



ASPEN

DTR3 - 07.22.2021

Design Team

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COVER SHEET

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/23

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1 D.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021
4 DTR3	07.22.2021

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SITE STATISTICS

(at Aspen)
85th & PARK
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/93

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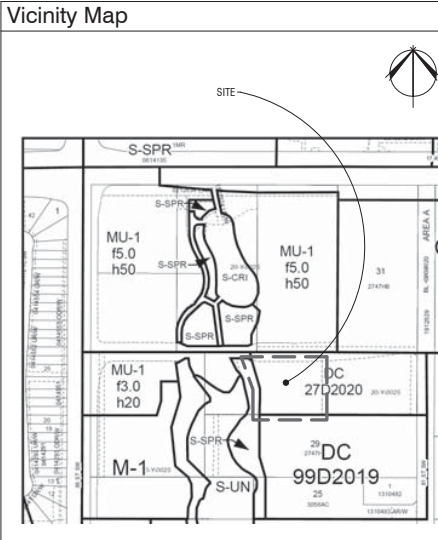
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Municipal Address

8355 19 AVE SW
CALGARY, ALBERTA

Legal Address

PLAN 2747HB, BLOCK 30

Site Summary

PARCEL AREA:
4.889 SM
1.208 ACRES
0.489 HA

By-Law Zoning

DIRECT CONTROL 27D2020
UNDER MULTI-RESIDENTIAL - MEDIUM PROFILE (M-2) DISTRICT

Building Height

MAXIMUM BUILDING HEIGHT: 20.0 METRES,
16.0 METRES WITHIN 5.0 METERS OF PROPERTY LINE
PROPOSED HEIGHT: +/- 19.8 METRES IN HIGHEST SPOT

Floor Area Ratio

MAXIMUM PERMITTED F.A.R.	PROPOSED F.A.R. (4 STOREYS)
3.0 = ±14,610 m2	1.54 = ±7,509 m2

Density

DENSITY (UNITS PER HECTARE)		
MIN. PERMITTED	MAX. PERMITTED	PROPOSED
60 uph	210uph	143 uph

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA		
Level	BUILDING	AREA
Level 1		1881 m²
Level 2		1881 m²
Level 3		1880 m²
Level 4		1880 m²
TOTAL		7522 m²

Dwelling Unit Count

UNIT SUMMARY			
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY
MIDTOWN	1	± 647 sf	8
CHELSEA	1	± 675 sf	8
TRIBECA	1	± 556 sf	12
GRAMERCY	2	± 896 sf	12
PARK	2	± 1050 sf	8
LEXINGTON	2	± 1248 sf	8
MANHATTAN	1	± 1504 sf	4
ROCKEFELLER	2	± 1771 sf	2
BROADWAY	2	± 1293 sf	4
LIBERTY	2	± 1553 sf	4
TOTAL			70

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNIT (AREA > 60 SM)	42	1.25 STALLS PER UNIT	53	-
DWELLING UNIT (AREA < 60 SM)	28	1 STALL PER UNIT	28	
TOTAL RESIDENTIAL STALLS			81	93

RESIDENTIAL - VISITOR PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNIT	70	0.15 STALL PER UNIT	11	
TOTAL VISITOR STALLS			11	7
TOTAL SITE PARKING STALLS			92	100

Bicycle Parking Requirements

RESIDENTIAL - CLASS 1 PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNIT	70	0.5 STALLS PER UNIT	35	39

RESIDENTIAL - CLASS 2 PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNIT	70	0.1 STALL PER UNIT	7	8

Waste & Recycling Requirements

RESIDENTIAL - WASTE & RECYCLING			
BUILDINGS: 1	DESCRIPTION	QUANTITY	WASTE PRODUCED (3 yd³)
	DWELLING...	70	70 @ 0.3 yd³ = 21 yd³
			WASTE + RECYCLING: 3 BINS x 6.5 yd³ (PER BIN*) = 19.5 yd³
			COMPOST CoC BINS: 2 BIN X 0.3yd³ (PER BIN*) = 0.6yd³
			TOTAL = 20.1 yd³

*BINS ARE A BELOW-GRADE CONTAINMENT SYSTEM, PRIVATE PICK-UP.



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SURVEY PLAN

(at Aspen)
85th & PARK
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
219193

85th & PARK

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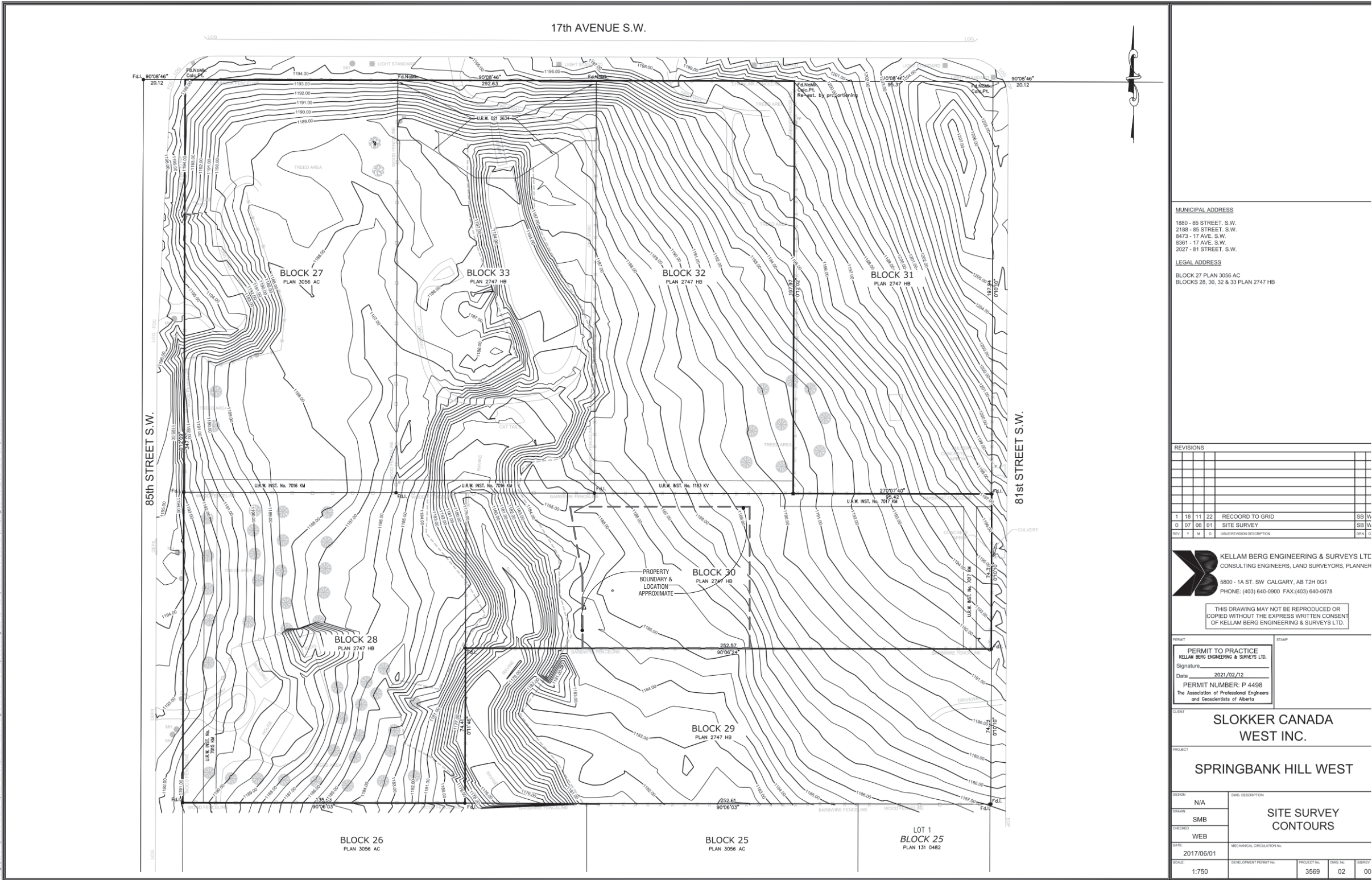
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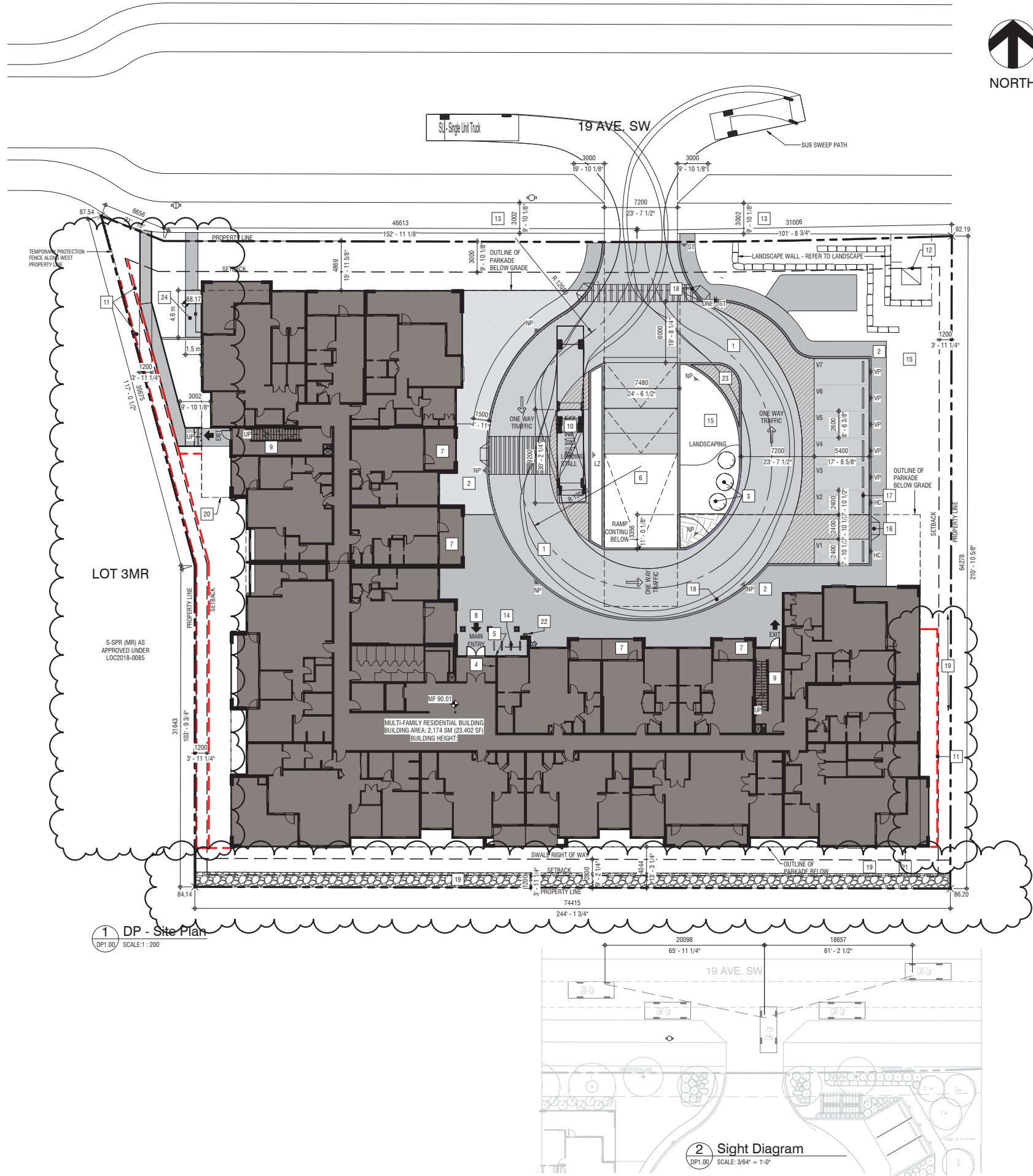
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Site Plan - General Notes


1. REFER TO SITE SERVING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
3. ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
4. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
5. ALL AREAS NOT INDICATED AS PAVED/HARD SURFACING TO BE GRASSED

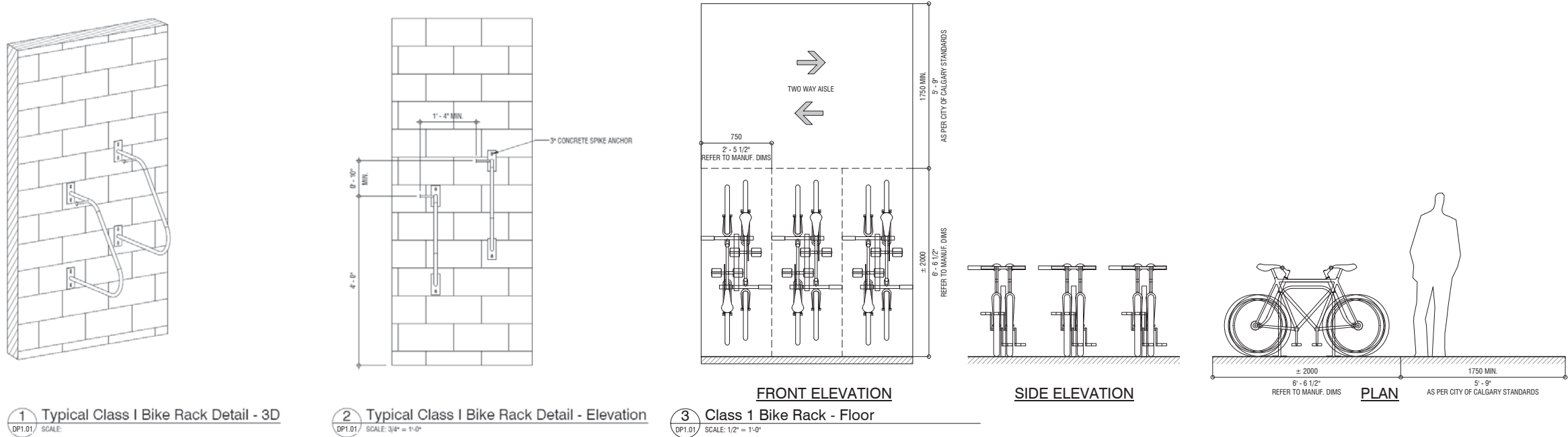
Site Plan - Symbol Legend

	INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
	INDICATES EXTENT AND LOCATION OF PROPOSED CONCRETE ACCESS LANEWAY TO SUPPORT 38,556 KG & TO SUPPORT NFPA 1901 PANT LOAD OF 517 kPa (75 psi) OVER A 2-0x2-0 (4 sq. ft.) AREA
	INDICATES EXTENT AND LOCATION OF EXTENT OF NO PARKING ZONE
	INDICATES EXTENT AND LOCATION OF SIDEWALK. REFER TO LANDSCAPE PLAN
	INDICATES EXTENT AND LOCATION OF CHARCOAL ROCK MULCH SWALE - REFER TO CIVIL
	INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
	INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
	INDICATES RETAINING WALL LOCATION
	INDICATES LOCATION OF PROPOSED FIRE HYDRANT
	INDICATES LOCATION OF EXISTING FIRE HYDRANT
	INDICATES LOCATION OF BUILDING SIAMENSE CONNECTION
	INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
	INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
	INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
	INDICATES PARKING LINE PAINTED ON ASPHALT
	INDICATES LOCATION OF BIKE RACK
	INDICATES "HANDICAP PARKING SYMBOL" POLE MOUNTED SIGNAGE
	INDICATES "LOADING ZONE" POST MOUNTED SIGNAGE
	INDICATES "NO PARKING" POST MOUNTED SIGNAGE
	INDICATES "STOP" POST MOUNTED SIGNAGE
	INDICATES "VISITOR PARKING" POST MOUNTED SIGNAGE
	INDICATES EXISTING GEODETIC SPOT ELEVATION
	INDICATES PROPOSED GEODETIC SPOT ELEVATION

