



# SPRINGBANK HILLS ESTATES

2021-03-30 11:28:58 AM  
Q:\Jobs Current\Spray Properties\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkade\1915-Springbank Parkade & site DP (20-11-23).rvt

**DRAWING LIST**

**Architectural**

- DP0.0 TITLE PAGE, LIST OF CONSULTANTS, DRAWING INDEX
- DP1.1 BLOCK PLAN
- DP1.2 EXISTING SITE PLAN
- DP1.3 PROPOSED SITE PLAN
- DP1.4 PHASING PLAN
- DP1.5 TURNING TEMPLATES
- DP1.6 WASTE & RECYCLING
- DP1.7 SITE SECTIONS
- DP1.8 SITE SECTIONS
- DP1.9 SITE SECTIONS
- DP2.0 PARKADE
- DP2.1 BUILDING 1 - PARKADE LEVEL
- DP2.2 BUILDING 1 - FIRST LEVEL
- DP2.3 BUILDING 1 - SECOND - FOURTH LEVEL
- DP2.4 BUILDING 1 - FIFTH LEVEL
- DP2.5 BUILDING 2 - FIRST LEVEL
- DP2.6 BUILDING 2 - SECOND - FIFTH LEVEL
- DP2.7 BUILDING 2 - SIXTH LEVEL
- DP2.8 BUILDING 3 - FIRST LEVEL
- DP2.9 BUILDING 3 - SECOND LEVEL
- DP3.0 BUILDING 1 - EAST & WEST ELEVATIONS
- DP3.1 BUILDING 1 - NORTH & SOUTH ELEVATIONS
- DP3.2 BUILDING 2 - NORTH & WEST ELEVATIONS
- DP3.3 BUILDING 2 - SOUTH & EAST ELEVATIONS
- DP3.4 BUILDING 3 - ELEVATIONS

**Civil**

- SP1 SITE SERVICING PLAN
- SP2 SITE GRADING PLAN
- SP3 SITE DETAILS

**Landscape**

- DPL1 LANDSCAPE PLAN

**GENERAL NOTES**

This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

**REVISIONS**

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

PERMIT TO PRACTICE

STAMP

ARCHITECT

**casola koppe**  
ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

**SPRINGBANK HILL**

PROJECT ADDRESS

LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING

TITLE PAGE, LIST OF CONSULTANTS, DRAWING INDEX

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2021	SHEET
SCALE AS NOTED		<b>DP0.0</b>

ARCHITECTURAL

**casola koppe**  
ARCHITECTS

#300 - 1410 1st STREET SW, CALGARY, ALBERTA, T2R 0V8  
tuc: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

CIVIL

**Jubilee**  
Engineering Consultants Ltd.

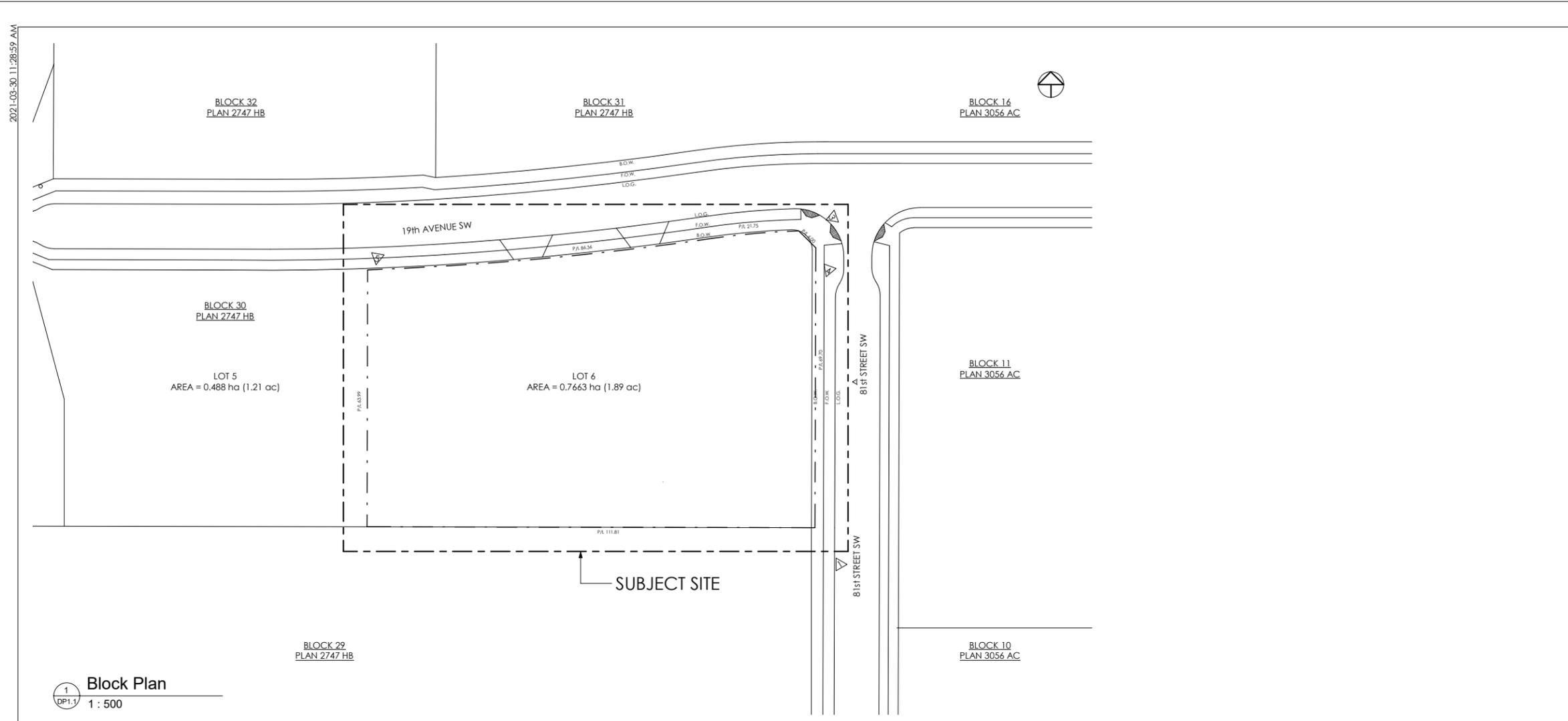
LANDSCAPE

**1818 studio**  
planning + design collaborative

CLIENT

**SPRAY GROUP**

Q:\Jobs Current\Springbank Properties\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkcode\1915-Springbank Parkcode & Site DP (20-11-23).rvt



**Block Plan**  
1 : 500

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLOCK PLAN**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
	2021	
SCALE AS NOTED	<b>DP1.1</b>	



1. SE CORNER



2. EAST



3. NE CORNER LOOKING WEST



4. NE CORNER LOOKING SOUTH



5. NW CORNER

2021-03-30 11:29:00 AM  
G:\Jobs Current\Springbank Properties\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkade\1915-Springbank Parkade & site DP (20-11-23).rvt

**BLOCK 32**  
**PLAN 2747 HB**

**BLOCK 31**  
**PLAN 2747 HB**

**BLOCK 30**  
**PLAN 2747 HB**

**BLOCK 29**  
**PLAN 2747 HB**

19th AVENUE SW

81st STREET SW

UPDATE BLOCK PROFILES WITH MOST CURRENT APPROVED DRAWINGS FROM JUBILEE.

LOT 5  
AREA = 0.488 ha (1.21 ac)

LOT 6  
AREA = 0.7663 ha (1.89 ac)

SUBJECT SITE

1  
DP1.2  
Site Plan - Existing  
1 : 200

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

EXISTING SITE PLAN LEGEND

✕ 1187.00 EXISTING GEODETIC DATUM POINTS  
-1187.00- GEODETIC CONTOURS AT 0.5m INCREMENTS

PERMIT TO PRACTICE

STAMP

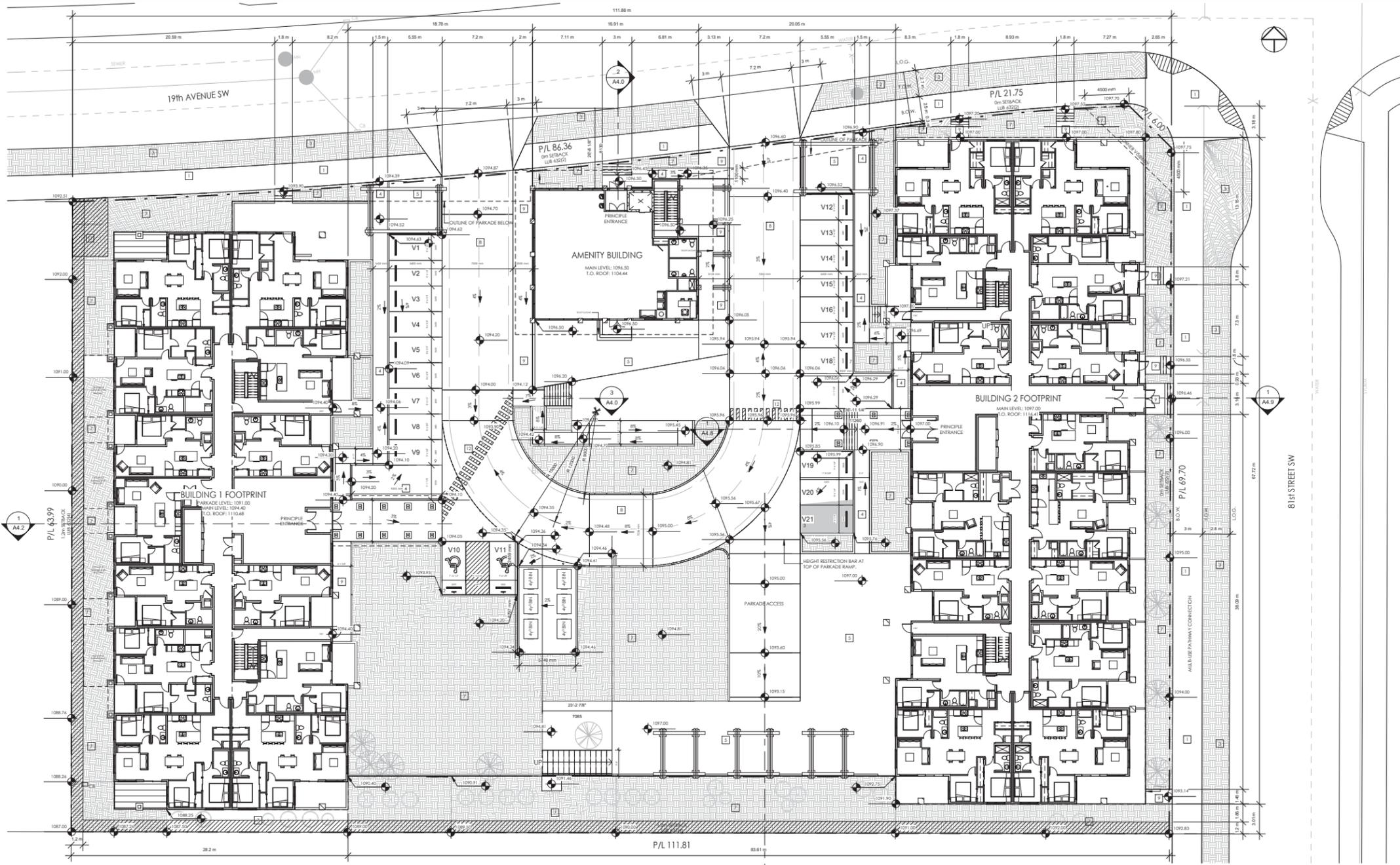
ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**EXISTING SITE PLAN**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
SCALE AS NOTED		<b>DP1.2</b>

C:\Users\eric.free\Desktop\2020\locat files\19.15.12.106-211.SHE.BP.eric.free.rvt



**GENERAL NOTES**  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part, without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

**REVISIONS**

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DR#1
3	2021-03-26	Issued for DP DR#2

1 DP1.3  
Site Plan - Proposed  
1 : 200

**ZONING COMPLIANCE TABLE**

CITY OF CALGARY LAND USE BYLAW 1P2007

ZONING:	CURRENT:	PROPOSED:
		M-2 - MEDIUM PROFILE DIRECT CONTROL DISTRICT
BYLAW	PERMITTED/REQUIRED	PROVIDED
<b>SETBACKS:</b>	STREET ORIENTED 0m FROM PROPERTY LINE TO STREET MIN 1.2m FROM PROPERTY LINE SHARED WITH ANOTHER PARCEL	0m AT NORTH AND EAST PROPERTY LINE 2.2m AT SOUTH PROPERTY LINE 4.4m AT WEST PROPERTY LINE
<b>SITE AREA:</b>	7663.70 SQ.M., 0.7663 HA, 1.89 ACRE	
<b>BUILDING COVERAGE:</b>	BUILDING 1: BUILDING 2: AMENITY BUILDING:	1274.20 SQ.M. 1439.67 SQ.M. 218.60 SQ.M.
<b>SITE COVERAGE:</b>		38.3%
<b>F.A.R.:</b>	N/A (LUB M-1)	1.91

**AMENITY**

1ST	217.11	SQ.M.			
2ND	155.71	SQ.M.			
TOT	372.82	SQ.M.			
1000			2000		
PL	673.64	SQ.M.	1ST	1431.08	SQ.M.
1ST	1235.15	SQ.M.	2ND	1390.67	SQ.M.
2ND	1205.60	SQ.M.	3RD	1390.67	SQ.M.
3RD	1205.60	SQ.M.	4TH	1390.67	SQ.M.
4TH	1205.60	SQ.M.	5TH	1390.67	SQ.M.
5TH	805.37	SQ.M.	6TH	943.89	SQ.M.
TOT	6330.96	SQ.M.	TOT	7937.65	SQ.M.

BYLAW	PERMITTED/REQUIRED	PROVIDED
<b>DENSITY:</b> CPC2019-1079 DC	MIN 40 UPH MAX 210 UPH	122 UPH
<b>BUILDING HEIGHT:</b> CPC2019-1097 DC	16.0m FROM GRADE AT PROPERTY LINE 20.0m FROM GRADE AT 5.0m FROM PROPERTY LINE	BUILDING 1: 20.136m AMENITY BUILDING: 13.025m
<b>PARKING:</b>	1.25 RESIDENT STALLS PER UNIT > 60.0 SQ.M. (107 x 1.25 = 133) 1.0 RESIDENT STALLS PER UNIT < 60.0 SQ.M. (50 x 1 = 50) 10% REDUCTION ON RESIDENT STALLS (183 x 10% = 165) 0.15 VISITOR STALLS PER UNIT (157 x 0.15 = 24) 5 B.F. STALLS (NBC2019 AB EDITION 3.8.2.5.(2)) (4 PER FIRST 100 +1)	RESIDENT: 162 VISITOR: 24 TOTAL: 186 BARRIER FREE: 6
<b>LOADING STALL:</b>	1.0	2.0
<b>BICYCLE PARKING:</b>	0.5 CLASS 1 STALLS PER UNIT 0.1 CLASS 2 STALLS PER UNIT	(157 x 0.5 = 79) (157 x 0.1 = 16)
		CLASS 1: 112 CLASS 2: 16

**LEGEND**

- 1 PROPOSED CITY OF CALGARY SIDEWALK
- 2 PROPOSED HYDRANT
- 3 CITY BOULEVARD
- 4 BARRIER FREE PATH OF TRAVEL - CONCRETE BROOM FINISH
- 5 MULTI-SEASON SUPPORTIVE OUTDOOR PLAZA AREA
- 6 PROPOSED LOADING STALL - MIN 9.2m x 3.1m
- 7 PROPOSED LANDSCAPING
- 8 ASPHALT DRIVE AISLE\*
- 9 CONCRETE BROOM FINISH
- 10 CONCRETE BRICK PAVERS FINISH
- 11 PROPOSED TRANSFORMER LOCATION - MIN 5.8m x 3.6m CLEAR
- 12 PEDESTRIAN CROSSING - 1.2m WIDTH
- 13 PUBLIC AMENITY SPACE
- 14 BIKE RACKS - CLASS 2

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**

PROJECT ADDRESS  
1901 81ST STREET SW, CALGARY, AB T2R 0V8

NOTE: NO PARKING SIGNS ARE TO BE LOCATED ON EITHER DRIVE AISLE.

