



## VARSITY MULTI-SERVICE REDEVELOPMENT | ISSUED FOR DP | AUGUST 13, 2020

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#### notes

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#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Design Development	2020.01.17
3	Issued for DP DTR1	2020.04.15
4	Issued for DP DTR2	2020.06.29
5	Issued for DP	2020.08.13

seal

seal

permit

PRELIMINARY  
NOT FOR CONSTRUCTION

#### consultants

Architectural: the m b a c architectural collaborative & johnson dudman architecture - planning  
Landscape: ESL Engineering and Land Services  
Structural: Engineered Corporation  
Mechanical: The M.E. Consulting Group Ltd.  
Electrical: Nemitz & Associates Ltd.  
Civil: ESL Engineering and Land Services  
Consultant Project Number: 18004



CITY OF CALGARY

project

Varsity Multi-Service Redevelopment

location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 1799GC Block 2 Lot 9

drawing title

COVER SHEET

scale  
as noted

all dimensions are in millimeters

drawn by

Author

drawing no.

DP-000

checked by

Checker

revised by

project no.

18004

CAD file name:

**LOT 1 - PROPOSED VARSITY MULTI-SERVICE REDEVELOPMENT**

**AREA COVERAGE:**

**DENSITY:**

PROPOSED LOT 1 PARCEL SIZE	8874m <sup>2</sup>	PROPOSED UNITS (RESIDENTIAL):	48
BUILDING COVERAGE:	1412m <sup>2</sup>	PROPOSED UNITS PER HECTARE (UPH):	54
HOUSEHOLD HAZARDOUS WASTE COVERED BICYCLE STORAGE:	237m <sup>2</sup>		
TOTAL LOT 1 PARCEL COVERAGE:	571m <sup>2</sup>	UPH = Units divided by Parcel Area	

**GROSS FLOOR AREAS:**

PROPOSED GFA:	7444m <sup>2</sup>
FLOOR AREA RATIO (FAR):	0.839

FAR = GFA Divided by Parcel Area

LEVEL	T.O. MAIN FLOOR	USE	AREA (m <sup>2</sup> )
LEVEL 1.0 - T.O. MAIN FLOOR	MULTI RESIDENTIAL		82 m <sup>2</sup>
LEVEL 1.0 - T.O. MAIN FLOOR	SHARED		139 m <sup>2</sup>
LEVEL 1.0 - T.O. MAIN FLOOR	OFFICE		171 m <sup>2</sup>
LEVEL 1.0 - T.O. MAIN FLOOR	CHILD CARE		19 m <sup>2</sup>
LEVEL 1.0 - T.O. MAIN FLOOR	MULTI RESIDENTIAL		22 m <sup>2</sup>
LEVEL 1.0 - T.O. MAIN FLOOR	PROTECTIVE AND EMERGENCY SERVICES		929 m <sup>2</sup>
LEVEL 1.0 - T.O. MAIN FLOOR	SERVICES		94 m <sup>2</sup>
			1456 m <sup>2</sup>
LEVEL 2.0 - T.O. 2nd FLOOR	CHILD CARE		481 m <sup>2</sup>
LEVEL 2.0 - T.O. 2nd FLOOR	SHARED		51 m <sup>2</sup>
LEVEL 2.0 - T.O. 2nd FLOOR	PROTECTIVE AND EMERGENCY SERVICES		514 m <sup>2</sup>
LEVEL 2.0 - T.O. 2nd FLOOR	MULTI RESIDENTIAL		14 m <sup>2</sup>
			1060 m <sup>2</sup>
LEVEL 3.0 - T.O. 3rd FLOOR	MULTI RESIDENTIAL		1232 m <sup>2</sup>
			1232 m <sup>2</sup>
LEVEL 4.0 - T.O. 4th FLOOR	MULTI RESIDENTIAL		1232 m <sup>2</sup>
			1232 m <sup>2</sup>
LEVEL 5.0 - T.O. 5th FLOOR	MULTI RESIDENTIAL		1232 m <sup>2</sup>
			1232 m <sup>2</sup>
LEVEL 6.0 - T.O. 6th FLOOR	MULTI RESIDENTIAL		1232 m <sup>2</sup>
			1232 m <sup>2</sup>
Grand total			7444 m <sup>2</sup>

**MOTOR VEHICLE PARKING STALLS:**

STAKEHOLDER/USE	REQUIRED	PROVIDED	DIFFERENCE	STALL SHARING	BYLAW/PROGRAM REQUIREMENT
Child Care - Drop Off	6	6	0	-	Requires min. of 1.0 pick-up/drop-off per 10 children; 55 children = 6 drop-off stalls.
Child Care - Staff	8	8	0	-	Requires min. of 1.0 parking stalls per 2 employees at any given time, or 1.0 stalls per 10 children; 16 staff = 8 stalls.
Office - Staff (Corporate Accommodation)	4	4	0	City of Calgary Shared Staff Stalls	Requires min. of 2.0 parking stalls per 100.0 square m of gross usable floor area; 168 m <sup>2</sup> = 4.0 stalls.
Office - Loading (Corporate Accommodation)	0	0	0	-	0.0 loading stalls where the cumulative gross floor area of all buildings on a parcel is less than or equal to 930.0 square metres.
Multi-Residential - Tenant (Calgary Housing)	60	48	-12	NA - Designated Tenant Parking	Requires 1.25 stalls when unit has gross floor area greater than 60.0 sq. m. Requires 1.0 stalls when unit has gross floor area equal to or less than 60.0 sq. m. Total stalls proposed per Calgary Housing programming requirements = 48.
Multi-Residential - Visitor (Calgary Housing)	8	0	-8	Evening Visitor Shared Stalls	Requires 0.15 visitor parking stalls per unit; 48 units = 8 stalls.
Protective and Emergency Services - Staff (Calgary Fire Department and Alberta Health Services)	-*	18	18	City of Calgary Shared Staff Stalls	Bylaw does not require motor vehicle parking. Program requires: 16 CFD staff parking for a 16 person shift; 2 AHS staff parking for 2 person shift = 18 stalls.
Protective and Emergency Services - Visitor (Calgary Fire Department and Alberta Health Services)	-*	2	2	City of Calgary Shared Staff Stalls	Bylaw does not require motor vehicle parking. Program requires: 2 visitor stalls. Proposed sharing with CA staff parking.
Protective and Emergency Services - Loading (Calgary Fire Department and Alberta Health Services)	-*	0	-	-	Bylaw does not require motor vehicle parking. Program requires: 0 loading stalls.
Waste Disposal & Treatment Facility - Drop Off (Household Hazardous Waste)	-*	3	3	NA - Designated H-HND Stalls	Bylaw does not require motor vehicle parking. Program requires 3 drop-off stalls due to assessed existing customer usage; the existing site services 75-100 customers per day during spring/summer/fall and 25-50 customers per day during winter; drop-off stalls will be signed as loading stalls.
Loading Stalls - (Multi-Residential Development)	1	1	0	-	Where a building contains 20 or more units with shared entrance facilities, a minimum of 1.0 loading stalls is required. Temporary loading stall is proposed. Refer to CF-100.
Loading Stalls - CFD & AHS (Protective and Emergency Response Services)	-*	0	0	-	Bylaw does not require motor vehicle parking. Program requires: 0 loading stalls.
Loading Stalls - Office & CPU	0	0	0	-	0.0 loading stalls where the cumulative gross floor area of all buildings on a parcel is less than or equal to 930.0 square metres.
<b>Total</b>	<b>87</b>	<b>90</b>	<b>3</b>	<b>24 City of Calgary Staff Stalls, 8 Shared Child Care Staff and Visitor Stalls, 38% of proposed stalls are shared.</b>	