Site Plan - Code Legend

1	PROPOSED CONCRETE ACCESS LANEWAY TO SUPPORT 38,556 KG
2	PROPOSED CONCRETE SIDEWALK - REFER LANDSCAPE DRAWINGS
3	PROPOSED BELOW GRADE GARBAGE CONTAINMENT SYSTEM. REFER TO DETAILS 3 & 4/DPI.01
4	FIRE ALARM PANEL LOCATION
5	FIRE DEPARTMENT APPROVED LOCKBOX
6	PROPOSED PARKADE ACCESS RAMP, HEATED
7	PROPOSED RESIDENTIAL BALCONY WITH AT-GRADE ACCESS
8	PROPOSED MAIN RESIDENTIAL BUILDING ACCESS
9	PROPOSED BUILDING EXIT
10	PROPOSED RESIDENTIAL BUILDING LOADING STALL. MINIMUM CLEARANCE AS PER BYLAW. LOADING TO SUPPORT 38,556 KG
11	RETAINING WALL. REFER TO CIVIL
12	PROPOSED TRANSFORMER LOCATION
13	3000mm EXISTING PUBLIC SIDEWALK
14	CLASS 2 BICYCLE STALLS - REFER TO LANDSCAPE FOR DETAILS
15	PROPOSED PLANTING BED - REFER LANDSCAPE DRAWINGS
16	TYPICAL BARRIER-FREE CURB. REFER TO DETAIL 8/DPI.01
17	WHEEL STOP. REFER TO DETAIL 5/DPI.01
18	TYPICAL CURB. REFER TO DETAIL 6/DPI.01
19	CHARCOAL ROCK MULCH SWALE - REFER TO CIVIL
20	PROPOSED PARKADE EXHAUST
21	PROPOSED PARKADE INTAKE - REFER TO ELEVATIONS
22	PROPOSED CURBSE LOCATION
23	ROLLED CURB - REFER TO 10/DPI.01 - AS PER CITY OF CALGARY STANDARDS
24	GAS METER LOCATION

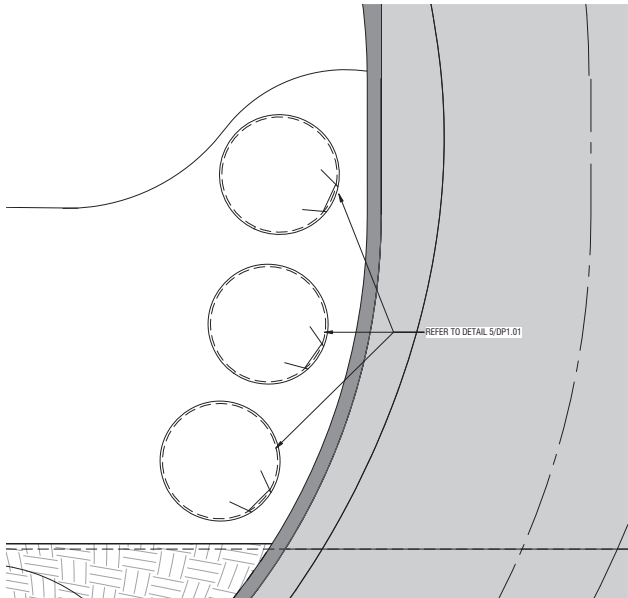
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<div><div>SITE PLAN</div><div><div>85th & PARK (at Aspen)</div><div>8355 19 AVE SW, CALGARY, ALBERTA</div><div>COVE PROPERTIES</div><div>219193</div></div></div>	
<div><div>NOT FOR CONSTRUCTION</div><p>This drawing supersedes previous issues. Do not scale these drawings.</p><p>Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of steel for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.</p><p>All drawings remain the property of the Architect. These drawings are Copyright 2021, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.</p></div>	
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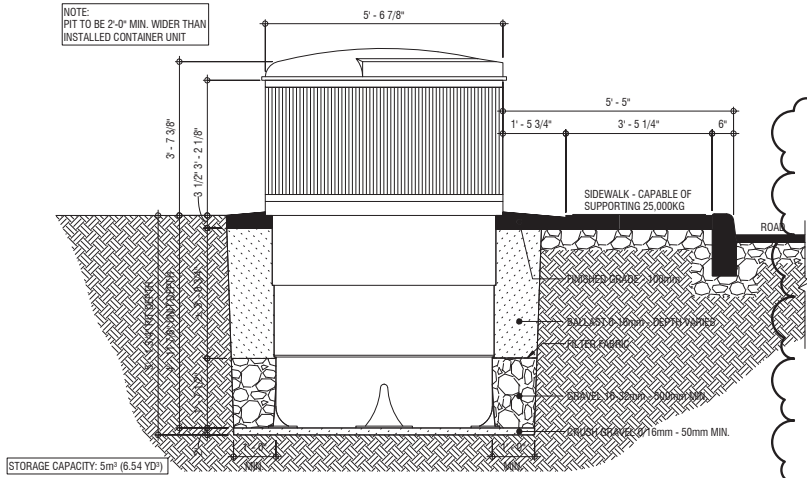
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DP1.01 SCALE:

2 Typical Class I Bike Rack Detail - Elevation
DP1.01 SCALE: 3/4\" = 1'-0"

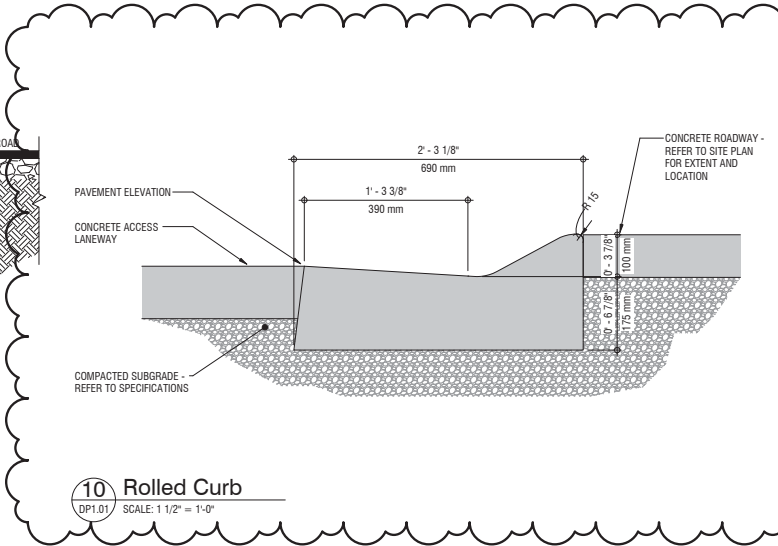
3 Class 1 Bike Rack - Floor
DP1.01 SCALE: 1/2\" = 1'-0"



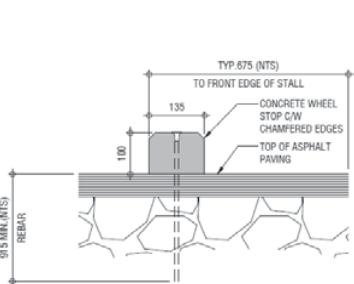
4 Waste & Recycling - Moloks
DP1.01 SCALE: 1/4\" = 1'-0"



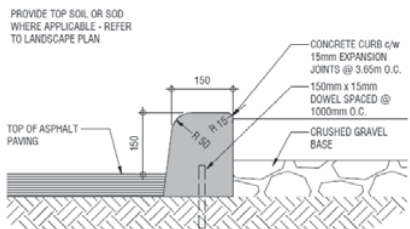
5 6.5 Cubic Yard Molok Bin Detail
DP1.01 SCALE: 1/2\" = 1'-0"



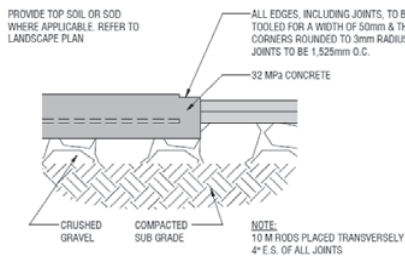
10 Rolled Curb
DP1.01 SCALE: 1 1/2\" = 1'-0"



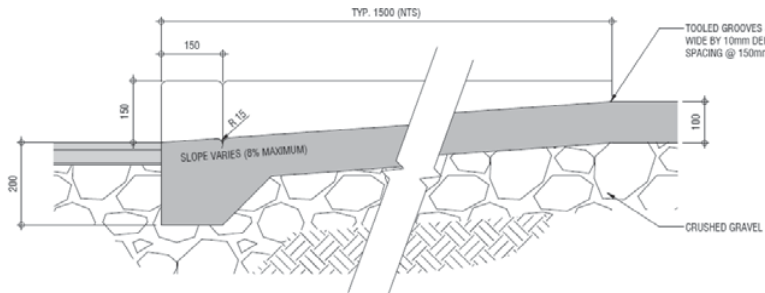
6 Typical Wheel Stop Detail
DP1.01 SCALE: 1 1/2\" = 1'-0"



7 Typical Pinned Curb Detail
DP1.01 SCALE: 1 1/2\" = 1'-0"



8 Typical Sidewalk Detail
DP1.01 SCALE: 1 1/2\" = 1'-0"



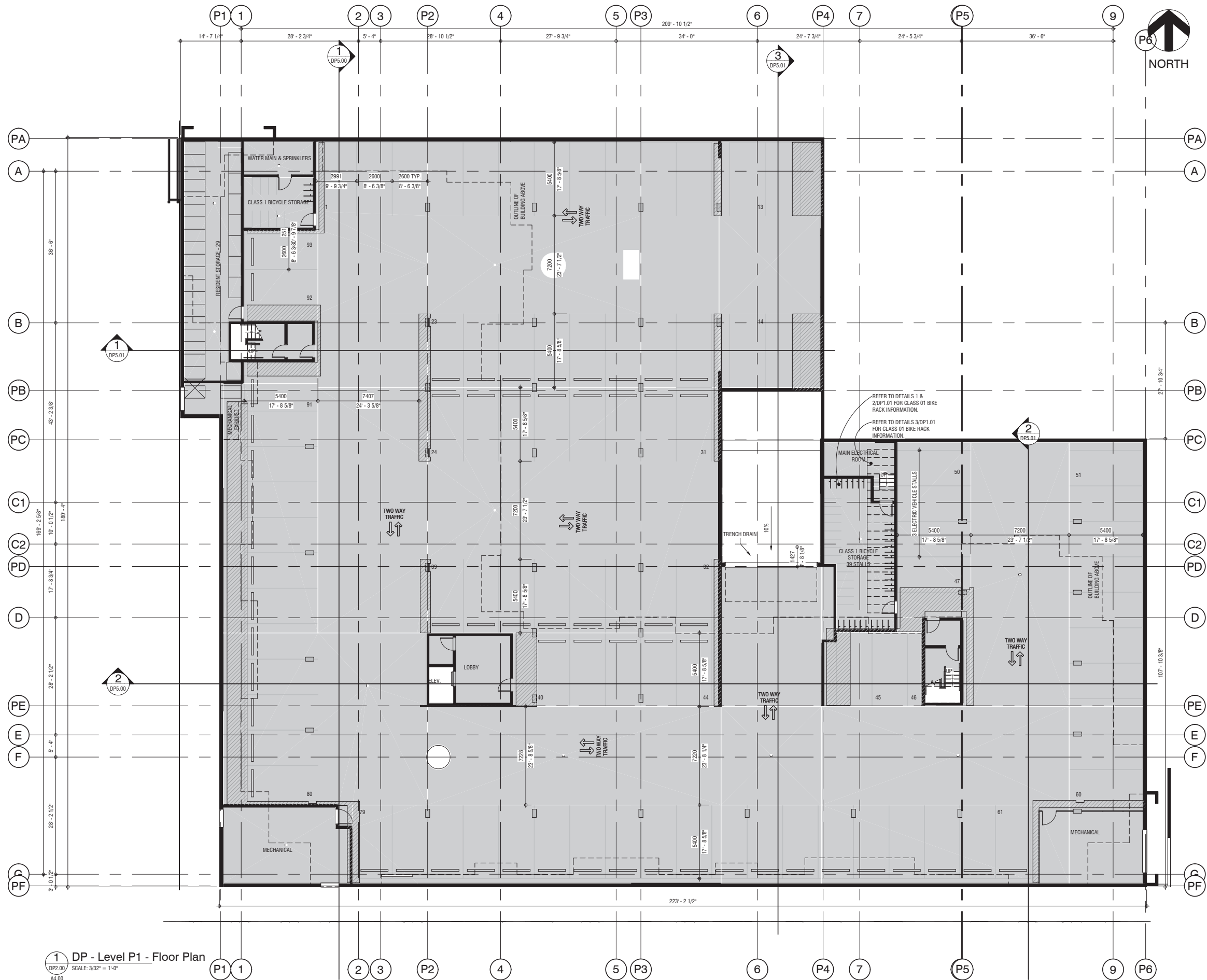
9 Typical Barrier-Free Curb Detail
DP1.01 SCALE: 1 1/2\" = 1'-0"



SITE DETAILS

85th & PARK
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1 DP - Level P1 - Floor Plan
DP2.00 SCALE: 3/32" = 1'-0"
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PARKADE LEVEL P01

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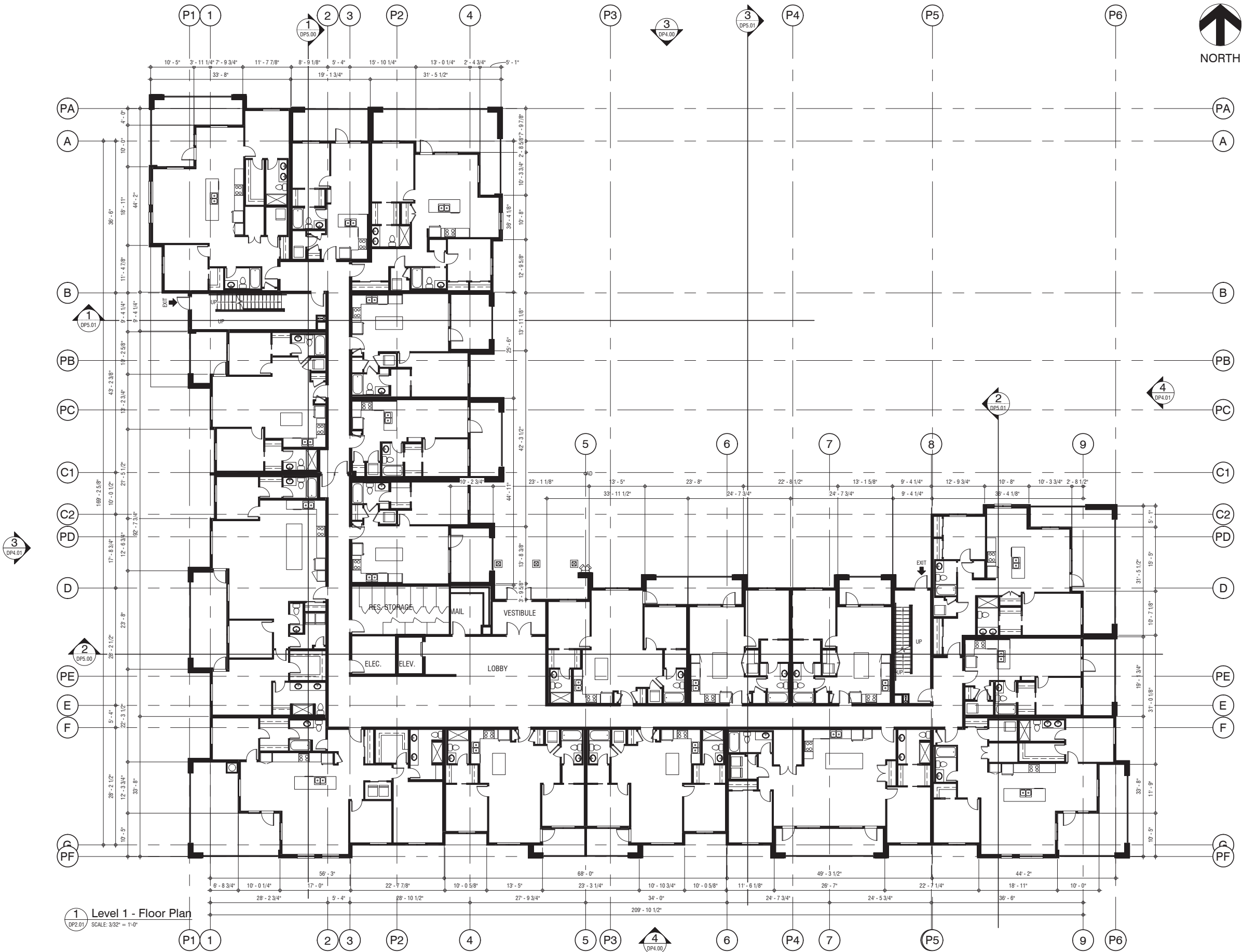
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FLOOR PLAN - LEVEL 1

