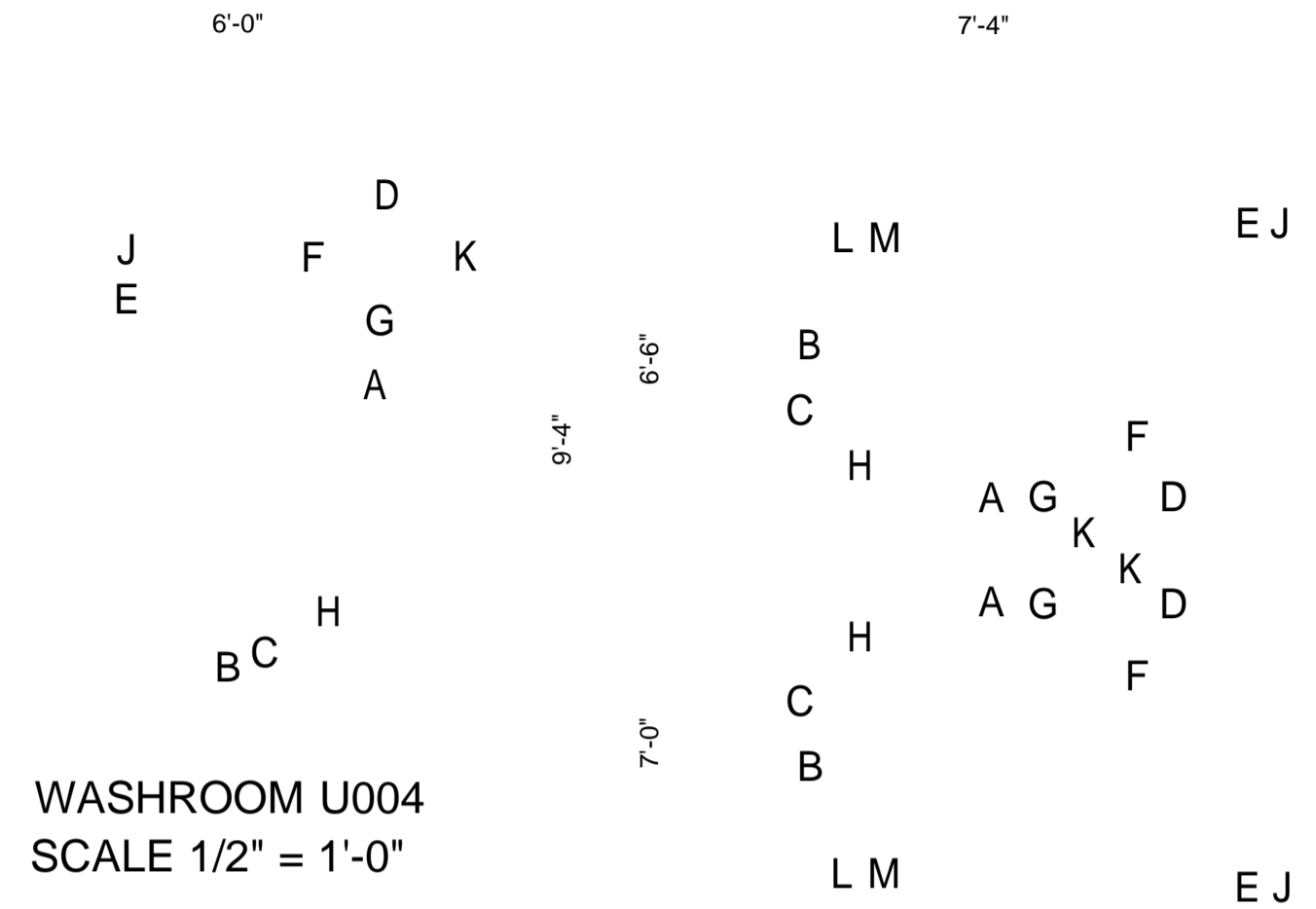
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LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494



**TYPICAL BARRIER FREE
LAVATORY DETAIL**



**WASHROOM U004
SCALE 1/2" = 1'-0"**

- WASHROOM ACCESSORY**
- A PAPER TOWER DISPENSER
 - B GRAB BAR
 - C TOILET TISSUE DISPENSER SINGLE ROLL, CONTROLLED DELIVERY, BOBRICK B-273 OR EQUAL
 - D SOAP DISPENSER, BOBRICK OR EQUAL BARRIER FREE WHERE APPLICABLE
 - E COAT HOOK ON BACK OF DOOR, BARRIER FREE COMPLIANT
 - F LAVATORY SINK WALL MOUNT, BARRIER FREE COMPLIANT
 - G LEVER FAUCET
 - H TOILET, KOLER 3493-0 IN WHITE OR EQUAL, BARRIER FREE COMPLIANT
 - J WASHROOM DOOR SIGNAGE, BARRIER FREE ICON REQUIRED WHERE APPLICABLE
 - K MIRROR, BARRIER FREE WHERE APPLICABLE
 - L BARRIER FREE URINAL
 - M URINAL GRAB BAR



**BARRIER FREE WASHROOM
L002**

**BARRIER FREE WASHROOM
L003**

- LEGEND**
- P1 - PAINT
 - ISC: UNRESTRICTED

**WASHROOM L002/L003
SCALE 1/2" = 1'-0"**

No.	REVISION	DATE
a	ISSUED FOR REVIEW	MAY 18,21

PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL
**ENLARGED
WASHROOM**

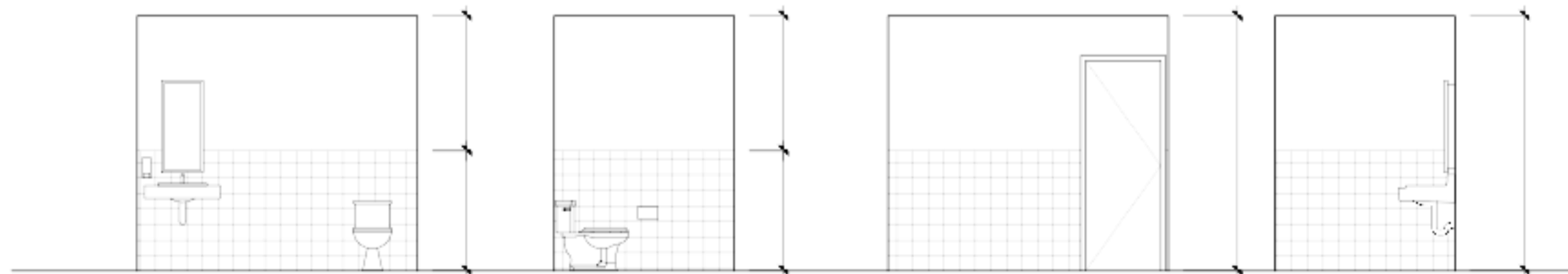
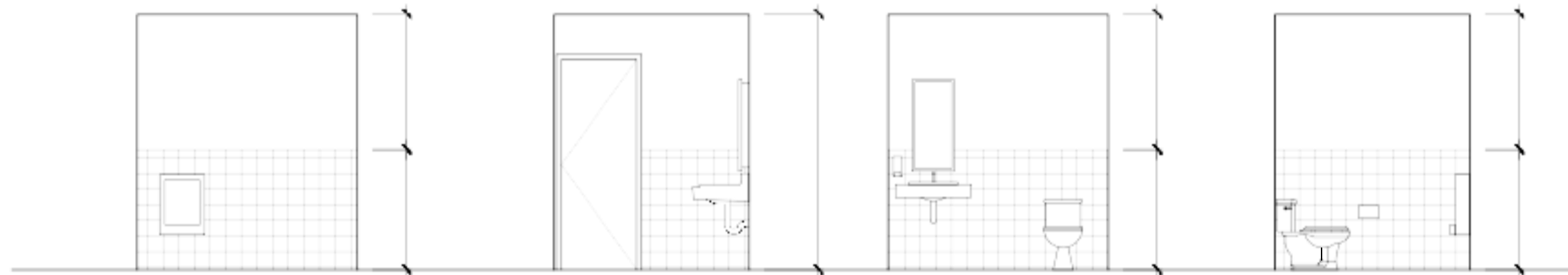
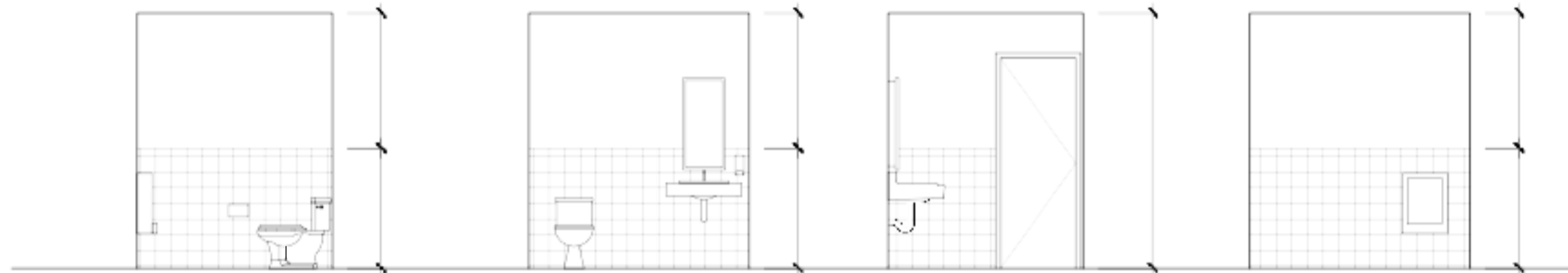
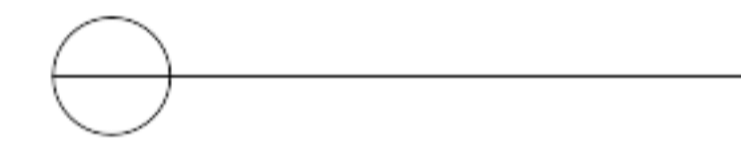
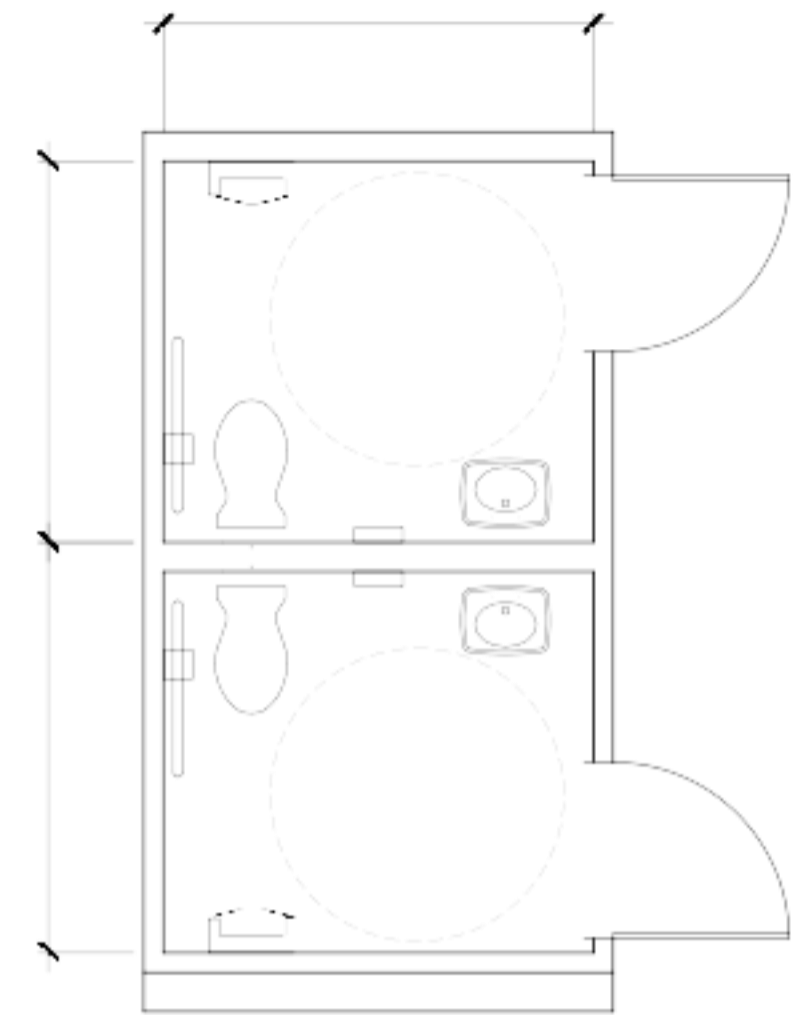
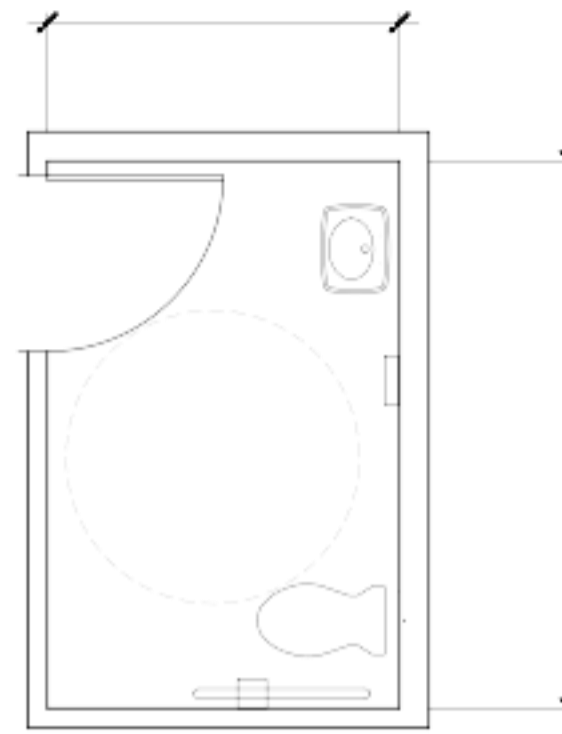
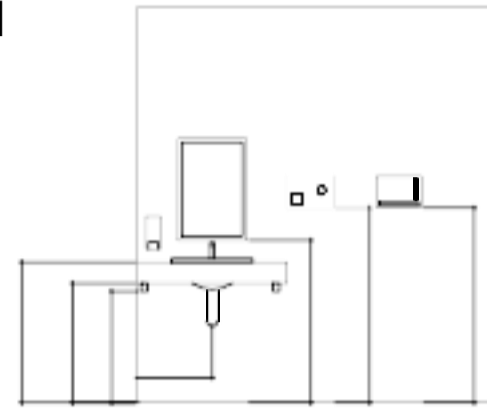
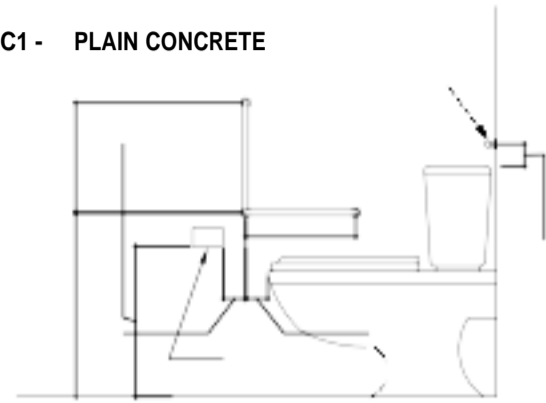
P1 T1
T1
Page 9 of 77

SCALE DATE
DRAWN CHECKED
JOB No.
WHITE COLOR TBA
C1 - PLAIN CONCRETE

AS SHOWN MAY 18, 2021 SHO

2018166

BARRIER FREE WASHROOM U004



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LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

No.	REVISION	DATE
a	ISSUED FOR REVIEW	MAY 18,21

PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL
**OVERALL
PLAN**

SCALE
DATE
DRAWN
CHECKED

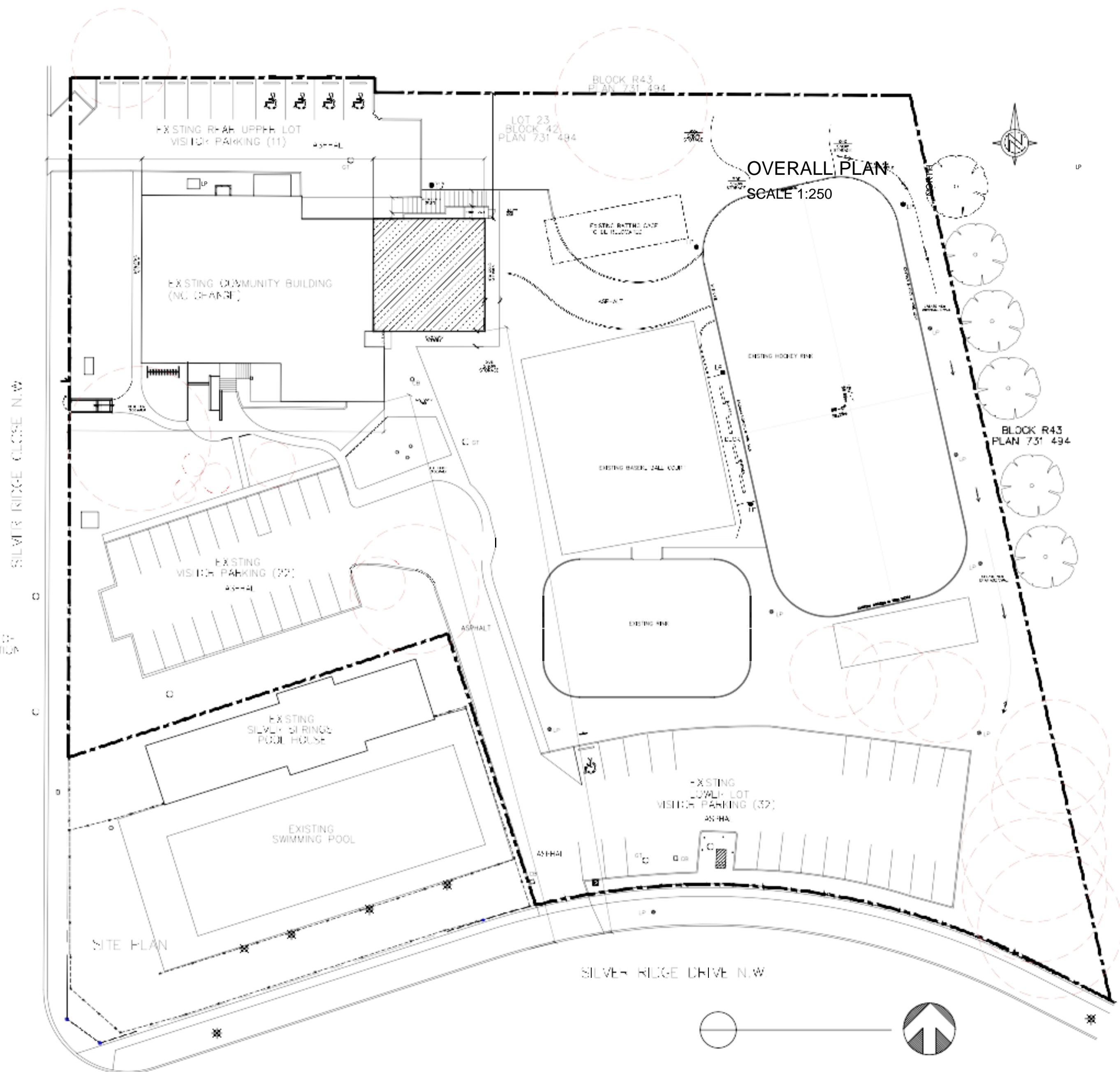
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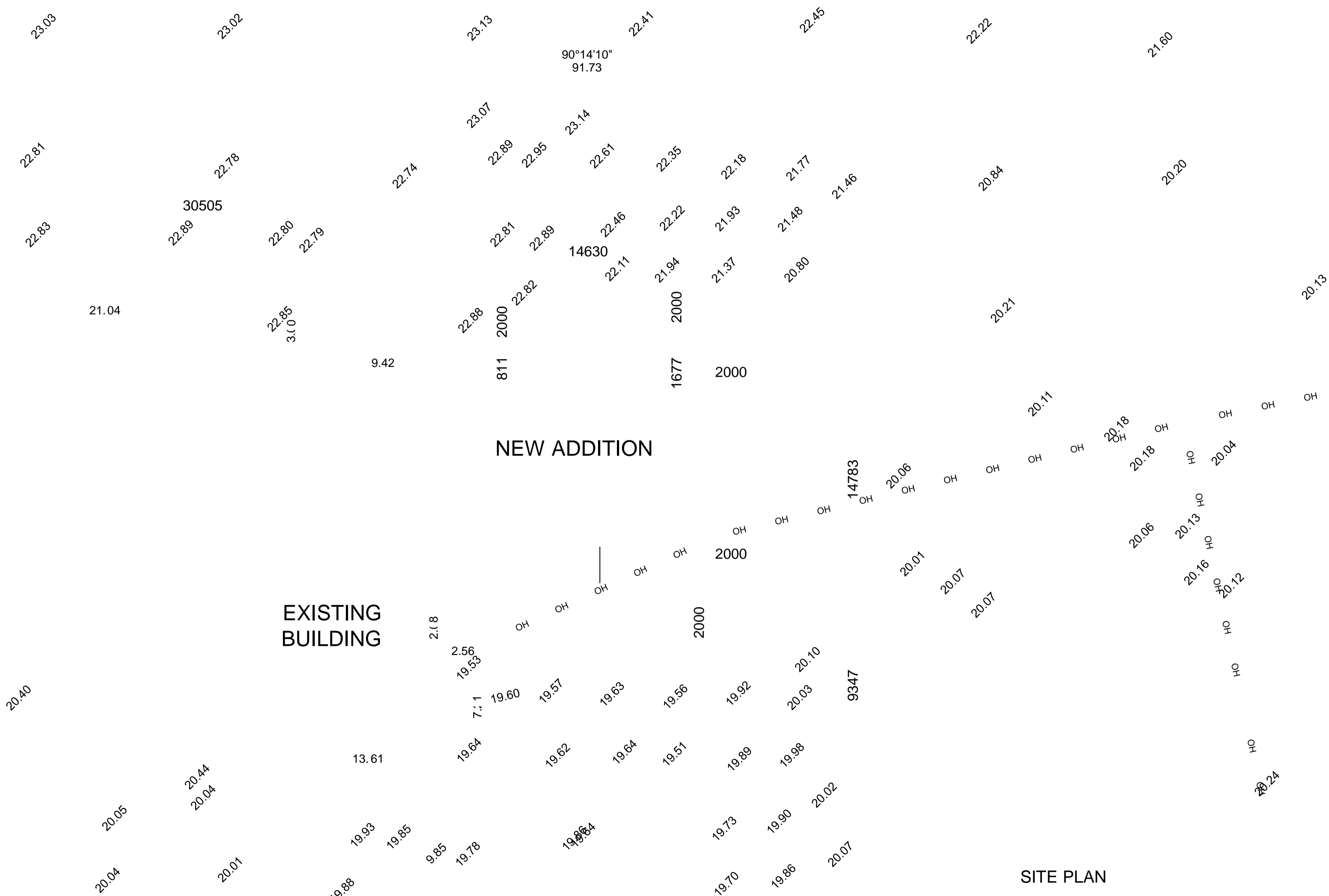
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BLOCK 42
PLAN 731 494

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PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL

SITE PLAN



SITE PLAN

SCALE AS SHOWN

DATE MAY 18, 2021

DRAWN SHO

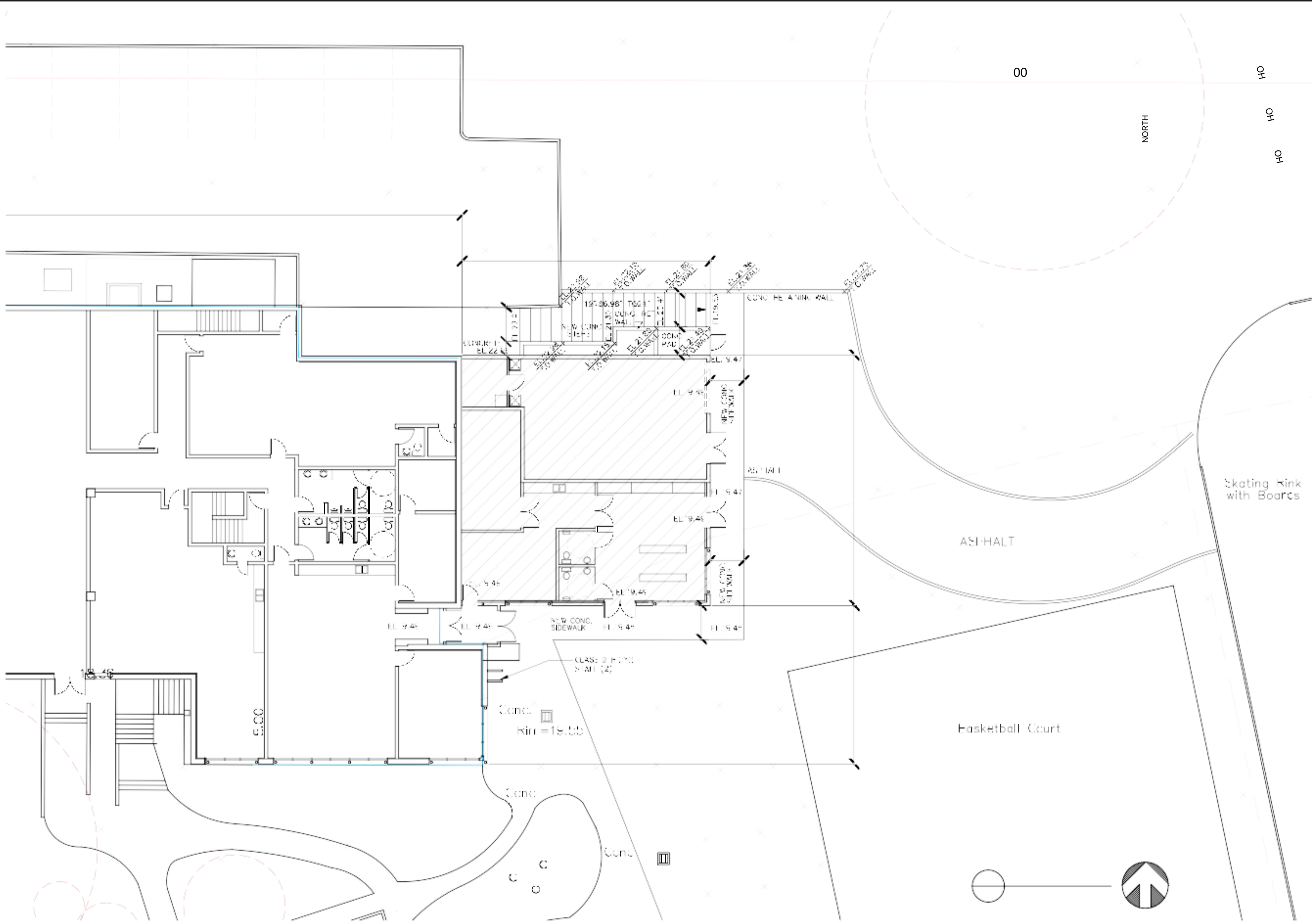
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Skating Rink with Boards

ASI-HALT

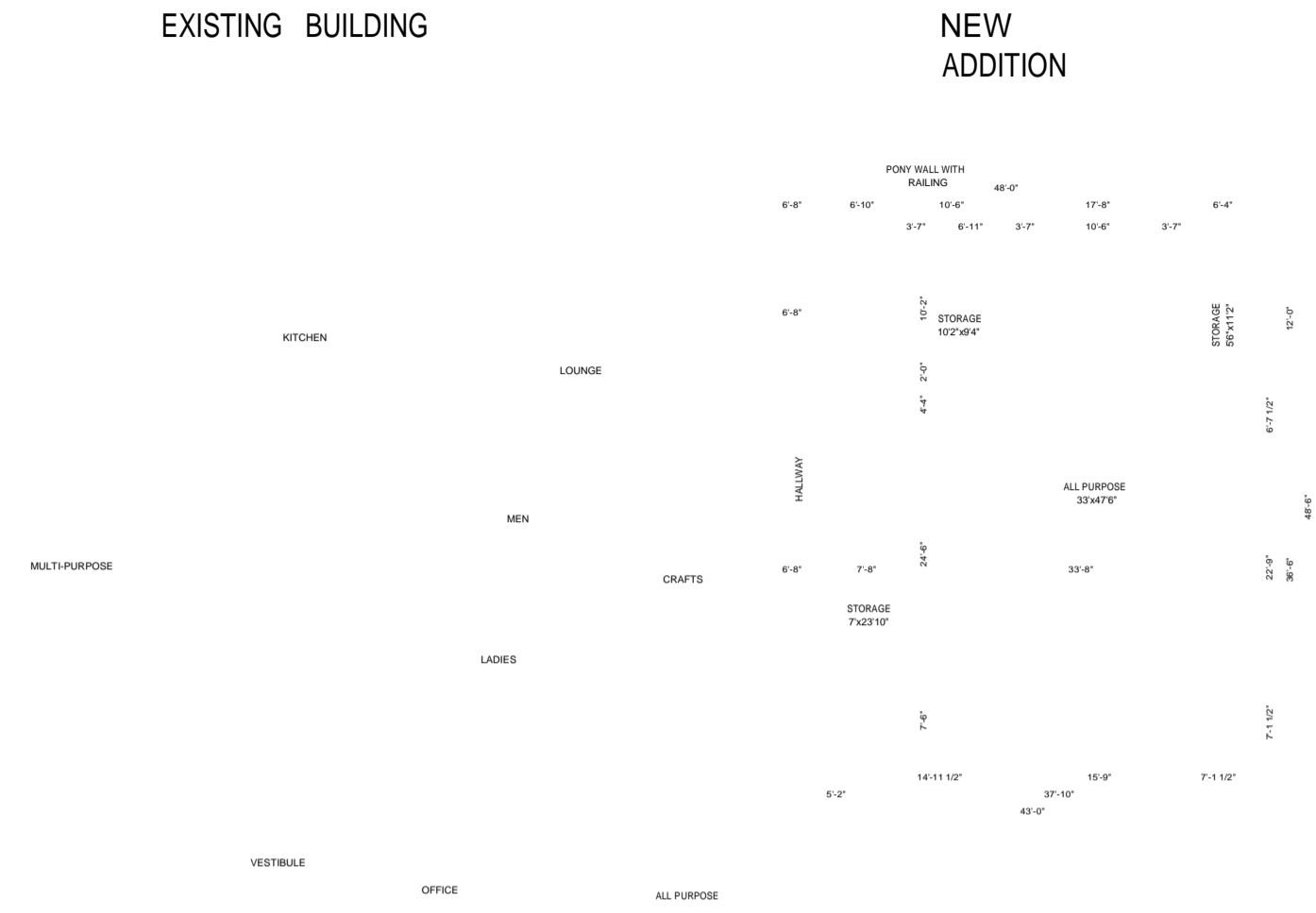
Basketball Court



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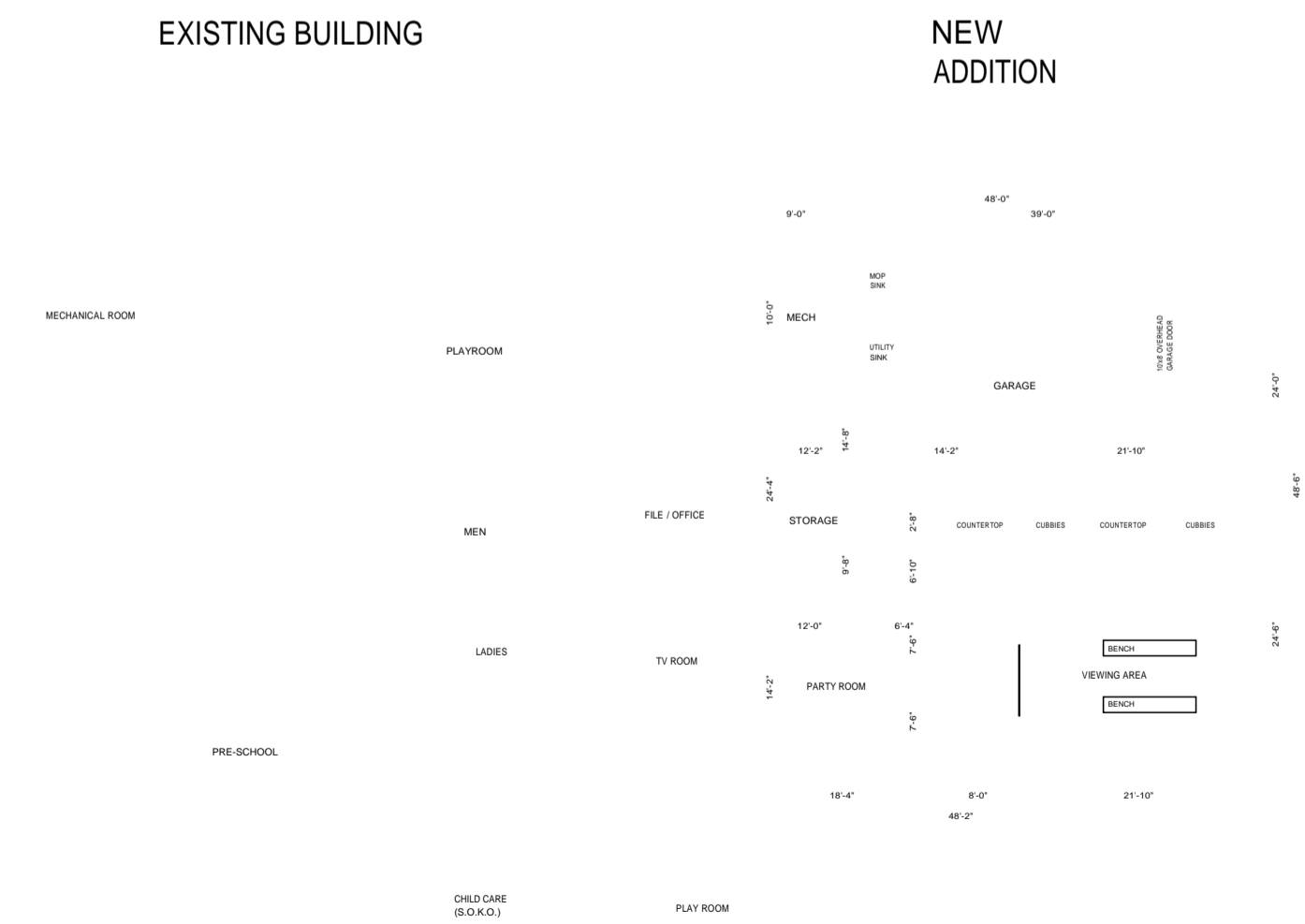
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OVERALL UPPER FLOOR PLAN
SCALE 3/32" = 1'-0"

LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

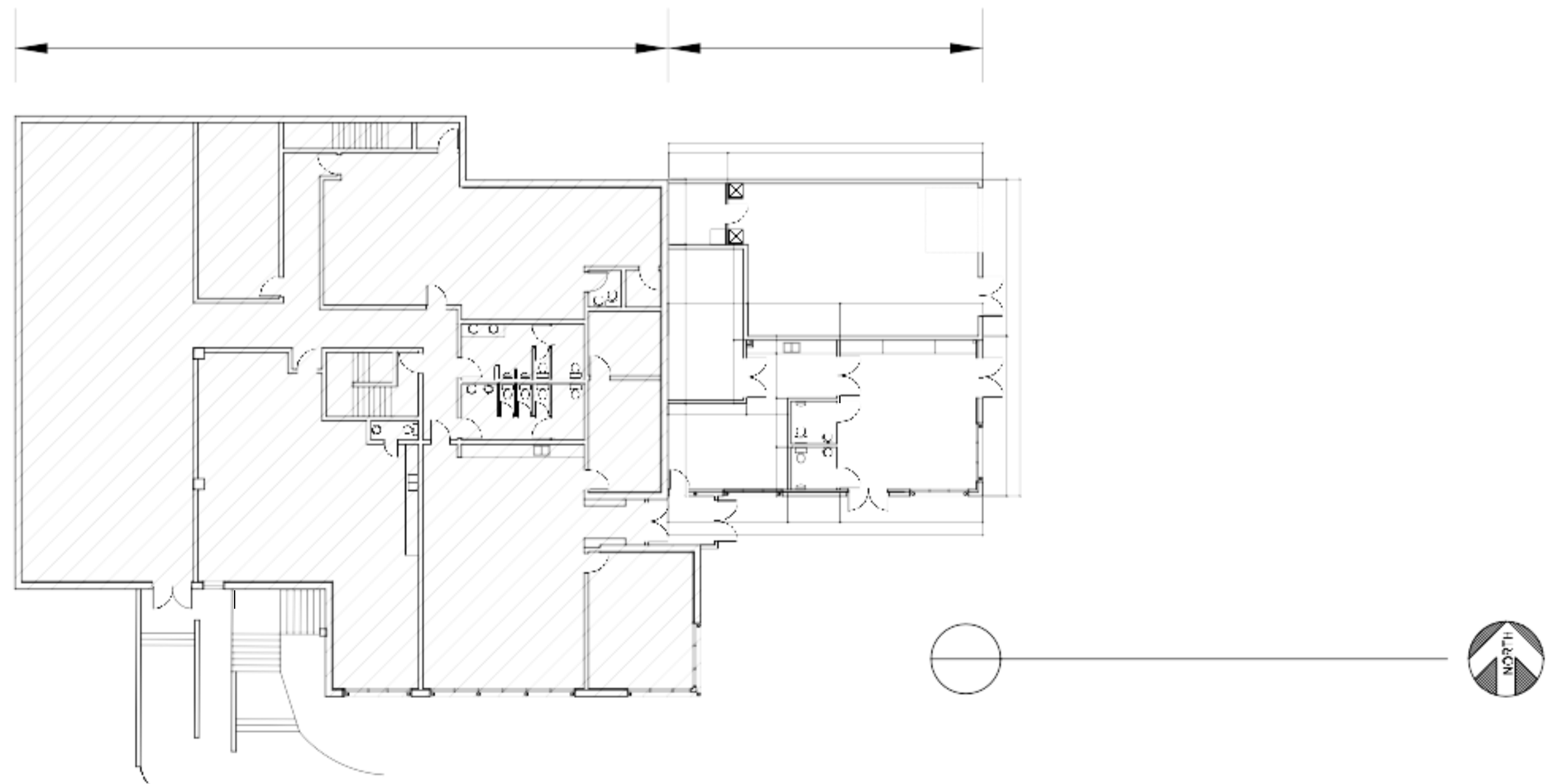
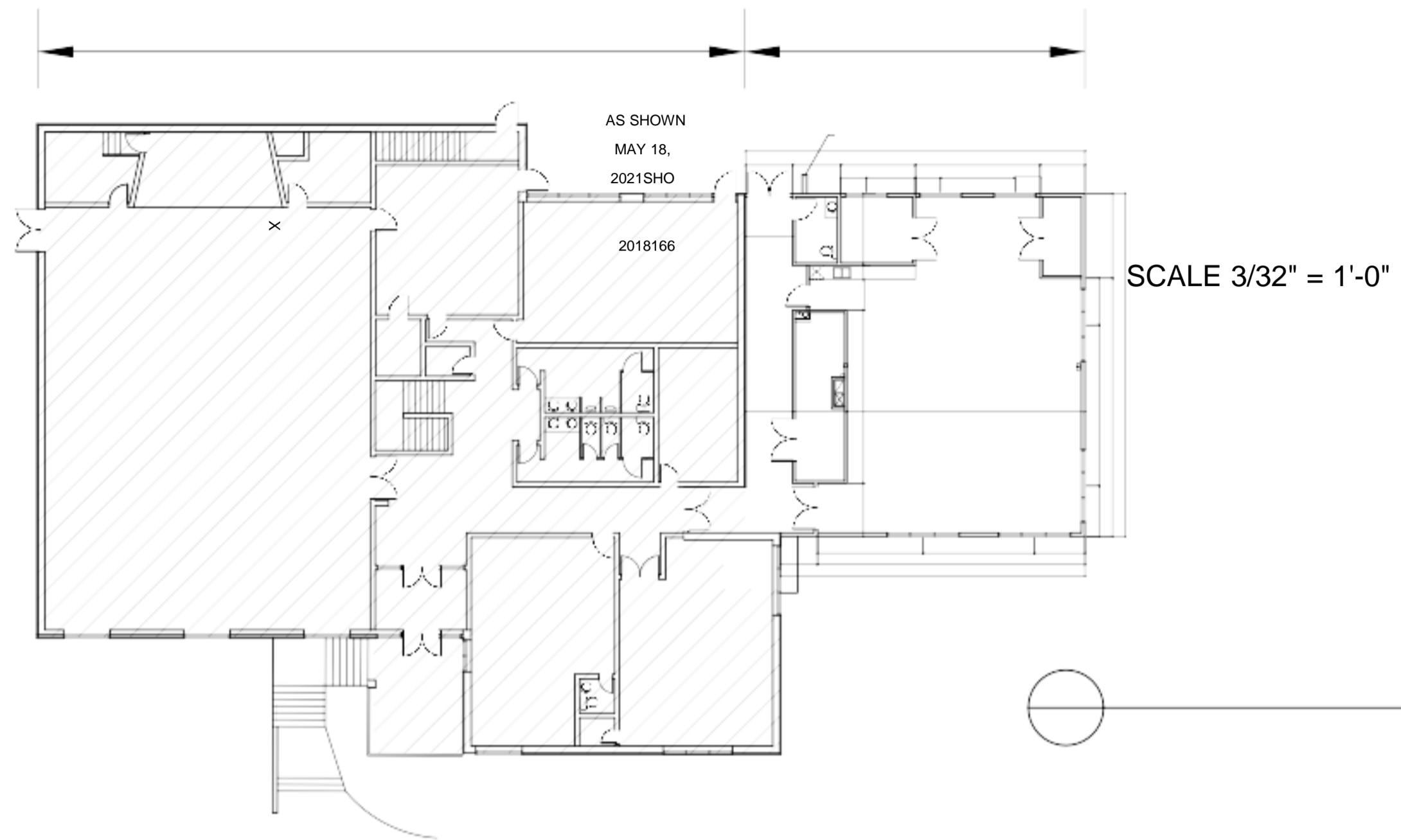


OVERALL
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PLAN

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a ISSUED FOR REVIEW MAY 18,21
No. REVISION DATE
PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL
KEY PLAN

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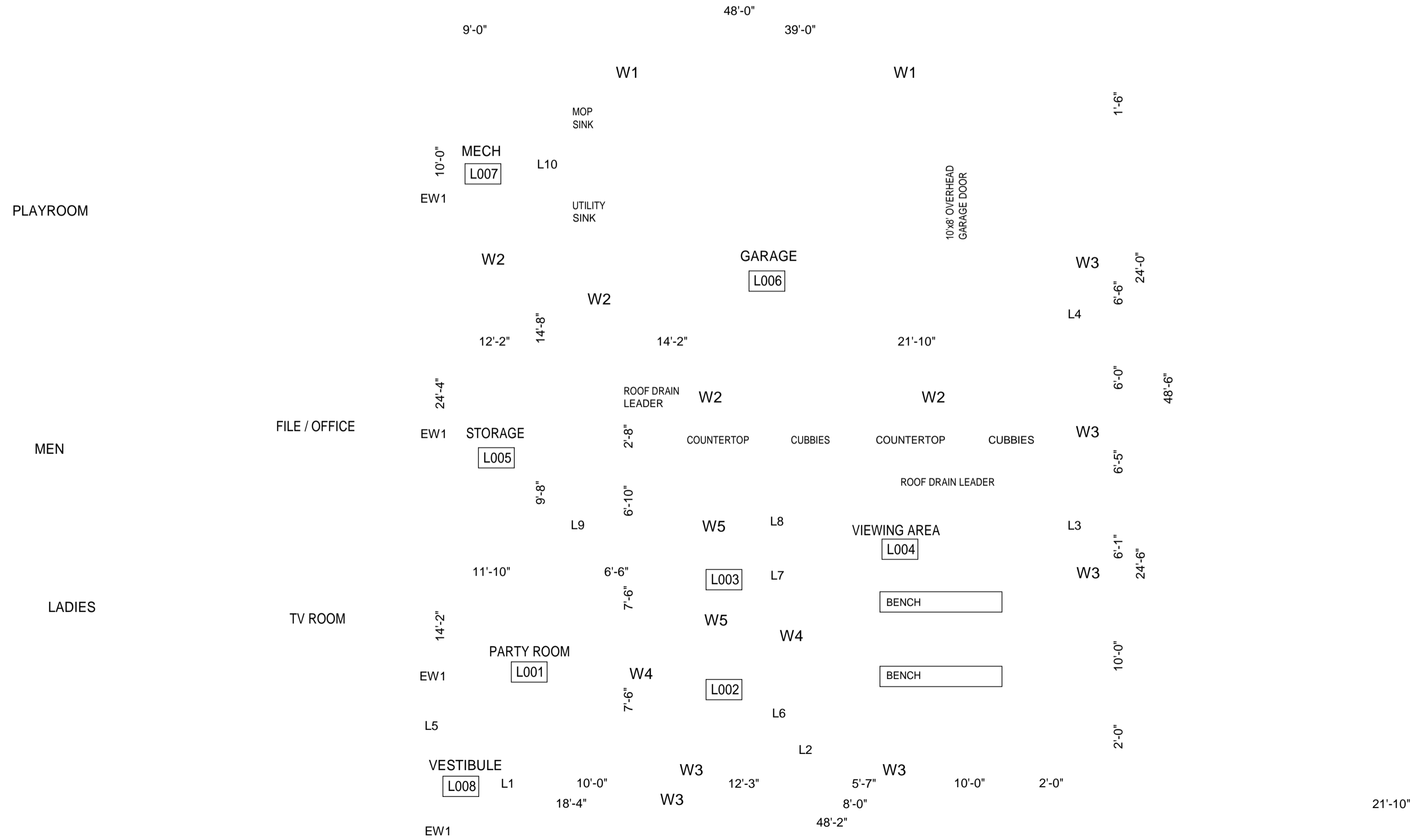
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EXISTING BUILDING

NEW ADDITION



LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

No.	REVISION	DATE
a	ISSUED FOR REVIEW	MAY 18, 21

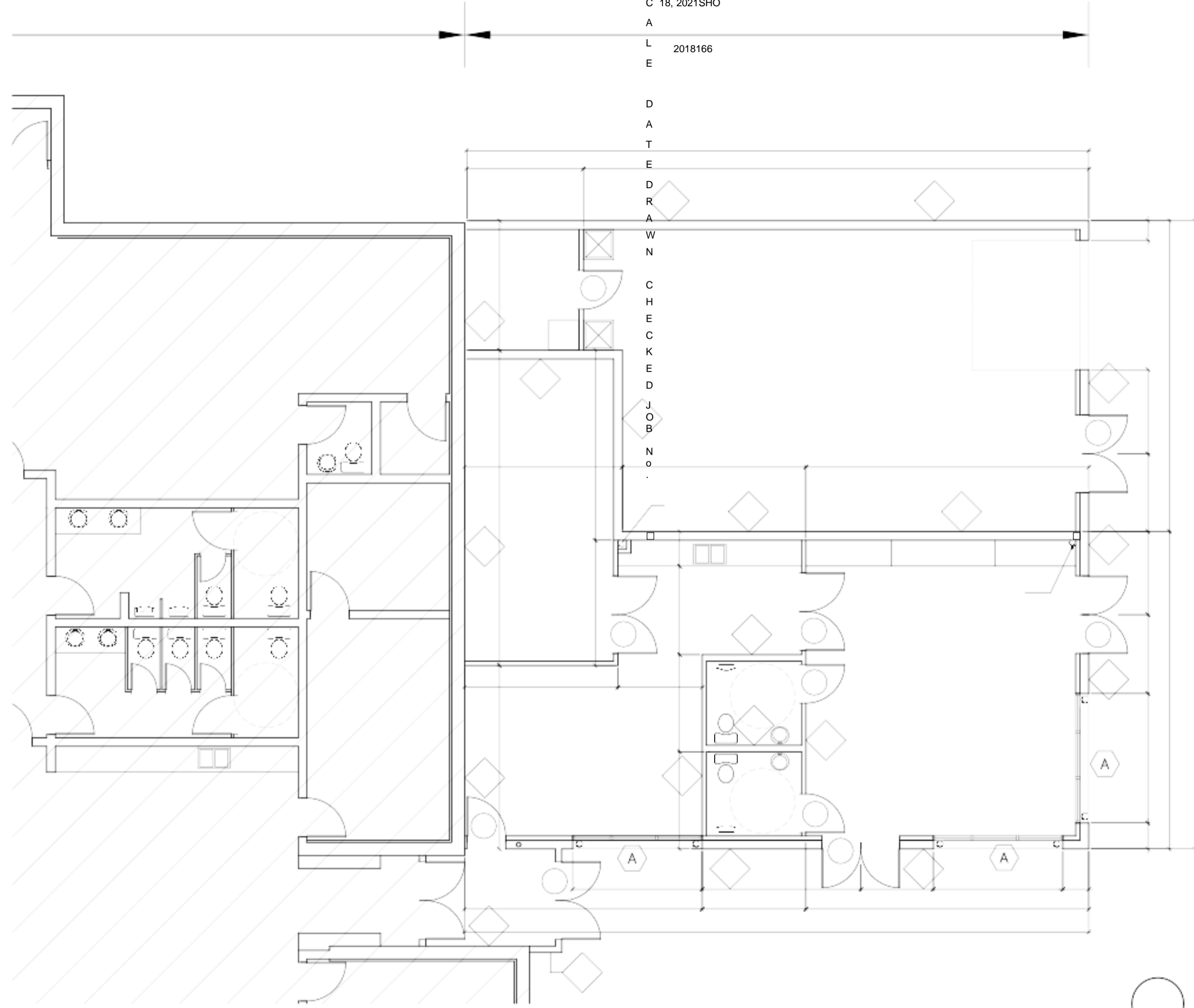
PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL
**LOWER FLOOR
PLAN**

OWER FLOOR PLAN

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SCALE 1/4" = 1'-0"

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PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

DETAIL
**UPPER FLOOR
PLAN**

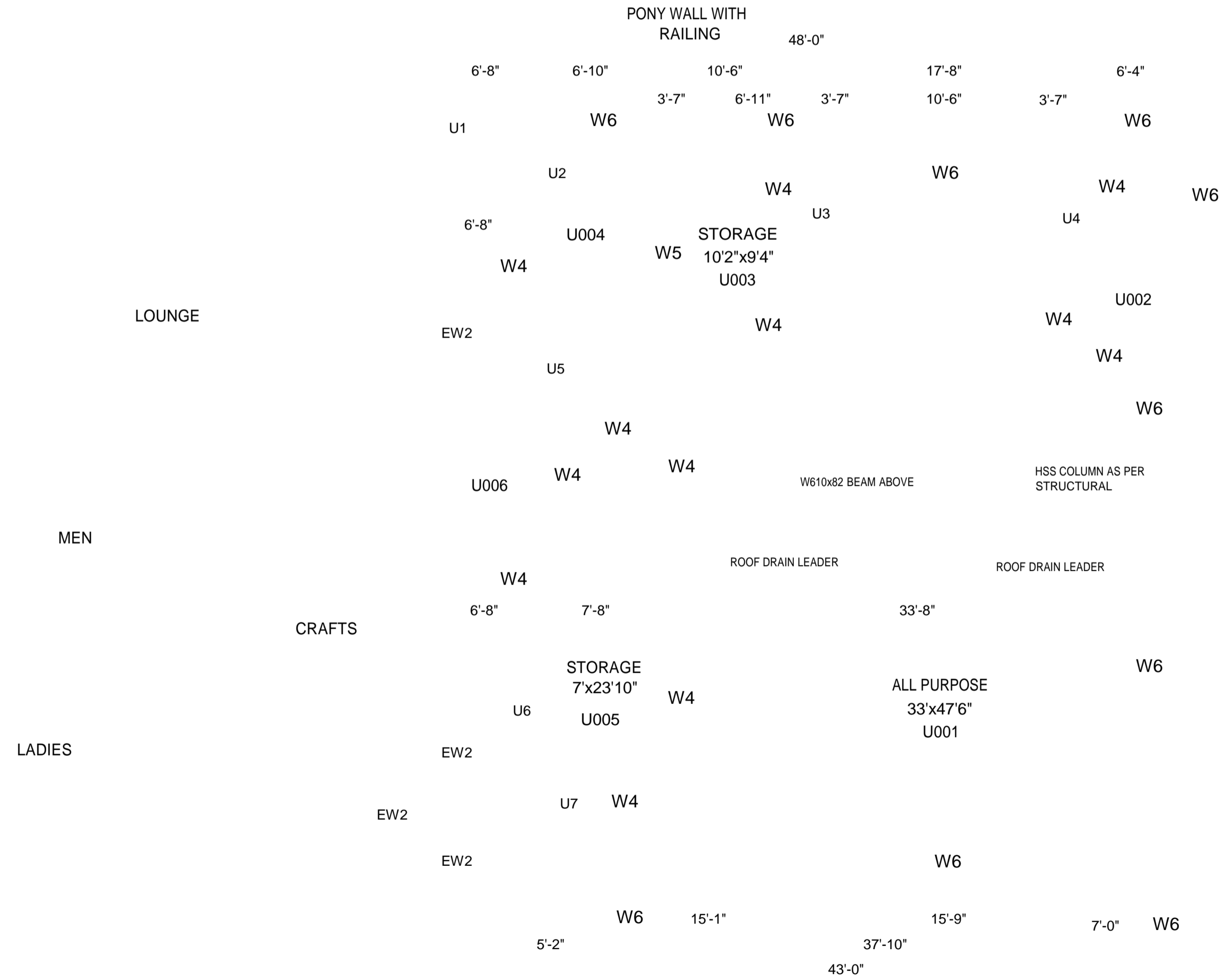
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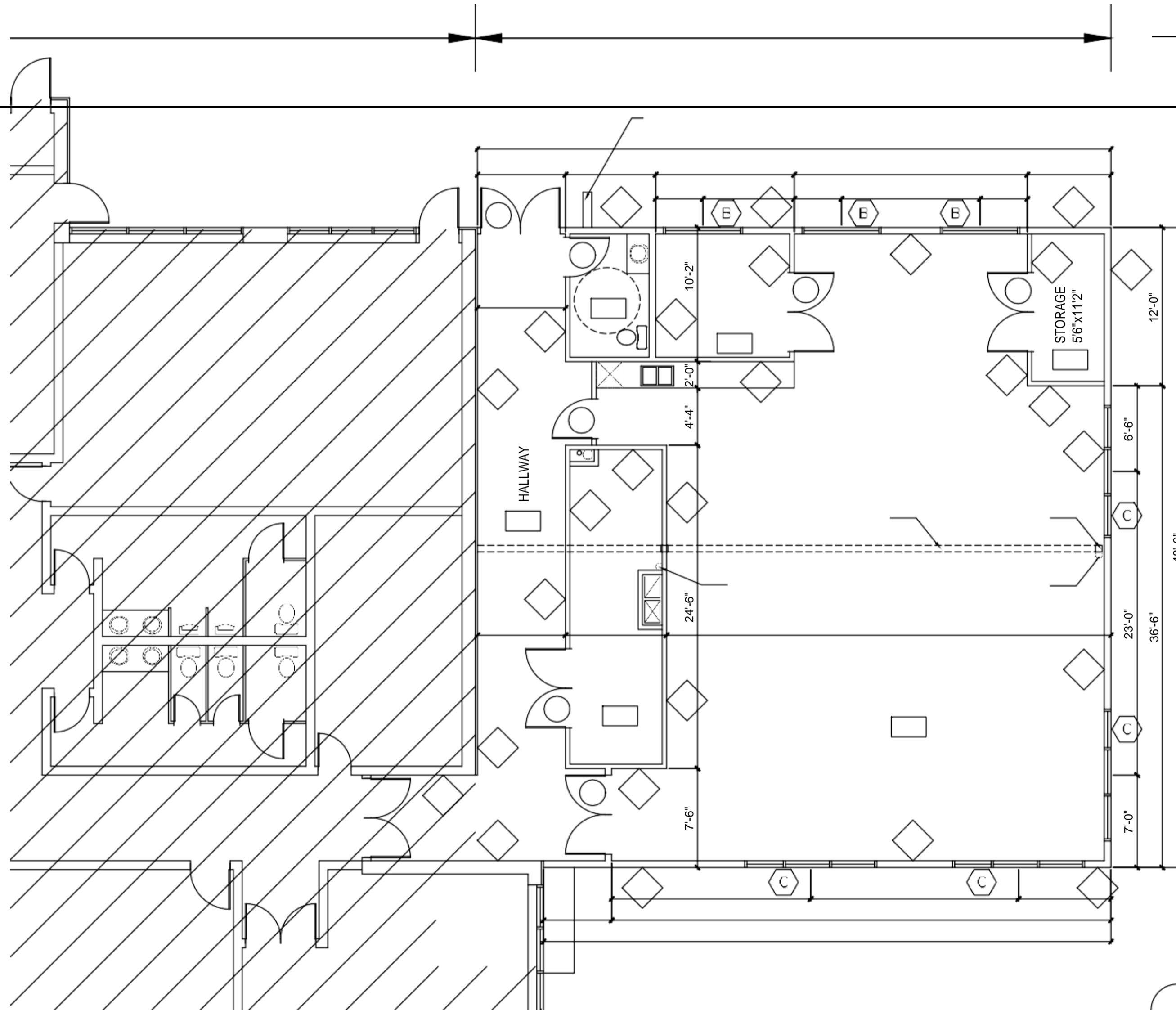
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UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"



EXISTING BUILDING

NEW ADDITION

PLAYROOM

T-BAR CEILING
8'-6" A.F.F.

T-BAR CEILING
8'-6" A.F.F.

MEN

FILE / OFFICE

T-BAR CEILING
8'-6" A.F.F.

T-BAR CEILING
8'-6" A.F.F.

LADIES

TV ROOM

T-BAR CEILING
8'-6" A.F.F.

T-BAR CEILING
8'-6" A.F.F.

T-BAR CEILING
8'-6" A.F.F.

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PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

DETAIL
**LOWER FLOOR
REFLECTED
CEILING PLAN**

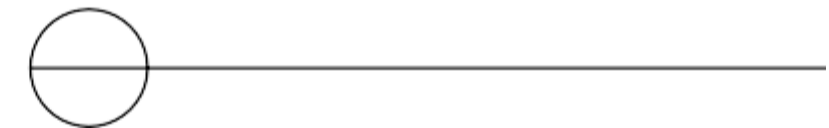
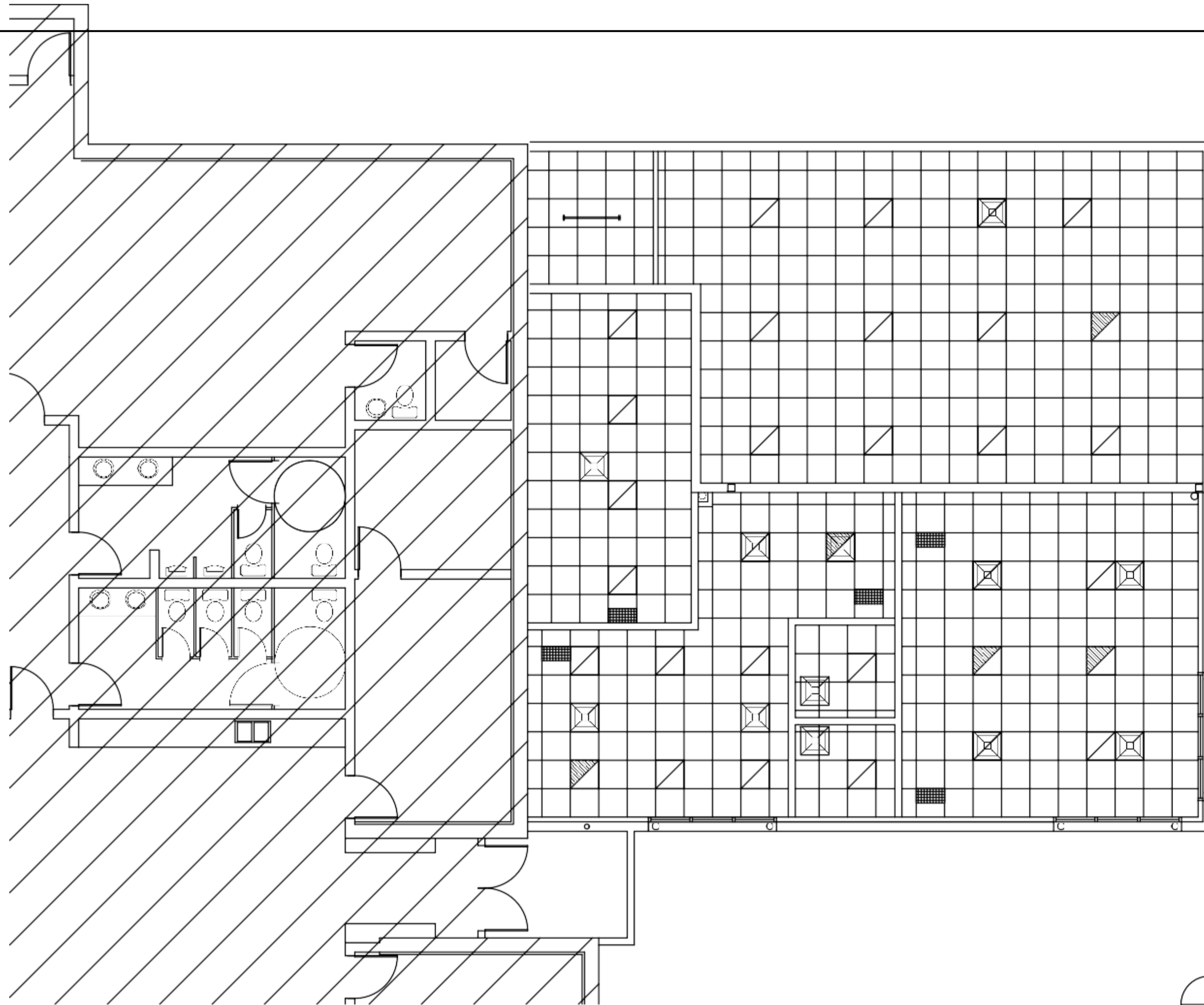
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LOWER FLOOR REFLECTED
CEILING PLAN
SCALE 1/4" = 1'-0"



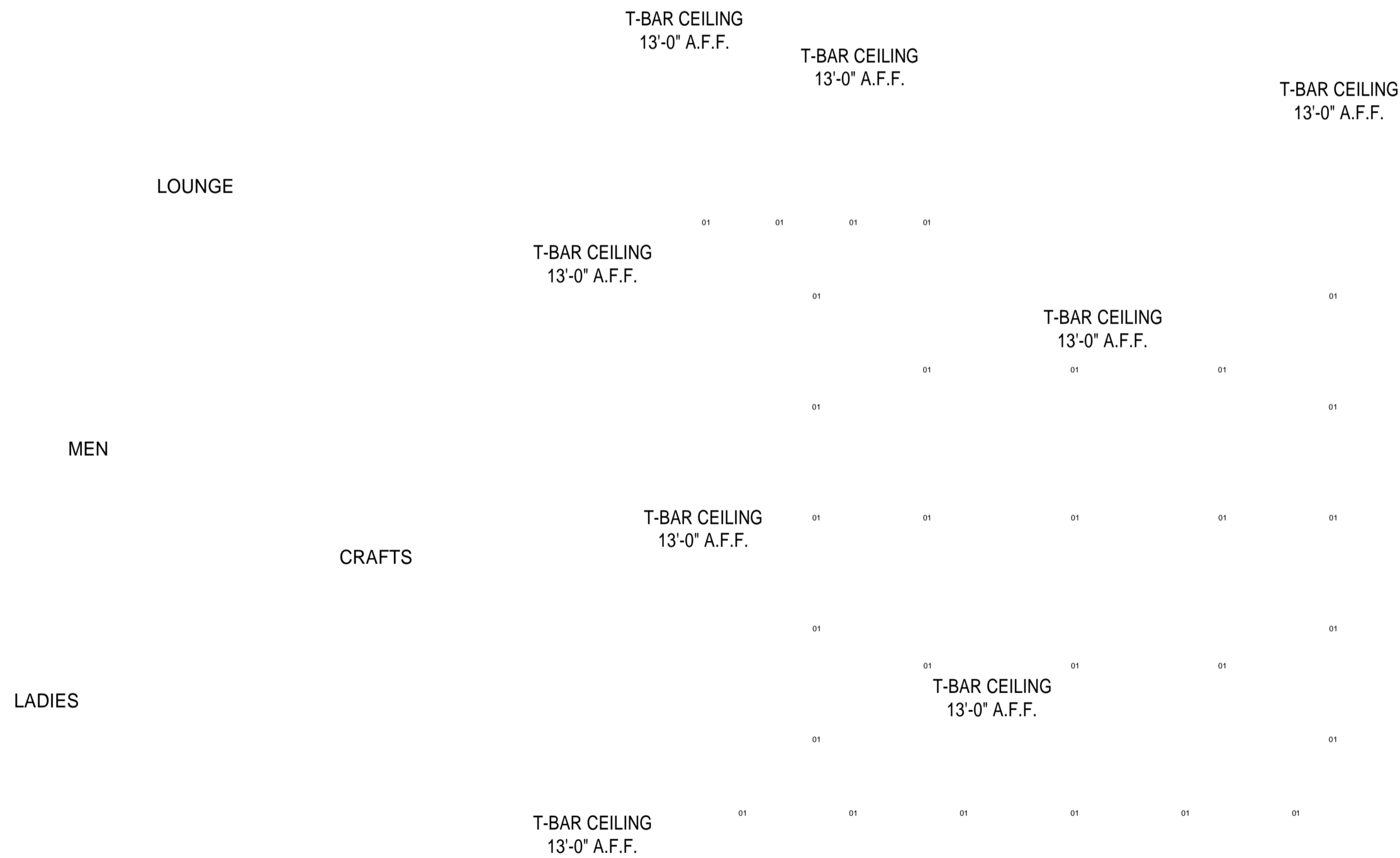
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EXISTING BUILDING

NEW ADDITION



LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

No.	REVISION	DATE
d		
c		
b		
a	ISSUED FOR REVIEW	MAY 18,21

PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL
**UPPER FLOOR
REFLECTED
CEILING PLAN**

SCALE AS SHOWN

DATE MAY 18, 2021

DRAWN SHO

CHECKED

JOB No. 2018166

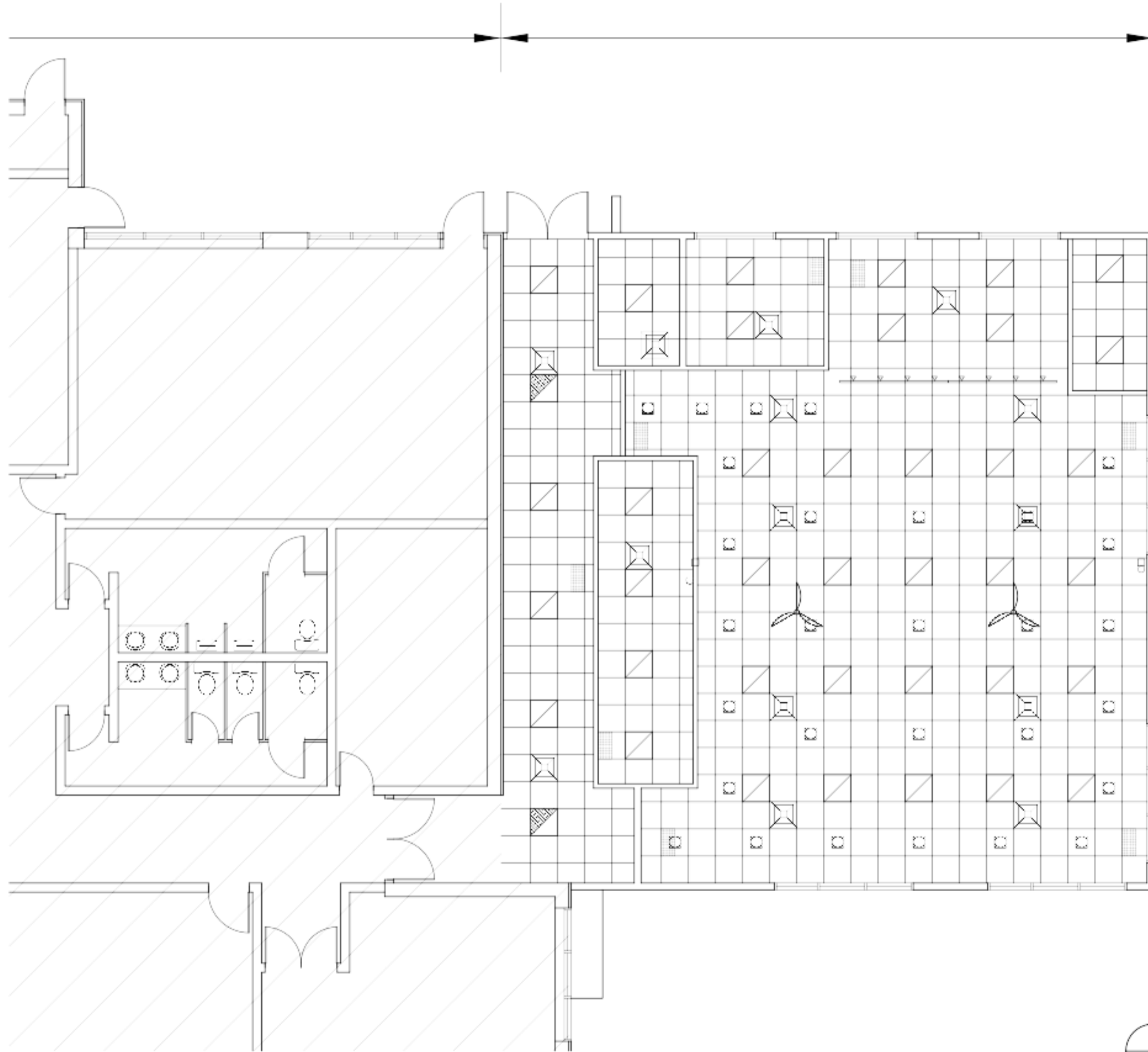
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FLOOR REFLECTED CEILING PLAN