\*None does not require parking

**BICYCLE PARKING STALLS:**

STAKEHOLDER/USE	NUMBER	BYLAW/PROGRAM REQUIREMENT
Protective and Emergency Services - Class 1	2	Requires a minimum of 1.0 bicycle parking stalls - class 1 per 1000.0 square metres of gross usable floor area.
Protective and Emergency Services - Class 2	2	Requires a minimum of 1.0 bicycle parking stalls - class 2 per 1000.0 square metres gross usable floor area for Offices greater than 1000.0 square metres.
Multi-Residential - Class 1	24	As per the bylaw, 0.5 stalls - class 1 per unit, where the total number of units is equal to or exceeds 20.
Multi-Residential - Class 2	5	As per the bylaw, 0.1 stalls - class 2 per unit, with a minimum of 2.0 stalls.
Office - Class 1	1	Requires a minimum of 1.0 bicycle parking stalls - class 1 per 1000.0 square metres of gross usable floor area.
Office - Class 2	1	Requires a minimum of 1.0 bicycle parking stalls - class 2 per 1000.0 square metres gross usable floor area for Offices greater than 1000.0 square metres.
Waste Disposal & Treatment Facility - Class 1	0	None required by bylaw or program.
Waste Disposal & Treatment Facility - Class 2	0	None required by bylaw or program.
Child Care - Class 1	1	Requires a minimum of 1.0 bicycle parking stalls - class 1 per 1000.0 square metres of gross usable floor area.
Child Care - Class 2	1	Requires a minimum of 1.0 bicycle parking stalls - class 2 per 1000.0 square metres gross usable floor area for Offices greater than 1000.0 square metres.
<b>SUB-TOTAL</b>	<b>28</b>	<b>56 Provided, 10 Provided.</b>

**AMENITY SPACE SCHEDULE:**

REQUIRED AMENITY SPACE	TOTAL AREA
48 Units x 5.0 m <sup>2</sup> per unit	240.0 m <sup>2</sup>
<b>PROVIDED AMENITY SPACE</b>	<b>TOTAL AREA</b>
Provided Private Amenity Space (Balcony) (4 m <sup>2</sup> / Unit)	192 m <sup>2</sup>
Provided Total Common Amenity Space - Outdoors Resource Room Deck	42.7 m <sup>2</sup>
Provided Total Common Amenity Space - Indoors Resource Room (L3): Social Spaces (L4 - L6): 36 x 3 =	156.0 m <sup>2</sup> 48 m <sup>2</sup> 108 m <sup>2</sup>
Total Provided Amenity Space	390.7 m <sup>2</sup>
<b>Provided Total Amenity Area / Unit</b>	<b>8.14 m<sup>2</sup></b>

**LANDSCAPED AREA SCHEDULE:**

REQUIRED LANDSCAPING	TOTAL AREA
Required landscape area (40% of Lot)	3,550 m <sup>2</sup>
Required landscape area per low irrigation (37% of Lot)	3,284 m <sup>2</sup>
At least 80% of the required landscaping area to be at grade	2,627 m <sup>2</sup>
Required max hard surfaced area (40% of required c/w reductions applied)	1,314 m <sup>2</sup>
<b>PROPOSED LANDSCAPING</b>	<b>TOTAL AREA</b>
At Grade Landscaping	
Hard Surfaced Area (plaza, sidewalks, CFD patio, sloped landscape stairs)	1,120 m <sup>2</sup>
Soft Surfaced Area	1,696 m <sup>2</sup>
<b>Sub-Total</b>	<b>2,816 m<sup>2</sup></b>
Above Grade Landscaping	
Hard Surfaced Area (CPU stairs & terraces, Resource Room deck)	233 m <sup>2</sup>
Soft Surfaced Area (CPU planter)	7 m <sup>2</sup>
<b>Sub-Total</b>	<b>240 m<sup>2</sup></b>
Total Hard Surfaced Area	1,353 m <sup>2</sup>
<b>Total Landscape Area:</b>	<b>3,056 m<sup>2</sup></b>
Total Percentage	34.4%

Refer to Planting Plan L-01 for further information.

**NOTES**

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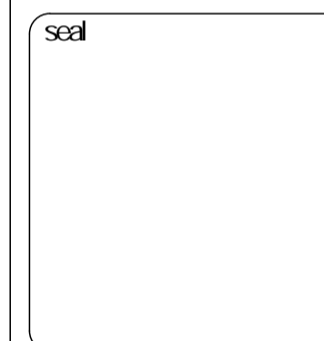
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permit  
**PRELIMINARY  
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**consultants**  
Architectural: the mbc baun architectural collaborative & jordan davidson architecture - planning  
Landscape: ESL Engineering and Land Services  
Structural: Envision Corporation  
Mechanical: The M&E Consulting Group Ltd  
Electrical: Nemz & Associates Ltd  
Civil: ESL Engineering and Land Services  
Consultant Project Number: 1804



**project**  
Varsity Multi-Service Redevelopment  
**location:** Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 1799GC Block 2 Lot 9

**drawing title**  
PERMIT SCHEDULES

scale: as noted all dimensions are in millimeters  
drawn by: Author  
checked by: Checker  
reviewed by:  
CAD file name:  
drawing no.: DP-001  
project no.: 1804

**LINE STYLES**

	CENTRELINE
	DEMOLISHED
	HIDDEN
	OVERHEAD
	(FR) 1 HOUR RATED
	(FR) 1 HOUR SMOKE BARRIER
	(FR) 1.5 HOUR RATED
	(FR) 2 HOUR RATED
	(FR) 3 HOUR RATED
	(FR) NON-RATED SMOKE BARRIER
	PROPERTY LINE
	SETBACK