85th & PARK
(at Aspen)

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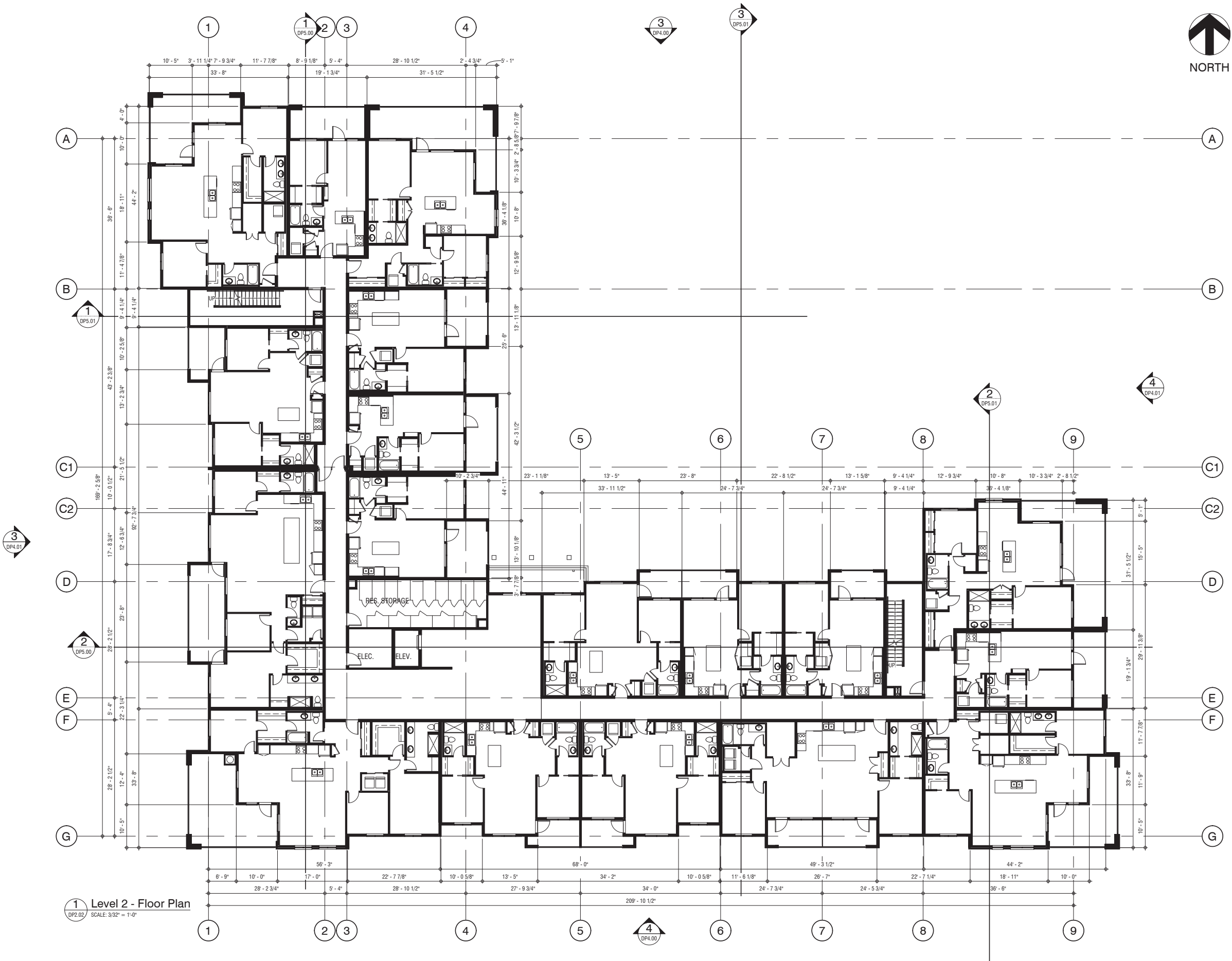
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FLOOR PLAN - LEVEL 2

85th & PARK
(at Aspen)

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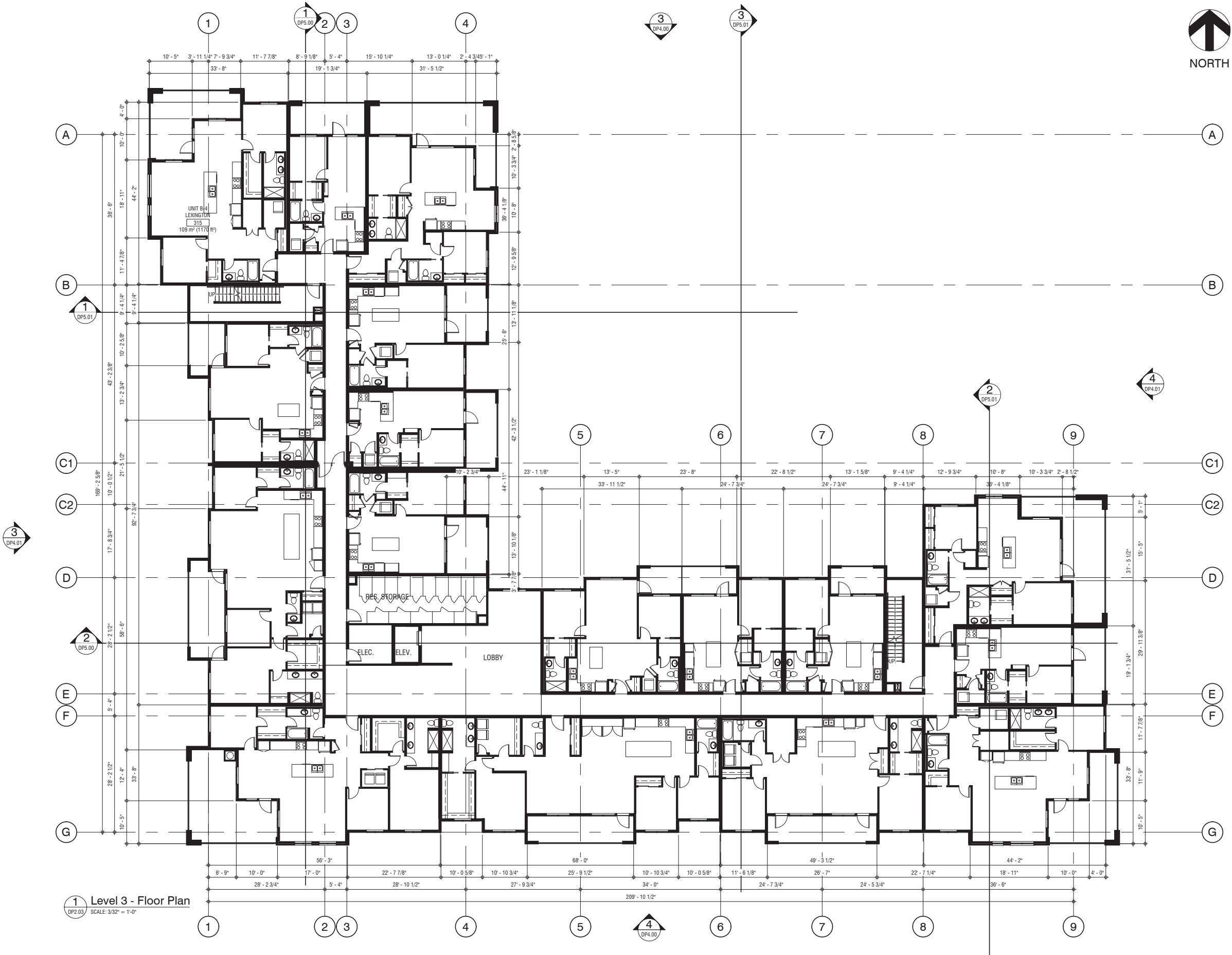
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FLOOR PLAN - LEVEL 3

(at Aspen)

85th & PARK

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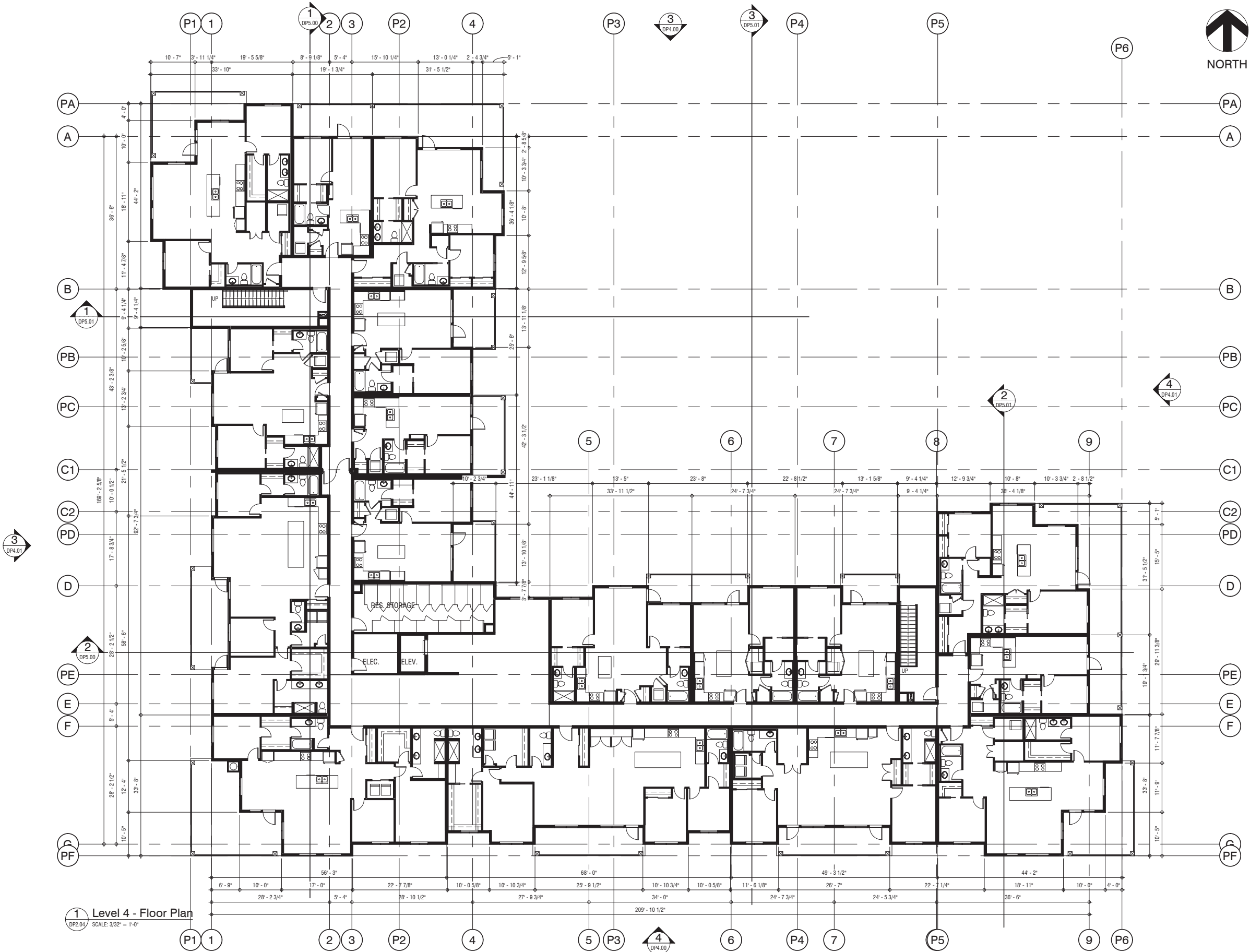
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FLOOR PLAN - ROOF

85th & PARK
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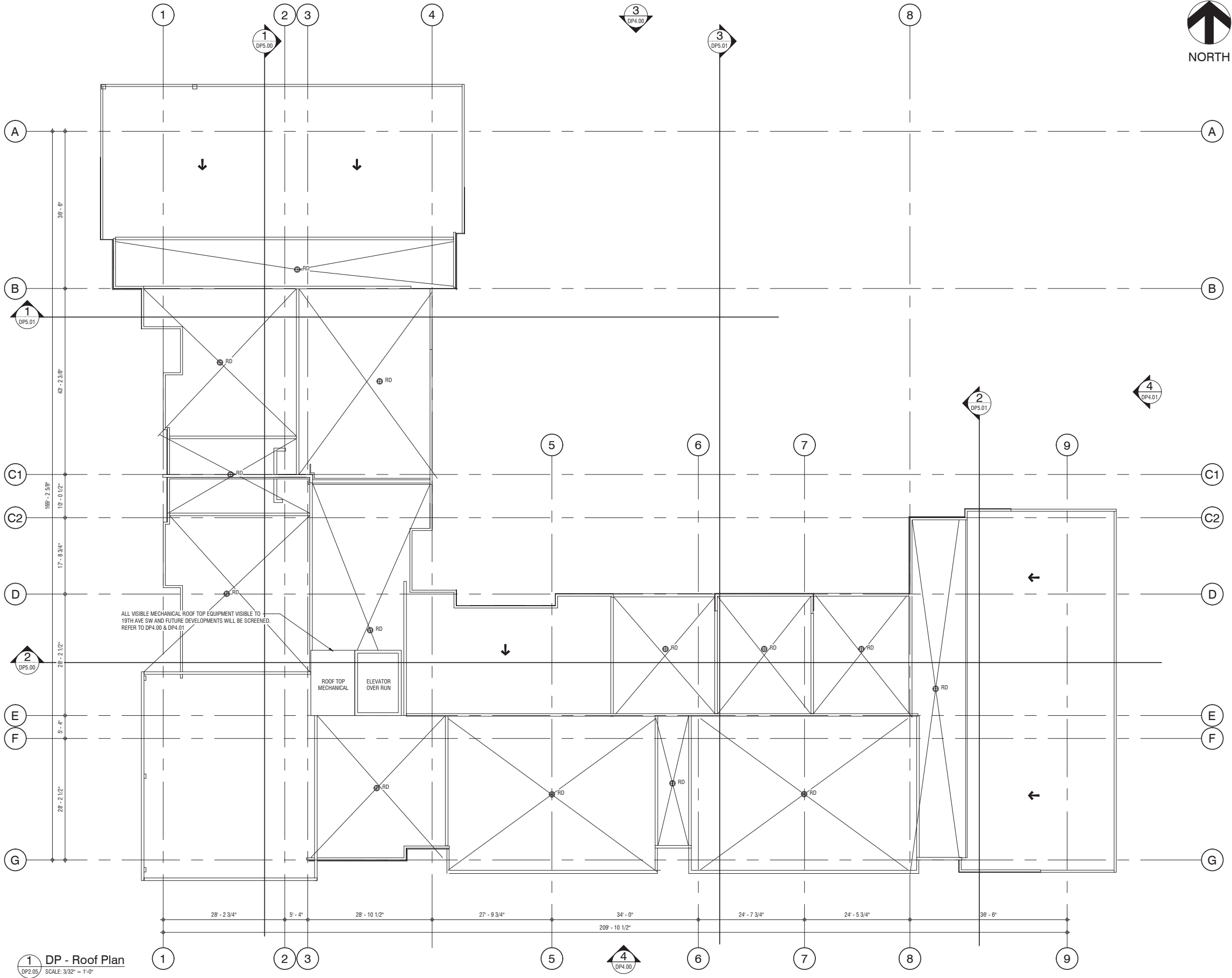
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Elevation - General Notes

