

TRINITY DEVELOPMENT GROUP



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TRINITY HILLS BLOCK H REISSUED FOR DEVELOPMENT PERMIT

| ARCHITECTURAL | CIVIL | ELECTRICAL |
|--|----------------------------|--|
| DP0.01 GENERAL INFO / BYLAW ANALYSIS | C01.0a SITE SERVICING PLAN | DPE1.0 DP ELECTRICAL SITE PLAN |
| DP0.02 CONTEXT IMAGES | C01.0b SITE SERVICING PLAN | DPE1.1 DP SITE LIGHTING POINT-BY-POINT |
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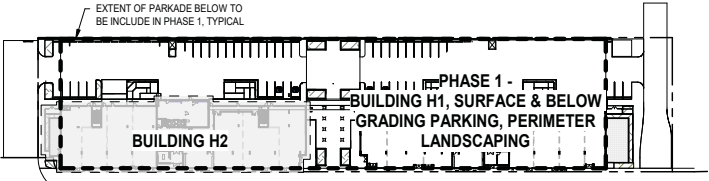
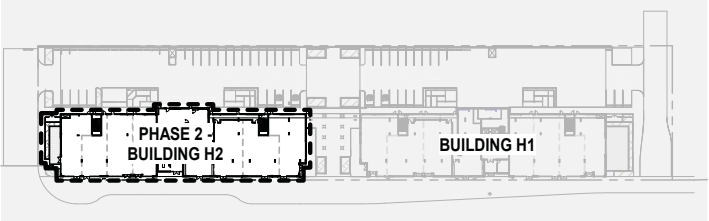
| LANDSCAPE | TRANSPORTATION |
|---|---|
| L1.00 LANDSCAPE PLAN - KEY PLAN & ENLARGEMENT 'A' | T101 VEHICLE SWEEP PATHS - WASTE COLLECTION VEHICLE |
| L1.01 LANDSCAPE PLAN - ENLARGEMENT 'B' | T102 VEHICLE SWEEP PATHS - LOADING VEHICLE |
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| | T104 VEHICLE SWEEP PATHS - PASSENGER VEHICLE |

TRINITY DEVELOPMENT GROUP
TRINITY HILLS BLOCK H
924 Na'a Drive SW
220-021

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DATE: 2024-11-17

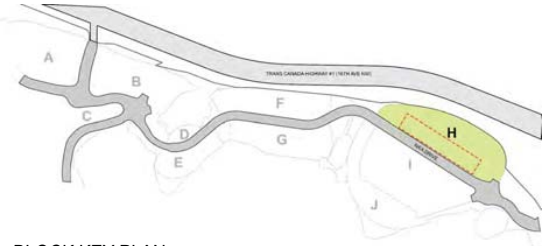


| Commercial Spaces | | | | Parking Calculations | | | | |
|--------------------|---------------|-----------------------------|---------------|----------------------|--------|------|-----------------------|--------------|
| Suite | Business name | Use | GUFA (sq. m.) | Public Area (sq. m.) | Factor | Rate | Stalls Req'd | |
| Building H1 | | | | | | | | |
| H1-101 | Vacant | Restaurant: Neighbourhood | 180.74 | 108.44 | 1.7 | 10 | 18.44 | |
| H1-102 | Vacant | Retail and Consumer Service | 172.31 | n/a | 2.0 | 100 | 3.45 | |
| H1-103 | Vacant | Retail and Consumer Service | 161.72 | n/a | 2.0 | 100 | 3.23 | |
| H1-110 | Vacant | Retail and Consumer Service | 151.49 | n/a | 2.0 | 100 | 3.03 | |
| H1-111 | Vacant | Retail and Consumer Service | 162.06 | n/a | 2.0 | 100 | 3.24 | |
| H1-112 | Vacant | Retail and Consumer Service | 115.88 | n/a | 2.0 | 100 | 2.32 | |
| H1-113 | Vacant | Restaurant: Neighbourhood | 146.79 | 88.07 | 1.7 | 10 | 14.97 | |
| Building H2 | | | | | | | | |
| H2-101 | Vacant | Restaurant: Neighbourhood | 150.20 | 90.12 | 1.7 | 10 | 15.32 | |
| H2-102 | Vacant | Retail and Consumer Service | 115.88 | n/a | 2.0 | 100 | 2.32 | |
| H2-103 | Vacant | Retail and Consumer Service | 160.55 | n/a | 2.0 | 100 | 3.21 | |
| H2-104 | Vacant | Retail and Consumer Service | 149.97 | n/a | 2.0 | 100 | 3.00 | |
| H2-109 | Vacant | Retail and Consumer Service | 164.76 | n/a | 2.0 | 100 | 3.30 | |
| H2-110 | Vacant | Retail and Consumer Service | 175.34 | n/a | 2.0 | 100 | 3.51 | |
| H2-111 | Vacant | Restaurant: Neighbourhood | 183.63 | 110.18 | 1.7 | 10 | 18.73 | |
| | | | | | | | Sub total | 98.06 |
| | | | | | | | Reduction | -3.00 |
| | | | | | | | Total required | 95.06 |

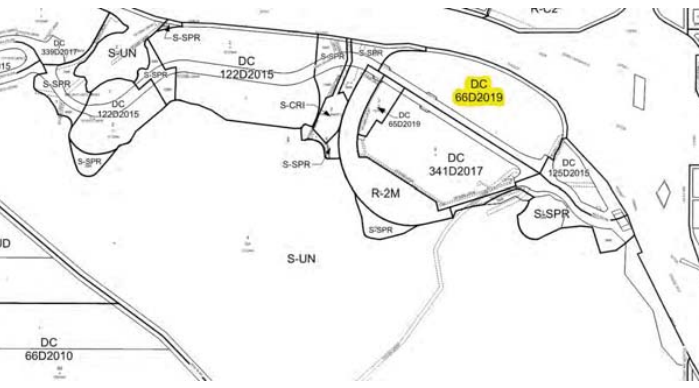


PHASE 1 - BUILDING H1, SURFACE & BELOW GRADE PARKING, PERIMETER LANDSCAPING

| PROJECT INFORMATION | | | |
|---|---|--|---|
| DP APPLICANT: | B&A PLANNING GROUP (8600, 215 9 AVENUE SW, CALGARY, AB) | | |
| MUNICIPAL ADDRESS: | 824 NA'A DRIVE SW, CALGARY, AB | | |
| LEGAL ADDRESS: | LOT 1, BLOCK 3, PLAN 161-2946 | | |
| COMMUNITY: | MEDICINE HILL | | |
| LAND USE / ZONING: | DIRECT CONTROL DC 66D2019 | | |
| LAND USE BYLAW: | 1P2007 | | |
| TOTAL PARCEL AREA: | 4.345 HA / 10.74 ACRES (43,420 m ²) | | |
| PROPOSED PROJECT SITE AREA: | 0.857 HA / 2.12 ACRES (8,566 m ²) | | |
| NET SITE COVERAGE: | 39.9% | | |
| GROSS FLOOR AREA (G.F.A.): | 17,468 m ² | | |
| FLOOR AREA RATIO (F.A.R.): | 2.04 (BASED ON PROPOSED PROJECT SITE AREA) / 0.40 (BASED ON PARCEL AREA) | | |
| NEW DWELLING UNITS CREATED: | 158 (59 x 1-BEDROOM & 99 x 2-BEDROOM) | | |
| UNITS PER HECTARE (U.P.H.): | 184.4 (BASED ON PROPOSED PROJECT SITE AREA) / 36.4 (BASED ON PARCEL AREA) | | |
| BYLAW REQUIREMENTS | | | |
| BYLAW REQUIREMENT | REQUIRED | PROVIDED | VARIANCE REQUESTED |
| MAXIMUM F.A.R.: | N/A | 2.04 | N/A |
| F.A.R. CALCULATION: | G.F.A. / NET SITE AREA = F.A.R. 17,468 m ² / 8,566 m ² = 2.04 | | |
| BUILDING HEIGHT | | | |
| MAXIMUM HEIGHT: | 28.0 m | 25.4 m | N/A |
| COMMERCIAL MULTI-RESIDENTIAL USES | | | |
| COMMERCIAL LOCATED: | AT GRADE | AT GRADE | N/A |
| MAXIMUM COMMERCIAL AREA: | N/A | 2,280 m ² | N/A |
| MINIMUM COMMERCIAL AREA: | 80% OF MAIN FLOOR | 82.9% OF MAIN FLOOR | N/A |
| COMMERCIAL CALCULATION: | COMMERCIAL SPACE / OCCUPIED MAIN FLOOR SPACE = % 2,280 m ² / 2,750 m ² = 82.9 | | |
| DWELLING UNITS | | | |
| MINIMUM DWELLING UNITS: | N/A | 158 | N/A |
| SETBACKS | | | |
| FRONT SETBACK (SOUTH): | MIN. = 0.0 m MAX. = 3.0 | 1.01 m | N/A |
| REAR SETBACK (NORTH): | N/A | TO EXISTING PROPERTY LINE: VARIES - 86.7 m TO 110.9 m TO PROPOSED PROPERTY LINE: 7.0m | N/A |
| SIDE SETBACK (EAST): | N/A | TO EXISTING PROPERTY LINE: VARIES - 45.6 m TO 88.2 m TO PROPOSED PROPERTY LINE: 18.0m | N/A |
| SIDE SETBACK (WEST): | MIN. = 3.0 m | TO EXISTING PROPERTY LINE: VARIES - 120.8 m TO 138.8 m TO PROPOSED PROPERTY LINE: 20.2m | N/A |
| NOTE 1: | - EAVES MAY PROJECT UP TO A MAXIMUM OF 0.6 m INTO THE SETBACK AREA | | |
| NOTE 2: | - THE PORTIONS OF BUILDING BELOW THE SURFACE OF THE GROUND MAY EXTEND WITHOUT LIMITS INTO THE SETBACK AREA | | |
| NOTE 3: | - SIGNS MAY PROJECT INTO SETBACK AREA | | |
| VEHICLE PARKING | | | |
| | REQUIRED | PROPOSED | |
| 0.75 MIN. RES PARKING STALLS/UNIT | 119 | 207 | N/A |
| 0.10 MIN. RES VISITOR STALLS/UNIT | 16 | | |
| 1.7 STALLS/10m ² MIN. RESTAURANT STALLS: | 68 | 111 | 82 REFER TO NOTE 6 AND 7 "NEIGHBOURHOOD RESTAURANT" |
| 2.0 STALLS/100.0 m ² MIN. RETAIL STALLS: | 27 | | |
| TOTAL: | 229 STALLS | 280 | N/A |
| NOTE 6: | - ALL COMMERCIAL AND RESIDENTIAL VISITOR PARKING IS PROPOSED TO BE SHARED BY THE 82 AT GRADE PARKING STALLS. THE REDUCTION IN 29 STALLS IS ACCOMMODATED BY VARYING PEAK TIMES OF EACH USE. | | |
| NOTE 7: | - 1.7 STALLS/10.0m ² OF PUBLIC AREA FOR NEIGHBOURHOOD RESTAURANT, DRINKING ESTABLISHMENT. PUBLIC AREA CALCULATED AT 60% OF GROSS AREA. | | |
| NOTE 8: | - 2.0 STALLS/100.0m ² OF CUMULATIVE GROSS USEABLE FLOOR AREA, REDUCED BY 1.0 STALLS PER 50.0m ² OF GROSS USEABLE FLOOR AREA TO A MAXIMUM REDUCTION OF 3.0 STALLS | | |
| NOTE 9: | - BARRIER FREE STALLS PER BLDG CODE: 4 STALLS / 51-100 TOTAL STALLS, +1 FOR EACH ADDL 100 STALLS | | |
| MINIMUM BARRIER-FREE STALLS TOTAL: | (see Note 9 above) | | |
| BARRIER-FREE STALLS TOTAL (GRADE): | 4 | 4 | N/A |
| BARRIER-FREE STALLS TOTAL (U/G): | 5 | 6 | N/A |
| OVERALL STALLS TOTAL: | 9 | 10 | N/A |
| BICYCLE PARKING | | | |
| MINIMUM STALLS PER RES. UNIT (CLASS 1): | RATIO @ 0.5 = 79 | 80 (40 HORIZ. & 40 VERT.) | N/A |
| MINIMUM STALLS PER RES. UNIT (CLASS 2): | RATIO @ 0.1 = 16 | | |
| MINIMUM STALLS REST. NBHD (CLASS 2): | NONE REQUIRED | 18 | 20 N/A |
| MINIMUM STALLS OTHER USES (CLASS 2): | 5% OF VEHICLES = 2 | | |
| NOTE 10: | CLASS 1 STALLS LOCATED IN INDOOR, SECURE LOCATION EASILY ACCESSIBLE TO CYCLISTS | | |
| NOTE 11 (VISITOR & COMMERCIAL STALLS): | PROVIDED AT GRADE IN A VISIBLE LOCATION | | |
| BICYCLE CALCULATION: | CLASS 1 STALLS PER RESIDENTIAL UNIT: 158 units x 0.5 = 79 Class 1 bicycle stalls CLASS 2 STALLS PER RESIDENTIAL UNIT: 158 units x 0.1 = 16 Class 2 bicycle stalls CLASS 2 STALLS RESTAURANT, NEIGHBOURHOOD: NONE REQUIRED. CLASS 2 STALLS OTHER USES: 27 commercial required stalls x 0.05 = 1.35 = 2 Class 2 bicycle stalls | | |



| BYLAW REQUIREMENTS (CONT'D) | | | |
|--|--|--|--------------------|
| BYLAW REQUIREMENT | REQUIRED | PROVIDED | VARIANCE REQUESTED |
| RESIDENTIAL AMENITY SPACE | | | |
| MINIMUM AMENITY AREA / DWELLING UNIT: | 5.0 m ² / DWELLING UNIT | 12.8 m ² / DWELLING UNIT PROVIDED | N/A |
| NOTE 1: | - MINIMUM AMENITY AREA OF 5 m ² PER DWELLING UNIT TO BE PROVIDED - MAY INCLUDE ROOF-TOP SPACES, GROUND-FLOOR OUT-DOOR SPACE, MEETING ROOMS & FITNESS FACILITY - BALCONIES WITH A MINIMUM DEPTH OF 1.5 m CONTRIBUTE TO THE AMENITY AREA | | |
| TOTAL AMENITY SPACE REQUIRED: | 5m ² x 158 units = 790 m ² REQUIRED AMENITY SPACE | | |
| TOTAL AMENITY SPACE PROVIDED: | PRIVATE AMENITY SPACE (BALCONIES) TOTAL = 1,350.4 m ² COMMON AMENITY SPACE - INDOORS (MAIN FLOOR AND MEZZANINE SPACES) TOTAL = 432.4 m ² COMMON AMENITY SPACE - OUTDOORS (PLAZA) TOTAL = 240.6 m ² TOTAL AMENITY AREA PROVIDED = 2,023.4 m ² | | |
| WASTE & RECYCLING | | | |
| RESIDENTIAL WASTE | | | |
| MINIMUM WASTE VOLUME / UNIT: | 0.3 yd ³ / WEEK / UNIT = 47.4 yd ³ | 32 yd ³ | PRIVATELY MANAGED |
| RESIDENTIAL WASTE & RECYCLING REQUIREMENTS: | RESIDENTIAL WASTE: - 0.3 yd ³ WEEK PER UNIT (CITY WASTE RATIO) - 158 UNITS x 0.3 yd ³ = 47.4 yd ³ OF WASTE / WEEK (RESIDENTIAL ONLY) - 47.4 yd ³ / 4 yd BINS = 11.85 BINS = 12 x 4-yd BINS REQUIRED | | |
| NOTE: ALL WASTE & RECYCLING TO BE PRIVATELY MANAGED. | NOTE: - STORAGE AREA MUST NOT EXCEED 2% GRADE - ALL COLLECTION AND STAGING AREAS TO BE FLUSH WITH ADJACENT ALLEY/ROAD/PARKING LOT - MUST BE CONTAINED WITHIN THE BUILDING OR GARBAGE ENCLOSURE - 0.5m CLEARANCE AROUND CONTAINERS FOR ACCESSIBILITY - COLLECTION VEHICLE ROUTE TO HAVE A 5.0m WIDTH AND HEIGHT CLEARANCE OF 5.0m - COLLECTION AREAS TO HAVE MINIMUM CLEARANCES OF: - 6.8m OVERHEAD - 1.0m ON EITHER SIDE OF VEHICLE - GATES MUST OPEN WITHOUT IMPEDING ACCESS | | |
| COMMERCIAL WASTE | | | |
| MINIMUM WASTE UNIT FACTOR: | 1 m ³ / CRU = 5 x 4 yd ³ BINS | 4 x 4 yd ³ BINS | PRIVATELY MANAGED |
| WASTE & RECYCLING REQUIREMENTS: | COMMERCIAL WASTE & RECYCLING: 2,280 m ² TOTAL AREA - 3m ³ COMBINED WASTE AND RECYCLING PER 1000m ² OF COMMERCIAL AREA / WEEK - 2,280 m ² / 1000m ² = 2.28 x 3 m ³ = 6.84m ³ (8.9yd ³) COMMERCIAL WASTE & RECYCLING / WEEK or - 1m ³ WASTE AND RECYCLING PER COMMERCIAL SPACE / WEEK - 14 x 1 m ³ = 14m ³ (18yd ³) COMMERCIAL WASTE & RECYCLING / WEEK - 5 x 4yd ³ BINS REQUIRED - 4 x 4yd ³ BINS PROVIDED. GREASE AND ORGANICS FOR COMMERCIAL USE PROVIDED. | | |



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| 2 | 2020-10-01 | REISSUED FOR DEVELOPMENT PERMIT |
| 3 | 2020-11-17 | REISSUED FOR DEVELOPMENT PERMIT |

client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
GENERAL INFO / BYLAW ANALYSIS

| | |
|---------------|--------------|
| scale: | As indicated |
| drawn by: | LS |
| checked by: | JS |
| project no.: | 220-021 |
| date issued: | 2020-11-17 |
| re-issue no.: | sheet no. |

DP0.01



1 VIEW ALONG NA'A DRIVE - LOOKING EAST



2 VIEW ALONG NA'A DRIVE - LOOKING EAST



3 VIEW TOWARDS SARCEE TRAIL - LOOKING NORTH-EAST



4 VIEW ACROSS 16TH AVE NW - LOOKING NORTH



5 VIEW ACROSS 16TH AVE NW - LOOKING NORTH-WEST



6 VIEW ALONG NA'A DRIVE - LOOKING WEST



7 VIEW TO RETAIL ACROSS STREET - LOOKING SOUTH-WEST



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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

CONTEXT IMAGES

scale:
drawn by: LS
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP0.02

BIM 300/Trinity Hills Block H/AR_220-021_CONTEXT_R20.rvt



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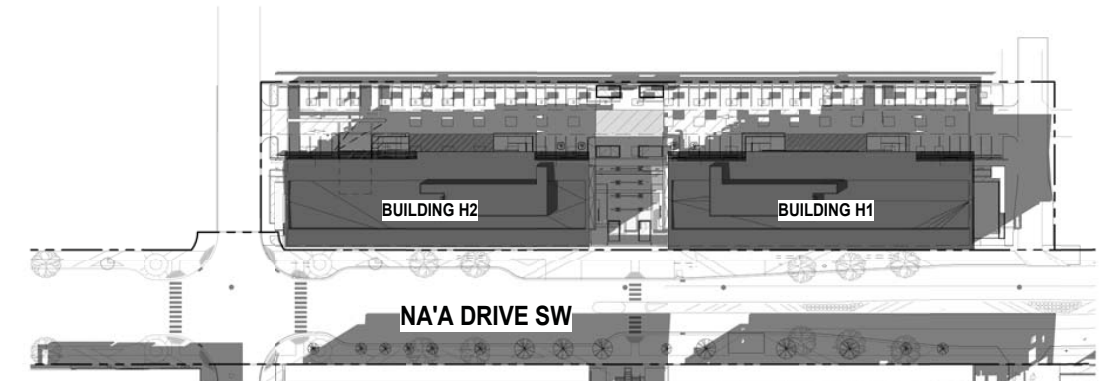


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885 NA'A DRIVE SW CALGARY, AB

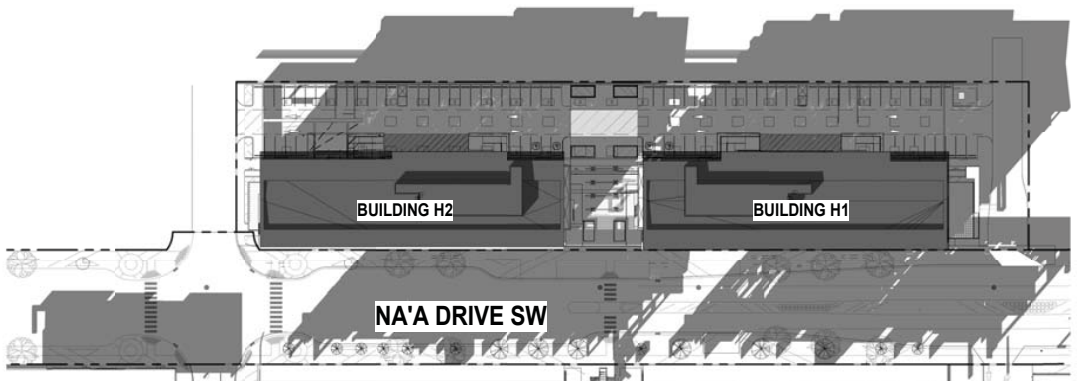
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SHADOW STUDY - MARCH 21st & JUNE 21st

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| project no: | 220-021 |
| date issued: | 2020-11-17 |
| re-issue no: | sheet no: DP0.03 |

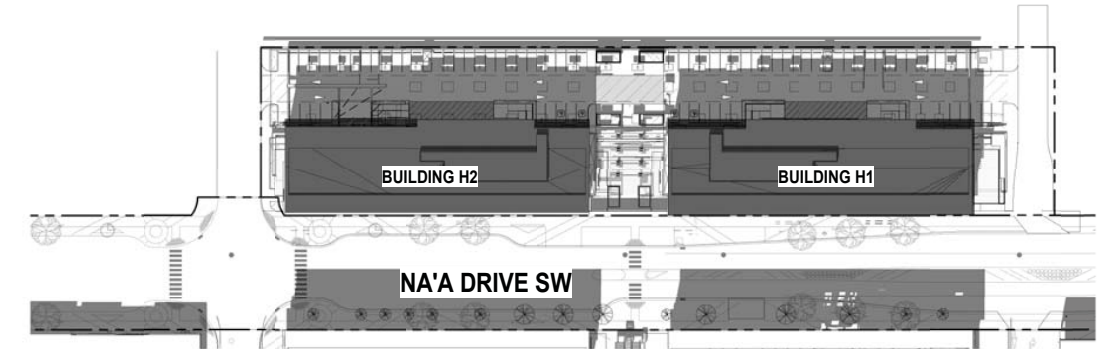
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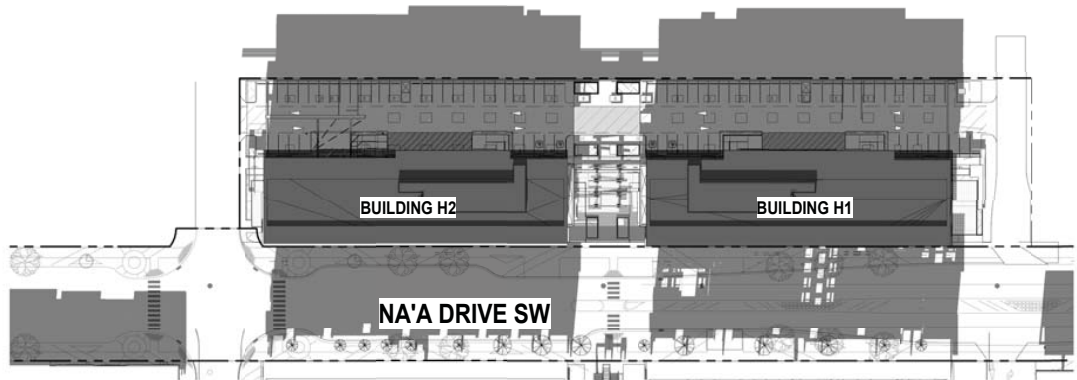
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SCALE: 1 : 800



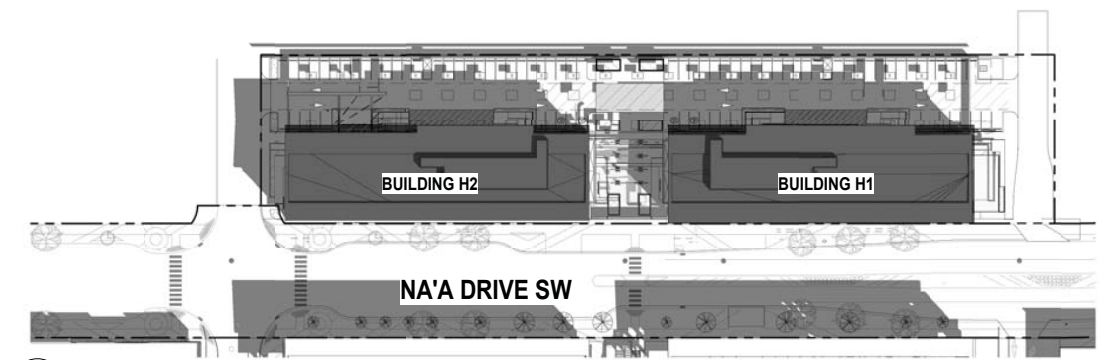
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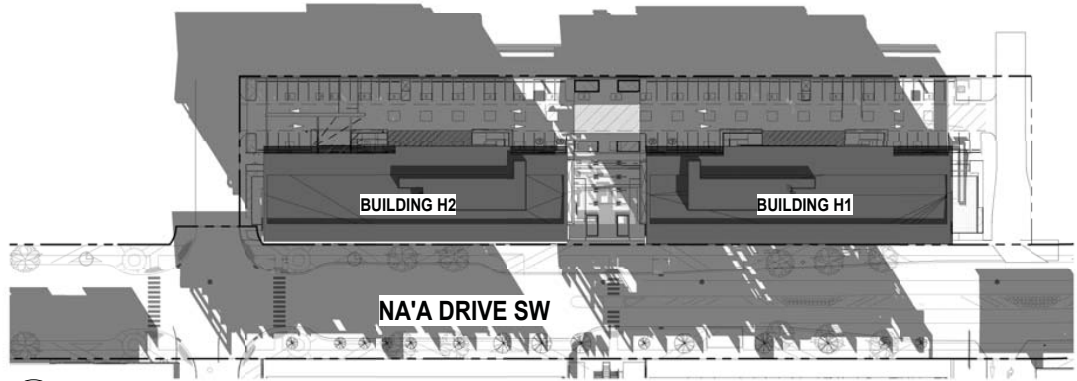
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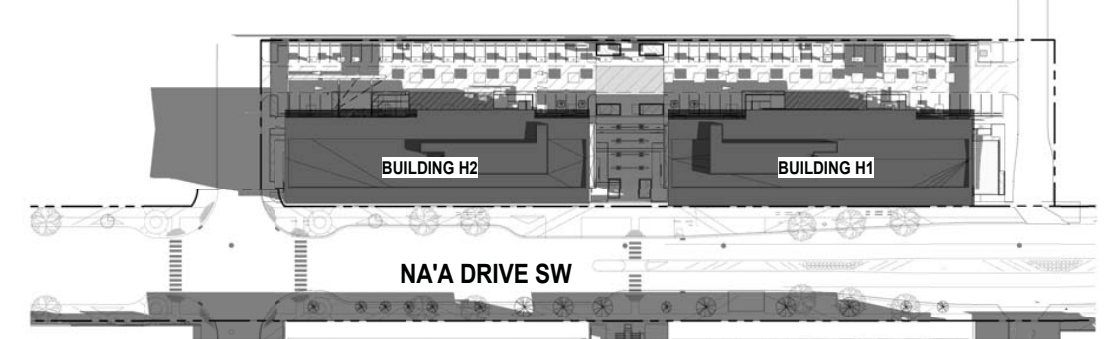
3 SHADOW STUDY - MARCH 21 @ 2PM MDT
SCALE: 1 : 800



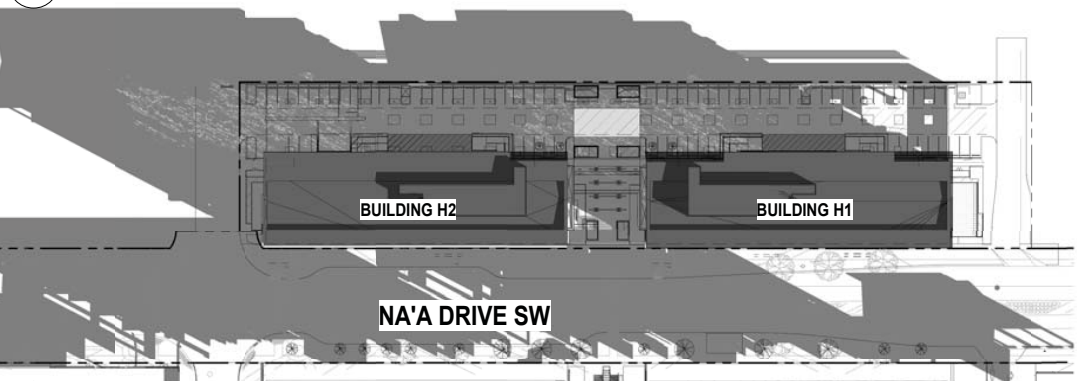
6 SHADOW STUDY - JUNE 21 @ 12PM MDT
SCALE: 1 : 800



2 SHADOW STUDY - MARCH 21 @ 12PM MDT
SCALE: 1 : 800



5 SHADOW STUDY - JUNE 21 @ 10AM MDT
SCALE: 1 : 800



1 SHADOW STUDY - MARCH 21 @ 10AM MDT
SCALE: 1 : 800



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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

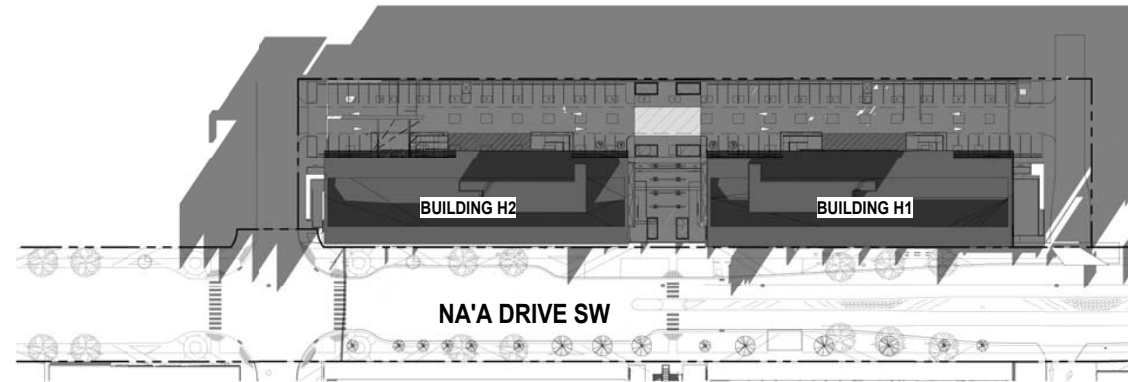
drawing title

SHADOW STUDY -
SEPTEMBER 21st &
DECEMBER 21st

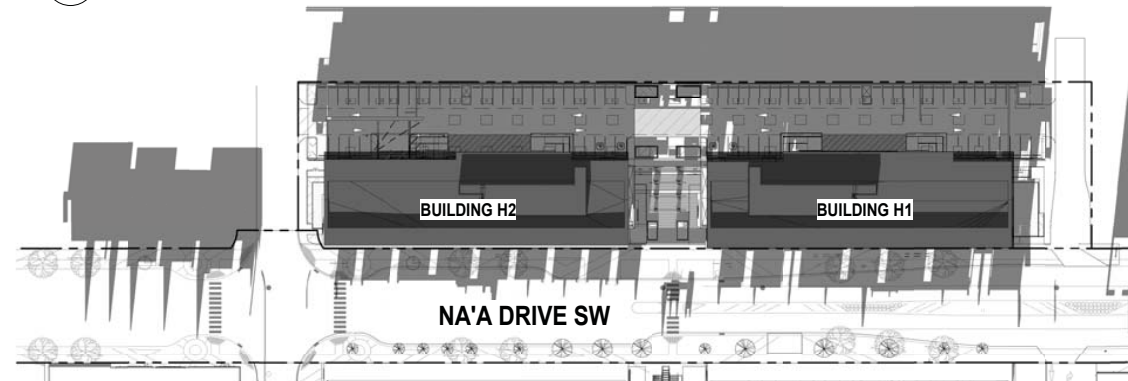
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checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
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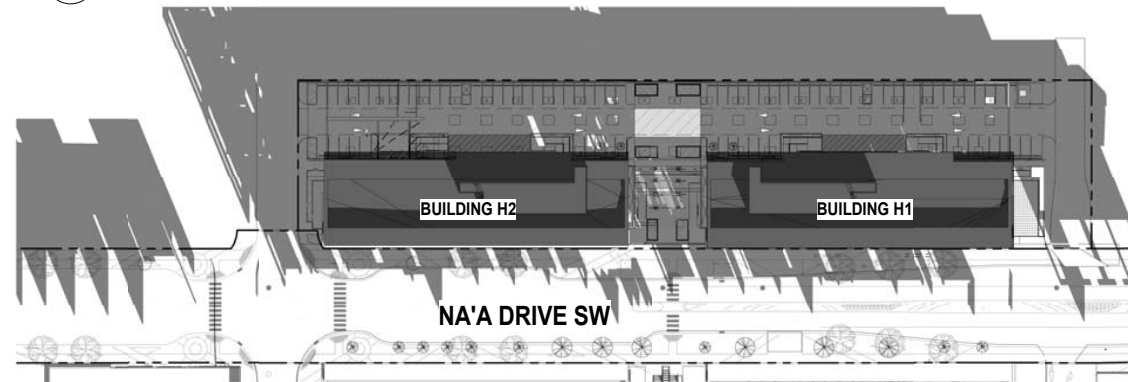
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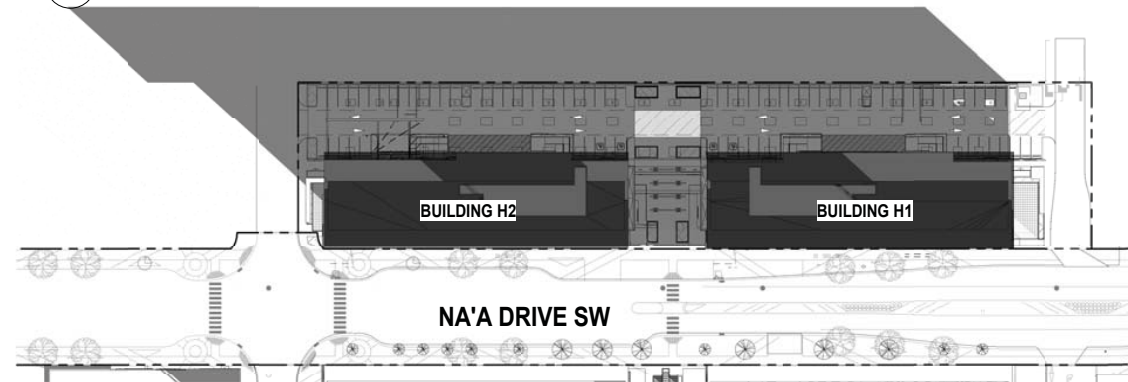
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DP0.04 SCALE: 1:800



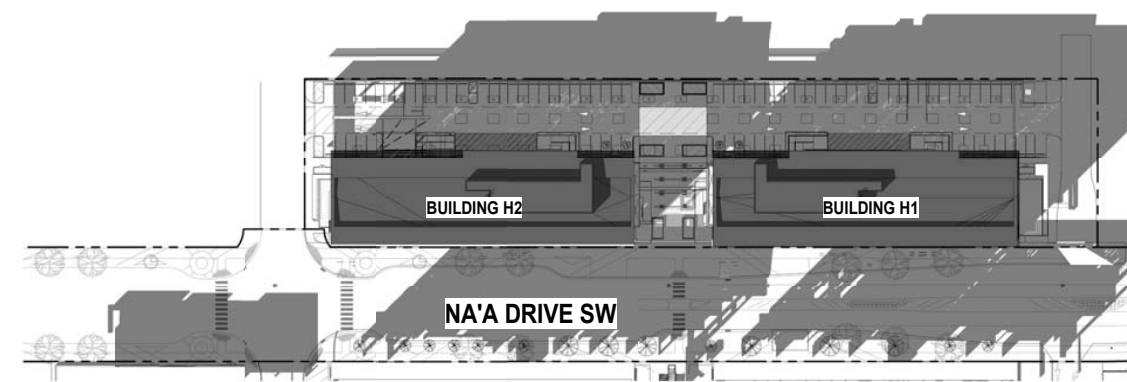
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DP0.04 SCALE: 1:800



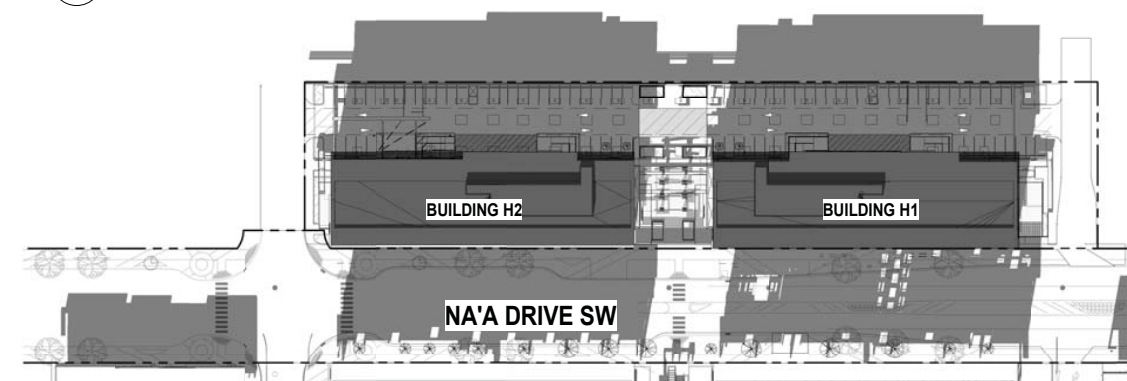
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DP0.04 SCALE: 1:800



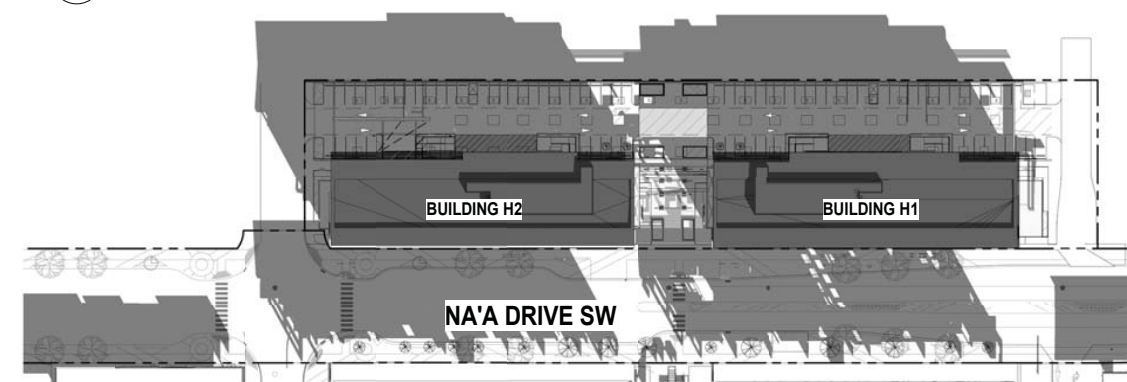
5 SHADOW STUDY - DECEMBER 21 @ 10AM MST
DP0.04 SCALE: 1:800



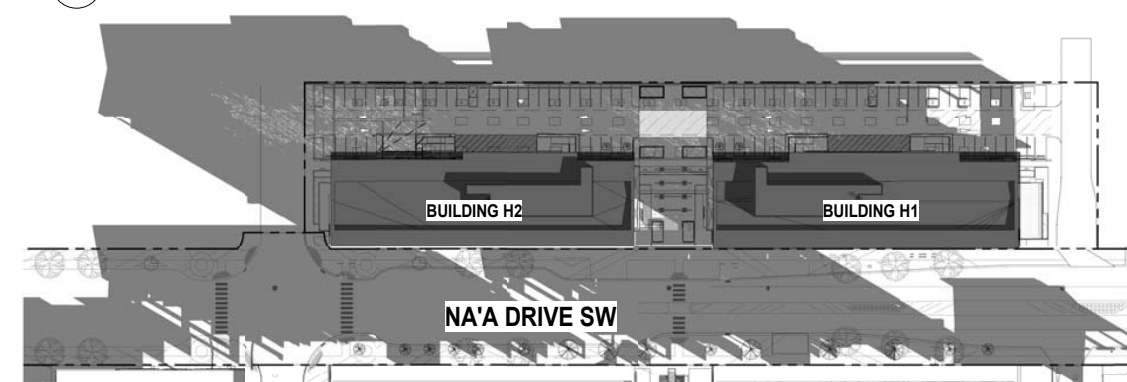
4 SHADOW STUDY - SEPTEMBER 21 @ 4PM MDT
DP0.04 SCALE: 1:800



3 SHADOW STUDY - SEPTEMBER 21 @ 2PM MDT
DP0.04 SCALE: 1:800



2 SHADOW STUDY - SEPTEMBER 21 @ 12PM MDT
DP0.04 SCALE: 1:800



1 SHADOW STUDY - SEPTEMBER 21 @ 10AM MDT
DP0.04 SCALE: 1:800



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client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

SITE SURVEY

scale:

drawn by:

checked by:

project no: 220-021

date issued: 2020-11-17

re-issue no: sheet no:

DP1.00

NOTE: ALL INFORMATION OBTAINED FROM SITE SURVEY PERFORMED BY URBAN SYSTEMS SURVEY INC. PROFESSIONAL LAND SURVEYORS ON FEBRUARY 11, 2020 IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYS ACT. THE LEGAL SURVEY DEPICTED ON THIS SHEET IS FOR REFERENCE ONLY. ZEIDLER ARCHITECTURE ASSUMES NO RESPONSIBILITY FOR THE ACCURACY AND CONTENT OF THIS SURVEY INFORMATION DEPICTED HEREIN.