SCALE 1/4" = 1'-0"



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BLOCK 42
PLAN 731 494

d		
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a	ISSUED FOR REVIEW	MAY 18,21
No.	REVISION	DATE

PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

DETAIL
**LOWER FLOOR
FLOORING PLAN**

SCALE AS SHOWN

DATE MAY 18, 2021

DRAWN SHO

HARDWOOD FLOOR

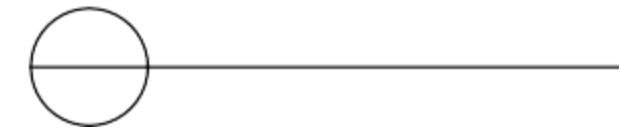
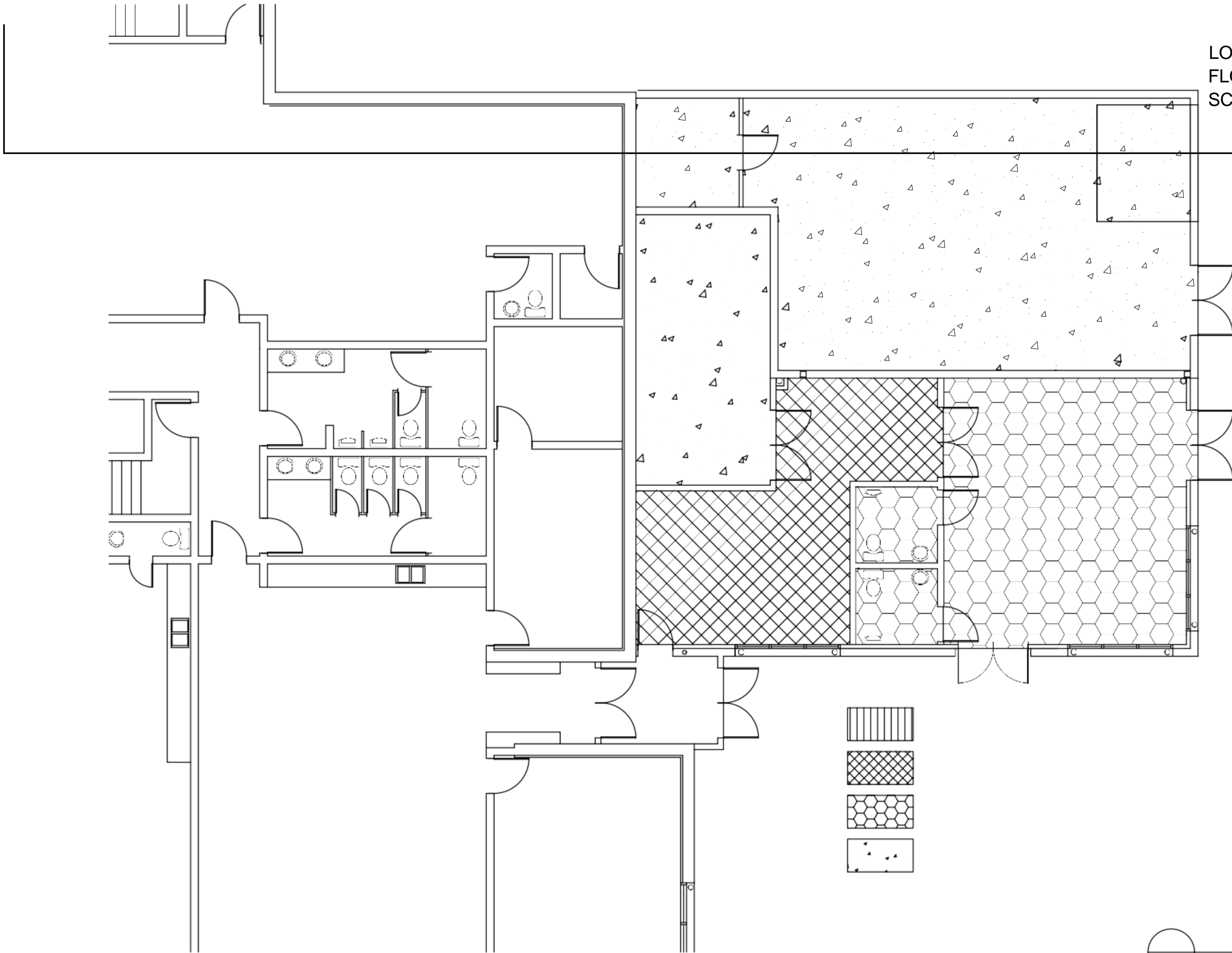
MARMOLEUM SHEET

RUBBER TILE

SEALED CONCRETE

LOWER FLOOR
FLOORING PLAN
SCALE 1/4" = 1'-0"

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PROJECT
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COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

DETAIL
**UPPER FLOOR
FLOORING PLAN**

SCALE AS SHOWN
DATE MAY 18, 2021
DRAWN SHO

HARDWOOD FLOOR

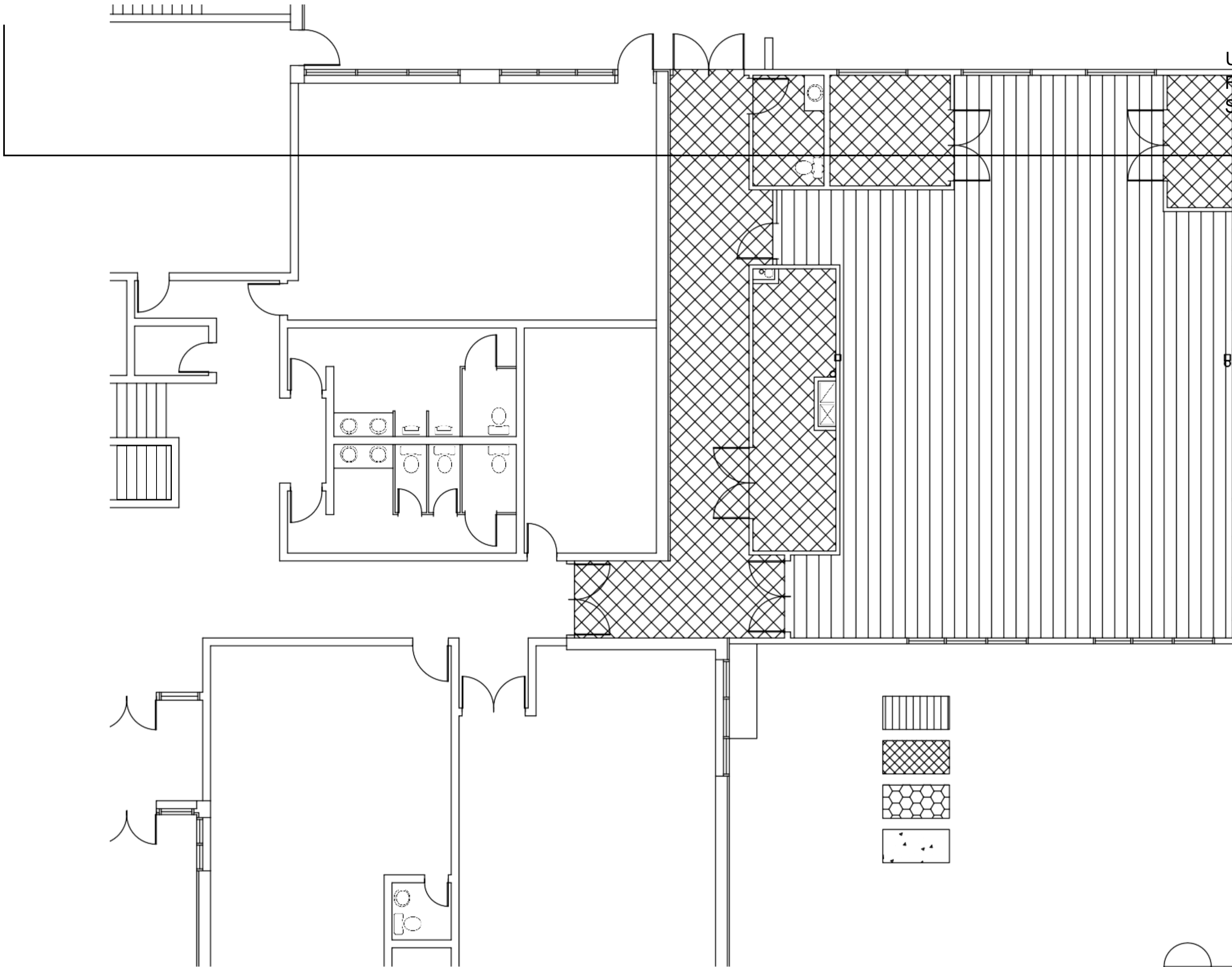
MARMOLEUM SHEET

RUBBER TILE

SEALED CONCRETE

CHECKED
JOB No. 2018166
DRAWING No. A2.7
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UPPER FLOOR
FLOORING PLAN
SCALE 1/4" = 1'-0"



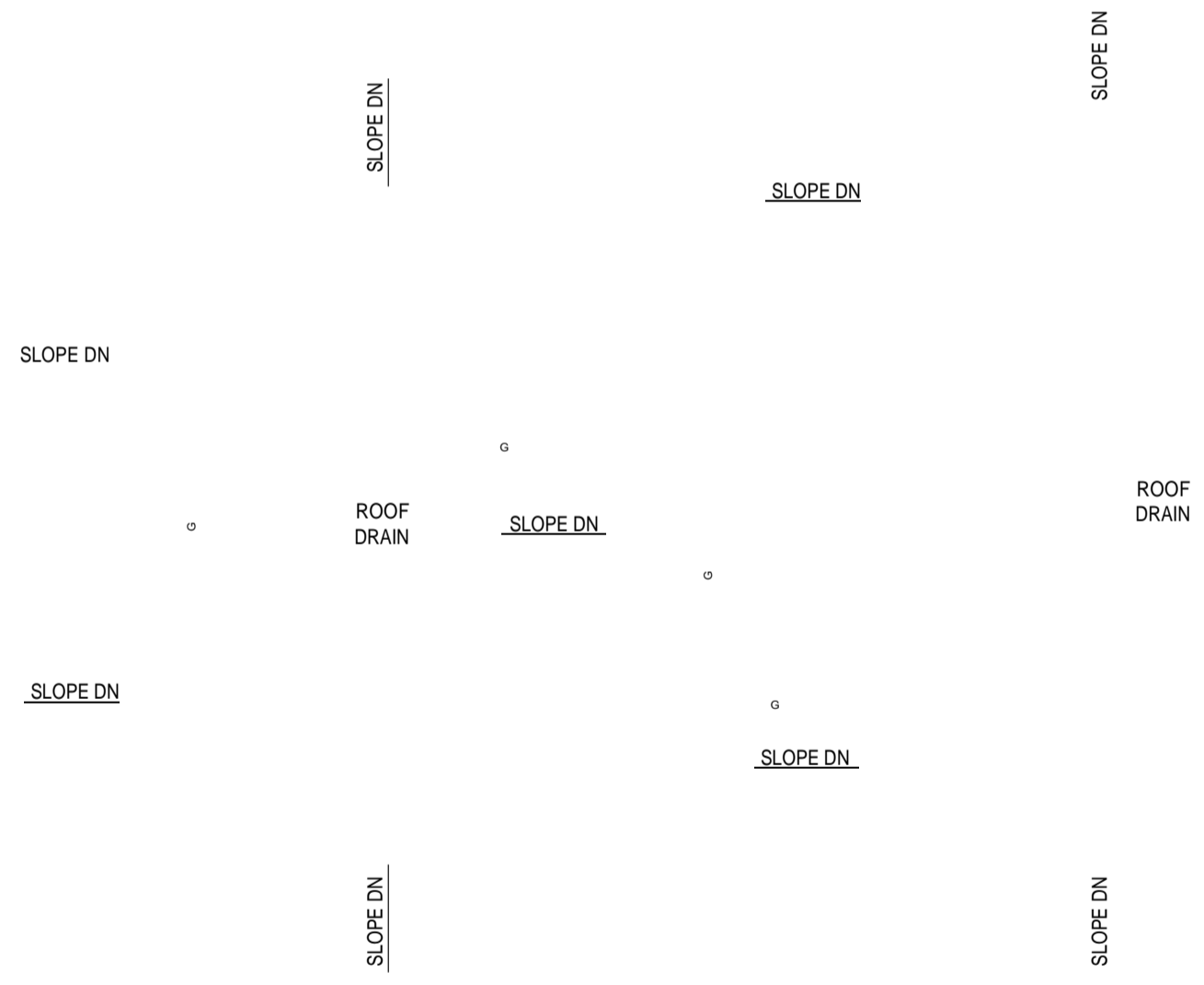
**STEVEN HO
ARCHITECTURE
INCORPORATED**

612, 500 Country Hills Blvd. NE
Suite 388
Calgary, Alberta T3K 5K3
Tel: (403) 870-6169
www.shoarchitecture.com

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LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

**EXISTING ROOF
(NOT IN CONTRACT)**



No.	REVISION	DATE
a	ISSUED FOR REVIEW	MAY 18,21
b		
c		
d		

PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL
ROOF PLAN

ROOF PLAN

EDATE
DRAWN CHECKED
JOB No.

AS SHOWN MAY 18, 2021 SHO

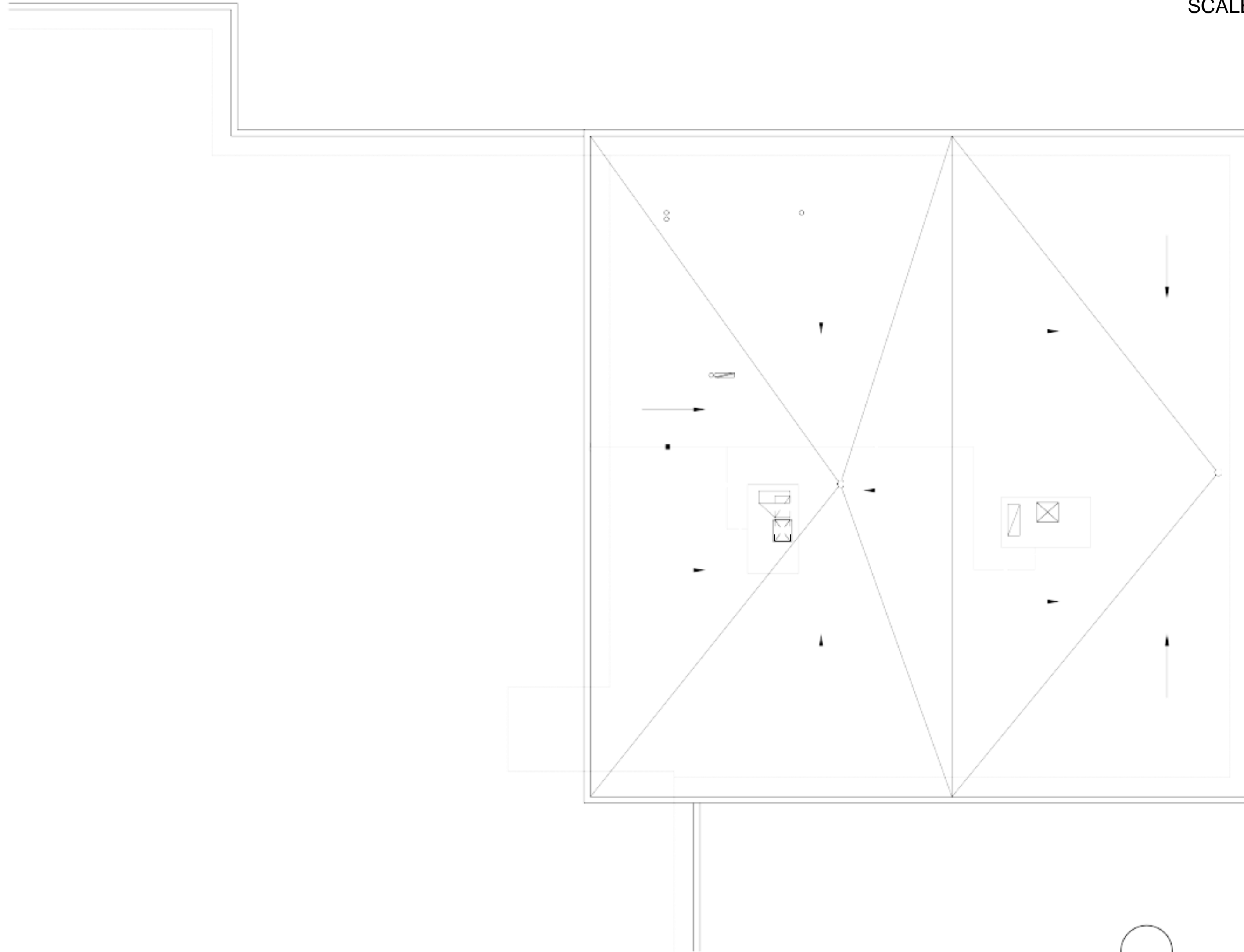
2018166

SCALE 1/4" = 1'-0"

DRAWING No.

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LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

No.	REVISION	DATE
a	ISSUED FOR REVIEW	MAY 18,21

PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL
ELEVATION

SCALE
DATE
DRAWN
CHECKED

EXISTING BUILDING

NEW ADDITION

4'-7"

14'-5"

11'-6"

4'-11"

14'-1"

30'-6"

11'-6"

L2

**SOUTH ELEVATION
SCALE 3/16" = 1'-0"**

NEW ADDITION

EXISTING BUILDING

4'-11"

14'-1"

29'-0"

10'-0"

U1

NEW CONCRETE STEPS

**NORTH ELEVATION
SCALE 3/16" = 1'-0"**

FAÇADE FINISHES LEGEND

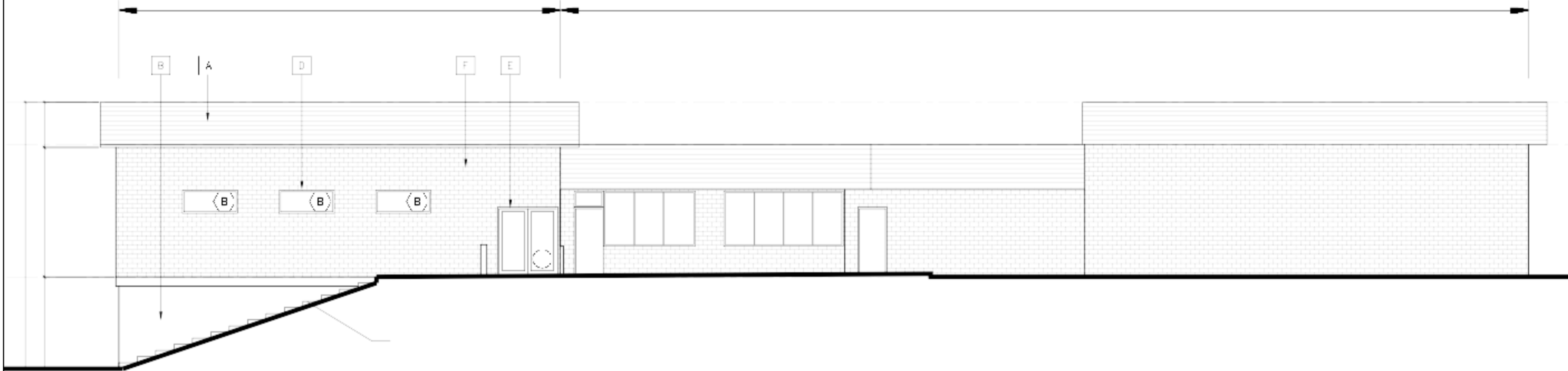
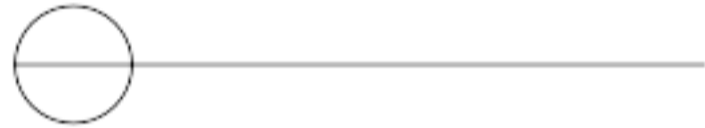
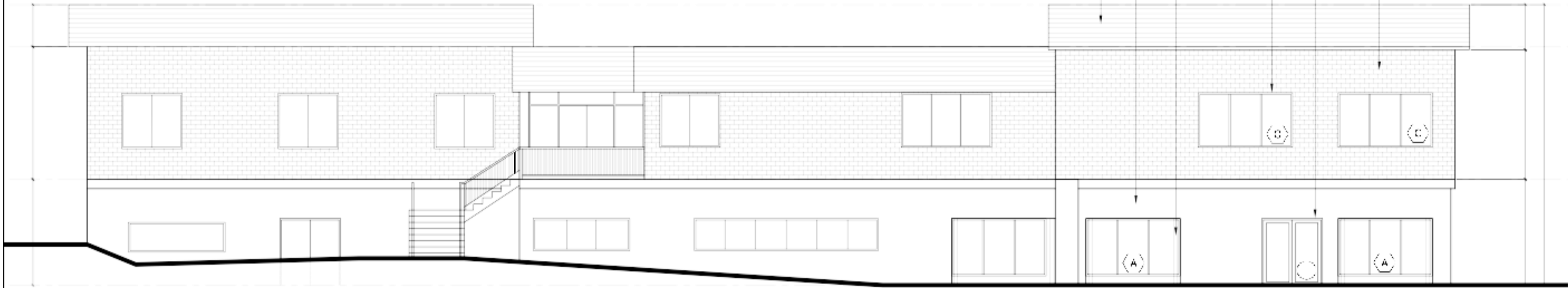
AS SHOWN MAY 18, 2021SHO

2018166

DRAWING No.

A3.1

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- 1 POLY METAL SIDING (SPECIAL COLOR TO MATCH EXISTING)
- 2 ACRYLIC STUCCO (COLOR TO MATCH EXISTING)
- 3 BLACK PAINTED STEEL I-BEAM COLUMN
- 4 BLACK COLOR ALUMINUM FRAME WINDOW
- 5 BLACK COLOR ALUMINUM 5 0-CLIPON DOOR
- 6 THIN BRICK (COLOR TO MATCH EXISTING)
- 7 HOLLOW CORE METAL DOOR AND FRAME (BLACK COLOR)
- 8 BLACK COLOR INSULATED METAL OVERHEAD DOOR

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LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

EXISTING BUILDING

NEW ADDITION

EXISTING BUILDING

30'-6"
14'-1"
11'-6"

EL.19.45

EL.19.47

EL.19.47

4'-11"
14'-1"
30'-6"
11'-6"

EL.22.90

EL.19.96

STORAGE
GATE

NEW CONCRETE STEPS
19R@6.98"

EAST ELEVATION
SCALE 3/16" = 1'-0"

FACADE FINISHES LEGEND

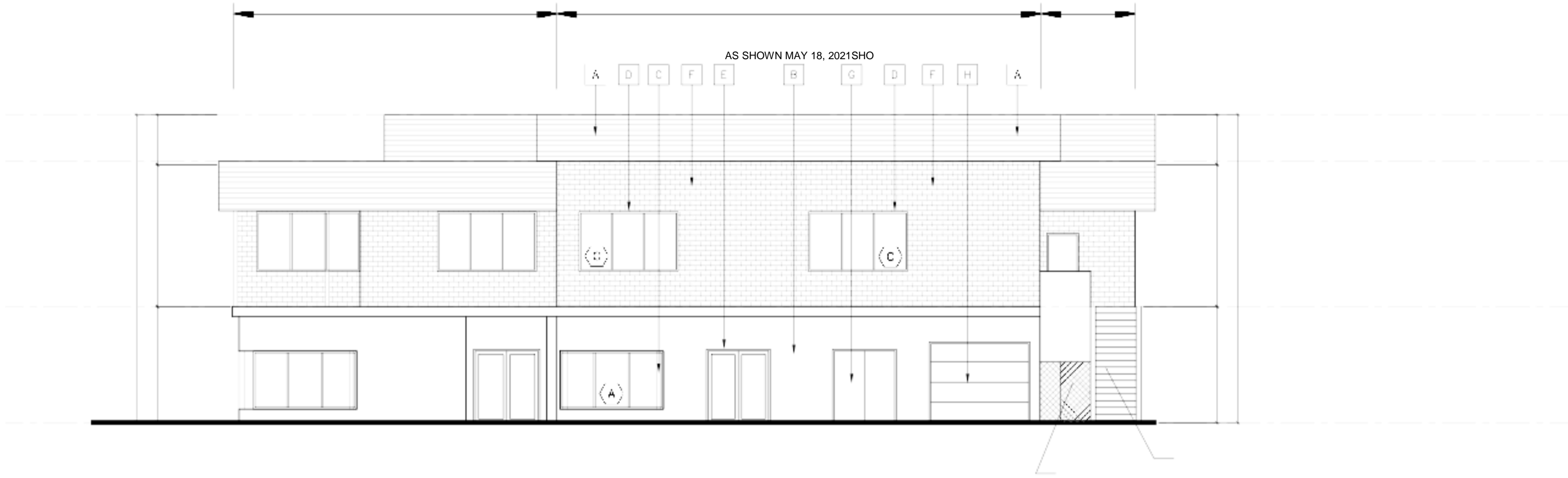
d
c
b

a	ISSUED FOR REVIEW	MAY 18,21
No.	REVISION	DATE

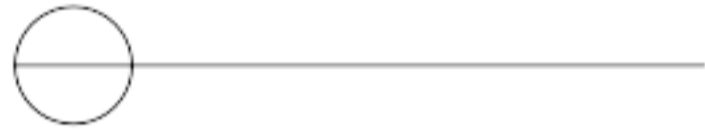
PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA
DETAIL
ELEVATION

SCALE
DATE
DRAWN
CHECKED



AS SHOWN MAY 18, 2021SHO



- | | |
|---|--|
| A | NEW WALL BOARD (BRICK) (COLOR TO MATCH EXISTING) |
| B | ACRYLIC STUCCO (COLOR TO MATCH EXISTING) |
| C | BLACK PAINTED STEEL MASS COLUMN |
| D | BLACK COLOR ALUMINUM FRAME WINDOW |
| E | BLACK COLOR ALUMINUM STOREFRONT DOOR |
| F | THIN BRICK (COLOR TO MATCH EXISTING) |
| G | HOLLOW CORE METAL DOOR AND FRAME (BLACK COLOR) |
| H | BLACK COLOR INSULATED METAL EXTERIOR DOOR |

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LEGAL DESCRIPTION:
LOT 23
BLOCK 42
PLAN 731 494

d		
c		
b		
a	ISSUED FOR REVIEW	MAY 18, 21
No.	REVISION	DATE

PROJECT
SILVER SPRINGS
COMMUNITY CENTRE
ADDITION

5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

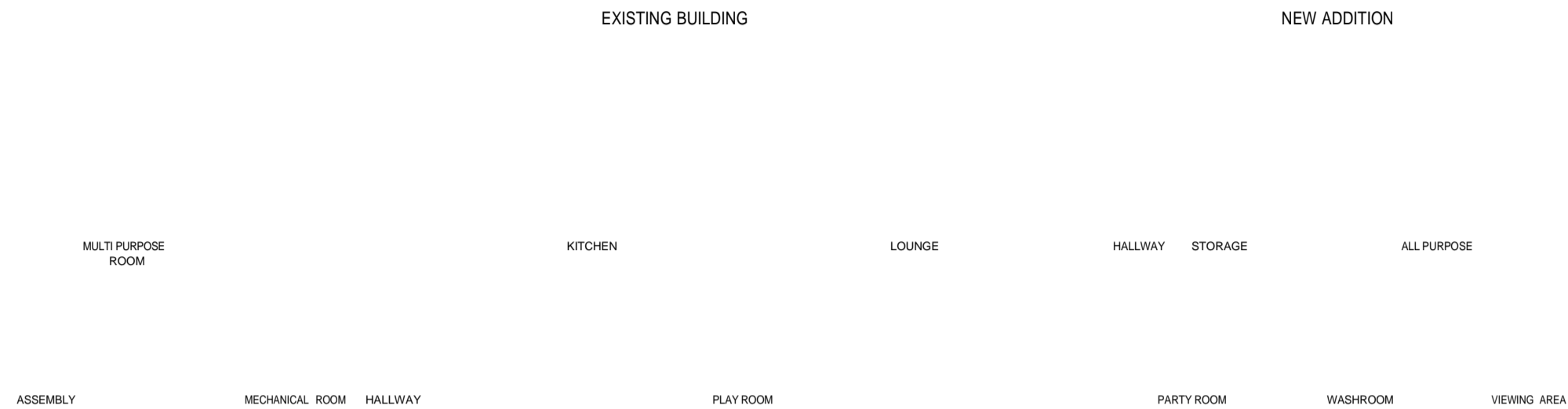
DETAIL
**BUILDING
SECTION**

SCALE AS SHOWN

DATE MAY 18, 2021

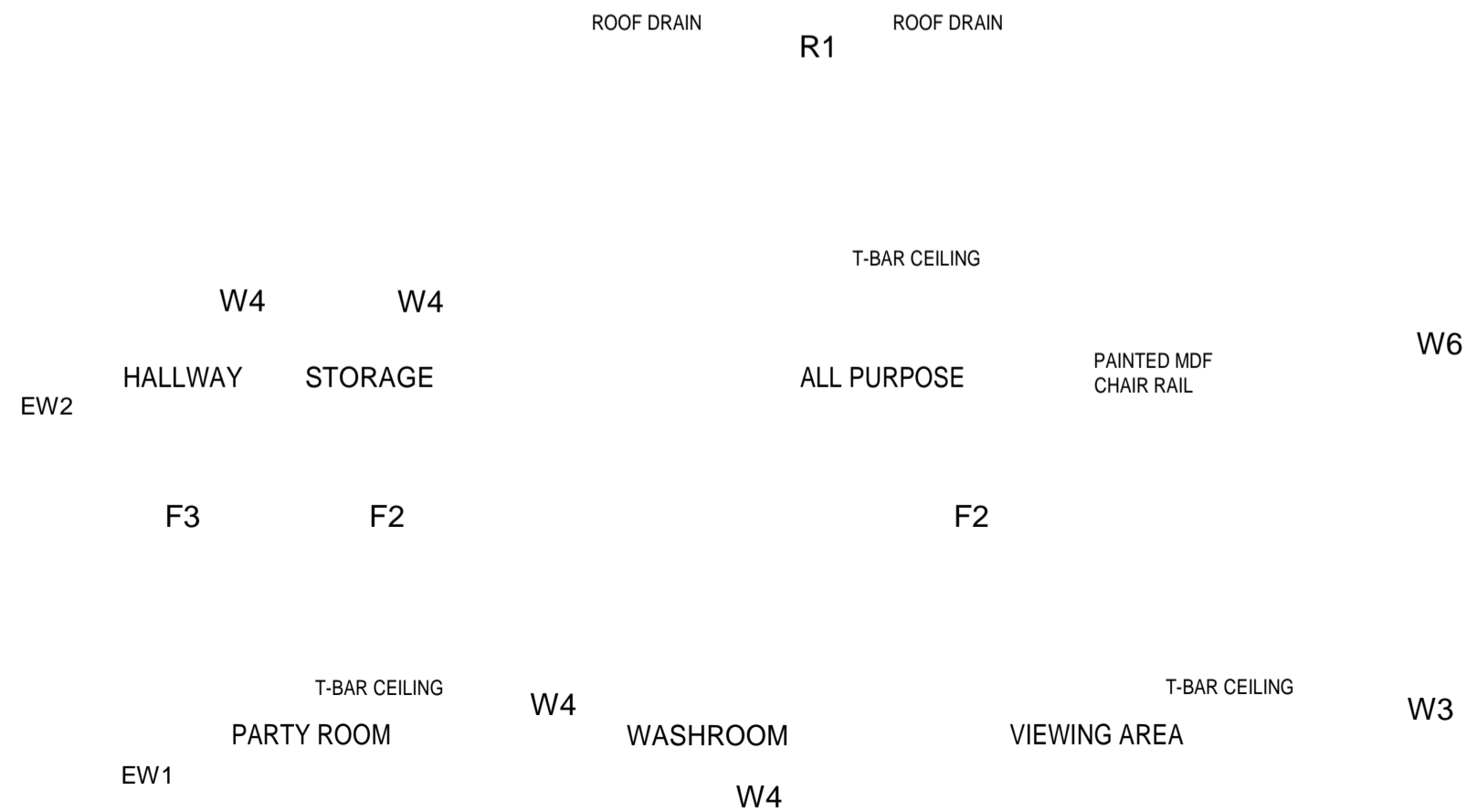
DRAWN SHO

**OVERALL BUILDING SECTION
SCALE 1/8" = 1'-0"**

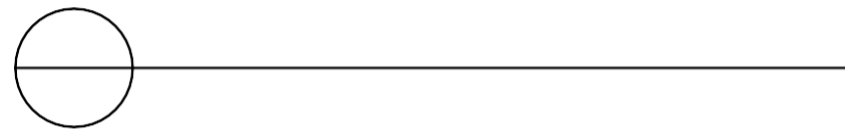
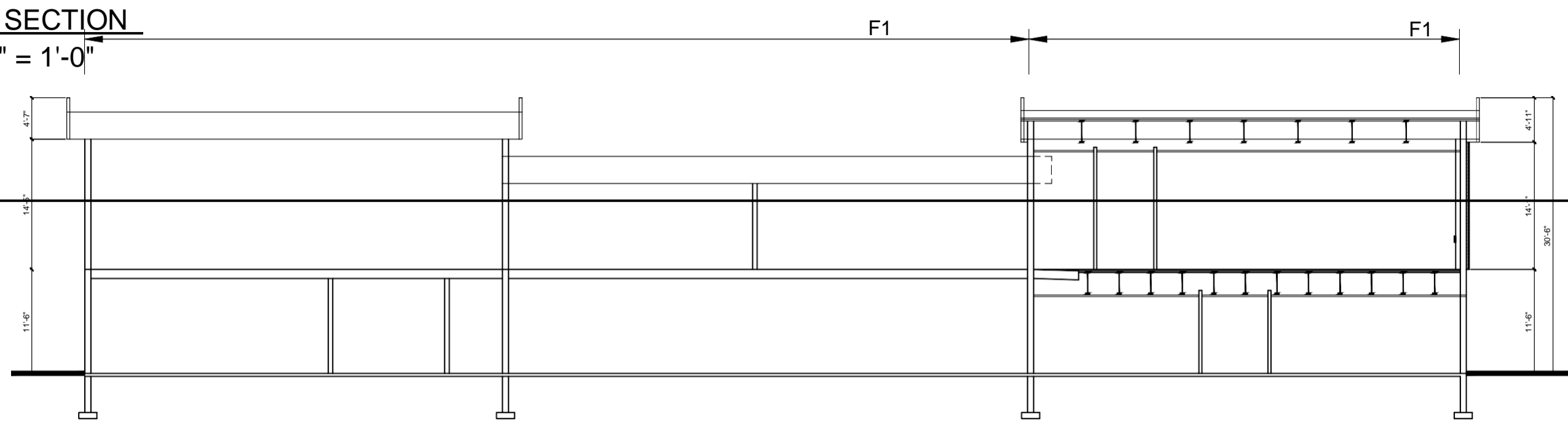