1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Code Legend

- | | |
|----|--|
| 1 | MASONRY STONE VENEER |
| 2 | LUX PANEL - COLOUR: WOOD TONE |
| 3 | EXTERIOR INSULATION FINISHING SYSTEM - COLOUR: CHARCOAL |
| 4 | EXTERIOR INSULATION FINISHING SYSTEM - COLOUR: WHITE |
| 5 | METAL FASCIA - COLOUR: CHARCOAL |
| 6 | EXTERIOR INSULATION FINISHING SYSTEM TRIM & SILL - COLOUR: CHARCOAL |
| 7 | CLAD POST AND BEAM - WOOD TONE TO MATCH #2 |
| 8 | EXTERIOR INSULATION FINISHING SYSTEM - TO MATCH MASONRY STONE VENEER |
| 9 | RESIDENTIAL CLEAR GLAZING SYSTEM - CHARCOAL FRAME |
| 10 | ALUMINUM FRAMED CLEAR GLASS GUARDRAIL |
| 11 | DOOR TYPE 01 - ALUMINUM FRAMED GLAZED DOOR |
| 12 | DOOR TYPE 02 - ALUMINUM FRAMED WITH CLEAR GLAZING MAIN ENTRANCE DOOR |
| 13 | DOOR TYPE 03 - PRE FINISHED METAL |
| 14 | CONCRETE STEPS |
| 15 | MECHANICAL ROOFTOP SCREENING - EXTERIOR INSULATION FINISHING SYSTEM TRIM & SILL - COLOUR: CHARCOAL |
| 16 | MECHANICAL LOUVER |
| 17 | GUARDRAIL |
| 18 | RETAINING WALL |



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ELEVATIONS

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COVE PROPERTIES
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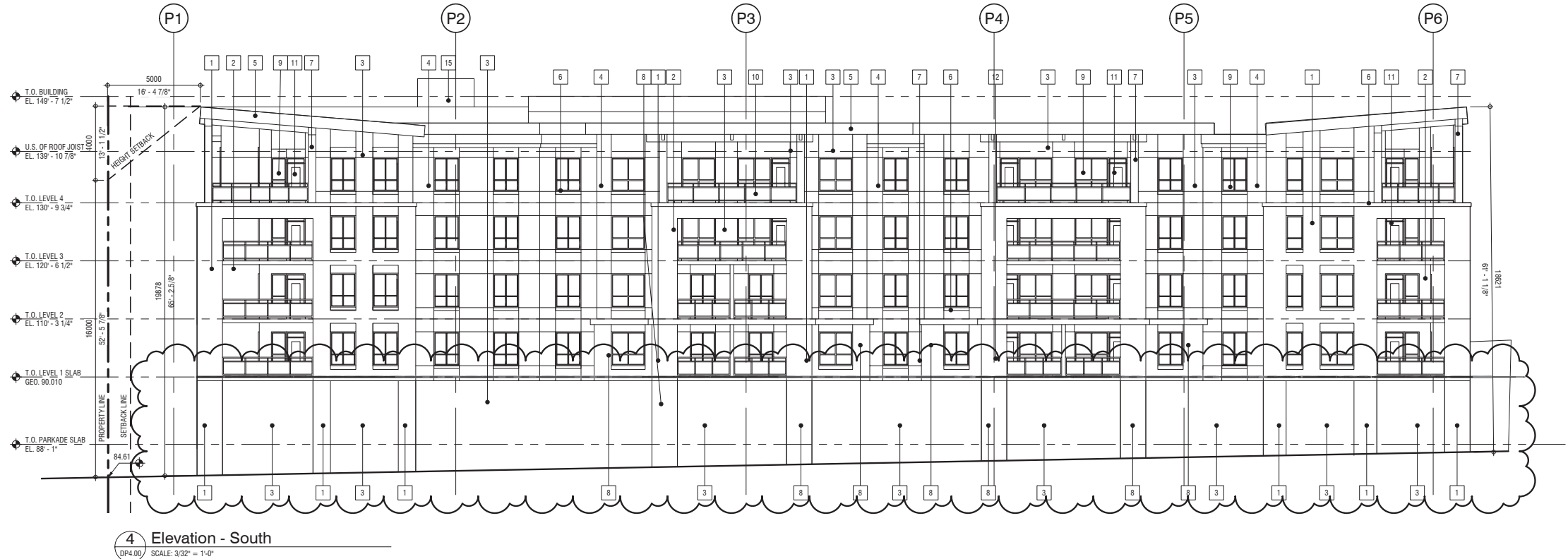
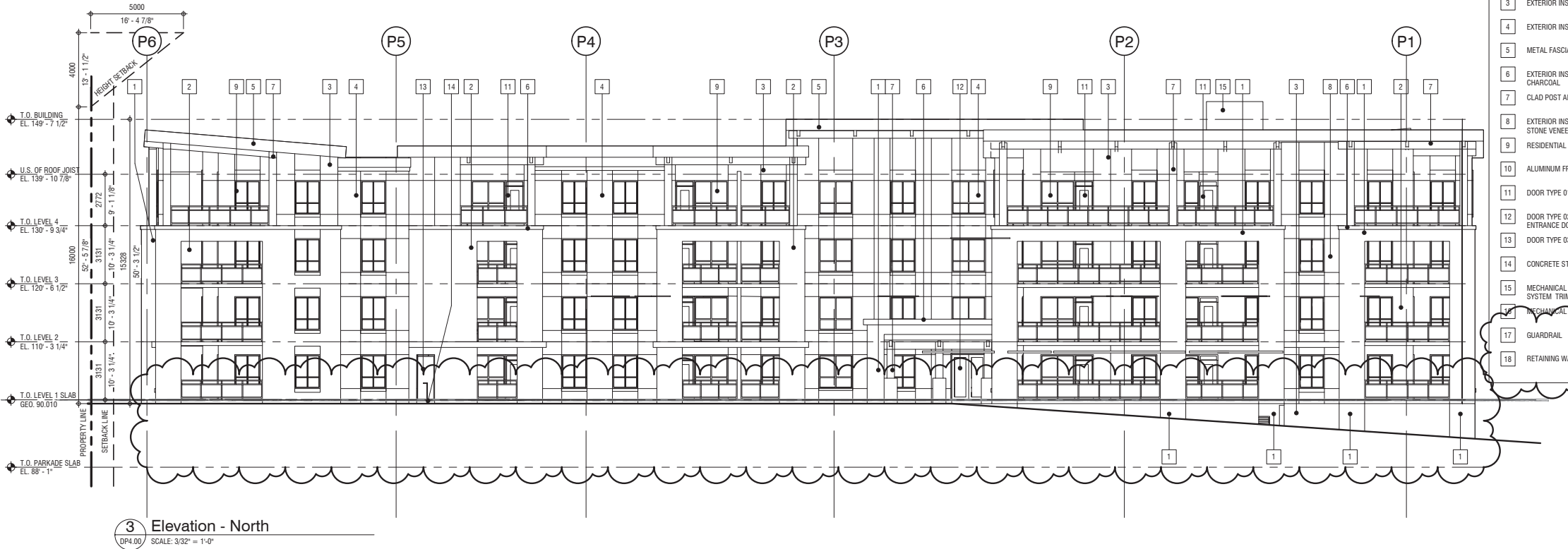
REVISION	DATE
1 D.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021

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DP4.00

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T 403.670.7000
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ELEVATIONS

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/93

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REVISION	DATE
1 D.P. SUBMISSION	02.16.2021
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3 DTR2	06.25.2021

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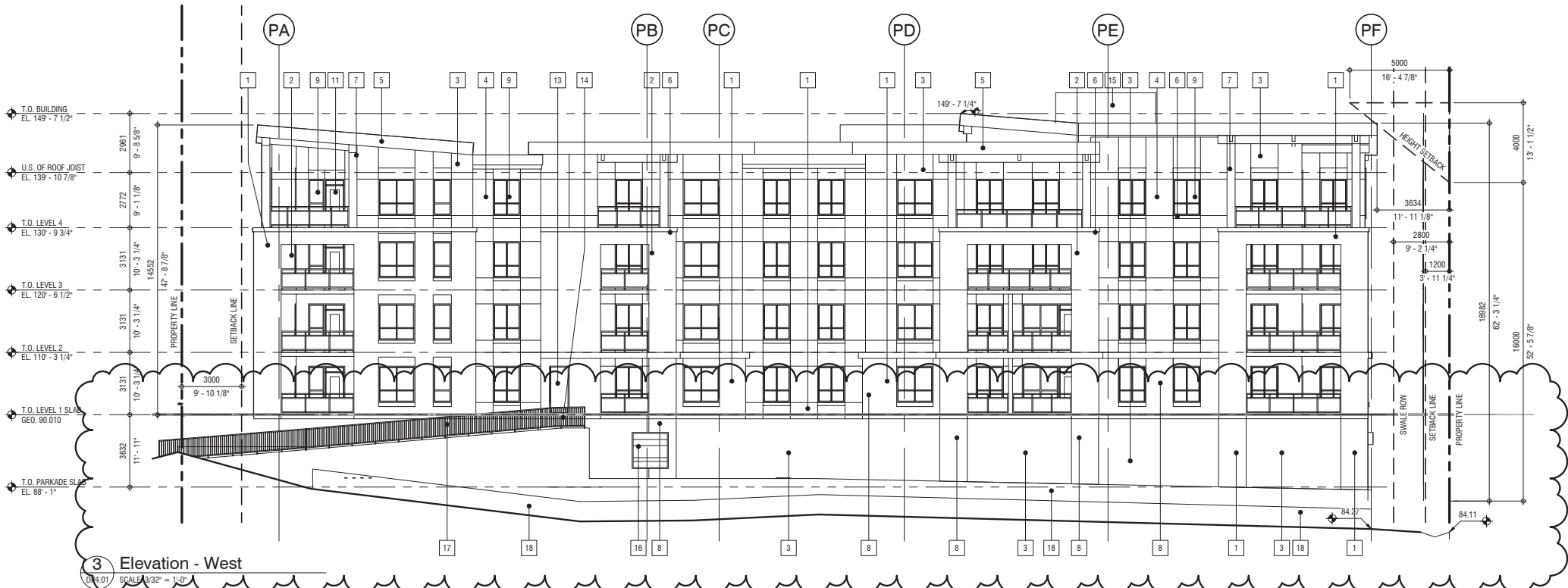
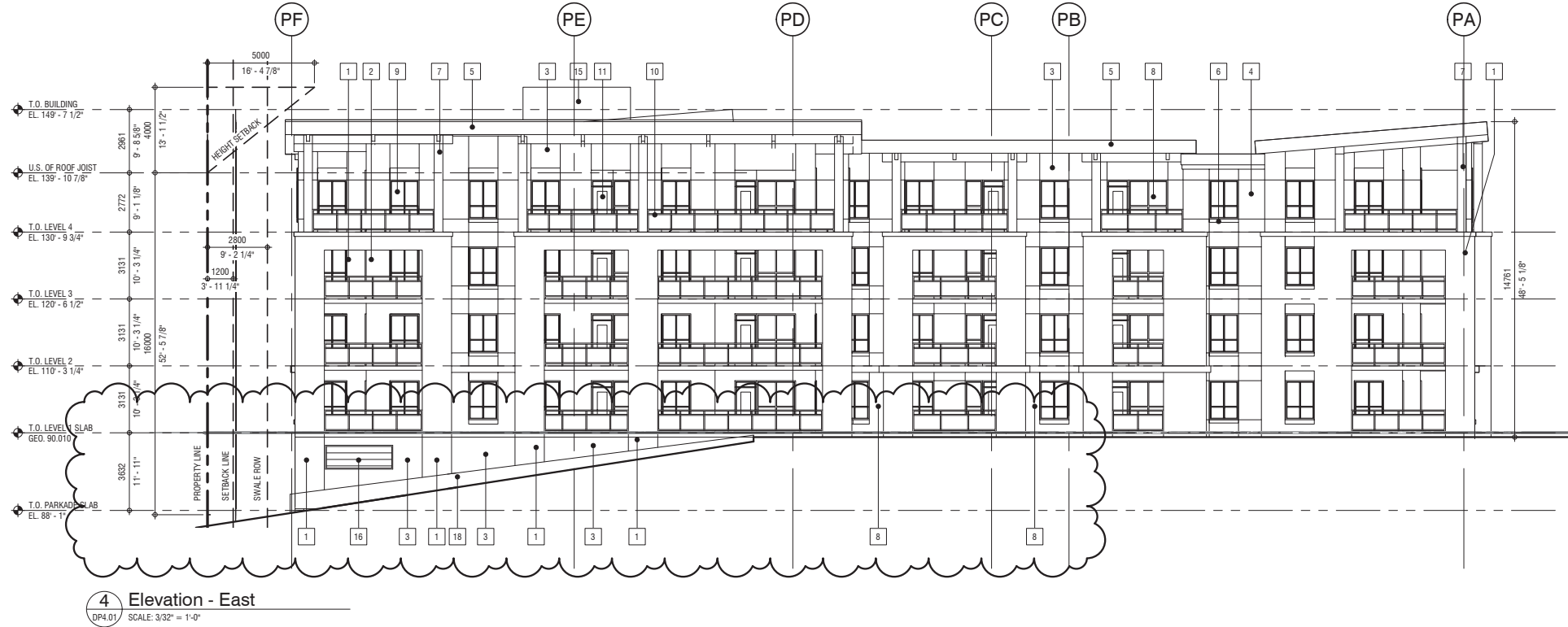
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Elevation - General Notes

- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
- ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Code Legend

- | | |
|----|--|
| 1 | MASONRY STONE VENEER |
| 2 | LUX PANEL - COLOUR: WOOD TONE |
| 3 | EXTERIOR INSULATION FINISHING SYSTEM - COLOUR: CHARCOAL |
| 4 | EXTERIOR INSULATION FINISHING SYSTEM - COLOUR: WHITE |
| 5 | METAL FASCIA - COLOUR: CHARCOAL |
| 6 | EXTERIOR INSULATION FINISHING SYSTEM TRIM & SILL - COLOUR: CHARCOAL |
| 7 | CLAD POST AND BEAM - WOOD TONE TO MATCH #2 |
| 8 | EXTERIOR INSULATION FINISHING SYSTEM - TO MATCH MASONRY STONE VENEER |
| 9 | RESIDENTIAL CLEAR GLAZING SYSTEM - CHARCOAL FRAME |
| 10 | ALUMINUM FRAMED CLEAR GLASS GUARDRAIL |
| 11 | DOOR TYPE 01 - ALUMINUM FRAMED GLAZED DOOR |
| 12 | DOOR TYPE 02 - ALUMINUM FRAMED WITH CLEAR GLAZING MAIN ENTRANCE DOOR |
| 13 | DOOR TYPE 03 - PRE FINISHED METAL |
| 14 | CONCRETE STEPS |
| 15 | MECHANICAL ROOFTOP SCREENING - EXTERIOR INSULATION FINISHING SYSTEM TRIM & SILL - COLOUR: CHARCOAL |
| 16 | MECHANICAL LOUVRE |
| 17 | GUARDRAIL |
| 18 | RETAINING WALL |





