

SENIORS FACILITY



DRAWING ORDER

EXISTING SURVEY LAYOUT (SITE DEVELOPMENT PLAN)

- DP 1.1 OVERALL PROPOSED BLOCK SITE PLAN
- DP 1.2 PROPOSED SITE PLAN
- DP 1.3 LANDSCAPE PLAN
- DP 1.4 LANDSCAPE DETAILS
- DP 1.5 BASEMENT LAYOUT / UNDERGROUND PARKING
- DP 1.6 Site Lighting
- DP 1.7 Boulevard Grading

- DP 2.1 MAIN FLOOR LAYOUT
- DP 2.2 SECOND FLOOR LAYOUT
- DP 2.3 THIRD FLOOR LAYOUT
- DP 2.4 FOURTH FLOOR LAYOUT
- DP 2.5 ROOF LAYOUT

- DP 3.1 WEST, NORTH & PATIO ELEVATIONS
- DP 3.2 EAST, SOUTH & BUILDING DETAILS
- DP 3.3 BUILDING SECTIONS
- DP 3.4 PROPOSED BUILDING IMAGES

Project :

Seniors Facility

Future Development
RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
S.W.1/4 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
For Development Permit May, 2018
For Development Permit November, 2018
For Development Permit Sept. 2019
For Development Permit August 2020
For Development Permit Oct. 2020

COPYRIGHT. This drawing is the exclusive property of

Abanoub Development Ltd.

Tel. (403) 775-7071 Fax (403) 775-7072
www.abanoubdesign.ca

Drawing :

Drawing Order

Scale :

As Noted

Drawn By :

JL

Reviewed By :

HK

Date :

Oct. 7 2020

Job No :

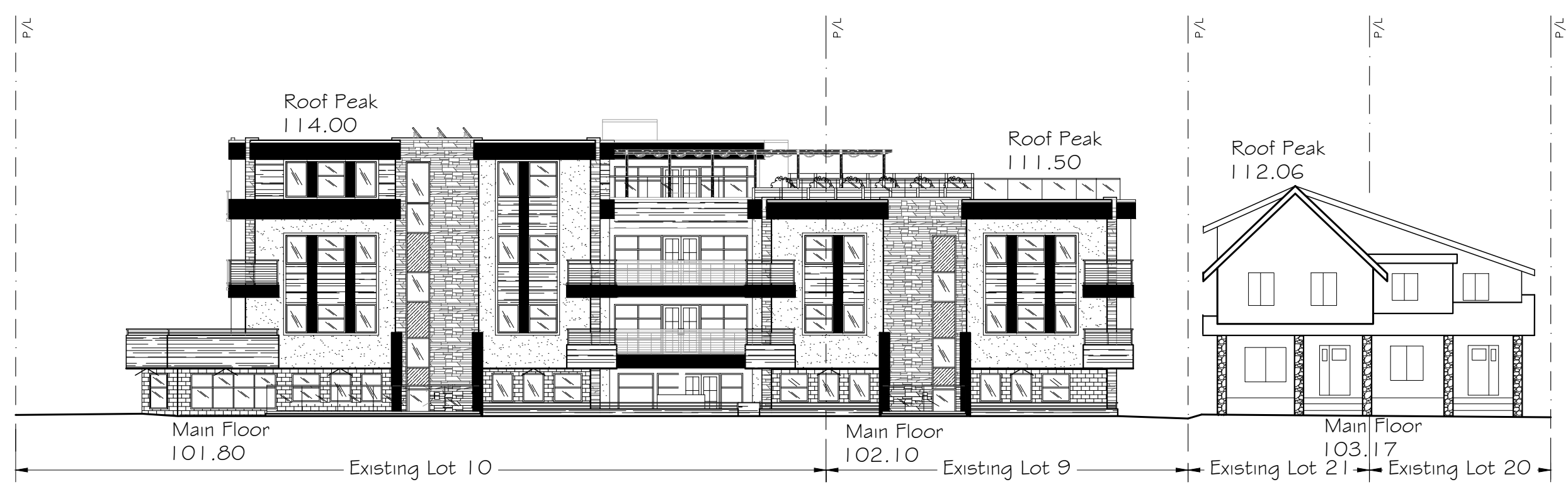
2-C-17

GENERAL NOTES :

Sheet :

DP 1

and shall not be reproduced without the Abanoub Development Ltd. written permission.



B PROPOSED STREETScape
DP 1.1 Scale 1:200

PROJECT DESCRIPTION

- PARCEL AREA 0.15 HECTARES or 1,500 SQ.M
- SENIORS HOUSING (ASSISTED LIVING) -DISCRETIONARY USE
See DP2.1 - DP2.4 for Unit Areas
- OVERALL AREAS:
 - MAIN FLOOR AREA 690.05 SQ.M 6 resident units
 - SECOND FLOOR AREA 764.11 SQ.M 15 resident units
 - THIRD FLOOR AREA 762.55 SQ.M 16 resident units
 - FOURTH FLOOR AREA 411.25 SQ.M 8 resident units
 - GROSS FLOOR AREA 2,624.34 SQ.M 45 resident units
- FLOOR AREA RATIO 2,627.96 SQ.M / 1,500 SQ.M = 1.75
- UNDERGROUND PARKING AREA 818.02 SQ.M

LOCATION:

- MUNICIPAL ADDRESS: 2436, 2440-22 STREET N.W. CALGARY, ALBERTA
- LEGAL DESCRIPTION: LOT 9, LOT 10; BLOCK 12, PLAN 9110 GI

LAND USE M-C-1 Multi-Residential - Contextual Low Profile District

SETBACKS & REGULATIONS

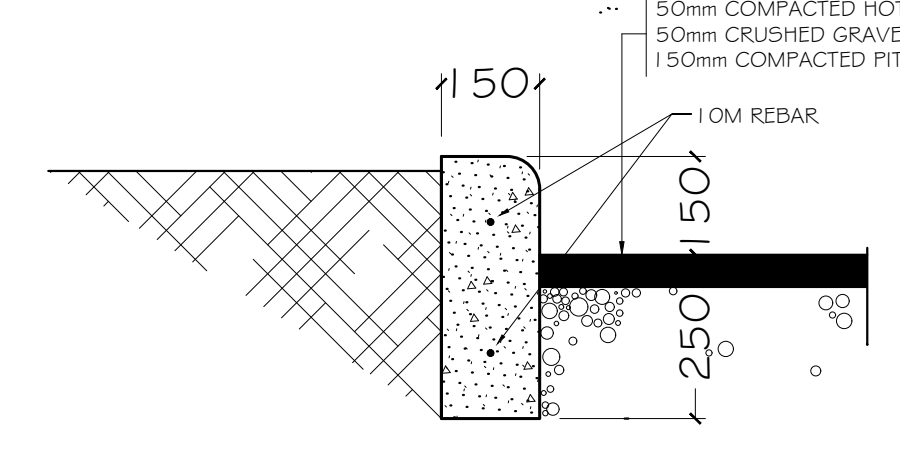
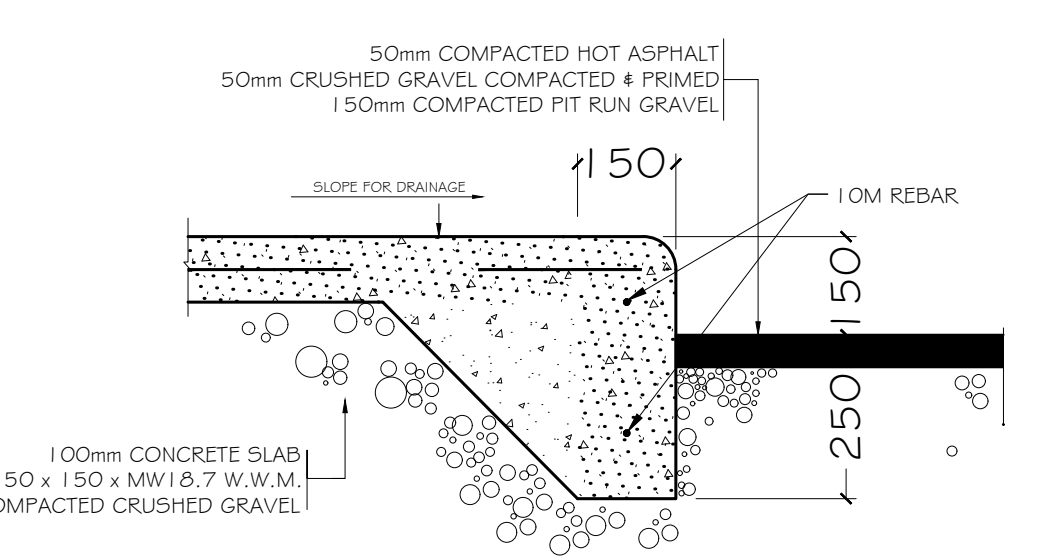
- DENSITY - ASSISTED LIVING NOT SUBJECT TO DISTRICT DENSITY REQ.
-45 UNITS PROVIDED
- UNITS PER HECTARE 45 UNITS / 0.15 HECTARE = 300
- NORTH SETBACK FROM 24TH AVE: 3m
-1.67m PROVIDED (-1.33m Relaxation Sought)
- WEST SETBACK FROM 22ND STREET: 3m
-3m PROVIDED (+/- 0)
- SOUTH SETBACK FROM PROPERTY LINE SHARED WITH PARCEL: 1.2m
-3m PROVIDED (+1.8m)
- EAST SETBACK FROM PROPERTY LINE SHARED WITH A LANE: 1.2m
-9.5m PROVIDED (+8.3m)
- SITE COVERAGE: COMMERCIAL 1/3 OF SITE AREA
RESIDENTIAL MAX. 80% OF SITE AREA
- BUILDING HEIGHT MAX. 14m (12m max. agreement)

PROVIDED BUILDING COVERAGE

- LOT AREA: 1,500.00 sq.m
- BUILDING FOOTPRINT: 626.50 sq.m
- COVERAGE: 626.50 sq.m / 1,500.00 sq.m = 0.417 around 42%

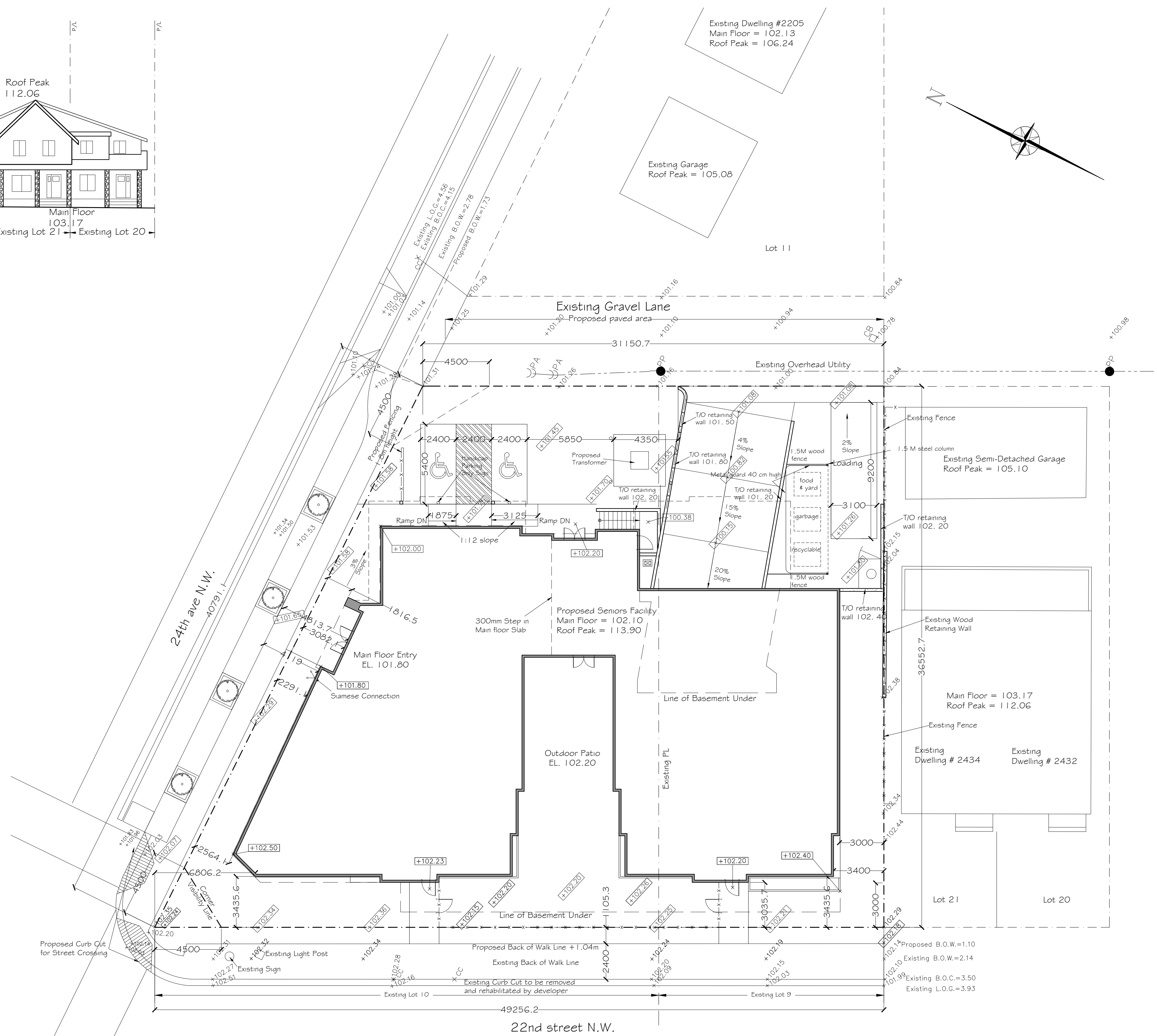
NOTE

North Sidewalks and landscape along 24 avenue subject to change as per the new change to the ARP.



C TYPICAL CURB / SIDEWALK DETAILS
DP 1.1 Scale: NTS

D TYPICAL CURB DETAILS
DP 1.1 Scale: NTS



A PROPOSED OVERALL BLOCK SITE PLAN
DP 1.1 Scale 1:150

Project :
Seniors Facility
Future Development RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
S.W.14 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
For Development Permit May, 2018
For Development Permit November, 2018
For Development Permit Sept. 2019
For Development Permit August 2020
For Development Permit Oct 2020

Abanoub Development Ltd.
Tel. (403) 775-7071 Fax (403) 775-7072
WWW.abanoubdesign.ca

Drawing :
Proposed Overall Block Site Plan & Streetscape

Scale :
As Noted

Drawn By :
JL

Reviewed By :
HK

Date :
Oct. 7 2020

Job No :
2-C-17

GENERAL NOTES :

Sheet :
DP 1.1

COPYRIGHT. This drawing is the exclusive property of Abanoub Development Ltd. and shall not be reproduced without the Abanoub Architecture written permission.

LANDSCAPING
 * ALL MIN. REQUIRED FRONT AND SIDE YARDS SHALL BE LANDSCAPED EXCEPT FOR ACCESS WAYS FROM PUBLIC THOROUGHFARES
 * ALL SOFT SURFACE LANDSCAPING TO BE IRRIGATED WITH A LOW WATER IRRIGATION SYSTEM
 * MIN. OF 40% OF SITE AREA TO BE LANDSCAPED

TOTAL LANDSCAPE @ GRADE
 TOTAL LANDSCAPED AREA 445.73m²
 TOTAL HARD SURFACE LANDSCAPE 177.36m²
 TOTAL SOFT SURFACE LANDSCAPE 268.37m²

TOTAL LANDSCAPE ABOVE GRADE
 TOTAL LANDSCAPED AREA 329.125m²
 TOTAL HARD SURFACE LANDSCAPE 103.05m²
 TOTAL SOFT SURFACE LANDSCAPE 226.075m²

TOTAL OVERALL LANDSCAPED AREA
 TOTAL OVERALL HARD SURFACE LANDSCAPE 280.41m²
 TOTAL OVERALL SOFT SURFACE LANDSCAPE 494.445m²

* MIN OF 1 TREE TO BE PLANTED / 45m² OF LANDSCAPED AREA

* 50% OF DECIDUOUS TREES PROVIDED TO HAVE MIN. CALLIPER OF 75mm
 * 25% OF TOTAL TREES REQ. TO BE CONIFEROUS TYPE
 * 50% OF CONIFEROUS TREES PROVIDED TO HAVE MIN HEIGHT OF 3m

TOTAL DECIDUOUS TREES PROVIDED 12 TREES
 TOTAL CONIFEROUS TREES PROVIDED 4 TREES

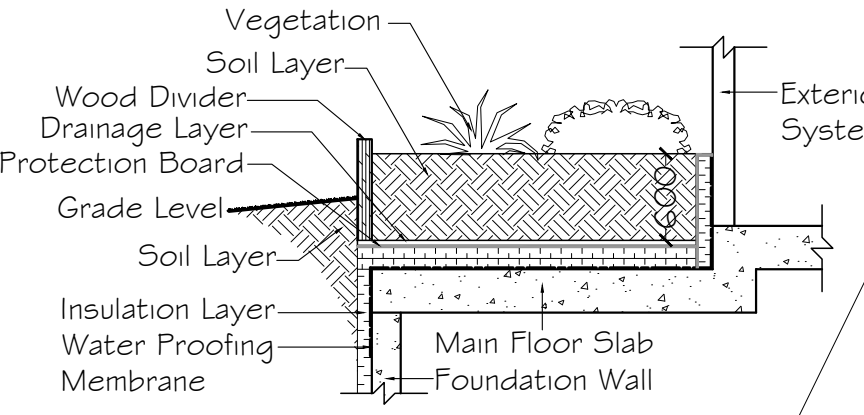
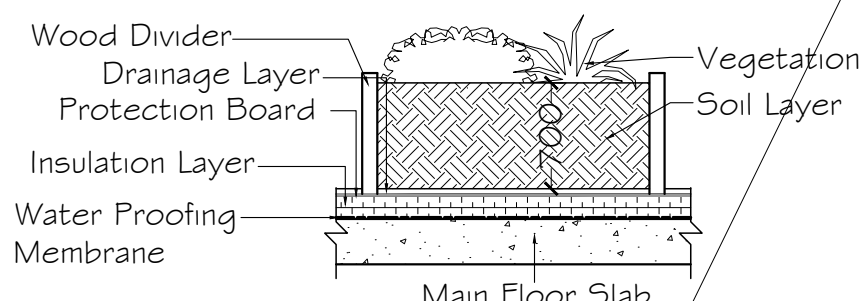
TOTAL PROVIDED TREES 16 TREES

* MIN OF 2 SHRUBS / 45m² OF LANDSCAPED AREA
 * ALL SHRUBS TO BE MIN. 0.6m IN HEIGHT & SPREAD

TOTAL DECIDUOUS SHRUBS PROVIDED 86 SHRUBS
 TOTAL CONIFEROUS SHRUBS PROVIDED 1 SHRUB
 TOTAL PROVIDED SHRUBS 87 SHRUBS

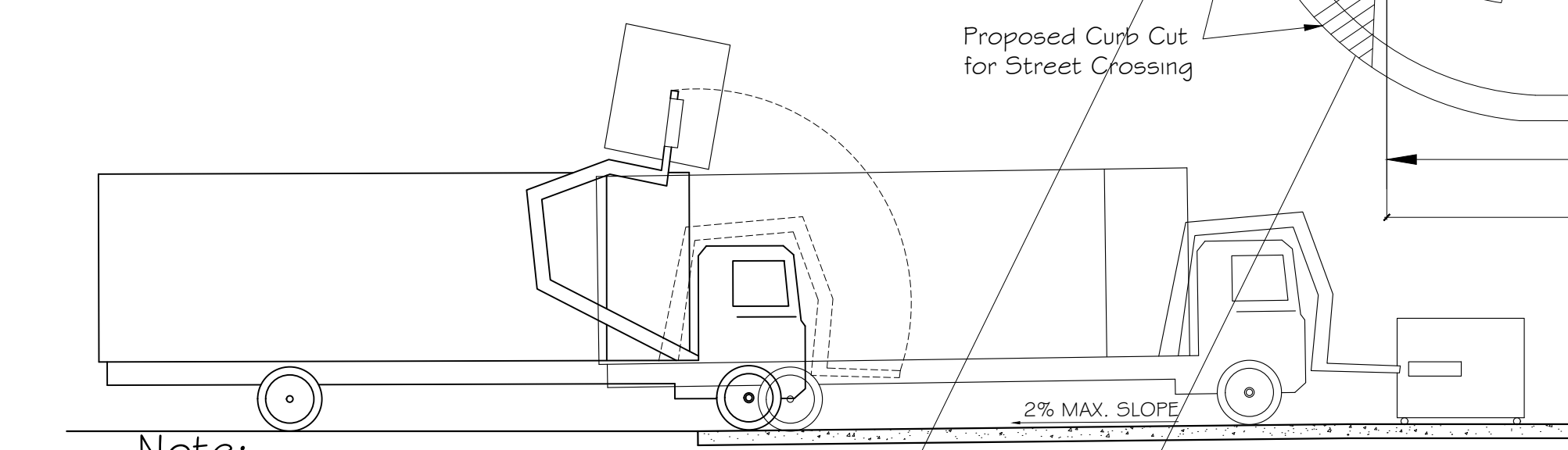
LEGEND

CONCRETE	[Symbol]
ASPHALT	[Symbol]
MULCH	[Symbol]
SOFT SURFACE (GRASS)	[Symbol]
CAR STOP	[Symbol]
PROPERTY LINE	[Symbol]
SETBACK LINE	[Symbol]
OVERHEAD LINE	[Symbol]
UTILITY LINE	[Symbol]
EDGE OF CONC. BELOW	[Symbol]
FENCE LINE	[Symbol]
EXISTING GRADE	[Symbol]
PROPOSED GRADE	[Symbol]

