

PROPOSED

PUD2020-0915
ATTACHMENT 1

BYLAW NUMBER 29M2020

BEING A BYLAW OF THE CITY OF CALGARY TO DESIGNATE ST. MARY'S PARISH HALL/CNR STATION AS A MUNICIPAL HISTORIC RESOURCE

WHEREAS the *Historical Resources Act*, R.S.A. 2000 c. H-9, as amended (the "Act") permits The City of Calgary Council ("City Council") to designate any historic resource within the municipality whose preservation City Council considers to be in the public interest together with any specified land in or on which it is located, as a Municipal Historic Resource;

AND WHEREAS the owners of St. Mary's Parish Hall/CNR Station have been given sixty (60) days written notice of the intention to pass this Bylaw in accordance with the Act;

NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:

SHORT TITLE

1. This Bylaw may be cited as "City of Calgary Bylaw to Designate St. Mary's Parish Hall/CNR Station as a Municipal Historic Resource".

BUILDING AND LAND DESIGNATED AS A MUNICIPAL HISTORIC RESOURCE

2. The building known as St. Mary's Parish Hall/CNR Station, located at 141 18 AV S.W., and the land on which the building is located being legally described as PLAN 8611375; BLOCK 11; LOT 1 (the "Historic Resource"), as shown in the attached Schedule "A", are hereby designated as a Municipal Historic Resource.
3. The specific elements of the Historic Resource possessing heritage value are hereafter referred to as the Regulated Portions (the "Regulated Portions"). The Regulated Portions are identified in the attached Schedule "B".

PERMITTED REPAIRS AND REHABILITATION

4. a) The Regulated Portions of the Historic Resource as described or identified in Schedule "B" shall not be removed, destroyed, disturbed, altered, rehabilitated, repaired or otherwise permanently changed, other than for routine preservation and maintenance work, without prior written approval from City Council, or the person appointed by City Council as the Approving Authority for the purposes of administration of Section 26 of the Act. Any alteration, rehabilitation, repair or change to the Regulated Portions must be in accordance with the terms of the Parks Canada 2010 publication Standards and Guidelines for the Conservation of Historic Places in Canada, (the "*Standards and Guidelines*"), as referenced and summarized in the attached Schedule "C".
b) All portions of the Historic Resource which are not described or identified as a Regulated Portion in Schedule "B" are hereby known as the Non-regulated Portions (the "Non-regulated Portions"). The Non-regulated Portions are not subject to the *Standards and*

PROPOSED BYLAW NUMBER 29M2020

Guidelines and may be rehabilitated, altered or repaired, provided that such rehabilitation, alteration, and repair does not negatively impact the Regulated Portions or adversely affect the historical, contextual or landmark character of the property, and that all other permits required to do such work have been obtained.

COMPENSATION

5. No compensation pursuant to Section 28 of the *Act* is owing.

EXECUTION OF DOCUMENTS

6. Any employees of The City of Calgary who exercise land use and heritage planning powers and duties are hereby authorized to execute such documents as may be necessary to give effect to this Bylaw.

SCHEDULES

7. The schedules to this Bylaw form a part of it.

NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:

8. This Bylaw comes into force on the day it was passed.

READ A FIRST TIME ON _____

READ A SECOND TIME ON _____

READ A THIRD TIME ON _____

MAYOR

SIGNED ON _____

CITY CLERK

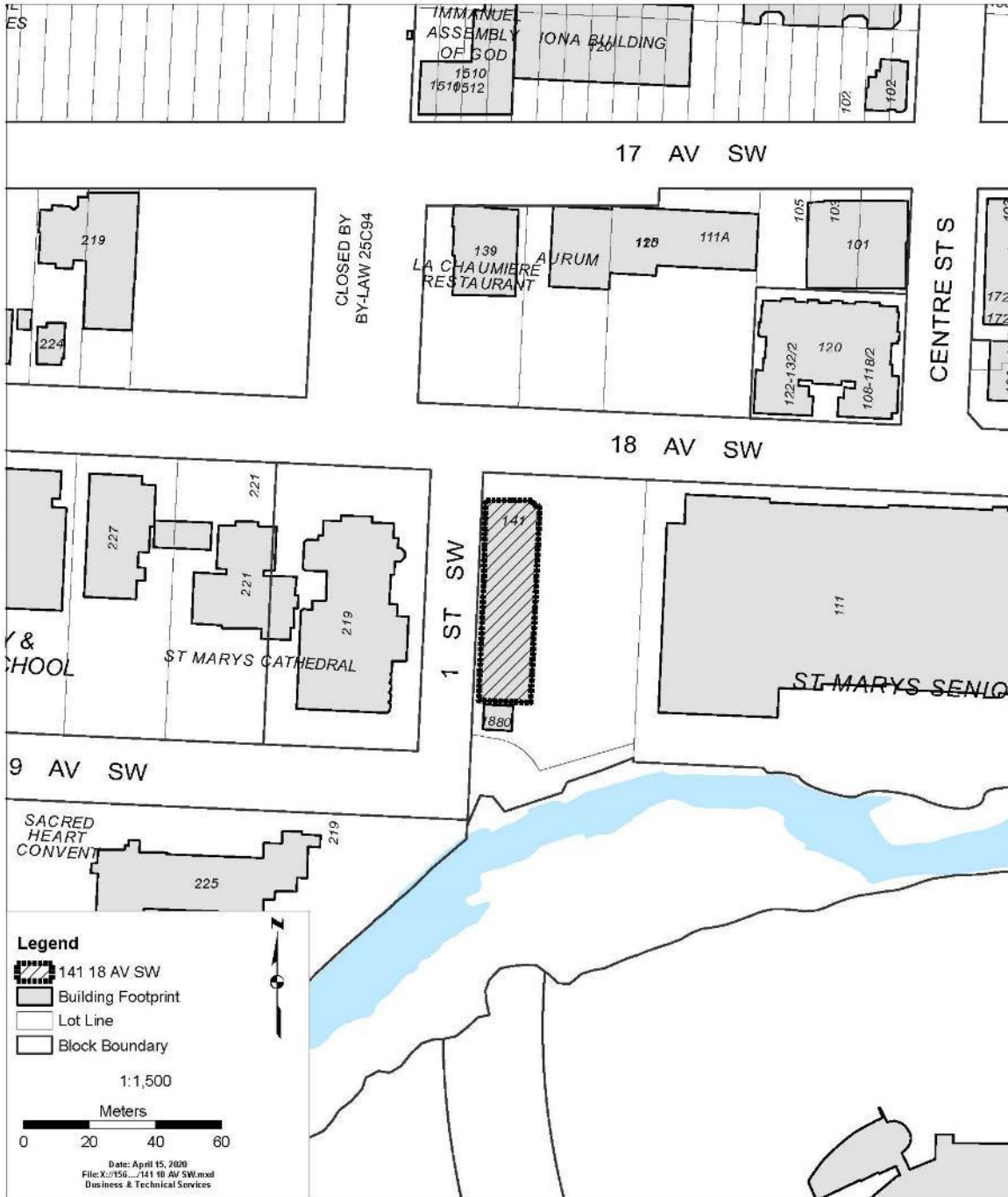
SIGNED ON _____

PROPOSED BYLAW NUMBER 29M2020

SCHEDULE "A"



141 18 AV SW



PROPOSED BYLAW NUMBER 29M2020

SCHEDULE "B"

Description

The St. Mary's Parish Hall/CNR Station is a three-storey sandstone building constructed in 1905, with one-storey brick (1916) and wood-frame (1951) additions at the south end. The sandstone Parish Hall portion features a gambrel roof with hipped dormers along both sides, and Classical detailing on its "boomtown" front façade. These features are integrated with the more functional railway style of the additions through a canopy and overhanging eaves along the east elevation. Many of the building components, including the roof, front entablature, and trackside canopy, were reconstructed after a fire in 1985. The structure is situated on six irregular lots adjacent to the Elbow River, in the community of Mission.