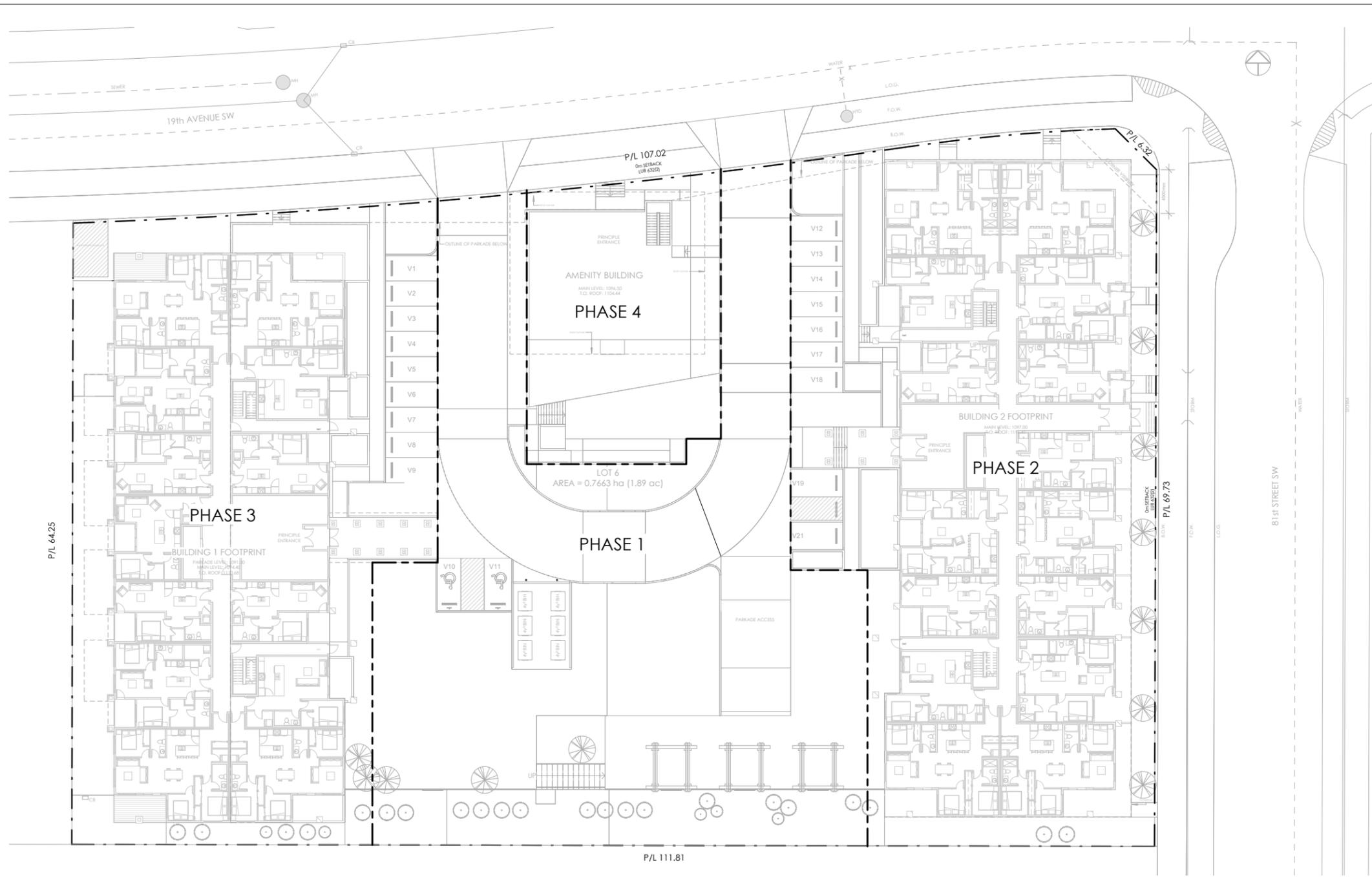
**PROPOSED SITE PLAN**

DRAWN BY	JOB NO.	Building Permit #
EF	1915	
CHECKED BY		SHEET
TJK		
ISSUE DATE (yy/mm)		
2021		
SCALE		
AS NOTED		

**DP1.3**

2021-03-30 11:29:07 AM

G:\Jobs Current\Springbank Properties\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkade\1915-Springbank Parkade & site DP (20-11-23).rvt



**GENERAL NOTES**  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

**REVISIONS**

Revision Schedule		
Number	Date (yy/mm/dd)	Description
2	2021-11-20	Issued for DP D1R1
3	2021-03-26	Issued for DP D1R2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**PHASING PLAN**

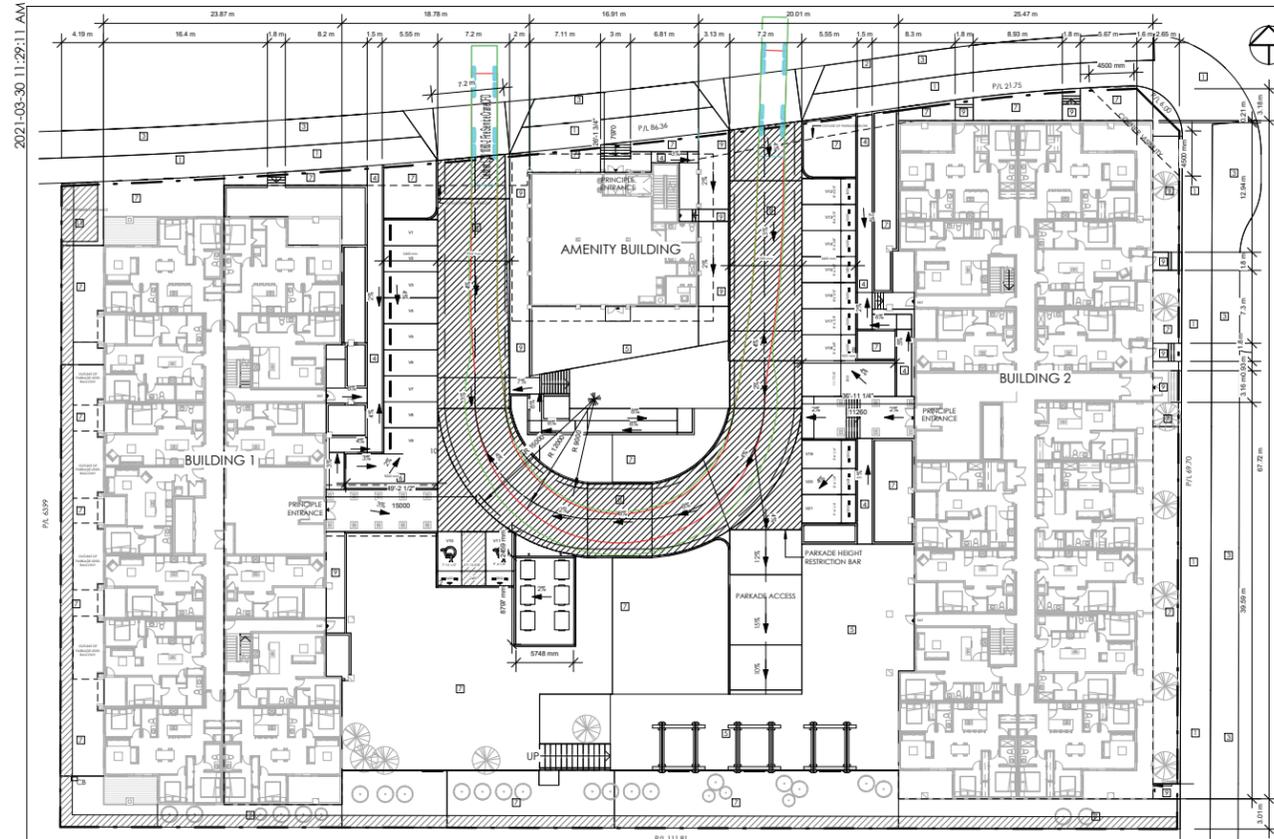
DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
2021		<b>DP1.4</b>
SCALE AS NOTED		

**1 Phasing Plan**  
DP1.4  
1 : 200

**PROJECT PHASING**

- PHASE 1: PARKADE AND ALL PAVED AREAS INCLUDING GARBAGE ACCESS ROUTE
- PHASE 2: BUILDING 2000
- PHASE 3: BUILDING 1000
- PHASE 4: AMENITY BUILDING AND ALL REMAINING LANDSCAPING

PHASE 1 TO BE COMPLETED FIRST, PHASES 2-4 TO BE COMPLETED NON-SEQUENTIALLY

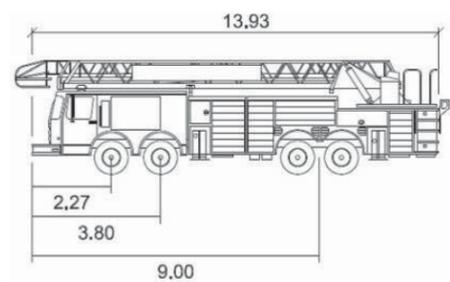


1  
DP1.5  
**Turning Template - Fire Truck**  
1 : 300

**NOTE:** HATCHED AREA INDICATES FIRE ACCESS ROUTE DESIGNED TO SUPPORT 38556kg LOAD & NFPA 1901 POINT LOAD OF 517kPa (75psi) OVER A 24" x 24" AREA. HEIGHT RESTRICTION BARS AT TOP OF PARKADE RAMP INDICATE WHERE SUPPORTED AREA ENDS.

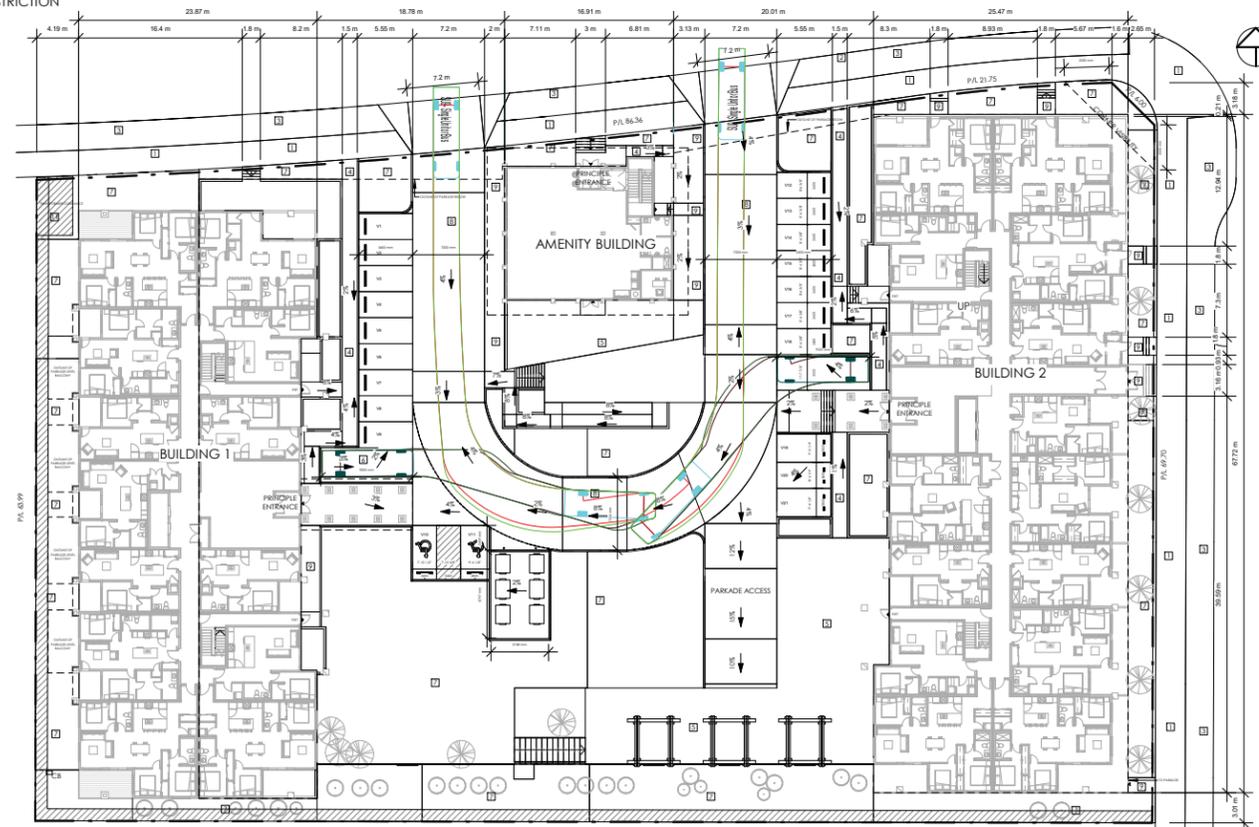
**NOTE:** NO PARKING SIGNS ARE TO BE LOCATED ON EITHER SIDE OF THE FIRE ACCESS ROUTE.

**NOTE:** VEHICLE TURN TEMPLATE USES THE TRUCK DETAILS AND MEASUREMENTS SHOWN BELOW.

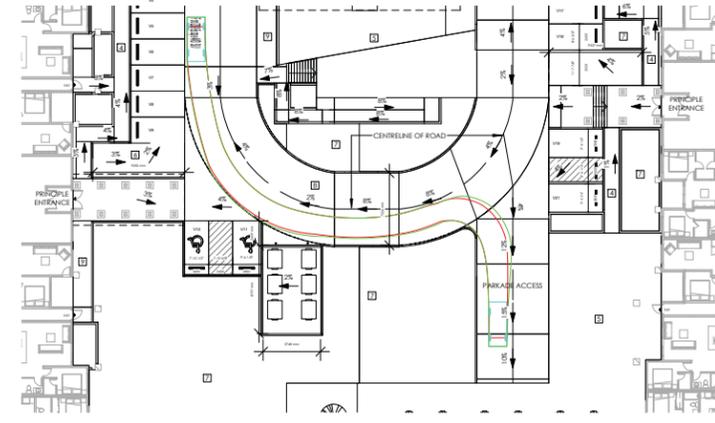


CFD\_Bronto\_Skylift meters

Width	: 2.57
Track	: 2.57
Lock to Lock Time	: 6.0
Steering Angle	: 47.5
Turning Radius	: 10.18



2  
DP1.5  
**Turning Template - Loading Stalls**  
1 : 300



3  
DP1.5  
**Turning Template - Parkade Ramp**  
1 : 300

**NOTE:** PARKADE RAMP TURN TEMPLATE USES A 2015 FORD ESCAPE SUV VEHICLE TRACKING MODEL.

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2021-11-20	Issued for DP D1R1
2	2021-03-26	Issued for DP D1R2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