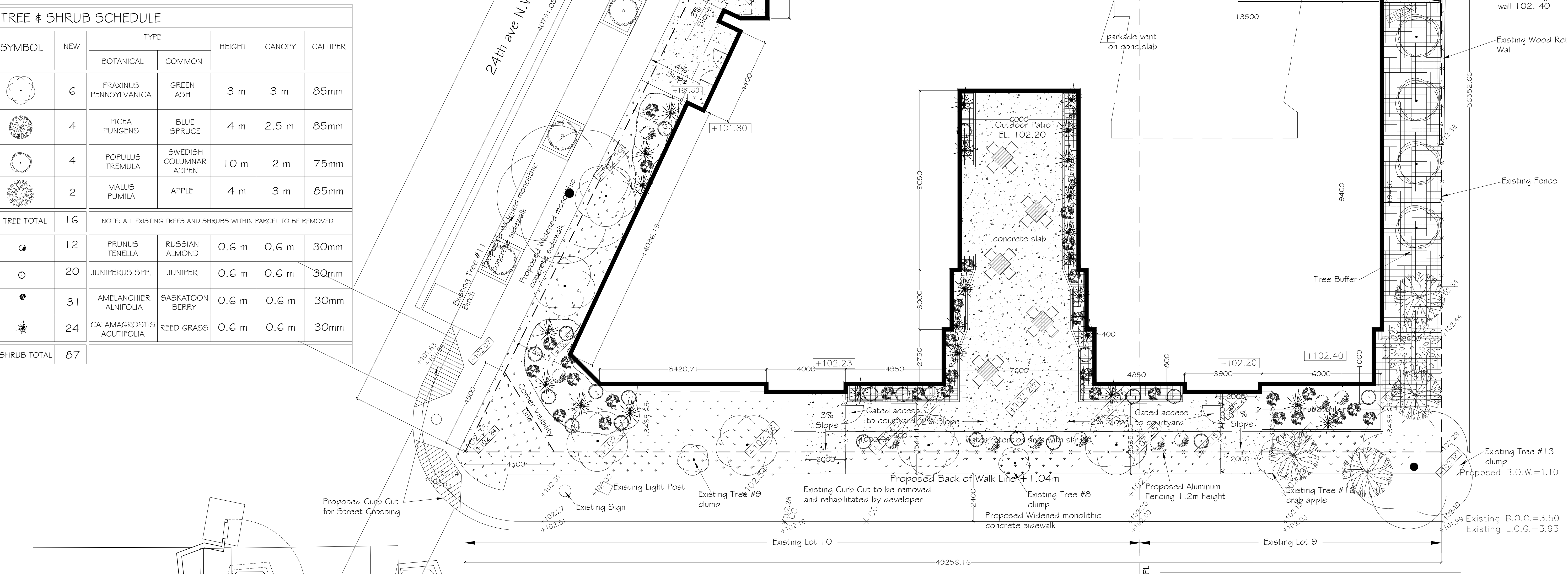


TREE & SHRUB SCHEDULE

SYMBOL	NEW	TYPE		HEIGHT	CANOPY	CALLIPER
		BOTANICAL	COMMON			
[Symbol]	6	FRAXINUS PENNSYLVANICA	GREEN ASH	3 m	3 m	85mm
[Symbol]	4	PICEA PLUNGENS	BLUE SPRUCE	4 m	2.5 m	85mm
[Symbol]	4	POPULUS TREMULA	SWEDISH COLUMNAR ASPEN	10 m	2 m	75mm
[Symbol]	2	MALUS PUMILA	APPLE	4 m	3 m	85mm
TREE TOTAL	16	NOTE: ALL EXISTING TREES AND SHRUBS WITHIN PARCEL TO BE REMOVED				
[Symbol]	12	PRUNUS TENELLA	RUSSIAN ALMOND	0.6 m	0.6 m	30mm
[Symbol]	20	JUNIPERUS SPP.	JUNIPER	0.6 m	0.6 m	30mm
[Symbol]	31	AMELANCHIER ALNIFOLIA	SASKATOON BERRY	0.6 m	0.6 m	30mm
[Symbol]	24	CALAMAGROSTIS ACUTIFOLIA	REED GRASS	0.6 m	0.6 m	30mm
SHRUB TOTAL	87					



Note: Waste & Recycling Bins can be manually pulled out



A LANDSCAPE PLAN
 DP 1.3 Scale 1:100

NOTES
 Existing trees to be removed (see existing trees data in surveying layout)
 low water irrigation for all the trees, grass and shrubs.

COPYRIGHT. This drawing is the exclusive property of

and shall not be reproduced without the Abanoub Architecture written permission.

Project :
Seniors Facility
Future Development RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
 S.W.1/4 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
 For Development Permit May, 2018
 For Development Permit November, 2018
 For Development Permit Sept. 2019
 For Development Permit august 2020
 For Development Permit Oct. 2020



Tel. (403) 775-7071 Fax (403) 775-7072
 WWW.abanoubdesign.ca

Drawing :
Proposed Landscape Plan

Scale :
As Noted

Drawn By :
JL

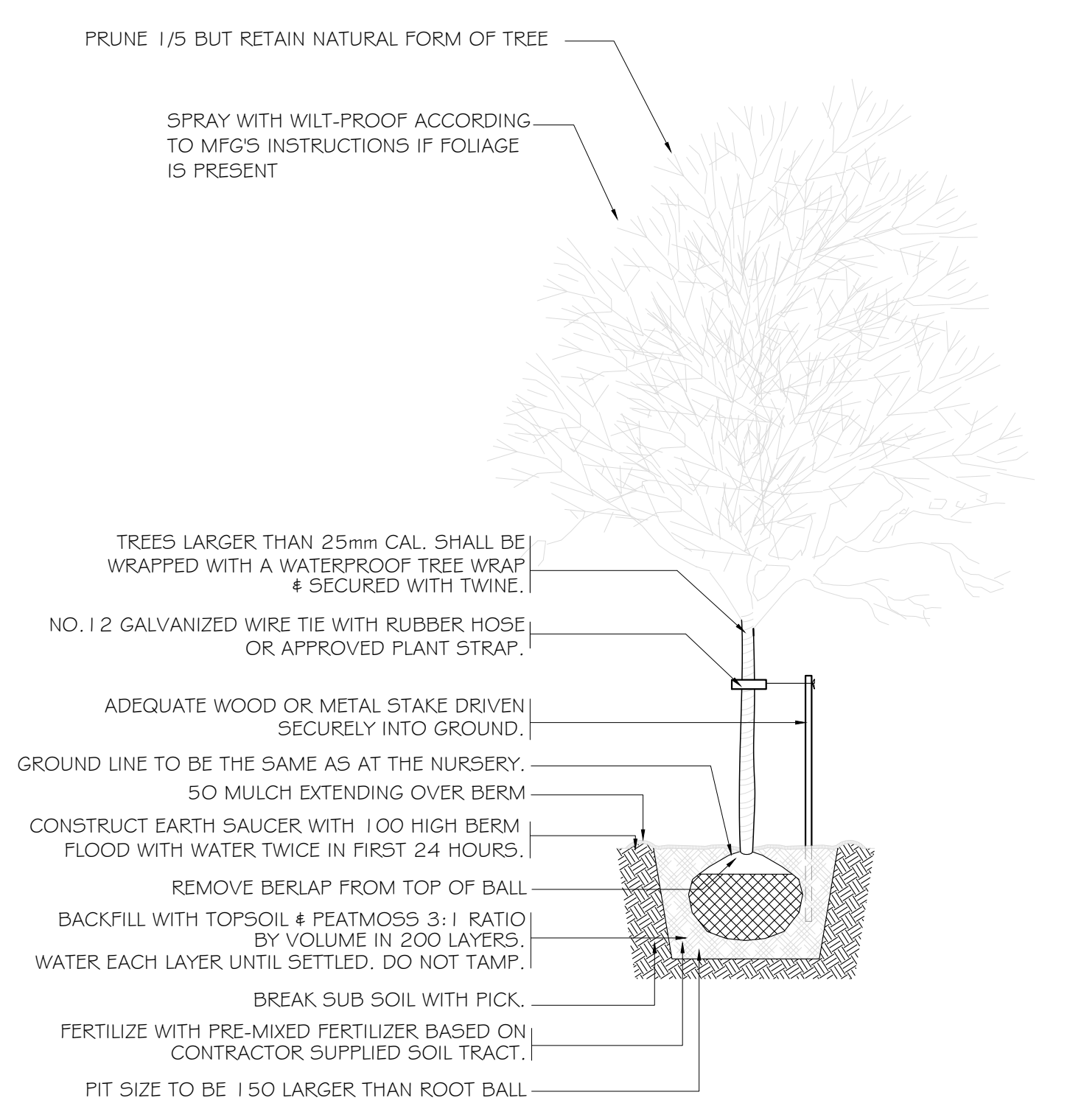
Reviewed By :
HK

Date :
Oct. 7, 2020

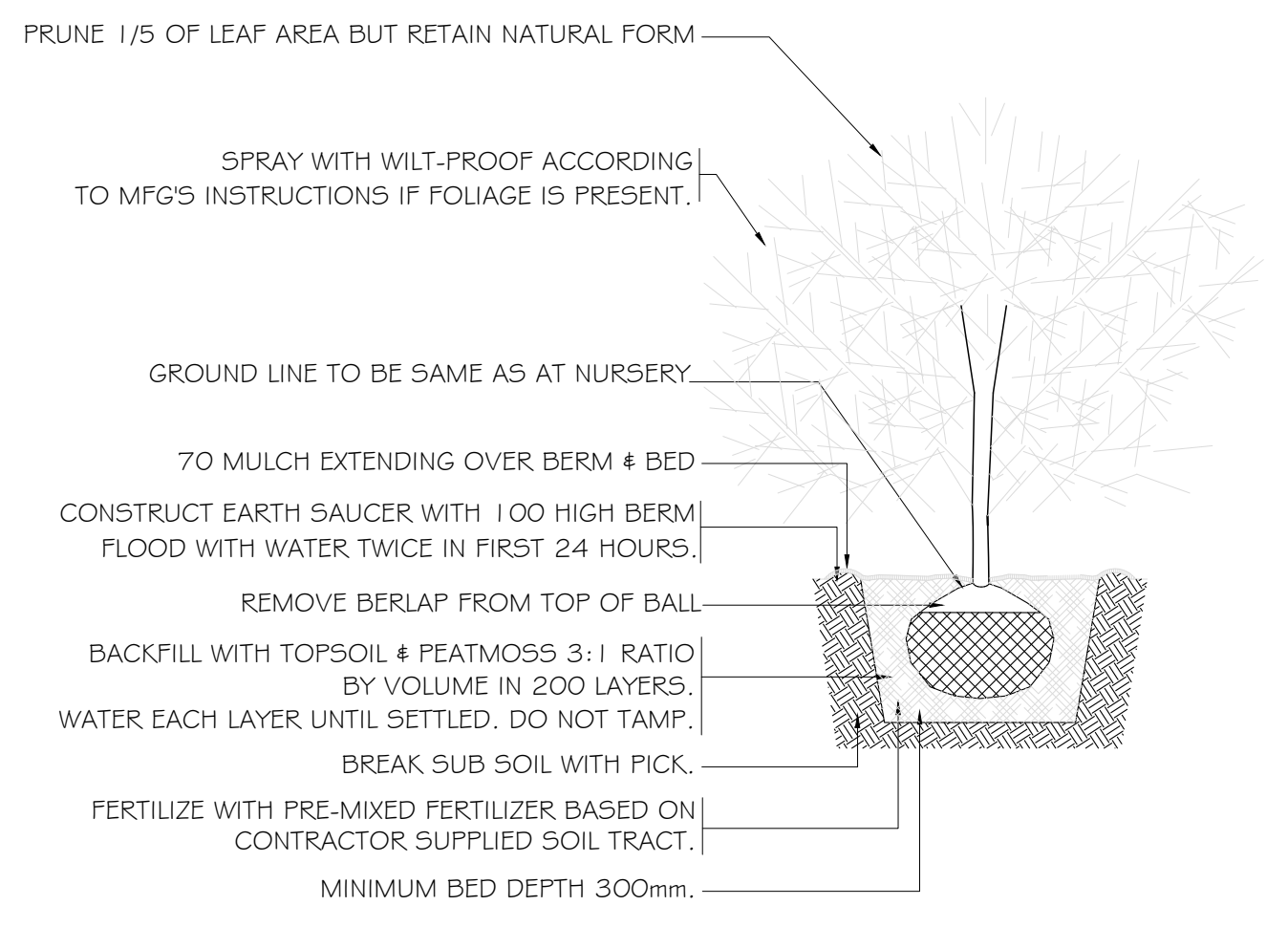
Job No :
2-C-17

GENERAL NOTES :
 All landscape construction shall be in accordance with the city of Calgary parks development guidelines and standards specifications for landscape construction (current version)

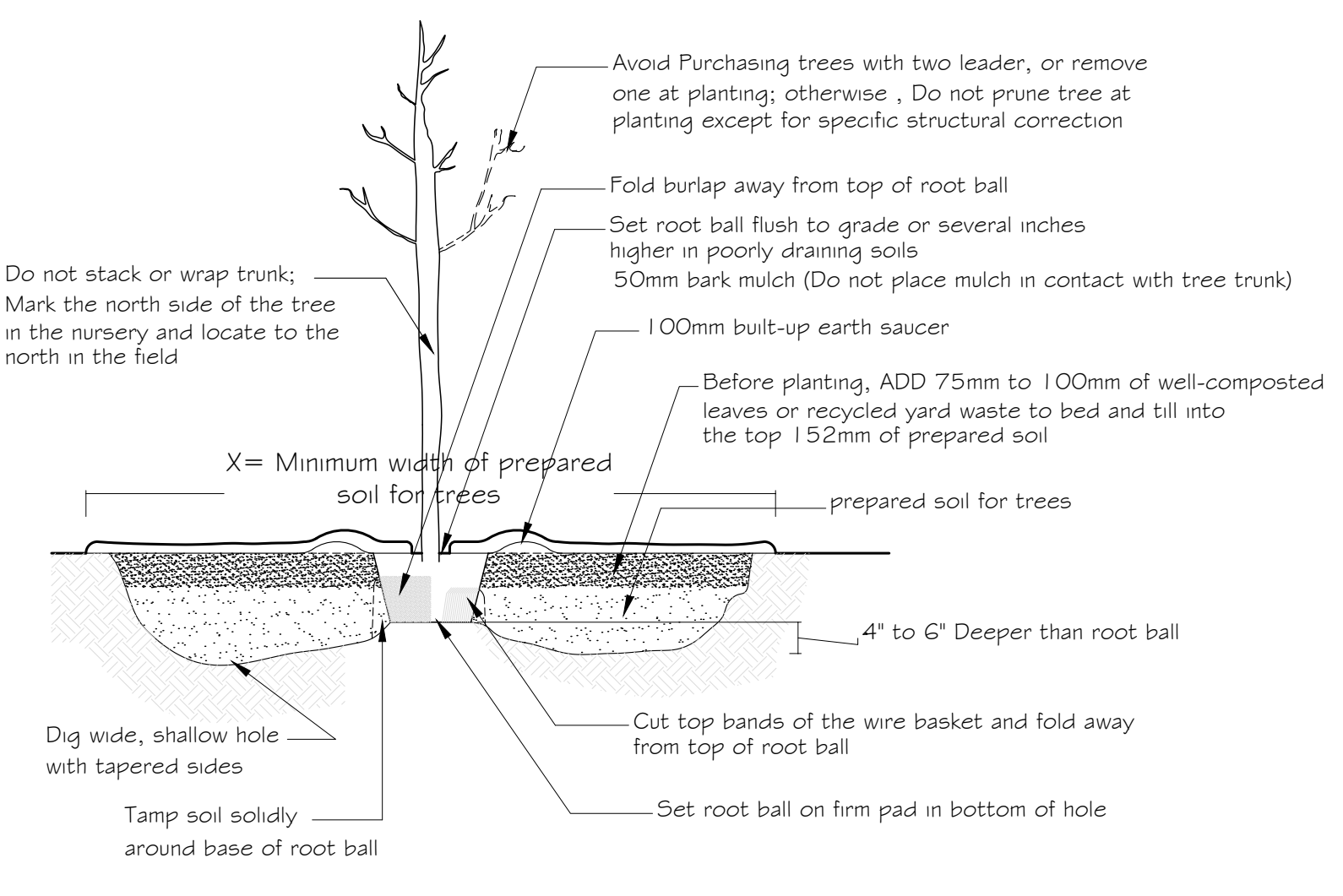
Sheet :
DP 1.3



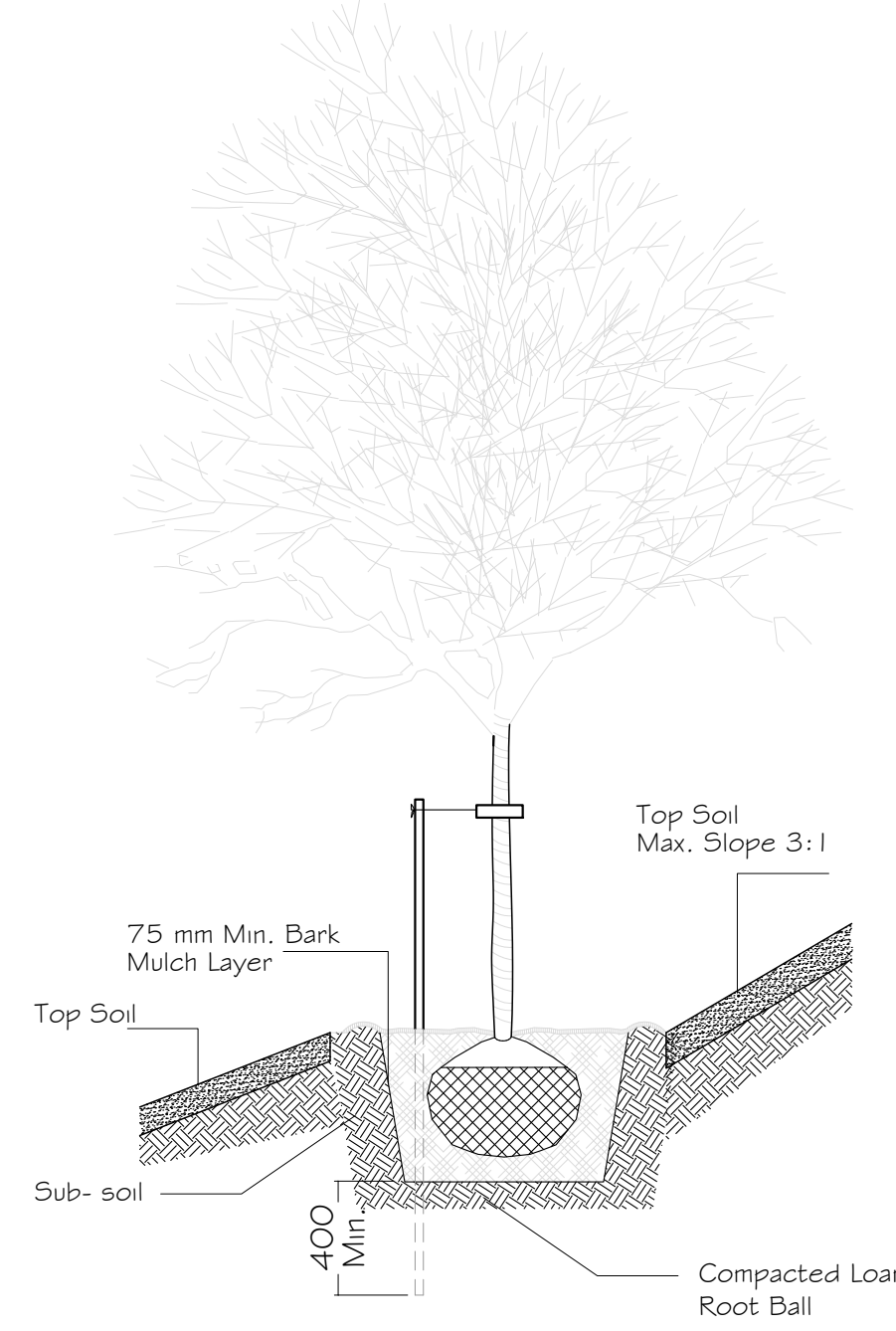
Tree Planting Detail



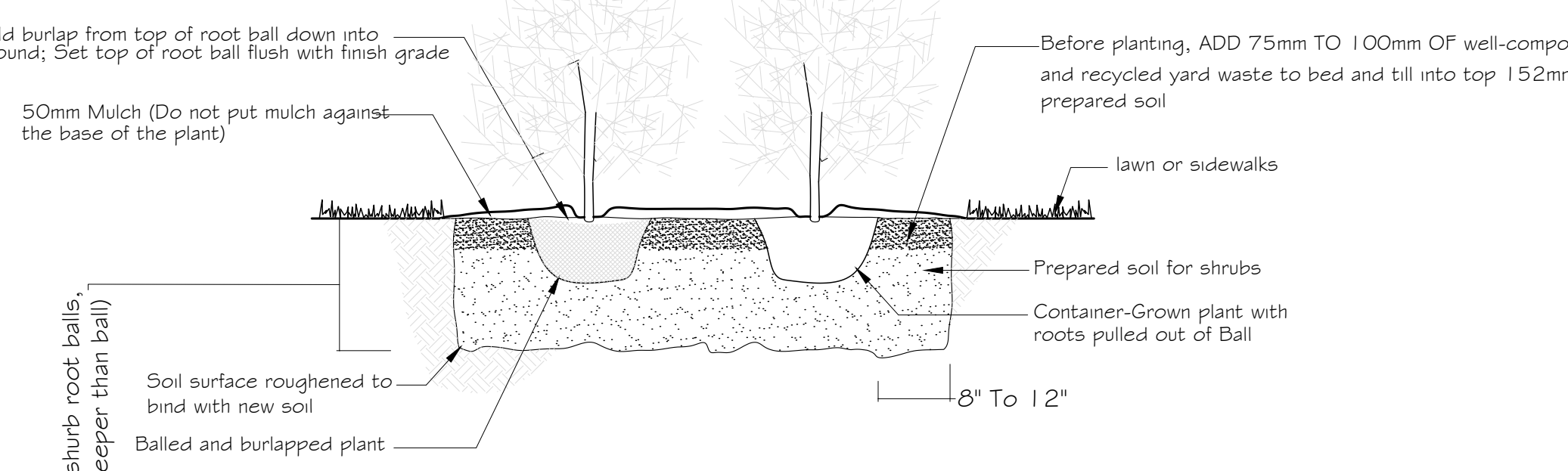
Shrub Planting Detail



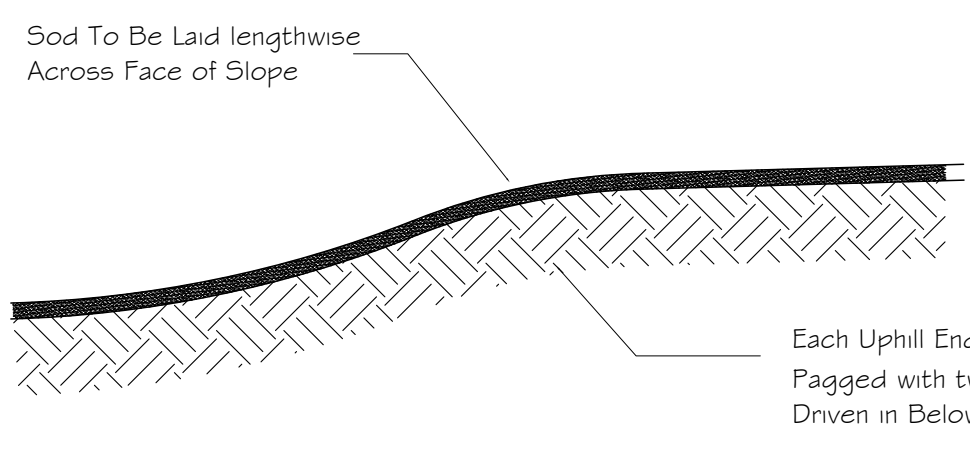
Tree Planting Detail (Balled and Burlapped Plants)