Heritage Value

The St. Mary's Parish Hall/CNR Station is valued as an early sandstone building in Calgary, influenced by the Edwardian Classical style. Constructed of locally sourced sandstone, the parish hall was designed by prominent Calgary architect James J. O'Gara. It is distinguished by its unique gambrel roof with rows of windowed dormers along both sides, and a false "boomtown" front more commonly seen on commercial structures of the era in western Canada. The façade is dominated by Classical details including four pilasters that support a heavy cornice and central pediment, giving an appearance of symmetry and solidity. The round-arched window on the upper front façade is reminiscent of the Romanesque Revival style, which was preferred among Catholic institutions around the time of construction. The contrasting rear extension, with its deep roof overhang supported by brackets, has a more functional quality that is typical of railway architecture embodying the building's long identity as a railway station. The site also has institutional value for its association with the Oblates of Mary Immaculate, a Roman Catholic missionary congregation that established the mission of Notre Dame de la Paix that eventually became the Roman Catholic francophone village of Rouleauville in 1899. The Oblates also established the Sacred Heart Convent, Holy Cross Hospital, and St. Mary's Church in the district.

As one of few extant structures built during the period of Oblate influence in Rouleauville (now Mission), it has symbolic value as a reminder of the community's early French-speaking, Roman Catholic character. After its completion in 1905, it became the centre of the community's social and cultural life, used for recitals and plays, and housed as many as 19 societies and organizations. Members of the St. Mary's Club could access reading, music and billiard rooms, and a bowling alley. The increasingly Anglicized community of Rouleauville was annexed to Calgary in 1907, and by 1916 Bishop McNally replaced the Oblate Fathers with diocesan clergy, effectively ending the Francophone dominance in the Parish.

The site has activity value for its use as a rail transportation hub for almost six decades under the ownership of the Canadian Northern Railway, which merged with Canadian National Railways in 1923. In 1911, the company purchased St. Mary's Parish Hall and passenger service began in 1914, east to Saskatoon along the Goose Lake Line, and north to Edmonton. In 1916 Canadian Northern Railway converted the former Parish Hall into a temporary train station, adding a trackside wooden platform and canopy on the east side of the building, and a brick extension to the south, which served as the Express department. Plans for the new terminal were shelved due to financial difficulties exacerbated by the First World War, and the CNR remained in the former Parish Hall, which they further extended with a wood frame freight shed in 1951. On July 5, 1971 rail service ended, and the station was permanently closed.

PROPOSED BYLAW NUMBER 29M2020

The site sat vacant for several years until 1979 when the City of Calgary acquired the station as part of a larger purchase from the CNR, and soon afterward the building became the first permanent home of the fledgling Calgary City Ballet, founded in 1982. A school of ballet and full-sized professional rehearsal and recital studios opened in the spring of 1987, following a restoration that was compelled in part by a fire two years earlier. In 1990 the Calgary City Ballet and Alberta Ballet merged into one resident dance company, which continues to occupy the building.

The St. Mary's Parish Hall/CNR Station has become a well-known landmark in the community of Mission. Familiar to generations of Calgarians due to its long service as a train station, this structure also has a distinctive presence in Mission as part of grouping of similar-scale buildings constructed under the auspices of the Roman Catholic Church.

Character-defining Elements

The character-defining elements of the St. Mary's Parish Hall/CNR Station include its:

Sandstone Parish Hall:

- The structure's three-storey massing and rectangular form;
- Rubble-coursed sandstone foundation and sandstone masonry walls;
- Boomtown façade with rough-faced sandstone lintels, sills, voussoirs, and string course, and four smooth sandstone pilasters supporting pressed metal entablature with central pediment;
- Gambrel roof with cedar shingles and rows of six hipped windowed dormers alongside elevations;
- Fenestration pattern comprising rows of rectangular windows alongside elevations; four rectangular windows in third storey of north elevation; and pairs of rectangular windows on main façade, flanking one semi-circular window on third storey, a band of three narrow rectangular windows on second storey, and double door opening with single-pane transom on main level;
- Door openings on west elevation including single door (north end) and double door (south end), and two double-door openings on east elevation;
- Wooden platform on east elevation, and canopy supported by rounded brackets

1916 Brick Station Addition:

- Single-storey massing, rectangular form, and red brick cladding;
- Hipped roof with wide overhanging eaves and exposed rafter tails, supported by rounded brackets on east elevation;
- Fenestration pattern comprising eight rectangular window openings with segmental arches and concrete sills on west elevation; and five on east elevation; and
- Single and double door openings on east elevation.