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TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

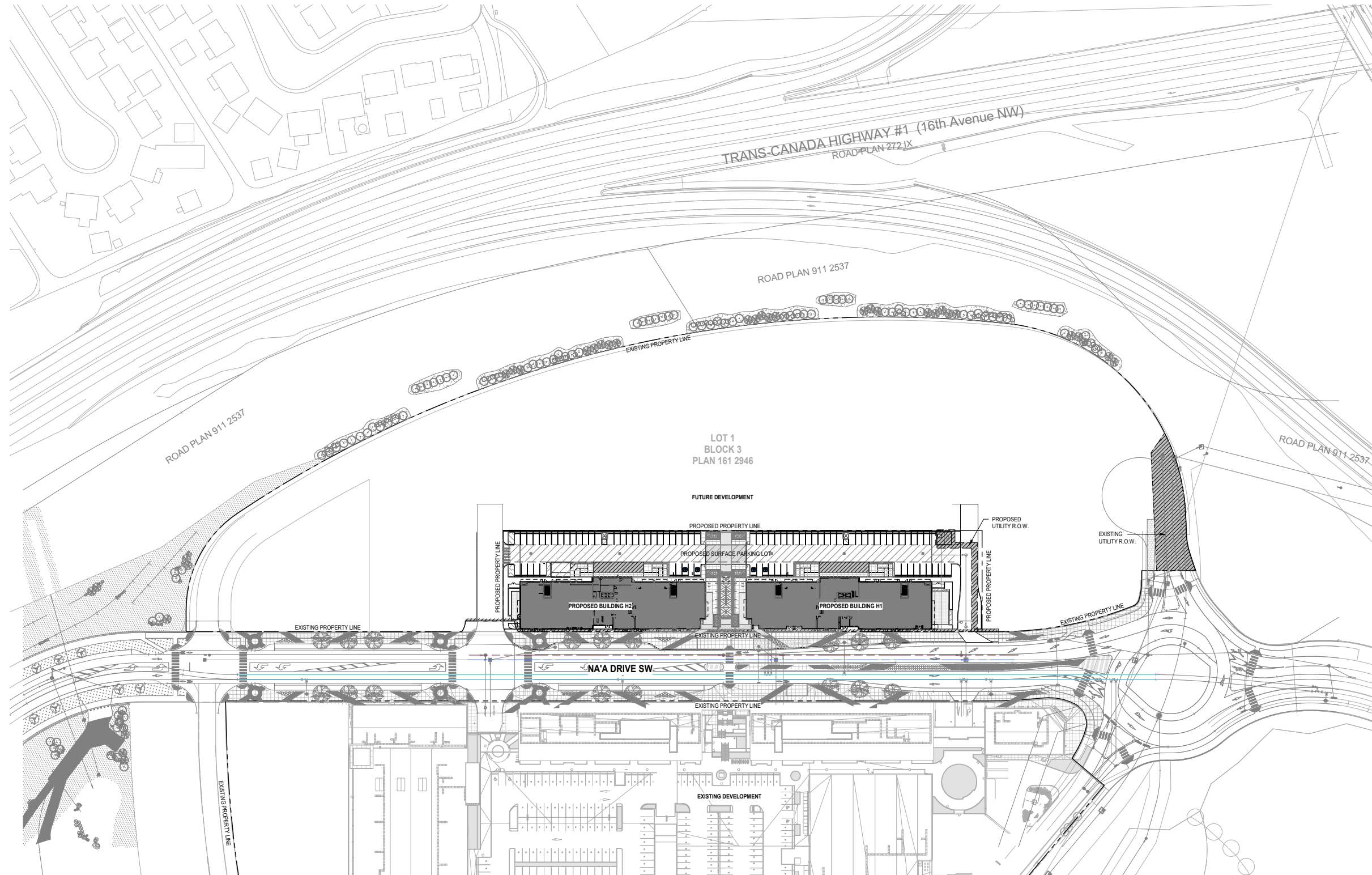
CONTEXT SITE PLAN

scale: 1 : 750
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:

DP1.01

B:\M\300\Trinity Hills Block H\AS_220-021_TRINITY_2020.dwg



SITE PLAN NOTES:

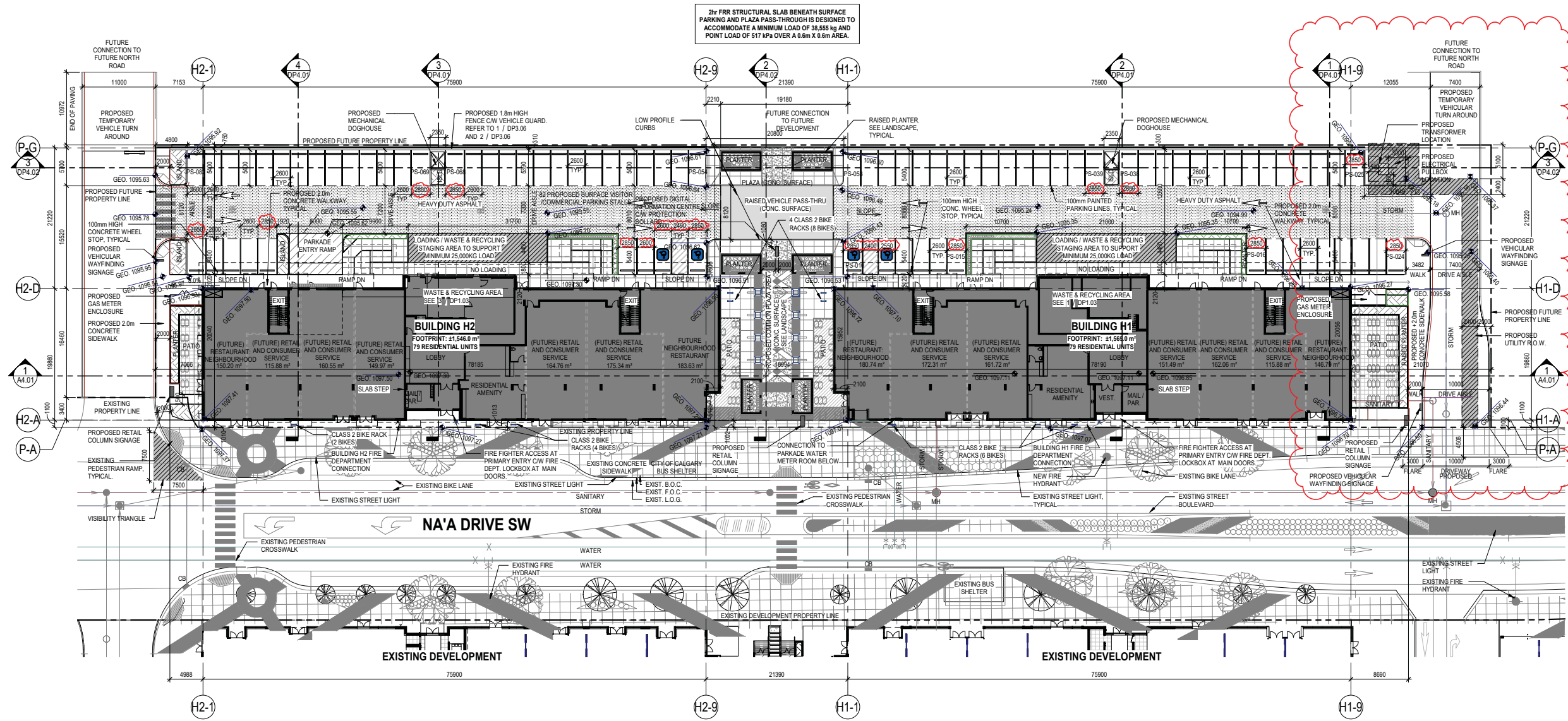
1. NEW CONSTRUCTION. ALL ELEMENTS ARE PROPOSED UNLESS NOTED OTHERWISE.
2. REFER TO CONTEXT PLAN FOR FULL EXTENT OF PROPERTY LINE.
3. WASTE & RECYCLING.
 - A. WASTE & RECYCLING TO BE MANAGED BY PRIVATE COLLECTION SERVICE.
 - B. ALL WASTE & RECYCLING TO BE STORED INSIDE SECURE ROOMS WITHIN THE BUILDING.
 - C. SECURE ACCESS WILL BE PROVIDED FOR THE COLLECTION CREWS TO ACCESS BOTH RESIDENTIAL AND COMMERCIAL WASTE & RECYCLING ROOMS.
 - D. ALL SURFACES FOR WASTE & RECYCLING VEHICULAR COLLECTION ROUTE HAVE BEEN DESIGNED TO ACCOMMODATE THE GROSS WEIGHT OF A LOADED COLLECTION VEHICLE (MAX. 25,000kg / 55,000lbs).
 - E. UNLIMITED VERTICAL CLEARANCE IN EXTERIOR WASTE & RECYCLING STAGING / LOADING AREA.

| PROJECT INFORMATION | |
|-----------------------------|---|
| DP APPLICANT: | B&A PLANNING GROUP (#600, 215 9 AVENUE SW, CALGARY, AB) |
| MUNICIPAL ADDRESS: | 924 NA'A DRIVE SW, CALGARY, AB |
| LEGAL ADDRESS: | LOT 1, BLOCK 3, PLAN 161-2946 |
| COMMUNITY: | MEDICINE HILL |
| LAND USE / ZONING: | DIRECT CONTROL DC 66D2019 |
| LAND USE BYLAW: | 1P2007 |
| TOTAL PARCEL AREA: | 4.345 HA / 10.74 ACRES (43,450 m ²) |
| PROPOSED PROJECT SITE AREA: | 0.857 HA / 2.12 ACRES (8,566 m ²) |
| NET SITE COVERAGE: | 39.9% |
| GROSS FLOOR AREA (G.F.A.): | 17,468 m ² |
| FLOOR AREA RATIO (F.A.R.): | 2.04 (BASED ON PROPOSED PROJECT SITE AREA) / 0.40 (BASED ON PARCEL AREA) |
| NEW DWELLING UNITS CREATED: | 158 (99 x 1-BEDROOM & 99 x 2-BEDROOM) |
| UNITS PER HECTARE (U.P.H.): | 184.4 (BASED ON PROPOSED PROJECT SITE AREA) / 36.4 (BASED ON PARCEL AREA) |



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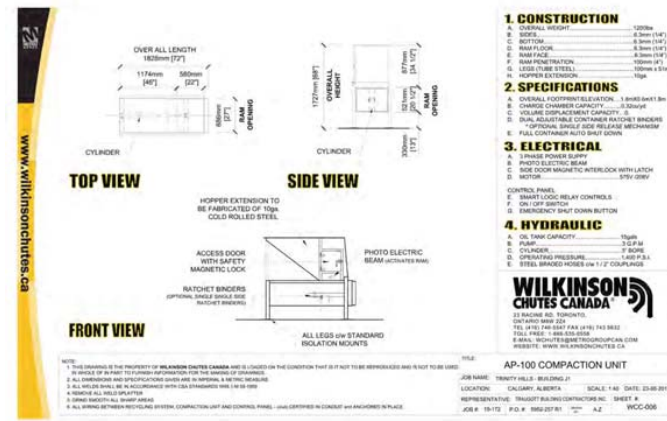
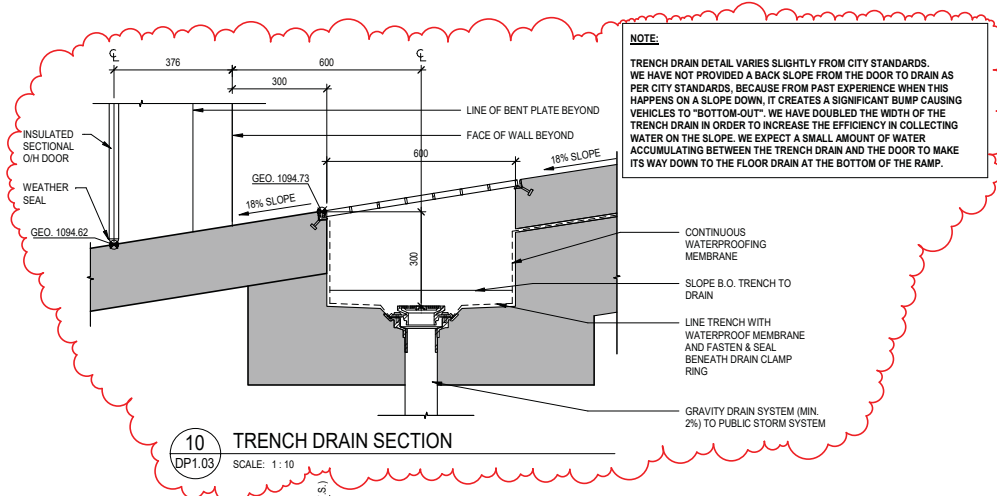
project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
PROJECT SITE PLAN

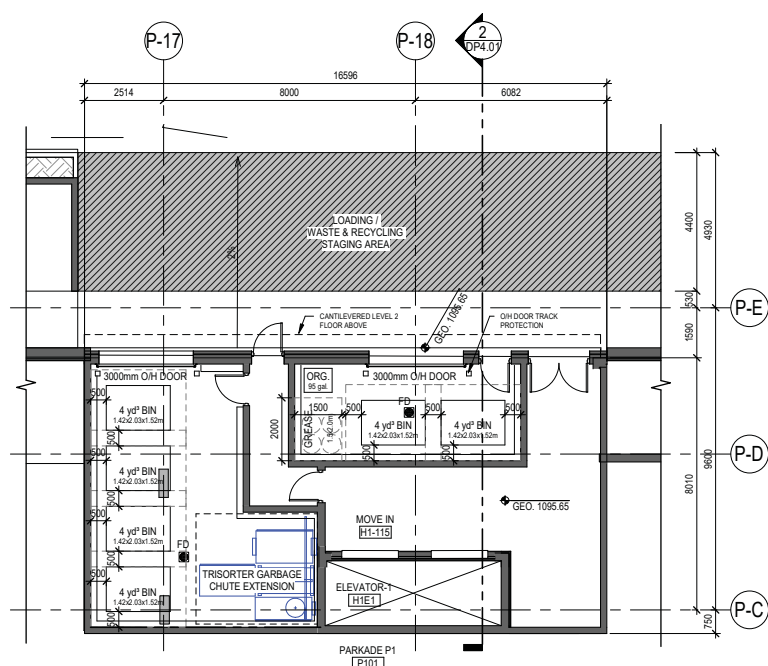
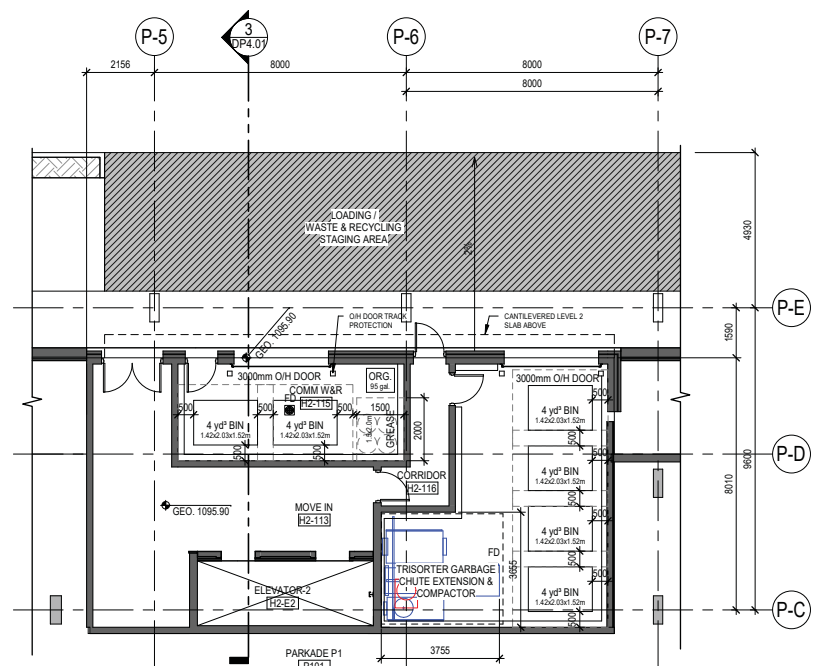
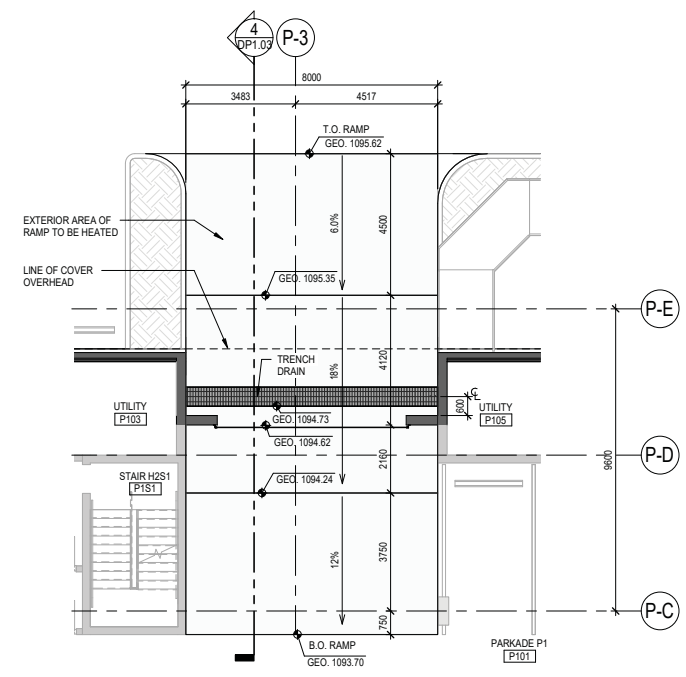
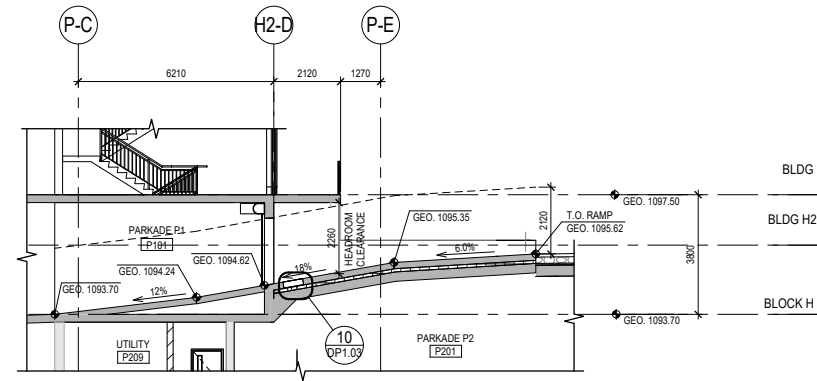
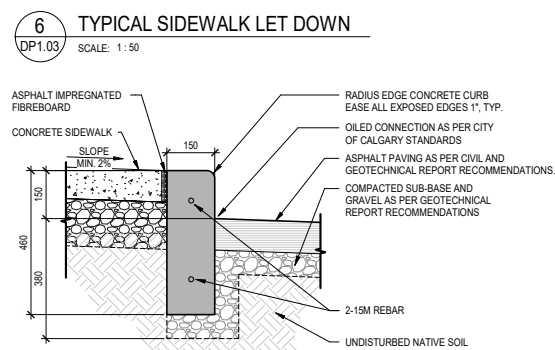
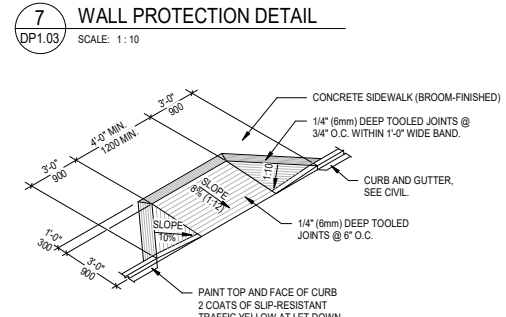
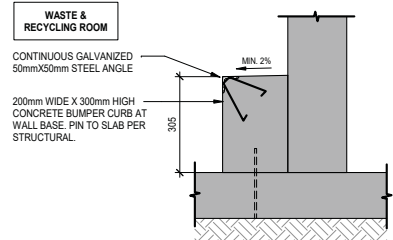
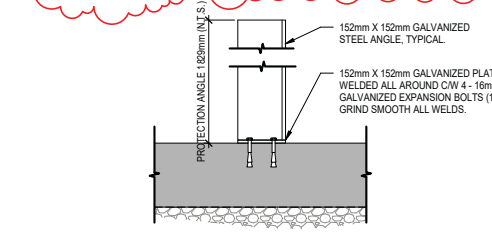
1 SITE PLAN
DP1.02 SCALE: 1:300

| | |
|---------------|---------------|
| scale: | As indicated |
| drawn by: | AM |
| checked by: | JS |
| project no.: | 220-021 |
| date issued: | 2020-11-17 |
| re-issue no.: | sheet no. |
| | DP1.02 |

BIM 360/Trinity Hills Block H/NA'A Drive SW/20-021-TRINITY_R20.dwg



- WASTE & RECYCLING NOTES**
1. ALL WASTE & RECYCLING TO BE PRIVATELY MANAGED.
 2. ALL WASTE & RECYCLING STAGING AND VEHICLE PATH PAVING & ASSOCIATED STRUCTURAL SLABS TO HAVE 38,556KG BEARING CAPACITY.
 3. ALL WASTE & RECYCLING ROOMS TO HAVE EPOXY COATED FLOORS EXTENDED OVER CURBS AND UP WALLS TO 1220mm HIGH.
 4. THE MAXIMUM GRADE FOR THE WASTE & RECYCLING FACILITIES, THE STAGING AND COLLECTION LOCATIONS, AND THE VEHICLE APPROACH AREA / LOADING STALLS IS TO BE 2%.
 5. WASTE & RECYCLING ACCESS WILL BE PROVIDED FOR THE COLLECTION CREWS TO ACCESS BOTH RESIDENTIAL AND COMMERCIAL WASTE & RECYCLING ROOMS.
 6. UNLIMITED VERTICAL CLEARANCE IN EXTERIOR WASTE & RECYCLING STAGING / LOADING AREAS.
 7. WASTE & RECYCLING PICK-UP VEHICLE SWEEP IS SHOWN ON VEHICULAR ACCESS SHEET.



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client
TRINITY DEVELOPMENT GROUP

TRINITY

project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
WASTE & RECYCLING PLANS, DETAILS

scale: As indicated
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17
re-issue no: sheet no: **DP1.03**

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client
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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

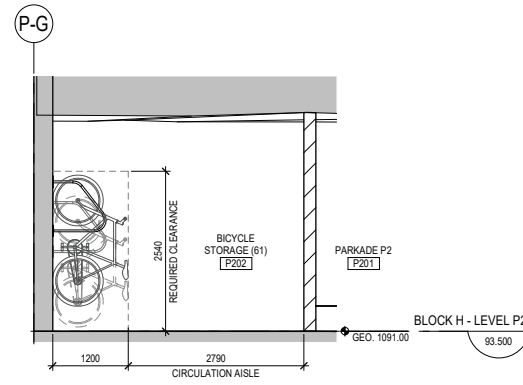
drawing title

BIKE STORAGE DETAILS

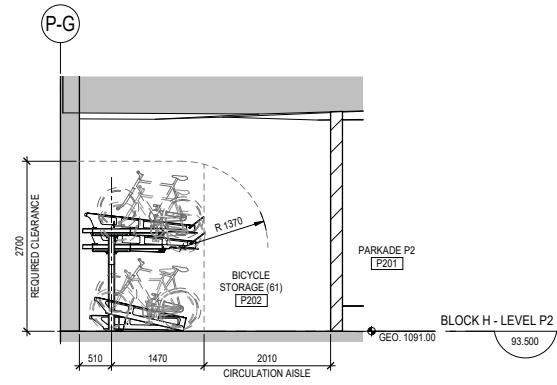
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project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP1.04

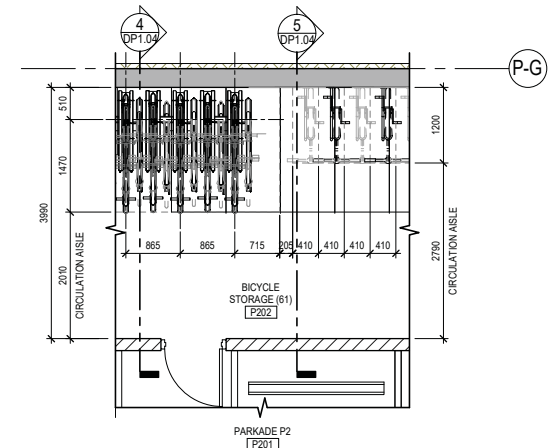
BIM 300/Trinity Hills Block H/AR_220-021_TRINITY_R20.rvt



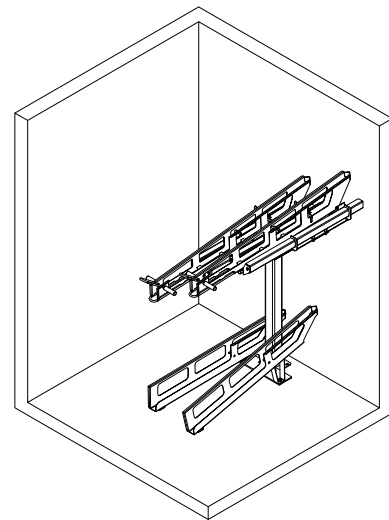
5 BIKE STORAGE PROJECT SECTION - VERTICAL
DP1.04 SCALE: 1:50



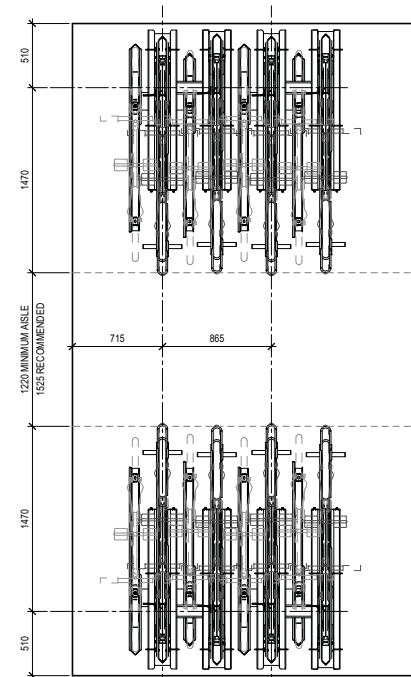
4 BIKE STORAGE PROJECT SECTION - HORIZONTAL
DP1.04 SCALE: 1:50



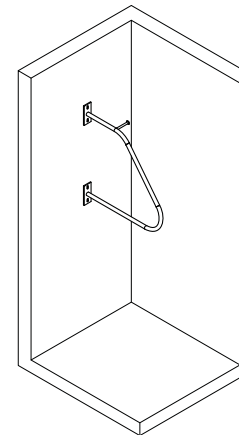
3 ENLARGED PARTIAL PLAN - PROJECT BIKE STORAGE
DP1.04 SCALE: 1:50



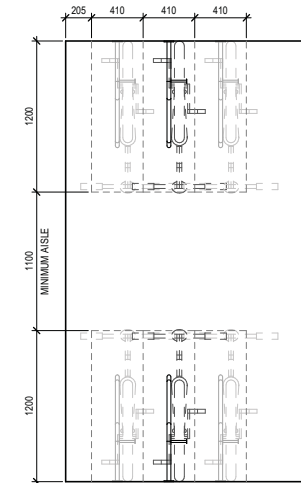
ISOMETRIC VIEW



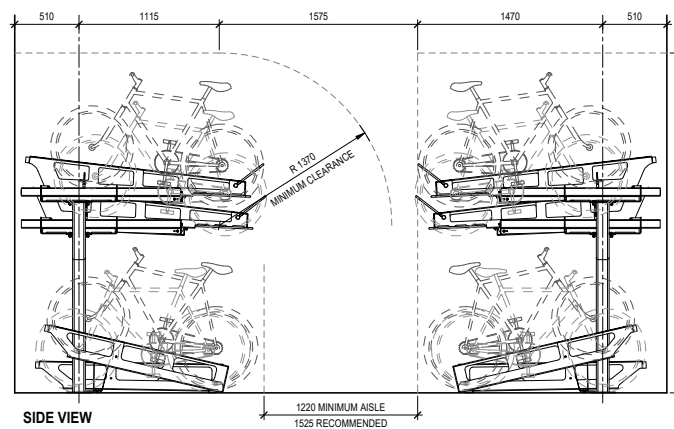
PLAN VIEW



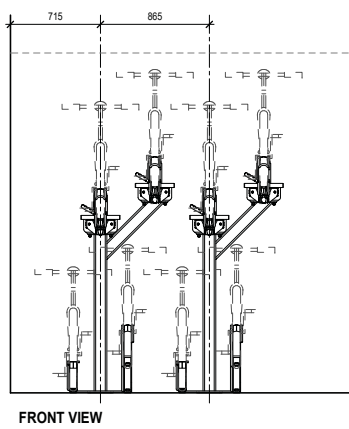
ISOMETRIC VIEW



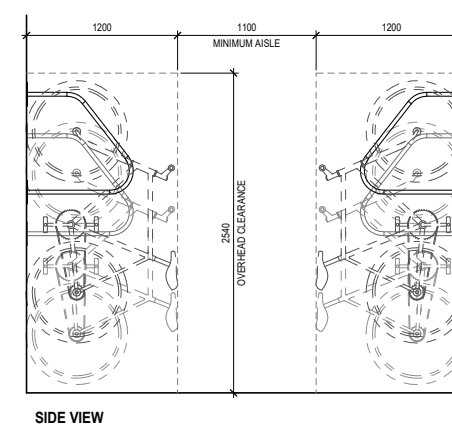
PLAN VIEW



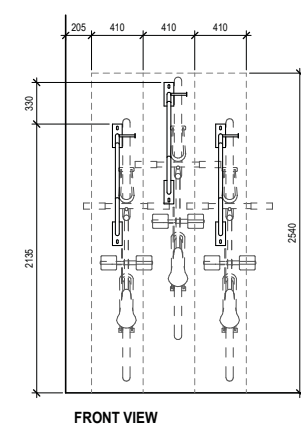
2 BIKE STORAGE STANDARD DETAILS - HORIZONTAL
DP1.04 SCALE: 1:25



FRONT VIEW



1 BIKE STORAGE STANDARD DETAILS - VERTICAL
DP1.04 SCALE: 1:25



FRONT VIEW



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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

VIEWS FROM
TRANS-CANADA HIGHWAY

scale: 1 : 1750
drawn by: JS
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP1.05

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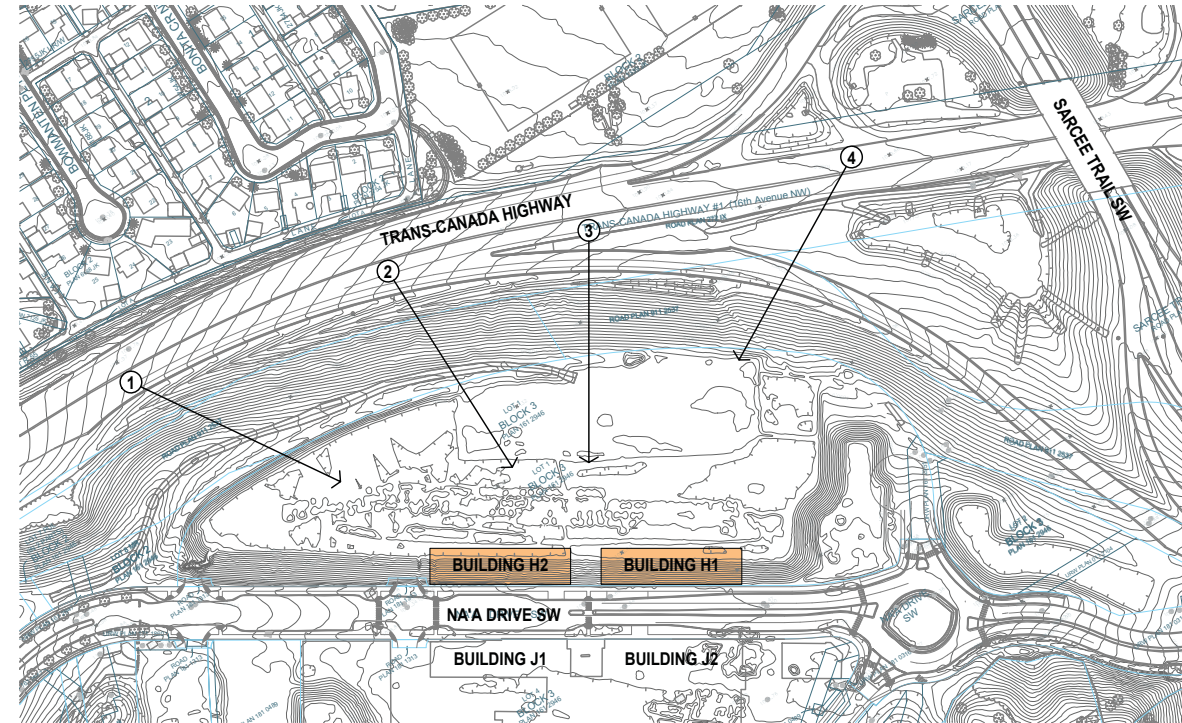
3 VIEW FROM TRANS-CANADA HIGHWAY
DP1.05 SCALE



2 VIEW FROM TRANS-CANADA HIGHWAY
DP1.05 SCALE



1 VIEW FROM TRANS-CANADA HIGHWAY
DP1.05 SCALE



0 VIEWS FROM TRANS-CANADA HIGHWAY REFERENCE PLAN
DP1.05 SCALE: 1 : 1750



4 VIEW FROM TRANS-CANADA HIGHWAY
DP1.05 SCALE



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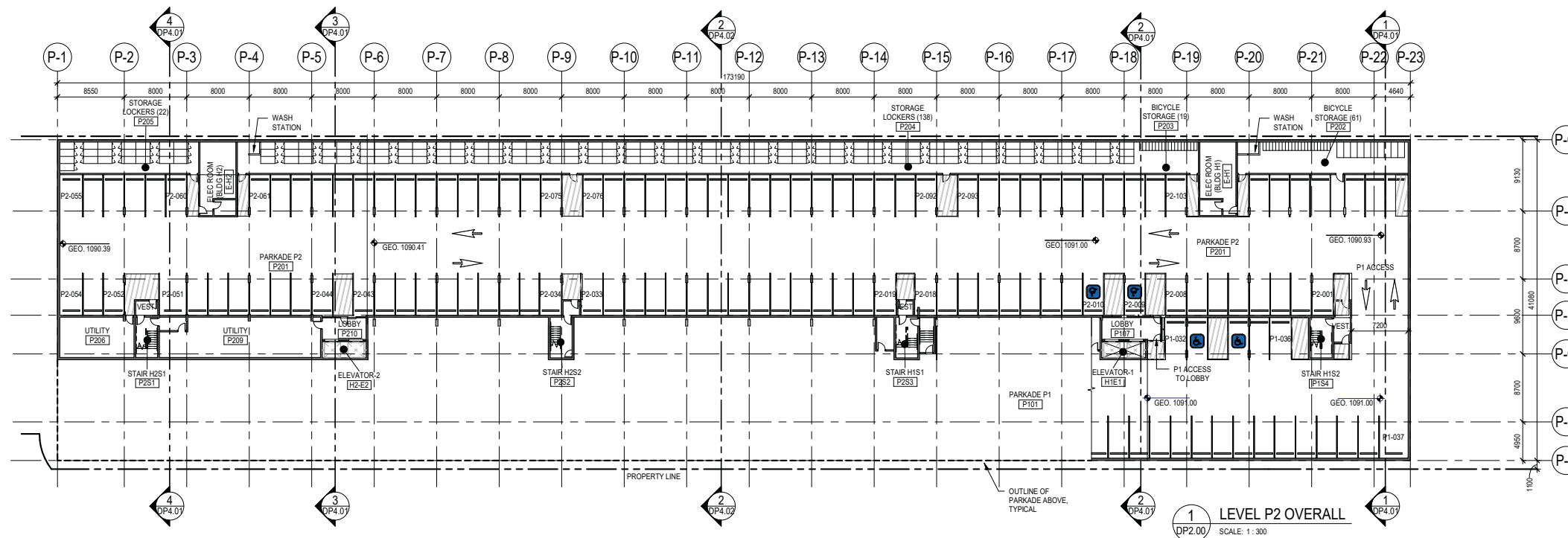
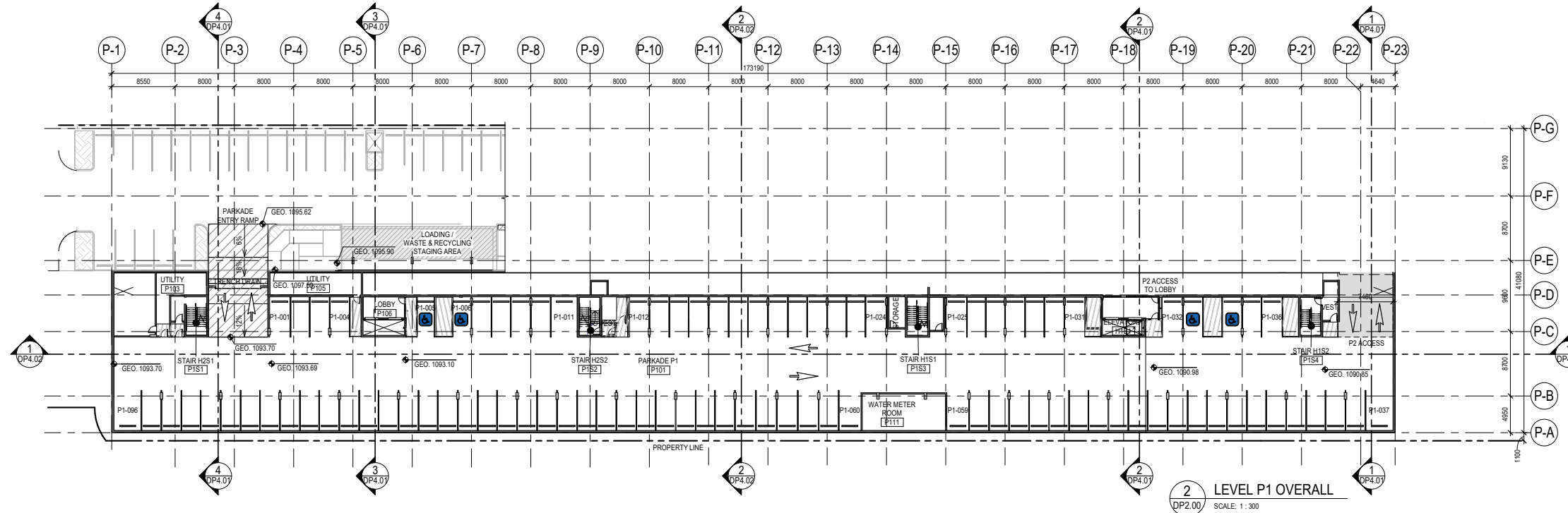


project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
OVERALL FLOOR PLANS -
PARKADE

scale: 1 : 300
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP2.00



BIM 360/Trinity Hills Block WAP_220-021_TRINITY_R20.dwg



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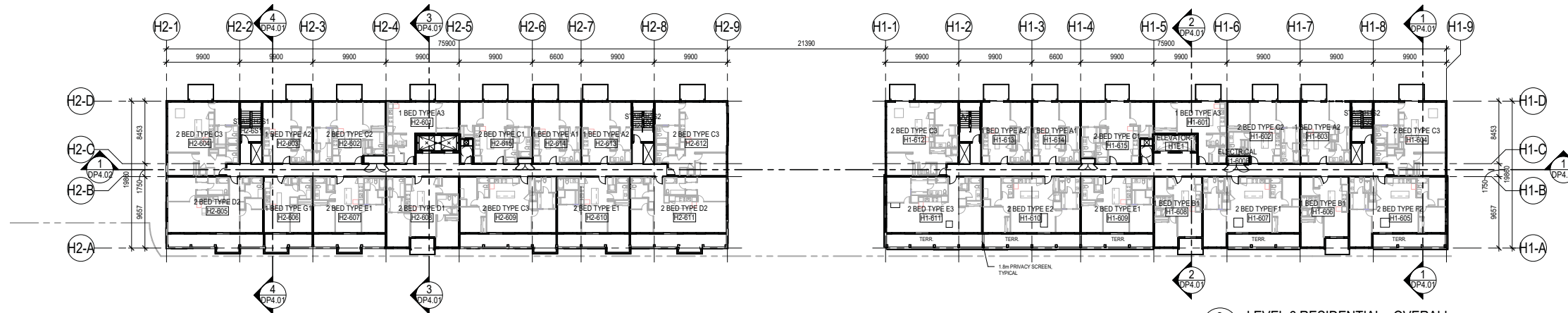