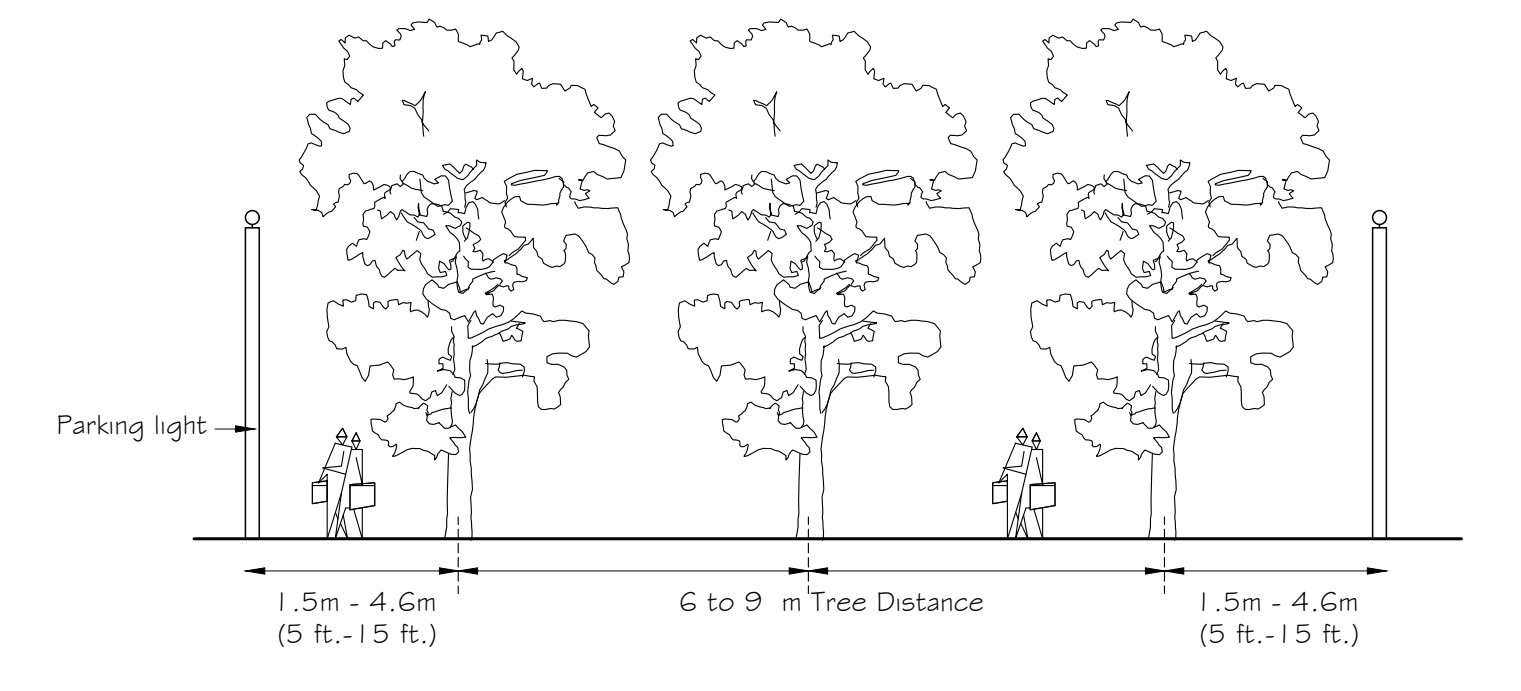
Tree Planting Detail in Slope



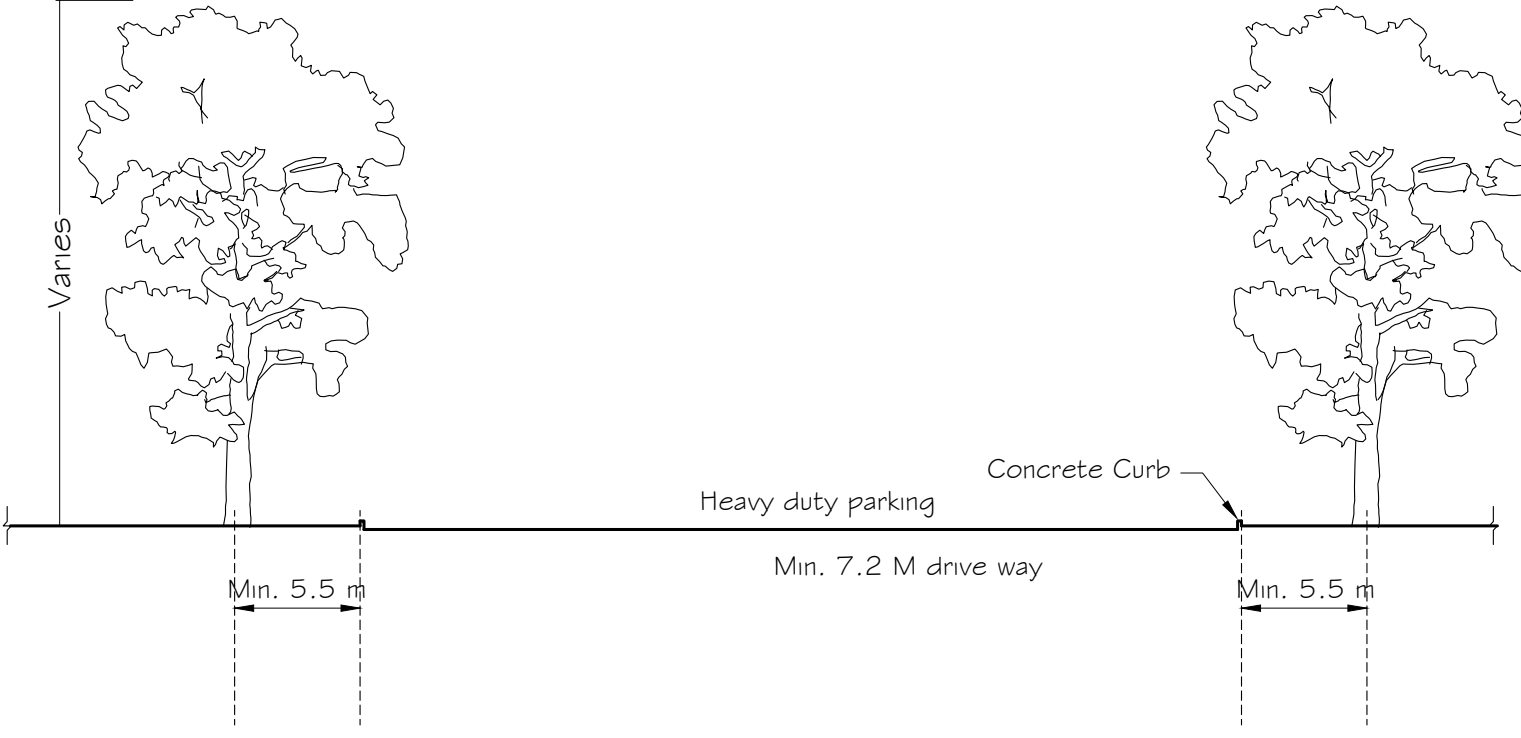
Shrub Planting Details



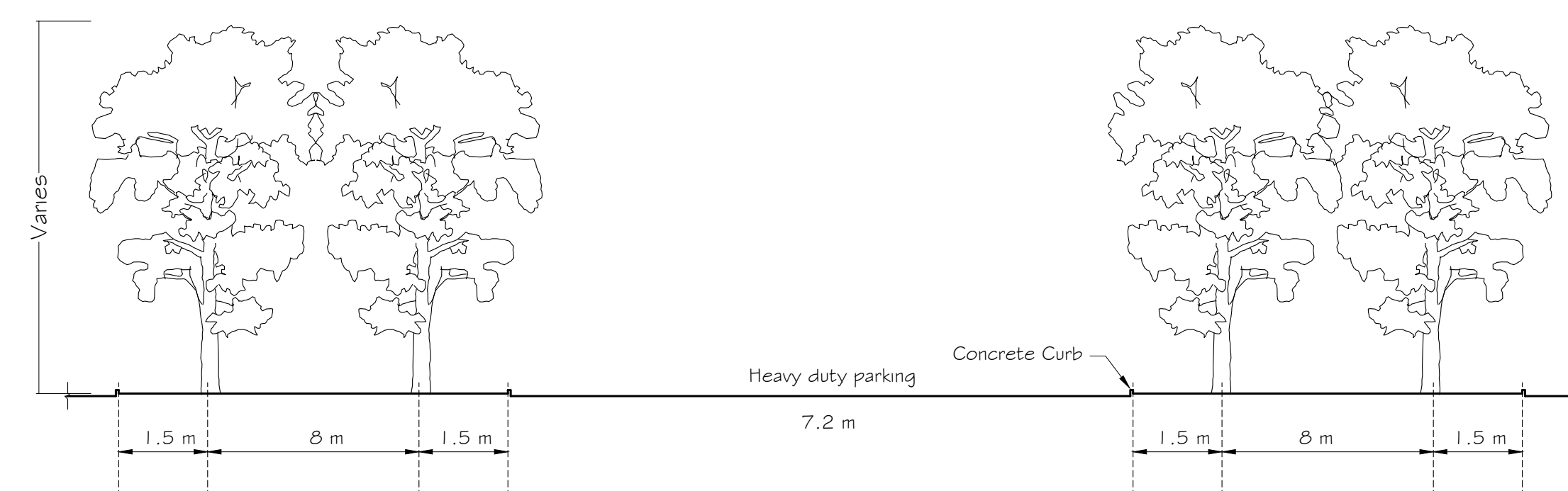
Sod Application Detail in Slope



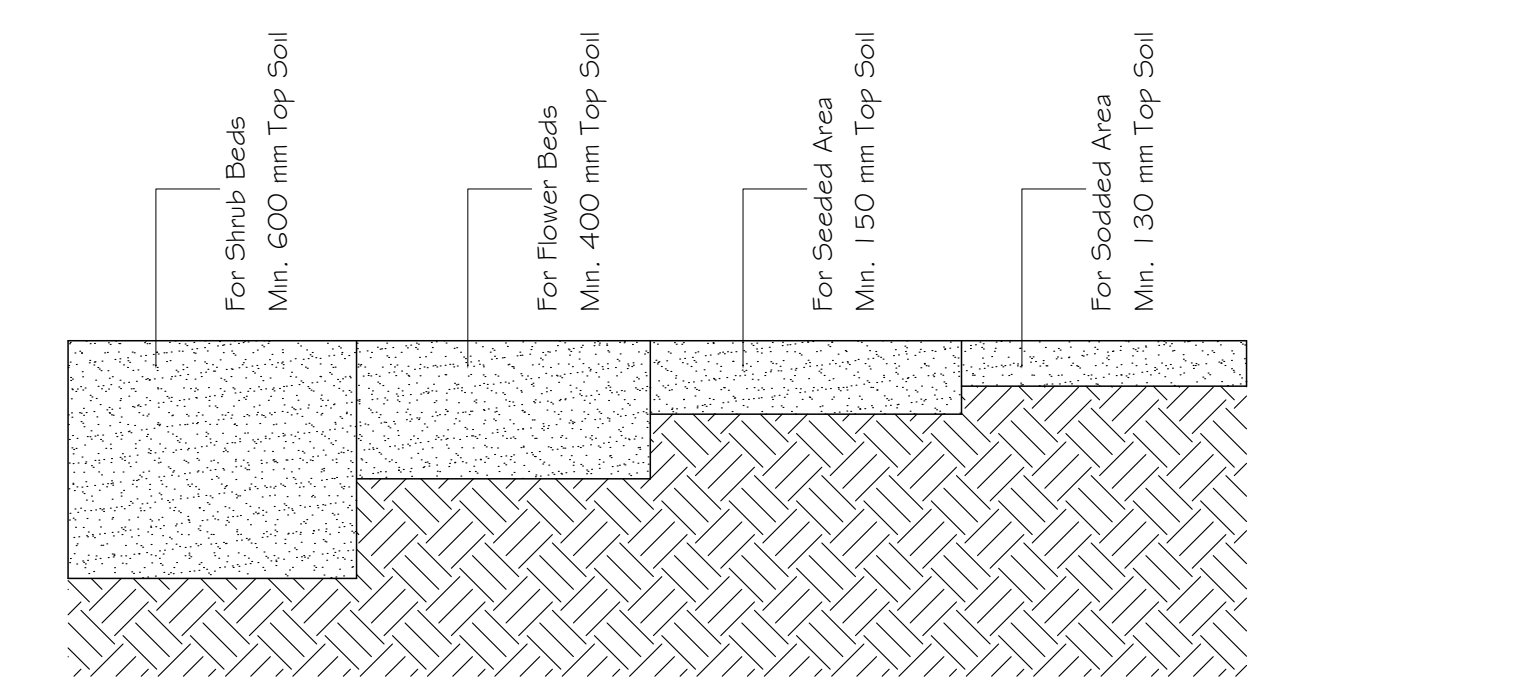
Typical Section Along The Drive Way



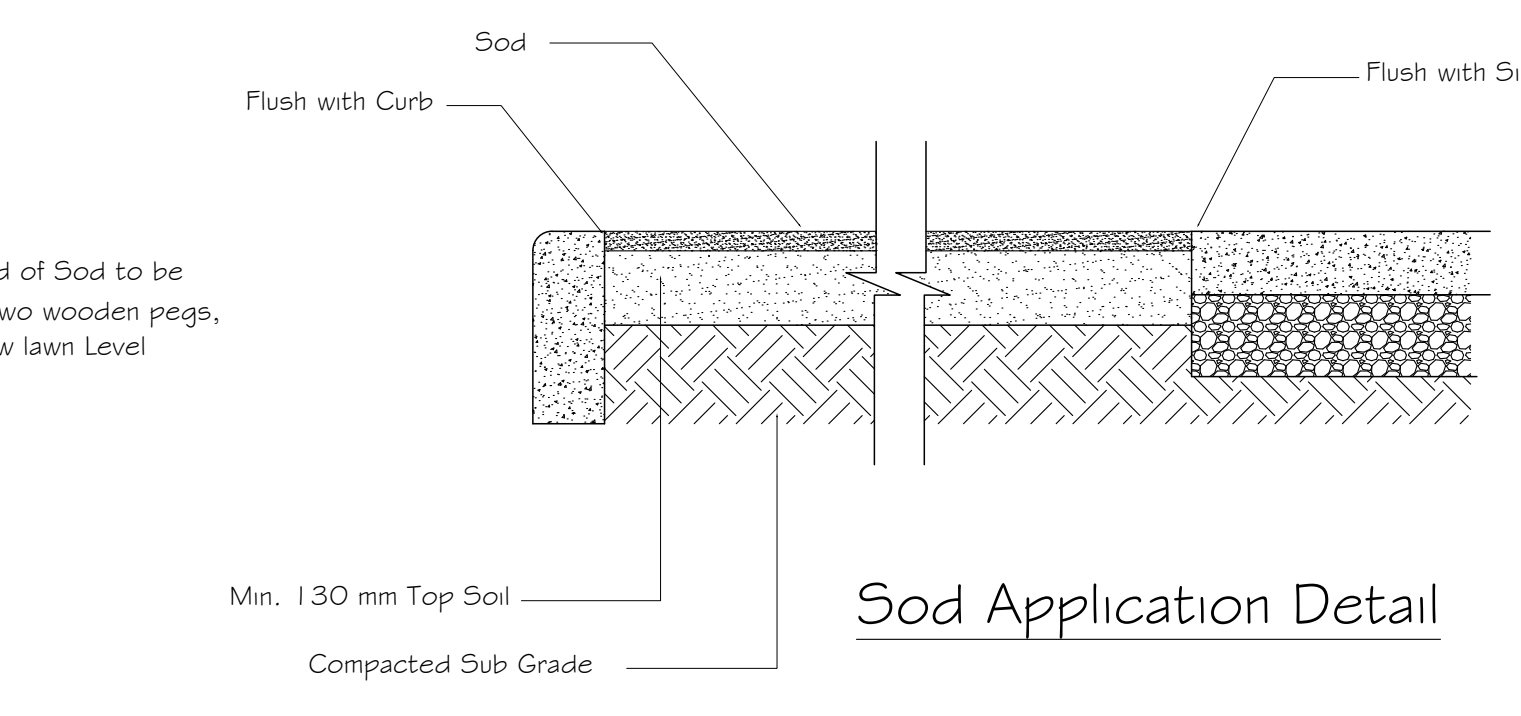
Typical Cross Section Along Parking



Typical Cross Section Away Parking



Top Soil Application Detail



Sod Application Detail

Landscape Specification

General Requirements:
 All plant materials must be nursery grown to minimum standard as outlined in the City of Calgary landscape standards.
 Only plant material true to name, size and grade as specified on planting list provide sufficient labels or marking to indicate clearly the variety, size and grade of each specimen or bundle
 Obtain approval for substitutions as to variety, size or grade from consultants locations and obtain stakeouts of all utility lines before excavation.
 Obtain all necessary permits before commencement of construction report in writing any discrepancies in the drawings and specifications

Rough Grading:
 Rough grade and fill areas to establish sub grade as required. Provide drainage pattern as indicated on drawings. Round smoothly all tops and tops of slopes. Compact all areas to min. 90% standard proctor density. Existing trees to remain on site are to be protected.

Finish grading:
 Finish grade all areas to grades shown on grading plan or Site plan. Provide uniform slopes away from the buildings, unless specified otherwise slopes away not exceed 3 in 1.

Spreading of topsoil:
 Scarify the subsoil prior to the spreading the topsoil remove all debris, visible rock native topsoil and leave a fine textured even surface all topsoil to be imported unless previously approved by consultant.
 Obtain approval for the quality of any imported topsoil before delivery to the site.

Sod:
 Use sod which conforms with the specification of Canadian nursery trades association all lawn areas shall receive a min. of 130 mm of topsoil, and shall be sodded with city of Delta Urban Mixture for (Irrigated Areas).

Mineral Fertilizer:
 Apply the mineral Fertilizer as determined by soil tests. preparation of planting beds.
 All plantings beds to be continuous.
 Excavate all plantings beds to the depth as indicated on details. Back fill all plantings beds with a soil mixture consisting of six (6) parts of sand loam, one (1) part of finely Pulverized Peat Moss, two (2) parts of Well-Rotted Manure and the mineral fertilizer as determined by test.
 Add 0.58 kg Benemeal /cubic meter of planting soil.
 Prepare the plantings beds for planting before delivery of plant material to the job site.

Note:
 If the existing soil conditions area clay or wet in nature, contact consultant for instructions of a suitable soil mixture.

