



SPRINGBANK HILLS ESTATES

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- Landscape
- DPL1 LANDSCAPE PLAN

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REVISIONS			
Revision Schedule			
Number	Date (yy/mm/dd)	Description	
1	2020-09-14	Issued for DP	
2	2020-11-20	Issued for DP DTR1	
3	2021-03-26	Issued for DP DTR2	

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**casola koppe**  
ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

SPRINGBANK HILL

PROJECT ADDRESS

LEGAL

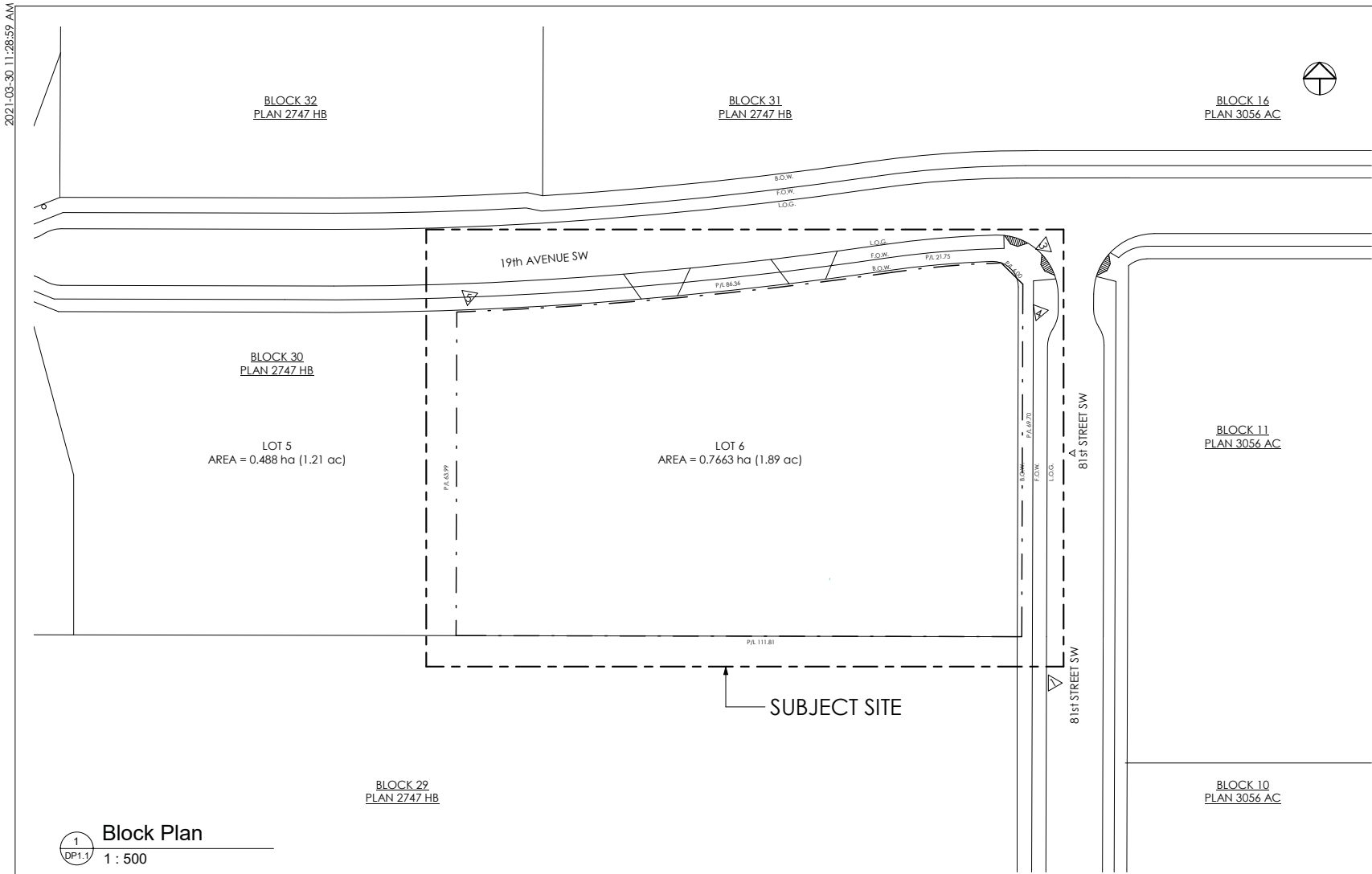
Lot 6, Block 30, Plan 2747 HB

DRAWING

TITLE PAGE, LIST OF CONSULTANTS, DRAWING INDEX

DRAWN BY	JOB NO.	Building Permit #
EF	1915	
CHECKED BY	SHEET	
TJK		
ISSUE DATE (yy/mm)		
2021		
SCALE		
AS NOTED		

DP0.0



1  
DP1.1  
Block Plan  
1 : 500

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**casola koppe**  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

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LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLOCK PLAN**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2021	SHEET
SCALE AS NOTED	<b>DP1.1</b>	



1.SE CORNER



2.EAST



3.NE CORNER LOOKING WEST



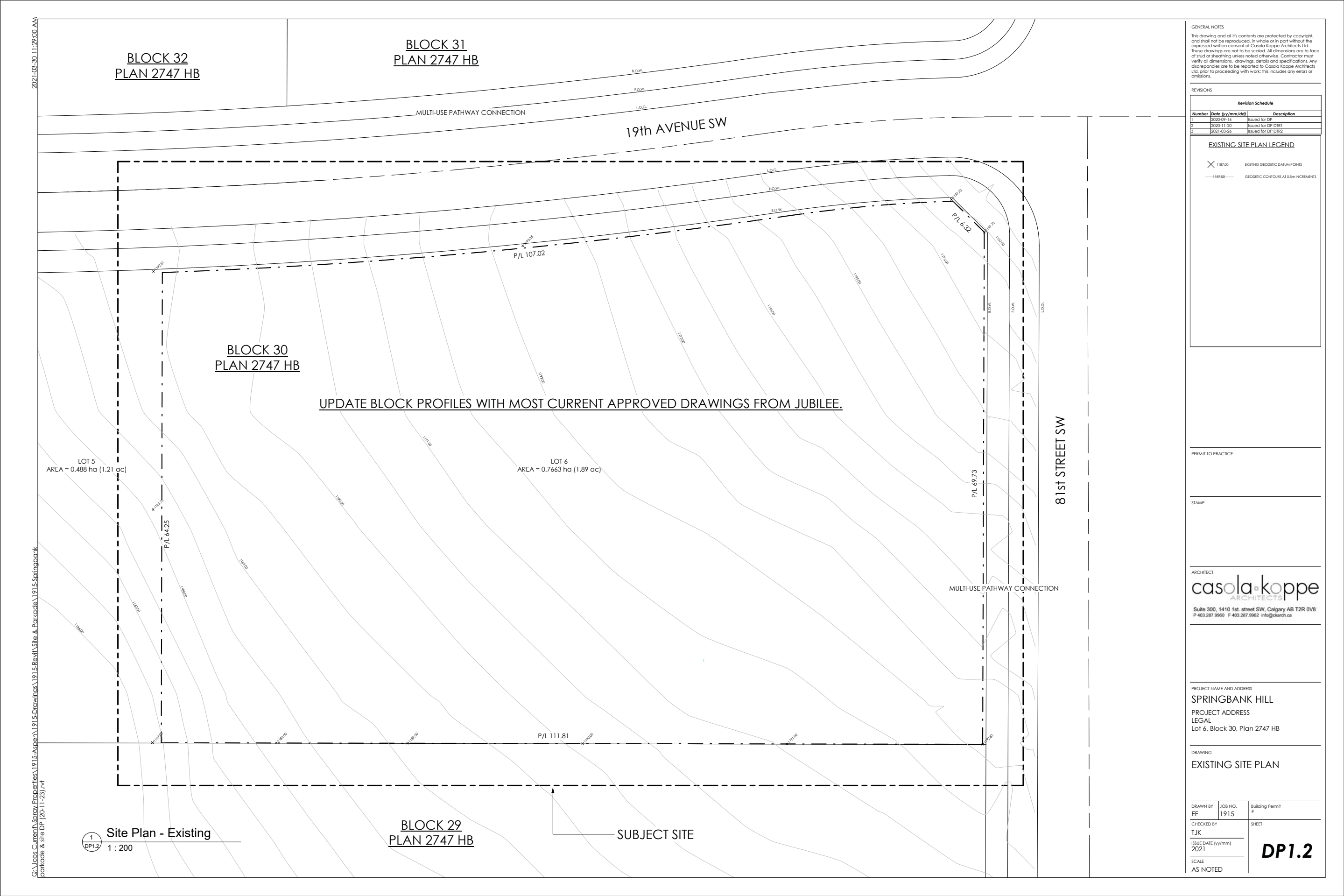
4.NE CORNER LOOKING SOUTH

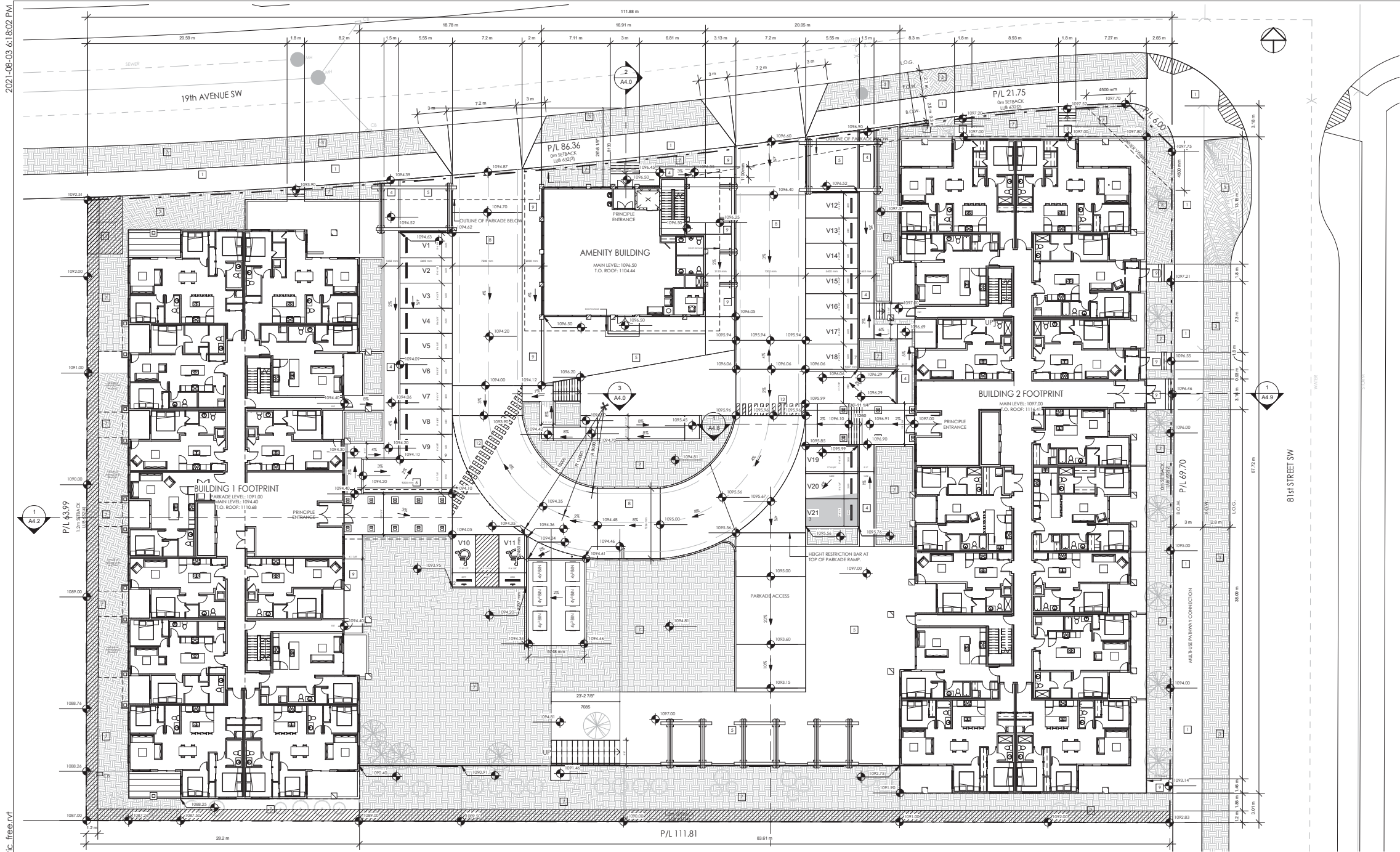


5.NW CORNER

Q:\Jobs Current\Spring Properties\1915-Aspen\1915-Drawings\1915-Revit\Site & Parkcode\1915-Springbank  
Parkcode & Site DP (20-11-23).rvt







1 DP1.3  
Site Plan - Proposed  
1 : 200

AMENITY			
1ST	217.11	SQ.M.	
2ND	155.71	SQ.M.	
TOT	372.82	SQ.M.	
1000			
PL	673.64	SQ.M.	
1ST	1235.15	SQ.M.	
2ND	1205.60	SQ.M.	
3RD	1205.60	SQ.M.	
4TH	1205.60	SQ.M.	
5TH	805.37	SQ.M.	
TOT	6330.96	SQ.M.	
2000			
1ST	1431.08	SQ.M.	
2ND	1390.67	SQ.M.	
3RD	1390.67	SQ.M.	
4TH	1390.67	SQ.M.	
5TH	1390.67	SQ.M.	
6TH	943.89	SQ.M.	
TOT	7937.65	SQ.M.	

