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JEMM PROPERTIES - THE HIVE
RESIDENTIAL DEVELOPMENT

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MUNICIPAL ADDRESS:
219, 223, 225, 227, 229, 231 - 9A Street NW, Calgary, AB.

LEGAL ADDRESS:
Plan 24480, Block 1, Lots 28, 29, 30, 31, 32, 33, 34, and 35.

DRAWING LIST

SURVEY

- SITE SURVEY PLANS AND ELEVATIONS
- SITE SURVEY TREES AND UTILITIES

ARCHITECTURAL

- A000 COVER PAGE
- A001 CONTEXT PLAN and PROJECT INFORMATION
- A002 EXISTING SITE PHOTOS
- A003 DESIGN NARRATIVE
- A004 MATERIALS
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- A201 LEVEL 1 PLAN
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- A206 PARKADE RAMP, WASTE & RECYCLING, BIKE DETAILS
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- A301 EXTERIOR EAST ELEVATION
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- A303 EXTERIOR WEST ELEVATION
- A304 EXTERIOR SOUTH ELEVATION
- A401 NORTH TO SOUTH BUILDING SECTION
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CIVIL

- C195-01 SITE SERVICING PLAN
- C195-02 SITE GRADING PLAN

ELECTRICAL

- E1.01 ELECTRICAL SITE PLAN
- E1.02 PHOTOMETRIC & CALCULATION PLAN
- E1.03 LUMINAIRE SCHEDULE

LANDSCAPE

- LD-100 DEMO PLAN
- LS-100 SITE PLAN
- LS-101 ROOF PLAN
- LS-102 SITE WITH AREA CALCULATIONS
- LP-100 PLANTING PLAN
- LS-300 LANDSCAPE SECTIONS
- LS-500 LANDSCAPE DETAILS
- LS-501 LANDSCAPE DETAILS



ISSUED FOR CPC
APRIL 28, 2021



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Landscape Consultant
O2 Planning & Design

Client



Consultant

Seal

Drawing History

No.	Issued For	Date
04	ISSUED FOR CPC	2021.04.28
03	DTR 02 RESPONSE	2021.04.07
02	DTR 01 RESPONSE	2021.03.01
01	DEVELOPMENT PERMIT	2020.12.18

Project No.	Drawn/Checked
2020-009	RG / ML

Project
JEMM PROPERTIES
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Drawing Title
CONTEXT PLAN AND
PROJECT INFORMATION

Scale 1:1000

Drawing Number

A001



NORTH

PROJECT INFORMATION

MUNICIPAL ADDRESS:
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LEGAL ADDRESS:
Plan 24480, Block 1, Lots 28, 29, 30, 31, 32, 33, 34 and 35

LAND USE DESIGNATION:
DC/M-H2h27 Multi-Residential High Density Medium Rise.

SETBACKS:
NORTH SIDE - 0 metres, no requirements for setback area.
9A STREET (EAST) SIDE - 0 metres, no requirements for setback area.
An entrance to an individual dwelling unit located at grade must be setback a minimum 2.5 metres from a property line shared with a street.
LANE (WEST) SIDE - 0 metres, no requirements for setback area.
SOUTH SIDE - 0 metres, no requirements for setback area.

*AT-GRADE ACCESS HAS BEEN PROVIDED TO UNITS FACING 9A STREET, PROJECT WILL NOT BE CONSIDERED STREET ORIENTED

SITE DATA:

SITE AREA TOTAL = 2,176m²
MINIMUM SITE WIDTH = 30.46m

FAR ALLOWED : 5.0
MAXIMUM GFA ALLOWED: 10,880m²
MAXIMUM BUILDING HEIGHT ALLOWED: 27m (9 Storeys)
BUILDING HEIGHT PROPOSED: 26.93m

TOTAL UNITS = 140

	L1	L2	L3	L4	L5	L6	L7	L8	L9	TOTAL
STUDIO	0	1	1	1	1	1	1	1	0	7
1 BED	3	7	7	7	7	7	7	7	5	57
2 BED	6	9	9	9	9	9	9	9	7	76
TOTAL	9	17	17	17	17	17	17	17	12	140

FAR CALCULATIONS (SEE A208)

SITE AREA: 2175.90 SQ M
FAR ALLOWED: 5.00
AREA ALLOWED: 10,879.50

L1:	1281.108
L2:	1227.430
L3:	1227.430
L4:	1227.430
L5:	1227.430
L6:	1227.430
L7:	1227.430
L8:	1227.430
L9:	982.350
TOTAL AREA:	10,855.486

PROPOSED FAR = 10,855.486/2175.90

4.989

BUILDING CODE

NBC - ALBERTA EDITION 2019
GROUP C (RESIDENTIAL), PART 3, SPRINKLERED
HIGH BUILDING CLASSIFICATION

AMENITY SPACE AREAS (m²)

COMMON OUTDOOR AMENITY
PLAZA 145.6
ROOFTOP 186.6

COMMON INDOOR AMENITY
HIVE LOUNGE 90.8
FITNESS 55.9
DOG/BIKE WASH 7.2

TOTAL COMMON AMENITY
486.1

PRIVATE OUTDOOR AMENITY
1044.7

TOTAL AMENITY 1530.8

PARKING CALCULATIONS

REQUIRED PARKING

When Transportation Demand Measures are met,
Residential Parking 0.25 per residential unit = **35 STALLS**
Visitor Parking 0.08 per residential unit = **12 STALLS**

*Transportation Demand Measure include:
-provision of 1.0 bicycle parking stalls - class 1 per unit,
-a minimum of 50% of bicycle parking stalls - class1 provided in bicycle lockers,
-provision of a bicycle repair station,
-provision of a bicycle wash station.

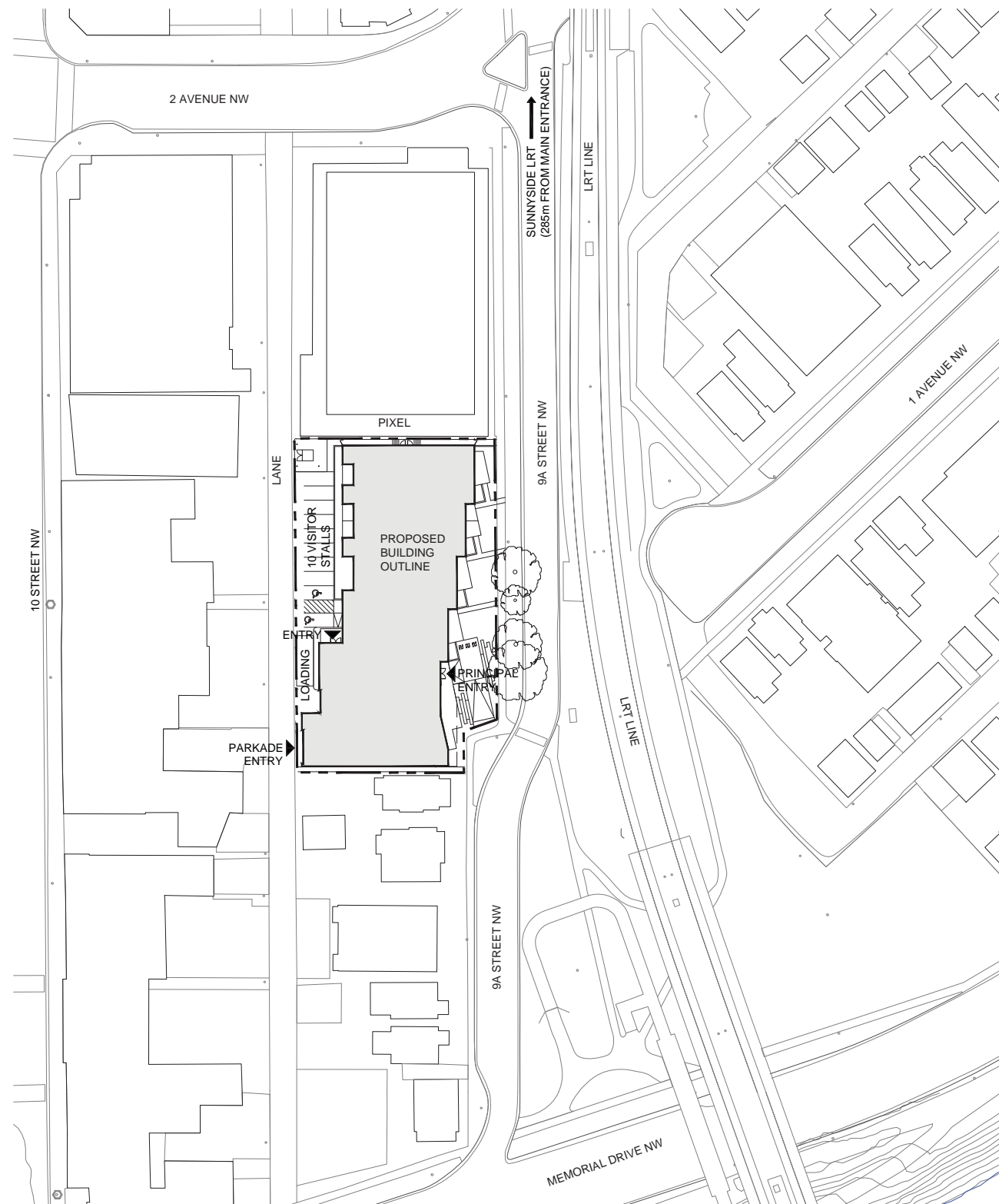
PROVIDED PARKING BREAKDOWN

RESIDENTIAL: 49 below grade stalls
VISITOR: 12 - 10 at-grade stalls; 2 below grade stalls

BICYCLE PARKING

	REQUIRED	PROVIDED
Class 1	1.0 PER UNIT = 140*	1.3 PER UNIT = 184
Class 2	0.1 PER UNIT = 14	0.1 PER UNIT = 14

184 CLASS ONE STALLS HAVE BEEN PROVIDED, 96 (MORE THAN 50%) ARE HORIZONTAL CONFIGURATION IN P1 BIKE STORAGE ROOM



1 CONTEXT PLAN
A001 Scale: 1:500



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Project
**JEMM PROPERTIES
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Drawing Title
EXISTING PHOTOS

Scale AS SHOWN

Drawing Number

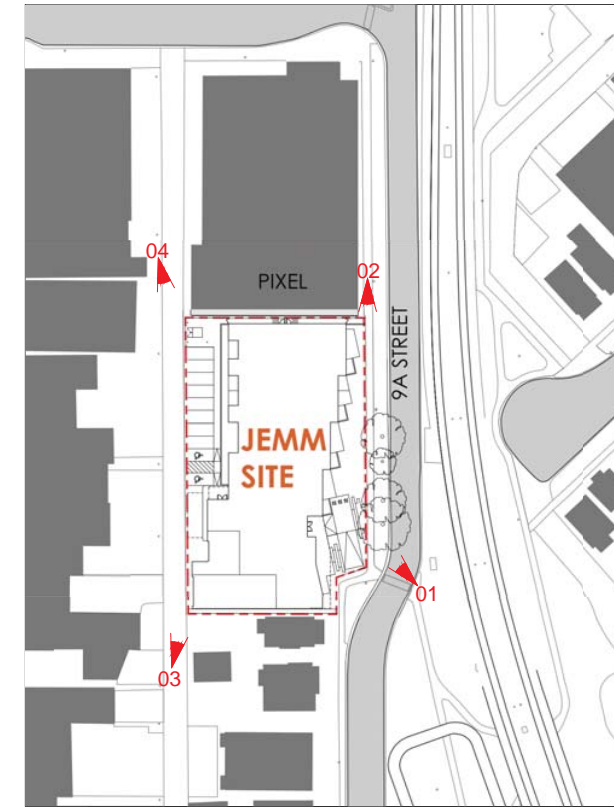
A002



01. 9A STREET LOOKING NORTH



02. 9A STREET LOOKING SOUTH



03. LANE LOOKING NORTH



04. LANE LOOKING SOUTH



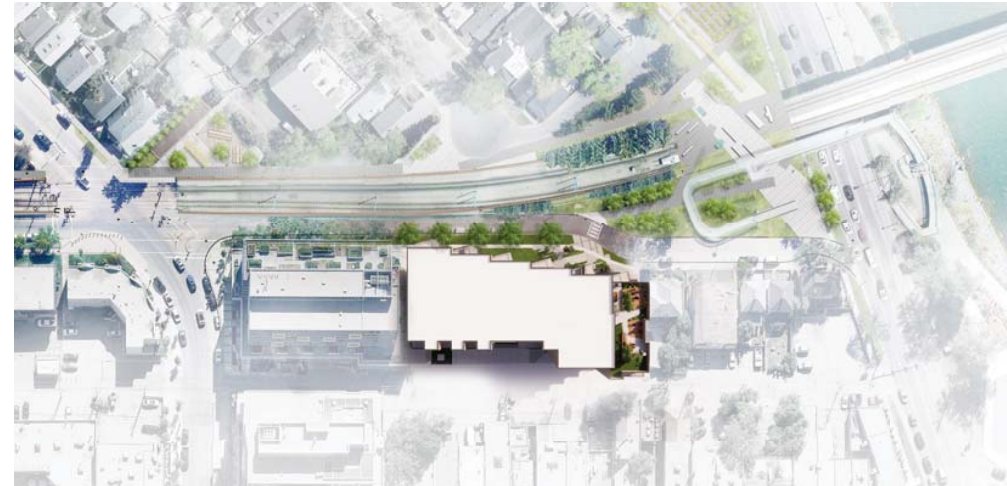
01. 9A STREET LOOKING NORTH



02. 9A STREET LOOKING SOUTH



03. 3D OVERALL VIEW



04. BOW TO BLUFF CONNECTION



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DESIGN NARRATIVE

Scale AS SHOWN
Drawing Number

A003

Creativity
The project uses a variety of forms, materials and details. In place of a rigid rectangular plan, the building steps back on the east face to provide river and downtown views. It is also articulated on the west face which looks on Kensington Road and Hillhurst. The proposed materials include brick at the base, fibre cement panels, and wood-like cladding (real wood cannot be used because of building code restrictions). These materials were inspired by the existing 9A street colourscape (which we like to call the Sunnyside Pantone).

Context
The development responds to landscape, street character, cultural and neighbourhood conditions. The development offers a plaza on the southeast corner which responds to 9A street and the future Bow-to-Bluff development. The landscaping along 9A street includes pollinator plants which ties in with the proposed landscaping for the Bow-to-Bluff. The primary entry of the building is also located at this node. The at-grade units along 9A have a direct entry through a thoughtful connection to the landscaping and to 9A street. The at-grade units to the west face the lane but are separated from the lane and surface parking by planting and a sidewalk. Most units are provided with generous private amenity space, and all units have access to the rooftop amenity space located to the south.

Animation
The design creates an engaging sensory experience through providing elements such as pollinator gardens on the east edge, terraced landscaping leading to the main entry, the plaza at the crossing along 9A street (that leads to the Bow-to-Bluff), the Hive Lounge which opens onto this plaza, opportunities for large-scale murals (as conceptualized in the elevations), and the articulated facade which has balconies that contribute to activating the street. The Hive Lounge is an internal use that greatly contributes to activating the street as it is intimately integrated into the plaza design and expressed in the architecture, projecting to frame the plaza. While most residential developments place the indoor amenity areas on upper floors, there was a conscious decision to place the amenity at-grade and marry it to the lobby and public realm so that it is activated by passive and active users. The fitness area is located at-grade along the lane which contributes to animating the laneway.

Accessibility
The project provides democratic, inviting access and movement options for all people. The plaza provides a mix of options for movement leading to the main entry, including a sloped walkway that connects to the crosswalk. This allows for people of all abilities and people using other forms of transportation including bicycles to effortlessly transition from the public to private realm. All indoor amenity areas are fully accessible, including the Hive Lounge, the fitness area, and the rooftop amenity which is also accessible to persons of all abilities through the elevator and internal ramp. Service spaces such as the waste & recycling are also easily accessible via a ramps from the entry level.

Diversity
A walkway along the south edge that allows people to connect to bike paths, a bike repair station, and a dog/bike wash, along with gear walls in most suites provide ease of use for the residents. Integration of the plaza on 9A street and the Hive Lounge allows for seasonal flexible use. The Hive Lounge and its central location within the lobby is envisioned to encourage neighbours to meet and provide an alternative space for residents.

Flexibility
In addition to 140 residential suites, the site has been laid out to maximize a range of uses by providing an at-grade plaza adjacent to The Hive Lounge, fitness studio, bike/dog wash, and bike maintenance area. The future of the hive lounge is flexible and could provide space for meetings, informal gatherings, quiet study, reading a book, small presentations etc.; the programming of the lounge is open and will evolve as the building's community does. There is a bicycle storage area on the parkade level, and an additional storage room for bicycles on each floor - the design of these spaces is meant to be flexible to support resident's needs and accommodate alternative functions if they do not wish to store a bicycle. The rooftop outdoor amenity space has a dog run and also several flexible spaces that can be used by individuals or groups for socializing, cooking/dining, and enjoying the views.

Safety
All public realm spaces have natural surveillance to them due to the amount and size of the articulated balconies on the east and west facades. On the 9A side of the development, the plaza at the crosswalk and the associated Hive Lounge provide active and passive uses and surveillance. Along the lane (west) side, the fitness studio, dog/bike wash and loading areas are grouped near the west entry and parking to ensure activity. The exit pathway along the north adjacent to Pixel has been gated to allow for one way exiting and ensure this space remains safe. Site lighting will be used in atmospheric ways where appropriate and for safety along walks and above doors and exits.

Human Scale
There are 4 mature trees that the development plans to retain on 9A Street. They, along with new trees in the boulevard, define the street edge and create enclosure as you approach the plaza and entry. The grading away from the sidewalk filled with pollinator plants further frames the pedestrian realm and opens up at the plaza where the paving pattern gives way to gentle steps and a sloped walk set into the landscape. The plaza and adjacent hive lounge are humanly scaled and integrate an entry canopy. The material selection in this area is intentional to create focus, providing opportunity for canopy lighting and entry signage.

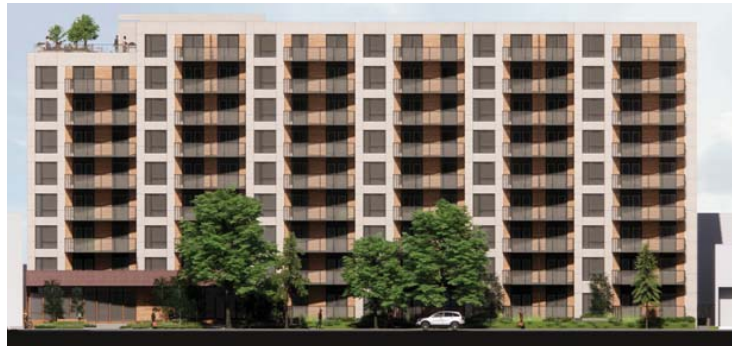
Integration
The project complements and continues adjacent uses from the north (Pixel). The development enhances and extends the Bow-to-Bluff project and complements the river/bike paths by encouraging alternate modes of transportation through in-suite 'gear walls' and a high class 1 bicycle parking ratio. The project provides canopies at main entries for comfortable use throughout the seasons, and the patios are mostly covered by the next one above, and because of the building's massing most balconies are also sheltered from cold north winds in the winter.

Connectivity
The primary entry of the building is on a desire line axis from the City pathways that are to be part of the Bow-to-Bluff project. Through design, we identified a desire line E/W from the pathway system through to the laneway for cyclists accessing Class 1 stalls and people who may want to use the dog wash; the development proposes a pathway connection and the opportunity for large scale artwork in this location.

Orientation
The approach along sidewalks and from the pathway across 9A street is a distinct experience from the feeling upon entering the plaza. The grade change creates a hierarchy in the circulation while allowing for smooth movement throughout. The design from the onset was focussed on the unique position this project occupies in the city and the community of Sunnyside - the city and river views in all directions informed the massing, balconies, and windows. The development's plaza, Hive Lounge, rooftop amenity, and opportunities for public art will create a memorable experience for residents and members of the community.

Sustainability
In addition to adhering to NECB 2015 and following best practices, the design promotes alternative modes of transportation and it is 250m from the Sunnyside LRT station. The development aims to attract people who want to walk, ride, and scoot; the parking ratio is 0.34:1.0, the Class 1 bike parking ratio is 1.3:1.0, and gear walls have been implemented in most suites. Lifestyle amenities like a bike repair station, dog/bike wash, fitness studio, electronic parcel delivery room, and rooftop amenity have been incorporated to ensure social sustainability in a dense development.

Durability
Material choices are durable. The public realm hardscape is concrete and will have visual interest by use of different textures and shades in the paving pattern. The exterior materials of the building are fibre cement, brick, and wood-look metal siding. These materials were selected for their durability, quality, and appearance.



01. EAST RENDERED ELEVATION



02. NORTH RENDERED ELEVATION



03. WEST RENDERED ELEVATION



04. SOUTH RENDERED ELEVATION

WOOD-LOOK SIDING

BRICK & WINDOW FRAMES

FIBRE CEMENT SIDING

05. SUNNYSIDE COLOURSCAPE

MATERIAL E1
FIBRE CEMENT PANEL
COLOUR: SAND
LOCATION: PRIMARY BUILDING MATERIAL

MATERIAL E2
METAL SIDING (WOOD TEXTURE)
COLOUR: CEDARWOOD
LOCATION: BALCONY INSET AND WINDOW ACCENTS.