Plant materials:
 All plant material shall conform to minimum standard as outlined in the City of Calgary landscape standards.
 All shrub and tree material shall be container grown, potted, S/B or B/B, unless otherwise noted. Bare root planting shall be acceptable for certain species during early spring or late fall Planting season.
 Only contractor shall make requests for root condition substitution in writing to consultant prior to commencement of planting operations.

Plant material installation:
 All trees, shrubs and ground covers shall be planted as detailed and shown on planting plan all beds to receive cover of clean mulch to a depth of 75 mm for guying and staking trees, refer to planting detail
 Plant material and sizes area indicated on the landscape plan the individual plant grouping total as illustrated on the planting plan Contractor must report any discrepancies to consultant in writing before commencing any work.

Mulch - Tree bark over landscape fabric:
 Maintain all landscaped areas prior to and after acceptance by consultant for a period of one (1) full growing season.

Rodent protection:
 The contractor shall be responsible for the protection of all trees and shr for winter protection and from rodent injury for the duration of the quaran period. Guards shall be installed prior to the application of the mulch and should be placed a min. of 50 mm out from the tree on all sides.

Irrigation:
 Provide automatic sprinkler irrigation to all soft landscaping within property limits.

Project :
Seniors Facility
Future Development RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
 S.W.14 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
For Development Permit May, 2018
For Development Permit November, 2018
For Development Permit Sept. 2019
For Development Permit August 2020
For Development Permit Oct. 2020

COPYRIGHT. This drawing is the exclusive property of

Abanoub Development Ltd.

Tel. (403) 775-7071 Fax (403) 775-7072
 WWW.abanoubdesign.ca

Drawing :
Landscape Details

Scale :
As Noted

Drawn By :
JL

Reviewed By :
HK

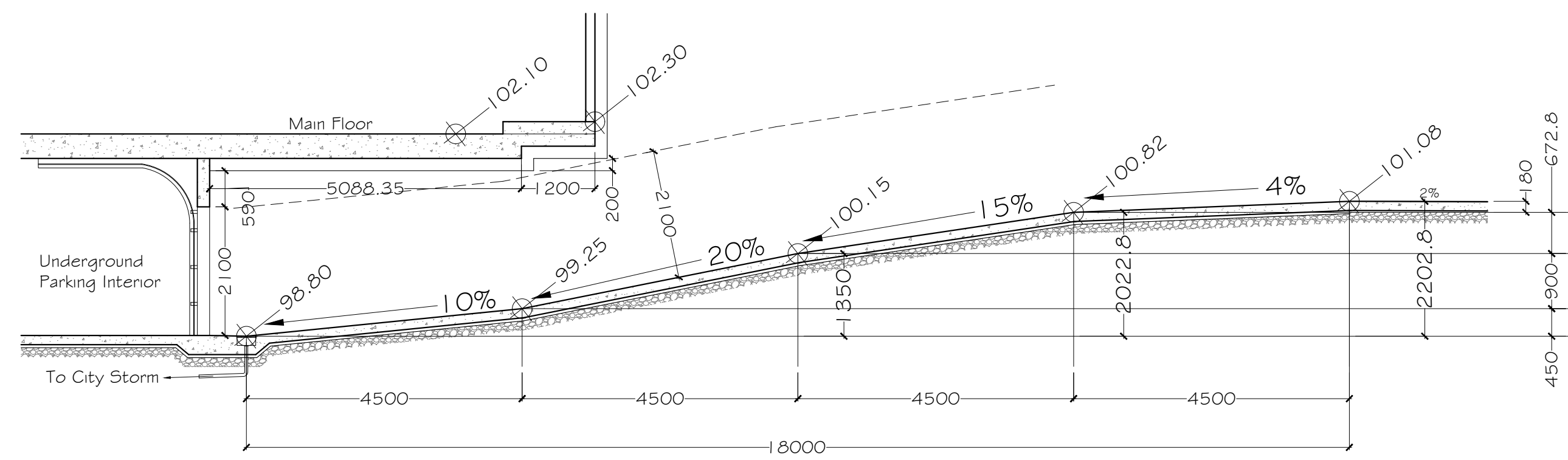
Date :
Oct.7, 2020

Job No :
3-C-17

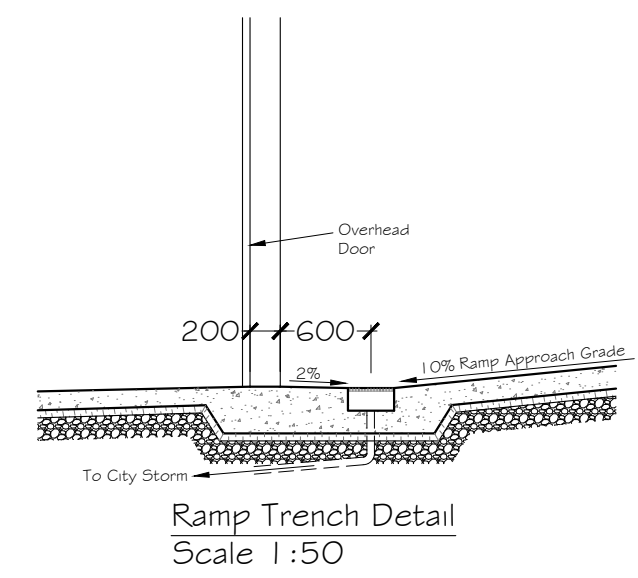
GENERAL NOTES :

Sheet :
DP 1.4

and shall not be reproduced without the Abanoub Architecture written permission.

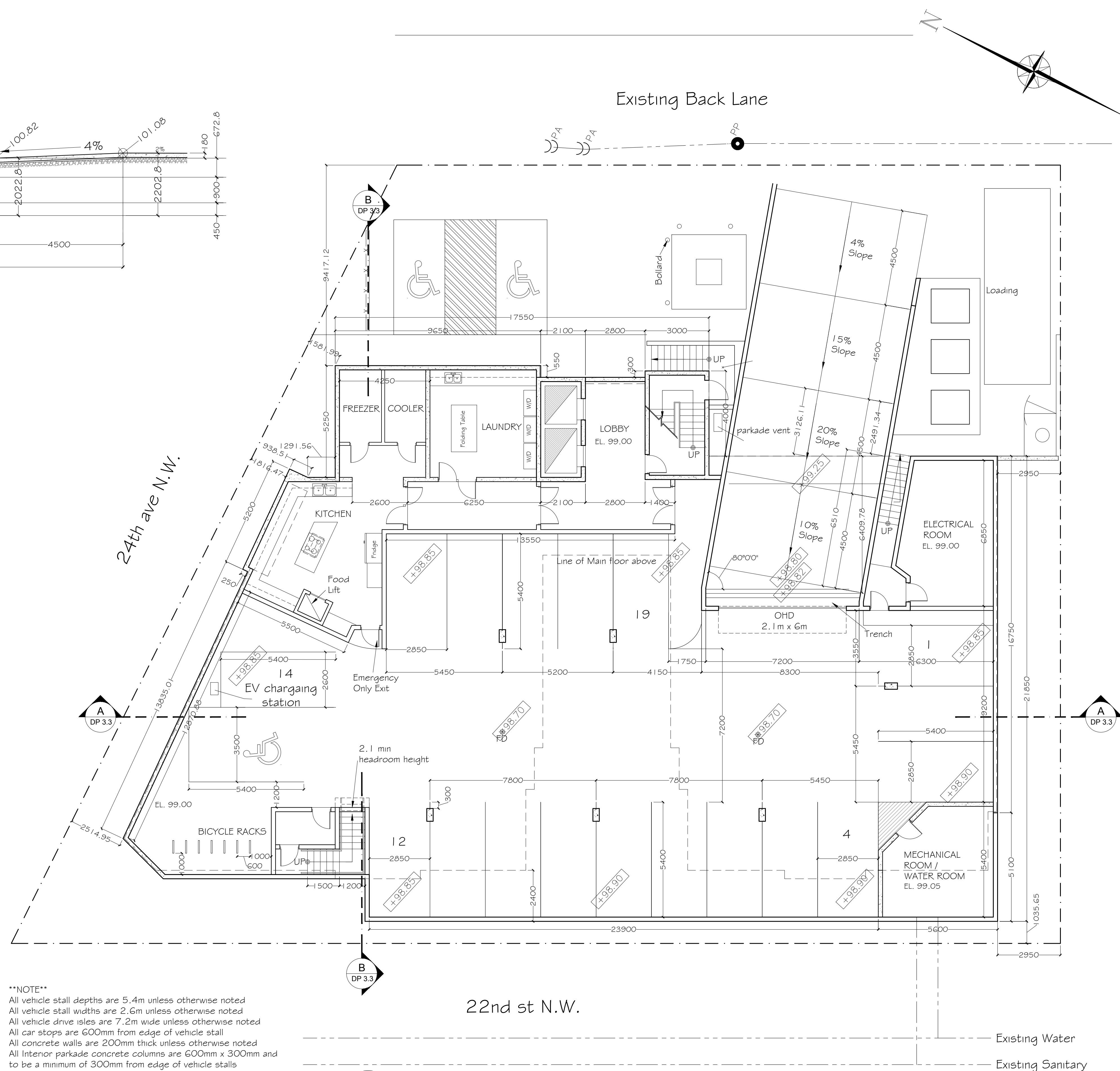


B UNDERGROUND PARKING RAMP - CENTERLINE DESIGN
 DP 1.5
 Scale 1: 75



Ramp Trench Detail
 Scale 1:50

- PARKING:**
- * PARKING STALLS REQUIRED
 45 UNITS X 0.33 = 14.85 (15 STALLS)
 - * PROVIDED HANDICAP STALLS = 3 STALLS
 - * PROVIDED SURFACE PARKING = 2 STALLS
 - * TOTAL PROVIDED UNDERGROUND PARKING = 19 STALLS
 - * TOTAL PROVIDED PARKING = 21 STALLS
 - * TOTAL PROVIDED LOADING STALL = 1 STALL
 - * TOTAL PROVIDED BICYCLE PARKING = 12 STALLS (see site plan)
 - 8 (Class 1 U - Rack)
 - 4 (Class 2 U - Rack)
- ALL SURFACE PARKING TO BE ASPHALT UNLESS OTHERWISE NOTED
 ALL SIDE WALK TO BE CONCRETE UNLESS OTHERWISE NOTED



A BASEMENT / UNDERGROUND PARKING LAYOUT
 DP 1.5
 Scale 1: 100
 AREA: 818.02m² (8,805.09ft²)

****NOTE****
 All vehicle stall depths are 5.4m unless otherwise noted
 All vehicle stall widths are 2.6m unless otherwise noted
 All vehicle drive aisles are 7.2m wide unless otherwise noted
 All car stops are 600mm from edge of vehicle stall
 All concrete walls are 200mm thick unless otherwise noted
 All interior parkade concrete columns are 600mm x 300mm and to be a minimum of 300mm from edge of vehicle stalls

Project :
Seniors Facility
Future Development RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
 S.W.14 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
 For Development Permit May, 2018
 For Development Permit Nov, 2018
 For Development Permit Sept. 2019
 For Development Permit August 2020
 For Development Permit Oct. 2020

COPYRIGHT. This drawing is the exclusive property of

Abanoub Development Ltd.

Tel: (403) 775-7071 Fax: (403) 775-7072
 WWW.abanoubdesign.ca

Drawing :
Proposed Basement /
Underground Parking Layout
Ramp & Trench Details

Scale :
As Noted

Drawn By :
JL

Reviewed By :
HK

Date :
Oct. 7, 2020

Job No. :
2-C-17

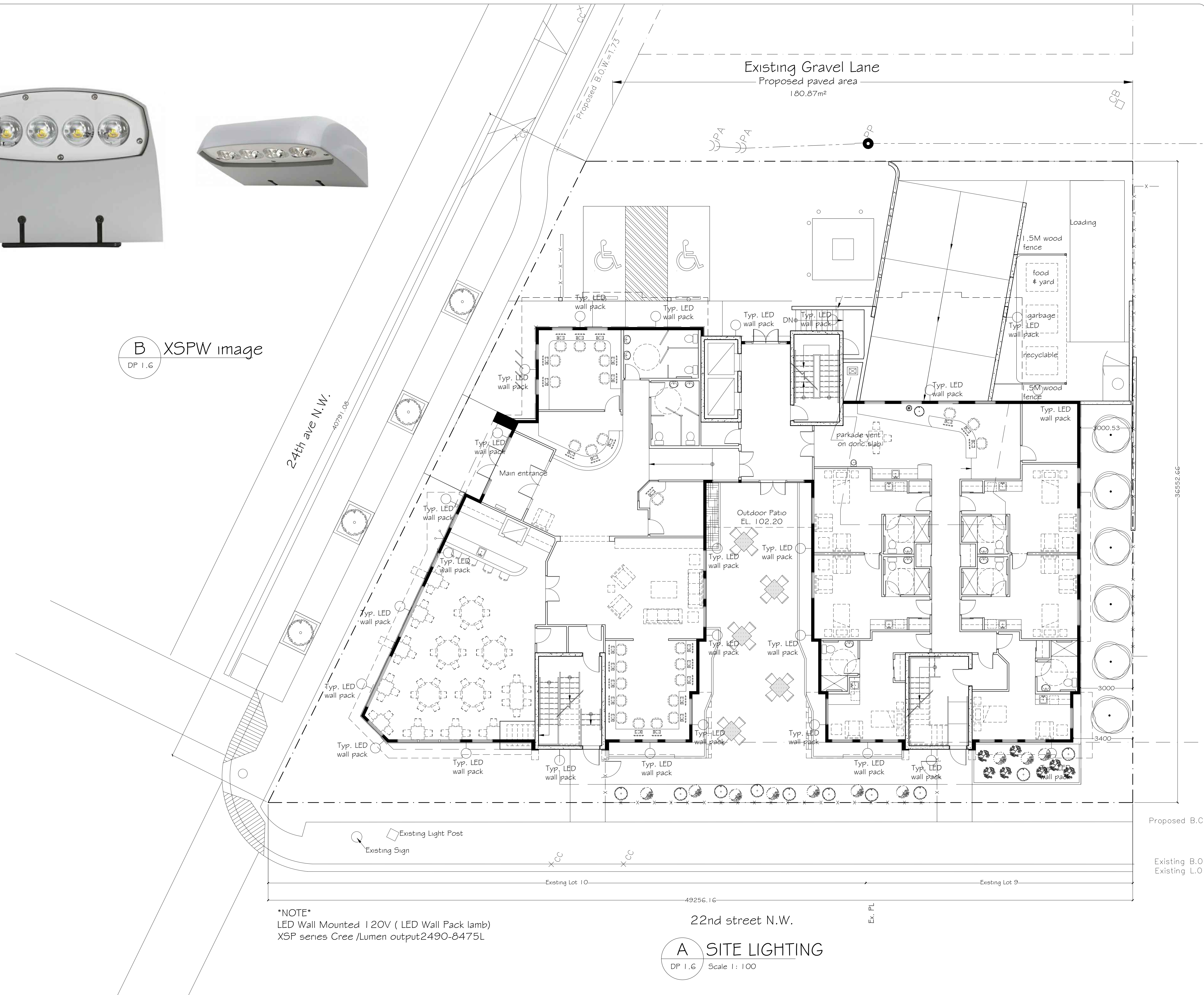
GENERAL NOTES :

Sheet :
DP 1.5

and shall not be reproduced without the Abanoub Architecture written permission.



B XSPW image
DP 1.6



NOTE
LED Wall Mounted 120V (LED Wall Pack lamb)
XSP series Cree /Lumen output:2490-8475L

A SITE LIGHTING
DP 1.6 Scale 1:100

COPYRIGHT. This drawing is the exclusive property of

Abanoub Development Ltd.
A
Tel. (403) 775-7071 Fax (403) 775-7072
WWW.abanoubdesign.ca

and shall not be reproduced without the Abanoub Architecture written permission.

Project :
Seniors Facility
Future Development RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
S.W.1/4 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

For Development Permit august 2020
For Development Permit Oct. 2020

Drawing :
Proposed Site Lighting

Scale :
As Noted

Drawn By :
JL

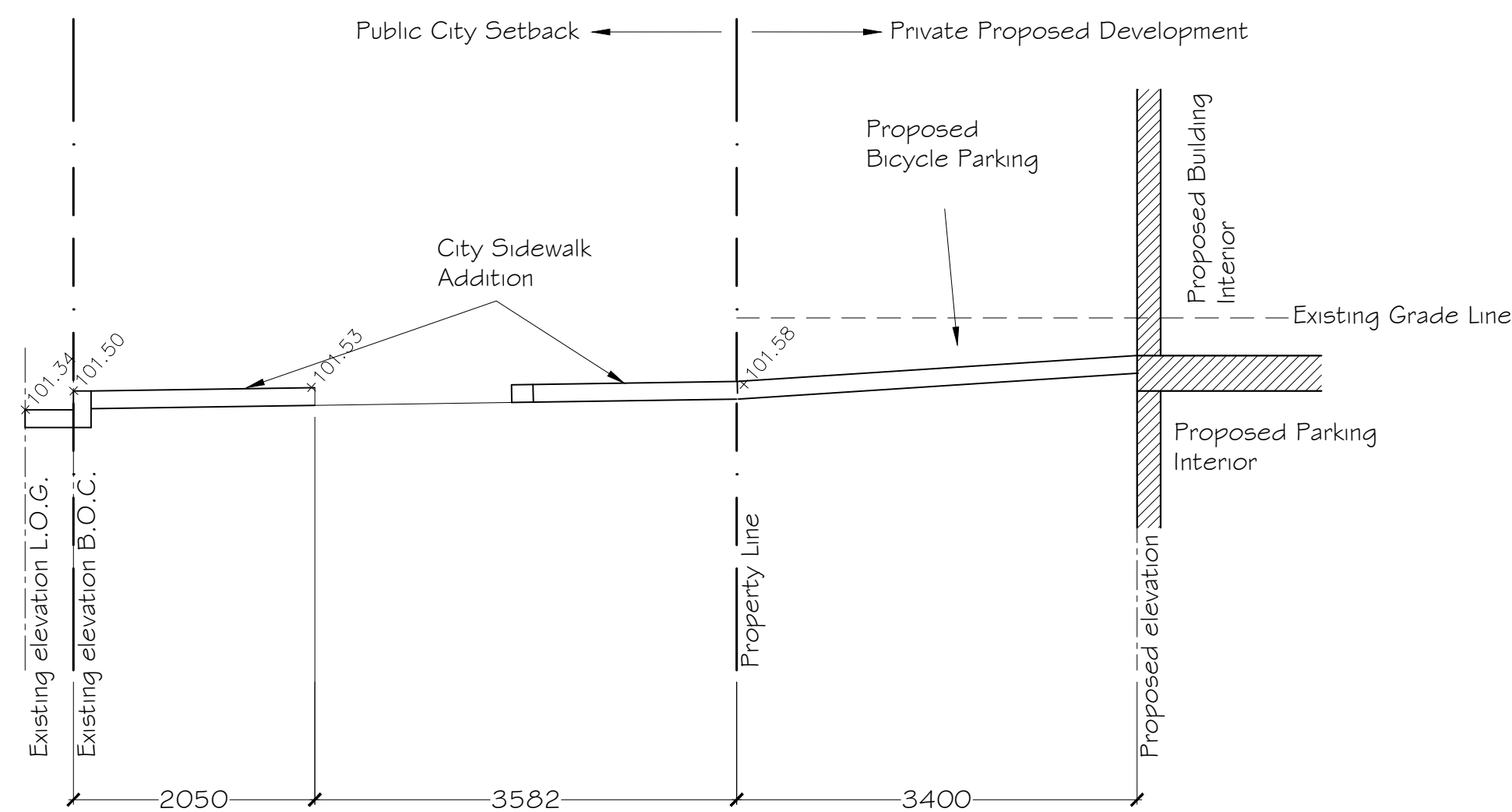
Reviewed By :
HK

Date :
Oct. 7, 2020

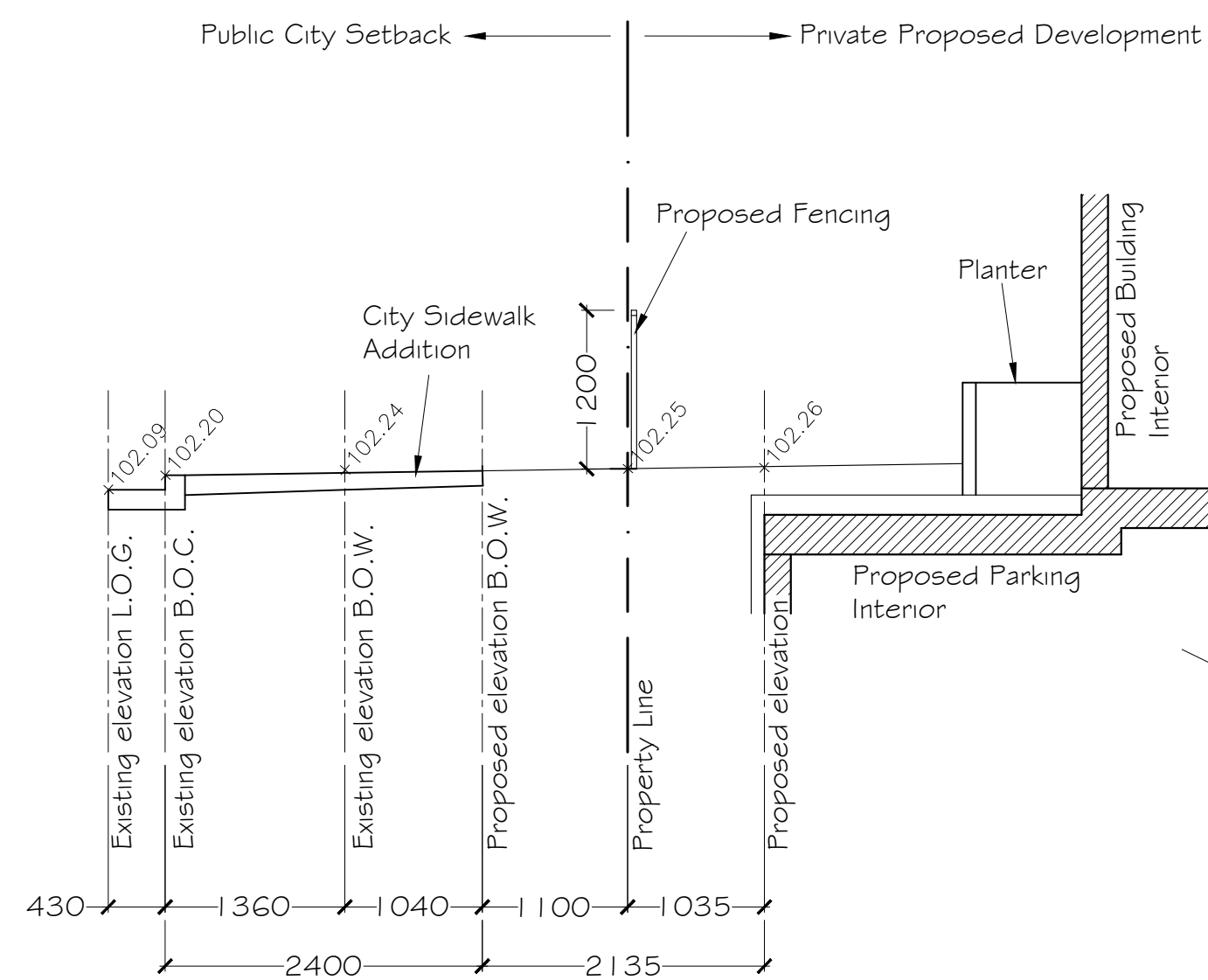
Job No :
2-C-17

GENERAL NOTES :
All landscape construction shall be in accordance with the city of Calgary parks and development guidelines and standards specifications for landscape construction (current version)