EXISTING BUILDING NEW ADDITION

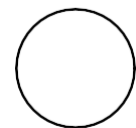
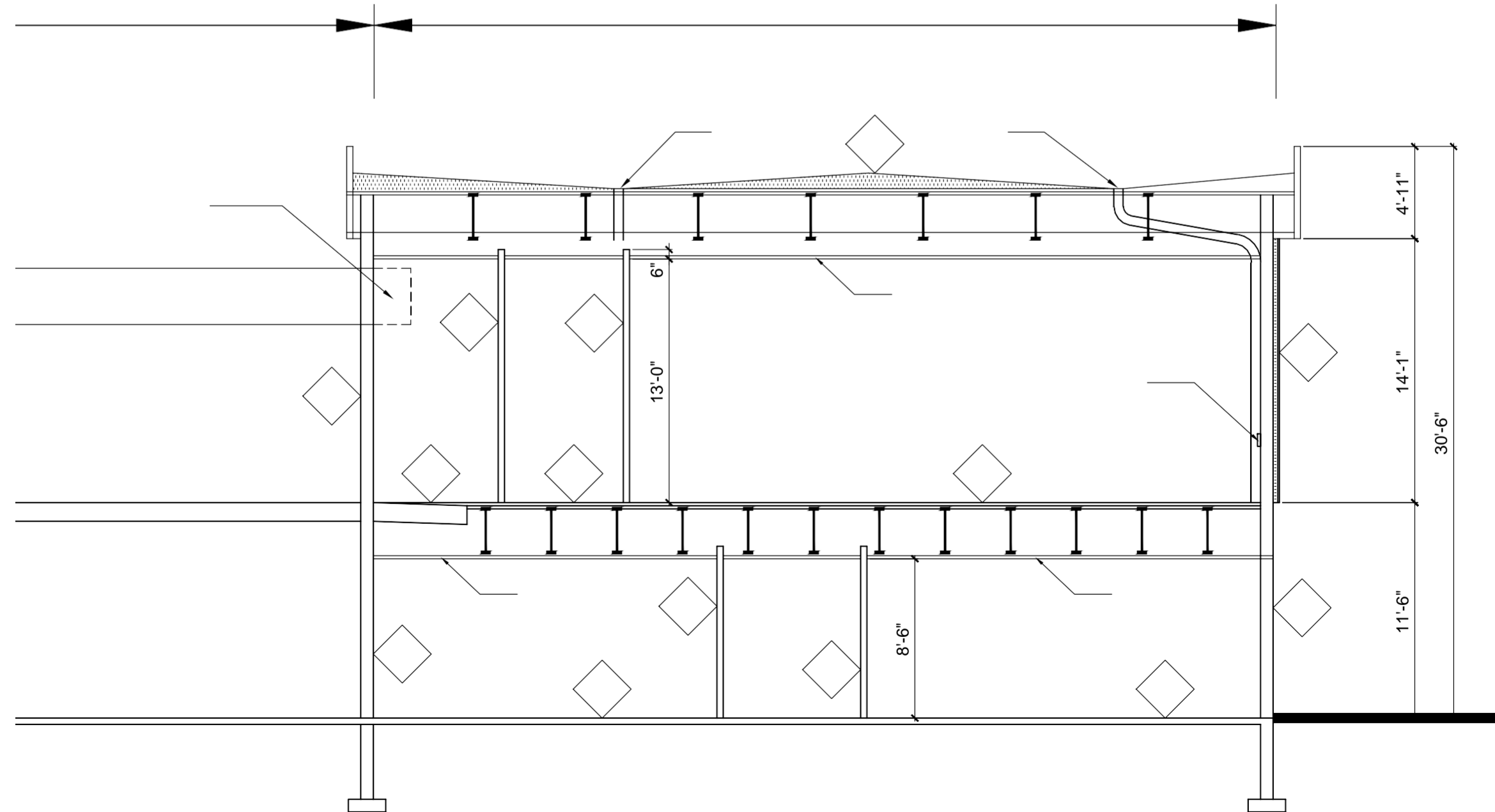
REMOVE EXISTING
ROOF OVERHANG AT
NEW HALLWAY



BUILDING SECTION
SCALE 1/4" = 1'-0"



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CALGARY
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INFO@RECAD.CA
STAMP:

ADDRESS:

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CALGARY, ALBERTA

SHEET TITLE:

ADDITION FOUNDATION PLAN

SCALE: AS SHOWN DATE (D/M/Y) 07/04/2021

DRAWING: S1 REVISION: 0

SUBMISSION / REVISION :

DATE	DESCRIPTION

TRANSVERSE @ 12" o/c 15M
(2) 15M CONTINUOUS BOTTOM

DOWEL NEW FOOTING TO EXISTING WITH (3) 24" LONG 15M BARS.
---C/W MIN. 5" EMBEDMENT. EPOXY WITH HIL11 HIT-HY 200 OR EQUIV. TYP ALL LOCATIONS

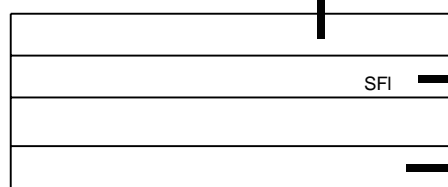
SFI (TYP. U N&)

ARCHITECTURAL:

GEOTECH INFO REQUIRED

GRADE AROUND PERIMETER

UNDERGROUND UTILITIES TO AVOID? (THERE IS A CATCHBASIN BESIDE THE BUILDING, DOES THAT DRAIN TO THE FRONT OF THE PROPERTY OR TO THE BACK?)



STRIP FOOTING SCHEDULE

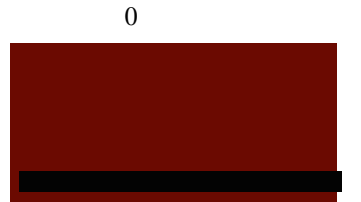
MARK	WIDTH	DEPTH	REINFORCEMENT
SFI	36"	12"	(3) 15M CONTINUOUS BOTTOM,
SF2	24"	12"	

M,
15M TRANSVERSE O 12" o/c

07/04/21 I ISSUED FOR COORDINATION

FOOTING PLAN
1/8" = 1'-0"

1. THIS DRAWING MUST NOT BE SCALED.
2. ALL ERRORS OR OMISSIONS MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF WORK.
4. VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE DESIGN ENGINEER.
5. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS.



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CALGARY, ALBERTA

SHEET TITLE:

ADDITION UPPER FLOOR FRAMING
PLAN

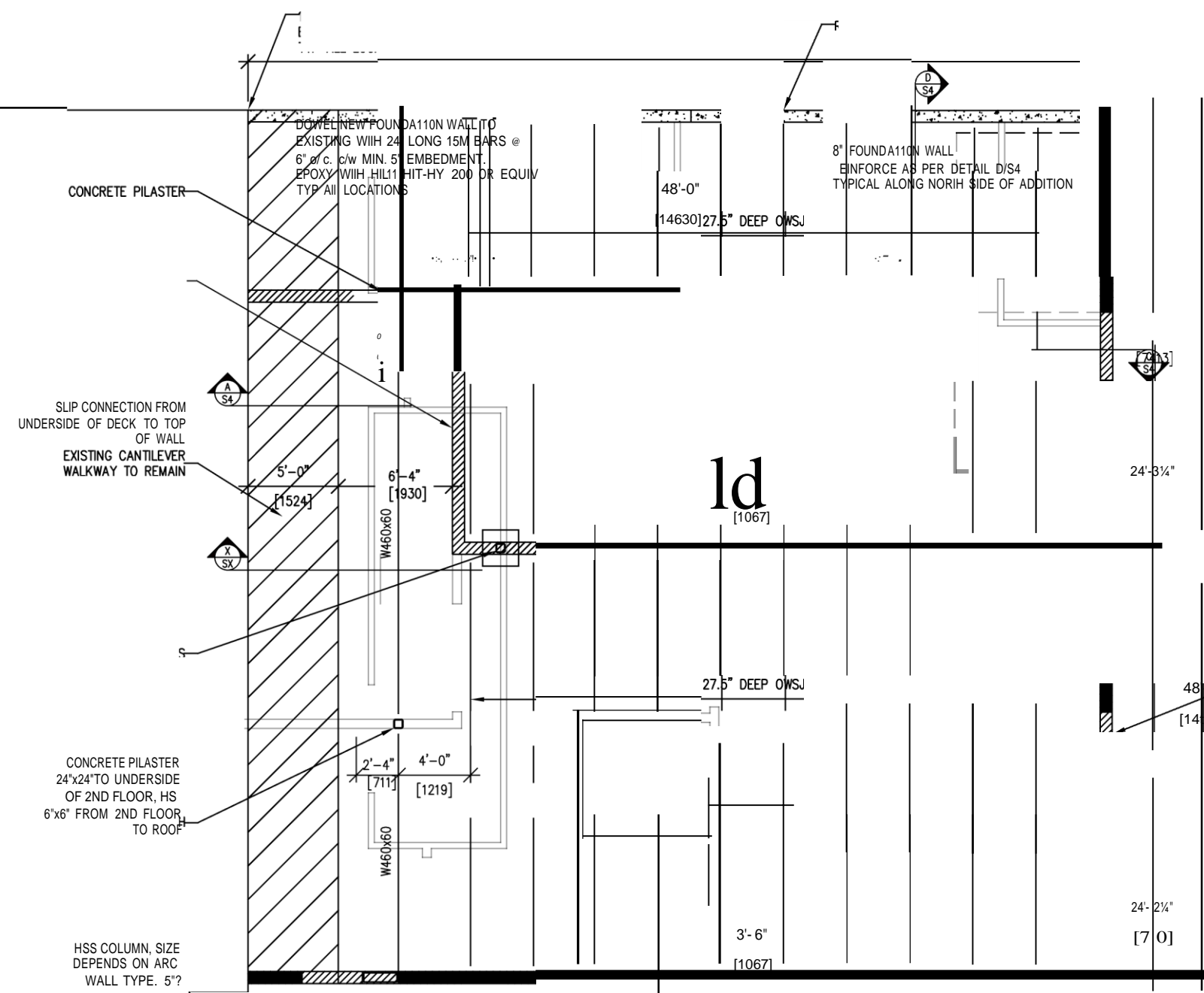
SCALE: AS SHOWN
DATE (D/M/Y): 07/04/2021

DRAWING: S2
REVISION: 0

SUBMISSION / REVISION :

DATE DESCRIPTION

07/04/21 | ISSUED FOR COORDINATION



ARCHITECTURAL:

NEED ARCHITECTURAL SECTIONS OR DETAILS FOR THE CONNECTION TO THE NEW BUILDING.

- WALL ASSEMBLIES
- FLOOR ASSEMBLY
- IS THE BLOCK WALL A FIRE WALL OR FIRE SEPARATION OR JUST A PARTITION
- IS THE 2ND FLOOR RATED? IF SO, HOW IS THE RATING ACHIEVED? (DRYWALL UNDERSIDE OF JOISTS? SPRAY?)

MECHANICAL:

- IS THERE A MECHANICAL CHASE?
- DUCTWORK PENETRATIONS THROUGH THE BLOCK WALL?
- MECHANICAL COMING FROM THE EXISTING BUILDING? IF SO, WHERE? OPENINGS AND REINFORCING OF THE EXISTING BUILDING NEEDS DETAILING

NEW LINTEL TYP. REFER TO LINTEL SCHEDULE FOR REINFORCEMENT REQUIREMENTS

LINTEL SCHEDULE				
MARK	CLEAR SPAN	DEPTH "D"	WIDTH	REINFORCEMENT
L1				
L2				

ISC: UNRESTRICTED

- TO COMMENCEMENT OF WORK.
4. VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE DESIGN ENGINEER
 5. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS.

1 THIS DRAWING MUST NOT BE SCALED.
2. ALL ERRORS OR OMISSIONS MUST BE REPORTED TO THE DESIGN ENGINEER

ENGINEER
IMMEDIATELY
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR



RECAD

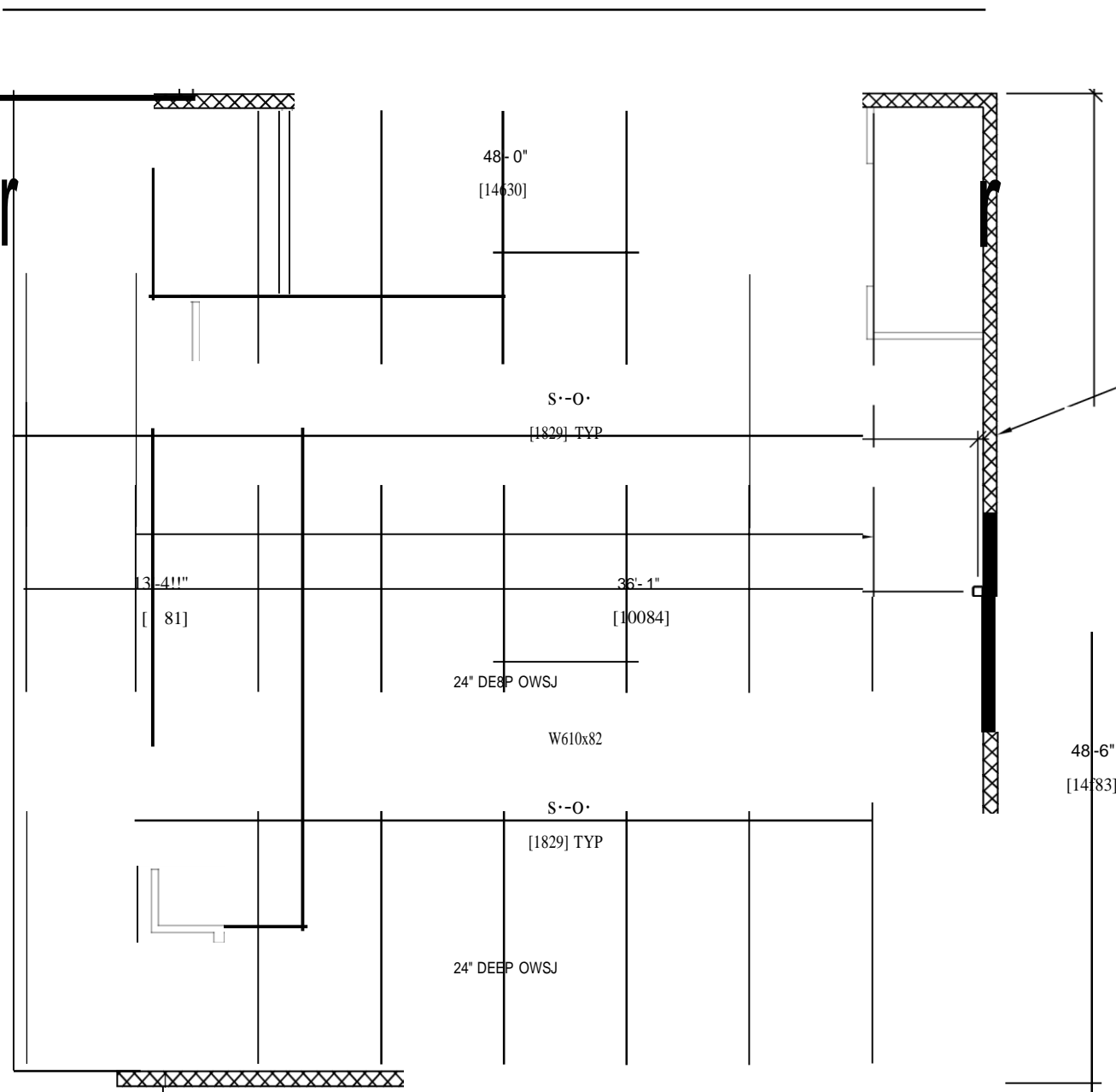
Richards Enterprises, Construction and Design
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CALGARY
PH: (403) 277-0890
INFO@RECAD.CA
STAMP:

ADDRESS:
5720 SILVER RIDGE DR NW
CALGARY, ALBERTA

SHEET TITLE:
ADDITION ROOF FRAMING PLAN

SCALE: AS SHOWN
DATE (D/M/Y): 07/04/2021

DRAWING: S3
REVISION: 0



NEW 8" CMU UPPER WALL TYP FOR
ADDITION U.N.O.
REINFORCE AS PER DETAIL X/SX

- ARCHITECTURAL:**
- NEED ARCHITECTURAL SECTIONS OR DETAILS FOR THE CONNECTION TO THE NEW BUILDING.
 - PARAPET HEIGHTS
 - ROOF SLOPES (AND METHOD OF SLOPING)
 - PARAPET ASSEMBLY
 - ROOF ASSEMBLY
- MECHANICAL:**
- ROOF TOP UNITS
 - PENETRATIONS

NEW LINTEL TYP.
REFER TO LINTEL SCHEDULE FOR
REINFORCEMENT REQUIREMENTS

LINTEL SCHEDULE

M.ABK.	CLEAB SEAN	QEEIJ "Q"	:tjQli	BEINEQBCEMENI
L1				
L2				

SUBMISSION / REVISION :DATE

DESCRIPTION

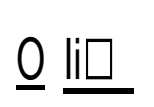
07/04 /21 I ISSUED FOR COORDINATION

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0

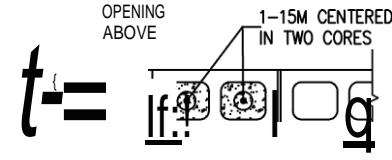
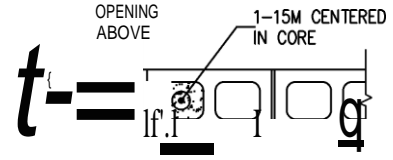
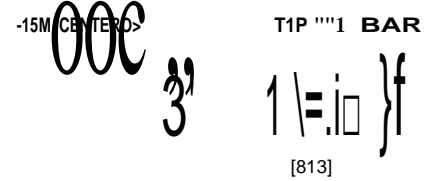
TYPICAL MASONRY DETAILS

1-15M CENTERED
IN CORE



INTERSECTION
SCALE: 1/2"=1'-0"

CORNER
SCALE: 1/2"=1'-0"



WALL END
SCALE: 1/2"=1'-0"

OPENING < 48"
SCALE: 1/2"=1'-0"

OPENING > 48"
SCALE: 1/2"=1'-0"

- A EXISTING CONCRETE WALKWAY TO NEW UPPER FLOOR CONNECTION
- S4 SCALE: 1/2"=1'-0"

ALL OF THESE DETAILS ARE VERY PRELIMINARY

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CALGARY
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INFO@RECAD.CA
STAMP:

ADDRESS:
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CALGARY, ALBERTA

SHEET TITLE:
DETAILS

SCALE: AS SHOWN
DATE (D/M/Y) 07/04/2021
DRAWING: S4
REVISION: 0

THREE COURSE BOND BEAM c/w 2-15M
BOTTOM

8" CMU WALL VERTICAL

L4"x4"x1/4" CONTINUOUS DECK ANGLE
FASTEN TO CMU BOND BEAM WITH
1/2" ANCHOR BOLT @ 24" o/c

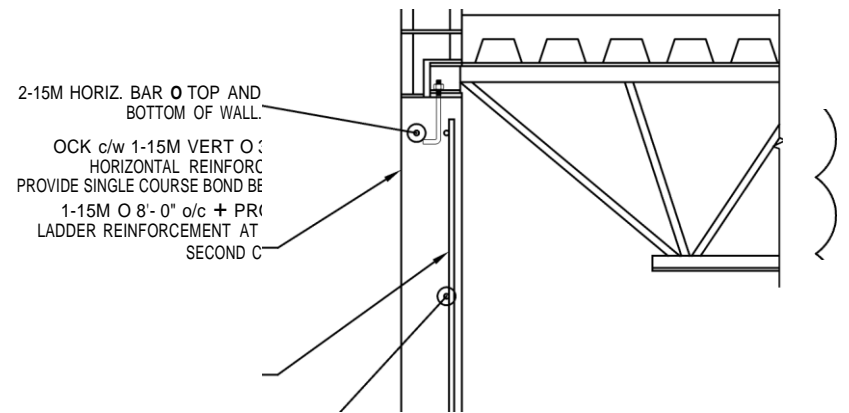
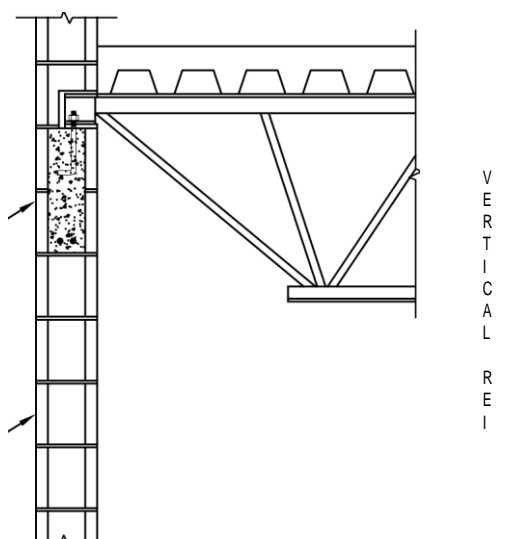
REINFORCEMENT:

CORE FILL BLOCK

TWO COURSE BOND BEAM
c/w 2-15M BOTTOM

8" CMU WALL

ISC: UNRESTRICTED



REINFORCEMENT: CORE FILL BLOCK c/w 1-15M VERT @ 32" o/c
 HORIZONTAL REINFORCEMENT: PROVIDE SINGLE COURSE BOND BEAM c/w 1-15M @ 8'-0" o/c +
 PROVIDE LADDER REINFORCEMENT AT EVERY SECOND COURSE

1,
1,

NEW
26"
DEEP
UPPER
FLOOR
ROWS

8'
CONCRETE
FOUNDATION
TIE WALL

A
WHERE FILL IS LESS THAN 8'-0"

15M HORIZ. BAR @ 16" o/c

SUBMISSION / REVISION:
DATE | DESCRIPTION

07/04/21 | ISSUED FOR COORDINATION

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3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF WORK.
4. VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL NOT BE PERMITTED.

D
S4 CONCRETE FOUNDATION WALL NORTH ELEVATION
SCALE: 1/2"=1'-0"



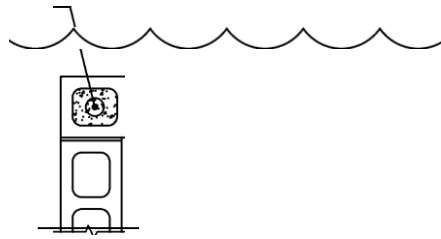
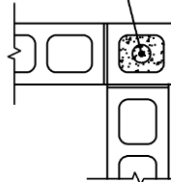
1
M
B
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WITHOUT WRITTEN PERMISSION FROM THE
DESIGN ENGINEER
5. THIS DRAWING SHALL BE READ IN
CONJUNCTION WITH THE ARCHITECTURAL,
MECHANICAL & ELECTRICAL DRAWINGS.

MASONRY WALL SOUTH ELEVATION

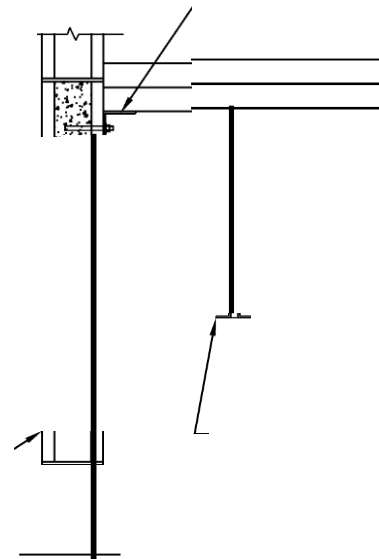
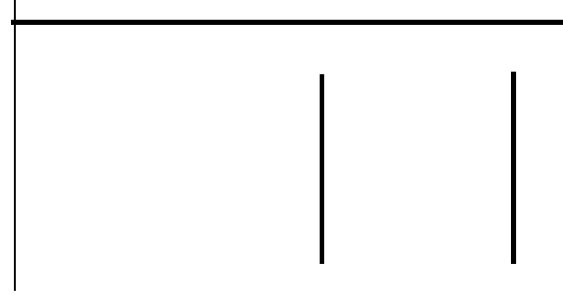
SCALE: 1/2"=1'-0"

1-15M CENTERED
IN CORE



C MASONRY WALL EAST ELEVATION

S4 SCALE: 1/2"=1'-0"



B
S4

SILVER SPRINGS COMMUNITY CENTRE ADDITION

5720 SILVER RIDGE DRIVE NW, CALGARY, ALBERTA

ISSUED FOR BUILDING PERMIT
21/05/10



EMBE CONSULTING ENGINEERS
SUITE 204, 110 12th AVENUE, S.W.
CALGARY, AB, T2R 0G7
403-460-2277
info@embeconsulting.ca

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL
CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY
DISCREPANCIES BEFORE PROCEEDING WITH THE
WORKS

NO.	ISSUED	DATE
1.	95% REVIEW	21-04-27
2.	ISSUED FOR BP	21-05-10

SYMBOL LEGEND			
SYMBOL	DESCRIPTION	SPECIFICATIONS	MOUNTING
LIGHTING LEGEND			
	RECESSED DOWNLIGHT LUMINAIRE, TYPE XX	SEE SCHEDULE	CEILING RECESSED
	SURFACE MOUNTED DOWNLIGHT LUMINAIRE, TYPE XX	SEE SCHEDULE	CEILING SURFACE MOUNT
	PENDANT LUMINAIRE, TYPE XX	SEE SCHEDULE	CEILING SUSPENDED
	WALL SCONCE LUMINAIRE, TYPE XX	SEE SCHEDULE	WALL
	TRACK LUMINAIRE C/W TRACK HEADS INDICATED	SEE SCHEDULE	CEILING
	LINEAR WALL MOUNT LUMINAIRE, TYPE XX	SEE SCHEDULE	WALL
	SURFACE MOUNTED WRAP LUMINAIRE, LUMINAIRE TYPE XX	SEE SCHEDULE	CEILING SURFACE
	SURFACE/SUSPENDED LUMINAIRE, TYPE XX	SEE SCHEDULE	CEILING SURFACE /SUSPENDED
	1'x4' LUMINAIRE, TYPE XX	SEE SCHEDULE	RECESSED
	2'x2' LUMINAIRE, TYPE XX	SEE SCHEDULE	RECESSED
	2'x4' LUMINAIRE, TYPE XX	SEE SCHEDULE	RECESSED
	STRIP LUMINAIRE, TYPE XX (SEE SCHEDULE FOR LENGTH)	SEE SCHEDULE	CEILING SURFACE /SUSPENDED
	IN GROUND LUMINAIRE, TYPE XX	SEE SCHEDULE	SEE LUMINAIRE SCHEDULE
	EXTERIOR POLE LUMINAIRE (SINGLE HEAD), TYPE XX	SEE SCHEDULE	SEE LUMINAIRE SCHEDULE
	EXTERIOR POLE LUMINAIRE (DOUBLE HEAD), TYPE XX	SEE SCHEDULE	SEE LUMINAIRE SCHEDULE
	EXTERIOR POLE LUMINAIRE (FOUR HEAD), TYPE XX	SEE SCHEDULE	SEE LUMINAIRE SCHEDULE
	BOLLARD, TYPE XX	SEE SCHEDULE	SEE LUMINAIRE SCHEDULE
EMERGENCY LIGHTING LEGEND			
	EXIT LIGHT, SEE FLOOR PLAN FOR DIRECTIONAL ARROWS WHERE APPLICABLE	SEE SCHEDULE	WALL, 84in/2134mm
	EXIT LIGHT, SEE FLOOR PLAN FOR DIRECTIONAL ARROWS WHERE APPLICABLE	SEE SCHEDULE	CEILING 144" AFF
	EXIT LIGHT C/W BATTERY PACK & REMOTE HEADS, SEE FLOOR PLAN FOR DIRECTIONAL ARROWS WHERE APPLICABLE	SEE SCHEDULE	WALL, 84in/2134mm
	EMERGENCY DOUBLE REMOTE HEADS	SEE SCHEDULE	6" BELOW CEILING OR WALL, 84in/2134mm
	EMERGENCY DOUBLE REMOTE HEADS	SEE SCHEDULE	6" BELOW CEILING
	VANDAL PROOF EMER. DOUBLE REMOTE HEADS	SEE SCHEDULE	6" BELOW CEILING OR WALL, 84in/2134mm
	VANDAL PROOF EMER. DOUBLE REMOTE HEADS	SEE SCHEDULE	6" BELOW CEILING
	BATTERY PACK C/W REMOTE HEADS	SEE SCHEDULE	WALL, 84in/2134mm
LIGHTING CONTROLS LEGEND			
	SINGLE POLE SWITCH, 15A	LEVITON DECORA SERIES, WHITE	WALL, 45in/1150mm
	3-WAY SWITCH, 15A	LEVITON DECORA SERIES, WHITE	WALL, 45in/1150mm
	SINGLE POLE SWITCH "a" - SEE CIRCUIT FOR CONTROL	LEVITON DECORA SERIES, WHITE	WALL, 45in/1150mm
	DIMMER SWITCH - SEE CIRCUIT FOR CONTROLS	LEVITON DECOR ROCKER SIDE CONTROL, WHITE	WALL, 45in/1150mm
	VACANCY SWITCH	ACUTY WSX-VA-WH SERIES	WALL, 45in/1150mm
	VARIABLE SPEED SWITCH	ACUTY GR2400 CHELSEA DIGITAL SWITCH CHS-BWH-PWH	WALL, 45in/1150mm
	MASTER SWITCH - SEE LIGHTING CONTROL DETAILS.		WALL, 45in/1150mm
	OCCUPANCY SENSOR	ACUTY WSX SERIES	CEILING
	DIMMING OCCUPANCY SENSOR	ACUTY WSX SERIES	CEILING
	OCCUPANCY SENSOR	ACUTY WSX SERIES	WALL, 45in/1150mm
	DIMMING OCCUPANCY SENSOR	ACUTY WSX SERIES	WALL, 45in/1150mm
	DAYLIGHT SENSOR	ACUTY CM-ADC	CEILING
	WALL MOUNTED PHOTO CELL	ACUTY CM-ADC SERIES	SEE DRAWING

POWER LEGEND			
	DUPLEX RECEPTACLE - 120V/15A (5-15R)	LEVITON SERIES - WHITE	12in/305mm OR AS NOTED
	FOURPLEX RECEPTACLE - 120V/15A (5-15R)	LEVITON SERIES - WHITE	12in/305mm OR AS NOTED
	FOURPLEX RECEPTACLE - 120V/20A (5-20R)	LEVITON SERIES - WHITE	12in/305mm OR AS NOTED
	GFCI DUPLEX RECEPTACLE - 120V/15A (5-15RA)	LEVITON SMARTLOCK SERIES, WHITE	12in/305mm OR AS NOTED
	DUPLEX RECEPTACLE - 120V/20A (5-20R)	LEVITON SERIES - WHITE	12in/305mm OR AS NOTED
	GFCI DUPLEX RECEPTACLE - 120V/20A (5-20RA)	LEVITON SMARTLOCK SERIES, WHITE	12in/305mm OR AS NOTED
	GFCI FOURPLEX RECEPTACLE - 120V/15A (5-15RA)	LEVITON SMARTLOCK SERIES, WHITE	12in/305mm OR AS NOTED
	GFCI FOURPLEX RECEPTACLE - 120V/20A (5-20RA)	LEVITON SMARTLOCK SERIES, WHITE	12in/305mm OR AS NOTED
	TAMPER PROOF RECEPTACLE - 120V/15A	LEVITON AFTR1 SERIES	12in/305mm OR AS NOTED
	TAMPER PROOF RECEPTACLE - 120V/20A	LEVITON AFTR1 SERIES	12in/305mm OR AS NOTED
	USB DUPLEX RECEPTACLE - 120V/15A	LEVITON T5632, WHITE	12in/305mm OR AS NOTED
	USB DUPLEX RECEPTACLE - 120V/20A	LEVITON T5632, WHITE	12in/305mm OR AS NOTED
	HOSPITAL GRADE DUPLEX RECEPTACLE	LEVITON HOSPITAL GRADE SMARTLOCK SLIM	12in/305mm OR AS NOTED
	HOSPITAL GRADE FOURPLEX RECEPTACLE	LEVITON HOSPITAL GRADE SMARTLOCK SLIM	12in/305mm OR AS NOTED
	HOSPITAL GRADE GFCI DUPLEX RECEPTACLE	LEVITON HOSPITAL GRADE SMARTLOCK SLIM	12in/305mm OR AS NOTED
	HOSPITAL GRADE GFCI FOURPLEX RECEPTACLE	LEVITON HOSPITAL GRADE SMARTLOCK SLIM	12in/305mm OR AS NOTED
	HOSPITAL GRADE DUPLEX RECEPTACLE - 120V/20A	LEVITON HOSPITAL GRADE SMARTLOCK SLIM	12in/305mm OR AS NOTED
	HOSPITAL GRADE GFCI DUPLEX RECEPTACLE - 120V-20A	LEVITON HOSPITAL GRADE SMARTLOCK SLIM	12in/305mm OR AS NOTED
	DUPLEX RECEPTACLE - SWITCHED		12in/305mm OR AS NOTED
	PARKING LOT DUPLEX RECEPTACLE IN POST		SEE DETAIL
	PARKING LOT SINGLE RECEPTACLE IN POST		SEE DETAIL
	ISOLATED GROUND RECEPTACLE		12in/305mm OR AS NOTED
	FLOOR BOX C/W RECEPTACLE & DATA OUTLET (SEE DRAWING FOR QUANTITY AND RECEPTACLE TYPES)		FLOOR MOUNTED
	POWER PAC POLE C/W RECEPTACLE & DATA OUTLET (SEE DRAWING FOR QUANTITY AND RECEPTACLE TYPES)		FLOOR MOUNTED
	VACUUM OUTLET		
	SPECIAL RECEPTACLE	LEVITON SPEC GRADE, WHITE	12in/305mm OR AS NOTED
	HARDWIRED CONNECTION		12in/305mm OR AS NOTED
	DISCONNECT SWITCH		6in/152mm OR AS NOTED
	JUNCTION BOX		
	MOTOR		
	MAGNETIC STARTER		WALL, 45in/1150mm
	SPEAKER		CEILING
	SPEAKER		
	THERMOSTAT		WALL MOUNTED
	CEILING FAN		CEILING
	RADIANT HEATER		WALL MOUNTED
	BASEBOARD HEATER	OUTLET SERIES	WALL MOUNTED
	FORCE FLOW HEATER	OUTLET SERIES	WALL MOUNTED
	ELECTRICAL PANEL - SEE PANEL SCHEDULE		WALL MOUNTED
	TELEPHONE TERMINAL BOARD		WALL MOUNTED
	TRANSFORMER		
FIRE ALARM LEGEND			