MATERIAL E3
BRICK
COLOUR: DARK IRONSPOT
LOCATION: HIVE LOUNGE/ENTRY CANOPY

MATERIAL E4
COMPOSITE METAL PANEL
COLOUR: CHARCOAL
LOCATION: WINDOW INFILL, LOADING AND PARKADE

MATERIAL E5
LANDSCAPE BLOCK
COLOUR: RIVIERA
LOCATION: PLANTERS IN LANDSCAPE

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Drawing Title
MATERIALS

Scale AS SHOWN

Drawing Number

A004

Seal

Drawing History		
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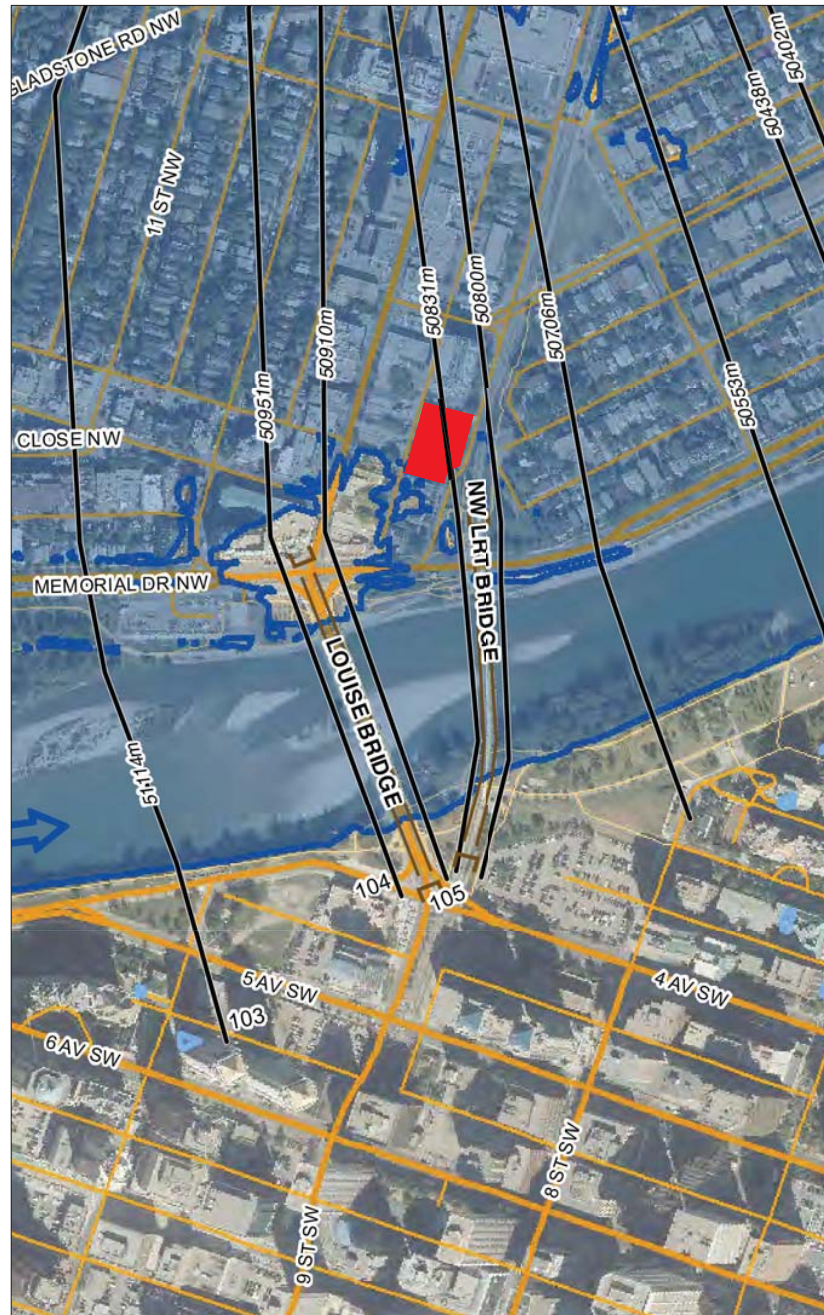
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Drawing Title
SITE PLAN

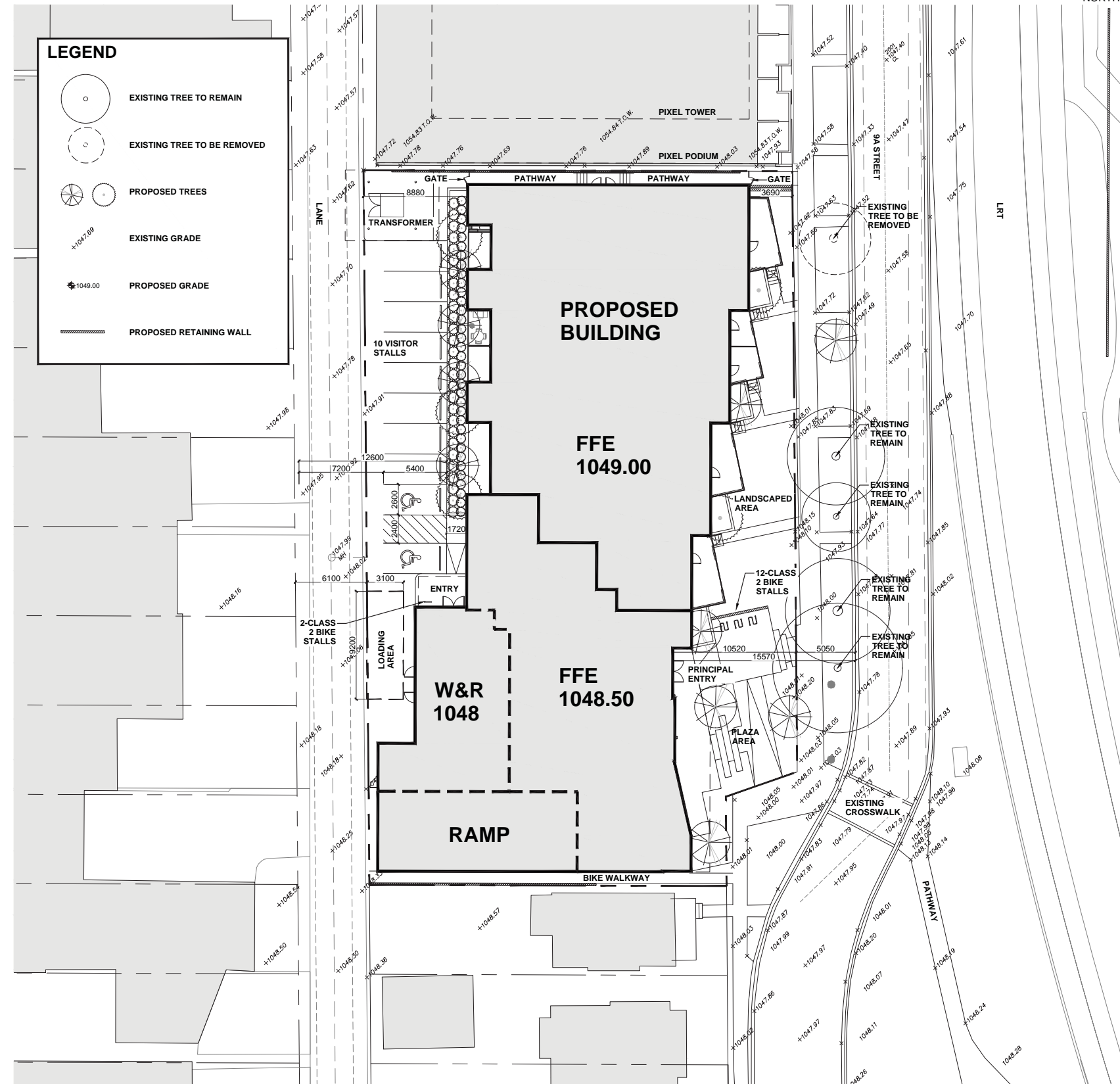
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Distance from the Bears Paw Dam (km)	Station in Flood Mapping	Station in HEC-RAS	Channel Thalweg (m)	100-Year Flood Event		
				Water Level (m)	Channel Velocity (m/s)	Froude Number
17.04	95	52456	1045.44	1051.57	3.81	0.56
17.13	95.1	52366	1045.40	1051.32	3.98	0.60
17.21	96	52279	1045.05	1051.22	3.68	0.54
17.34	97	52149	1045.20	1050.95	3.69	0.53
17.60	98	51893	1045.40	1050.50	3.62	0.54
17.75	99	51741	1045.02	1050.16	3.74	0.56
17.80	100	51688	1045.20	1049.99	3.77	0.56
17.97	101	51519	1044.66	1049.74	3.33	0.51
18.16	102	51328	1043.15	1049.44	3.15	0.46
18.38	103	51114	1043.80	1049.10	2.70	0.41
18.54	104	50951	1042.60	1048.85	2.75	0.40
18.58	105	50910	1042.60	1048.72	2.70	0.39
18.66	106	50831	1042.38	1048.44	3.24	0.46

*BASED ON 2015 FLOOD DATA, THE RECOMMENDED MAIN FLOOR ELEVATION IS 1048.44



2 FLOOD INUNDATION MAP
A101 NTS



1 PROPOSED SITE PLAN
A101 Scale: 1:200



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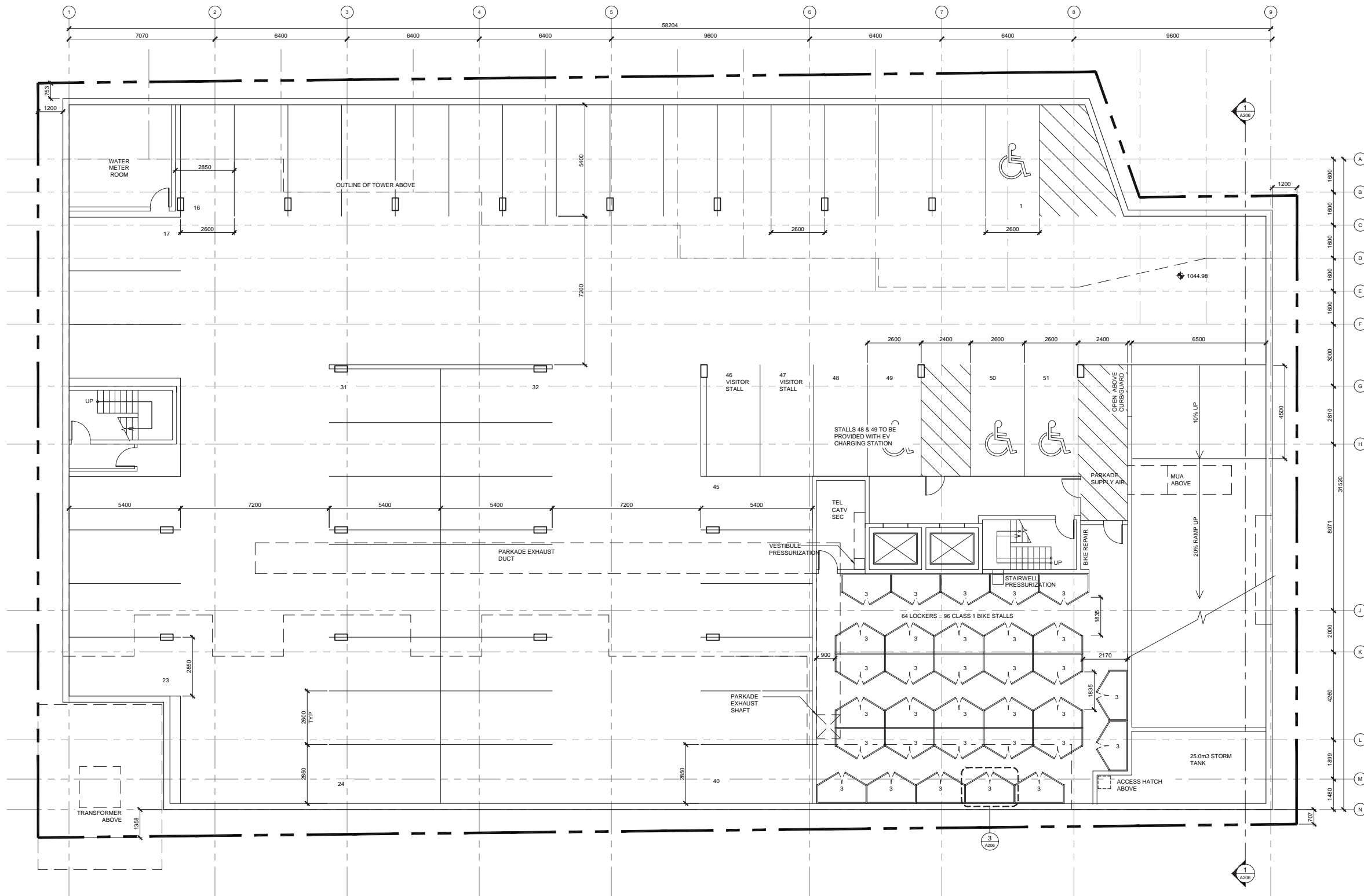
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Drawing Title
PARKADE PLAN

Scale 1:100
Drawing Number

A200



1 PARKADE LEVEL
A200 Scale: 1:100



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LEVEL 1 PLAN

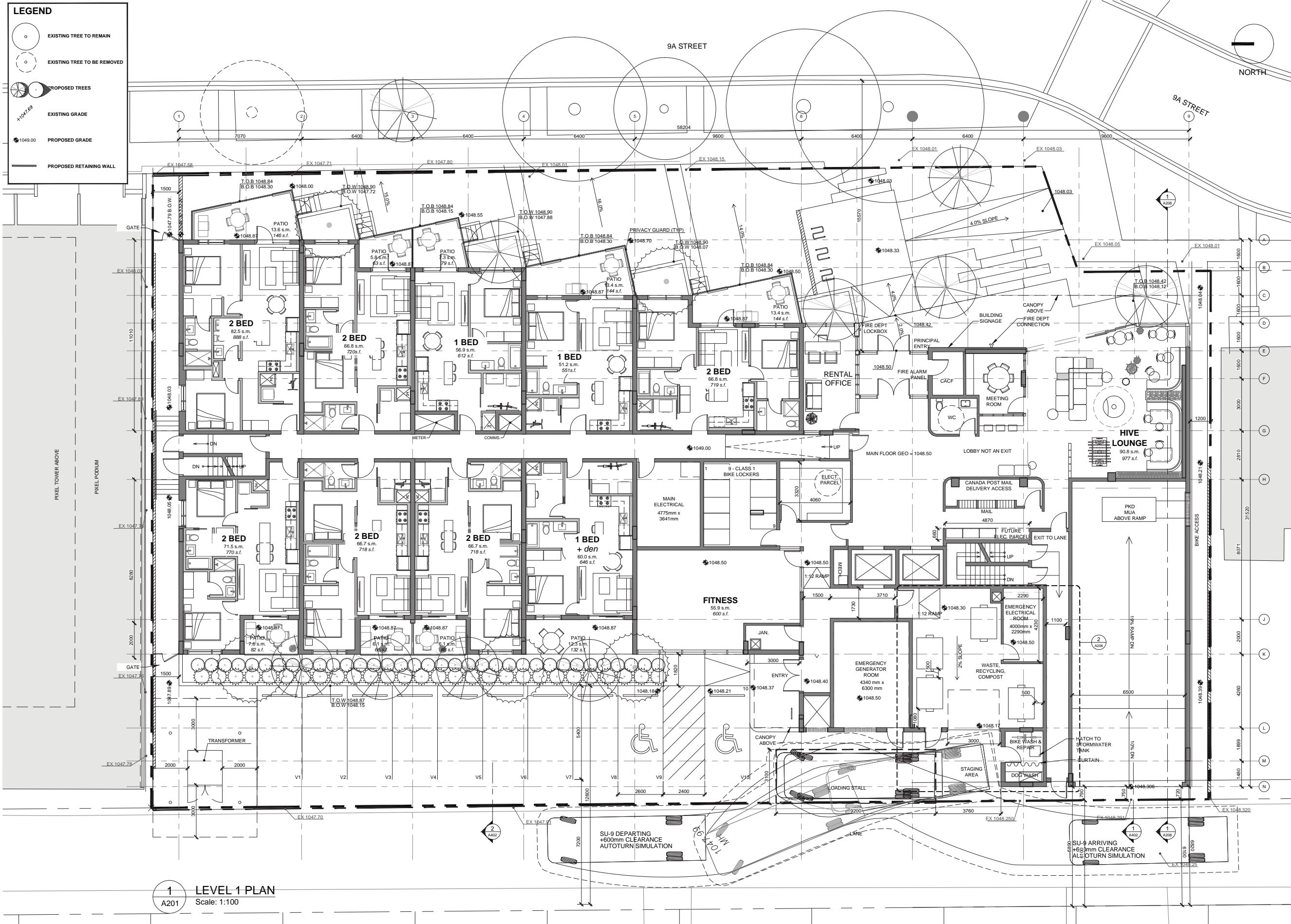
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Drawing Number

A201

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED TREES
- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED RETAINING WALL



1 LEVEL 1 PLAN
A201 Scale: 1:100



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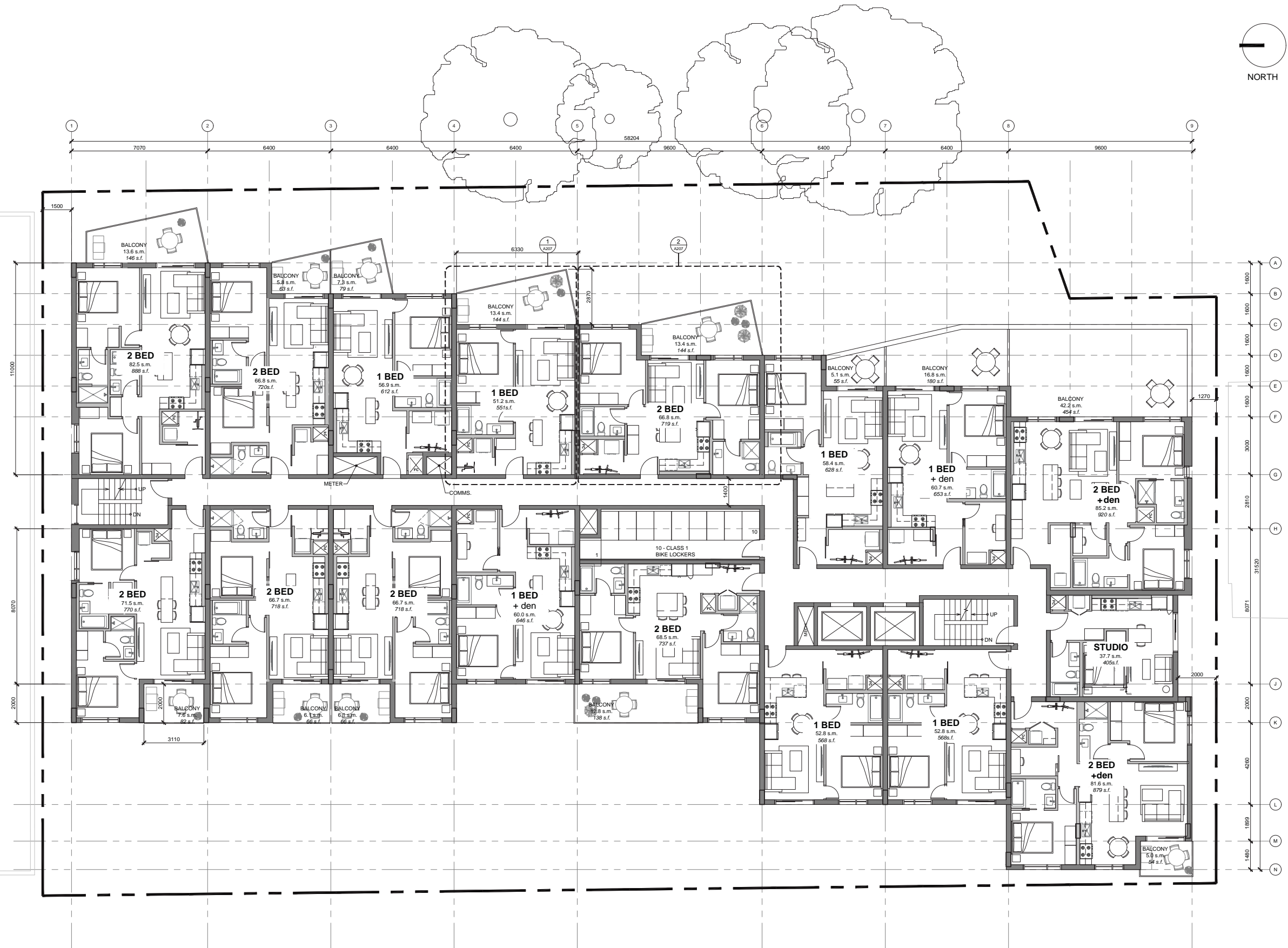
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LEVEL 2 PLAN

Scale 1:100
Drawing Number



1 LEVEL 2 PLAN
A202 Scale: 1:100

A202

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Drawing Title
LEVELS 3 TO 8 PLAN

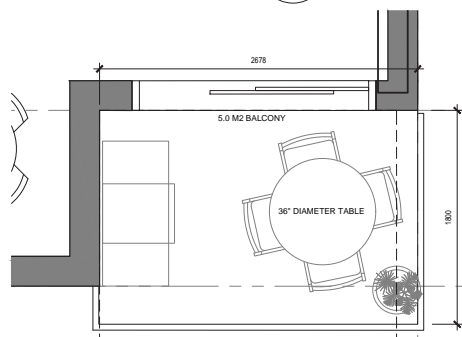
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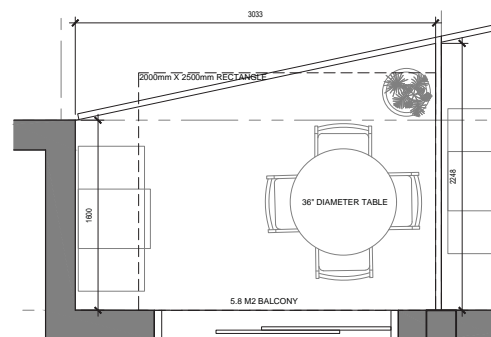
A203



1 LEVELS 3 TO 8 PLAN
A203 Scale: 1:100



2 FLOOR 2-8 SW BALCONY
A203 Scale: 1:30



3 2-9 FLOOR EAST SPLIT BALCONY
A203 Scale: 1:30





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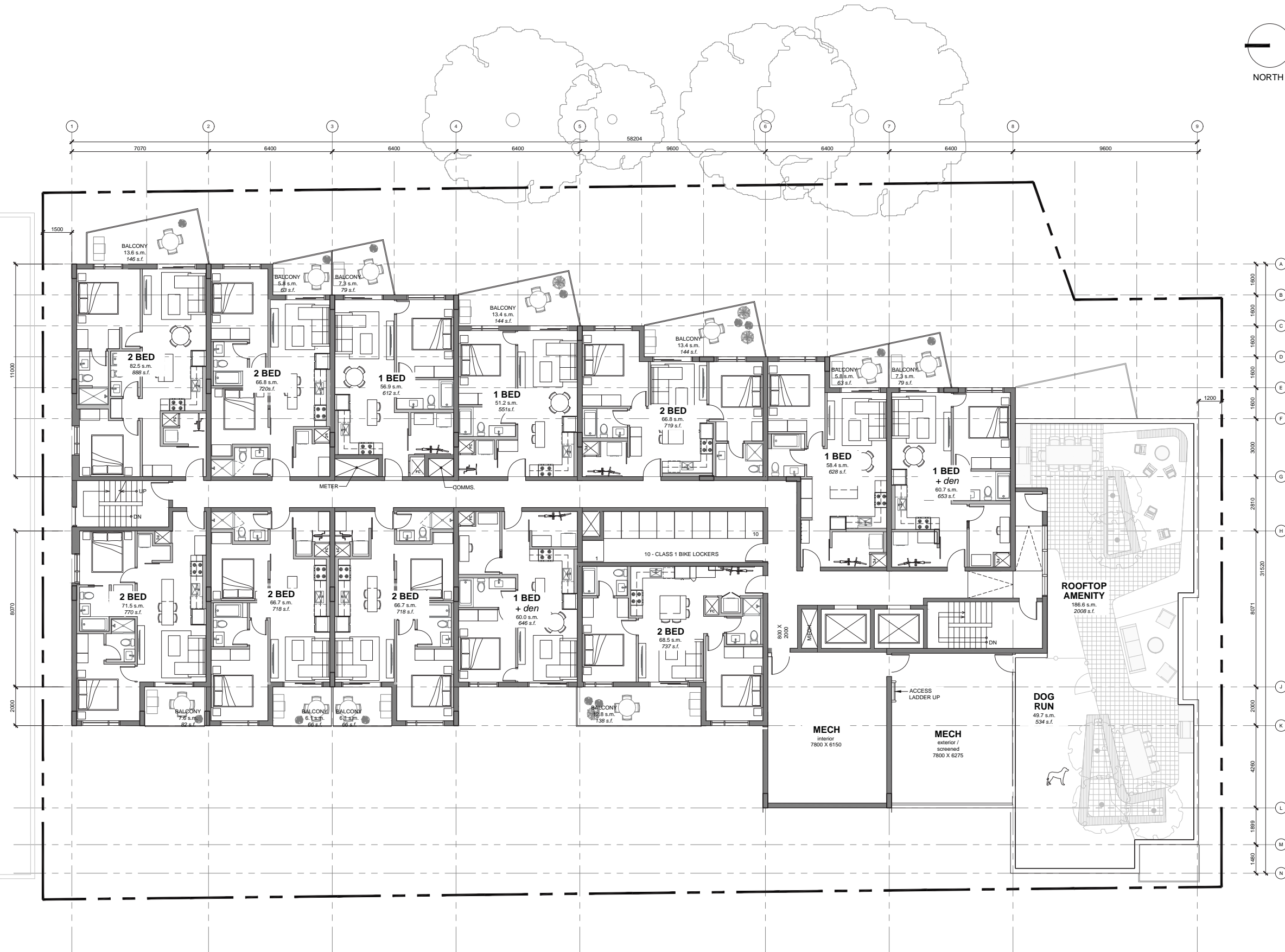
No.	Issued For	Date
04	ISSUED FOR CPC	2021.04.28
03	DTR 02 RESPONSE	2021.04.07
02	DTR 01 RESPONSE	2021.03.01
01	DEVELOPMENT PERMIT	2020.12.18

Project No.	Drawn/Checked
2020-009	RG / ML

Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
LEVEL 9 PLAN

Scale 1:100
Drawing Number



1 LEVEL 9 PLAN
A204 Scale: 1:100

A204



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EMBE
Electrical Consultant
Nemetz
Civil Consultant
Veritas
Landscape Consultant
O2 Planning & Design