ZONING COMPLIANCE TABLE

CITY OF CALGARY LAND USE BYLAW 1P2007

ZONING:	CURRENT:	PROPOSED:
		M-2 - MEDIUM PROFILE DIRECT CONTROL DISTRICT
BYLAW:	PERMITTED/REQUIRED:	PROVIDED:
SETBACKS:	STREET ORIENTED 0m FROM PROPERTY LINE TO STREET MIN 1.2m FROM PROPERTY LINE SHARED WITH ANOTHER PARCEL	0m AT NORTH AND EAST PROPERTY LINE 2.2m AT SOUTH PROPERTY LINE 4.4m AT WEST PROPERTY LINE
SITE AREA:	7663.70 SQ.M., 0.7663 HA, 1.89 ACRE	
BUILDING COVERAGE:	BUILDING 1: BUILDING 2: AMENITY BUILDING:	1274.20 SQ.M. 1439.67 SQ.M. 218.60 SQ.M.
SITE COVERAGE:		38.3%
F.A.R.:	N/A (LUB M-1)	1.91

<u>BYLAW</u>	<u>PERMITTED/REQUIRED</u>	<u>PROVIDED</u>
<u>DENSITY:</u> CPC2019-1079 DC	MIN 40 UPH MAX 210 UPH	122 UPH
<u>BUILDING HEIGHT:</u> CPC2019-1097 DC	16.0m FROM GRADE AT PROPERTY LINE 20.0m FROM GRADE AT 5.0m FROM PROPERTY LINE	BUILDING 1: 20.136m BUILDING 2: 20.048m AMENITY BUILDING: 13.025m
<u>PARKING:</u>	1.25 RESIDENT STALLS PER UNIT > 60.0 SQ.M. (107 x 1.25 = 133) 1.0 RESIDENT STALLS PER UNIT < 60.0 SQ.M. (50 x 1 = 50) 10% REDUCTION ON RESIDENT STALLS (183 x 10% = 165) 0.15 VISITOR STALLS PER UNIT (157 x 0.15 = 24) 5 B.F. STALLS (NBC2019 AB EDITION 3.8.2.5.(2)) (4 PER FIRST 100 +1)	RESIDENT: 162 VISITOR: 24 TOTAL: 186 BARRIER FREE: 6
<u>LOADING STALL:</u>	1.0	2.0
<u>BICYCLE PARKING:</u>	0.5 CLASS 1 STALLS PER UNIT (157 x 0.5 = 79) 0.1 CLASS 2 STALLS PER UNIT (157 x 0.1 = 16)	CLASS 1: 112 CLASS 2: 16

LEGEND

- 1 PROPOSED CITY OF CALGARY SIDEWALK
- 2 PROPOSED HYDRANT
- 3 CITY BOULEVARD
- 4 BARRIER FREE PATH OF TRAVEL - CONCRETE BROOM FINISH
- 5 MULTI-SEASON SUPPORTIVE OUTDOOR PLAZA AREA
- 6 PROPOSED LOADING STALL - MIN 9.2m x 3.1m
- 7 PROPOSED LANDSCAPING
- 8 ASPHALT DRIVE AISLE\*
- 9 CONCRETE BROOM FINISH
- 10 CONCRETE BRICK PAVERS FINISH
- 11 PROPOSED TRANSFORMER LOCATION - MIN 5.8m x 3.6m CLEAR
- 12 PEDESTRIAN CROSSING - 1.2m WIDTH
- 13 PUBLIC AMENITY SPACE
- 14 BIKE RACKS - CLASS 2

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ARCHITECT  
casola koppe  
ARCHITECTS  
Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS  
SPRINGBANK HILL

PROJECT ADDRESS  
1901 BOWEN BLVD SW, CALGARY, AB T2P 4K6  
NOTES: ACCESS ROUTE DESIGNED TO SUPPORT 38556kg OVER A 24' x 24' AREA  
TURNING TEMPLATE PLAN FOR EXTENT OF AREA.

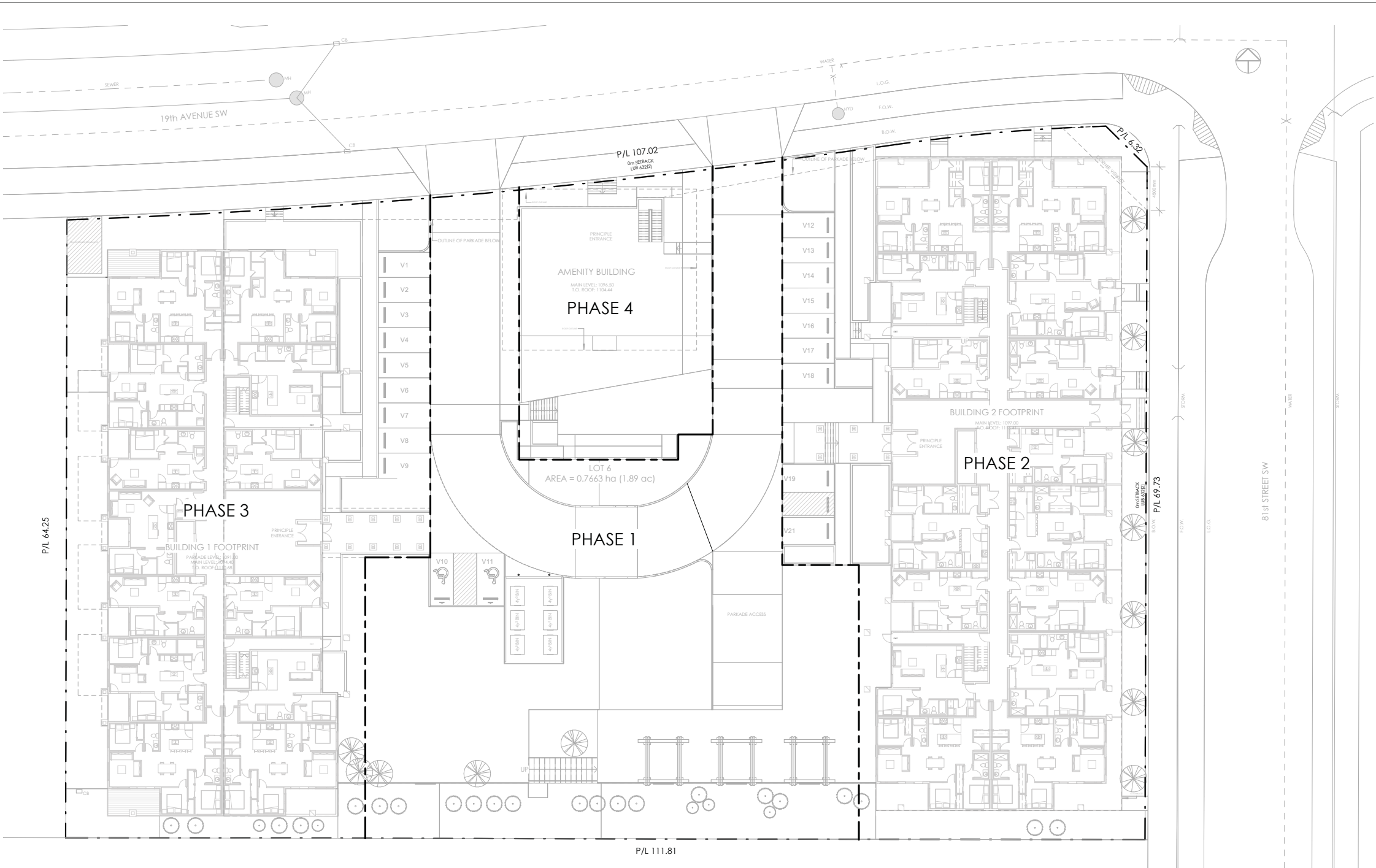
NOTE: NO PARKING SIGNS ARE TO BE LOCATED ON EITHER DRIVE AISLE.

PROPOSED SITE PLAN

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2021	SHEET
SCALE AS NOTED		DP1.3



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Parkade & Site DP (20-11-23).rvt



**1**  
DP1.4  
**Phasing Plan**  
1 : 200

PROJECT PHASING

- PHASE 1: PARKADE AND ALL PAVED AREAS INCLUDING GARBAGE ACCESS ROUTE  
PHASE 2: BUILDING 2000  
PHASE 3: BUILDING 1000  
PHASE 4: AMENITY BUILDING AND ALL REMAINING LANDSCAPING

PHASE 1 TO BE COMPLETED FIRST, PHASES 2-4 TO BE COMPLETED NON-SEQUENTIALLY

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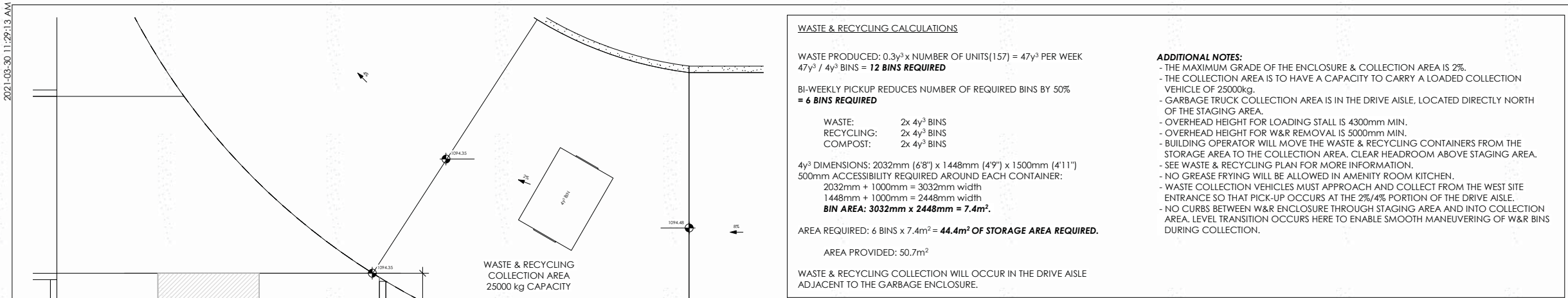
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**PHASING PLAN**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2021	SHEET
SCALE AS NOTED	<b>DP1.4</b>	





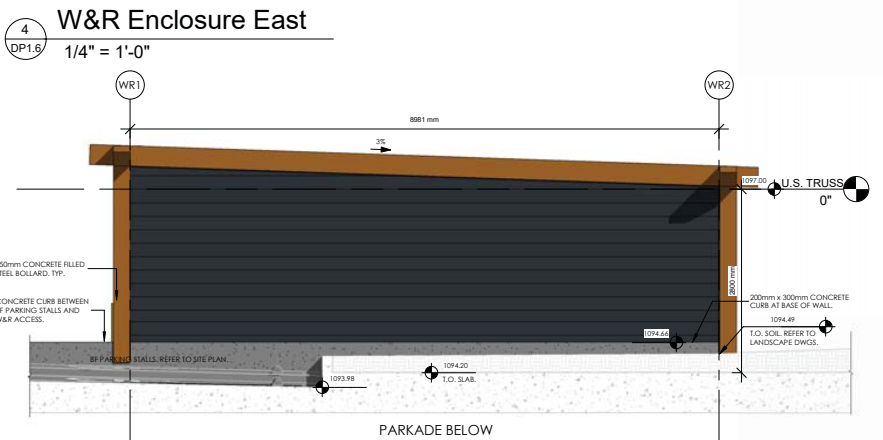
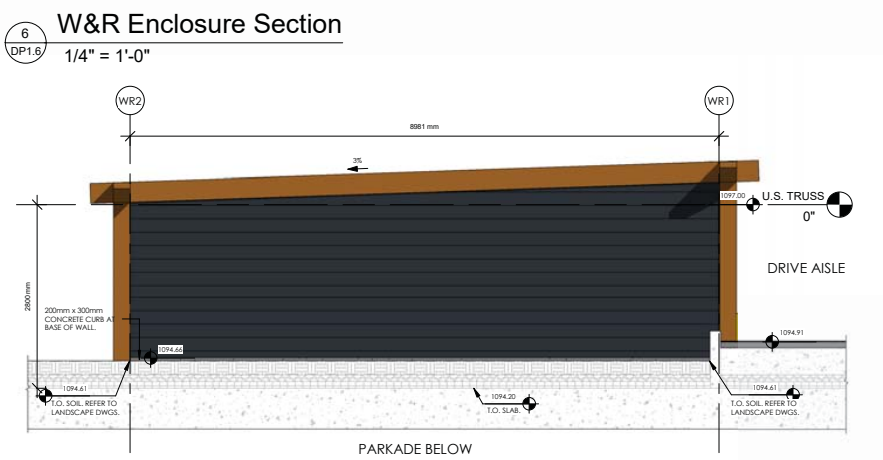
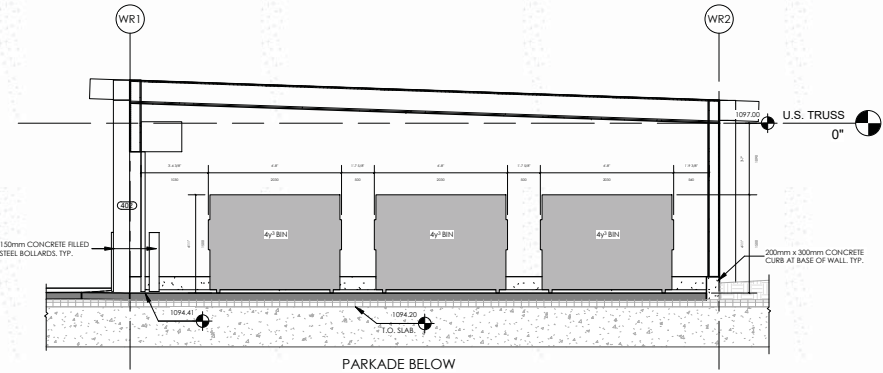


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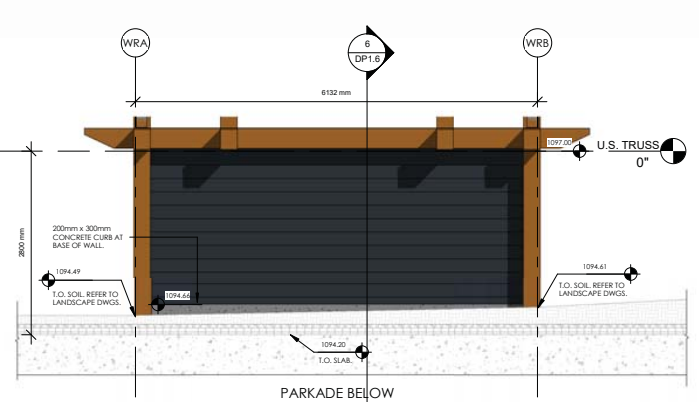
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1  
DP1.6  
1/4" = 1'-0"

Waste & Recycling



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**casola koppe**  
ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

**SPRINGBANK HILL**

PROJECT ADDRESS

LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING

**WASTE & RECYCLING**

DRAWN BY  
EF

JOB NO.  
1915

Building Permit #

CHECKED BY  
TJK

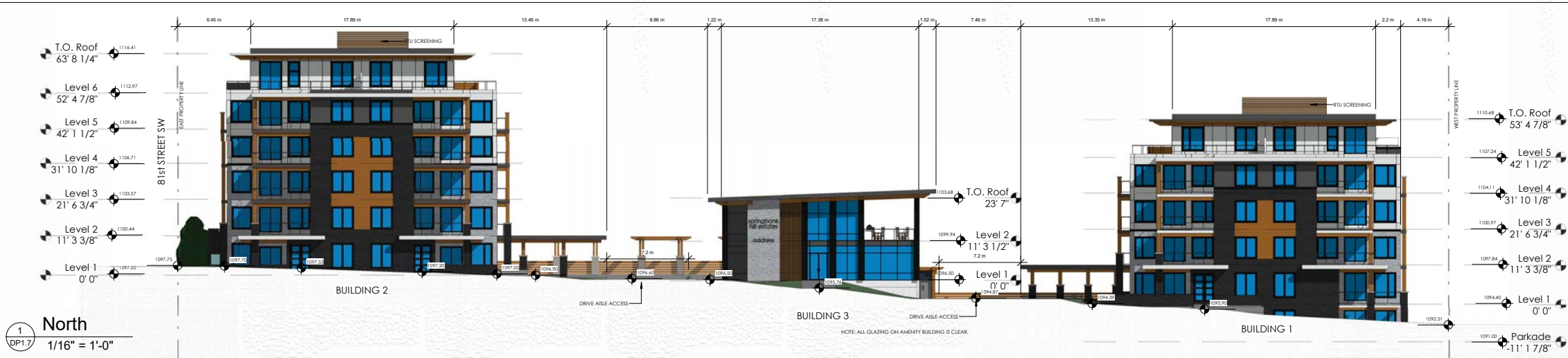
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SHEET