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TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

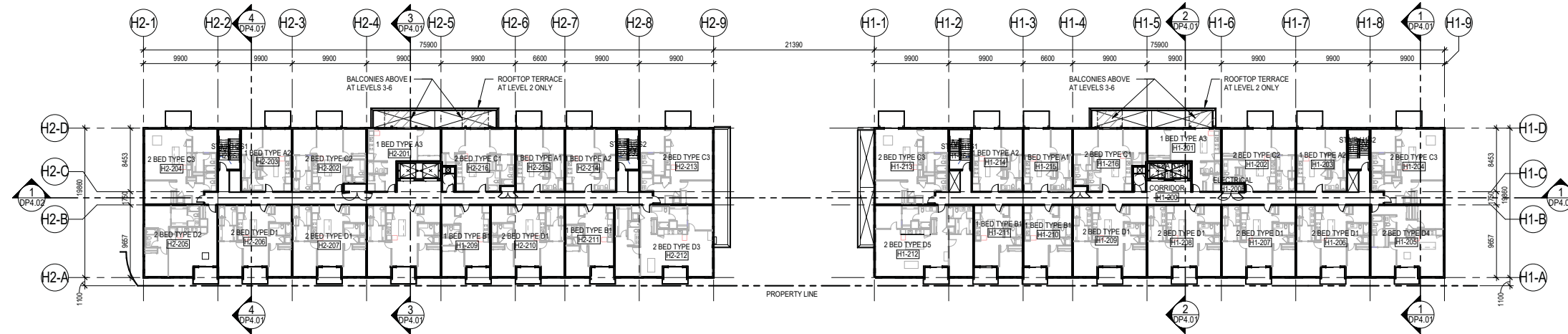
drawing title
OVERALL FLOOR PLANS -
MAIN FLOOR &
RESIDENTIAL

scale: 1 : 300
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

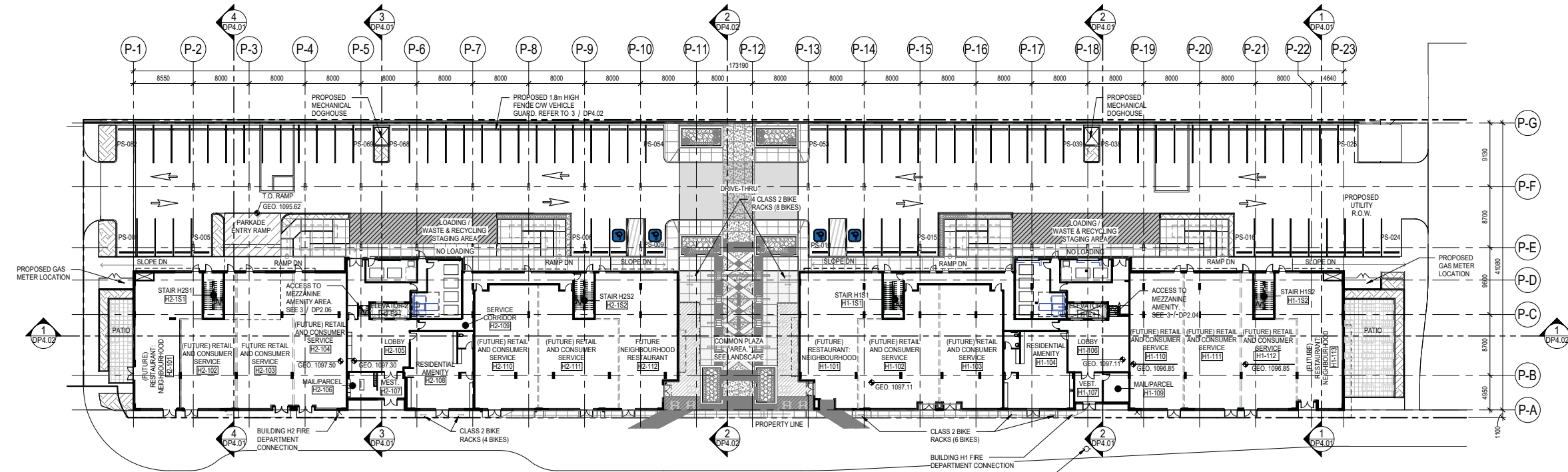
re-issue no: sheet no:
DP2.01



3 LEVEL 6 RESIDENTIAL - OVERALL
DP2.01 SCALE: 1:300

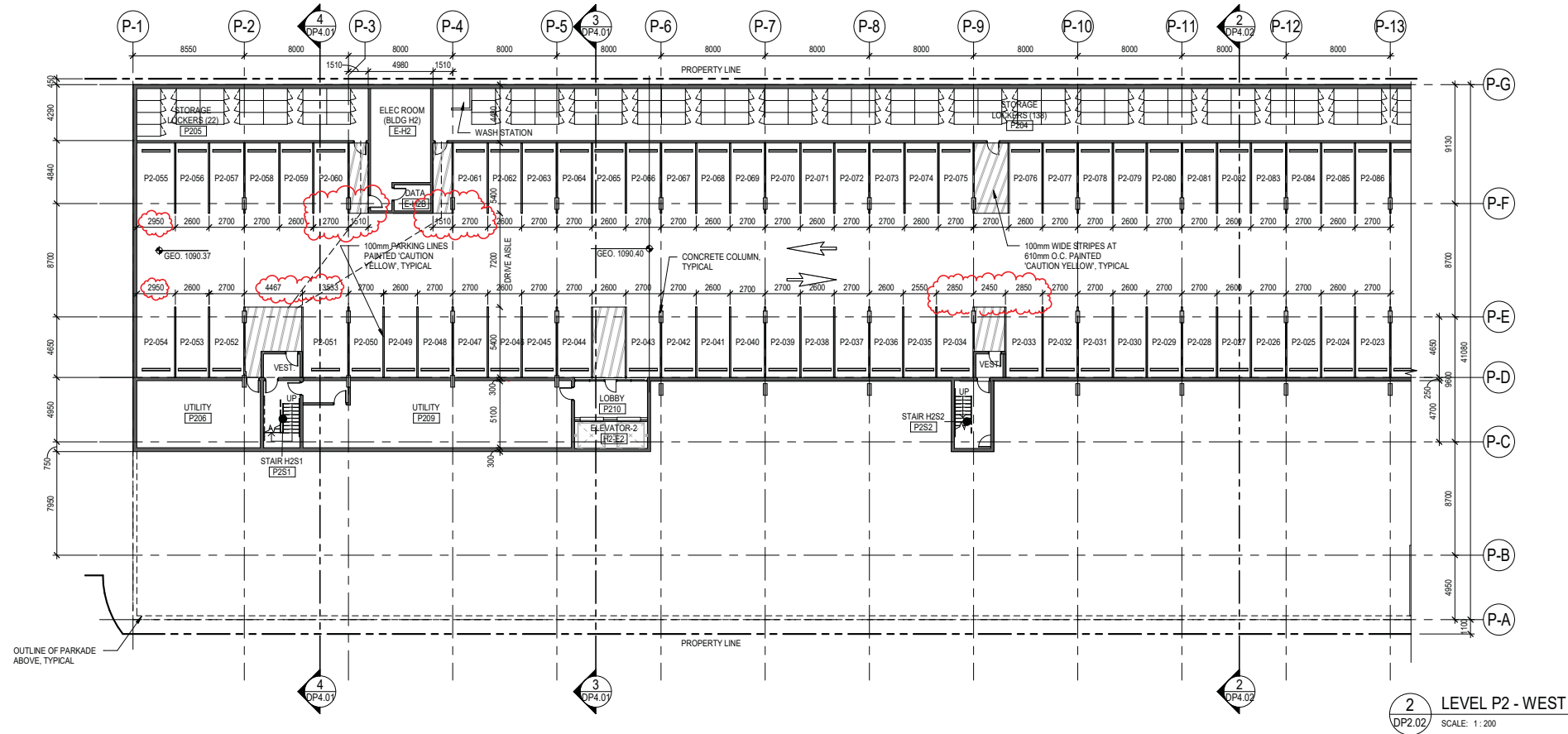


2 LEVEL 2-5 RESIDENTIAL - OVERALL
DP2.01 SCALE: 1:300

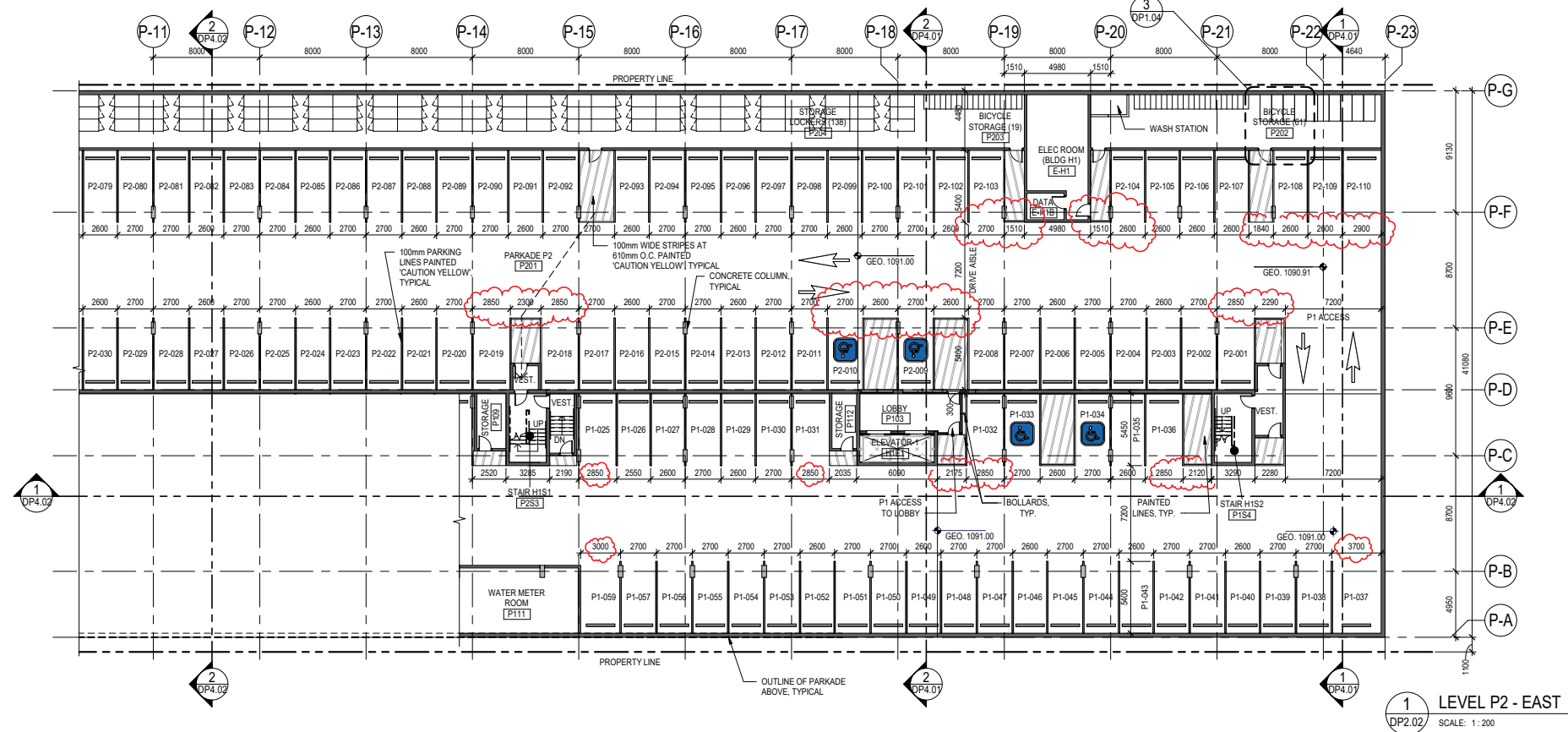


1 MAIN FLOOR RETAIL - OVERALL
DP2.01 SCALE: 1:300

BM 380/Trinity Hills Block WAK_220-021_116142_R02.dwg



2 LEVEL P2 - WEST
DP2.02 SCALE: 1:200



1 LEVEL P2 - EAST
DP2.02 SCALE: 1:200



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project title
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LEVEL P2 PARKADE PLANS

scale: 1:200
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP2.02

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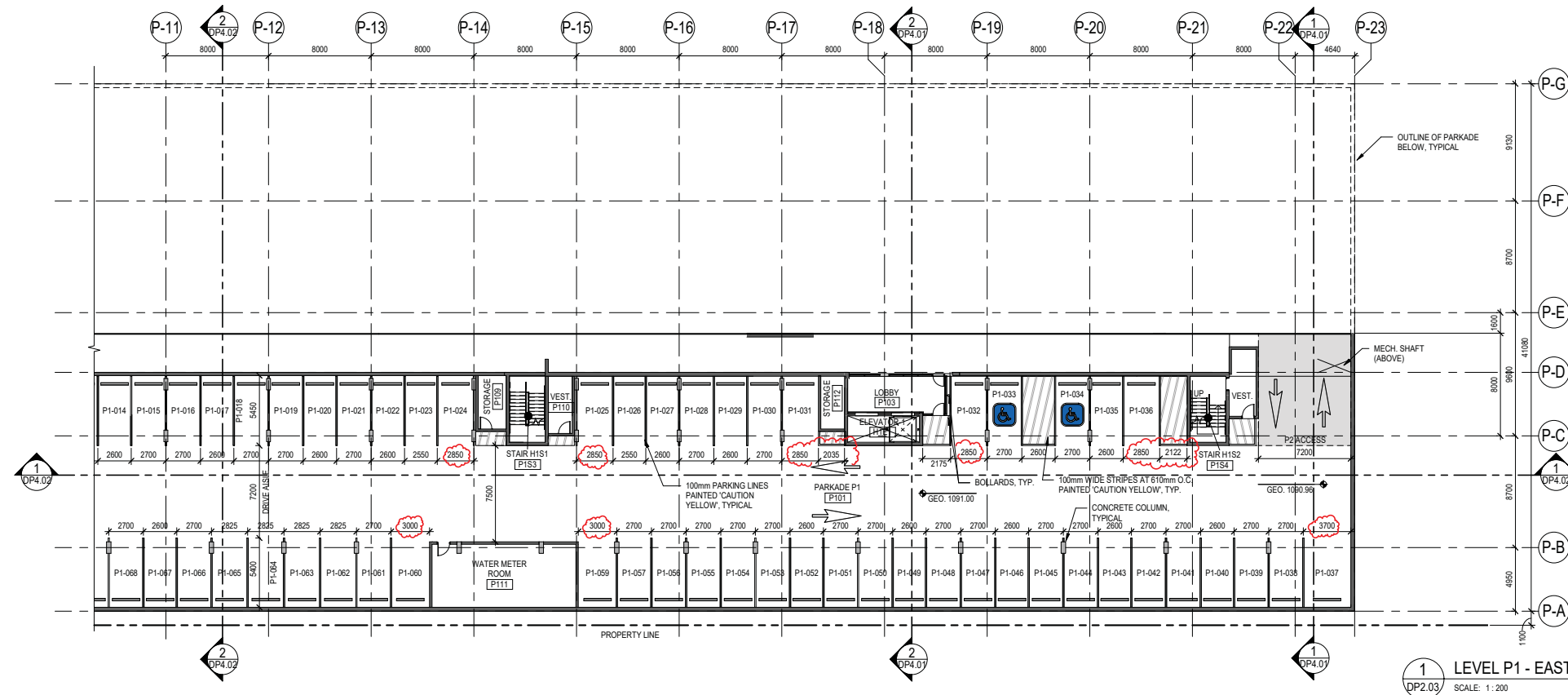
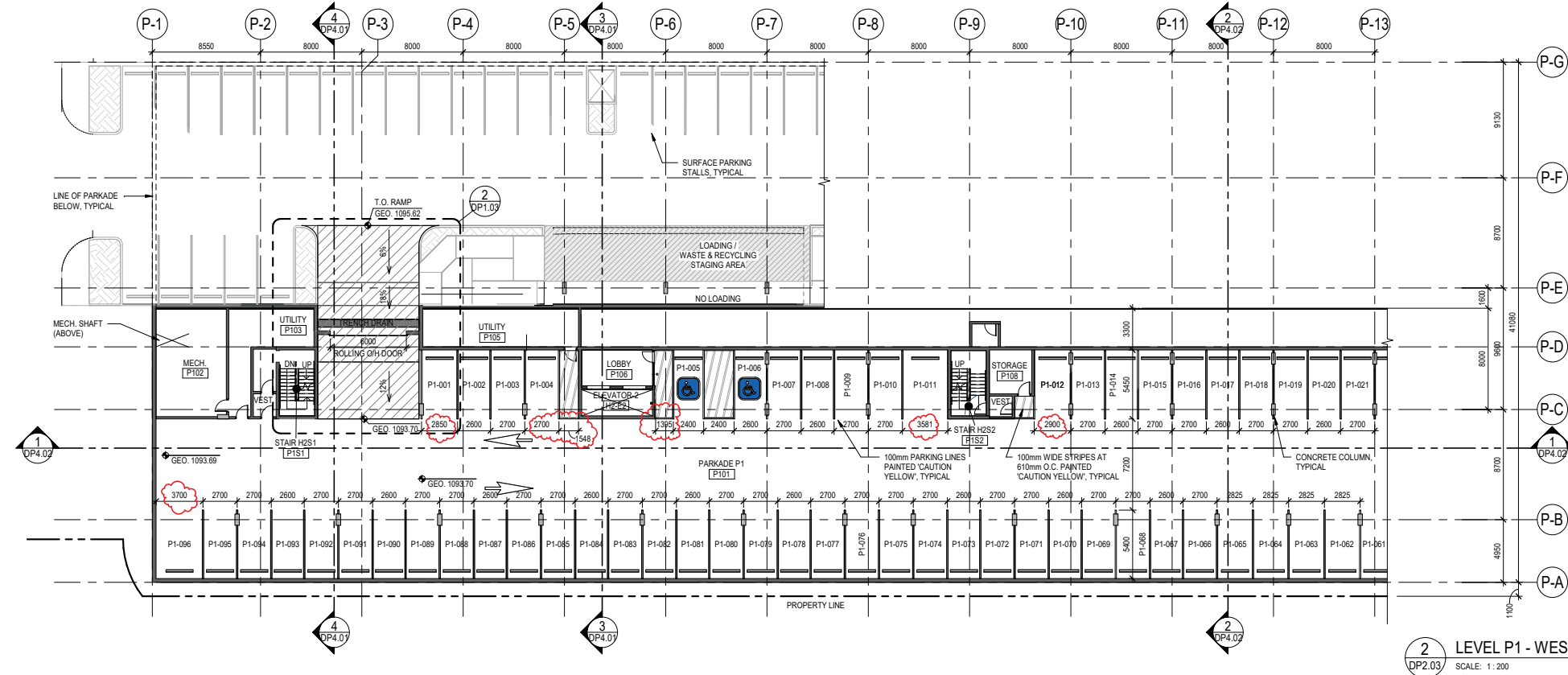
project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

LEVEL P1 PARKADE PLANS

scale: 1 : 200
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP2.03



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client
TRINITY DEVELOPMENT GROUP

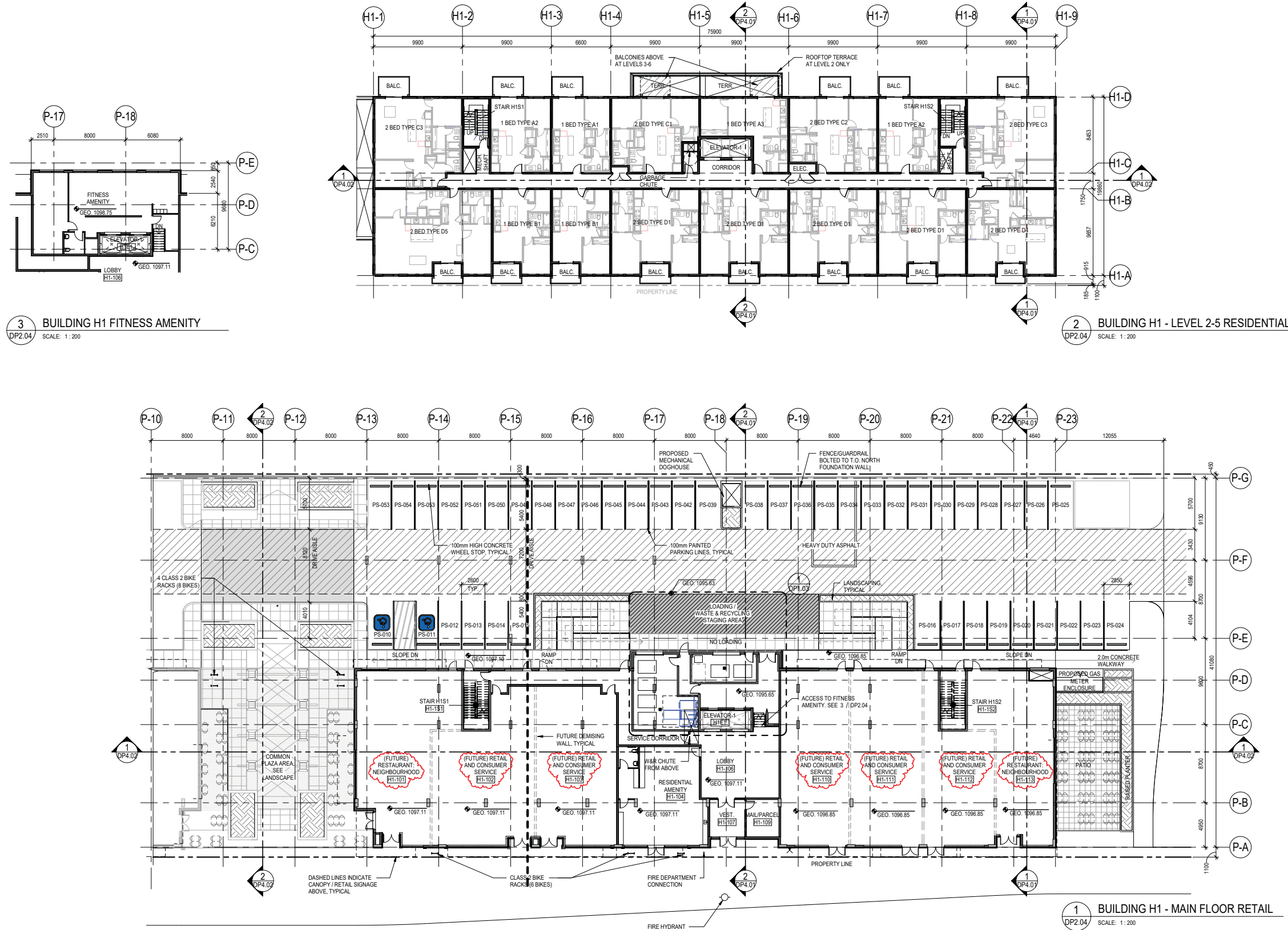


project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
BUILDING H1 FLOOR PLANS
- MAIN FLOOR & LEVELS 2-5
RESIDENTIAL

scale: 1 : 200
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP2.04



3 BUILDING H1 FITNESS AMENITY
DP2.04 SCALE: 1:200

2 BUILDING H1 - LEVEL 2-5 RESIDENTIAL
DP2.04 SCALE: 1:200

1 BUILDING H1 - MAIN FLOOR RETAIL
DP2.04 SCALE: 1:200

BIM 360/Trinity Hills Block WAP_220-021_T1RH12_R20.rvt



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client
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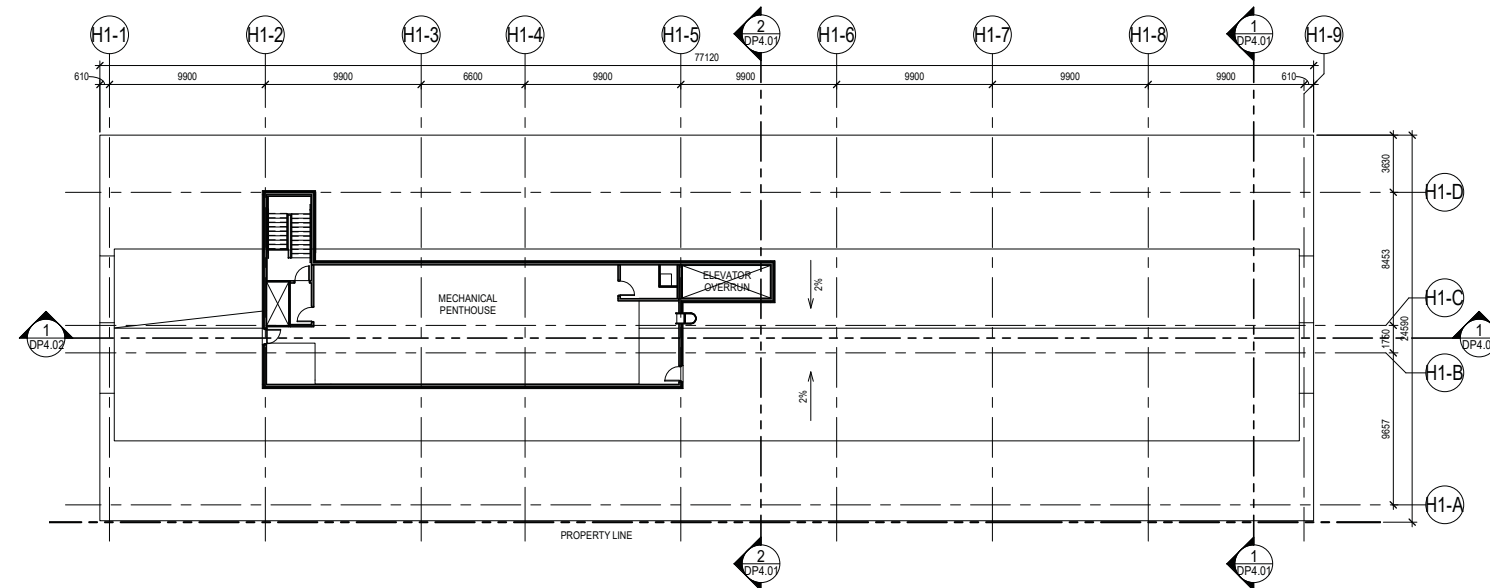


project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

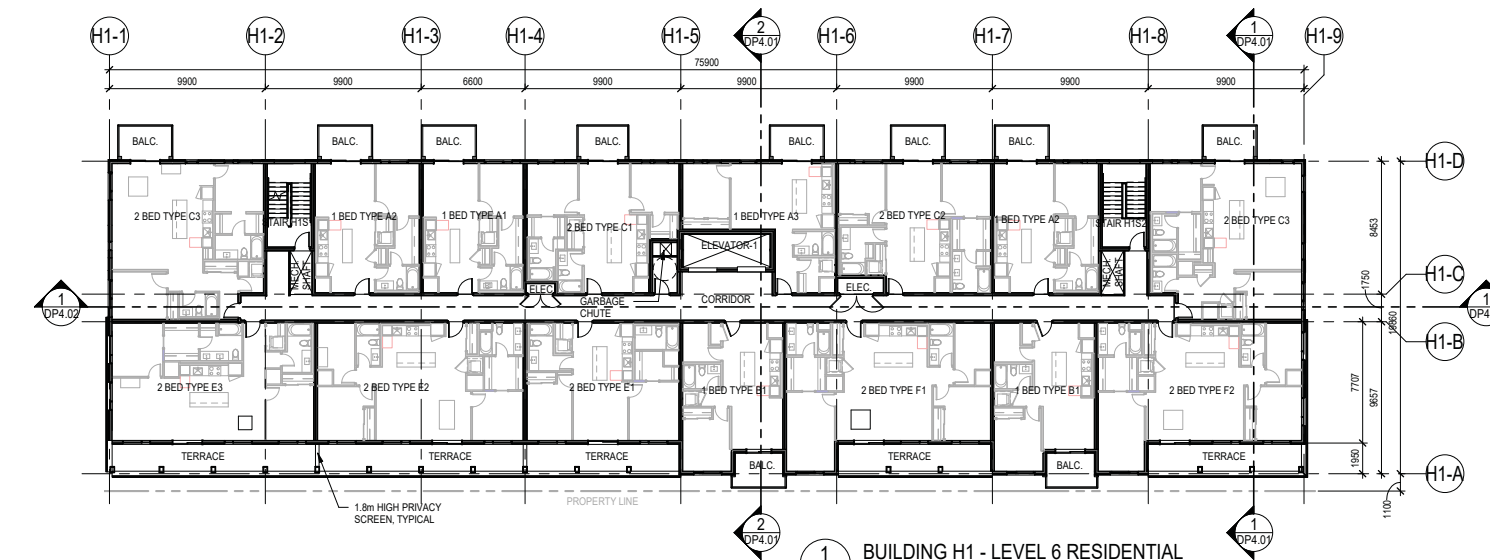
drawing title
BUILDING H1 FLOOR PLANS
- LEVEL 6 RESIDENTIAL &
ROOF/MECHANICAL
PENTHOUSE

scale: 1 : 200
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP2.05



2 BUILDING H1 - ROOF / MECHANICAL PENTHOUSE
DP2.05 SCALE: 1 : 200



1 BUILDING H1 - LEVEL 6 RESIDENTIAL
DP2.05 SCALE: 1 : 200

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TRINITY DEVELOPMENT GROUP

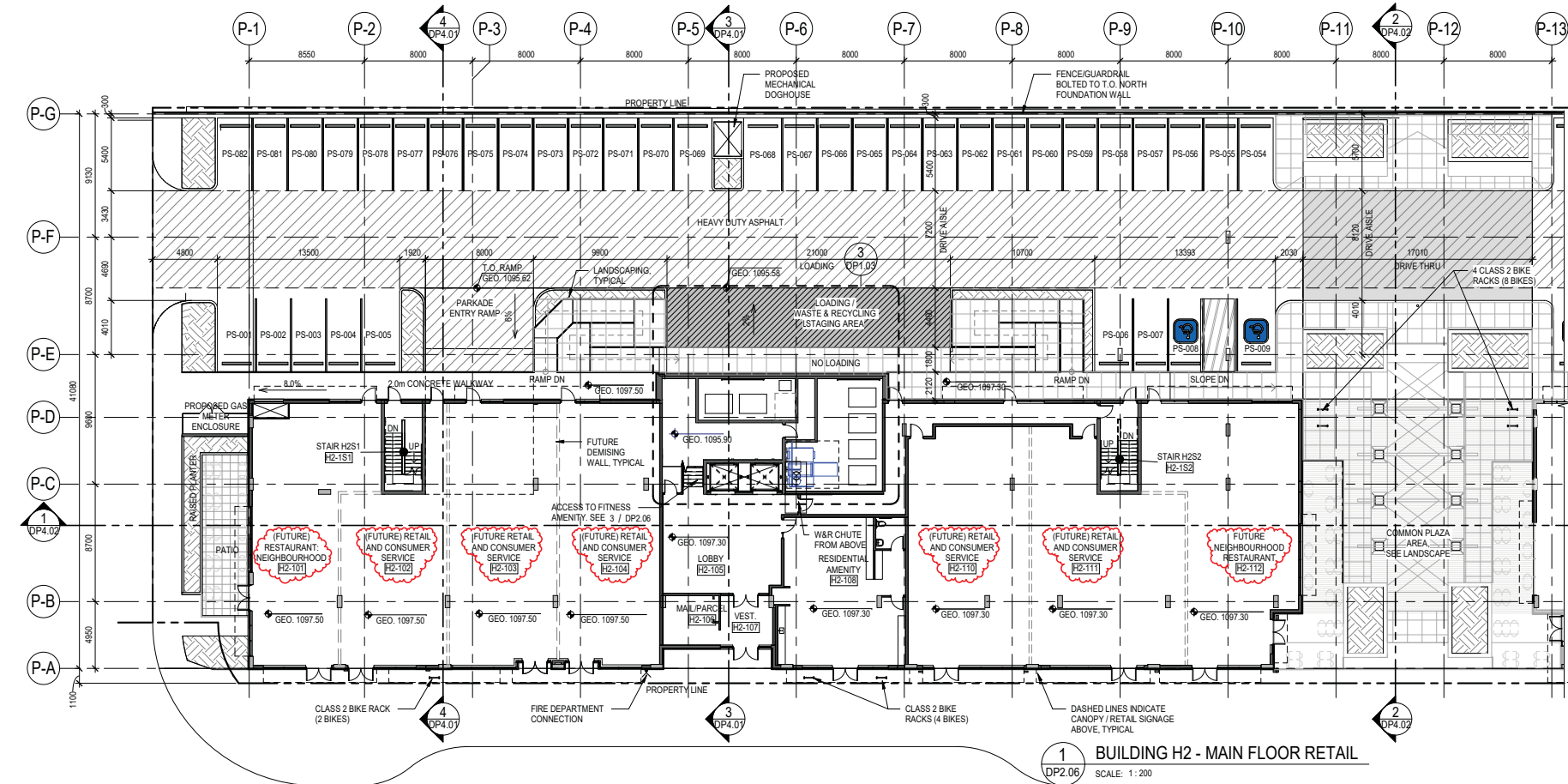
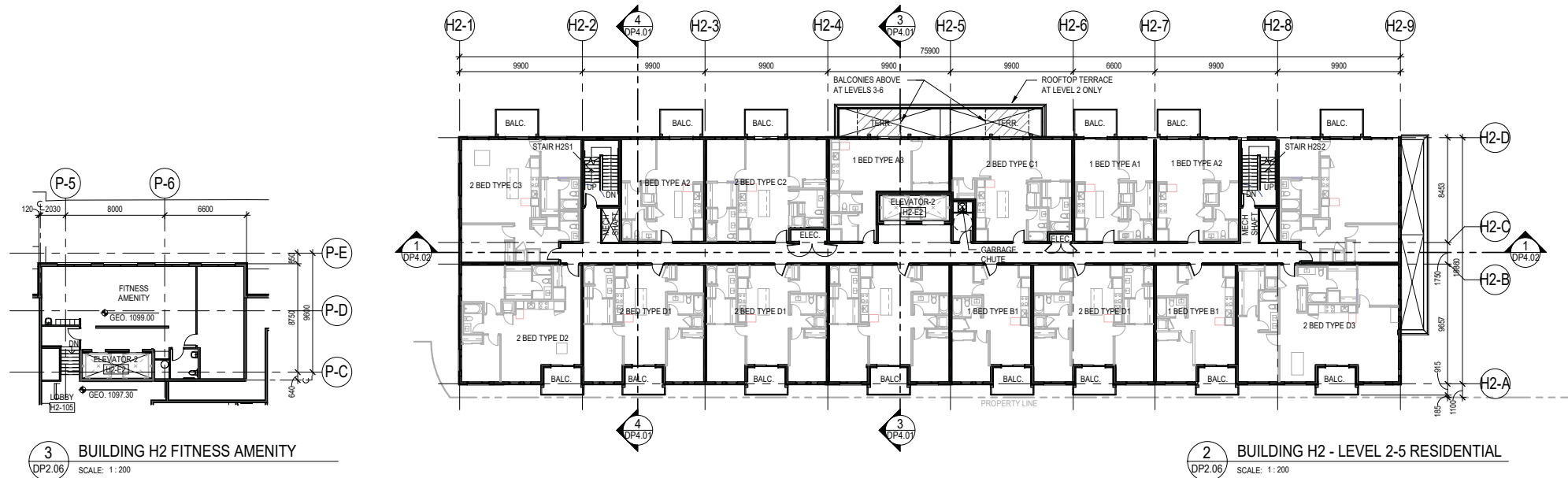


project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
BUILDING H2 FLOOR PLANS
- MAIN FLOOR & LEVELS 2-5
RESIDENTIAL

scale: 1 : 200
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP2.06



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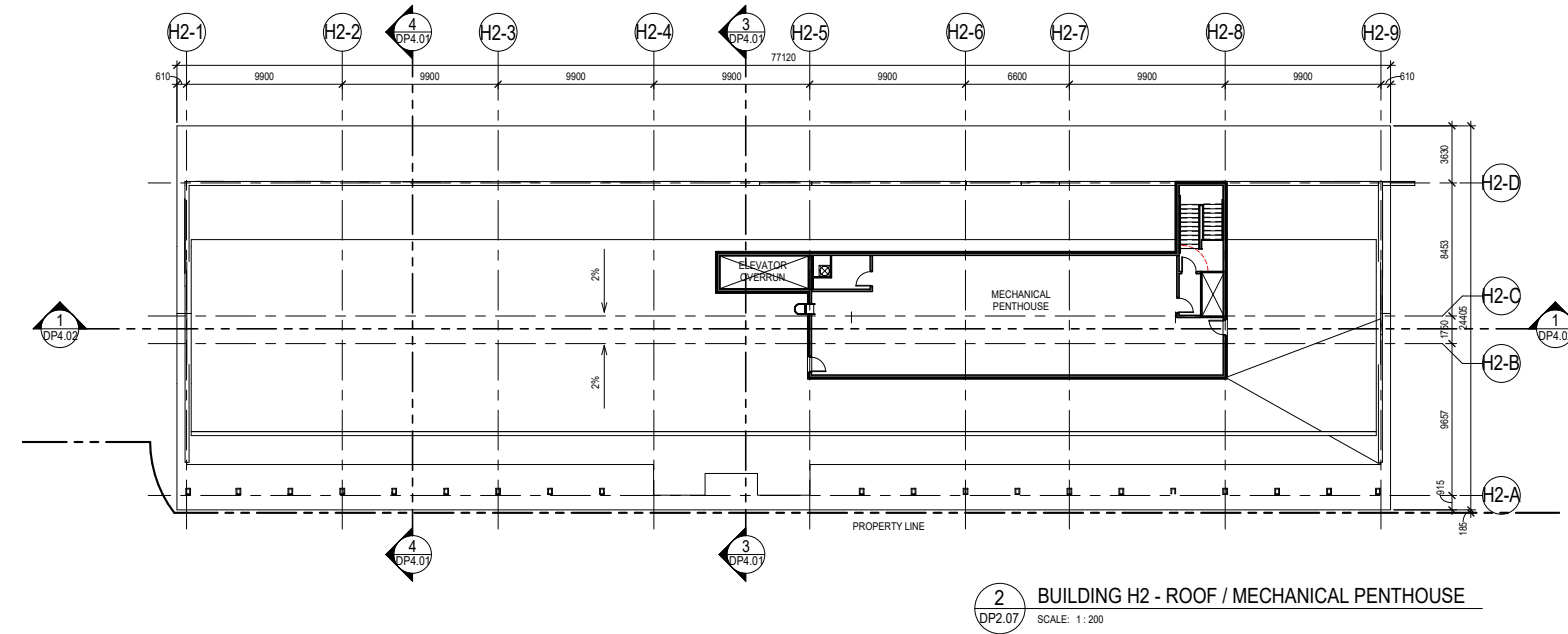
client
TRINITY DEVELOPMENT GROUP