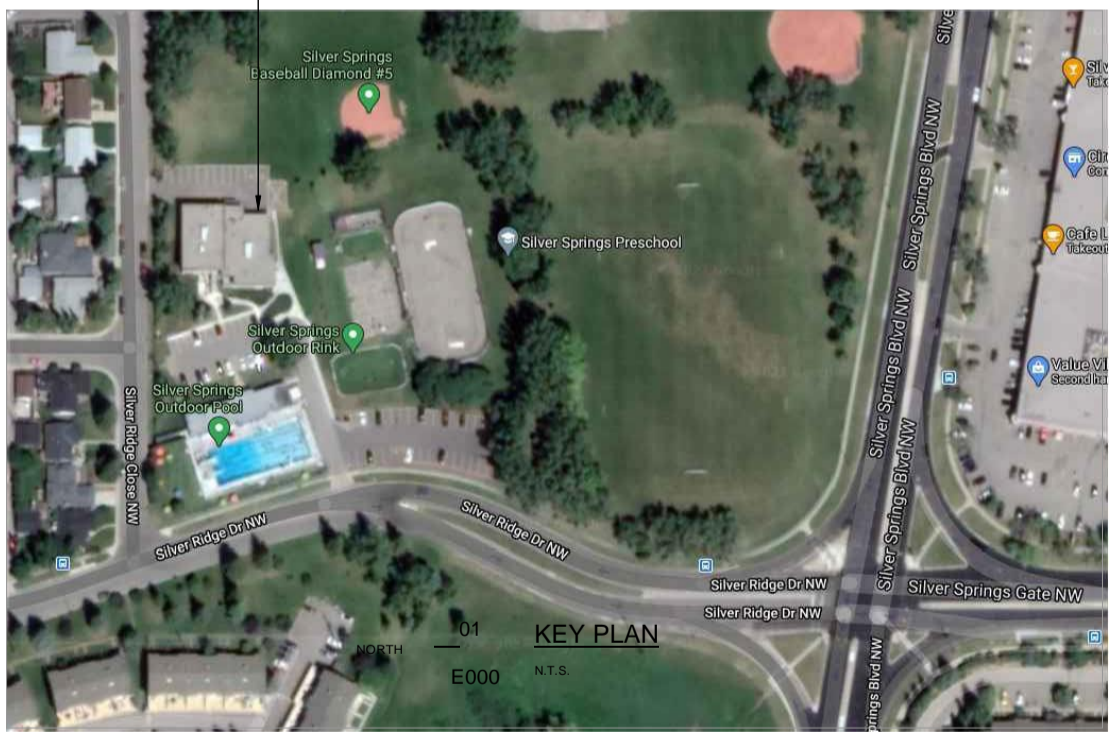
	FIRE ALARM CONTROL PANEL	SIMPLEX OR APPROVED EQUIVALENT	2400mm MAX AT TOP OF PANEL
	FIRE ALARM ANNUNCIATOR PANEL	SIMPLEX OR APPROVED EQUIVALENT	600mm MIN-1800mm MAX
	FIRE ALARM SMOKE DETECTOR	SIMPLEX OR APPROVED EQUIVALENT	CEILING
	FIRE ALARM HEAT DETECTOR	SIMPLEX OR APPROVED EQUIVALENT	CEILING
	FIRE ALARM COMBINATION HEAT/SMOKE DETECTOR	SIMPLEX OR APPROVED EQUIVALENT	CEILING
	FIRE ALARM RELAY DEVICE	SIMPLEX OR APPROVED EQUIVALENT	WALL
	FIRE ALARM MANUAL PULL STATION	SIMPLEX OR APPROVED EQUIVALENT	45in/1150mm
	FIRE ALARM COMBINATION HORN-STROBE 15cd UNLESS OTHERWISE INDICATED	SIMPLEX OR APPROVED EQUIVALENT	84in/2134mm
	FIRE ALARM STROBE 15cd UNLESS OTHERWISE INDICATED	SIMPLEX OR APPROVED EQUIVALENT	84in/2134mm
	FIRE ALARM HORN	SIMPLEX OR APPROVED EQUIVALENT	84in/2134mm
	LOW TEMPERATURE SENSOR	HONEYWELL T-1000	WALL
	FIRE ALARM SPEAKER 1W UNLESS OTHERWISE INDICATED	SIMPLEX OR APPROVED EQUIVALENT	CEILING
	FIRE ALARM COMBINATION SPEAKER STROBE 1W/15cd UNLESS OTHERWISE INDICATED	SIMPLEX OR APPROVED EQUIVALENT	84in/2134mm
	FIRE ALARM SPRINKLER TAMPER SWITCH	SIMPLEX OR APPROVED EQUIVALENT	
	FIRE ALARM SPRINKLER FLOW SWITCH	SIMPLEX OR APPROVED EQUIVALENT	
	FIRE ALARM COMBINATION BELL-STROBE 15cd UNLESS OTHERWISE INDICATED	SIMPLEX OR APPROVED EQUIVALENT	84in/2134mm
	FIRE ALARM BELL	SIMPLEX OR APPROVED EQUIVALENT	84in/2134mm
	MINI SUITE HORN WITH SEPARATE SILENCE	SIMPLEX OR APPROVED EQUIVALENT	84in/2134mm 45in/1143mm
	SMOKE ALARM C/W INTEGRAL CO ALARM	SIMPLEX OR APPROVED EQUIVALENT	CEILING
	FIRE ALARM ISOLATION MODULE (SEE FLOOR PLAN FOR NUMBERING)	SIMPLEX OR APPROVED EQUIVALENT	
	EMERGENCY FIRE PHONE	SIMPLEX OR APPROVED EQUIVALENT	57in/1450mm
	CO ALARM	SIMPLEX OR APPROVED EQUIVALENT	18in/457mm
SECURITY			
	CARD READER		WALL, 45in/1150mm
	KEY PAD		WALL, 45in/1150mm
	MAGNETIC DOOR HOLD OPEN DEVICE		WALL, 45in/1150mm
	HANDICAP PUSH BUTTON		WALL, 45in/1150mm
	BUZZER		WALL, 45in/1150mm
	DOOR RELEASE		WALL, 45in/1150mm
	MAGNETIC LOCK		WALL, 45in/1150mm
	ALARM CONTACT		WALL, 45in/1150mm
	SECURITY MOTION SENSOR		SEE DRAWING
	SECURITY CAMERA		SEE DRAWING
	PUSH BUTTON		43in/1100mm MAX
	ELECTRIC STRIKE		WALL, 45in/1150mm
	MOTION DETECTOR		WALL, 45in/1150mm
	MOTION DETECTOR		CEILING
COMMUNICATIONS			
	WIRELESS ACCESS POINT		CEILING
	SECURITY CONTROL PANEL		SEE DRAWING
	DATA OUTLET (4PORT WITH 4 DATA LINE)- NUMBER(4) INDICATES NUMBER OF PORTS(4) AND NUMBER OF DATA LINE(4)		12in/305mm OR AS NOTED
	VOICE AND DATA COMM. OUTLET (2PORT WITH 2 DATA LINE)		12in/305mm OR AS NOTED
	TELEPHONE OUTLET (2 PORT WITH 2 DATA LINE)		12in/305mm OR AS NOTED

	TELEVISION OUTLET (HDMI AND COAX)	12in/305mm OR AS NOTED
TAGS/OTHER		
	LUMINAIRE TAG - SEE LUMINAIRE SCHEDULE	
	KITCHEN/ELECTRICAL EQUIPMENT TAG	
	MECHANICAL EQUIPMENT TAG	
A.F.F.	ABOVE FINISHED FLOOR	
A.C.	ABOVE COUNTER	
NL	NIGHT LIGHT - CIRCUIT TO NIGHT LIGHT BREAKER	
ER	EXISTING TO REMAIN	
WP	WEATHERPROOF	
RLD	RELOCATED	
R	REMOVE	
RL	RELOCATE	
A-XX	PANEL 'X', CIRCUIT XX	
	CONDUIT HOME RUN FROM TRANSFORMER	
	CIRCLE DENOTES CEILING MOUNTED DEVICE	
	SQUARE DENOTES FLOOR MOUNTED DEVICE	
	EQUIPMENT TAG - SEE SCHEDULES	

NOTE: MOUNTING IS INDICATED FROM FINISHED FLOOR TO CENTER OF DEVICE. MOUNTING HEIGHTS INDICATED ON DRAWINGS OR SPECIFICATIONS HAVE PRECEDENCE OVER THIS LEGEND. ANY UNLISTED MOUNTING HEIGHTS TO BE CONFIRMED PRIOR TO INSTALLATION.
NOTE: APPROVED ALTERNATIVE MANUFACTURERS MAY BE ACCEPTED.

DRAWING LIST	
SHEET NUMBER	SHEET NAME
E000	ELECTRICAL COVER PAGE
E101	MAIN FLOOR PLAN - LIGHTING
E102	SECOND FLOOR PLAN - LIGHTING
E201	MAIN FLOOR PLAN - POWER & AUXILIARY
E202	SECOND FLOOR PLAN - POWER & AUXILIARY
E301	ELECTRICAL SCHEDULES & DETAILS
E302	ELECTRICAL SCHEDULES & DETAILS
E400	ELECTRICAL SPECIFICATIONS

ELECTRICAL	CONSTRUCTION ADMIN
PROJECT MANAGER: TOSIN OLOPADE E-MAIL: tolopa@embeconsulting.ca	MANSIMRAN GILL E-MAIL: mgill@embeconsulting.ca PHONE: 403-460-2277 EXT. 243
DESIGNER/DRAFTER: GERALD SCHMIDT E-MAIL: gschmidt@embeconsulting.ca	CHAD COATES E-MAIL: ccoates@embeconsulting.ca PHONE: 403-460-2277 EXT. 229



STEVEN HO ARCHITECTURE INC.

SSCA BUILDING ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

ELECTRICAL COVER PAGE

PROJECT NUMBER: 21068 DRAWING NUMBER:

DRAWING CHECKED: GS / TO **E000**

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info@embeconsulting.ca

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NO.	ISSUED	DATE
1.	95% REVIEW	21-04-27
2.	ISSUED FOR BP	21-05-10

GENERAL NOTES

- BIDDING CONTRACTORS ARE TO VISIT SITE TO VERIFY EXISTING INFORMATION PRIOR TO SUBMITTING TENDER PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES PRIOR TO BID BEING SUBMITTED. ANY CHANGES BROUGHT FORWARD DUE TO EXISTING CONDITIONS POST TENDER SHALL BE AT CONTRACTORS COST.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
- CONDUCTOR SIZES INDICATED IS MINIMUM REQUIRED. INCREASE CONDUCTOR SIZE (AND CONDUIT SIZE WHERE APPLICABLE) TO ACCOMMODATE VOLTAGE DROP PER CEC REQUIREMENTS.

NOTES

- PROVIDE MINIMUM #10 DC WIRING FOR ALL EMERGENCY REMOTE HEADS. INCREASE CONDUCTOR SIZE AS REQUIRED TO NEGATE VOLTAGE DROP AS PER THE C.E.C.
- PROVIDE AUTO-ON/AUTO-OFF WALL MOUNTED OCCUPANCY SENSOR TO CONTROL ROOM LIGHTING. PROVIDE ACUTY MODEL NO: 'WSX-PDT-WHT' OR APPROVED EQUIVALENT. SET MOTION SENSOR TO 20 MINUTE DELAY.
- PROVIDE AUTO-ON/AUTO-OFF CEILING MOUNTED OCCUPANCY SENSOR TO CONTROL ROOM LIGHTING. PROVIDE ACUTY MODEL NO: 'CMR-9' OR APPROVED EQUIVALENT. SET MOTION SENSOR TO 20 MINUTE DELAY.
- PROVIDE AUTO-ON/AUTO-OFF WALL MOUNTED 3-WAY DIMMABLE OCCUPANCY SENSOR TO CONTROL ROOM LIGHTING. PROVIDE ACUTY MODEL NO: 'WSX-PDT-D-WHT' OR APPROVED EQUIVALENT. SET MOTION SENSOR TO 20 MINUTE DELAY.



NORTH 01 MAIN FLOOR PLAN - LIGHTING
E101 SCALE: 1/4" = 1' - 0"

NECB LIGHT POWER DENSITY CALCULATION - MAIN FLOOR				
SPACE BY SPACE METHOD (4.2.1.6.)				
SPACE	NECB LPD	AREA	WATTAGE	ACTUAL LPD
WASHROOMS	9.1 W/SQM	8.8 SQM	77 W	8.7 W/SQM
STORAGE ROOM	6.8 W/SQM	24.7 SQM	163 W	6.2 W/SQM
MECHANICAL ROOM	4.6 W/SQM	7.7 SQM	39 W	5.1 W/SQM
MULTI PURPOSE - PARTY ROOM	11.5 W/SQM	34.3 SQM	306 W	8.9 W/SQM
VIEWING ROOM (LOCKERS)	5.2 W/SQM	44.2 SQM	230 W	5.2 W/SQM
VEHICLE MAINTENANCE GARAGE	6.0 W/SQM	79.2 SQM	460 W	5.8 W/SQM
VESTIBULE (CORRIDOR)	7.1 W/SQM	6.8 SQM	40 W	5.9 W/SQM
TOTAL CONNECTED WATTAGE			1265 W	
TOTAL ALLOWABLE WATTAGE			1431 W	

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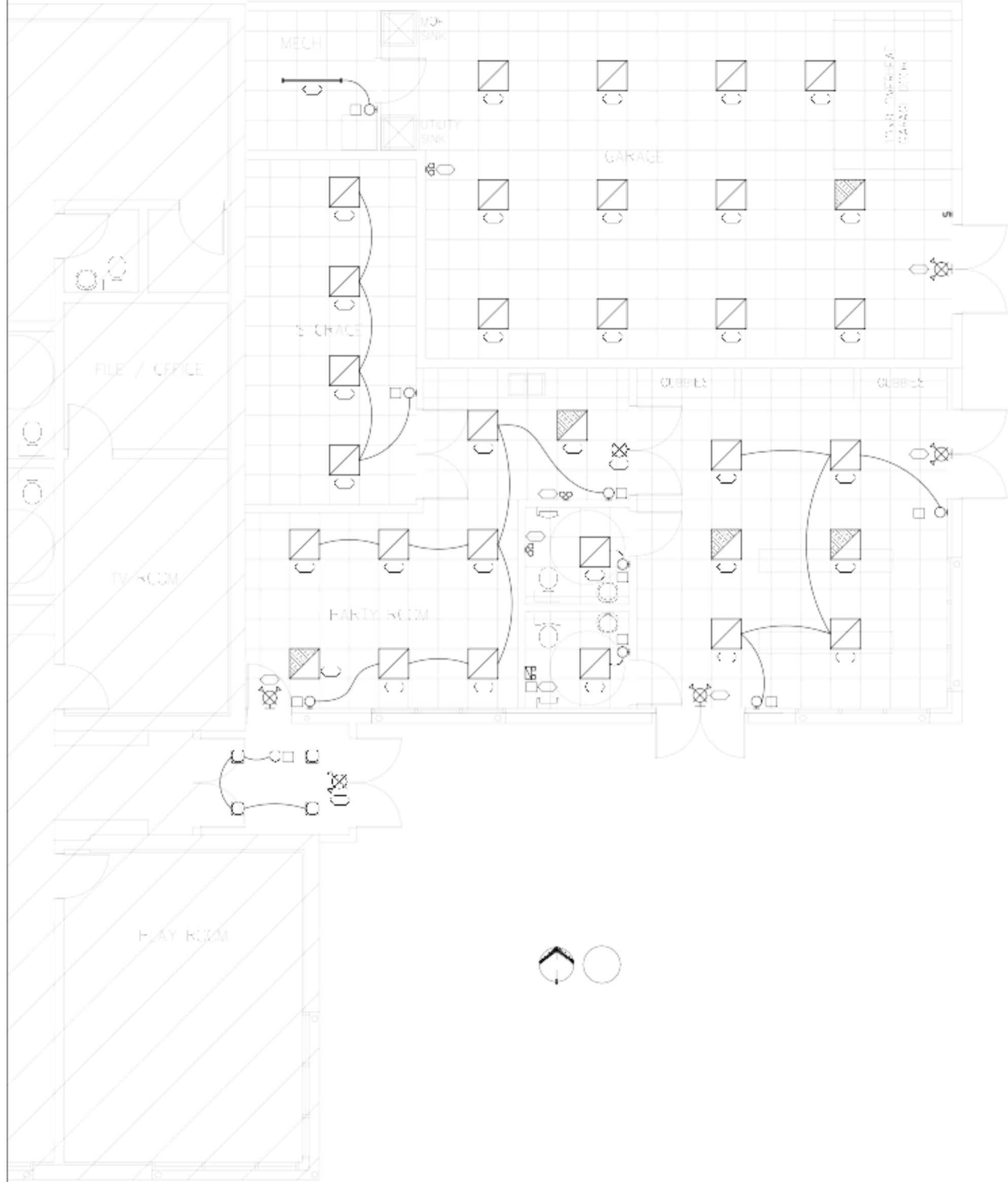
STEVEN HO
ARCHITECTURE INC.

PROJECT

SSCA BUILDING
ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

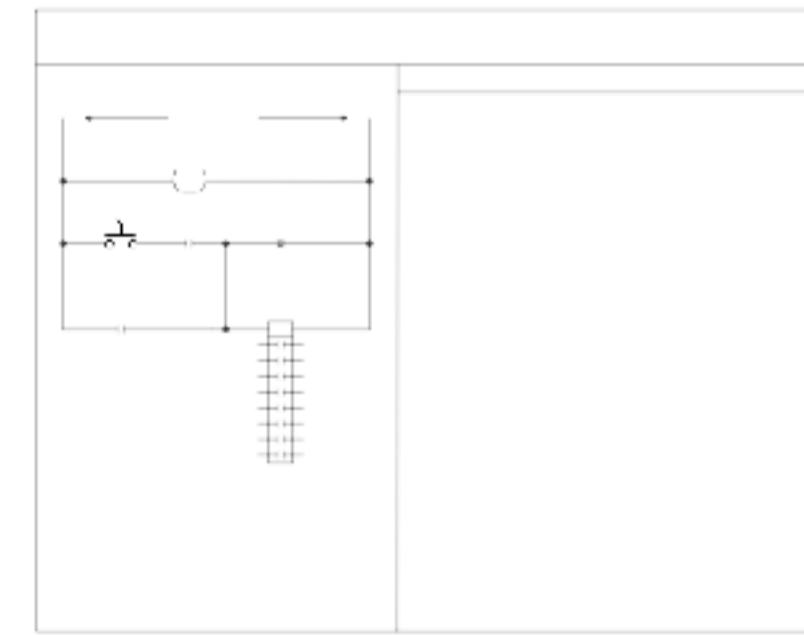
TITLE

MAIN FLOOR PLAN -
LIGHTING



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NORTH 01 **MAIN FLOOR PLAN - POWER & AUXILIARY**
E201 SCALE: 1/4" = 1' - 0"

NORTH 02 **MAIN FLOOR KEY PLAN**
E201 SCALE: NTS

GENERAL NOTES

- BIDDING CONTRACTORS ARE TO VISIT SITE TO VERIFY EXISTING INFORMATION PRIOR TO SUBMITTING TENDER PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES PRIOR TO BID BEING SUBMITTED. ANY CHANGES BROUGHT FORWARD DUE TO EXISTING CONDITIONS POST TENDER SHALL BE AT CONTRACTORS COST.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
- CONDUCTOR SIZES INDICATED IS MINIMUM REQUIRED. INCREASE CONDUCTOR SIZE (AND CONDUIT SIZE WHERE APPLICABLE) TO ACCOMMODATE VOLTAGE DROP PER CEC REQUIREMENTS.

POWER & AUXILIARY NOTES

- PROVIDE NEW 120/208V, 3PH, 4W, 225A RATED, 42 CIRCUIT PANEL F. PROVIDE NEW 3P-200A BREAKER IN MAIN CDP PANEL AND NEW CONDUIT/WIRING TO PANEL F. COORDINATE WITH OWNER FOR ROUTING OF NEW CONDUIT/WIRING IN CEILING SPACE TO NEW PANEL F FROM EXISTING MAIN ELECTRICAL ROOM. REFER TO SINGLE LINE DIAGRAM FOR ADDITIONAL DETAILS.
- PROVIDE NEW 3"x24"x48" TELEPHONE TERMINAL BOARD IN NEW BUILDING ADDITION PAINTED WITH 2 COATS OF FIRE RETARDANT PAINT.
- PROVIDE NEW FIRE ALARM MANUAL STATION C/W PLASTIC TAMPER PROOF COVER. NEW DEVICE TO MATCH EXISTING EDWARDS DEVICES. INTERLOCK WITH EXISTING EDWARDS FIRE ALARM PANEL AND NEW INITIATING LOOP. VERIFY NEW DEVICES.
- PROVIDE NEW FIRE ALARM BELL. NEW DEVICE TO MATCH EXISTING EDWARDS DEVICES. INTERLOCK WITH EXISTING EDWARDS FIRE ALARM PANEL AND NEW SIGNALING LOOP. VERIFY NEW DEVICES.
- PROVIDE NEW FIRE ALARM SMOKE DETECTOR. NEW DEVICE TO MATCH EXISTING EDWARDS DEVICES. INTERLOCK WITH EXISTING EDWARDS FIRE ALARM PANEL AND NEW INITIATING LOOP. VERIFY NEW DEVICES.
- PROVIDE NEW FIRE ALARM HEAT DETECTOR IN STORAGE ROOM. NEW DEVICE TO MATCH EXISTING EDWARDS DEVICES. INTERLOCK WITH EXISTING EDWARDS FIRE ALARM PANEL AND NEW INITIATING LOOP. VERIFY NEW DEVICES.
- PROVIDE JUNCTION BOX FOR SENSOR OPERATED FAUCET IN WASHROOM BELOW SINK.
- PROVIDE POWER FOR OVERHEAD GARAGE DOOR OPENER. COORDINATE EXACT LOCATION, POWER REQUIREMENTS AND CONTROLS WITH OWNER.
- PROVIDE POWER FOR DOOR OPENER. CONFIRM POWER REQUIREMENTS AND PUSH BUTTON LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- PROVIDE CO SENSOR WITH AUDIBLE ALARM MOUNTED AT +18" AFF.

KEY PLAN NOTES

- EXISTING 120/208V, 3PH, 4W, 400A MAIN DISCONNECT SWITCH, METER AND C/T CABINET.
- EXISTING 120/208V, 3PH, 4W, 400A MAIN CDP PANEL.
- EXISTING 120/208V, 3PH, 4W PANELS A & B.
- EXISTING 120/208V, 3PH, 4W PANEL E (HORIZONTALLY MOUNTED).
- EXISTING TELEPHONE TERMINATION BOARD.
- EXISTING EDWARDS FIRE-SHIELD PLUS FIRE ALARM CONTROL AND MONITORING PANELS.
- PROPOSED ROUTING OF NEW CONDUIT/WIRING IN CEILING SPACE FROM EXISTING CDP PANEL TO NEW BUILDING ADDITION POWER PANEL F.
- PROPOSED ROUTING OF NEW 1" CONDUIT IN CEILING SPACE FROM EXISTING TELEPHONE TERMINAL BOARD TO NEW TTB IN BUILDING ADDITION.

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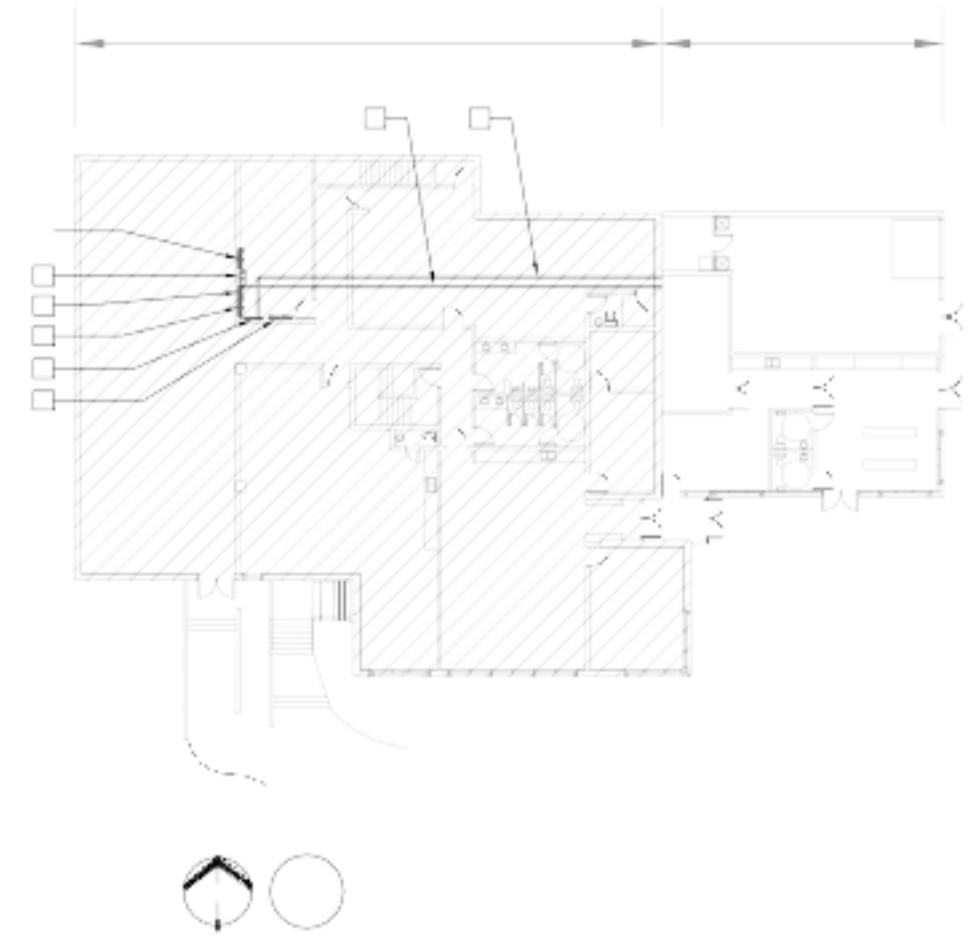
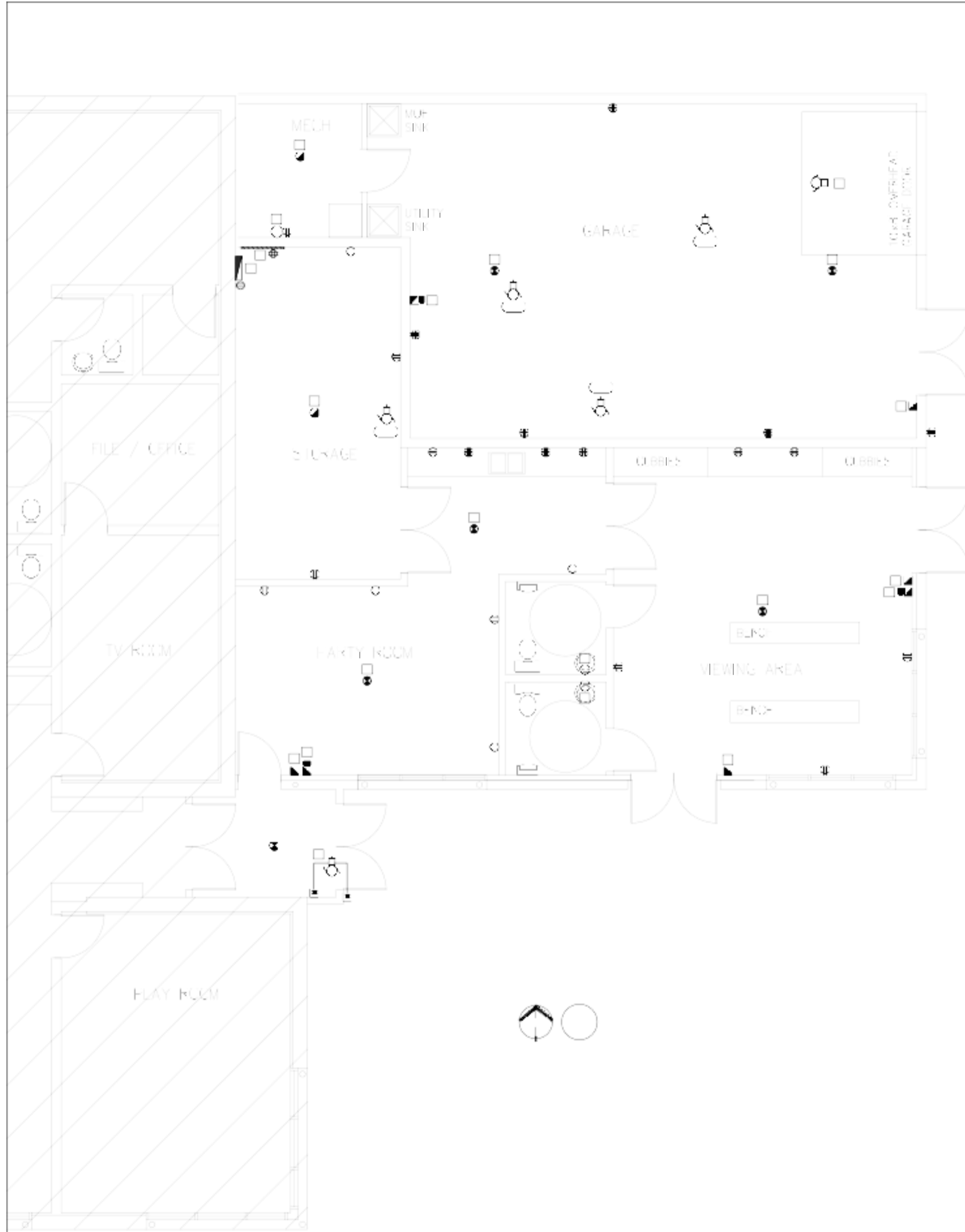
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ARCHITECTURE INC.

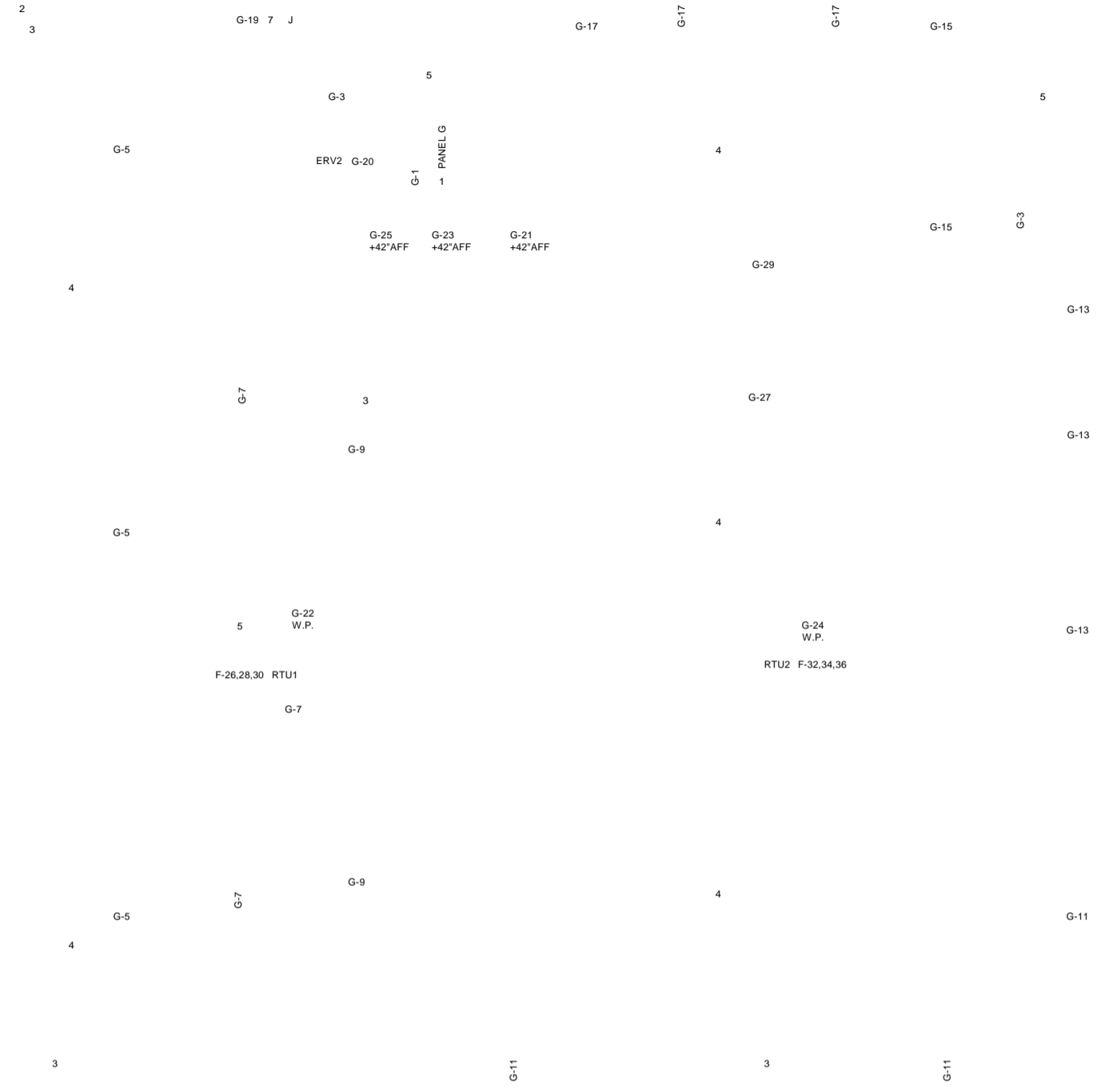
PROJECT

SSCA BUILDING
ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

TITLE

MAIN FLOOR PLAN -
POWER & AUXILIARY





NORTH 01 SECOND FLOOR PLAN - POWER & AUXILIARY
E202 SCALE: 1/4" = 1'- 0"

GENERAL NOTES

1. BIDDING CONTRACTORS ARE TO VISIT SITE TO VERIFY EXISTING INFORMATION PRIOR TO SUBMITTING TENDER PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES PRIOR TO BID BEING SUBMITTED. ANY CHANGES BROUGHT FORWARD DUE TO EXISTING CONDITIONS POST TENDER SHALL BE AT CONTRACTORS COST.
2. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
3. CONDUCTOR SIZES INDICATED IS MINIMUM REQUIRED. INCREASE CONDUCTOR SIZE (AND CONDUIT SIZE WHERE APPLICABLE) TO ACCOMMODATE VOLTAGE DROP PER CEC REQUIREMENTS.

