

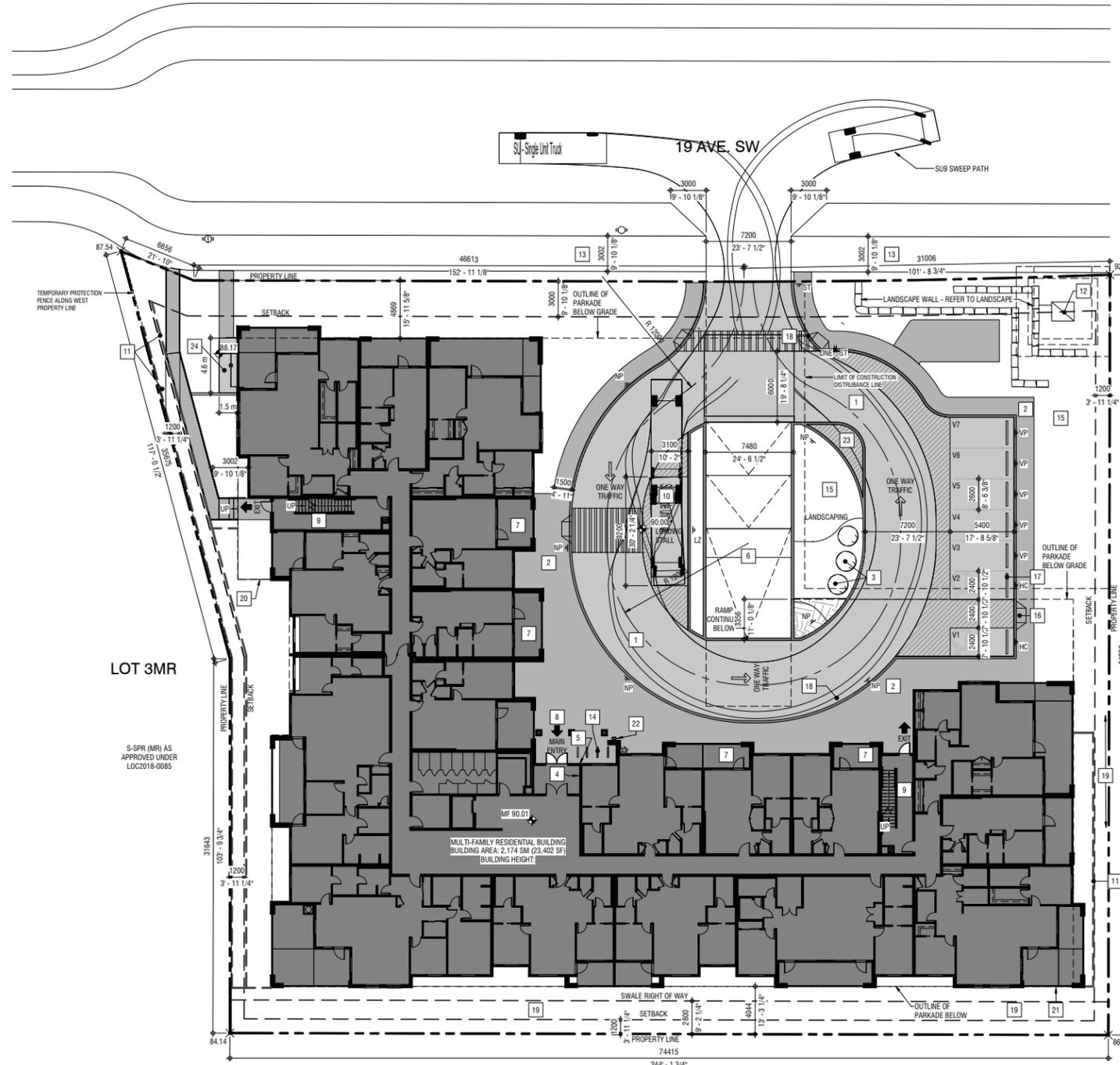
Cove Properties | 85th Street & Aspen Multifamily for the Calgary Planning Commission

June 29th, 2021

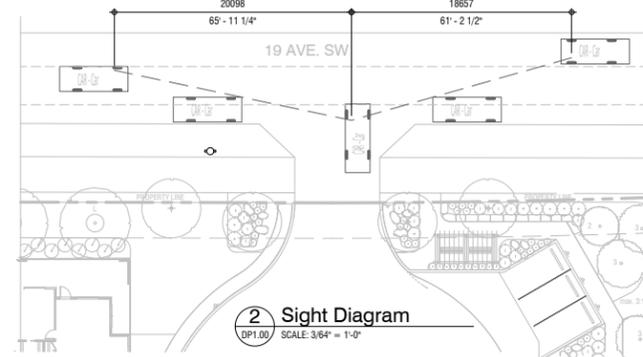
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<p>Prepared for:</p>  <p>COVE PROPERTIES FOUNDATION • STRENGTH • HISTORY</p>		<p>SITE PLAN</p>	<p>2</p>
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<p>Prepared by:</p> 		<p>LANDSCAPE PLAN + PERSPECTIVE</p>	<p>10</p>