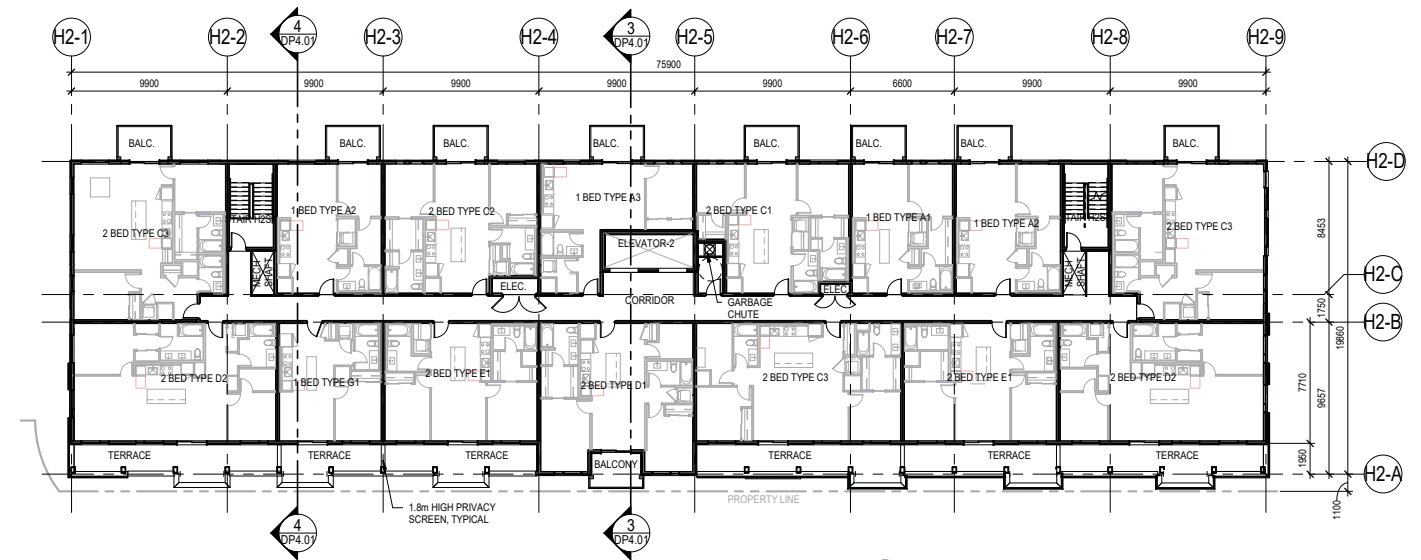
project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
BUILDING H2 FLOOR PLANS
- LEVEL 6 RESIDENTIAL &
ROOF/MECHANICAL
PENTHOUSE

| | |
|---------------|------------|
| scale: | 1 : 200 |
| drawn by: | AM |
| checked by: | JS |
| project no: | 220-021 |
| date issued: | 2020-11-17 |
| re-issue no: | sheet no: |
| DP2.07 | |



2 BUILDING H2 - ROOF / MECHANICAL PENTHOUSE
SCALE: 1 : 200



1 BUILDING H2 - LEVEL 6 RESIDENTIAL
SCALE: 1 : 200

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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

BUILDING H1 ELEVATIONS -
SOUTH & EAST

scale: As indicated
drawn by: LS
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:

DP3.01



EXTERIOR MATERIALS LEGEND

| | | | |
|---|--|--|--|
| 1. MANUFACTURED STONE - GREY, SMOOTH FINISH | 8. HORIZONTAL SIDING - WHITE | 17. PRE-FINISHED METAL CANOPY FASCIA - CHARCOAL | 22. CAST-IN-PLACE CONCRETE - NATURAL |
| 2. NORMAN THIN BRICK - BROWN | 9. HORIZONTAL SIDING - CHARCOAL | 18. OVERHEAD DOOR - CHARCOAL | 23. PREFINISHED METAL LOUVER - CHARCOAL |
| 3. NORMAN THIN BRICK - CHARCOAL | 10. HORIZONTAL SIDING - LIGHT-GREY | 19. METAL DOOR - PAINTED, CHARCOAL | 24. PREFINISHED METAL PICKET GUARDRAIL - BLACK |
| 4. WOOD APARENT PANEL - DESERT OAK | 11. NOT USED. | 20. NOT USED. | 25. ALUMINUM CLAD VINYL SLIDING DOOR - BLACK |
| 5. HORIZONTAL SIDING - WOOD APARENT, DESERT OAK | 12. PRE-FINISHED METAL GUARDRAIL - BLACK w/ CLEAR GLASS | 21. PRE-FINISHED METAL SHEET FLASHING - DARK GREY | 26. ALUMINUM CLAD VINYL WINDOWS - BLACK |
| 6. VERTICAL SIDING - WOOD APARENT, DESERT OAK | 13. ALUMINUM FRAMED GLAZING - CLEAR VISION GLASS, BLACK MULLION | 27. CMU VENEER - CHARCOAL, SMOOTH FINISH | 28. CMU VENEER - DARK BROWN, SMOOTH FINISH |
| 7. VERTICAL METAL PANEL - CHARCOAL | 14. ALUMINUM FRAMED GLAZING - SPANDEREL GLASS (DARK GREY), BLACK MULLION | 15. ALUMINUM GLAZED SINGLE ENTRY DOOR - CLEAR VISION GLASS | |
| | 16. ALUMINUM GLAZED DOUBLE ENTRY DOOR - CLEAR VISION GLASS | | |

BIM 360//Trinity Hills Block H/AR_220-021_TRINITY_R20.rvt



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client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
BUILDING H1 ELEVATIONS -
NORTH & WEST

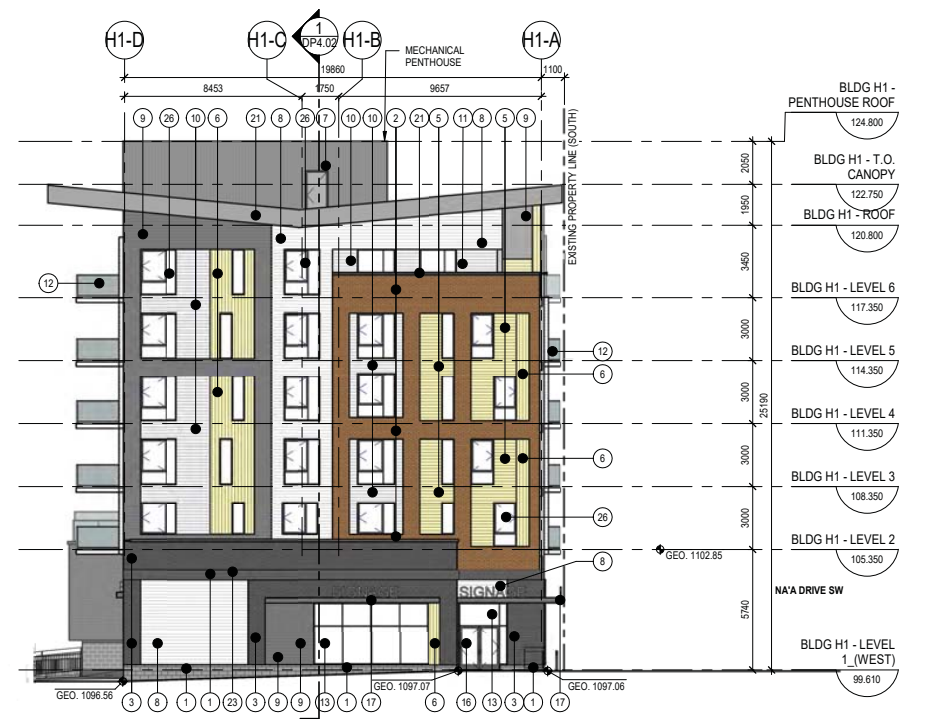
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checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP3.02

BM 380/Trinity Hills Block H Area 250-021_T16B12_R20.rvt



2 BUILDING H1 NORTH ELEVATION
DP3.02 SCALE: 1:150



1 BUILDING H1 WEST ELEVATION
DP3.02 SCALE: 1:150

EXTERIOR MATERIALS LEGEND

| | | | |
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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
BUILDING H2 ELEVATIONS -
SOUTH & EAST

scale: As indicated
drawn by: LS
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP3.03



EXTERIOR MATERIALS LEGEND

| | | | |
|---|---|--|--|
| 1. MANUFACTURED STONE - GREY, SMOOTH FINISH | 8. HORIZONTAL SIDING - WHITE | 17. PRE-FINISHED METAL CANOPY FASCIA - CHARCOAL | 22. CAST-IN-PLACE CONCRETE - NATURAL |
| 2. NORMAN THIN BRICK - BROWN | 9. HORIZONTAL SIDING - CHARCOAL | 18. OVERHEAD DOOR - CHARCOAL | 23. PREFINISHED METAL LOUVER - CHARCOAL |
| 3. NORMAN THIN BRICK - CHARCOAL | 10. HORIZONTAL SIDING - LIGHT-GRAY | 19. METAL DOOR - PAINTED, CHARCOAL | 24. PREFINISHED METAL PICKET GUARDRAIL - BLACK |
| 4. WOOD APARENT PANEL - DESERT OAK | 11. NOT USED | 20. NOT USED | 25. ALUMINUM CLAD VINYL SLIDING DOOR - BLACK |
| 5. HORIZONTAL SIDING - WOOD APARENT, DESERT OAK | 12. PRE-FINISHED METAL GLASS BALLUSTRADE GUARDRAIL - BLACK w/ CLEAR GLASS | 21. PRE-FINISHED METAL SHEET/FLASHING - DARK GREY | 26. ALUMINUM CLAD VINYL WINDOWS - BLACK |
| 6. VERTICAL SIDING - WOOD APARENT, DESERT OAK | 13. ALUMINUM FRAMED GLAZING - CLEAR VISION GLASS, BLACK MULLION | 27. CMU VENEER - CHARCOAL, SMOOTH FINISH | 28. CMU VENEER - DARK BROWN, SMOOTH FINISH |
| 7. VERTICAL METAL PANEL - CHARCOAL | 14. ALUMINUM FRAMED GLAZING - SPANDEREL GLASS (DARK GREY), BLACK MULLION | 15. ALUMINUM GLAZED SINGLE ENTRY DOOR - CLEAR VISION GLASS | |
| | 16. ALUMINUM GLAZED DOUBLE ENTRY DOOR - CLEAR VISION GLASS | | |

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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

BUILDING H2 ELEVATIONS -
NORTH & WEST

scale: As indicated
drawn by: LS
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:

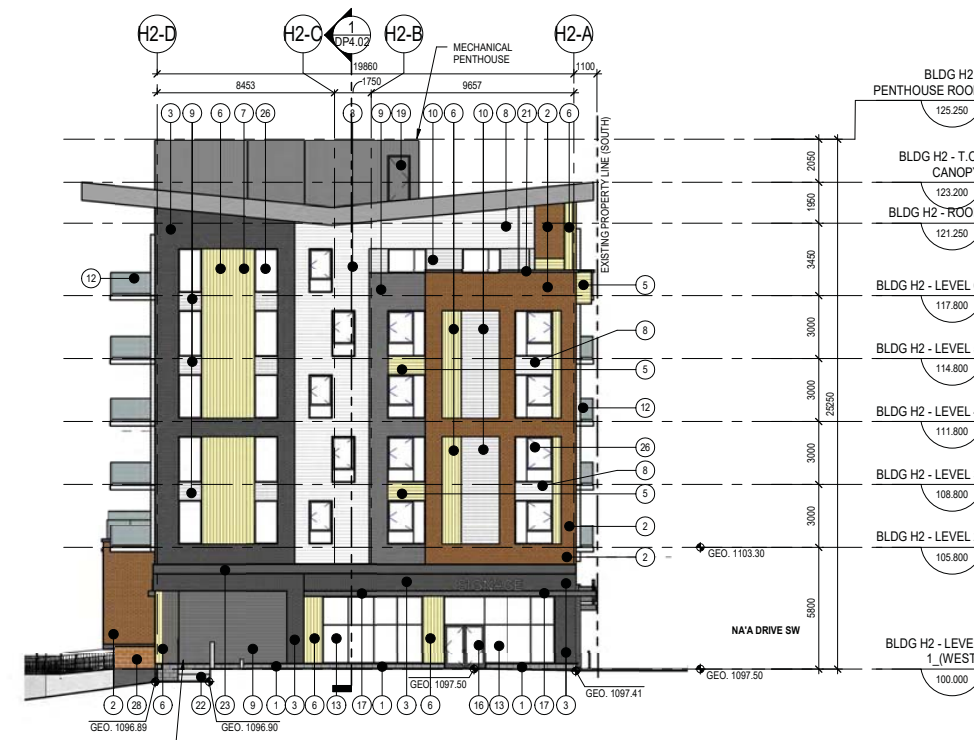
DP3.04



2 BUILDING H2 NORTH ELEVATION
DP3.04 SCALE: 1:150

EXTERIOR MATERIALS LEGEND

| | | | |
|---|---|---|--|
| 1. MANUFACTURED STONE - GREY, SMOOTH FINISH | 8. HORIZONTAL SIDING - WHITE | 17. PRE-FINISHED METAL CANOPY FASCIA - CHARCOAL | 22. CAST-IN-PLACE CONCRETE - NATURAL |
| 2. NORMAN THIN BRICK - BROWN | 9. HORIZONTAL SIDING - CHARCOAL | 18. OVERHEAD DOOR - CHARCOAL | 23. PREFINISHED METAL LOUVER - CHARCOAL |
| 3. NORMAN THIN BRICK - CHARCOAL | 10. HORIZONTAL SIDING - LIGHT GREY | 19. METAL DOOR - PAINTED, CHARCOAL | 24. PREFINISHED METAL PICKET GUARDRAIL - BLACK |
| 4. WOOD APARENT PANEL - DESERT OAK | 11. NOT USED | 20. NOT USED | 25. ALUMINUM CLAD VINYL SLIDING DOOR - BLACK |
| 5. HORIZONTAL SIDING - WOOD APARENT, DESERT OAK | 12. PRE-FINISHED METAL GLASS BALLUSTRADE GUARDRAIL - BLACK w/ CLEAR GLASS | 21. PRE-FINISHED METAL SHEET/FLASHING - DARK GREY | 26. ALUMINUM CLAD VINYL WINDOWS - BLACK |
| 6. VERTICAL SIDING - WOOD APARENT, DESERT OAK | 13. ALUMINUM FRAMED GLAZING - CLEAR VISION GLASS, BLACK MULLION | 27. CMU VENEER - CHARCOAL, SMOOTH FINISH | 28. CMU VENEER - DARK BROWN, SMOOTH FINISH |
| 7. VERTICAL METAL PANEL - CHARCOAL | 14. ALUMINUM FRAMED GLAZING - SPANDREL GLASS (DARK GREY), BLACK MULLION | | |
| | 15. ALUMINUM GLAZED SINGLE ENTRY DOOR - CLEAR VISION GLASS | | |
| | 16. ALUMINUM GLAZED DOUBLE ENTRY DOOR - CLEAR VISION GLASS | | |



1 BUILDING H2 WEST ELEVATION
DP3.04 SCALE: 1:150

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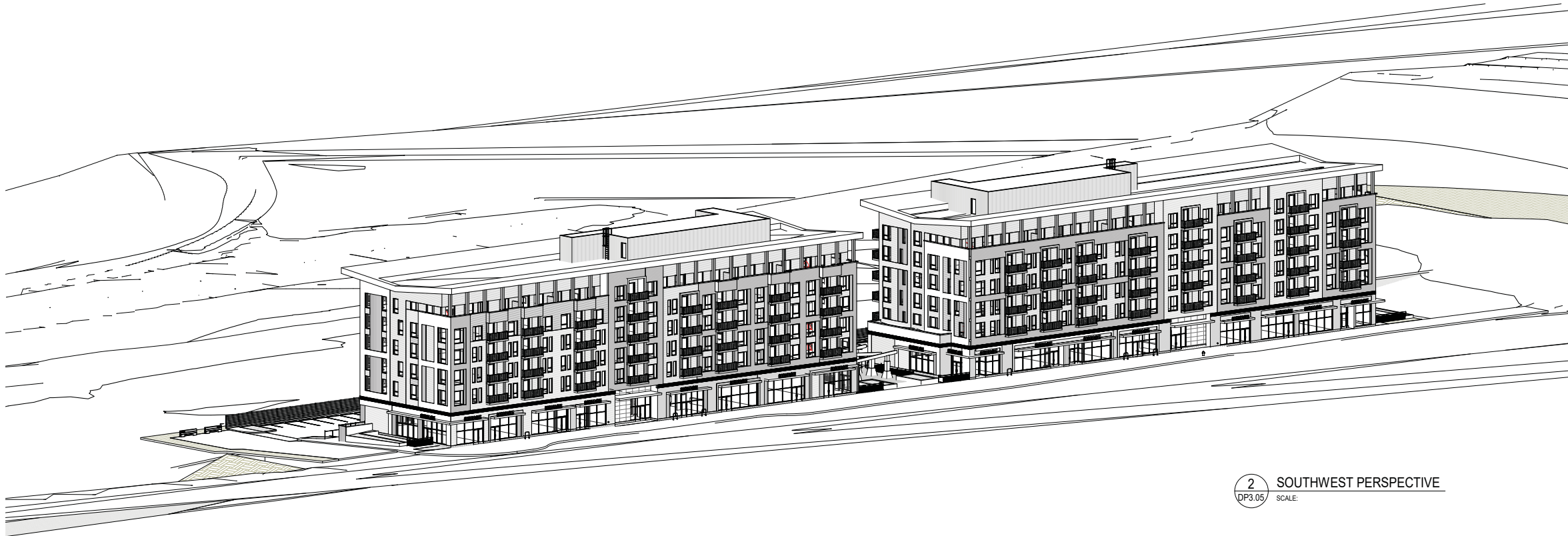


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2 SOUTHWEST PERSPECTIVE
DP3.05 SCALE:

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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
3D PERSPECTIVE VIEWS

scale:
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17
re-issue no: sheet no:
DP3.05

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1 SOUTHEAST PERSPECTIVE
DP3.05 SCALE:



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project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

3D PERSPECTIVE VIEWS

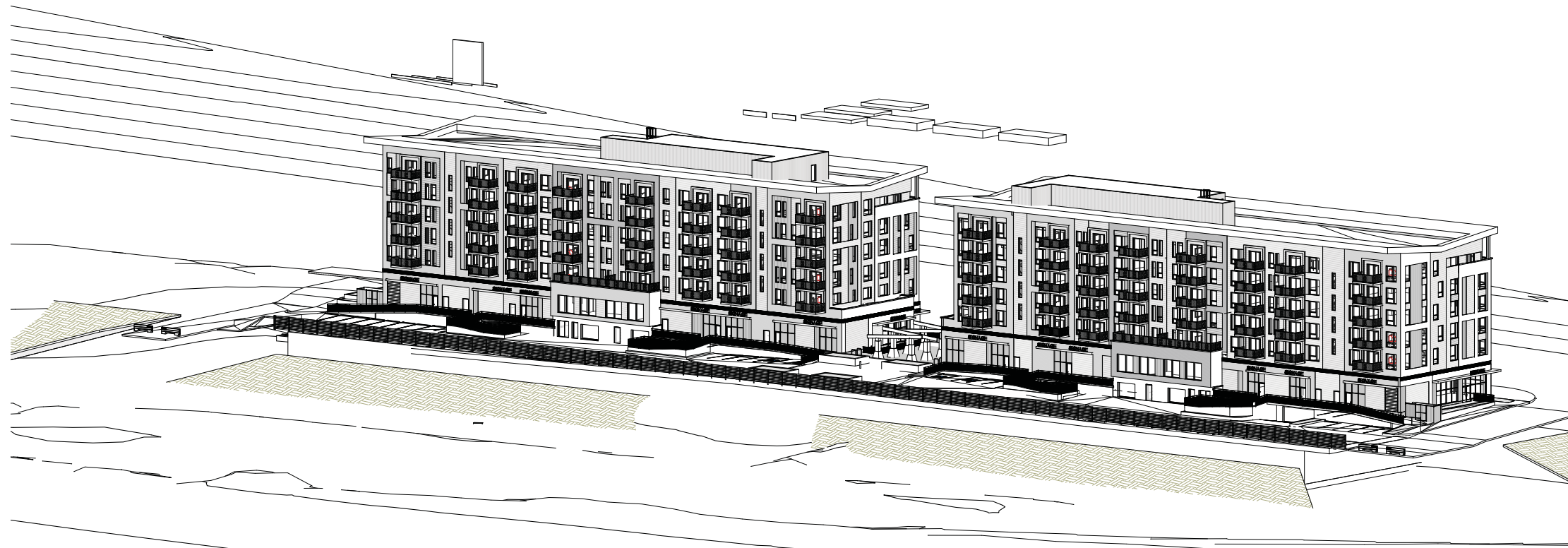
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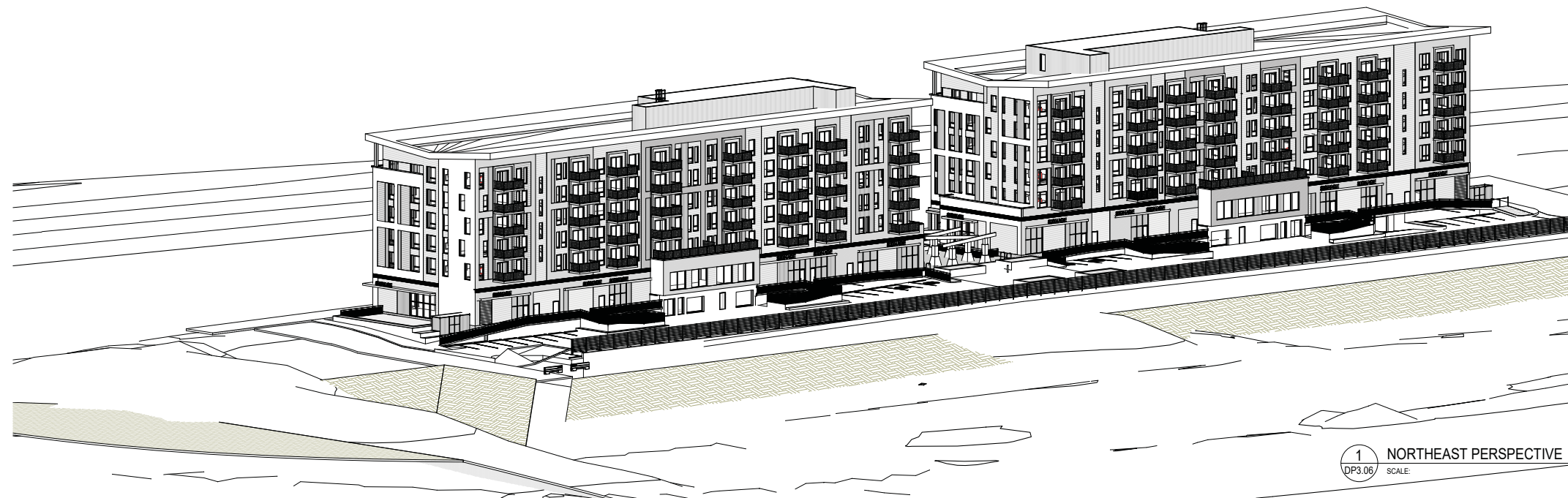
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sheet no:
DP3.06

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2 NORTHWEST PERSPECTIVE
DP3.06 SCALE:



1 NORTHEAST PERSPECTIVE
DP3.06 SCALE:



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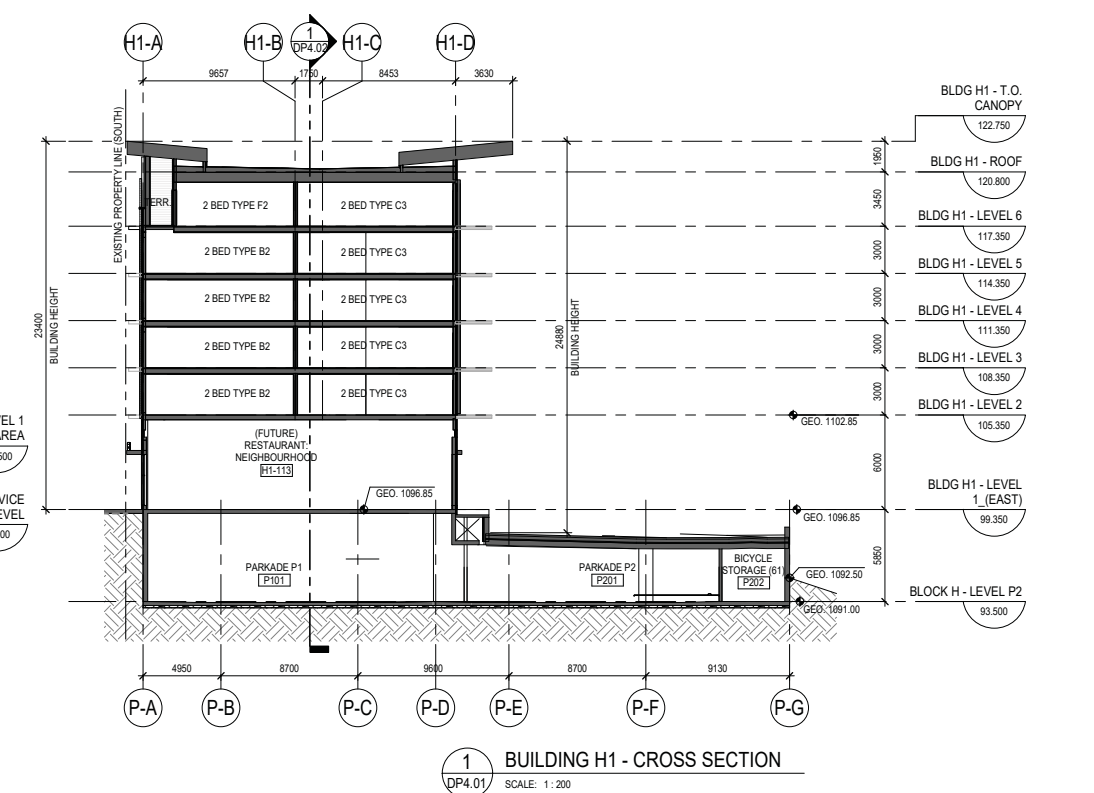
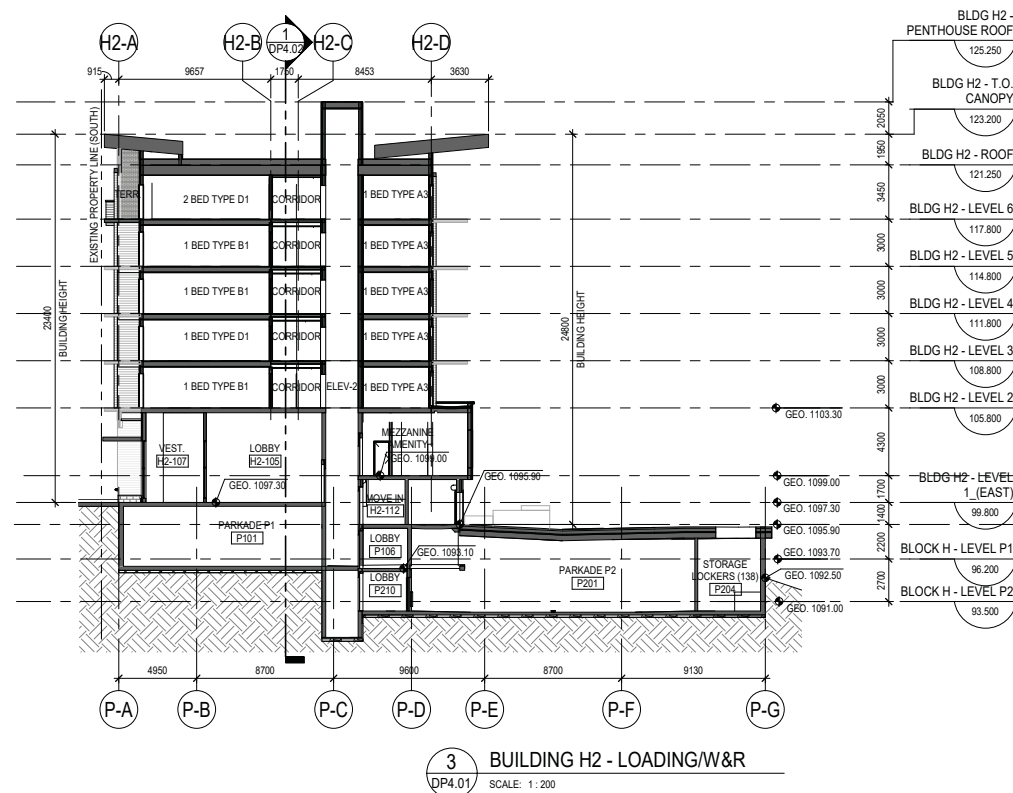
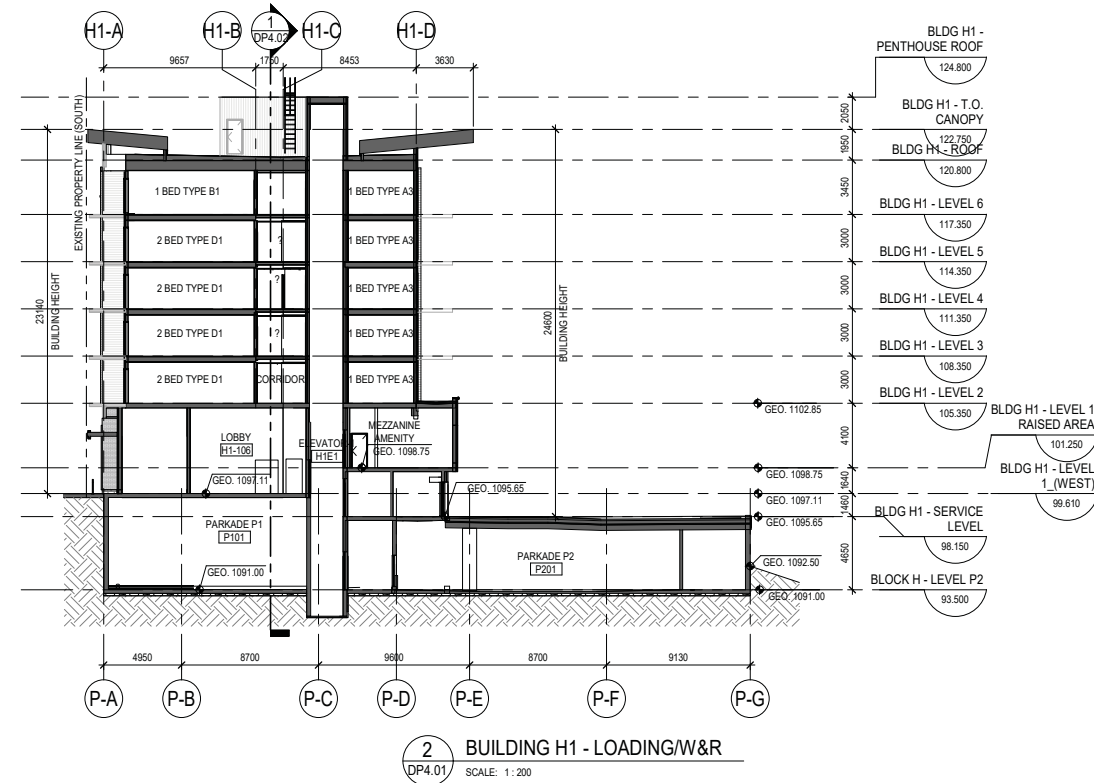
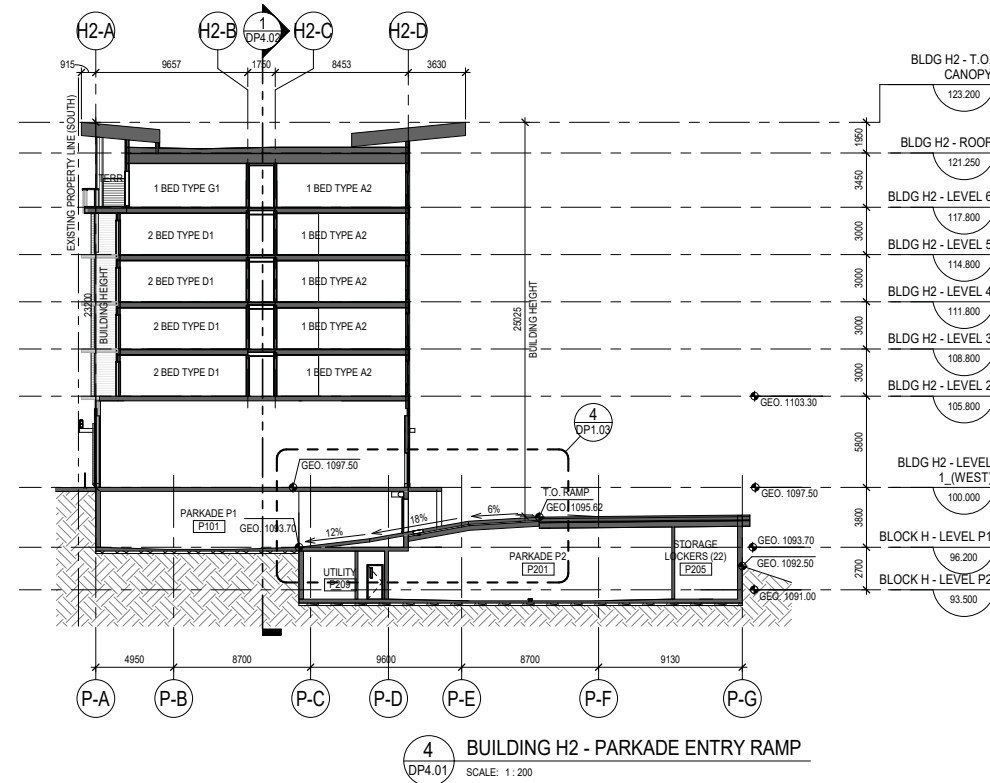
project title
TRINITY HILLS BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

BUILDING SECTIONS

scale: 1 : 200
drawn by: AM
checked by: JS
project no: 220-021
date issued: 2020-11-17

re-issue no: sheet no:
DP4.01



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client
TRINITY DEVELOPMENT GROUP