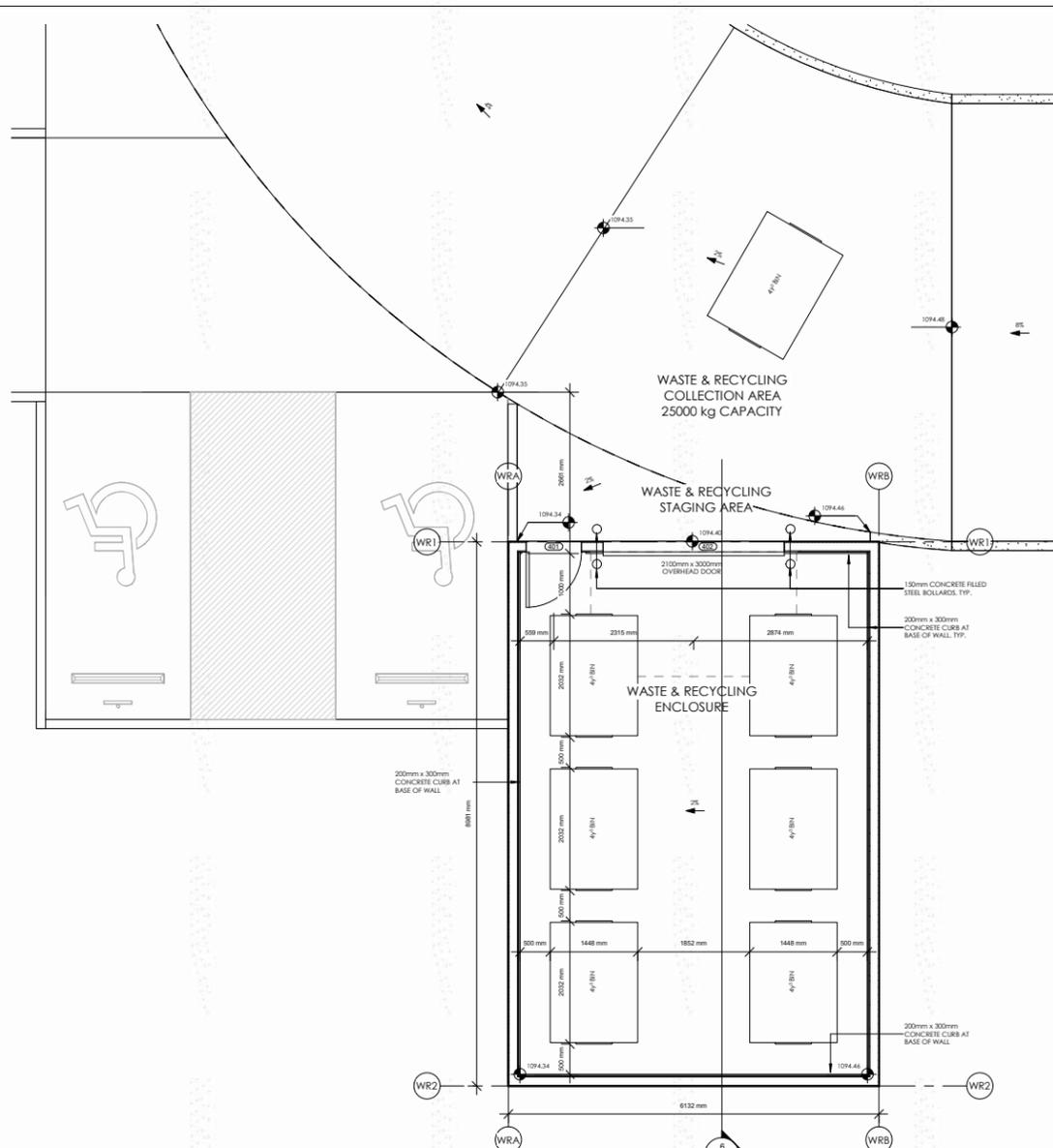
DRAWING  
**TURNING TEMPLATES**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2021	SHEET
SCALE AS NOTED		<b>DP1.5</b>

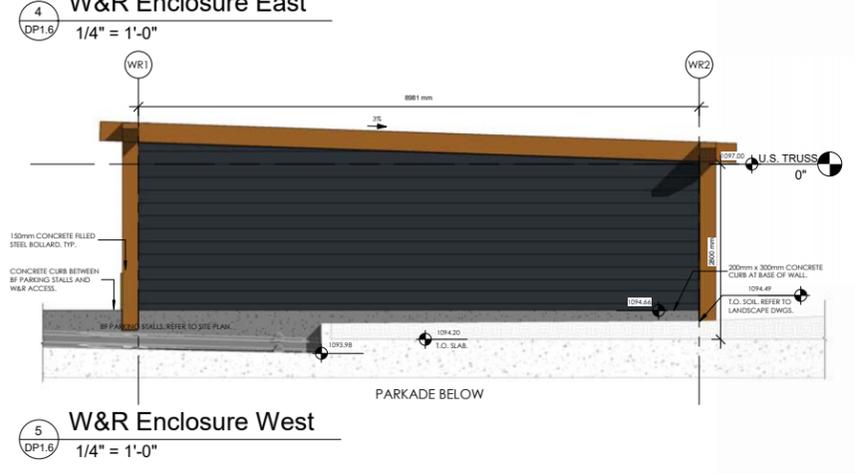
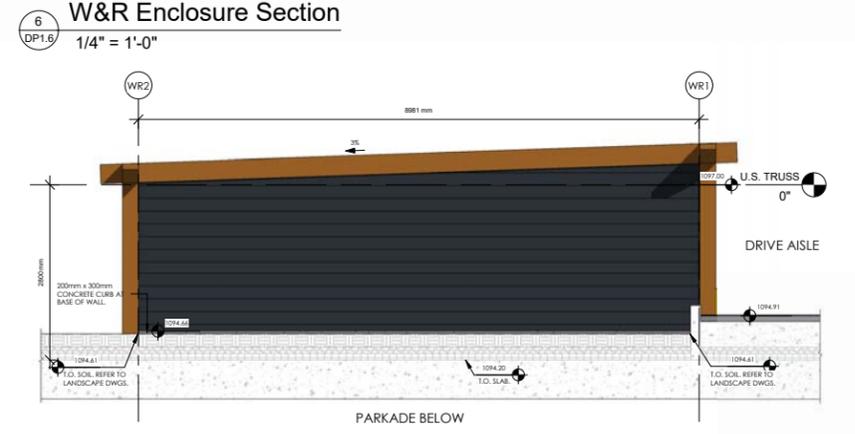
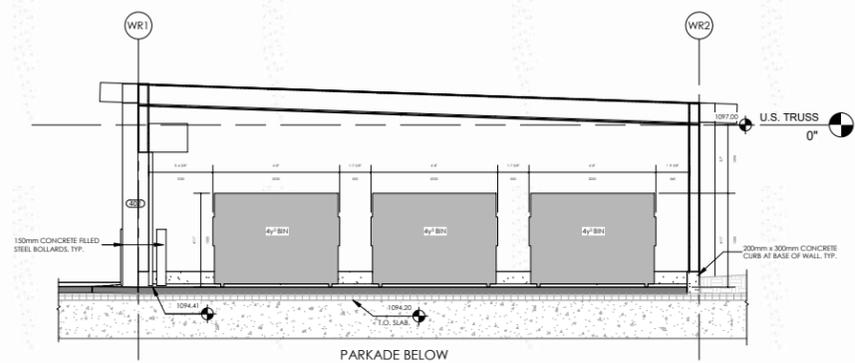
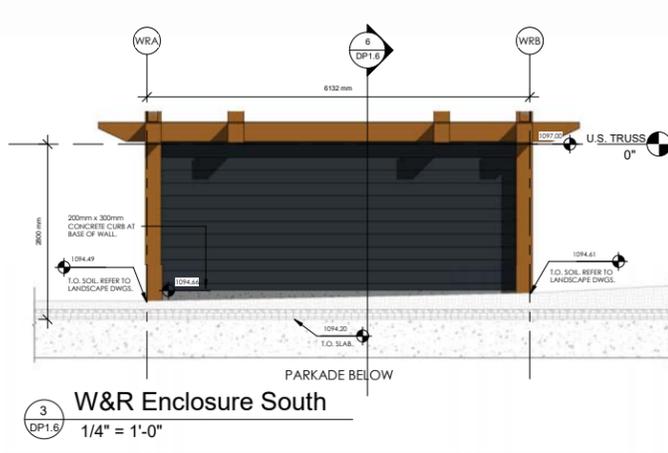
G:\Jobs Current\Spring Properties\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkade\1915-Springbank Parkade & site DP (20-11-23).rvt

2021-03-30 11:29:13 AM

Q:\Jobs Current\Spray Properties\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkade\1915-Sprinkbank  
parkade & site DP (20-11-23).rvt



1 Waste & Recycling  
1/4" = 1'-0"



GENERAL NOTES

This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

PERMIT TO PRACTICE

STAMP

ARCHITECT

**casola koppe**  
ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING

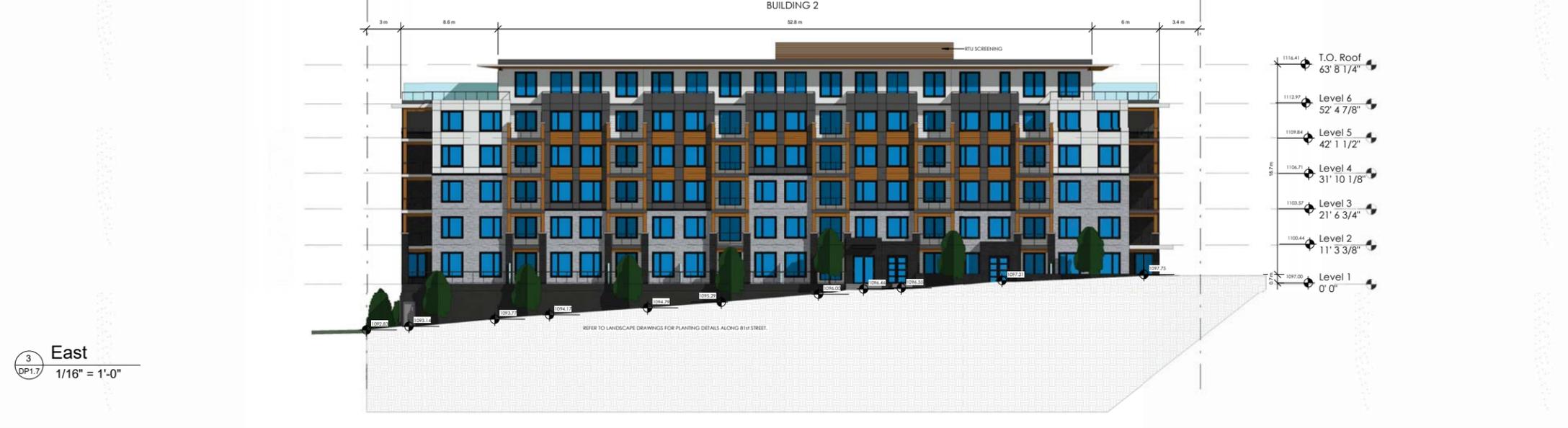
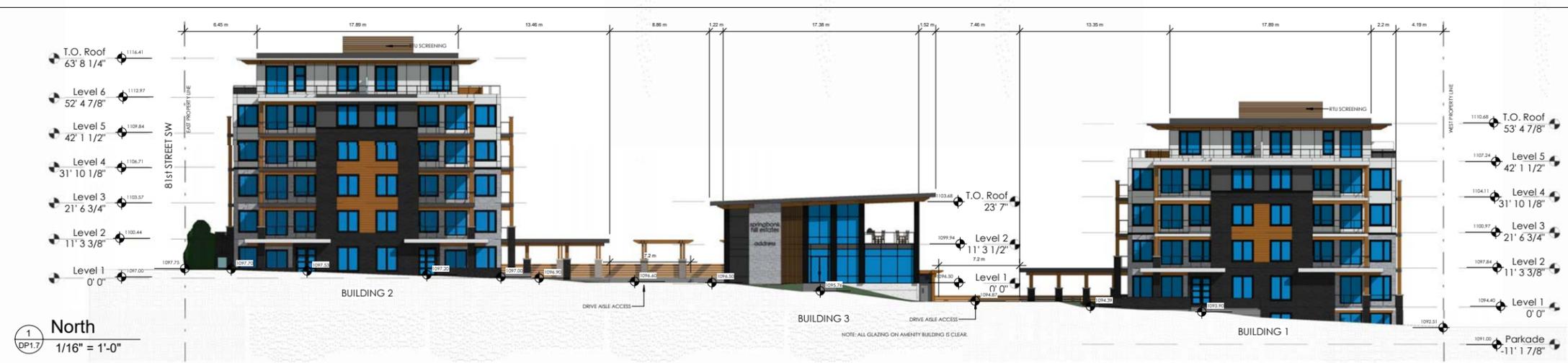
**WASTE & RECYCLING**

DRAWN BY: EF  
JOB NO.: 1915  
CHECKED BY: TJK  
ISSUE DATE (yy/mm): 2021  
SCALE: AS NOTED

Building Permit #  
SHEET

**DP1.6**

2021-03-30 11:29:36 AM  
C:\Jobs\Current\Drawings\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkade\1915-Springsbank Parkade & site DP (20-11-23).rvt



GENERAL NOTES  
 This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

Keynotes

7	TIMBER POST
17	STUCCO PILASTER - LIGHT GREY
18	ENGINEERED WOOD GUARD RAIL
19	STUCCO - DARK GREY
20	STUCCO - SLATE GREY
21	FABRICATED METAL SCREENING

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
 ARCHITECTS  
 Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
 P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
 PROJECT ADDRESS  
 LEGAL  
 Lot 6, Block 30, Plan 2747 HB

DRAWING  
**SITE SECTIONS**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
	2021	
SCALE AS NOTED	<b>DP1.7</b>	

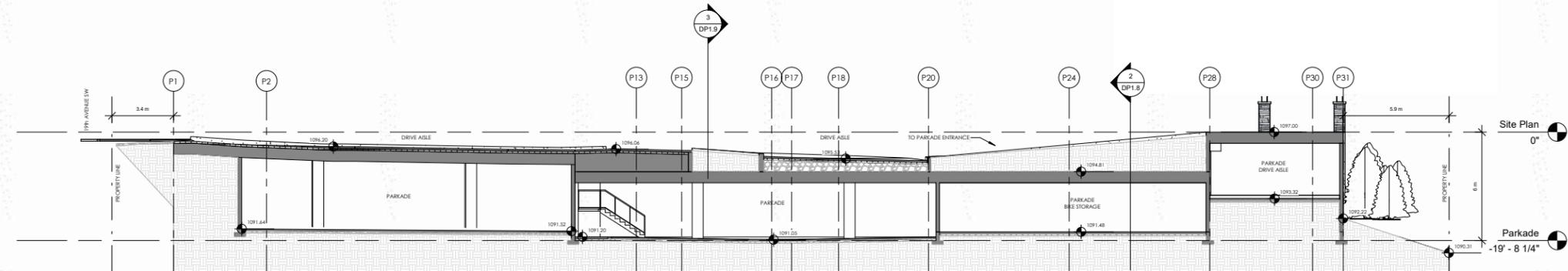
2021-03-30 11:29:44 AM

Q:\Jobs Current\Drawings\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkade\1915-Springbank Parkade & site DP (20-11-23).rvt

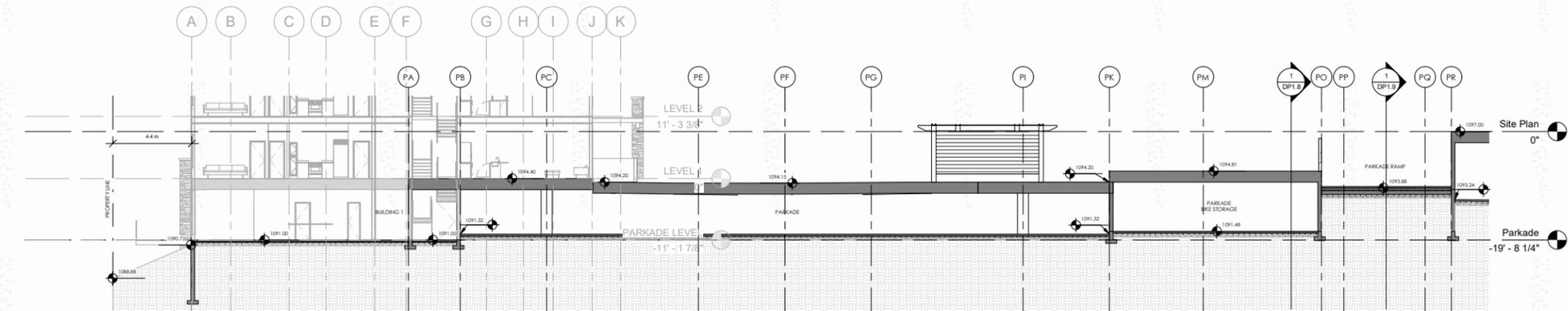


- T.O. Roof  
53' 4 7/8"
- Level 5  
42' 1 1/2"
- Level 4  
31' 10 1/8"
- Level 3  
21' 6 3/4"
- Level 2  
11' 3 3/8"
- Level 1  
0' 0"
- Level 1  
-11' 1 7/8"