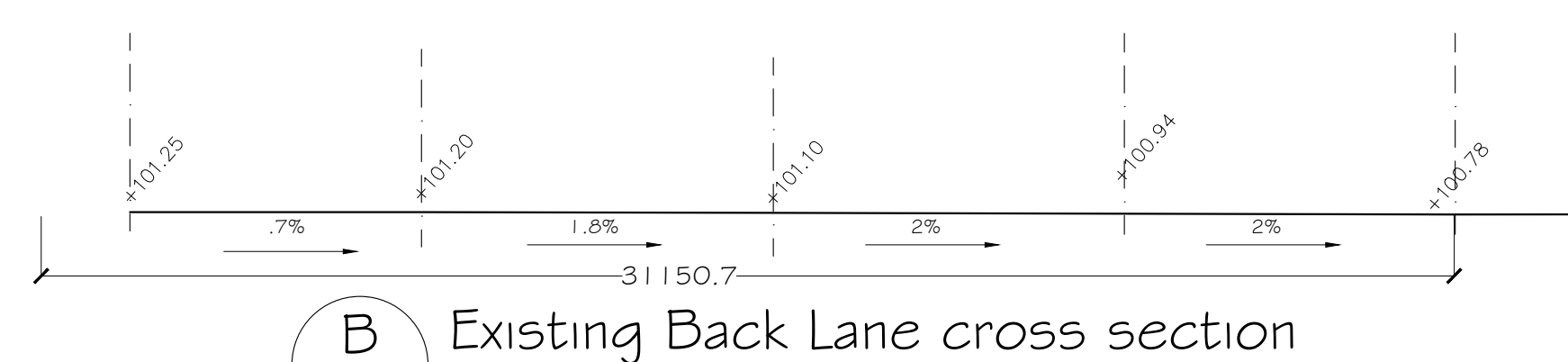
Sheet :
DP 1.6



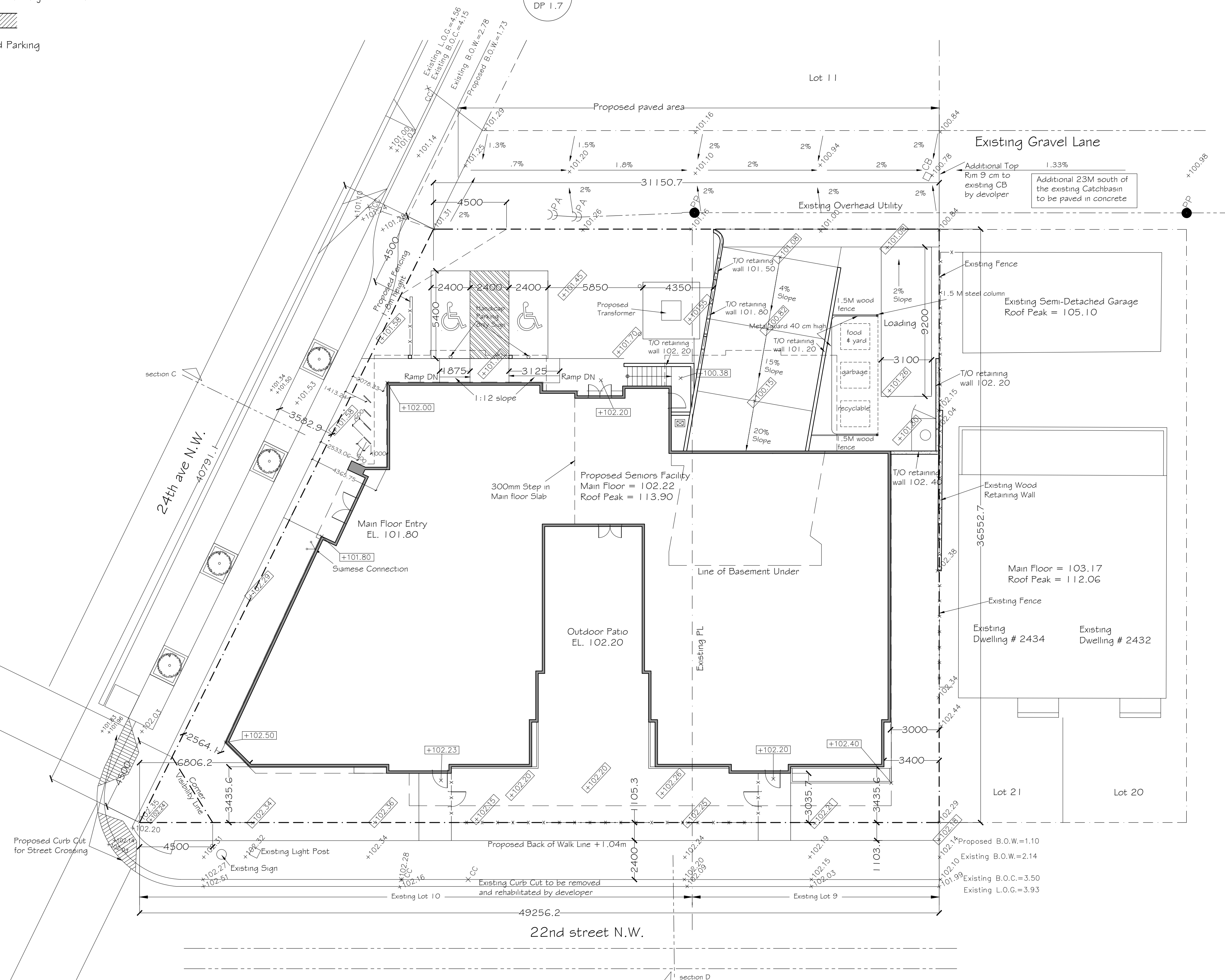
C 24TH AVE. BOULEVARD SECTION
DP 1.7 Scale 1: 50



D 22ND ST. BOULEVARD SECTION
DP 1.7 Scale 1: 50



B Existing Back Lane cross section
DP 1.7



A Boulevard Grading
DP 1.7 Scale 1: 150

COPYRIGHT. This drawing is the exclusive property of

Abanoub Development Ltd.

 Tel. (403) 775-7071 Fax (403) 775-7072
 WWW.abanoubdesign.ca

Drawing :
Proposed Boulevard Grading

Scale :
As Noted

Drawn By :
JL

Reviewed By :
HK

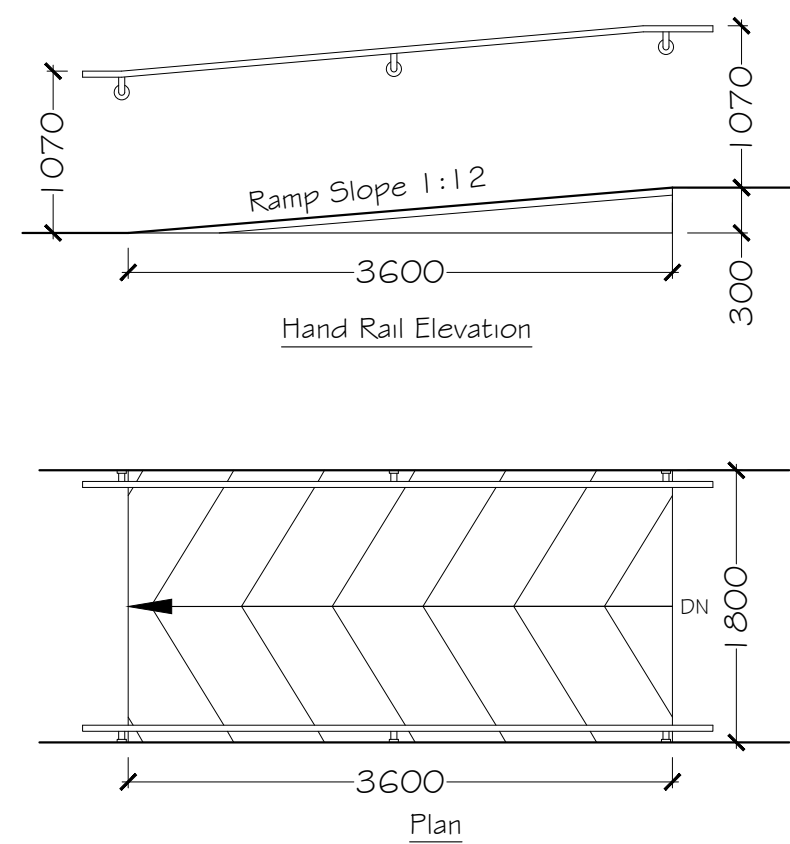
Date :
Oct. 7, 2020

Job No. :
2-C-17

GENERAL NOTES :
All landscape construction shall be in accordance with the city of Calgary parks development guidelines and standards specifications for landscape construction (current version)

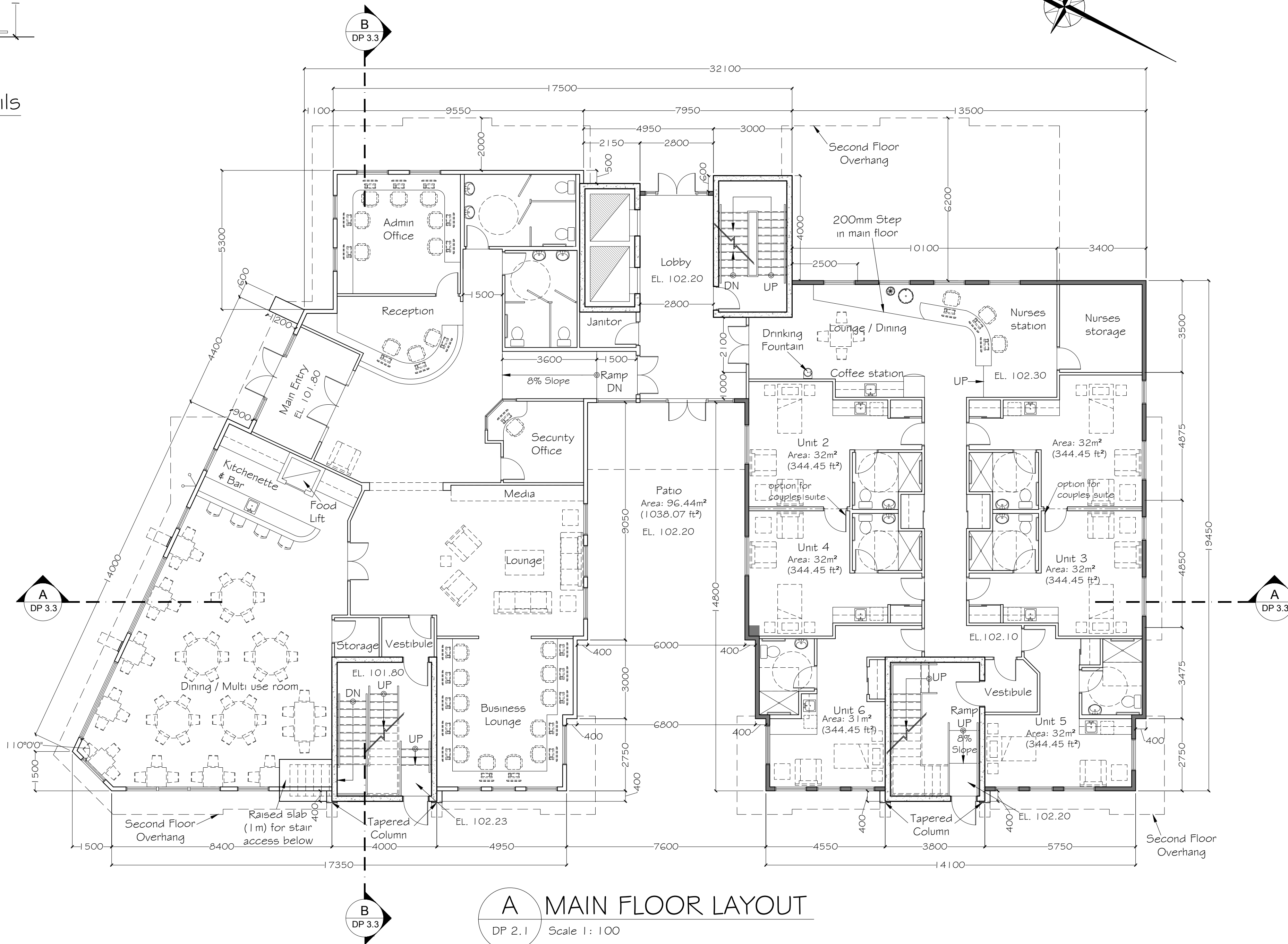
Sheet :
DP 1.7

and shall not be reproduced without the Abanoub Architecture written permission.

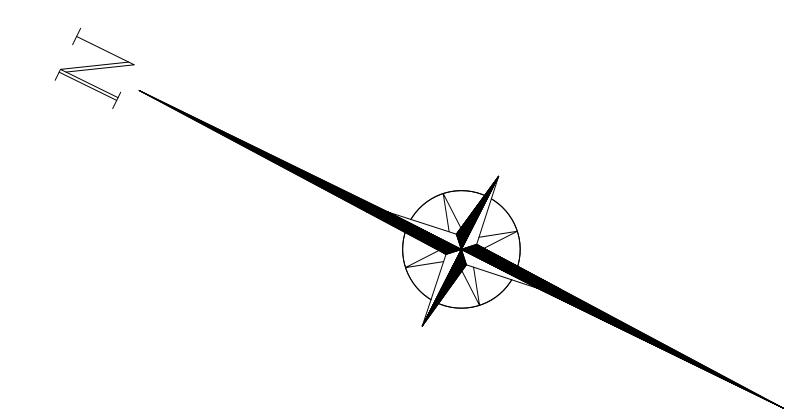


*Built Up Wood Ramp on main floor slab
*Black Metal Railing

Walking Ramp Details
Scale 1:50



A MAIN FLOOR LAYOUT
DP 2.1 Scale 1:100
AREA: 690.05m² (7,427.64ft²)



COPYRIGHT. This drawing is the exclusive property of

Project :
Seniors Facility
Future Development
RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
S.W.1/4 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
For Development Permit May, 2018
For Development Permit November, 2018
For Development Permit Sept. 2019
For Development Permit August 2020
For Development Permit Oct.2020

Abanoub Development Ltd.
A
Tel: (403) 775-7071 Fax: (403) 775-7072
WWW.abanoubdesign.ca

Drawing :
Proposed
Main floor Layout

Scale :
As Noted

Drawn By :
JL

Reviewed By :
HK

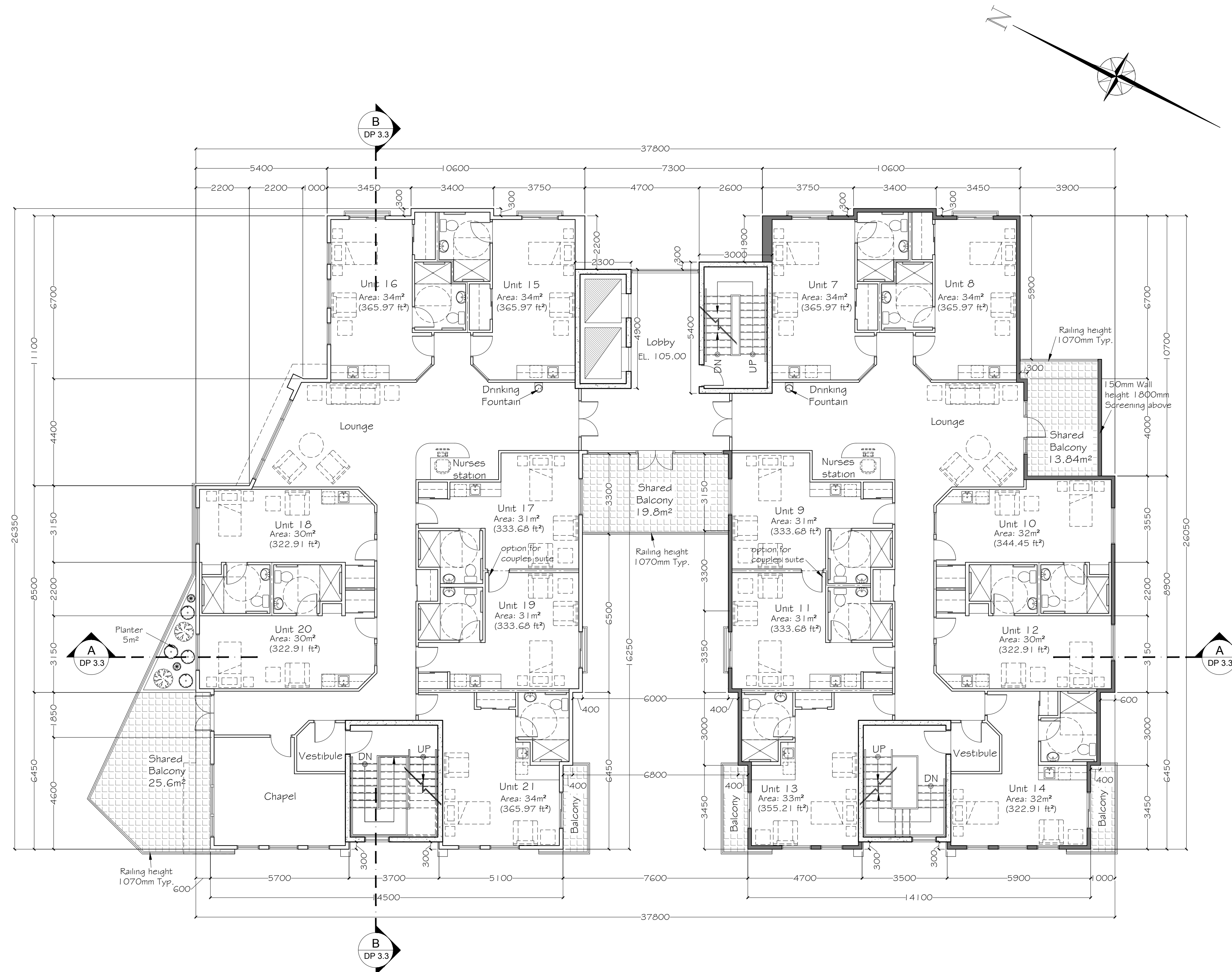
Date :
Oct. 7, 2020

Job No :
2-C-17

GENERAL NOTES :

Sheet :
DP 2.1

and shall not be reproduced without the Abanoub Architecture written permission.



A SECOND FLOOR LAYOUT
 DP 2.2 Scale 1:100
 AREA: 764.11m² (8,224.81ft²)

Project :
Seniors Facility
Future Development
RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
 S.W.1/4 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
 For Development Permit May, 2018
 For Development Permit November, 2018
 For Development Permit Sept. 2019
 For Development Permit August 2020
 For Development Permit Oct. 2020

Abanoub Development Ltd.

