

# TWO PARK CENTRAL



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OWNER

HNC 500 Block II LP  
by its general partner  
HNC 500 Block II Inc

CONSULTANT TEAM

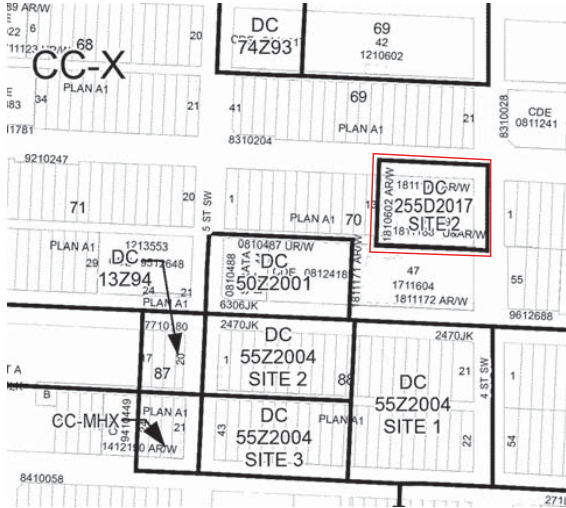


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Phone: 403.233.2000

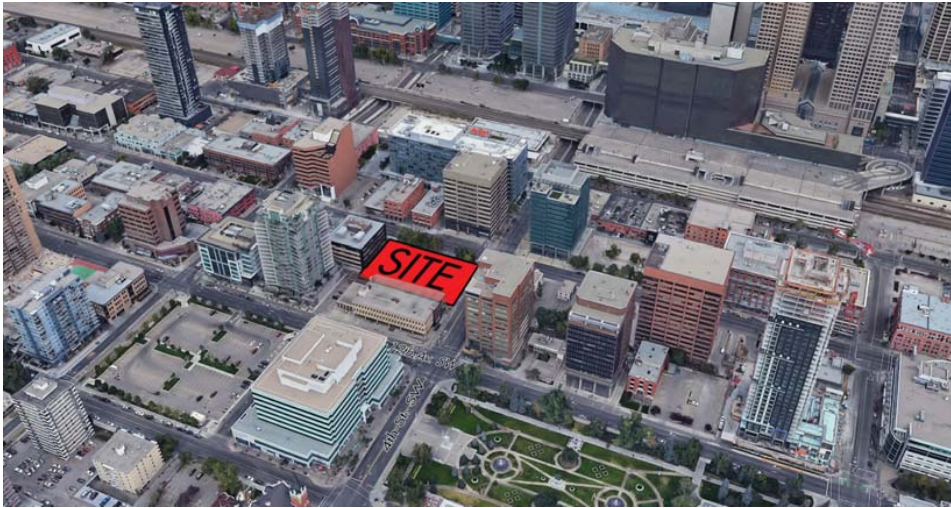
PROJECT NAME TWO PARK CENTRAL DEVELOPMENT PERMIT: DP2020-4338  
PROJECT ADDRESS 507 11 Av SW, Calgary, Alberta PROJECT NUMBER: 19065

IMAGES SHOWN ON THIS PAGE ARE REPRESENTATIONS ONLY. EXACT CONFIGURATION MAY VARY. ALL BUILDING AND SITE DESIGN SUBJECT TO APPROVAL BY THE APPROVING AUTHORITY

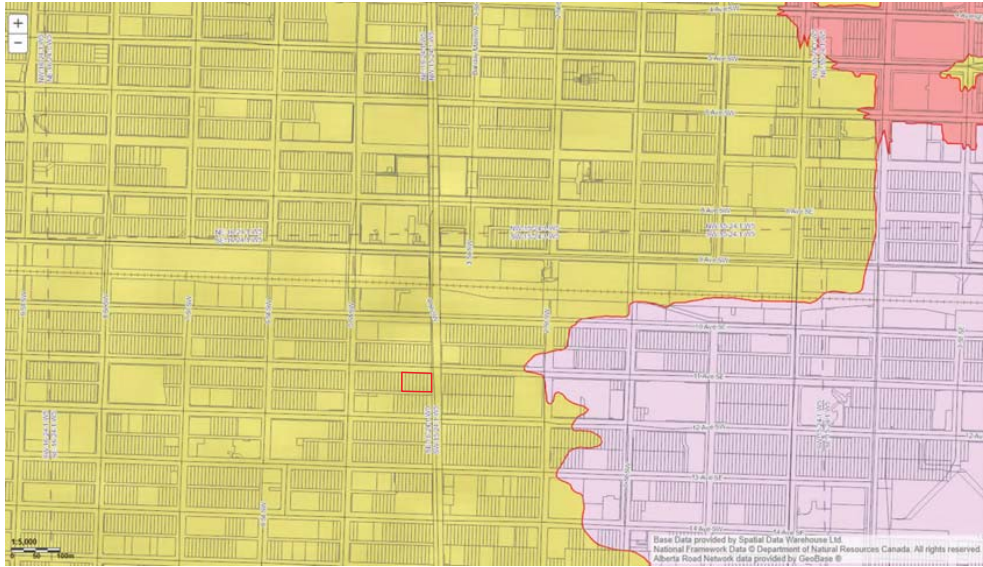




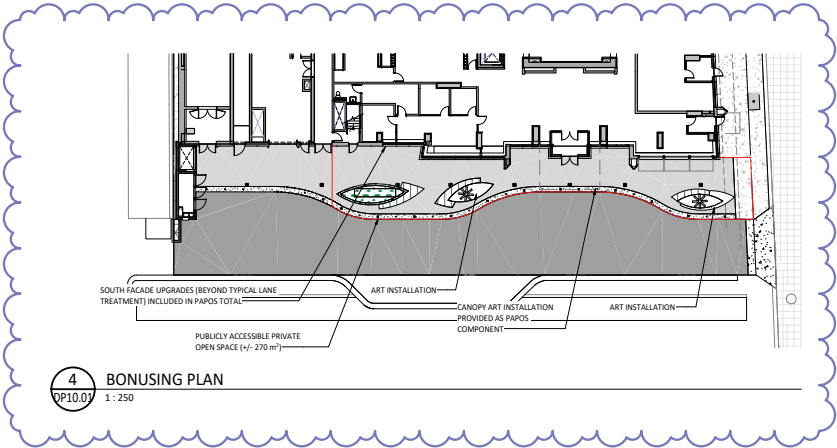
1 LAND USE MAP EXTRACT (16C)  
DP10.01 N.T.S.



2 SITE AERIAL VIEW  
DP10.01 N.T.S.



3 FLOOD HAZARD MAP  
DP10.01 AS SHOWN



4 BONUSING PLAN  
DP10.01 1:250

#### AMENITY AREA CALCULATIONS

AMENITY AREA REQUIREMENT:

5.0 M<sup>2</sup> PER DWELLING UNIT

TOTAL REQUIRED = 531 UNITS X 5M<sup>2</sup>  
2,655 M<sup>2</sup>

AMENITY AREA PROVIDED

LEVEL	INT. (M <sup>2</sup> )	EXT. (M <sup>2</sup> )	DESCRIPTION
L 02		170.8	DOG RUN AREA
L 02		25	PRIVATE TERRACES (5, ADJACENT TO DOG RUN)
L 02		5	PRIVATE TERRACE (SINGLE, ADJACENT TO DOG RUN)
L 02	37.9		DOG SPA ROOM
L 03-L 08	180		6 UNITS PER FLOOR (E FACE) 6 FLOORS, 5M <sup>2</sup> BALCONY PER UNIT
L 09	510.4		TOTAL EXTERIOR AMENITY AREA, INCLUDING POOL
L 09	669.9		TOTAL INTERIOR AMENITY
L 10-L 14	225		9 UNITS PER FLOOR (E AND W FACES) 5 FLOORS, 5M <sup>2</sup> BALCONY PER UNIT
L 15-L 36	880		8 UNITS PER FLOOR (E AND W FACES) 22 FLOORS, 5M <sup>2</sup> BALCONY PER UNIT
L 37-L 38	60		TOTAL INTERIOR AMENITY
L 39	215.4		TOTAL EXTERIOR AMENITY
L 39	191.9		TOTAL EXTERIOR AMENITY
SUBTOTAL	923.2	2248.1	
TOTAL AMENITY (M <sup>2</sup> )		3171.3	

#### BONUSING AND DENSITY SUMMARY

BASE F.A.R.	RESIDENTIAL USES	HERITAGE DENSITY TRANSFER M <sup>2</sup>	F.A.R.	DENSITY ACCOUNTED FOR	DENSITY REQUIRING BONUSING M <sup>2</sup>	F.A.R.	INCENTIVE RATE CALCULATION	REQUIRED COST OF PAPOS AREA
5.0	3.0	8,094.47	2.82	10.82	6,837.4	2.38	\$270/M <sup>2</sup> X 0.75 = \$202.50/M <sup>2</sup>	\$1,384,573.50

ALL REQUIRED BONUSING ABOVE 10.82 F.A.R. IS ACCOUNTED FOR BY UTILISING ITEM 2.0 WITHIN THE BONUSING PROVISIONS CONTAINED IN BYLAW 1P2007, AS PER BELOW.

1216.1 (1) The amount of additional gross floor area achieved by providing the requirements of the public amenity items in Table 6.1 are calculated as a floor area ratio, an Incentive Ratio or an Incentive Rate.

(2) An Incentive Rate indicates that the amount of additional gross floor area will be calculated by dividing the cost of the provided public amenity item in Table 6.1 by the respective Incentive Rate as established by Council where the following Incentive Rates apply:

(a) Incentive Rate 1 is \$270.00 per square metre.

#### BUILDING STATISTICS

##### ZONING

DC 25502017  
BASED ON CC-X WITH DENSITY TRANSFER  
MAX FAR = 13.2

##### SITE AREA

2,873 m<sup>2</sup>

##### MAX G.F.A.

37,923.6 m<sup>2</sup>

##### PROPOSED G.F.A.

37,923 m<sup>2</sup>

##### PROPOSED F.A.R.

13.2

#### PARKING AND LOADING

NUMBER OF UNITS: 531

RETAIL GFA: 509 M<sup>2</sup>

VEHICLE PARKING	BICYCLE PARKING	LOADING
RESIDENT PARKING REQUIREMENT: 0.75 STALLS PER DWELLING UNIT VISITOR PARKING REQUIREMENT: 0.10 STALLS PER DWELLING UNIT RETAIL PARKING REQUIREMENT: 0 (ASSUMING MAX USE AREA <465M <sup>2</sup> )	CLASS 1 STALL REQUIREMENT: 0.50 STALLS PER DWELLING UNIT CLASS 2 STALL REQUIREMENT: 0.10 STALLS PER DWELLING UNIT + 5% OF VEHICLE STALL REQ.	LOADING STALL REQUIREMENT: 1 STALL PER 9300M <sup>2</sup> GFA
RESIDENT STALLS REQUIRED: 399 VISITOR STALLS REQUIRED: 54	CLASS 1 STALLS REQUIRED: 266 CLASS 2 RES STALLS REQUIRED: 54 CLASS 2 RETAIL STALLS REQUIRED: 0	LOADING STALLS REQUIRED: 5 ALTHOUGH A MORE TYPICAL APPROACH USES A SINGLE STALL FOR RESIDENTIAL USE AND A SINGLE STALL FOR RETAIL USES
TOTAL PARKING REQUIRED = 453 STALLS	TOTAL REQUIRED = 266 CLASS 1 54 CLASS 2	
PARKING PROVIDED: 332 STALLS IN 5 LEVEL BELOW-GRADE PARKADE ADDITIONAL PARKING STUDY PROVIDED TO CLARIFY PUBLIC SHARED PARKING	PARKING PROVIDED: CLASS 1 = 278 STALLS AT P01 LEVEL CLASS 2 = 58 STALLS DISTRIBUTED ACROSS SITE	LOADING PROVIDED: 1 STALL IN LANE ADDITIONAL STAGING AREA INTERNAL TO THE BUILDING FOR RESIDENTIAL MOVE-IN/OUT

#### GROSS FLOOR AREA

LEVEL	USES	m <sup>2</sup>
L 01	RETAIL, LOBBY, BOH	1,702.2
L 1.5	MECH, LEASING, BOH	458.9
L 02	RES UNITS	1,429.8
L 03	RES UNITS	1,429.8
L 04	RES UNITS	1,429.8
L 05	RES UNITS	1,429.8
L 06	RES UNITS	1,429.8
L 07	RES UNITS	1,429.8
L 08	RES UNITS	1,429.8
L 09	RES. AMENITY	864.3
L 10	RES UNITS	835.4
L 11	RES UNITS	835.4
L 12	RES UNITS	835.4
L 13	RES UNITS	835.4
L 14	RES UNITS	835.4
L 15	RES UNITS	835.4
L 16	RES UNITS	835.4
L 17	RES UNITS	835.4
L 18	RES UNITS	835.4
L 19	RES UNITS	835.4
L 20	RES UNITS	835.4
L 21	RES UNITS	835.4
L 22	RES UNITS	835.4
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L 24	RES UNITS	835.4
L 25	RES UNITS	835.4
L 26	RES UNITS	835.4
L 27	RES UNITS	835.4
L 28	RES UNITS	835.4
L 29	RES UNITS	835.4
L 30	RES UNITS	835.4
L 31	RES UNITS	835.4
L 32	RES UNITS	835.4
L 33	RES UNITS	835.4
L 34	RES UNITS	835.4
L 35	RES UNITS	835.4
L 36	RES UNITS	835.4
L 37	RES UNITS (P/H)	835.4
L 38	RES UNITS (P/H)	835.4
L 39	RES AMENITY	551.1
L 40	MECH. PENTHOUSE	112
PODIUM		13,034
TOWER		24,889
TOTAL		37,923

#### DWELLING UNIT COUNT

LEVEL	STUDIO	1 BED	2 BED	3 BED	TOTAL
L 01	-	-	-	-	-
L 1.5	-	-	-	-	-
L 02	19	6	1	-	26
L 03	19	7	1	-	27
L 04	19	7	1	-	27
L 05	19	7	1	-	27
L 06	19	7	1	-	27
L 07	19	7	1	-	27
L 08	19	7	1	-	27
L 09	-	-	-	-	-
L 10	-	11	2	-	13
L 11	-	11	2	-	13
L 12	-	11	2	-	13
L 13	-	11	2	-	13
L 14	-	11	2	-	13
L 15	-	8	4	-	12
L 16	-	8	4	-	12
L 17	-	8	4	-	12
L 18	-	8	4	-	12
L 19	-	8	4	-	12
L 20	-	8	4	-	12
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L 22	-	8	4	-	12
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L 24	-	8	4	-	12
L 25	-	8	4	-	12
L 26	-	8	4	-	12
L 27	-	8	4	-	12
L 28	-	8	4	-	12
L 29	-	8	4	-	12
L 30	-	8	4	-	12
L 31	-	8	4	-	12
L 32	-	8	4	-	12
L 33	-	8	4	-	12
L 34	-	8	4	-	12
L 35	-	8	4	-	12
L 36	-	8	4	-	12
L 37(P/H)	-	2	3	2	7
L 38(P/H)	-	2	3	2	7
L 39	-	-	-	-	-
L 40	-	-	-	-	-
PODIUM	133	48	7	-	188
TOWER	-	235	104	4	343
TOTAL	133 (25%)	283 (53%)	111 (21%)	4 (1%)	531

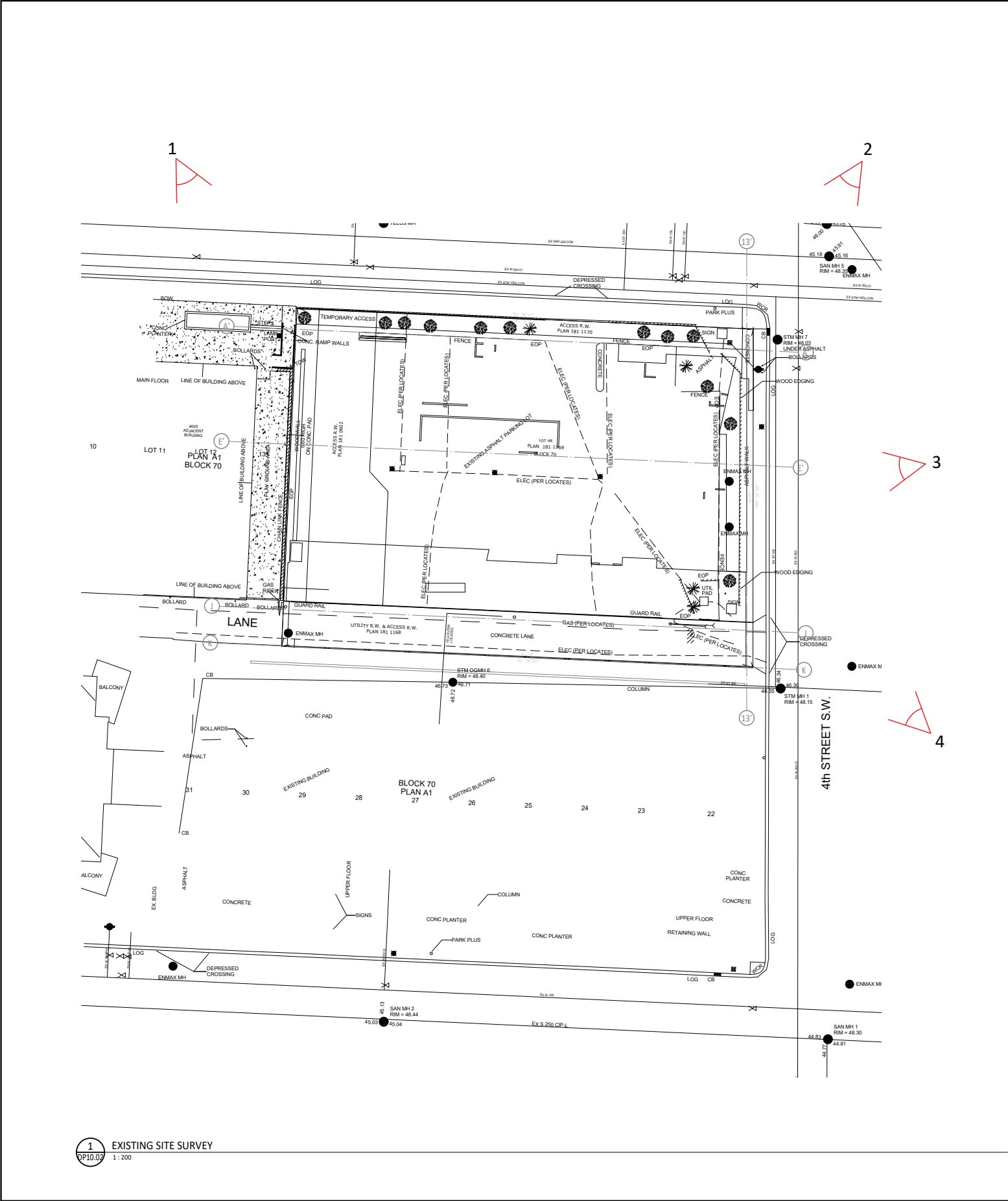
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• Note when required minimum clear dimensions will be identified.  
• Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.  
• Do not scale drawings.  
• This drawing supercedes previous issues.

DT181 DP DRAFT REVIEW	Date 6 2020-05-19
No. Description	Date (YYYY-MM-DD)
Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
HNC 500 Block II LP	
by its general partner	
HNC 500 Block II Inc	
507 11 Av SW, Calgary, Alberta	
Legal Description	Building Permit No.
Plan 3813169 Block 70 Lot 4B	
Development Permit No.	OSPP No.
DP2020-4338	

Gibbs Gage  
ARCHITECTS  
350 140 10 Ave SE, Calgary, Alberta T2G 0R1  
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All Title Block - Rev 2 (2019-03-21)

Drawing Title CONTEXT PLAN AND PROJECT STATISTICS	
Drawn by: Author	Scale: 1:250
Reviewed by: NS/BS	Date (2020-07-15)
Manager: AD	
Tech Reviewer:	
Drawing Number DP10.01	Revision Number





**1** SITE FROM NORTH WEST  
DP10.02  
N.T.S.



**2** SITE FROM NORTH EAST  
DP10.02  
N.T.S.



**3** SITE FROM EAST  
DP10.02  
N.T.S.



**4** SITE FROM SOUTH EAST  
DP10.02  
N.T.S.

**Notes:**  
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DP DRAFT REVIEW	2020-05-19
No. Description	Date

Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
HNC 500 Block II LP	
by its general partner	
HNC 500 Block II Inc	
507 11 Av SW, Calgary, Alberta	
Legal Description	Building Permit No.
Plan 1811569 Block 70 Lot 4B	
Development Permit No.	DSSP No.
DP2020-4338	

**Gibbs Gage**  
ARCHITECTS

350, 140 10 Ave SE, Calgary, Alberta, T2G 0R1  
Ph: 403.233.2000 Fax: 403.264.2077

Owner: HNC 500 LP  
Client: HNC 500 LP  
Architect: Gibbs Gage Architects  
Engineer: SCB  
Surveyor: SCB

Drawing Title  
EXISTING SITE SURVEY AND  
PHOTOS

Drawn by: Author	Scale:
Reviewed by: NS/BS	1:200
Manager: AD	Date: (2020-07-15)
Tech Review:	

Drawing Number	Revision Number
DP10.02	

PRELIMINARY - NOT FOR CONSTRUCTION





3 RENDERING - AERVIEW  
DP10.03 1:1



4 RENDERING - EAST AT NIGHT  
DP10.03 1:1



2 RENDERING - NORTHEAST  
DP10.03 1:1



1 RENDERING - SOUTHEAST  
DP10.03 1:1

Notes:  
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PRELIMINARY - NOT FOR CONSTRUCTION

DTB1 DP DRAFT REVIEW	Date 6 2020-05-19
No. Description	Date (YYYY-MM-DD)
Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
HNC 500 Block II LP	
by its general partner	
HNC 500 Block II Inc	
507 11 Av SW, Calgary, Alberta	
Legal Description	Building Permit No.
Plan 381169 Block 70 Lot 4B	
Development Permit No.	DSSP No.
DP2020-4338	
Gibbs Gage ARCHITECTS	
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SCB	
Drawing Title	
CONCEPTUAL PROJECT VIEWS	
Drawn by: Author	Scale:
Reviewed by: NS/BS	Date (2020-07-15)
Manager: AD	
Tech Review:	
Drawing Number	Revision Number
DP10.03	

PRELIMINARY - NOT FOR CONSTRUCTION

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AD Title Block - Rev 2 (2019-03-21)





4 VIEW FROM 4TH STREET  
DP10.04 1:1



2 VIEW FROM 4TH ST. & 11TH AVENUE  
DP10.04 1:1



3 VIEW FROM 11TH AVENUE  
DP10.04 1:1



1 VIEW TO WOONERF  
DP10.04 1:1

Notes:  
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DP DRAFT REVIEW	2020-05-19
No. Description	Date
Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
HNC 500 Block II LP	
by its general partner	
HNC 500 Block II Inc	
507 11 Av SW, Calgary, Alberta	
Legal Description	Building Permit No.
Plan 1811569 Block 70 Lot 4B	
Development Permit No.	DSSP No.
DP0000-4338	
Gibbs Gage ARCHITECTS	
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Drawn by: Author	Scale:
Reviewed by: NS/BS	Date: (2020-07-15)
Manager: AD	
Tech Review:	
Drawing Number	Revision Number
DP10.04	