**HATCH TYPES**

	ALUMINUM		PLASTIC
	BRICK		RIGID INSULATION
	CONCRETE		RIGID INSULATION - MINERAL WOOL
	CONCRETE MASONRY UNIT		SEMI-RIGID INSULATION
	EXPANSION MATERIAL		SHINGLE
	GASKET		SPRAYED INSULATION
	GLASS		STEEL
	GROUND		STONE
	GROUT		WOOD
	GRAVEL/FILL		WOOD SHEATHING
	GYPSTUM		

**TAGS**

	WALL TAG
	ROOM TAG
	CEILING TAG
	DOOR TAG
	KEYNOTE TAG
	EQUIPMENT TAG
	ROOF TAG
	REMISION TAG
	WINDOW TAG
	FLOOR TAG

**VIEW SYMBOLS**

	SECTION HEAD PEN DETAILS
	SECTION HEAD NO ARROW
	SECTION HEAD FILLED BUILDING AND WALL SECTIONS
	LEVEL HEAD
	GRID HEAD
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	VIEW NAME
	VIEW TITLE

**OTHER SYMBOLS**

	SPOT ELEVATION
	CENTRELINE
	PLAN NOTE

**ABBREVIATIONS**

GENERAL:	MATERIAL:	FINISHES:
AF	AC	AL
EQ	ACT	AEC
FR	AL	CT
MX	FG	EC
MIN	FR	FT
MFR	FRP	FG
RCP	GL	LVVP
SIM	GMB	ML
TYP	H	MV
T.O.	HCW	MW
US	INS	MWB
UNO	MDF	PC
VOS	OK	PSC
	PFA	PT
	PR	PF
	PSF	PT-CP
	S	RBC
	SW	RF
	SL	SCHT
	STG	SS
	ST	STS
	TFG	TB
	W	TBC
		VG
		VS
		WBPT
		WP
		WT

**notes**

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Consultant Project Number: 18004

**Calgary** CITY OF CALGARY

**project**

Varsity Mill Service Redevelopment

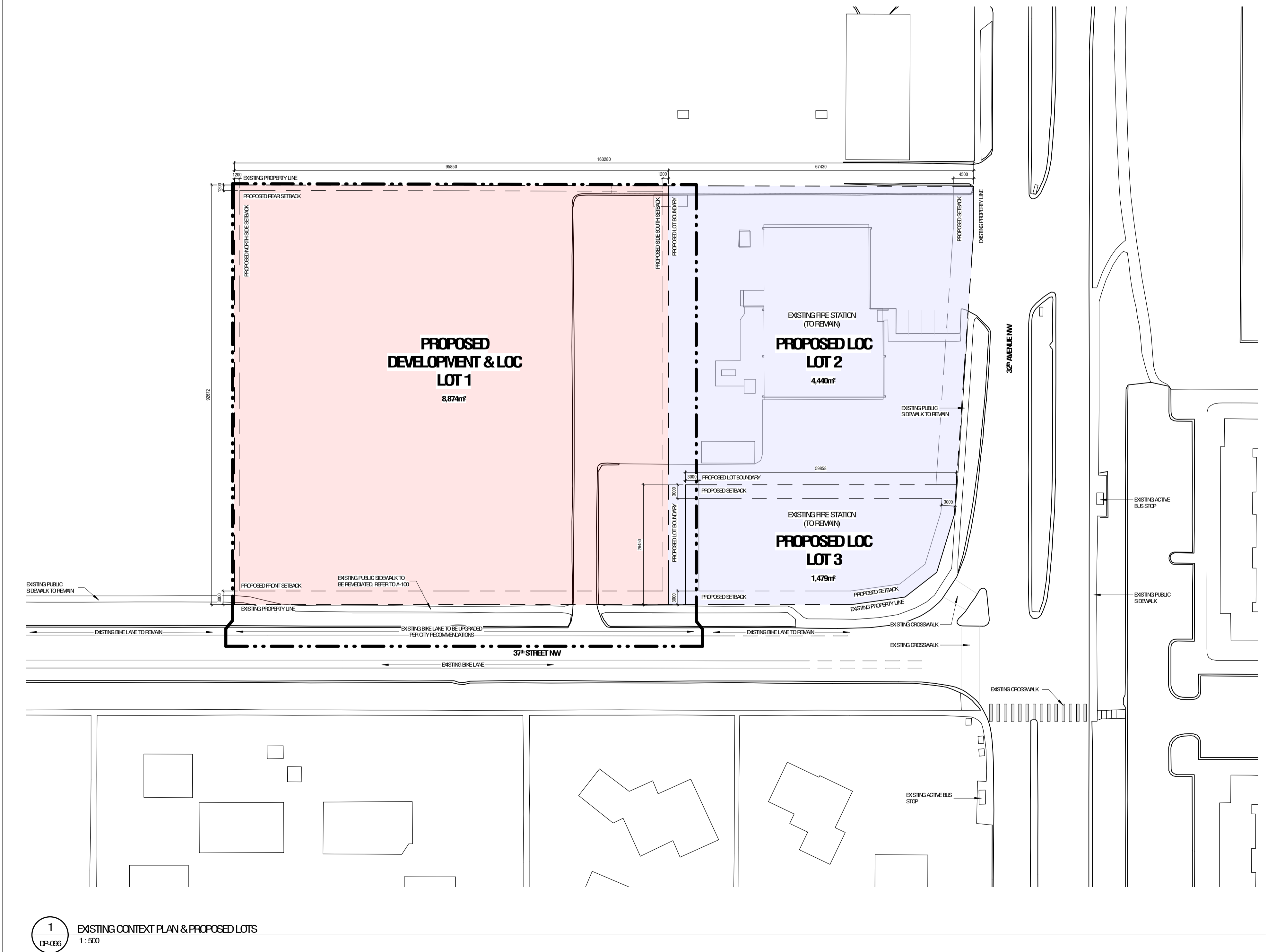
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**drawing title**

**GRAPHIC LEGEND AND ABBREVIATIONS**

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drawn by	Author	drawing no.	DP-002
checked by	Checker		
reviewed by		project no.	18004
CAD file name:			



1 EXISTING CONTEXT PLAN & PROPOSED LOTS 1:500

**LOT LAND USE:**

LOT	PROPOSED USER	CURRENT LAND USE	PROPOSED LAND USE	PROPOSED SETBACKS
LOT 1	PROPOSED WATER	S-UPP	*DC	FRONT 3m
				REAR 1.2m
				SIDE (SOUTH) 1.2m
				SIDE (NORTH) 1.2m
LOT 2	EXISTING FIRE STATION 17 (TO REMAIN)	S-UPP	ML-1	FRONT **MAX 4.5m
				REAR 0m
				SIDE 0m
				SIDE 0m
LOT 3	EXISTING FIRE STATION 17 (TO REMAIN)	S-UPP	S-SFR	FRONT 3m
				REAR 3m
				SIDE 3m
				SIDE 3m