Client



Consultant

Seal

Drawing History

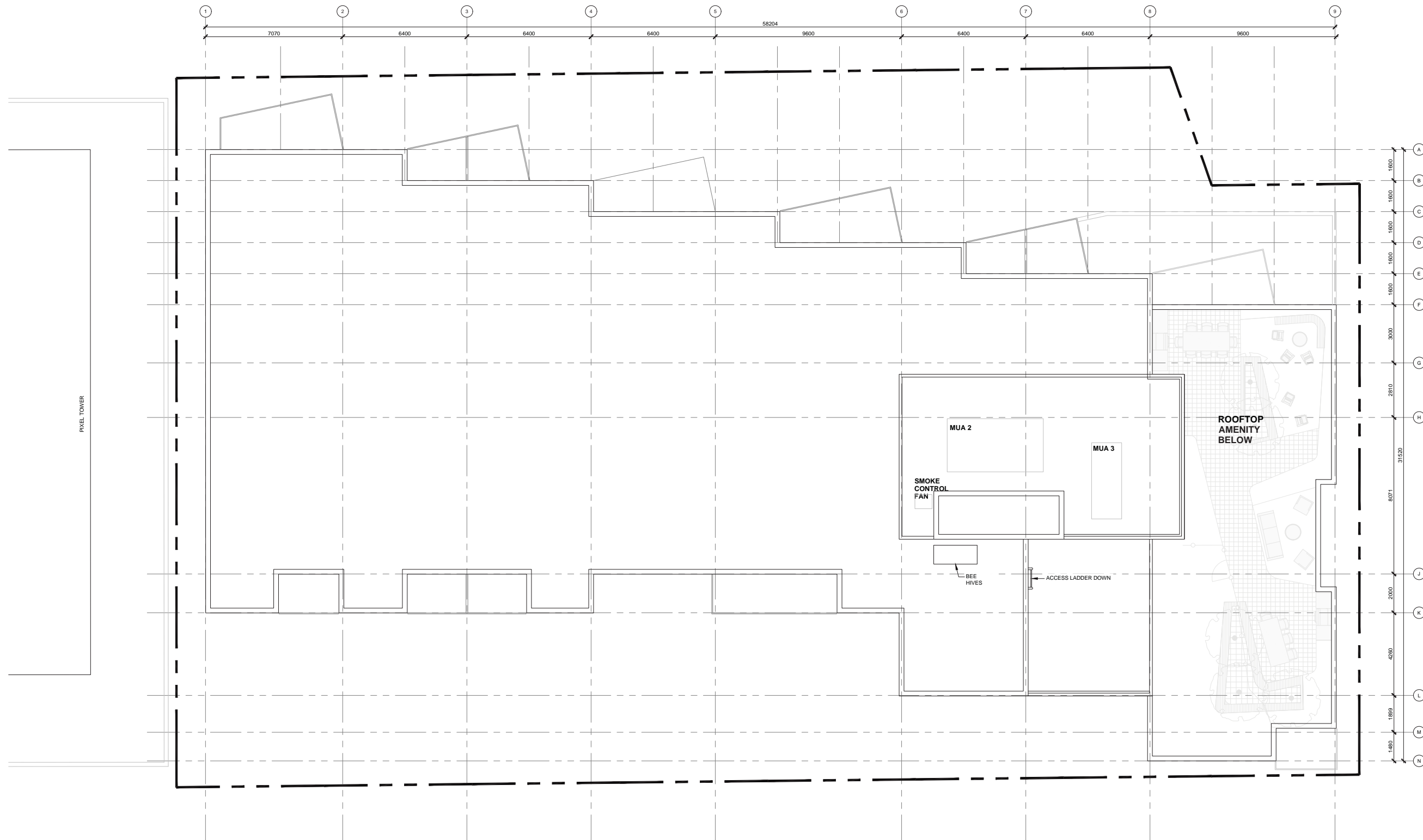
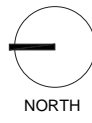
No.	Issued For	Date
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No.	Issued For	Date
Project No.	2020-009	2020-009
Drawn/Checked	RG / ML	

Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
ROOF PLAN

Scale 1:100
Drawing Number



1 ROOF PLAN
A205 Scale: 1:100

A205



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Seal

Drawing History

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2020-009	RG / ML

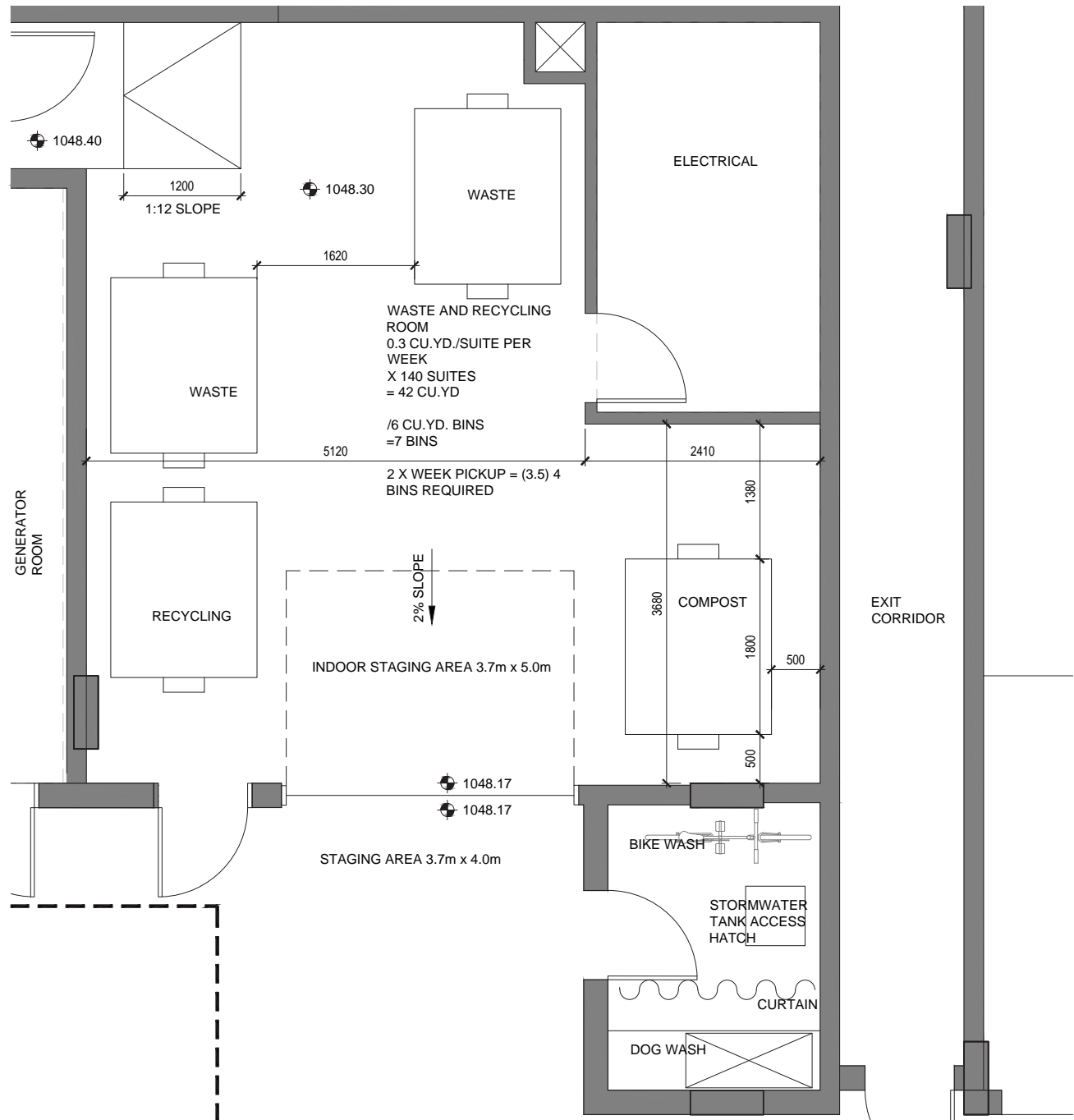
Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
RAMP SECTION
WASTE & RECYCLING
BIKE DETAILS

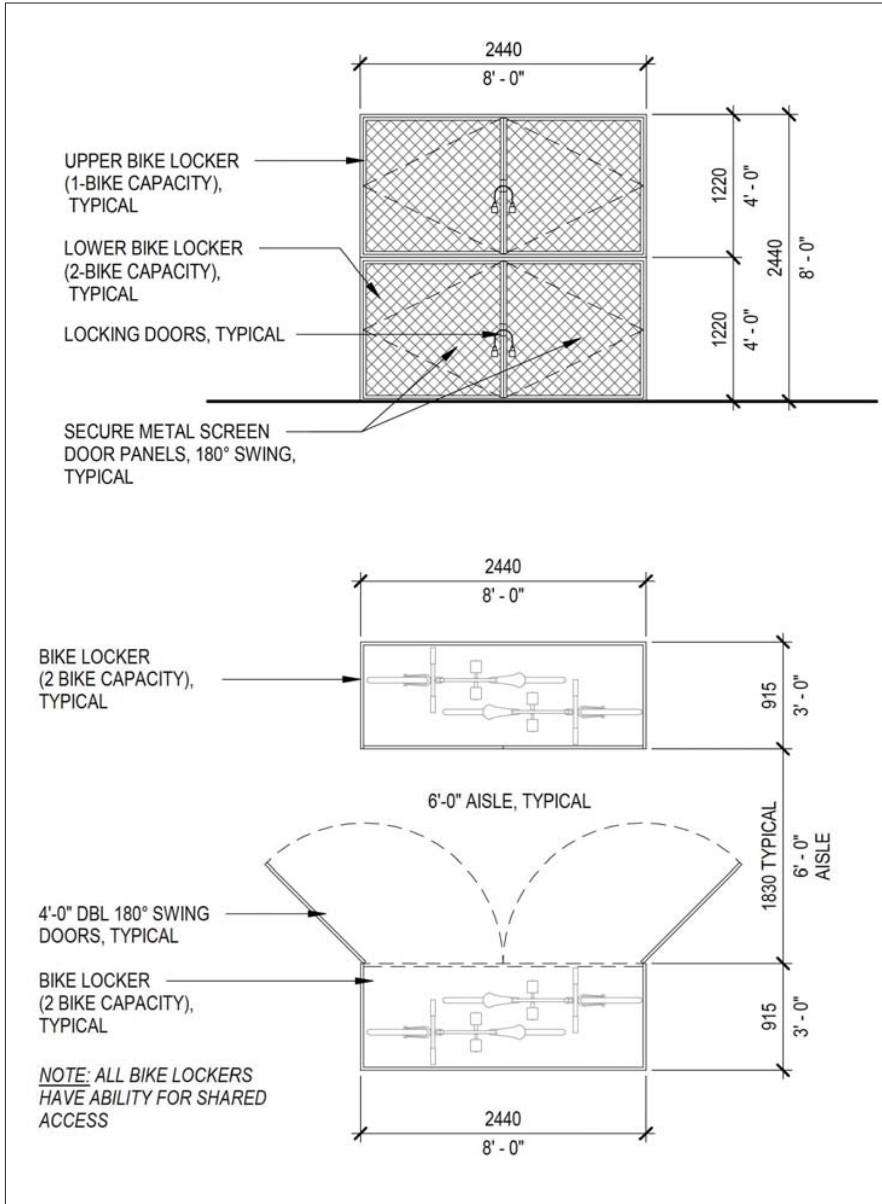
Scale AS SHOWN

Drawing Number

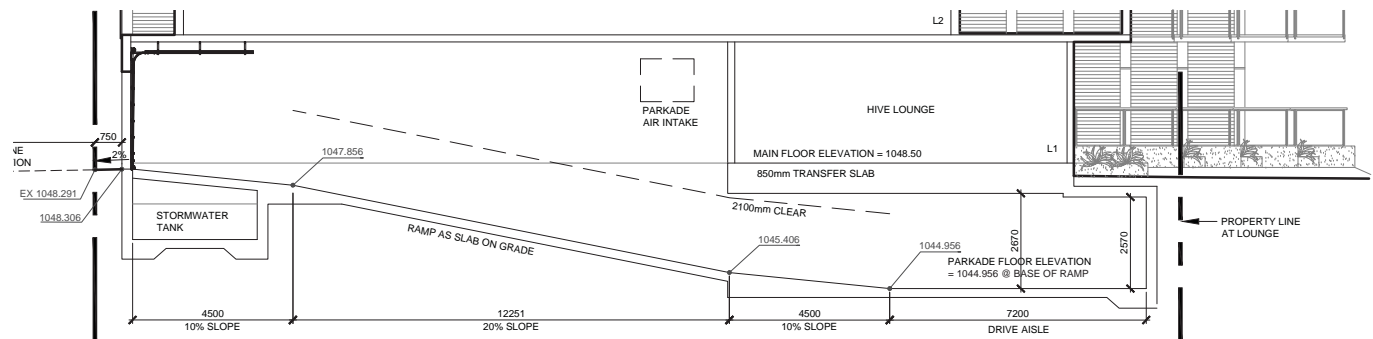
A206



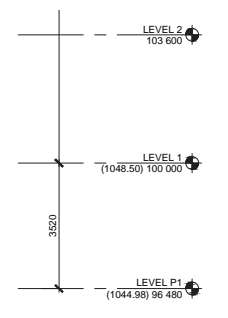
2 ENLARGED WASTE AND RECYCLING ROOM
A206 SCALE: 1:30



3 HORIZONTAL BIKE LOCKER DETAILS
A206 NTS



1 PARKADE RAMP SECTION
A206 SCALE: 1:100





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Seal

Drawing History

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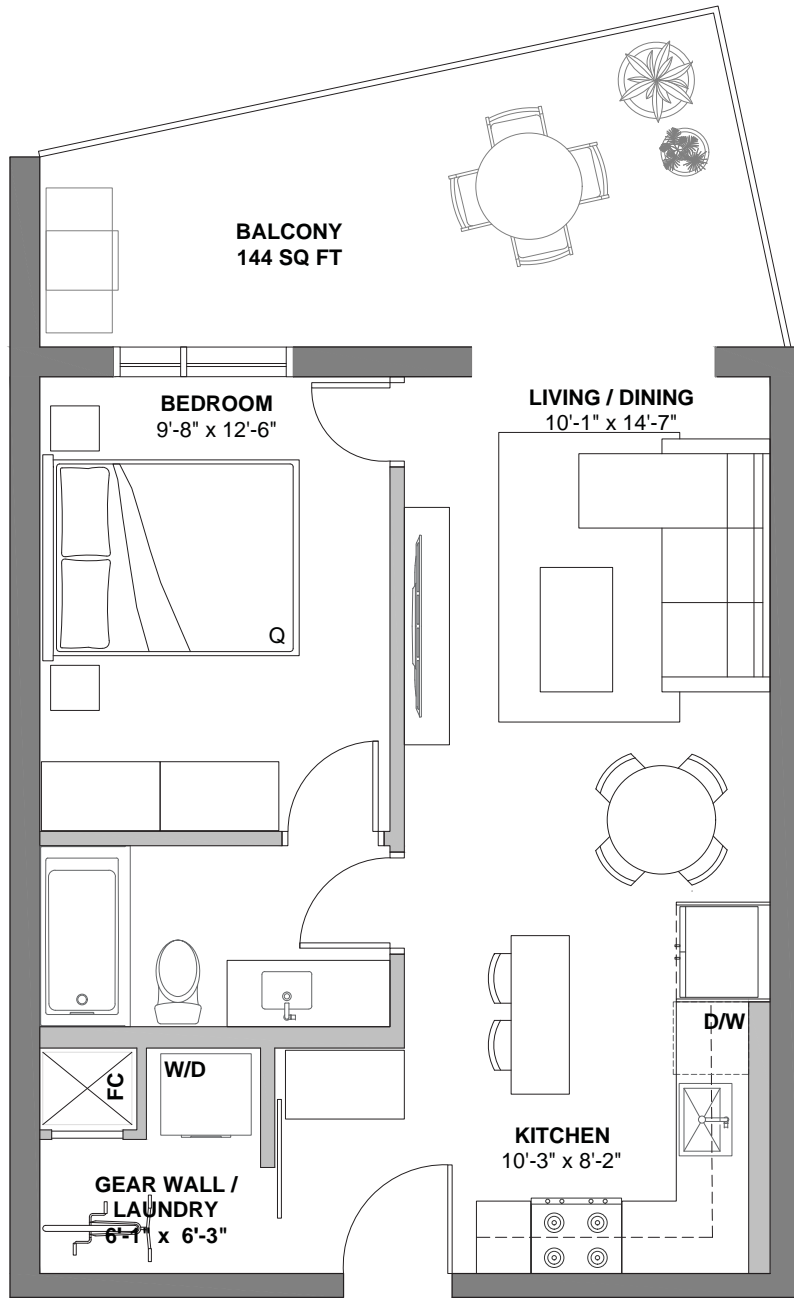
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2020-009	RG / ML

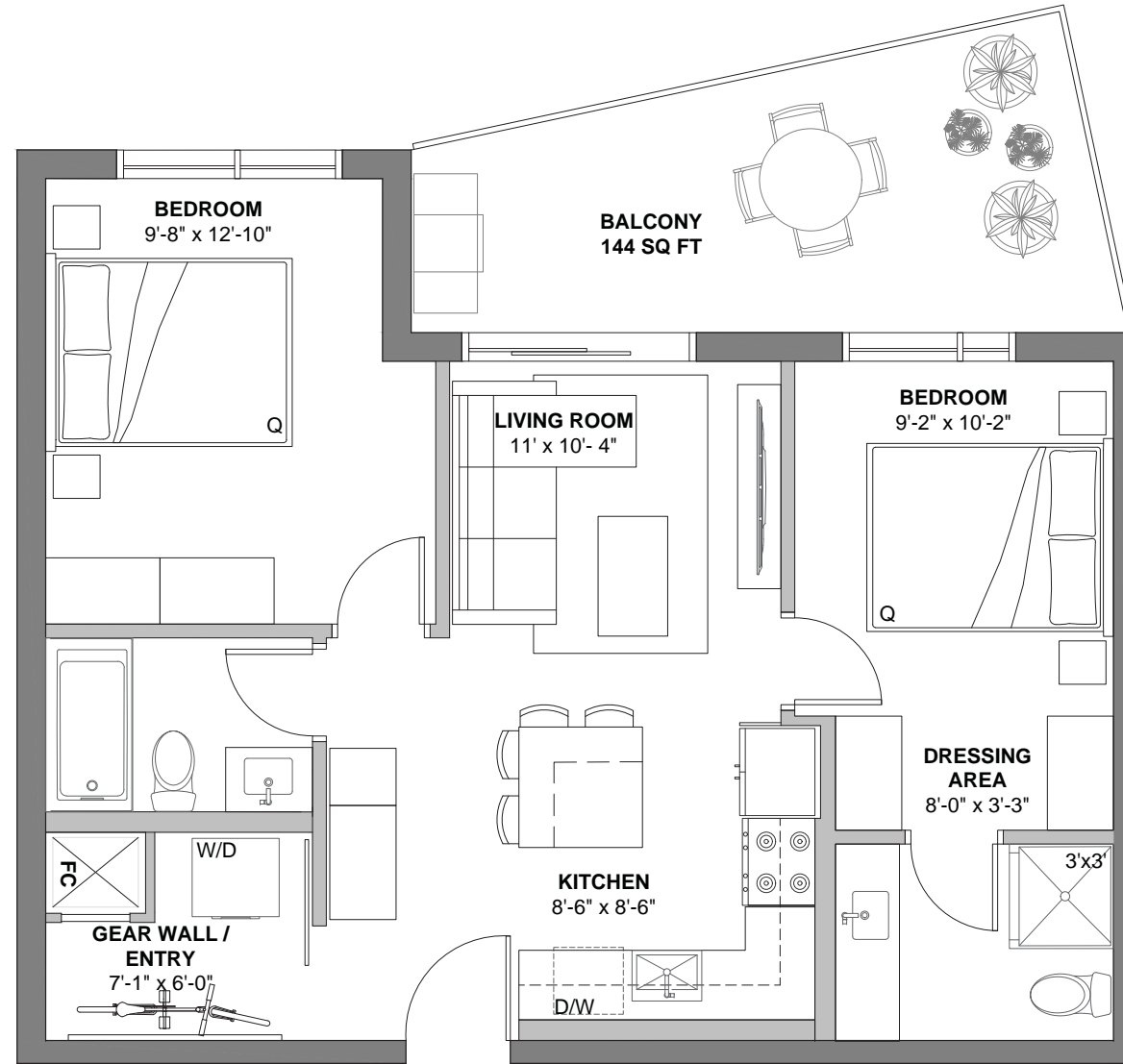
Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
SUITE EXAMPLES

Scale 1:30
Drawing Number



1 ENLARGED 1 BED SUITE EXAMPLE
A207 SCALE: 1:30



2 ENLARGED 2 BED SUITE EXAMPLE
A207 SCALE: 1:30



3 SUITE IMAGERY
A207 NTS



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Seal

Drawing History

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Project No.	Drawn/Checked
2020-009	RG / ML

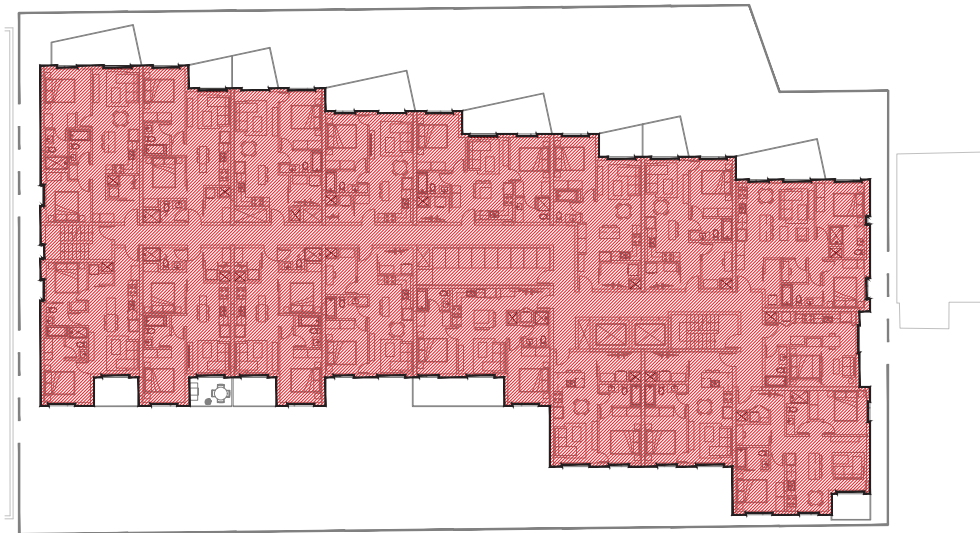
Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
FAR CALCULATIONS

Scale 1:100

Drawing Number

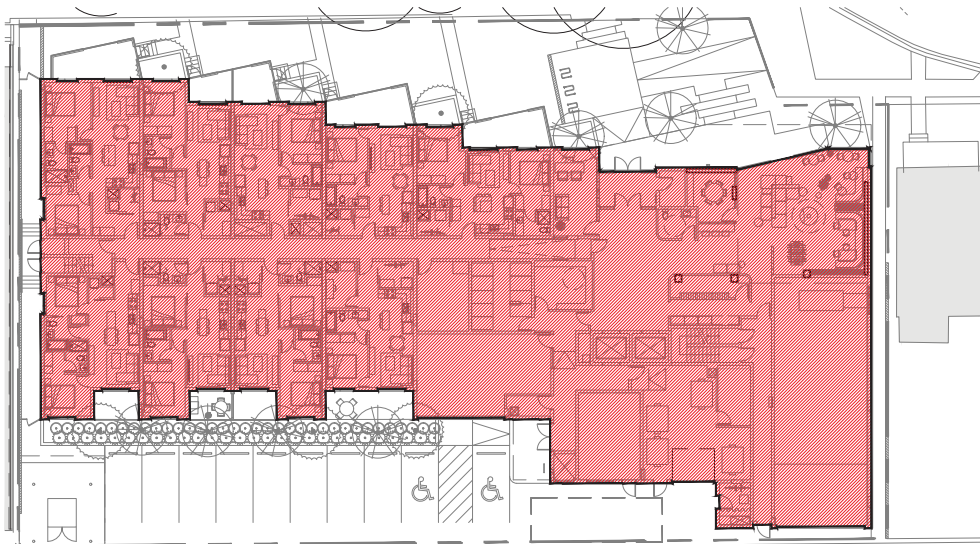
A208



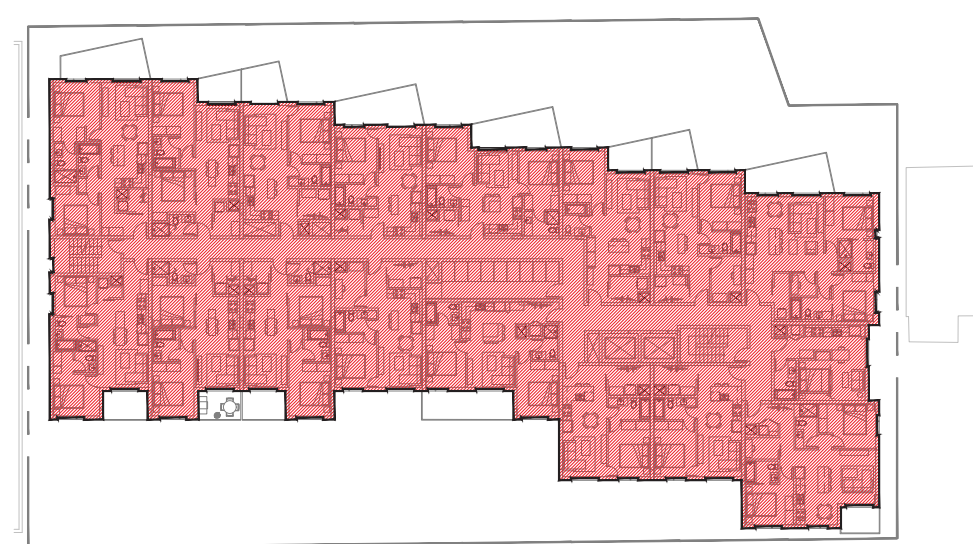
LEVEL 02
- TOTAL AREA: 1227.430 SQ M



LEVEL 09
- TOTAL AREA: 982.350 SQ M



LEVEL 01
- TOTAL AREA: 1281.108 SQ M



LEVEL 03-08
- AREA PER FLOOR: 1227.430
- TOTAL AREA: 7364.580 SQ M

FAR CALCULATIONS

SITE AREA: 2175.90 SQ M
FAR ALLOWED: 5.00
AREA ALLOWED: 10,879.50

L1: 1281.108
L2: 1227.430
L3: 1227.430
L4: 1227.430
L5: 1227.430
L6: 1227.430
L7: 1227.430
L8: 1227.430
L9: 982.350
TOTAL AREA: 10,855.468