PRELIMINARY - NOT FOR CONSTRUCTION





3 RENDERING - NORTHEAST CORNER  
DP10.03 1:1



4 RENDERING - SOUTHEAST CORNER  
DP10.03 1:1



1 RENDERING - SOUTH LANE AT NIGHT  
DP10.03 1:1



2 RENDERING - SOUTH LANE AERVIEW  
DP10.03 1:1

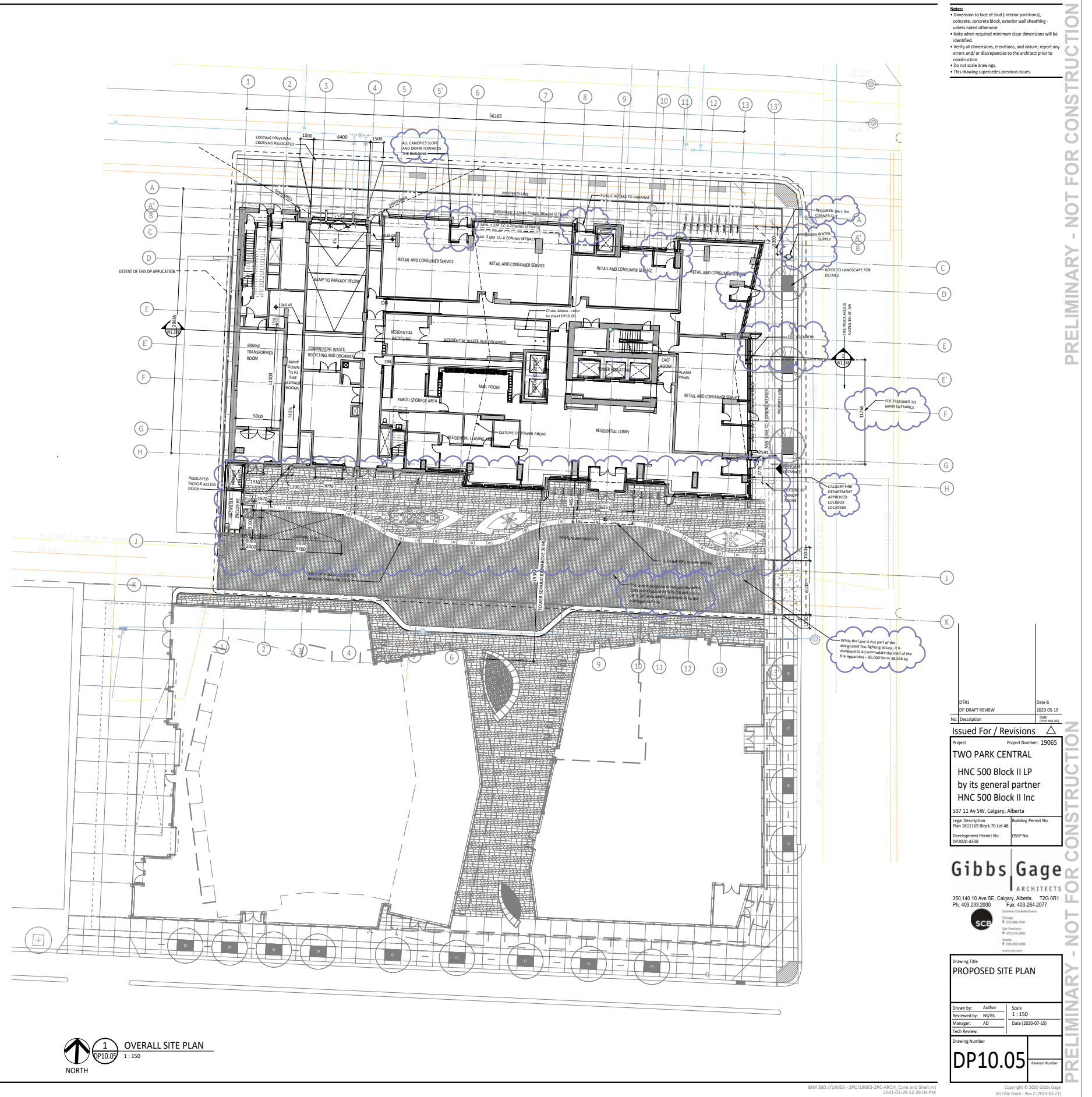
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DTB		Date 6	
No. Description		Date (YYYY-MM-DD)	
Issued For / Revisions			
Project: 19065			
TWO PARK CENTRAL			
HNC 500 Block II LP			
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HNC 500 Block II Inc			
507 11 Av SW, Calgary, Alberta			
Legal Description		Building Permit No.	
Plan 381169 Block 70 Lot 4B		T25 0R1	
Development Permit No.		OSSP No.	
DP2020-4338			
Gibbs Gage ARCHITECTS			
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SCB			
Drawing Title			
CONCEPTUAL PROJECT VIEWS			
Drawn by: Author		Scale:	
Reviewed by: NS/BS		Date (YYYY-MM-DD)	
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Tech Review:			
Drawing Number		Revision Number	
DP10.04A			

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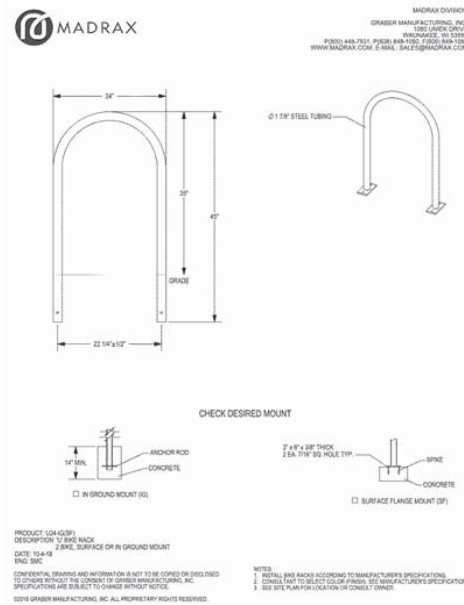




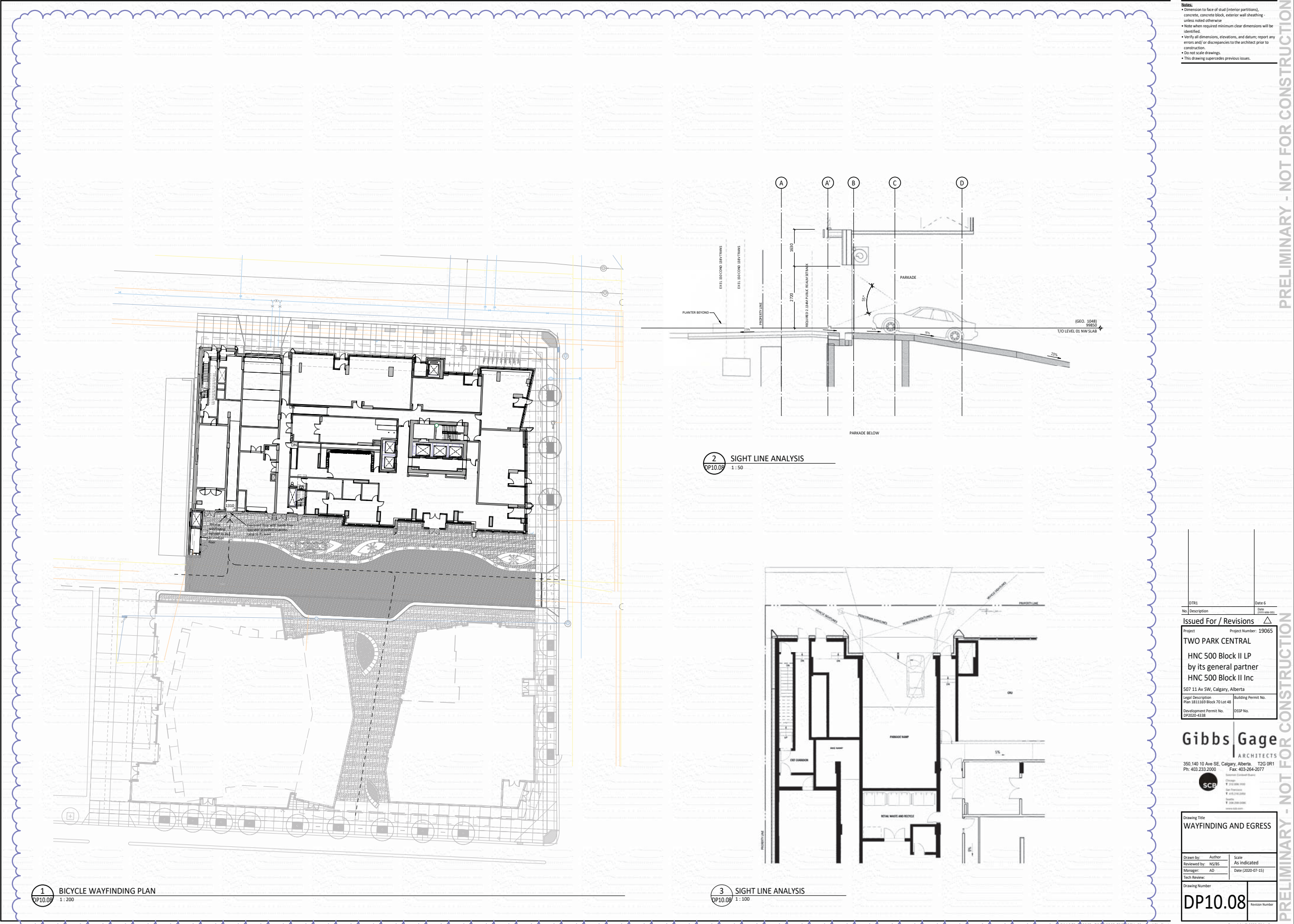




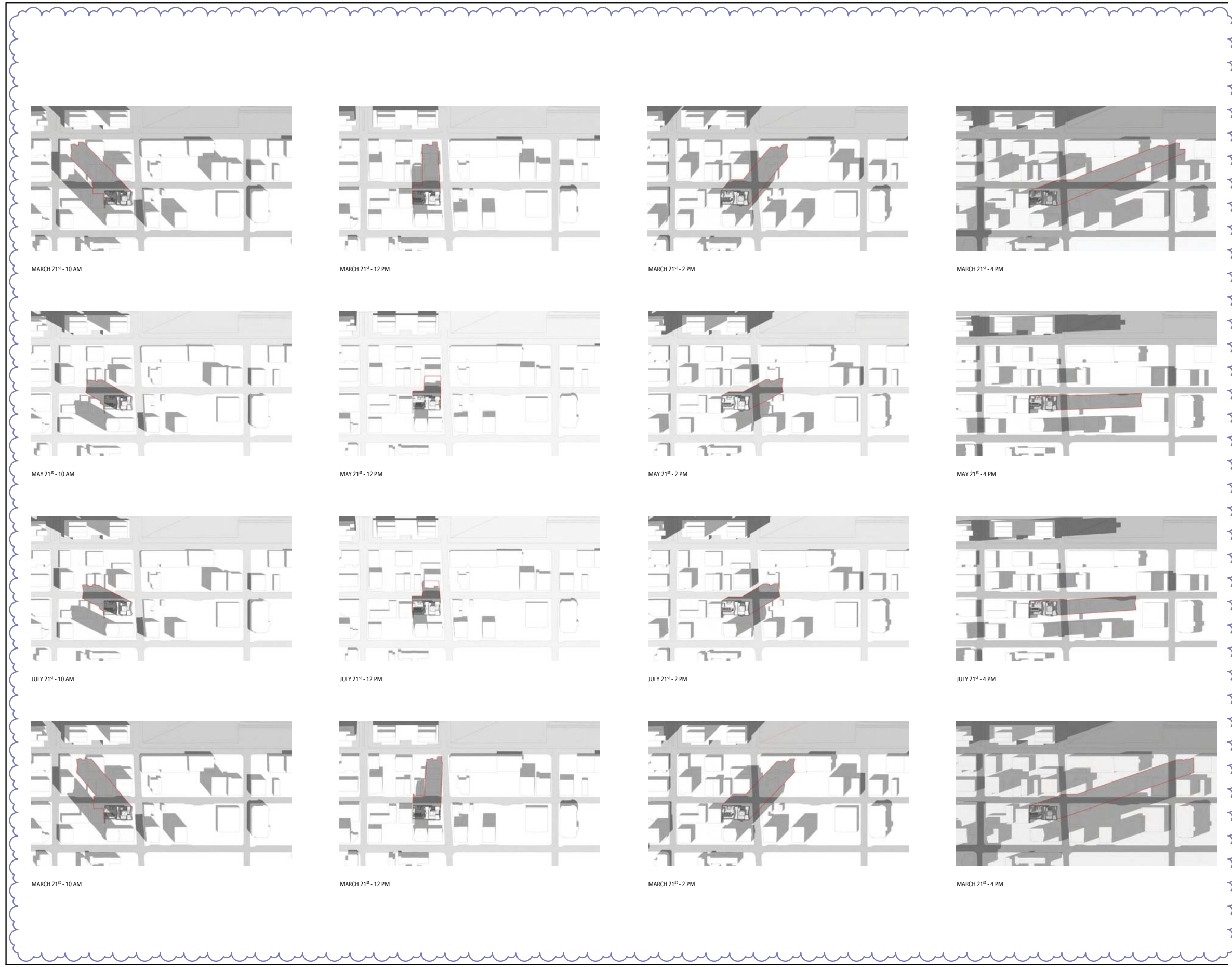
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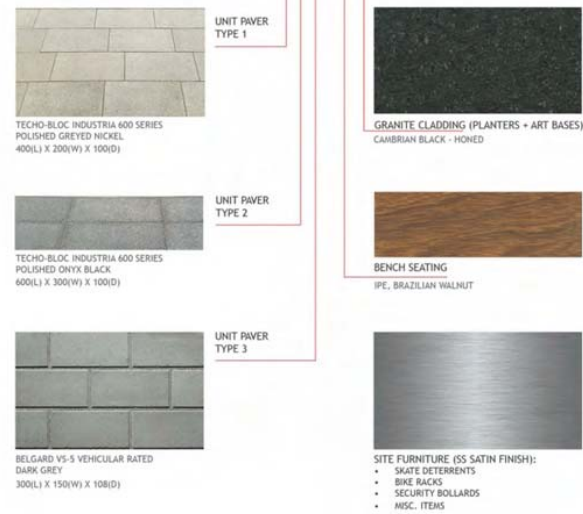












	<b>Glass</b> - SOLARBAN 70(2) Clear + Clear Clear Glass Insulating Glass unit
	<b>Metal</b> - UC701298C Duranar BC Washington White
	<b>Metal</b> - UC106707XL Duranar XL Silver Shadow
	<b>Metal</b> - Fluoropon Classic II Special 15389 CLR-06
	<b>Trespa</b> - French Walnut Matt NW 14
	<b>Glass</b> - SOLARBAN 60(2) <i>Acuity + Acuity</i> Glass Insulating Glass unit
	<b>Granite</b> - Cold Spring Black Diamond 100



	DTR1	Date 6
No	Description	Date

Issued For / Revisions	△
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Project Project Number: 19065

**TWO PARK CENTRAL**

<b>HNC 500 Block II LP</b> <b>by its general partner</b> <b>HNC 500 Block II Inc</b> 507 11 Av SW, Calgary, Alberta	
Legal Description Plan 1811169 Block 70 Lot 48 Development Permit No. DP2020-4338	Building Permit No. DSSP No.

**Gibbs | Gage**  
ARCHITECTS

350,140 10 Ave SE, Calgary, Alberta. T2G 0R1  
Ph: 403.233.2000 Fax: 403-264-2077

 **SCB**

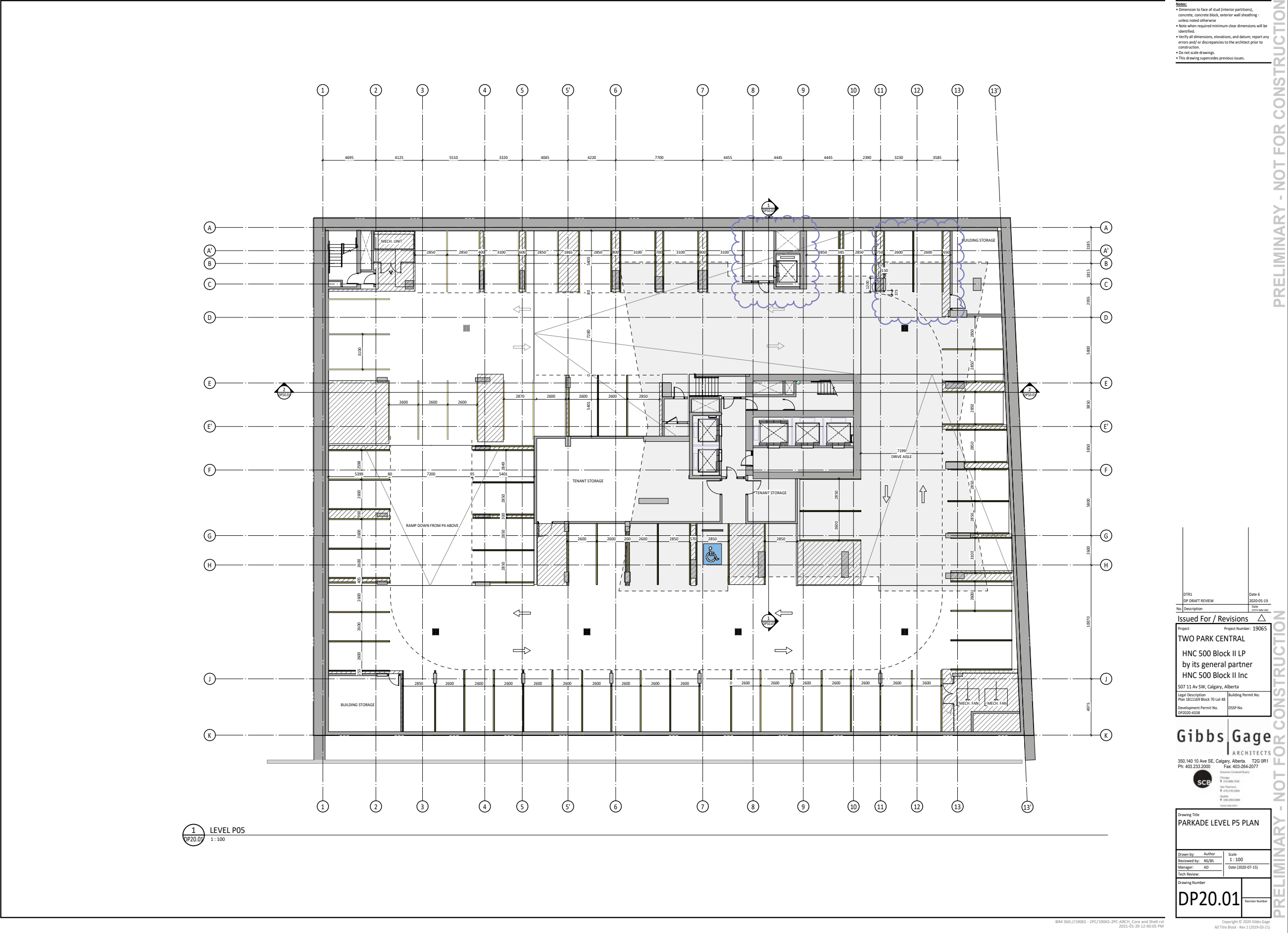
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Drawing Title  
**EXTERIOR MATERIAL  
FINISHES**

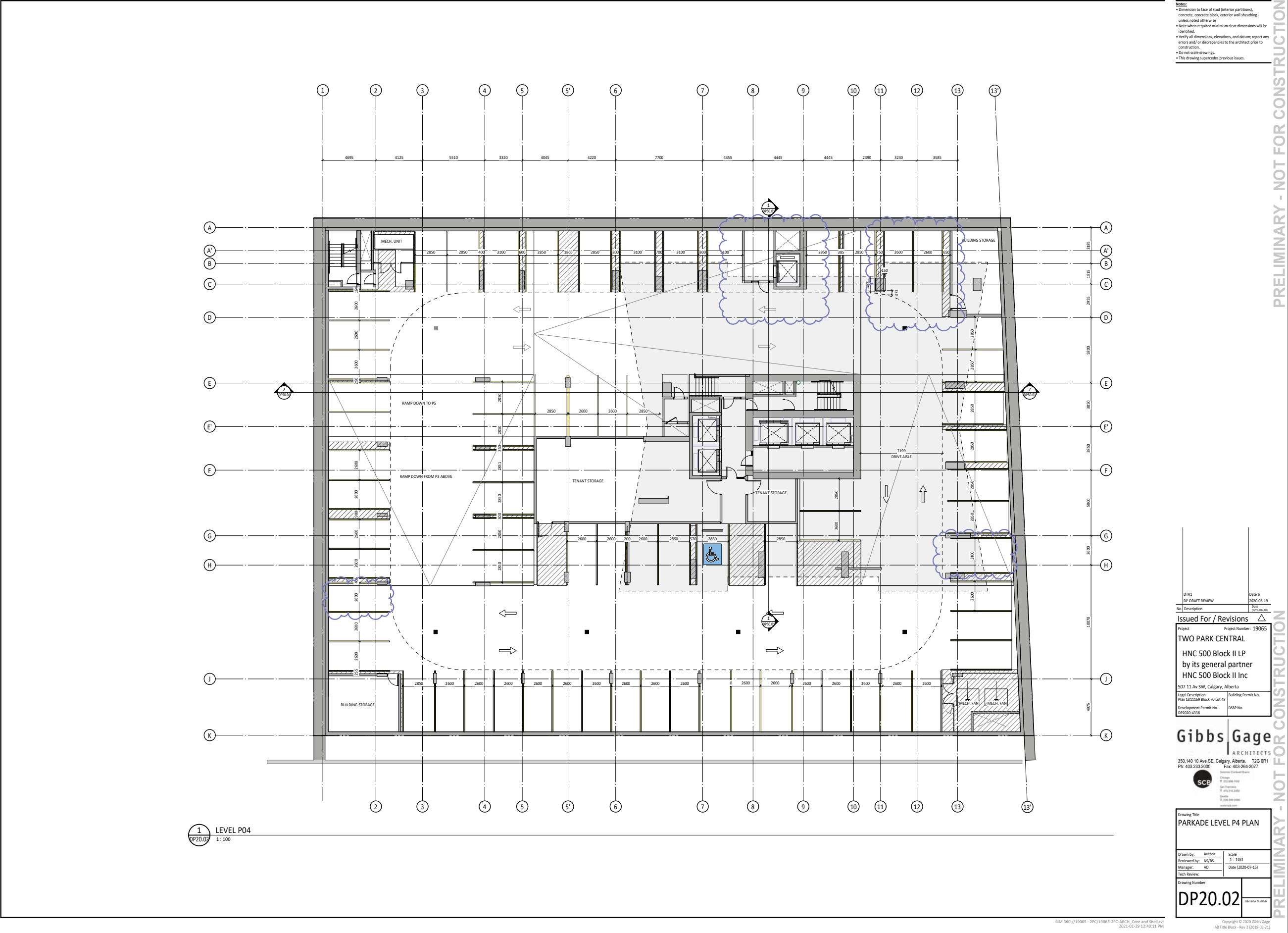
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Manager: AD	Date (2020-07-15)
Tech Review:	