SITE PLAN



1 DP - Site Plan
SCALE: 1" = 20'



2 Sight Diagram
SCALE: 3/64" = 1'-0"



Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
3. ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
4. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
5. ALL AREAS NOT INDICATED AS PAVED/HARD SURFACING TO BE GRASSED

Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF PROPOSED CONCRETE ACCESS LANEWAY TO SUPPORT 38,556 KG & TO SUPPORT NFPA 1501 POINT LOAD OF 517 kPa (75 psi) OVER A 2-0x2-0 (4 sq. ft.) AREA
- INDICATES EXTENT AND LOCATION OF EXTENT OF NO PARKING ZONE
- INDICATES EXTENT AND LOCATION OF SIDEWALK. REFER TO LANDSCAPE PLAN
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES RETAINING WALL LOCATION
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF EXISTING FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES LOCATION OF BIKE RACK
- INDICATES "HANDICAP PARKING SYMBOL" POLE MOUNTED SIGNAGE
- INDICATES "LOADING ZONE" POST MOUNTED SIGNAGE
- INDICATES "NO PARKING" POST MOUNTED SIGNAGE
- INDICATES "STOP" POST MOUNTED SIGNAGE
- INDICATES "VISITOR PARKING" POST MOUNTED SIGNAGE
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION

Site Plan - Code Legend

- 1 PROPOSED CONCRETE ACCESS LANEWAY TO SUPPORT 38,556 KG
- 2 PROPOSED CONCRETE SIDEWALK - REFER LANDSCAPE DRAWINGS
- 3 PROPOSED BELOW GRADE GARBAGE CONTAINMENT SYSTEM. REFER TO DETAILS 3 & 4/DP1.01
- 4 FIRE ALARM PANEL LOCATION
- 5 FIRE DEPARTMENT APPROVED LOCKBOX
- 6 PROPOSED PARKADE ACCESS RAMP, HEATED
- 7 PROPOSED RESIDENTIAL BALCONY WITH AT-GRADE ACCESS
- 8 PROPOSED MAIN RESIDENTIAL BUILDING ACCESS
- 9 PROPOSED BUILDING EXIT
- 10 PROPOSED RESIDENTIAL BUILDING LOADING STALL. MINIMUM CLEARANCE AS PER BYLAW. LOADING TO SUPPORT 38,556 KG
- 11 RETAINING WALL. REFER TO CIVIL
- 12 PROPOSED TRANSFORMER LOCATION
- 13 3000mm EXISTING PUBLIC SIDEWALK
- 14 CLASS 2 BICYCLE STALLS - REFER TO LANDSCAPE FOR DETAILS
- 15 PROPOSED PLANTING BED - REFER LANDSCAPE DRAWINGS
- 16 TYPICAL BARRIER-FREE CURB. REFER TO DETAIL 8/DP1.01
- 17 WHEEL STOP. REFER TO DETAIL 5/DP1.01
- 18 TYPICAL CURB. REFER TO DETAIL 6/DP1.01
- 19 CONCRETE SWALE. DESIGNED & CONSTRUCTURED BY OTHERS
- 20 PROPOSED PARKADE EXHAUST
- 21 PROPOSED PARKADE INTAKE - REFER TO ELEVATIONS
- 22 PROPOSED SIAMESE LOCATION
- 23 ROLLED CURB - REFER TO 10/DP1.01 - AS PER CITY OF CALGARY STANDARDS
- 24 GAS METER LOCATION

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.
Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.
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REVISION	DATE
1 D.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021