PROPOSED FAR = 10,855.468/2175.90
4.989



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Seal

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2020-009	RG / ML

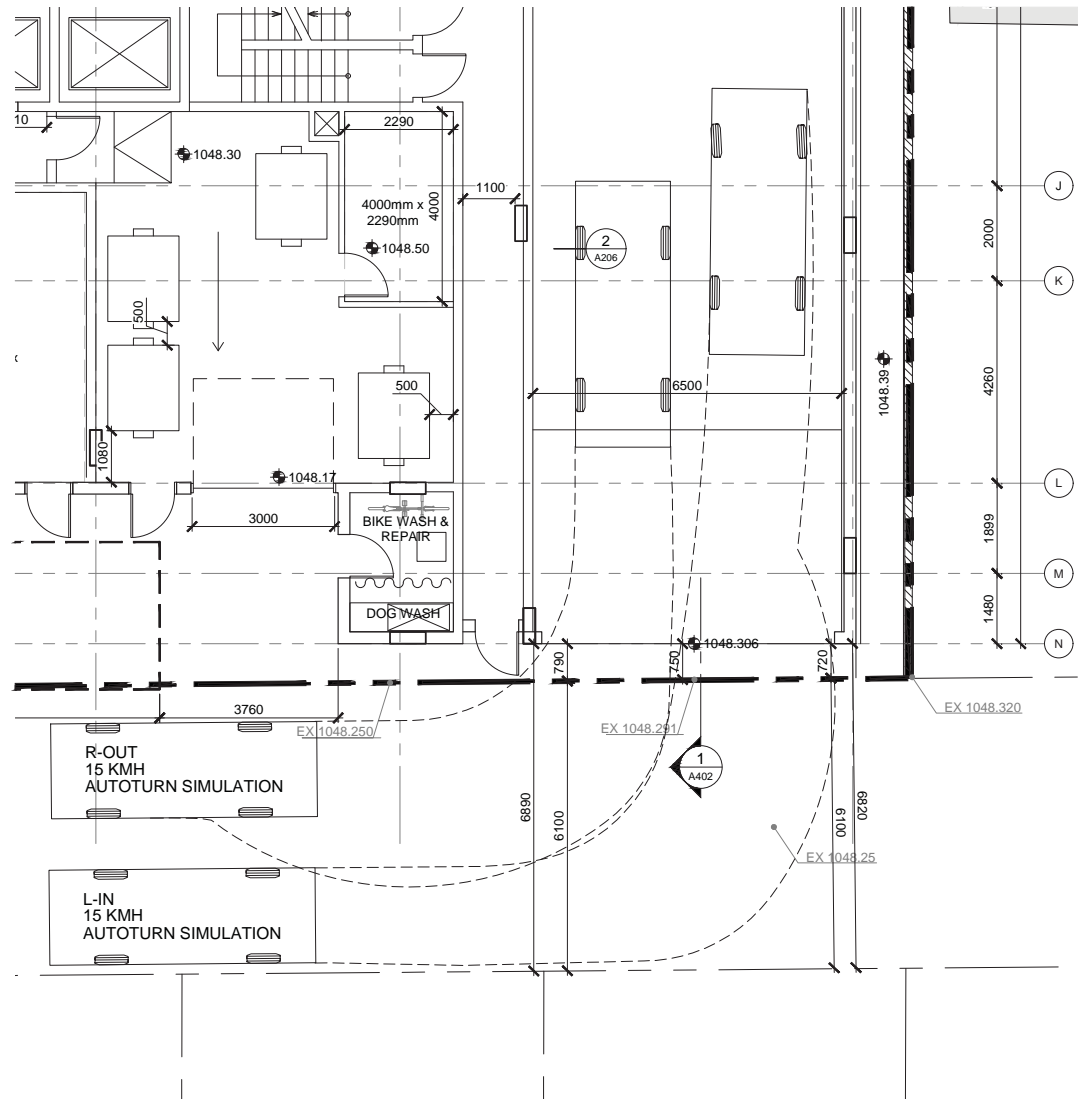
Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
PARKADE ENTRY

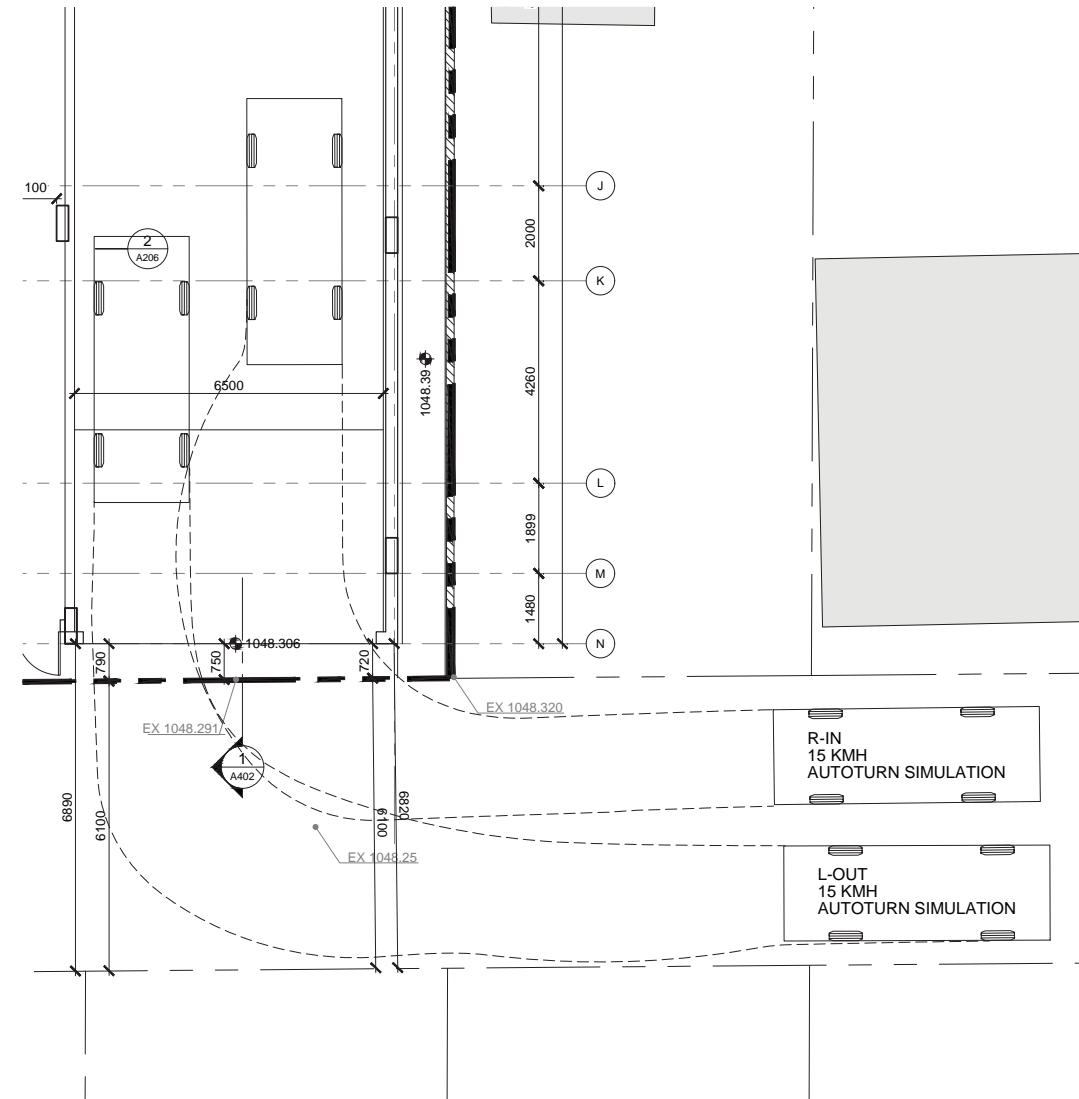
Scale 1:50

Drawing Number

A209

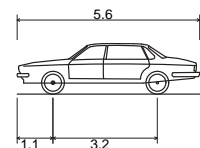


1 PASSENGER VEHICLE SIMULATIONS 1
Scale: 1:75
A209



2 PASSENGER VEHICLE SIMULATIONS 2
Scale: 1:75
A209

Passenger Car Used in Simulations



P - Passenger Car
Overall Length 5.600m
Overall Width 2.000m
Overall Body Height 1.555m
Min Body Ground Clearance 0.340m
Track Width 2.000m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 6.300m

Seal

Drawing History

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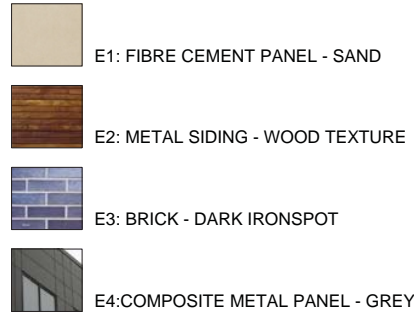
Project No.	Drawn/Checked
2020-009	RG / ML

Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
EAST ELEVATION

Scale 1:100
Drawing Number

A301



FINISH LEGEND	
E1	FIBRE CEMENT PANEL - SAND
E2	METAL SIDING - WOOD TEXTURE
E3	BRICK - DARK RED
E4	COMPOSITE METAL PANEL - GREY

3 MATERIALS LEGEND
A401 NTS



1 THE HIVE - EAST ELEVATION
A301 Scale: 1:100





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Consultant

Seal

Drawing History

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01	DEVELOPMENT PERMIT	2020.12.18

Project No.
2020-009

Drawn/Checked
RG / ML





Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
NORTH ELEVATION

Scale 1:100

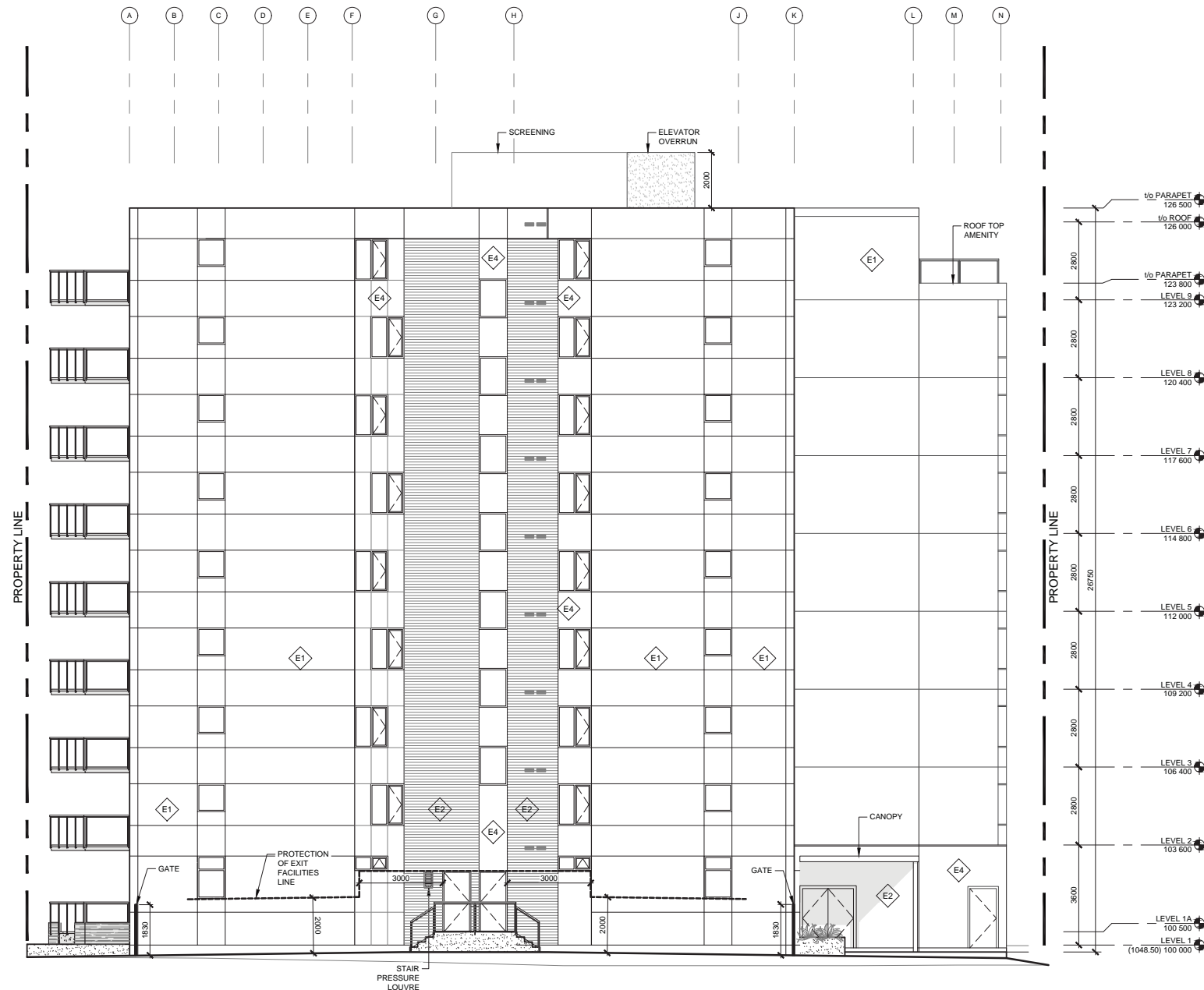
Drawing Number

A302

-  E1: FIBRE CEMENT PANEL - SAND
-  E2: METAL SIDING - WOOD TEXTURE
-  E3: BRICK - DARK IRONSPOT
-  E4: COMPOSITE METAL PANEL - GREY

FINISH LEGEND	
E1	FIBRE CEMENT PANEL - SAND
E2	METAL SIDING - WOOD TEXTURE
E3	BRICK - DARK RED
E4	COMPOSITE METAL PANEL - GREY

2 MATERIALS LEGEND
A302 NTS



1 THE HIVE - NORTH ELEVATION
Scale: 1:100





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Consultant

Seal

Drawing History

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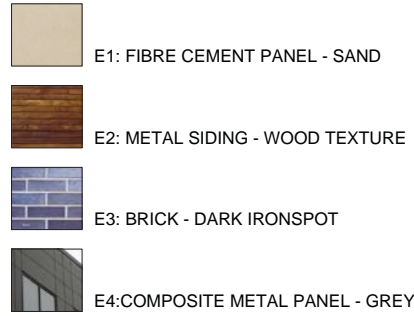
Project No.	Drawn/Checked
2020-009	RG / ML

Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
WEST ELEVATION

Scale 1:100
Drawing Number

A303



FINISH LEGEND	
E1	FIBRE CEMENT PANEL - SAND
E2	METAL SIDING - WOOD TEXTURE
E3	BRICK - DARK RED
E4	COMPOSITE METAL PANEL - GREY

2 MATERIALS LEGEND
A303 NTS



1048.07

1 THE HIVE - WEST ELEVATION
A303 Scale: 1:100





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Client

Seal

Drawing History

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Project No.	Drawn/Checked
2020-009	RG / ML





Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
SOUTH ELEVATION

Scale 1:100

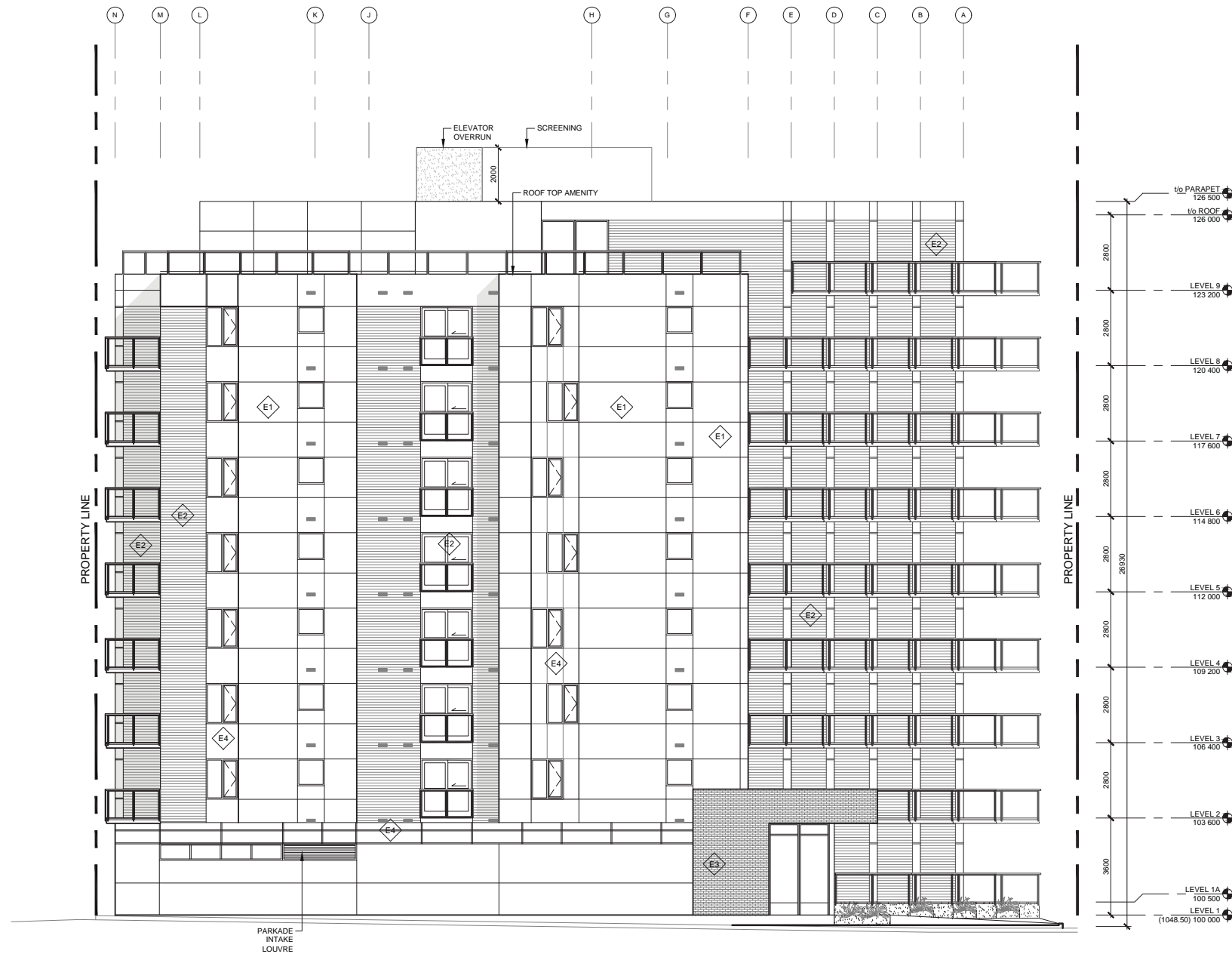
Drawing Number

A304

-  E1: FIBRE CEMENT PANEL - SAND
-  E2: METAL SIDING - WOOD TEXTURE
-  E3: BRICK - DARK IRON SPOT
-  E4: COMPOSITE METAL PANEL - GREY

FINISH LEGEND	
E1	FIBRE CEMENT PANEL - SAND
E2	METAL SIDING - WOOD TEXTURE
E3	BRICK - DARK RED
E4	COMPOSITE METAL PANEL - GREY

2 MATERIALS LEGEND
A304 NTS



1 THE HIVE - SOUTH ELEVATION
A304 Scale: 1:100





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Consultant

Seal

Drawing History

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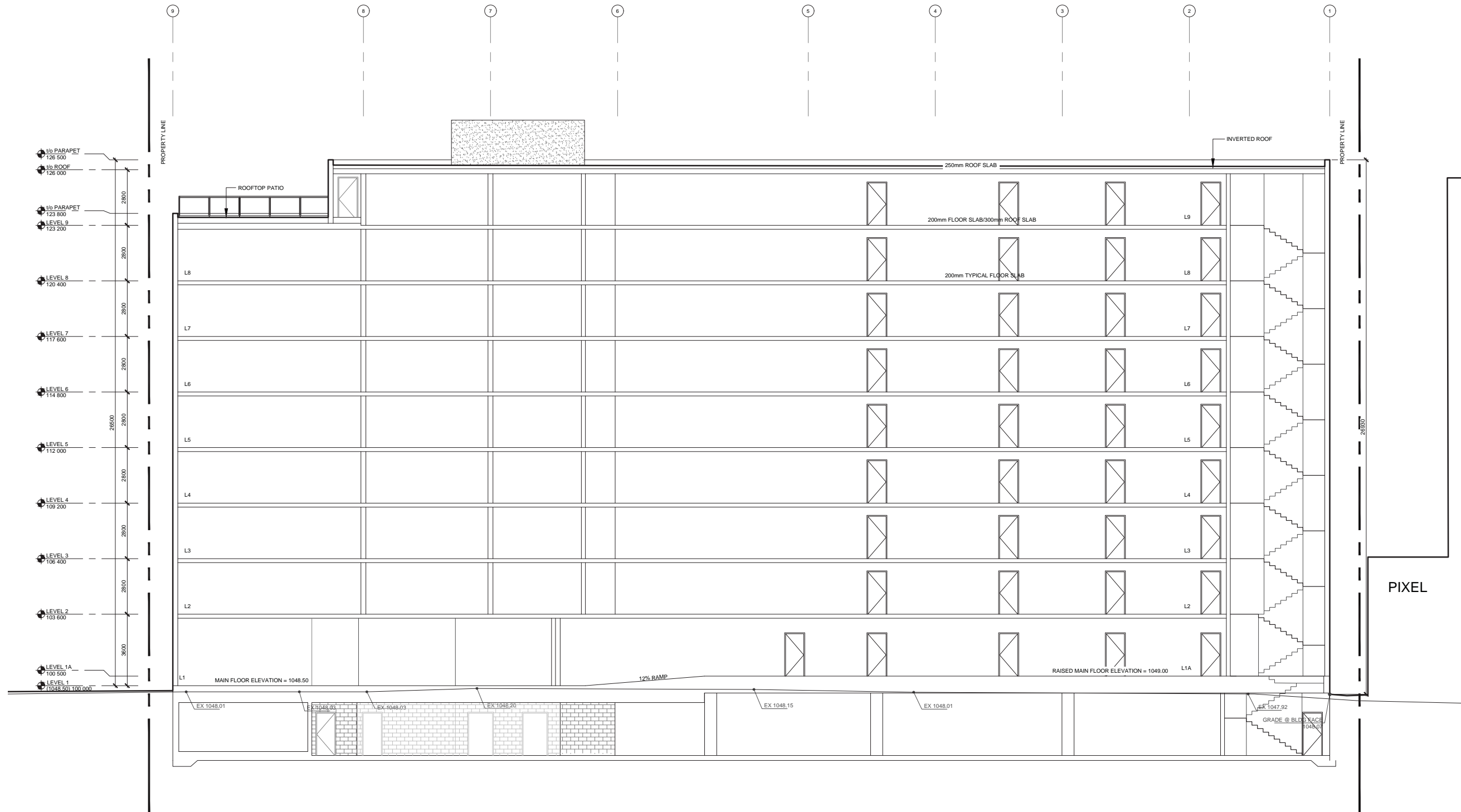
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Project No.	Drawn/Checked
2020-009	RG / ML

Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title
NORTH TO SOUTH
BUILDING SECTION