Drawing Number	
DP10.10	Revision Number

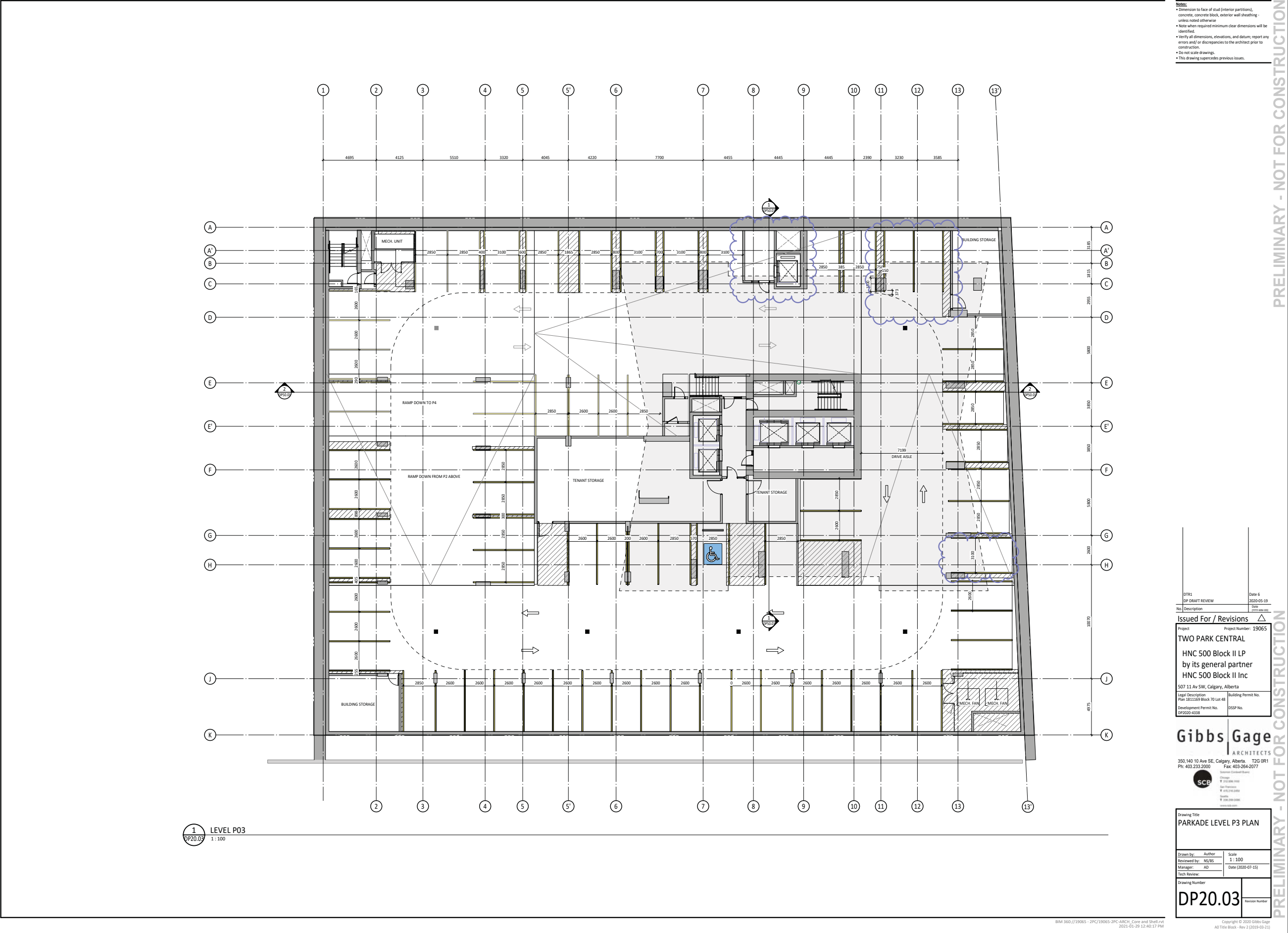




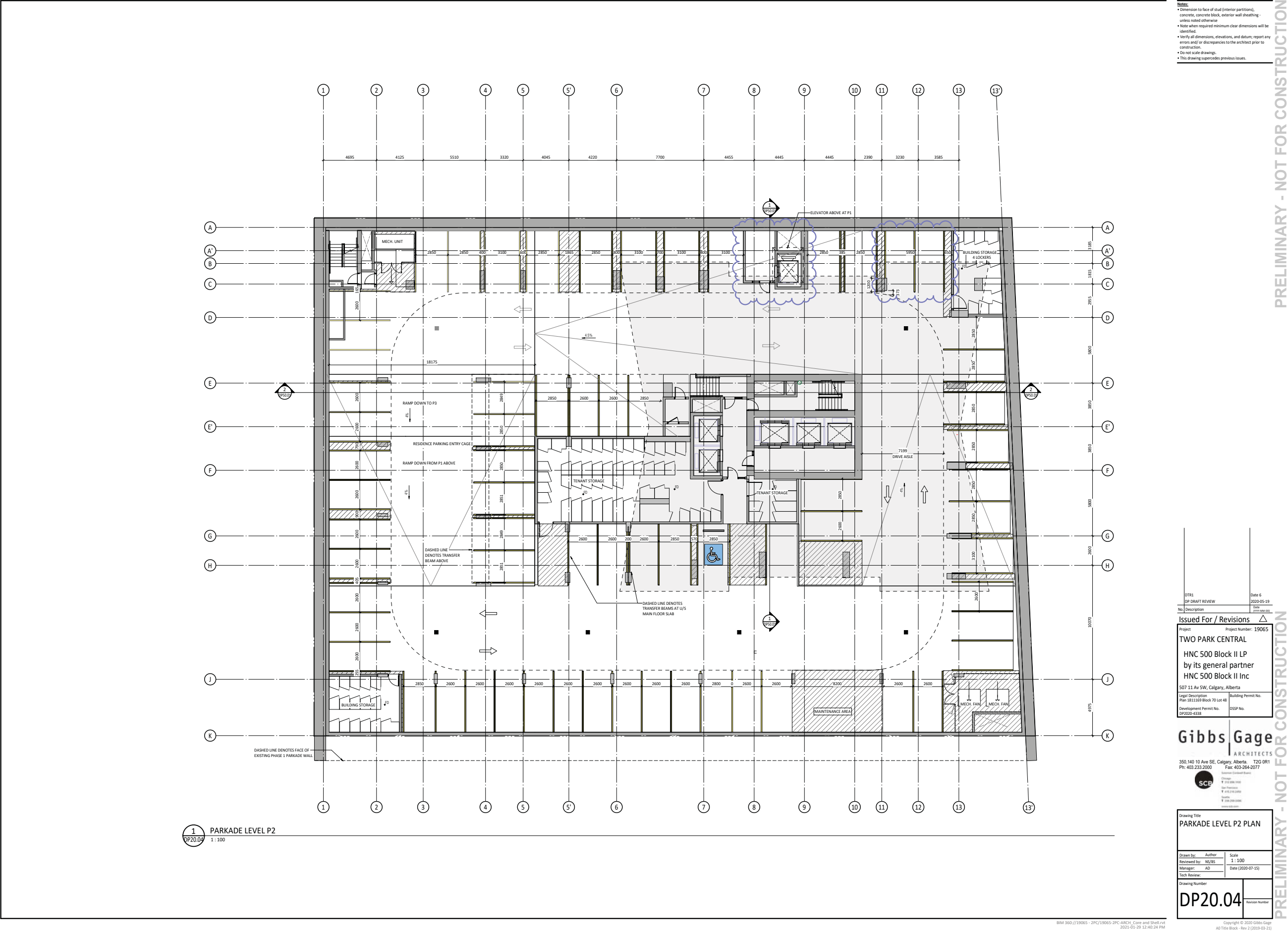




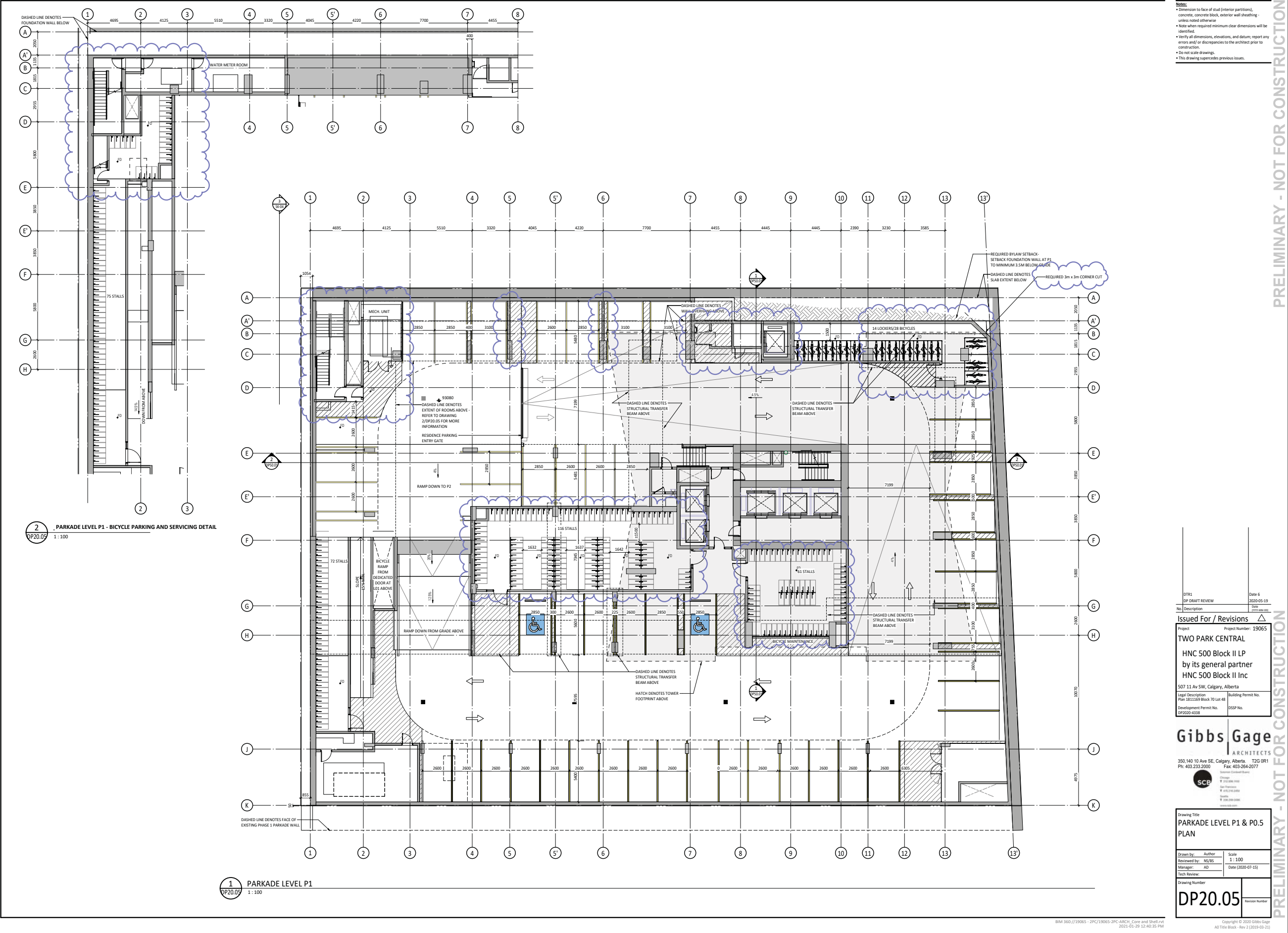




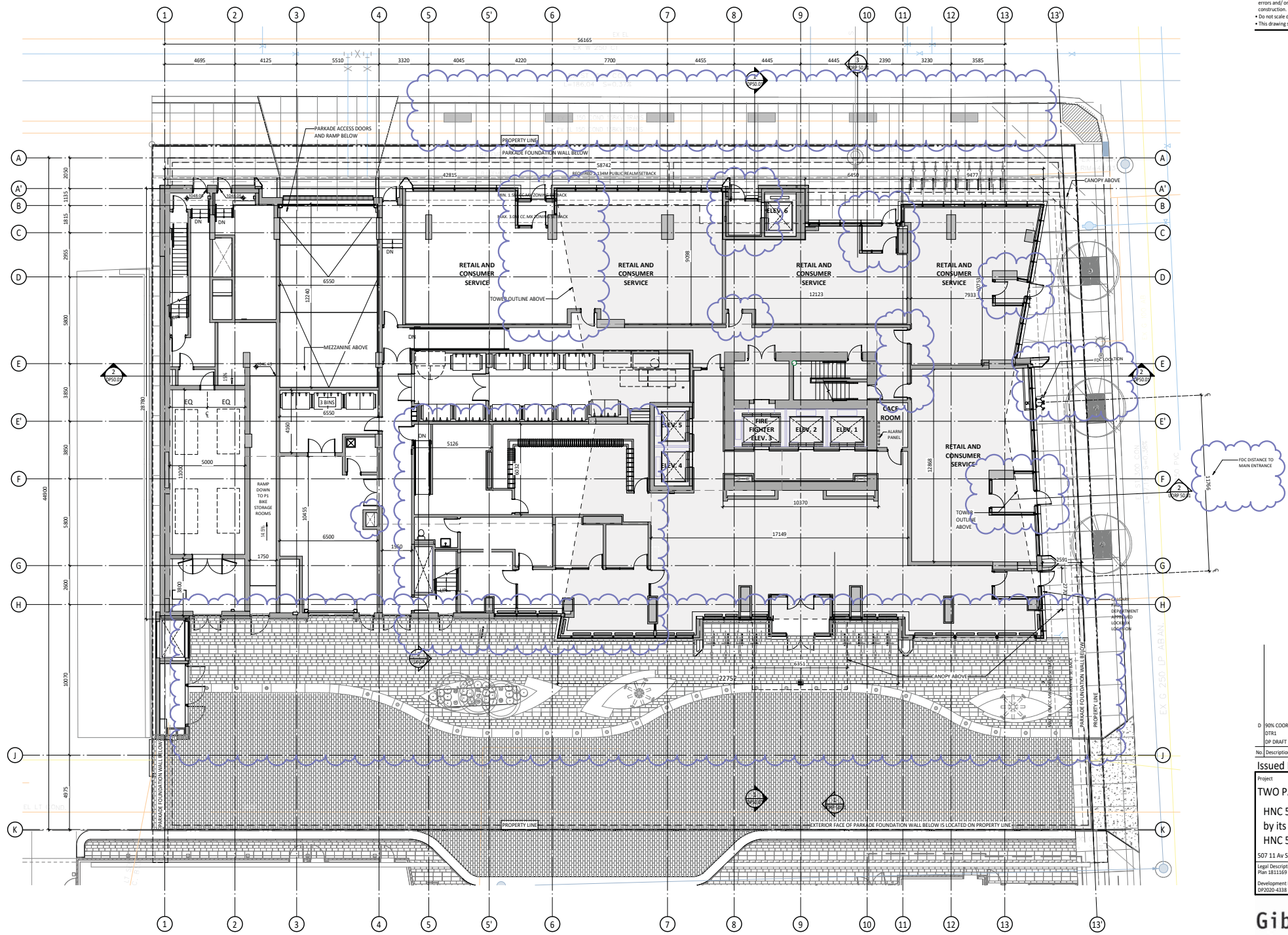












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1 MAIN FLOOR PLAN  
DP20.06 1:100

D 100% COORDINATION	2020-11-12
DT1	Date 6
DP DRAFT REVIEW	2020-05-19
No Description	Date

Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
HNC 500 Block II LP	
by its general partner	
HNC 500 Block II Inc	
507 11 Av SW, Calgary, Alberta	
Legal Description	Building Permit No.
Plan 1811569 Block 70 Lot 48	2020-07-15
Development Permit No.	OSSP No.
DP2000-4338	

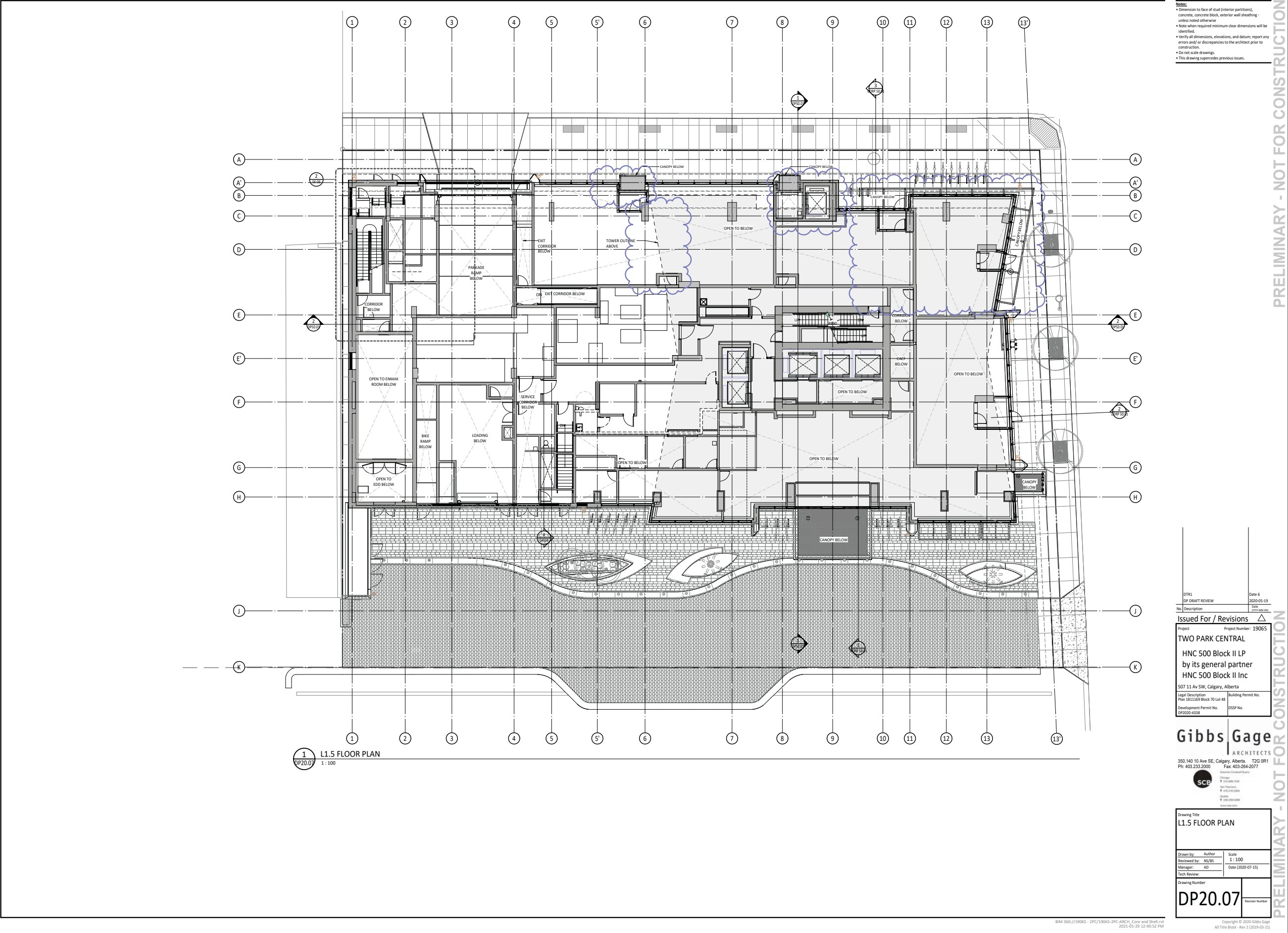
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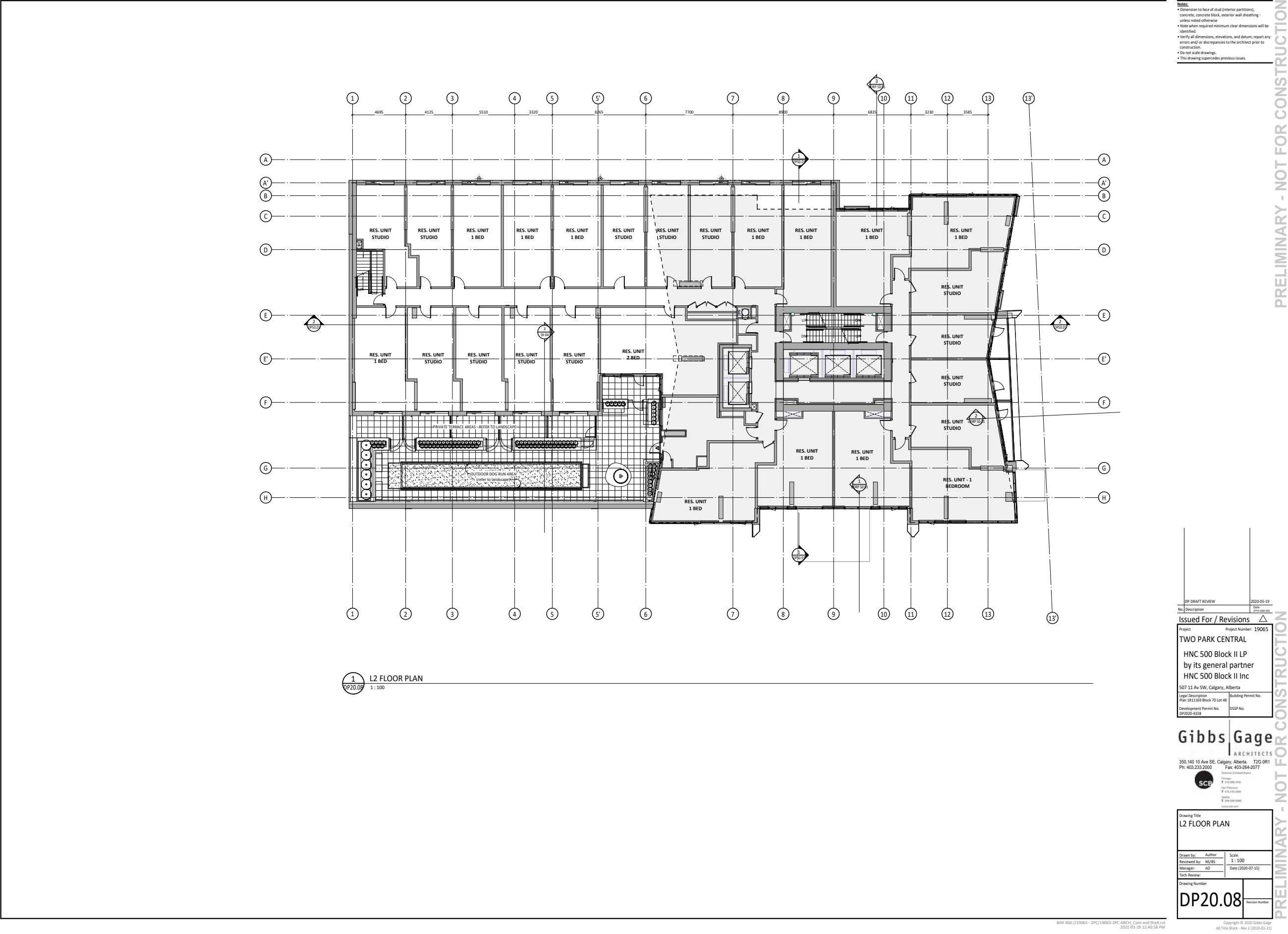
350, 140 10 Ave SE, Calgary, Alberta, T2G 0R1  
Ph: 403.233.2000 Fax: 403.264.2077  
www.gibbsgage.com

Drawing Title	
MAIN FLOOR PLAN	
Drawn by: Author	Scale: 1:100
Reviewed by: NS/BS	Date: 2020-07-15
Manager: AD	2020-11-12
Tech Reviewer:	
Drawing Number	Revision Number
DP20.06	D

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All Title Block - Rev 2 (2019-03-21)



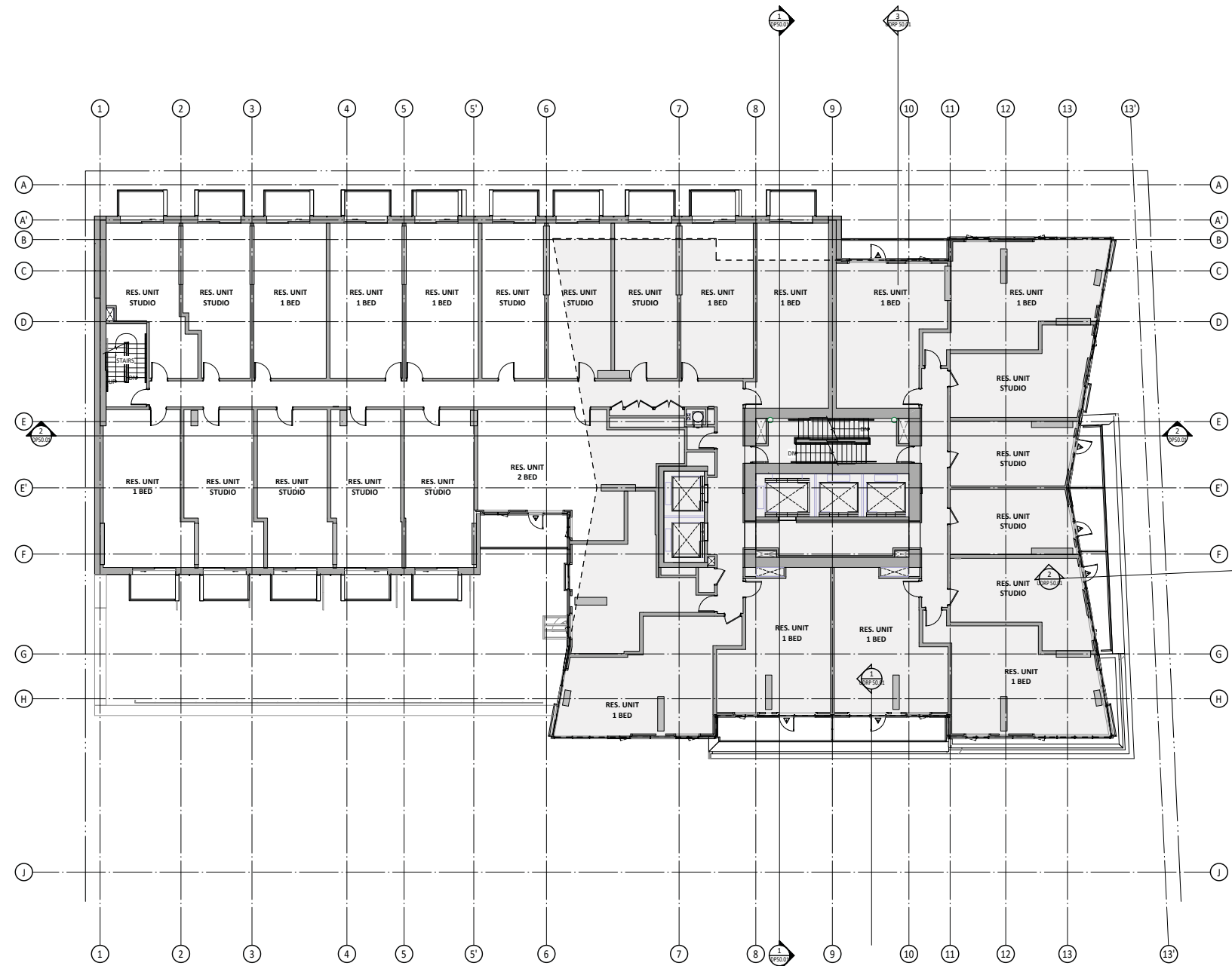







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PRELIMINARY - NOT FOR CONSTRUCTION



1 TYPICAL PODIUM PLAN (L3 - L8)  
DP20.03.1 1:100

	DP DRAFT REVIEW	2020-05-19
No.	Description	Date

Issued For / Revisions 	
Project	Project Number: 19065
TWO PARK CENTRAL	
HNC 500 Block II LP by its general partner HNC 500 Block II Inc	
507 11 Av SW, Calgary, Alberta	
Legal Description Plan 1811169 Block 70 Lot 48	Building Permit No.
Development Permit No. 082020-4336	DSSP No.

