

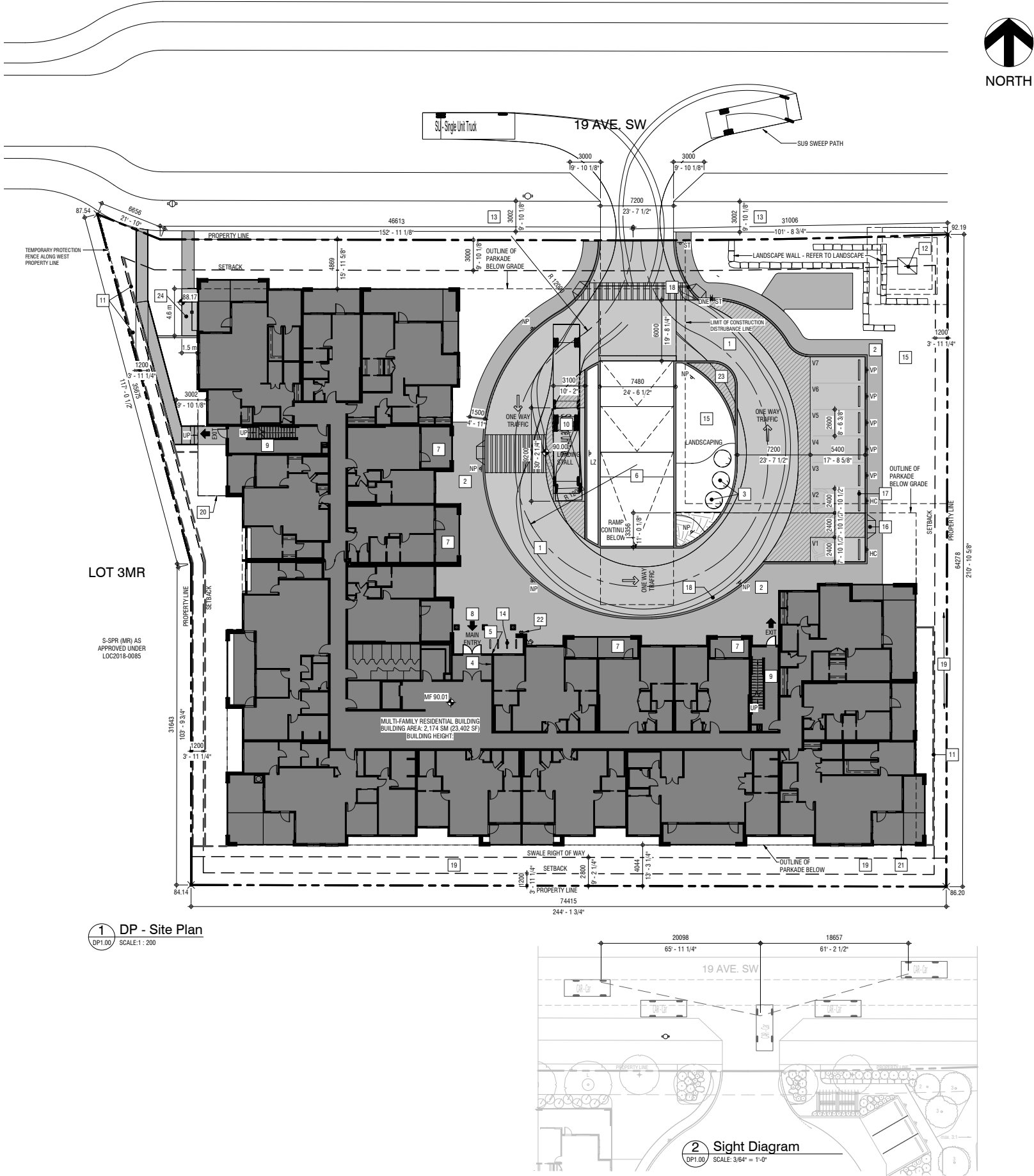
Cove Properties | 85th Street & Aspen Multifamily for the Calgary Planning Commission

June 29th, 2021

TABLE OF CONTENTS

<div>Prepared for:</div> <div> COVE PROPERTIES FOUNDATION • STRENGTH • HISTORY</div>		
<div>Prepared by:</div> <div></div>		
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SITE PLAN