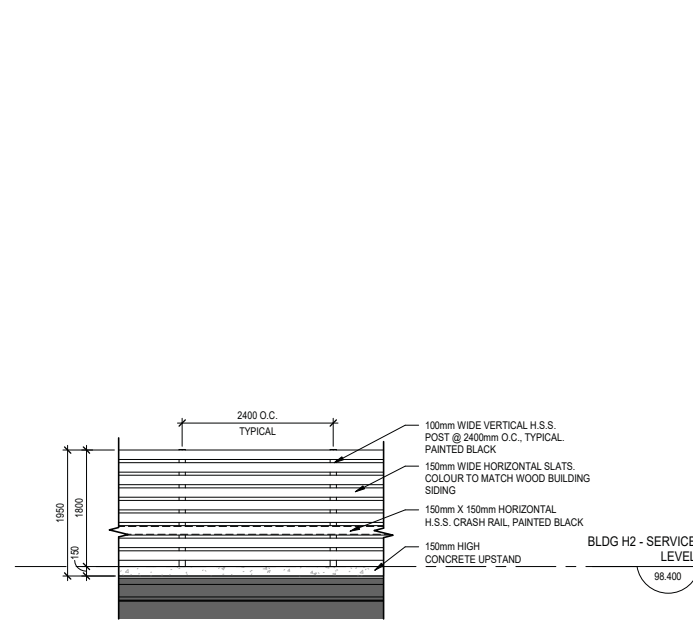
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885 NA'A DRIVE SW CALGARY, AB

drawing title

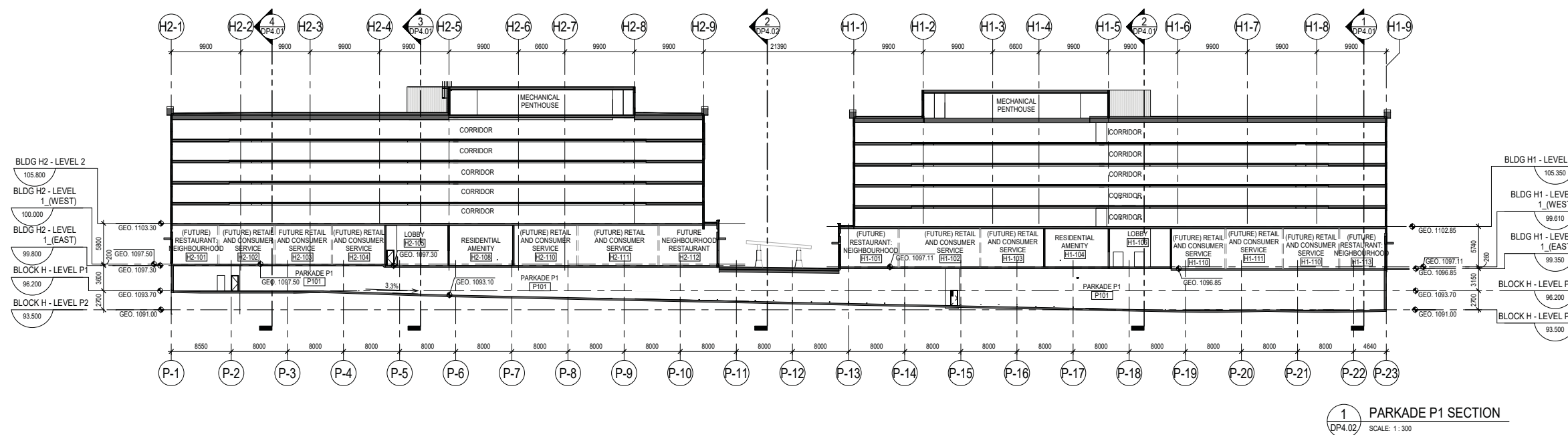
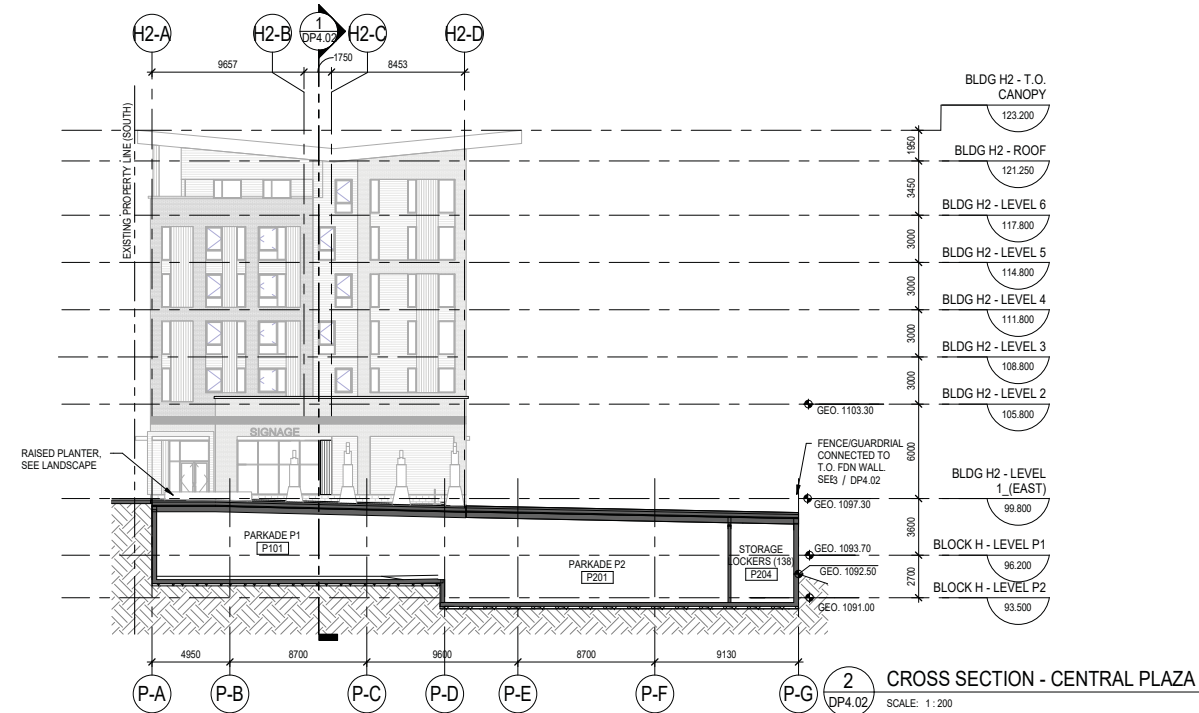
BUILDING SECTIONS

scale: As indicated
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checked by: JS
project no: 220-021
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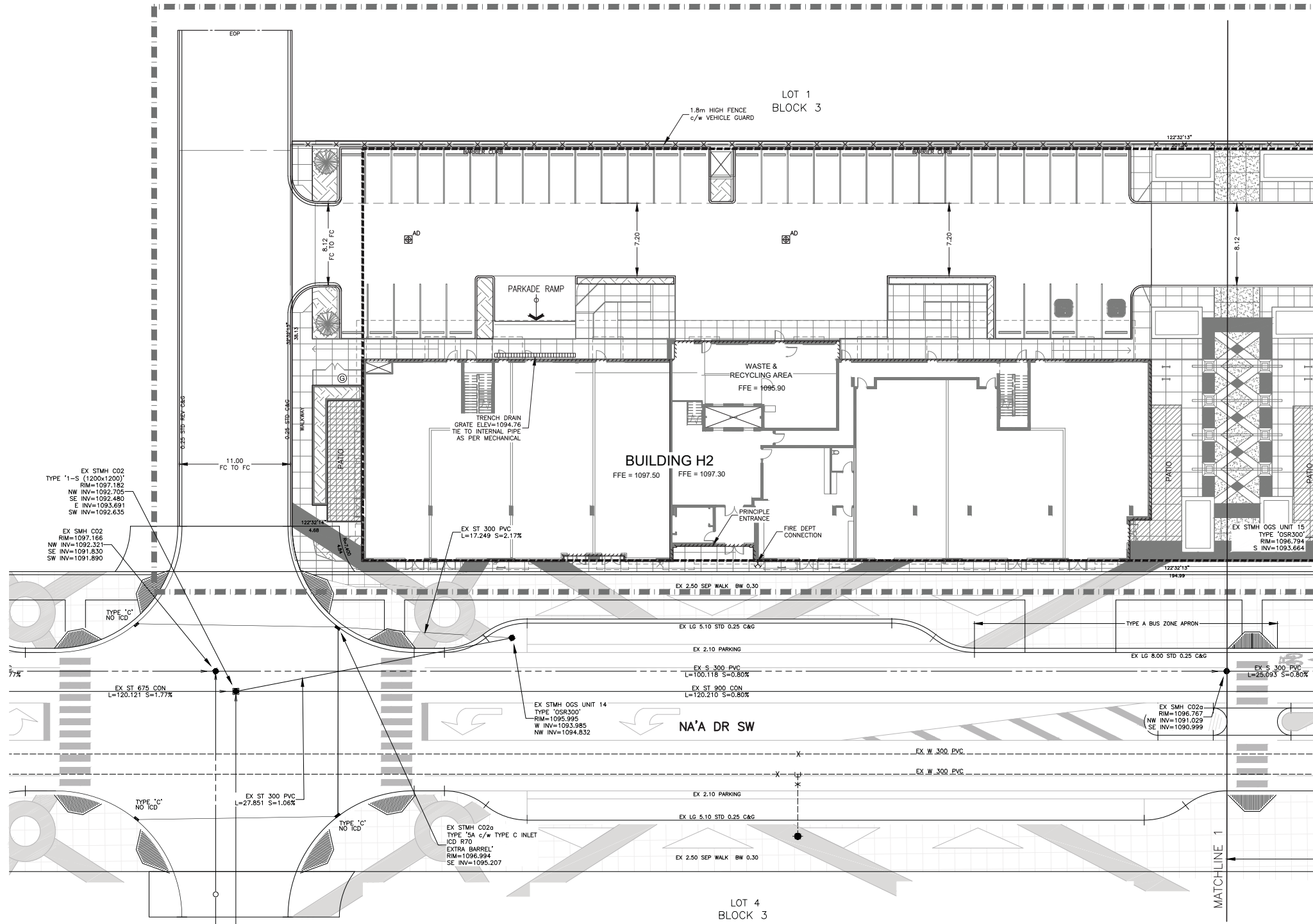
re-issue no: sheet no:
DP4.02



3
ELEVATION DETAIL
SCREEN AND VEHICLE BARRIER
SCALE: 1:50



BIM 360/Trinity Hills Block W&R_200-021_T1B1H2_R00.rvt



LEGEND

PROPOSED FEATURES

- LG 3.00 0.25 STD C&G LIP OF CURB
- 1.10 MONO BW 1.38 ASPHALT/CONCRETE SIDEWALK
- EDGE OF BUILDING
- PARKADE PERIMETER
- 1.80 WSF FENCELINE (PCF, WSF, CLF BWF)
- BOLLARD
- S 200 PVC SANITARY SEWER
- ST 750 CON STORM SEWER
- W 250 PVC WATERMAIN
- SA / 15 MANHOLE
- GT MANHOLE - GRATED TOP
- AD AREA DRAIN
- FLOW DIRECTION
- CAP
- ICD CATCHBASIN
- R30 HYDRANT
- X VALVE
- FIRE DEPT. CONNECTION
- WATER METER/ELECTRICAL/GAS METER ROOM
- STREET LIGHT STANDARD
- 00.00 SPOT ELEVATION

EXISTING FEATURES

- EX LG 3.00 0.25 STD C&G LIP OF CURB
- EX 1.10 MONO BW 1.38 ASPHALT/CONCRETE SIDEWALK
- EX 1.80 WSF FENCELINE (PCF, WSF, CLF BWF)
- EX S 200 PVC SANITARY SEWER
- EX ST 750 CON STORM SEWER
- EX W 250 PVC WATERMAIN
- EX SA / 15 MANHOLE
- EX GT MANHOLE - GRATED TOP
- EX FLOW DIRECTION
- EX CAP
- EX ICD CATCHBASIN
- EX R30 HYDRANT
- EX X VALVE
- EX FIRE DEPT. CONNECTION
- EX WATER METER/ELECTRICAL/GAS METER ROOM
- EX STREET LIGHT STANDARD
- EX 00.00 SPOT ELEVATION



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| 1 | 2020-08-26 | ISSUED FOR DEVELOPMENT PERMIT |
| 2 | 2020-09-24 | ISSUED FOR DEVELOPMENT PERMIT |
| 3 | 2020-11-17 | ISSUED FOR DEVELOPMENT PERMIT |

client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
SITE SERVICING PLAN

scale: 1:200

drawn by: KO

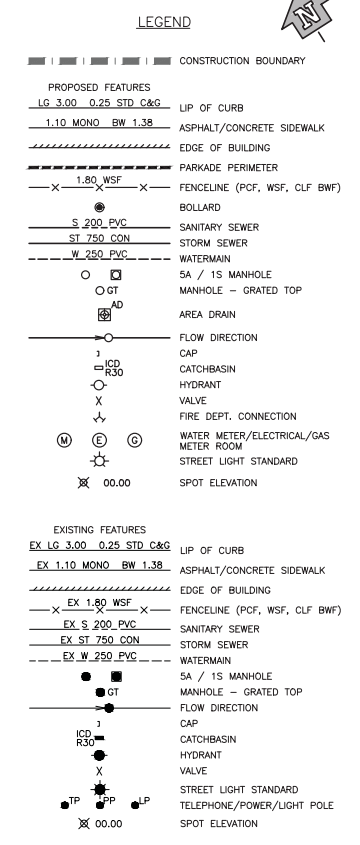
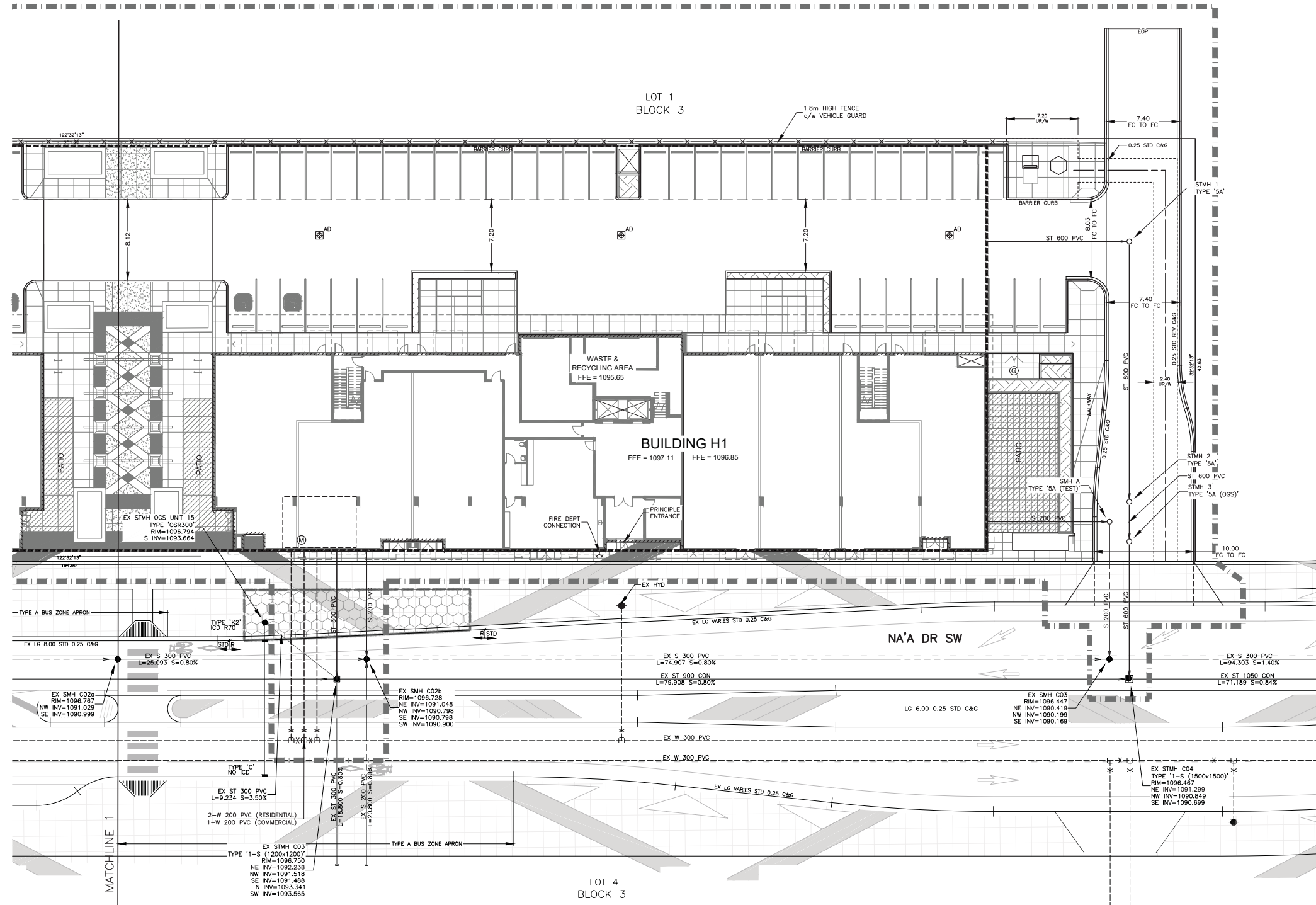
checked by: MP

project no: 2198.0012.02

date issued: 2020-11-17

re-issue no: sheet no: **C01.0a**

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| 3 | 2020-11-17 | ISSUED FOR DEVELOPMENT PERMIT |

client
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project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
SITE SERVICING PLAN

scale: 1:200

drawn by: KO

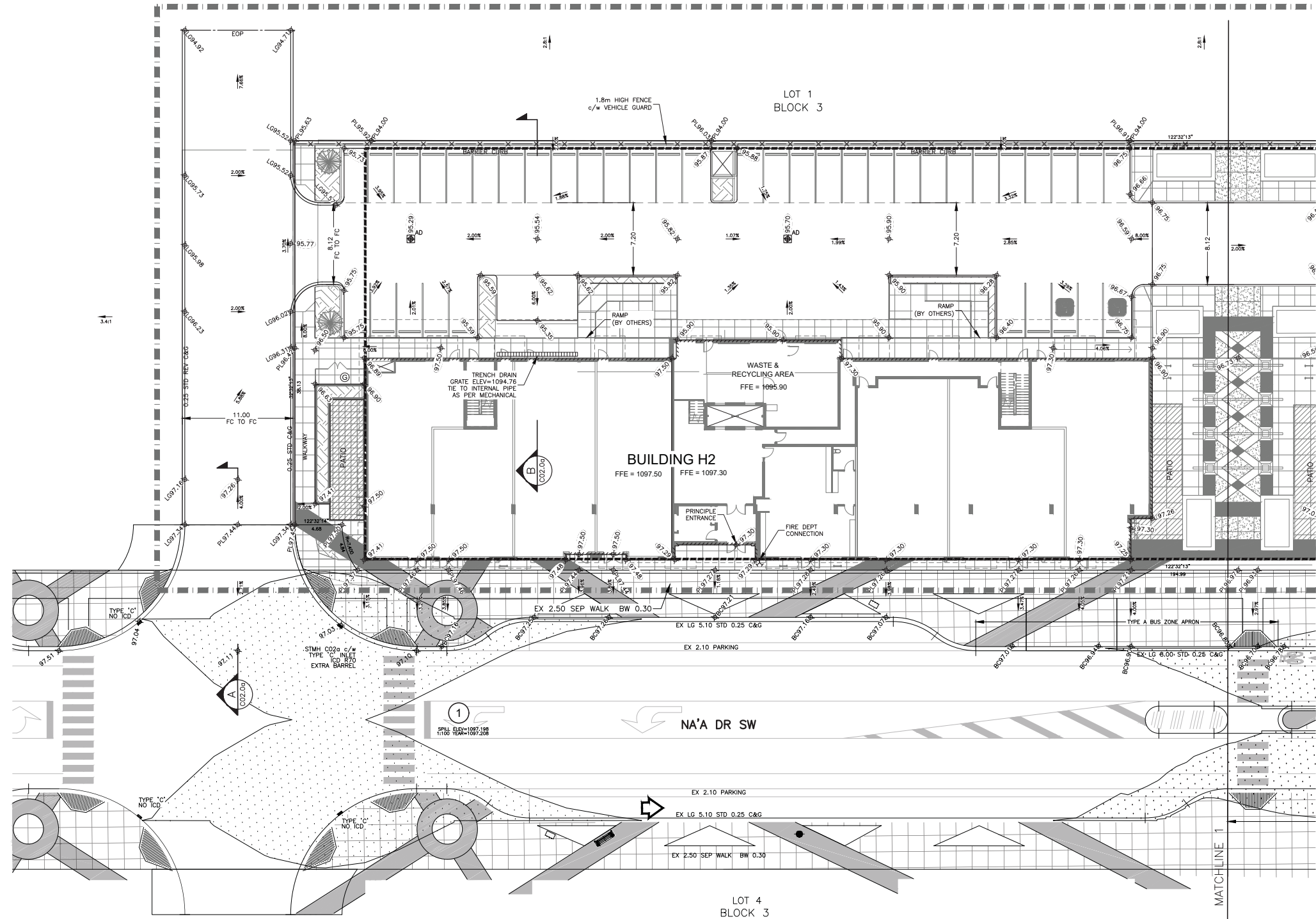
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project no: 2198.0012.02

date issued: 2020-11-17

re-issue no: sheet no:
C01.0b

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LEGEND

PROPOSED FEATURES

- GT MANHOLE - GRATED TOP
- ICD CATCHBASIN
- AD AREA DRAIN
- SLOPE/GRADE ARROWS
- SPOT ELEVATIONS
- BUILDING PERIMETER
- PARKADE PERIMETER

EXISTING FEATURES

- GT MANHOLE - GRATED TOP
- ICD CATCHBASIN
- EXISTING SLOPE/GRADE ARROWS
- EXISTING SPOT ELEVATIONS



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| 3 | 2020-11-17 | ISSUED FOR DEVELOPMENT PERMIT |

client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

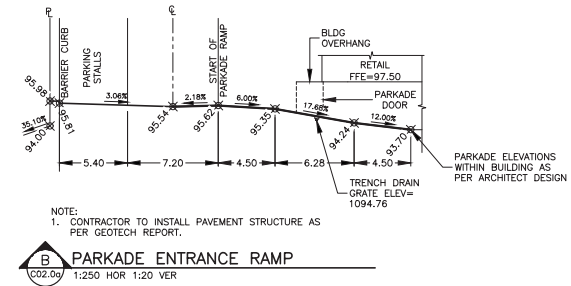
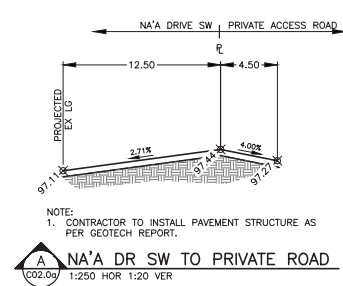
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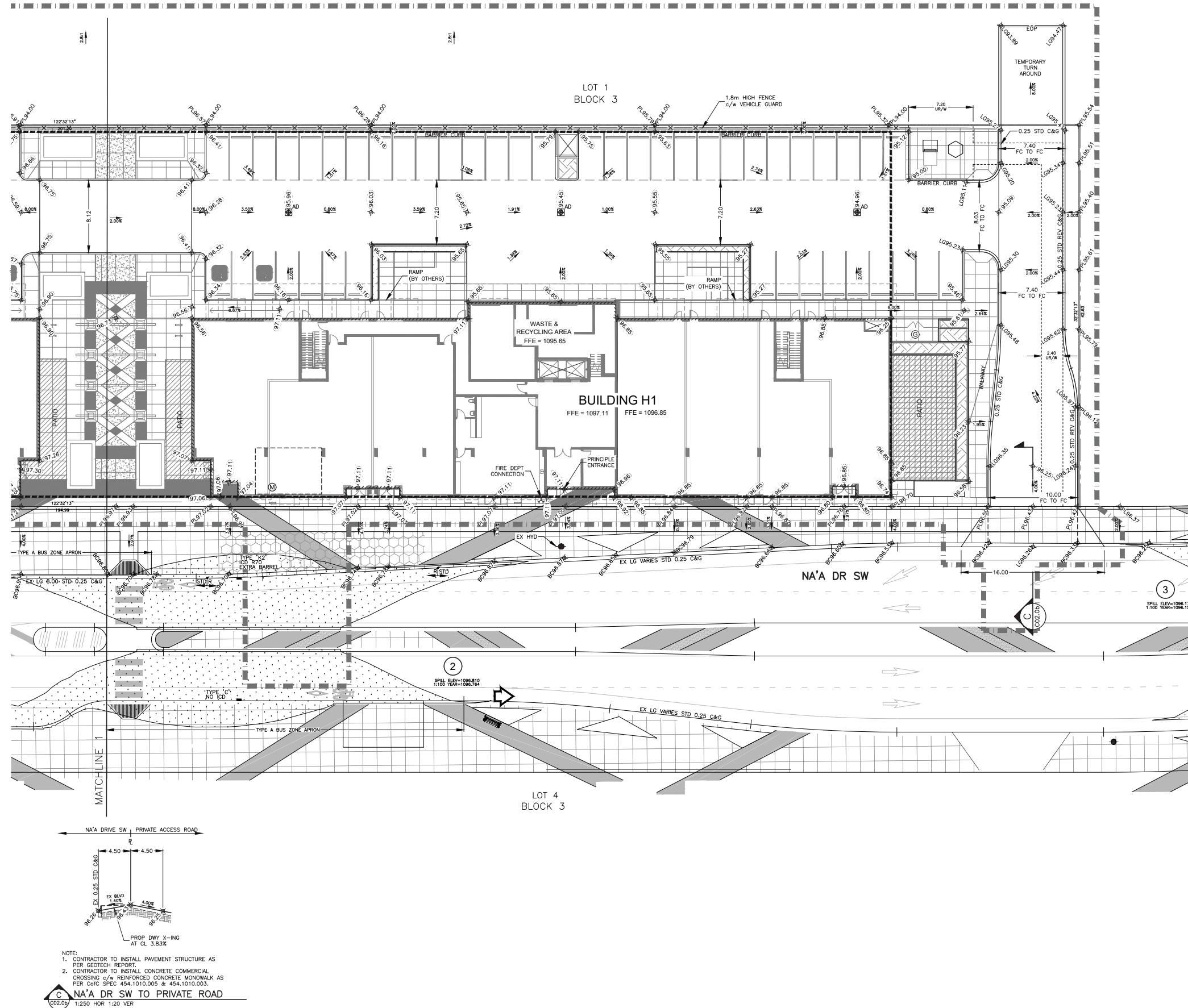
SITE GRADING PLAN

scale: 1:200

drawn by: KO
checked by: MP
project no: 2198.0012.02
date issued: 2020-11-17
re-issue no: sheet no:

C02.0a





LEGEND

PROPOSED FEATURES

- GT MANHOLE - GRATED TOP
- ICD CATCHBASIN
- R30 AREA DRAIN
- AD SLOPE/GRADE ARROWS
- 2.00% SPOT ELEVATIONS
- 00.00 BUILDING PERIMETER
- PARKADE PERIMETER

EXISTING FEATURES

- GT MANHOLE - GRATED TOP
- ICD CATCHBASIN
- 2.00% EXISTING SLOPE/GRADE ARROWS
- 00.00 EXISTING SPOT ELEVATIONS



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| 3 | 2020-11-17 | ISSUED FOR DEVELOPMENT PERMIT |

client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

SITE GRADING PLAN

scale: 1:200

drawn by: KO

checked by: MP

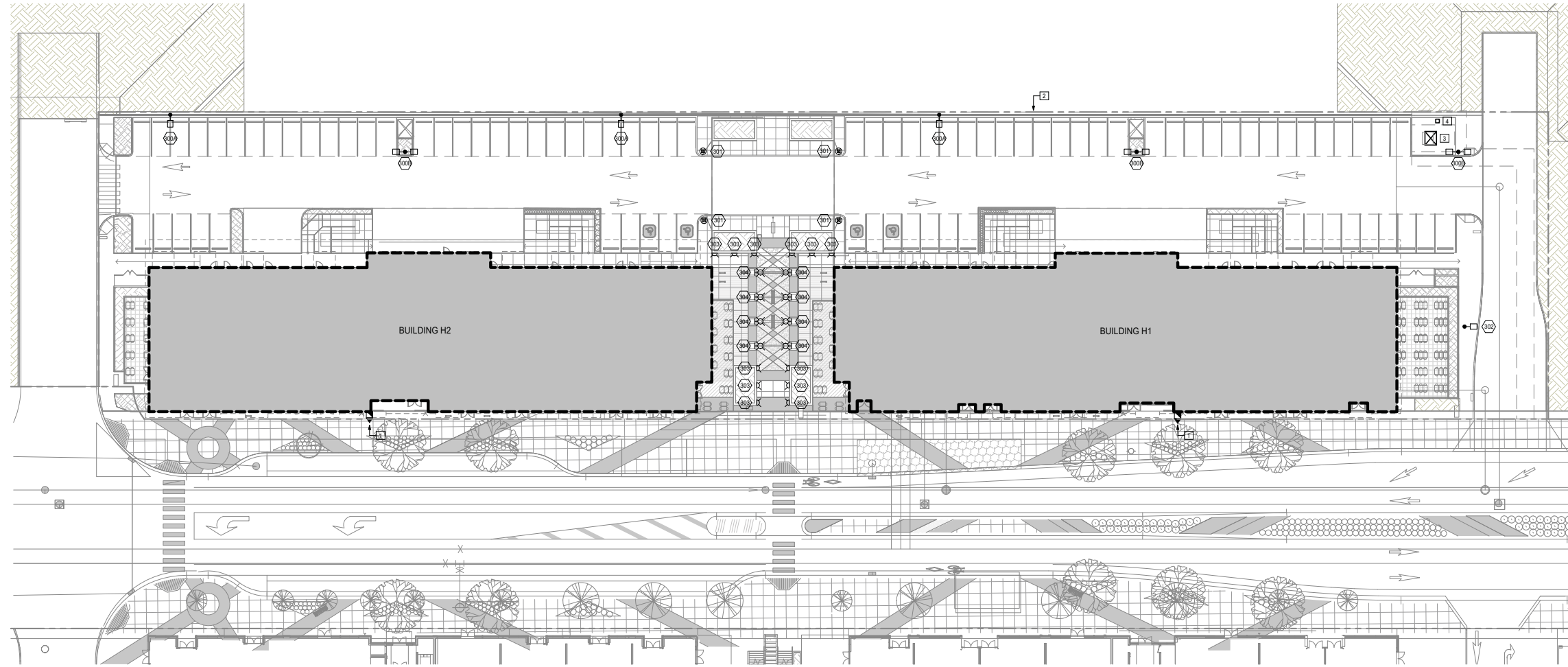
project no: 2198.0012.02

date issued: 2020-11-17

re-issue no: sheet no:
C02.0b

NOTE:
1. CONTRACTOR TO INSTALL PAVEMENT STRUCTURE AS PER GEOTECH REPORT.
2. CONTRACTOR TO INSTALL CONCRETE COMMERCIAL CROSSING c/w REINFORCED CONCRETE MONOWALK AS PER COIC SPEC 454.1010.005 & 454.1010.003.
NA'A DR SW TO PRIVATE ROAD
1:250 HOR 1:20 VER

U:\Projects_CAL\2198\0012020-Design\CAD\300_PROD\DP-Civil\C02.0b-2198001201-0P-SGP.dwg, SGP-DP-H1, 2020/11/17 12:05 pm khalid



1 DP ELECTRICAL SITE PLAN
DPE1.0 Scale: 1:300

- REFERRAL NOTES:**
- 1 FIRE FIGHTER STROBE.
 - 2 TRINITY HILLS BLOCK H PROPERTY LINE.
 - 3 PADMOUNT ENMAX TRANSFORMER FOR BUILDING H1 AND H2.
 - 4 TELUS PEDESTAL.

| DEVELOPMENT PERMIT LEGEND OF SYMBOLS | | | | | |
|--------------------------------------|-------------------------------------|---|-----------------------------|---|---|
| LIGHTING | | | | | |
| ☐ | RECESSED / SEMI RECESSED STEP LIGHT | ⊗ | SURFACE MOUNTED LUMINAIRE | ▬ | WALL MOUNTED LINEAR LUMINAIRE |
| ⊗ | POLE MOUNTED LUMINAIRE | ⊗ | RECESSED DOWNLIGHT | ▬ | RECESSED LINEAR LUMINAIRE |
| ⊗ | LIGHTING BOLLARD | ⊗ | WALL MOUNTED LUMINAIRE | ▬ | SURFACE MOUNTED LINEAR LUMINAIRE |
| — | LIGHT TAPE | ⊗ | LIGHTING LUMINAIRE TYPE TAG | ▬ | TRACK LIGHTING CW LIGHTING HEADS AS SHOWN |
| POWER & SYSTEMS | | | | | |
| ⊗ | WALL MOUNTED FIRE ALARM STROBE | ⊗ | SITE TRANSFORMER | | |

| DEVELOPMENT PERMIT LUMINAIRE SCHEDULE | | | | | |
|---------------------------------------|---|------|----------|-------------|---|
| LIGHT TYPE | DESCRIPTION | LAMP | MOUNTING | VOLTAGE (V) | REMARKS |
| 300A | PEDESTRIAN LIGHT STANDARD | | POLE | 120 V | MOUNT LUMINAIRE ON 8250mm POLE WITH A 915mm HIGH CONCRETE BASE. |
| 300B | PEDESTRIAN LIGHT STANDARD | | POLE | 120 V | MOUNT LUMINAIRE ON 8250mm POLE WITH A 915mm HIGH CONCRETE BASE. |
| 301 | LIGHT COLUMN WITH TYPE 5 DISTRIBUTION | | POLE | 120 V | MOUNT LUMINAIRE ON 3960mm POLE WITH A 150mm HIGH CONCRETE BASE. |
| 302 | LIGHT STANDARD COMPLETE WITH ONE HEAD AND TYPE 2 DISTRIBUTION | | POLE | 120 V | MOUNT LUMINAIRE ON 8250mm POLE WITH A 915mm HIGH CONCRETE BASE. |
| 303 | PLASTER RECESSED LUMINAIRE | | RECESSED | 120 V | |
| 304 | SURFACE MOUNTED SQUARE UP/DOWN LUMINAIRE | | SURFACE | 120 V | |



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| 2 | 2020-08-23 | ISSUED FOR DEVELOPMENT PERMIT |
| 3 | 2020-09-30 | ISSUED FOR DEVELOPMENT PERMIT |
| 5 | 2020-11-17 | RE-ISSUED FOR DEVELOPMENT PERMIT |

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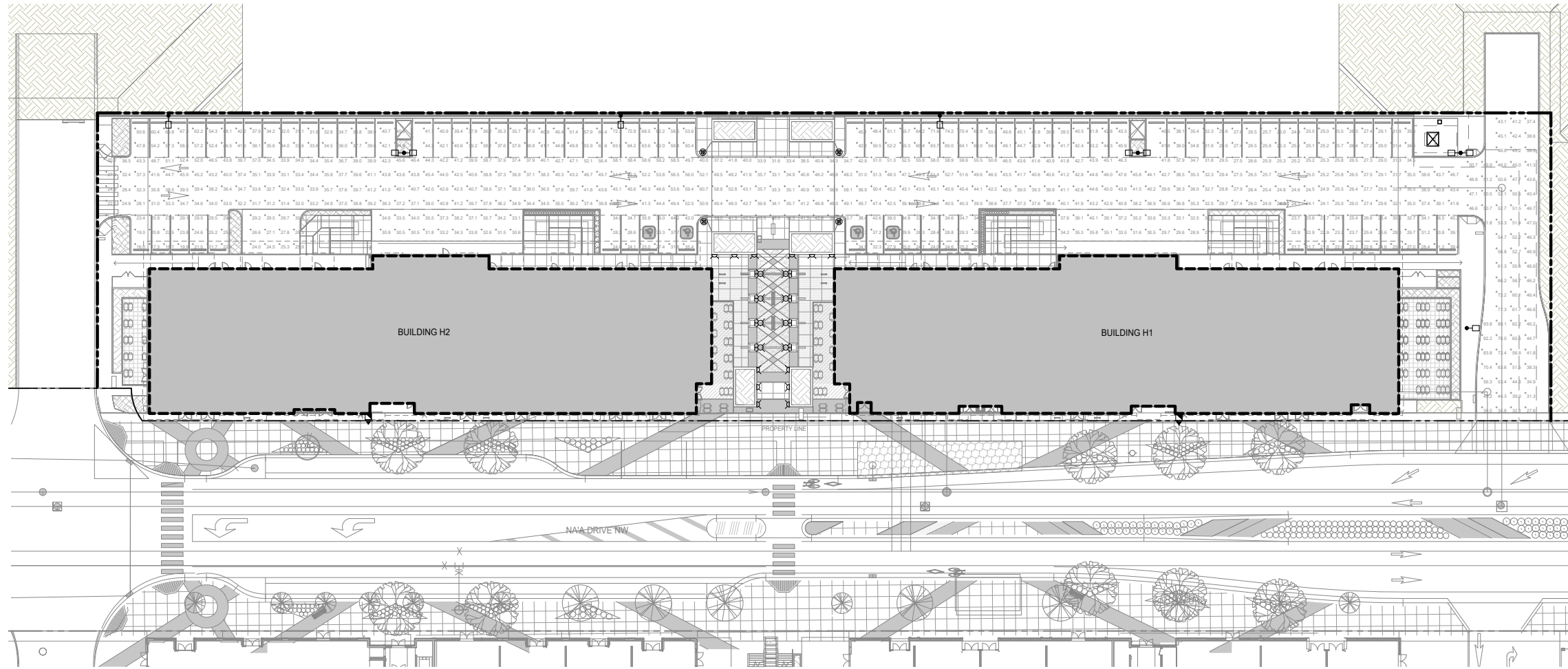
project title
TRINITY HILLS - BLOCK H
924 NA'A DRIVE SW CALGARY, AB

drawing title
DP ELECTRICAL SITE PLAN

scale: AS SHOWN
drawn by: PA
checked by: EC
project no: 20056
date issued: 2020-11-17

re-issue no: 5 sheet no: DPE1.0

BIM 300/Trinity Hills Block H/Electrical/2020/056/DP01.dwg



1 DP SITE LIGHTING POINT-BY-POINT
Scale: 1:300

| SITE LIGHTING STATISTICS | | | | |
|--------------------------|----------|----------|----------|-----------|
| AREA | AVERAGE | MAXIMUM | MINIMUM | AVG./MIN. |
| PARKING AND DRIVE AISLES | 38.8 lux | 74.2 lux | 16.0 lux | 2.4:1 |
| ROADWAYS | 51.6 lux | 93.8 lux | 27.6 lux | 1.8:1 |



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| 5 | 2020-11-17 | RE-ISSUED FOR DEVELOPMENT PERMIT |

client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS - BLOCK H
924 NA'A DRIVE SW CALGARY, AB

drawing title

DP SITE LIGHTING
POINT-BY-POINT

scale: AS SHOWN
drawn by: AC
checked by: EC
project no: 20056
date issued: 2020-11-17

re-issue no: 5 sheet no: DPE1.1

BIM 360//Trinity Hills Block H/EI_20056_TRINITY_R20.rvt



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| 1 | 2020-06-26 | ISSUED FOR DEVELOPMENT PERMIT |
| 2 | 2020-09-28 | ISSUED FOR DP RESUBMISSION |
| 3 | 2020-11-17 | ISSUED FOR DP RESUBMISSION |

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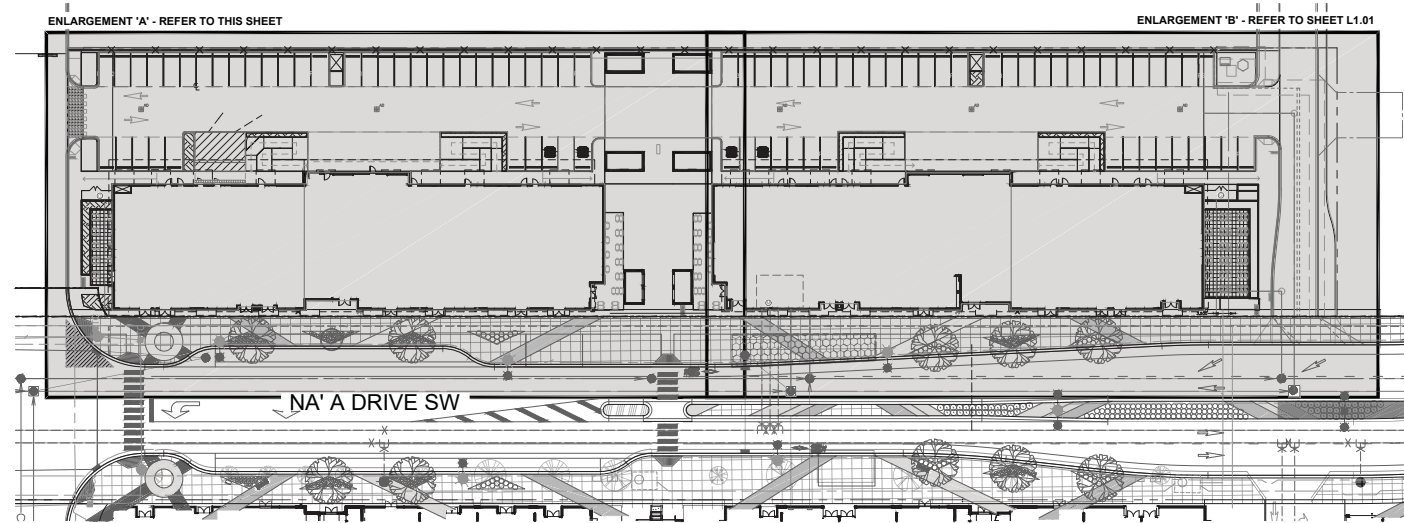
project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title

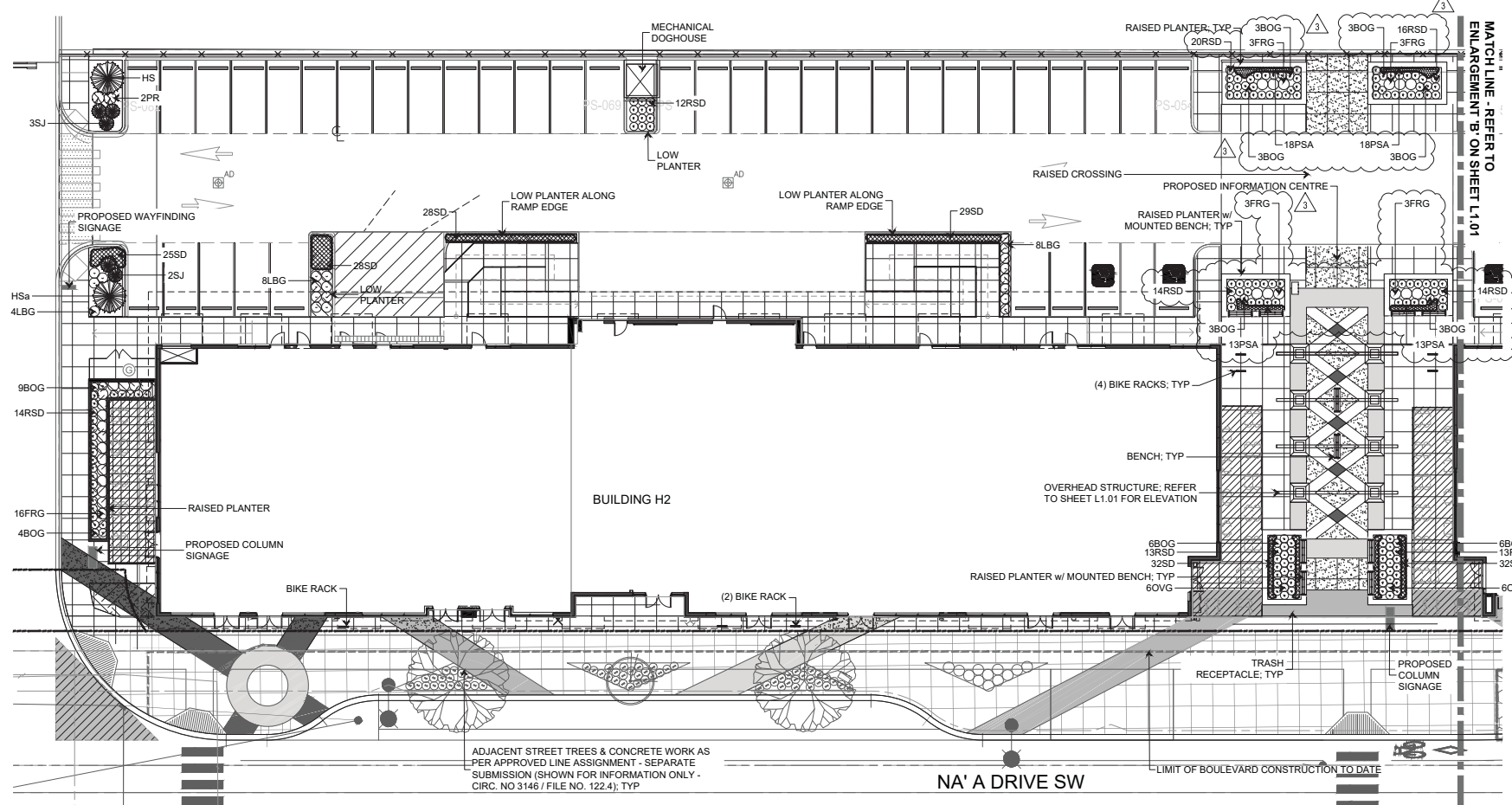
LANDSCAPE PLAN -
KEY PLAN & ENLARGEMENT 'A'

scale: AS SHOWN
drawn by: ZM/SN
checked by: GK
project no: 220-021
date issued: 2020-06-15

re-issue no: 1 sheet no: L1.00



KEY MAP
SCALE 1: 500



ENLARGEMENT 'A'
SCALE 1: 200

PLANT LIST - THIS SHEET ONLY (REFER TO SHEET L1.01 FOR PLANTING DETAILS)

| KEY | COMMON NAME | BOTANICAL NAME | SIZE | SPACING | QTY | REMARKS |
|--|---------------------------------------|--|-----------|-------------|-----|-----------|
| TREES | | | | | | |
| H5a | HOOPSII SPRUCE | PICEA PUNGENS 'HOOPSII' | 3.0m HT. | AS SHOWN | 1 | B & B |
| HS | HOOPSII SPRUCE | PICEA PUNGENS 'HOOPSII' | 2.0m HT. | AS SHOWN | 1 | B & B |
| SHRUBS | | | | | | |
| PR | PRICKLY ROSE | ROSA ACICULARIS | 600mm HT. | 900mm O.C. | 2 | CONTAINER |
| SJ | SCANDIA JUNIPER | JUNIPERUS SABINA 'SCANDIA' | 600mm SP. | 1200mm O.C. | 5 | CONTAINER |
| ORNAMENTAL GRASSES & PERENNIALS | | | | | | |
| FRG | KARL FOERSTER FEATHER REED GRASS | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | #2 POT | 800mm O.C. | 28 | CONTAINER |
| OVG | OVERDAM VARIEGATED FEATHER REED GRASS | CALAMAGROSTIS ACUTIFLORA 'OVERDAM' | 15cm POT | 600mm O.C. | 12 | CONTAINER |
| BOG | BLUE OAT GRASS | HELICTOTRICHON SEMPERVIRENS | 15cm POT | 300mm O.C. | 43 | CONTAINER |
| LBG | LITTLE BLUE STEM GRASS | SCHIZACHYRIUM SCOPARIUM | 15cm POT | 600mm O.C. | 28 | CONTAINER |
| PSA | PRAIRIE SMOKE AVENS | GEUM TRIFLORUM 'PRAIRIE SMOKE' | 15cm POT | 300mm O.C. | 62 | CONTAINER |
| RSD | RUBY STELLA DAYLILY | HEMEROCALLIS 'RUBY STELLA' | #2 POT | 600mm O.C. | 110 | CONTAINER |
| SD | STELLA D'ORO DAYLILY | HEMEROCALLIS 'STELLA D'ORO' | #2 POT | 450mm O.C. | 174 | CONTAINER |

SPECIAL NOTE:
1. THE CENTRAL COURTYARD AREA WILL INTEGRATE CULTURAL COMPONENTS THAT ARE CONSISTENT WITH THE DESIGN VALUE REPRESENTED IN BLOCKS 1 AND 9 AND APPROPRIATE IN SCALE FOR THIS PUBLIC REALM SPACE. ALTHOUGH A COMMISSIONED ART PIECE IS NOT INTENDED FOR BLOCK H, OTHER ELEMENTS SUCH AS SYMBOLOLOGY AND CONCRETE REFLECTIVE OF THE BLACKFOOT SACRED COLOURS WILL BE INCORPORATED TO SOME DEGREE. AS WE CONTINUE TO DEVELOP THE DESIGN, CULTURAL ELEMENTS WILL BE FURTHER DEFINED TO COMPLEMENT THE OVERALL INTENT AND REFLECT ON THE HISTORY OF THE SITE.