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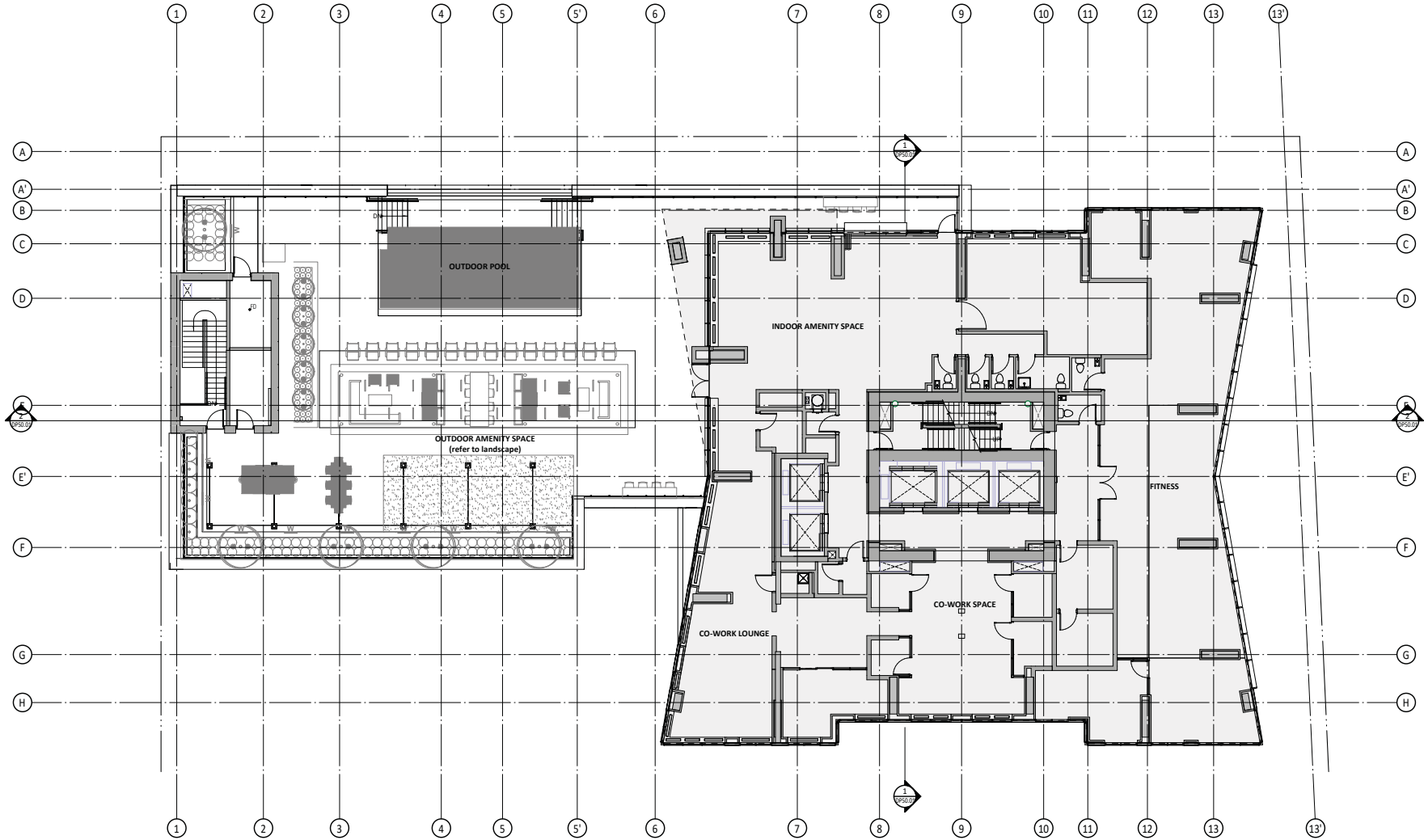
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T 206 259-0000

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Drawing Title  
TYPICAL PODIUM PLAN  
(L3-L8)

Drawn by: Author	Scale 1 : 100
Reviewed by: NS/BS	Date (2020-07-15)
Manager: AD	
Tech Review:	

Drawing Number <b>DP20.09</b>	Revision Number
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1 AMENITY FLOOR PLAN (L9)  
DP20.10 1:100

- Notes:
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise
  - Note when required minimum clear dimensions will be identified.
  - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
  - Do not scale drawings.
  - This drawing supersedes previous issues.

DP DRAFT REVIEW	2020-05-19
No. Description	Date

Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
HNC 500 Block II LP	
by its general partner	
HNC 500 Block II Inc	
507 11 Av SW, Calgary, Alberta	
Legal Description	Building Permit No.
Plan 1811569 Block 70 Lot 4B	
Development Permit No.	OSSP No.
DP2020-4338	

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Ph: 403.233.2000 Fax: 403.264.2077

Owner: HNC 500 Block II LP  
Architect: Gibbs Gage Architects  
Designer: P. 202 008 1018  
Site Planner: P. 202 008 1018  
Builder: P. 202 008 1018  
www.gibbsgage.com

Drawing Title	
AMENITY FLOOR PLAN (L9)	
Drawn by: Author	Scale: 1:100
Reviewed by: NS/BS	Date: (2020-07-15)
Manager: AD	
Tech Reviewer:	
Drawing Number	Revision Number
DP20.10	

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<b>Issued For / Revisions</b> 	
Project	Project Number: 19065
<b>TWO PARK CENTRAL</b> <b>HNC 500 Block II LP</b> <b>by its general partner</b> <b>HNC 500 Block II Inc</b> <b>507 11 Av SW, Calgary, Alberta</b> Legal Description Plan 1811169 Block 70 Lot 48 Development Permit No. DP2020-4338	
Building Permit No. DSSP No.	


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Drawing Title  
TYPICAL TOWER PLAN  
(L10-L39)

Tech Review:	

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OTR1	Date 6
No. Description	Date (YYYY-MM-DD)
<b>Issued For / Revisions</b> 	
Project	Project Number: 19065
<b>TWO PARK CENTRAL</b> <b>HNC 500 Block II LP</b> <b>by its general partner</b> <b>HNC 500 Block II Inc</b> <b>507 11 Av SW, Calgary, Alberta</b>	
Legal Description Plan 1811169 Block 70 Lot 48	Building Permit No.
Development Permit No. DP2020-4338	DSSP No.

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Drawing Title  
**PENTHOUSE AND ROOF  
PLAN**

Tech Review:	
Drawing Number	
DP20.12	Revision Number

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BIM 360://19065 - 2PC/19065-2PC-ARCH\_Core and Shell.rvt  
2021-01-29 12:41:30 PM

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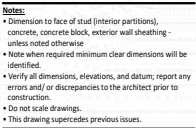




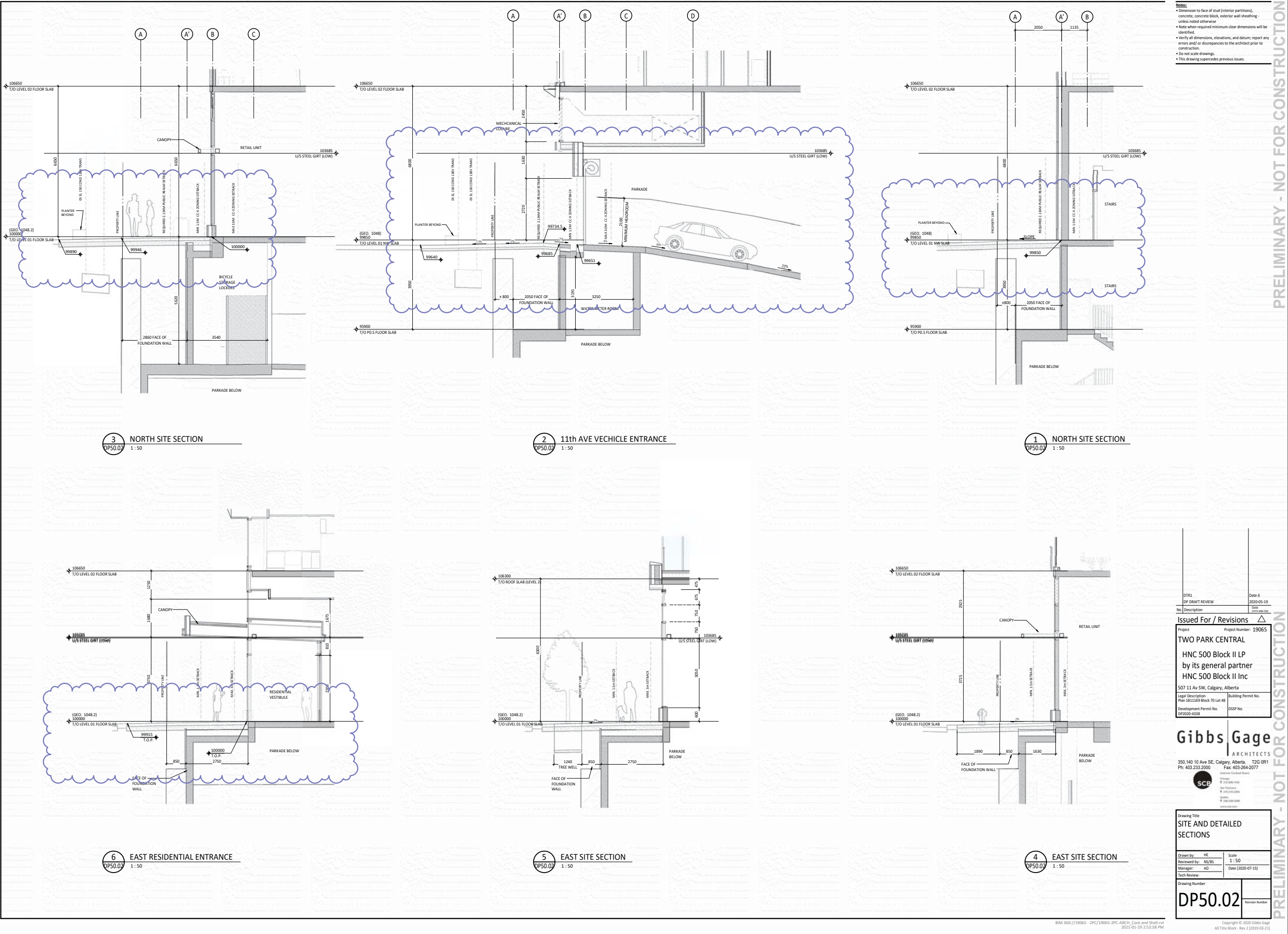




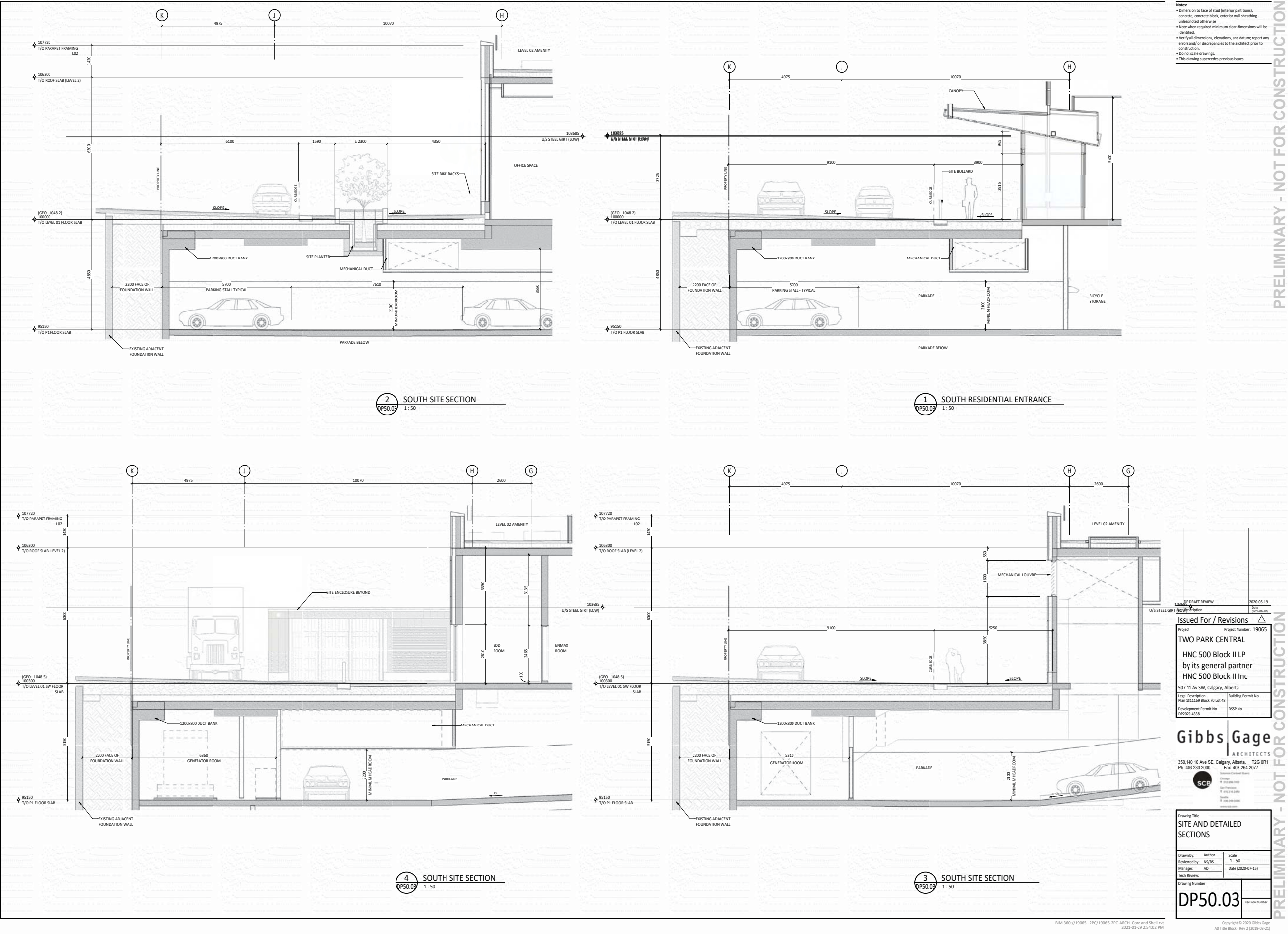




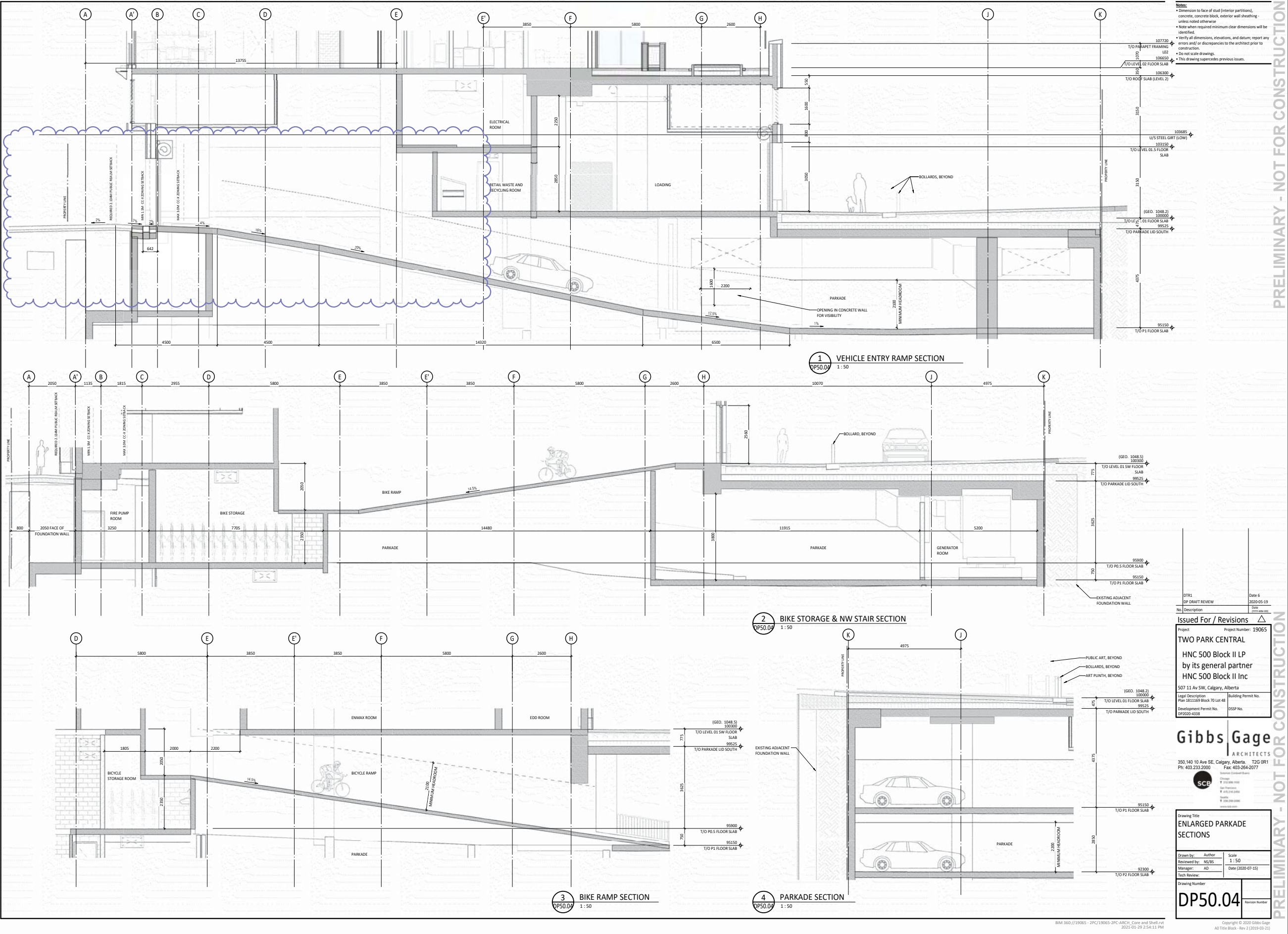




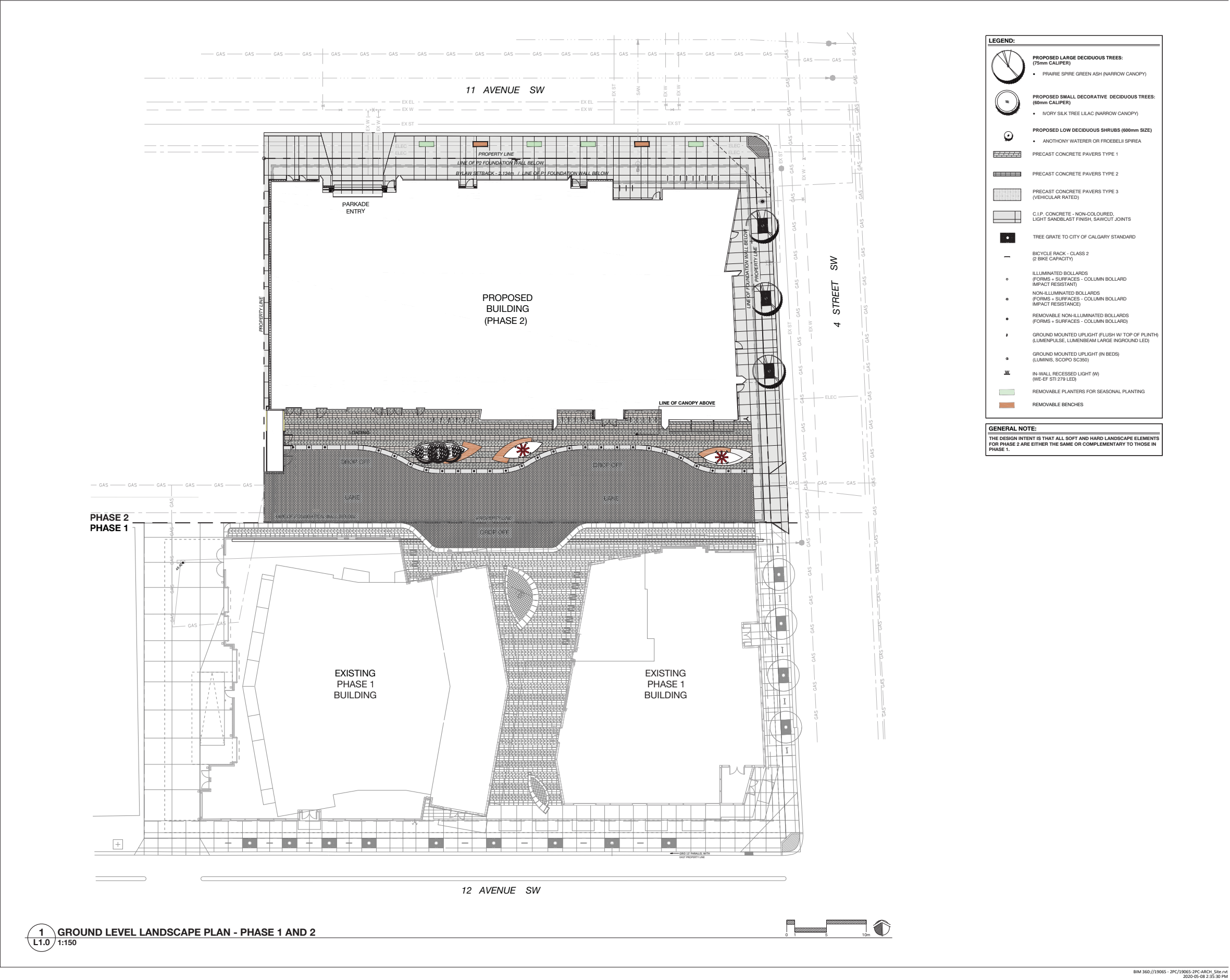












**Notes:**  
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• Do not scale drawings.  
• This drawing supersedes previous issues.

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**LEGEND:**

- PROPOSED LARGE DECIDUOUS TREES: (75mm CALIPER)**
  - PRAIRIE SPIRE GREEN ASH (NARROW CANOPY)
- PROPOSED SMALL DECORATIVE DECIDUOUS TREES: (60mm CALIPER)**
  - IVORY SILK TREE LILAC (NARROW CANOPY)
- PROPOSED LOW DECIDUOUS SHRUBS (600mm SIZE)**
  - ANOTHONY WATERER OR FROEBELII SPIREA
- PRECAST CONCRETE PAVERS TYPE 1
- PRECAST CONCRETE PAVERS TYPE 2
- PRECAST CONCRETE PAVERS TYPE 3 (VEHICULAR RATED)
- C.I.P. CONCRETE - NON-COLOURED, LIGHT SANDBLAST FINISH, SAWCUT JOINTS
- TREE GRATE TO CITY OF CALGARY STANDARD
- BICYCLE RACK - CLASS 2 (2 BIKE CAPACITY)
- ILLUMINATED BOLLARDS (FORMS + SURFACES - COLUMN BOLLARD IMPACT RESISTANT)
- NON-ILLUMINATED BOLLARDS (FORMS + SURFACES - COLUMN BOLLARD IMPACT RESISTANCE)
- REMOVABLE NON-ILLUMINATED BOLLARDS (FORMS + SURFACES - COLUMN BOLLARD)
- GROUND MOUNTED UPLIGHT (FLUSH W/ TOP OF PLINTH) (LUMENPULSE, LUMENBEAM LARGE INGROUND LED)
- GROUND MOUNTED UPLIGHT (IN BEDS) (LUMINIS, SCOPO SC350)
- IN-WALL RECESSED LIGHT (W) (WE-EF ST1278 LED)
- REMOVABLE PLANTERS FOR SEASONAL PLANTING
- REMOVABLE BENCHES

**GENERAL NOTE:**  
THE DESIGN INTENT IS THAT ALL SOFT AND HARD LANDSCAPE ELEMENTS FOR PHASE 2 ARE EITHER THE SAME OR COMPLEMENTARY TO THOSE IN PHASE 1.

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5	ISSUED FOR DTR RESPONSE	2021-01-29
4	ISSUED FOR DP	2020-07-11
3	ISSUED FOR COORDINATION	2020-06-03
2	ISSUED FOR UPDATE	2020-05-28
1	ISSUED FOR SCHEMATIC DESIGN	2020-05-15

No.	Description	Date (YYYY-MM-DD)
Issued For / Revisions		
Project	Project Number: 19065	
TWO PARK CENTRAL		
Calgary, Alberta		
Legal Description	Building Permit No.	
Plan 1811169 Block 70 Lot 48		
Development Permit No.	DSSP No.	