1951 Brick Station Addition:

- Single-storey massing, rectangular form, and wood frame construction;
- Cedar shingle cladding with four horizontal wood "bumper bands" along east elevation;
- Hipped roof with wide overhanging eaves and exposed rafter tails, supported by rounded brackets on east and south elevations;
- Fenestration style comprising multi-pane ribbon windows; and

- St. Mary's Parish Hall/CNR Station structure's siting along almost a full north-south city block, with wide setback on north end.

PROPOSED BYLAW NUMBER 29M2020

REGULATED PORTIONS

1.0 North Façade

The following elements are regulated:

Sandstone Parish Hall

- a) Rubble-coursed sandstone foundation, stairway pedestals and sandstone masonry wall (Images 1.1 -1.4);
- b) Fenestration pattern comprising pairs of rectangular windows, one semi-circular window on third storey, a band of three narrow rectangular windows on second storey, and double door opening with single-pane transom (Images 1.1 - 1.4);
- c) Rough-faced sandstone lintels, sills, voussoirs, and string course, and four smooth sandstone pilasters (Images 1.1 - 1.3); and
- d) Pressed metal entablature with central pediment and flag pole; (Images 1.1, 1.3 and 1.4).



(Image 1.1: North façade)

PROPOSED BYLAW NUMBER 29M2020



(Image 1.2: Rubble-coursed sandstone foundation and sandstone wall)



(Image 1.3: Detail of pressed metal entablature with central pediment, string course, voussoirs, rough-faced sandstone lintels and sills)



(Image 1.4: Detail of pressed metal entablature as it wraps around 'boomtown' façade)

2.0 East Façade

The following elements are regulated:

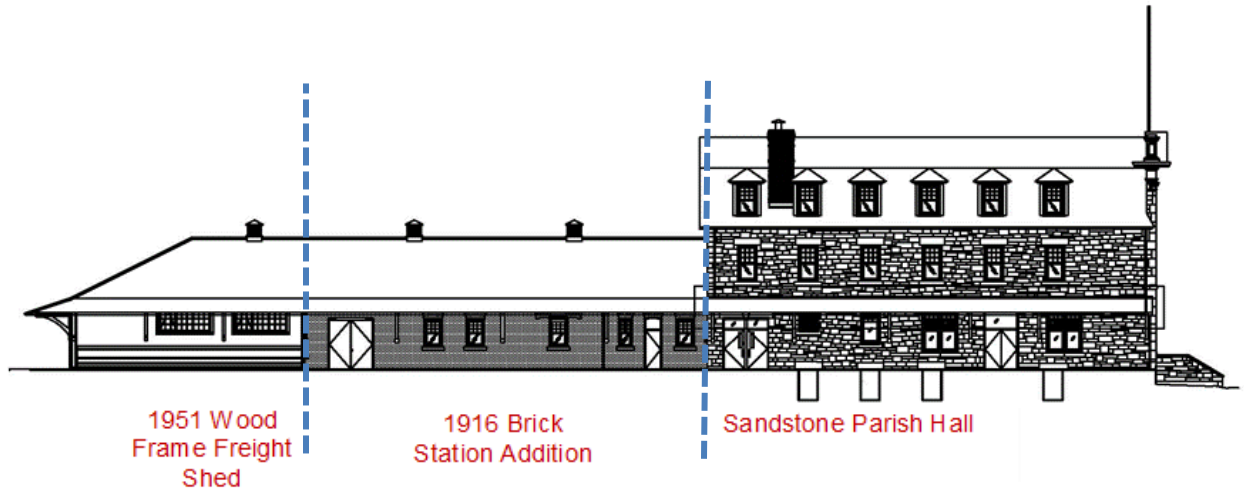
Sandstone Parish Hall

- a) Rubble-coursed sandstone foundation and sandstone masonry wall (Image 2.2);
- b) Fenestration comprised of rows of rectangular windows with rough-faced sandstone lintels, sills; two double-door openings (Images 2.1 – 2.3);
- c) Portion of the station wooden platform and deep canopy with exposed rafter tails and wood soffits, supported by rounded brackets (Images 2.2 and 2.3);