Scale 1:100
Drawing Number



1 NORTH TO SOUTH BUILDING SECTION
A401 Scale: 1:100



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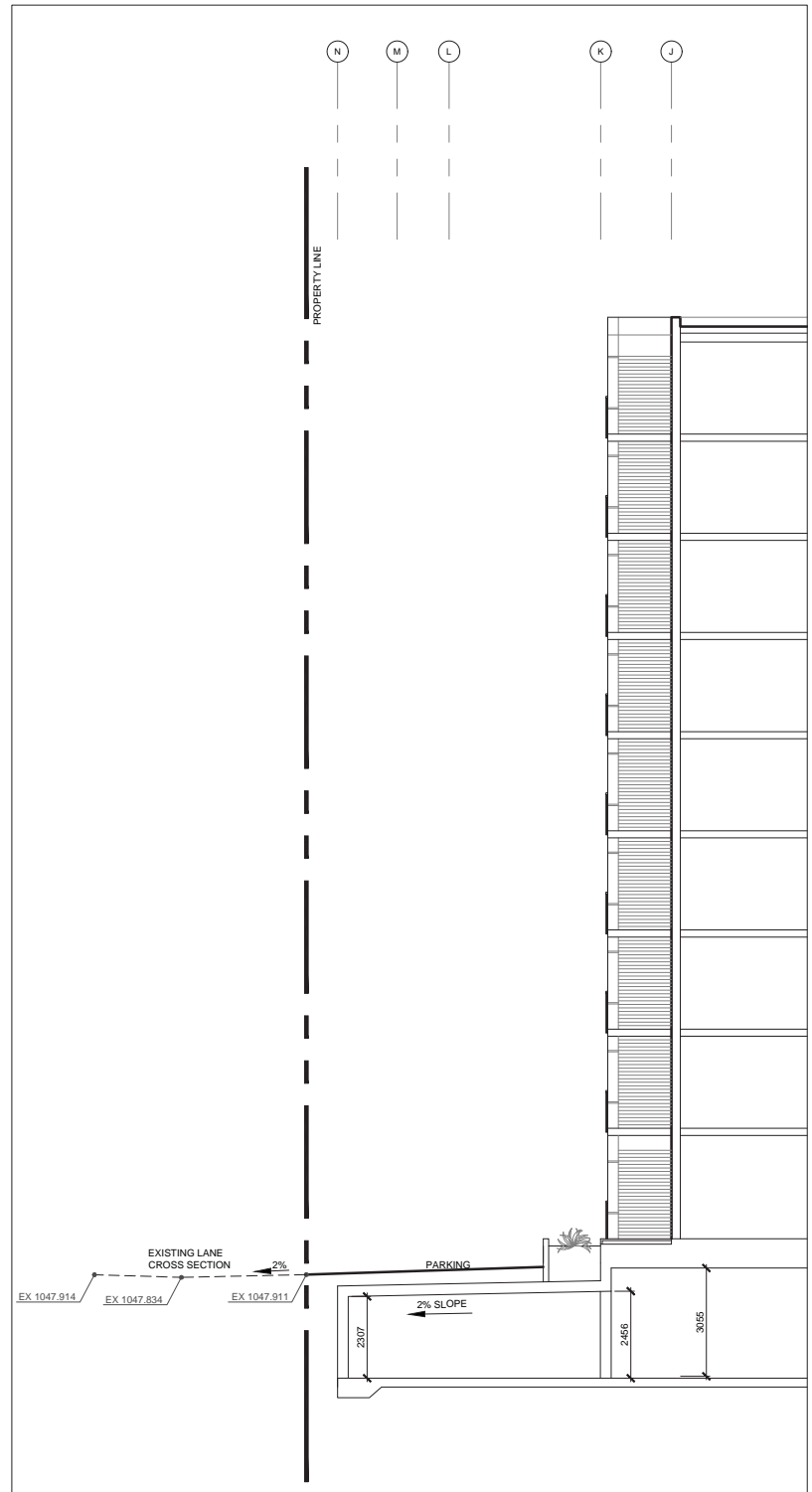
Client
Consultant
Seal

Drawing History		
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Project No. 2020-009 Drawn/Checked RG / ML		

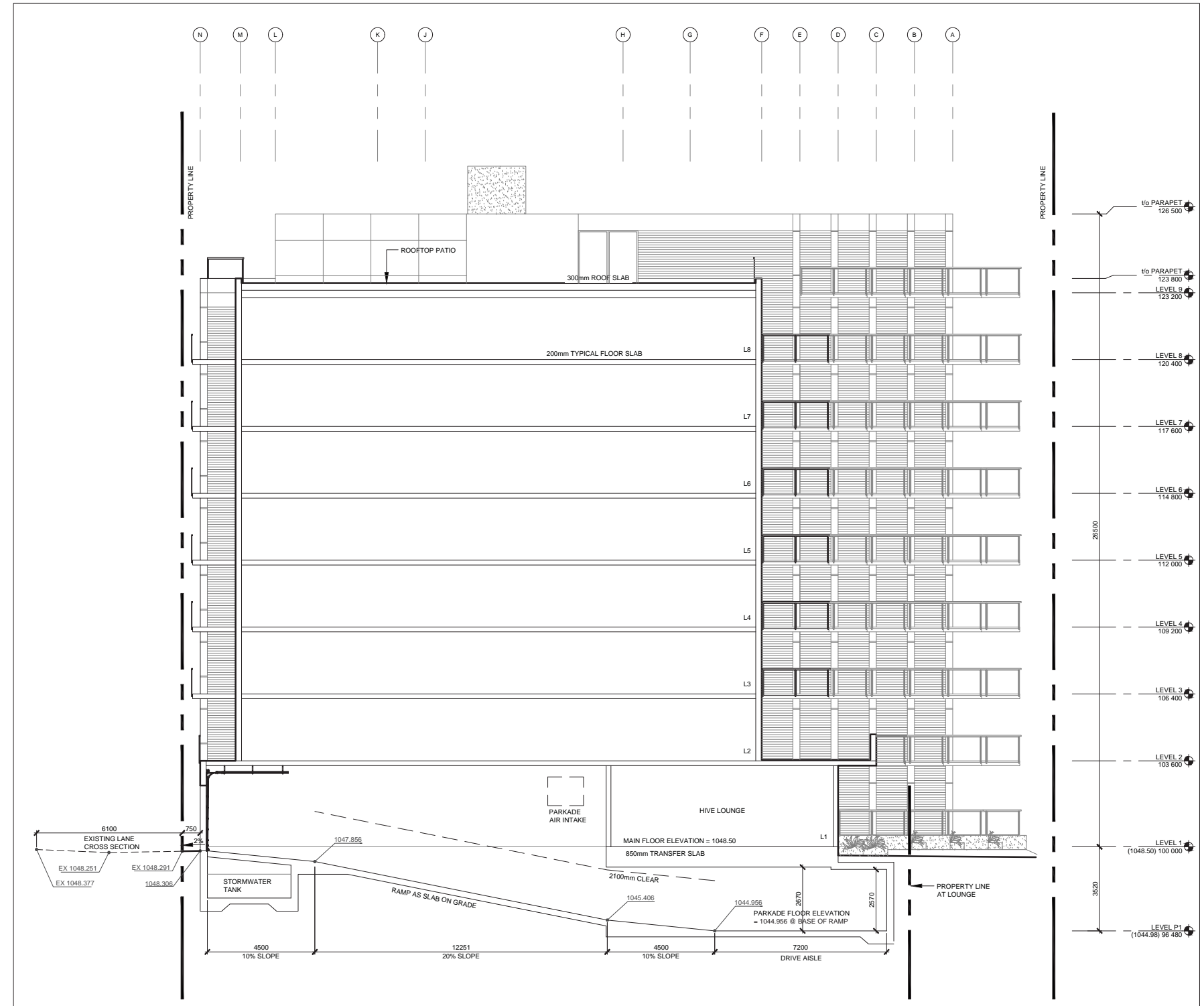
Project
JEMM PROPERTIES
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RESIDENTIAL
DEVELOPMENT

Drawing Title
BUILDING SECTION 1

Scale 1:100
Drawing Number



2 EAST / WEST BUILDING SECTION 2
A402 Scale: 1:100



1 EAST / WEST BUILDING SECTION 1
A402 Scale: 1:100



LEGEND

EXISTING UTILITIES	
	SANITARY SEWER
	STORM SEWER
	WATER LINE
	FENCE
	TYPE SA MANHOLE
	TYPE 1S MANHOLE
	CATCH BASIN
	HYDRANT
	WATER VALVE
	STREET SIGN
	STREET LIGHT
	U/G ELECTRICAL
	GAS
PROPOSED UTILITIES	
	SANITARY SEWER
	STORM SEWER
	WATER LINE
	FENCE
	TYPE SA MANHOLE
	CATCHBASIN/MANHOLE
	TYPE 1S MANHOLE
	CATCH BASIN
	HYDRANT
	WATER VALVE
	WATER METER LOCATION
	CONCRETE SWALE
	ELECTRICAL METER LOCATION
	GAS METER LOCATION

REVISIONS

NO.	SYMBOL	DESCRIPTION	BY	APPD.
1	-	-	-	-
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE (YYYYMMDD)
1	FOR DP	20/12/16
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT



PROJECT

THE HIVE RESIDENTIAL DEVELOPMENT

LOT: 28-34 BLK: 1 PLAN: 24480
 DPE: 2020-8227 DSSP: 0000-0000
 ADDRESS: 9A STREET NW CALGARY AB
 LEGAL DESCRIPTION: S.1/2-21-24-1-5

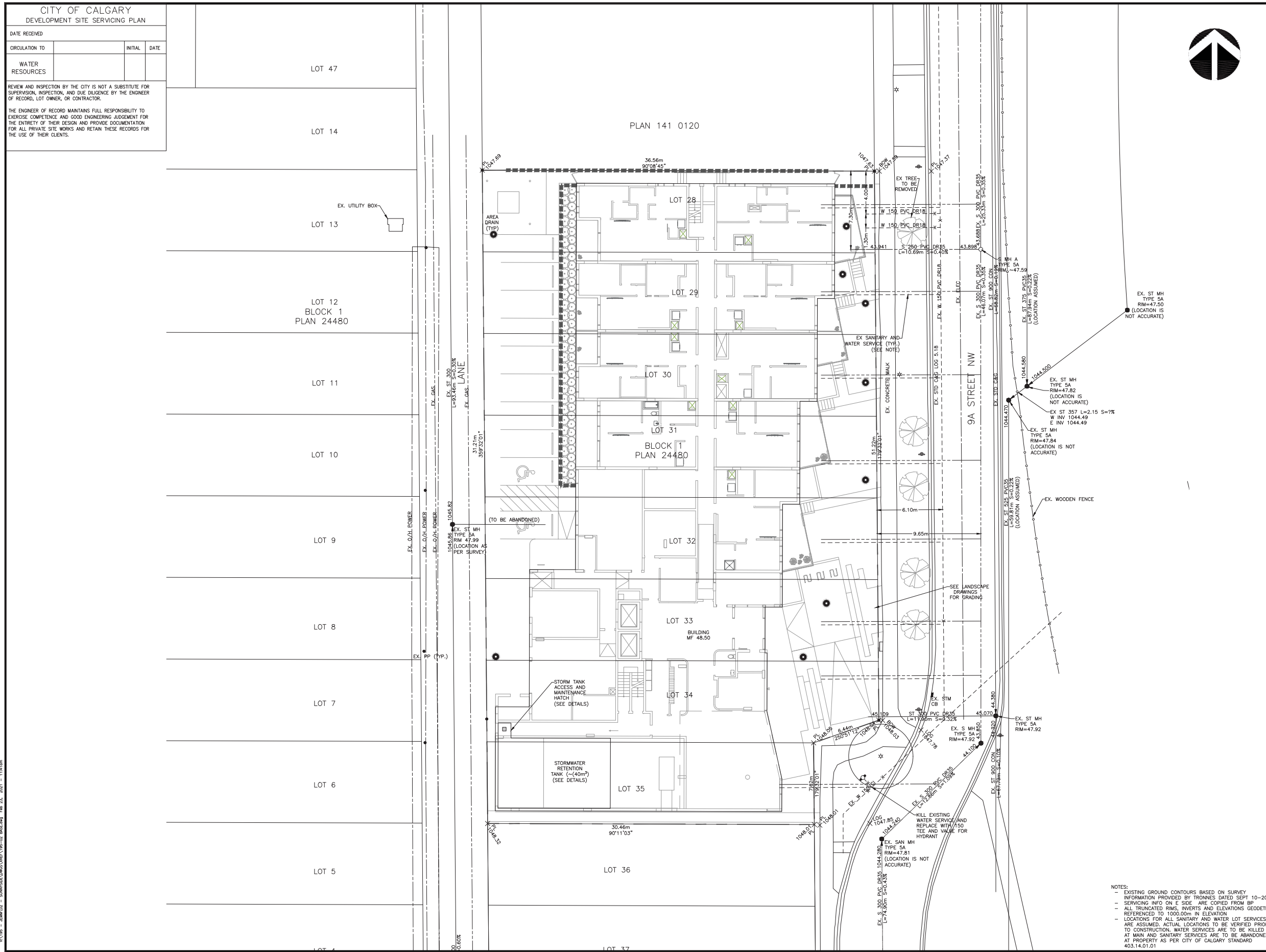
SITE SERVICING PLAN (FOR DSSP)

SCALE: 1:150	STAMP:
DNW: RH	
DES: TVS	
DATE: JAN 22-21	
CHK: TVS	
P. ENG: TVS	
PERMIT:	

PROJECT NO.	SHEET	OF
195-02	1	4
DRAWING NAME	DESTROY ALL PRINTS PRIOR TO	R 0
195-02 BASE		

NOTES:

- EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY TROTTERS DATED SEPT 10--20
- SERVING INFO ON E SIDE ARE COPIED FROM SP
- ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION
- LOCATIONS FOR ALL SANITARY AND WATER LOT SERVICES ARE ASSUMED. ACTUAL LOCATIONS TO BE VERIFIED PRIOR TO CONSTRUCTION. WATER SERVICES ARE TO BE KILLED AT MAIN AND SANITARY SERVICES ARE TO BE ABANDONED AT PROPERTY AS PER CITY OF CALGARY STANDARD 403.14-01.01



CITY OF CALGARY
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED	
CIRCULATION TO	INITIAL DATE
WATER RESOURCES	

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

V:\195 - JEMM\02 - SUNNYSIDE\UNRES\195-02 BASE.dwg Plot 23, 2021 - 11:41am



V:\195 - JDM\02 - SUNNYSIDE\UNITS\195-02 BASE.dwg Apr 06, 2021 - 2:04pm

NOTES:
 - EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY TRONNES DATED SEPT 10-20
 - SERVICING INFO ON E SIDE ARE COPIED FROM BP
 - ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION



VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

GRADING FEATURES

- → → PROPOSED CONCRETE SWALE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED CB/MANHOLE
- ▨ PROPOSED ASPHALT PAVING
- ▩ PROPOSED CONCRETE
- ▤ PROPOSED RETAINING WALL
- ↔ ↔ ↔ PROPOSED GRASS SWALE
- ○ ○ PROPOSED CHAINLINK FENCE
- ○ ○ PROPOSED POST & CABLE FENCE
- ○ ○ PROPOSED SCREEN FENCE
- + + + PROPOSED FINISHED GRADE
- — — EXISTING PL GRADE

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1	-	-	-	-
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE (YYYYMMDD)
1	FOR DP	-
2	FOR APPROVAL	21/03/26
3	FOR ARCHIVE	-

CLIENT

JEMM
PROPERTIES

PROJECT

**THE HIVE
RESIDENTIAL
DEVELOPMENT**

LOT: 28-34 BLK: 1 PLAN: 24480
 DPE: 2020-8227 DSSP: 0000-0000
 ADDRESS: 9A STREET NW CALGARY AB
 LEGAL DESCRIPTION: S.1/2-21-24-1-5

TITLE

**DEVELOPMENT SITE
GRADING PLAN
(FOR DSSP)**

SCALE: 1:150 STAMP:
 DWN: RH
 DES: TVS
 DATE: MAR 25-21
 CHK: TVS
 P. ENG: TVS

PERMIT:

PERMIT TO PRACTICE
 VERITAS DEVELOPMENT SOLUTIONS LTD.
 Signature _____
 Date: MARCH 26, 2021
PERMIT NUMBER: P 08085
 The Association of Professional Engineers,
 Geologists and Geophysicists of Alberta

PROJECT No. 195-02 SHEET 2 OF 4
 DRAWING NAME 195-02 GRAD DESTROY ALL PRINTS PRIOR TO R 0



Suite 203 822 11th Avenue SW
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403.289.2891

Project Team
Prime Consultant / Architect
LOLA Architecture
Structural Consultant
ENTUITIVE
Mechanical Consultant
EMBE
Electrical Consultant
Nemetz
Civil Consultant
Veritas
Landscape Consultant
O2 Planning & Design

Client



Consultant

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Seal

Drawing History

No.	Issued For	Date
02	DTR 01 RESPONSE	2021-02-25
01	DEVELOPMENT PERMIT	2020-12-16

Project No.	Drawn/Checked
C167	AD/BL&SS

JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

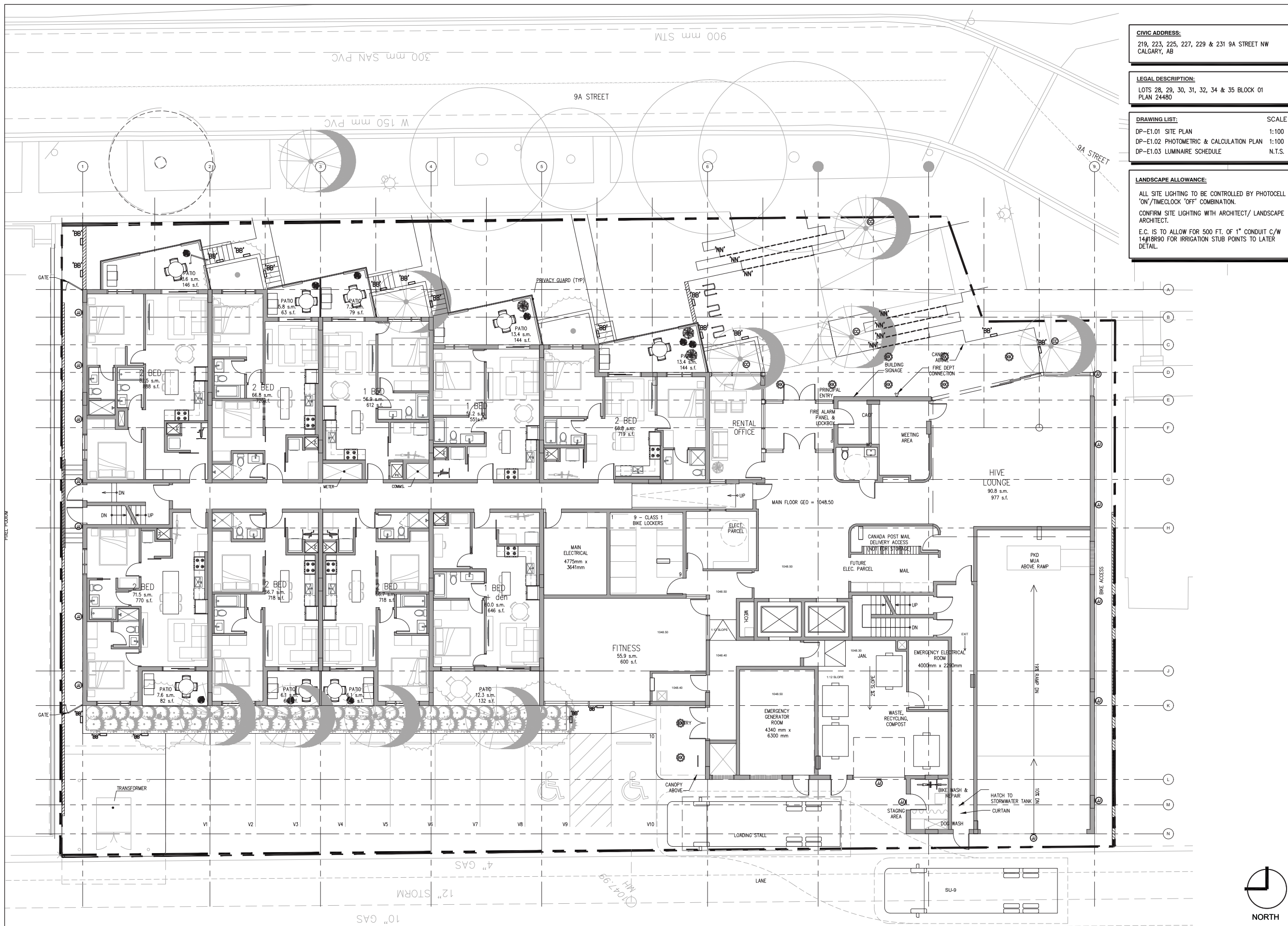
Drawing Title

SITE PLAN

Scale 1:100

Drawing Number

DP-E1.01



CIVIC ADDRESS:
219, 223, 225, 227, 229 & 231 9A STREET NW
CALGARY, AB

LEGAL DESCRIPTION:
LOTS 28, 29, 30, 31, 32, 34 & 35 BLOCK 01
PLAN 24480

DRAWING LIST: SCALE
DP-E1.01 SITE PLAN 1:100
DP-E1.02 PHOTOMETRIC & CALCULATION PLAN 1:100
DP-E1.03 LUMINAIRE SCHEDULE N.T.S.

LANDSCAPE ALLOWANCE:
ALL SITE LIGHTING TO BE CONTROLLED BY PHOTOCELL
'ON'/TIMECLOCK 'OFF' COMBINATION.
CONFIRM SITE LIGHTING WITH ARCHITECT/ LANDSCAPE
ARCHITECT.
E.C. IS TO ALLOW FOR 500 FT. OF 1" CONDUIT C/W
14#18R90 FOR IRRIGATION STUB POINTS TO LATER
DETAIL.



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Project No. C167 Drawn/Checked AD/BL&SS

JEMM PROPERTIES
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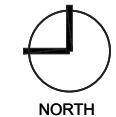
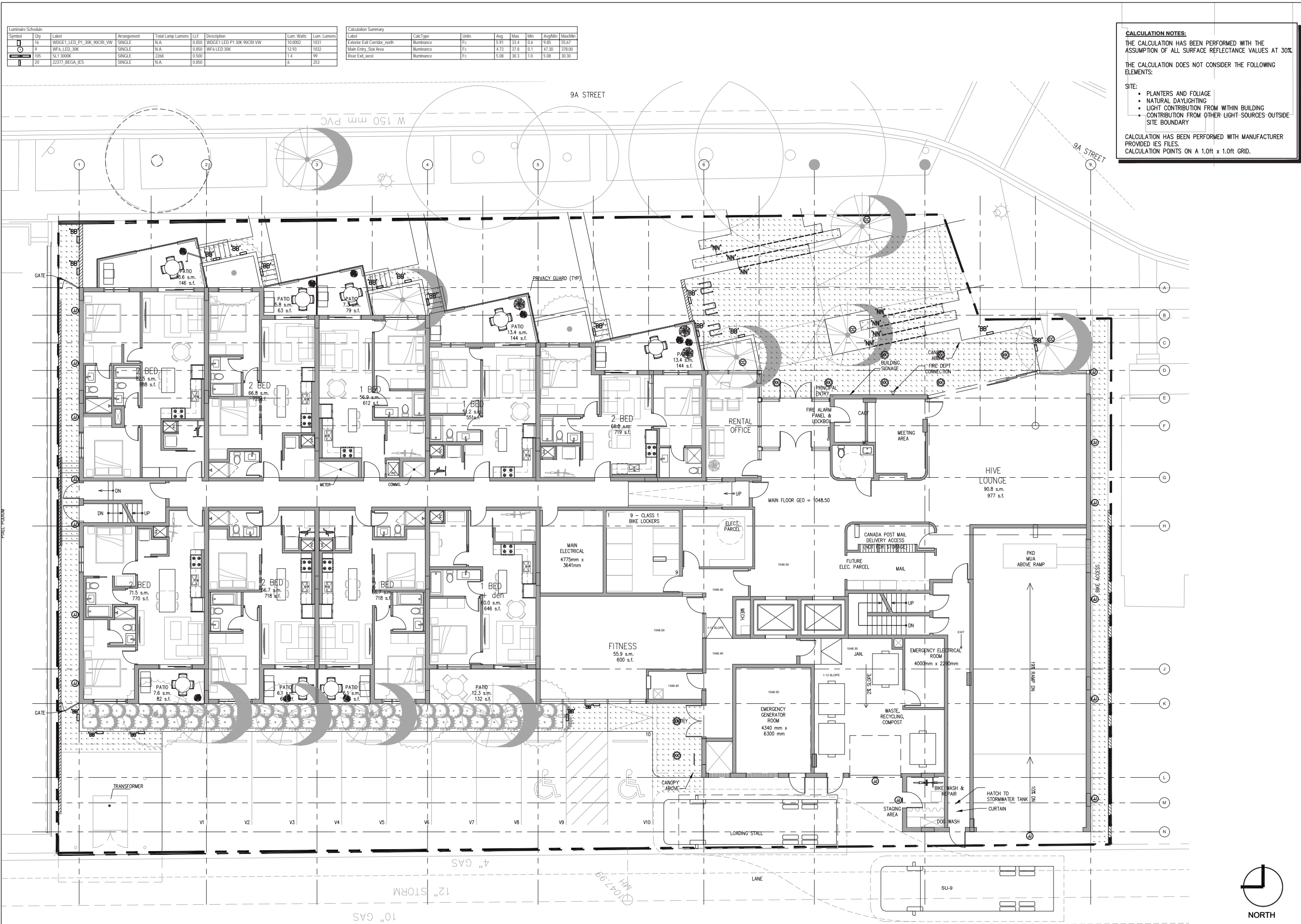
Drawing Title
PHOTOMETRIC &
CALCULATION PLAN

Scale 1:100

Drawing Number

DP-E1.02

CALCULATION NOTES:
THE CALCULATION HAS BEEN PERFORMED WITH THE ASSUMPTION OF ALL SURFACE REFLECTANCE VALUES AT 30%.
THE CALCULATION DOES NOT CONSIDER THE FOLLOWING ELEMENTS:
SITE:
• PLANTERS AND FOLIAGE
• NATURAL DAYLIGHTING
• LIGHT CONTRIBUTION FROM WITHIN BUILDING
• CONTRIBUTION FROM OTHER LIGHT SOURCES OUTSIDE SITE BOUNDARY
CALCULATION HAS BEEN PERFORMED WITH MANUFACTURER PROVIDED IES FILES.
CALCULATION POINTS ON A 1.0ft x 1.0ft GRID.