3  
DP1.8  
West  
3/32" = 1'-0"



1  
DP1.8  
SITE SECTION 1  
3/32" = 1'-0"



2  
DP1.8  
SITE SECTION 2  
3/32" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part, without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**SITE SECTIONS**

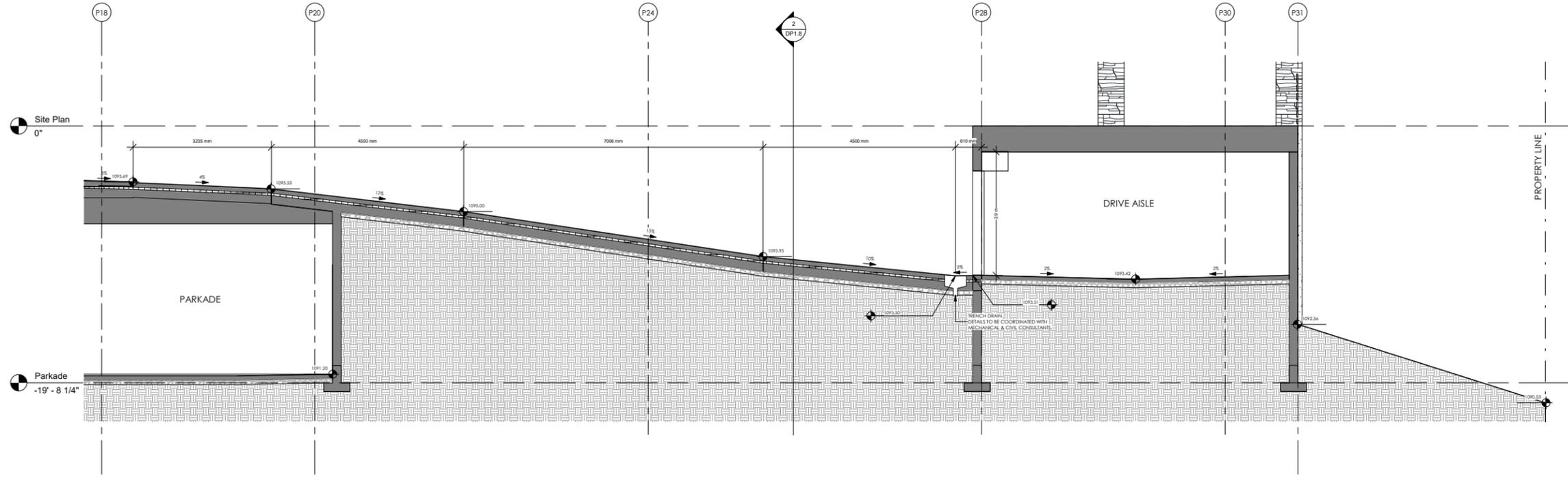
DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
2021		
SCALE AS NOTED		

**DP1.8**

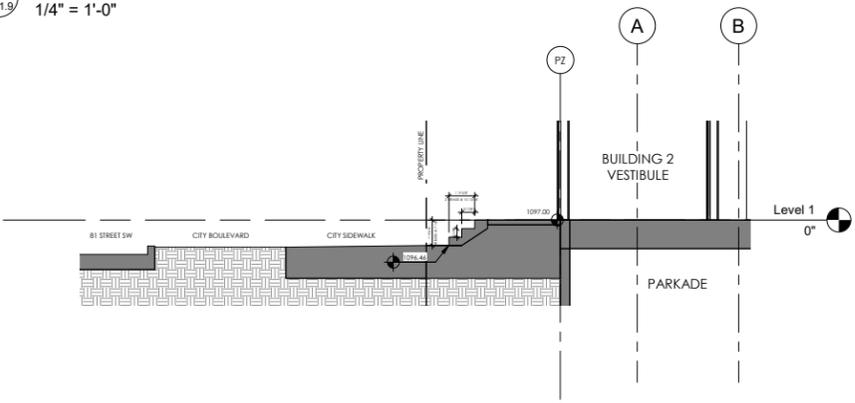
2021-03-30 11:29:45 AM

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part, without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

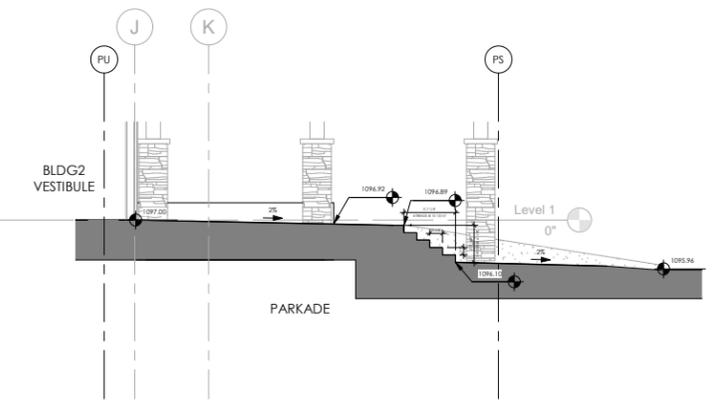
Revision Schedule		
Number	Date (yy/mm/dd)	Description
2	2020-11-20	Issued for DP-DIR1
3	2021-03-26	Issued for DP-DIR2



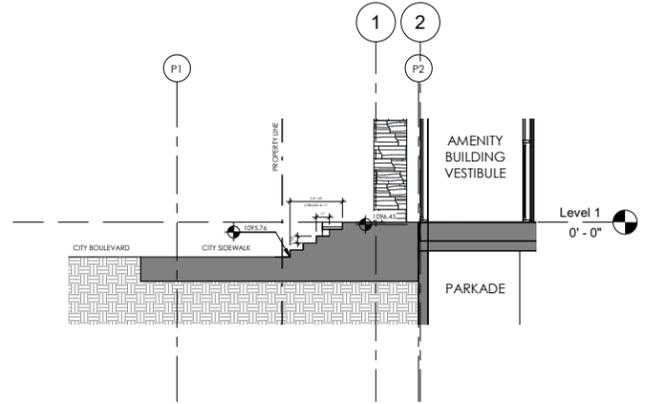
1  
DP1.9  
**Parkade Ramp Section**  
1/4" = 1'-0"



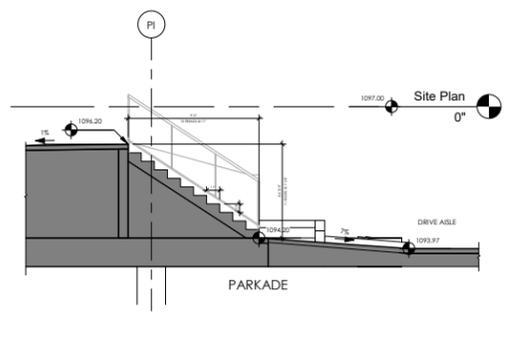
2  
DP1.9  
**BUILDING 2 - 81 St ENTRANCE**  
3/16" = 1'-0"



3  
DP1.9  
**BUILDING 2 - PRINCIPLE ENTRANCE**  
3/16" = 1'-0"



4  
DP1.9  
**AMENITY BUILDING - ENTRANCE**  
3/16" = 1'-0"



5  
DP1.9  
**AMENITY PLAZA STAIR**  
3/16" = 1'-0"

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

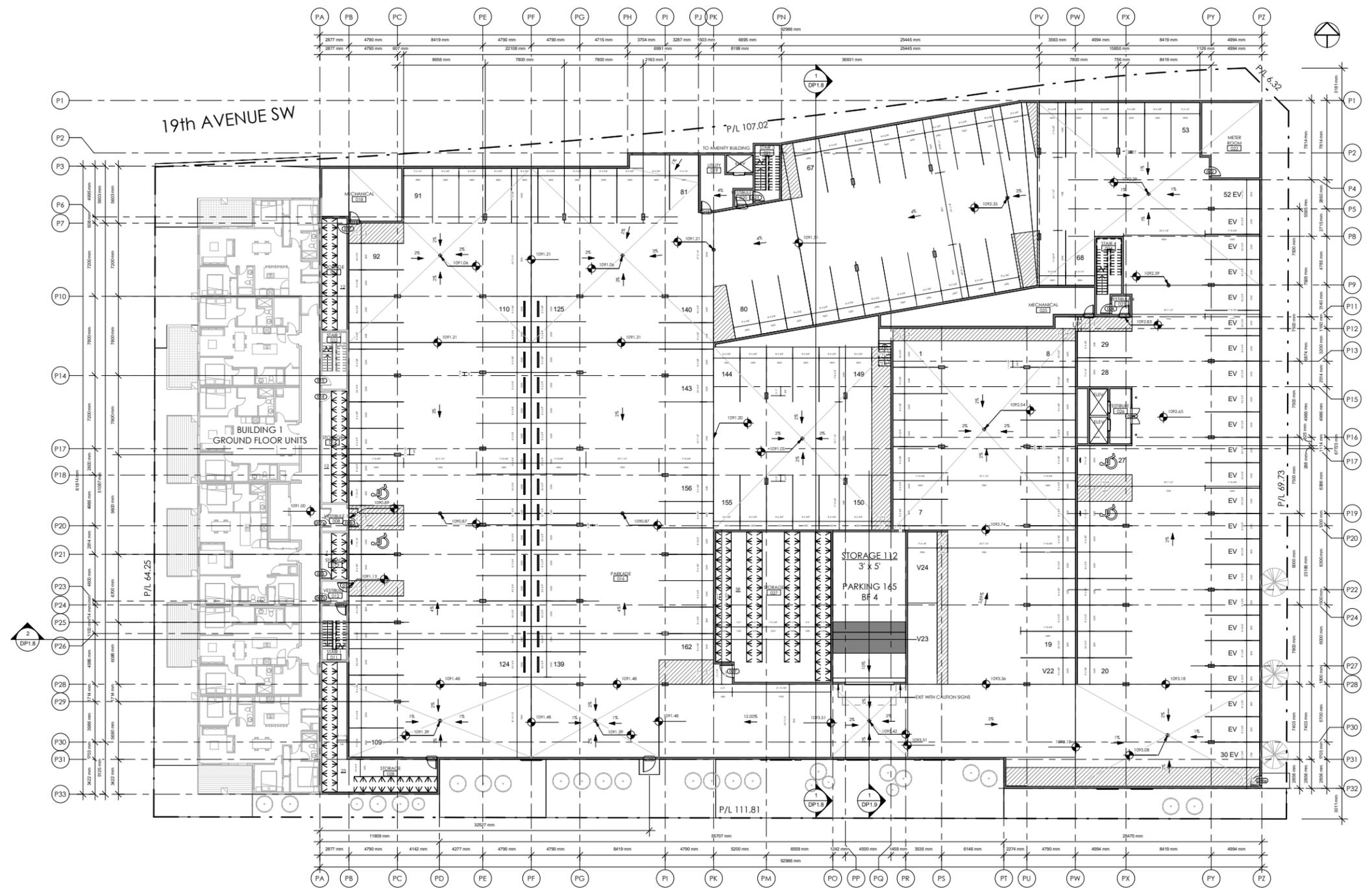
DRAWING  
**SITE SECTIONS**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2021	SHEET
SCALE AS NOTED		<b>DP1.9</b>

Q:\Jobs Current\Spray Properties\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkade\1915-Springsbank Parkade & site DP (20-11-23).rvt

2021-03-30 11:29:46 AM

Q:\Jobs Current\Springbank Properties\1915-Aspen\1915-Revit\Site & Parkade\1915-Springbank Parkade & site DP (20-11-23).rvt



1 Parkade  
1/16" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

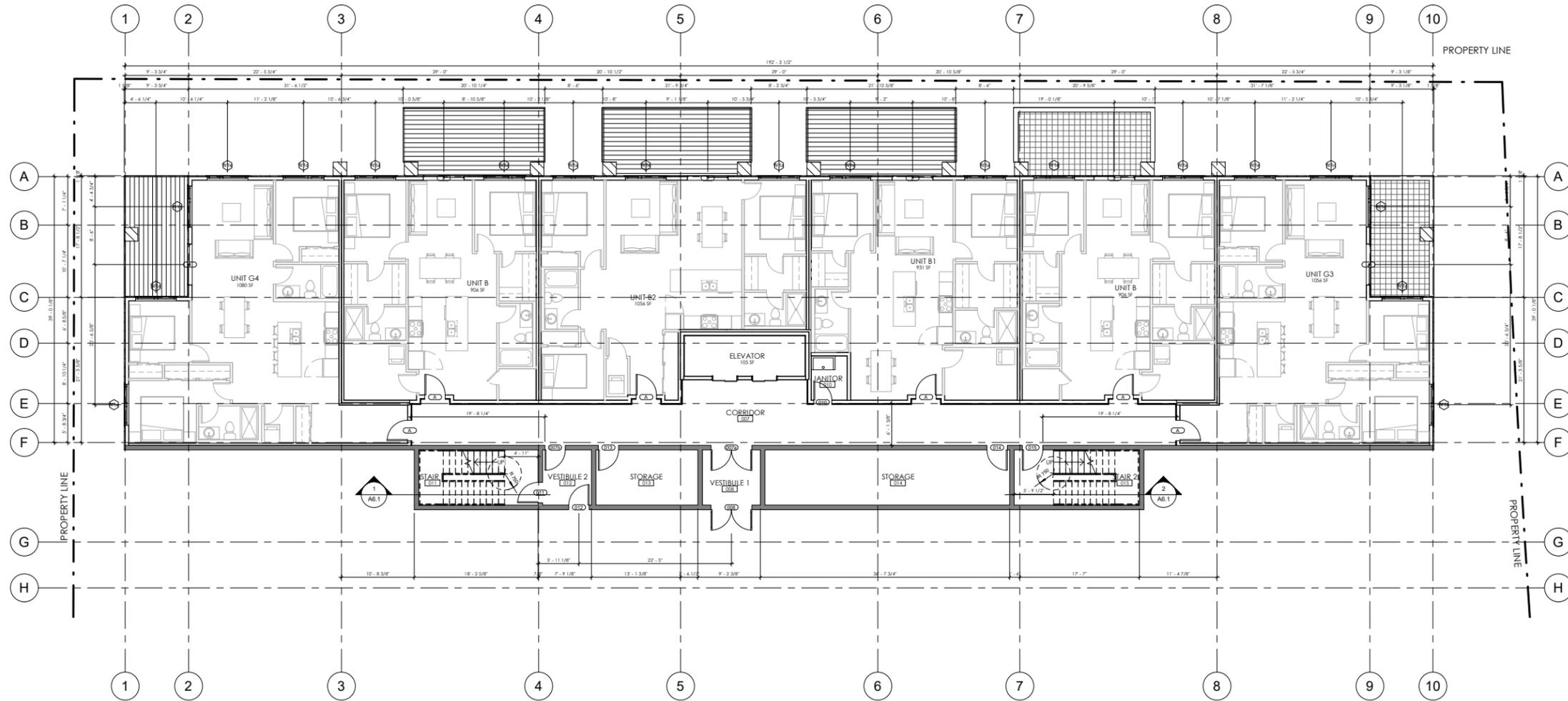
DRAWING  
**PARKADE**

DRAWN BY FW/EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
2021		<b>DP2.0</b>
SCALE AS NOTED		

81st STREET SW

2021-03-30 11:45:33 AM

Q:\Jobs Current\Spray Properties\1915-Aspen\1915-Drawings\1915-Revit\B1000\1915-Springsbank 1000.DP  
20-11-23.rvt