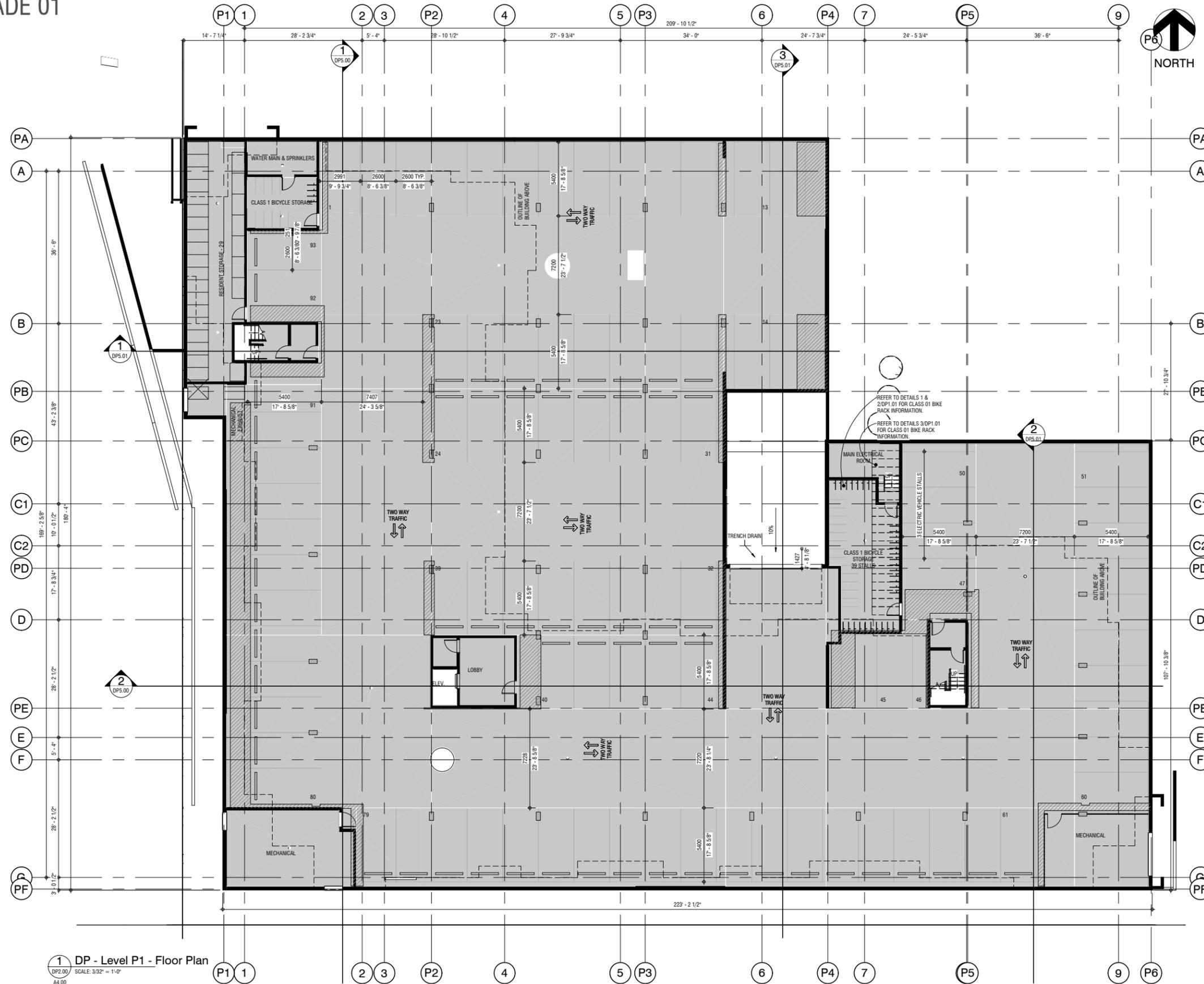
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DRAWN BY Author
CHECKED BY Checker

DRAWING NO.

DP1.00

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FLOOR PLANS - PARKADE 01



1 DP - Level P1 - Floor Plan
DP2.00 SCALE: 3/32" = 1'-0"
A4.00



PARKADE LEVEL P01
85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
219193

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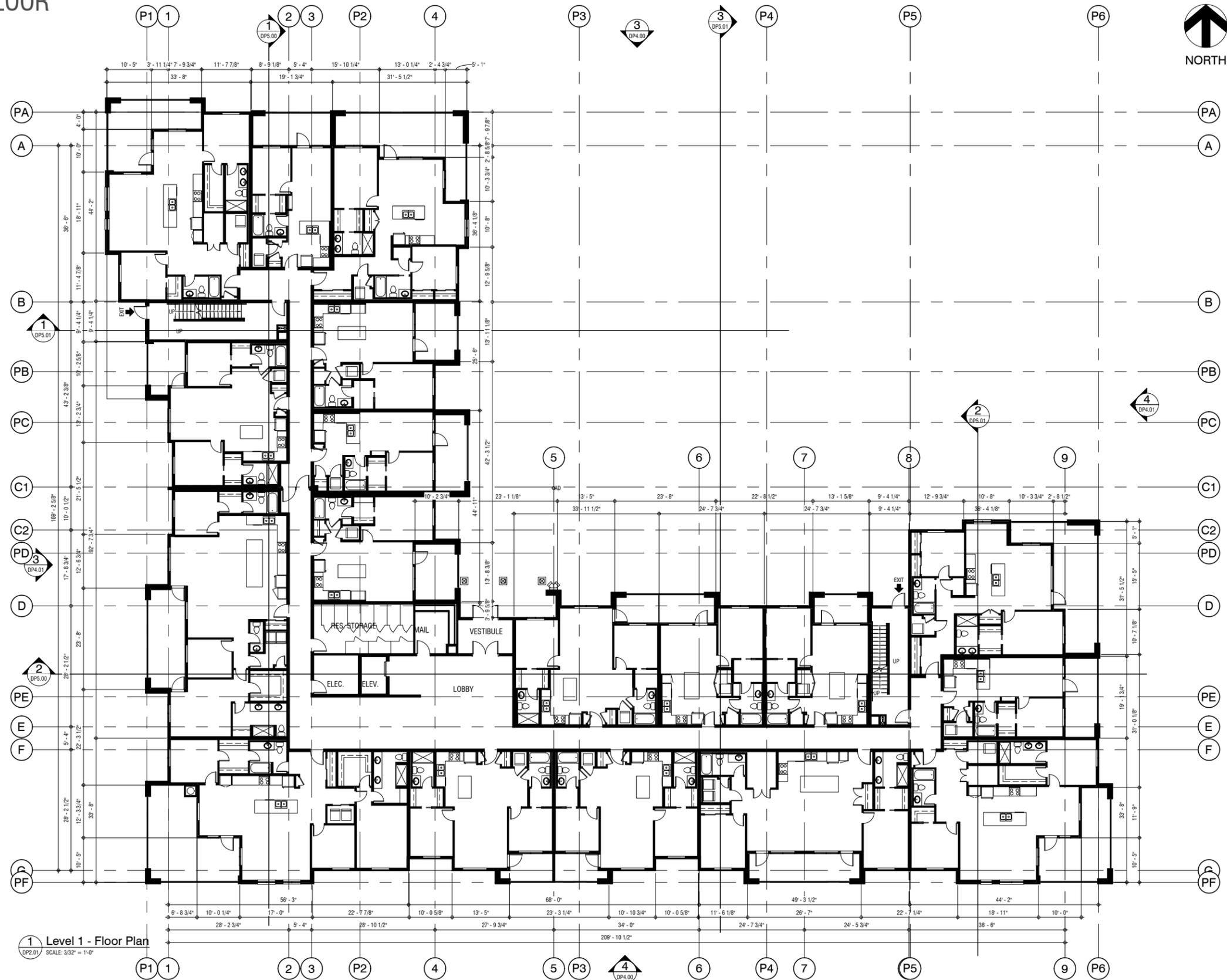
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2 DTR1	05.07.2021
3 DTR2	06.25.2021