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SECTIONS

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/23

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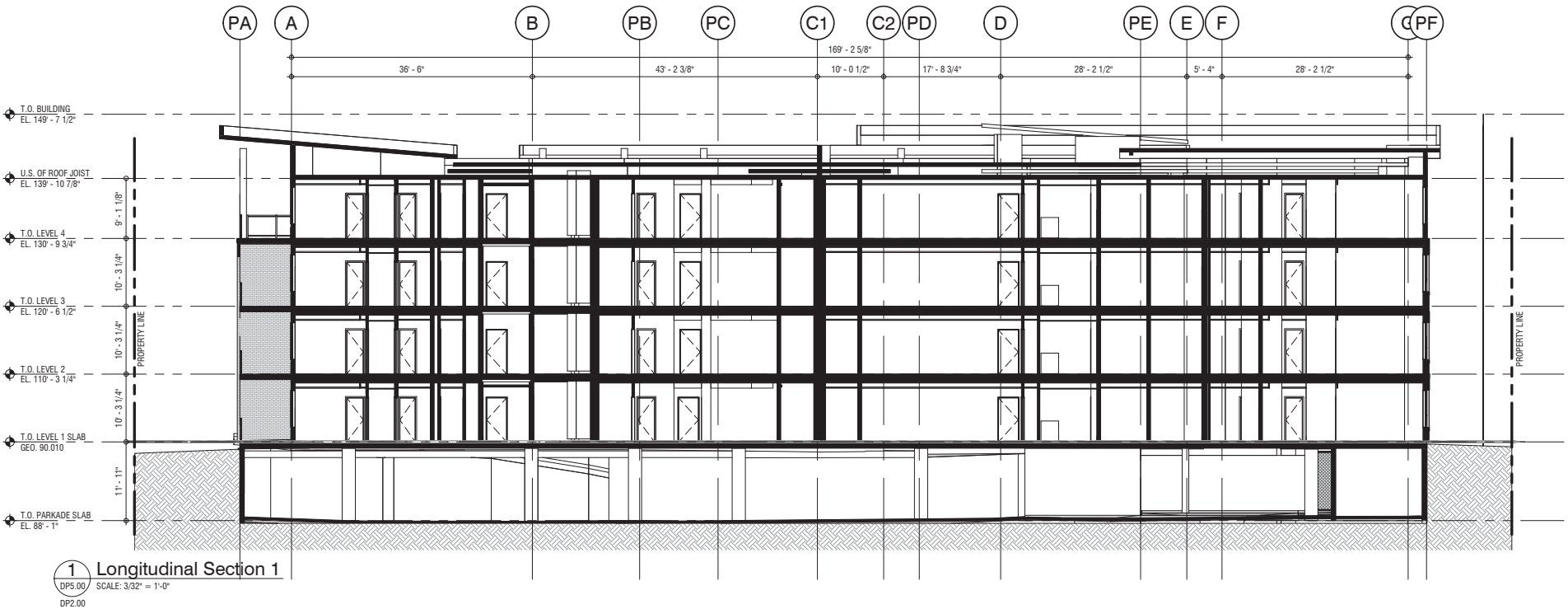
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REVISION	DATE
1 D.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021

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DP5.00

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SECTIONS

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2191193

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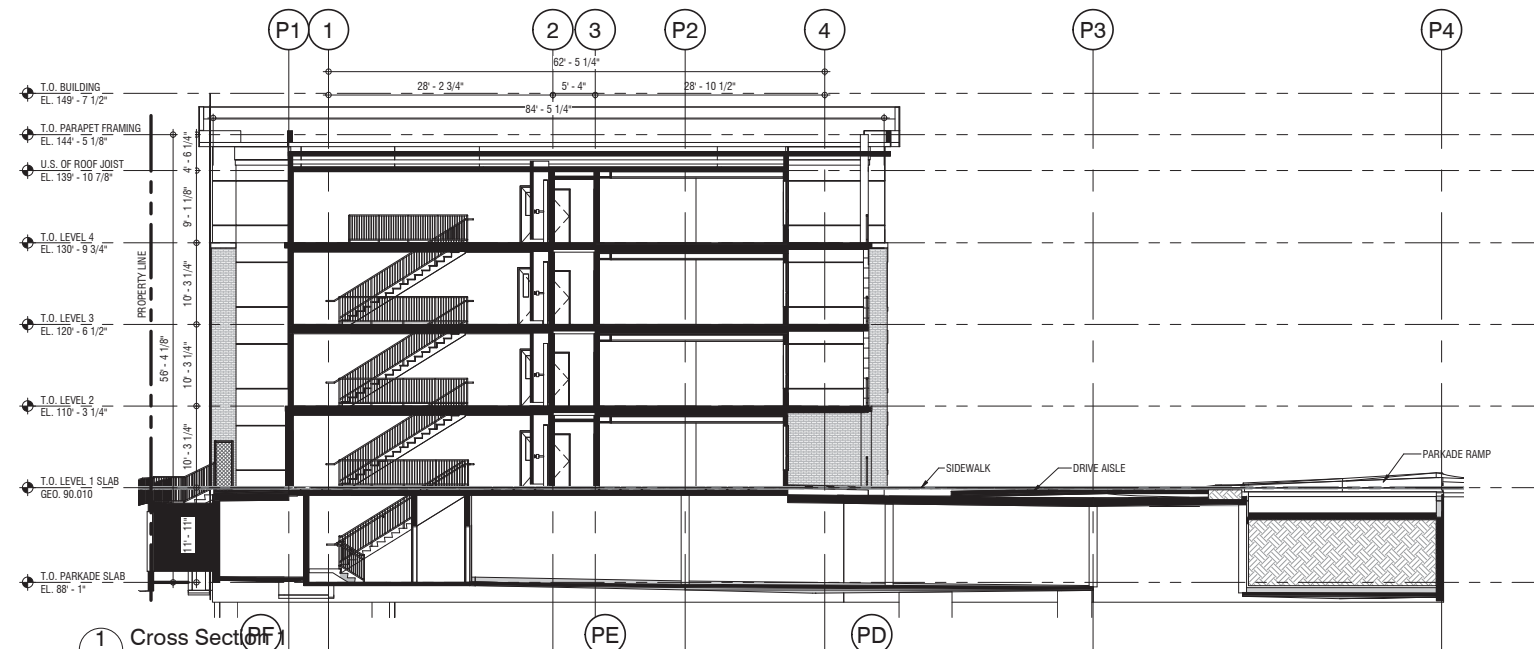
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3 DTR2	06.25.2021

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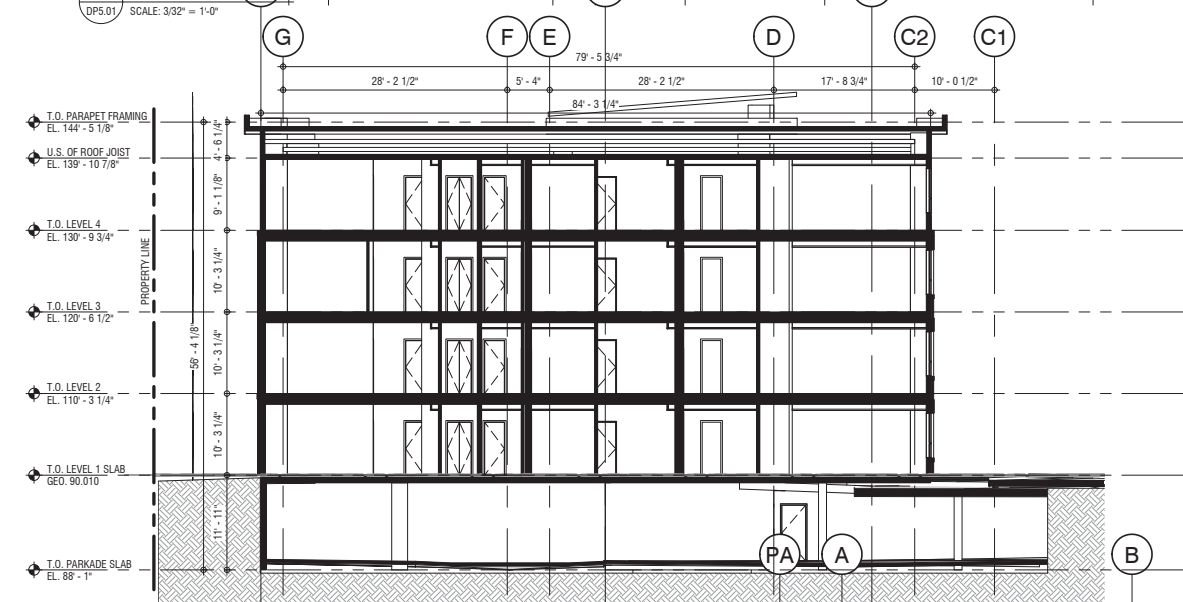
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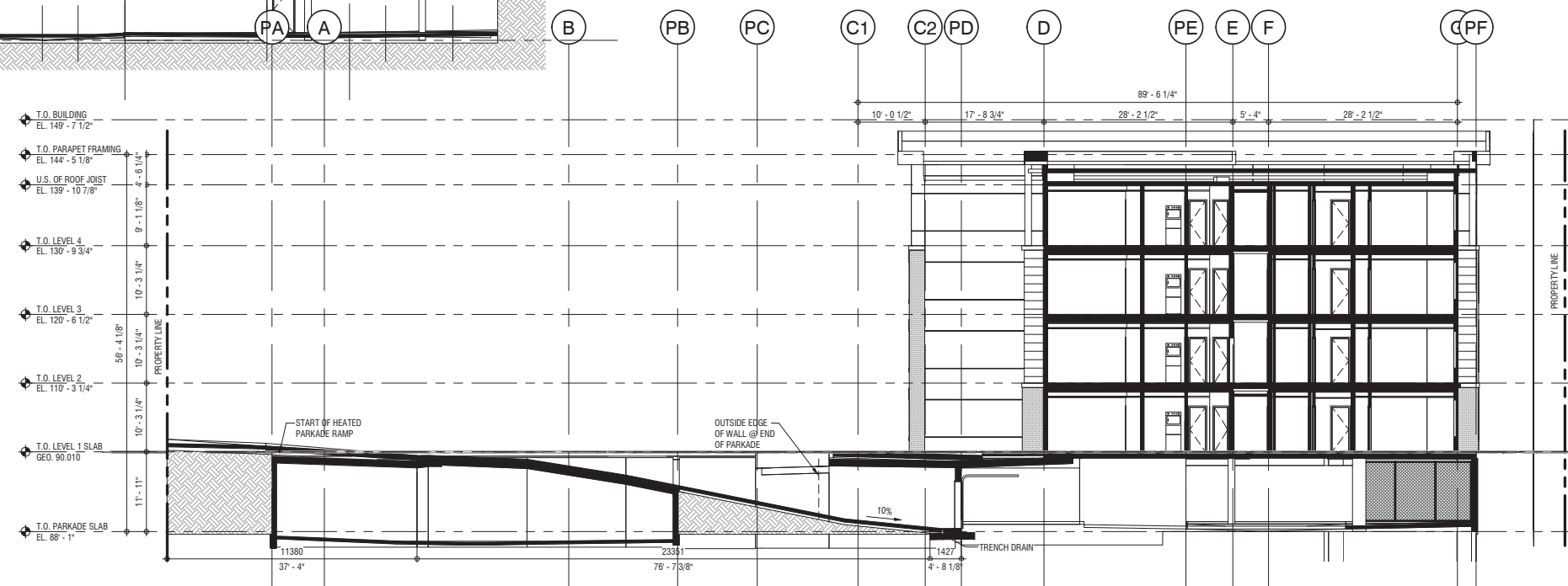
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1 Cross Section of
DP5.01 SCALE: 3/32" = 1'-0"



2 Cross Section 2
DP5.01 SCALE: 3/32" = 1'-0"
DP2.00

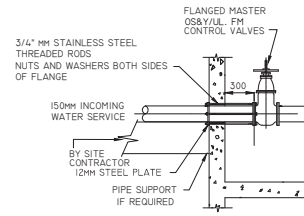
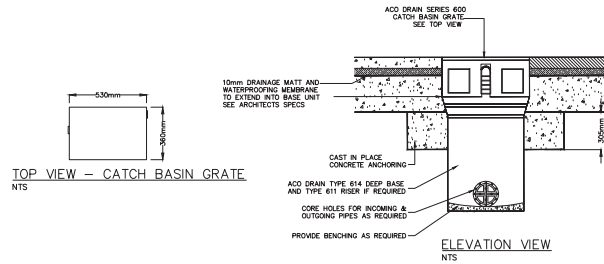
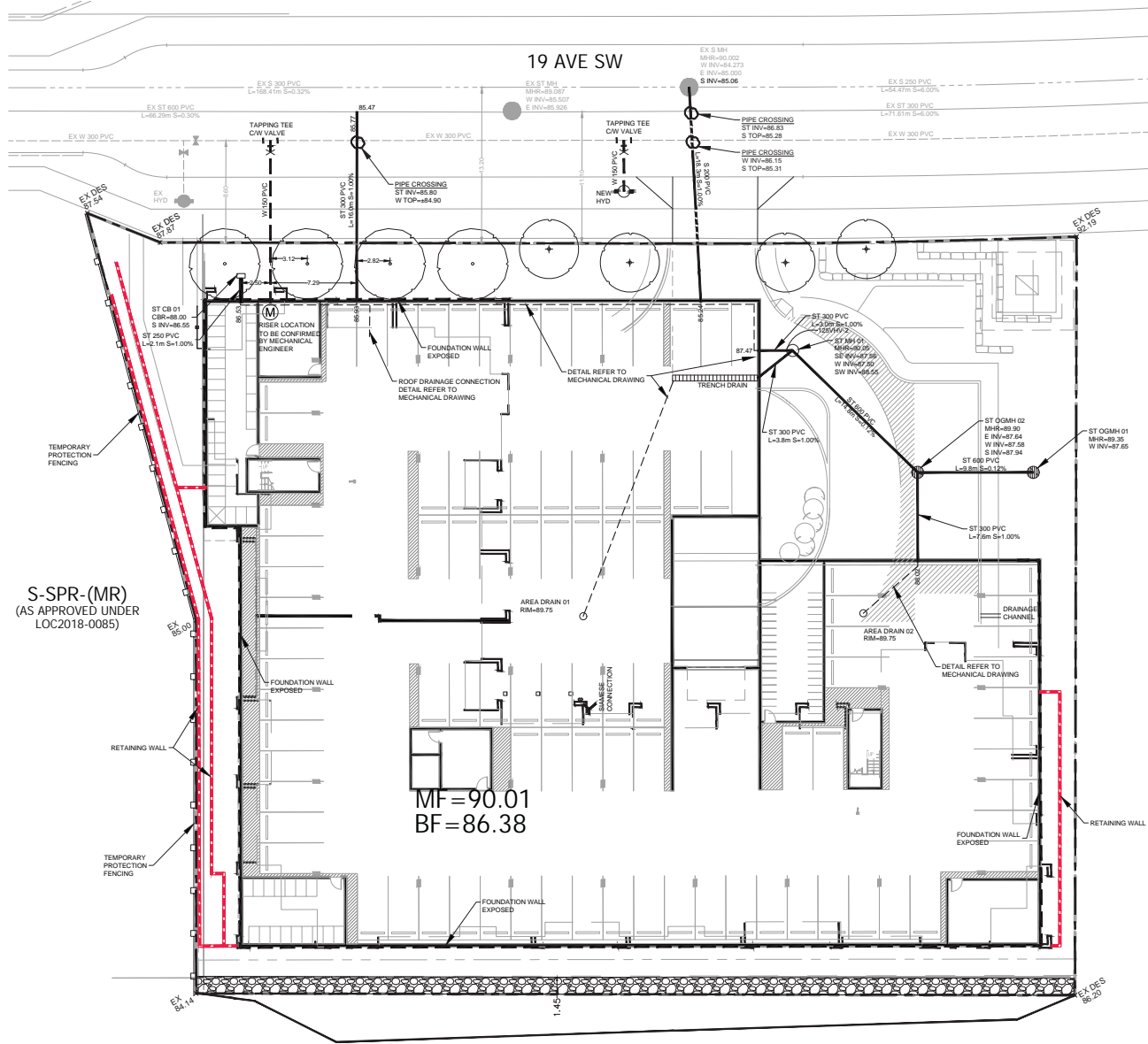