POWER & AUXILIARY NOTES

1. PROVIDE NEW 120/208V, 3PH, 4W, 225A RATED, 42 CIRCUIT PANEL G. PROVIDE NEW 3P-100A BREAKER IN PANEL F AND NEW CONDUIT WIRING TO NEW SUB-PANEL G. REFER TO SINGLE LINE DIAGRAM FOR ADDITIONAL DETAILS.
2. PROVIDE NEW FIRE ALARM MANUAL STATION C/W PLASTIC TAMPER PROOF COVER. NEW DEVICE TO MATCH EXISTING EDWARDS DEVICES. INTERLOCK WITH EXISTING EDWARDS FIRE ALARM PANEL AND NEW INITIATING LOOP. VERIFY NEW DEVICES.
3. PROVIDE NEW FIRE ALARM BELL. NEW DEVICE TO MATCH EXISTING EDWARDS DEVICES. INTERLOCK WITH EXISTING EDWARDS FIRE ALARM PANEL AND NEW SIGNALING LOOP. VERIFY NEW DEVICES.
4. PROVIDE NEW FIRE ALARM SMOKE DETECTOR. NEW DEVICE TO MATCH EXISTING EDWARDS DEVICES. INTERLOCK WITH EXISTING EDWARDS FIRE ALARM PANEL AND NEW INITIATING LOOP. VERIFY NEW DEVICES.
5. PROVIDE NEW FIRE ALARM HEAT DETECTOR IN STORAGE ROOM. NEW DEVICE TO MATCH EXISTING EDWARDS DEVICES. INTERLOCK WITH EXISTING EDWARDS FIRE ALARM PANEL AND NEW INITIATING LOOP. VERIFY NEW DEVICES.
6. PROVIDE JUNCTION BOX FOR SENSOR OPERATED FAUCET IN WASHROOM BELOW SINK.

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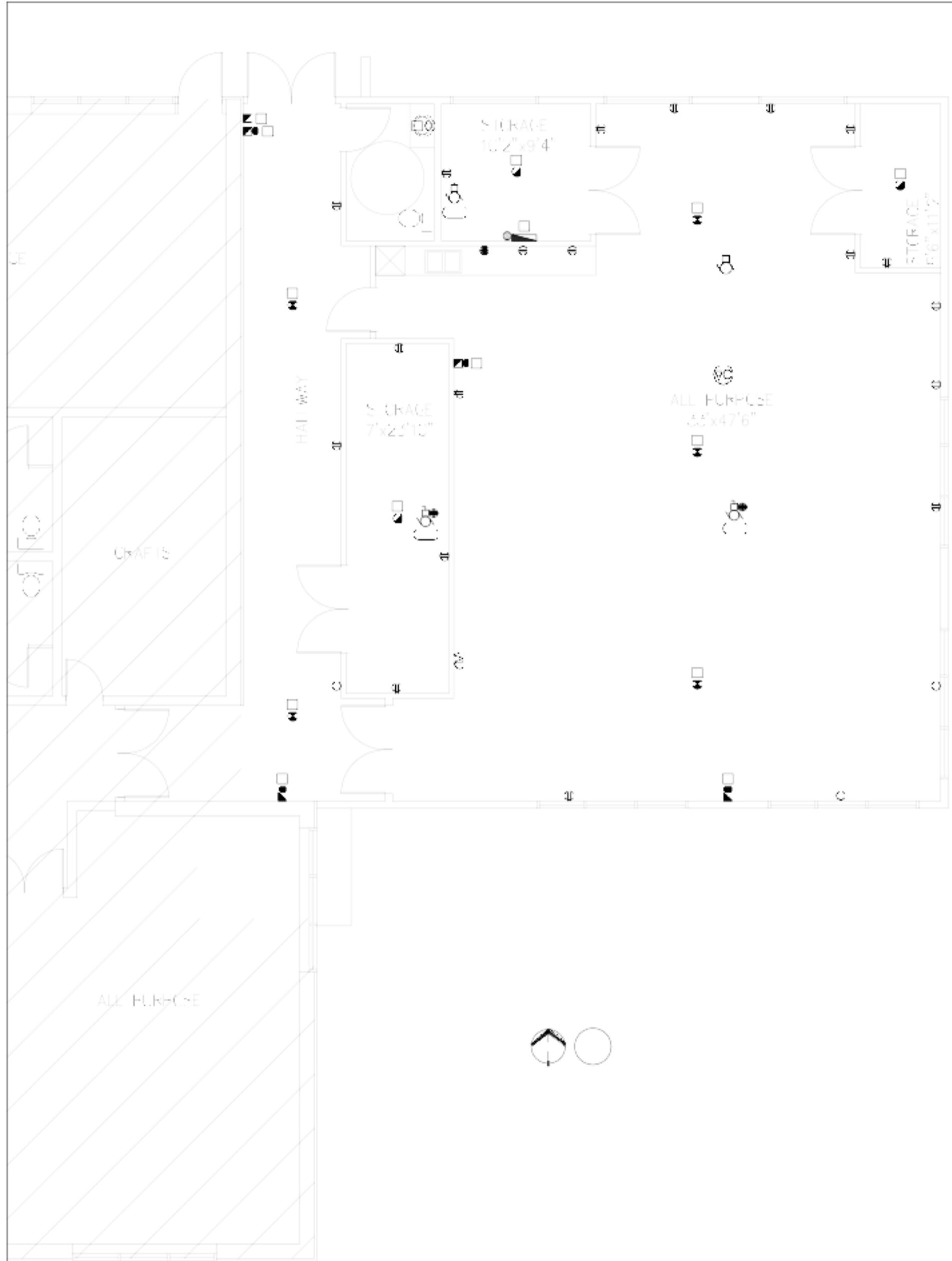
STEVEN HO ARCHITECTURE INC.

PROJECT

SSCA BUILDING ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

TITLE

SECOND FLOOR PLAN - POWER & AUXILIARY






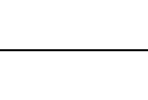






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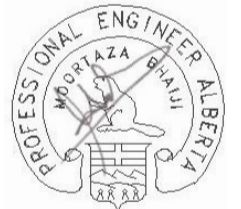
EXIT & EMERGENCY LIGHTING SCHEDULE							
TAGS	DESCRIPTION	PICTURE	MOUNTING	LOAD/VOLT	LAMP	COLOR TEMP	MANUFACTURER
BP1, BP2	EMERGENCY BATTERY UNIT (30 MIN RATED)		WALL 84IN(2133.6MM)	120VAC 72W/12VDC	2X4W LED	-	OPTION 1: STANPRO SLA12072-2S4LRWH OPTION 2: AIMLITE EBST12072-2MD4WLRWHT OPTION 3: LUMACELL RG12S-72-2-LD7
EH1	STEEL LED RUNNING MAN COMBO SIGN		CEILING-WALL 84IN(2133.6MM)	1.8W/120VAC	2X4W LED	-	OPTION 1: STANPRO PRMS103602-S-4LRWH OPTION 2: AIMLITE CSR12036UM-2MD4WLR OPTION 3: LUMACELL LSC-1250-W-2-LD7
EH2	STEEL RUNNING MAN SIGN		CEILING-WALL 84IN(2133.6MM)	1.9W/120VAC 0.9W/12VDC	-	-	OPTION 1: RMS0WH-UDC OPTION 2: RPSUMWHT-UNCDV OPTION 3: LSS3WU
RH1	EMERGENCY LIGHTING REMOTE HEAD		CEILING-WALL 84IN(2133.6MM)	4W PER HEAD/12VDC	2X4W LED	-	OPTION 1: STANPRO S2-06-24V4WLRWH OPTION 2: AIMLITE RMM2-06-24V4WLRWHT OPTION 3: LUMACELL MQM2LD7

LUMINAIRE SCHEDULE							
TAGS	DESCRIPTION	PICTURE	MOUNTING	LOAD/VOLT	LAMP	COLOR TEMP	MANUFACTURER
01	6" DOWNLIGHT		RECESSED	10W/120VAC	1000 LUMENS	4000K	OPTION 1: LITHONIA LIGHTING MODEL NO: LDN6-4010-L06-AR-LSS-MVOLT-GZ10 OPTION 2: EATON LIGHTING MODEL NO: HCB-10-D010-HM-12-840-41-MD-H-41-WD-BB OPTION 3: LIGHTOLIER MODEL NO: 6R-N-CEL-10-8-40K-M-210-LI-05-R-DL-BK
02	2' X 2' LED LUMINAIRE		RECESSED	38.3W/120VAC	4465 LUMENS	4000K	OPTION 1: STANPRO LIGHTING MODEL NO: L3PNL-2LS2-W/40K OPTION 2: EATON METALUX MODEL NO: 22FP4240C OPTION 3: 2FXP-38L-840-2-DS-UNV-DIM
03	4' STRIP LIGHT		SUSPENDED/SURFACE	39W/120VAC	4433 LUMENS	4000K	OPTION 1: COOPER LIGHTING MODEL NO: 4STZL4040R C/W AYC-CHAINSET OPTION 2: LITHONIA LIGHTING MODEL NO: ZL1N-L48-5000LM-FST-MVOLT-40K-80CRI-WH-HC36 OPTION 3: DAYBRITE LIGHTING MODEL NO: FSS-440L-840-UNV-DIM C/W CHAIN SUSPENSION KIT
04	WHITE 8' DUAL CIRCUIT TRACK LIGHTING W/ UNIVERSAL LAMPHOLDER		SURFACE	300W/120VAC	MAX. 75W PAR30	-	OPTION 1: HALO LIGHTING MODEL NO: L1700P OPTION 2: LIGHTOLIER MODEL NO: 6320-MW OPTION 3: JUNO MODEL NO: T308WH

* CONFIRM LIGHTING SPECIFICATION WITH INTERIOR DESIGN AND OWNER PRIOR TO ORDER.
** CONTRACTOR TO PROVIDE COMPATIBLE DIMMER SWITCH BASED ON LIGHT FIXTURE SELECTION AND FROM THE LISTED DIMMER SWITCHES ON FIXTURE SHOP DRAWINGS.

ELECTRICAL EQUIPMENT SCHEDULE					
TAGS	DESCRIPTION	LOAD	O/C	CONDUIT/WIRING	MODEL
CF1 - CF2	WHITE COMMERCIAL CEILING CIRCULATION FAN, FORWARD & REVERSE	120V, 1PH, 2W	1P-15A	21mmC-2#12 RW90XL CU	CANARM MODEL NO: CP56 F&R WHITE

MECHANICAL EQUIPMENT SCHEDULE														
TAGS	DESCRIPTION / LOCATION	LOAD	O/C	CONDUIT/WIRING	NOTES	LIGHTING CONTROL	MAGNETIC STARTER	VFD		CONTROL PANEL		THERMOSTAT		DISCONNECT
								MECH	ELEC	MECH	ELEC	MECH	ELEC	
EF1	EXHAUST FAN	120V, 1PH, 2W, 2.9A, 313W	1P-15A	21mmC-2#12 RW90XL CU	INTERLOCK WITH MUA1.									✓
ERV1	ENERGY RECOVERY VENTILATOR	120V, 1PH, 2W	1P-15A	21mmC-2#12 RW90XL CU	RUNS CONTINUOUSLY.									✓
ERV2	ENERGY RECOVERY VENTILATOR	120V, 1PH, 2W	1P-15A	21mmC-2#12 RW90XL CU	RUNS CONTINUOUSLY.									✓
MUA1	MAKE UP AIR UNIT	208V, 3PH, 4W, 16kW	3P-60A	27mmC-4#6 RW90XL CU	INTERLOCK WITH EF1.							✓		
RTU1	ROOF TOP UNIT	208V, 3PH, 4W, 21 MCA	3P-30A	21mmC-4#10 RW90XL CU	REFER TO MECHANICAL DRAWINGS.									
RTU2	ROOF TOP UNIT	208V, 3PH, 4W, 45 MCA	3P-70A	35mmC-4#4 RW90XL CU	REFER TO MECHANICAL DRAWINGS.									
UH1	UNIT HEATER	120V, 1PH, 2W, 3.8A	1P-15A	21mmC-2#12 RW90XL CU	CONTROLLED BY WALL MOUNTED THERMOSTAT.									



05/10/2021
Permit: P11984

STEVEN HO
ARCHITECTURE INC.

SSCA BUILDING
ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

ELECTRICAL
SCHEDULES &
DETAILS

PROJECT NUMBER: 21068
DRAWING NUMBER: E301
DRAWN/CHECKED: GS / TO

UTILITY
TRANSFORMER

EXISTING

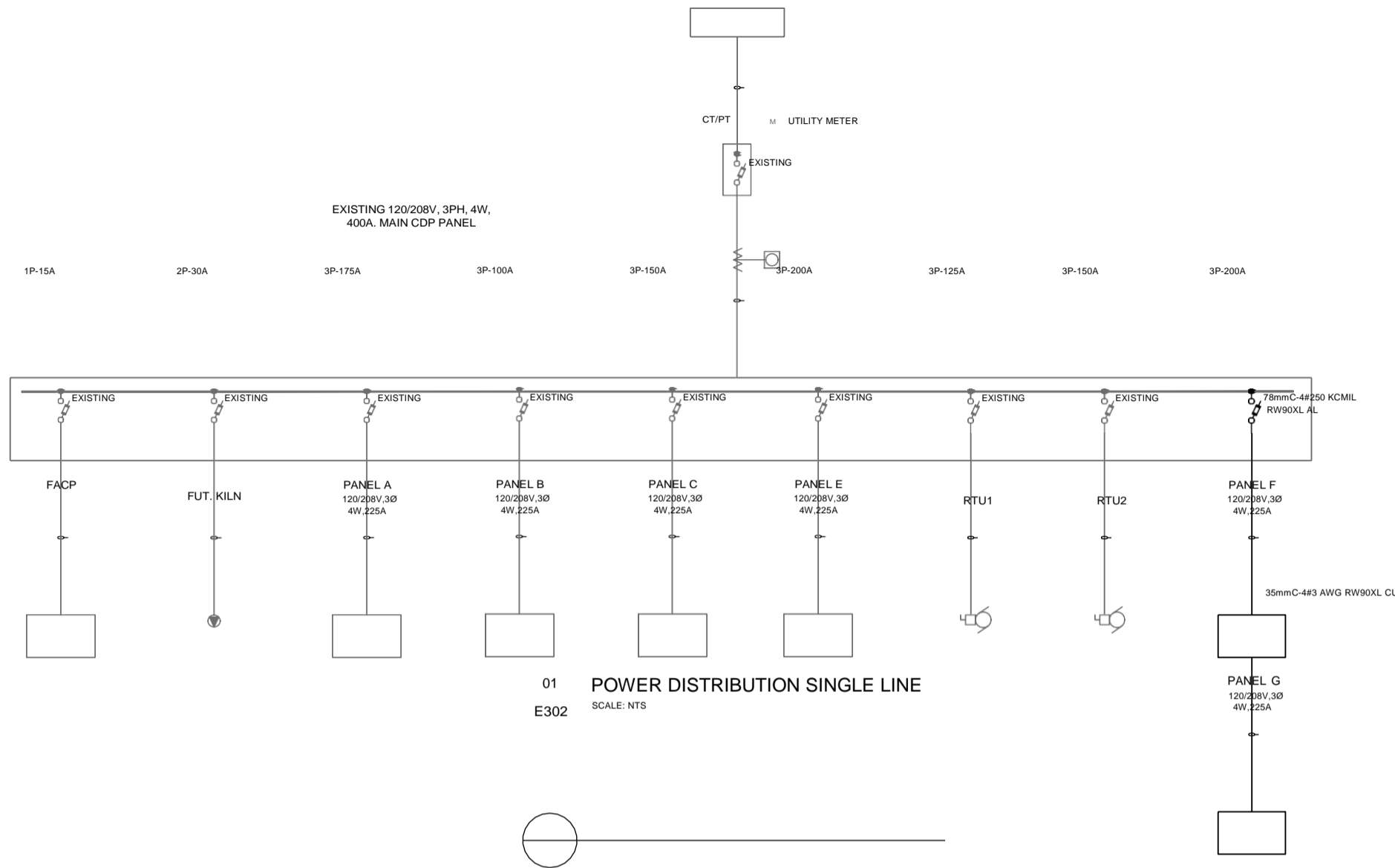
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01 POWER DISTRIBUTION SINGLE LINE
E302 SCALE: NTS

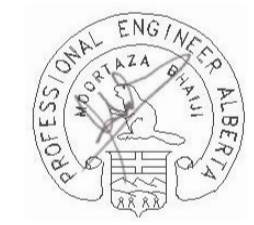
SINGLE LINE SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	UTILITY TRANSFORMER PADMOUNT TRANSFORMER. PROVIDE THE FOLLOWING: • PAD • PROTECTIVE BOLLARDS/GUARDRAIL • BLAST WALL (IF NECESSARY) • SECONDARY CONDUIT AND WIRING • GROUND GRID AND GROUND TEST PER UTILITY REQUIREMENTS CONFIRM ALL REQUIREMENTS SET OUT BY UTILITY.
	PANEL XX 120/208V 225A BUS PANEL. SEE PANEL SCHEDULE FOR EXACT REQUIREMENTS.
	METER CT/PT TRANSFORMERS TO UTILITY REQUIREMENTS. COORDINATE WITH UTILITY.
	CIRCUIT BREAKER. RATING AS INDICATED.
	FUSED DISCONNECT (3P-100A/100A INDICATES 100A FRAME WITH 100A FUSES)
	NOTES MOTOR CONNECTION. SEE MECHANICAL EQUIPMENT SCHEDULE.

- ALL EQUIPMENT TO BE RATED FOR OPEN ENDED EQUIPMENT SCHEDULE.
- EQUIPMENT OVERCURRENT PROTECTION SHALL BE PROVIDED FOR INTEGRATED EQUIPMENT RATING. CONTRACTOR TO PROVIDE LABELS ON ALL EQUIPMENT INDICATING EQUIPMENT RATING, CONDUIT AND WIRE SIZES.
- MATCH NEW EQUIPMENT WITH BASE BUILDING EQUIPMENT TO MAINTAIN SERIES RATING.
- ALL CONDUCTORS INDICATED ARE RW90XL-600V-COPPER. SEE FOLLOWING NOTES.
- CONDUCTOR SIZES INDICATED IS MINIMUM REQUIRED. INCREASE CONDUCTOR SIZE (AND CONDUIT SIZE WHERE APPLICABLE) TO ACCOMMODATE VOLTAGE DROP PER CEC REQUIREMENTS.
- BELOW GRADE CONDUITS TO BE RIGID PVC UNLESS SPECIFICALLY INDICATED OTHERWISE.
- ABOVE GRADE CONDUITS TO BE ELECTRICAL METALLIC TUBING (EMT) OR RIGID STEEL UNLESS SPECIFICALLY INDICATED OTHERWISE.
- ALL CONDUITS TERMINATING AT TRANSFORMERS, MOTORS, VIBRATING EQUIPMENT TO BE WATERPROOF SEALED FLEXIBLE CONDUIT UNLESS SPECIFICALLY INDICATED OTHERWISE.
- PROVIDE GROUND CONDUCTORS IN ALL BELOW GRADE CONDUITS AND IN ABOVE GRADE CONDUITS AS REQUIRED BY THE CANADIAN ELECTRICAL CODE.
- VERIFY EXISTING INCOMING FAULT INTERRUPTING CAPACITY FROM BASE BUILDING DISTRIBUTION.
- CONFIRM ALL EXISTING LOCATIONS ON SITE.

EXISTING CDP PANEL											
CCT	DESCRIPTION	TRIP	A		B		C		TRIP	DESCRIPTION	CCT
1	SPARE	15A	0W	0W					15A	FIRE ALARM PANEL	2
3	SPARE	15A			0W	0W			15A		4
5	SPARE	15A					0W	0W	15A		6
7	SPARE	15A	0W	0W					15A		8
9		3P			30080W	0W			15A		10
11	PANEL F	-					30519W	0W	3P		12
13		200A	30752W	0W					-	BASEMENT PANEL E	14
15		3P			0W	0W			200A		16
17	PANEL A	-					0W	0W	2P	FUTURE KILN	18
19		175A	0W	0W					30A		20
21		3P			0W	0W			3P		22
23	PANEL B	-					0W	0W	-	RTU1	24
25		100A	0W	0W					125A		26
27		3P			0W	0W			3P		28
29	PANEL C	-					0W	0W	-	RTU2	30
31		150A	0W	0W					150A		32
TOTAL LOAD:			30752W		30080W		30519W				
PANEL INFORMATION											
LOCATION:			EX. ELEC. ROOM			VOLTAGE:			120/208V		
MOUNTING:			SURFACE			PHASES/WIRES:			3PH4W		
BUS AMPERAGE:			400A			FAULT RATING:			CONFIRM		
LOAD CLASSIFICATION		CONNECTED LOAD	DEMAND FACTOR	ESTIMATED LOAD							
TOTAL		91351W		254A							
TOTAL ESTIMATED AMPS				254A							
TOTAL ESTIMATED AMPS /W MAX MOCF MOTOR				254A							

NEW PANEL F											
CCT	DESCRIPTION	TRIP	A		B		C		TRIP	DESCRIPTION	CCT
1	PANEL RECEPTACLE	15A	1200W	353W					15A	EXIT, EMERG. & NIGHT LIGHTS	2
3	STORAGE ROOM RECEPT.	15A			1200W	567W			15A	LIGHTING	4
5	PARTY ROOM RECEPT.	15A					1200W	460W	15A	LIGHTING	6
7	VIEWING ROOM RECEPT.	15A	1200W	500W					15A	ERV1	8
9	COUNTER RECEPT.	20A			1800W	313W			15A	EF1	10
11	COUNTER RECEPT.	20A					1800W	5333W	3P		12
13	COUNTER RECEPT.	20A	1800W	5333W					-	MUA1	14
15	COUNTER RECEPT.	20A			1800W	5333W			60A		16
17	COUNTER RECEPT.	20A					1800W	456W	15A	UH1	18
19	COUNTER RECEPT.	20A	1800W	0W							20
21	GARAGE RECEPT.	20A			1800W	0W					22
23	GARAGE RECEPT.	20A					1800W	0W			24
25	EXTERIOR WP GFI RECEPT.	15A	1200W	2520W					3P		26
27	SENSOR OPERATED FAUCET	15A			400W	2520W			-	RTU1	28
29	DOOR OPENER	15A					800W	2520W	30A		30
31	TTB RECEPTACLE	15A	1200W	5400W					3P		32
33	GARAGE DOOR OPENER	15A			1000W	5400W			-	RTU2	34
35	SPARE	15A					0W	5400W	70A		36
37	SPARE	15A	0W	7574W					3P		38
39	SPARE	15A			0W	8386W			-	PANEL G	40
41	SPARE	15A					0W	9183W	100A		42
TOTAL LOAD:			30080W		30519W		30752W				
PANEL INFORMATION											
LOCATION:			STORAGE ROOM			VOLTAGE:			120/208V		
MOUNTING:			SURFACE			PHASES/WIRES:			3PH4W		
BUS AMPERAGE:			225A			FAULT RATING:			CONFIRM		
LOAD CLASSIFICATION		CONNECTED LOAD	DEMAND FACTOR	ESTIMATED LOAD							
LIGHTING		1380W	100%	1380W							
MECHANICAL		40572W	90%	36515W							
EQUIPMENT		1000W	50%	500W							
RECEPTACLES		22800W	25%	5700W							
PANEL G		25143W	50%	12572W							
TOTAL		90895W		56666W							
TOTAL ESTIMATED AMPS				157A							
TOTAL ESTIMATED AMPS /W MAX MOCF MOTOR				157A							

NEW PANEL G											
CCT	DESCRIPTION	TRIP	A		B		C		TRIP	DESCRIPTION	CCT
1	PANEL RECEPTACLE	15A	1200W	453W					15A	EXITS, EMERG. & NIGHT LIGHTS	2
3	STORAGE ROOM RECEPT.	15A			1200W	306W			15A	HALLWAY & STOR. RM LIGHTING	4
5	HALLWAY RECEPT.	15A					1200W	383W	15A	ALL-PURPOSE RM LIGHTING	6
7	STORAGE ROOM RECEPT.	15A	1200W	421W					15A	ALL-PURPOSE RM LIGHTING	8
9	ALL-PURPOSE RM RECEPT.	15A			1200W	280W			15A	RECESSED LIGHTING	10
11	ALL-PURPOSE RM RECEPT.	15A					1200W	600W	15A	TRACK LIGHTING	12
13	ALL-PURPOSE RM RECEPT.	15A	1200W	400W					15A	CEILING FANS	14
15	ALL-PURPOSE RM RECEPT.	15A			1200W	0W			15A	SPARE	16
17	ALL-PURPOSE RM RECEPT.	15A					1200W	200W	15A	LIGHTING CONTROL CCT	18
19	SENSOR OPERATED FAUCET	15A	400W	500W					15A	ERV2	20
21	COUNTER RECEPTACLE	20A			1800W	1800W			20A	SERVICE RECEPT. ON RTU1	22
23	COUNTER RECEPTACLE	20A					1800W	1800W	20A	SERVICE RECEPT. ON RTU2	24
25	COUNTER RECEPTACLE	20A	1800W	0W							26
27	PROJECTOR RECEPT.	15A			600W	0W					28
29	MOTORIZED SCREEN	15A					800W	0W			30
31			0W	0W							32
33					0W	0W					34
35							0W	0W			36
37	SPARE	15A	0W	0W							38
39	SPARE	15A			0W	0W					40
41	SPARE	15A					0W	0W			42
TOTAL LOAD:			7574W		8386W		9183W				
PANEL INFORMATION											
LOCATION:			STORAGE ROOM			VOLTAGE:			120/208V		
MOUNTING:			SURFACE			PHASES/WIRES:			3PH4W		
BUS AMPERAGE:			225A			FAULT RATING:			CONFIRM		
LOAD CLASSIFICATION		CONNECTED LOAD	DEMAND FACTOR	ESTIMATED LOAD							
LIGHTING		2643W	100%	2643W							
MECHANICAL		500W	100%	500W							
EQUIPMENT		400W	60%	240W							
RECEPTACLES		21600W	25%	5400W							
TOTAL		25143W		8783W							
TOTAL ESTIMATED AMPS				24A							
TOTAL ESTIMATED AMPS /W MAX MOCF MOTOR				24A							



05/10/2021
Permit: P11984

CLIENT
STEVEN HO ARCHITECTURE INC.

PROJECT
SSCA BUILDING ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

TITLE
ELECTRICAL SCHEDULES & DETAILS

PROJECT NUMBER: 21068
DRAWING NUMBER:

DRAWN/CHECKED: GS / TO
E302

ELECTRICAL SPECIFICATIONS

1. **GENERAL**
 - A. THE SPECIFICATION COVERING THE BIDDING AND CONTRACT REQUIREMENTS, GENERAL REQUIREMENTS, AND ALL ASSOCIATED SECTIONS FORM AN INTEGRAL PART OF THIS SPECIFICATION AND SHALL BE READ IN CONJUNCTION HEREWITH.
 - B. THE INTENT OF THIS SPECIFICATION AND DRAWING IS TO PROVIDE A COMPLETE AND FULLY OPERATIONAL ELECTRICAL SYSTEM.
2. **PERMITS, CERTIFICATES AND FEES**
 - A. THE INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE CANADIAN ELECTRICAL CODE AND ALL RELEVANT BY-LAWS OF A LOCAL ELECTRICAL AUTHORITY.
 - B. OBTAIN ALL PERMITS REQUIRED AND AFTER COMPLETE OF THE WORK, FURNISH TO THE ENGINEER A CERTIFICATE OF FINAL INSPECTION AND APPROVAL FROM THE INSPECTION DEPARTMENT. TAKE OUT ALL PERMITS REQUIRED AT THE BEGINNING OF THE WORK.
 - C. SUBMIT TWO (2) SETS OF DRAWINGS (OR MORE AS REQUIRED) TO THE ELECTRICAL INSPECTION

11. **OPERATING/MAINTENANCE MANUALS**
 - A. FOR EACH ITEM OF SPECIAL APPARATUS, SUPPLY SPECIFIC, INDEXED COPIES OF MANUALS, EACH COPY SHALL CONTAIN THE FOLLOWING:
 - b. A COPY OF EACH REVIEWED SHOP DRAWING
 - c. COMPLETE EXPLANATION OF OPERATION PRINCIPLES AND SEQUENCES.
 - d. RECOMMENDED MAINTENANCE PRACTICES AND PRECAUTIONS.
 - e. COMPLETE WIRING AND CONNECTION DIAGRAMS.
 - f. TEST READINGS
 - B. ENSURE THAT OPERATING AND MAINTENANCE INSTRUCTIONS ARE SPECIFIC AND APPLY TO THE MODELS AND TYPES OF EQUIPMENT PROVIDED.
12. **SUPERVISION**
 - A. THE ELECTRICAL INSTALLATION SHALL BE EXECUTED IN A SATISFACTORY WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. WORK NOT CONSIDERED SATISFACTORY TO THE ENGINEER SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
 - B. KEEP ON THE JOB DURING ITS PROGRESS. A COMPETENT FOREMAN, HOLDING A FIRST CLASS

- C. GROUND RODS SHALL BE MINIMUM 3000mm LONG BY 30mm IN DIAMETER COPPER CLAD STEEL GROUND RODS.
 - D. GROUND CONDUCTORS - BARE STRANDED 100 PERCENT COPPER CABLES. MINIMUM #3/0 AWG.
 - E. CONNECTION FROM GROUNDING GRID - THERMAWELDED CABLE CONNECTIONS AND CONNECTION TO GROUND RODS. FROM TWO POINTS ON THE GROUND LOOP, INSTALL A #3/0 GROUND CONDUCTOR IN 25mm CONDUIT TO MAIN GROUND BUS.
 - F. FROM GROUND BUS IN MAIN SWITCHGEAR, CONNECT ONE #3/0 GROUND CONDUCTOR IN 35mm CONDUIT TO THE WATER MAIN WITH APPROVED GROUND CLAMP AHEAD OF THE WATER METER.
 - G. INSTALL ONE #3/0 GROUND CONDUCTOR JUMPER OF FLEXIBLE COPPER STRAP CONDUCTOR AROUND THE WATER METER AND ASSOCIATED UNIONS AND VALVES TO GROUND BUILDING SIDE OF WATER SYSTEM.
 - H. PROVIDE A SEPARATE COPPER CABLE BONDING CONDUCTOR IN ALL CONDUITS INSTALLED UNDERGROUND OR IN CONCRETE SLABS.
 - I. PROVIDE A SEPARATE COPPER CABLE BONDING CONDUCTOR IN ALL UNDERFLOOR OR IN FLOOR RACEWAYS AND UTILIZE TO MAINTAIN GROUND CONTINUITY AT ALL DEVICES/BOXES.
23. **BRANCH CIRCUIT PANELBOARDS AND CIRCUIT BREAKERS**
 - A. FLUSH AND SURFACE MOUNTED AS INDICATED. COMPLETE WITH PANEL TRIM, HAVING CONCEALED HINGES

FIRE ALARM SPECIFICATIONS

1. THE FIRE ALARM SYSTEM AND ALL FIRE ALARM DEVICES TO CONFORM TO THE NATIONAL BUILDING CODE 2019 (CURRENT ENFORCED VERSION) OF THE AUTHORITY HAVING JURISDICTION. INSTALLATION OF FIRE ALARM DEVICES AND/OR SYSTEMS SHALL CONFORM WITH ULC STANDARD 5524-14(CURRENT ENFORCED VERSION) AND NFPA CODE. VERIFICATION OF THE FIRE ALARM SYSTEM SHALL CONFORM WITH ULC STANDARD 5537-13 (CURRENT ENFORCED VERSION).
2. REQUIREMENTS/RECOMMENDATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
3. **WIRING METHODS:**
 - 3.1. INSTALL WIRING TO CONFORM WITH THE REQUIREMENTS OF ALL CODES, INCLUDING THE CANADIAN ELECTRICAL CODE SECTION 32.
 - 3.1.1. ALL CONDUCTORS OF A FIRE ALARM SYSTEM SHALL BE
 - 3.1.1.a. INSTALLED IN METAL RACEWAY OF THE TOTALLY ENCLOSED TYPE.