1  
DP2.1  
PARKADE LEVEL  
1/8" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

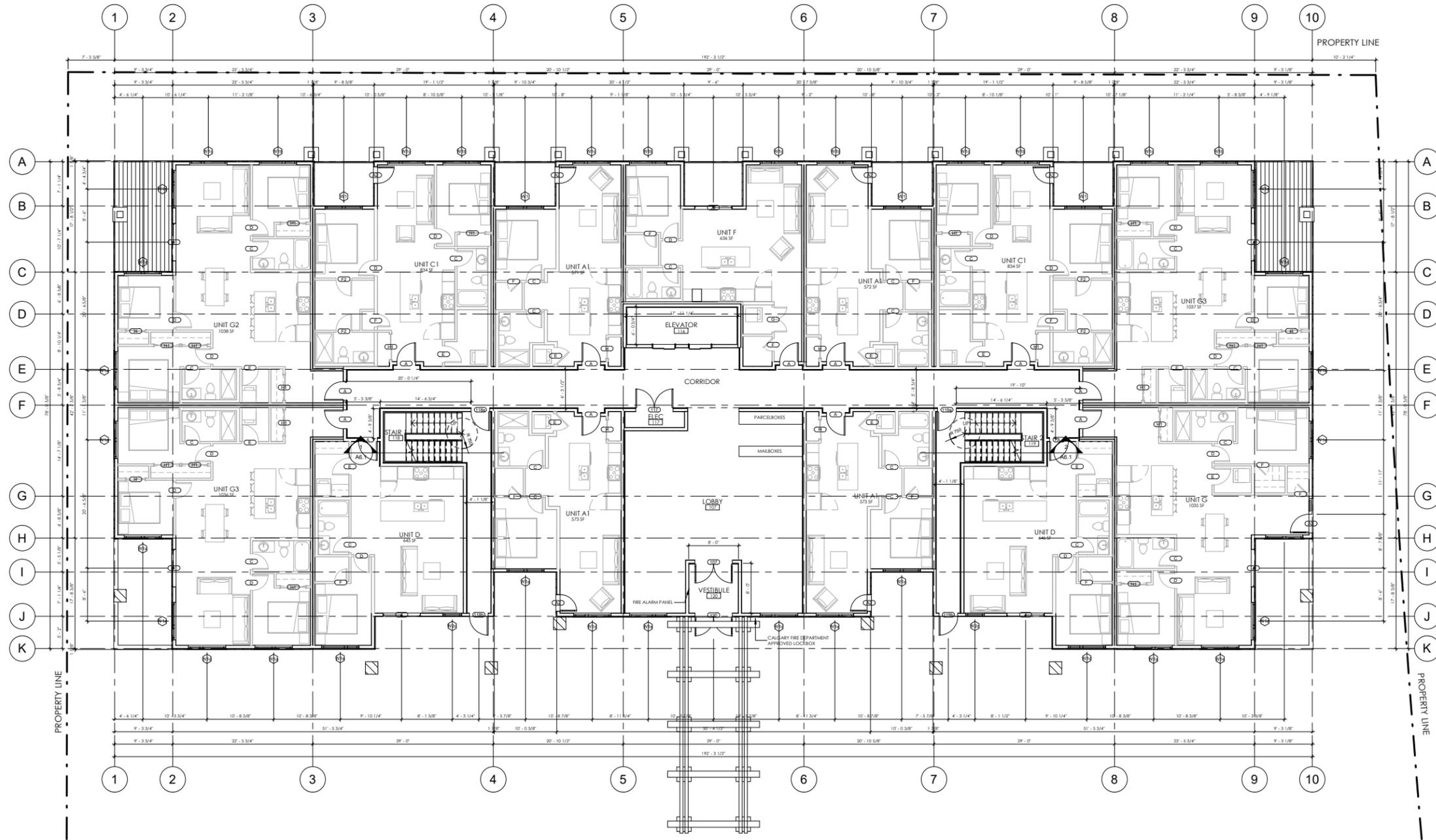
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - PARKADE LEVEL**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED		<b>DP2.1</b>

2021-03-30 11:45:35 AM

C:\Jobs Current\Drawings\1915-Aspen\1915-Revit\B1000\1915-Sprngbank\1000\_DP  
20-11-23.rvt



1 LEVEL 1  
1/8" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

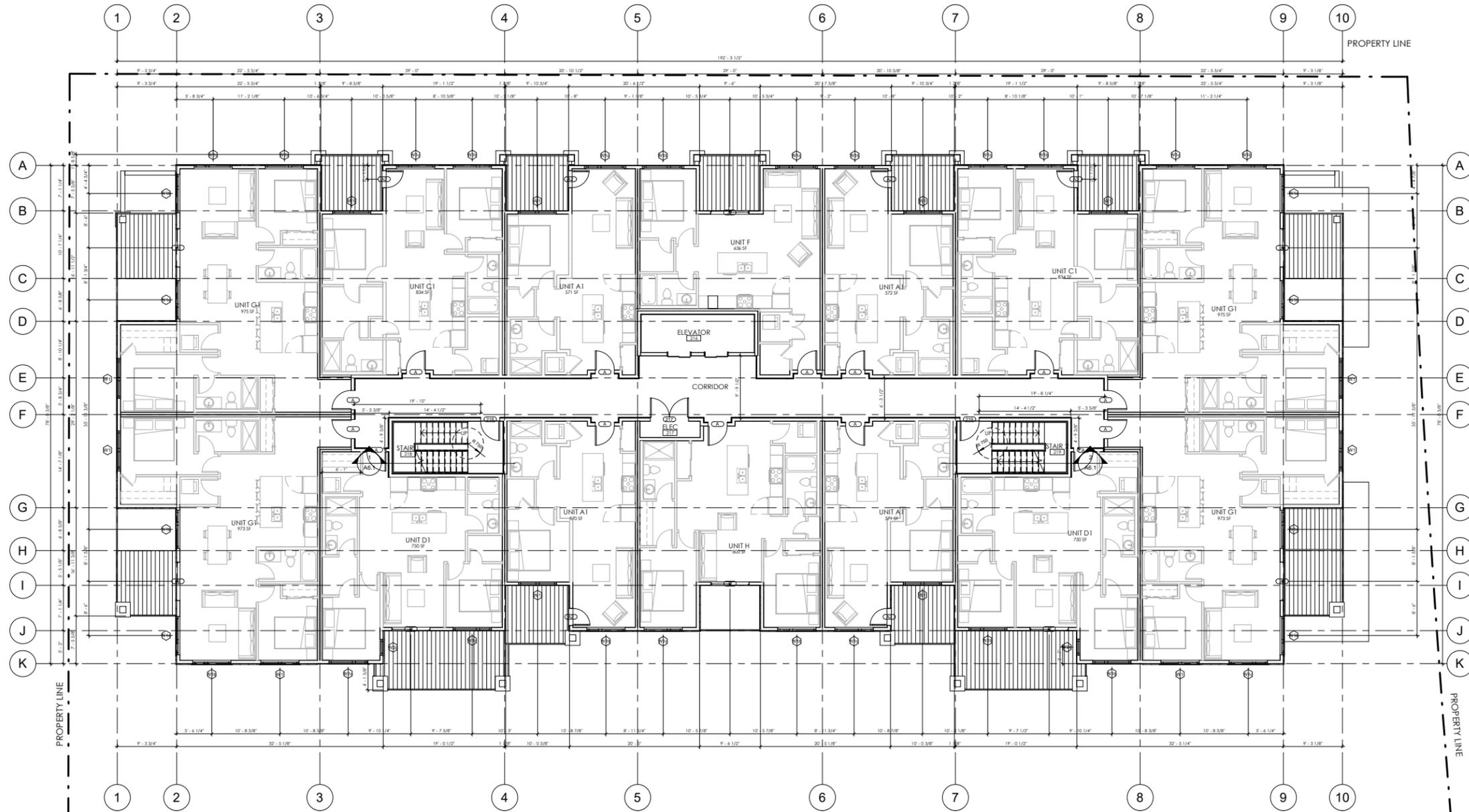
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - LEVEL 1**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED		<b>DP2.2</b>

2021-03-30 11:45:38 AM

C:\Jobs Current\Drawings\1915-Aspen\1915-Drawings\1915-Revit\B1000\1915-Springsbank 1000.DP  
20-11-23.rvt



1 LEVEL 2  
DP2.3 1/8" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

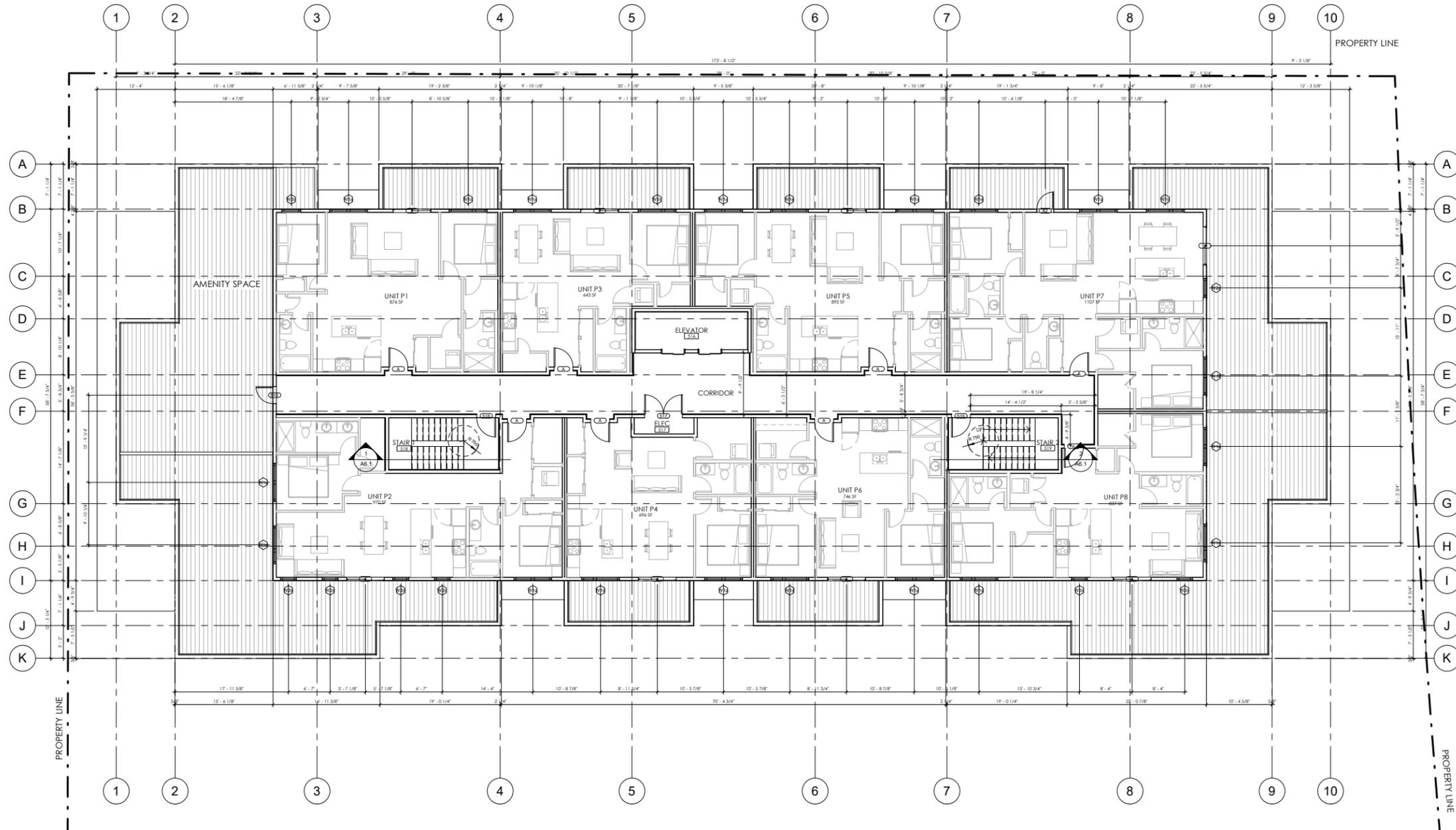
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - LEVELS 2-4**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
2020		<b>DP2.3</b>
SCALE AS NOTED		

2021-03-30 11:45:39 AM

C:\Jobs Current\Spray Properties\1915-Aspen\1915-Drawings\1915-Revit\B1000\1915-Springbank 1000.DP  
20-11-23.rvt



1 LEVEL 5  
DP2.4  
1/8" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

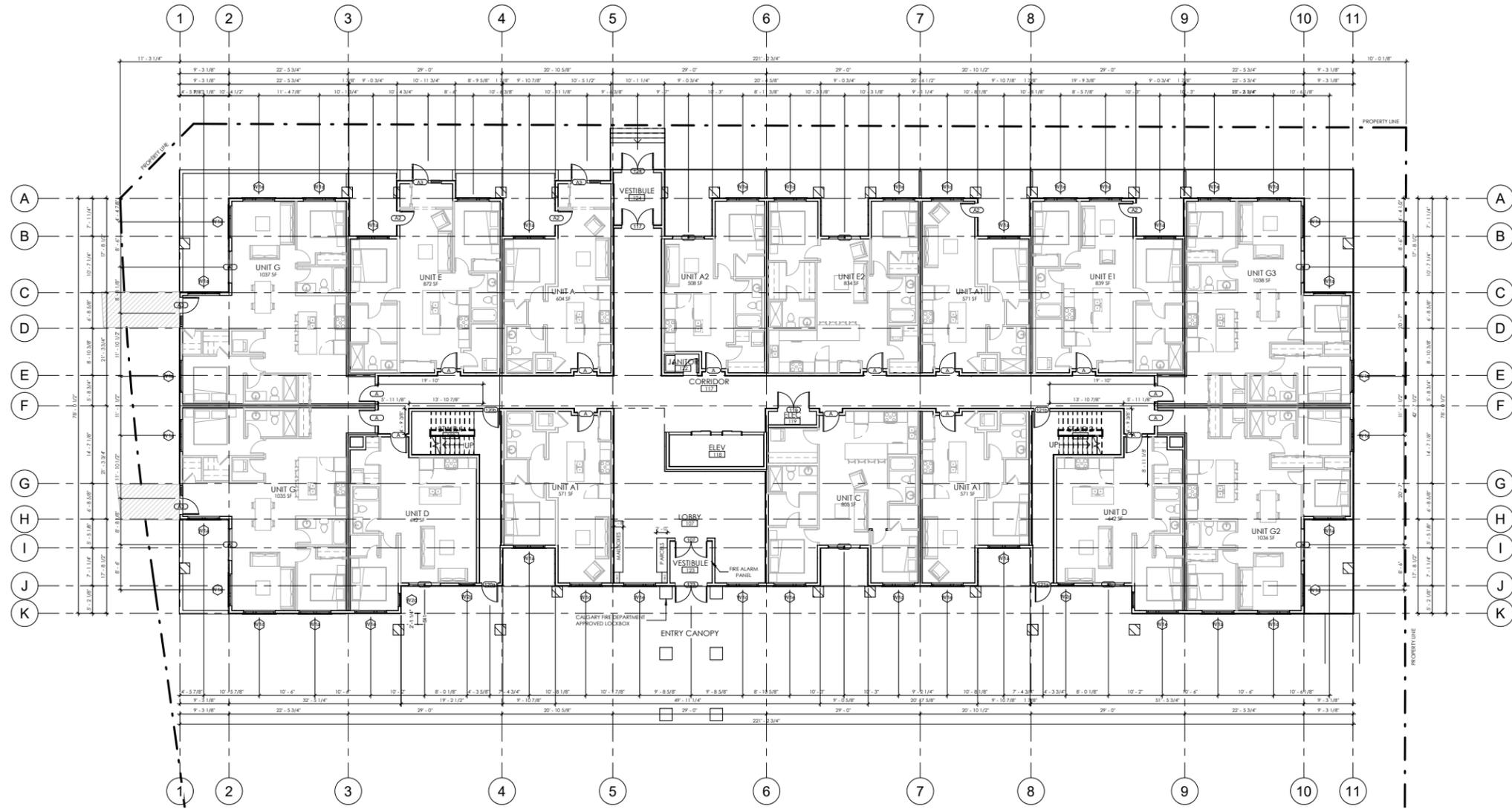
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - LEVEL 5**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.4</b>	

2021-03-30 12:15:37 PM

C:\Jobs Current\Drawings\1915-Aspen\1915-Drawings\1915-Revit\B2000\1915-Springsbank.2000.DP  
20-11-23.rvt



1 LEVEL 1 - FLOOR PLAN  
3/32" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-11	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