SCALE  
AS NOTED

**DP1.6**

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Keynotes	
7	TIMBER POST
17	STUCCO PILASTER - LIGHT GREY
18	ENGINEERED WOOD GUARD RAIL
19	STUCCO - DARK GREY
20	STUCCO - SLATE GREY
21	FABRICATED METAL SCREENING

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**casola koppe**  
ARCHITECTS

Suite 300, 1410 1st. street SW, Calgary AB T2R 0V8  
P 403.287.9960 F 403.287.9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

**SPRINGBANK HILL**

PROJECT ADDRESS

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Lot 6, Block 30, Plan 2747 HB

DRAWING

**SITE SECTIONS**

DRAWN BY	JOB NO.	Building Permit
EF	1915	#
CHECKED BY		SHEET
TJK		
ISSUE DATE (yy/mm)		
2021		
SCALE		
AS NOTED		

**DP1.7**



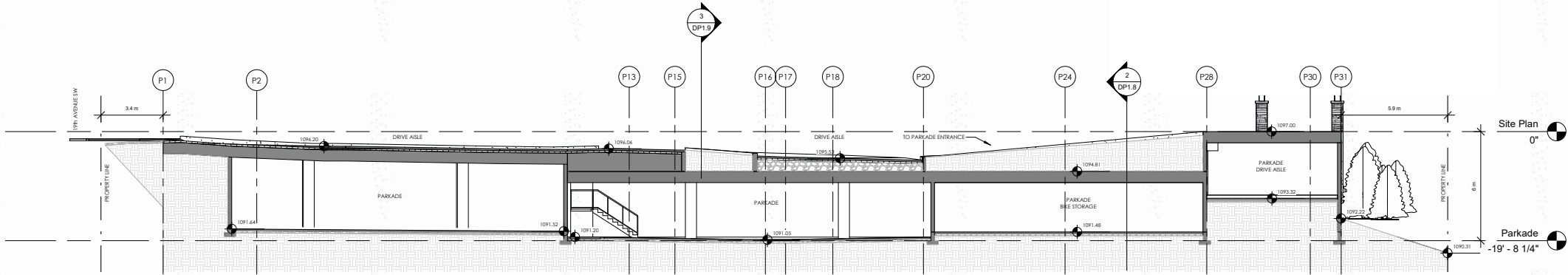
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Parkade & site DP (20-11-23).rvt

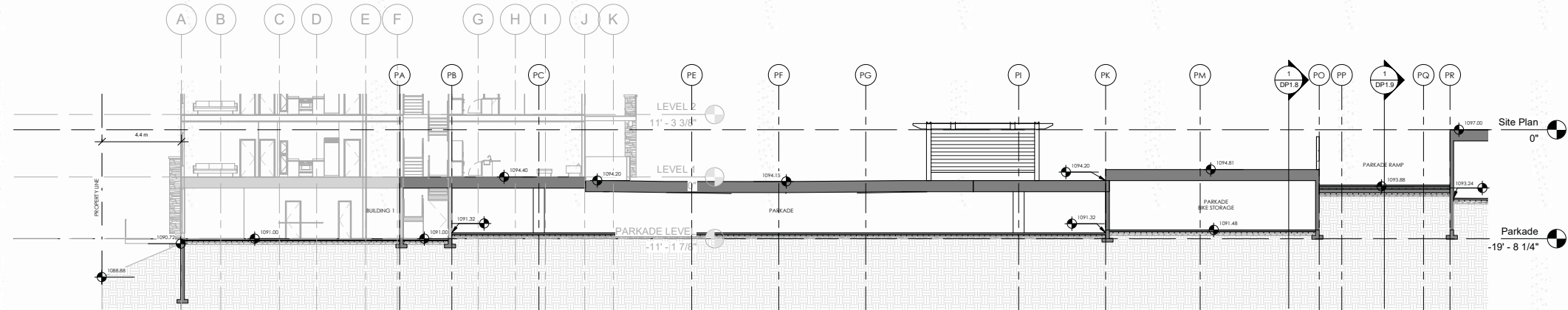
3  
DP1.8  
West  
3/32" = 1'-0"



1  
DP1.8  
SITE SECTION 1  
3/32" = 1'-0"



2  
DP1.8  
SITE SECTION 2  
3/32" = 1'-0"



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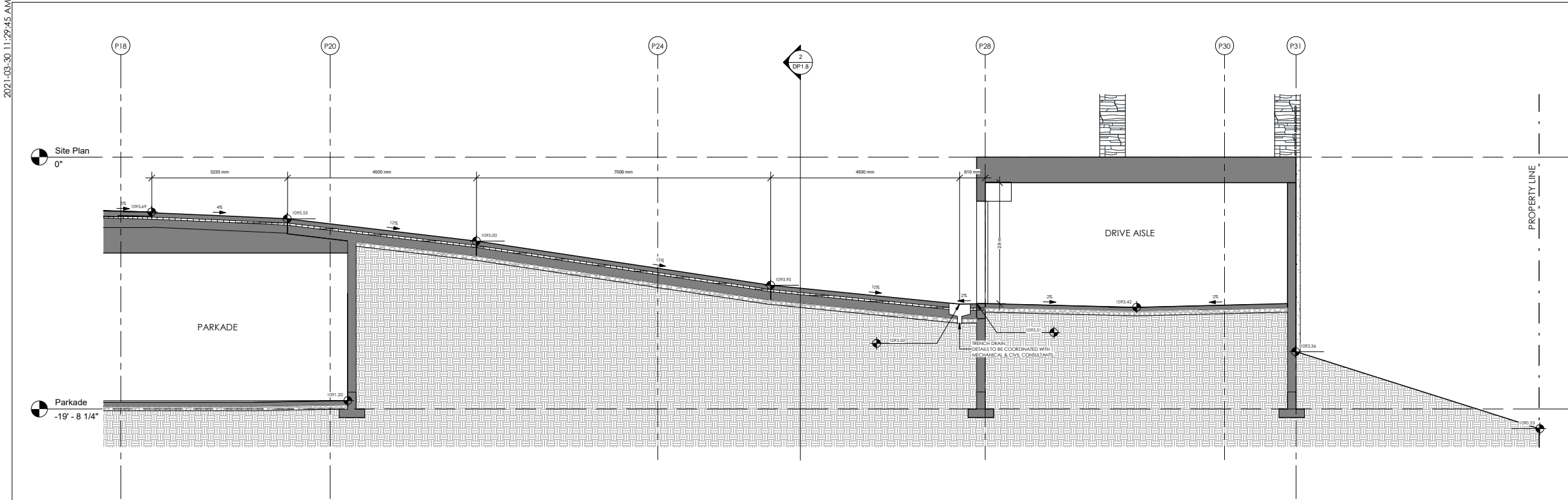
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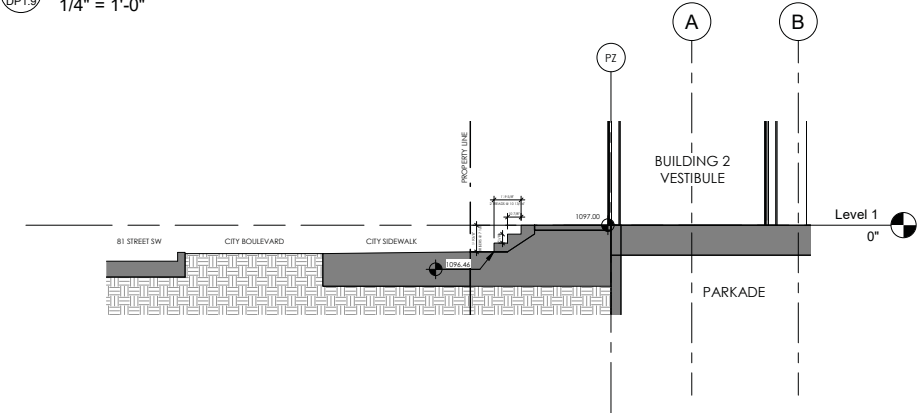
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**SPRINGBANK HILL**  
PROJECT ADDRESS  
LEGAL  
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DRAWING  
**SITE SECTIONS**

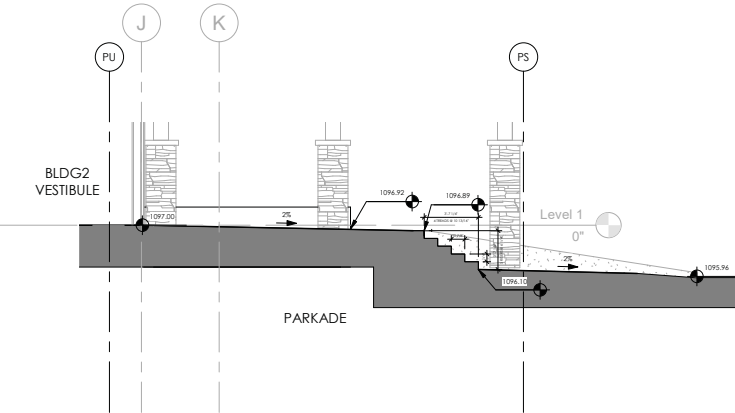
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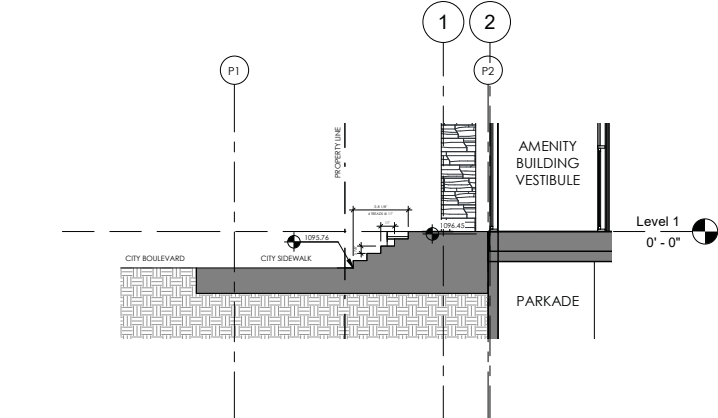
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DP1.9  
Parkade Ramp Section  
1/4" = 1'-0"



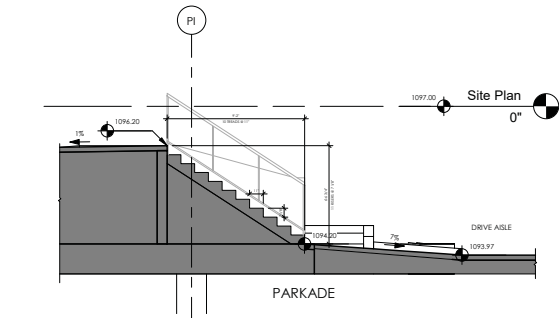
2  
DP1.9  
BUILDING 2 - 81 St ENTRANCE  
3/16" = 1'-0"



3  
DP1.9  
BUILDING 2 - PRINCIPLE ENTRANCE  
3/16" = 1'-0"



4  
DP1.9  
AMENITY BUILDING - ENTRANCE  
3/16" = 1'-0"



5  
DP1.9  
AMENITY PLAZA STAIR  
3/16" = 1'-0"

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P 403.287.9960 F 403.287.9962 info@ckarch.ca

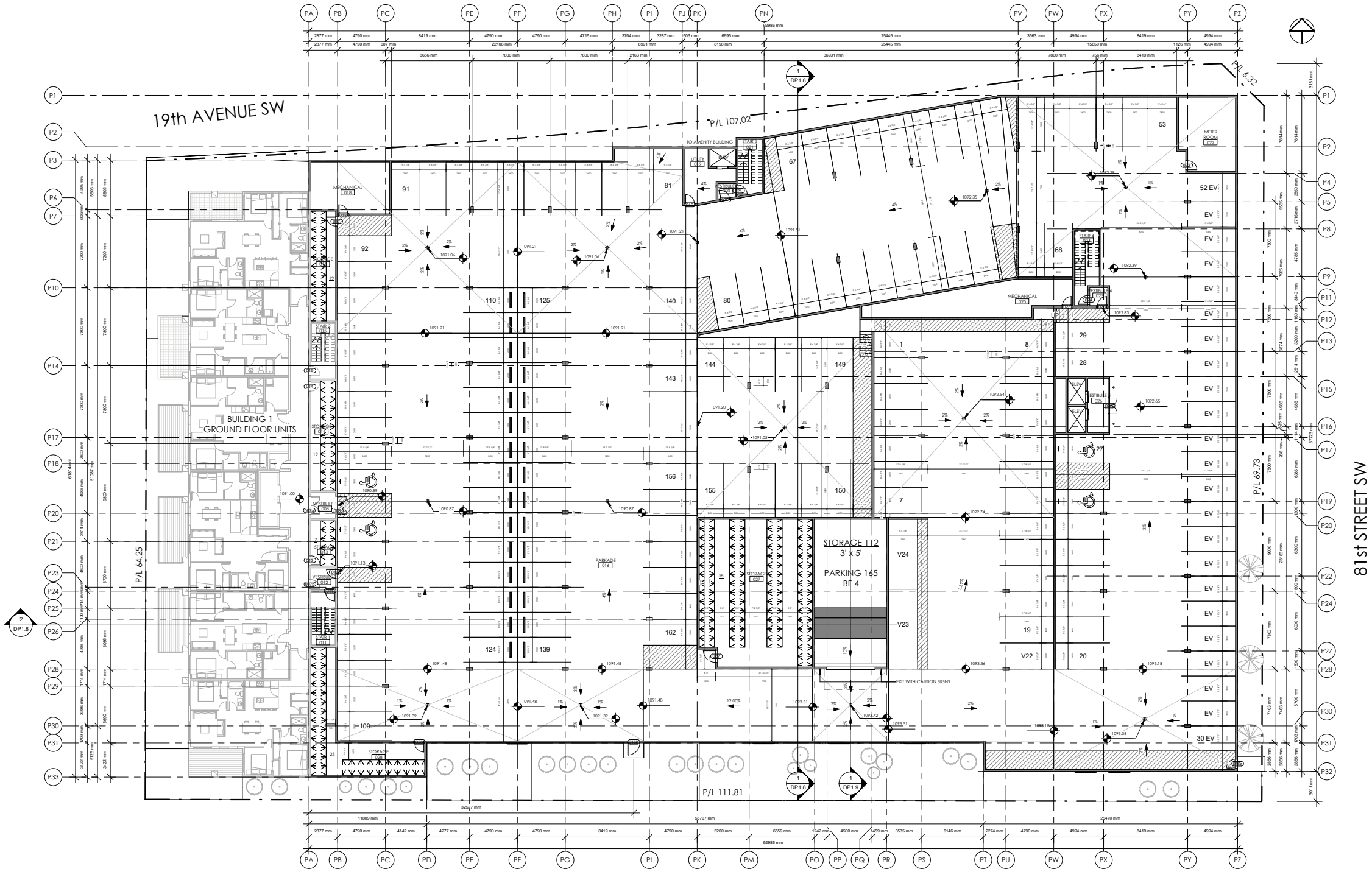
PROJECT NAME AND ADDRESS  
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PROJECT ADDRESS  
LEGAL  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**SITE SECTIONS**