3 Parkade Ramp Section
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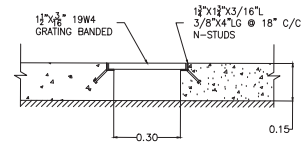
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SANITARY AND STORM LINE ENTER THE BUILDING
BETWEEN 2 PARKING STALLS TO AVOID
COMPROMISING THE PARKING STALLS COUNT

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UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY



WATER ENTRY DETAIL
NTS



TYPICAL DETAIL
FOR DRAINAGE CHANNEL

- ALL THE EXISTING UTILITIES INFORMATION ARE EITHER FROM THE RECORD OF CITY OF CALGARY OR THE SURVEY PLAN PROVIDED BY THE SURVEY COMPANY. THE CONTRACTOR SHOULD CONFIRM ALL THE EXISTING SERVICES INFORMATION (INVERTS, LOCATION, ETC) AND INFORM RICHVIEW ENGINEERING INC FOR NECESSARY ADJUSTMENT PRIOR TO CONSTRUCTION.
- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT. IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.
- THE CONTRACTOR MUST SUPPLY WRITTEN NOTICE TO RICHVIEW ENGINEERING INC OF INTENT TO START CONSTRUCTION OF THE DEEP UTILITIES AT LEAST 3 DAYS IN ADVANCE OF THE CONSTRUCTION START.
- FAILURE TO DO SO MAY RESULT IN A REQUEST TO HAVE THE LINES EXCAVATED SO AS TO ASCERTAIN BEDDING CONDITIONS AND THAT PIPE HAS BEEN PLACED CORRECTLY AND/OR TO HAVE A VIDEO EXAMINATION OF THE PIPE PERFORMED AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO HAVE THE INSPECTIONS COMPLETED ADEQUATELY WILL PREVENT RICHVIEW ENGINEERING INC'S BEING ABLE TO EXECUTE THE NECESSARY CERTIFICATIONS REQUIRED BY THE ALBERTA BUILDING CODE AND THE NATIONAL BUILDING CODE.

CITY OF CALGARY DEVELOPMENT SITE SERVICING PLAN			
DATE RECEIVED			
CIRCULATION TO		INITIAL	DATE
WATER RESOURCES			
REVIEW AND INSPECTION BY THE CITY IS NOT SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.			
THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.			



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- NOTES:
- ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
 - ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
 - ALL ELEVATIONS REFERENCED TO 1100 m GEODETIC DATUM.
 - ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 - WATER SERVICES SHALL HAVE A MIN. OF 2.7m COVER IN CLAY SOIL CONDITIONS AND 3.3m IN GRAVEL CONDITIONS.
 - WATER MAINS 1500 OR LARGER SHALL BE PVC DR18.
 - ALL HYDRANT LEADS OR TO BE PVC DR18.
 - ALL SANITARY & STORM MAINS 1500 OR LARGER SHALL BE SDR-35.
 - ALL SANITARY SERVICES 1000 OR SMALLER SHALL BE SDR-28.
 - ALL PE WATER SERVICES SHALL BE DR 11.
 - SAN & STM SERVICES ARE TO BE BROUGHT TO 1.5m INSIDE THE FOUNDATION WALL. WATER SERVICES ARE TO BE BROUGHT INTO THE METER ROOM.
 - MANHOLES TO BE TYPE 5A SULPHATE RESISTANT CONCRETE AND TO BE INSTALLED IN ACCORDANCE WITH CITY OF CALGARY SPECIFICATIONS.
 - ALL CONCRETE SEWER PIPES, MANHOLES, CATCH BASIN BARRELS SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
 - ALL STORM AND SANITARY SEWER PIPE BEDDINGS FOR PIPE SIZES 100mm TO 375mm TO BE CLASS III IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATIONS IN ASTM D2321.
 - IF WEeping IS NEEDED, CONNECT TO SUMP PUMP. WEEPING TILE SHALL BE PUMP TO GRADE TO A POINT PAST THE DOWNSPOUTS VIA A BASEMENT SUMP AND PUMP, AS PER ALBERTA BUILDING CODE.
 - ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
 - EXACT ELEVATION OF MANHOLE RIMS ARE TO BE SET IN THE FIELD PRIOR TO FINAL ASPHALT LIFT.
 - PLASTIC PLUGS BY NORWOOD FOUNDRY OR EQUIVALENT TO BE USED IN PLACE OF PARSON INSERTS ON SANITARY MANHOLES SITUATED IN TRAP LWS.
 - ALL CATCH BASINS SHALL BE TYPE 'C' OTHERWISE NOTED.
 - WATER RISER LOCATION TO BE CONFIRMED BY MECHANICAL ENGINEER

LEGEND:	PROPOSED	EXISTING
SITE PROPERTY LINE	---	---
EASEMENT LINE	---	---
STORM SEWER	ST 250 PVC	EX ST 250 PVC
SANITARY SEWER	S 250 PVC	EX S 250 PVC
WATER MAIN	W 250 PVC	EX W 250 PVC
CATCH BASIN	II	II
MANHOLE	II	II
OT MANHOLE	II	II
WATER VALVE	II	II
FIRE HYDRANT	II	II
CAPPED PIPE END	II	II
GRADE	II	II
WATER METER	II	II
REDUCER	II	II
CHECK VALVE	II	II
LIGHT STANDARD	II	II
ICD	II	II
RETAINING WALL	II	II

LEGAL ADDRESS
LOT 5 BLOCK 2
UNREGISTERED PLAN
NW 1/4 SEC 10 TWP 24 RGE 02 W5th M

REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	DRN	CHK
5	21	07	22	ISSUED FOR DTR3	EL	RL
4	21	07	07	FOR 75% REVIEW	EL	RL
3	21	06	24	ISSUED FOR DTR2	EL	RL
2	21	06	15	FOR 50% REVIEW	EL	RL
1	21	06	09	FOR APPROVAL	EL	RL
0	21	05	05	ISSUED FOR DTR1	RL	VK

ENGINEER	
PERMIT NUMBER: P09809	
22 Jul 21	

CLIENT

COVE PROPERTIES

PROJECT
ASPEN MULTI RESIDENTIAL

DESIGN:	RL	SITE SERVICING PLAN			
DRAWN:	EL				
CHECKED:	RL				
DATE:	JUL 22 2021	DEVELOPMENT PERMIT No. DP2021-0970	PROJECT No. 1251	DWG. No. 01	ISS/REV 5
SCALE:	1:250	DSSP CIRC. No.			

19 AVE SW

EX SIDEWALK

REMOVE THE EX SIDEWALK
INSTALL NEW CONCRETE DRIVEWAY

EX SIDEWALK

PROPOSED DRIVEWAY

PL

4%

2.0%

2.4%

CROSS SECTION A-A
NTS

The diagram illustrates a cross-section of a riprap swale. Key dimensions include a total width of 1.45m, split into two 0.725m sections, and a 0.95m section on the right. The swale has a 7% slope and a 3:1 side slope. The structure consists of a 1.45m rock swale on top of a 100mm concrete base. The section is labeled 'LANDSCAPING AREA' and 'UR/W'.

1.45m ROCK SWALE
200mm ROCK
100mm CONCRETE BASE REQ'D
FOR THE SECTION WHEN THE
SLOPE IS MORE THAN 5%
DEPTH=0.24m SLOPE=0.60%
CAPACITY=108.3 l/s
VELOCITY=0.56 m/s

RIPRAP SWALE SECTION

REVISIONS											
5	21	07	22	ISSUED FOR DTR3						EL	RL
4	21	07	07	FOR 75% REVIEW						EL	RL
3	21	06	24	ISSUED FOR DTR2						EL	RL
2	21	06	15	FOR 50% REVIEW						EL	RL
1	21	06	09	FOR APPROVAL						EL	RL
0	21	05	05	ISSUED FOR DTR1						EL	RL
REV.	Y	M	D	ISSUE/REVISION DESCRIPTION						DRN	CHK

COVE PROPERTIES	
PROJECT	ASPEN MULTI RESIDENTIAL

DESIGN: RL	<div style="text-align: center;"> <h2>SITE GRADING PLAN</h2> </div>	<div style="text-align: center;"> <h3>1251</h3> </div>	<div style="text-align: center;"> <h3>02</h3> </div>	<div style="text-align: center;"> <h3>5</h3> </div>
DRAWN: EL				
CHECKED: RL				
DATE: JUL 22 2021				
SCALE: 1:250	DEVELOPMENT PERMIT No. DP2021-0970 MECHANICAL ORG. No.			

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BY THE CITY OF CALGARY

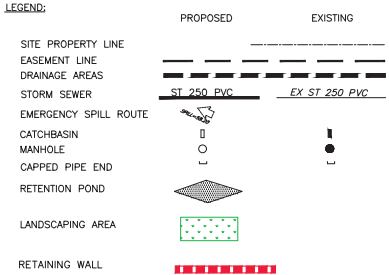


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ENGINEERING INC.
CONSULTING ENGINEERS

UNIT D, 203 38 AVE NE, CALGARY, AB T2E 2M3
PHONE: (403) 230-3218 FAX: (403) 230-3208

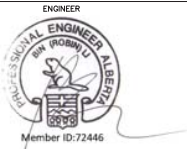
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 3. ALL ELEVATIONS REFERENCED TO 1100 GEODETIC DATUM.
 4. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 5. ALL CONCRETE SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
 6. SEE SITE SERVING PLAN FOR STORM SEWER DESIGN.
 7. REFER TO STORM WATER MANAGEMENT REPORT: SWMR FOR DETAILS



LEGAL ADDRESS
LOT 5 BLOCK 2
UNREGISTERED PLAN
NW 1/4 SEC 10 TWP 24 RGE 02 W5th M

REVISIONS						
REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	EL	RL
4	21	07	22	ISSUED FOR DTR3	EL	RL
3	21	07	07	FOR 75% REVIEW	EL	RL
2	21	06	24	ISSUED FOR DTR2	EL	RL
1	21	06	15	FOR 50% REVIEW	EL	RL
0	21	06	09	FOR APPROVAL	EL	RL



PERMIT NUMBER: P09809
22 Jul 21

CLIENT

COVE PROPERTIES

PROJECT

ASPEN
PROJECT NAME

DESIGN:	RL	OVERLAND DRAINAGE PLAN
DRAWN:	EL	
CHECKED:	RL	
DATE:	JUL 22 2021	
SCALE:	1:250	DEVELOPMENT PERMIT No. DP2021-0970
		PROJECT No. 1251
		DWG. No. 03
		ISS/REV 4

STORM CALCULATIONS
TOTAL SITE AREA = 0.4888 ha
ALLOWABLE FREE FLOW AREA = 0.0688 ha
TOTAL STUDY AREA = 0.4888 - 0.0665 = 0.4223 ha
ALLOWABLE FLOW FOR THE AREA IS 60 l/s/ha
TOTAL ALLOWABLE FLOW TO CITY MAIN:
 $Q_2 = 0.4223 \times 60 = 25.3 \text{ l/s}$
SEE ATTACHED SWHMYO OUTPUT FILE FOR MODELLING DETAILS

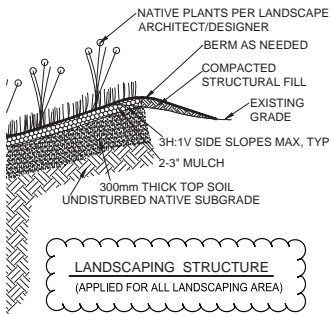
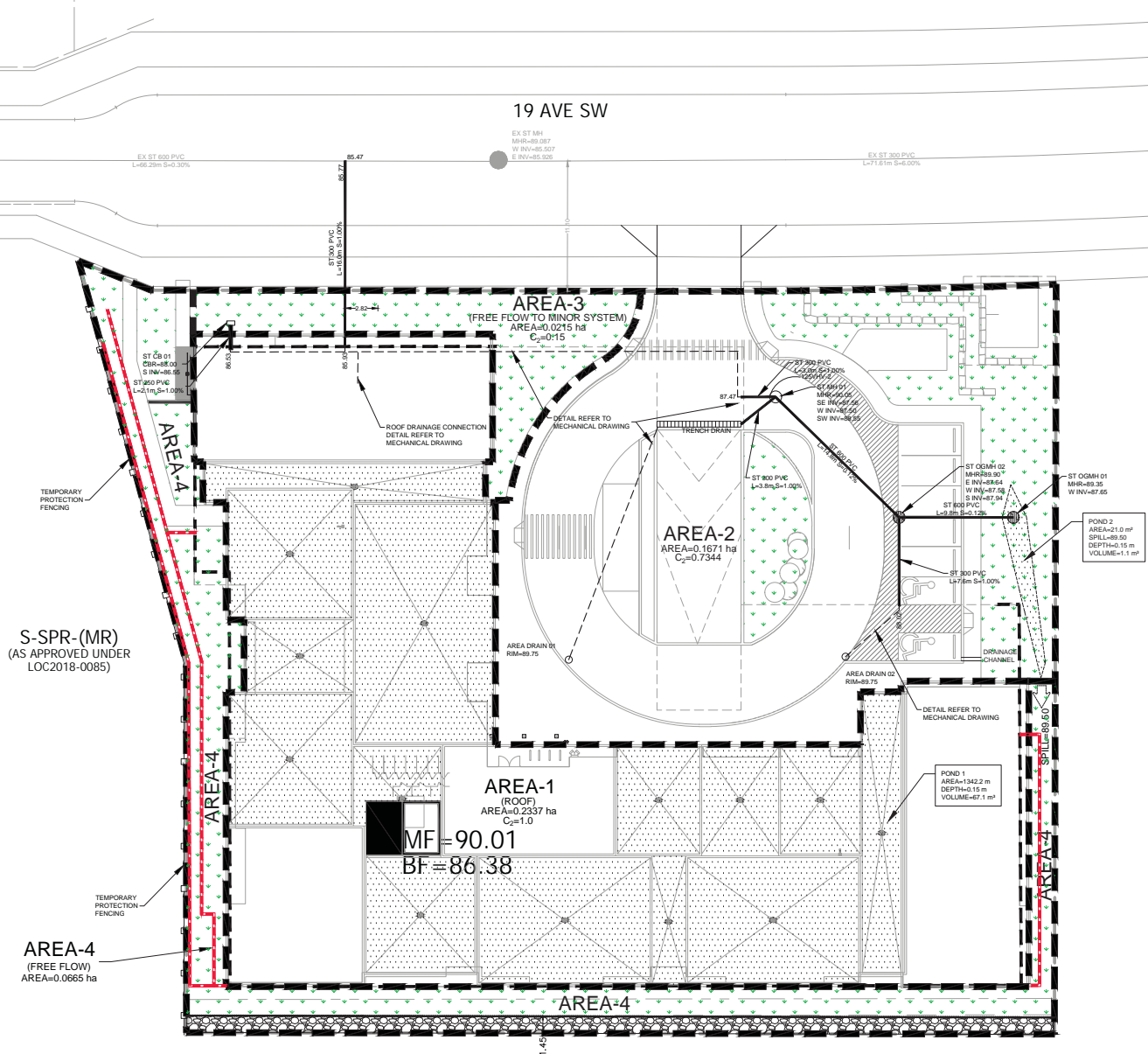
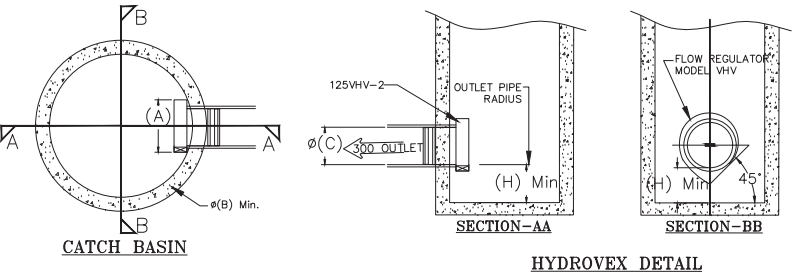
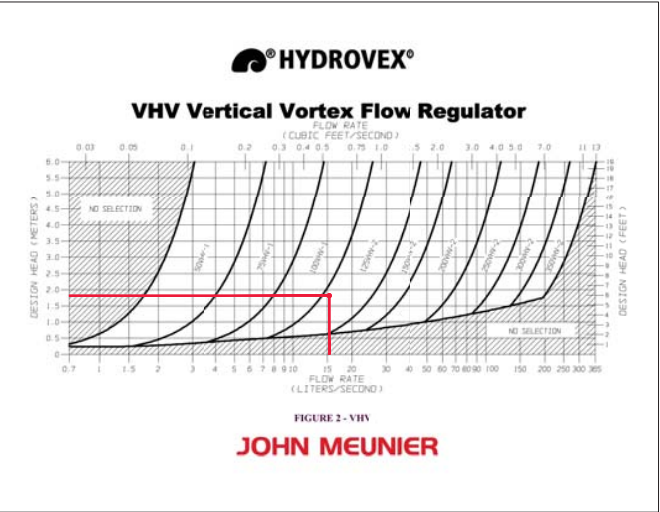
D-AREA-1(ROOF)
TOTAL AREA = 0.2337 ha
ROOF AREA@C=1.0 → 0.2337 ha
 $C_2 = 1.0$
 $Q_2 = 108 \text{ l/s}$