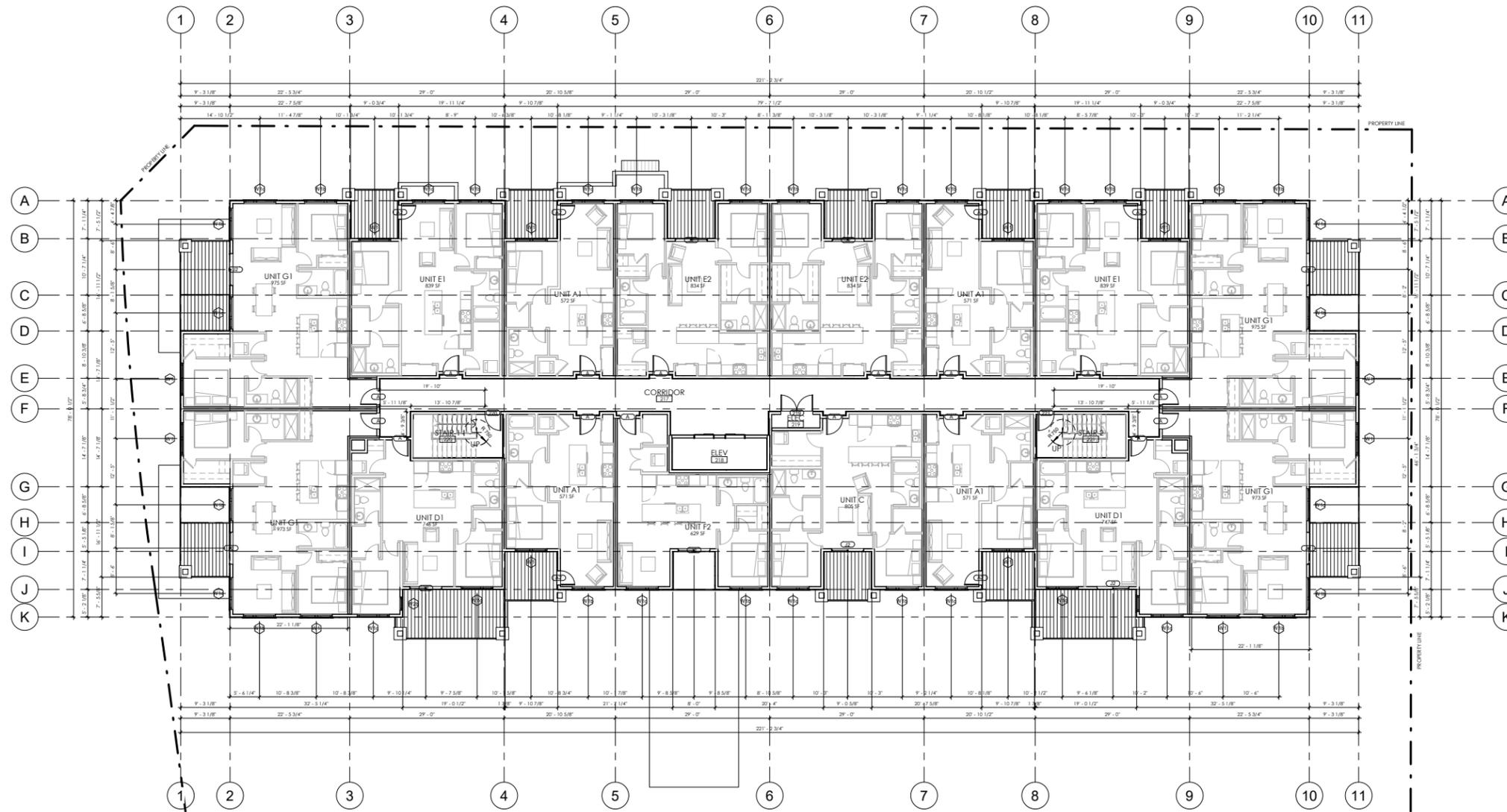
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG2 - LEVEL 1**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED		<b>DP2.5</b>

2021-03-30 12:15:40 PM

C:\Jobs Current\Spray Properties\1915-Aspen\1915-Drawings\1915-Revit\B2000\1915-Sprfbank.2000.DP  
20-11-23.rvt



1  
DP2.6 LEVEL 2-5 - FLOOR PLAN  
3/32" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-11	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

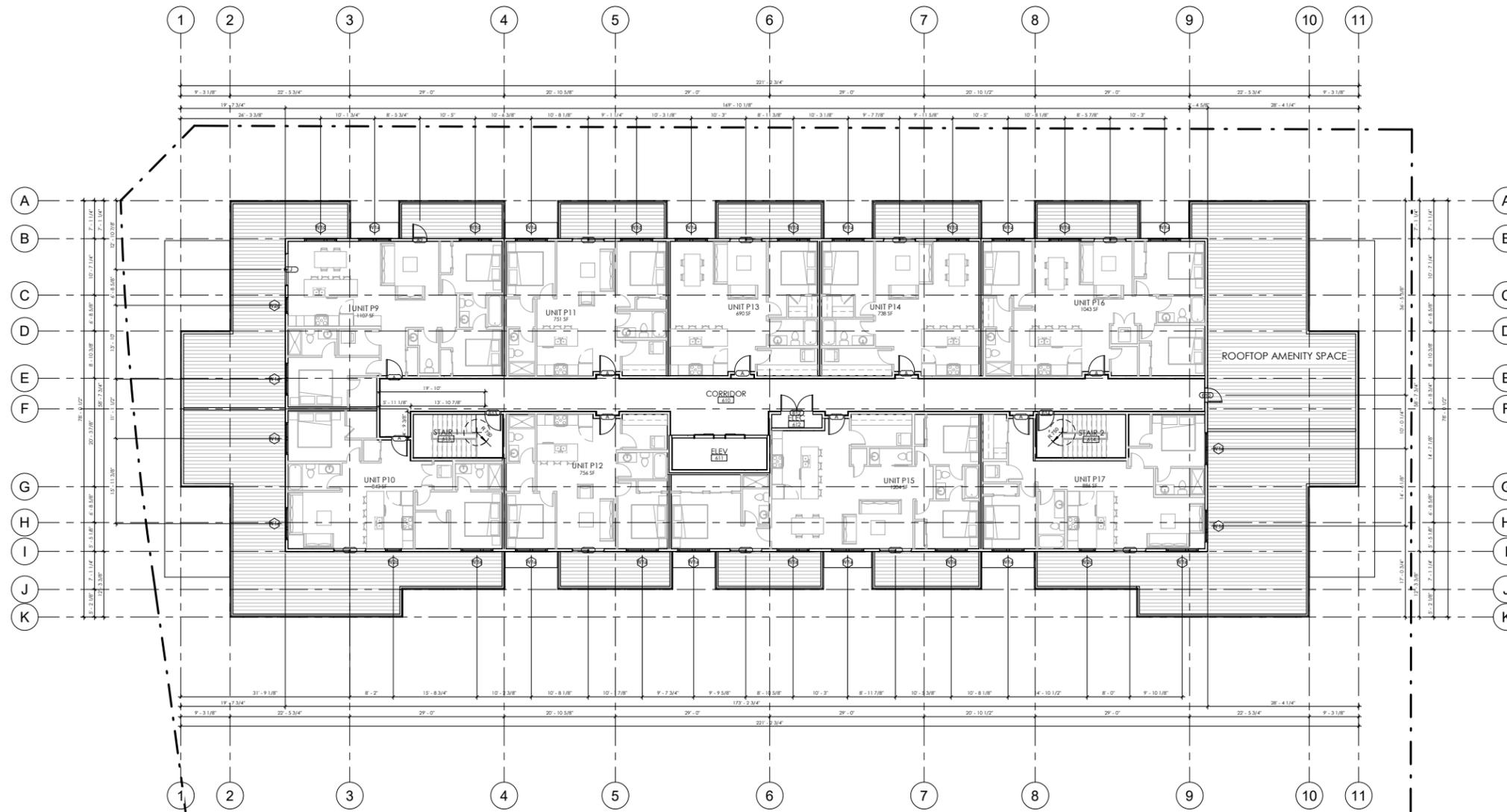
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
BLDG2 - LEVELS 2-5

DRAWN BY FW	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.6</b>	

2021-03-30 12:15:42 PM

Q:\Jobs Current\Spray Properties\1915-Aspen\1915-Drawings\1915-Revit\B2000\1915-Sprfbank.2000.DP  
20-11-23.rvt



1  
DP2.7  
**LEVEL 6 - FLOOR PLAN**  
3/32" = 1'-0"

**GENERAL NOTES**  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

**REVISIONS**

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-11	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

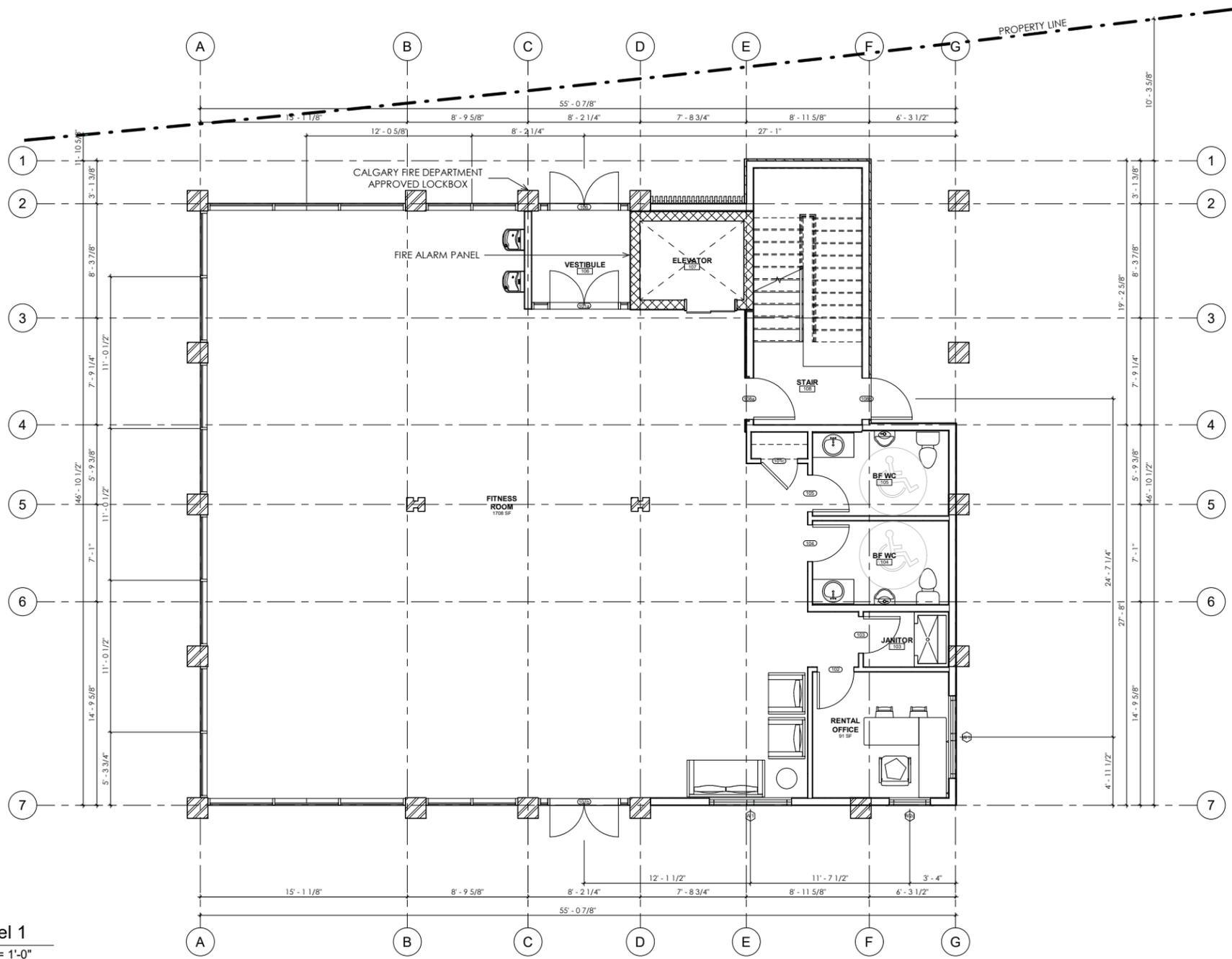
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG2 - LEVEL 6**

DRAWN BY FW	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED		<b>DP2.7</b>

2021-03-30 12:21:31 PM

Q:\Jobs Current\Springbank Properties\1915-Aspen\1915-Drawings\1915-Revit\B3000\1915-Springbank\_Amenity Building 3000 DP (20-11-23).rvt



1 Level 1  
DP2.8 1/4" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

PERMIT TO PRACTICE

STAMP

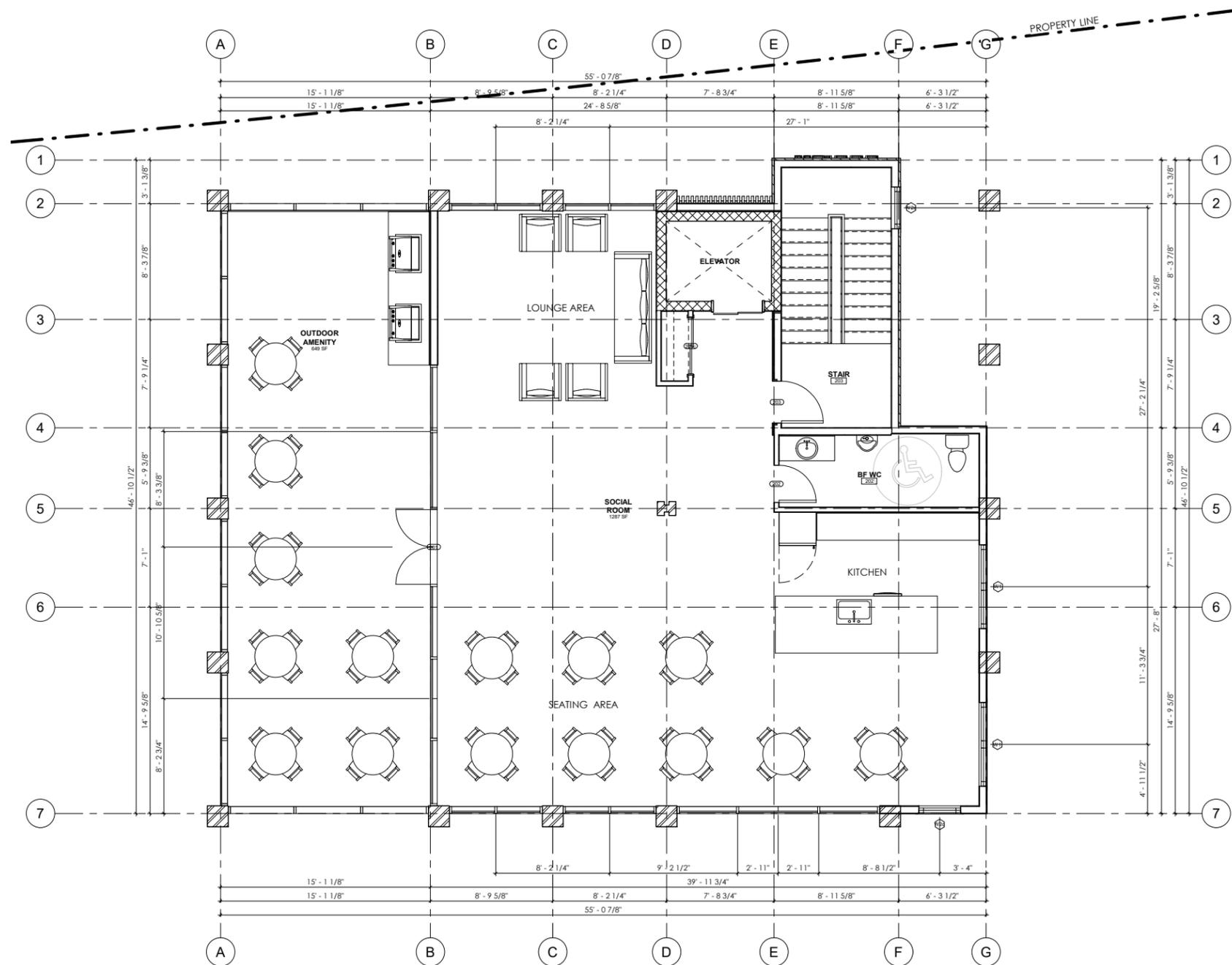
ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**AMENITY BUILDING MAIN FLOOR**