DRAWN BY EF	JOB NO. 1915	Building Permit #
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SCALE AS NOTED	<b>DP1.9</b>	



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Parkade & site DP (20-11-23).rvt



1 Parkade  
DP2.0 1/16" = 1'-0"

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**casola koppe**  
ARCHITECTS  
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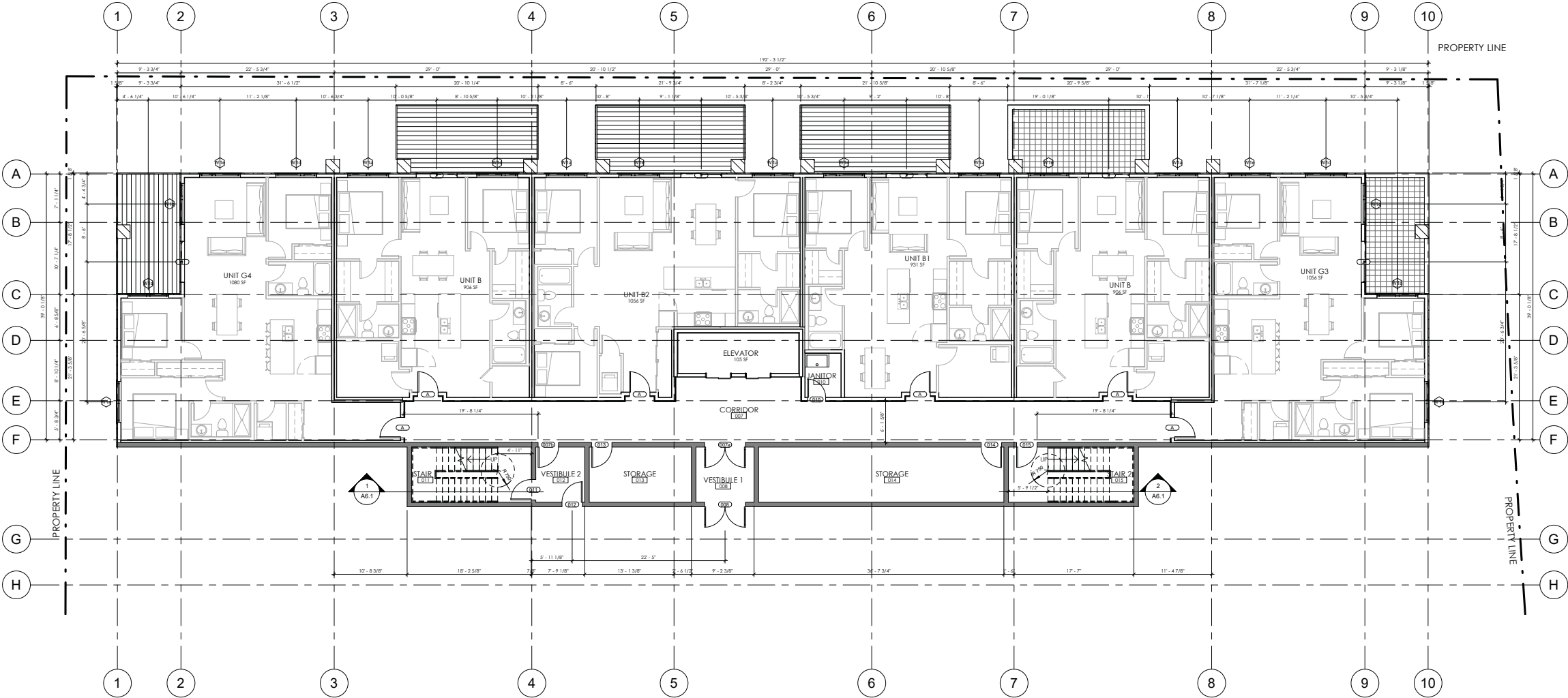
PROJECT NAME AND ADDRESS  
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PROJECT ADDRESS  
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DRAWING  
**PARKADE**

DRAWN BY FW/EF	JOB NO. 1915	Building Permit #
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SCALE AS NOTED	<b>DP2.0</b>	

2021-03-30 11:45:33 AM

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20-11-23.rvt



**1**  
PARKADE LEVEL  
1/8" = 1'-0"

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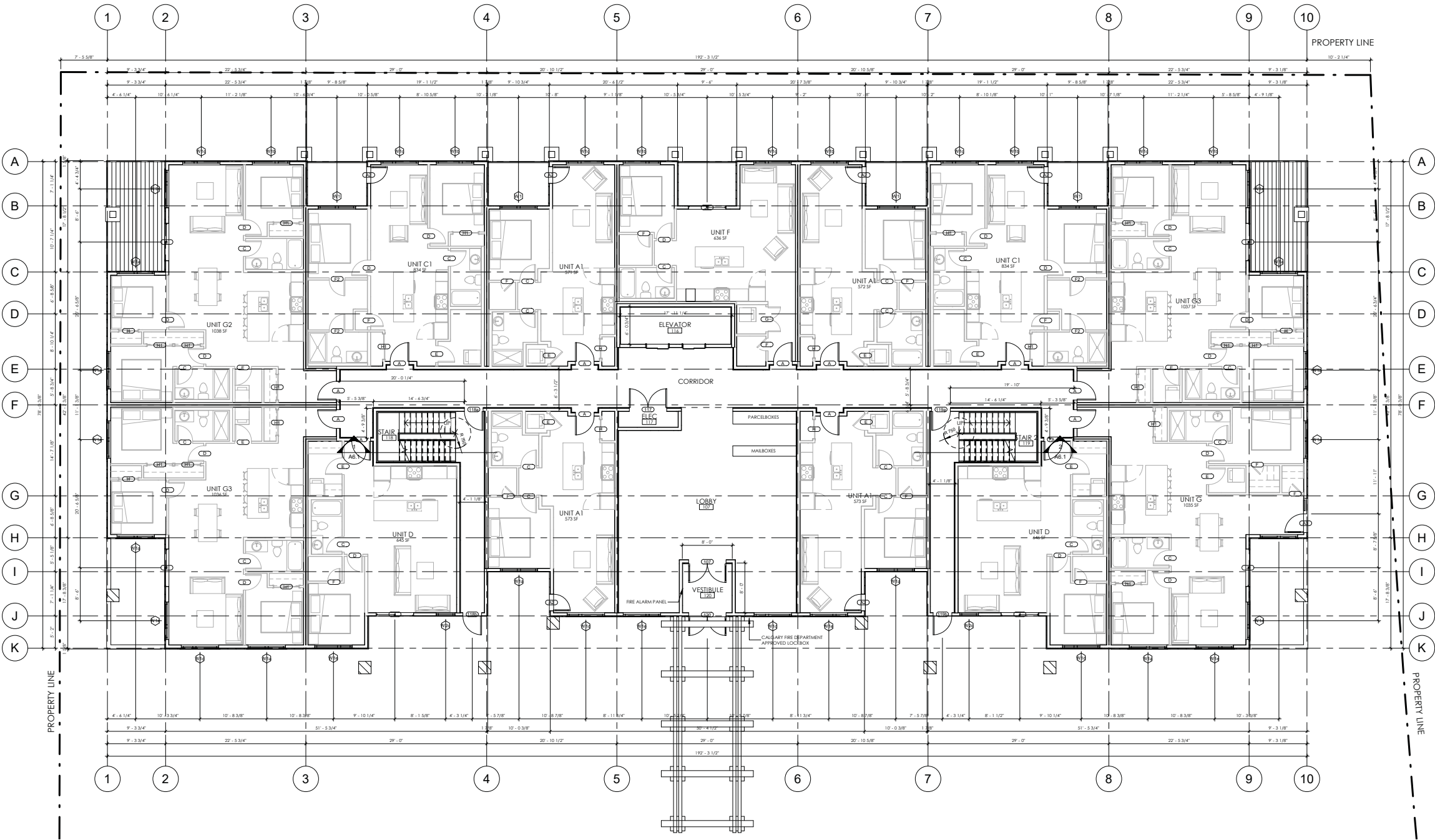
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Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - PARKADE LEVEL**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.1</b>	



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20-11-23.rvt



1  
DP2.2  
LEVEL 1  
1/8" = 1'-0"

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REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2020-09-14	Issued for DP
2	2020-11-20	Issued for DP DTR1
3	2021-03-26	Issued for DP DTR2

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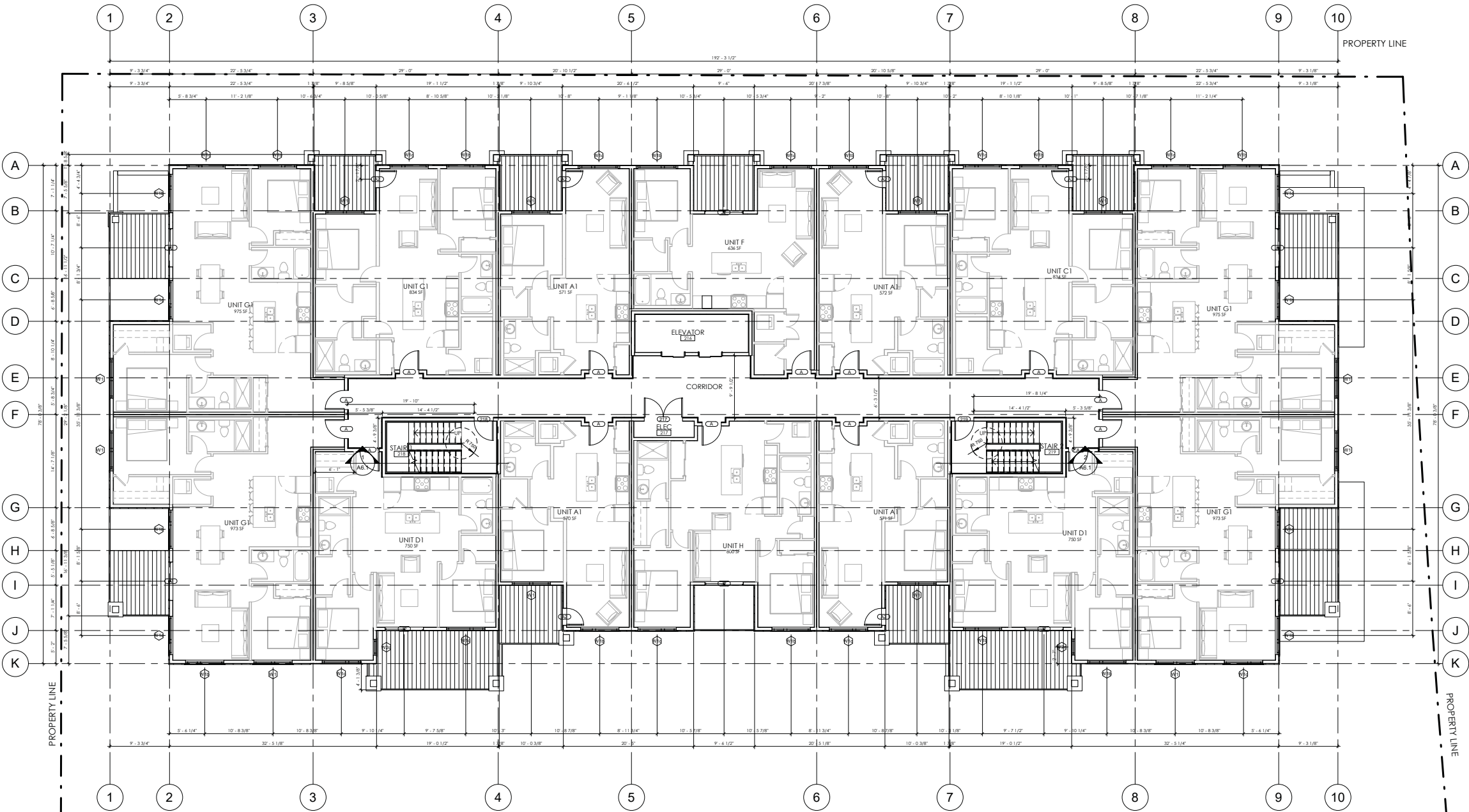
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - LEVEL 1**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.2</b>	

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PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