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DRAWING NO.
DP2.00

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FLOOR PLANS - MAIN FLOOR



1 Level 1 - Floor Plan
SCALE: 3/32" = 1'-0"



FLOOR PLAN - LEVEL 1
85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/03

NOT FOR CONSTRUCTION

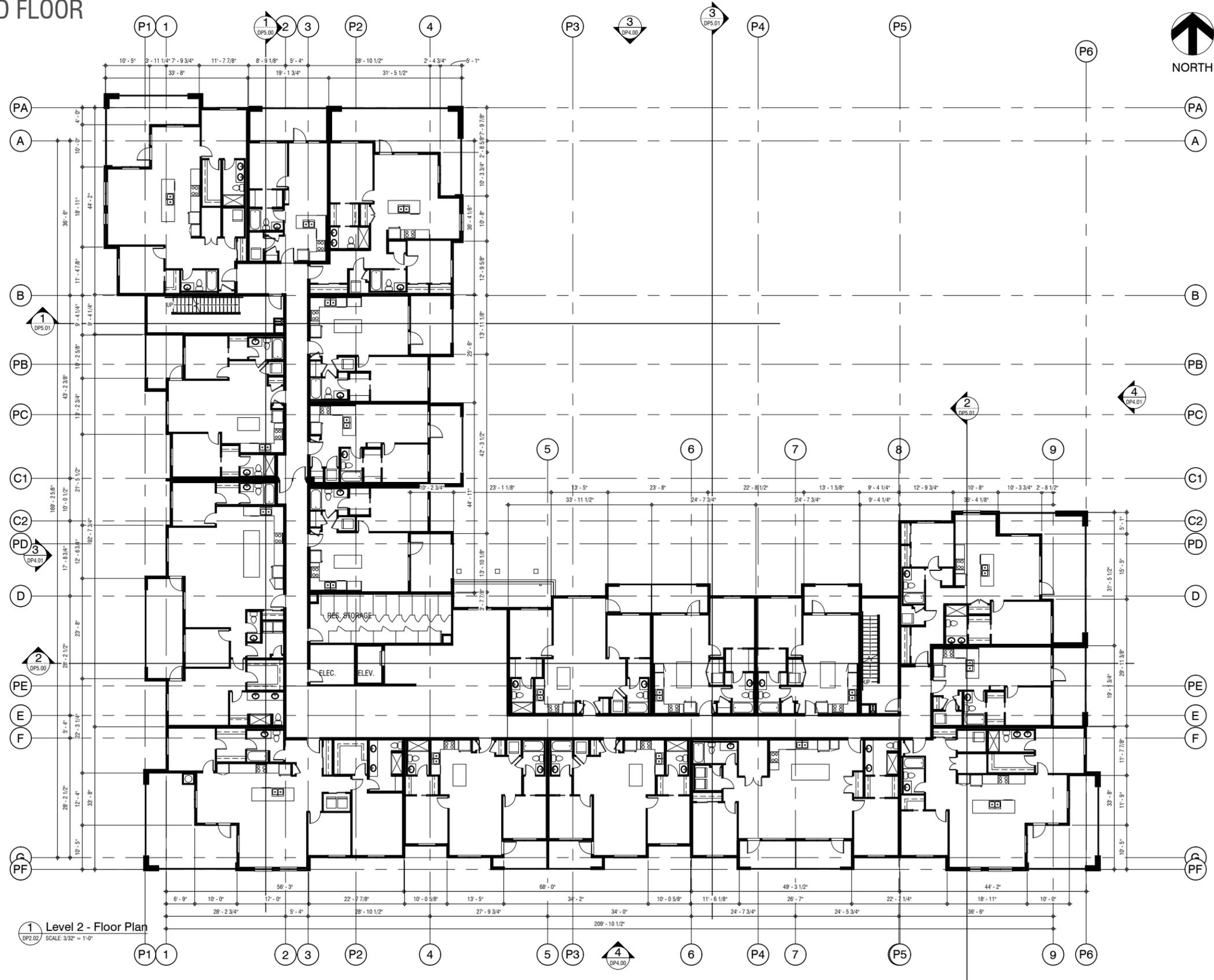
This drawing supersedes previous issues. Do not scale these drawings.
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DATE 6/25/2021 10:08:44 AM
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DRAWING NO. **DP2.01**