DRAWN BY HL/EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
SCALE AS NOTED		<b>DP2.8</b>

2021-03-30 12:21:32 PM  
Q:\Jobs Current\Springbank Properties\1915-Aspen\1915-Drawings\1915-Revit\B3000\1915-Springbank\_Amenity Building\_3000 DP (20-11-23).rvt



1 Level 2  
DP2.9 1/4" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**AMENITY BUILDING LEVEL 2**

DRAWN BY HL/EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
2020		<b>DP2.9</b>
SCALE AS NOTED		



GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

Keynotes

1	STONE - LIGHT GREY
2	STONE - DARK GREY
3	METAL SIDING - CEDAR
4	FIBRE CEMENT SIDING - WHITE
5	FIBRE CEMENT PANEL - DARK GREY
6	FIBRE CEMENT PANEL - WHITE
7	TIMBER POST
9	METAL SOFFIT - CEDAR
10	FASCIA - WHITE
11	FASCIA - DARK GREY
12	RTU SCREENING - WOOD

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - EAST AND WEST ELEVATIONS**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
	2020	<b>DP3.0</b>
SCALE AS NOTED		

WEST ELEVATION  
1/8" = 1'-0"



EAST ELEVATION  
1/8" = 1'-0"

2021-03-30 11:45:59 AM

Q:\Jobs Current\Drawings\1915-Aspen\1915-Drawings\1915-Revit\B1000\1915-Springbank.1000.DP  
20-11-23.rvt

**2**  
DP3.1  
**NORTH ELEVATION**  
1/8" = 1'-0"



**1**  
DP3.1  
**SOUTH ELEVATION**  
1/8" = 1'-0"



GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

Keynotes

1	STONE - LIGHT GREY
2	STONE - DARK GREY
3	METAL SIDING - CEDAR
4	FIBRE CEMENT SIDING - WHITE
5	FIBRE CEMENT PANEL - DARK GREY
6	FIBRE CEMENT PANEL - WHITE
7	TIMBER POST
9	METAL SOFFIT - CEDAR
10	FASCIA - WHITE
11	FASCIA - DARK GREY
12	RTU SCREENING - WOOD

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - NORTH AND SOUTH ELEVATIONS**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
	2020	
SCALE AS NOTED	<b>DP3.1</b>	



GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-11	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

Keynotes

1	STONE - LIGHT GREY
2	STONE - DARK GREY
3	METAL SIDING - CEDAR
4	FIBRE CEMENT SIDING - WHITE
5	FIBRE CEMENT PANEL - DARK GREY
6	FIBRE CEMENT PANEL - WHITE
7	TIMBER POST
8	FROSTED GLASS PRIVACY WALL
9	METAL SOFFIT - CEDAR
10	FASCIA - WHITE
11	FASCIA - DARK GREY
12	RTU SCREENING - WOOD

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG2 - NORTH & WEST ELEVATIONS**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED		<b>DP3.2</b>

2021-03-30 12:16:13 PM

1 SOUTH ELEVATION  
1/8" = 1'-0"



REFER TO SITE PLAN, SITE SECTIONS, AND LANDSCAPE DRAWINGS FOR MORE INFORMATION ON PLANNING/SOUTH FACADE TREATMENT



2 EAST ELEVATION  
1/8" = 1'-0"

REFER TO SITE PLAN, SITE SECTIONS, AND LANDSCAPE DRAWINGS FOR MORE INFORMATION ON PLANNING/EAST FACADE TREATMENT

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part, without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-11	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

Keynotes

1	STONE - LIGHT GREY
2	STONE - DARK GREY
3	METAL SIDING - CEDAR
4	FIBRE CEMENT SIDING - WHITE
5	FIBRE CEMENT PANEL - DARK GREY
6	FIBRE CEMENT PANEL - WHITE
7	TIMBER POST
8	FROSTED GLASS PRIVACY WALL
9	METAL SOFFIT - CEDAR
10	FASCIA - WHITE
11	FASCIA - DARK GREY
12	RTU SCREENING - WOOD

PERMIT TO PRACTICE

STAMP

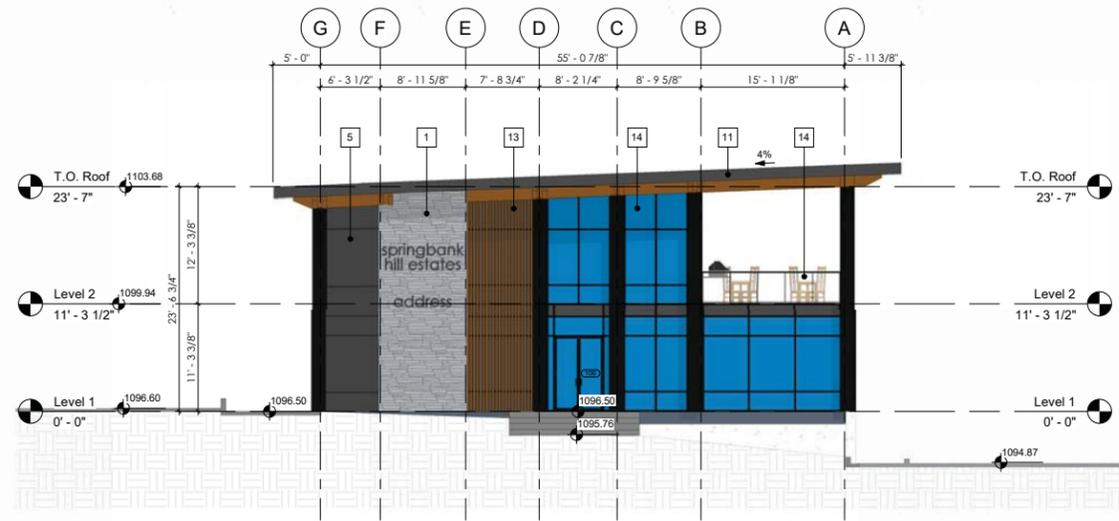
ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. Street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

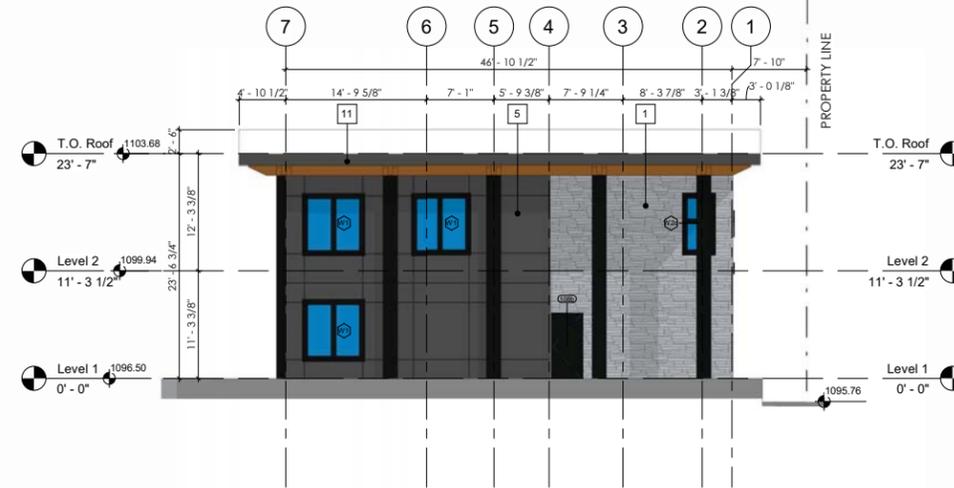
DRAWING  
**BLDG2 - SOUTH & EAST ELEVATIONS**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
	2020	
SCALE AS NOTED	<b>DP3.3</b>	

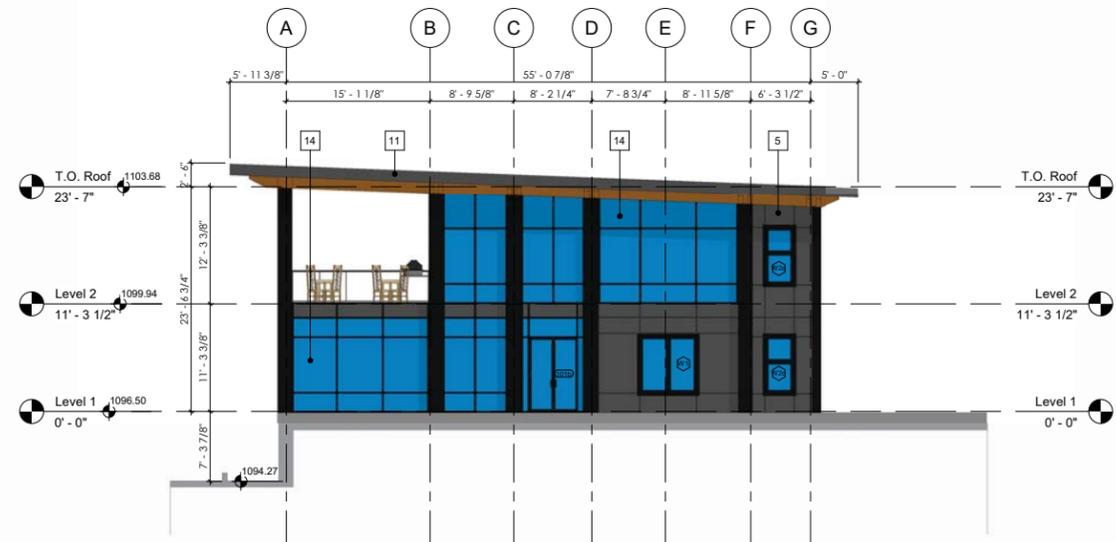
2021-03-30 12:21:35 PM



3 North  
DP3.4 1/8" = 1'-0"



4 East  
DP3.4 1/8" = 1'-0"



1 South  
DP3.4 1/8" = 1'-0"



2 West  
DP3.4 1/8" = 1'-0"

GENERAL NOTES  
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DIR1
3	2021-03-26	Issued for DP DIR2

Keynotes

1	STONE - LIGHT GREY
5	FIBRE CEMENT PANEL - DARK GREY
9	METAL SOFFIT - CEDAR
11	FASCIA - DARK GREY
13	VERTICAL WOOD SLATS - CEDAR
14	GLAZING - CLEAR

PERMIT TO PRACTICE

STAMP

ARCHITECT  
**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**AMENITY BUILDING ELEVATIONS**

DRAWN BY HL/EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm)	SHEET
SCALE AS NOTED	2020	<b>DP3.4</b>

Q:\Jobs Current\Spray Properties\1915-Aspen\1915-Drawings\1915-Revit\B3000\1915-Springbank\_Amenity Building\_3000 DP (20-11-23).vt



Municipal Engineering • Industrial, Commercial, & Residential Land Development • Planning • Engineering • Surveys

3702 Edmonton Trail N.E., Calgary, Alberta, T2E 3P4  
www.jubileeeengineering.com  
P 403 276 1001 | F 403 276 1012

PERMIT \_\_\_\_\_ STAMP \_\_\_\_\_

- NOTES**
- All elevations referenced to 1000m Geodetic Datum.
  - Hydrants, valves, check valves, manholes, sewer lines, water lines etc., to be installed to City of Calgary standards.
  - All manholes to be S.R.C.
  - Match crown minimum at all sewer connections.
  - All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes <math>\leq 150\text{mm}</math> to be SDR 28 PVC. Sewer service pipes > 150mm to be SDR 35.
  - Sewer lines to minimum slopes as per City of Calgary Standards.
  - Use City of Calgary Type 2 installation, Class 1A bedding for sewer pipes unless otherwise noted.
  - Insulation required for sanitary sewers if cover less than 2.50m on mains.
  - Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
  - All water mains to be DR 18 PVC unless otherwise noted.
  - Use City of Calgary Type 1 installation, Class 1A bedding for water mains, Type 2 installation, class 'B' bedding for services.
  - Depth of bury for water lines to conform with City of Calgary standards.
  - No trees to be planted over water lines.
  - Protection of Potable Water Supply From Contamination: All cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
  - For building locations and dimensions refer to latest Architectural drawings.
  - The contractor is responsible for locating all shallow utilities.
  - The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
  - Weeping Tile & Free Flow area drains to be tied to unrestricted free flow storm sewer.
  - All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.

**LEGEND**

	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Water meter location
	Existing elevation
$\times$ 82.91	Existing elevation
S-A 00.00	Sanitary manhole number & elevation
CB/GT/ST-1 00.00	CB/GT/Storm manhole number & elevation
M.F. 000.00	Main floor elevation
T.F. 000.00	Top of footing elevation
S 000.00	Sanitary sewer invert at bldg

**REVISIONS**

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

**ISSUED FOR**

No.	DRAWING STATUS	DATE	APP.
4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT		

**CLIENT**  
SPRAY GROUP

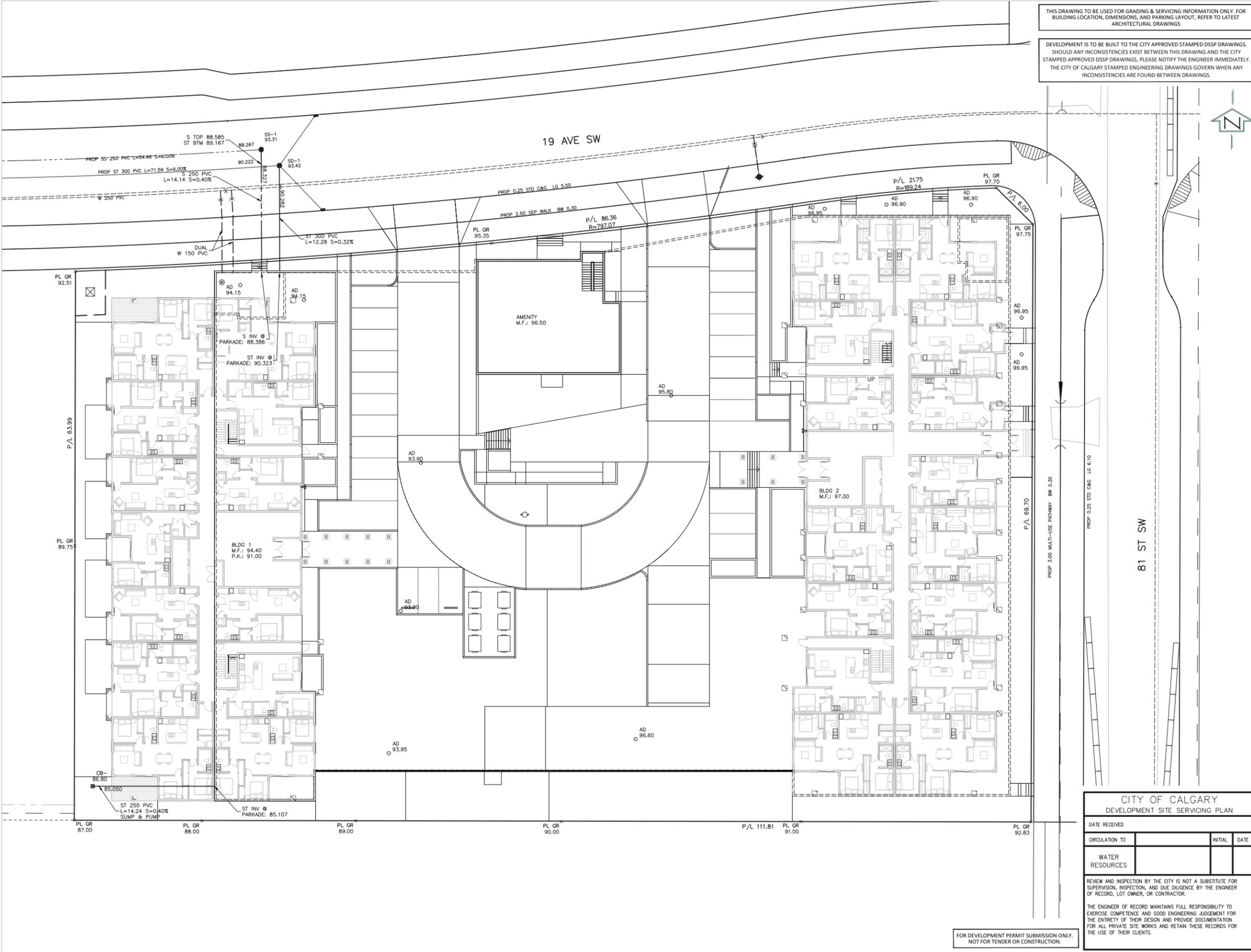
**PROJECT**  
ASPEN ESTATES CONDO  
160 UNITS  
19 AVE & 81 ST SW

**TITLE**  
SITE SERVICING PLAN

DESIGN BY: -	SCALE: 1:200	JOB NUMBER: 20-048
DRAWN BY: -	REV NO.: -	DRAWING NUMBER: SP1
CHECKED BY: -	DATE: 15-Mar-21	

THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.