Site Plan - General Notes	
1.	REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2.	REFER ALSO TO THE LANDSCAPE PLAN
3.	ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
4.	ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
5.	ALL AREAS NOT INDICATED AS PAVED/HARD SURFACING TO BE GRASSED

Site Plan - Symbol Legend	
	INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
	INDICATES EXTENT AND LOCATION OF PROPOSED CONCRETE ACCESS LANEWAY TO SUPPORT 38,556 KG & TO SUPPORT NPSA 1801 POINT LOAD OF 517 kPa (75 psi) OVER A 2-0x2-0 (4 sq. ft.) AREA
	INDICATES EXTENT AND LOCATION OF EXTENT OF NO PARKING ZONE
	INDICATES EXTENT AND LOCATION OF SIDEWALK. REFER TO LANDSCAPE PLAN
	INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
	INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
	INDICATES RETAINING WALL LOCATION
	INDICATES LOCATION OF PROPOSED FIRE HYDRANT
	INDICATES LOCATION OF EXISTING FIRE HYDRANT
	INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
	INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
	INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
	INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
	INDICATES PARKING LINE PAINTED ON ASPHALT
	INDICATES LOCATION OF BIKE RACK
	INDICATES "HANDICAP PARKING SYMBOL" POLE MOUNTED SIGNAGE
	INDICATES "LOADING ZONE" POST MOUNTED SIGNAGE
	INDICATES "NO PARKING" POST MOUNTED SIGNAGE
	INDICATES "STOP" POST MOUNTED SIGNAGE
	INDICATES "VISITOR PARKING" POST MOUNTED SIGNAGE
	INDICATES EXISTING GEODETIC SPOT ELEVATION
	INDICATES PROPOSED GEODETIC SPOT ELEVATION

Site Plan - Code Legend	
1	PROPOSED CONCRETE ACCESS LANEWAY TO SUPPORT 38,556 KG
2	PROPOSED CONCRETE SIDEWALK - REFER LANDSCAPE DRAWINGS
3	PROPOSED BELOW GRADE GARBAGE CONTAINMENT SYSTEM. REFER TO DETAILS 3 & 4/DP1.01
4	FIRE ALARM PANEL LOCATION
5	FIRE DEPARTMENT APPROVED LOCKBOX
6	PROPOSED PARKADE ACCESS RAMP, HEATED
7	PROPOSED RESIDENTIAL BALCONY WITH AT-GRADE ACCESS
8	PROPOSED MAIN RESIDENTIAL BUILDING ACCESS
9	PROPOSED BUILDING EXIT
10	PROPOSED RESIDENTIAL BUILDING LOADING STALL. MINIMUM CLEARANCE AS PER BYLAW. LOADING TO SUPPORT 38,556 KG
11	RETAINING WALL. REFER TO CIVIL
12	PROPOSED TRANSFORMER LOCATION
13	3000mm EXISTING PUBLIC SIDEWALK
14	CLASS 2 BICYCLE STALLS - REFER TO LANDSCAPE FOR DETAILS
15	PROPOSED PLANTING BED - REFER LANDSCAPE DRAWINGS
16	TYPICAL BARRIER-FREE CURB. REFER TO DETAIL 8/DP1.01
17	WHEEL STOP. REFER TO DETAIL 5/DP1.01
18	TYPICAL CURB. REFER TO DETAIL 6/DP1.01
19	CONCRETE SWALE. DESIGNED & CONSTRUCTED BY OTHERS
20	PROPOSED PARKADE EXHAUST
21	PROPOSED PARKADE INTAKE - REFER TO ELEVATIONS
22	PROPOSED SIAMESE LOCATION
23	ROLLED CURB - REFER TO 10/DP1.01 - AS PER CITY OF CALGARY STANDARDS
24	GAS METER LOCATION

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SITE PLAN

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/23

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior elevations, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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REVISION	DATE
1 O.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021