FLOOR PLANS - SECOND FLOOR



1 Level 2 - Floor Plan
SCALE: 3/32" = 1'-0"



FLOOR PLAN - LEVEL 2
85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
219193

NOT FOR CONSTRUCTION

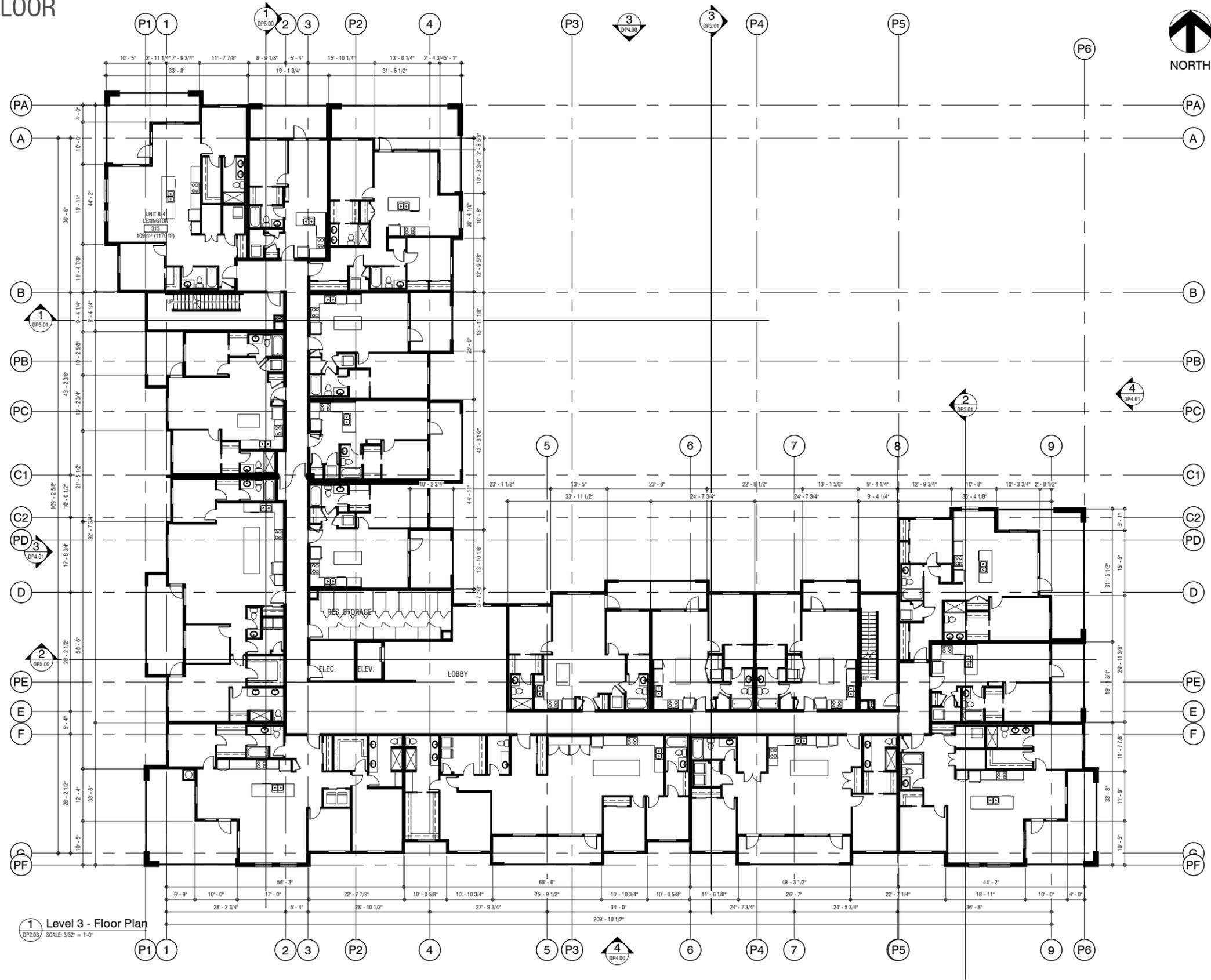
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SCALE 3/32" = 1'-0"
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DRAWING NO. **DP2.02**