FOR DEVELOPMENT PERMIT SUBMISSION ONLY.  
NOT FOR TENDER OR CONSTRUCTION.

**CITY OF CALGARY**  
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED \_\_\_\_\_

COORDINATION TO	INITIAL	DATE
WATER RESOURCES		

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

PERMIT \_\_\_\_\_ STAMP \_\_\_\_\_

NOTES  
1. All elevations referenced to 1000m Geodetic Datum.

LEGEND	
	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Design elevation
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
M.F. 000.00	Main floor elevation
T.F. 000.00	Top of footing elevation
000.00	Sanitary sewer invert at bldg

REVISIONS			
5			
4			
3			
2			
1			
No.	DATE	DESCRIPTION	BY

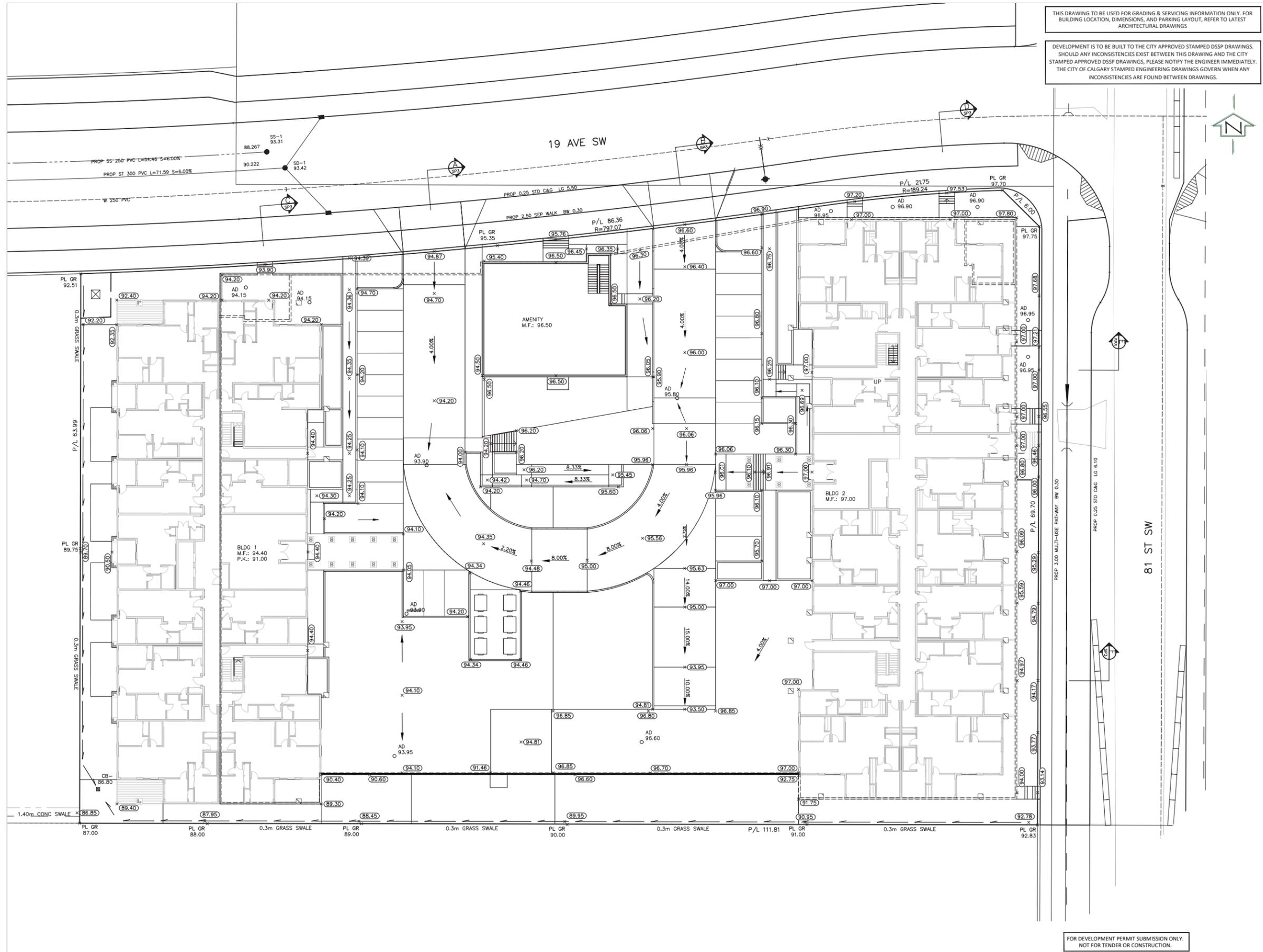
ISSUED FOR			
4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT		
No.	DRAWING STATUS	DATE	APP.

CLIENT  
**SPRAY GROUP**

PROJECT  
ASPEN ESTATES CONDO  
160 UNITS  
19 AVE & 81 ST SW

TITLE  
SITE GRADING PLAN

DESIGN BY: -	SCALE: 1:200	JOB NUMBER: 20-048
DRAWN BY: -		
CHECKED BY: -	REV NO.: -	DRAWING NUMBER: SP2
DATE: 15-Mar-21		



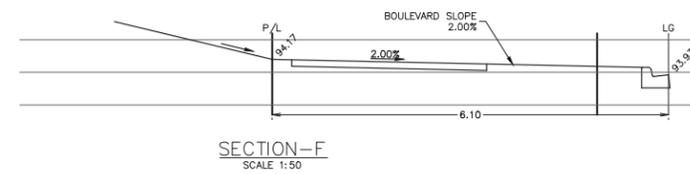
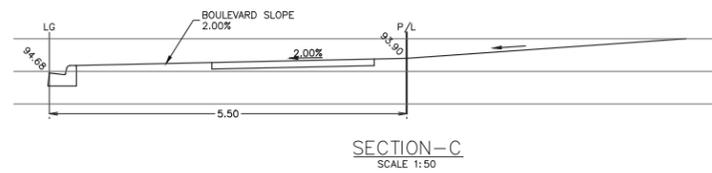
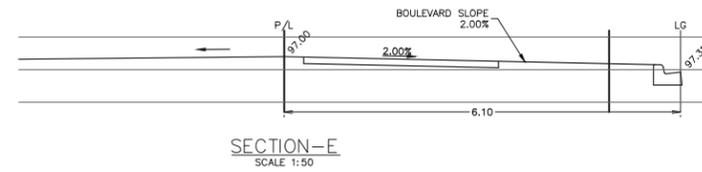
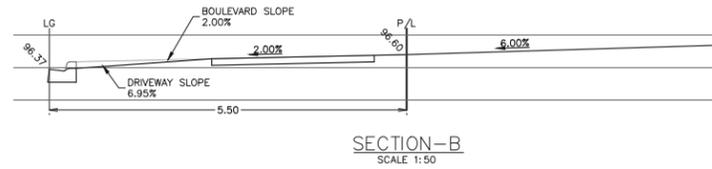
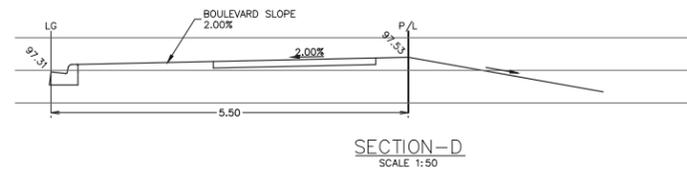
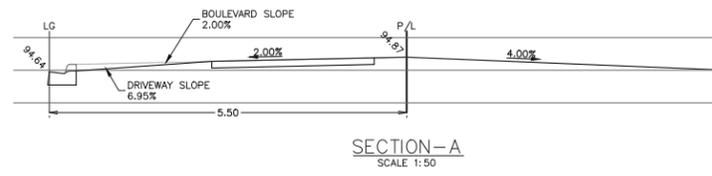
THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.

FOR DEVELOPMENT PERMIT SUBMISSION ONLY.  
NOT FOR TENDER OR CONSTRUCTION.

PERMIT \_\_\_\_\_ STAMP \_\_\_\_\_

NOTES  
1. All elevations referenced to 1000m Geodetic Datum.



LEGEND	
	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Design elevation
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
M.F. 000.00	Main floor elevation
T.F. 000.00	Top of footing elevation
000.00	Sanitary sewer invert at bldg

REVISIONS			
No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

ISSUED FOR			
No.	DRAWING STATUS	DATE	APP.
4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT		

CLIENT  
**SPRAY GROUP**

PROJECT  
ASPEN ESTATES CONDO  
160 UNITS  
19 AVE & 81 ST SW

TITLE  
SITE DETAILS

DESIGN BY: -	SCALE: AS SHOWN	JOB NUMBER: 20-048
DRAWN BY: -	REV NO.: -	DRAWING NUMBER: SP3
CHECKED BY: -	DATE: 30-Mar-21	

FOR DEVELOPMENT PERMIT SUBMISSION ONLY.  
NOT FOR TENDER OR CONSTRUCTION.



**legend**

- 4 large deciduous trees 75mm caliper • western mountain ash
- 18 medium deciduous trees 50mm caliper • amur maple
- 25 large deciduous 75mm caliper • pin cherry
- 11 medium deciduous 50mm caliper • trembling aspen
- 18 coniferous trees 50% @ 2.0 m height 50% @ 3.0 m height • blue spruce
- 68 evergreen shrubs 5 gallon size • calgary carpet juniper
- 369 deciduous shrubs 5 gallon size • native rose • buckbrush coralberry • nanny berry
- 1130 native perennials 2 gallon size • daylily • red switch grass • catmint
- sodded areas
- native grasses
- concrete brick pavers
- plain grey concrete
- wood screen fence 1.8 meter height
- metal guardrail 1.07 meter height
- boulevard trees by area developer
- class 2 bike racks
- proposed bench

**NOT FOR CONSTRUCTION**  
for review and coordination only

**notes**

- This drawing is copyright © 818 studio ltd., and shall not be reproduced, revised, transmitted and / or utilized by any third party outside of the Owner without written permission from 818 studio ltd.
- Do not scale drawings.
- Refer to Civil drawings for all grading information.
- All walkways are plain concrete unless noted otherwise.
- All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
- All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.

**818 studio**  
planning + design collaborative  
1812 14a street sw  
calgary, ab t2i 3w6  
p 403.244.8188  
e info@818studio.ca

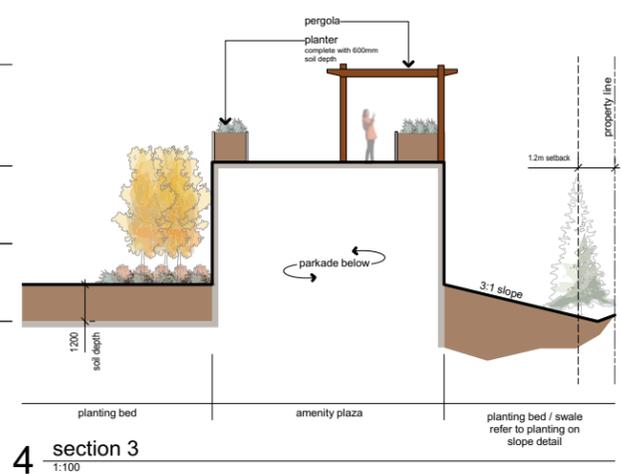
number	revision	date	by	approved
11	bike rack updates	2021-07-07	hwl	rbg
10	seating updates	2021-07-07	hwl	rbg
9	planting updates	2021-03-19	hwl	rbg
8	enhanced landscaping	2021-03-19	hwl	rbg
7	additional site access	2020-11-20	hwl	rbg
6	parkade emergency exit	2020-11-20	hwl	rbg
5	barrier free access	2020-11-20	hwl	rbg
4	bike racks	2020-11-20	hwl	rbg
3	architectural base updates	2020-09-03	rbg	hwl
2	architectural base updates	2020-06-26	rbg	hwl
8	DP resubmission	2021-07-07		
7	DTR #001	2020-11-20		
5	development permit	2020-09-03		
4	development permit	2020-06-29		
3	coordination with CKA	2020-06-01		
2	design review	2020-05-28		
1	design review	2020-04-07		

**1 development permit landscape plan**  
1:200

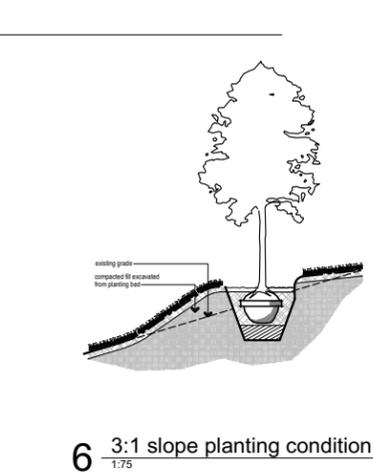
**land use bylaw landscape requirements**

City Of Calgary Zoning	M-C2	required	provided
landscape area		7,626.00 m <sup>2</sup>	3,050.40
total parcel area		7,626.00 m <sup>2</sup>	
landscape area required for DC 9902019 zoning (40% of parcel area)		3,050.40	
item 556 low water landscaping reduction -3%			
total landscape area required (34% of parcel area)		2,592.84 m <sup>2</sup>	
landscape provided - ground level:		3,507.00 m <sup>2</sup>	
landscape are provided at grade (percentage of parcel area):		46 %	
total landscape area provided		3507.00 m <sup>2</sup>	
total landscape area provided (percentage of site area):		46 %	
hard surfaced landscape area (maximum of 40% of provided landscape area)		1,402.80 m <sup>2</sup>	1,329.59 m <sup>2</sup>
hard surfaced landscape area provided (percentage of landscape area provided)		38 %	
sod area as per item 556 (maximum of 30% of provided landscape area)		1,052.10 m <sup>2</sup>	635.01 m <sup>2</sup>
		18 %	

total number of trees (145 m <sup>2</sup> of provided landscape area as per option 556)	required	provided
number of existing trees on site:	0	0
number of new trees required:	78	78
low water trees required as per item 556 (30% minimum of trees provided)	23	38
<b>deciduous trees</b>	required	provided
large trees (50% min 75mm cal)	29	29
medium trees (50% min 50mm cal)	29	29
total deciduous trees	58	58
<b>coniferous trees</b>	required	provided
large trees (50% 3.0m ht min)	10	10
medium trees (50% 2.0m ht min)	10	10
total coniferous trees	20	22
<b>shrubs</b>	required	provided
(245 m <sup>2</sup> of required landscape area as per item 556) (min 600mm height and spread)	156	369
low water shrubs required as per item 556 (30% minimum of shrubs provided)	111	174



**5 proposed site furnishings program**



project  
**springbank hill multifamily development**

drawing  
**development permit landscape plan**

drawn	rbg / hwl	approved	rbg
checked	rbg	project number	0486.3
date	2020-04-07	sheet	<b>DPL1</b>
scale	1:200		