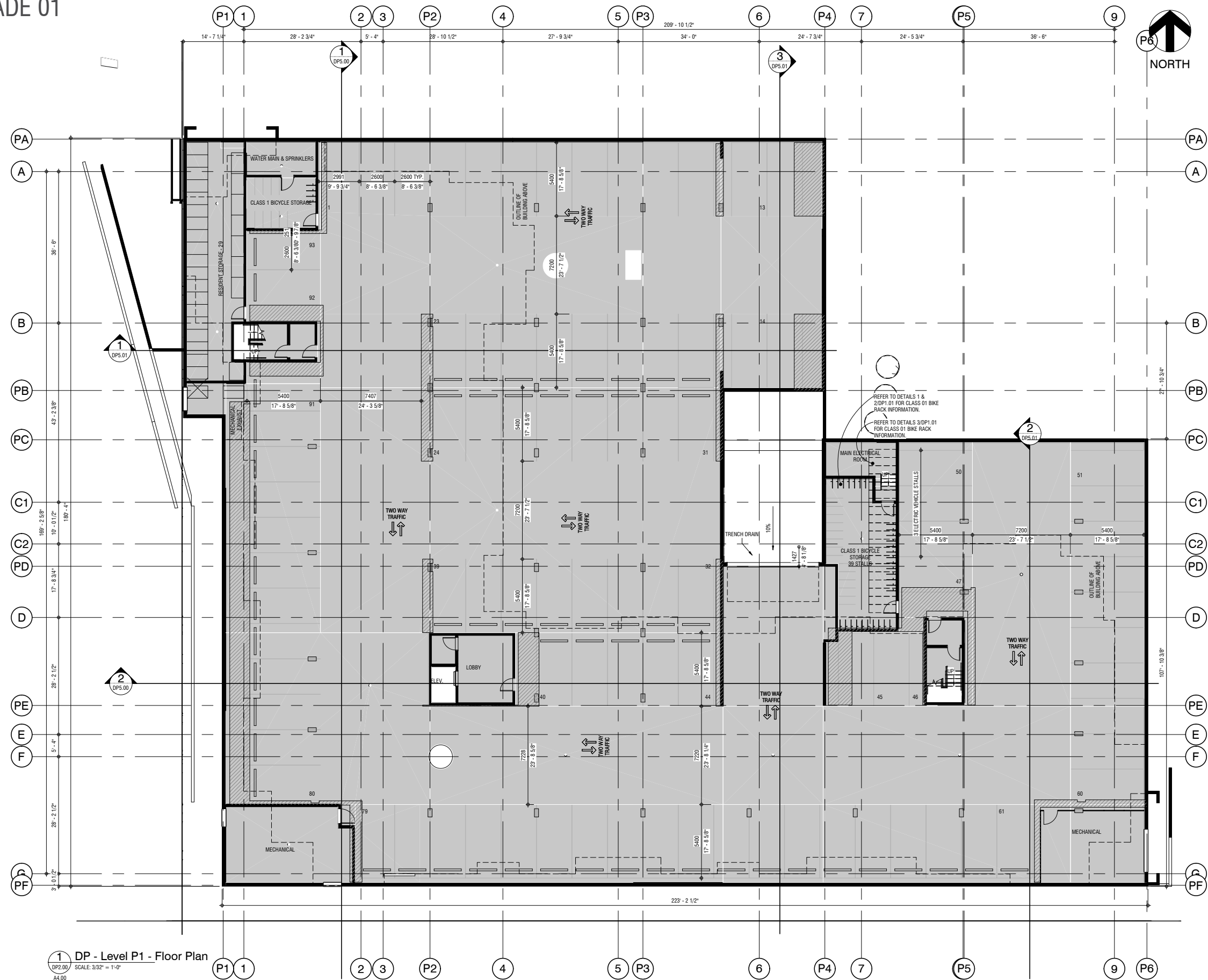
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DRAWING NO.