 Tel. (403) 775-7071 Fax (403) 775-7072
 WWW.abanoubdesign.ca

Drawing :
Proposed
Second Floor Layout

Scale :
1:100

Drawn By :
JL

Reviewed By :
HK

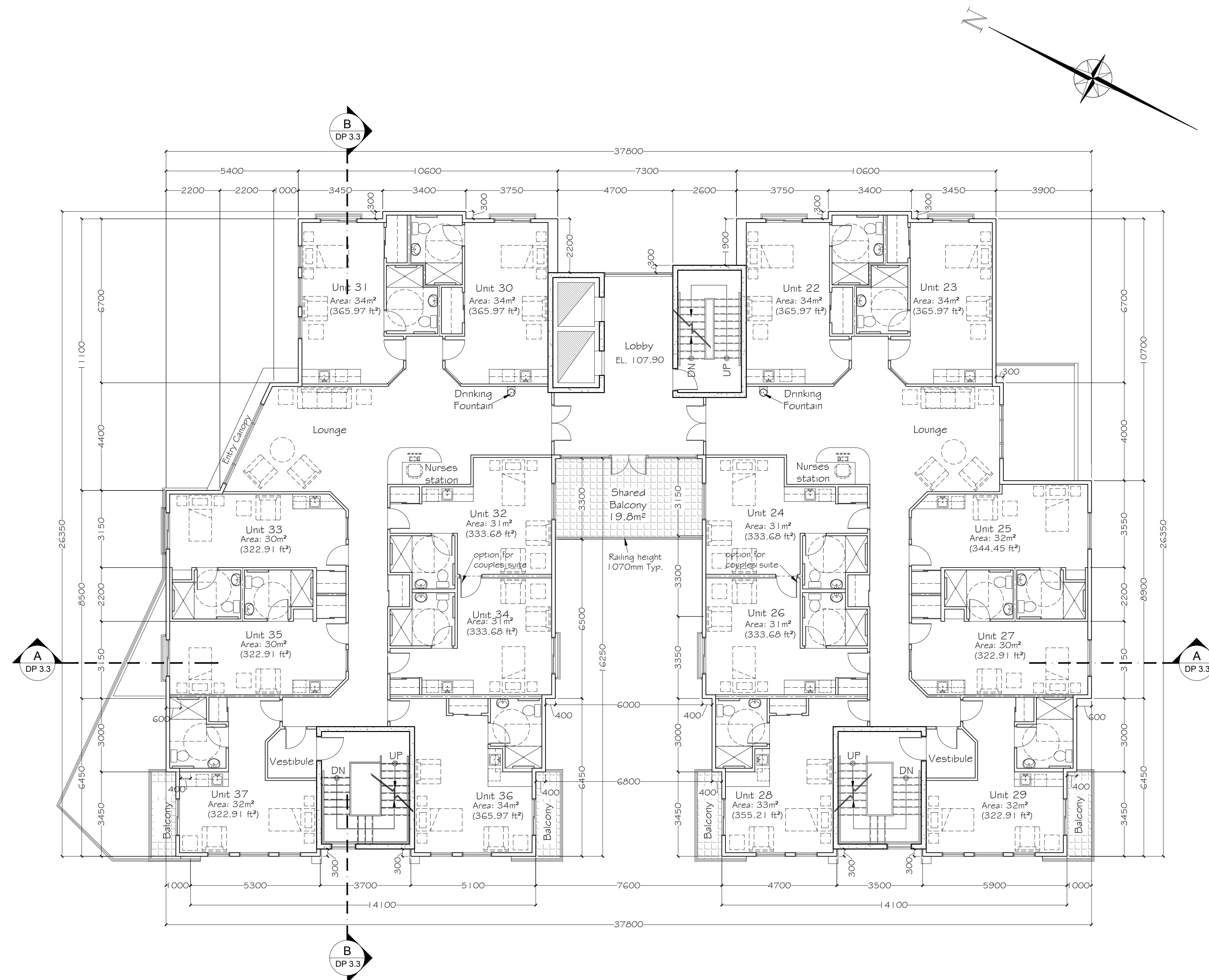
Date :
Oct. 7, 2020

Job No. :
2-C-17

GENERAL NOTES :

Sheet :
DP 2.2

COPYRIGHT. This drawing is the exclusive property of Abanoub Development Ltd. and shall not be reproduced without the Abanoub Architecture written permission.



A THIRD FLOOR LAYOUT
 DP 2.3 Scale 1: 100
 AREA: 762.55m² (8,208.02ft²)

Project :
Seniors Facility
Future Development
RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
 S.W.14 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
 For Development Permit May, 2018
 For Development Permit November, 2018
 For Development Permit Sept. 2019
 For Development Permit August 2020
 For Development Permit Oct. 2020

Abanoub Development Ltd.

Tel. (403) 775-7071 Fax (403) 775-7072
 WWW.abanoubdesign.ca

Drawing :
Proposed
Third Floor Layout

Scale :
1:100

Drawn By :
JL

Reviewed By :
HK

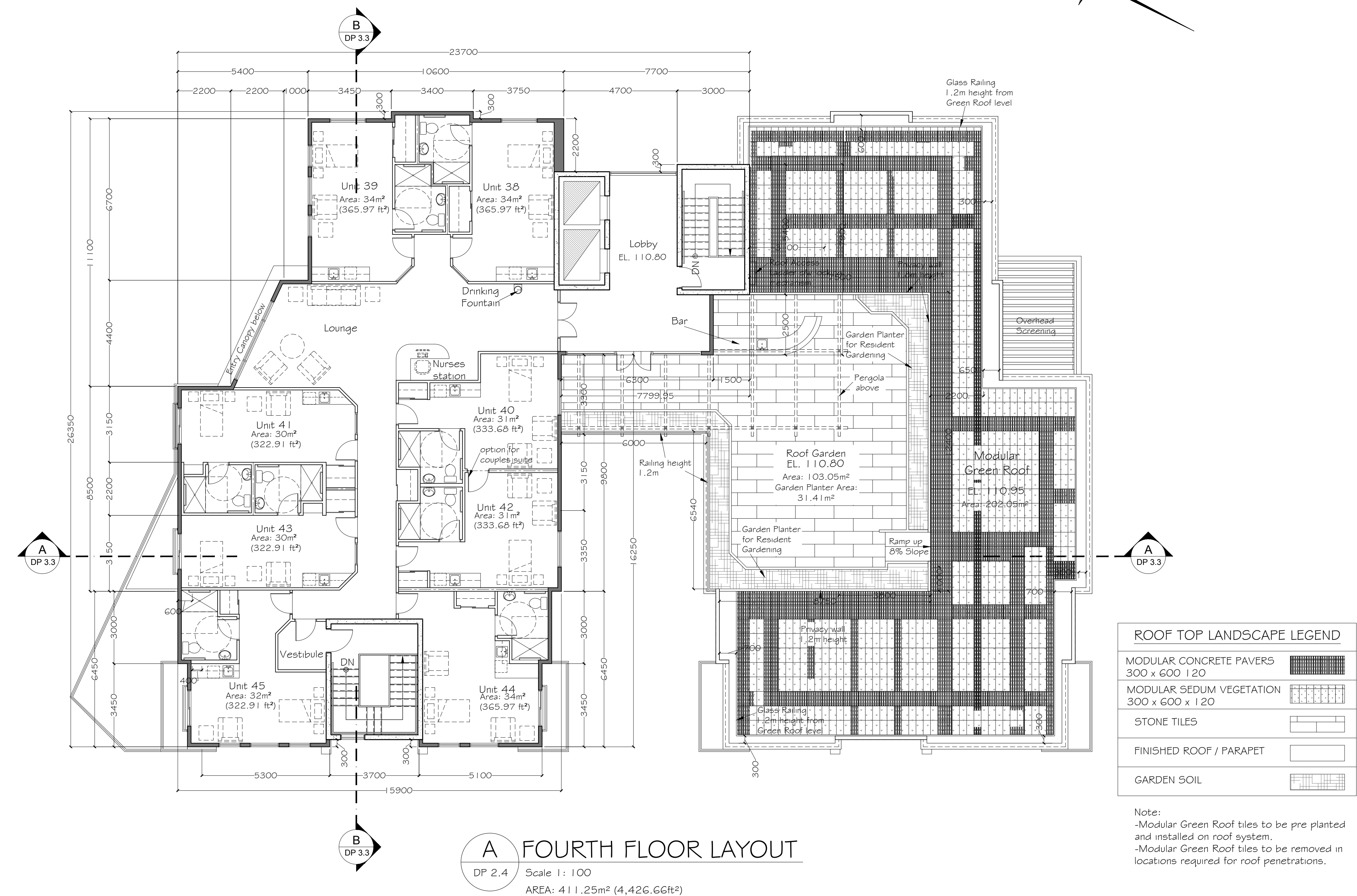
Date :
Oct. 7, 2020

Job No :
2-C-17

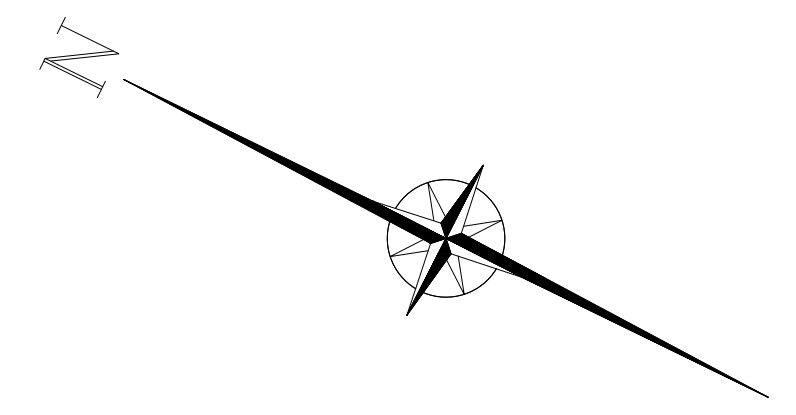
GENERAL NOTES :

Sheet :
DP 2.3

COPYRIGHT. This drawing is the exclusive property of Abanoub Development Ltd. and shall not be reproduced without the Abanoub Architecture written permission.



A FOURTH FLOOR LAYOUT
 DP 2.4 Scale 1:100
 AREA: 411.25m² (4,426.66ft²)



Project :
Seniors Facility
Future Development
RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
 S.W.14 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
 For Development Permit May, 2018
 For Development Permit November, 2018
 For Development Permit Sept. 2019
 For Development Permit August 2020
 For Development Permit Oct. 2020

Abanoub Development Ltd.

 Tel. (403) 775-7071 Fax (403) 775-7072
 WWW.abanoubdesign.ca

Drawing :
Proposed
Fourth Floor Layout

Scale :
1:100

Drawn By :
JL

Reviewed By :
HK

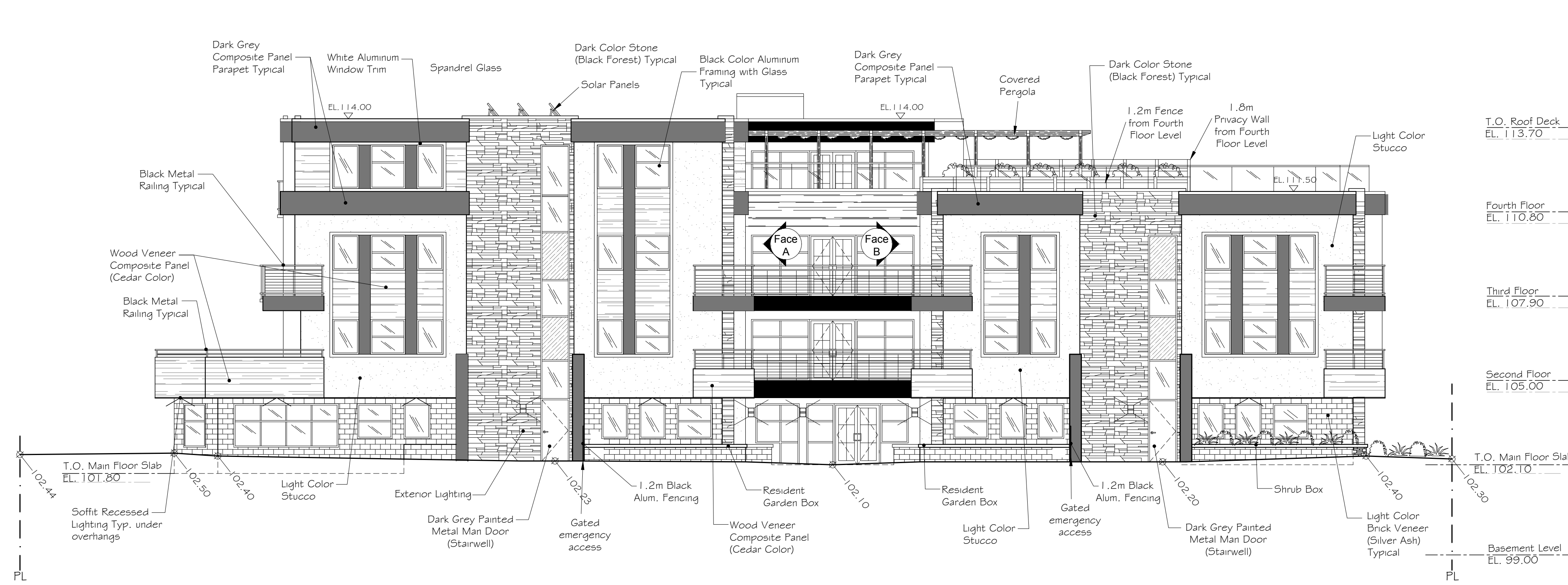
Date :
Oct.7, 2020

Job No :
2-C-17

GENERAL NOTES :

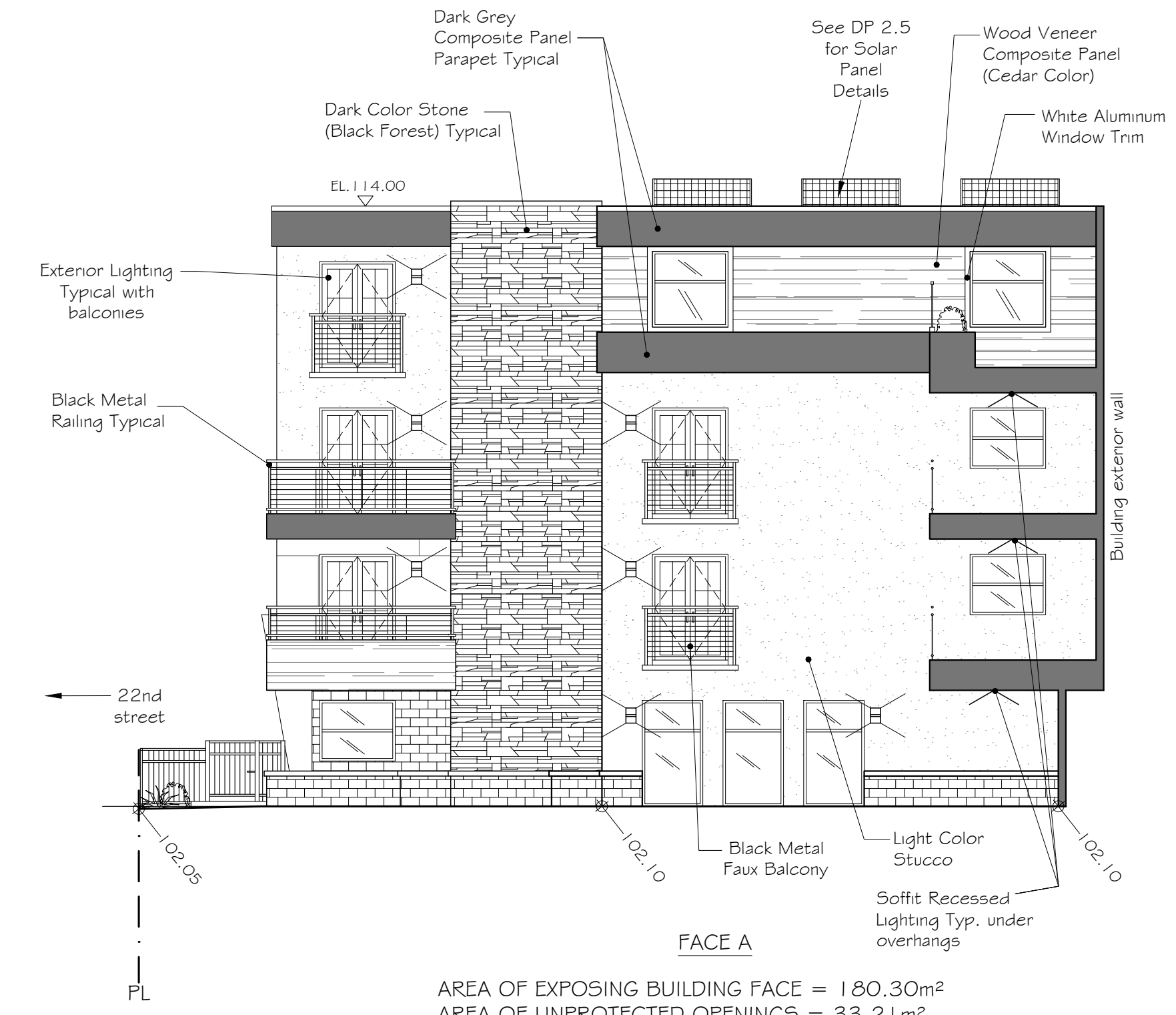
Sheet :
DP 2.4

COPYRIGHT. This drawing is the exclusive property of Abanoub Development Ltd. and shall not be reproduced without the Abanoub Architecture written permission.

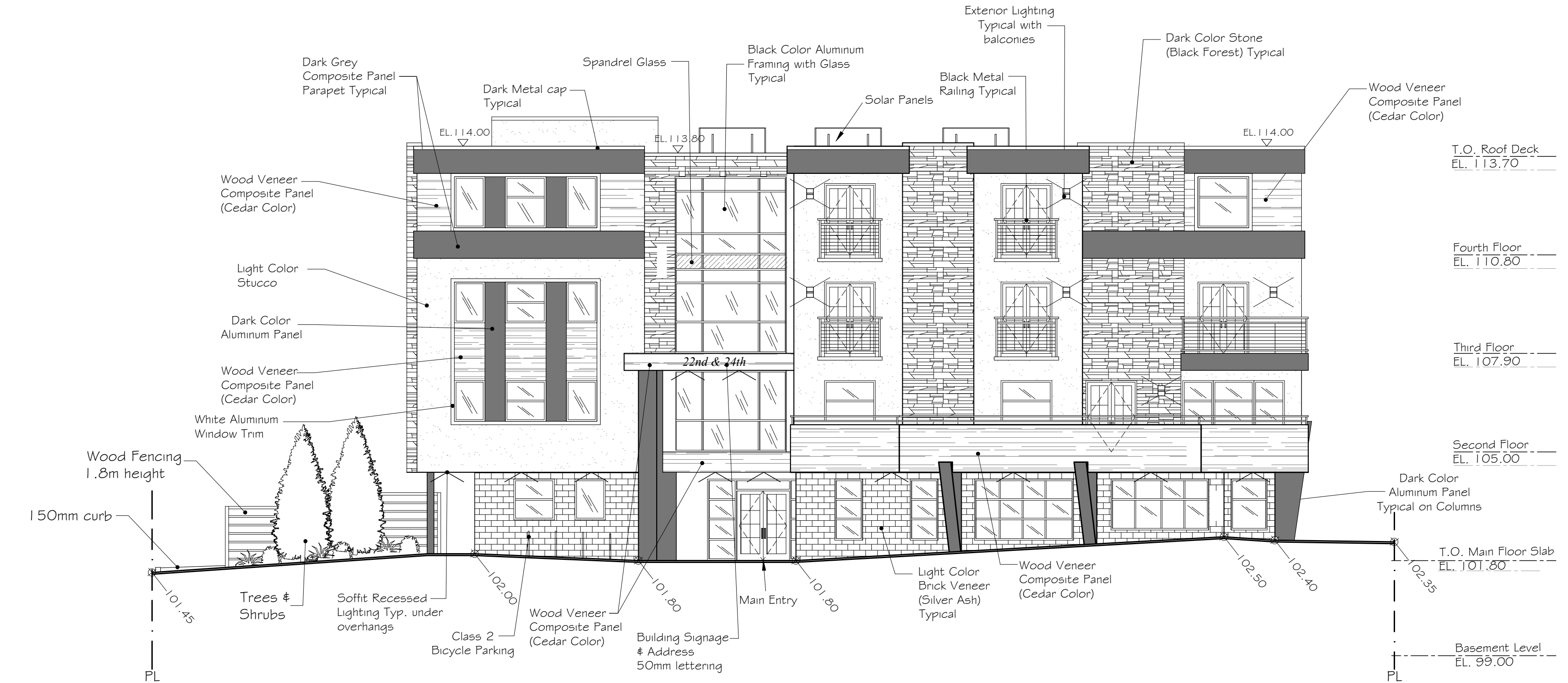


A WEST ELEVATION
DP 3.1 Scale 1:100

AVERAGE GRADE = 102.41
 AREA OF EXPOSING BUILDING FACE = 399.96m²
 AREA OF UNPROTECTED OPENINGS = 103.59m²
 RATIO = 25.90%