FLOOR PLANS - THIRD FLOOR



1 Level 3 - Floor Plan
DP2.03 SCALE: 3/32" = 1'-0"



Suite 500, 1110 - 12th Avenue SW
Calgary, AB, Canada T2R 0Z7
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FLOOR PLAN - LEVEL 3

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/9/09

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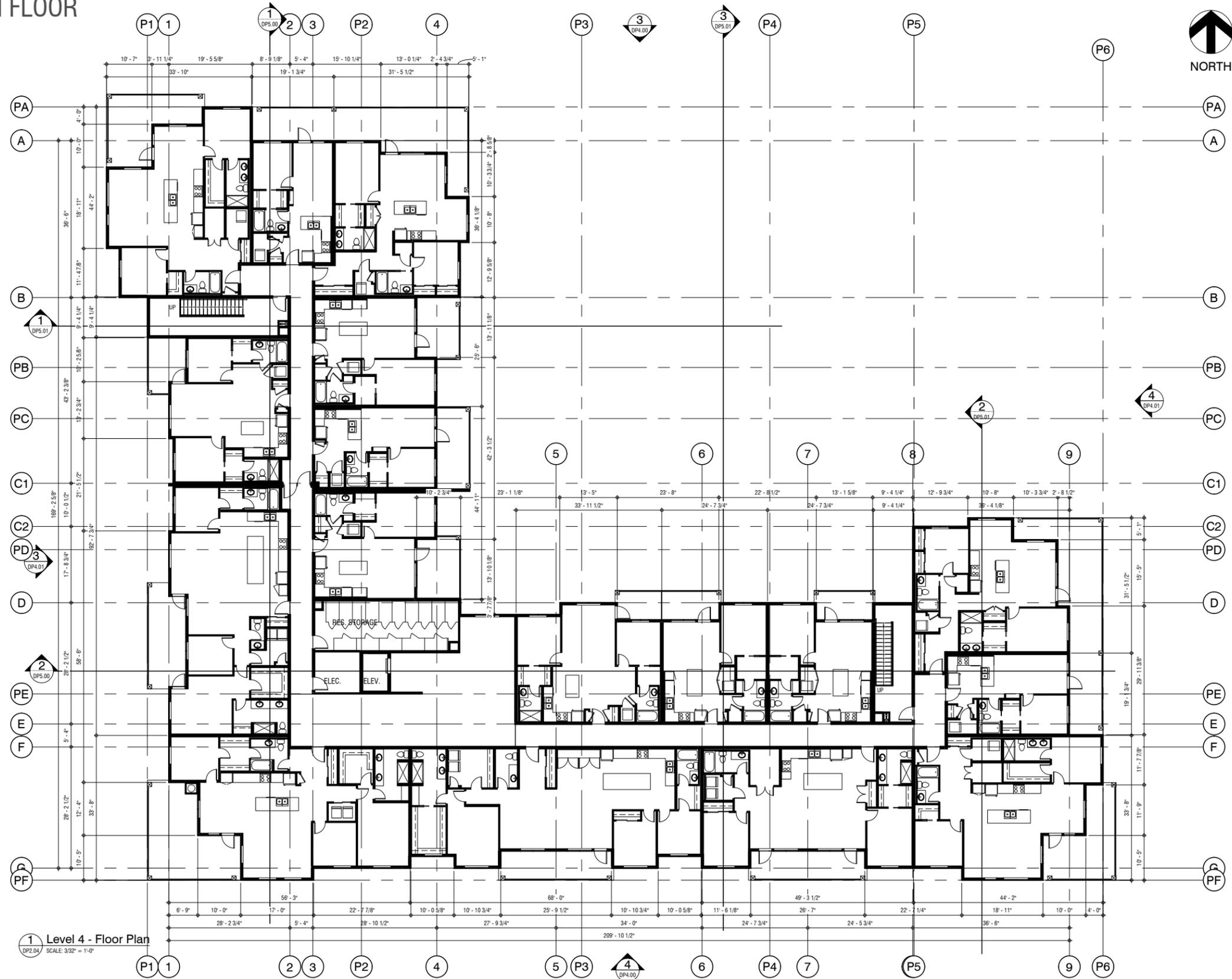
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3 DTR2	06.25.2021

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DRAWING NO.
DP2.03

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FLOOR PLANS - FOURTH FLOOR



1 Level 4 - Floor Plan
DP2.04 SCALE: 3/32" = 1'-0"



FLOOR PLAN - LEVEL 4
85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/9/93

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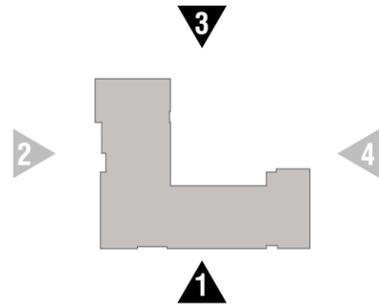
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DP2.04