DP1.00

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FLOOR PLANS - PARKADE 01





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PARKADE LEVEL P01

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COVE PROPERTIES
219193

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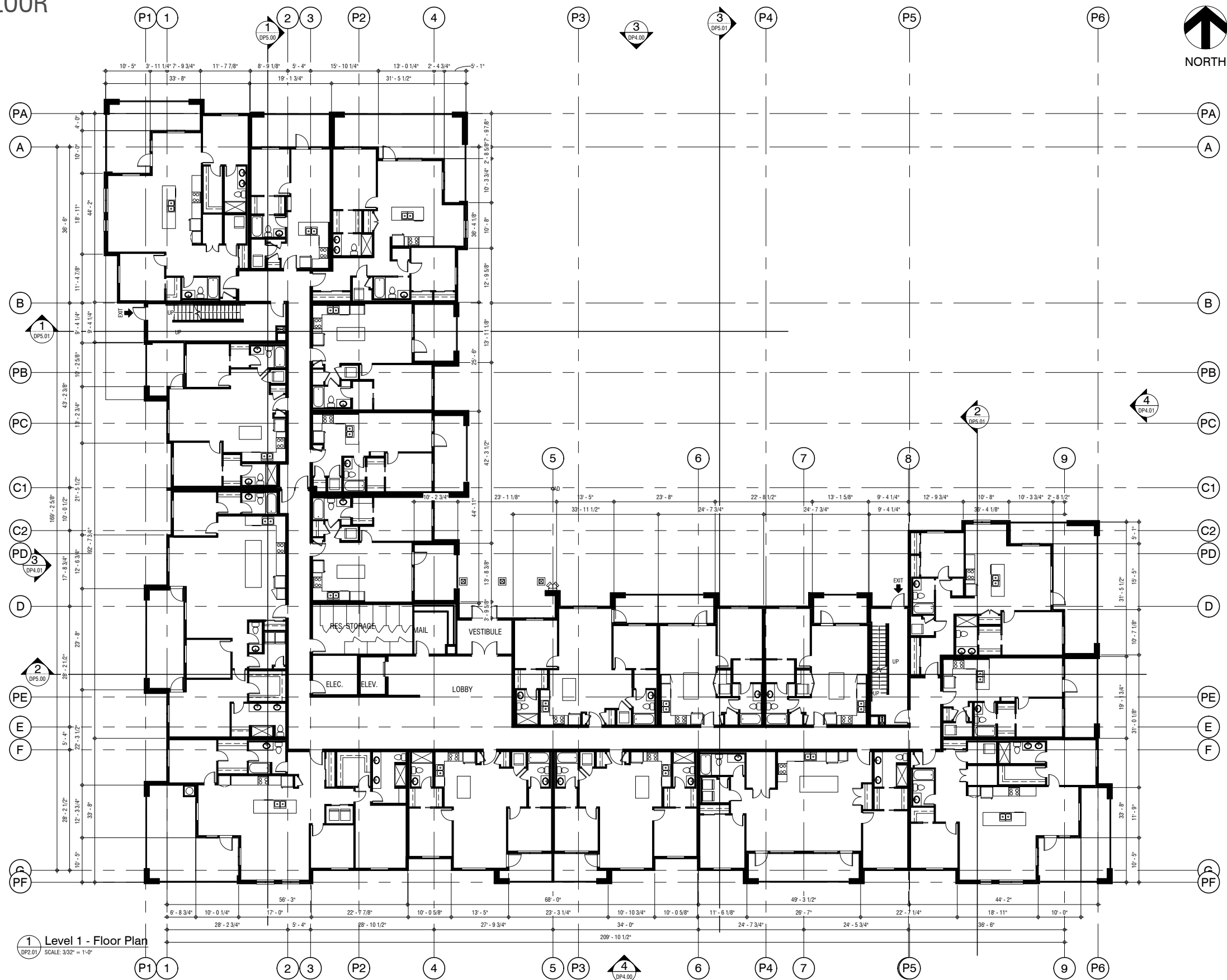
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DP2.00

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FLOOR PLANS - MAIN FLOOR



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FLOOR PLAN - LEVEL 1

85th & PARK
(at Aspen)