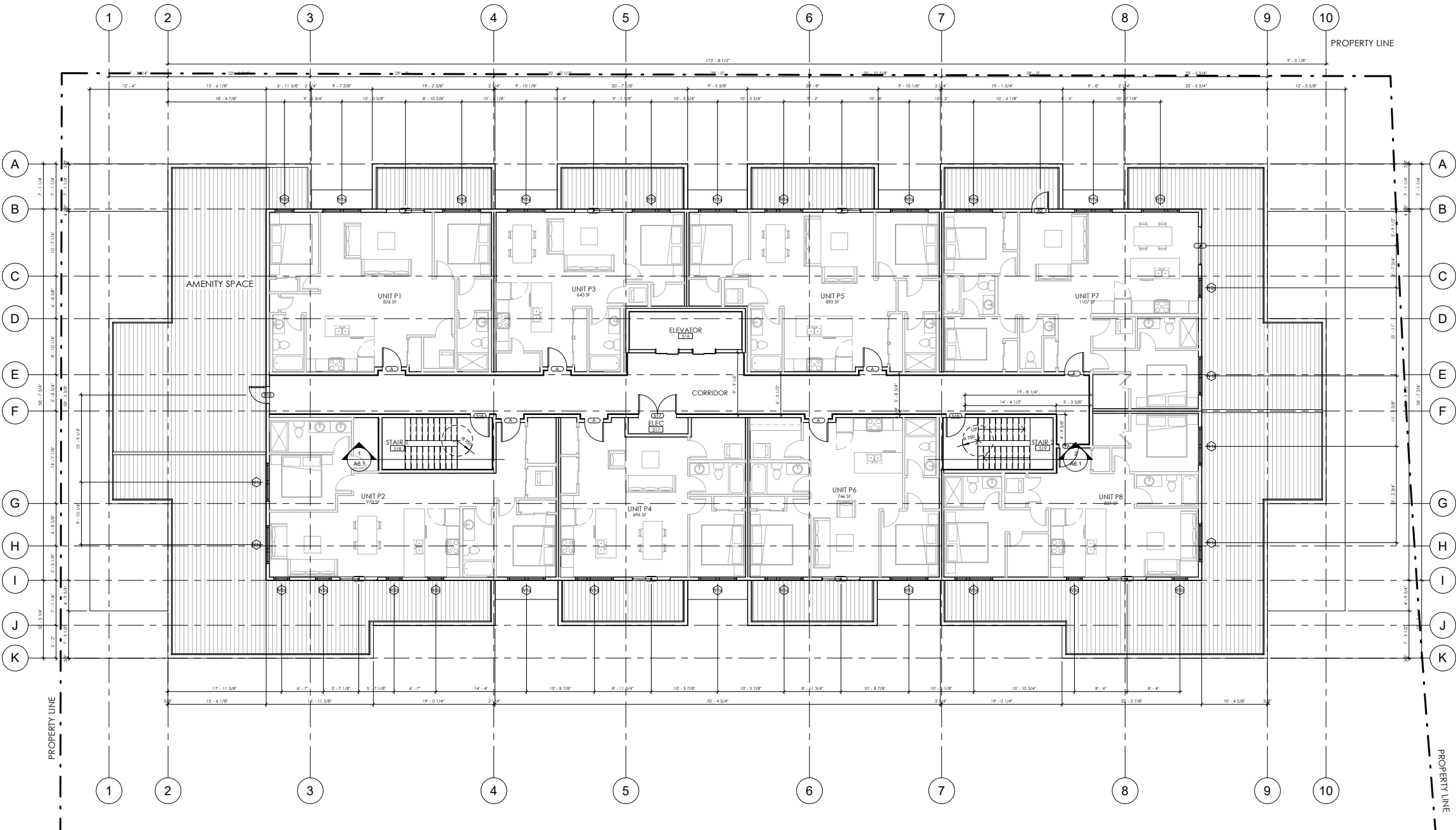
DRAWING  
**BLDG1 - LEVELS 2-4**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.3</b>	



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1  
DP2.4  
LEVEL 5  
1/8" = 1'-0"

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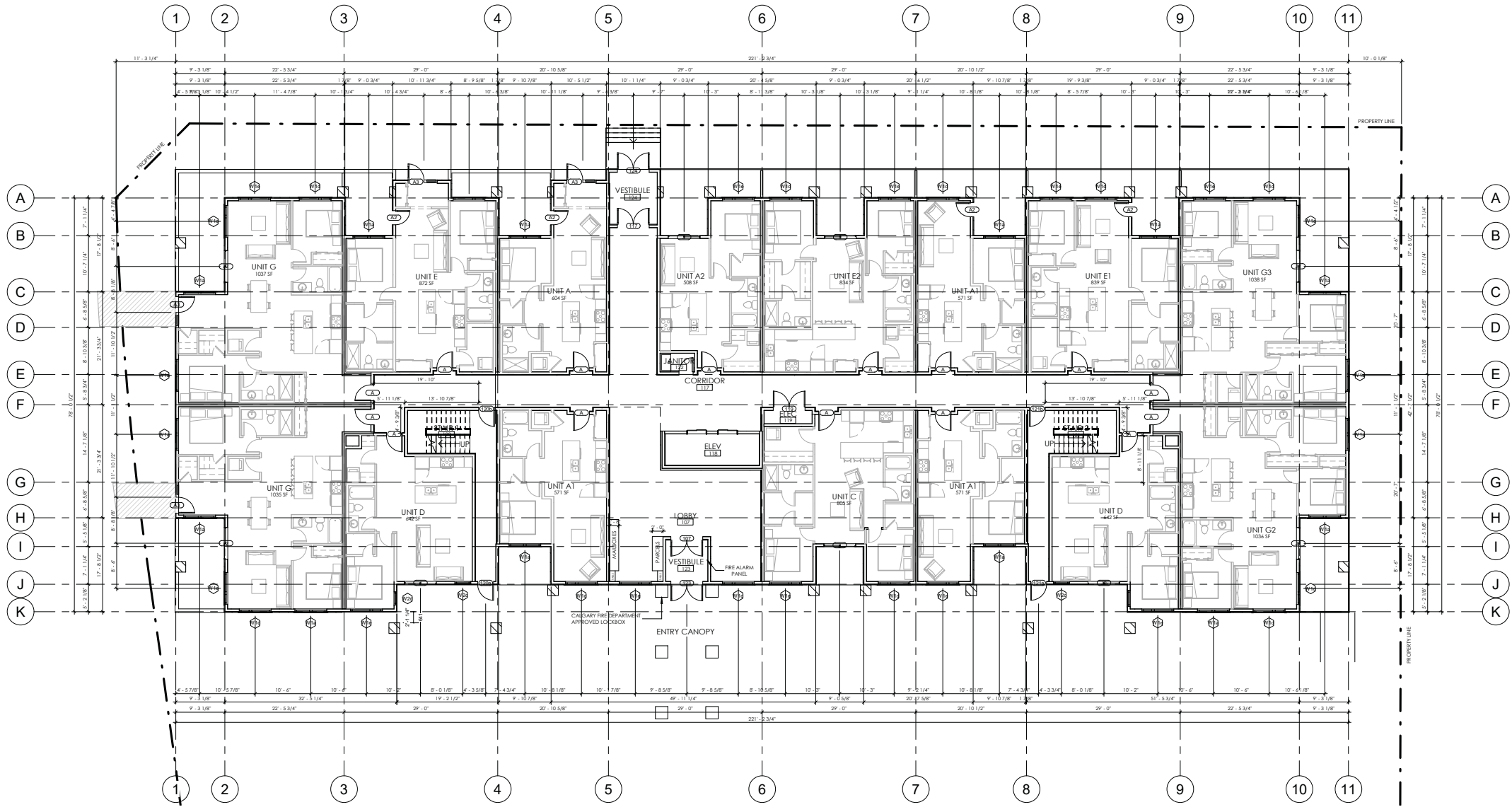
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG1 - LEVEL 5**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.4</b>	

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20-11-23.rvt



1  
DP2.5  
LEVEL 1 - FLOOR PLAN  
3/32" = 1'-0"

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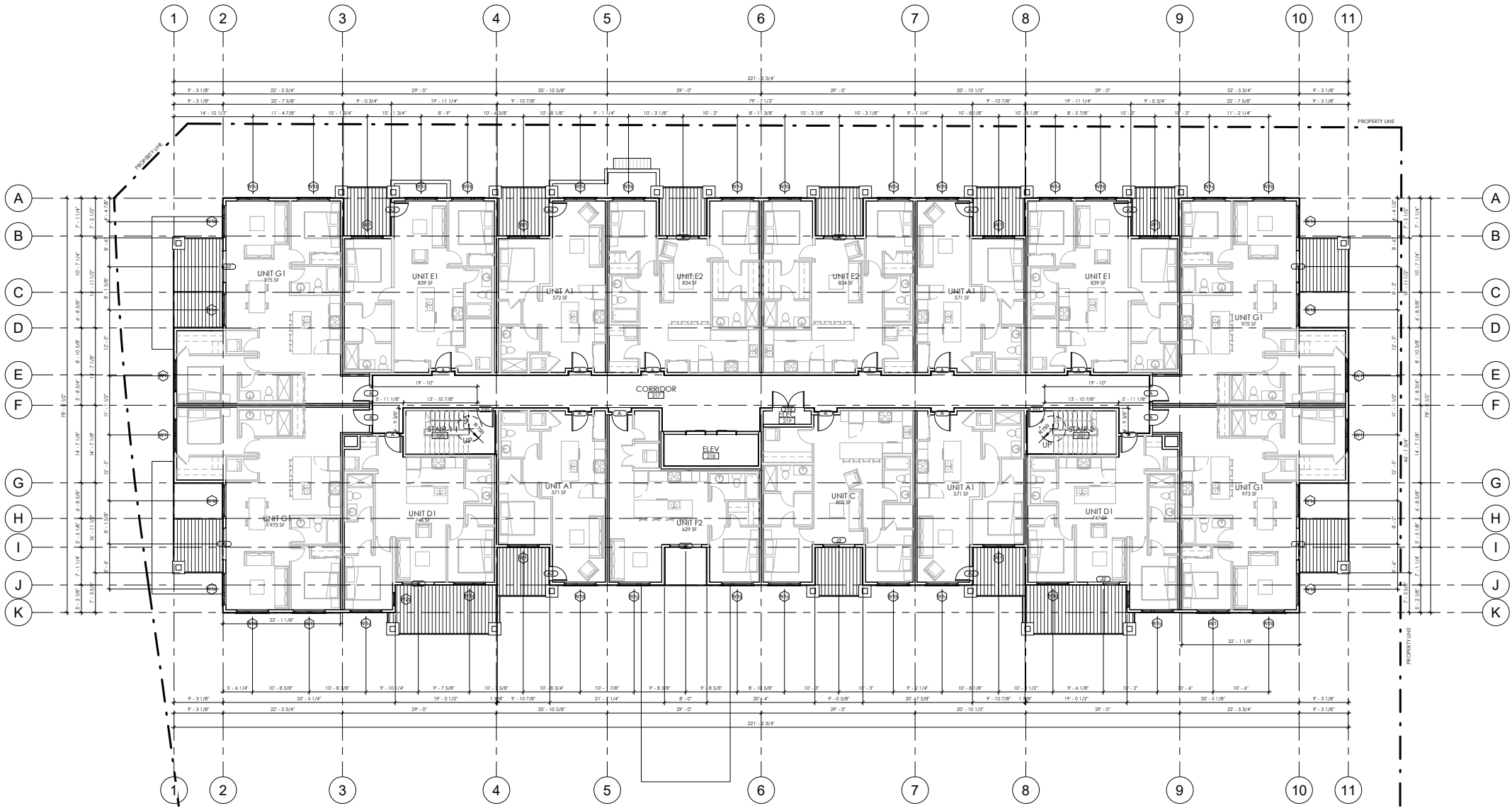
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**BLDG2 - LEVEL 1**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.5</b>	



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20-11-23.rvt



1  
DP2.6  
LEVEL 2-5 - FLOOR PLAN  
3/32" = 1'-0"

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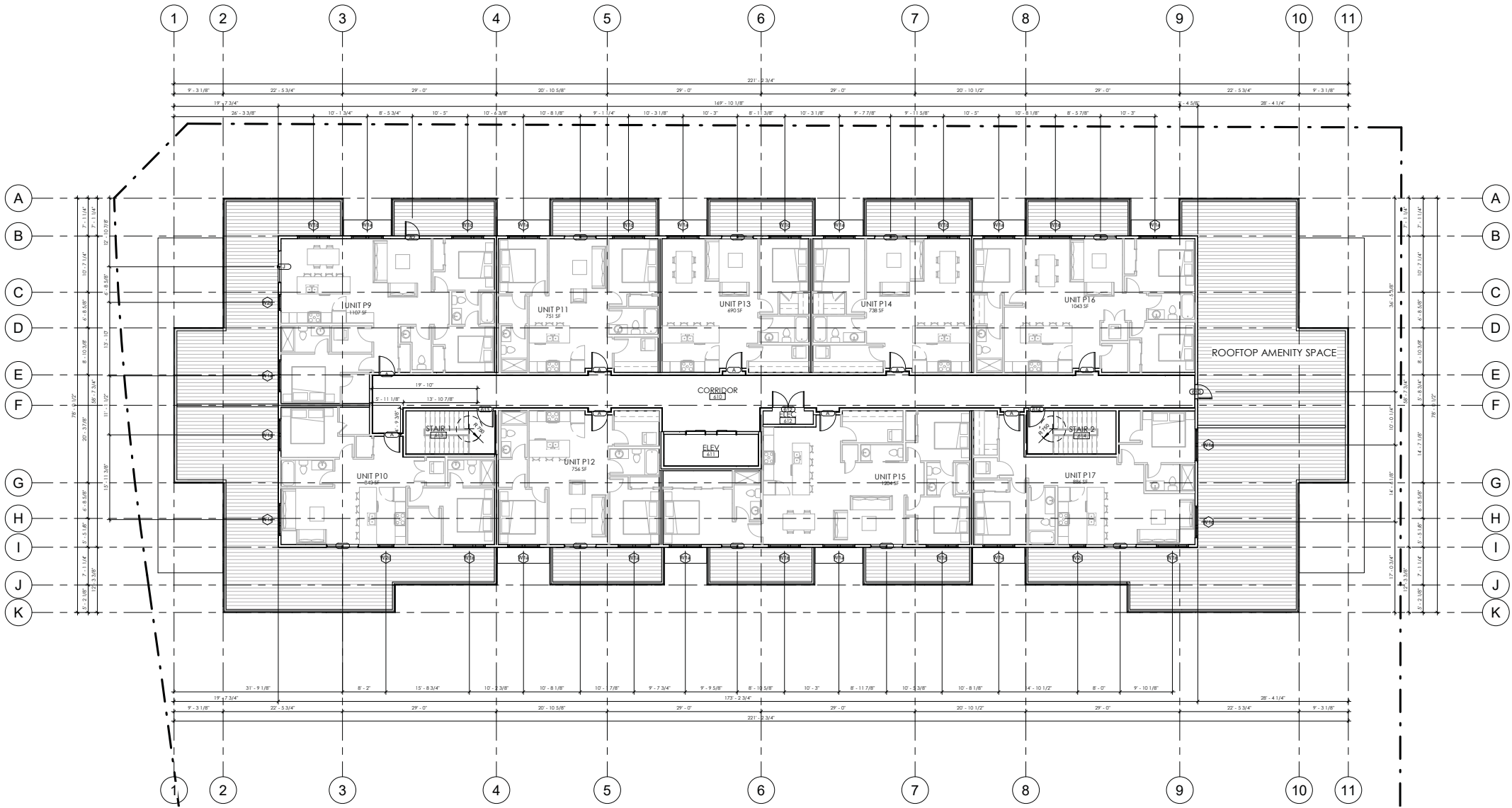
PROJECT ADDRESS  
LEGAL ADDRESS  
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DRAWING

**BLDG2 - LEVELS 2-5**

DRAWN BY FW	JOB NO. 1915	Building Permit #
CHECKED BY TJK	SHEET	
ISSUE DATE (yy/mm) 2020		<b>DP2.6</b>
SCALE AS NOTED		

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1  
DP2.7  
LEVEL 6 - FLOOR PLAN  
3/32" = 1'-0"