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350, 140 10 Ave SE, Calgary, Alberta T2G 0R1  
Ph: 403.233.2000 Fax: 403.264.2077

Drawing Title	GROUND LEVEL LANDSCAPE PLAN PHASE 1 AND 2	
Drawn by:	FM/AD/GV	Scale 1:150
Reviewed by:	TM	Date (YYYY-MM-DD)
Manager:		2020-05-15
Tech Reviewer:		
Drawing Number	L1.0	
Revision Number		

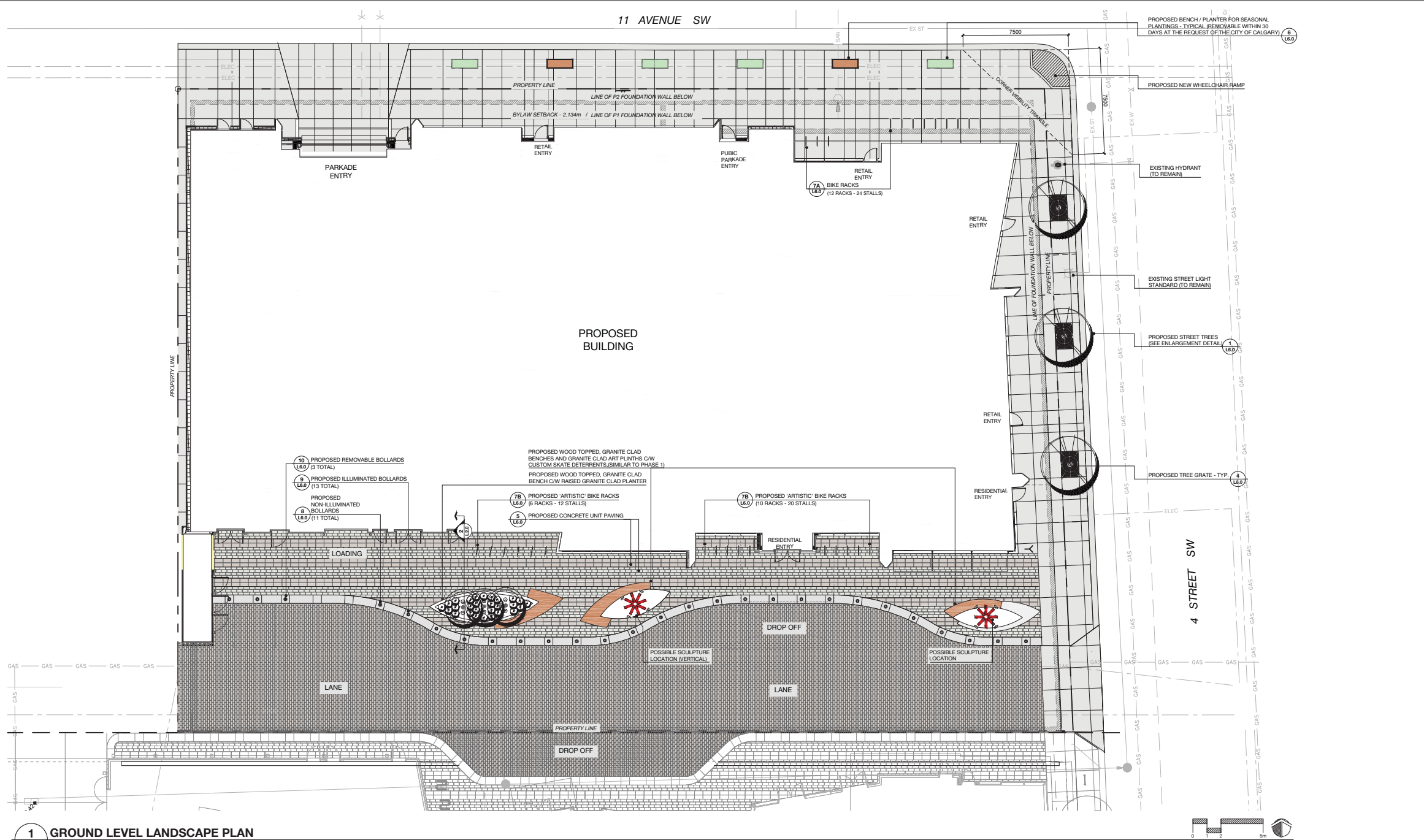
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A0 Title Block - Rev 2 (2019-03-21)

PRELIMINARY - NOT FOR CONSTRUCTION

**Notes:**

- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise
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**1**  
**L2.0**  
**GROUND LEVEL LANDSCAPE PLAN**  
1:100

LANDSCAPE BYLAW REQUIREMENTS:	
ZONING: DC 255D2017 BASED ON CENTRE CITY MIXED USE (CC-X) DISTRICT OF BYLAW 1P2007	
LANDSCAPE AREA REQUIRED	LANDSCAPE AREA PROVIDED:
	• 1,110.74m <sup>2</sup> (AT GRADE) • 196.50m <sup>2</sup> (AT LEVEL 02 - 6.3m ABOVE GRADE) • 597.72m <sup>2</sup> (AT LEVEL 09 - 29.1m ABOVE GRADE)
30% OF PARCEL AREA • (2873.19m <sup>2</sup> X 0.3) = 861.96m <sup>2</sup>	TOTAL LANDSCAPE AREA PROVIDED: 1,894.96m <sup>2</sup>
TREE AND SHRUB QUANTITIES	
TREES REQUIRED:	TREES PROVIDED:
• NO QUANTITY STIPULATED	• DECIDUOUS TREES (PROVIDED ON CITY PROPERTY) 3 • DECIDUOUS PROVIDED (AT GRADE AND WITHIN PARCEL) 3 • DECIDUOUS PROVIDED (ON LEVEL 09 AMENITY) 2
	TOTAL TREES PROVIDED: 8
SHRUBS REQUIRED:	SHRUBS PROVIDED:
• NO QUANTITY STIPULATED	• SHRUBS (PROVIDED AT GRADE) 28 • SHRUBS (PROVIDED ON LEVEL 02 AMENITY) 6 • SHRUBS (PROVIDED ON LEVEL 09 AMENITY) 87 • SHRUBS (PROVIDED ON 39 AMENITY) -
	TOTAL SHRUBS PROVIDED: 121
OUTDOOR BICYCLE STALLS	
CLASS 2 STALL REQUIREMENT: (@ 10 STALLS PER DWELLING UNIT + 5% OF VEHICLE STALL REQUIREMENT)	BICYCLE STALLS PROVIDED AT GRADE: • 16 'ARTISTIC' BIKE RACKS - 2 BIKE CAPACITY (IN SOUTH LANEWAY) 32 • 12 BIKE RACKS - 2 BIKE CAPACITY (NORTH SIDE OF BUILDING) 24
• 56 STALLS	TOTAL BICYCLE STALLS PROVIDED: 56

**LEGEND:**

**PLANT MATERIALS:**

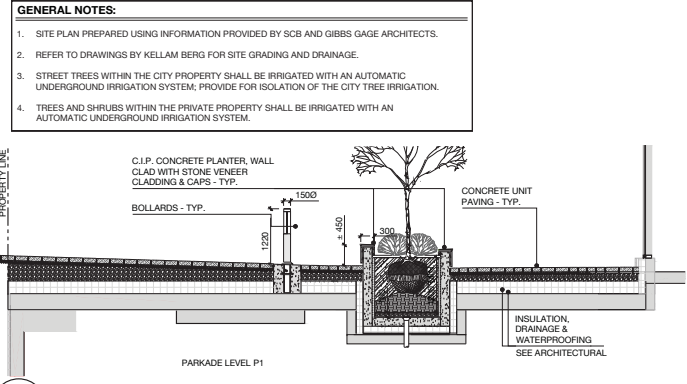
- 3 PROPOSED LARGE DECIDUOUS TREES: (75mm CALIPER)
  - PRAIRIE SPIRE GREEN ASH
- 3 PROPOSED SMALL DECIDUOUS TREES: (75mm CALIPER)
  - IVORY SILK TREE LILAC
- 28 PROPOSED SHRUBS: (600mm HEIGHT / 600mm SPREAD)
  - ANTHONY WATERER SPIREA
  - FROEBELII SPIREA

**SURFACE MATERIALS:**

- PRECAST CONCRETE PAVERS TYPE 1
- PRECAST CONCRETE PAVERS TYPE 2
- PRECAST CONCRETE PAVERS TYPE 3 (VEHICULAR RATED)
- C.I.P. CONCRETE - NON-COLOURED, LIGHT SANDBLAST FINISH, SAWCUT JOINTS

**SITE ELEMENTS:**

- 3 TREE GRATE (TO CITY OF CALGARY STANDARD - SUNBURST)
- 24 BICYCLE RACKS - CLASS 2 (2 BIKE CAPACITY)
- 13 ILLUMINATED BOLLARDS (FORMS + SURFACES - COLUMN BOLLARD IMPACT RESISTANT)
- 11 NON-ILLUMINATED BOLLARDS (FORMS + SURFACES - COLUMN BOLLARD IMPACT RESISTANT)
- 3 REMOVABLE NON-ILLUMINATED BOLLARDS (FORMS + SURFACES - COLUMN BOLLARD)
- 4 PLANTERS FOR SEASONAL PLANTING (REMOVABLE WITHIN 30 DAYS OF CITY REQUEST)
- 2 FREESTANDING BENCHES (REMOVABLE WITHIN 30 DAYS OF CITY REQUEST)
- 8 GROUND MOUNTED UPLIGHT (FLUSH W/ TOP OF PLINTH) (LUMENPULSE, LUMINEAR LARGE INGROUND LED)
- 6 GROUND MOUNTED UPLIGHT (IN PLANTER) (LUMINIS SCOPO SC350)



**2**  
**L2.0**  
**GROUND LEVEL PLANTER SECTION**  
1:50



5	ISSUED FOR DTR RESPONSE	2021-01-29
4	ISSUED FOR DP	2020-07-11
3	ISSUED FOR COORDINATION	2020-06-08
2	ISSUED FOR UPDATE	2020-05-15
1	ISSUED FOR SCHEMATIC DESIGN	2020-05-15
No.	Description	Date (YYYY-MM-DD)

Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
Calgary, Alberta	
Legal Description	Building Permit No.
Plan 1813169 Block 70 Lot 48	125 OR1
Development Permit No.	DESP No.



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Drawing Title	
GROUND LEVEL LANDSCAPE PLAN	
Drawn by: FM/AD/GY	Scale: 1:100
Reviewed by: TM	Date (YYYY-MM-DD): 2020-05-15
Manager:	Tech Reviewer:
Drawing Number: L2.0	Revision Number:

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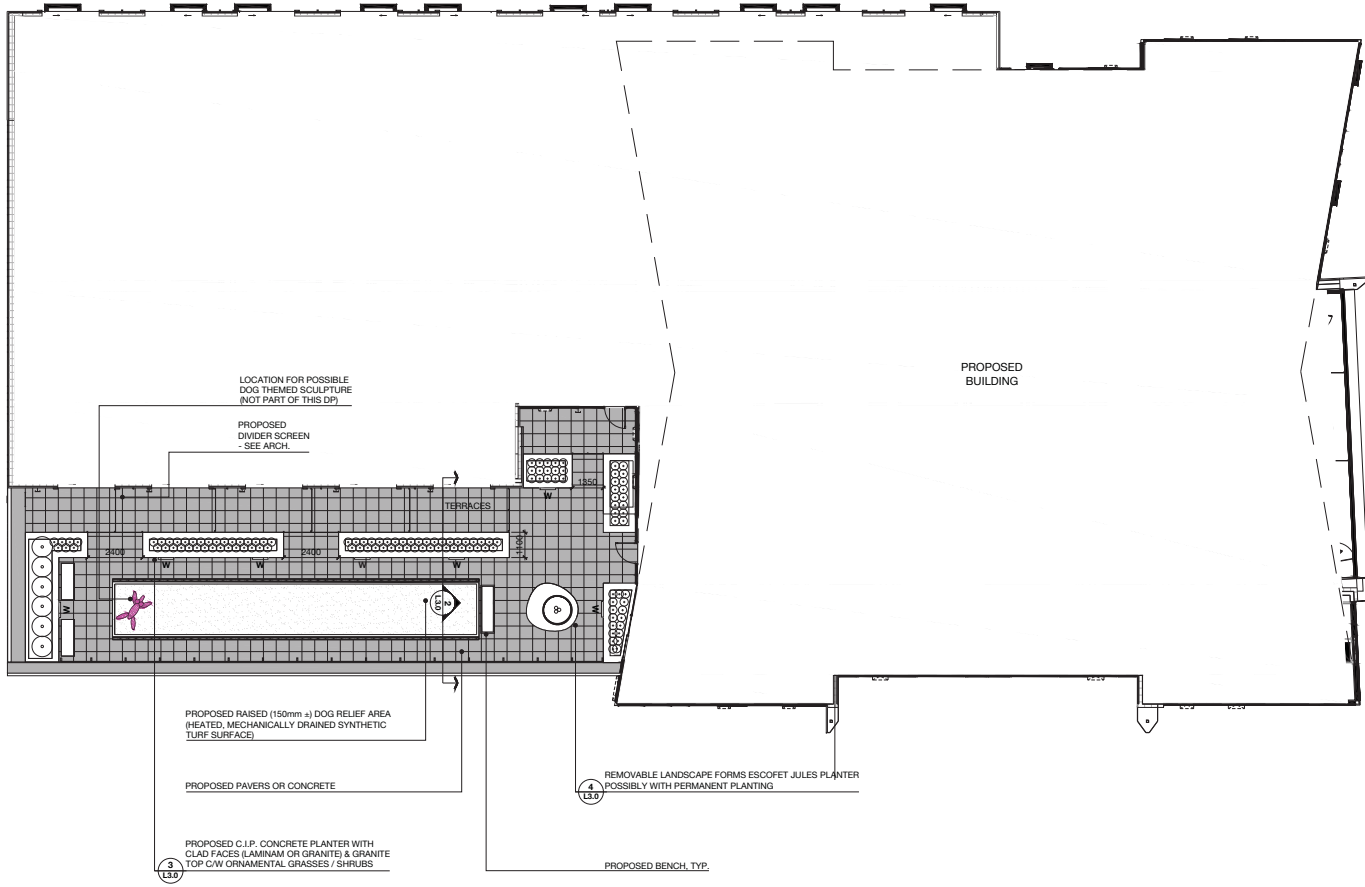


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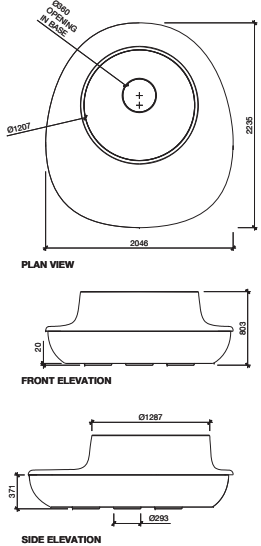
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- This drawing supercedes previous issues.

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**PRODUCT INFORMATION:**  
MANUFACTURER: ESCOFET  
MODEL: JULES  
COLOUR: BLACK / GREY / WHITE OR BEIGE  
DISTRIBUTOR: LANDSCAPE FORMS



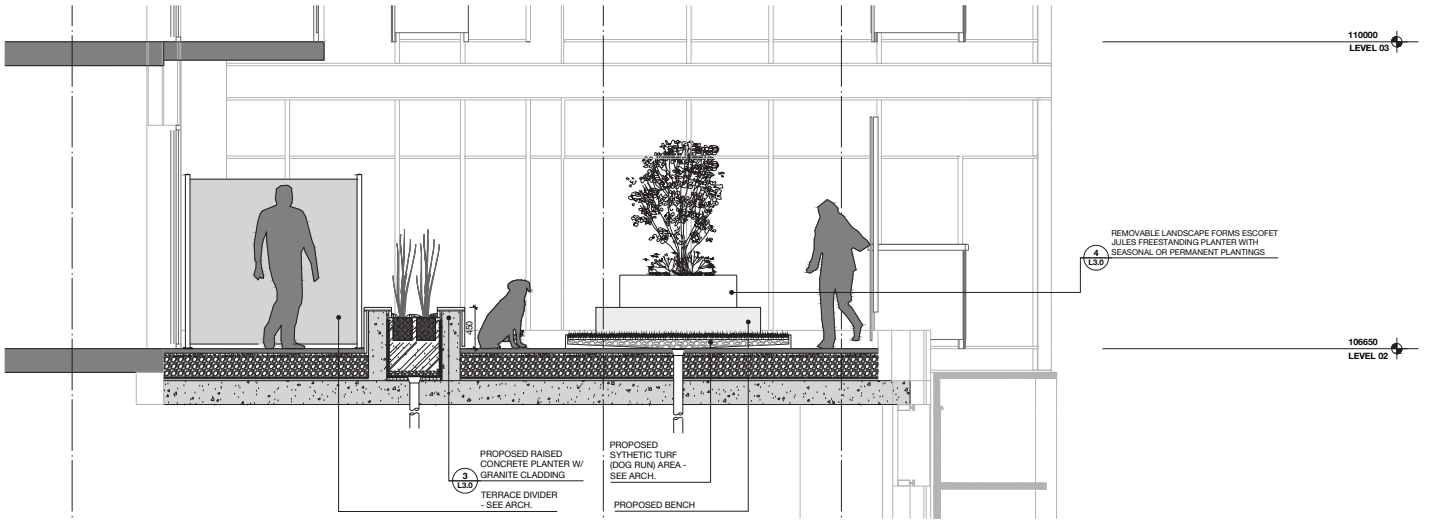
**4 ESCOFET JULES REMOVABLE PLANTER**  
L3.0 1:25

**1 LEVEL 02 - LANDSCAPE PLAN**  
L3.0 1:100

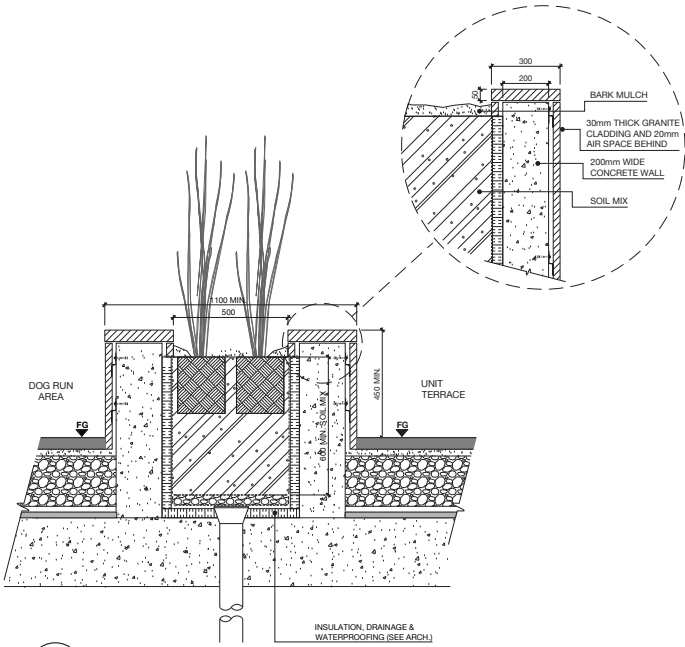
PROPOSED PLANT LIST (2ND FLOOR AMENITY SPACE):		
QTY.	SYMBOL	DESCRIPTION
6		SHRUBS - 16 CONT. (800mm HT.) • DWARF KOREAN LILAC
52		ORNAMENTAL GRASSES OR SHRUBS - 42 CONT. (800mm HT.) • KARL FOERSTER FEATHER REED GRASS • SEMI FALSE SPINNA • DART'S GOLD NINEBARK • ALPINE CURPENT

PROPOSED LIGHT FIXTURES (2ND FLOOR AMENITY SPACE):		
QTY.	SYMBOL	DESCRIPTION
7		IN-WALL RECESSED LIGHT (W) • (WLL-4P ST1 270 LED)

**IRRIGATION NOTE:**  
ALL SHRUB AREAS WILL BE IRRIGATED WITH A LOW FLOW DRIP / BUBBLER AUTOMATED IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS CONFINED TO THE PLANTING BEDS ONLY.



**2 SECTION**  
L3.0 1:25



**3 TYPICAL PLANTER DETAIL SECTION**  
L3.0 1:10

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No.	Description	Date
5	ISSUED FOR DTR RESPONSE	2021-01-29
4	ISSUED FOR DP	2020-07-11
3	ISSUED FOR COORDINATION	2020-06-03
2	ISSUED FOR UPDATE	2020-05-21
1	ISSUED FOR SCHEMATIC DESIGN	2020-05-15

Project: TWO PARK CENTRAL  
Project Number: 19065  
Calgary, Alberta  
Legal Description: Plan 1811169 Block 70 Lot 48  
Building Permit No.:  
Development Permit No.: 255P No.:

**Gibbs Gage** ARCHITECTS  
350, 140 10 Ave SE, Calgary, Alberta, T2G 0R1  
Ph: 403.233.2000 Fax: 403.264.2077

Drawing Title <b>LEVEL 02 LANDSCAPE PLAN</b>	
Drawn by: FM/AD/GT	Scale: AS SHOWN
Reviewed by: TM	Date: (YYYY-MM-DD)
Manager:	2020-05-15
Tech Reviewer:	
Drawing Number <b>L3.0</b>	Revision Number

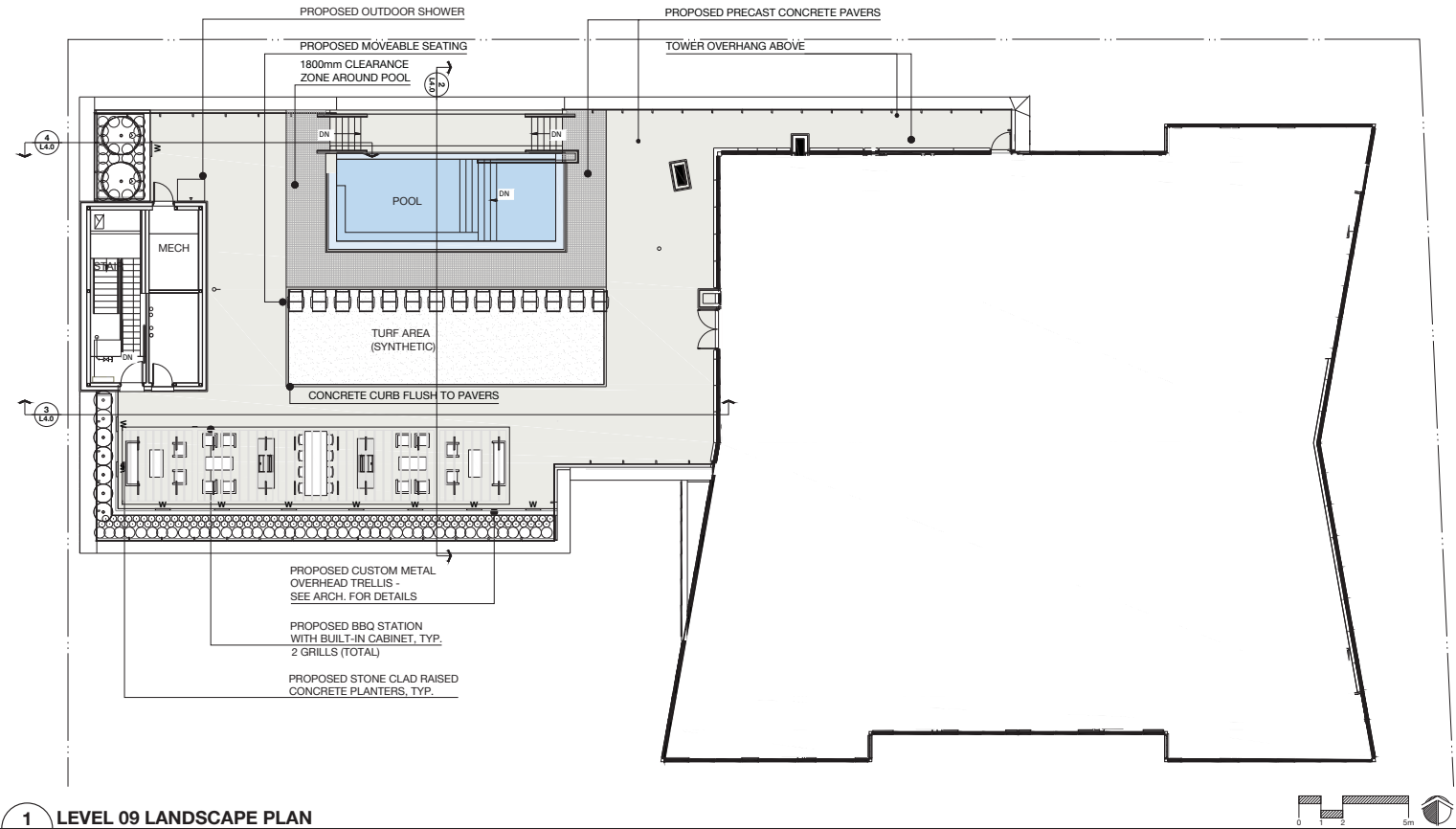
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Notes:  
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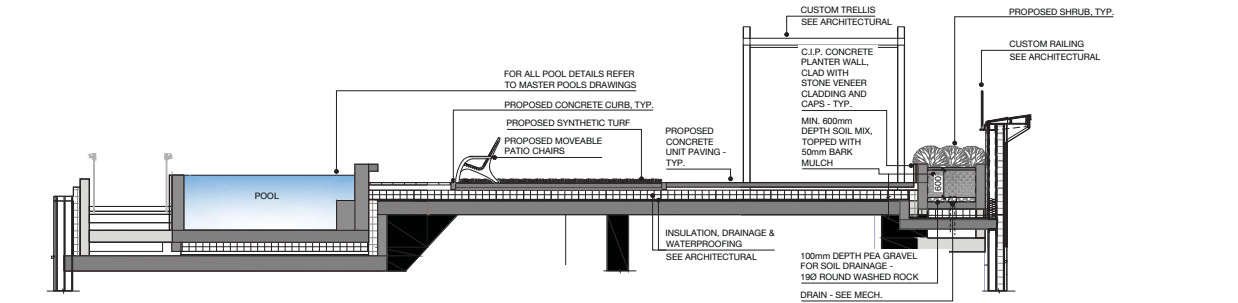
1 LEVEL 09 LANDSCAPE PLAN  
L4.0 1:100