8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
219193

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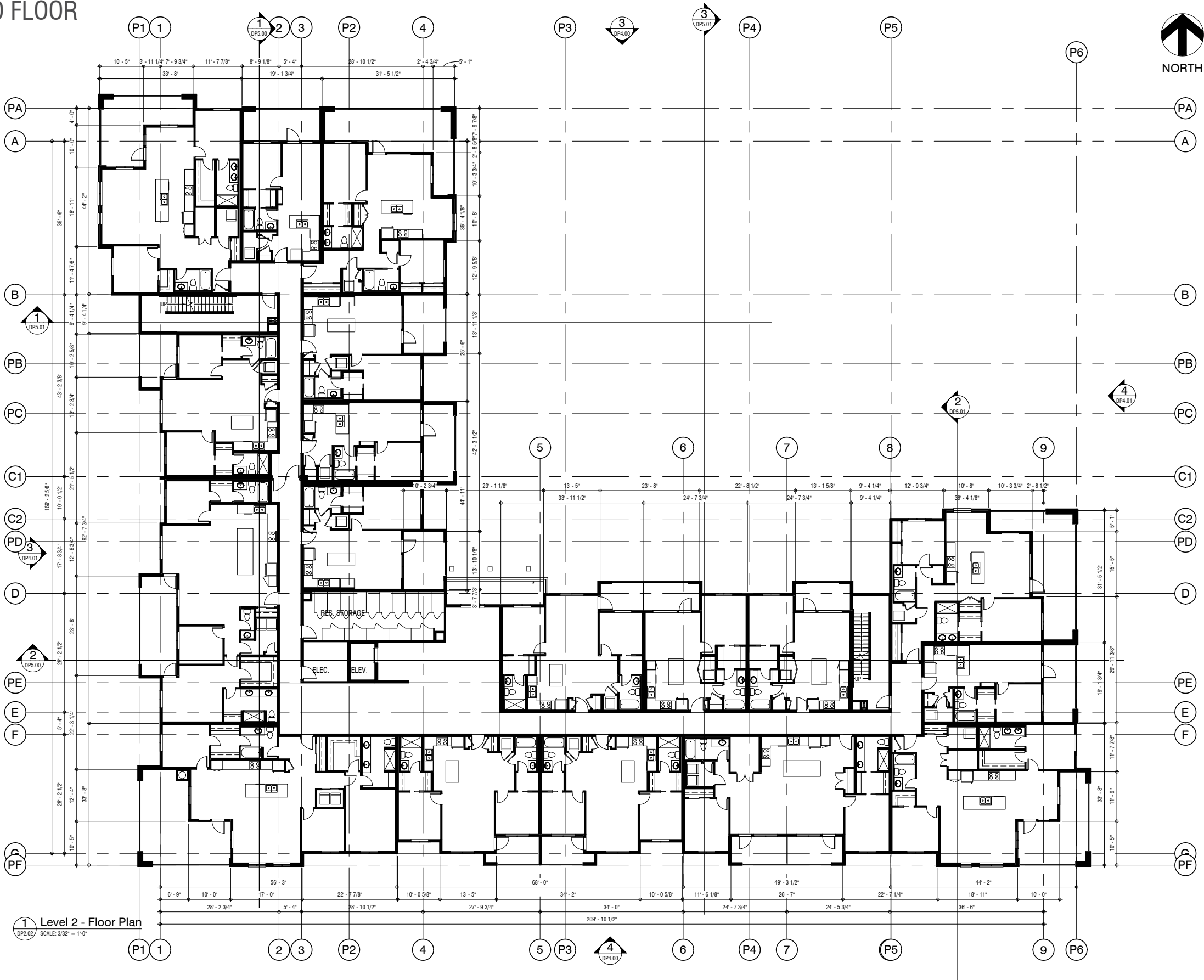
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DP2.01