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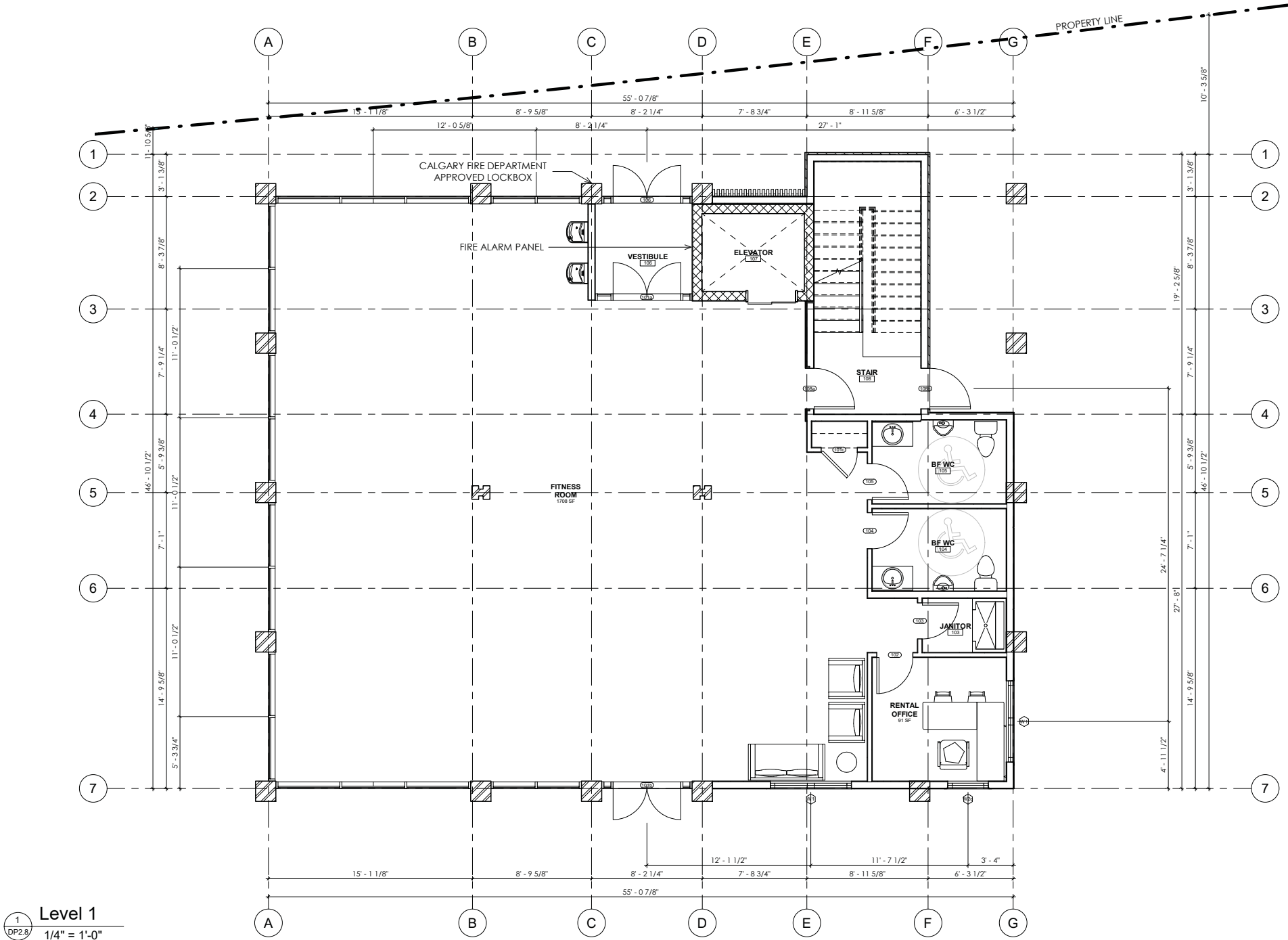
PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
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DRAWING  
**BLDG2 - LEVEL 6**

DRAWN BY FW	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.7</b>	



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1 Level 1  
DP2.8 1/4" = 1'-0"

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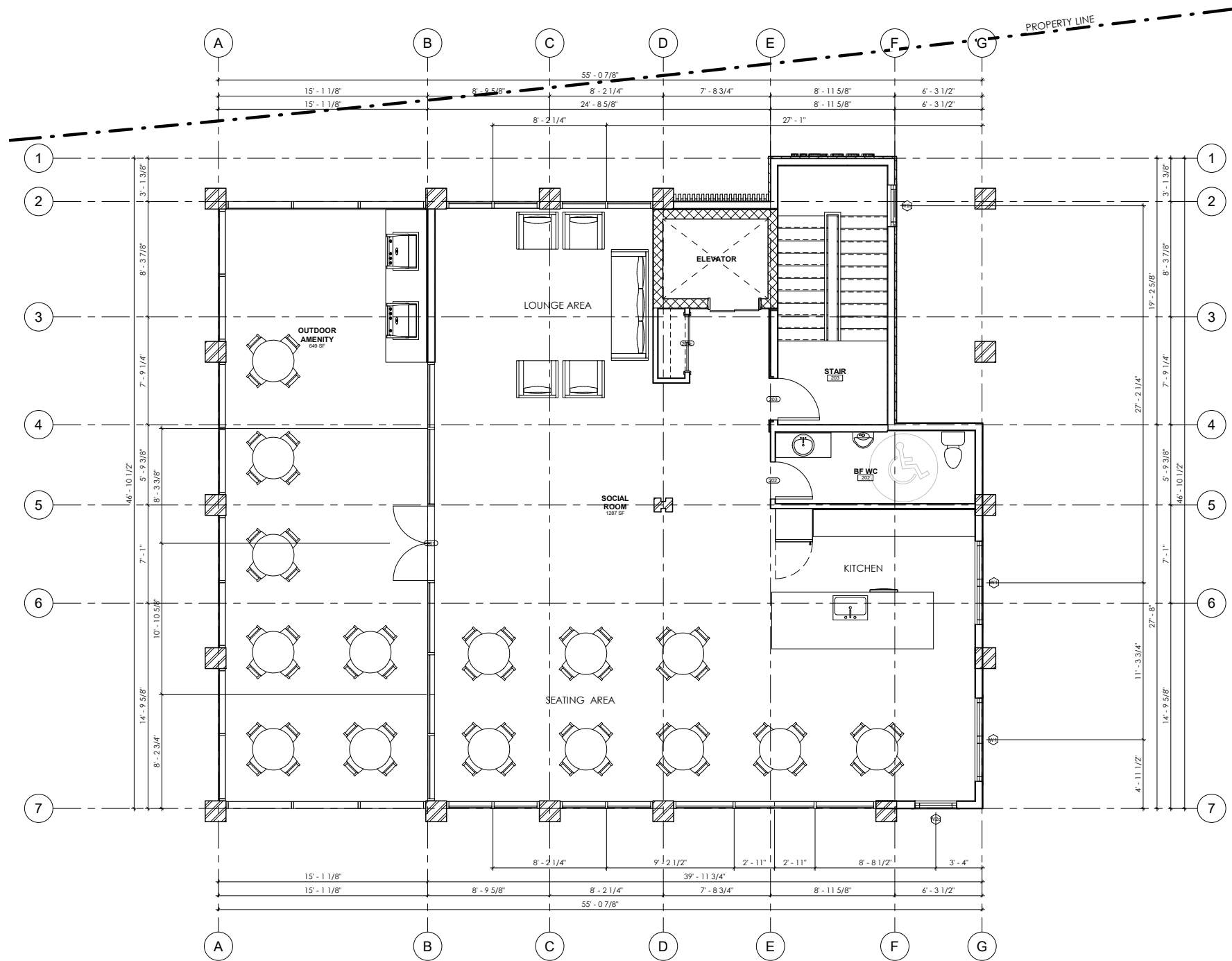
DRAWING

**AMENITY BUILDING MAIN FLOOR**

DRAWN BY HL/EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	SHEET	
ISSUE DATE (yy/mm) 2020		
SCALE AS NOTED		

**DP2.8**

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1 Level 2  
DP2.9 1/4" = 1'-0"

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PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
PROJECT ADDRESS  
LEGAL ADDRESS  
Lot 6, Block 30, Plan 2747 HB

DRAWING  
**AMENITY BUILDING LEVEL 2**

DRAWN BY HL/EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED	<b>DP2.9</b>	



Revision Schedule		
Number	Date (yy/mm/dd)	Description
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3	2021-03-26	Issued for DP DTR2

## Keynotes

1	STONE - LIGHT GREY
2	STONE - DARK GREY
3	METAL SIDING - CEDAR
4	FIBRE CEMENT SIDING - WHITE
5	FIBRE CEMENT PANEL - DARK GREY
6	FIBRE CEMENT PANEL - WHITE
7	TIMBER POST
9	METAL SOFFIT - CEDAR
10	FASCIA - WHITE
11	FASCIA - DARK GREY
12	RTU SCREENING - WOOD

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PROJECT NAME AND ADDRESS

SPRINGBANK HILL ESTATES

PROJECT ADDRESS

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Lot 6, Block 30, Plan 2747 HB

DRAWING

BLDG1 - EAST AND WEST  
ELEVATIONS

<p>  </p>	<p>  </p>	<p>  </p>	<p>  </p>	<p>  </p>	<p>  </p>	<p>  </p>	<p>  </p>
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EF	1915

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ISSUE DATE (yy/mm)  
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2020  
SCALE

AS NOTED

**DP3.0**



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20-11-23.rvt

2  
DP3.1  
NORTH ELEVATION  
1/8" = 1'-0"



1  
DP3.1  
SOUTH ELEVATION  
1/8" = 1'-0"



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3	2021-03-26	Issued for DP DTR2

Keynotes	
1	STONE - LIGHT GREY
2	STONE - DARK GREY
3	METAL SIDING - CEDAR
4	FIBRE CEMENT SIDING - WHITE
5	FIBRE CEMENT PANEL - DARK GREY
6	FIBRE CEMENT PANEL - WHITE
7	TIMBER POST
9	METAL SOFFIT - CEDAR
10	FASCIA - WHITE
11	FASCIA - DARK GREY
12	RTU SCREENING - WOOD

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DRAWING  
**BLDG1 - NORTH AND SOUTH ELEVATIONS**

DRAWN BY EF	JOB NO. 1915	Building Permit #
CHECKED BY TJK	ISSUE DATE (yy/mm) 2020	SHEET
SCALE AS NOTED		<b>DP3.1</b>







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3	2021-03-26	Issued for DP DTR2

Keynotes

1	STONE - LIGHT GREY
2	STONE - DARK GREY
3	METAL SIDING - CEDAR
4	FIBRE CEMENT SIDING - WHITE
5	FIBRE CEMENT PANEL - DARK GREY
6	FIBRE CEMENT PANEL - WHITE
7	TIMBER POST
8	FROSTED GLASS PRIVACY WALL
9	METAL SOFFIT - CEDAR
10	FASCIA - WHITE
11	FASCIA - DARK GREY
12	RTU SCREENING - WOOD

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PROJECT NAME AND ADDRESS

**SPRINGBANK HILL ESTATES**

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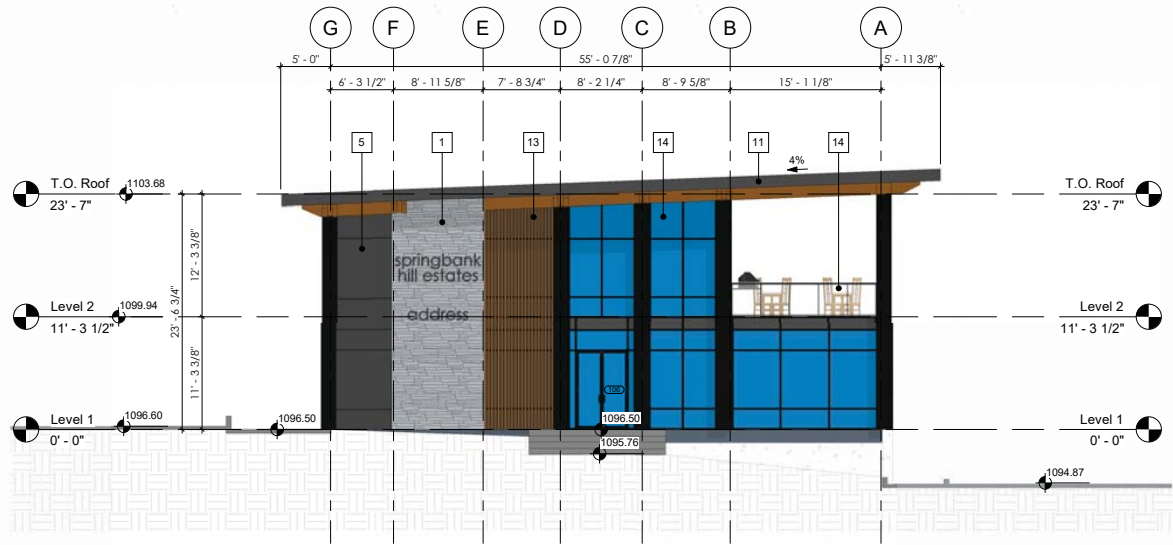
DRAWING