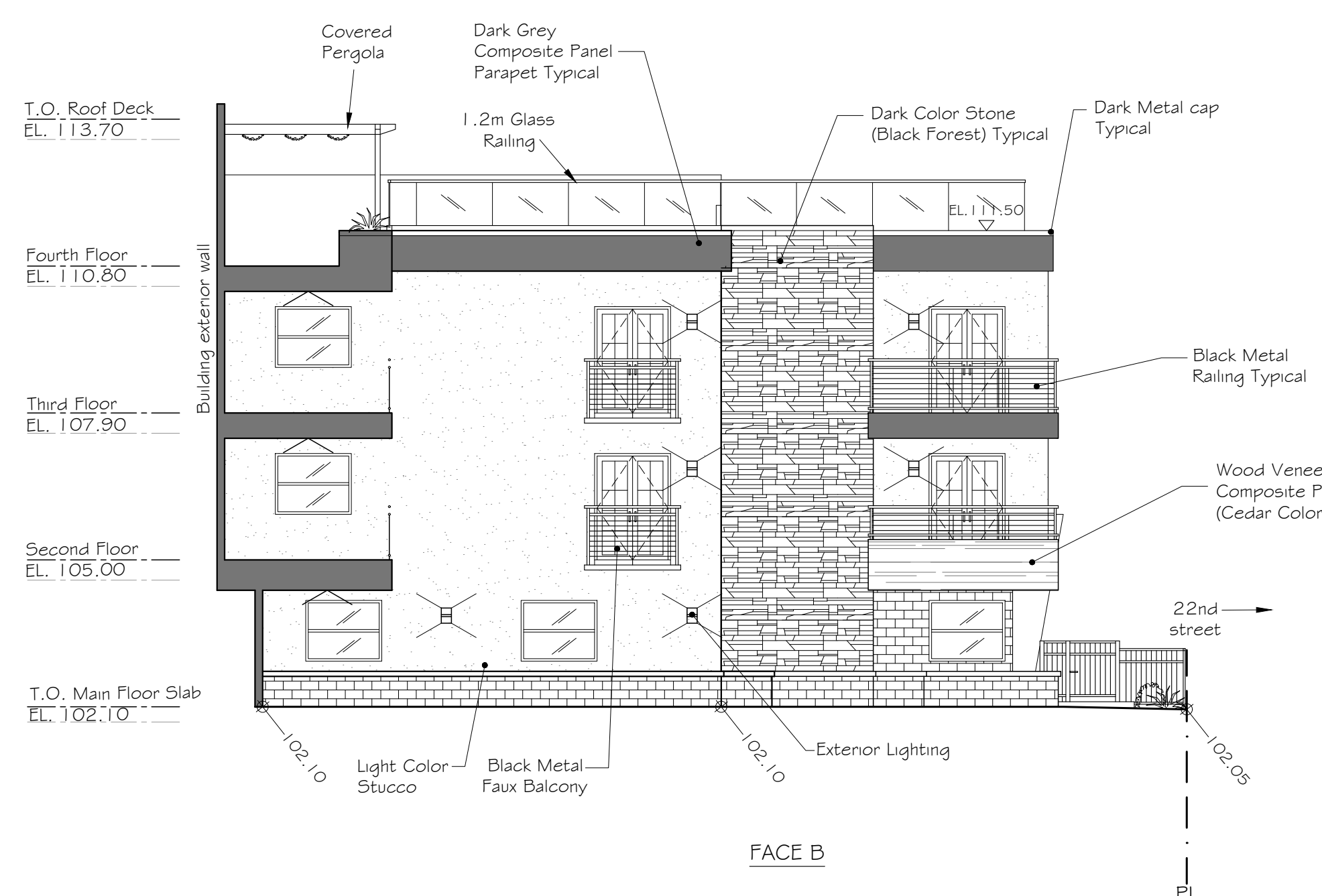


FACE A
 AREA OF EXPOSING BUILDING FACE = 180.30m²
 AREA OF UNPROTECTED OPENINGS = 33.21m²
 RATIO = 18.42%



B NORTH ELEVATION
DP 3.1 Scale 1:100

AVERAGE GRADE = 102.08
 AREA OF EXPOSING BUILDING FACE = 300.96m²
 AREA OF UNPROTECTED OPENINGS = 96.69m²
 RATIO = 32.13%



FACE B
 AREA OF EXPOSING BUILDING FACE = 133.09m²
 AREA OF UNPROTECTED OPENINGS = 21.60m²
 RATIO = 16.23%

C PATIO ELEVATION
DP 3.1 Scale 1:100

COPYRIGHT. This drawing is the exclusive property of

Abanoub Development Ltd.

 Tel. (403) 775-7071 Fax (403) 775-7072
 WWW.abanoubdesign.ca

Drawing :
Proposed West & North Elevations

Scale :
1:100

Drawn By :
JL

Reviewed By :
HK

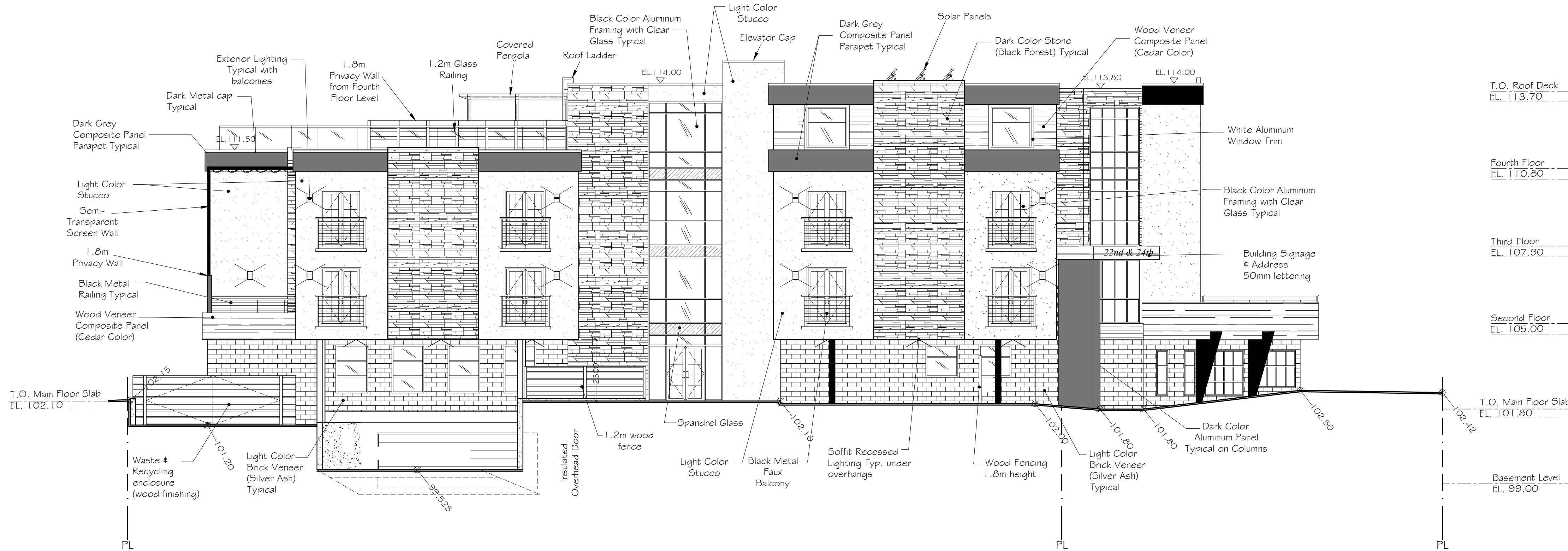
Date :
Oct. 15, 2020

Job No. :
2-C-17

GENERAL NOTES :

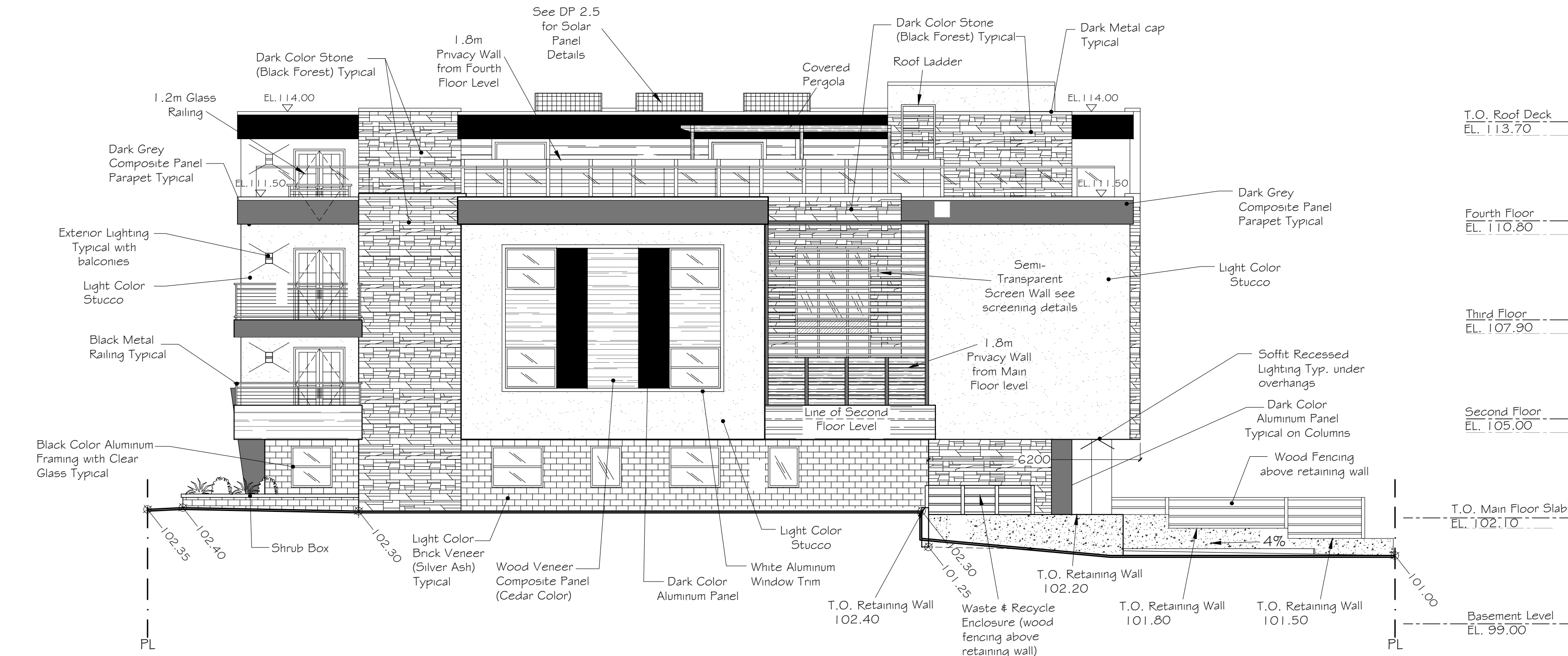
Sheet :
DP 3.1

and shall not be reproduced without the Abanoub Architecture written permission.



A EAST ELEVATION
DP 3.2 Scale 1:100

AVERAGE GRADE = 101.87 (length of back gravel lane)
AREA OF EXPOSING BUILDING FACE = 332.52m²
AREA OF UNPROTECTED OPENINGS = 72.58m²
RATIO = 21.83%



B SOUTH ELEVATION
DP 3.2 Scale 1:100

AVERAGE GRADE = 101.91
AREA OF EXPOSING BUILDING FACE = 221.28m²
AREA OF UNPROTECTED OPENINGS = 31.70m²
RATIO = 14.33%



C GLASS RAILING DETAILS
DP 3.2 Scale NTS



E EXTERIOR LIGHTING DETAILS
DP 3.2 Scale NTS



D FAUX BALCONY DETAILS
DP 3.2 Scale NTS



G SCREENING DETAILS
DP 3.2 Scale NTS



F PERGOLA DETAILS
DP 3.2 Scale NTS



I WOOD FENCING DETAILS
DP 3.2 Scale NTS



H ALUMINUM FENCING DETAILS
DP 3.2 Scale NTS

COPYRIGHT. This drawing is the exclusive property of

Project :
Seniors Facility
Future Development
RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
S.W.1/4 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
For Development Permit May, 2018
For Development Permit November, 2018
For Development Permit Sept. 2019
For Development Permit August 2020
For Development Permit Oct. 2020



Tel. (403) 775-7071 Fax (403) 775-7072
WWW.abanoubdesign.ca

Drawing :
Proposed
East & South Elevations

Scale :
As noted

Drawn By :
JL

Reviewed By :
HK

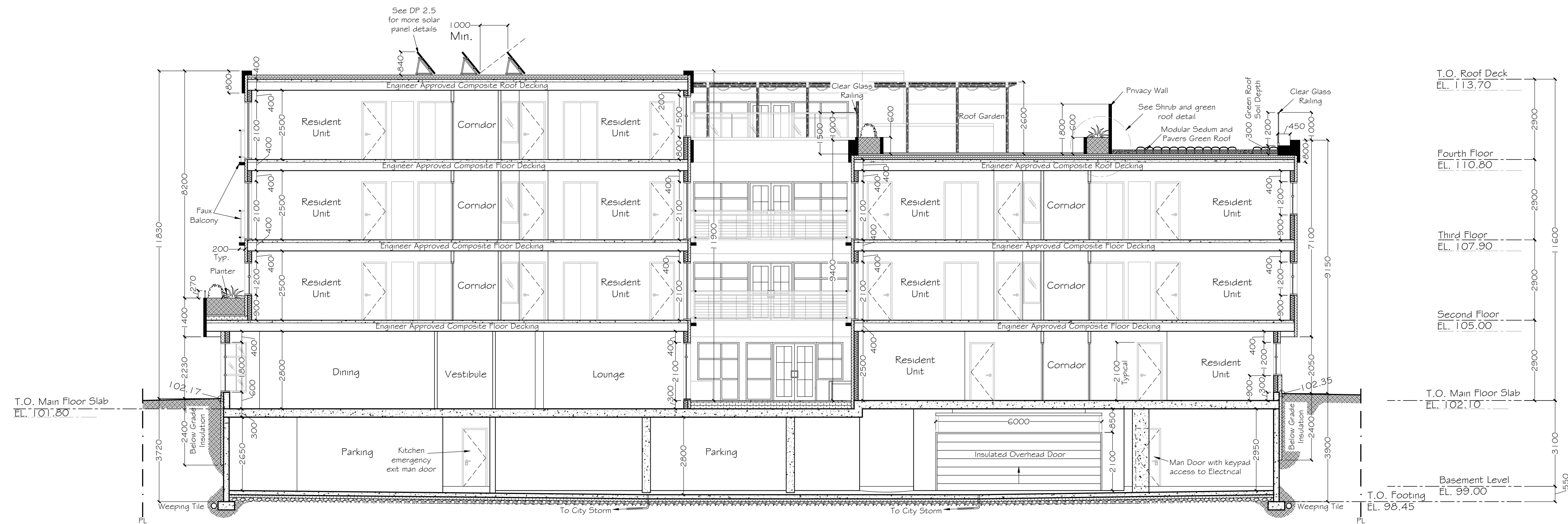
Date :
Oct. 7, 202

Job No. :
2-C-17

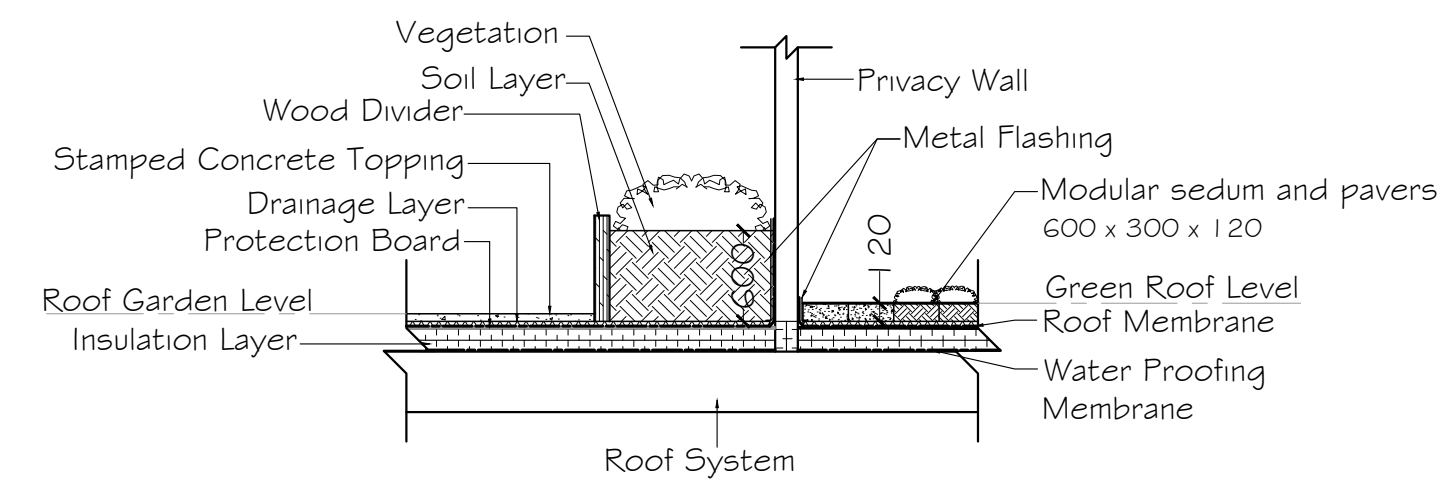
GENERAL NOTES :

Sheet :
DP 3.2

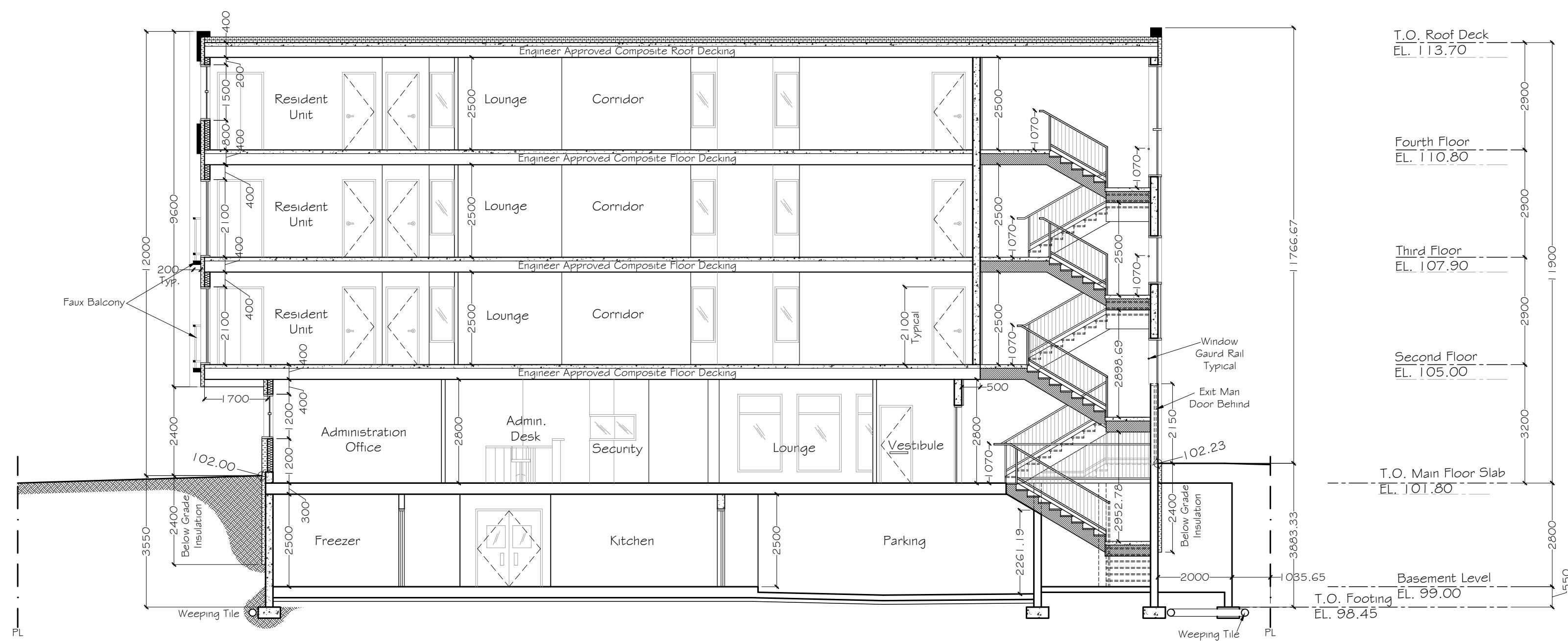
and shall not be reproduced without the Abanoub Architecture written permission.