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FLOOR PLANS - SECOND FLOOR



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FLOOR PLAN - LEVEL 2

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/93

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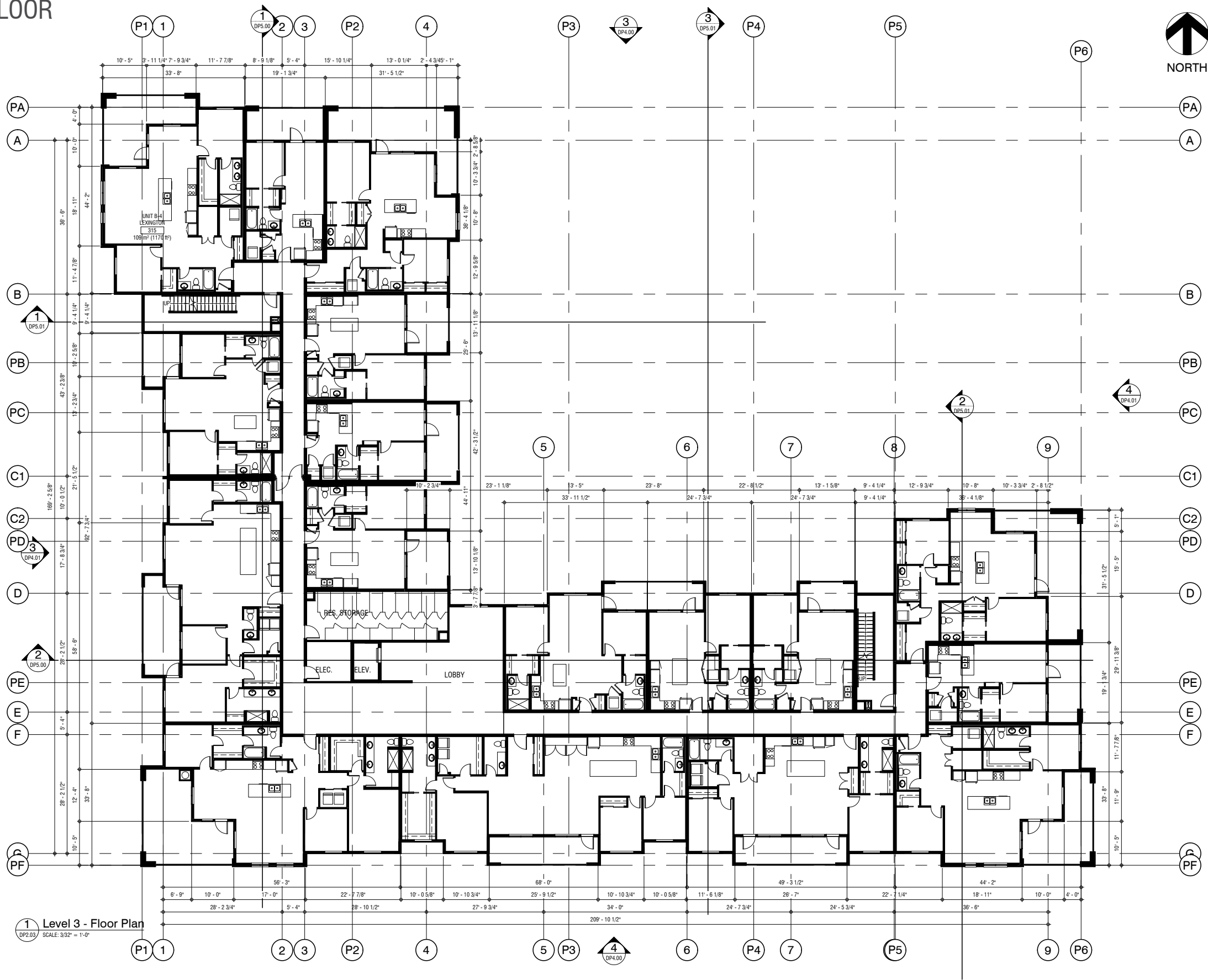
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DP2.02