**BLDG2 - SOUTH & EAST ELEVATIONS**

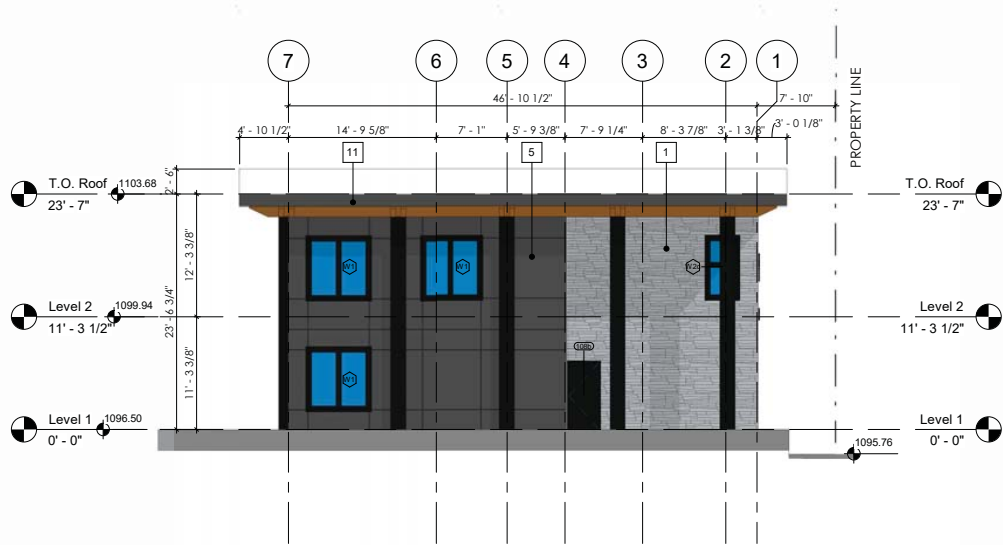
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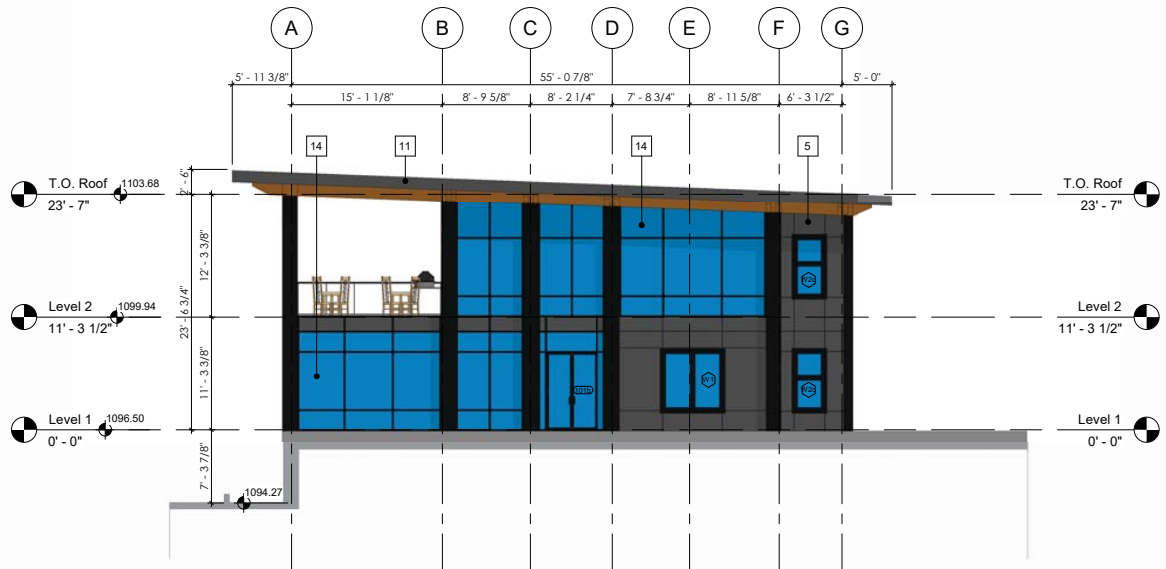
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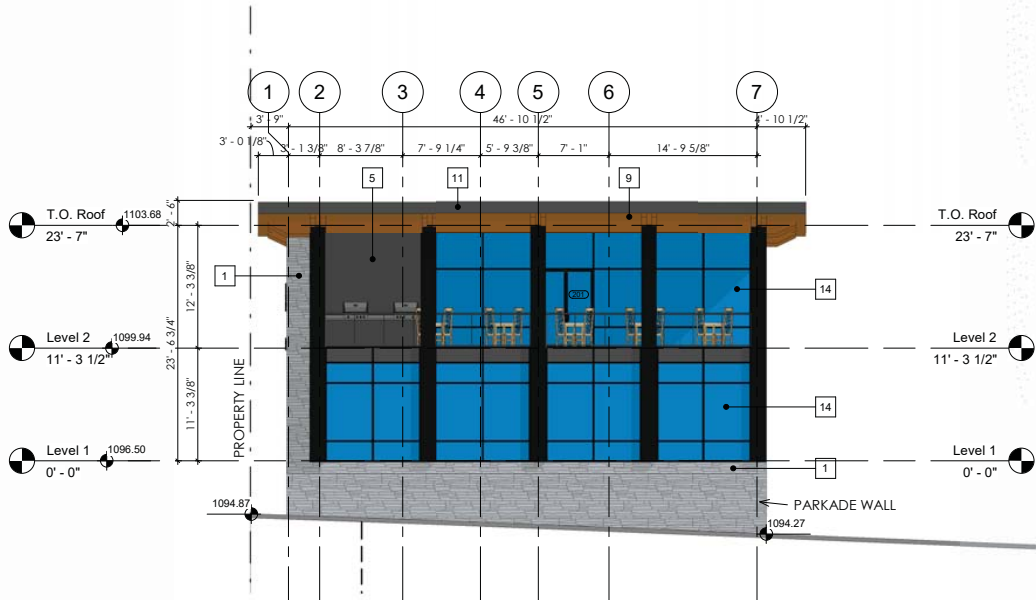
3  
DP3.4  
North  
1/8" = 1'-0"



4  
DP3.4  
East  
1/8" = 1'-0"



1  
DP3.4  
South  
1/8" = 1'-0"



2  
DP3.4  
West  
1/8" = 1'-0"

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1	2020-09-14	Issued for DP
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3	2021-03-26	Issued for DP DIR2

Keynotes	
1	STONE - LIGHT GREY
5	FIBRE CEMENT PANEL - DARK GREY
9	METAL SOFFIT - CEDAR
11	FASCIA - DARK GREY
13	VERTICAL WOOD SLATS - CEDAR
14	GLAZING - CLEAR

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ARCHITECTS  
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PROJECT NAME AND ADDRESS  
**SPRINGBANK HILL ESTATES**  
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DRAWING  
**AMENITY BUILDING  
ELEVATIONS**

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	2020	
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NOTES

- All elevations referenced to 1000m Geodetic Datum.
- Hydrants, valves, check valves, manholes, sewer lines, water lines etc., to be installed to City of Calgary standards.
- All manholes to be S.R.C.
- Match crown minimum at all sewer connections.
- All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes < 150mm to be SDR 28 PVC. Sewer service pipes > 150mm to be SDR 35.
- Sewer lines to minimum slopes as per City of Calgary Standards.
- Use City of Calgary Type 2 installation, Class 1A bedding for sewer pipes unless otherwise noted.
- Insulation required for sanitary sewers if cover less than 2.50m on mains.
- Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
- All water mains to be DR 18 PVC unless otherwise noted.
- Use City of Calgary Type 1 installation, Class 1A bedding for water mains, Type 2 installation, class 'B' bedding for services.
- Depth of bury for water lines to conform with City of Calgary standards.
- No trees to be planted over water line(s).
- Protection of Potable Water Supply From Contamination: All cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
- For building locations and dimensions refer to latest Architectural drawings.
- The contractor is responsible for locating all shallow utilities.
- The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
- Weeping Tile & Free Flow area drains to be tied to unrestricted free flow storm sewer.
- All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.

LEGEND

	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Water meter location
	Existing elevation
	Sanitary manhole number & elevation
	CB/GT/ST-1
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

REVISIONS

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

ISSUED FOR

No.	DRAWING STATUS	DATE	APP.
4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT		

CLIENT

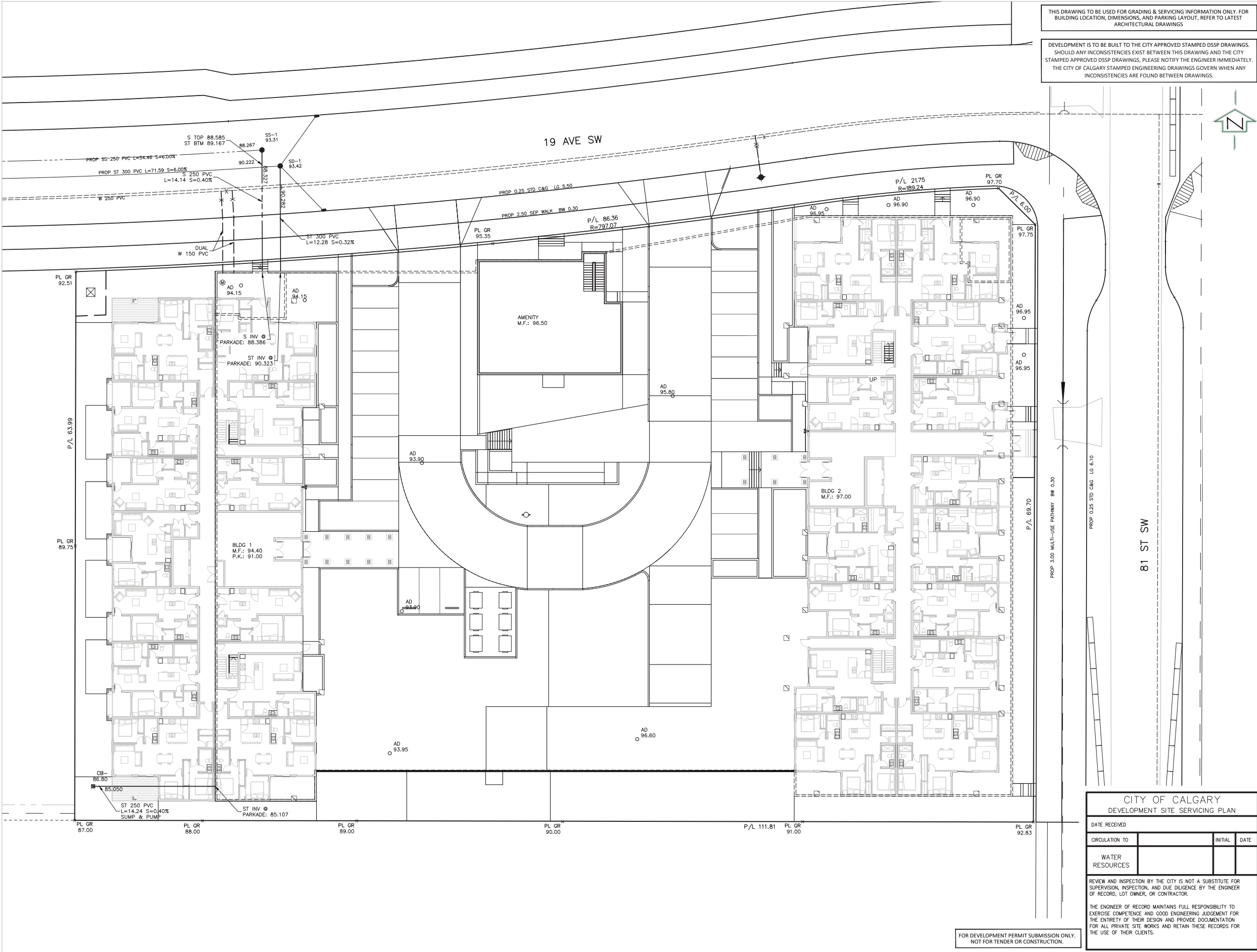
SPRAY GROUP

PROJECT  
ASPEN ESTATES CONDO  
160 UNITS  
19 AVE & 81 ST SW

TITLE

SITE SERVICING PLAN

DESIGN BY: -	SCALE: 1:200	JOB NUMBER: 20-048
DRAWN BY: -	REV NO.: -	DRAWING NUMBER: SP1
CHECKED BY: -		
DATE: 15-Mar-21		







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PERMIT STAMP

NOTES  
1. All elevations referenced to 1000m Geodetic Datum.

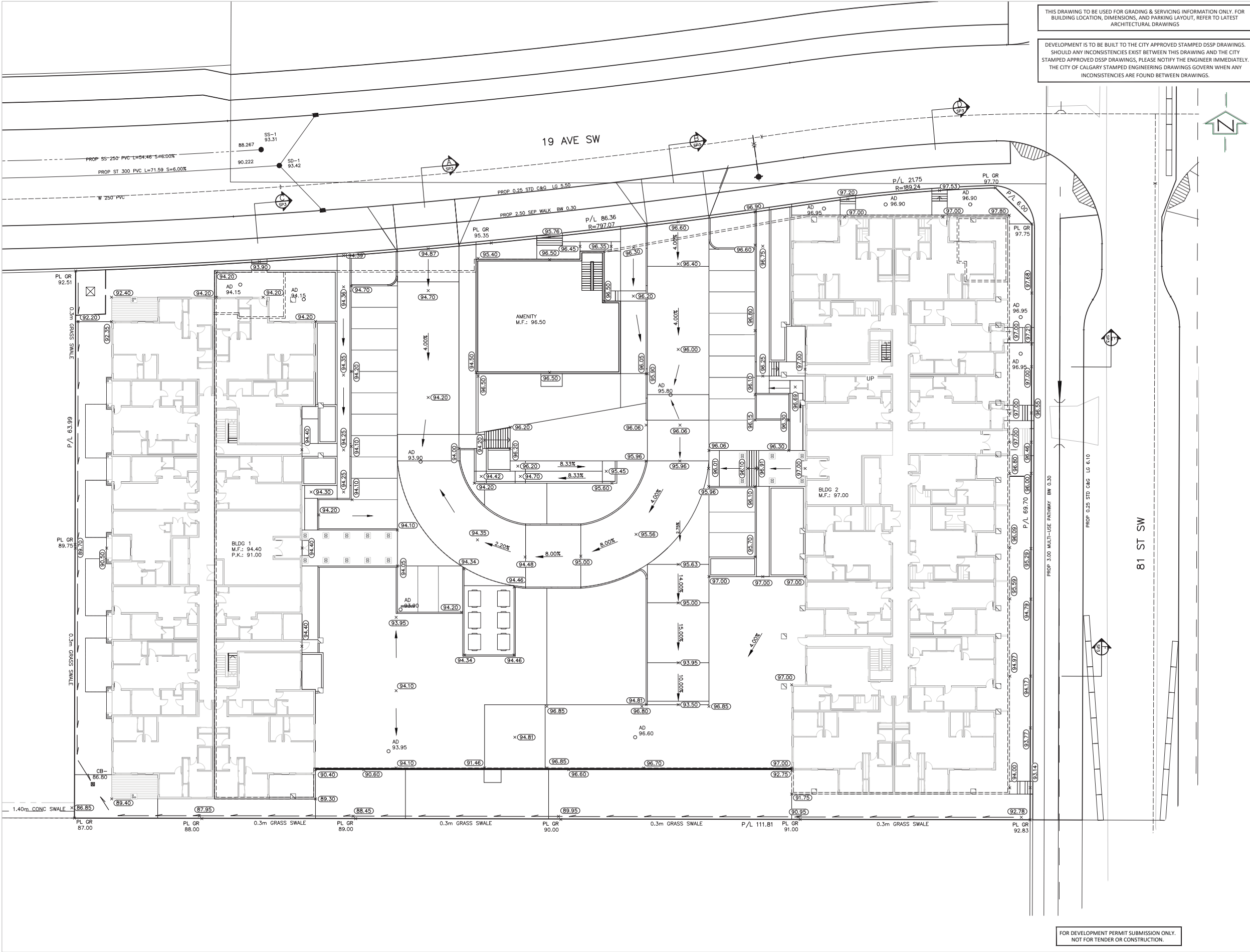
LEGEND	
	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Design elevation
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

REVISIONS		
No.	DATE	DESCRIPTION
5		
4		
3		
2		
1		

ISSUED FOR		
No.	DATE	DESCRIPTION
4		AS-BUILT
3		FOR CONSTRUCTION
2		FOR TENDER
1		DEVELOPMENT PERMIT
No.	DATE	DRAWING STATUS

CLIENT	
SPRAY GROUP	
PROJECT	
ASPEN ESTATES CONDO 160 UNITS 19 AVE & 81 ST SW	
TITLE	
SITE GRADING PLAN	

DESIGN BY: -	SCALE: 1:200	JOB NUMBER: 20-048
DRAWN BY: -	REV NO.: -	DRAWING NUMBER: SP2
CHECKED BY: -		
DATE: 15-Mar-21		





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PERMIT

STAMP

NOTES

1. All elevations referenced to 1000m Geodetic Datum.

LEGEND

	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
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	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
M.F. 000.00	Main floor elevation
T.F. 000.00	Top of footing elevation
000.00	Sanitary sewer invert at bldg

REVISIONS

5.			
4.			
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2.			
1.			