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SILVER SPRINGS COMMUNITY CENTRE ADDITION

5720 SILVER RIDGE DRIVE NW, CALGARY, ALBERTA

ISSUED FOR BUILDING PERMIT
21/05/10

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PLUMBING LEGEND	
S	SANITARY BELOW
S	SANITARY ABOVE
EX-SAN	EXISTING SANITARY
V	SANITARY VENT
ST	STORM BELOW
ST	STORM ABOVE
WT	WEEPING TILE
CDP	CONDENSATE PIPE
GS	GREASE SANITARY
G	GAS LINE
DCW	DOMESTIC COLD WATER
DHW	DOMESTIC HOT WATER - 140°F
DCW RECIRC	DOMESTIC HOT WATER RECIRC
EDCW	EXISTING DOMESTIC COLD WATER
R	RADON EXHAUST LINE
CA	COMPRESSED AIR
VACUUM	VACUUM LINE
FOV	FILTERED COLD WATER
HS	HEATING SUPPLY LINE
HR	HEATING RETURN LINE
CWS	CHILLED WATER SUPPLY LINE
CWR	CHILLED WATER RETURN LINE
CO	CLEAN OUT BELOW/ABOVE GRADE
PB	PIPE BREAK
FD	FLOOR DRAIN
HD	HUB DRAIN
FDD	FUNNEL FLOOR DRAIN
AD	AREA DRAIN
PD	PLANTER DRAIN
RD	ROOF DRAIN
SOV	SHUT OFF VALVE
GBV	GLOBE/BALANCING VALVE
CV	CONTROL VALVE
STR	STRAINER
RV	RELIEF VALVE
SV	SOLENOID VALVE
BPV	BACKFLOW PREVENTOR
CV	CHECK VALVE
HB	HOSE BIBB
HB	HOSE BIBB
TSV	THERMOSTATIC VALVE
P	PUMP
DT	DRAIN TRAP / P-TRAP
LB	LAUNDRY BOX
PRV	PRESSURE REDUCING VALVE
GC	GAS COCK
G	GAS METER
W	WATER METER
CW	COLD WATER C/W STOPS
HW	HOT WATER C/W STOPS
DF	DIRECTION OF FLOW
PR	PIPE RISE
PD	PIPE DROP
PTD	PIPE TEE DOWN
PTU	PIPE TEE UP

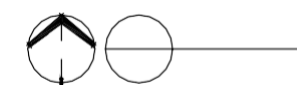
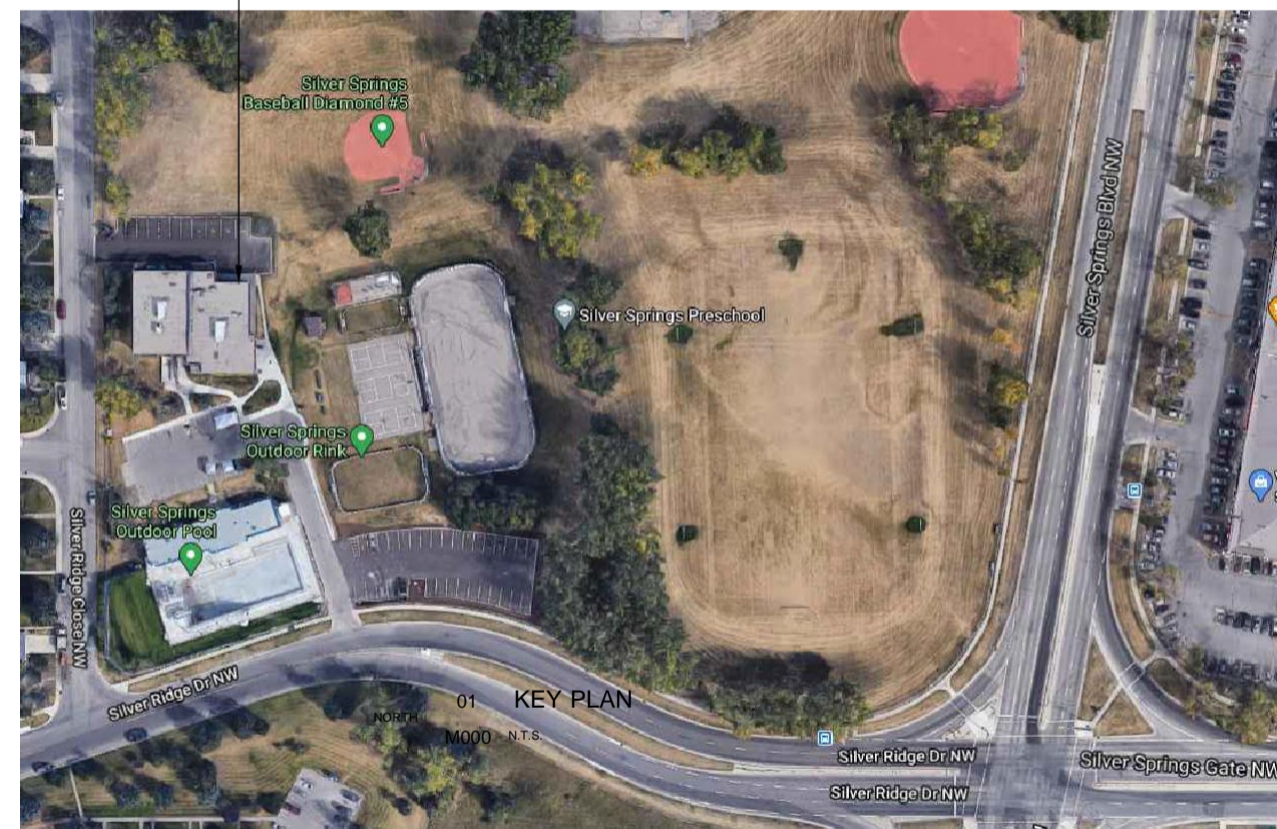
H.V.A.C. LEGEND	
SAD	SUPPLY AIR DUCT
RAD	RETURN AIR DUCT
EAD	EXHAUST AIR DUCT
FAD	FRESH AIR DUCT
SAD	SUPPLY AIR DIFFUSER
RAD	ROUND S/A DIFFUSER
SAG	SUPPLY AIR GRILLE
MAD	MAKE-UP AIR DIFFUSER
LD	LINEAR DIFFUSER
DG	DOOR GRILLE
RAG	RETURN AIR GRILLE
SWSG	SIDE WALL SUPPLY GRILLE
SWSRG	SIDE WALL RETURN GRILLE
L	LOUVER
EH	EXHAUST HOOD
FD	FLEX DUCT
EG	EXHAUST GRILLE
DB	DUCT BREAK
BD	BALANCING DAMPER
CD	BACKDRAFT DAMPER
MD	MOTORIZED DAMPER
FD	FIRE DAMPER
ODD	OPPOSED BLADE DAMPER
T	THERMOSTAT
R	REMOTE SENSOR
C	CONTROLLER
ADA	AIR DIRECTION ARROW
DUC	DOOR UNDERCUT (1" DEPTH)
DF	DIRECTION OF FLOW
CS	CARBON MONOXIDE SENSOR
CD	CARBON DIOXIDE DETECTOR
EF	EXHAUST FAN
SWSWEF	SIDE WALL EXHAUST FAN
IH	INFRARED HEATER
FFH	FORCE FLOW HEATER
BBH	BASE BOARD HEATER
ND	NEW DUCT
ALD	ACOUSTICALLY LINED DUCTWORK
TID	THERMALLY INSULATED DUCTWORK
S/A	EXISTING SUPPLY AIR DUCT
R/A	EXISTING RETURN AIR DUCT
E/A	EXISTING EXHAUST AIR DUCT
F/A	EXISTING FRESH AIR DUCT
DEM	DEMOLITION
R	RELOCATE

FIRE PROTECTION LEGEND	
SP	SPRINKLER LINE
SP	PENDANT-TYPE SPRINKLER
SP	UP-RIGHT SPRINKLER
SP	DRY-TYPE SPRINKLER
SP	CONCEALED SPRINKLER
SP	SIDE-WALL SPRINKLER
TS	TEST STATION
T	TAMPER SWITCH
FS	FLOW STATION
FDC	FIRE DEPARTMENT CONNECTION
FE	FIRE EXTINGUISHER W/CABINET 5LB REG. 10LB KITCHEN
HC	FIRE HOSE CABINET

ABBREVIATION	
S/A	SUPPLY AIR DUCT
R/A	RETURN AIR DUCT
E/A	EXHAUST AIR DUCT
F/A	FRESH AIR DUCT
O/A	OUTSIDE AIR
BD	BALANCING DAMPER
FD	FIRE DAMPER
CW	COMPLETE WITH
T/A	TO ABOVE
T/B	TO BELOW
FA	FROM ABOVE
FB	FROM BELOW
T.O.S.	TOP OF SLAB
A.F.F.	ABOVE FINISH FLOOR
BOH	BACK OF HOUSE
FOH	FRONT OF HOUSE
DUC	DOOR UNDERCUT
RTU	ROOF TOP UNIT
FCU	FAN COIL UNIT
MUA	MAKE UP AIR UNIT
EF	EXHAUST FAN
FUR	FURNACE UNIT
CU	CONDENSING UNIT
CH	CHILLER UNIT
FF	FORCE FLOW UNIT
BB	BASEBOARD UNIT
IF	INFRARED HEATING UNIT
DCW	DOMESTIC COLD WATER
DHW	DOMESTIC HOT WATER
DW	DOMESTIC WATER
DCVA	DOUBLE-CHECK VALVE ASSEMBLY
DCBP	DOUBLE-CHECK BACKFLOW PREVENTOR
RECIRC	RECIRCULATION WATER
NFHB	NON FREEZE HOSE BIBB
HB	HOSE BIBB
S	SANITARY LINE
ST	STORM LINE
SV	SANITARY VENT LINE
WS	WASTE STACK
WC	WATER CLOSET
LAV	LAVATORY
BT	BATHTUB
KS	KITCHEN SINK
SH	SHOWER
MS	MOP SINK
UR	URINAL
LB	LAUNDRY BOX
RWL	RAINWATER LEADER
FE	FIRE EXTINGUISHER

MECHANICAL	
PROJECT MANAGER: PATRICK CHAN E-MAIL: pchan@embeconsulting.ca	
DESIGNER/DRAFTER: PATRICK CHAN E-MAIL: pchan@embeconsulting.ca	
CONSTRUCTION ADMINISTRATION	
MANSIMRAN GILL E-MAIL: mgill@embeconsulting.ca PHONE: 403-460-2277 EXT-243	
PROJECT LOCATION CHAD COATES E-MAIL: ccoates@embeconsulting.ca PHONE: 403-460-2277 EXT-229	

DRAWING LIST	
SHEET NUMBER	SHEET NAME
M000	MECHANICAL COVER PAGE
M101	LOWER FLOOR PLAN - DRAINAGE AND PLUMBING LAYOUT
M102	UPPER FLOOR PLAN - DRAINAGE AND PLUMBING LAYOUT
M201	LOWER FLOOR PLAN - H.V.A.C. LAYOUT
M202	UPPER FLOOR PLAN - H.V.A.C. LAYOUT
M203	ROOF PLAN - MECHANICAL LAYOUT
M301	SCHEDULES AND DETAILS
M401	MECHANICAL SPECIFICATIONS



SSCA BUILDING ADDITION
 5720 SILVER RIDGE DRIVE NW
 CALGARY, ALBERTA

MECHANICAL COVER PAGE

PROJECT NUMBER: 21068
 DRAWING NUMBER: **M000**
 DRAWN/CHECKED: PC / PC

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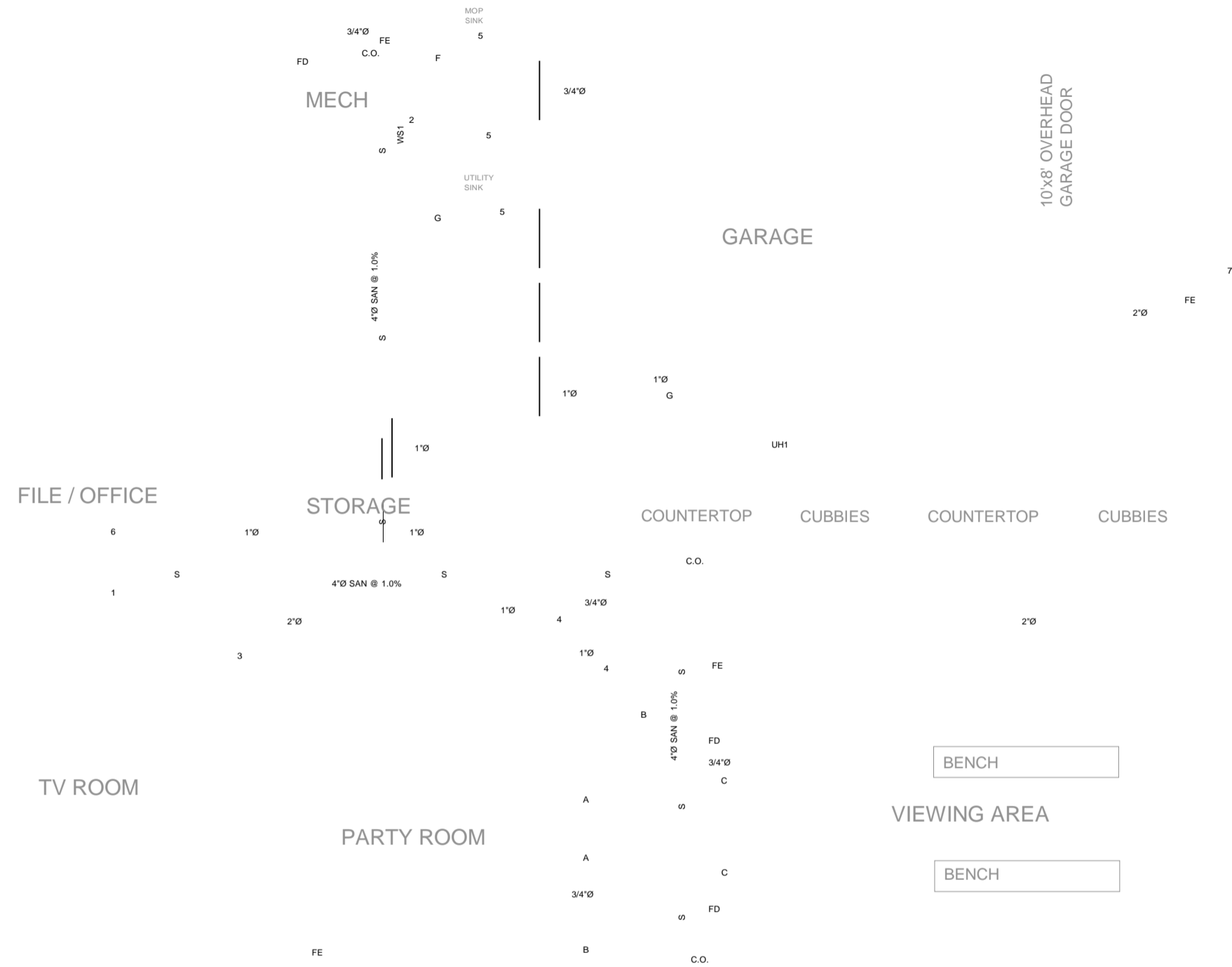
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1.	95% REVIEW	21-04-27
1.	BUILDING PERMIT	21-05-10

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- SANITARY VENTING SIZED PER LOCAL PLUMBING CODES.

DRAINAGE AND PLUMBING NOTES:

- EXTEND NEW 4" SANITARY LINE FROM NEAREST EXISTING BUILDING SANITARY. CONTRACTOR TO INCLUDE A VIDEO CAMERA SURVEY TO DETERMINE THE EXACT LOCATION OF SANITARY SERVICES ON SITE.
- 4" SANITARY LINE DOWN FROM PLUMBING FIXTURES ABOVE. RUN DOWN IN WALL AND UNDER SLAB TO MAIN SANITARY LINE.
- EXISTING 2" WATER LINE TO BE EXTENDED TO NEW 2" HOSE BIB ON EXTERIOR WALL FOR RINK FILL. CONFIRM EXACT LOCATION WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- EXTEND NEW 1" COLD WATER LINE FROM NEW 2" LINE AND EXTEND OUT TO PLUMBING FIXTURES.
- EXTEND COLD AND HOT WATER LINES UP TO PLUMBING FIXTURES ON UPPER FLOOR THROUGH MAIN FLOOR CEILING.
- EXTEND NEW 1" HOT WATER LINE FROM EXISTING BUILDING. CONFIRM EXACT LOCATION ON SITE.
- PROPOSED NEW LOCATION OF 2" HOSE BIB FOR RINK FILL. CONFIRM FINAL LOCATION AND REQUIREMENTS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION.
- EXTEND NEW GAS LINE OUT FROM NEAREST EXISTING TO NEW UNIT HEATER IN GARAGE. CONFIRM EXACT LOCATION ON SITE AND SIZE ACCORDING TO LOCAL CODES.



NORTH 01 LOWER FLOOR PLAN - DRAINAGE AND PLUMBING LAYOUT
M101 SCALE: 1/4" = 1'-0"

05/10/2021
Permit: P11984

CLIENT

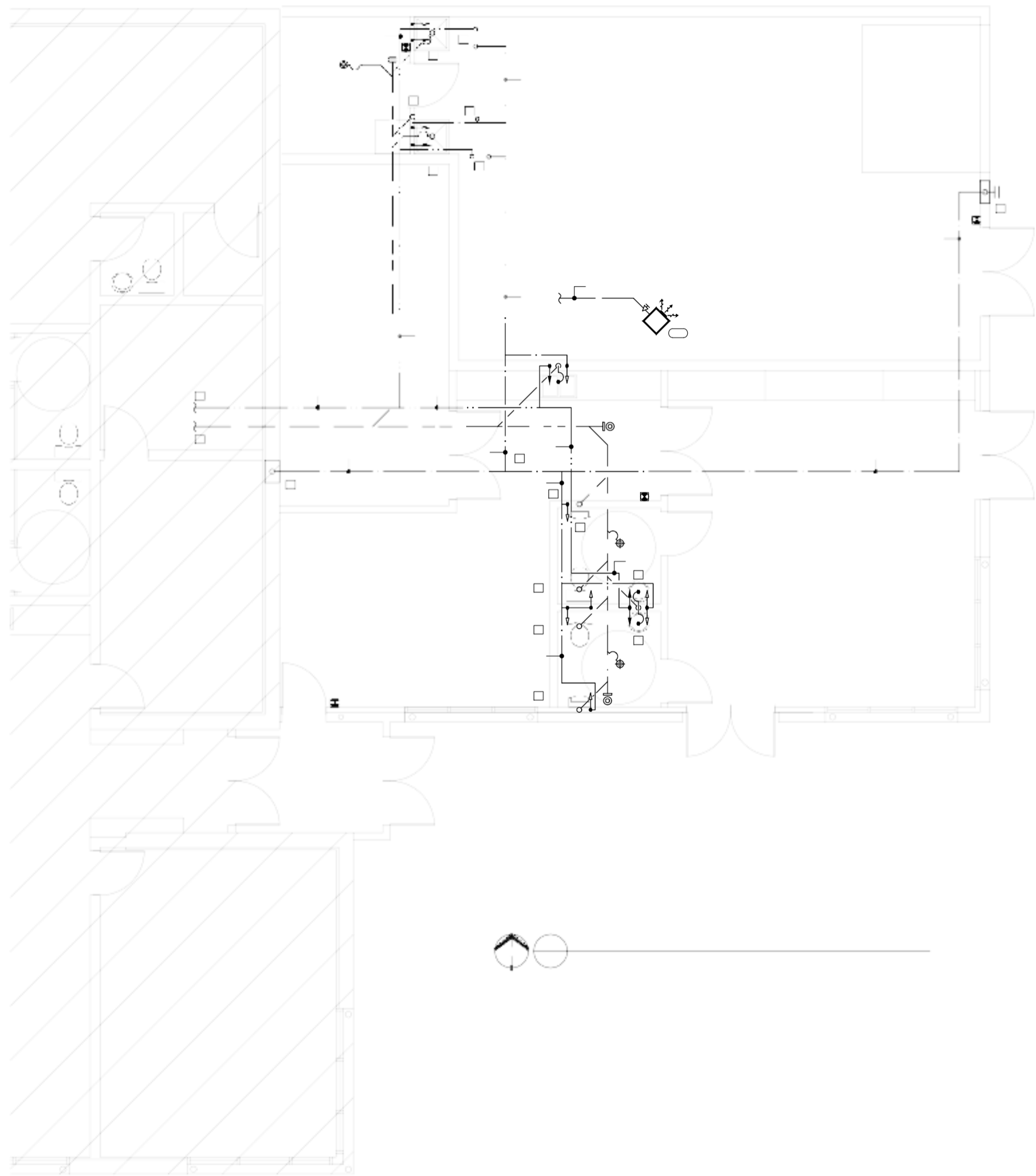
STEVEN HO
ARCHITECTURE INC.

PROJECT

SSCA BUILDING
ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

TITLE

LOWER FLOOR PLAN
DRAINAGE AND
PLUMBING LAYOUT
Page 64 of 77



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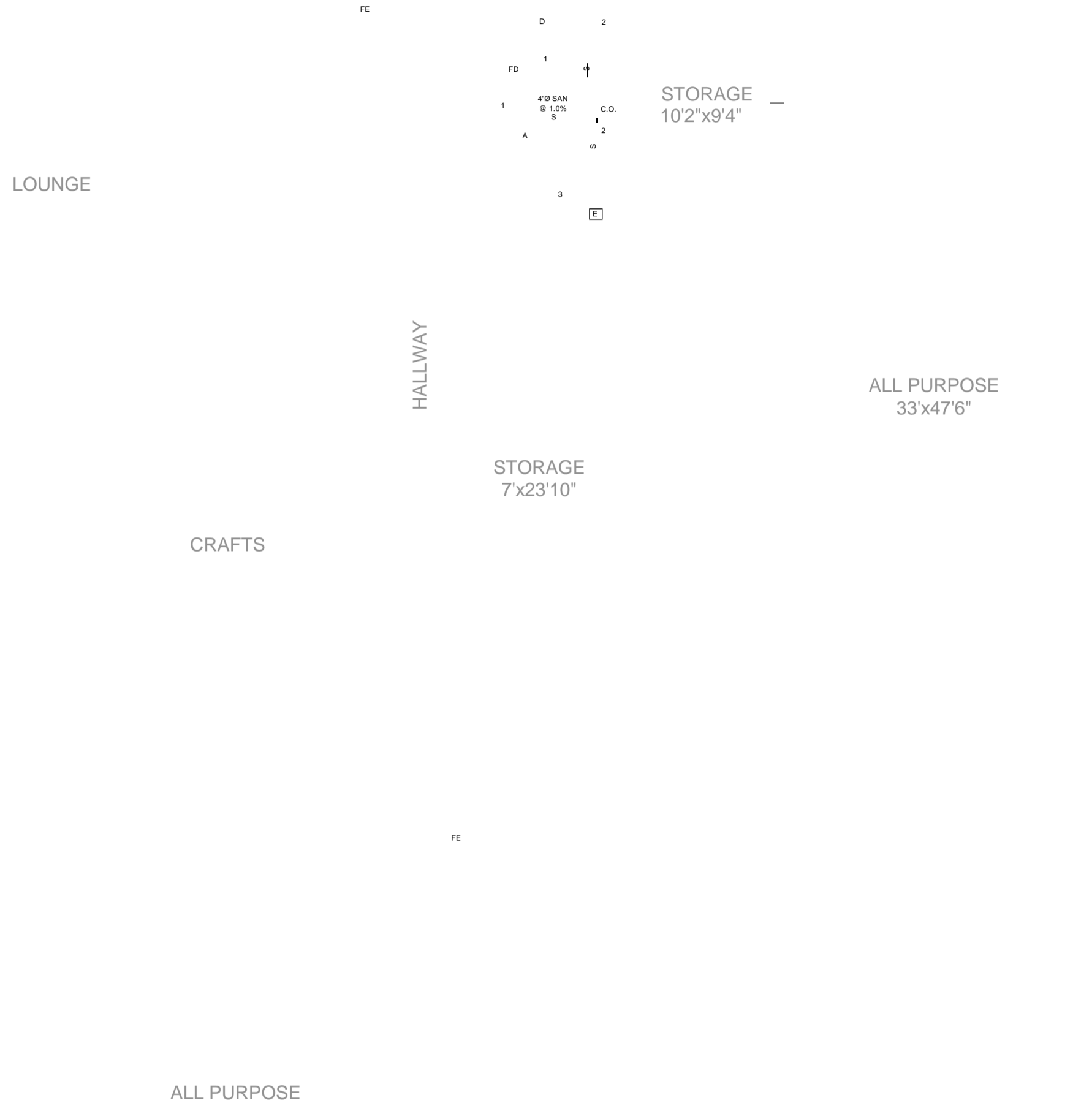
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- SANITARY VENTING SIZED PER LOCAL PLUMBING CODES.
- WS1 = 4"Ø SAN

DRAINAGE AND PLUMBING NOTES:

- UPPER FLOOR PLUMBING FIXTURE DRAINAGE TO RUN IN MAIN FLOOR CEILING BELOW AND OFFSET OVER TO WS1. SEE DRAWING 1M101 FOR CONTINUATION.
- UPPER FLOOR PLUMBING FIXTURE COLD AND HOT WATER LINES TO BE PLUMBED FROM MAIN FLOOR CEILING SPACE BELOW.
- EXTEND COLD WATER LINE AND SANITARY LINE UNDER COUNTER TO SERVICE DISHWASHER.



01 UPPER FLOOR PLAN - DRAINAGE AND PLUMBING LAYOUT
NORTH M102 SCALE: 1/4" = 1'-0"

05/10/2021
Permit: P11984

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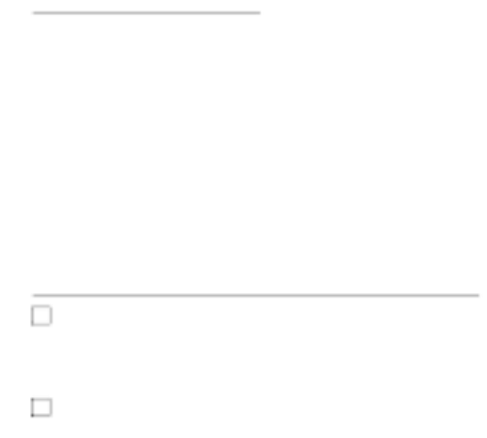
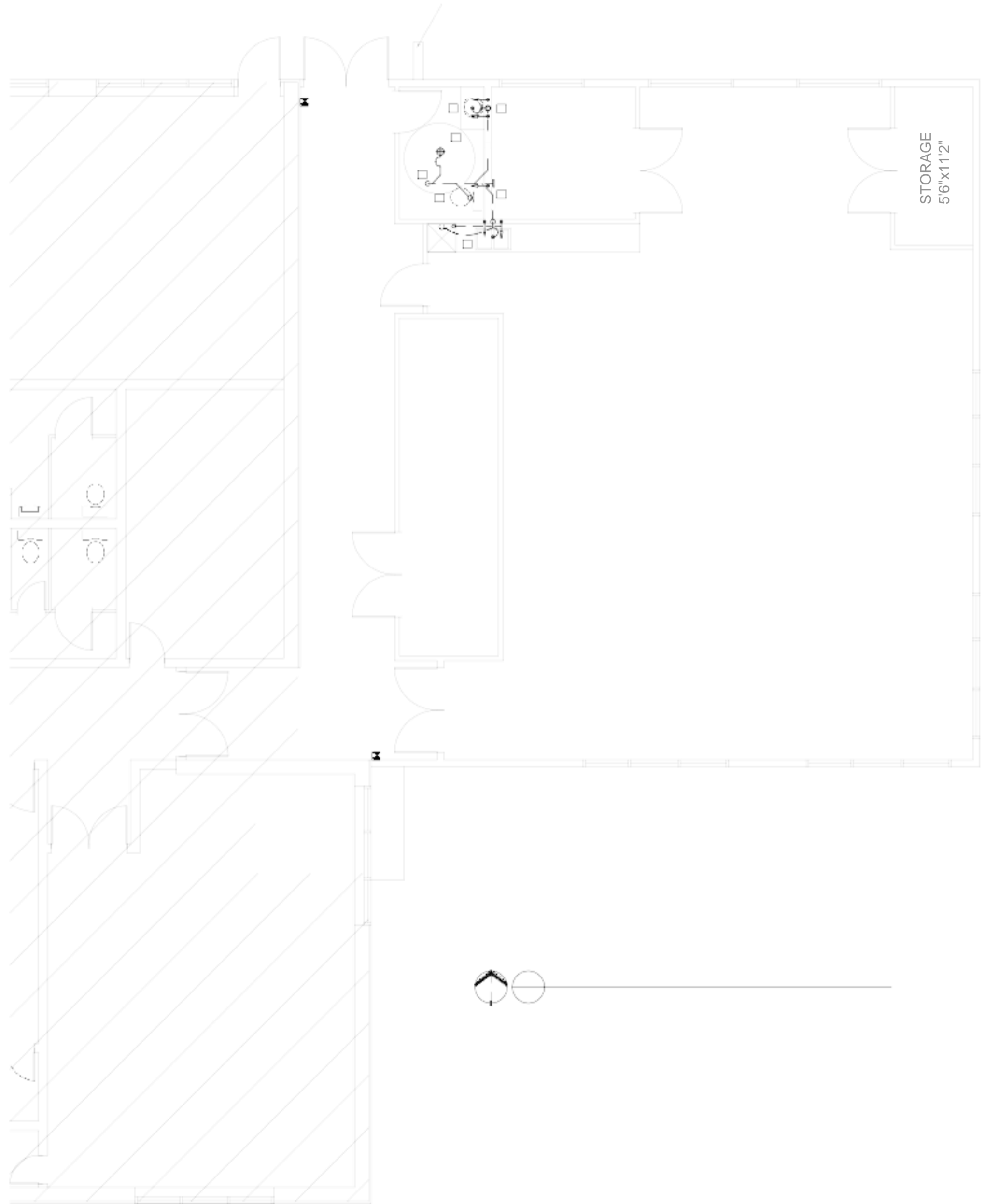
STEVEN HO
ARCHITECTURE INC.

PROJECT

SSCA BUILDING
ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

TITLE

UPPER FLOOR PLAN
DRAINAGE AND
PLUMBING LAYOUT



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- ALL BRANCH DUCTWORK TO HAVE BALANCING DAMPERS.
- RUN ALL DUCTWORK AT HIGHEST LEVEL POSSIBLE - WHERE JOIST SPACING AND WEBBING ALLOWS DUCTWORK TO BE RUN IN JOIST SPACE.

H.V.A.C. NOTES:

- EXISTING LOUVER TO BE RELOCATED TO NEW EXTERNAL WALL.
- NEW 18"x16" SUPPLY AIR AND RETURN AIR DUCTS FROM RTU1 (4 TON) DOWN THROUGH FIRE-RATED ENCLOSURE FROM ABOVE.
- PROVIDE ACOUSTICALLY-LINED RETURN AIR ELBOW.
- EXTEND 4"Ø FRESH AIR DUCT AND EXHAUST AIR DUCT UP AND OUT THROUGH SHAFT TO ROOF. PROVIDE FIRE DAMPERS AT ALL FLOOR PENETRATIONS.
- EXTEND 18.5"x4.5" EXHAUST DUCT UP FROM EXHAUST FAN UP THROUGH SHAFT AND OUT THROUGH ROOF. PROVIDE FIRE DAMPERS AT ALL FLOOR PENETRATIONS.
- EXTEND 12"Ø FRESH AIR DUCT FROM EXTERIOR SIDE WALL TO MINI MUA.
- EXTEND 5"Ø FLUE VENT OUT THROUGH SIDE WALL. ENSURE TEN FEET CLEARANCES FROM ALL FRESH AIR INTAKES. C/W BIRDSCREEN.
- PROVIDE THERMOSTAT FOR UNIT HEATER. CONFIRM EXACT MOUNTING LOCATION WITH OWNER.
- PROVIDE THERMOSTAT FOR RTU. CONFIRM EXACT MOUNTING LOCATION WITH OWNER.
- PROVIDE 16KW DUCT HEATER FOR MUA1 DUCT.



01 LOWER FLOOR PLAN - H.V.A.C. LAYOUT
M201 SCALE: 1/4" = 1'-0"

05/10/2021
Permit: P11984

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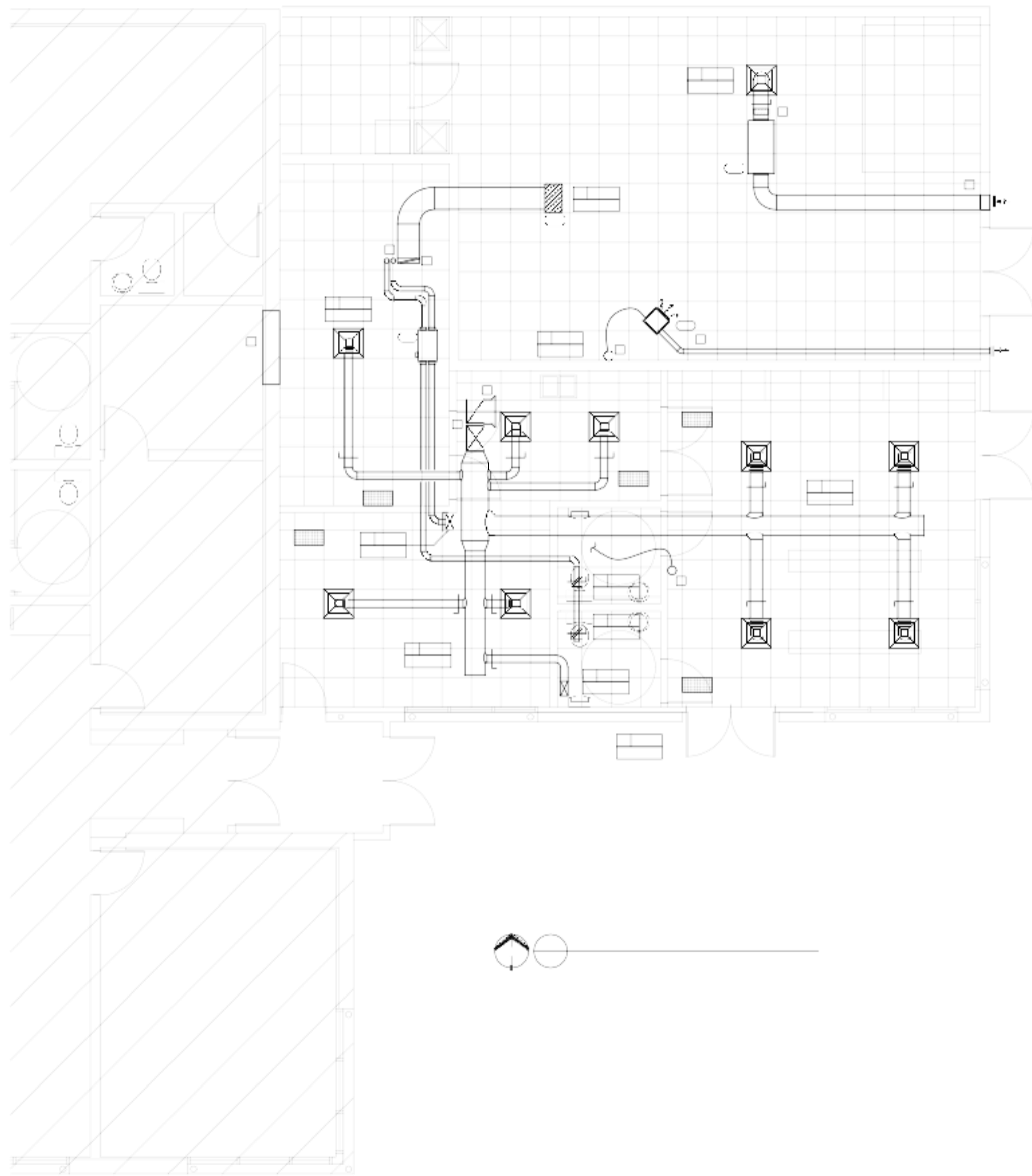
STEVEN HO ARCHITECTURE INC.