\*1x/2 TO BE USED AS BASE DISTRICT  
 \*\* MAXIMUM SETBACK OF 4.5m FOR 60% OF THE LENGTH OF THE BUILDING FACADE THAT FACES THE STREET  
 LOC = LAND USE REDESIGNATION

**notes**

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←  
northarrow

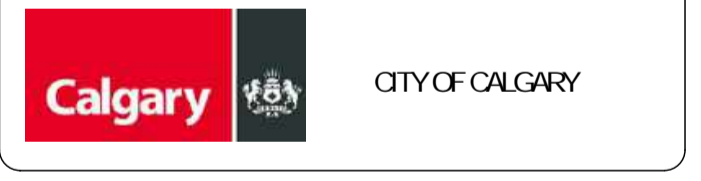
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5	Issued for DP	2020.08.13

seal      seal

**PRELIMINARY  
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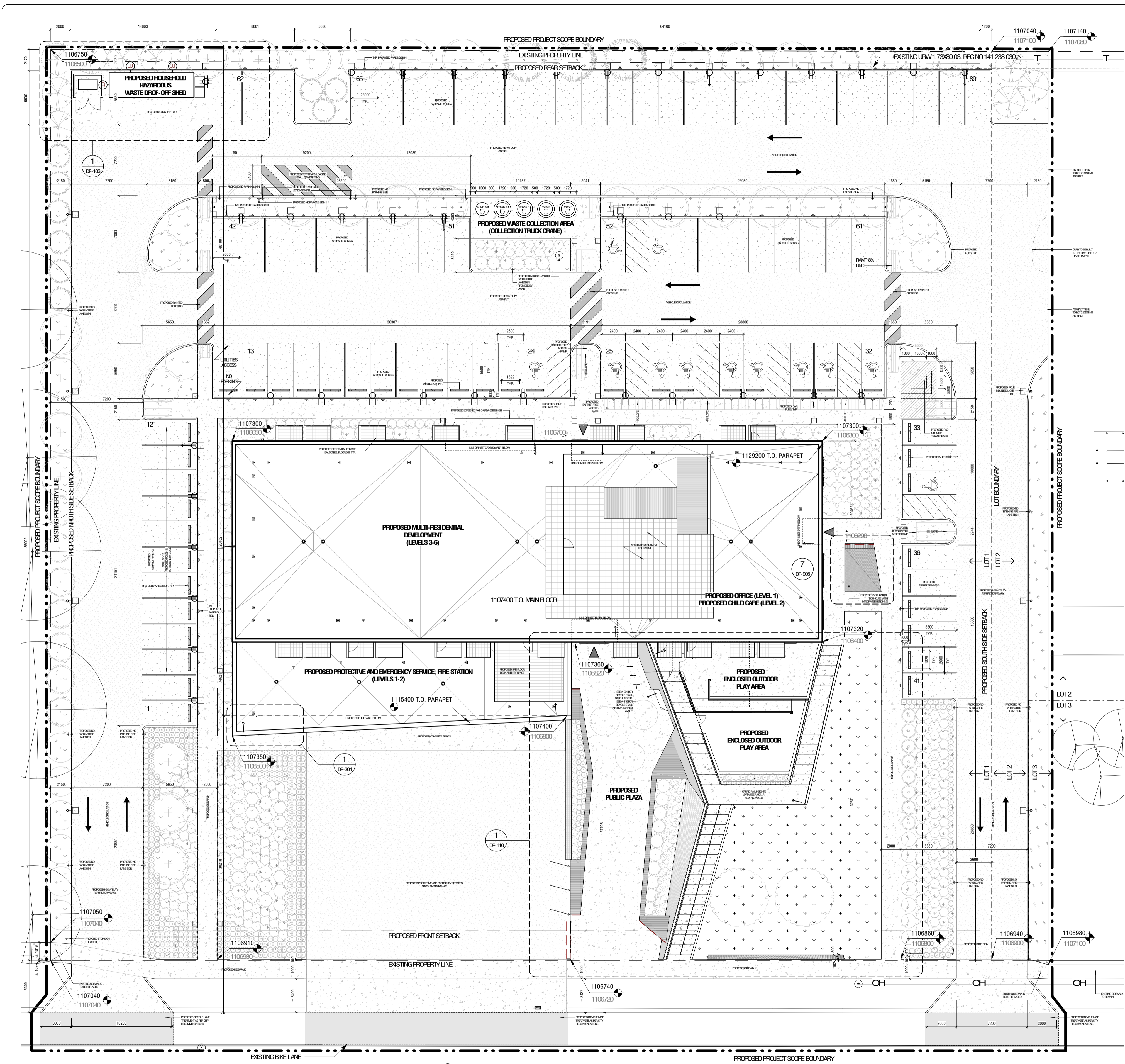
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**project**  
 Varsity Multi-Service Redevelopment  
 Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 1799AC Block 2 Lot 9

**drawing title**  
 CONTEXT PLAN

scale as noted all dimensions are in millimeters  
 drawn by Author drawing no. DP-096  
 checked by Checker  
 reviewed by project no. 18004  
 CAD file name:



**GRAPHIC LEGEND:**

- G- G = BURIED GAS
- CH- CH = OVERHEAD POWER & COMM
- W- W = BURIED WATER
- S- S = BURIED SANITARY
- ST- ST = BURIED CABLE/TELEPHONE
- CT- CT = BURIED CABLE/TELEPHONE
- P- P = BURIED POWER
- T- T = BURIED TELLS

- (Symbol) = EXISTING TREE TO REMAIN
- (Symbol) = PROPOSED TREES & SHRUBS. REFER TO L-01 FOR DETAILS
- (Symbol) = MANHOLE
- (Symbol) = CATCH BASIN
- (Symbol) = HYDRANT
- (Symbol) = CAR PLUG, REFER TO ELECTRICAL
- (Symbol) = POLE MOUNTED LIGHT, REFER TO ELECTRICAL
- (Symbol) = LIGHT BOLLARD, REFER TO ELECTRICAL
- (Symbol) = WALL MOUNTED FIXTURE, REFER TO ELECTRICAL
- (Symbol) = DUPLEX RECEPTACLE, REFER TO ELECTRICAL
- (Symbol) = FACILITY WASTE/RECYCLING/ORGANICS CONTAINER
- (Symbol) = MAIN BUILDING ACCESS POINT
- (Symbol) = UTILITY POLE
- (Symbol) = POLE MOUNTED PARKING / TRAFFIC SIGN