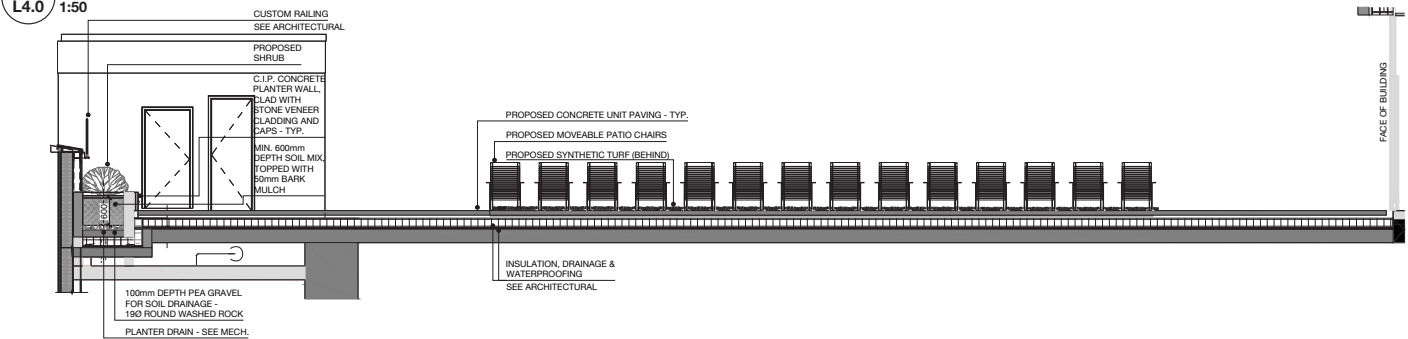
PROPOSED PLANT LIST (9TH FLOOR AMENITY SPACE):		
QTY.	SYMBOL	DESCRIPTION
2		MEDIUM DECIDUOUS TREES (75mm CALIPER) • THUNDERCHILD CRABAPPLE • IVORY SILK TREE LILAC • SPRING SNOW CRAB • GLADIATOR CRABAPPLE
87		SHRUBS (#5 CONTAINER - 2.5m MAX. HEIGHT) • ALFREDO COMPACT CRANBERRY • BARBERRY • FROEBELI OR GOLDMOUND SPIREA • HYDRANGEA • SEM FALSE SPIREA • DWARF KOREAN LILAC • HANSA ROSE • CALGARY CARPET JUNIPER
118		PERENNIALS / GRASSES (#2 CONTAINER) • PERSICARIA / FLEECEFLOWER • DAYLILY • AUTUMN JOY SEDUM • KARL FOERSTER FEATHER REED GRASS • BLUE OAT GRASS

IRRIGATION NOTE:  
ALL TREES AND SHRUB AREAS WILL BE IRRIGATED WITH A LOW FLOW (DRIP / BUBBLER) AUTOMATED IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS CONFINED TO THE TREE AND SHRUB BEDS ONLY.

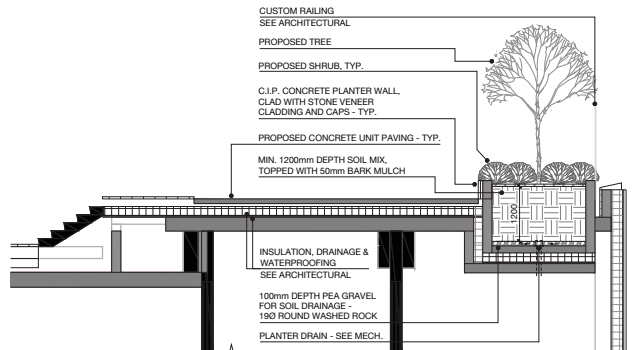
PROPOSED LIGHT FIXTURES:		
QTY.	SYMBOL	DESCRIPTION
20		LED LINEAR LIGHT - SURFACE MOUNTED ON TRELLIS • LED LINEAR - XOOLUM HYDRA IP 67
10		IN-WALL RECESSED LIGHT (W) • WE-EF ST1 279 LED
2		GROUND MOUNTED UPLIGHT (IN BEDS) • LUMINIS SCOPO SC350



2 A-A SECTION / ELEVATION (NORTH TO SOUTH)  
L4.0 1:50



3 B-B SECTION / ELEVATION (WEST TO EAST)  
L4.0 1:50



4 C-C SECTION (THROUGH NW PLANTER)  
L4.0 1:50

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5	ISSUED FOR DTR RESPONSE	2021-01-29
4	ISSUED FOR DP	2020-07-11
3	ISSUED FOR COORDINATION	2020-06-09
2	ISSUED FOR UPDATE	2020-05-21
1	ISSUED FOR SCHEMATIC DESIGN	2020-05-15
No.	Description	Date (YYYY-MM-DD)
Issued For / Revisions		
Project		
Project Number: 19065		
TWO PARK CENTRAL		
Calgary, Alberta		
Legal Description		Building Permit No.
Plan 1811169 Block 70 Lot 48		
Development Permit No.		DSSP No.

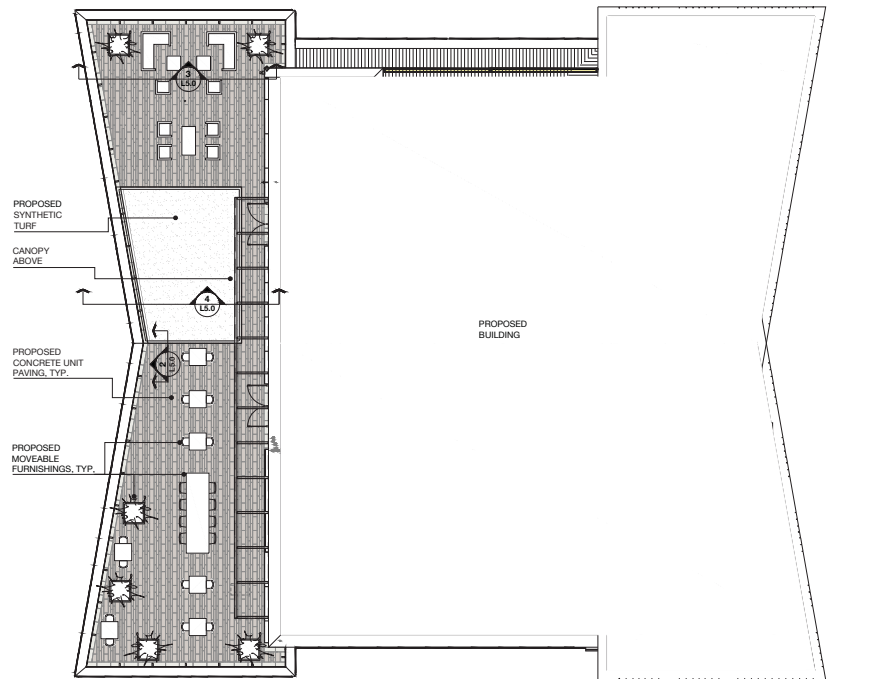
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Drawing Title		Scale	
LEVEL 09 LANDSCAPE PLAN		AS SHOWN	
Drawn by:	FM/AD/GT	Manager:	Date (YYYY-MM-DD)
Reviewed by:	TM	Tech Reviewer:	2020-05-15
Drawing Number		Revision Number	
L4.0			

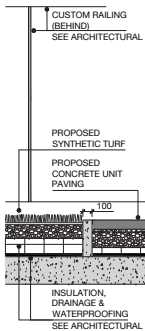
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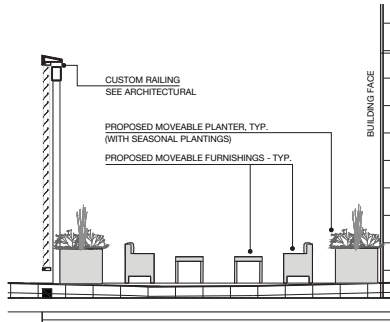




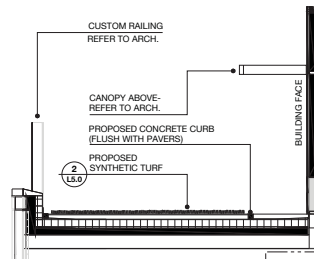
1 LEVEL 39 LANDSCAPE PLAN  
L5.0 1:100



2 SYNTHETIC TURF DETAIL  
L5.0 1:25



3 PATIO SECTION / ELEVATION  
L5.0 1:50



4 SYNTHETIC TURF SECTION  
L5.0 1:50

**Notes:**

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- This drawing supersedes previous issues.

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5	ISSUED FOR DTR RESPONSE	2021-01-29
4	ISSUED FOR DP	2020-07-13
3	ISSUED FOR COORDINATION	2020-06-03
2	ISSUED FOR UPDATE	2020-05-21
1	ISSUED FOR SCHEMATIC DESIGN	2020-05-15

No.	Description	Date (YYYY-MM-DD)
Issued For / Revisions		
Project		
Project Number: 19065		
TWO PARK CENTRAL		
Calgary, Alberta		
Legal Description	Building Permit No.	
Plan 1811169 Block 70 Lot 48		
Development Permit No.	DSSP No.	

**Gibbs | Gage** ARCHITECTS


350, 140 10 Ave SE, Calgary, Alberta T2G 0R1  
Ph: 403.233.2000 Fax: 403.264.2077

Drawing Title	
LEVEL 39 LANDSCAPE PLAN	
Drawn by: FM/AD/GV	Scale AS SHOWN
Reviewed by: TM	Date (YYYY-MM-DD) 2020-05-15
Manager:	Tech Reviewer:
Drawing Number L5.0	Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION



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5	ISSUED FOR DTR RESPONSE	2021-01-29
4	ISSUED FOR DP	2020-07-13
3	ISSUED FOR COORDINATION	2020-06-03
2	ISSUED FOR UPDATE	2020-05-28
1	ISSUED FOR SCHEMATIC DESIGN	2020-05-15
No. Description		DWG. Description
Issued For / Revisions		
Project	Project Number: 19065	
TWO PARK CENTRAL		
Calgary, Alberta		
Legal Description	Building Permit No.	
Plan 1811469 Block 70 Lot 48		
Development Permit No.	DSSP No.	

350,140 10 Ave SE, Calgary, Alberta. T2G 0R1  
Ph: 403.233.2000 Fax: 403-264-2077

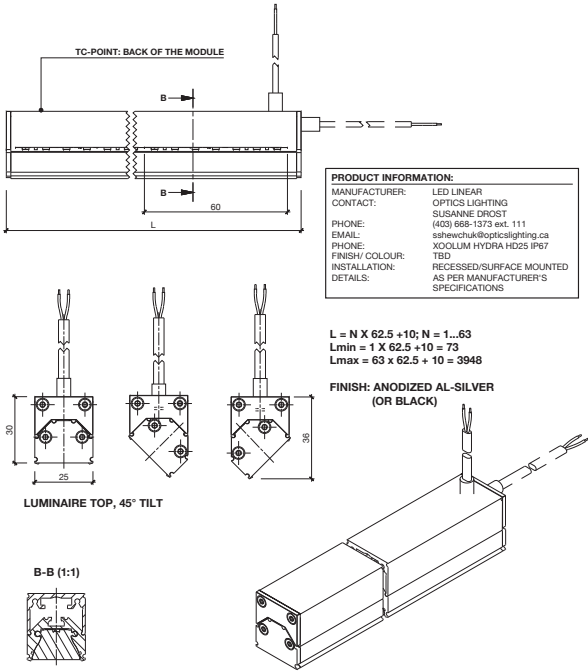
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1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	

Drawing Number	
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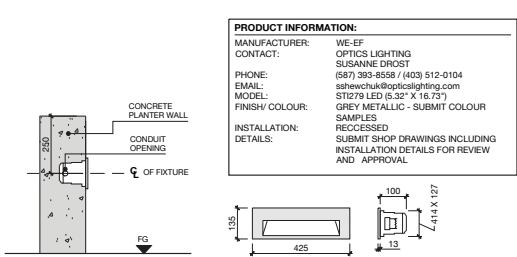
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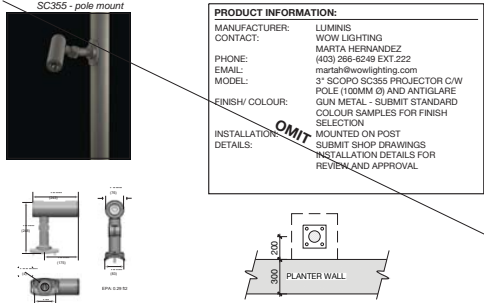




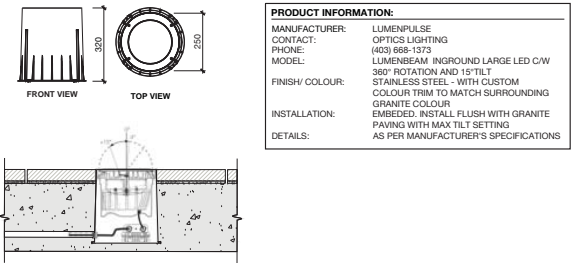
1 LED LINEAR LIGHT (MOUNTED ON 9TH LEVEL TRELLIS)  
L7.0 1:20



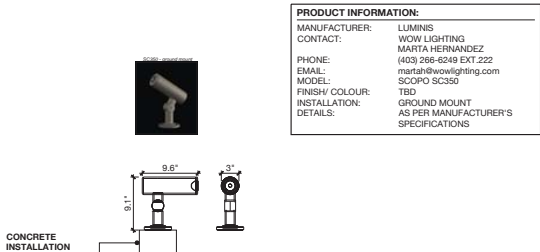
2 IN-WALL RECESSED LIGHT DETAIL  
L7.0 1:10



3 SPOT LIGHT / TASK LIGHT DETAIL (REMOVED)  
L7.0 1:10



4 IN-GROUND UPLIGHT DETAIL (FLUSH WITH TOP OF ART PLINTHS)  
L7.0 1:10



5 TREE UPLIGHT (IN PLANTING BEDS)  
L7.0 1:10

Notes:

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- This drawing supersedes previous issues.

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No.	Description	Date (mm/dd/yyyy)
5	ISSUED FOR DTR RESPONSE	2021-01-29
4	ISSUED FOR DP	2020-07-11
3	ISSUED FOR COORDINATION	2020-06-01
2	ISSUED FOR UPDATE	2020-05-21
1	ISSUED FOR SCHEMATIC DESIGN	2020-05-15

Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
Calgary, Alberta	
Legal Description	Building Permit No.
Plan 1811169 Block 70 Lot 48	
Development Permit No.	DSSP No.

Gibbs | Gage  
ARCHITECTS  
350, 140 10 Ave SE, Calgary, Alberta T2G 0R1  
Ph: 403.233.2000 Fax: 403.264.2077

Drawing Title	
LANDSCAPE LIGHTING	
Drawn by: FM/AD/GV	Scale: AS SHOWN
Reviewed by: TM	Date: (YYYY-MM-DD)
Manager:	2020-05-15
Tech Review:	
Drawing Number	Revision Number
L7.0	

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AD Title Block - Rev 2 (2019-03-21)

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PRELIMINARY - NOT FOR CONSTRUCTION

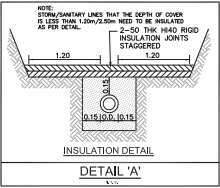
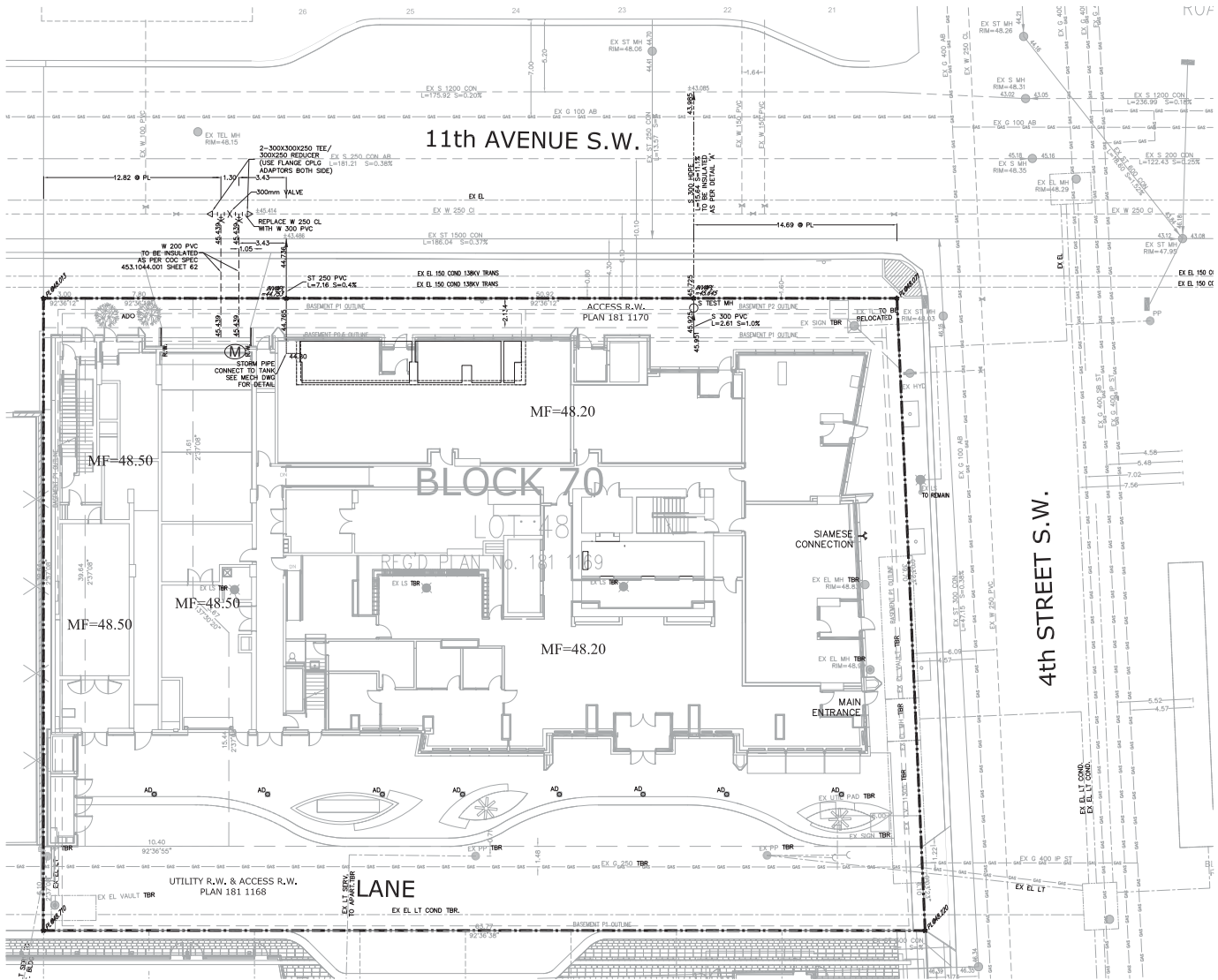




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CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS  
3600 - 1A ST. SW. CALGARY, AB T2H 0G1  
PHONE: (403) 640-0800 FAX: (403) 640-0878

- Notes:**
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  - This drawing supercedes previous issues.

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GLENMORE PRESSURE ZONE	
TOP OF WATER LEVEL	1116
TOP OF PRESSURE ZONE	1086
PRV SETS	1060
THEREFORE	PRV IS REQUIRED

• PRESSURE REDUCING VALVES (PRVs) ARE REQUIRED WHEN THE STATIC WATER PRESSURE EXCEEDS 56m (79.6 Psi)

IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE STATIC PRESSURE, PRIOR TO INSTALLING THE WATER METER.

LEGEND:	PROPOSED	EXISTING
STORM SEWER	ST 250 PVC	EX ST 250 PVC
SANITARY SEWER	S 250 PVC	EX S 250 PVC
WATER MAIN	W 250 PVC	EX W 250 PVC
CATCHBASIN		
MANHOLE		
MANHOLE GRATED TOP		
WATER VALVE		
FIRE HYDRANT		
CAPPED PIPE END		
WATER METER		
REDUCER		
CHECK VALVE		
TRAFFIC LIGHT BASE		
LIGHT STANDARD		
INSULATED PIPE		
DRAINAGE CHANNEL		
SITE BOUNDARY		
TO BE ABANDONED	TBA	
TO BE REMOVED	TBR	

0	FOR TENDER	2021-01-29
No.	Description	Date

Issued For / Revisions	
Project	Project Number: 19065
TWO PARK CENTRAL	
HNC 500 Block II LP	
by its general partner	
HNC 500 Block II Inc	
507 11 Av SW, Calgary, Alberta	
Legal Description	Building Permit No.
Plan 1811169 Block 70 Lot 48	
Development Permit No.	DSSP No.
DP2020-4338	

**Gibbs Gage**  
ARCHITECTS

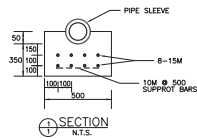
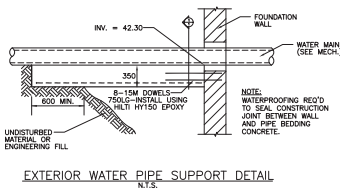
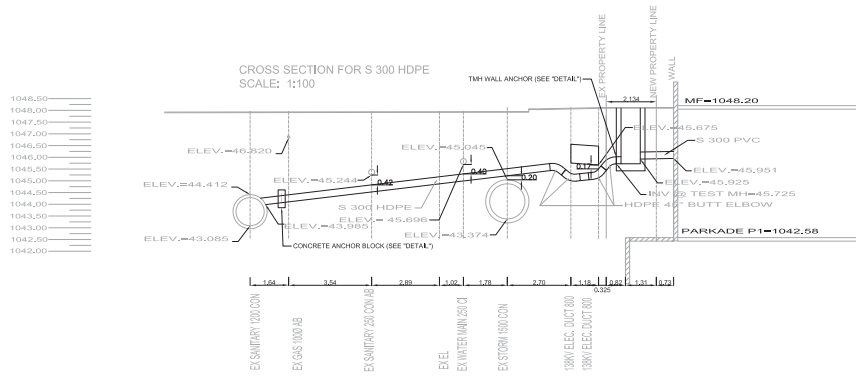
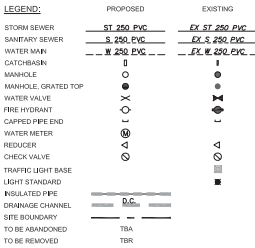
350,140 10 Ave SE, Calgary, Alberta. T2G 0G1  
Ph: 403.233.2000

**SCB**  
Sustainable Construction Bureau  
Calgary  
# 200-988-1000  
San. Permit No.  
# 478,278,280  
Issued  
# 208,208,2000  
www.scb.ca

Drawing Title SITE SERVICING PLAN	
Drawn by: VA	Scale 1 : 150
Reviewed by: IMG	
Manager:	2020-01-29
Tech Review:	
Drawing Number C01A	Revision Number 0


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LEGEND	PROPOSED	EXISTING
STORM SEWER	ST 250 PVC	EX ST 250 PVC
SANITARY SEWER	S 250 PVC	EX S 250 PVC
WATER MAIN	W 250 PVC	EX W 250 PVC
CATCHBASIN		
MANHOLE		
MANHOLE, GRATED TOP		
WATER VALVE		
REEL PUMP		
CAPPED PIPE END		
WATER METER		
REDUCER		
CHECK VALVE		
TRAFFIC LIGHT BASE		
LIGHT STANDARD		
INDUSTRIAL PIPE		
DRAINAGE CHANNEL		
SITE BOUNDARY		
TO BE ABANDONED	TBA	
TO BE REMOVED	TBR	

0	FOR TENDER	2021-01-25
No	Description	Date (YYYY-MM-DD)

<p><b>Issued For / Revisions</b> </p> <p>Project _____ Project Number: 19065</p>	
<p><b>TWO PARK CENTRAL</b></p>	
<p>Calgary, Alberta</p>	
<p>Legal Description Plan 1811169 Block 70 Lot 48</p>	<p>Building Permit No.</p>
<p>Development Permit No.</p>	<p>DSSP No.</p>