PROJECT

SSCA BUILDING ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

TITLE

LOWER FLOOR PLAN H.V.A.C. LAYOUT



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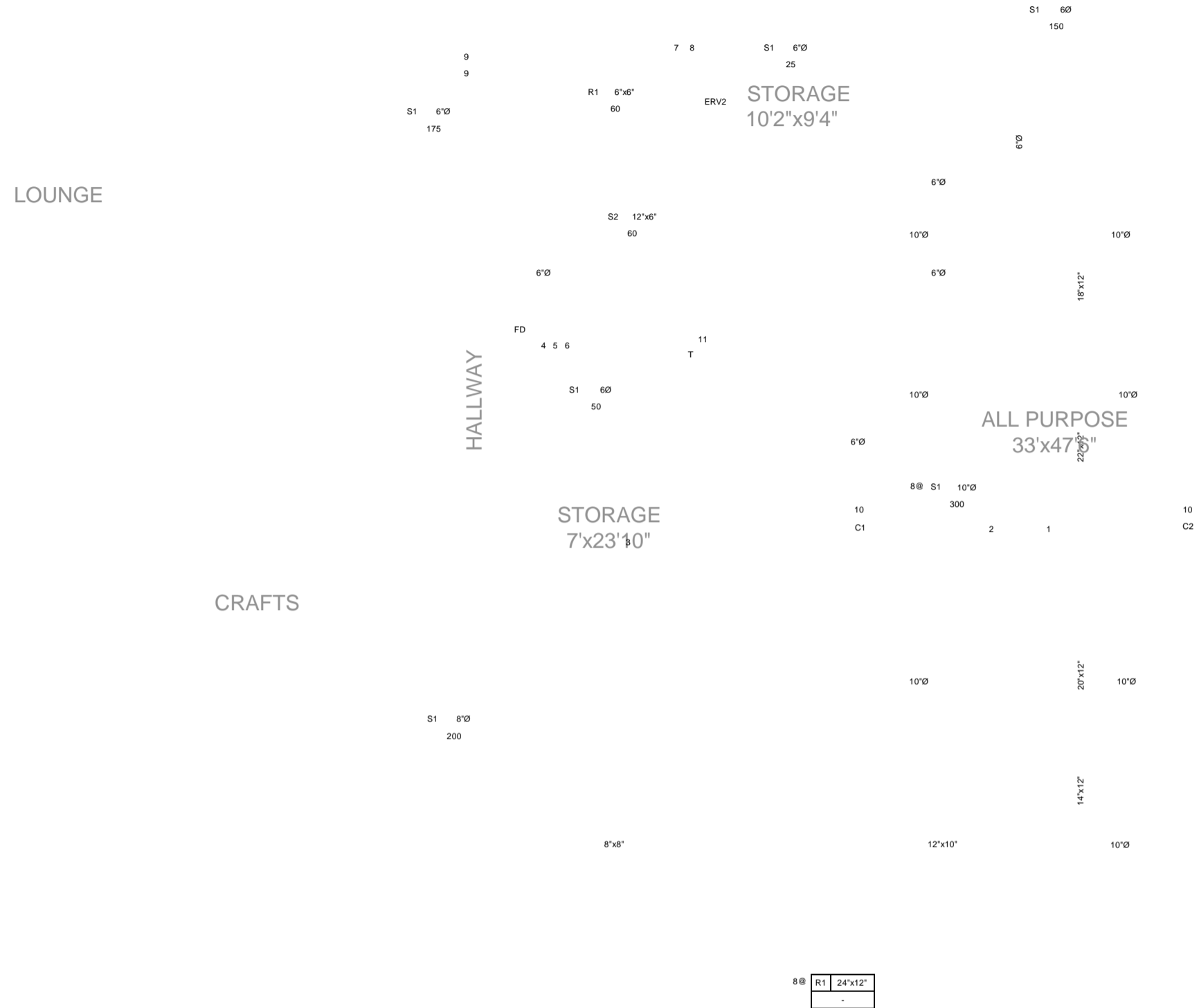
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- ALL BRANCH DUCTWORK TO HAVE BALANCING DAMPERS.
- RUN ALL DUCTWORK AT HIGHEST LEVEL POSSIBLE - WHERE JOIST SPACING AND WEBBING ALLOWS DUCTWORK TO BE RUN IN JOIST SPACE.

H.V.A.C. NOTES:

- NEW SUPPLY AIR AND RETURN AIR DUCTS FROM RTU2 (7.5 TON).
- PROVIDE ACOUSTICALLY-LINED RETURN AIR ELBOW.
- NEW 20"x14" SUPPLY AIR AND RETURN AIR DUCTS DOWN FROM RTU1 AND DOWN THROUGH FIRE-RATED ENCLOSURE TO MAIN FLOOR CEILING.
- 4"Ø FRESH AIR DUCT UP FROM BELOW THROUGH SHAFT AND OFFSET OVER TO RISE UP THROUGH ROOF. OFFSET TO ENSURE CLEARANCES ON ROOF ARE MET. (10' CLEAR FROM ALL EXHAUST), CW FIRE DAMPER AT WALL AND FLOOR PENETRATIONS.
- 4"Ø EXHAUST DUCT UP FROM BELOW AND OUT THROUGH ROOF ABOVE. CW FIRE DAMPERS AT FLOOR PENETRATIONS.
- 18.5"x4.5" EXHAUST AIR DUCT FROM BELOW THROUGH SHAFT AND UP AND OUT THROUGH ROOF. CW FIRE DAMPER AT ALL FLOOR PENETRATIONS.
- OFFSET 4"Ø FRESH AIR DUCT OVER AND OUT TO ENSURE CLEARANCES ON ROOF ARE MET. (10' CLEAR FROM ALL EXHAUSTS)
- EXTEND 4"Ø EXHAUST AIR DUCT FROM HRV AND OUT THROUGH ROOF.
- EXTEND 4"Ø FRESH AIR DUCT UP THROUGH ROOF ABOVE.
- NEW CEILING FAN. SUPPLIED AND INSTALLED BY ELECTRICAL.
- PROVIDE THERMOSTAT FOR RTU. CONFIRM EXACT MOUNTING LOCATION WITH OWNER.



01 UPPER FLOOR PLAN - H.V.A.C. LAYOUT
NORTH M202 SCALE: 1/4" = 1'-0"

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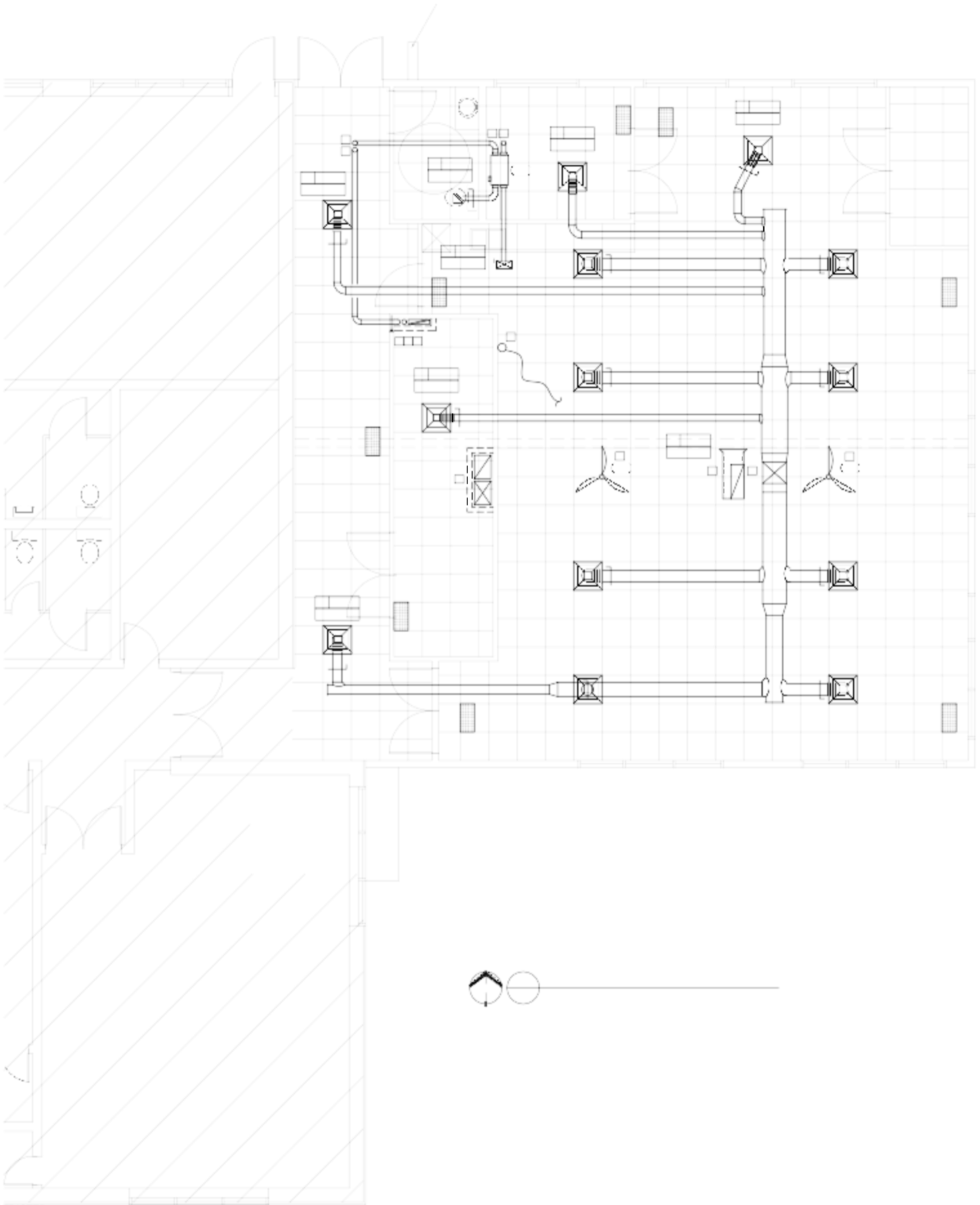
STEVEN HO
ARCHITECTURE INC.

PROJECT

SSCA BUILDING
ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

TITLE

UPPER FLOOR PLAN
H.V.A.C. LAYOUT



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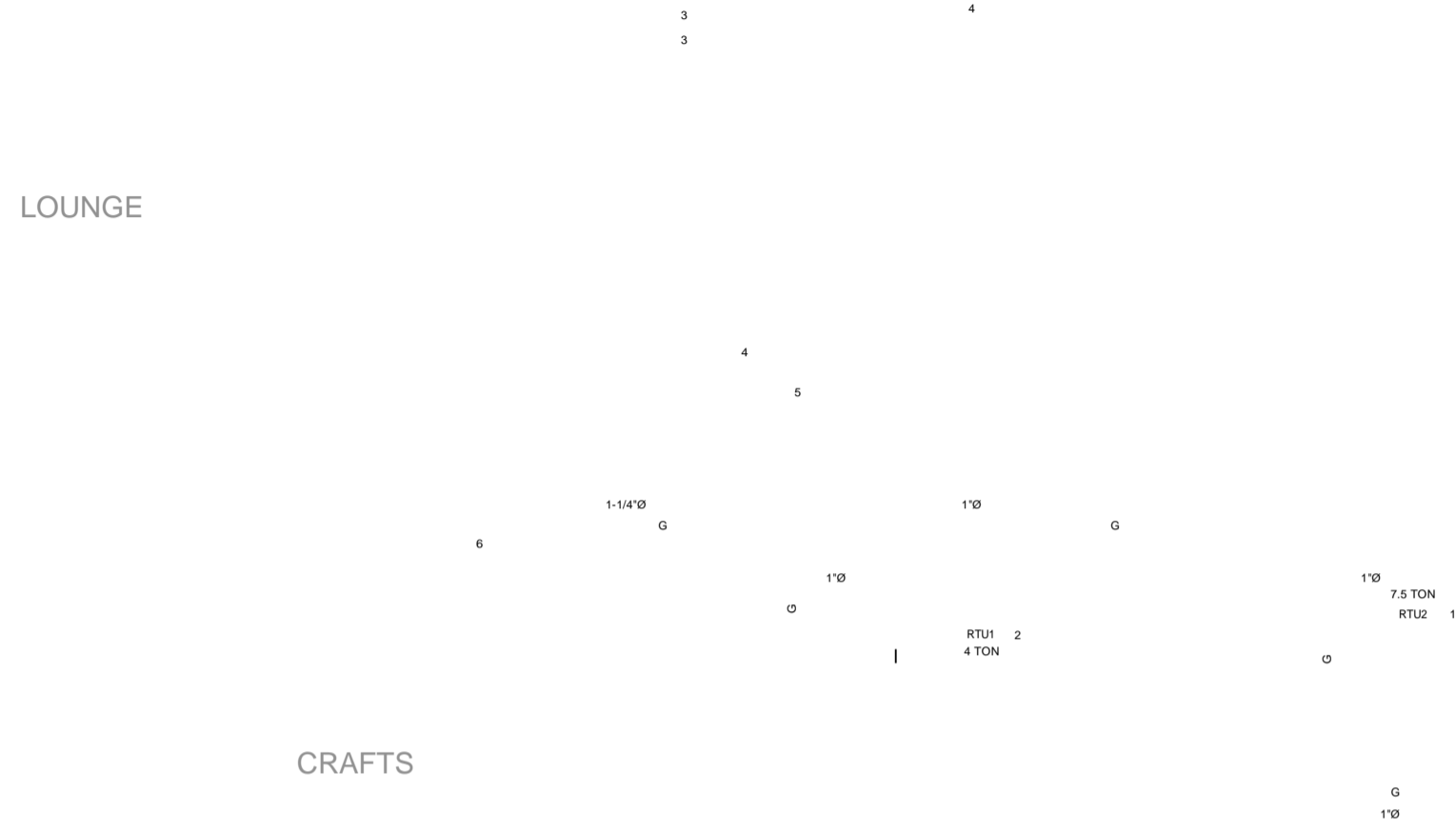
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- RUN ALL DUCTWORK AT HIGHEST LEVEL POSSIBLE - WHERE JOIST SPACING AND WEBBING ALLOWS DUCTWORK TO BE RUN IN JOIST SPACE.

H.V.A.C. NOTES:

- NEW 7.5 TON RTU ON ROOF TO SUPPLY UPPER FLOOR. ENSURE 10 FOOT CLEARANCES FROM ANY EXHAUST DUCTS.
- NEW 4 TON RTU ON ROOF TO SUPPLY MAIN FLOOR. DUCTS TO BE EXTENDED DOWN THROUGH FIRE-RATED ENCLOSURE TO MAIN FLOOR CEILING. ENSURE 10 FOOT CLEARANCES FROM ANY EXHAUST DUCTS.
- 4"Ø FRESH AIR DUCTS UP FROM BELOW. C/W BIRDSCREEN. ENSURE 10 FEET CLEARANCES FROM ALL EXHAUSTS.
- 4"Ø EXHAUST AIR DUCTS UP FROM BELOW. C/W BIRDSCREEN. ENSURE 10 FEET CLEARANCES FROM ALL FRESH AIR INTAKES.
- 18.5"x4.5" EXHAUST AIR DUCT UP FROM BELOW. C/W GOOSENECK AND BACKDRAFT DAMPER. ENSURE 10' CLEARANCES FROM ALL FRESH AIR INTAKES.
- EXTEND GAS LINE OVER FROM EXISTING LINE ON EXISTING ROOF. CONFIRM EXACT LOCATION ON SITE AND SIZE ACCORDING TO LOCAL CODES.



ALL PURPOSE

01 ROOF PLAN - MECHANICAL LAYOUT
NORTH M203 SCALE: 1/4" = 1'-0"

05/10/2021
Permit: P11984

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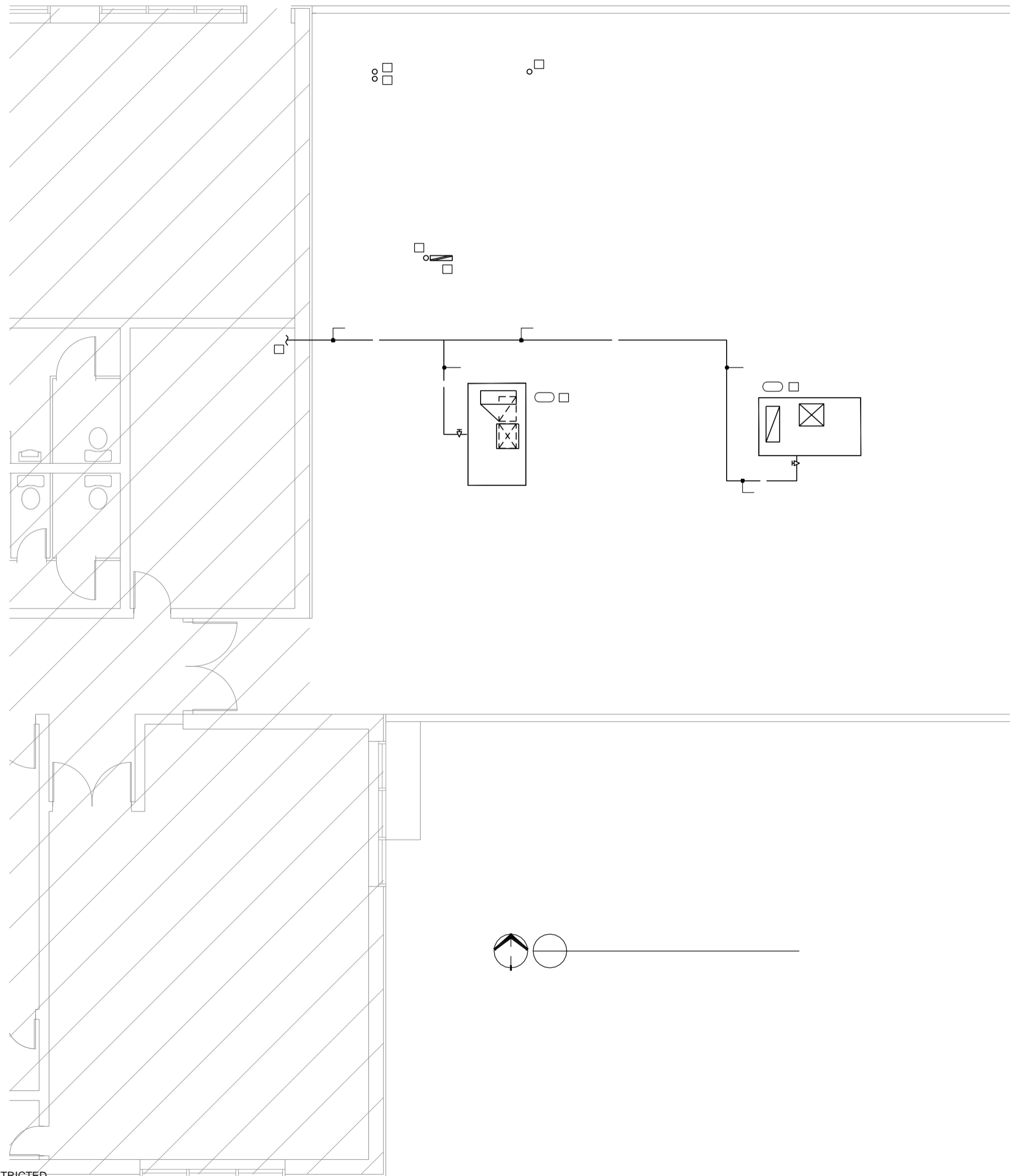
STEVEN HO
ARCHITECTURE INC.

PROJECT

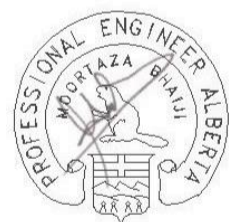
SSCA BUILDING
ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

TITLE

ROOF PLAN
MECHANICAL LAYOUT



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GAS COMPANY INFORMATION	
EXTEND NEW GAS LINE FROM NEAREST EXISTING LINE.	
GAS PIPING SIZED BASE ON LENGTH OF PIPE APPROXIMATELY 300 FEET FROM GAS METER TO TENANT GAS EQUIPMENT AND FOR PRESSURES OF 7 IN W.C. TO 14 IN W.C. BASE ON A PRESSURE DROP OF 1 IN W.C.	
RTU1	150 CFH
RTU2	150 CFH
UNIT HEATER	150 CFH
TOTAL GAS LOAD	450 CFH
	450,000 BTUH

ENERGY RECOVERY VENTILATOR SCHEDULE							
TAG	LOCATION / SERVICE	MAKE	MODEL	AIRFLOW	MINIMUM PERFORMANCE	ELECTRICAL (V/PH/Hz)	REMARKS
ERV1	WASHROOM/CEILING	JCI	JCH-ERV-DS (LOW PROFILE)	60 CFM	60% ENTHALPHY EFFICIANCY	120/1/60	INSTALLED IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS. DRAIN TO NEAREST DRAIN. PROVIDE CONDENSATE PUMP AS REQUIRED. ERV TO RUN CONTINUOUSLY SET AT MEDIUM SPEED FOR 60 CFM.

MINI MAKE-UP AIR SCHEDULE							
TAG	LOCATION/SERVE	MAKE	MODEL	AIRFLOW	ELECTRICAL (V/PH/Hz)	REMARKS	
MUA1	GARAGE/TRACTOR AREA	THERMOLEC	MINI MUA FER-12-20-208/3	600 CFM	208/3/60 16 KW	ELECTRIC MAKE-UP AIR UNIT C/W INTEGRAL CONTROL. INTERLOCK WITH EXHAUST FAN EF1. SET DISCHARGE AIR TEMPERATURE TO 19°C. INSTALL AS PER MANUFACTURER INSTRUCTIONS.	

UNIT HEATER SCHEDULE								
TAG	LOCATION	MAKE	MODEL	HEATING CAPACITY (INPUT / OUTPUT)	WEIGHT	FLUE SIZE	ELECTRICAL (V/PH/Hz)	REMARKS
UH1	GARAGE	REZNOR	UDAP-150	150MBH / 124 MBH	172 LBS	5"Ø	120/1/60, 3.8A	UNIT HEATER TO BE CONTROLLED BY WALL-MOUNTED THERMOSTAT

FAN SCHEDULE							
TAG	LOCATION/SERVE	MAKE	MODEL	AIRFLOW	E.S.P.	ELECTRICAL (V/PH/Hz)	REMARKS
EF1	GARAGE	BROAN	L700	650	0.25"	120/1/60 2.9A, 313W	INTERLOCK EXHAUST FAN TO LIGHT SWITCH

CEILING FAN SCHEDULE							
TAG	LOCATION	MAKE	MODEL	DIAMETER	ELECTRICAL	REMARKS	
CF1,CF2	UPPER FLOOR ALL-PURPOSE ROOM	CANARM	OCEAN BREEZE BPT	42"Ø	120/1/60 FHP	C/W 60W LIGHT, REMOTE CONTROL	

ROOF TOP UNIT SCHEDULE															
TAG NO.	LOCATION / SERVES	MANUFACTURER	MODEL	NOMINAL COOLING CAPACITY	ARI SEER / EER	HEATING CAPACITY		BLOWER DATA			ELECTRICAL DATA			WEIGHT	ACCESSORIES
						INPUT	OUTPUT	SUPPLY	ESP (Pa)	O/A%	MCA (A)	MOCP (A)	VOLT/PH/Hz		
RTU1	ROOF	LENNOX / ALLIED	KGB048S4B	4 TON	SEER 14.0 / EER 12.3	44 KW (150 MBH)	35 KW (120 MBH)	755 L/s (1,600 CFM)	250 Pa (1.0")	15%	21A	30A	208/3/60	352 KG	SEE NOTES: 1,2,3,4,5,6,7,8,9,10,11
RTU2	ROOF	LENNOX / ALLIED	KGB092S4M	7.5 TON	IEER 13.0 / EER 11.0	53 KW (180 MBH)	42 KW (144 MBH)	1,415 L/s (3,000 CFM)	250 Pa (1.0")	15%	45A	70A	208/3/60	489 KG (1,075 LBS)	SEE NOTES: 1,2,3,4,5,6,7,8,9,10,11

NOTES:

- BELT DRIVE, BOTTOM DISCHARGE
- PROVIDE 14" ROOF CURB, NON-FUSED DISCONNECT SWITCH
- PROVIDE HAIL GUARDS
- PROVIDE TEMPERATURE ECONOMIZER, BAROMETRIC RELIEF DAMPER AND WEATHER HOOD
- COMMERCIAL PROGRAMMABLE THERMOSTAT, 2-STAGE HEATING, 1-STAGE COOLING, 7-DAY PROGRAMMABLE COMFORTSENSE 7500, LOCATE THERMOSTAT AS SHOWN ON FLOOR PLAN
- PROVIDE 2-STAGE HEATING FOR 3 TON & GREATER. PROVIDE 2-STAGE COOLING FOR 7.5 TON & GREATER.
- PROVIDE CONVENIENCE OUTLET
- PROVIDE MERV 8 FILTER
- HIGH STATIC FAN. PROVIDE MULTI-SPEED FAN FOR 7.5 TON & GREATER.
- HIGH STATIC FAN. PROVIDE MULTI-SPEED FAN FOR 7.5 TON & GREATER.
- POWER EXHAUST, CONTROLLED BY INTEGRAL UNIT CONTROLLER.
- HORIZONTAL SUPPLY & RETURN.
- PROVIDE SMOKE DETECTOR IN RETURN DUCT OF RTU'S SERVING MULTIPLE FLOORS TO SHUTDOWN UNIT IF SMOKE IS DETECTED.
- PROVIDE ITEMIZED PRICE FOR RTU SCREENING, ENVISOR BY CITYSCAPES INC., VERTICAL SYSTEM WITH LOUVERED PANELS, NO TOP TRIM, TUFCOAT 4550 ABS PANEL COATING. CONFIRM STYLE & COLOR WITH ARCHITECT.
- STAINLESS STEEL HEAT EXCHANGER.
- PROVIDE CO2 SENSOR IN RETURN DUCT, INTEGRAL UNIT CONTROLLER TO CONTROL O/A DAMPER POSITION. MODULATE TO 10% MINIMUM.
- COMMUNICATE WITH BMS VIA BACNET, COORDINATE WITH CONTROLS CONTRACTOR & BUILDING OPERATOR.

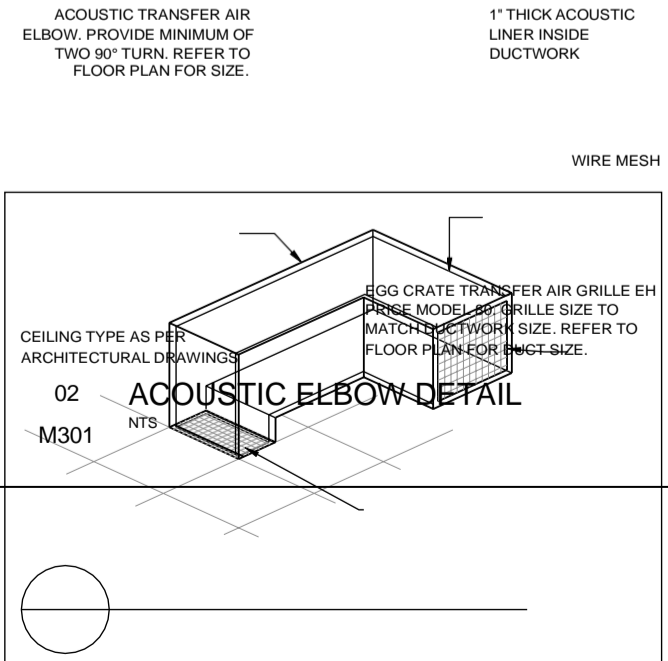
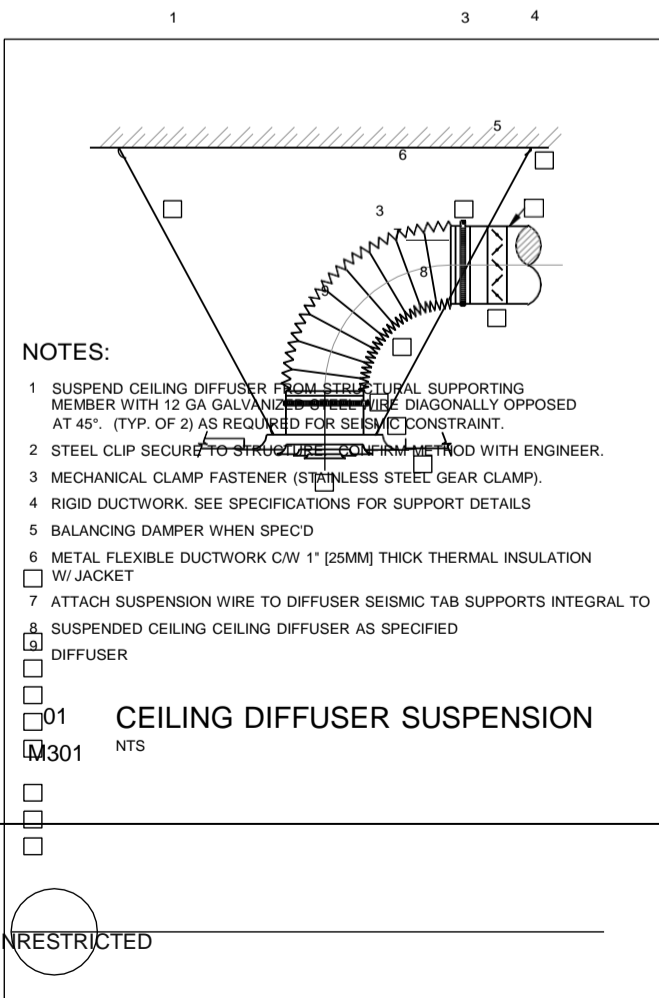
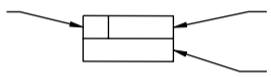
PLUMBING FIXTURE SCHEDULE											
TAG NO.	FIXTURE	MANUFACTURER	CAT. #	MODEL	ACCESSORIES	TRIM/SUPPLIES	TRAP	DRAIN	VENT	C.W.	H.W.
A	WATER CLOSET ADA COMPLIANT	AMERICAN STANDARD	2467 100	CADET FLOWISE RIGHT HEIGHT ELONGATED PRESSURE-ASSISTED 4.2L TOILET	WHITE WITH SEAT AND COVER, BOLTS, NUTS AND CAPS.	OFFSET FLUSH, FLEXIBLE C/W STOPS ON SUPPLIES	INTEGRAL	4"	1-1/2"	1/2"	-
B	URINAL	TBD	TBD	TBD	TBD	TBD	INTEGRAL	1-1/2"	1-1/2"	1/2"	-
C	WALL-HUNG LAVATORY BASIN	AMERICAN STANDARD	0955 000 WHITE	MURRO	KNEE GUARD 0059 020, STOPS ON SUPPLIES	SLOAN ETF-80 C/W 4" TRIM PLATE, HARDWIRED TRANSFORMER AND MIXING VALVE, CONTROL MODULE. ENSURE CONTROL IS INSTALLED RECESSED.	P-TRAP	1-1/2"	1-1/4"	1/2"	1/2"
D	LAVATORY BASIN	TBD	TBD	TBD	TBD	TBD	P-TRAP	1-1/2"	1-1/4"	1/2"	1/2"
E	KITCHEN SINK	TBD	TBD	TBD	TBD	TBD	P-TRAP	1-1/2"	1-1/4"	1/2"	1/2"
F	JANITOR'S SINK	FIAT	MSB2424	MOLDED STONE MOP SERVICE STATION	STAINLESS STEEL DRAIN, STAINLESS STEEL BUMPER GUARDS	CRANE 830AA WALL-MOUNT C/W PAIL HOOK, VACUUM BKR, HOSE CONNECTION, 5' HOSE	P-TRAP	3"	1-1/2"	1/2"	1/2"
G	UTILITY SINK	TBD	TBD	TBD	TBD	TBD	P-TRAP	3"	1-1/2"	1/2"	1/2"

CONFIRM ALL PLUMBING FIXTURES WITH OWNER

GRILLE, DIFFUSER & LOUVRE SCHEDULE				
TAG	SERVICE	MANUFACTURER	CATALOG NUMBER	REMARKS
S1	SUPPLY/TRANSFER	EH PRICE	SPD/31/B12	DOUBLE DEFLECTION GRILLE, FLAT BORDER, COUNTERSUNK (FINISH:WHITE)
S2	SUPPLY	EH PRICE	520/FL/A/B12	DOUBLE DEFLECTION GRILLE, FLAT BORDER, COUNTERSUNK (FINISH:WHITE)
S3	MAKE-UP AIR	EH PRICE	920/L/A/B12	DOUBLE DEFLECTION (STEEL STAINLESS)
R1	RETURN/EXHAUST	EH PRICE	80/F/A/B12	EGG CRATE GRILLE (FINISH: WHITE)

NECK SIZE OR GRILLE SIZE AIR FLOW (CFM)
R1 24"x24"

PROVIDE DAMPERS FOR EXHAUST GRILLES
PROVIDE MOUNTING KITS FOR T-BAR AND DRYWALL WHERE REQUIRED
CONFIRM WITH ARCHITECT



SSCA BUILDING ADDITION
5720 SILVER RIDGE DRIVE NW
CALGARY, ALBERTA

SCHEDULES AND DETAILS

PROJECT NUMBER: 21068
DRAWING NUMBER: M301

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PROJECT NUMBER	DRAWING NUMBER
21068	M401
DRAWN/CHECKED	PC / PC

CLEAN-OUTS, ETC.
14. OPERATING AND MAINTENANCE MANUALS AND INSTRUCTIONS

- .1 PREPARE THREE (3) COMPLETE SETS & 1 SET IN DIGITAL PDF FORMAT OF OPERATING AND MAINTENANCE INSTRUCTIONS FOR THE MECHANICAL EQUIPMENT AND SYSTEMS AND PRESENT FOR APPROVAL TO THE ARCHITECT AT LEAST TWO MONTHS PRIOR TO PROJECT COMPLETION.
- .2 ADVISE AND INSTRUCT THE OWNER OR HIS REPRESENTATIVE ON THE LOCATION, FUNCTION AND GENERAL MAINTENANCE AND OPERATION OF ALL EQUIPMENT PARTS INSTALLED.

.1 VALVES FOR THROTTLING SERVICE SHALL BE GLOBE TYPE. SHUT-OFF AND ISOLATING VALVES SHALL BE GATE TYPE. ALL SUITABLE FOR SYSTEM WORKING PRESSURE.

- .2 DOMESTIC HOT WATER SYSTEM RELIEF VALVES TO BE ALL BRASS, TEMPERATURE AND PRESSURE RATED.
- .3 WATER SYSTEMS (HOT/COLD DOMESTIC WATER)
 - .1 USE FULL PORT BALL VALVES WITH THREADED/FLANGED ENDS FOR ISOLATION/SHUTOFF. PROVIDE STEM EXTENSIONS, AS NECESSRY TO ACCOMMODATE PING INSULATION. OPERATING PRESSURE SHALL NOT EXCEED 80% OF THE VALVE PRESSURE CLASS. PROVIDE MANUAL GEAR OPERATORS FOR VALVES 6" AND LARGER.

CLASS ABC, SIZE TO BE 2.27 KG.

- .3 FIRE EXTINGUISHERS LOCATED IN PUBLIC AREAS, CORRIDORS, ETC., TO BE COMPLETE WITH CABINETS CONFORMING TO N.F.P.A. NO. 10, FOR RECESSED TYPE, CABINET TO BE LARSEN'S 2409-R1. FOR SEMI-RECESSED TYPE TO BE LARSEN'S 2409-SR, FOR SURFACE MOUNT CABINET TO BE LARSEN'S BE 2409-SM. CONFIRM ALL CABINETS WITH ARCHITECT FOR COLOR AND DOOR STYLE PRIOR TO INSTALLATION.
- .4 DRY CHEMICAL FIRE EXTINGUISHERS TO BE THE SODIUM BICARBONATE TYPE, UL APPROVED CLASS 40 BC, SIZE TO BE 4.8 KG. - COMMERCIAL KITCHENS.