FLOW RESTRICTION
TO BE CONTROLLED BEFORE LEAVING THE BUILDING
BY 14 WATTS ROOF DRAIN AT A RATE OF 0.6 l/s
 $Q_1 = 0.6 \times 14 = 8.4 \text{ l/s}$

POND REQUIREMENT
TOTAL REOD = 52.0 m³
POND PROVID = 67.1 m³ > 52.0 m³

D-AREA-2
TOTAL AREA = 0.1671 ha
ASPHALT AREA@C=0.9 → 0.1302 ha
GRASS AREA@C=0.15 → 0.0369 ha
 $C_2 = \frac{0.9(0.1302) + 0.15(0.0369)}{0.1671} = 0.7344$
 $Q_2 = 57 \text{ l/s}$

FLOW REGULATOR TYPICAL INSTALLATION IN CIRCULAR MANHOLE FIGURE 4 (MODEL VHV)							
Model Number	Regulator Diameter		Manhole Diameter		Minimum Outlet Pipe		Minimum Clearance
	A (mm)	A (in.)	B (mm)	B (in.)	C (mm)	C (in.)	H (in.)
50VHV-1	203	8	600	24	150	6	127
75VHV-1	280	11	900	36	150	6	152
100VHV-1	356	14	900	36	150	6	203
125VHV-2	330	13	900	36	200	8	203
150VHV-2	406	16	900	36	200	8	229
200VHV-2	533	21	1200	48	254	10	305
250VHV-2	660	26	1200	48	300	12	356
300VHV-2	787	31	1600	64	375	15	406
350VHV-2	914	36	1800	72	375	15	508



RECOMMENDED LOW IMPACT DEVELOPMENT (LID)
A MINIMUM DEPTH OF 0.3m OF TOPSOIL IS RECOMMENDED FOR SOD AREAS.
A MINIMUM DEPTH OF 0.6m OF TOPSOIL IS RECOMMENDED SHRUB AND TREE BEDS.
SHRUB AND TREE BEDS MAY HAVE UP TO 1.0m DEPTH OF TOPSOIL.
SITE GRADING SHOULD DIRECT RAIN WATER RUNOFF TO PLANTS WITH HIGH WATER NEEDS TO REDUCE RELIANCE ON POTABLE WATER.

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BY THE CITY OF CALGARY



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Calgary, AB, Canada T2S 0G7
T 403.470.7000
www.s2architecture.com

LANDSCAPE PLAN

Aspen

2027 81 ST SW, CALGARY, ALBERTA
COVE PROPERTIES

2/19/23

CONSULTANT

[SMM]

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CONSTRUCTION

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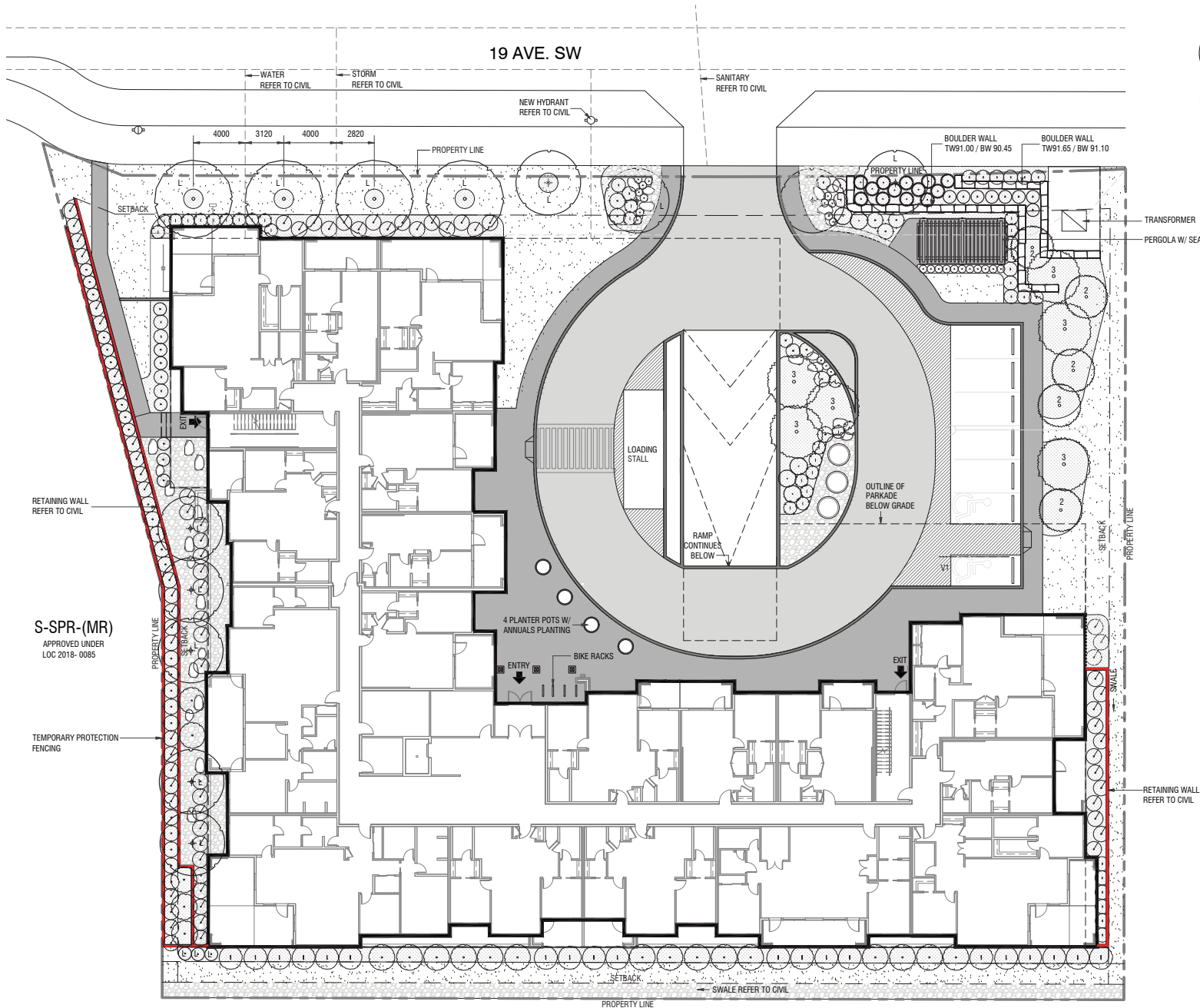
1 ISSUED FOR DP 16.02.2021
2 ISSUED FOR DTR1 05.05.2021
3 ISSUED FOR DTR2 23.06.2021

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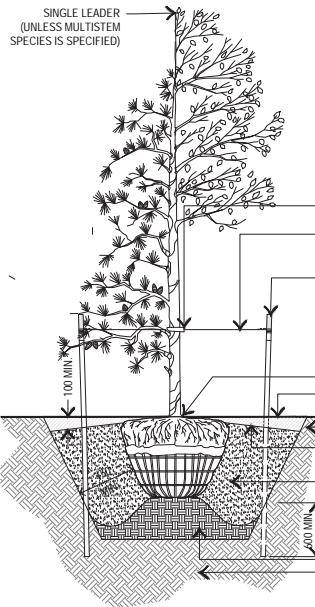
DRAWING NO.

DPL1.00

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CONIFEROUS Less than 3.0m height
DECIDUOUS 40mm-100mm Caliper
Spade Hole Preparation for Basket or Ball & Burlap Trees



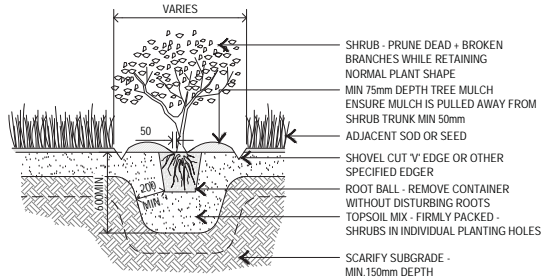
NOTES:

1. ALL WORK COMPONENTS AND WORKMANSHIP TO CONFORM TO SPECIFICATION SECTION 02930 TREES, SHRUBS AND GROUNDCOVERS AS WELL AS THE RELATED SECTIONS.
2. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
3. STAKE BEYOND EDGE OF ROOT BALL IF MINIMUM SETBACKS PERMIT POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS OR IF IN THE BOULEVARD THE STAKES SHOULD BE IN LINE WITH THE DIRECTION OF TRAFFIC.
4. ALL TREE STAKES TO MAINTAIN MIN. 1.0m CLEARANCE FROM ALL UG POWER, TELEPHONE AND GAS ALIGNMENTS.
5. TREE SHOULD BE PLANTED 75mm-100mm BELOW GROUND LEVEL.
6. T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
7. IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
8. USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT.
9. PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.
10. DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1.0m TO UG POWER, TELEPHONE AND GAS ALIGNMENTS (REFER TO SECTION 7.6.2 AND 7.6.3 WHEN CLEARANCE CANNOT BE MAINTAINED FOR ANY EXCAVATIONS).

- 12mm RUBBER STRAP POSITIONED AT APPROX 3/5 HT. - WIRE DOES NOT WRAP AROUND TREE
- 11 GAUGE GUY WIRE OR 2mm BRAIDED NYLON STRAP WITH FLUORESCENT ORANGE FLAGGING ON ALL GUY WIRES
- USE TWO VERTICAL STAKES PER TREE:
- TREE STAKES MIN. 2.0m LENGTH, PLAIN T-POSTS C/W 7 PUNCHED HOLES OR TEETH/NOTCHES
- ALL EXPOSED PORTIONS OF TREE STAKES FREE OF RUST, SCALED, PRIMED & PAINTED
- TOP 300mm OF ALL TREE STAKES TO PAINTED TO MATCH ANNUAL COLOUR CODES.
- ROOT FLARE AT GRADE
- 100mm MIN. MULCH, STARTING 50mm FROM ROOT FLARE (TRUNK) & EXTENDING THE HOLE
- SUBGRADE
- SLOPE TOPSOIL FROM ROOT FLARE TO EDGE OF HOLE TO FROM WELL
- CLASS 'B' TOPSOIL MIX, MODERATELY PACKED - REFER TO TOPSOIL SPECIFICATIONS

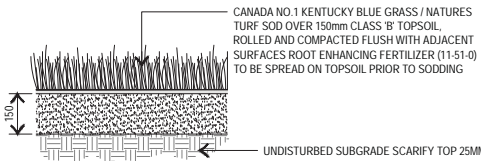
2 Typical Tree Planting Detail

DPL1.00 SCALE: 1:25



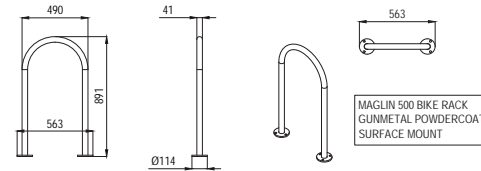
3 Typical Shrub Planting Detail

DPL1.00 SCALE: 1:25



4 Typical Sod Detail

DPL1.00 SCALE: 1:25



5 Typical Bike Rack Detail

DPL1.00 SCALE: 1:25

1 DP - Landscape Plan

DPL1.00 SCALE: 1:200

LEGAL DESCRIPTION

PLAN 2747HB BLOCK 30

MUNICIPAL ADDRESS

2027 - 81ST ST SW

PROJECT DATA/SITE BUILDING DATA

PROPOSED USE: MULTI-RESIDENTIAL - MEDIUM PROFILE (M2D - 210) DISTRICT
SITE AREA: 4888.00 m²

LANDSCAPE PLANTING REQUIREMENTS

TOTAL LANDSCAPE AREA REQUIRED = 40% OF TOTAL SITE 1948.00 m²

TOTAL LANDSCAPE AREA PROVIDED = 39.3% OF TOTAL SITE 1916.00 m²

556 LANDSCAPE REDUCTION (3%) = 37% OF TOTAL SITE 1886.56 m²

LANDSCAPE PLANTING REQUIREMENTS

TOTAL TREES REQUIRED (1/45m² OF TOTAL LANDSCAPE AREA BASED ON 37% OF LANDSCAPE AREA)

TOTAL TREES PROVIDED

DECIDUOUS TOTAL (75%)

DECIDUOUS @ 75mm CALIPER (LARGE)

DECIDUOUS @ 50mm CALIPER

CONIFEROUS TOTAL (25%)

CONIFEROUS @ 3000mm HEIGHT (LARGE)

CONIFEROUS @ 2000mm HEIGHT

TOTAL SHRUBS REQUIRED

TOTAL SHRUBS PROVIDED

TREE LEGEND

L - ON TREE SYMBOL DENOTES 75MM CAL. LARGE TREE

30% TREES FROM LOW WATER LIST = 13 TREES (11 BLUE SPRUCE / 4 MAYDAY = 15 TOTAL)

3 6 QTY - 3M HT. COLORADO BLUE SPRUCE (LOW WATER)

2 5 QTY - 2M HT. COLORADO BLUE SPRUCE (LOW WATER)

4 QTY - MAYDAY (LOW WATER)

27 QTY - SWEDISH COLUMNAR ASPEN

9 QTY - HOT WINGS MAPLE

SHRUB + ORNAMENTAL GRASS LEGEND

30% SHRUBS FROM LOW WATER LIST = 25 SHRUBS REQUIRED (5 SNOWBERRY / 5 MUGHO / 75 URAL FALSE SPIREA / 46 LILAC = 131 TOTAL PROVIDED)