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FLOOR PLANS - THIRD FLOOR



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FLOOR PLAN - LEVEL 3

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
210193

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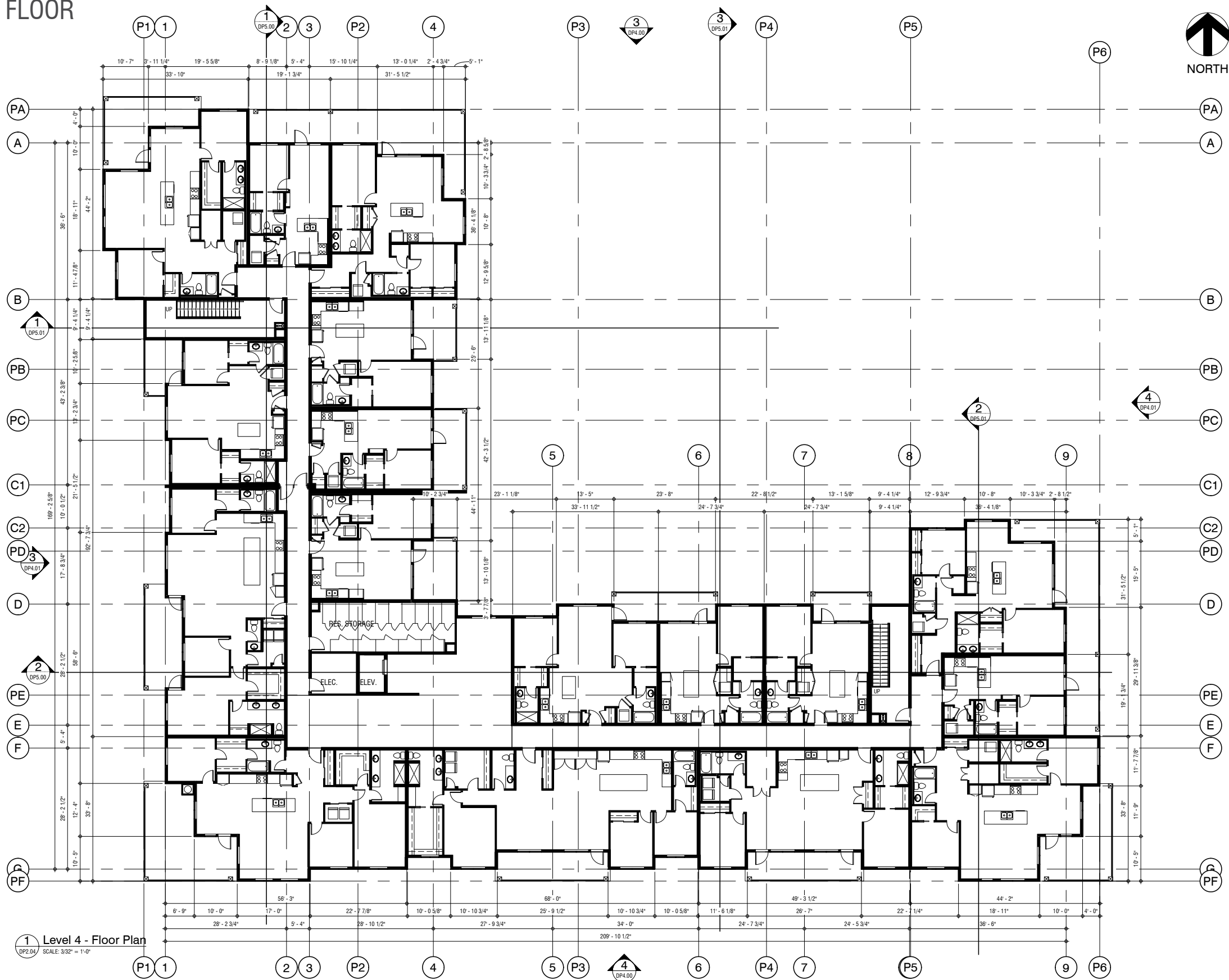
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3 DTR2	06.25.2021

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DP2.03

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FLOOR PLANS - FOURTH FLOOR



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FLOOR PLAN - LEVEL 4

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COVE PROPERTIES
219.933

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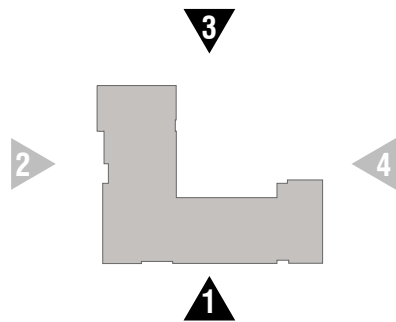
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ELEVATIONS

KEY PLAN



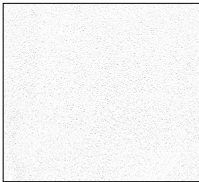
LEGEND



Masonry Stone
Veneer



Lux Panel - Fir Wood
Tone



Acrylic Stucco -
White



Acrylic Stucco -
Warm Grey



Acrylic Stucco -
Charcoal



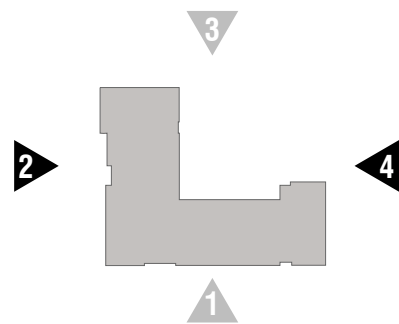
1 NORTH (ALONG 19TH AVENUE SW)