STATISTICS

ZONE: DC 340D2017
LANDSCAPE REQUIREMENTS: NO LANDSCAPE REQUIREMENTS FOR THIS SITE

| | |
|---|---------------------------|
| MIN. CONIFEROUS TREES REQUIRED: | TOTAL SHRUBS PROVIDED: 10 |
| 25% OF ALL TREES MUST BE CONIFEROUS | |
| 2 TOTAL TREES x 0.25 = 1 CONIFEROUS TREES | |
| TOTAL DECIDUOUS TREES PROVIDED: | |
| DECIDUOUS TREE: 0 | |
| 75mm CAL.: 0 | |
| 50mm CAL.: 0 | |
| TOTAL CONIFEROUS TREES PROVIDED: | |
| CONIFEROUS TREE: 2 | |
| 3.0m HT.: 1 | |
| 2.0m HT.: 1 | |

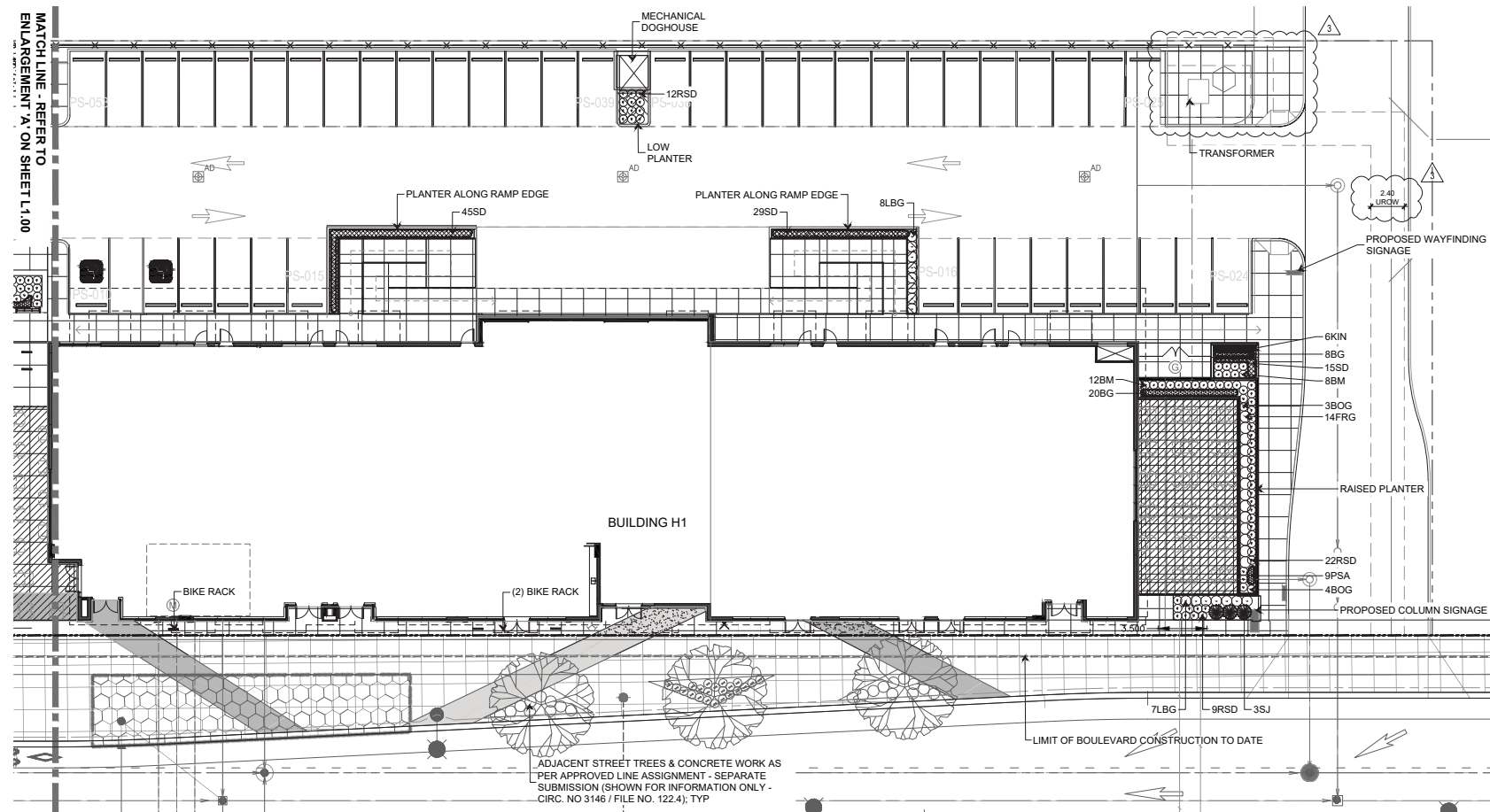
LEGEND

| | |
|-------------------------|---------------------------|
| PROPERTY LINE | CONCRETE SURFACE - TYPE 5 |
| CONCRETE SURFACE TYPE 1 | CONCRETE SURFACE TYPE 6 |
| CONCRETE SURFACE TYPE 2 | CONCRETE SURFACE TYPE 7 |
| CONCRETE SURFACE TYPE 3 | CONCRETE SURFACE - TYPE 8 |
| CONCRETE SURFACE TYPE 4 | BUILDING PATIO AREA |

GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION SHALL BE IN ACCORDANCE W/ CITY OF CALGARY STANDARD SPECIFICATIONS - CURRENT EDITIONS
- CONTRACTOR TO ENSURE THE LOCATION OF ALL UNDERGROUND UTILITIES ARE MARKED PRIOR TO CONSTRUCTION START - CALL 'ALBERTA 1-CALL' AT 1-800-242-3447.
- ALL UTILITIES MUST BE INSTALLED PRIOR TO PLANTING.
- ALL CONIFEROUS TREES & SHRUB MATERIALS TO BE GROUPED IN MULCHED BEDS. INDIVIDUAL TREES TO HAVE MULCHED 1200mm DIA. TREE WELLS. MULCH TO BE CITY OF CALGARY APPROVED WOOD BARK MULCH & INSTALLED TO A DEPTH OF 75mm.
- ALL SHRUBS SHALL BE A MINIMUM HEIGHT OR SPREAD OF 600mm AT TIME OF PLANTING (TYP).
- ANY TREES OR SHRUBS WHICH DIE SHALL BE REPLACED ON A CONTINUING BASIS W/ TREES OR SHRUBS OF COMPARABLE SPECIES & SIZE TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- WARRANTY WILL BE EXTENDED FOR 1 YEAR FOR ALL TREES REPLACED IN FALL.
- ALL PLANTING BEDS TO BE SMOOTH FLOWING W/ NO UNSIGHTLY BUMPS OR PITCHES.
- ALL TURF AREAS TO BE CITY OF CALGARY No. 1 KENTUCKY BLUEGRASS SOD INSTALLED ON 150mm DEPTH TOPSOIL.
- TOPSOIL TO BE ROCK PICKED & CLEANED TO CITY OF CALGARY SPECS. PRIOR TO SOD INSTALLATION.
- ALL PROJECT EDGES TO BLEND SMOOTHLY W/ EXISTING ADJACENT PROPERTIES.
- ALL AREAS OF SOFT LANDSCAPING, EXCEPT EXISTING ESTABLISHED TREES & AREAS WITH NATURALIZED GRASS SEED, WILL BE PROVIDED WITH A LOW-WATER IRRIGATION SYSTEM. (LOW-WATER IRRIGATION SYSTEM TO WATER ONLY TREES, SHRUBS & PERENNIALS/ORNAMENTAL GRASSES).
- ALL SOFT LANDSCAPE AREA TO BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ANY SOD DAMAGE THAT IS REPAIRED IN AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM WILL BE HAND WATERED DURING ESTABLISHMENT TO ENSURE PROPER GROWTH.
- CONTRACTOR IS TO REPAIR ANY DAMAGE THAT OCCURS ON ADJACENT LANDS DURING CONSTRUCTION OF THIS SITE.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SITE UNTIL SUCH TIME AS FINAL ACCEPTANCE IS GRANTED BY LANDSCAPE CONSULTANT (min. 2 growing seasons).

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ENLARGEMENT 'B'
SCALE 1: 200

PLANT LIST - THIS SHEET ONLY

| KEY | COMMON NAME | BOTANICAL NAME | SIZE | SPACING | QTY | REMARKS |
|--|----------------------------------|--|-----------|-------------|-----|-----------|
| SHRUBS | | | | | | |
| SJ | SCANDIA JUNIPER | JUNIPERUS SABINA 'SCANDIA' | 600mm SP. | 1200mm O.C. | 3 | CONTAINER |
| ORNAMENTAL GRASSES & PERENNIALS | | | | | | |
| BG | BULBOUS OAT GRASS | ARRHENATHERUM BULBOSUM 'ARRIEGATUM' | 11cm POT | 350mm O.C. | 28 | CONTAINER |
| FRG | KARL FOERSTER FEATHER REED GRASS | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | #2 POT | 800mm O.C. | 14 | CONTAINER |
| BOG | BLUE OAT GRASS | HELICTOTRICHON SEMPERVIRENS | 15cm POT | 300mm O.C. | 7 | CONTAINER |
| LBG | LITTLE BLUE STEM GRASS | SCHIZACHYRIUM SCOPARIUM | 15cm POT | 600mm O.C. | 15 | CONTAINER |
| BM | BICOLOR MONKSHOOD | ACONITUM x CAMMARUM 'BICOLOR' | 11cm POT | 300mm O.C. | 20 | CONTAINER |
| KIN | KINNIKINICK | ARCTOSTAPHYLOS UVA-URSI | 11cm POT | 600mm O.C. | 6 | CONTAINER |
| PSA | PRAIRIE SMOKE AVENS | GELUM TRIFLORUM 'PRAIRIE SMOKE' | 15cm POT | 300mm O.C. | 9 | CONTAINER |
| RSD | RUBY STELLA DAYLILY | HEMEROCALLIS 'RUBY STELLA' | #2 POT | 600mm O.C. | 43 | CONTAINER |
| SD | STELLA D'ORO DAYLILY | HEMEROCALLIS x 'STELLA DORO' | #2 POT | 450mm O.C. | 89 | CONTAINER |

SPECIAL NOTE:
1. THE CENTRAL COURTYARD AREA WILL INTEGRATE CULTURAL COMPONENTS THAT ARE CONSISTENT WITH THE DESIGN VALUE REPRESENTED IN BLOCKS I AND B AND APPROPRIATE IN SCALE FOR THIS PUBLIC REALM SPACE. ALTHOUGH A COMMISSIONED ART PIECE IS NOT INTENDED FOR BLOCK H, OTHER ELEMENTS SUCH AS SYMBOLY AND CONCRETE REFLECTIVE OF THE BLACKFOOT SACRED COLOURS WILL BE INCORPORATED TO SOME DEGREE. AS WE CONTINUE TO DEVELOP THE DESIGN, CULTURAL ELEMENTS WILL BE FURTHER DEFINED TO COMPLEMENT THE OVERALL INTENT AND REFLECT ON THE HISTORY OF THE SITE.



BENCH - TYPICAL
N.T.S.



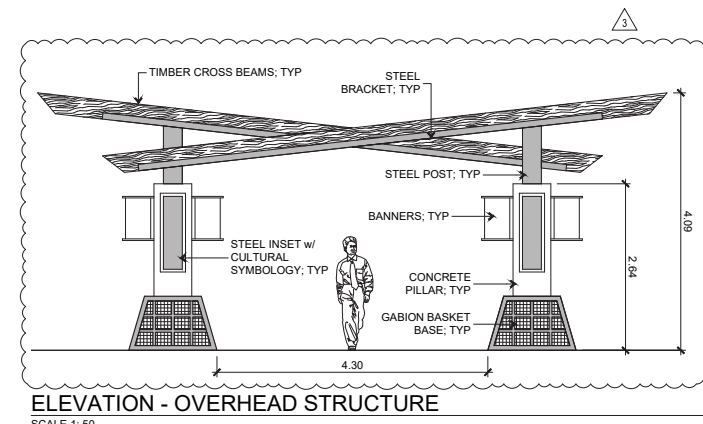
WALL MOUNT BENCH - TYPICAL
N.T.S.



BIKE RACK - TYPICAL
N.T.S.

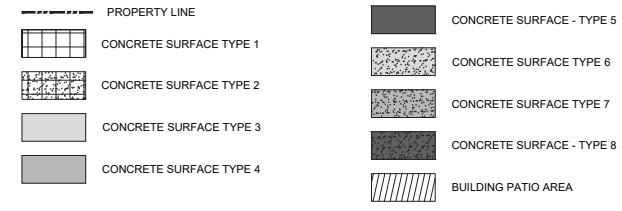


TRASH RECEPTACLE - TYPICAL
N.T.S.

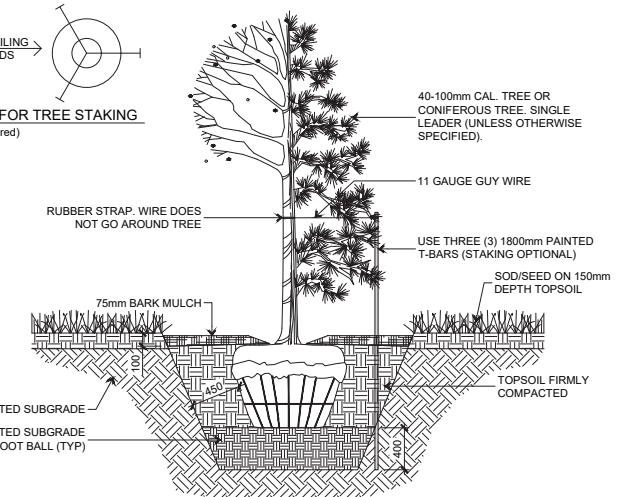


ELEVATION - OVERHEAD STRUCTURE
SCALE 1: 50

LEGEND



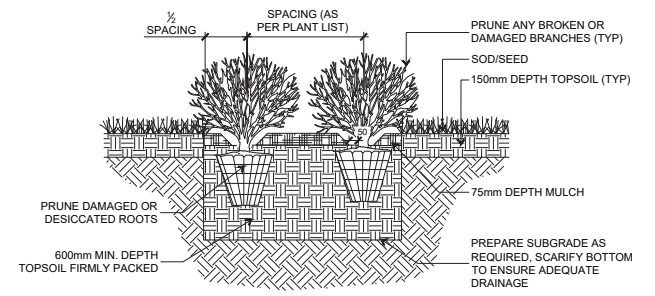
PLAN FOR TREE STAKING
(as required)



- NOTE:**
- EDGE OF BED TO BE STAKED & APPROVED BY LANDSCAPE ARCHITECT.
 - DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
 - TREES TO BE PLANTED 75 - 100mm BELOW GROUND LEVEL.
 - IF TREE IS IN WIRE BASKET, CUT & REMOVE STRAPPING PLUS THE HORIZONTAL/VERTICAL WIRES OF THE UPPER 1/2 AS A MINIMUM. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
 - PLACE ROOT BALL ON COMPACTED OR UNDISTURBED SUBGRADE.
 - MULCH TO BE 50mm AWAY FROM ROOT FLARE/TRUNK. EXTEND TO THE EDGE OF THE DRIP LINE OR 1000mm.
 - ON SITES OF EXTREME COMPACTION SCARIFYING IS RECOMMENDED.
 - PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE - DO NOT PRUNE HEAVILY AT PLANTING.
 - IF STAKING, STAKE BEYOND EDGE OF ROOT BALL. BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
 - USE RUBBER STRAPS AT END OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT.

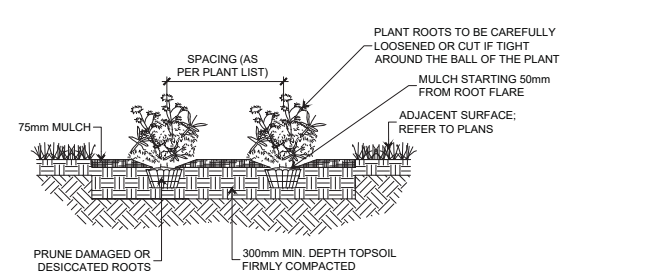
TYPICAL SHRUB BED PLANTING

SCALE 1: 30



TYPICAL PERENNIAL/GRASS PLANTING

SCALE 1: 20

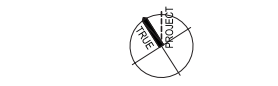


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consultants
URBAN SYSTEMS
Suite 101, 134 11 Avenue SE
Calgary, AB T2G 0X5
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| Issue No. | Date | Description |
|-----------|------------|-------------------------------|
| 1 | 2020-06-26 | ISSUED FOR DEVELOPMENT PERMIT |
| 2 | 2020-09-28 | ISSUED FOR DP RESUBMISSION |
| 3 | 2020-11-17 | ISSUED FOR DP RESUBMISSION |

client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
LANDSCAPE PLAN - ENLARGEMENT 'B'

scale: AS SHOWN
drawn by: ZM/SN
checked by: GK
project no: 220-021
date issued: 2020-06-15

re-issue no: 1
sheet no: L1.01

U:\Projects\CAL2188001\2010-Design\CAD\30_PROJECT\DP-Landscape\100-2188001-2010-CP-dwg_L1.01_20201116_02:45 pm.snoone



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client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

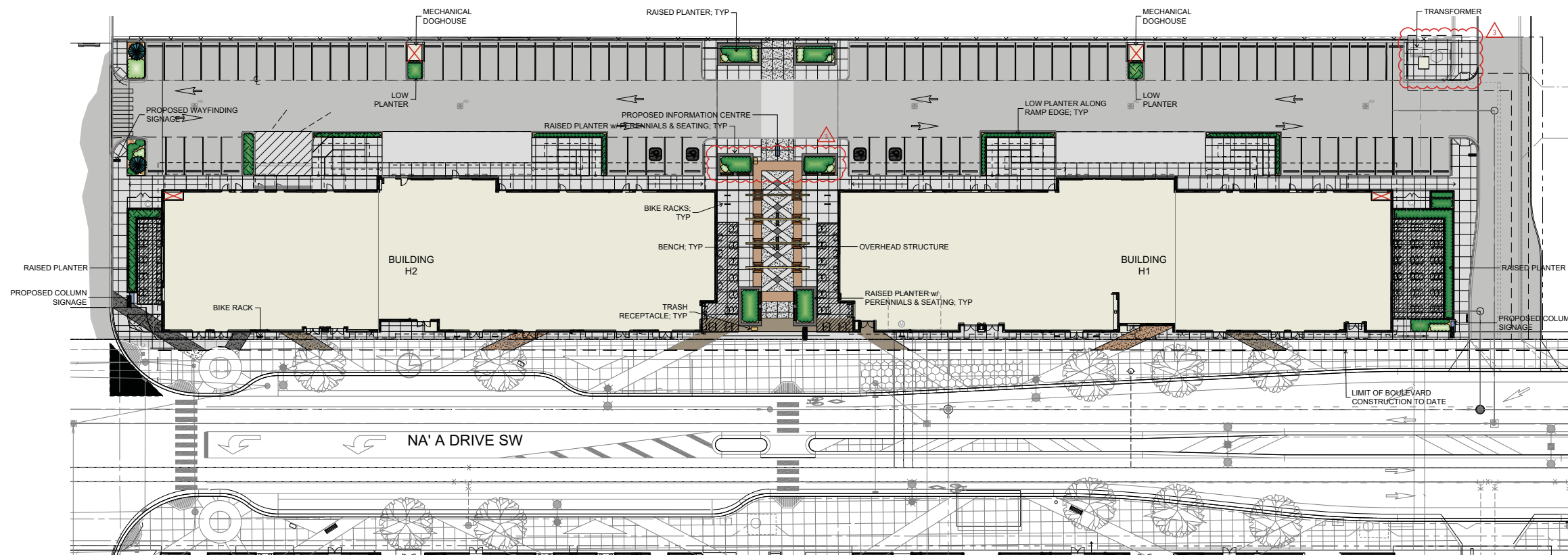
drawing title

LANDSCAPE PLAN -
SITE RENDERING

scale: AS SHOWN
drawn by: ZM/SN
checked by: GK
project no: 220-021
date issued: 2020-06-15

re-issue no: 1 sheet no: L1.02

U:\Projects_CAL\2198001\2010-Design\CAD\20_PRCDDP-Landscape\Color\LD-219800 201-DP-Rendering.dwg, L1.02, 2020/11/16 02:38 pm anonan



PLAN VIEW
SCALE 1:300

ADJACENT STREET TREES & CONCRETE WORK AS PER APPROVED LINE ASSIGNMENT - SEPARATE SUBMISSION (SHOWN FOR INFORMATION ONLY - CIRC. NO 3146 / FILE NO. 122.4); TYP



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| 2 | 2020-10-01 | ISSUED FOR DP RESUBMISSION |
| 3 | 2020-11-16 | ISSUED FOR DTR 2 RESPONSE |

client
TRINITY DEVELOPMENT GROUP



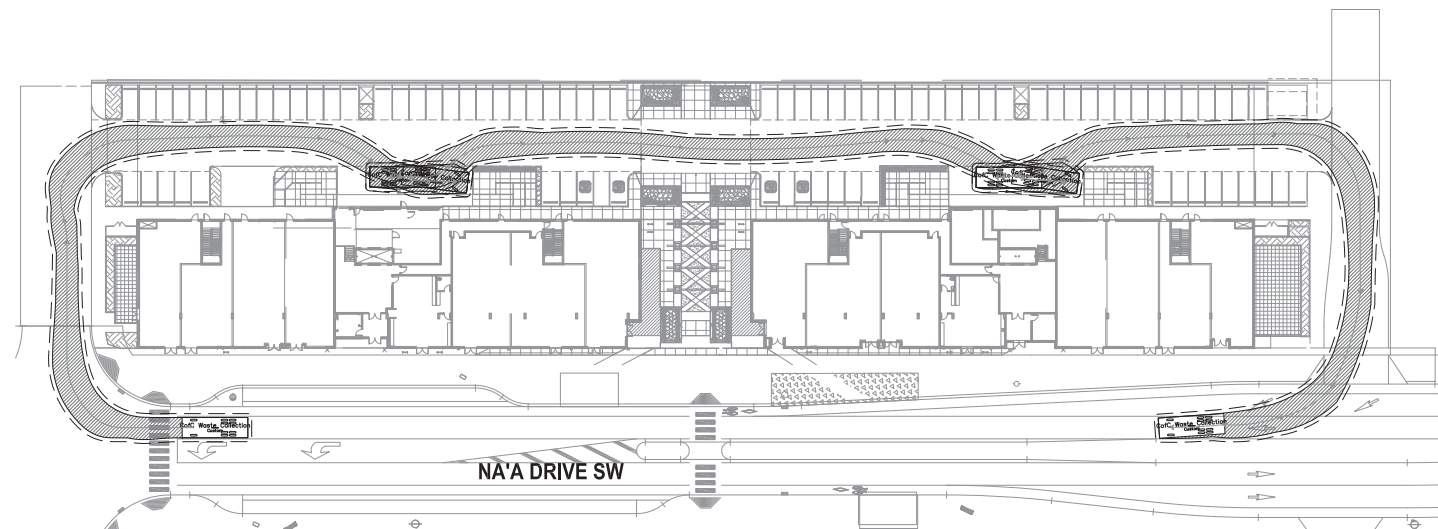
project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

drawing title
VEHICLE SWEEP PATHS -
WASTE COLLECTION VEHICLE

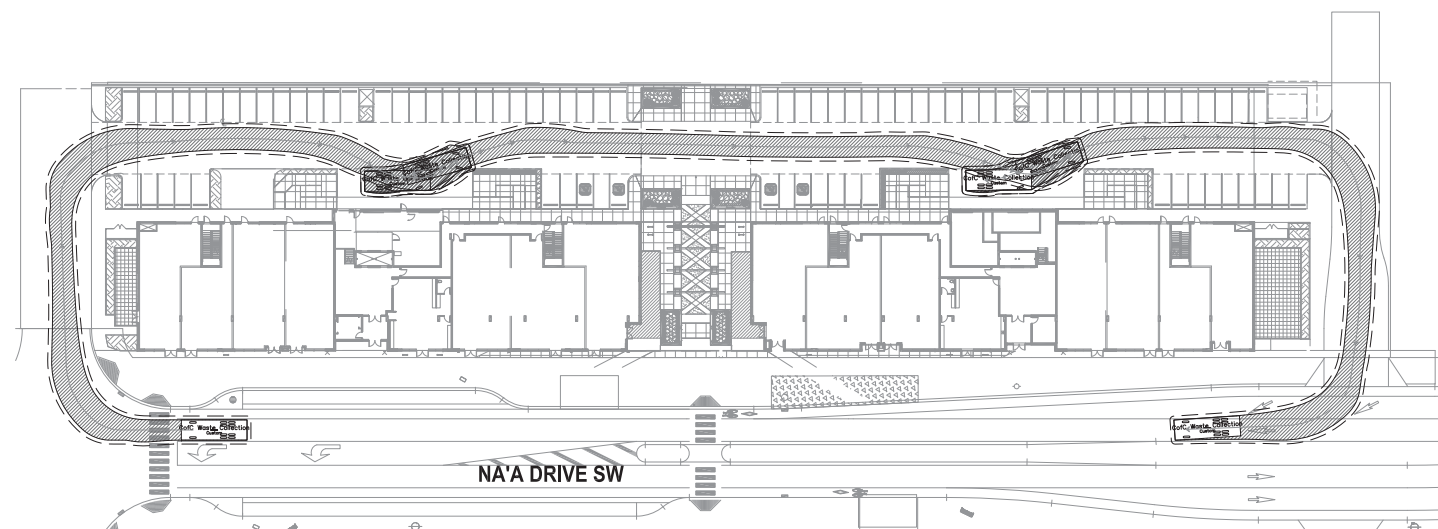
scale: 1:500
drawn by: BM
checked by: GP
project no: 220-021
date issued: 2020-11-16

re-issue no: sheet no:
3 T101

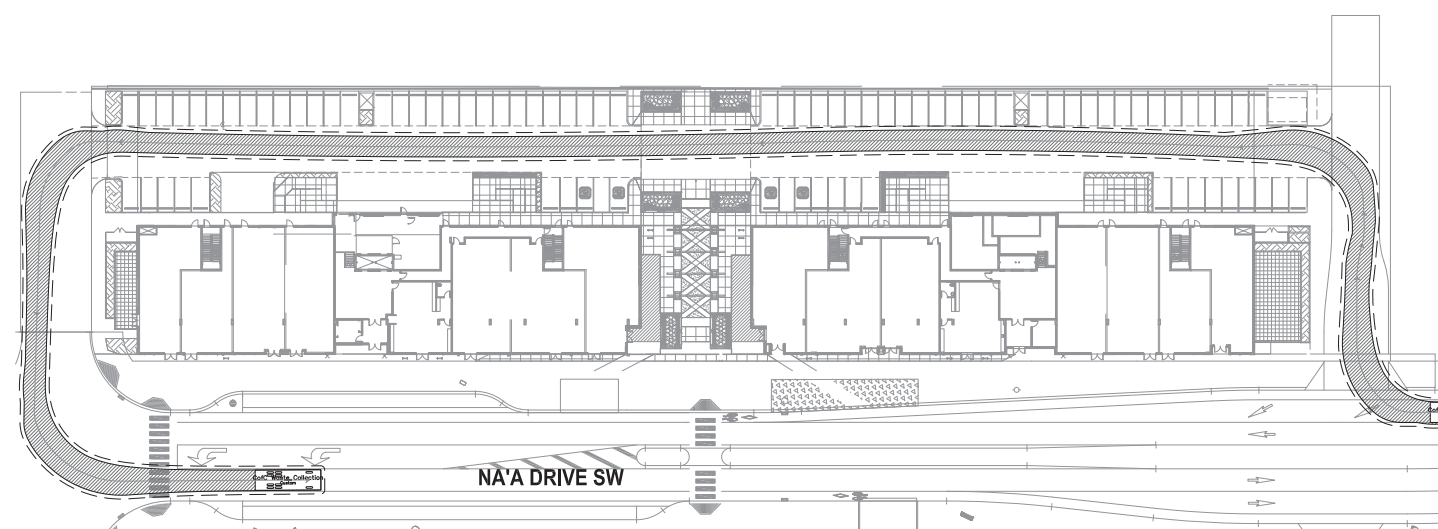
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1 WASTE COLLECTION VEHICLE - INBOUND TO STAGING AREAS (NOSE IN)
T101 SCALE: 1 : 500

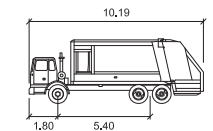


2 WASTE COLLECTION VEHICLE - INBOUND TO STAGING AREAS (REVERSE IN)
T101 SCALE: 1 : 500



3 WASTE COLLECTION VEHICLE - EAST TO WEST CIRCULATION
T101 SCALE: 1 : 500

DESIGN VEHICLE



CofC Waste Collection
meters
Width : 3,15
Track : 2,60
Lock to Lock Time : 6,0
Steering Angle : 26,8

- - - Dashed Line Represents 0.6m Horizontal Clearance Offset





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| 3 | 2020-11-16 | ISSUED FOR DTR 2 RESPONSE |

client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

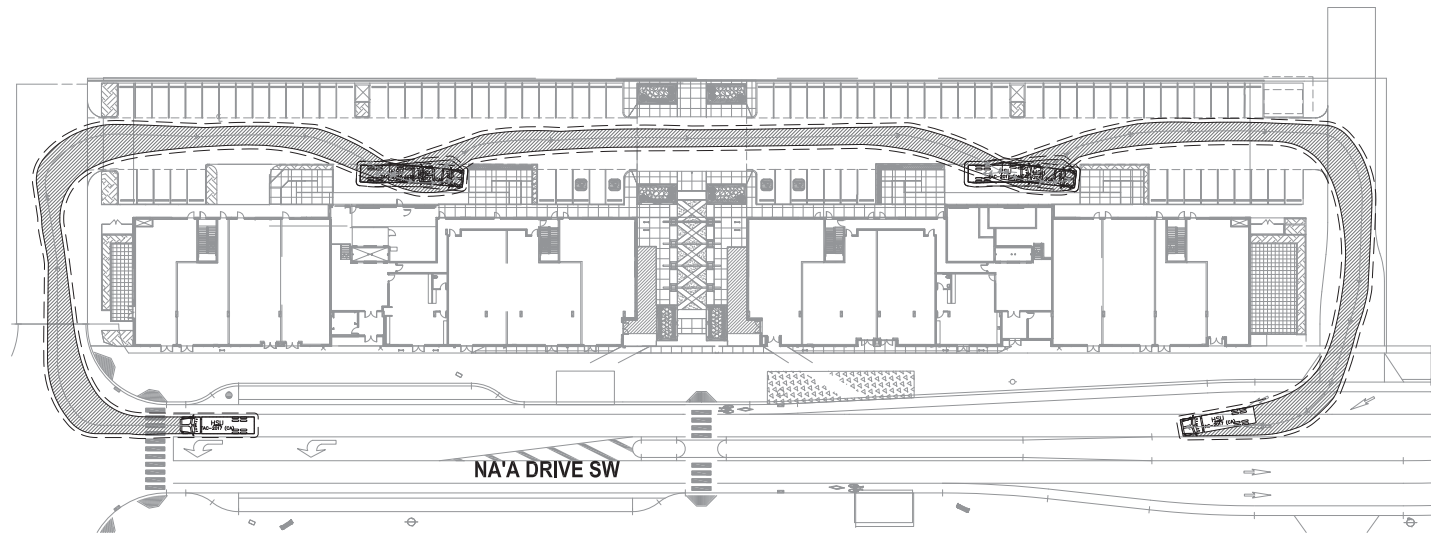
drawing title

VEHICLE SWEEP PATHS -
LOADING VEHICLE

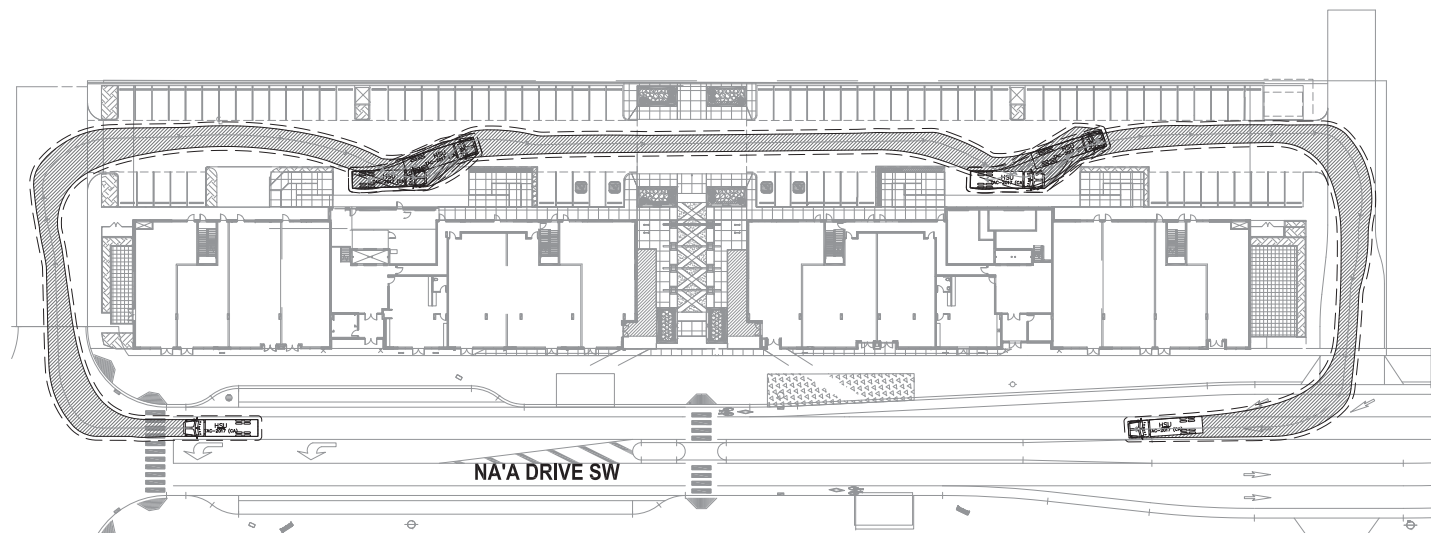
scale: 1:500
drawn by: BM
checked by: GP
project no: 220-021
date issued: 2020-11-16

re-issue no: sheet no:
3 T102

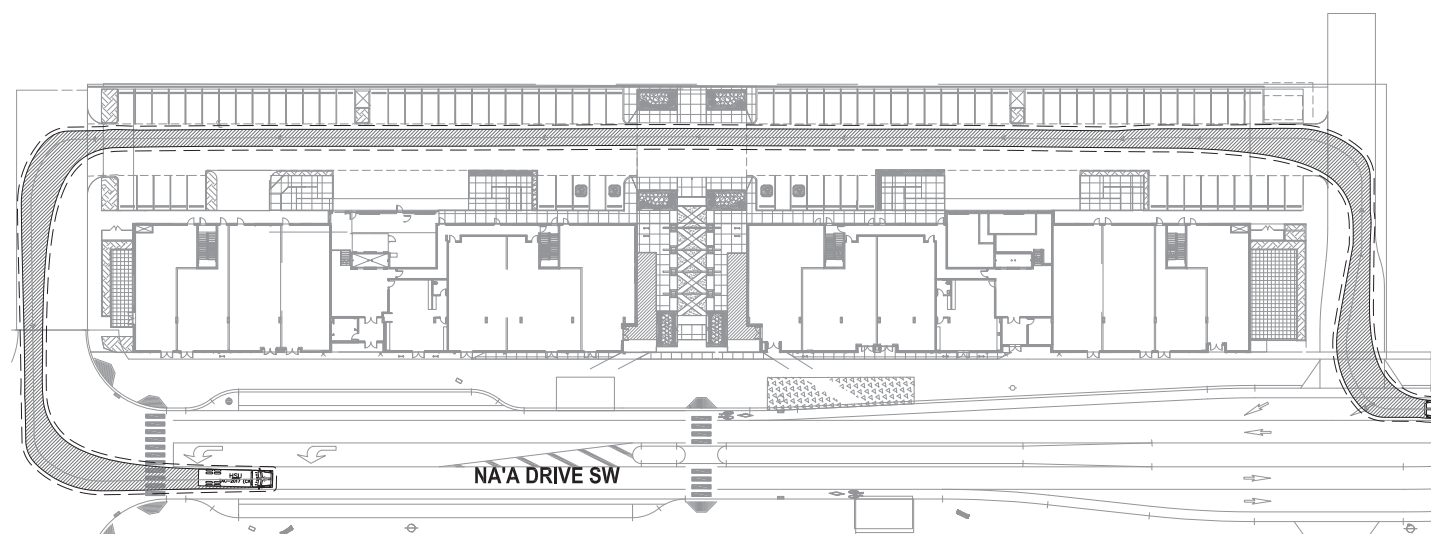
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1 LOADING VEHICLE - INBOUND TO STAGING AREAS (NOSE IN)
T102 SCALE: 1: 500