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Ph: 403.233.2000 Fax: 403-264-2077

Drawing Title  
DETAIL  
PLAN

Drawn by: VA	Scale
Reviewed by: MG	1 : 150
Manager:	2020-01-29
Tech Review:	
Drawing Number	

C01BReview

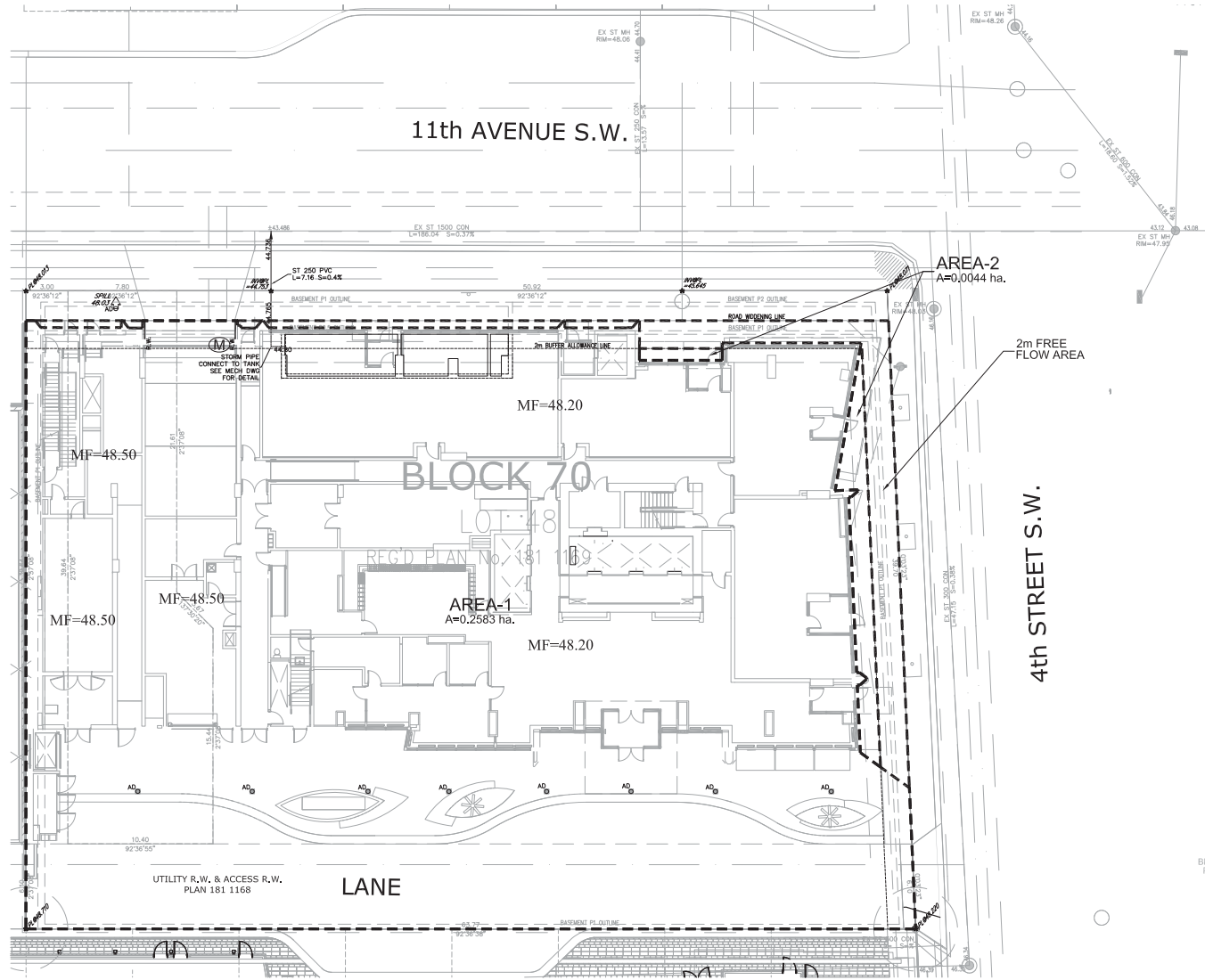






- Notes:**
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  - Note when required minimum clear dimensions will be identified.
  - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
  - Do not scale drawings.
  - This drawing supersedes previous issues.
- NOTES:**
1. ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
  2. ALL DIMENSIONS ARE IN METERS AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
  3. ALL ELEVATIONS REFERENCED TO 100 m GEODETIC DATUM.
  4. ALL CONCRETE SHALL BE SULPHATE RESISTANT CONCRETE TYPE 30.
  5. SEE SITE SERVICING PLAN FOR STORM SEWER DESIGN.

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**STORM CALCULATIONS**  
AS PER CITY OF CALGARY DIRECTION, UNIT AREA RELEASE RATE FOR THE SITE SHALL BE 50 L/s/ha.  
TOTAL ON-SITE AREA = 0.2738 ha.  
UNIT AREA RELEASE RATE = 50 L/s/ha.  
TOTAL ALLOWABLE FLOW INTO STORM MAIN  
 $Q_t = 50 \times 0.2738 = 13.7 \text{ L/s}$

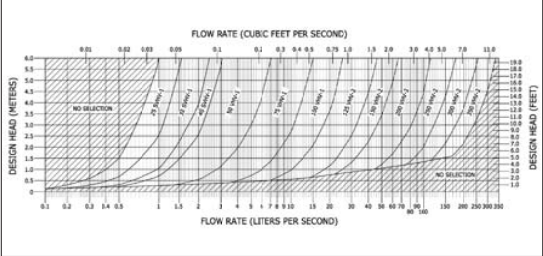
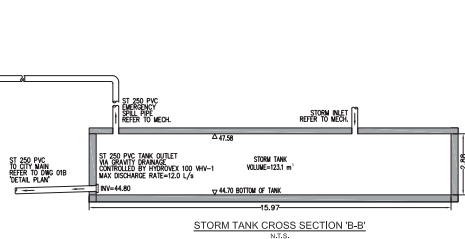
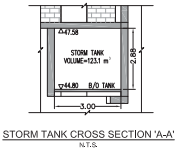
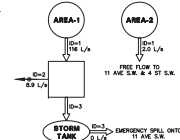
**SEE ATTACHED SHIMMYO OUTLINE FILE FOR MODELLING DETAILS 100 YEAR - 1:1 SCALE CHICAGO STORM 3 MINUTE TIME STEP.**

**AREA-1 (TO RETENTION TANK)**  
TOTAL AREA = 0.2583 ha.  
ROOF AREA @ C=1.0 ----- 0.1751 ha.  
CONCRETE AREA @ C=0.9 ----- 0.0620 ha.  
GRASS AREA @ C=0.3 ----- 0.0012 ha.  
 $C_p = 1.00(1.75(1+0.9(0.0620+0.3(0.0012))) = 0.965$   
 $\therefore Q_p = 116 \text{ L/s (1-100 year) from SHIMMYO Model}$   
**FLOW RESTRICTION**  
USING HYDROCK VERTICAL VORTEX FLOW REGULATOR, MODEL 100 VHV-1:  
MAX DESIGN DISCHARGE,  $Q = 12.0 \text{ L/s}$   
MAX DESIGN HEAD,  $H = 3.10 \text{ m}$   
 $\therefore Q_p = 116 \text{ L/s (1-100 year) from SHIMMYO Model}$

**PONDING**  
STORMWATER RETENTION TANK  
 $S_{\text{water}} = 80.8 \text{ m}^2$  (FROM MODELLING)  
 $S_{\text{water}} = 12.1 \text{ m}^2 \times 80.8 \text{ m} = 978 \text{ m}^3$  OK  
**AREA-2 (FREE FLOW)**  
ADDITIONAL FREE FLOW AREA BEYOND THE 2m BUFFER ZONE FROM PL.  
TOTAL AREA = 0.0044 ha.  
ROOF AREA @ C=1.0 ----- 0.0000 ha.  
CONCRETE AREA @ C=0.9 ----- 0.0044 ha.  
GRASS AREA @ C=0.3 ----- 0.0000 ha.  
 $C_p = 1.00(1+0.9(0.0044+0.3(0))) = 0.900$   
 $\therefore Q_p = 2.0 \text{ L/s (1-100 year) from SHIMMYO Model}$   
**FLOW RESTRICTION**  
NONE. FREE FLOW TO 11 AVE S.W. & 4 ST S.W.  
 $\therefore Q_t = 2.0 \text{ L/s}$   
**TOTAL FLOW INTO STORM SEWER FROM SITE**  
 $= 8.9 + 2.0 = 10.9 \text{ L/s}$   
 $10.9 \text{ L/s} < 13.1 \text{ L/s} \therefore \text{OK}$

100 VHV-1 @ RETENTION TANK

WATER HEAD (FLOW RATE)	Q (L/s)
0.30	0.6
0.60	1.2
0.90	1.8
1.20	2.4
1.50	3.0
1.80	3.6
2.10	4.2
2.40	4.8
2.70	5.4
3.00	6.0



- LEGEND:**
- PROPERTY LINE
  - EASEMENT
  - STORM SEWER
  - CATCHMENT AREA BOUNDARY
  - MAIN FLOOR ELEVATION
  - CATCH BASIN WITH RIM ELEVATION
  - GRADED TOP MANHOLE WITH RIM ELEVATION
  - MANHOLES WITH RIM ELEVATION
  - TRAP LOW
  - OVERLAND ESCAPE ROUTE (Greater than 1:100 Year Flow)
  - OVERLAND FLOW ROUTE
  - CITY OF CALGARY INLET
  - CONTROL DEVICE
  - DESIGN STANDHYD
  - COMPUTE DUALHYD
  - TRAP LONGPOND STORAGE
  - PIPED FLOWS
  - OVERLAND FLOWS
  - HYDROGRAPH ID
  - ADD HYD

PROJECT NUMBER	19065
PROJECT NAME	TWO PARK CENTRAL
CLIENT	HNC 500 Block II LP
CLIENT	by its general partner
CLIENT	HNC 500 Block II Inc
CLIENT ADDRESS	507 11 Av SW, Calgary, Alberta
LEGAL DESCRIPTION	Plan 1811169 Block 70 Lot 48
DEVELOPMENT PERMIT NO.	DP2020-0338
ISSUED FOR / REVISIONS	

PROJECT	Project Number: 19065
PROJECT NAME	TWO PARK CENTRAL
CLIENT	HNC 500 Block II LP
CLIENT	by its general partner
CLIENT	HNC 500 Block II Inc
CLIENT ADDRESS	507 11 Av SW, Calgary, Alberta
LEGAL DESCRIPTION	Plan 1811169 Block 70 Lot 48
DEVELOPMENT PERMIT NO.	DP2020-0338
ISSUED FOR / REVISIONS	

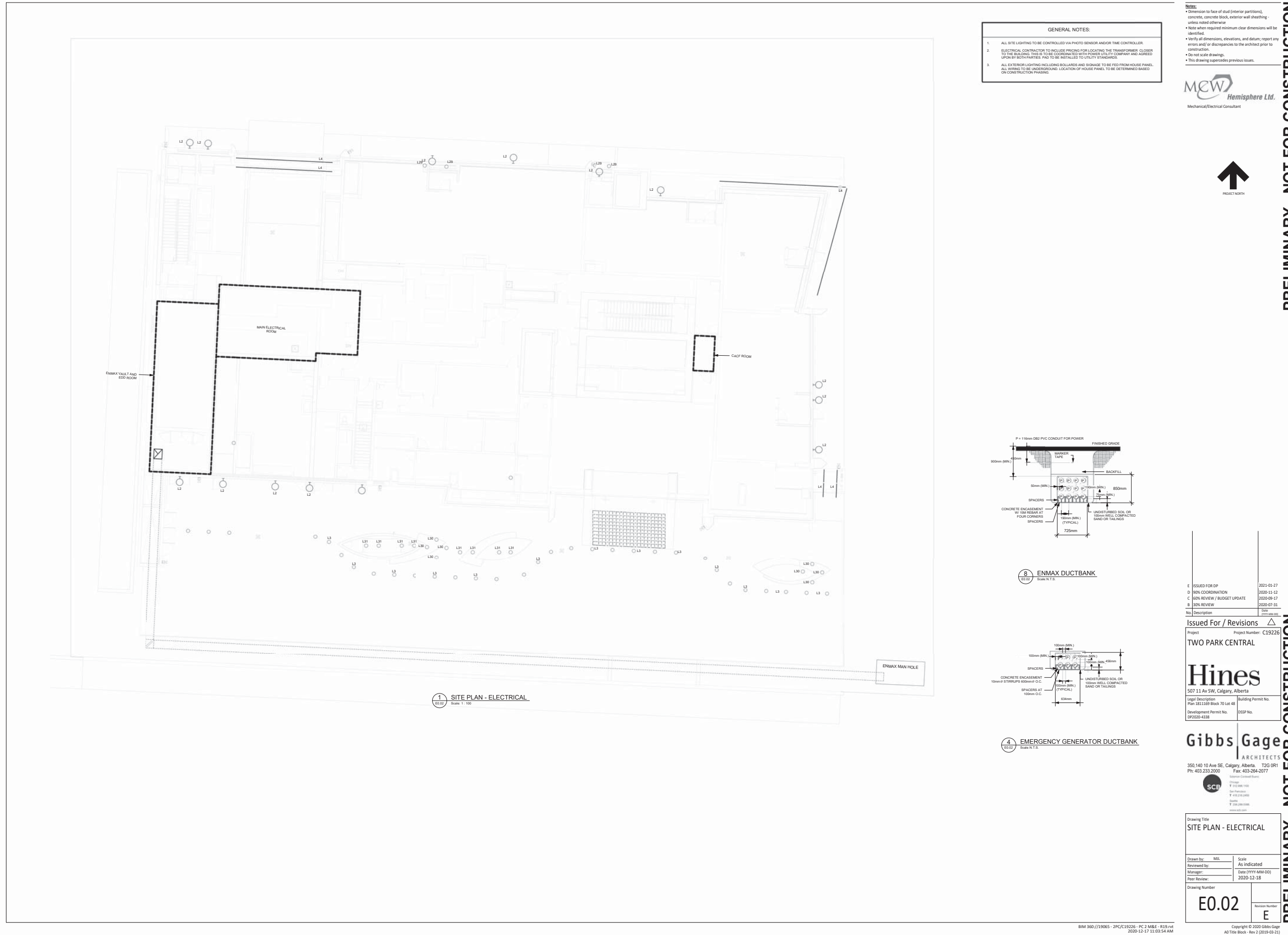
PROJECT	Project Number: 19065
PROJECT NAME	TWO PARK CENTRAL
CLIENT	HNC 500 Block II LP
CLIENT	by its general partner
CLIENT	HNC 500 Block II Inc
CLIENT ADDRESS	507 11 Av SW, Calgary, Alberta
LEGAL DESCRIPTION	Plan 1811169 Block 70 Lot 48
DEVELOPMENT PERMIT NO.	DP2020-0338
ISSUED FOR / REVISIONS	

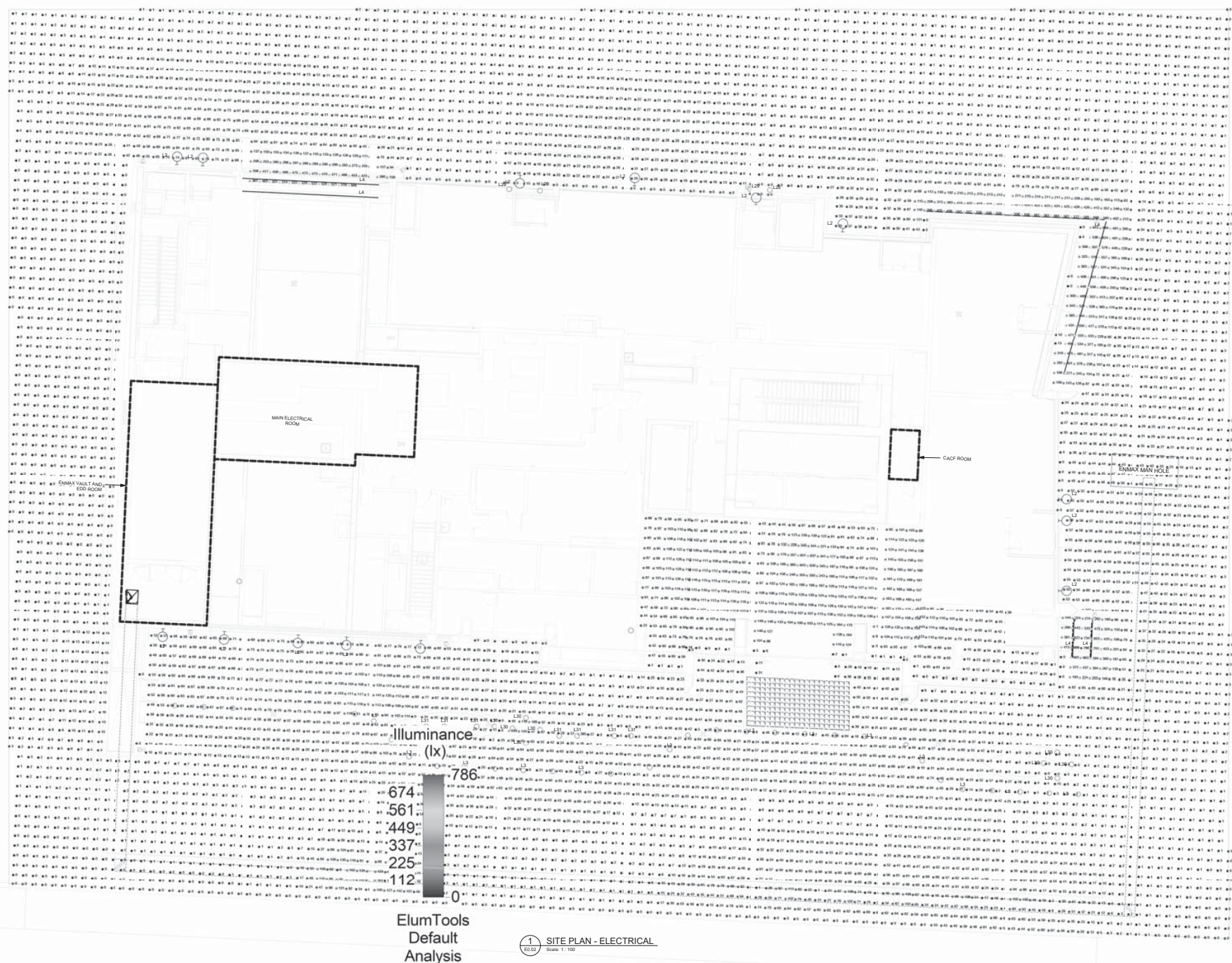
PROJECT	Project Number: 19065
PROJECT NAME	TWO PARK CENTRAL
CLIENT	HNC 500 Block II LP
CLIENT	by its general partner
CLIENT	HNC 500 Block II Inc
CLIENT ADDRESS	507 11 Av SW, Calgary, Alberta
LEGAL DESCRIPTION	Plan 1811169 Block 70 Lot 48
DEVELOPMENT PERMIT NO.	DP2020-0338
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PROJECT	Project Number: 19065
PROJECT NAME	TWO PARK CENTRAL
CLIENT	HNC 500 Block II LP
CLIENT	by its general partner
CLIENT	HNC 500 Block II Inc
CLIENT ADDRESS	507 11 Av SW, Calgary, Alberta
LEGAL DESCRIPTION	Plan 1811169 Block 70 Lot 48
DEVELOPMENT PERMIT NO.	DP2020-0338
ISSUED FOR / REVISIONS	

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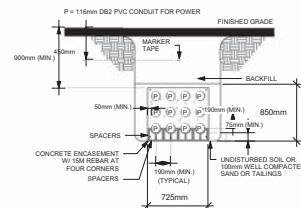
1. ALL SITE LIGHTING TO BE CONTROLLED VIA PHOTO SENSOR AND/OR TIME CONTROLLER.
2. ELECTRICAL CONTRACTOR TO INCLUDE PRICING FOR LOCATING THE TRANSFORMER CLOSER TO THE BUILDING. THIS IS TO BE COORDINATED WITH POWER UTILITY COMPANY AND AGREED UPON BY BOTH PARTIES. PAID TO BE INSTALLED TO UTILITY STANDARDS.
3. ALL EXTERIOR LIGHTING INCLUDING BOLLARDS AND SIGNAGE TO BE FED FROM HOUSE PANEL. ALL WIRING TO BE UNDERGROUND. LOCATION OF HOUSE PANEL TO BE DETERMINED BASED ON CONSTRUCTION PHASING.

- Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
- Do not scale drawings.
- This drawing supercedes previous issues.

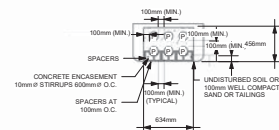
**MCW** Hemisphere Ltd  
Mechanical/Electrical Consultant



**PRELIMINARY - NOT FOR CONSTRUCTION**



8 ENMAX DUCTBANK  
E0.02 Scale: N.T.S.



4 EMERGENCY GENERATOR DUCTBANK  
E002 Scale N.T.S.

E	ISSUED FOR DP	2021-01-27
D	90% COORDINATION	2020-11-12
C	60% REVIEW / BUDGET UPDATE	2020-09-17
B	30% REVIEW	2020-07-31
No.	Description	Date

Issued For / Revisions 

Project Project Number: C1922  
TWO PARK CENTRAL

Hines

507 11 Av SW, Calgary, Alberta

Legal Description	Building Permit No.
-------------------	---------------------

Plan 1811169 Block 70 Lot 48

Gibbs Gage

350,140 10 Ave SE, Calgary, Alberta. T2G 0R1  
Ph: 403.233.2000 Fax: 403-264-2077

**SCB**  
Solanum Cordeiro-Bueno  
Chicago  
T 312.896.1100  
San Francisco

Drawing Title  
**SITE PLAN - ELECTRICAL**

Drawn by: MJL	Scale
Reviewed by:	As indicated
Manager:	Date (YYYY-MM-DD)
Peer Review:	2020-12-18

Drawing Number	
<b>F0.02</b>	Revision 1

LC102	F
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[illegible]

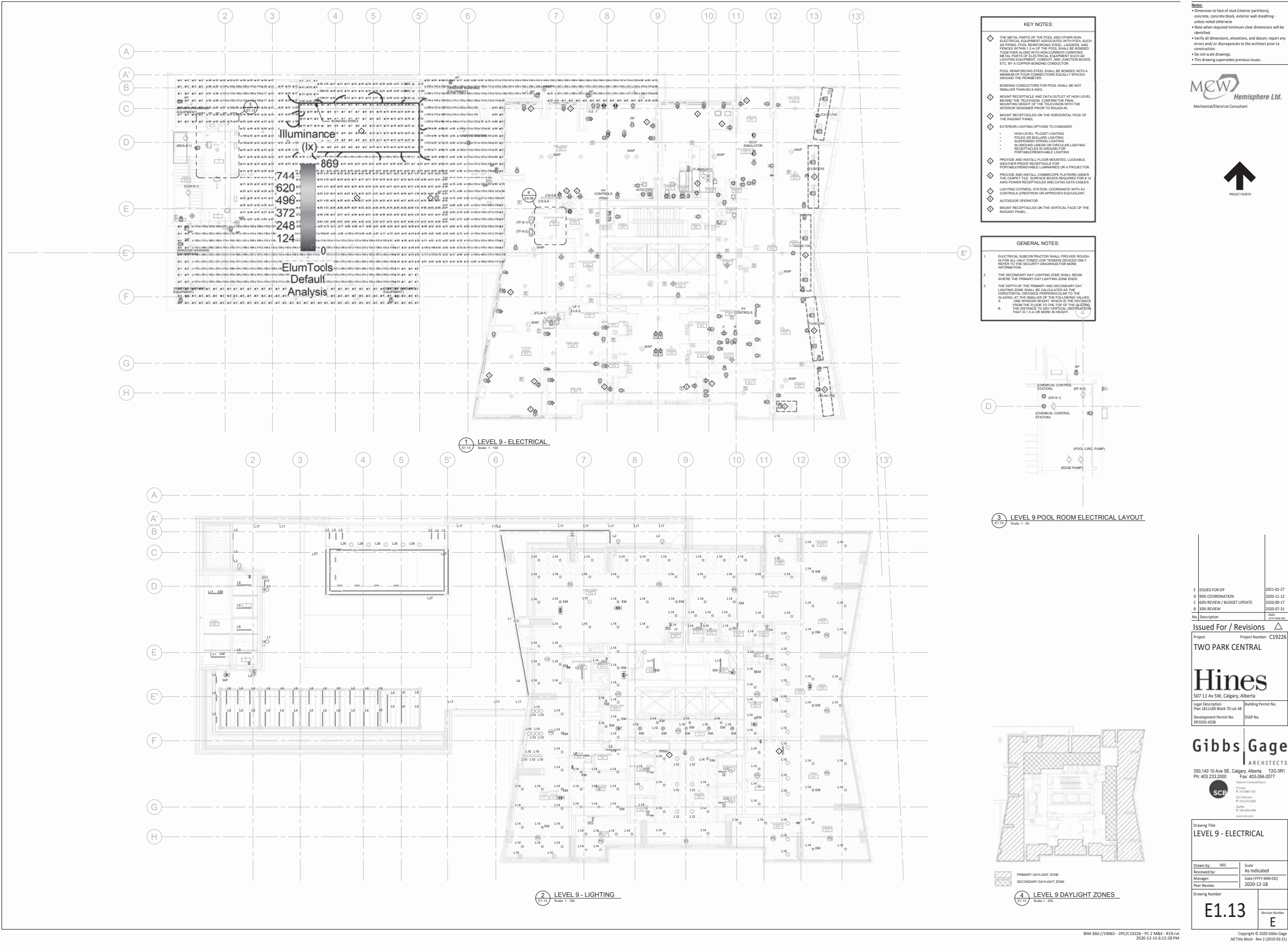
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AQ Title Block - Rev 2 (2019)