- (Symbol) = PROPOSED HEAVY DUTY ASPHALT
- (Symbol) = PROPOSED STANDARD ASPHALT
- (Symbol) = PROPOSED CONCRETE SIDEWALK/PATH
- (Symbol) = PROPOSED PLANTING MEDIUM
- (Symbol) = PROPOSED SOFT LANDSCAPING
- (Symbol) = PROPOSED ARTIFICIAL TURF
- (Symbol) = PROPOSED CONCRETE PAVERS
- (Symbol) = PROPOSED GEODETIC
- (Symbol) = EXISTING GEODETIC

**NOTES**

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4	Issued for DP DTR1	2020.04.15
5	Issued for LOC DTR1	2020.04.15
6	60% CD Progress Submission	2020.06.24
7	Issued for DP DTR2	2020.06.29
8	Issued for LOC DTR2	2020.06.29
9	Issued for DP	2020.08.13

seal

seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**consultants:**

Architectural: the main boun architectural collaborative & jordan duncan architecture - planning  
 Landscape: ESL Engineering and Land Services  
 Structural: Enbridge Corporation  
 Mechanical: The M.E. Consulting Group Ltd.  
 Electrical: Nemer & Associates Ltd.  
 Civil: ESL Engineering and Land Services  
 Consultant Project Number: 18004



project

Verity Multi-Service Redevelopment

location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 1799C Block 2 Lot 9

drawing title

**SITE PLAN**

scale: as noted all dimensions are in millimeters

drawn by: Author drawing no: DP-100

checked by: Checker

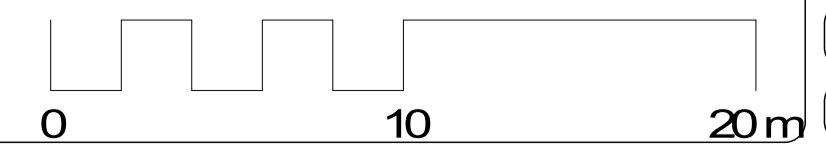
reviewed by:

CAD file name: project no: 18004

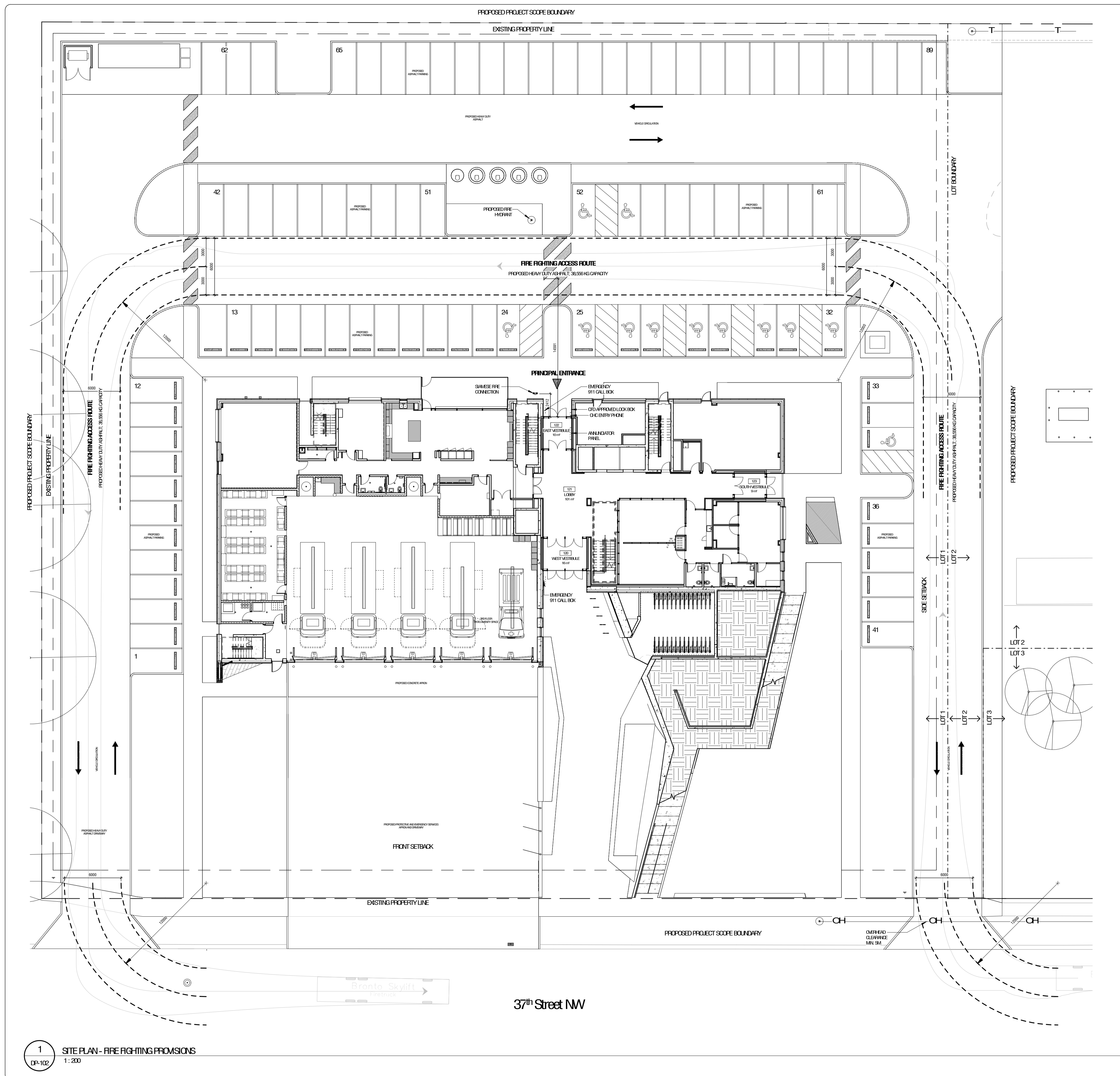
**PARKING STALL SCHEDULE:**

STAKEHOLDER/USE	STALL NUMBERS	TOTAL
Shared Staff:	1-24	4
Office		18
Protective and Emergency Services		2
Staff		6
Visitor		3
Child Care		8
Staff	36-41, 57-61	8
Drop-Off / Pick-Up	33-38	6
Waste Disposal & Treatment Facility	66-64	3
Multi-Residential	25-32, 42-56, 66-89	48
<b>Total</b>		<b>89</b>

1 SITE PLAN  
 DP-100 1:200



37th Street NW



**notes**

FRAME CONSULTANT  
**MBAC**  
 the mercer boulin architectural collaborative inc.  
 the-mbac.ca  
 Contact: Michelle Smith-Cavann  
 T. 403.261.9000  
 F. 403.261.9054

←  
 north arrow

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Verify all dimensions, elevations, and datum report any errors and/or discrepancies to the architect prior to construction.