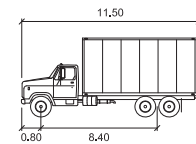


2 LOADING VEHICLE - INBOUND TO STAGING AREAS (REVERSE IN)
T102 SCALE: 1: 500



3 LOADING VEHICLE - EAST TO WEST CIRCULATION
T102 SCALE: 1: 500

DESIGN VEHICLE



HSU
Width : 2,60
Track : 2,60
Lock to Lock Time : 6,0
Steering Angle : 40,0

Dashed Line Represents 0.6m Horizontal Clearance Offset



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TRINITY DEVELOPMENT GROUP



project title

TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

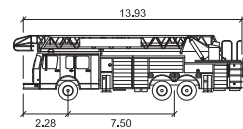
drawing title

VEHICLE SWEEP PATHS -
EMERGENCY VEHICLE

scale: 1:500
drawn by: BM
checked by: GP
project no: 220-021
date issued: 2020-11-16

re-issue no: 3 sheet no: T103

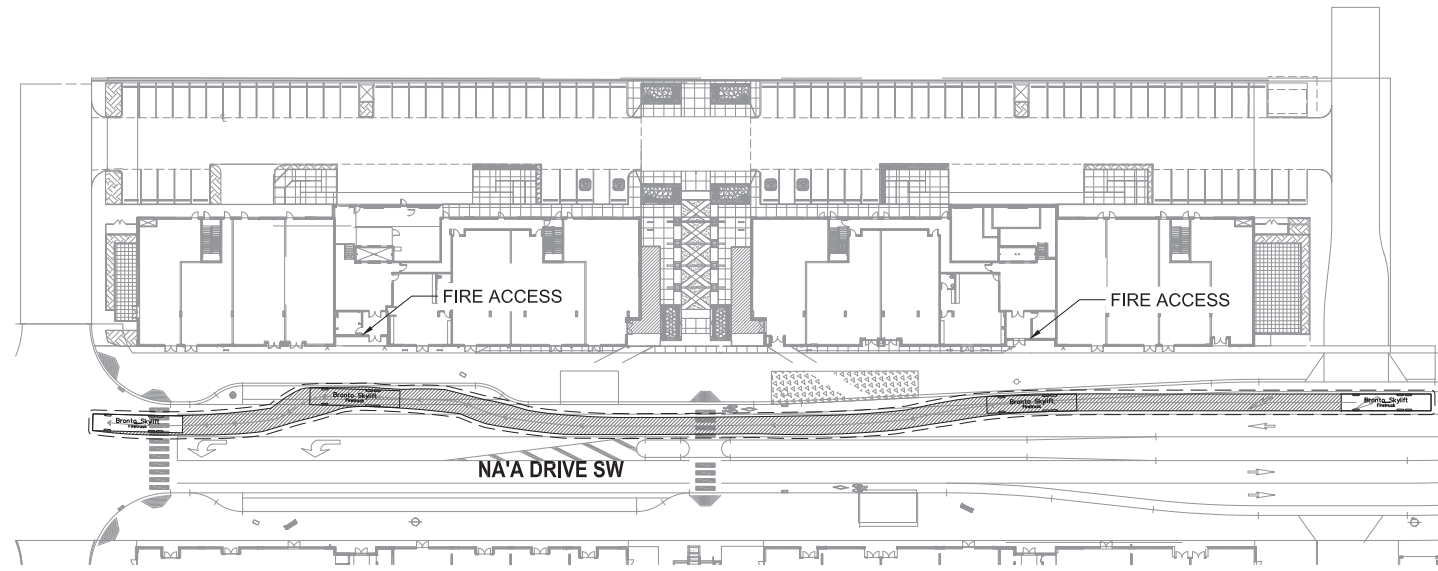
DESIGN VEHICLE



Bronto Skylift

| | meters |
|-------------------|--------|
| Width | : 2.60 |
| Track | : 2.60 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 47.3 |

Dashed Line Represents 0.6m
Horizontal Clearance Offset



1 EMERGENCY VEHICLE - CIRCULATION TO/FROM FIRE ACCESS POINTS
T103 SCALE: 1:500

C:\Bentl\Projects\AR_220-021_TRINITY_HILLS_F00_Bowenhard.dwg



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client
TRINITY DEVELOPMENT GROUP



project title
TRINITY HILLS - BLOCK H
885 NA'A DRIVE SW CALGARY, AB

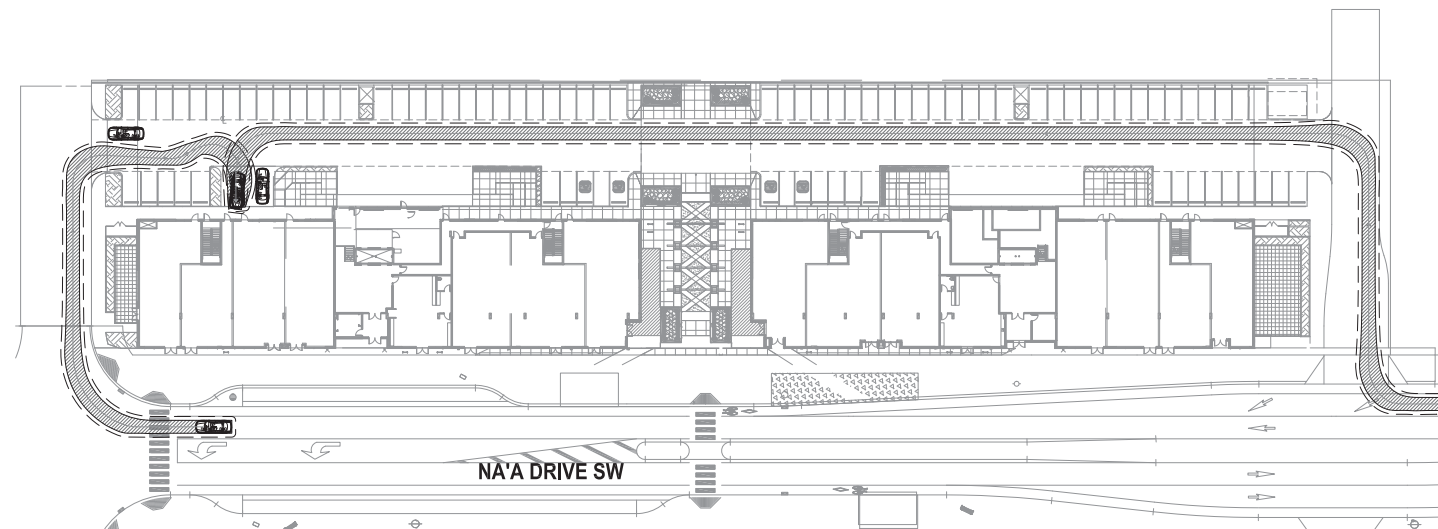
drawing title

VEHICLE SWEEP PATHS -
PASSENGER VEHICLE

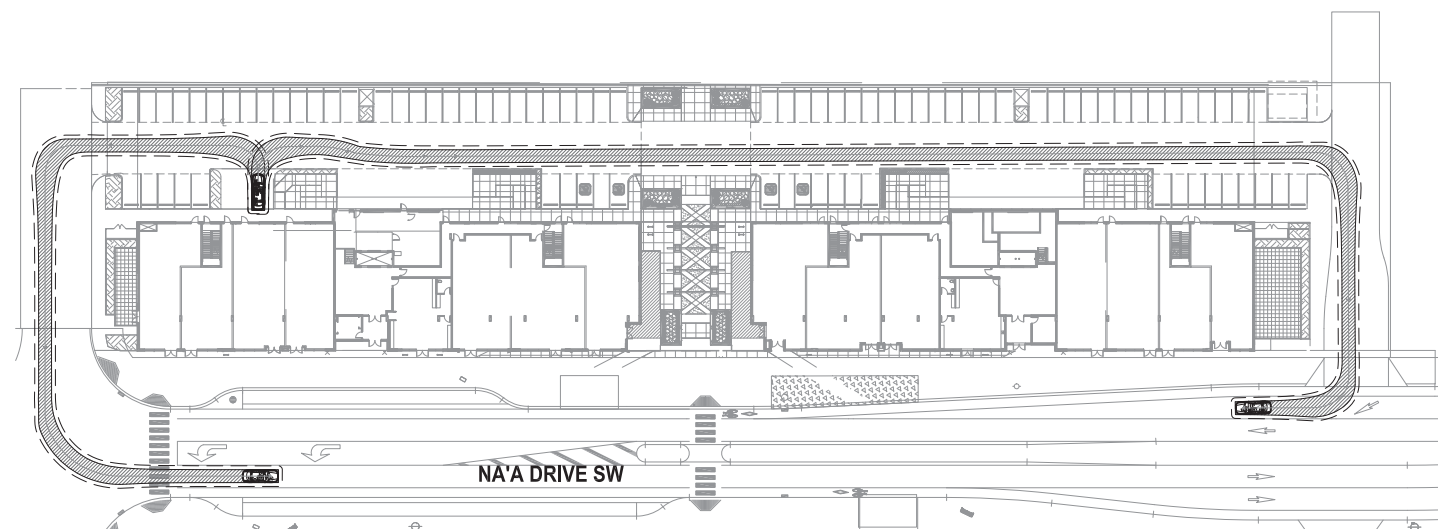
scale: 1:500
drawn by: BM
checked by: GP
project no: 220-021
date issued: 2020-11-16

re-issue no: 3
sheet no: T104

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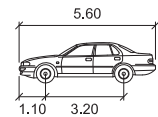


1 PASSENGER VEHICLE - INBOUND TO PARKADE RAMP
T104 SCALE: 1:500



2 PASSENGER VEHICLE - OUTBOUND FROM PARKADE RAMP
T104 SCALE: 1:500

DESIGN VEHICLE



P

| | |
|-------------------|--------|
| | metres |
| Width | : 2.00 |
| Track | : 2.00 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 35.9 |

--- Dashed Line Represents 0.6m Horizontal Clearance Offset

TRINITY HILLS, Calgary
Block H Signage Masterplan
Development Permit Application

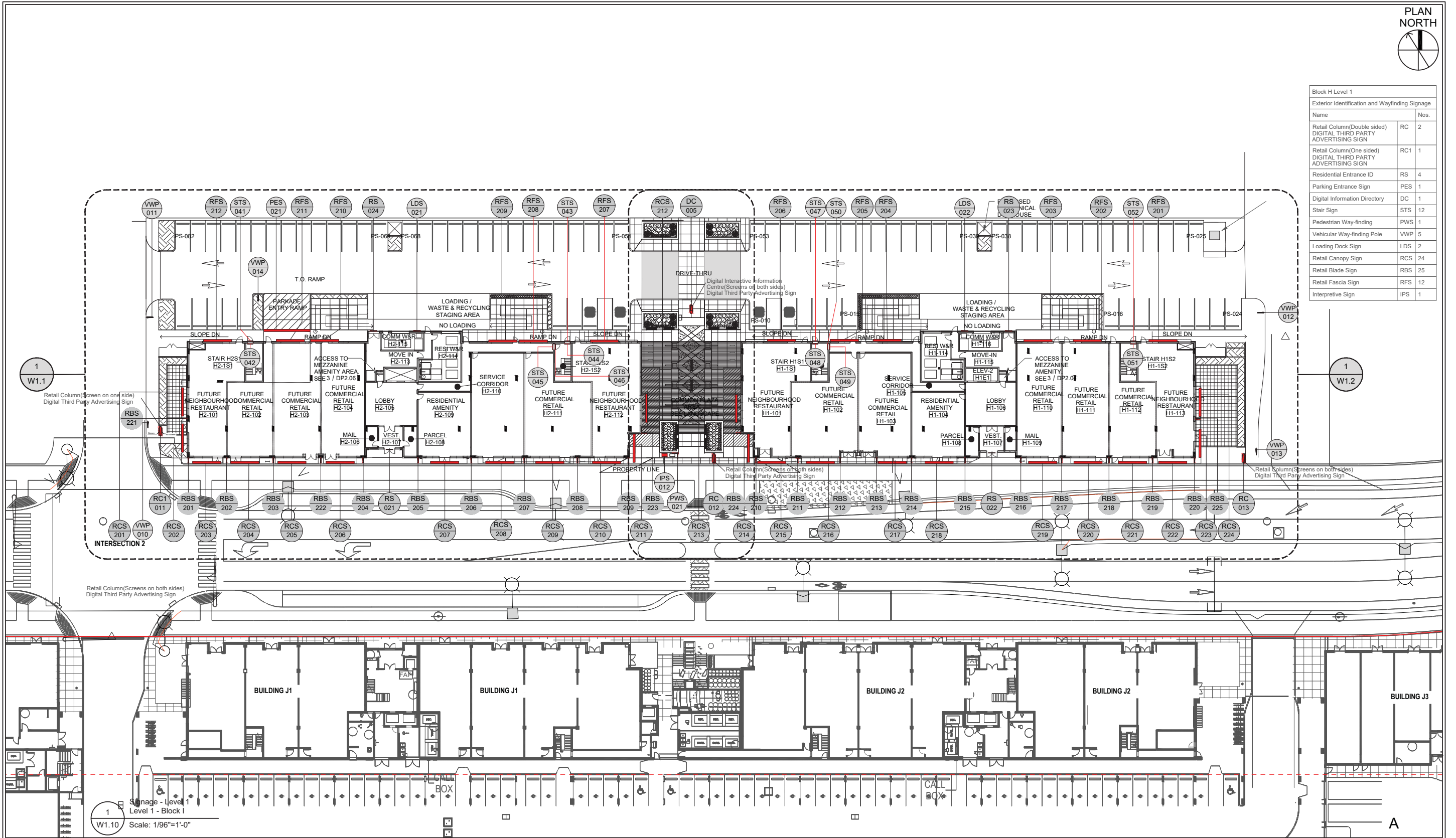
26 Nov 2020



PLAN
NORTH



| Block H Level 1 | |
|--|--------|
| Exterior Identification and Wayfinding Signage | |
| Name | Nos. |
| Retail Column(Double sided) DIGITAL THIRD PARTY ADVERTISING SIGN | RC 2 |
| Retail Column(One sided) DIGITAL THIRD PARTY ADVERTISING SIGN | RC1 1 |
| Residential Entrance ID | RS 4 |
| Parking Entrance Sign | PES 1 |
| Digital Information Directory | DC 1 |
| Stair Sign | STS 12 |
| Pedestrian Way-finding | PWS 1 |
| Vehicular Way-finding Pole | VWP 5 |
| Loading Dock Sign | LDS 2 |
| Retail Canopy Sign | RCS 24 |
| Retail Blade Sign | RBS 25 |
| Retail Fascia Sign | RFS 12 |
| Interpretive Sign | IPS 1 |



KDA
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Design Fax: 416.921.9934
Associates www.kramer-design.com

CLIENT
Trinity Development Group
3250 Bloor Street West,
East Tower, Suite 1000
Toronto, ON, M8X2X9

PROJECT
Trinity Hills Mixed Use
Development - Block H
924 Na'a Drive SW
Calgary, AB, T3B2S6

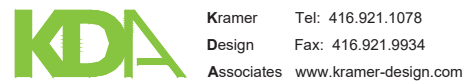
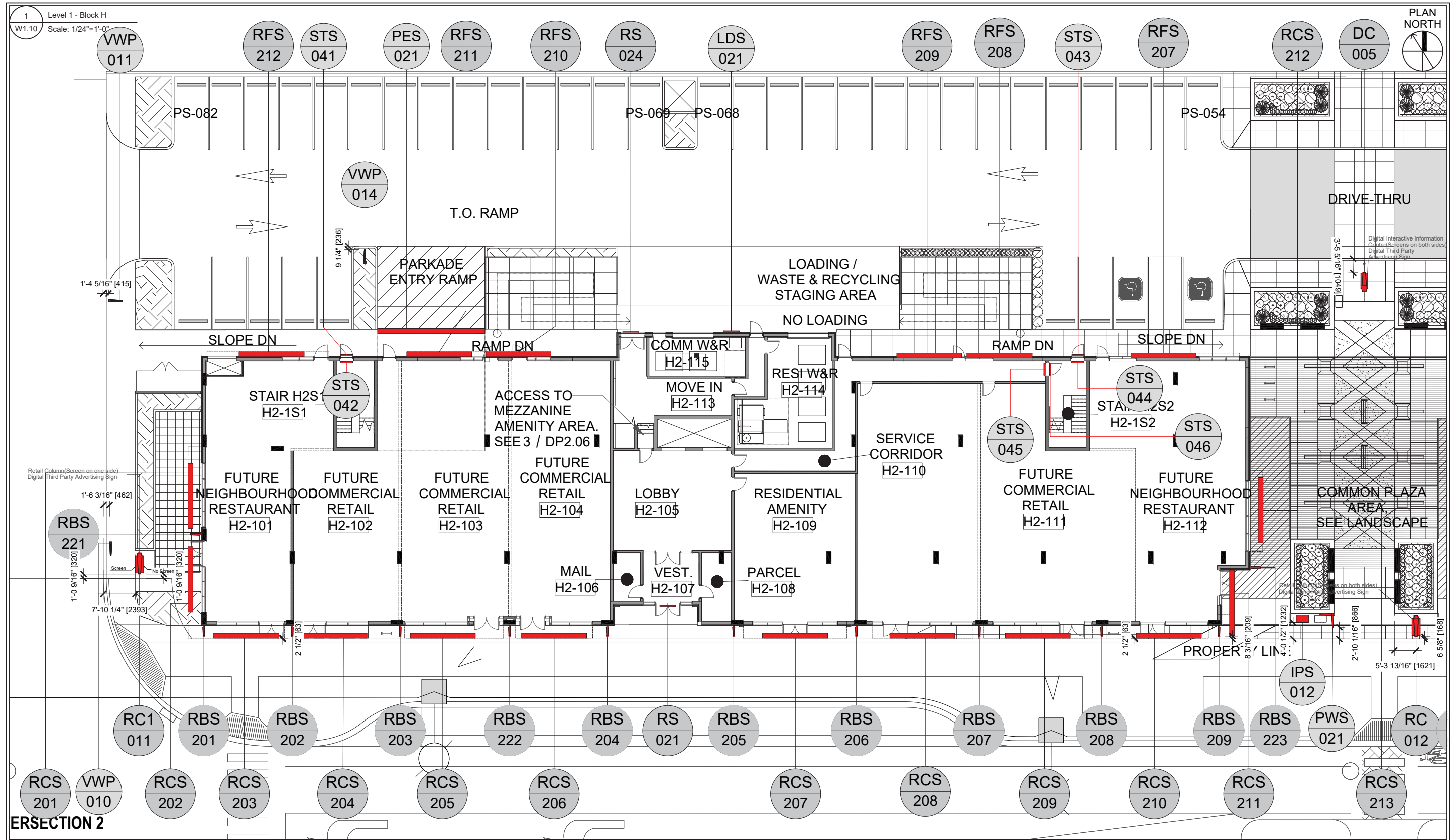
DATE
Issued for DP Application 26 Nov 2020

TITLE
Block H Level 1 Plan

DWG No
W1.0

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CLIENT
Trinity Development Group
3250 Bloor Street West,
East Tower, Suite 1000
Toronto, ON, M8X2X9

PROJECT
Trinity Hills Mixed Use
Development - Block H
Lot 1; Block 3
Plan 1612946
924 Na'a Drive SW
Calgary, AB, T3B2S6

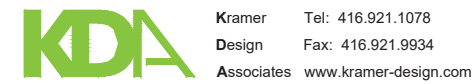
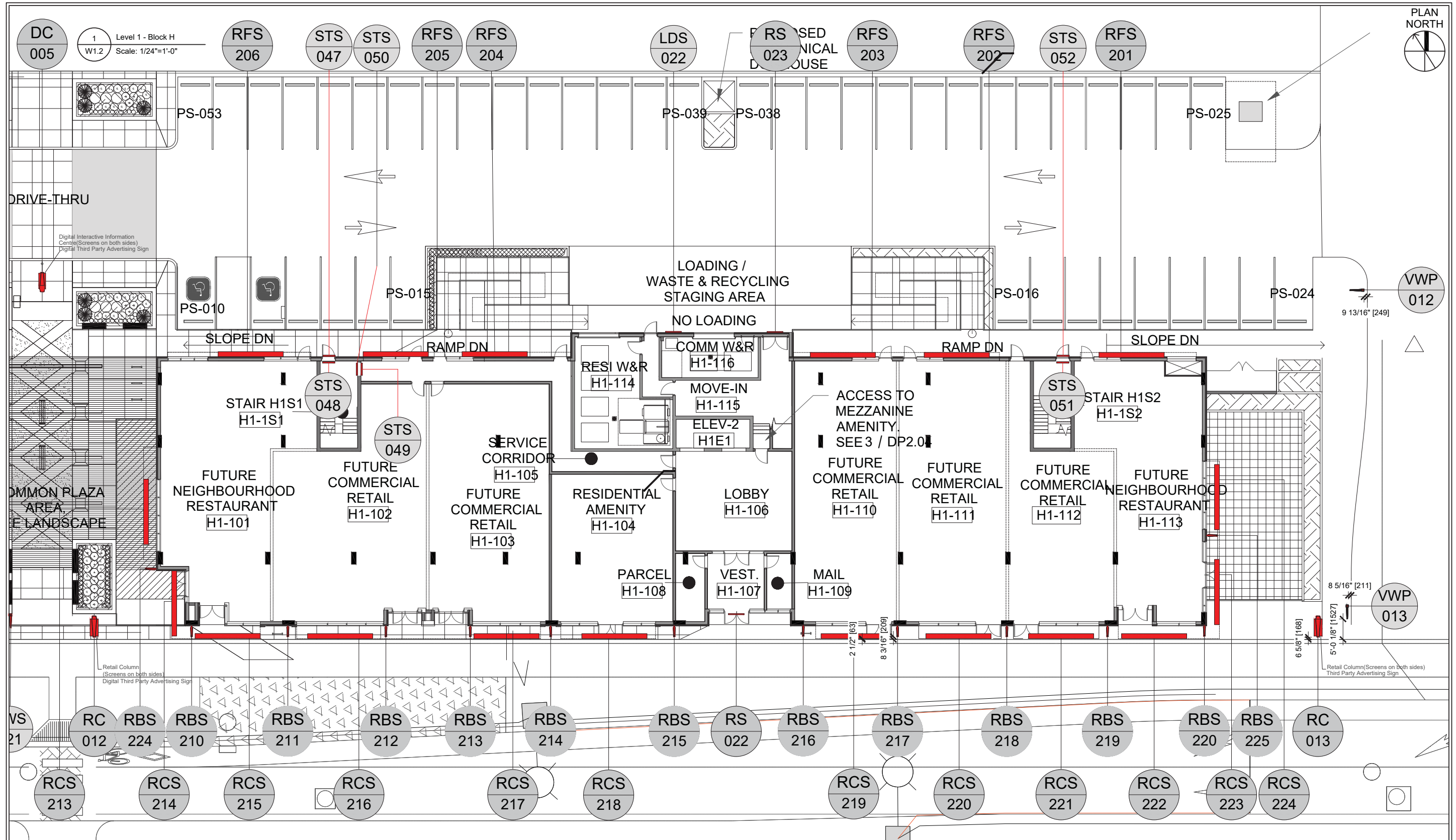
DATE
Issued for Signage DP 26 Nov 2020

TITLE
Block H Level 1
Building H2

DWG No
W1.1

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CLIENT
Trinity Development Group
3250 Bloor Street West,
East Tower, Suite 1000
Toronto, ON, M8X2X9

PROJECT
Trinity Hills Mixed Use
Development - Block H
Lot 1; Block 3
Plan 1612946
924 Na'a Drive SW
Calgary, AB, T3B2S6

DATE
Issued for Signage DP 26 Nov 2020

TITLE
Block H Level 1
Building H1


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W1.2

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1 Block H - Elevations
W2.0 Scale: 1/48"=1'-0"

| | | | | | |
|---|---|---|--|--|-------------------------------|
|  <p>Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates www.kramer-design.com</p> | <p>CLIENT Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000 Toronto, ON, M8X2X9</p> | <p>PROJECT Lot 1; Block 3 Plan 1612946</p> | <p>DATE Issued for Signage DP 26 Nov 2020</p> | <p>TITLE Block H Elevations</p> | <p>DWG No W2.0</p> |
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| | | | | | <p>APPROVAL</p> |



1 South Elevation - Block H1
W2.1 Scale: 1/24"=1'-0"

| | | | | | | |
|---|--|---|---|--|--|-------------------------------|
|  <p>Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates www.kramer-design.com</p> | <p>CLIENT Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000 Toronto, ON, M8X2X9</p> | <p>PROJECT Lot 1; Block 3 Plan 1612946</p> | <p>Trinity Hills Mixed Use Development - Block H 924 Na'a Drive SW Calgary, AB, T3B2S6</p> | <p>DATE Issued for Signage DP 26 Nov 2020</p> | <p>TITLE Block H1 South</p> | <p>DWG No W2.1</p> |
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| | <p>APPROVAL</p> | | | | | <p>DWG No W2.1</p> |




1 North elevation - Block H1
W2.2 Scale: 1/24" = 1'-0"

| | | | | | | |
|---|---|---|--|--|---|-------------------------------|
| <p>Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates www.kramer-design.com</p> | <p>CLIENT Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000 Toronto, ON, M8X2X9</p> | <p>PROJECT Lot 1; Block 3 Plan 1612946</p> | <p>Trinity Hills Mixed Use Development - Block H 924 Na'a Drive SW Calgary, AB, T3B2S6</p> | <p>DATE Issued for Signage DP 26 Nov 2020</p> | <p>TITLE Block H1 Elevations</p> | <p>DWG No W2.2</p> |
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| | <p>APPROVAL</p> | | | | | <p>DWG No W2.2</p> |



1 East & West Elevation H1
W2.3 Scale: 1/24"=1'-0"

| | | | | | |
|--|---|--|--|-------------------------------------|-----------------------|
|  Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates www.kramer-design.com | CLIENT Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000 Toronto, ON, M8X2X9 | PROJECT Trinity Hills Mixed Use Development - Block H 924 Na'a Drive SW Calgary, AB, T3B2S6 | DATE Issued for Signage DP 26 Nov 2020 | TITLE Block H1 Elevations | DWG No W2.3 |
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| | | | | | APPROVAL |




1 Elevations - Block H2 South
W2.4 Scale: 1/24"=1'-0"

| | | | | | | | | | | | |
|--|--|---|---|----------------|--|-------------|-------------|------------------------------|----------------------------|-----------------|-------------|
| | Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates www.kramer-design.com | CLIENT | Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000 Toronto, ON, M8X2X9 | PROJECT | Trinity Hills Mixed Use Development - Block H 924 Na'a Drive SW Calgary, AB, T3B2S6 | DATE | 26 Nov 2020 | TITLE | Block H2 - South Elevation | DWG No | W2.4 |
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BUILDING H2 NORTH

1 North Elevation - Block H2
W2.5 Scale: 1/24"=1'-0"

| | | | | | | |
|---|--|---|---|--|---|-------------------------------|
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| | <p>APPROVAL</p> | | | | | <p>DWG No W2.5</p> |



1 East & West Elevation - Block H2
W2.6 Scale: 1/24"=1'-0"

| | | | | | | |
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| | <p>APPROVAL</p> | | | | | <p>DWG No W2.6</p> |

● **RC** Retail Column (DIGITAL THIRD PARTY ADVERTISING SIGN)

Purpose

- Create vibrant streetscape with visual interest.
- Raise awareness of retail tenants in commercial zones.
- Present content in international standard format.
- Coordinate with overall wayfinding design language.

RC-11
Retail Column (Screen on one side)
Digital Third Party Advertising Sign

RC-12
Retail Column (Screen on both sides)
Digital Third Party Advertising Sign

RC-13
Retail Column (Screen on both sides)
Digital Third Party Advertising Sign



1 RC Retail Column Side Elevation
W3.5 Scale 1:30

2 RC Retail Column Front Elevation
W3.5 Scale 1:30

3 RC Retail Column View
W3.5 NTS

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| | | | | | | | | | |
|---------------|--|----------------|--|-------------|---------------------------------------|--------------|---|---------------|------|
| CLIENT | Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000, Toronto, ON, M8X 2X9 T/ 416.255.8800 F/416.586.0599 | PROJECT | Trinity Hills Mixed Use Development 924 Na'a Drive SW, Calgary, AB, T3B 2S6 Legal description Plan 1612946, Block 3, Lot 1 | DATE | Issued for DP Application 26 Nov 2020 | TITLE | RC Retail Column Third Party Advertising Sign | DWG No | W3.5 |
| | | | | | | | APPROVAL | | |

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DC Digital Interactive Information Centre (DIGITAL THIRD PARTY ADVERTISING SIGN)

Purpose

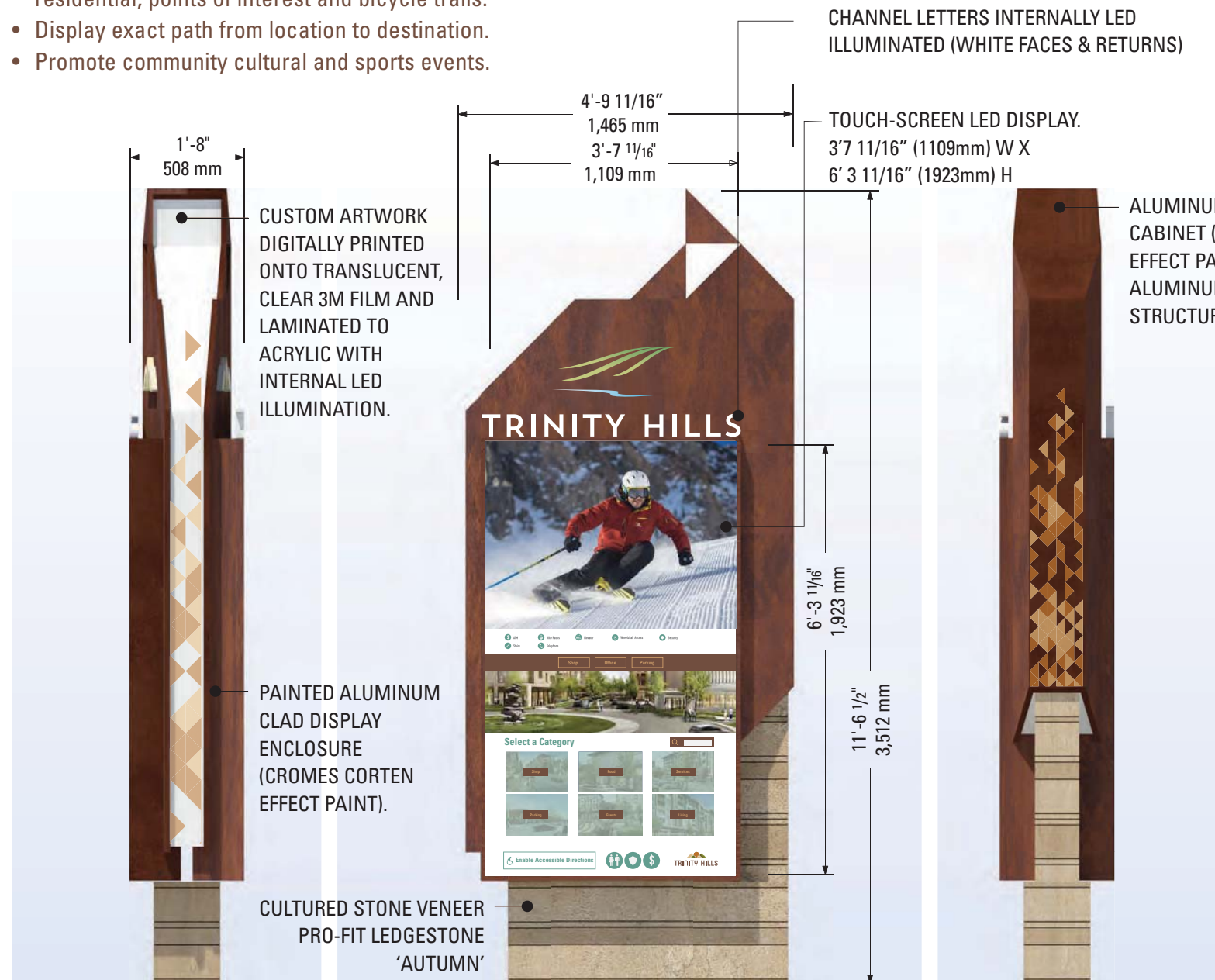
- Provide comprehensive orientation map of the three districts.
- Identify all retail tenant locations, services, residential, points of interest and bicycle trails.
- Display exact path from location to destination.
- Promote community cultural and sports events.

Location

- Adjacent to public walking paths for effective navigation.

ALLANSON STORMTIGHT WHITE LEDS ON 4" CENTRES. CV125-120 POWER SUPPLIES. ALLANSON TRANSFORMERS AND BX CABLE TO BE FULLY CONCEALED

DC-005
Digital Interactive Information Centre (Screen on both sides)



1 DC Side Elevation Digital Interactive Information Centre Scale 1:25

2 DC Front Elevation Digital Interactive Information Centre Scale 1:25

3 DC Side Elevation Digital Interactive Information Centre Scale 1:25

4 DC View Digital Interactive Information Centre NTS



| | | | |
|---------------|--|----------------|---|
| CLIENT | Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000, Toronto, ON, M8X 2X9 T/ 416.255.8800 F/416.586.0599 | PROJECT | Trinity Hills Mixed Use Development 924 Na'a Drive SW, Calgary, AB, T3B 2S6 Legal description Plan 1612946, Block 3, Lot 1 |
|---------------|--|----------------|---|

| | | |
|-------------|---------------------------|------------|
| DATE | Issued for DP Application | 26 Nov2020 |
|-------------|---------------------------|------------|

| | |
|-----------------|---|
| TITLE | DC-Digital Interactive Information Centre Third Party Advertising Sign |
| APPROVAL | |

| | |
|---------------|------|
| DWG No | W3.2 |
|---------------|------|

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VWP Vehicular Wayfinding Pole

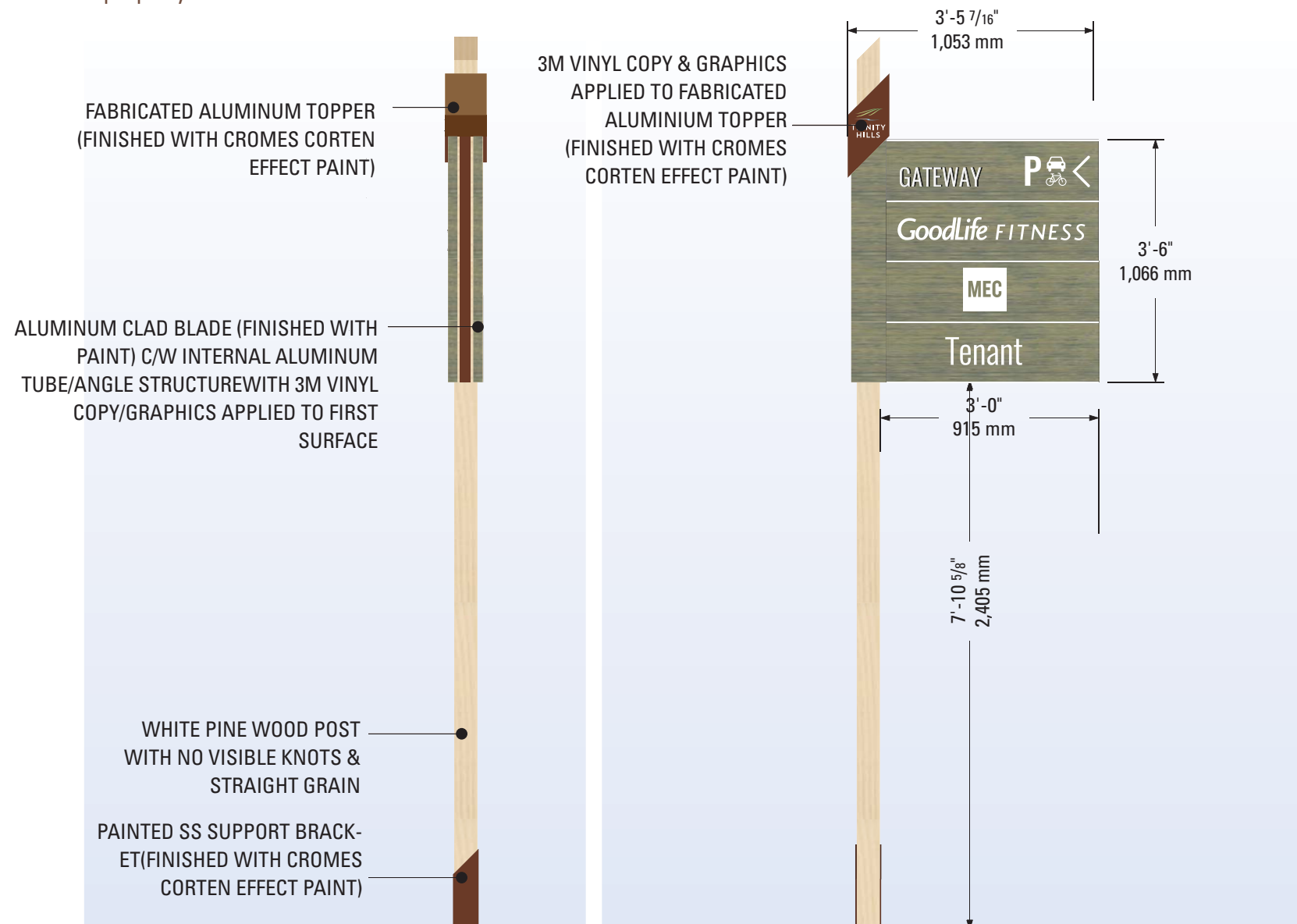
Purpose

- Secondary vehicular wayfinding guiding to vehicular and bike parking and anchor tenants.
- Create a wayfinding link between primary vehicular directional and Interactive Directories.
- Consistent approach to typography that brand unifies the property.

- Coordinated materials finishes and form with overall Trinity Hills wayfinding system.

Location

- Secondary wayfinding circulation points.