ALL SHRUBS TO BE MINIMUM 600MM HEIGHT OR SPREAD

1 SIBERIAN DOGWOOD (24 QTY)

1 URAL FALSE SPIREA (75 QTY)

1 SNOWBERRY (5 QTY)

1 PRICKLY ROSE (3 QTY)

1 DWARF KOREAN LILAC (26 QTY)

1 MUGHO PINE (5 QTY)

1 KARL FOERSTER FEATHER REED GRASS (26 QTY)

1 PRESTON LILAC (20 QTY)

1 GREEN SPIRES PEASHRUB (20 QTY)

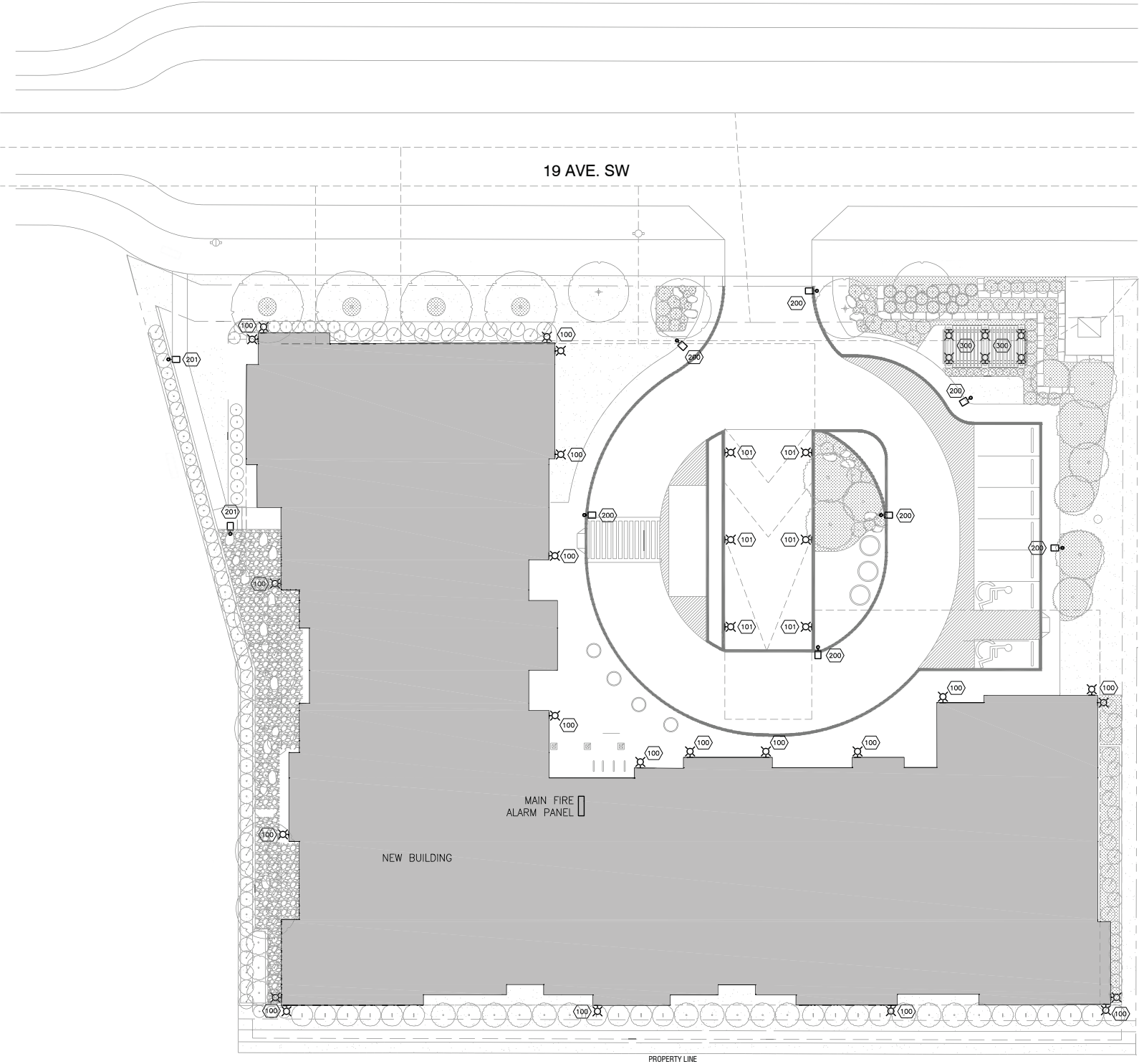
1 SKANDIA JUNIPER (13 QTY)

GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
- ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES
- ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK
- ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. DRIP IRRIGATION TO BE USED FOR TREES AND PLANTING BEDS AND A ROTARY SYSTEM FOR ALL TURF AREAS

LANDSCAPE SURFACING

- SOD
- CHARCOAL COLOURED CONCRETE PAVING WITH TOOLED CALIFORNIA JOINTS & BROOM FINISH
- RETAINING WALL - REFER TO CIVIL
- CHARCOAL ROCK MULCH
- RUNDLE ROCK DECORATIVE BOULDERS
- DECORATIVE BOULDER WALL



1 SITE PLAN – LIGHTING
DPE1.00 SCALE: 1:200

LEGAL DESCRIPTION MUNICIPAL ADDRESS
PLAN 2747HB BLOCK 30 2027 - 81ST ST SW

ELECTRICAL DRAWING LIST	
DWG. NO.	DWG. NAME
DPE1.00	SITE PLAN, LEGEND OF SYMBOLS, DRAWING LIST
DPE1.01	SITE PLAN LIGHTING CALCULATIONS
DPE1.02	LIGHTING FIXTURES

LEGEND OF SYMBOLS	
LIGHTING	
	RECESSED LUMINAIRE
	SURFACE MOUNTED LUMINAIRE
	WALL MOUNTED LUMINAIRE
	RECESSED WALL WASH LUMINAIRE
	RECESSED LUMINAIRE ON EMERGENCY POWER
	SURFACE MOUNTED LUMINAIRE ON EMERGENCY POWER
	WALL MOUNTED LUMINAIRE ON EMERGENCY POWER
	RECESSED LUMINAIRE
	SURFACE MOUNTED LUMINAIRE
	STRIP LUMINAIRE
	WALL MOUNTED LUMINAIRE
	RECESSED LUMINAIRE ON EMERGENCY POWER
	SURFACE MOUNTED LUMINAIRE ON EMERGENCY POWER
	STRIP LUMINAIRE ON EMERGENCY POWER
	WALL MOUNTED LUMINAIRE ON EMERGENCY POWER
	TRACK LIGHTING C/W LIGHTING HEADS AS SHOWN
	RECESSED LINEAR WALL WASHER
	SURFACE MOUNTED H.I.D. LUMINAIRE
	RECESSED H.I.D. LUMINAIRE
	WALL H.I.D. LUMINAIRE
	POLE MOUNTED LUMINAIRE
	LIGHTING BOLLARD
	LIGHTING LUMINAIRE TYPE TAG
	EXIT LIGHT – CEILING (C/W ARROWS AS INDICATED)
	EXIT LIGHT – WALL (C/W ARROWS AS INDICATED)
	EMERGENCY LIGHTING BATTERY PACK
	EMERGENCY LIGHTING BATTERY PACK C/W LIGHTING HEADS
	SINGLE REMOTE EMERGENCY LIGHTING HEAD – CEILING MTD
	DOUBLE REMOTE EMERGENCY LIGHTING HEAD – CEILING MTD
	SINGLE REMOTE EMERGENCY LIGHTING HEAD – WALL MOUNTED
	DOUBLE REMOTE EMERGENCY LIGHTING HEAD – WALL MOUNTED
	SWITCH – SINGLE GANG
	SWITCH – TWO GANG
	SWITCH – THREE GANG
	SWITCH – FOUR GANG
	SWITCH – TWO POLE
	SWITCH – 3 WAY
	SWITCH – 4 WAY
	SWITCH – LOW VOLTAGE
	SWITCH – KEY SWITCH
	SWITCH – TIMER SWITCH
	SWITCH – DIMMER SWITCH
	SWITCH – MOTION SENSOR SWITCH
	SWITCH C/W PILOT LIGHT – SINGLE GANG
	PHOTO ELECTRIC CELL
	MOTION SENSOR – CEILING MOUNTED
	MOTION SENSOR – WALL MOUNTED
	OCCUPANCY SENSOR – CEILING MOUNTED
	DAYLIGHT SENSOR – CEILING MOUNTED

GENERAL	
	CONDUIT CONCEALED IN WALL OR CEILING
	CONDUIT IN WALL/CEILING – EMERGENCY OR UPS POWER
	CONDUIT CONCEALED IN SLAB
	CONDUIT BURIED BELOW GRADE
	CONDUIT – UP
	CONDUIT – DOWN
	WP DENOTES WEATHERPROOF DEVICE
	E DENOTES EXISTING DEVICE TO REMAIN
	R DENOTES EXISTING DEVICE TO REMOVE BACK TO SOURCE
	RR DENOTES REMOVE AND REPLACE WITH NEW
	ER DENOTES EXISTING DEVICE TO BE RELOCATED
	RL DENOTES RELOCATED DEVICE
	NL DENOTES NEW DEVICE
	C DENOTES EXISTING DEVICE TO REWIRE
	B DENOTES EXISTING DEVICE TO BLANK OFF



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SITE PLAN, LEGEND OF SYMBOLS, DRAWING LIST

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This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior cladding, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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2	ISSUED FOR DTR2	06.24.2021

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CHECKED BY WS

DRAWING NO.

DPE1.00



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SITE PLAN LIGHTING CALCULATIONS

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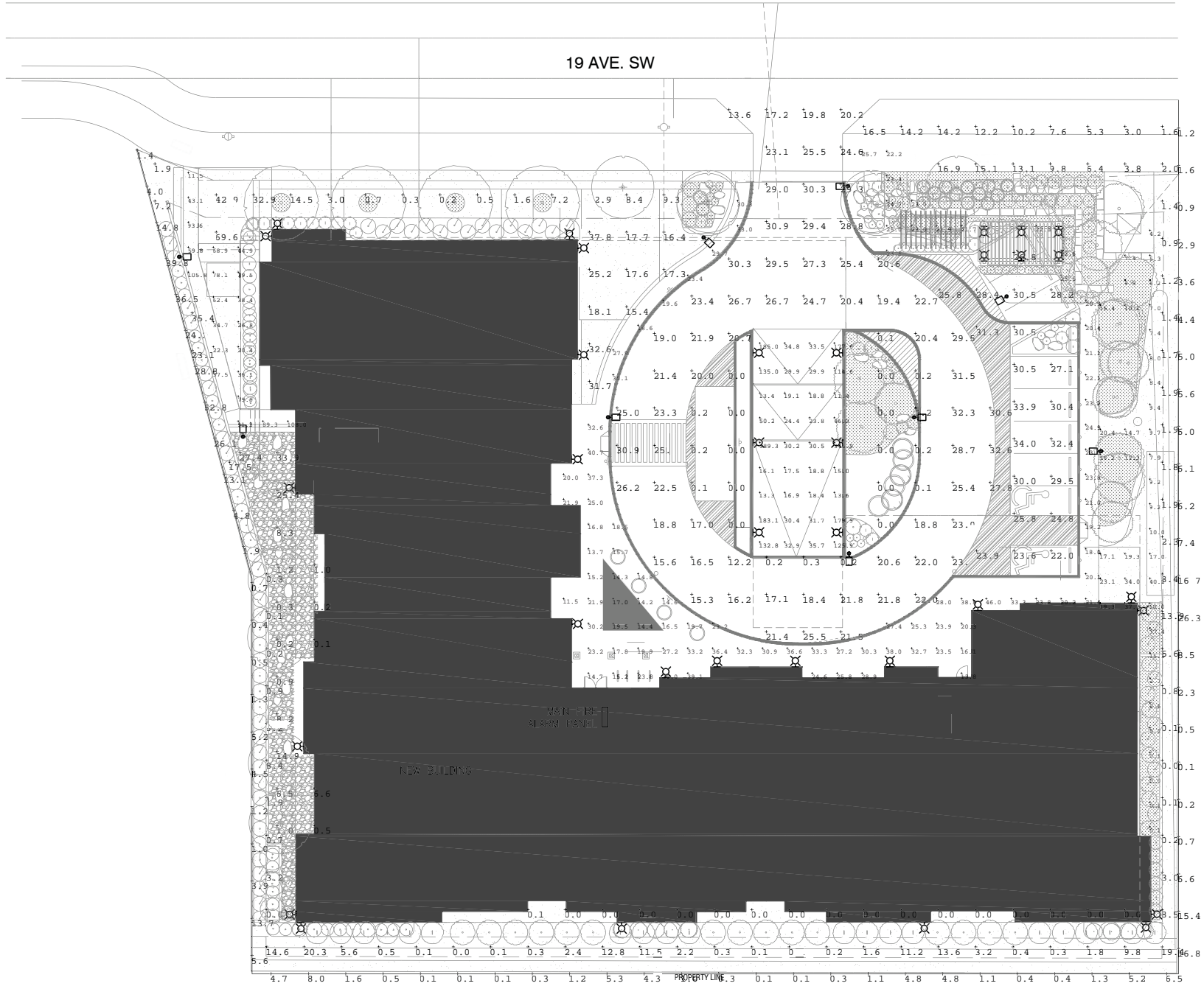
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1 SITE PLAN - LIGHTING CALCULATIONS
DPE1.01 SCALE: 1:200

Luminaire Schedule						
Type	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens
102	5	NT872R-L3W12r1	1.800	NT872R-L3W12r1	38.18	701
100	23	6542	0.850		21.9	1691
200	7	PES-LS23-W-40K	0.850	PES-LS23-W_40K	79.67	8199
201	2	MRP_LED_42C_530_40K_SR4_MVOLT	0.850	MRP LED 42C 530 40K SR4 MVOLT	75	6535

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Curbs & Walks_Top	Illuminance	Lux	24.26	46.0	11.5	2.11	4.00
Grounds_Planar	Illuminance	Lux	4.82	35.4	0.0	N.A.	N.A.
Lawn_Planar	Illuminance	Lux	18.08	69.6	0.2	90.40	348.00
Parking_Planar	Illuminance	Lux	28.47	34.0	22.0	1.29	1.55
Property Line	Illuminance	Lux	6.97	62.8	0.1	69.70	628.00
Ramp_Planar	Illuminance	Lux	72.96	389.3	11.4	6.40	34.15
Roadway_Planar	Illuminance	Lux	17.72	32.6	0.0	N.A.	N.A.
Surrounds_Planar	Illuminance	Lux	8.04	33.9	0.1	80.40	339.00
Walks_1_Top	Illuminance	Lux	13.64	60.0	0.0	N.A.	N.A.
Walks_Top	Illuminance	Lux	56.78	108.0	11.5	4.94	9.39

LUMINAIRE MOUNTING DETAILS:

TYPE 200: POLE-MOUNTED @ 7.6m (25'-0") AFG
TYPE 201: Pole-Mounted @ 3m (10'-0") AFG
TYPE 100: WALL-MOUNTED @ 4.5m (15'-0") AFG
TYPE 101: SURFACE-MOUNTED @ 3m (10'-0") AFG
TYPE 102: WALL-RECESSED @ 0.75m AFG



1 TYPE 100 LUMINAIRE
DPE1.02 SCALE: NTS



2 TYPE 101 LUMINAIRE
DPE1.02 SCALE: NTS



3 TYPE 200 LUMINAIRE
DPE1.02 SCALE: NTS



4 TYPE 201 LUMINAIRE
DPE1.02 SCALE: NTS



5 TYPE 300 LUMINAIRE
DPE1.02 SCALE: NTS



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LIGHTING FIXTURES

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