A BUILDING SECTION 1
DP 3.3 Scale 1: 100



Shrub & Green Roof Detail Typ.
Scale 1: 50



B BUILDING SECTION 2
DP 3.3 Scale 1: 100

COPYRIGHT. This drawing is the exclusive property of

Project :
Seniors Facility
Future Development RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
S.W.1/4 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
For Development Permit May, 2018
For Development Permit November, 2018
For Development Permit Sept. 2019
For Development Permit August 2020
For Development Permit Oct.2020



Drawing :
Proposed Building Sections

Scale :
As Noted

Drawn By :
JL

Reviewed By :
HK

Date :
Oct. 7, 2020

Job No :
2-C-17

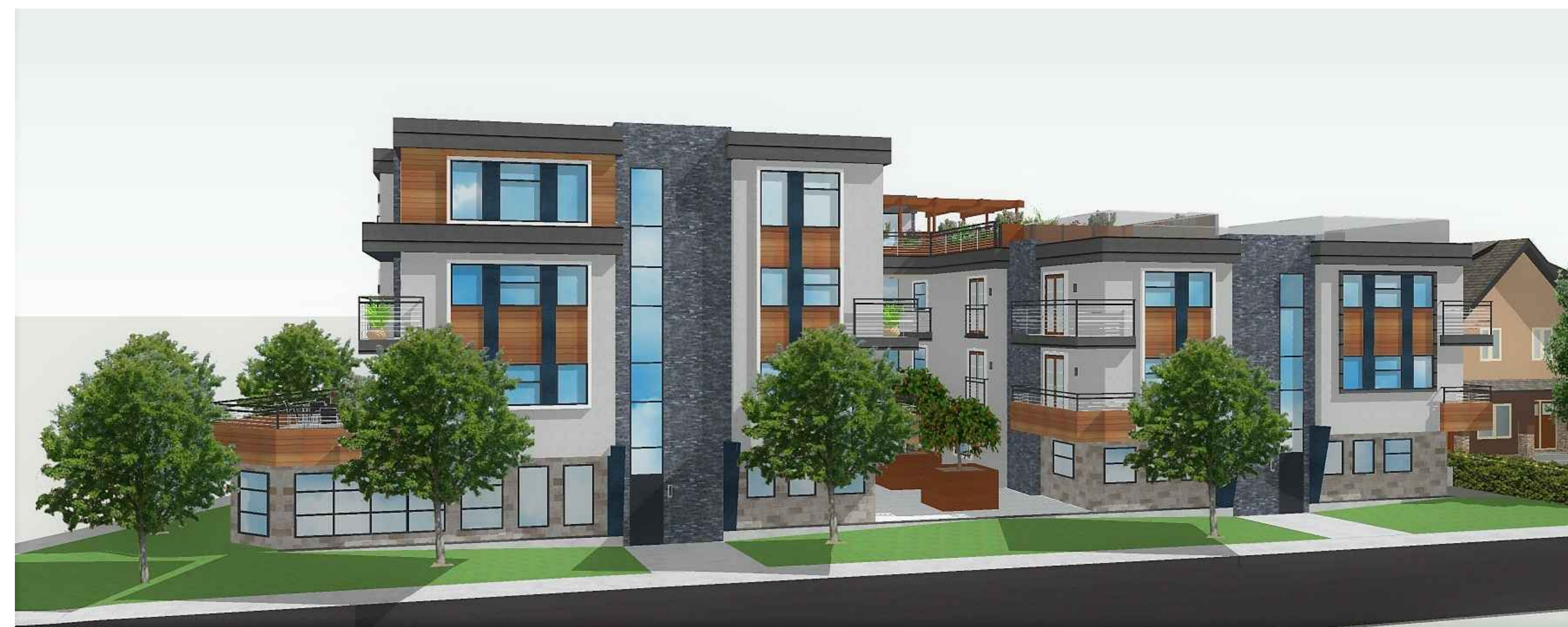
GENERAL NOTES :

Sheet :
DP 3.3

and shall not be reproduced without the Abanoub Architecture written permission.



NORTH WEST CORNER VIEW



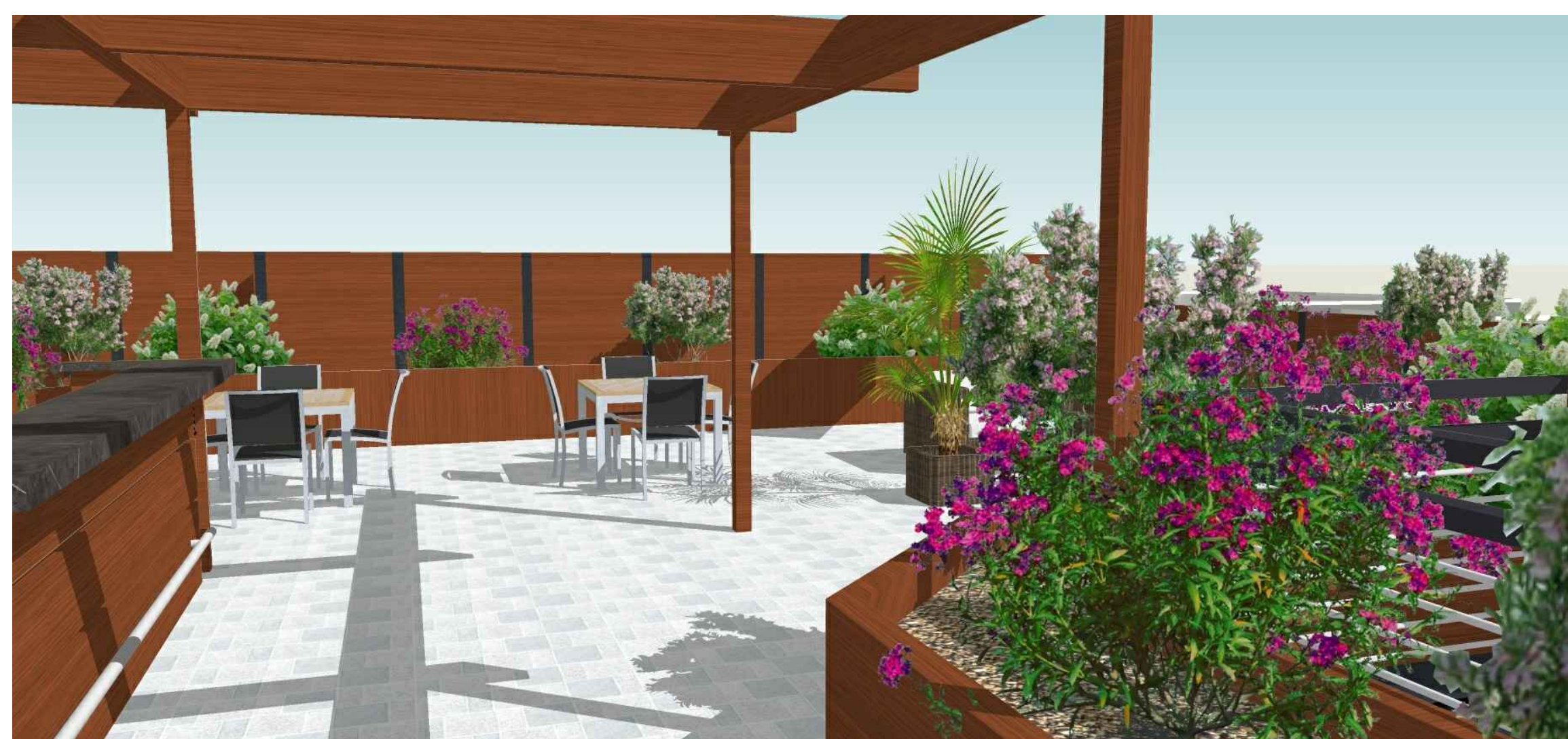
WEST 22ND STREET VIEW



SOUTH VIEW -NEIGHBORING SIDE



NORTH 24TH AVENUE VIEW - MAIN ENTRY



FOURTH FLOOR GARDEN VIEW



SOUTH WEST OVERHEAD VIEW - SUSTAINABLE FEATURES

COPYRIGHT. This drawing is the exclusive property of

Project :
Seniors Facility
Future Development
RE-ZONE

Block # 12
Lot # 9, 10
Plan # 9110 GI
S.W.1/4 SEC.29, TWP.24, RGE.1, W.56M.

Address:
22nd & 24th Avenue N.W.
Calgary, Alberta

Proposal Design June, 2017
For Development Permit May, 2018
For Development Permit November, 2018
For Development Permit Sept. 2019
For Development Permit August 2020
For Development Permit Oct 2020

Abanoub Development Ltd.

Tel. (403) 775-7071 Fax (403) 775-7072
WWW.abanoubdesign.ca

Drawing :
Proposed Building Images

Scale :
As Noted

Drawn By :
JL

Reviewed By :
HK

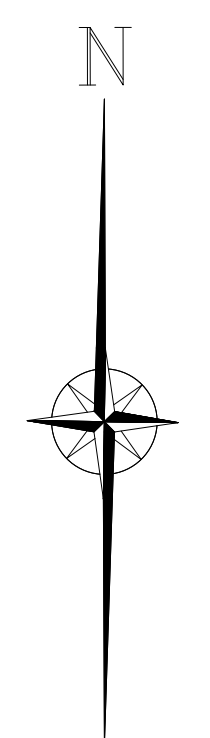
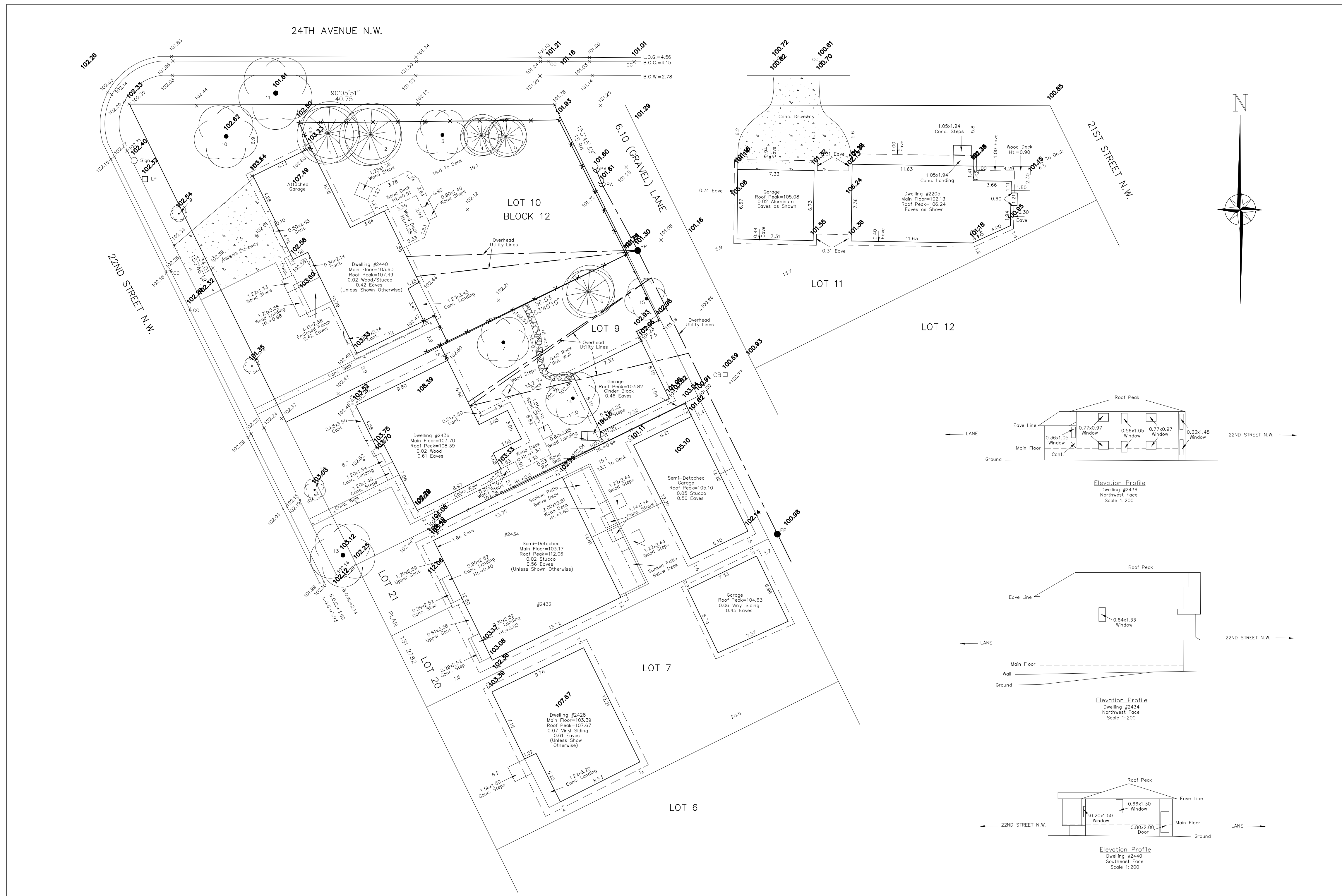
Date :
Oct. 7, 2020

Job No :
2-C-17

GENERAL NOTES :

Sheet :
DP 3.4

and shall not be reproduced without the Abanoub Development Ltd. written permission.



DEVELOPMENT PERMIT PLAN

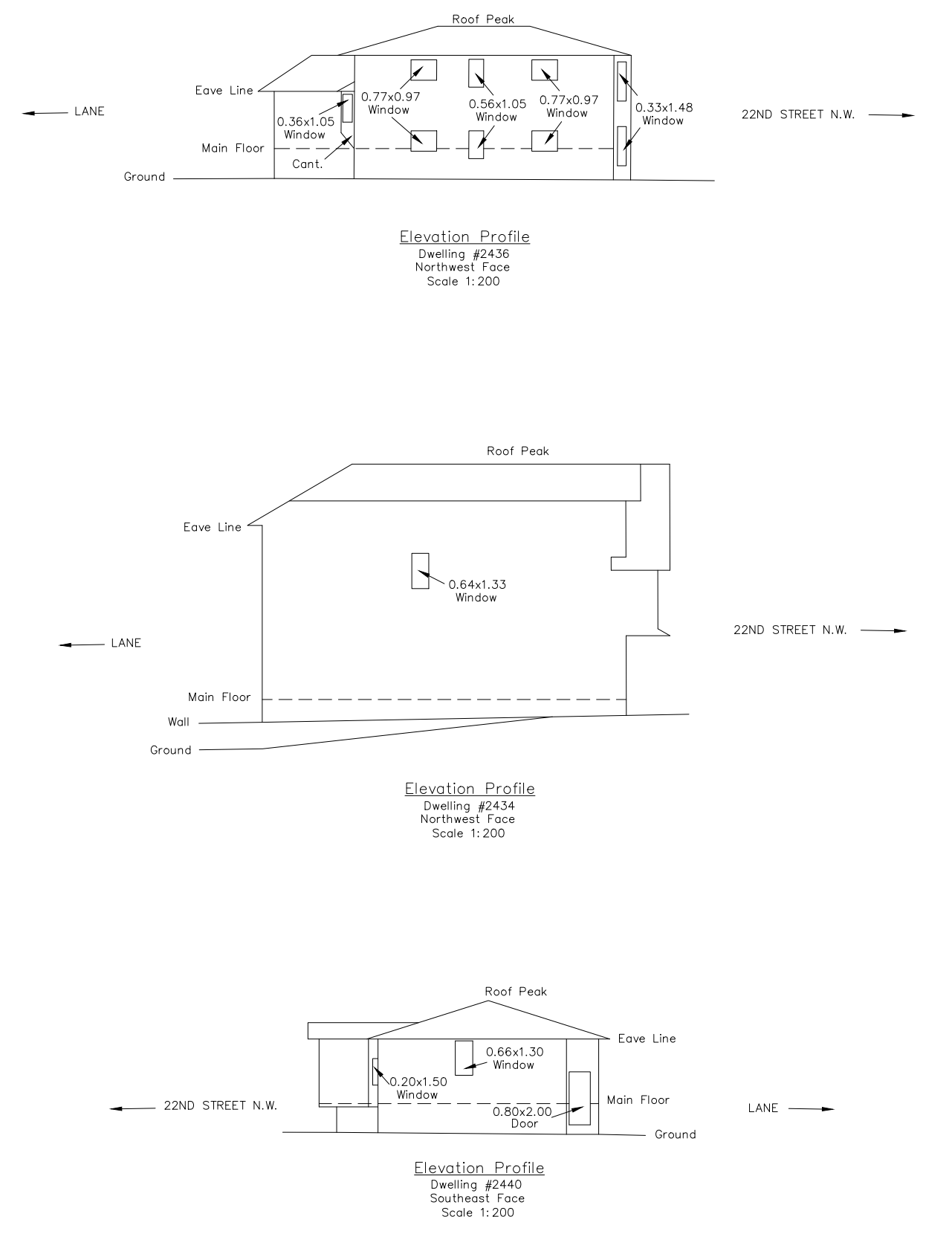
MUNICIPAL ADDRESS:
2440 – 22ND STREET N.W.
CALGARY, ALBERTA

CLIENT: ABANOUB DEVELOPMENTS LTD.
ADDRESS: 1904 – 20TH AVENUE N.W.
CALGARY, ALBERTA T2M 1H5

LEGAL DESCRIPTION:

LOT 10; BLOCK 12; PLAN 9110 GI
WITHIN THE
S.W.1/4 SEC.29, TWP.24, RGE.1, W.5thM.

SCALE 1 : 200



Legend:

- A.S.C.M. DENOTES ALBERTA SURVEY CONTROL MARKER.
- B.O.C DENOTES BACK OF CURB.
- B.O.W DENOTES BACK OF WALK.
- CB DENOTES CATCH BASIN.
- CC DENOTES CURB CUT
- Clk.M. DENOTES CHECK MEASURED.
- C/L DENOTES CENTRE LINE.
- Ha. DENOTES HECTARES.
- L.O.G DENOTES LIP OF GUTTER
- LP DENOTES LAMP POLE
- m DENOTES METRES.
- M. DENOTES MERIDIAN.
- Mkd. DENOTES MARKED.
- PA DENOTES POLE ANCHOR.
- PL DENOTES PLACED.
- P/L DENOTES PROPERTY LINE.
- Rad. DENOTES RADIAL.
- Rge. DENOTES RANGE.
- R/W DENOTES RIGHT-OF-WAY.
- SEC. DENOTES SECTION.
- SP DENOTES SIGN POST.
- Twp. DENOTES TOWNSHIP.
- TEST HOLE SHOWN THUS:
- WATER VALVE SHOWN THUS:
- POWER POLE SHOWN THUS:
- MANHOLE SHOWN THUS:
- GAS VALVE SHOWN THUS:
- FIRE HYDRANT SHOWN THUS:
- CONFEROUS TREE SHOWN THUS:
- DECIDUOUS TREE SHOWN THUS:
- FENCE IS SHOWN THUS:
- OVERHEAD UTILITIES SHOWN THUS:

NOTES:

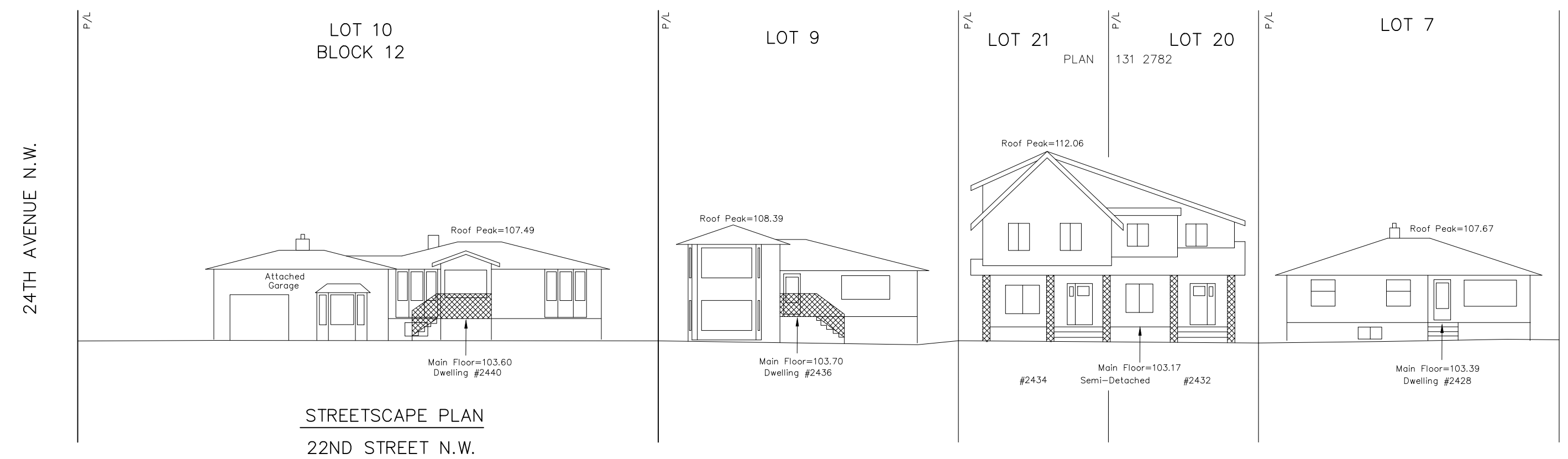
ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN.
DISTANCES ON CURVES ARE ARC DISTANCES
ELEVATIONS ARE GEODETIC AND DERIVED FROM A.S.C.M. #145045
TITLE INFORMATION IS BASED ON CERTIFICATE OF TITLE No. 151 298 113
TITLE SEARCH DATED 11/02/16

PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:
-CAVEAT INST. No. 1358QL (RESTRICTIVE COVENANT)

ALL UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION.

ELEVATIONS ARE SHOWN THUS: $\times 10^{0.4}$ = 1102.41 METRES (GEODETIC)

TREE DATA						
TREE	Type	Canopy	Height	Diameter	Species	Action
1	Coniferous	6	15	0.40		Remove
2	Coniferous	6	15	0.40		Remove
3	Deciduous	5	12	0.50		Remove
4	Coniferous	4	14	0.30		Remove
5	Coniferous	4	15	0.30		Remove
6	Coniferous	5	13	0.40		Remove
7	Deciduous	5	15	1.00		Remove
8	Deciduous	1.5	2	0.10	American Elm	6
9	Deciduous	1.5	2	0.10	American Elm	6
10	Deciduous	6	6	0.60		Remove
11	Deciduous	7	7	0.30	Paper Birch	2B
12	Deciduous	2	2.5	0.10	Crabapple	6
13	Deciduous	6	3	Clump	Lilic shrub	Remove
14	Deciduous	5	5	0.40		Remove
15	Deciduous	4	4	0.15		Remove



DATE: FEBRUARY 22, 2016
MARCH 13, 2017
OCTOBER 29, 2018
DATE OF SURVEY: FEBRUARY 18, 2016
MARCH 10, 2017
OCTOBER 26, 2018
SURVEYOR'S INITIALS: JR/KH/YK
JR/KH/WO

Jones Geomatics Ltd.
Alberta Land Surveyor
#20,1323-44th Ave. N.E., Calgary, Alberta T2E 6L5
Ph. (403) 230-0778 Fax (403) 230-0714
E-mail: jonesgeo@telus.net Job No. H08141-16