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Seal

Drawing History

No.	Issued For	Date
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01	DEVELOPMENT PERMIT	2020-12-16

Project No. C167
Drawn/Checked AD/BL&SS

Project
JEMM PROPERTIES
'THE HIVE'
RESIDENTIAL
DEVELOPMENT

Drawing Title

LUMINAIRE SCHEDULE

Scale NTS

Drawing Number

DP-E1.03



AB-Sci-001 091018

LUMINAIRE SCHEDULE

NOTES

- LIGHTING IS DESIGNED TO COMPLY WITH APPLICABLE CURRENT ENERGY CODE. THE CONTRACTOR SHALL NOT CHANGE LIGHTING WITHOUT ENGINEER'S APPROVAL.
- ANY CONTRACTOR PROPOSED ALTERNATE LIGHT FIXTURE IN LIEU OF SPECIFIED SHALL BE SUBJECT TO APPROVAL BY THE DESIGNER AND ENGINEER. SUBMIT A BREAKDOWN OF COST SHOWING THE NET DIFFERENCE TO THE DEDUCTED OR ADDED TO THE TENDER PRICE IF ACCEPTED. INCLUDE FOR AND ASSUME RESPONSIBILITY FOR ANY ADDITIONAL COST INCURRED BY OTHER DISCIPLINES AND TRADES, RESULTING FROM SUBSTITUTION AS WELL AS LIGHTING SYSTEM PERFORMANCE.
- CONTRACTOR AND/OR SUPPLIER TO PROVIDE UNIT PRICING OF EACH LUMINAIRE TO BE PROVIDED AT TENDER AS PART OF TENDER AND BID PROCESS.
- PARKADE LIGHTING LOCATED IN SPRAY-ON INSULATION SHALL BE SET DOWN TO CLEAR THE INSULATION.
- INSTALLATION OF ALL PARKADE LIGHTING FIXTURES TO BE CLEAR OF ALL OBSTRUCTIONS IN ORDER TO MAINTAIN PROPER LIGHT LEVELS. MINIMUM CLEAR HEIGHT FOR LIGHT FIXTURE TO BE 7'-6" (2.30m) ABOVE HANDICAP PARKING STALLS AND ACCESS ROUTE TO HANDICAP PARKING STALLS; 6'-10" (2.10m) ABOVE REGULAR STALLS AND DRIVEWAYS, UP TO 12'-0" (3.60m) MAXIMUM. WHERE THE MINIMUM HEIGHT ABOVE STALL IS NOT ATTAINABLE, LUMINAIRE MUST BE PROTECTED FROM MECHANICAL INJURY BY A GUARD, I.e. IMPACT LENSES, OR BY LOCATION PER CANADIAN ELECTRICAL CODE (C.E.C.).
- LIGHTING IN MECHANICAL ROOMS, SERVICE ROOMS, CORRIDORS AND PARKADE TO BE SUSPENDED AS NECESSARY TO CLEAR MECHANICAL LINES AND DUCTS.
- LIGHTING IN SPRINKLER MECHANICAL ROOMS AND ELECTRICAL ROOMS SHALL BE ON EM POWER.
- ALL RECESSED LIGHTS LOCATED IN INSULATED CEILING MUST BE SUPPLIED WITH I.C. RATED HOUSINGS.
- E.C. TO ENSURE ALL LINEAR AND COMPACT FLUORESCENT LAMPS TO BE SUPPLIED AND INSTALLED ARE LOW MERCURY, WITH AVERAGE MERCURY CONTENT OF 70 PICOGRAMS PER LUMEN-HOUR OR BELOW.
- ALL LUMINAIRES MUST BE CSA OR CUL APPROVED OR EQUIVALENT AS A SYSTEM.
- ALL LUMINAIRES AND LIGHTING CONTROL SYSTEM TO BE COMPATIBLE.
- ALL FLUORESCENT LUMINAIRES MUST BE SUPPLIED WITH ELECTRONIC PROGRAM START BALLASTS.
- MINIMUM CLEAR HEIGHT FOR LUMINAIRES LOCATED IN EXITS, EXIT CORRIDORS, PUBLIC AND OTHER EGRESS TO BE 6'-10" (2.10m).
- ENSURE 12 INCHES OF CLEARANCE IS PROVIDED FROM CABINETRY AND DOOR SWING FOR INCANDESCENT AND HALOGEN LAMPING.
- IF LOCATED IN AIR PLENUM SPACE, LIGHTING TO BE COMPLETE WITH FT6 FIRE RATED CABLES AND COMPONENTS.

Nemetz Type			Description	Location	Control *	Lamp	Mounting
LANDSCAPE AND EXTERIOR							
Landscape Type	Image	Nemetz Type					
Type 102		BB	BEGA 22377-K3-XX. CONFIRM FINISH WITH ARCHITECT. NOTE: MOUNTED AT 15" (381Mmm) A.F.F.	EXTERIOR STAIRS/PATH	PHOTOCELL & TIME CLOCK	6W LED 253 LUMENS 3000K	STEP LIGHTS
		CC	BK LIGHTING ARTSTAR XX-UL-F-AR-LED-e65-MFL-A9-XXX-XX-11 (CONFIRM FINISH WITH ARCHITECT)	TREE UPLIGHT	PHOTOCELL & TIME CLOCK	7W LED 400 DEL LUMENS 3000K	GROUND/STEAK
Type 100		JJ	LITHONIA LIGHTING WEDGE1 LED-P1-30K-80CRI-VW-MVOLT-SRM. CONFIRM FINISH WITH ARCHITECT. NOTE: MOUNTED AT 6'-8" (2033mm) A.F.F.	ENTRY DOORS	PHOTOCELL & TIME CLOCK	10W LED 1031 DEL. LUMENS 3000K	SURFACE/WALL
		KK	LITHONIA LIGHTING WF6-LED-27K30K35K-90CRI-XX (CONFIRM FINISH WITH ARCHITECT)	CANOPY	PHOTOCELL & TIME CLOCK	13W LED 1032 DEL. LUMENS 3000K	SURFACE/CEILING
		NN	DIFFUSION LIGHTING SL1-OUT-XX-24V-3000K TO BE COMPLETE WITH SLC-002s EXTRUSION (CONFIRM MOUNTING DETAILS W/ ARCHITECT)	EXTERIOR LINEAR	PHOTOCELL & TIME CLOCK	1.5W/FT LED 126 LM/FT 3000K	TBC



SPECIES INVENTORY						
TREE #	PUBLIC	EXISTING SPECIES OR TYPE	TRUNK DIA (1m ABOVE GROUND)	ESTIMATED HEIGHT (M)	ESTIMATED CROWN WIDTH (M)	TO REMAIN
1	Y	GREEN ASH / Fraxinus pennsylvanica	0.5300	18	9	N
2	Y	GREEN ASH / Fraxinus pennsylvanica	0.5300	18	9	Y
3	Y	GREEN ASH / Fraxinus pennsylvanica	0.4000	18	5	Y
4	Y	GREEN ASH / Fraxinus pennsylvanica	0.5900	18	9	Y
5	Y	GREEN ASH / Fraxinus pennsylvanica	0.4100	18	11	Y

PROJECT
JEMM SUNNYSIDE

FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS

LEGAL DESCRIPTION

PERMIT

CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER
ELECTRICAL

SEALS

KEYMAP



LANDSCAPE NOTES

AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION AND INSTALLATION OF THE SIDEWALK IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION.

ISSUED FOR: ISSUED FOR DTR#2
DATE: 03/26/2021

NOT FOR CONSTRUCTION

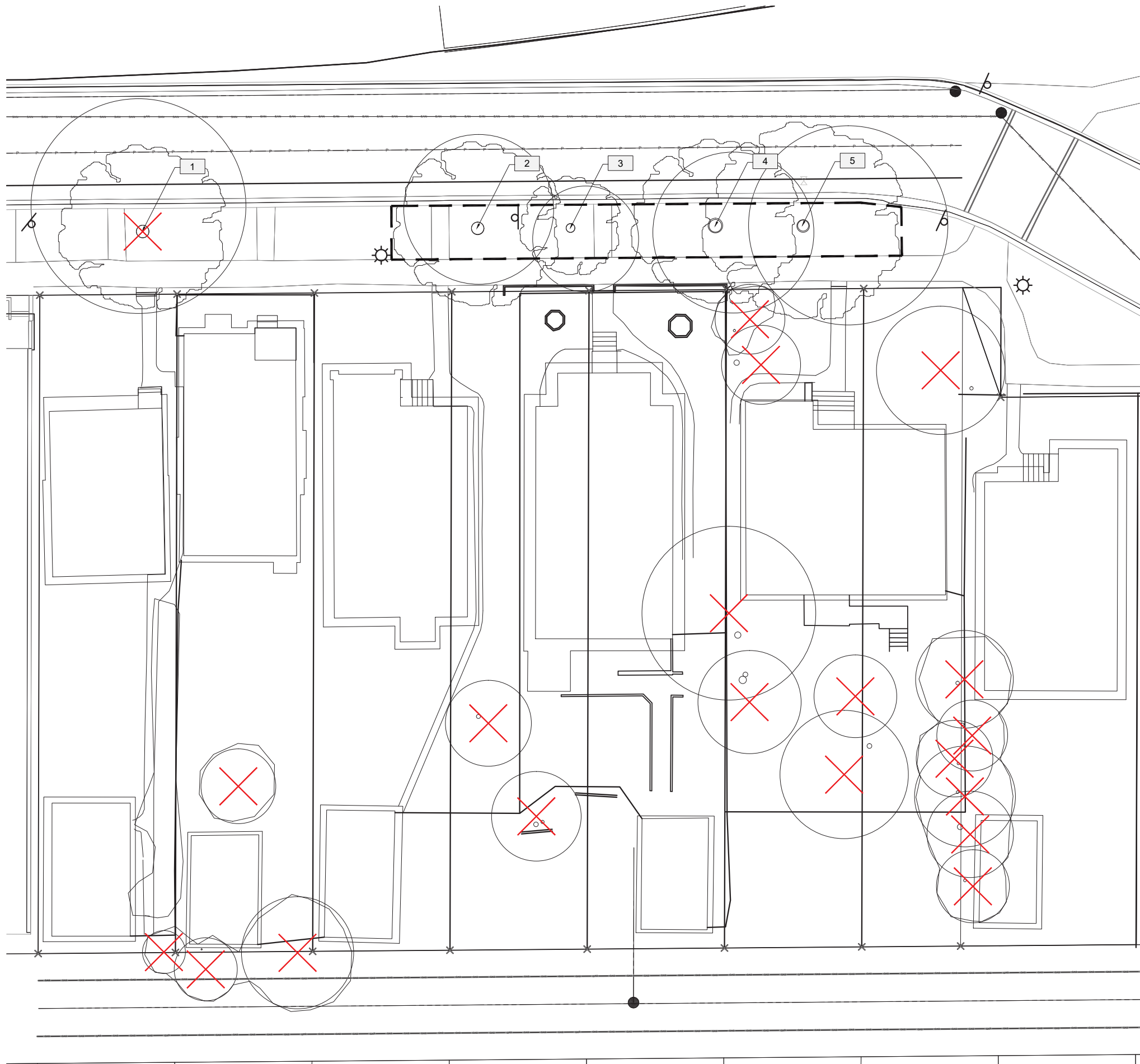
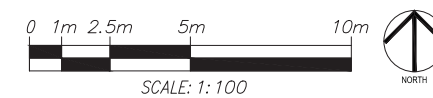
REVISIONS:	NO.	DESCRIPTION	DATE	BY
	4	ISSUED FOR DTR #2	2021-03-26	
	3	ISSUED FOR 30% REVIEW	2021-03-12	
	2	ISSUED FOR DEVELOPMENT PERMIT	2020-12-18	
	1	ISSUED FOR LINE ASSIGNMENT	2020-09-28	

DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
DEMO PLAN

LEGEND

- PROPERTY LINE
- EXISTING CURB + GUTTER
- 1.82m HIGH FENCE ALONG PROPERTY LINE
- STORM WATER LINE
- GAS
- EXISTING SANITARY PIPE
- EXISTING WATER MAIN
- POWER
- TREE PROTECTION FENCING
- TREE TO BE REMOVED





PROJECT
JEMM SUNNYSIDE

FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS

LEGAL DESCRIPTION

PERMIT

CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER

ELECTRICAL

SEALS

LEGEND

---	PROPERTY LINE
---	EXTENT OF PARKADE BELOW
---	PROPOSED CURB + GUTTER
---	EXISTING CURB + GUTTER
---	1.82m HIGH FENCE ALONG PROPERTY LINE
---	STORM WATER LINE
---	GAS
---	EXISTING SANITARY PIPE
---	EXISTING WATER MAIN
---	POWER
---	PROPOSED WATER LINE
---	PROPOSED SANITARY PIPE
---	PROPOSED STORM
+	EXISTING SPOT ELEVATION
+	PROPOSED SPOT ELEVATION
---	IRRIGATION ZONES

REFERENCE NOTES SCHEDULE

SYMBOL	CURB DESCRIPTION	QTY	DETAIL
---	TYPICAL CITY OF CALGARY CONCRETE CURB	23.8 m	
---	FENCE AND GATES DESCRIPTION		
---	SECURED GATE	2	
---	PAVING DESCRIPTION		
---	PEDESTRIAN CONCRETE	366.5 m ²	
---	VEHICULAR CONCRETE	252.2 m ²	
---	SIDEWALK	189.2 m ²	
---	PLANT AREA DESCRIPTION		
---	SOFTSCAPE AREA	251.7 m ²	
---	RAILINGS DESCRIPTION		
---	GAUFRORAL	47.1 m	
---	HANDRAIL	3.9 m	
---	SOIL ASSEMBLIES DESCRIPTION		
---	PLANTER - 50mm MULCH BARK - 100mm TOPSOIL	157.6 m ²	
---	PERENNIAL PLANTING - 300mm TOPSOIL	127.3 m ²	
---	SOD PLANTING - 200mm TOPSOIL	16.8 m ²	
---	SOFTSCAPE OUTSIDE OF PROPERTY LINE	148.6 m ²	
---	SITE FEATURE DESCRIPTION		
---	BENCH	2	
---	CLASS 2 BIKE RACK (4 BIKES EACH)	3	
---	U BIKE RACK (2 BIKES EACH)	1	
---	WALLS, RETAINING WALLS DESCRIPTION		
---	CONCRETE ALUMINUM RAIL		

BY-LAW REQUIREMENTS

REQUIREMENT	PROVIDED
1 TREE/45m ²	19, of which 7 (30%) need to be from Table 3 identified in section 556 in the bylaw 19 TOTAL, 5 coniferous, 14 deciduous (10 from Table 3)
2 SHRUBS/45m ²	39, of which 13 (30%) need to be from Table 4 identified in section 556 in the bylaw 85 (49 from Table 4)

LANDSCAPE NOTES

AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION AND INSTALLATION OF THE SIDEWALK IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION.

TREE PLANTING WITHIN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT WILL CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-620-3216 OR AT 311 TO ARRANGE AN INSPECTION.

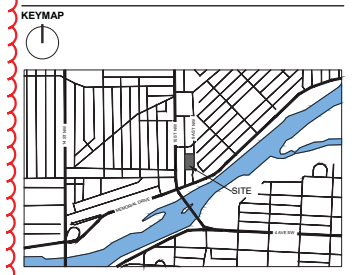
ALL SHRUB BEDS TO HAVE A BARK MULCH GROUND COVER TO REDUCE WEED SPREAD AND RETAIN MOISTURE.

ALL TREES WITHIN THE BOULEVARD ARE SUBJECT TO LINE ASSIGNMENT APPROVAL.

FOR LANDSCAPED AREAS WITH A BUILDING BELOW, PLANTING AREAS TO HAVE THE FOLLOWING MINIMUM SOIL DEPTHS:

(A) 1.2M FOR TREES;
(B) 0.4M FOR SHRUBS;
(C) 0.3M FOR ALL OTHER PLANTING AREAS.

IRRIGATION NOTES:
ALL SOFTSCAPE AREAS WITHIN PROPERTY LINE TO BE IRRIGATED USING LOW-WATER USAGE DRIP IRRIGATION SYSTEM. THE DESIGN INCORPORATES THE 'LOW WATER LANDSCAPING OPTION' IDENTIFIED IN SECTION 556 OF THE BYLAW TO REDUCE REQUIRED LANDSCAPE AREA BY 3%. ALL SHRUB AND TREE PLANTINGS CONFORM TO CITY RECOMMENDED SPECIES AND ARE LOCATED WITHIN SIMILAR HYDROZONES OR MOISTURE REQUIREMENTS. SEE THE PLAN FOR RESTRICTED IRRIGATION AREAS.



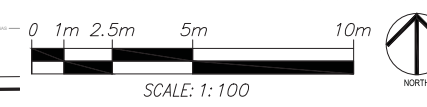
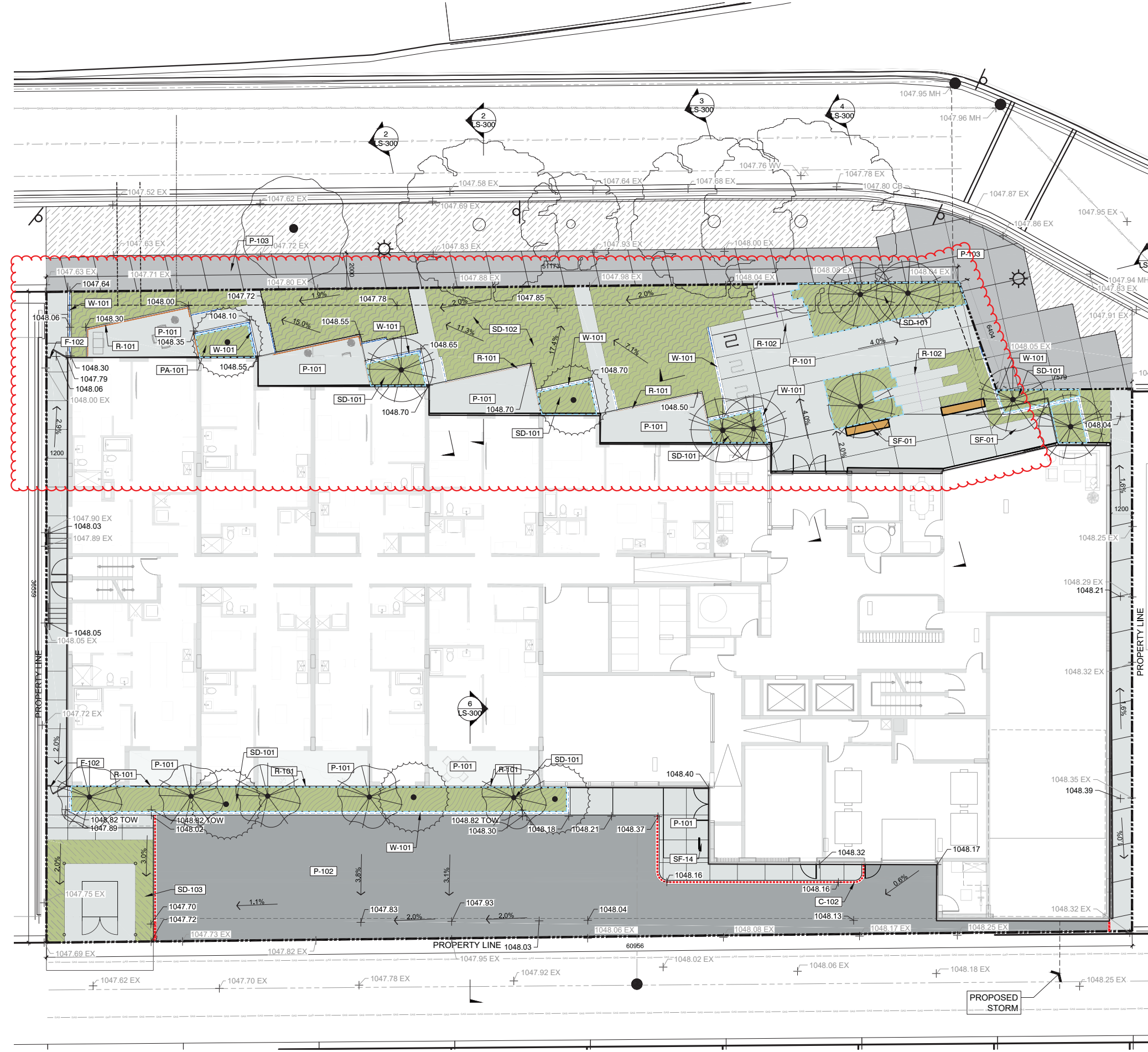
ISSUED FOR: ISSUED FOR DTR#2
DATE: 03/26/2021

NOT FOR CONSTRUCTION

REVISIONS:	NO.	DESCRIPTION	DATE	BY
---	---	---	---	---
---	4	ISSUED FOR DTR #2	2021-03-26	
---	3	ISSUED FOR 30% REVIEW	2021-03-12	
---	2	ISSUED FOR DEVELOPMENT PERMIT	2020-12-18	
---	1	ISSUED FOR LINE ASSIGNMENT	2020-09-28	

DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
SITE PLAN





PROJECT
JEMM SUNNYSIDE

FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS

LEGAL DESCRIPTION

PERMIT

CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER
ELECTRICAL

SEALS

REFERENCE NOTES SCHEDULE

SYMBOL	CURBS DESCRIPTION	QTY
C-103	150mm CONCRETE CURB	219.5 m
SYMBOL	FENCES AND GATES DESCRIPTION	QTY
F-101	DOG RUN FENCE	12.1 m
SYMBOL	KITCHEN DESCRIPTION	QTY
K-01	BBQ. REFER TO SPECS	2
SYMBOL	PAVING DESCRIPTION	QTY
P-104	PAVING SLABS	64.1 m ²
P-105	DECKING	32.0 m ²
P-106	ARTIFICIAL TURF	47.2 m ²
SYMBOL	PLANT AREA DESCRIPTION	QTY
PA-102	GREENROOF PERENNIAL AND SEDUM PLANTING	36.8 m ²
SYMBOL	SEATING DESCRIPTION	QTY
SE-101	DINING CHAIR	12
SE-103	LOUNGE CHAIR	5
SYMBOL	SITE FEATURE DESCRIPTION	QTY
SF-13	FIRE FEATURE	2
SYMBOL	TABLES DESCRIPTION	QTY
T-05	CUSTOM CONCRETE DINING TABLE.	2

LANDSCAPE NOTES

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TREE PLANTING WITHIN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT WILL CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-620-3216 OR AT 311 TO ARRANGE AN INSPECTION.