1916 Brick Station Addition

- e) Red brick cladding (Image 2.4);
- f) Fenestration comprised of five rectangular nine-over-one hung windows with segmental arches and concrete sills; single and double door openings (Images 2.1, 2.2, 2.4 and 2.5); and
- g) Station wooden platform continuing from original Sandstone Parish Hall (Images 2.2 – 2.4).

PROPOSED BYLAW NUMBER 29M2020



(Image 2.1: East façade development phases of St. Mary's Parish Hall/CNR Station)



(Image 2.2: Oblique view of east façade)



(Image 2.3: East facade of Sandstone Parish Hall)

PROPOSED BYLAW NUMBER 29M2020



(Image 2.4: 1916 Brick Station Addition)



(Image.2.5: Detail of segmental arch window and concrete sill)

PROPOSED BYLAW NUMBER 29M2020

3.0 West Façade

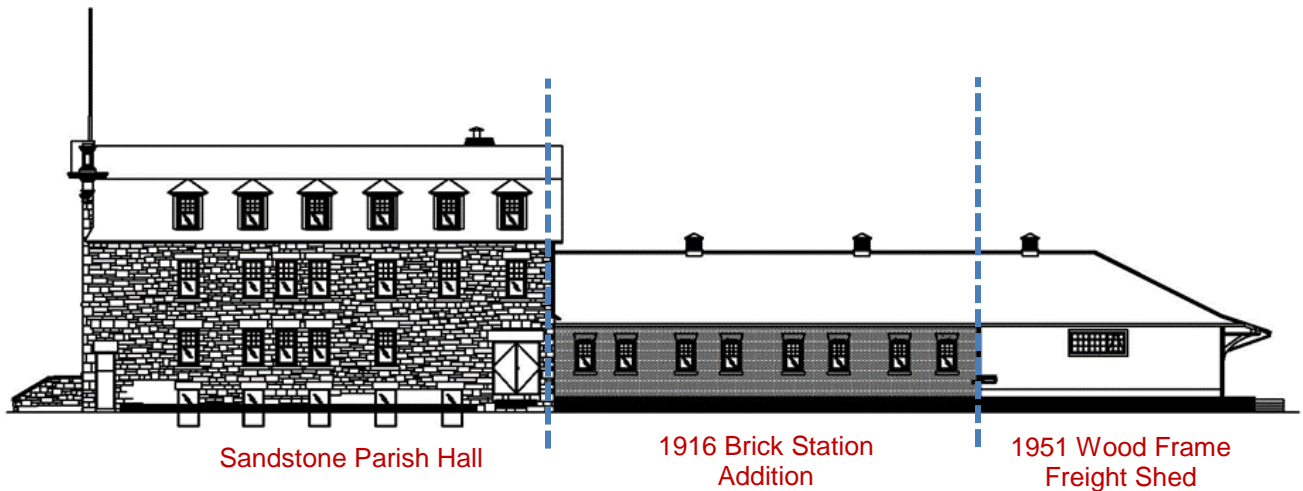
The following elements are regulated:

Sandstone Parish Hall

- Rubble-coursed sandstone foundation and sandstone masonry wall (Image 3.2);
- Fenestration comprised of rows of rectangular windows with rough-faced sandstone lintels, sills; a single and a double-door openings (Image 3.2);

1916 Brick Station Addition

- Red brick cladding (Image 3.3); and
- Fenestration comprised of eight rectangular nine-over-one hung windows with segmental arches and concrete sills; single and double door openings (Image 3.3).