3 SOUTH

ELEVATIONS

KEY PLAN



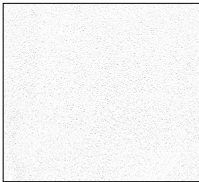
LEGEND



Masonry Stone
Veneer



Lux Panel - Fir Wood
Tone



Acrylic Stucco -
White



Acrylic Stucco -
Warm Grey



Acrylic Stucco -
Charcoal



4 EAST



2 WEST

LANDSCAPE + PERSPECTIVE



1 DP - Landscape Plan
DPL1.00 SCALE: 1 : 200

LEGAL DESCRIPTION	MUNICIPAL ADDRESS	TREE LEGEND		SHRUB + ORNAMENTAL GRASS LEGEND	GENERAL NOTES
PLAN 2747HB BLOCK 30	2027 - 81ST ST SW	L - ON TREE SYMBOL DENOTES 75MM CAL. LARGE TREE			
PROJECT DATA/SITE BUILDING DATA		30% TREES FROM LOW WATER LIST = 13 TREES (11 BLUE SPRUCE / 4 MAYDAY = 15 TOTAL)		30% SHRUBS FROM LOW WATER LIST = 25 SHRUBS REQUIRED (5 SNOWBERRY / 5 MUGHO / 75 URAL FALSE SPIREA / 48 LILAC = 131 TOTAL PROVIDED)	<ul style="list-style-type: none">ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGSALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTIONALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIESALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCKALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLSALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCHALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. DRIP IRRIGATION TO BE USED FOR TREES AND PLANTING BEDS AND A ROTARY SYSTEM FOR ALL TURF AREAS
PROPOSED USE: MULTI-RESIDENTIAL - MEDIUM PROFILE (M26 - 210) DISTRICT SITE AREA: 4888.00 m ²		6 QTY - 3M HT. COLORADO BLUE SPRUCE (LOW WATER)		1 SIBERIAN DOGWOOD (24 QTY)	
LANDSCAPE PLANTING REQUIREMENTS		5 QTY - 2M HT. COLORADO BLUE SPRUCE (LOW WATER)		1 URAL FALSE SPIREA (75 QTY)	
TOTAL LANDSCAPE AREA REQUIRED = 40% OF TOTAL SITE		4 QTY - MAYDAY (LOW WATER)		1 SNOWBERRY (5 QTY)	
TOTAL LANDSCAPE AREA PROVIDED = 39.3% OF TOTAL SITE		27 QTY - SWEDISH COLUMNAR ASPEN		1 PRICKLY ROSE (3 QTY)	
556 LANDSCAPE REDUCTION (3%) = 37% OF TOTAL SITE		9 QTY - HOT WINGS MAPLE		1 DWARF KOREAN LILAC (28 QTY)	
LANDSCAPE PLANTING REQUIREMENTS				1 MUGHO PINE (5 QTY)	
TOTAL TREES REQUIRED (1146m ² OF TOTAL LANDSCAPE AREA BASED ON 37% OF LANDSCAPE AREA)				1 KARL FOERSTER FEATHER REED GRASS (28 QTY)	
TOTAL TREES PROVIDED				1 PRESTON LILAC (20 QTY)	
DECIDUOUS TOTAL (75%)				1 GREEN SPIRES PEASHRUB (20 QTY)	
DECIDUOUS @ 75mm CALIPER (LARGE)				1 SKANDIA JUNIPER (13 QTY)	
DECIDUOUS @ 50mm CALIPER					
CONIFEROUS TOTAL (25%)					
CONIFEROUS @ 3000mm HEIGHT (LARGE)					
CONIFEROUS @ 2000mm HEIGHT					
TOTAL SHRUBS REQUIRED					
TOTAL SHRUBS PROVIDED					



GAZEBO LOOK TO BE SIMILAR TO IMAGES ABOVE