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KEYMAP



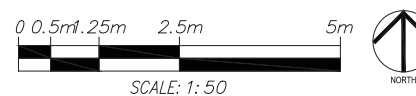
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	1	ISSUED FOR LINE ASSIGNMENT	2020-09-28	

DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
ROOF PLAN



LS-101



510, 255, 17th AVE SW CALGARY ALBERTA CANADA
T403.228.1336 F 403.228.1320 www.o2design.com

PROJECT
JEMM SUNNYSIDE

FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS

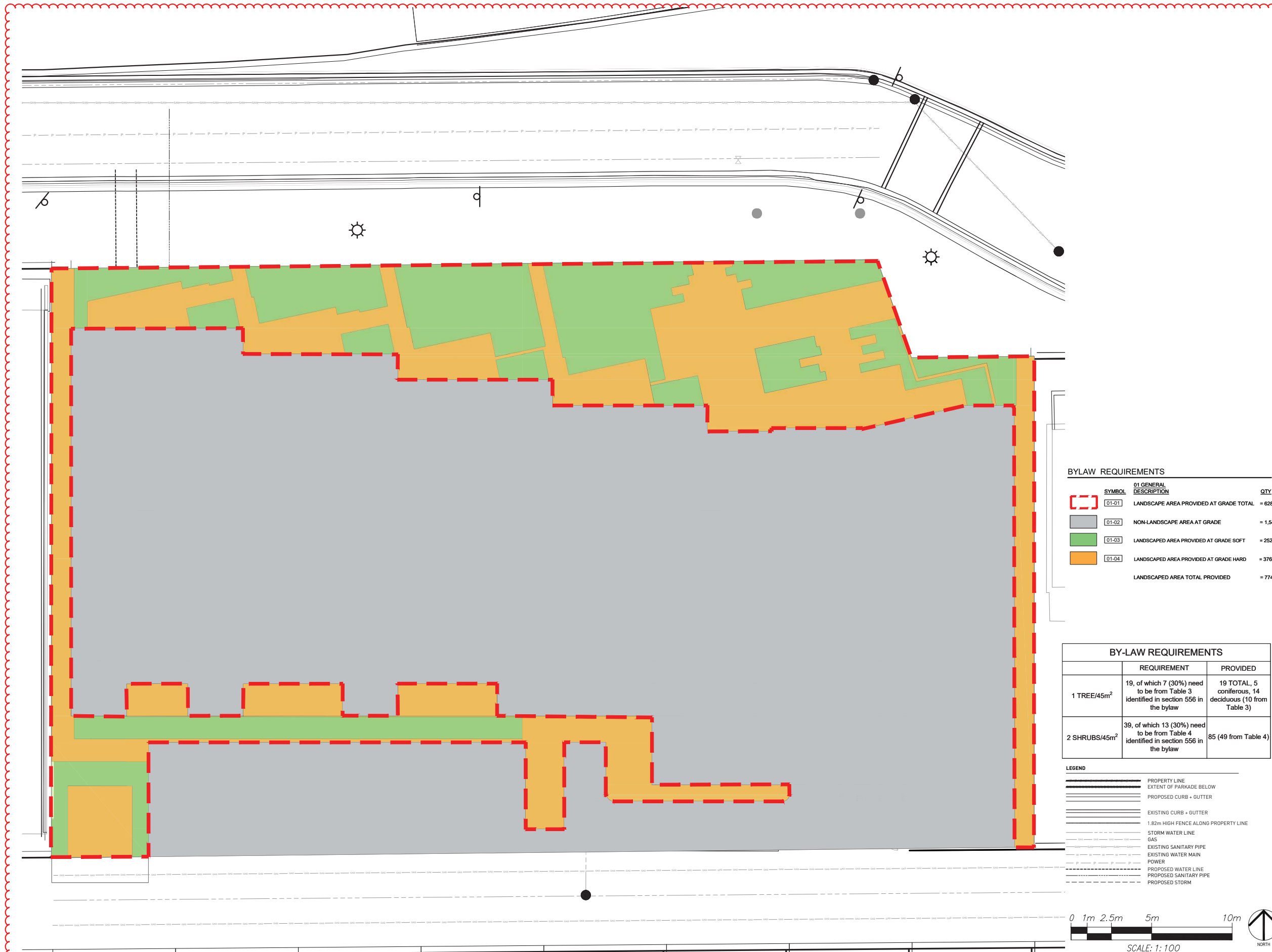
LEGAL DESCRIPTION

PERMIT

CONSULTANTS
ARCHITECT
LOLA ARCHITECTURE
STRUCTURAL ENGINEER

ELECTRICAL

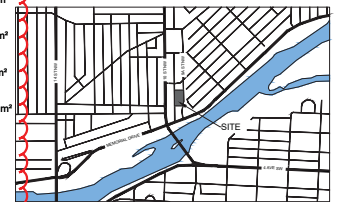
SEALS



BYLAW REQUIREMENTS

SYMBOL	01 GENERAL DESCRIPTION	QTY
	01-01 LANDSCAPE AREA PROVIDED AT GRADE TOTAL	= 628.6 m ²
	01-02 NON-LANDSCAPE AREA AT GRADE	= 1,547 m ²
	01-03 LANDSCAPED AREA PROVIDED AT GRADE SOFT	= 252.0 m ²
	01-04 LANDSCAPED AREA PROVIDED AT GRADE HARD	= 376.6 m ²
	LANDSCAPED AREA TOTAL PROVIDED	= 774.03m ²

KEYMAP



BY-LAW REQUIREMENTS		
	REQUIREMENT	PROVIDED
1 TREE/45m ²	19, of which 7 (30%) need to be from Table 3 identified in section 556 in the bylaw	19 TOTAL, 5 coniferous, 14 deciduous (10 from Table 3)
2 SHRUBS/45m ²	39, of which 13 (30%) need to be from Table 4 identified in section 556 in the bylaw	85 (49 from Table 4)

LEGEND

- PROPERTY LINE
- EXTENT OF PARKADE BELOW
- PROPOSED CURB + GUTTER
- EXISTING CURB + GUTTER
- 1.82m HIGH FENCE ALONG PROPERTY LINE
- STORM WATER LINE
- GAS
- EXISTING SANITARY PIPE
- EXISTING WATER MAIN
- POWER
- PROPOSED WATER LINE
- PROPOSED SANITARY PIPE
- PROPOSED STORM

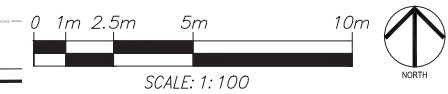
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	2	ISSUED FOR DEVELOPMENT PERMIT	2020-12-18	
	1	ISSUED FOR LINE ASSIGNMENT	2020-09-28	

DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
SITE PLAN WITH AREA CALCULATIONS





PROJECT
JEMM SUNNYSIDE

FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS

LEGAL DESCRIPTION

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LOLA ARCHITECTURE
STRUCTURAL ENGINEER

ELECTRICAL

SEALS

BYLAW REQUIREMENTS		
SYMBOL	GENERAL DESCRIPTION	QTY
	LANDSCAPED AREA PROVIDED AT L9 AMENITY SOFT	= 44.23m ² = 30.41%
	LANDSCAPED AREA PROVIDED AT L9 AMENITY HARD	= 101.2m ² = 69.59%
	LANDSCAPED AREA PROVIDED L9 TOTAL	= 145.43m ²
	LANDSCAPED AREA TOTAL PROVIDED	= 774.03m ²

KEYMAP



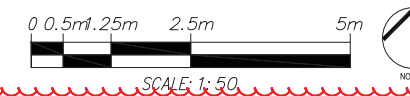
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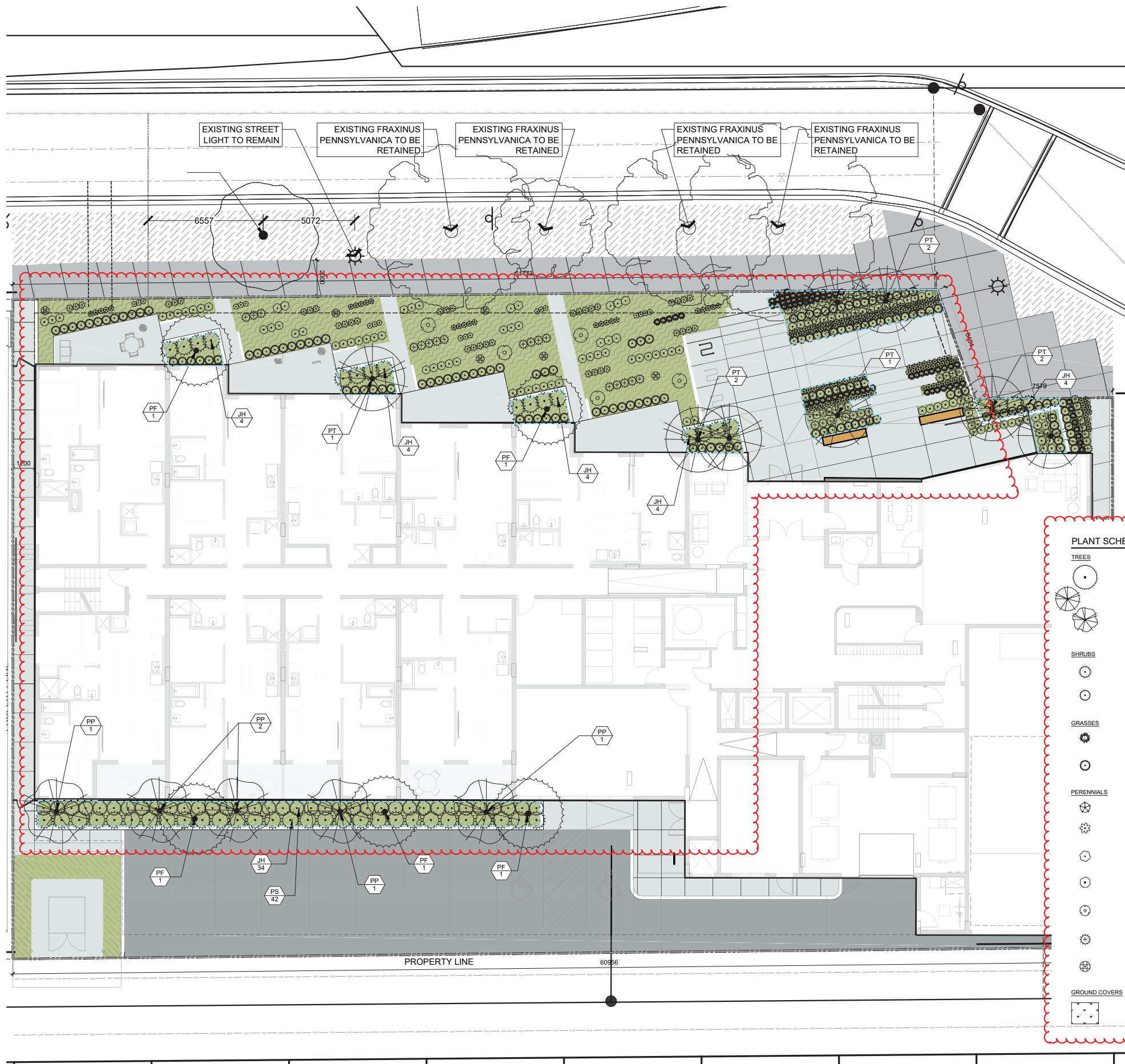
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DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
ROOF PLAN CALCS WITH AREA CALCULATIONS



LS-103



BY-LAW REQUIREMENTS		
	REQUIREMENT	PROVIDED
1 TREE/45m ²	19, of which 7 (30%) need to be from Table 3 identified in section 556 in the bylaw	19 TOTAL, 5 coniferous, 14 deciduous (10 from Table 3)
2 SHRUBS/45m ²	39, of which 13 (30%) need to be from Table 4 identified in section 556 in the bylaw	85 (49 from Table 4)

LANDSCAPE NOTES
 AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION AND INSTALLATION OF THE SIDEWALK IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION.
 TREE PLANTING WITHIN THE CITY BOULEVARD SHALL BE PERFORMED AND INSPECTED IN ACCORDANCE WITH PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS - LANDSCAPE CONSTRUCTION (CURRENT EDITION). APPLICANT WILL CONTACT THE PARKS DEVELOPMENT INSPECTOR AT 403-420-3216 OR AT 311 TO ARRANGE AN INSPECTION.
 ALL SHRUB BEDS TO HAVE A BARK MULCH GROUND COVER TO REDUCE WEED SPREAD AND RETAIN MOISTURE.
 ALL TREES WITHIN THE BOULEVARD ARE SUBJECT TO LINE ASSIGNMENT APPROVAL.
 FOR LANDSCAPED AREAS WITH A BUILDING BELOW, PLANTING AREAS TO HAVE THE FOLLOWING MINIMUM SOIL DEPTHS:
 (A) 1.2M FOR TREES;
 (B) 0.4M FOR SHRUBS;
 (C) 0.3M FOR ALL OTHER PLANTING AREAS.
IRRIGATION NOTES:
 ALL SOFTSCAPE AREAS WITHIN PROPERTY LINE TO BE IRRIGATED USING LOW-WATER USAGE DRIP IRRIGATION SYSTEM. THE DESIGN INCORPORATES THE 'LOW WATER LANDSCAPING OPTION' IDENTIFIED IN SECTION 556 OF THE BYLAW TO REDUCE REQUIRED LANDSCAPE AREA BY 3%. ALL SHRUB AND TREE PLANTINGS CONFORM TO CITY RECOMMENDED SPECIES AND ARE LOCATED WITHIN SIMILAR HYDROZONES OR MOISTURE REQUIREMENTS. SEE THE PLAN FOR RESTRICTED IRRIGATION AREAS.

LEGEND

	PROPERTY LINE
	EXTENT OF PARKADE BELOW
	PROPOSED CURB + GUTTER
	EXISTING CURB + GUTTER
	1.82m HIGH FENCE ALONG PROPERTY LINE
	STORM WATER LINE
	GAS
	EXISTING SANITARY PIPE
	EXISTING WATER MAIN
	POWER
	PROPOSED WATER LINE
	PROPOSED SANITARY PIPE
	PROPOSED STORM
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	TREE PROTECTION FENCING
	IRRIGATION ZONES

PLANT SCHEDULE LANDSCAPE PLAN

TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE	QTY	KEYMAP
	PF	Pinus flexilis / Limber Pine	B & B		3m HIGH	5	
	PT	Populus tremuloides / Quaking Aspen	B & B	75mm Cal		8	
	PP	Prunus pensylvanica / Pin Cherry	B&B, 75mm Cal			5	
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	QTY
	JH	Juniperus horizontalis / Creeping Juniper	#2 CONT.	0.6m		1m	49
	PS	Philadelphus x 'Snowbelle' / Snowbell Mock Orange	#2 CONT.	1.25m		0.8m	36
GRASSES	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	QTY
	CP	Carex pensylvanica / Pennsylvania Sedge	#2 CONT.			0.4m	74
	DES	Deschampsia cespitosa / Tufted Hair Grass	#2 CONT.			0.5m	148
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	QTY
	AC	Allium cernuum / Nodding Wild Onion	30cm			0.3m	152
	AS	Anemone sylvestris / Snowdrop Anemone	#2 CONT.			0.4m	38
	ECH	Echinacea purpurea 'White Swan' / White Swan Coneflower	#2 CONT.			0.5m	10
	HG	Hemerocallis x 'Gentle Shepherd' / White Daylily	45cm			0.45m	111
	MJ	Monarda didyma 'Jacob Cline' / Jacob Cline Bee Balm	80cm			0.8m	5
	SS	Sedum spectabile 'Stardust' / Stardust Sedum	60cm			0.5m	48
	SM	Solidago canadensis / Canada Goldenrod	45cm			0.45m	6
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONTAINER	SPACING	QTY		
	FF	FREEDOM FESCUE SOD	Sod				210.6

02
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FOR
JEMM PROPERTIES

MUNICIPAL ADDRESS

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 STRUCTURAL ENGINEER

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DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
PLANTING PLAN

0 1m 2.5m 5m 10m
 SCALE: 1:100



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KEYMAP



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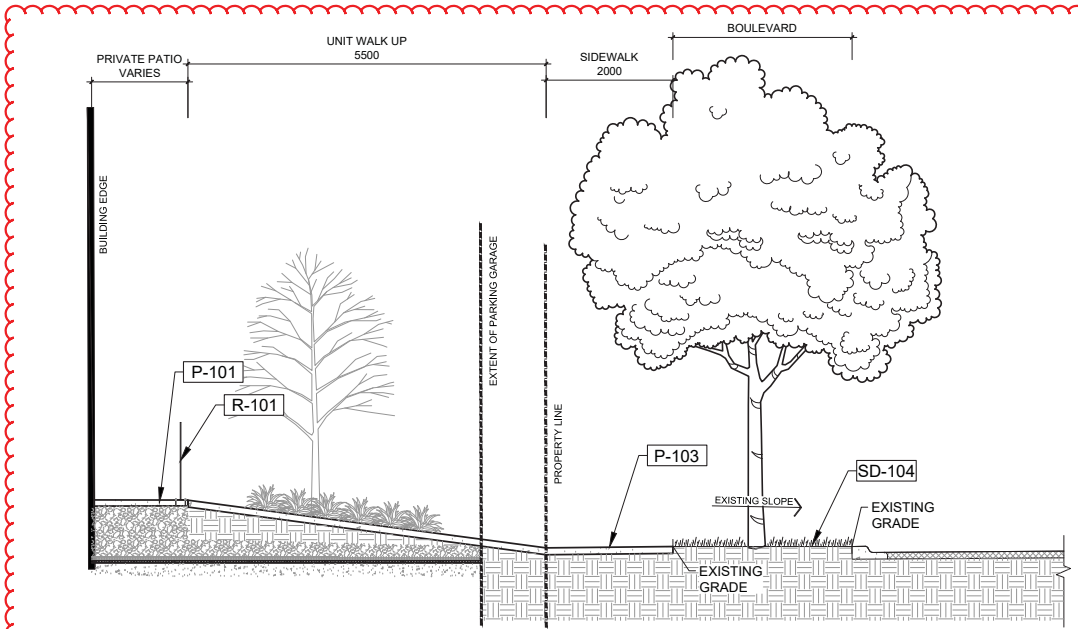
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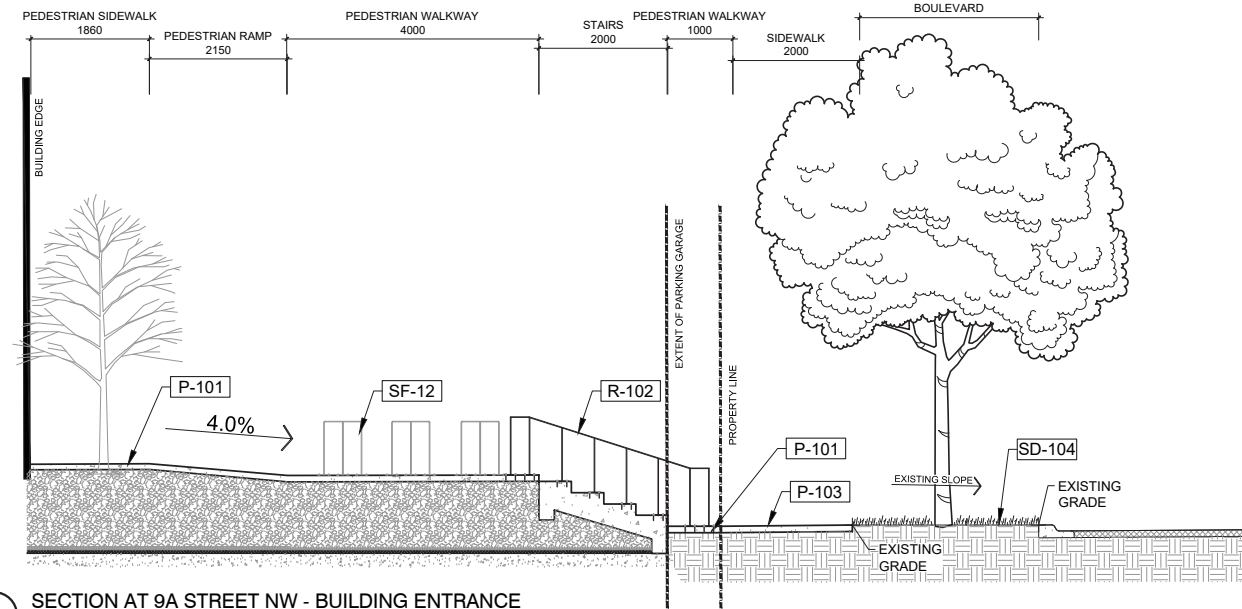
DRAWING TITLE:
SECTIONS

LS-300



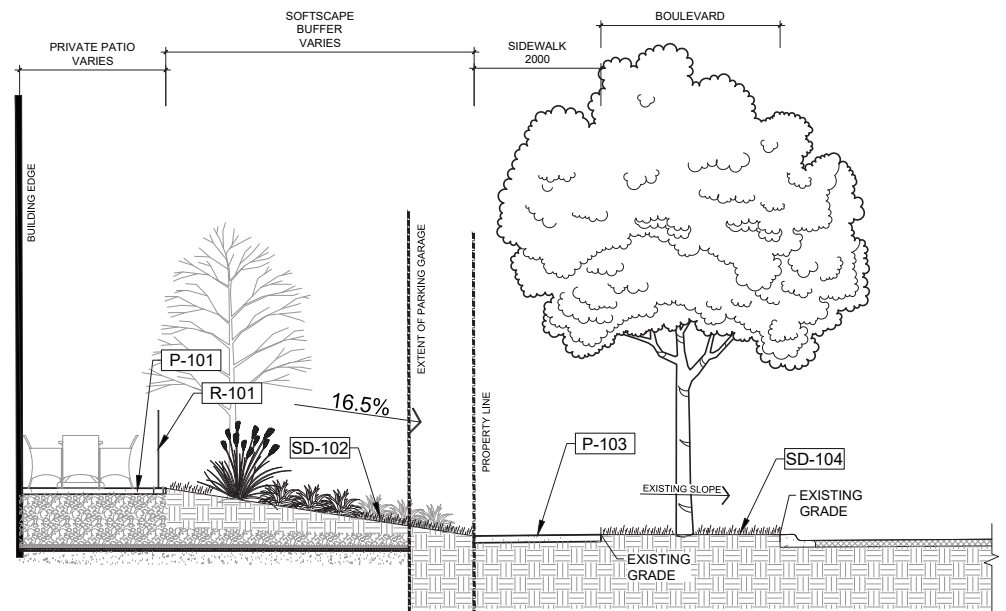
1 SECTION AT 9A STREET NW - NORTH WITH WALK UP

P-02-JEM-25



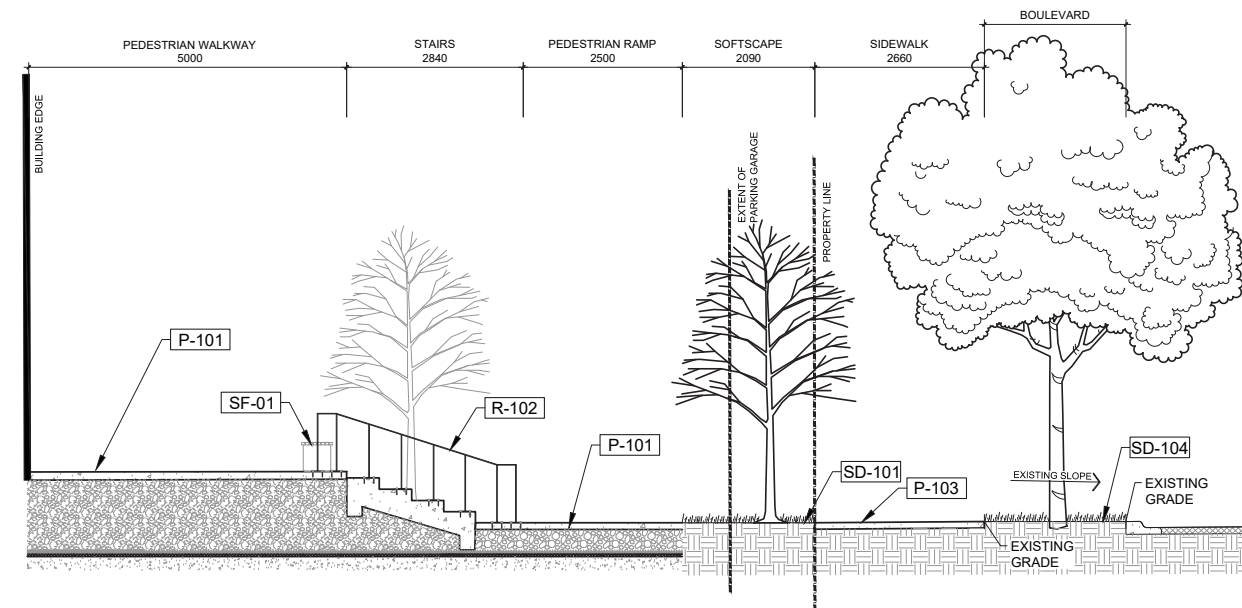
3 SECTION AT 9A STREET NW - BUILDING ENTRANCE

P-02-JEM-18



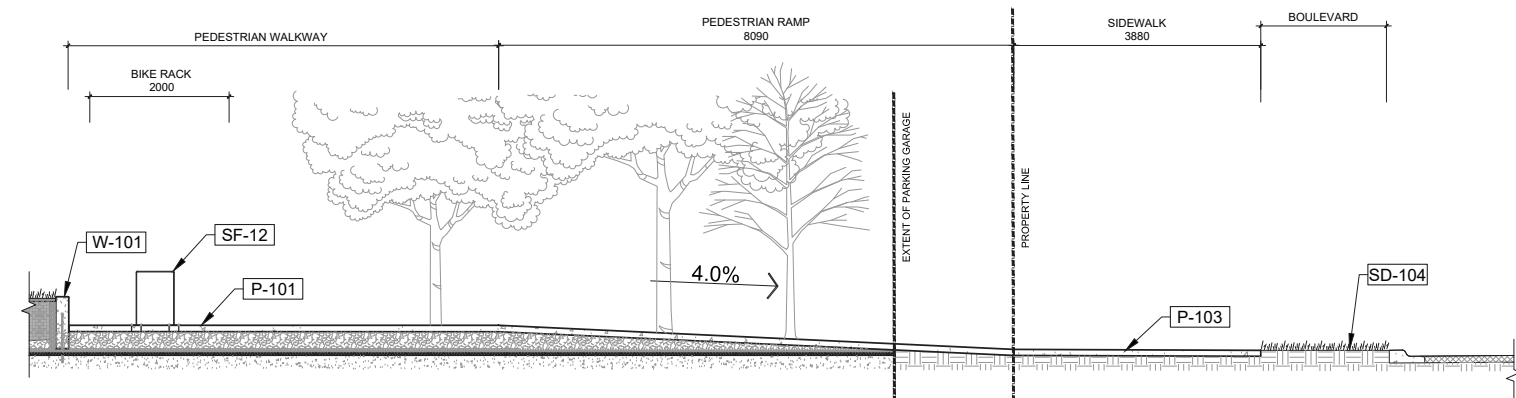
2 SECTION AT 9A STREET NW - NORTH

P-02-JEM-17



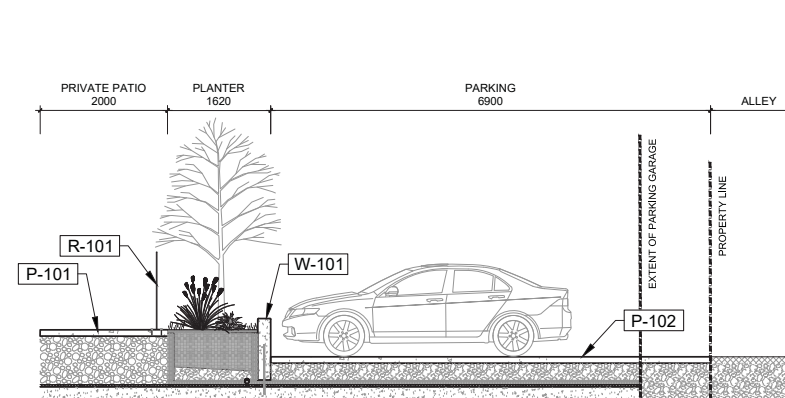
4 SECTION AT 9A STREET NW

P-02-JEM-19



5 SECTION AT 9A STREET NW - SOUTH

P-02-JEM-20



6 SECTION AT BACK ALLEY

P-02-JEM-21



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Detail Sheet 27a: Tree Planting - Boulevard and Median Trench

TREE PLANTING DETAIL
The following Tree Planting Detail will be used for all trees planted in the Boulevard and Median.