(Image 3.1: West façade development phases of St. Mary's Parish Hall/CNR Station)



(Image 3.2: Oblique view of Sandstone Parish Hall west façade)

PROPOSED BYLAW NUMBER 29M2020



(Image 3.3: 1916 Brick Station Addition west façade)

4.0 South Façade

The following elements are regulated:

St. Mary's Parish Hall/CNR Station (Sandstone Parish Hall)

- a) Sandstone masonry wall and cedar shingle cladding (Image 4.1); and
- b) Fenestration comprised of four rectangular windows (Image 4.1).



(Image 4.1: Oblique view of south façade)

PROPOSED BYLAW NUMBER 29M2020

5.0 Form, Scale, Massing and Roof

The following elements are regulated:

Sandstone Parish Hall

- a) Three-storey massing and rectangular form;
- b) Gambrel roof with cedar shingles and rows of six hipped windowed dormers;

1916 Brick Station Addition

- c) Single-storey massing, rectangular form;
- d) Hipped roof with deep eaves with exposed rafter tails and wood soffits, supported by rounded brackets (Images 5.1 and 5.2);

1951 Wood Frame Freight Shed

- e) Single-storey massing and rectangular form; and
- f) Hipped roof with deep eaves with exposed rafter tails and wood soffits, supported by rounded brackets (Images 5.1 – 5.4).



(Image 5.1: Detail of deep eaves with exposed rafter tails and wood soffits, supported by rounded brackets, continuous along east and south portions of St. Mary's Parish Hall/CNR Station phases)



(Image 5.2: 1951 Wood Frame Freight Shed)

PROPOSED BYLAW NUMBER 29M2020



(Image 5.3: 1951 Wood Frame Freight Shed east façade)



(Image 5.4: 1951 Wood Frame Freight Shed west façade)

6.0 Land

The land is regulated as follows:

- a) The building's existing location and placement on the property (as shown on attached Schedule "A").

PROPOSED BYLAW NUMBER 29M2020

SCHEDULE "C"

The primary purpose of the *Standards and Guidelines* is to provide guidance to achieve sound conservation practice. They are used to assess proposed changes to designated Municipal Historical Resources and form the basis for review and assessment for the approved rehabilitation program.

The *Standards and Guidelines* were developed by Parks Canada and were formally adopted by The City of Calgary in 2005. They provide a philosophical consistency for project work; and while neither technical nor case-specific, they provide the framework for making essential decisions about those features of a historic place, which should be maintained and cannot be altered.

The *Standards* listed below and the referenced *Guidelines* shall apply to the Regulated Portions and any rehabilitation or maintenance work undertaken with respect to them at any time.

The Standards

Definitions of the terms in italics below are set forth in the Introduction of the *Standards and Guidelines*. In the event of a conflict between the italicized terms below and those in the *Standards and Guidelines*, the latter shall take precedence. The Standards are not presented in a sequential or hierarchical order, and as such, equal consideration should be given to each. All Standards for any given type of treatment must therefore be applied simultaneously to a project.

General Standards (all projects)

1. Conserve the *heritage value* of a *historic place*. Do not remove, replace, or substantially alter its intact or repairable *character-defining elements*. Do not move a part of a *historic place* if its current location is a *character-defining element*.
2. Conserve changes to a *historic place* which, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other *historic places* or other properties or by combining features of the same property that never coexisted.
5. Find a use for a *historic place* that requires minimal or no change to its *character defining elements*.
6. Protect and, if necessary, stabilize a *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any *intervention*. Respect *heritage value* when undertaking an *intervention*.
8. Maintain *character-defining elements* on an ongoing basis. Repair *character-defining elements* by reinforcing their materials using recognized conservation methods. Replace in kind any

PROPOSED BYLAW NUMBER 29M2020

extensively deteriorated or missing parts of *character-defining elements*, where there are surviving prototypes.

9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible and identifiable upon close inspection and document any *intervention* for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where *character-defining elements* are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to a *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the *historic place*.
12. Create any new additions or related new construction so that the essential form and integrity of a *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the restoration period. Where *character-defining elements* are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

Guidelines

The full text of the *Standards and Guidelines* is available online through www.historicplaces.ca, or from:

Parks Canada National Office
25 Eddy Street
Gatineau, Quebec K1A 0M5