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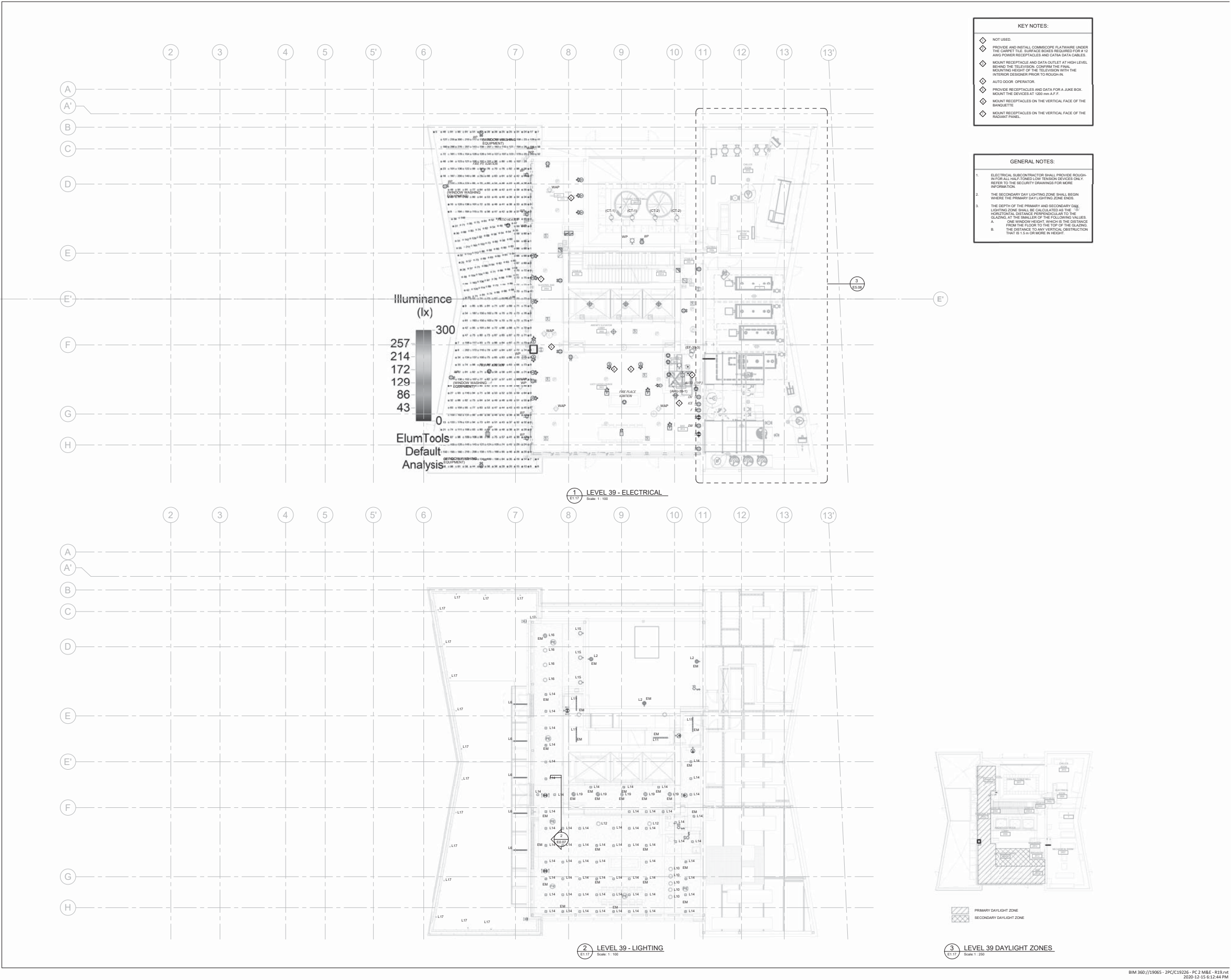












**MEW Hemisphere Ltd.**  
Mechanical/Electrical Consultant



E	ISSUED FOR DP	2021-01-27
D	90% COORDINATION	2020-11-12
C	60% REVIEW / BUDGET UPDATE	2020-09-17
B	30% REVIEW	2020-07-21
A	30% REVIEW	2020-07-21

No. Description

Project Number: C19226

**TWO PARK CENTRAL**

**Hines**  
507 11 Av SW, Calgary, Alberta  
Legal Description: Plan 181.1165 Block 70 Lot 48  
Building Permit No. DP2020-4338

**Gibbs Gage ARCHITECTS**  
350,140 10 Ave SE, Calgary, Alberta T2G 0R1  
PH: 403.233.2000 Fax: 403.264-2077

**SCR**  
Calgary  
Phone: 403.233.2000  
Fax: 403.264-2077  
Website: www.scr.ca

Drawing Title  
**LEVEL 39 - ELECTRICAL**

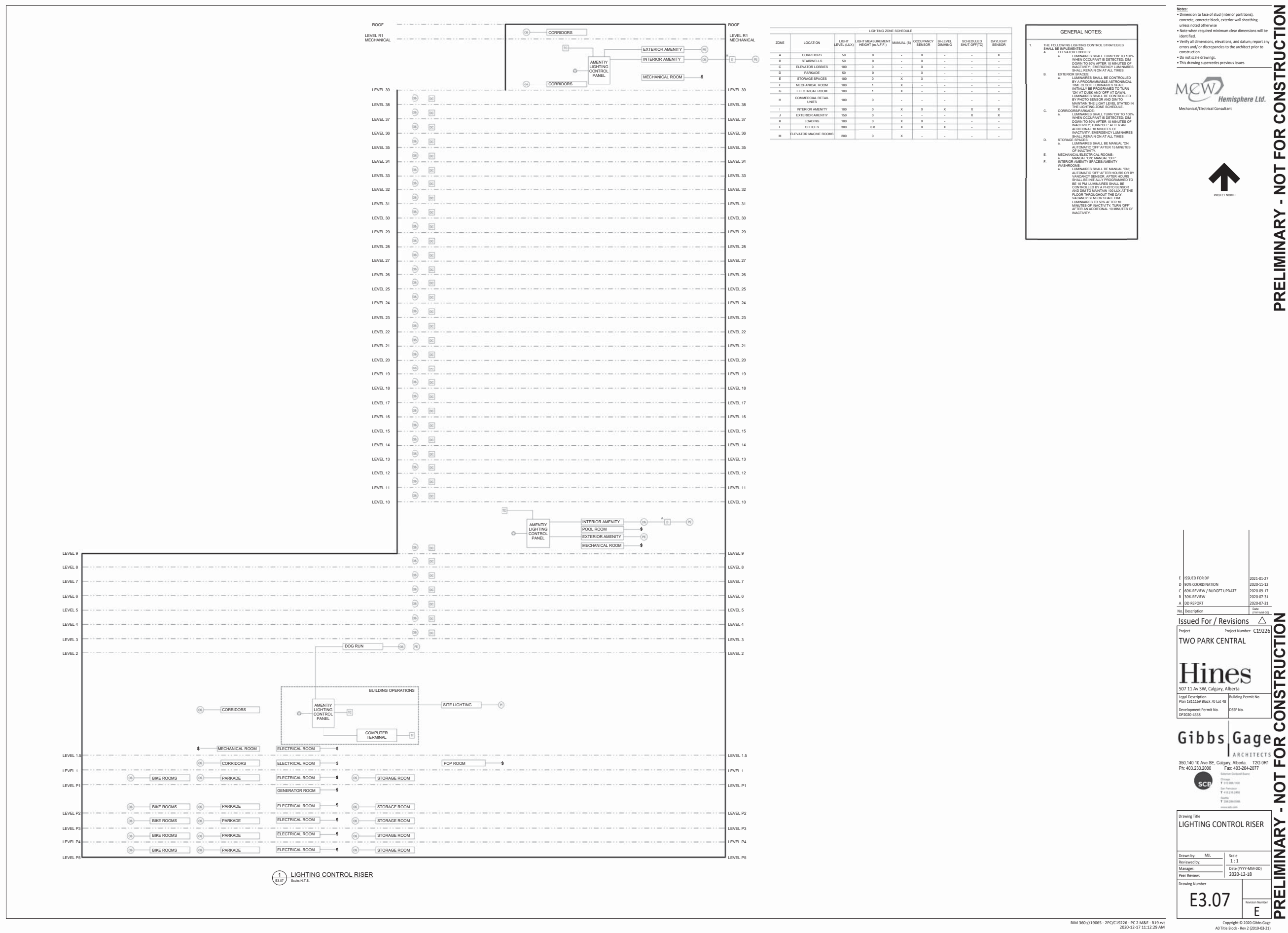
Drawn by: MIL  
Reviewed by: Scale: As indicated  
Manager: Date: (YYYY-MM-DD)  
2020-12-18

Prior Review:  
Drawing Number  
**E1.17**





























Revision Number  
**E**

PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION





LUMINAIRE SCHEDULE												MCW
LIGHT TYPE	PHOTO	DESCRIPTION	LOCATION	MODEL	LAMPS	WATTS	VOLTAGE	LUMENS	DIMMING	COLOUR TEMPERATURE	CRI	MCW Lighting Remarks
EB7		WALL MOUNTED BATTERY BACK CW DUAL REMOTE HEADS	THROUGHOUT	LUMACELL ROS SERIES; OR APPROVED ALTERNATE	LED	38 VA	120 V 6 V	-	-	-	-	
EBH1		GREEN LED RUNNING MAN PICTOGRAM CW DURABLE THERMOPLASTIC HOUSING	PARKADE AND BACK OF HOUSE AREAS	LUMACELL LP SERIES; OR APPROVED ALTERNATE	LED	3 VA	120 V	-	-	-	-	
EBH2		EDGE LIGHT GREEN LED RUNNING MAN PICTOGRAM CW EXTRUDED ALUMINUM TRIM PLATE	PUBLIC SPACES THROUGHOUT	LUMACELL LDE SERIES; OR APPROVED ALTERNATE	LED	3 VA	120 V	-	-	-	-	
EBM		WALL MOUNT REMOTE HEAD CW IMPACT RESISTANT, FLAME RETARDANT THERMOPLASTIC HOUSING	THROUGHOUT	LUMACELL MT/MQ/MOM SERIES; OR APPROVED ALTERNATE	LED	4 VA	6 V	-	-	-	-	
L1		1/4" RATED, WALL MOUNT, EXTERIOR FLOOD LIGHT CW LOW COPPER EXTRUDED ALUMINUM CONSTRUCTION MATTE TEXTURED POWDER PAINT FINISH AND TEMPERED IMPACT RESISTANT GLASS LENS	EXTERIOR	HUBBELL LIGHTING ALF LINEAR SERIES; OR APPROVED ALTERNATE	LED	10 VA	120 V	1122	0-10V	3000	80+	
L2		HIGH LUMEN EXTERIOR WALL PACK MOUNTED AT 3000 mm A.F.F.	EXTERIOR	HUBBELL LIGHTING MODEL NO. LNC3-24LED-4000K-U-D8 BRO N2E	LED	83 VA	120 V	7569	0-10V	3000	80+	
L3		BOLLARD BOCA 262 IN GROUND LUMINAIRE	EXTERIOR	KIM LIGHTING MODEL NO. PAVILION BOLLARD PATS-PY-NL2-SL-235-487	LED	22 VA	120 V	2000	0-10V	3000	80+	
L4		HIGH-EFFICIENT LINEAR LUMINAIRE WITH A SLIM PROFILE.	EXTERIOR CANOPIES	LUMENPULSE LOGIN SERIES; OR APPROVED ALTERNATE	LED	13 VA	120 V	1300	-	3000	80+	
L5		IN WALL RECESSED LIGHT (W) (WET LOCATION)	EXTERIOR	WE-EF S17-275	LED	22 VA	120 V	928	-	3000	80+	
L6		LINEAR LIGHT - SURFACE MOUNTED ON TRELLIS IP 67 RATED	EXTERIOR	XOOLIM - HYDRA SERIES; OR APPROVED ALTERNATE	LED	15 VA	120 V	1300	-	3000	80+	
L7		341 mm X 341 mm SURFACE MOUNT FIXTURE CW SEALED DIE-CAST PROFILE	PARKADE	ORACLE LIGHTING - OVR-101-LED SERIES; OR APPROVED ALTERNATE	LED	65 VA	120 V	6000	-	3000	80+	
L8		SURFACE MOUNTED OR SUSPENDED LINEAR FIXTURE CW EXTRUDED MICRO-GROOVED ROUND POLYCARBONATE LENS CW AN INTEGRAL OCCUPANCY	SERVICE ROOMS/STORAGE/STAIRS	VIBOR LCOMN SERIES; OR APPROVED ALTERNATE	LED	62 VA	120 V	4000	0-10V	3000	80+	
L9		SURFACE MOUNTED OR SUSPENDED LINEAR, SUITABLE FOR WET LOCATIONS, CW A RIGID FIBERGLASS BODY AND A HIGH-IMPACT ACRYLIC DIFFUSER	ENMAX ROOM/ELEVATOR MACHINE ROOMS	ORACLE LIGHTING ON-1P SERIES; OR APPROVED ALTERNATE	LED	25 VA	120 V	4000	-	3000	80+	
L10		21 in SUSPENDED DOWN LIGHT CW A BAMBOOPOLYPROPYLENE SHADE	LEVEL 9 AMENITY	MULTO - GRAIN PENDANT LAMP	LED	3 VA	120 V	700	-	3000	90+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L11		SURFACE MOUNTED OR SUSPENDED LINEAR FIXTURE CW EXTRUDED MICRO-GROOVED ROUND POLYCARBONATE LENS	SERVICE ROOMS/STORAGE/STAIRS	VIBOR LCOMN SERIES; OR APPROVED ALTERNATE	LED	62 VA	120 V	4000	0-10V	3000	80+	
L12		CUSTOM INTERIOR DOWNLIGHT	AMENITY SPACE	LUMINAIRE AUTHENTIK - CUSTOM FIXTURE	LED	100 VA	120 V	-	-	3000	80+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L13		CUSTOM INTERIOR WALL SCONCE	MAIN LOBBY	LUMINAIRE AUTHENTIK - CUSTOM FIXTURE	LED	10 VA	120 V	1122	-	3000	80+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L14		4" DIMMABLE RECESSED DOWNLIGHT CW DIE-CAST ALUMINUM HOUSING	THROUGHOUT	ELITE LIGHTING REL437 SERIES; OR APPROVED ALTERNATE	LED	10 VA	120 V	700	0-10V	3000	90+	
L15		10" ROUND WALL SCONCE CW A G8 TYPE SOCKET	LEVEL 39 AMENITY	LUMINAIRE AUTHENTIK - GLASS BALL-LA04	LED	100 VA	120 V	-	-	3000	80+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L16		INTERIOR SURFACE MOUNT DOWNLIGHT	LEVEL 39 AMENITY	LUMINAIRE AUTHENTIK - CUSTOM FIXTURE	LED	100 VA	120 V	-	-	3000	90+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L17		1" IP68 RATED RECESSED LINEAR STRIP LIGHT CW PHANTOM MOUNTING BRACKET	EXTERIOR AMENITY SPACE	LUMENTRUS - 1400 PROFILE SERIES; OR APPROVED ALTERNATE	LED	2 VA	120 V	650	-	3000	90+	
L18		CUSTOM INTERIOR PENDANT	MAIN LOBBY	TBD	LED	15 VA	120 V	-	-	3000	80+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L19		12" SUSPENDED DOME FIXTURE CW E26 TYPE SOCKET	AMENITY SPACES	LUMINAIRE AUTHENTIK - LOV 35-LA01	LED	100 VA	120 V	1000	-	3000	80+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L20		WALL MOUNT DOUBLE SCONCE CW FROSTED GLASS GLOBES, BRASS BACK PLATE AND E12 TYPE SOCKET	ELEVATOR LOBBIES	ARTERIORS - POLARIS SCONCE SERIES	LED	25 VA	120 V	-	-	3000	80+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L21		SURFACE MOUNT DOWNLIGHT CW G8 TYPE SOCKET	MAIL ROOM	LUMINAIRE AUTHENTIK - DANCISE 1505-LA03	LED	100 VA	120 V	-	-	3000	90+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L22		CUSTOM INTERIOR DOWNLIGHT	MAIN LOBBY	LUMINAIRE AUTHENTIK - CUSTOM FIXTURE	LED	100 VA	120 V	-	-	3000	80+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L23		12" SUSPENDED DOME FIXTURE CW E26 TYPE SOCKET	ELEVATOR LOBBIES	LUMINAIRE AUTHENTIK - LOV 35-LA01	LED	100 VA	120 V	-	-	3000	90+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L24		30" SUSPENDED DOWNLIGHT CW E26 TYPE SOCKET	AMENITY SPACE	LUMINAIRE AUTHENTIK - DOME 36-LA00	LED	100 VA	120 V	-	-	3000	90+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L25		21 in SUSPENDED DOWN LIGHT CW A BAMBOOPOLYPROPYLENE SHADE	LEVEL 9 AMENITY	MULTO - GRAIN PENDANT LAMP	LED	3 VA	120 V	700	-	3000	90+	CONFIRM FINISH WITH THE INTERIOR DESIGN DRAWINGS.
L26		LINEAR LIGHT - SURFACE MOUNTED ON TRELLIS IP 67 RATED	EXTERIOR	XOOLIGHT - HYDRA SERIES; OR APPROVED ALTERNATE	LED	15 VA	120 V	1300	-	3000	80+	
L28		SCALABLE IP 65 RATED LED SHEETS	LEVEL 1 STARRY SKY CANOPY	COOLEGE - TILE EXTERIOR R0 SERIES; OR APPROVED ALTERNATE	LED	3 VA	120 V	300	-	3000	90+	LUMINAIRE SHALL BE SUSPENDED 100 mm ABOVE THE PERFORATED DECTROITIVE CANOPY.
L29		2" ARCHITECTURAL LED DOWNLIGHT CW PAINTED BLACK DURABLE STEEL PLATFORM WITH PRE-INSTALLED BAR HANGERS AND A 50 DEGREE CUTOFF	LEVEL 1 EXTERIOR CANOPY	PRECOCUTE LTR-3RD; OR APPROVED ALTERNATE	LED	12 VA	120 V	1000	-	3000	80+	
L30		GROUND MOUNTED ART UPLIGHT	GROUND LEVEL	TBD BY LANDSCAPE	LED	12 VA	120 V	1000	-	3000	80+	REFER TO THE LANDSCAPE CONSULTANT DRAWING PACKAGE FOR EXACT LUMINAIRE TYPE.
L31		GROUND MOUNTED UPLIGHT CW AN EXTRUDED ALUMINUM CYLINDRICAL HOUSING	LEVEL 139 PLANTERS	LUMINIS SC300 SERIES	LED	13 VA	120 V	924	-	3000	80+	
L32		WALL MOUNT SCONCE CW E26 TYPE SOCKET	SUITE ENTRANCES	LUMINAIRE AUTHENTIK - COPAG 05	LED	100 VA	120 V	-	-	3000	80+	
S1		1" SURFACE MOUNT ROUND	SUITES	ELITE LIGHTING RL791 SERIES; OR APPROVED ALTERNATE	LED	15 VA	120 V	-	-	3000	90+	
S2		BATHROOM VANITY WITH DIE FORMED/COLD-ROLLED STEEL HOUSING AND HIGH TRANSMISSION ACRYLIC LENSE	SUITE BATHROOMS	ELITE LIGHTING FL334A SERIES; OR APPROVED ALTERNATE	LED	23 VA	120 V	2000	-	3000	80+	
S3		4" SUSPENDED LINEAR CW A RIGID ALUMINUM HOUSING, DIE CAST ALUMINUM CAPS AND A SMOOTH WHITE ACRYLIC LENS	SUITE ISLANDS	ORACLE LIGHTING - SLEEK-S-LED SERIES; OR APPROVED ALTERNATE	LED	28 VA	120 V	3000	-	3000	80+	
S4		UNDER CABINET STRIP LIGHTING	SUITE CABINETS	GM LIGHTING LTR300 SERIES; OR APPROVED ALTERNATE	LED	2 VA	120 V	195	-	3000	80+	

ELECTRICAL EQUIPMENT SCHEDULE				MCW
PANEL NAME	MAIN BUS RATING (A)	NUMBER OF BREAKERS	MINIMUM SHORT CIRCUIT WITHSTAND RATING (AIC)	
2EM 3B	400	84	10000	
2EM P1	400	84	10000	
2LS 1	60	24	10000	
2LS 1.5	60	24	10000	
2LS 2	60	24	10000	
2LS 3	60	12	10000	
2LS 4	60	24	10000	
2LS 5	60	24	10000	
2LS 6	60	24	10000	
2LS 7	60	24	10000	
2LS 8	60	24	10000	
2LS 9	60	24	10000	
2LS 10	60	12	10000	
2LS 11	60	24	10000	
2LS 12	60	24	10000	
2LS 13	60	24	10000	
2LS 14	60	24	10000	
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2LS 34	60	24	10000	
2LS 35	60	24	10000	
2LS 36	60	24	10000	
2LS 37	60	24	10000	
2LS 38	60	24	10000	
2LS 39	400	84	10000	
2LS P1	400	84	10000	
2LS P2	60	24	10000	
2LS P3	60	24	10000	
2LS P4	60	24	10000	
2LS P5	60	24	10000	
2MCP P1 S	2400		24000	
2MCP N1 S A	4000		24000	
2MCP N1 S B	400	84	24000	
2N1 S A	100	60	30000	
2N1 S B	100	60	30000	
2N1 S C	100	60	30000	
2N1 S D	100	60	30000	
2N2 S A	400	84	10000	
2N2 S B	100	42	10000	
2N3 S A	400	84	10000	
2N3 S B	200	84	10000	
2N3 S C	200	84	10000	
2N3 S D	200	84	10000	
2N4 P1	100	60	10000	
4ATS EM P1	600	3	13000	
4ATS EP P1	2400	3	13000	
4ATS LS P1	1200	3	14000	
4COP 303M	150	24	10000	
4COP EM P1	600	24	13000	
4COP LS 39	600	24	10000	
4COP LS P1	1200	24	14000	
4COP N1 S	2000	24	16000	
4COP N1 S A	100	24	10000	
4COP N39 B	100	24	10000	
4LSB P1	1200	4	10000	
4MCP LS P1	1200	24	14000	
4N1 S	400	84	10000	
4N P4	100	84	10000	
MS 2	800	54	31000	
MS 4	800	54	30000	
MS 6	800	54	29000	
MS 8	800	54	28000	
MS 10	800	24	26000	
MS 12	800	24	25000	
MS 14	800	24	24000	
MS 16	800	24	23000	
MS 18	800	24	22000	
MS 20	800	24	21000	
MS 22	800	24	20000	
MS 24	800	24	19000	
MS 26	800	24	18000	
MS 28	800	24	17000	
MS 30	800	24	16000	
MS 32	800	24	15000	
MS 34	800	24	14000	
MS 36	800	24	13000	
MS 38	800	24	12000	

**Notes:**

- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise
- Note when required minimum clear dimensions will be identified.
- Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
- Do not scale drawings.
- This drawing supersedes previous issues.

**MCW Hemisphere Ltd.**  
Mechanical/Electrical Consultant



PRELIMINARY - NOT FOR CONSTRUCTION

E ISSUED FOR DP 2021-01-27  
D 90% COORDINATION 2020-11-12  
C 10% REVIEW / BUDGET UPDATE 2020-09-17  
B 30% REVIEW 2020-07-21  
No Description 100% (2020-06-01)

Issued For / Revisions

Project Project Number: C19226

**TWO PARK CENTRAL**

**Hines**  
507 11 Av SW, Calgary, Alberta

Legal Description: Plan 181-1155 Block 70 Lot 48  
Development Permit No. DP2020-4338

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Drawing Title  
**ELECTRICAL SCHEDULES**

Drawn by: MIL Scale  
Reviewed by: Manager: Date: (YYYY-MM-DD)  
Peer Review: 2020-12-18  
Drawing Number  
**E6.01**  
Revision Number  
**E**