ELEVATIONS

KEY PLAN



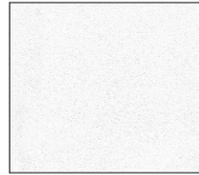
LEGEND



Masonry Stone Veneer



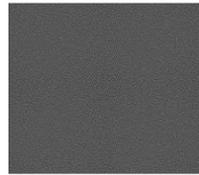
Lux Panel - Fir Wood Tone



Acrylic Stucco - White



Acrylic Stucco - Warm Grey



Acrylic Stucco - Charcoal



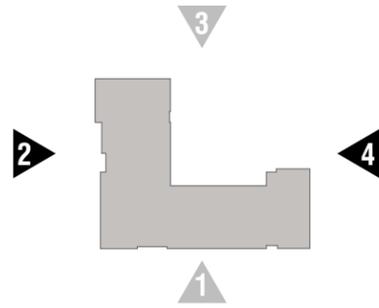
1 NORTH (ALONG 19TH AVENUE SW)



3 SOUTH

ELEVATIONS

KEY PLAN



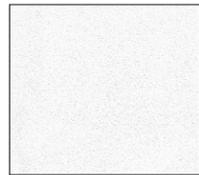
LEGEND



Masonry Stone Veneer



Lux Panel - Fir Wood Tone



Acrylic Stucco - White



Acrylic Stucco - Warm Grey



Acrylic Stucco - Charcoal

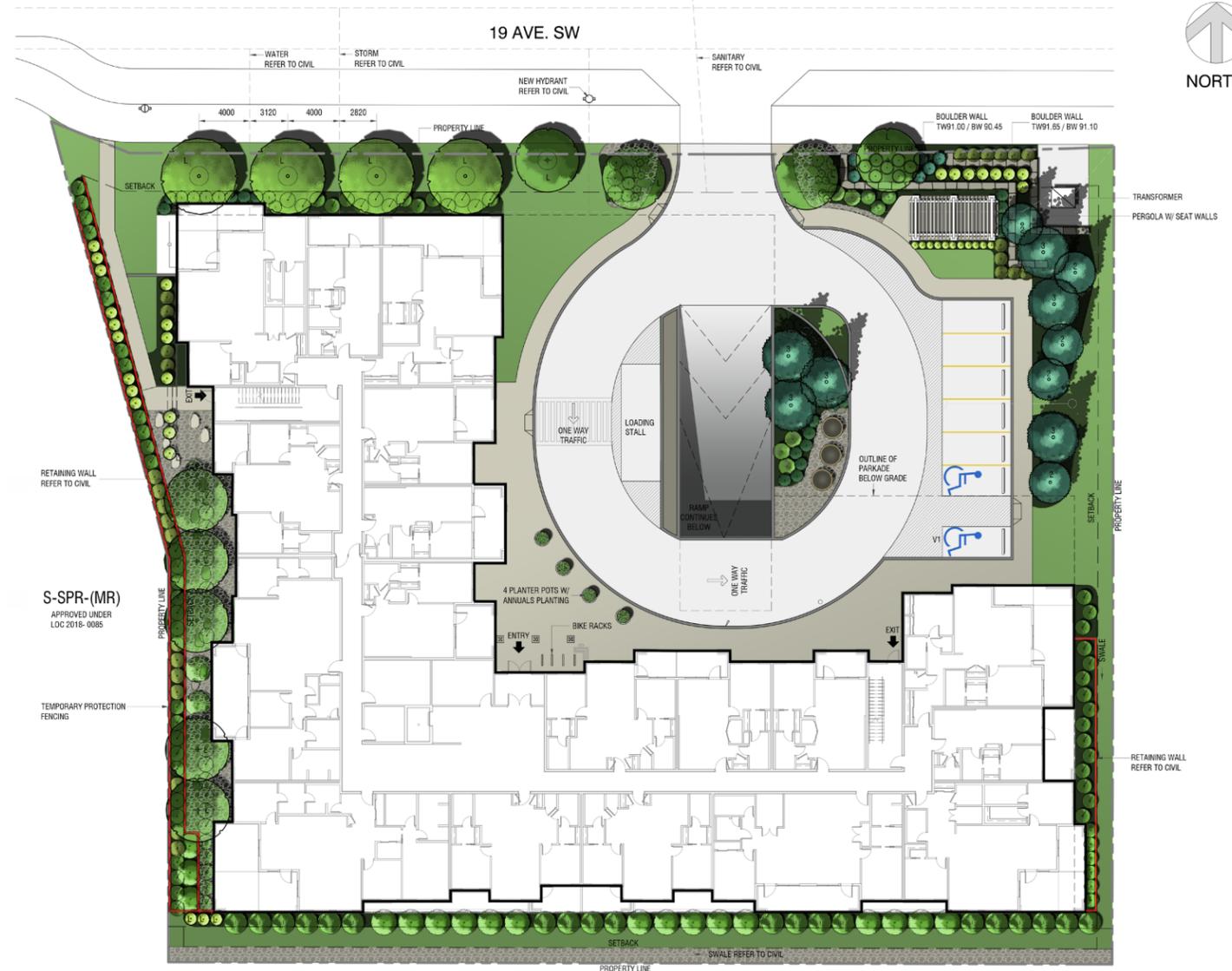


4 EAST



2 WEST

LANDSCAPE + PERSPECTIVE



1 DP - Landscape Plan
DPL1.00 SCALE: 1:200

LEGAL DESCRIPTION	MUNICIPAL ADDRESS	TREE LEGEND	SHRUB + ORNAMENTAL GRASS LEGEND	GENERAL NOTES											
PLAN 2747HB BLOCK 30	2027 - 81ST ST SW	<p>30% TREES FROM LOW WATER LIST = 13 TREES (11 BLUE SPRUCE / 4 MAYDAY = 15 TOTAL)</p> <ul style="list-style-type: none"> 6 QTY - 3M HT. COLORADO BLUE SPRUCE (LOW WATER) 5 QTY - 2M HT. COLORADO BLUE SPRUCE (LOW WATER) 4 QTY - MAYDAY (LOW WATER) 27 QTY - SWEDISH COLUMNAR ASPEN 9 QTY - HOT WINGS MAPLE 	<p>30% SHRUBS FROM LOW WATER LIST = 25 SHRUBS REQUIRED (5 SNOWBERRY / 5 MUGHO / 75 URAL FALSE SPIREA / 48 LILAC = 131 TOTAL PROVIDED)</p> <p>ALL SHRUBS TO BE MINIMUM 800MM HEIGHT OR SPREAD</p> <ul style="list-style-type: none"> SIBERIAN DOGWOOD (24 QTY) URAL FALSE SPIREA (75 QTY) SNOWBERRY (5 QTY) PRICKLY ROSE (3 QTY) DWARF KOREAN LILAC (28 QTY) MUGHO PINE (5 QTY) KARL FOERSTER FEATHER REED GRASS (26 QTY) PRESTON LILAC (20 QTY) GREEN SPIRES PEASHRUB (20 QTY) SKANDIA JUNIPER (13 QTY) 	<p>GENERAL NOTES</p> <ul style="list-style-type: none"> ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK ALL PLANTING