No.	DATE	DESCRIPTION	BY
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ISSUED FOR

4.	AS-BUILT		
3.	FOR CONSTRUCTION		
2.	FOR TENDER		
1.	DEVELOPMENT PERMIT		
No.	DRAWING STATUS	DATE	APP.

CLIENT

SPRAY GROUP

PROJECT

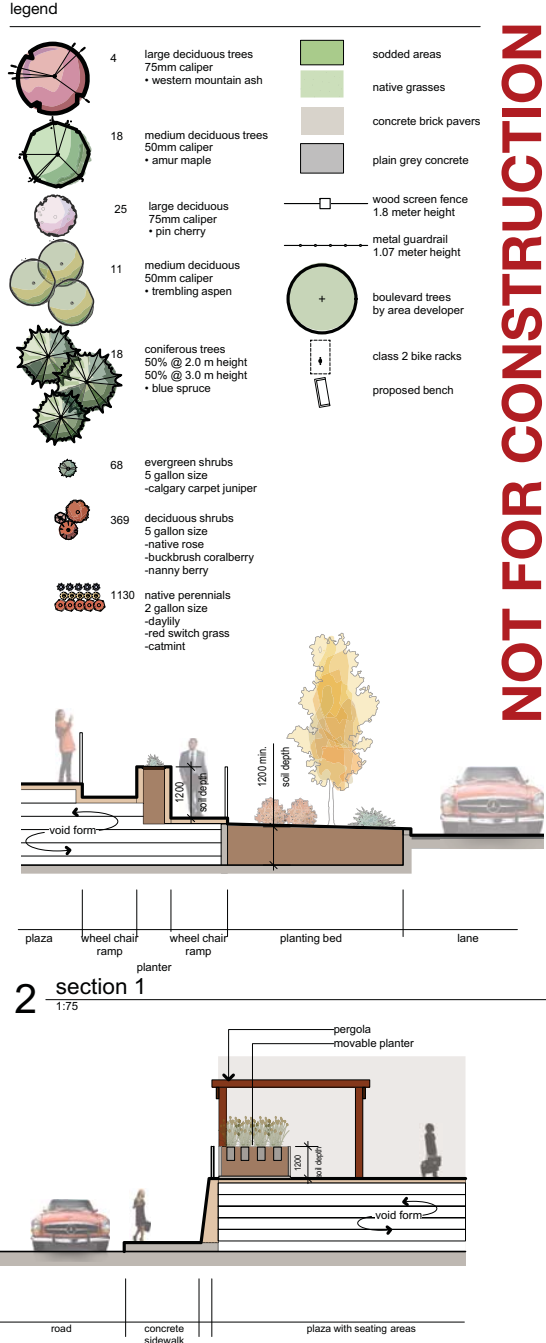
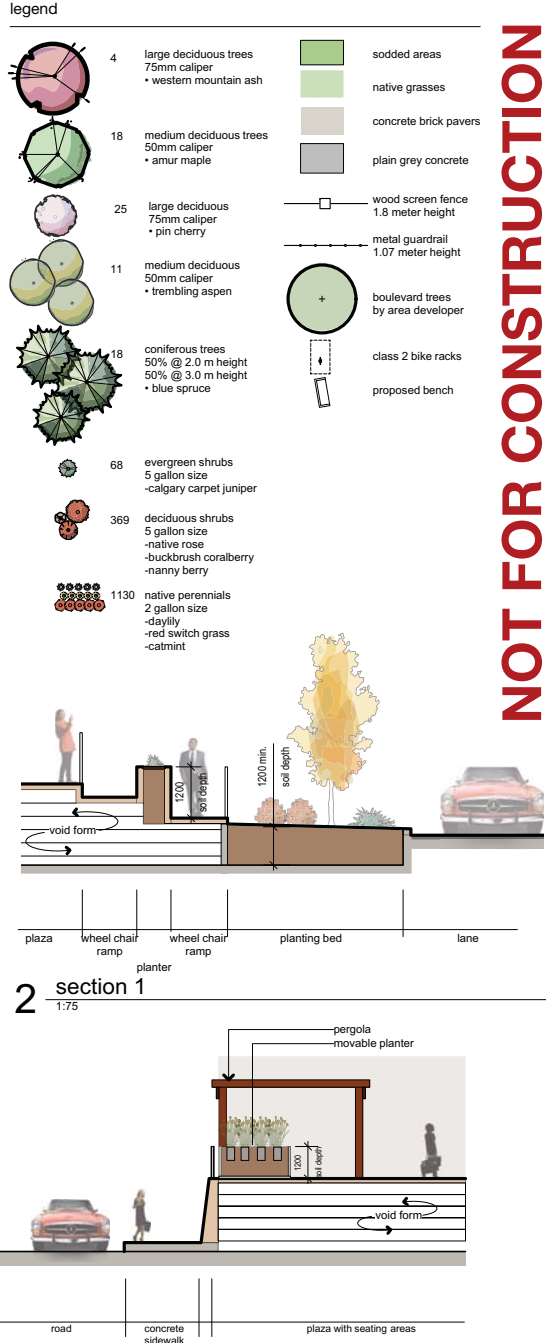
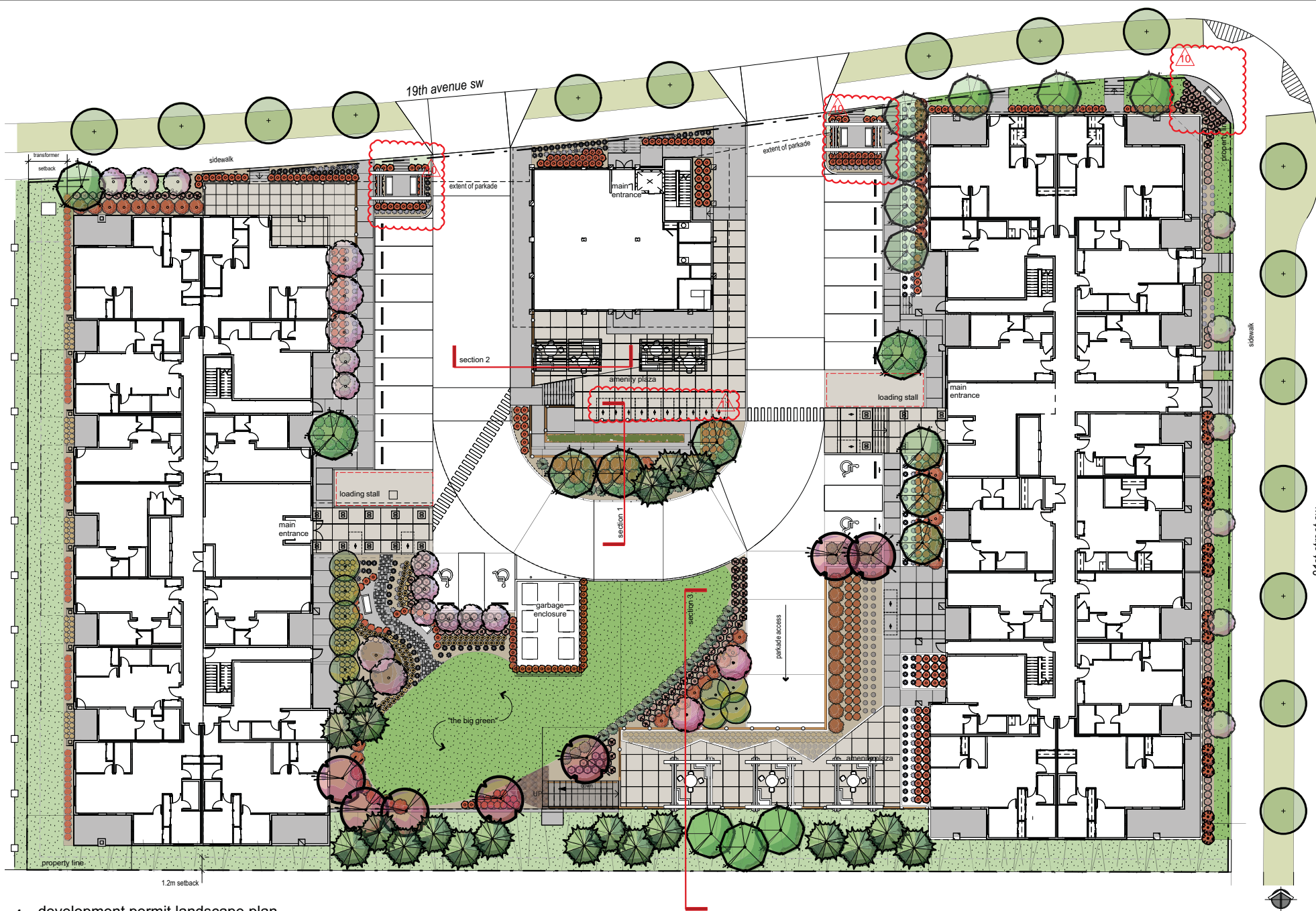
ASPEN ESTATES CONDO  
160 UNITS  
19 AVE & 81 ST SW

TITLE

SITE DETAILS

DESIGN BY: -	SCALE: AS SHOWN	JOB NUMBER: 20-048
DRAWN BY: -	REV NO.: -	DRAWING NUMBER: SP3
CHECKED BY: -		
DATE: 30-Mar-21		

FOR DEVELOPMENT PERMIT SUBMISSION ONLY.  
NOT FOR TENDER OR CONSTRUCTION.



- NOT FOR CONSTRUCTION  
for review and coordination only
- notes
- This drawing is copyright © 818 studio ltd., and shall not be reproduced, revised, transmitted and / or utilized by any third party outside of the Owner without written permission from 818 studio ltd.
  - Do not scale drawings.
  - Refer to Civil drawings for all grading information.
  - All walkways are plain concrete unless noted otherwise.
  - All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
  - All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.

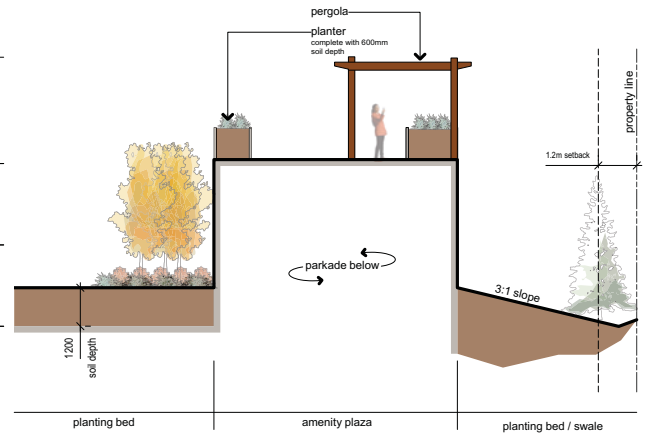
818 studio  
planning + design collaborative  
1812 14a street sw  
calgary, ab t2i 3w6  
p 403.244.8188  
e info@818studio.ca

number	revision	date	by	approved
11	bike rack updates	2021-07-07	hwl	rbg
10	seating updates	2021-07-07	hwl	rbg
9	planting updates	2021-03-19	hwl	rbg
8	enhanced landscaping	2021-03-19	hwl	rbg
7	additional site access	2020-11-20	hwl	rbg
6	parkade emergency exit	2020-11-20	hwl	rbg
5	barrier free access	2020-11-20	hwl	rbg
4	bike racks	2020-11-20	hwl	rbg
3	architectural base updates	2020-09-03	rbg	hwl
2	architectural base updates	2020-06-28	rbg	hwl
8	DP resubmission	2021-07-07		
7	DTR #001	2020-11-20		
5	development permit	2020-09-03		
4	development permit	2020-06-29		
3	coordination with CKA	2020-06-01		
2	design review	2020-05-28		
1	design review	2020-04-07		
issued for		date (y.m.d)		

1 development permit landscape plan  
1:200

land use bylaw landscape requirements			
City Of Calgary Zoning	M-C2		
landscape area	required	provided	
total parcel area	7,626.00 m <sup>2</sup>		
landscape area required for DC 99D2019 zoning (40% of parcel area)	3,050.40		
item 556 low water landscaping reduction -3%			
total landscape area required (34% of parcel area)	2,592.84 m <sup>2</sup>		
landscape provided - ground level:	3,507.00 m <sup>2</sup>		
landscape are provided at grade (percentage of parcel area):	46 %		
total landscape area provided	3507.00 m <sup>2</sup>		
total landscape area provided (percentage of site area):	46 %		
hard surfaced landscape area (maximum of 40% of provided landscape area)	1,402.80 m <sup>2</sup>	1,329.59 m <sup>2</sup>	
hard surfaced landscape area provided (percentage of landscape area provided)	38 %		
sod area as per item 556 (maximum of 30% of provided landscape area)	1,052.10 m <sup>2</sup>	635.01 m <sup>2</sup>	
		18 %	

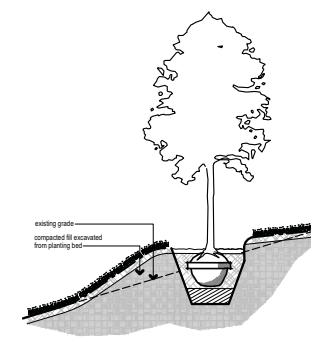
total number of trees		required	provided
(145 m <sup>2</sup> of provided landscape area as per option 556)		78	78
number of existing trees on site:		0	0
number of new trees required:		78	78
low water trees required as per item 556 (30% minimum of trees provided)		23	38
deciduous trees		required	provided
large trees (50% min 75mm cal)		29	29
medium trees (50% min 50mm cal)		29	29
total deciduous trees		58	58
coniferous trees		required	provided
large trees (50% 3.0m ht min)		10	10
medium trees (50% 2.0m ht min)		10	10
total coniferous trees		20	22
shrubs		required	provided
(245 m <sup>2</sup> of required landscape area as per item 556)			
(min 600mm height and spread)		156	369
low water shrubs required as per item 556 (30% minimum of shrubs provided)		111	174



4 section 3  
1:100



5 proposed site furnishings program



6 3:1 slope planting condition  
1:75

project  
springbank hill  
multifamily development

development permit  
landscape plan

drawn	rbg / hwl	approved	rbg
checked	rbg	project number	0486.3
date	2020-04-07	sheet	DPL1
scale	1:200		