NOTES:

- Standard tree pit shall be required on all sites with less than 300mm loam.
- Depth of loam min 150mm to optimum of 300mm. Tree spade depth if depth is 300mm.
- Do not allow air pockets to form when back filling.
- Trees to be planted at grade with trunk flare visible - no more than 25mm above grade.
- Staking, if required - refer to Tree Planting Detail #23, remove staking one year after installation.
- If tree is in wire basket cut and remove staking and the horizontal / vertical wires of the upper 1/2 as a minimum. Pull back burlap to the same minimum.
- All debris (burlap, wire) shall be removed from Tree Planting hole.
- Prune dead branches to maintain natural form of tree. Do not prune heavily of planting.
- Crown median to ensure positive drainage.

PLAN VIEW
Roadway, Curb, Median Planting Zone (300mm), Roadway

SECTION VIEW A - A
50 - 75mm depth of mulch starting 50mm from root flare (trunk). Extend to the edge of drip line or 300mm. Compact clay below rootball. Min. 450mm or 2x width of rootball, whichever is greater. Rootball depth. Rootball depth. Rootball depth.

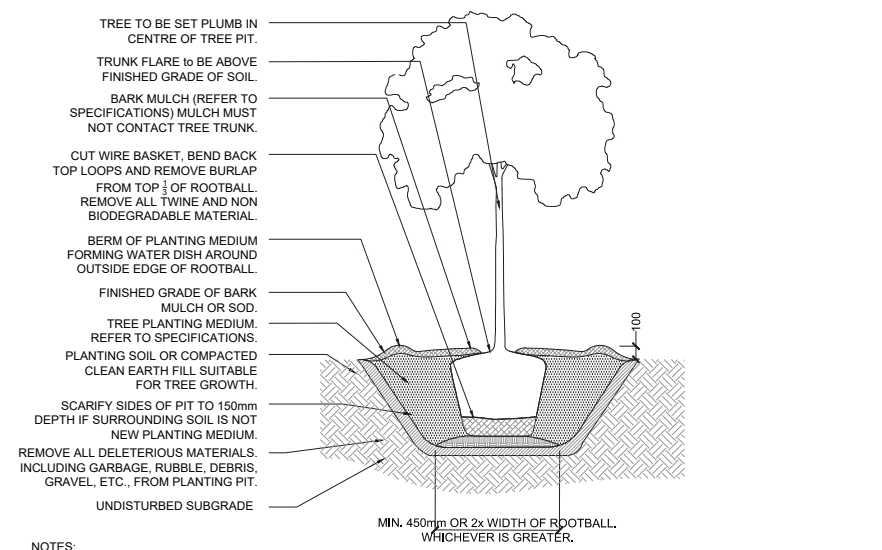
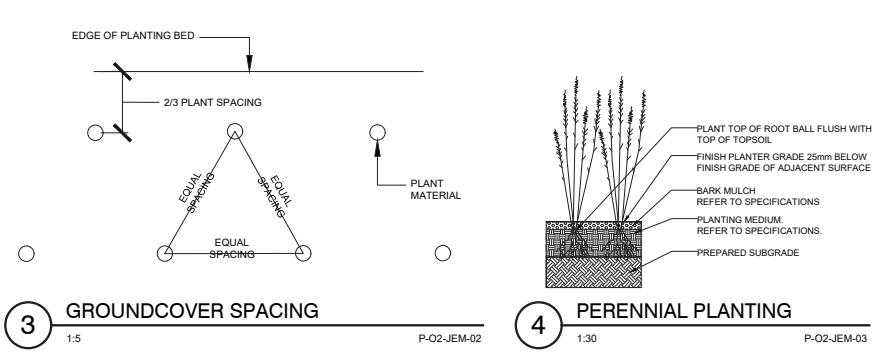
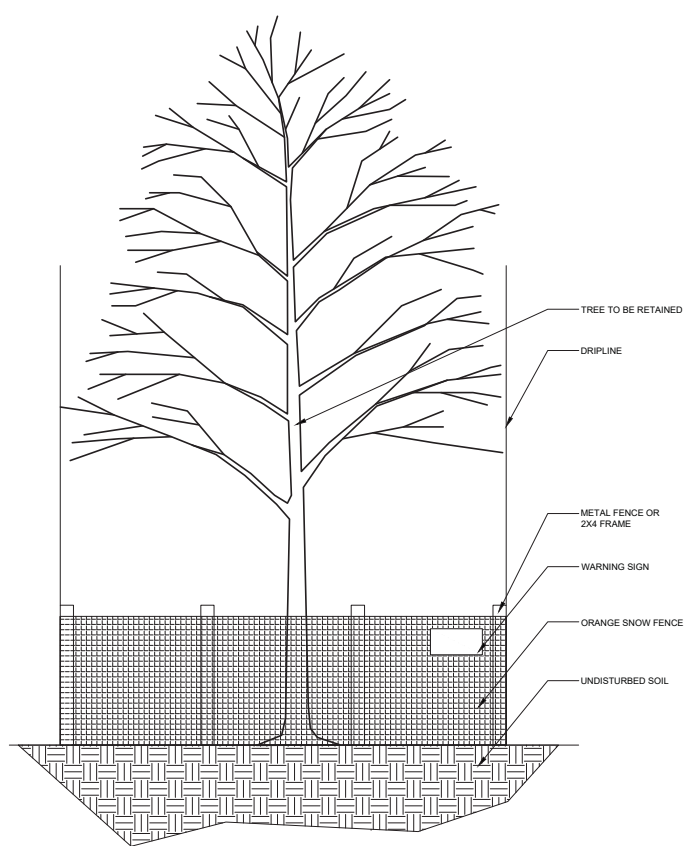
SECTION VIEW B - B
150mm - 300mm. Prune rootball in compacted or undisturbed subgrade.

PROJECT TITLE SPECIFICATIONS
SHEET TITLE: **TREE PLANTING, TRENCH, DETAIL BOULEVARDS AND MEDIANS**

DRAWN BY: W.B./M.M. DATE: 2017 11 10

SCALE: N.T.S. SHEET NO. 27a FILE NO.

Calgary Parks 2020 252

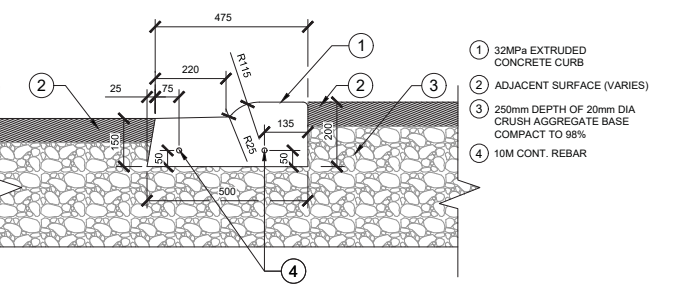
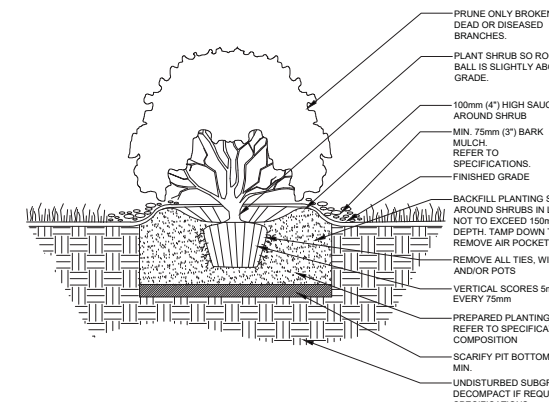


1 TYPICAL COC TREE PLANTING IN BOULEVARD
NTS
DETAIL-FILE

2 TREE PROTECTION FENCING DETAIL
1:30
P-02-JEM-12

3 GROUNDCOVER SPACING
1:5
P-02-JEM-02

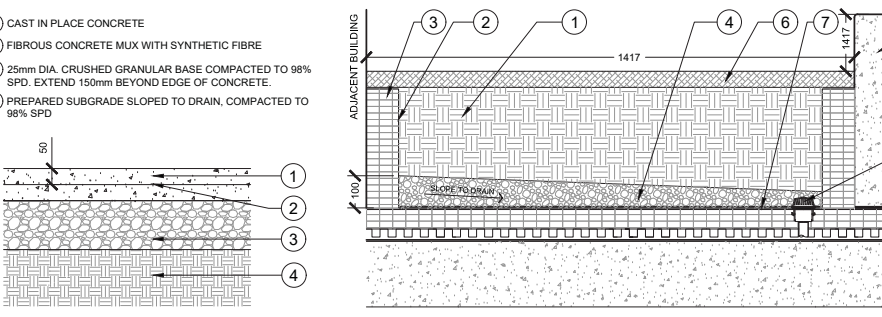
4 PERENNIAL PLANTING
1:30
P-02-JEM-03



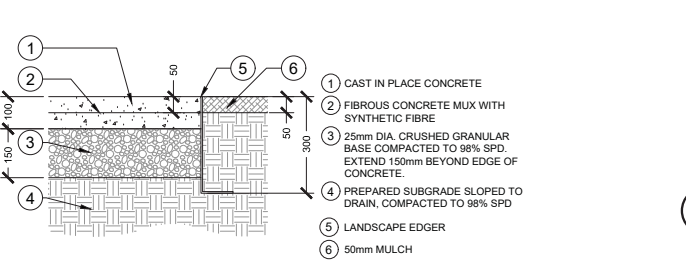
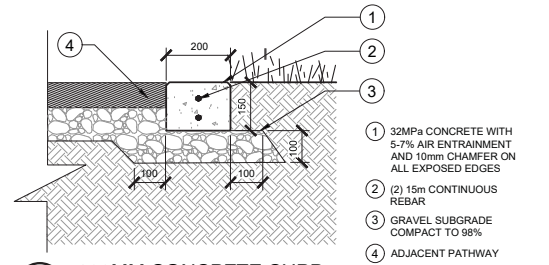
5 DECIDUOUS B&B TREE DETAIL
1:30
P-02-JEM-04

6 SHRUB PLANTING DETAIL
1:30
P-02-JEM-05

8 ROLLED CONCRETE CURB
1:10
P-02-JEM-16



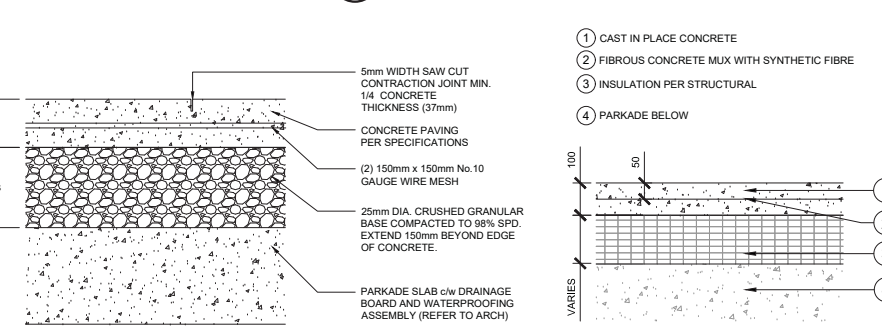
11 CAST IN PLACE CONCRETE 1:10
12 PLANTER ASSEMBLY 1:10
P-02-JEM-08
P-02-JEM-09



11 CAST IN PLACE CONCRETE 1:10
12 PLANTER ASSEMBLY 1:10
P-02-JEM-08
P-02-JEM-09

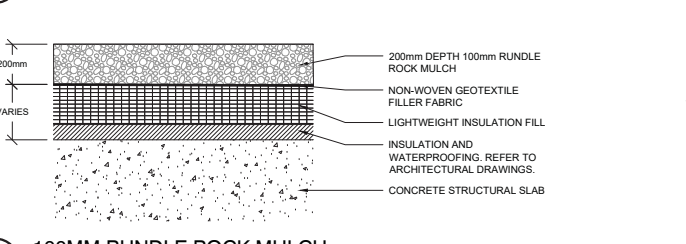
7 200MM CONCRETE CURB
1:10
P-02-JEM-15

9 LANDSCAPE EDGER DETAIL
1:10
P-02-JEM-06

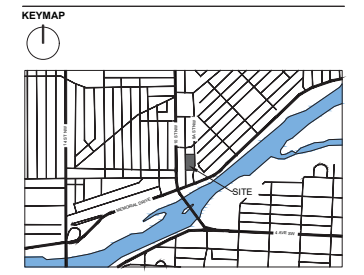


13 HEAVY DUTY CONCRETE OVER PARKADE 1:10
14 PED. CONCRETE OVER PARKADE 1:10
P-02-JEM-10
P-02-JEM-26

7 200MM CONCRETE CURB
1:10
P-02-JEM-15



10 100MM RUNDLE ROCK MULCH
1:10
P-02-JEM-07



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DESIGNED BY: ZW CHECKED BY: MW

DRAWING TITLE:
LANDSCAPE DETAILS

LS-500



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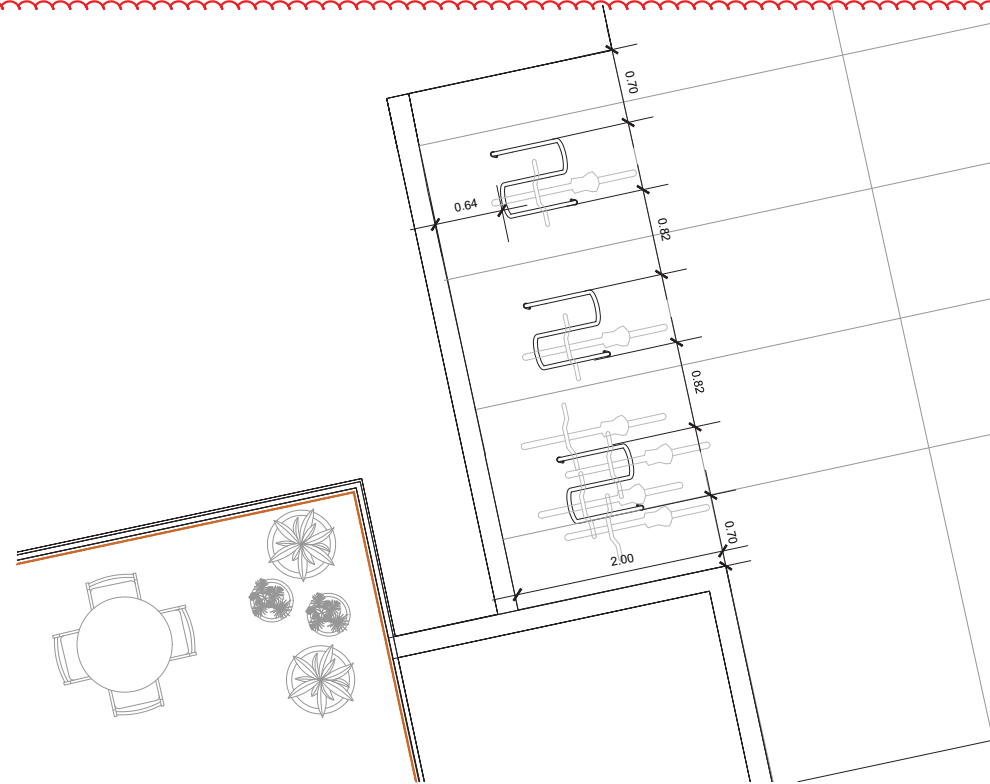
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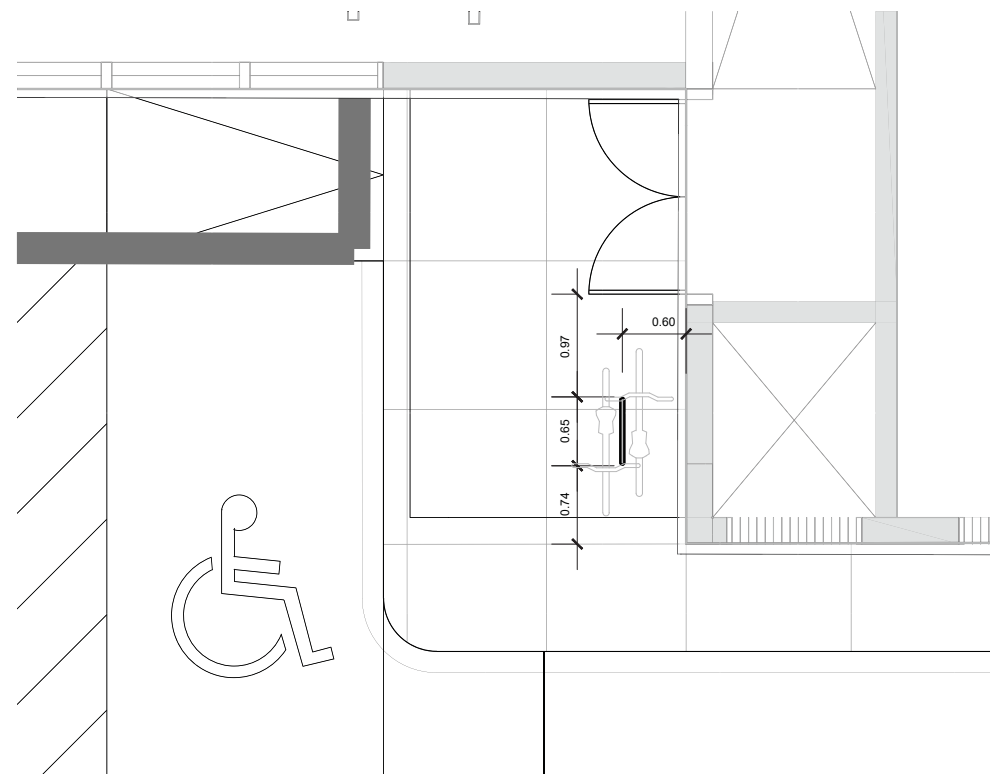
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LANDSCAPE DETAILS



1 ENLARGEMENT OF CLASS 2 FLO BIKE RACKS WITH TYP. SPACING

1:30

DETAIL-FILE

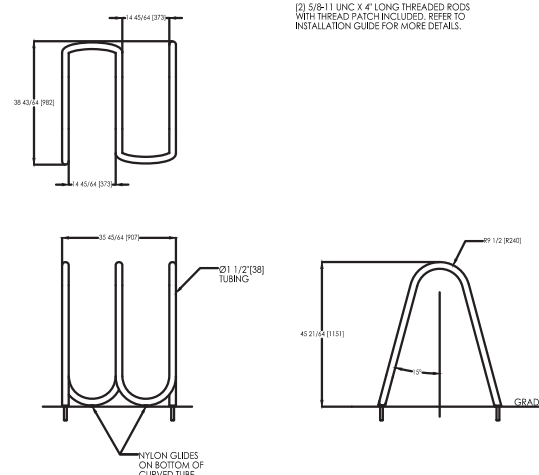


3 ENLARGEMENT OF CLASS 2 U BIKE RACK WITH TYP. SPACING

1:30

DETAIL-FILE

FLO Bike Rack, Embedded, Powdercoated steel
Product Drawing
www.landscapeforms.com
Date: 11/18/2014
Ph: 800.521.2546



(2) 5/8-11 UNC X 4" LONG THREADED RODS WITH THREAD PATCH INCLUDED. REFER TO INSTALLATION GUIDE FOR MORE DETAILS.



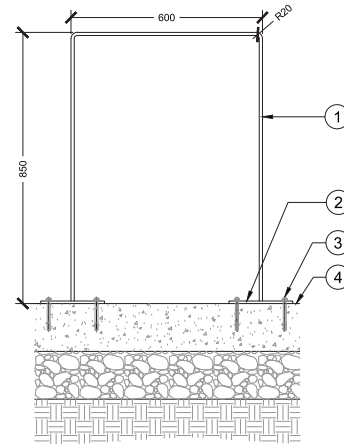
landscapiforms Drawing: FL692-01-PWDR Dimensions are in inches [mm] U.S. Patent No.: D029,433
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2 LANDSCAPE FORMS FLO BIKE RACK (4 STALLS)

NTS

DETAIL-FILE

- ① 10mm THICK HOT DIP GALVANIZED POWDER-COATED STEEL RACK
- ② 150mm x 200mm HOT DIP GALVANIZED STEEL FLAT BAR BASE PLATE WELDED TO STEEL RACK c/w MOUNTING HOLES, POWDER-COATED
- ③ STAINLESS STEEL EXPANSION ANCHOR c/w STAINLESS STEEL ACORN NUT
- ④ FINISH GRADE REFER TO PLANS

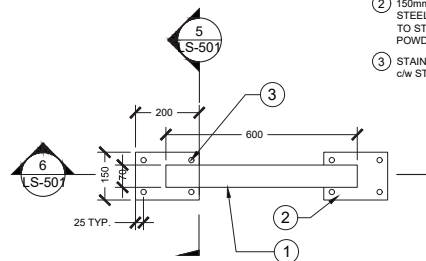


5 U BIKE RACK SECTION

1:10

P-02-JEM-23

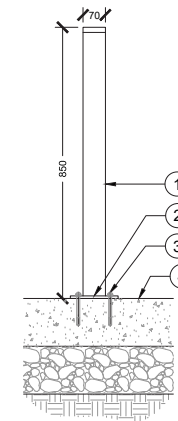
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- ② 150mm x 200mm HOT DIP GALVANIZED STEEL FLAT BAR BASE PLATE WELDED TO STEEL RACK c/w MOUNTING HOLES, POWDER-COATED
- ③ STAINLESS STEEL EXPANSION ANCHOR c/w STAINLESS STEEL ACORN NUT



4 U BIKE RACK PLAN

1:10

P-02-JEM-22



- ① 10mm THICK HOT DIP GALVANIZED POWDER-COATED STEEL RACK
- ② 150mm x 300mm HOT DIP GALVANIZED STEEL FLAT BAR BASE PLATE WELDED TO STEEL RACK c/w MOUNTING HOLES, POWDER-COATED
- ③ STAINLESS STEEL EXPANSION ANCHOR c/w STAINLESS STEEL ACORN NUT
- ④ FINISH GRADE REFER TO PLANS

6 U BIKE RACK SECTION

1:10

P-02-JEM-24