BEDS TO BE LOCATED WITH MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. DRIP IRRIGATION TO BE USED FOR TREES AND PLANTING BEDS AND A ROTARY SYSTEM FOR ALL TURF AREAS <p>LANDSCAPE SURFACING</p> <ul style="list-style-type: none"> 800 CHARCOAL COLOURED CONCRETE PAVING WITH TOOLED CALIFORNIA JOINTS & BROOM FINISH CHARCOAL ROCK MULCH RUNDLE ROCK DECORATIVE BOULDERS DECORATIVE BOULDER WALL RETAINING WALL - REFER TO CIVIL 											
<p>PROJECT DATA/SITE BUILDING DATA</p> <p>PROPOSED USE: MULTI-RESIDENTIAL - MEDIUM PROFILE (M26 - 210) DISTRICT</p> <p>SITE AREA: 4889.00 m²</p> <p>LANDSCAPE PLANTING REQUIREMENTS</p> <p>TOTAL LANDSCAPE AREA REQUIRED = 40% OF TOTAL SITE 1948.00 m²</p> <p>TOTAL LANDSCAPE AREA PROVIDED = 39.3% OF TOTAL SITE 1916.00 m²</p> <p>556 LANDSCAPE REDUCTION (7%) = 37% OF TOTAL SITE 1886.56 m²</p> <p>LANDSCAPE PLANTING REQUIREMENTS</p> <p>TOTAL TREES REQUIRED (1145m² OF TOTAL LANDSCAPE AREA BASED ON 37% OF LANDSCAPE AREA)</p> <p>TOTAL TREES PROVIDED</p> <table border="1"> <tr><td>DECIDUOUS TOTAL (75%)</td><td>31</td></tr> <tr><td>DECIDUOUS @ 75mm CALIPER (LARGE)</td><td>16</td></tr> <tr><td>DECIDUOUS @ 50mm CALIPER</td><td>15</td></tr> <tr><td>CONIFEROUS TOTAL (25%)</td><td>11</td></tr> <tr><td>CONIFEROUS @ 3000mm HEIGHT (LARGE)</td><td>6</td></tr> <tr><td>CONIFEROUS @ 2000mm HEIGHT</td><td>5</td></tr> </table> <p>TOTAL SHRUBS REQUIRED 84</p> <p>TOTAL SHRUBS PROVIDED 217</p>	DECIDUOUS TOTAL (75%)	31	DECIDUOUS @ 75mm CALIPER (LARGE)	16	DECIDUOUS @ 50mm CALIPER	15	CONIFEROUS TOTAL (25%)	11	CONIFEROUS @ 3000mm HEIGHT (LARGE)	6	CONIFEROUS @ 2000mm HEIGHT	5			
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CONIFEROUS @ 2000mm HEIGHT	5														



GAZEBO LOOK TO BE SIMILAR TO IMAGES ABOVE