1 VWP Pedestrian Wayfinding
W3.41 Scale 1:25

2 VWP Pedestrian Wayfinding
W3.41 Scale 1:25

3 VWP Pedestrian Wayfinding
W3.41

| | | | | | |
|--|---|--|--|---|------------------------|
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RBS Retail Blade Sign

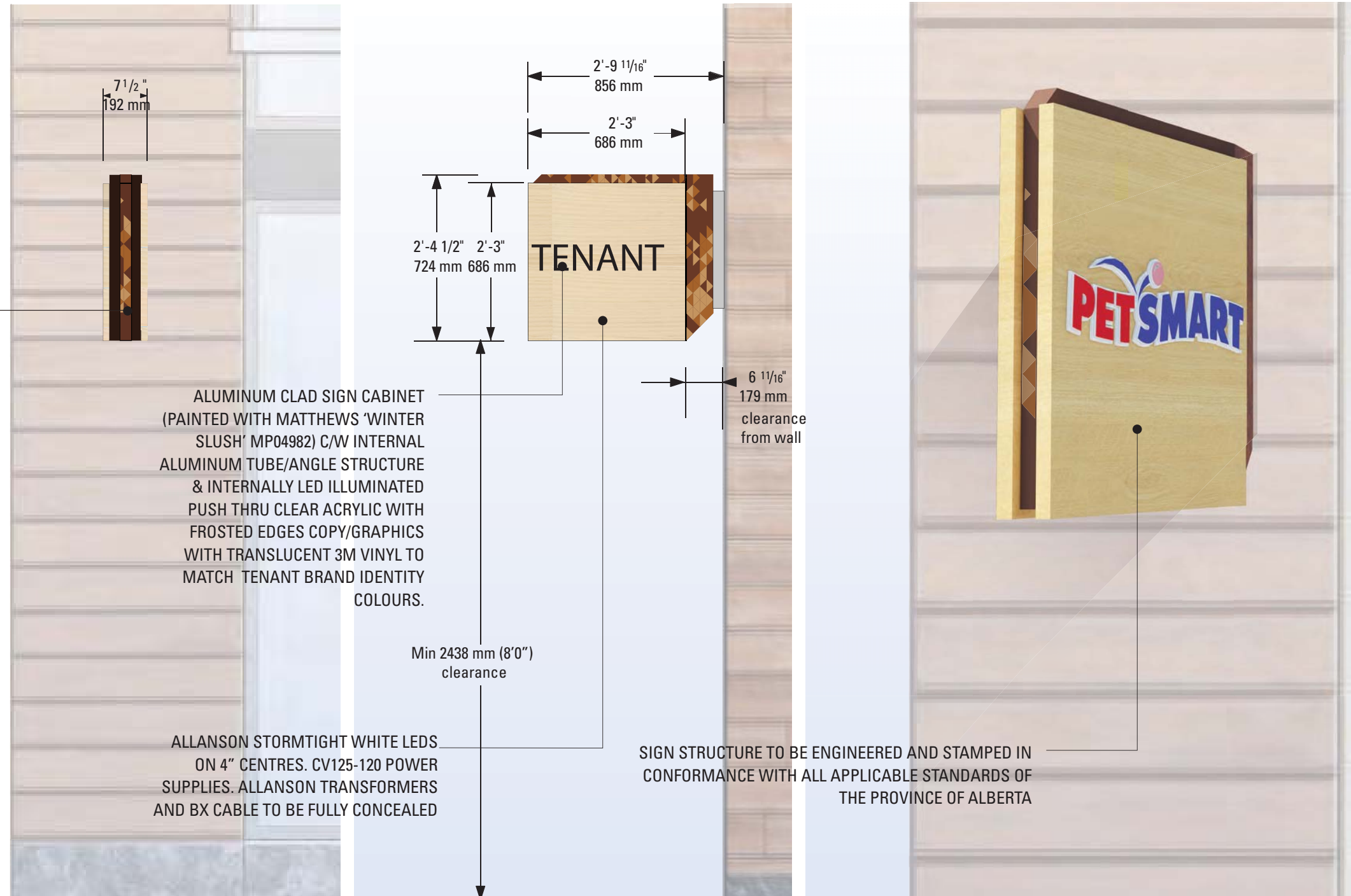
Purpose

- Identify retail storefront perpendicular to pedestrian traffic flow.
- Creates streetscape animation and visual interest.
- Projects brand perpendicular to storefront.

Location

- Located above pedestrian height as part of storefront entrances.

3M GRAPHICS APPLIED ON ALUMINUM CLAD SIGN CABINET (FINISHED WITH CROMES CORTEN EFFECT PAINT) C/W INTERNAL ALUMINUM TUBE/ANGLE STRUCTURE



ALUMINUM CLAD SIGN CABINET (PAINTED WITH MATTHEWS 'WINTER SLUSH' MP04982) C/W INTERNAL ALUMINUM TUBE/ANGLE STRUCTURE & INTERNALLY LED ILLUMINATED PUSH THRU CLEAR ACRYLIC WITH FROSTED EDGES COPY/GRAPHICS WITH TRANSLUCENT 3M VINYL TO MATCH TENANT BRAND IDENTITY COLOURS.

ALLANSON STORMTIGHT WHITE LEDS ON 4" CENTRES. CV125-120 POWER SUPPLIES. ALLANSON TRANSFORMERS AND BX CABLE TO BE FULLY CONCEALED

SIGN STRUCTURE TO BE ENGINEERED AND STAMPED IN CONFORMANCE WITH ALL APPLICABLE STANDARDS OF THE PROVINCE OF ALBERTA

1 RBS - Retail Blade Sign Side Elevation
W3.12 Scale 1:20

2 RBS - Retail Blade Sign Front Elevation
W3.12 Scale 1:20

3 RBS - Retail Blade Sign View
W3.12 Scale 1:20

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| | | | | | | | | | |
|--|--|----------------|---|-------------|--|--------------|--------------------------|---------------|-------|
| CLIENT | Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000, Toronto, ON, M8X 2X9 T/ 416.255.8800 F/416.586.0599 | PROJECT | Trinity Hills Mixed Use Development 924 Na'a Drive SW, Calgary, AB, T3B 2S6 Legal description Plan 1612946, Block 3, Lot 1 | DATE | Issued for DP Application 26 Nov 2020 | TITLE | RBS Retail Blade Sign | DWG No | W3.12 |
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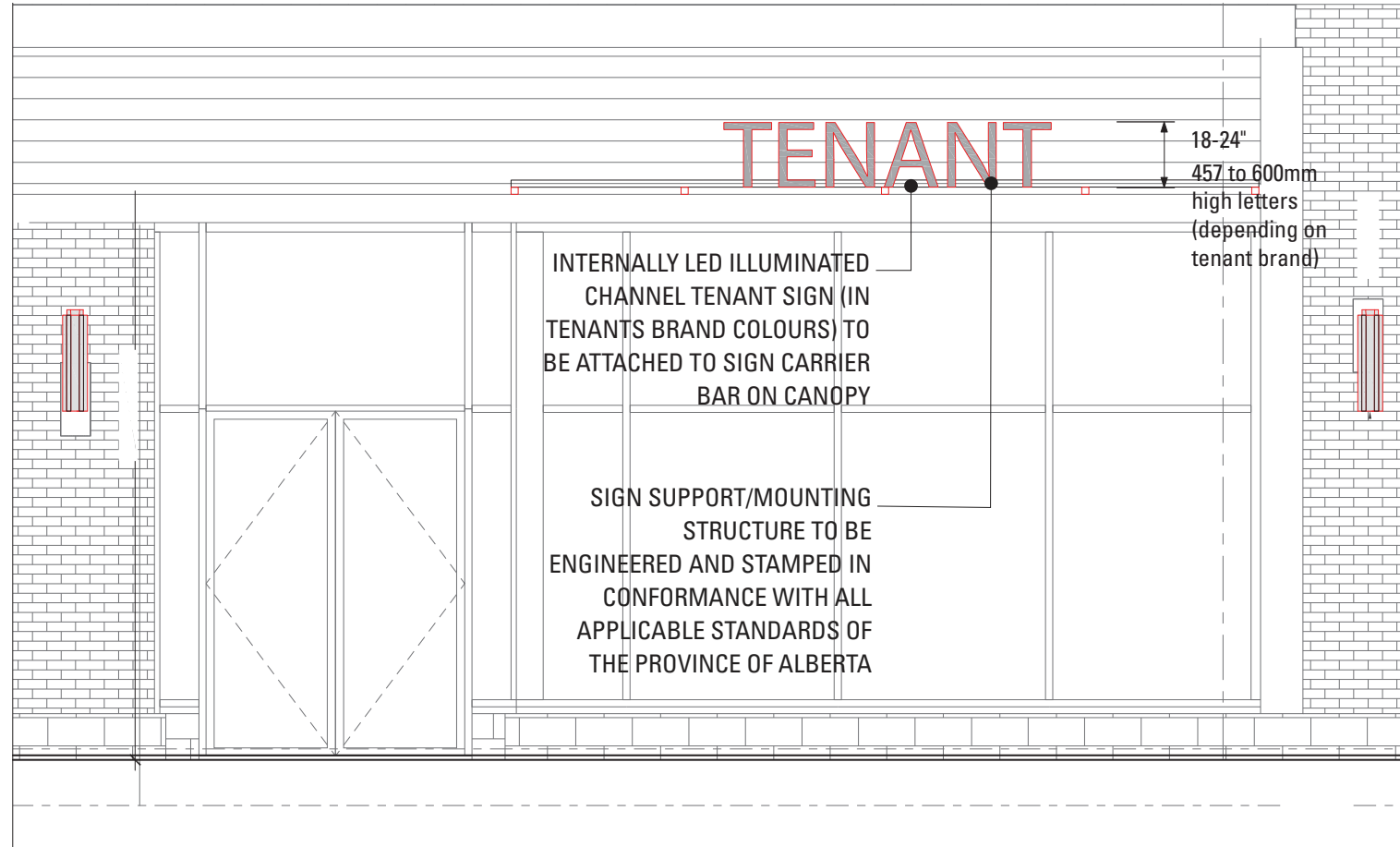
RCS Retail Canopy Sign

Purpose

- Freestanding letters mounted to architectural canopy ledges identifying retail storefronts.
- Provides a system of rails and internally lit channel letters to identify retail tenancies.
- Retail canopy signs will integrate energy-efficient LED lighting.
- Retail storefront canopy signs will vary in type font and colour reflecting the specific brands of individual retailers.

Location

- Retail storefront entrances canopies.




1
RCS Elevation
Retail Canopy Sign
W3.10 Scale 3/8"=1'0"



2
RCS View
Retail Canopy Sign
W3.10 NTS



3
RCS View
Retail Canopy Sign
W3.10 NTS

| | | | | | |
|--|---|---|--|--|------------------------|
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RFS Retail Fascia Sign

Purpose

- Wall-mounted signage to Identify retail storefronts.
- Provides a system of rails and internally lit channel letters to identify retail tenancies.
- Retail fascia signs will integrate energy-efficient LED lighting.

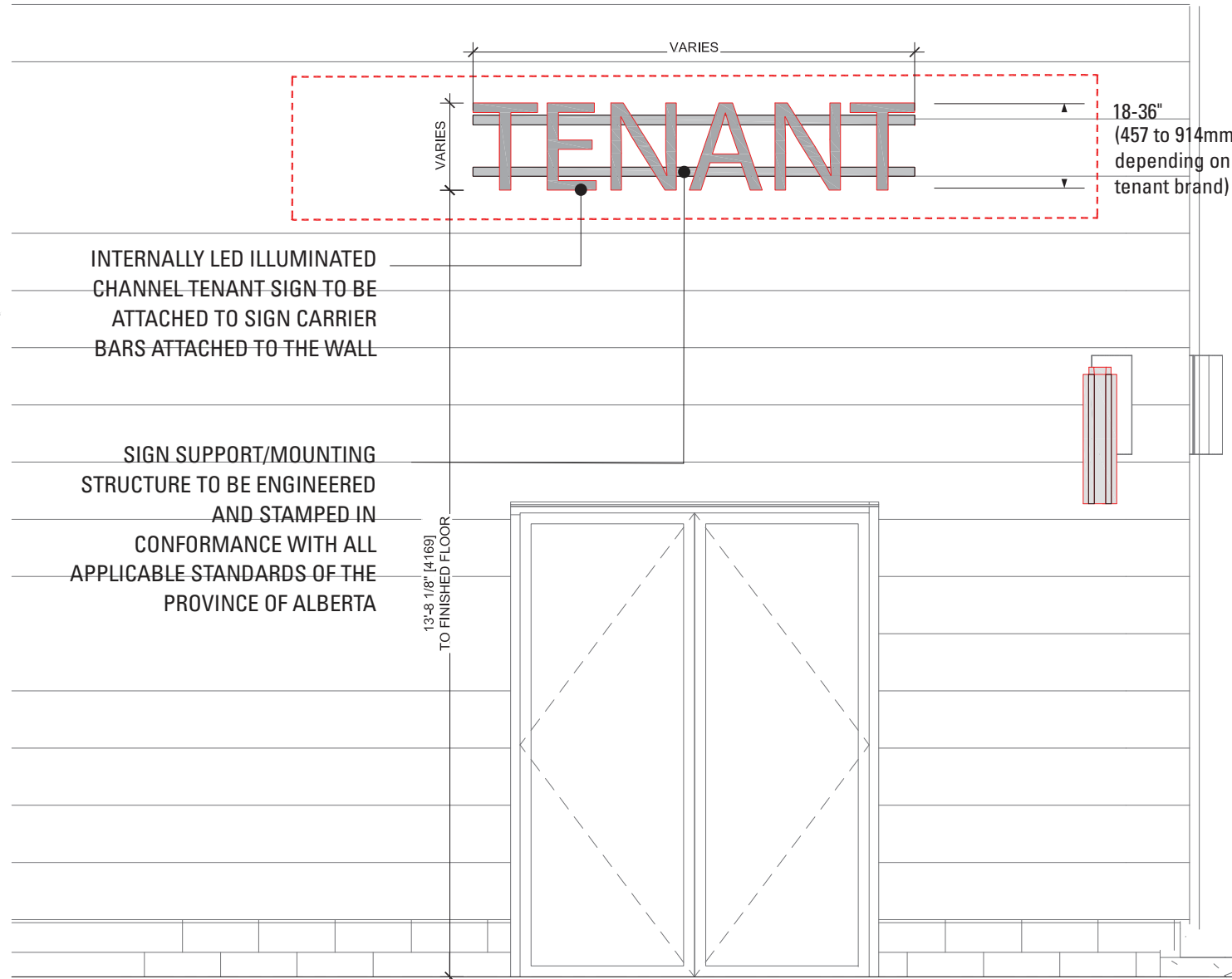
- Fascia signs will vary in type font and colour reflecting the specific brands of individual retailers.

Location

- Wall-mounted to retail storefront entrances and retail storefront facades.



1 RFS View
W3.9 NTS




INTERNALLY LED ILLUMINATED CHANNEL TENANT SIGN TO BE ATTACHED TO SIGN CARRIER BARS ATTACHED TO THE WALL

SIGN SUPPORT/MOUNTING STRUCTURE TO BE ENGINEERED AND STAMPED IN CONFORMANCE WITH ALL APPLICABLE STANDARDS OF THE PROVINCE OF ALBERTA

13'-8 1/8" [4169] TO FINISHED FLOOR

1 RFS Elevation Retail Fascia Signs
W3.9 Scale 3/8"=1'0"

| | | | | | |
|--|--|---|--|--|-----------------------|
|  Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates www.kramer-design.com | CLIENT Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000, Toronto, ON, M8X 2X9 T/ 416.255.8800 F/416.586.0599 | PROJECT Trinity Hills Mixed Use Development 2200 Na'a drive SW Calgary, AB, T3B 2S6 Legal description Plan 1612946; Block 1; Lot 2 | DATE Issued for DP Application 26 Nov 2020 | TITLE RFS Retail Fascia Sign | DWG No W3.9 |
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LDS Loading Dock

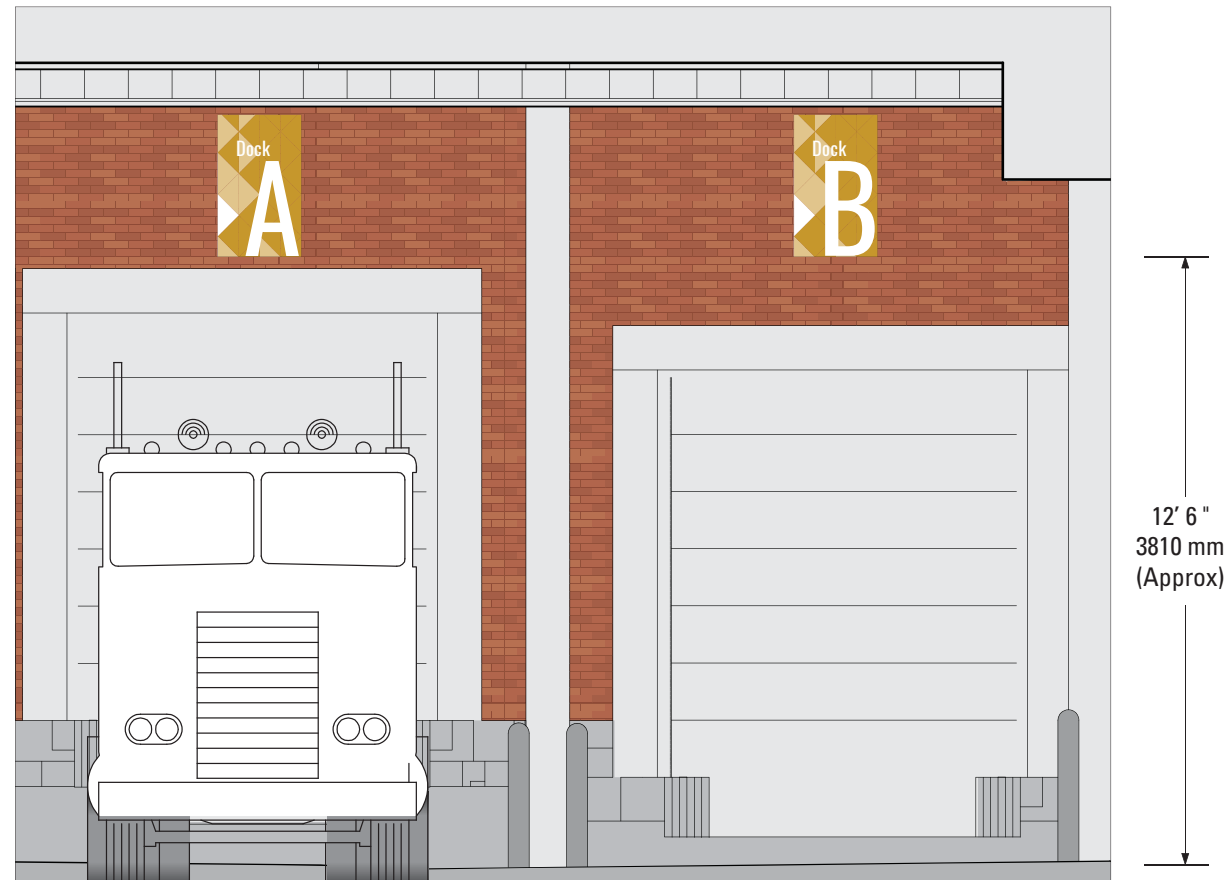
Purpose

- Identify loading docks with coordinated graphics and dock numbers.
- Utilize colour and graphics to beautify loading zone.

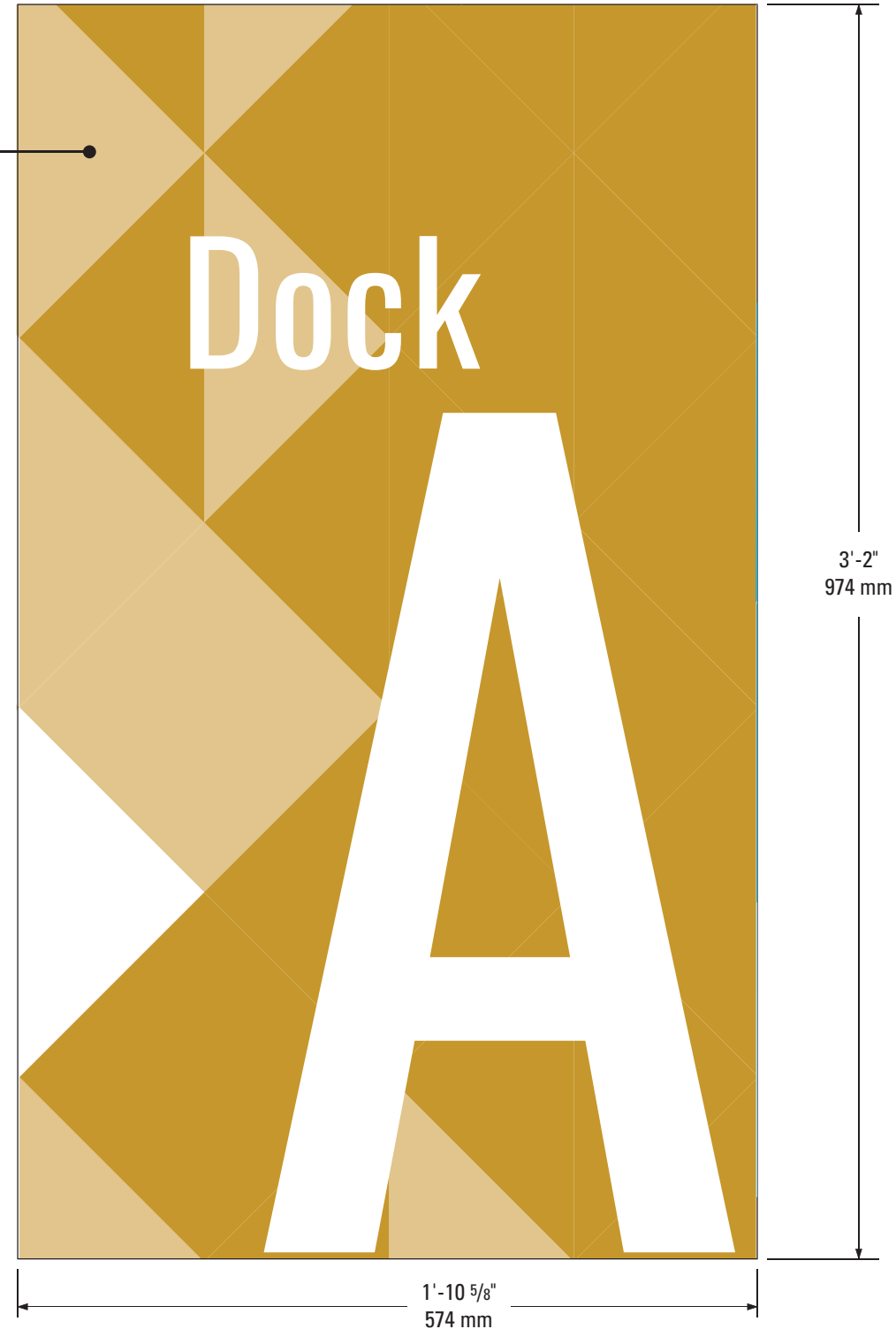
Location

- Wall-mounted fascia signs above loading doors.

DIGITAL GRAPHIC PRINTED
ON 1/8th ALUMINIUM
MECHANICALLY FASTENED TO WALL



1 LDS front Elevation
Loading Dock
W3.20 Scale 1:50



2 LDS Loading Dock
W3.20 Scale 1:5

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Suite 1000, Toronto, ON, M8X 2X9
T/ 416.255.8800 F/416.586.0599

PROJECT Trinity Hills Mixed Use
Development 924 Na'a Drive SW,
Calgary, AB, T3B 2S6
Legal description Plan 1612946, Block 3, Lot 1

DATE Issued for DP Application 26 Nov 2020

TITLE LDS Loading Dock

DWG No

W3.20

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APPROVAL

● RS Residential Entrance ID

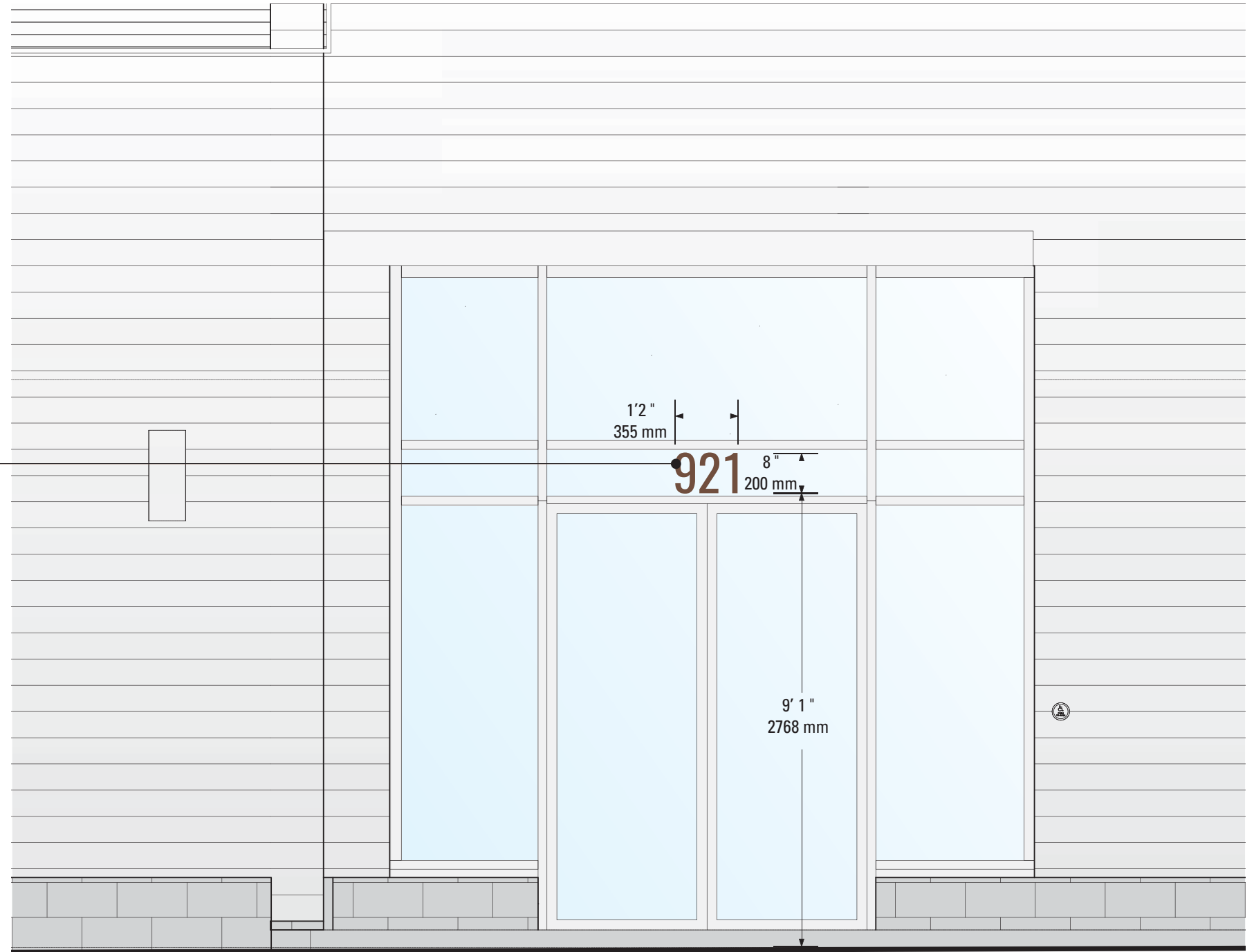
Purpose

- Provide overhead, fascia lettering with Municipal, Residential address.
- Create a consistent, typographic approach that coordinates with overall Signage Master Plan.

Location

- Directly mounted to glass transom above residential entrance doors.

CUT ALUMINIUM LETTERS UV BONDED TO GLASS (FINISHED WITH AUTOMOTIVE GRADE METALLIC PAINT)



1 RS Elevation
Residential Entrance ID
W3.18 Scale 1:25

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Suite 1000, Toronto, ON, M8X 2X9
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PROJECT Trinity Hills Mixed Use
Development 924 Na'a Drive SW,
Calgary, AB, T3B 2S6
Legal description Plan 1612946, Block 3, Lot 1

DATE
Issued for DP Application 26 Nov 2020

TITLE RS
Residential Entrance ID

DWG No

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APPROVAL

W3.18

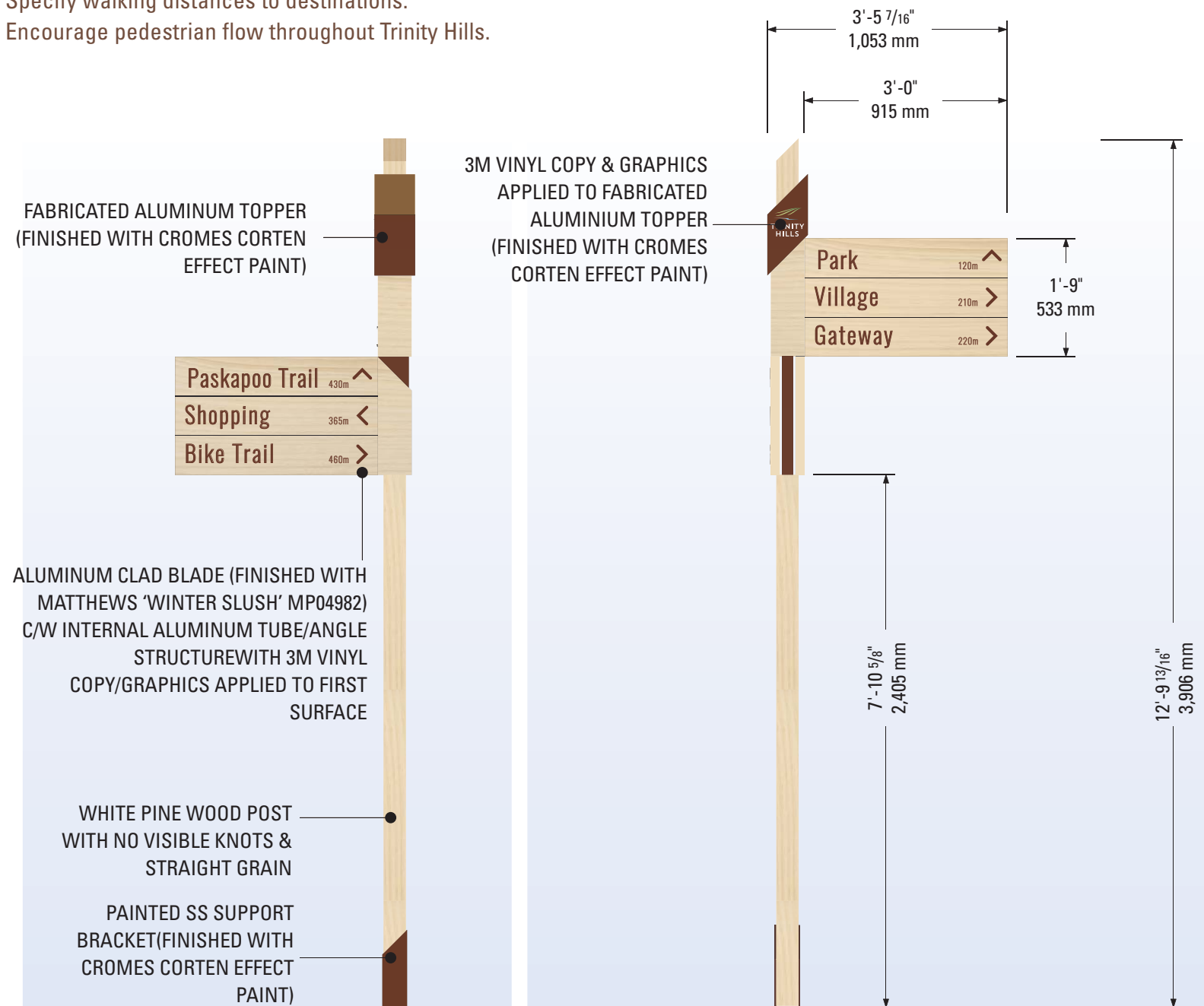
PWS Pedestrian Wayfinding

Purpose

- Provide pedestrian wayfinding to promote healthy living.
- Specify walking distances to destinations.
- Encourage pedestrian flow throughout Trinity Hills.

Location

- Adjacent to pedestrian R.O.W., lanes and trails.



1 PWS Pedestrian Wayfinding
W3.1 Scale 1:25

2 PWS Pedestrian Wayfinding
W3.1 Scale 1:25

2 PWS Pedestrian Wayfinding
W3.1

| | | | | | |
|---|--|--|--|---|---------------------------|
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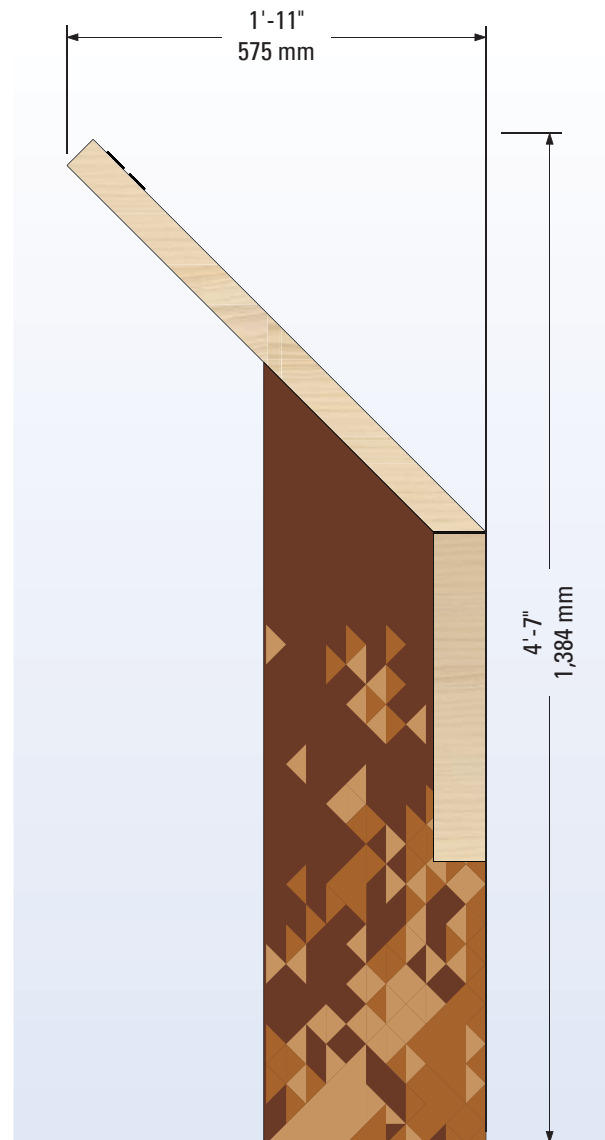
IPS Interpretive Sign

Purpose

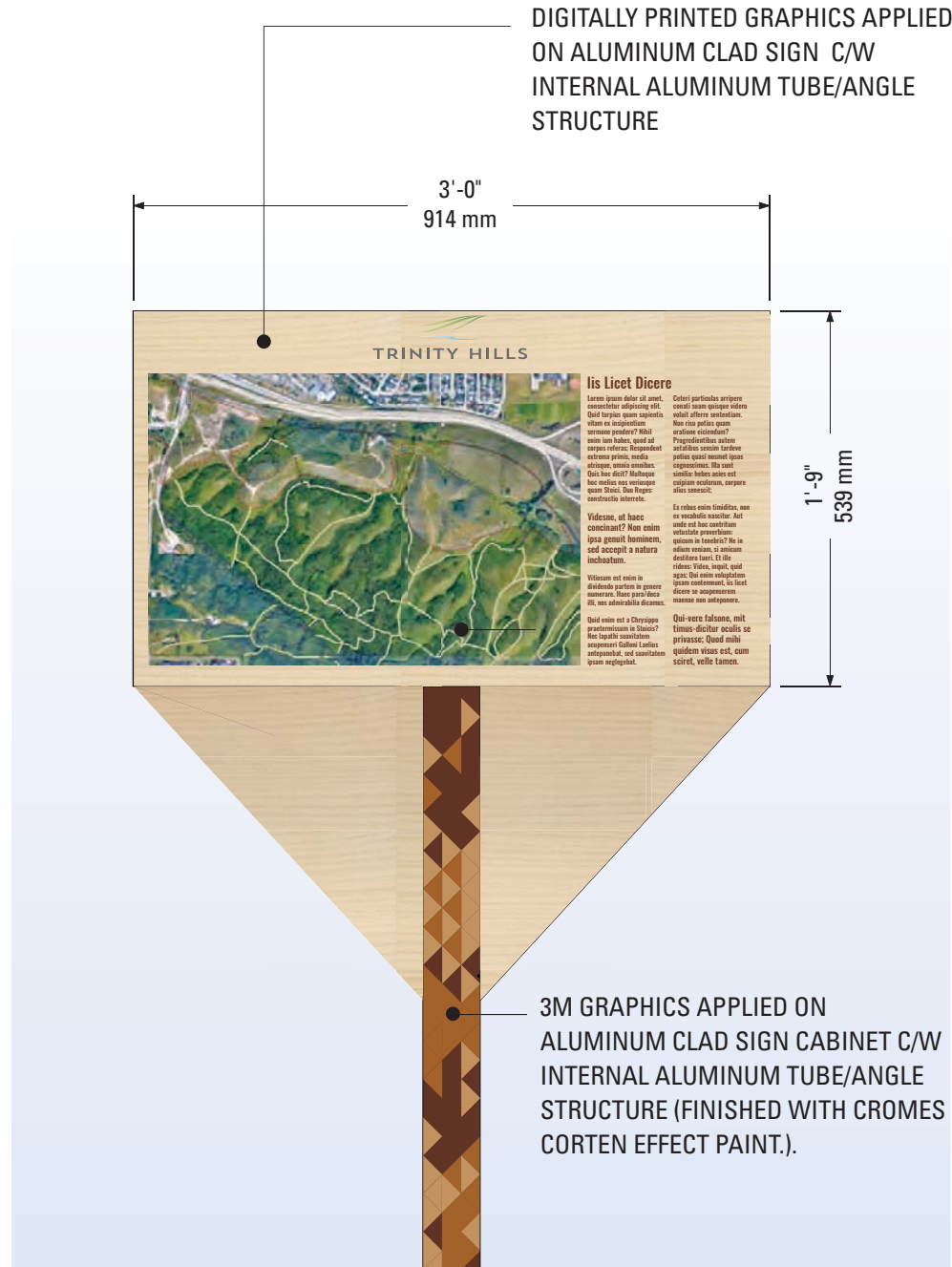
- Provide information on environment/biodiversity, public art, walking trails and property heritage.
- Showcase interpretive text and visuals that highlight unique points of interest.

Location

- Adjacent to points of interest.



1 IPS Side Elevation Interpretive Sign
W3.4 Scale 1:10



2 IPS Front Elevation Interpretive Sign
W3.4 Scale 1:10



3 IPS View Interpretive Sign
W3.4 NTS

STRUCTURE TO BE ENGINEERED AND STAMPED IN CONFORMANCE WITH ALL APPLICABLE STANDARDS OF THE PROVINCE OF ALBERTA

DIGITALLY PRINTED GRAPHICS APPLIED ON ALUMINUM CLAD SIGN C/W INTERNAL ALUMINUM TUBE/ANGLE STRUCTURE

3M GRAPHICS APPLIED ON ALUMINUM CLAD SIGN CABINET C/W INTERNAL ALUMINUM TUBE/ANGLE STRUCTURE (FINISHED WITH CROMES CORTEN EFFECT PAINT.).

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| | | | | | | | | | |
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| CLIENT | Trinity Development Group 3250 Bloor Street West, East Tower, Suite 1000, Toronto, ON, M8X 2X9 T/ 416.255.8800 F/416.586.0599 | PROJECT | Trinity Hills Mixed Use Development 885 Na'a Drive SW, Calgary, AB, T3B 2S6 Legal description Plan 1612946, Block 3, Lot 4 | DATE | Issued for DP Application 26 Nov 2020 | TITLE | IPS Interpretive Sign | DWG No | W3.4 |
| | | | | | | | APPROVAL | | |

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