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2	Issued for DP DTR2	2020.06.29
3	Issued for DP	2020.08.13

seal

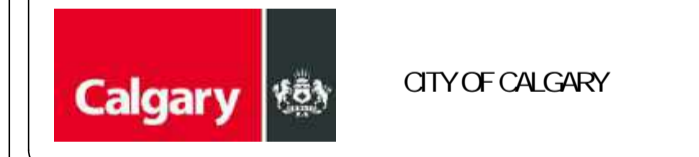
seal

permit

**PRELIMINARY  
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**consultants**

Architectural: the mercer boulin architectural collaborative & jordan danielson architecture - planning  
 Landscape: ISL Engineering and Land Services  
 Structural: Enbridge Corporation  
 Mechanical: The M.E. Consulting Group Ltd.  
 Electrical: Nemetz & Associates Ltd.  
 Civil: ISL Engineering and Land Services  
 Consultant Project Number: 18004



**project**

Versity Multi-Service Redevelopment

Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 1799CC Block 2 Lot 9

**drawing title**

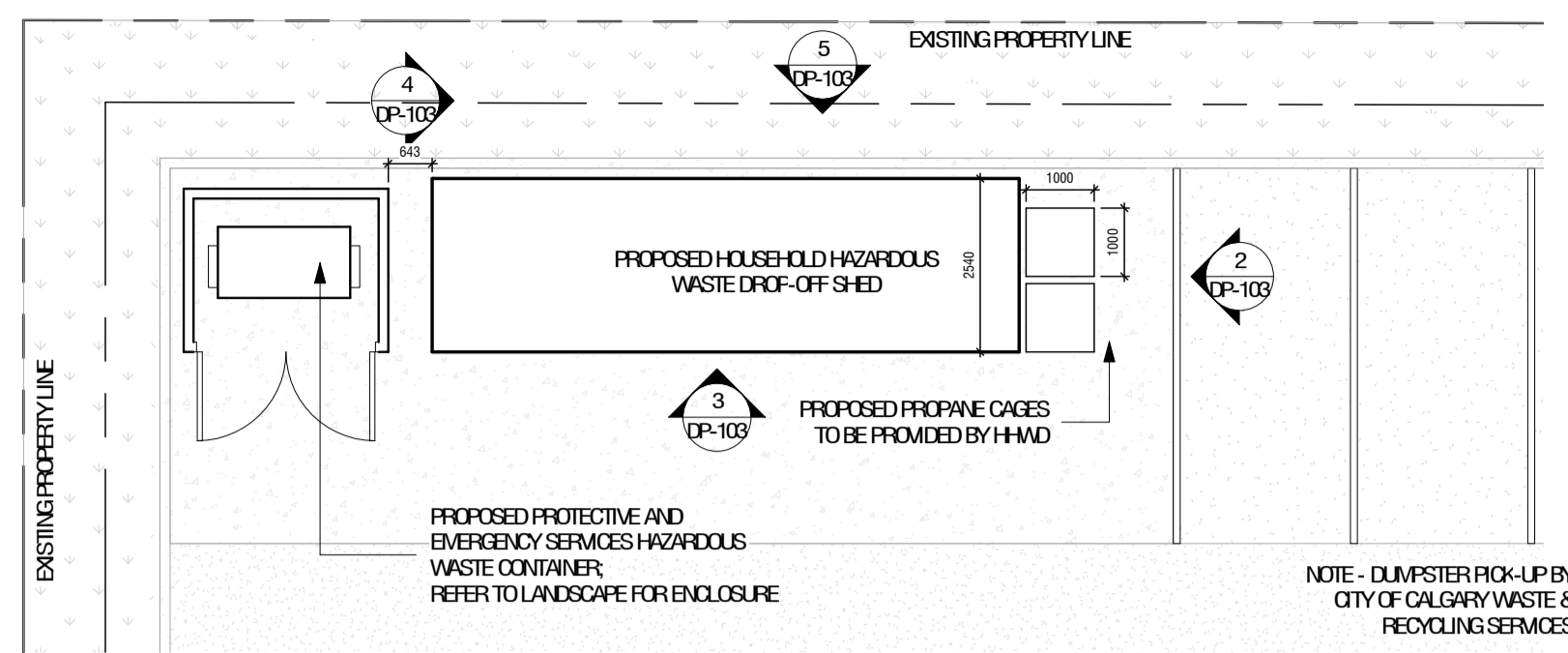
SITE PLAN - FIRE FIGHTING PROVISIONS

scale: as noted      all dimensions are in millimeters

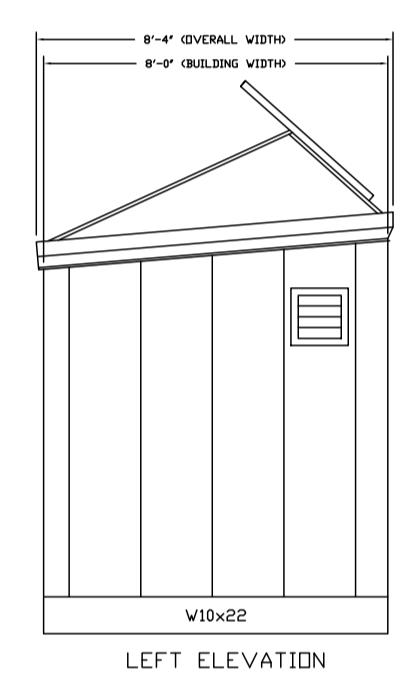
drawn by Author	drawing no. <b>DP-102</b>
checked by Checker	project no. 18004
reviewed by	CAD file name:

1 SITE PLAN - FIRE FIGHTING PROVISIONS  
 DP-102 1:200

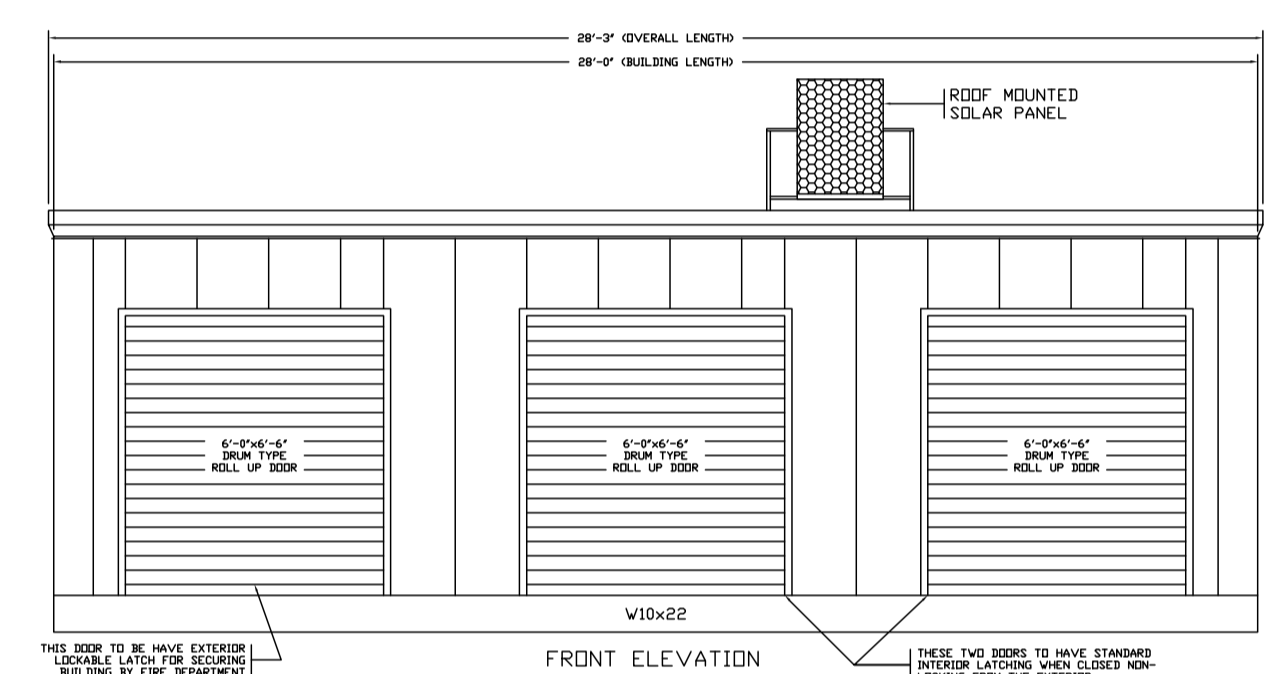
37th Street NW



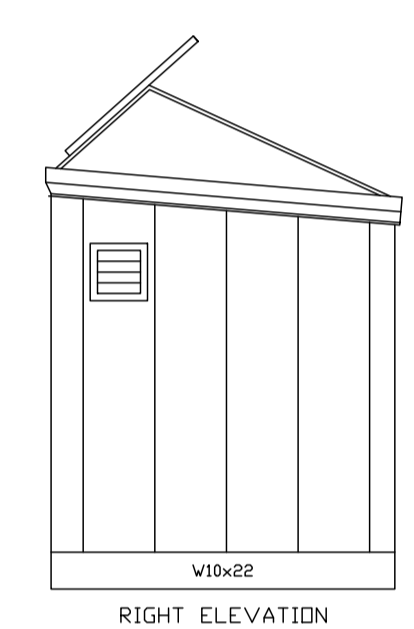
1 PROPOSED HOUSEHOLD HAZARDOUS WASTE DROP-OFF SHED  
1:100



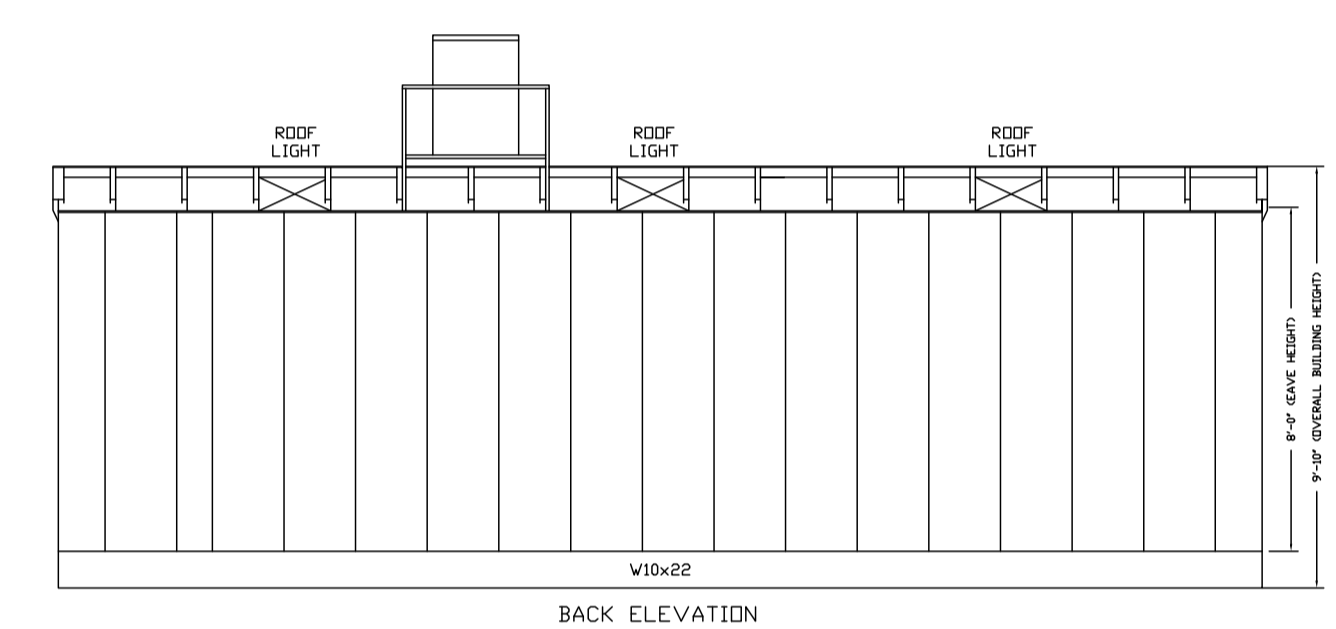
2 HHWD SOUTH ELEVATION  
1:50



3 HHWD WEST ELEVATION  
1:50

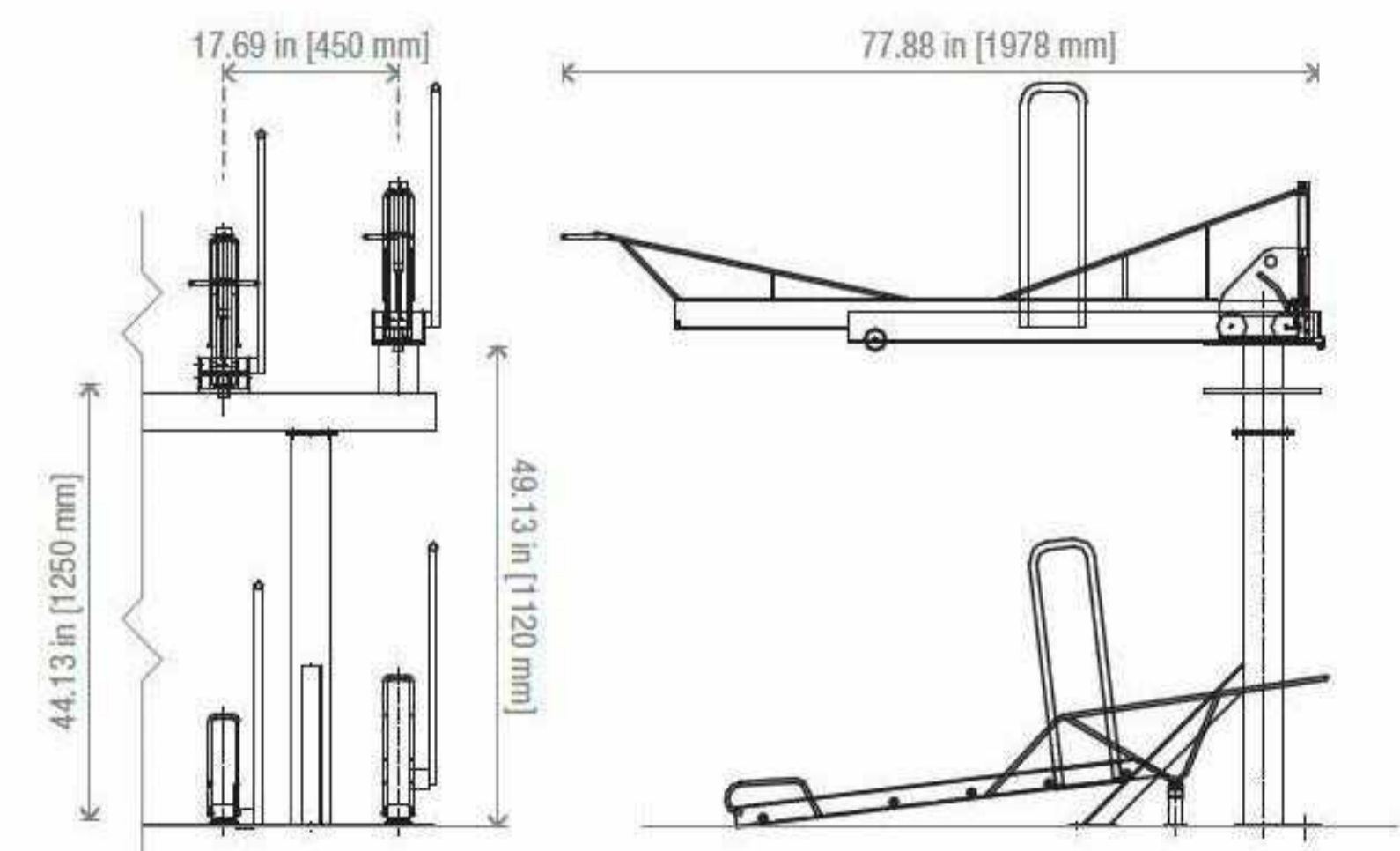


4 HHWD NORTH ELEVATION  
1:50

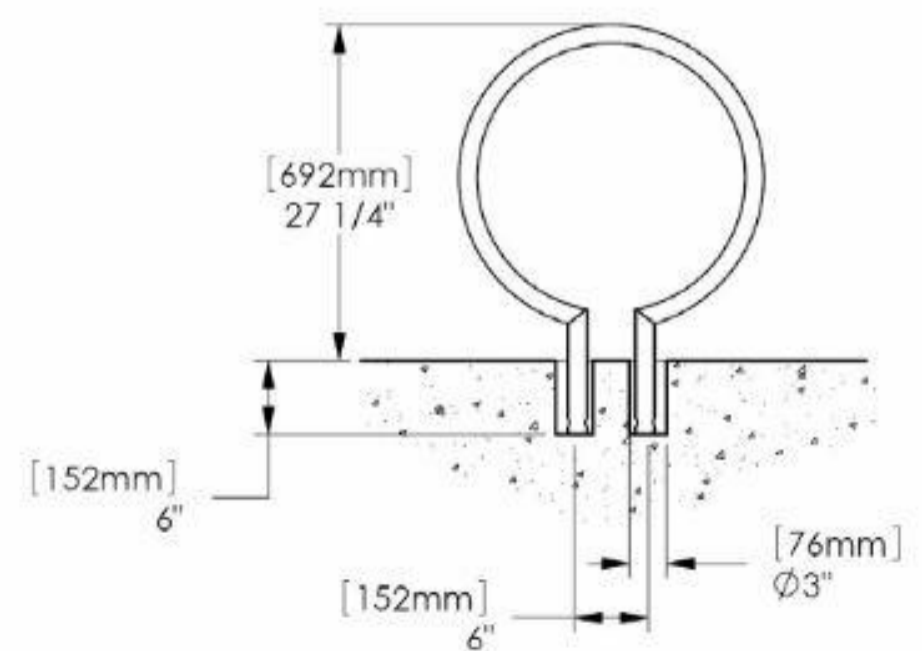


5 HHWD EAST ELEVATION  
1:50

HHWD (HOUSEHOLD HAZARDOUS WASTE DROP-OFF) ELEVATIONS WERE GENERATED BY A THIRD PARTY AND PROVIDED BY THE CITY OF CALGARY, WASTE & RECYCLING SERVICES DEPARTMENT. THE HOUSEHOLD HAZARDOUS WASTE DROP-OFF SHED WILL BE SUPPLIED AND INSTALLED BY THE CITY OF CALGARY, WASTE & RECYCLING SERVICES DEPARTMENT AT THE TIME OF CONSTRUCTION.



6 BIKE RACK (CLASS 1)  
1:10



7 BIKE RACK (CLASS 2)  
1:10

NOTES

PRIME CONSULTANT

the-mbac.ca  
Contact: Michele Smith-Cavann  
T: 403.261.9229  
F: 403.261.9254

←  
northarrow

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seal

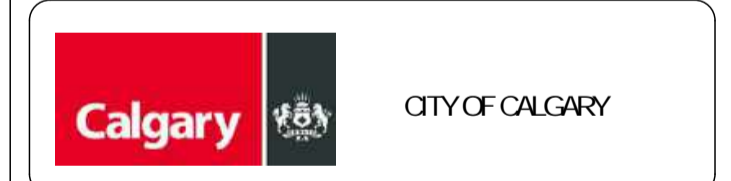
seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural: the-mbac architectural collaborative & jordan-dickson architecture - planning  
Landscape: ISL Engineering and Land Services  
Structural: Envision Corporation  
Mechanical: The M.E. Consulting Group Ltd  
Electrical: Nemetz & Associates Ltd  
Civil: ISL Engineering and Land Services  
Consultant Project Number: 18004



project

Varsity Mill Senior Redevelopment

location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 17990C Block 2 Lot 9

drawing title

SITE DETAILS

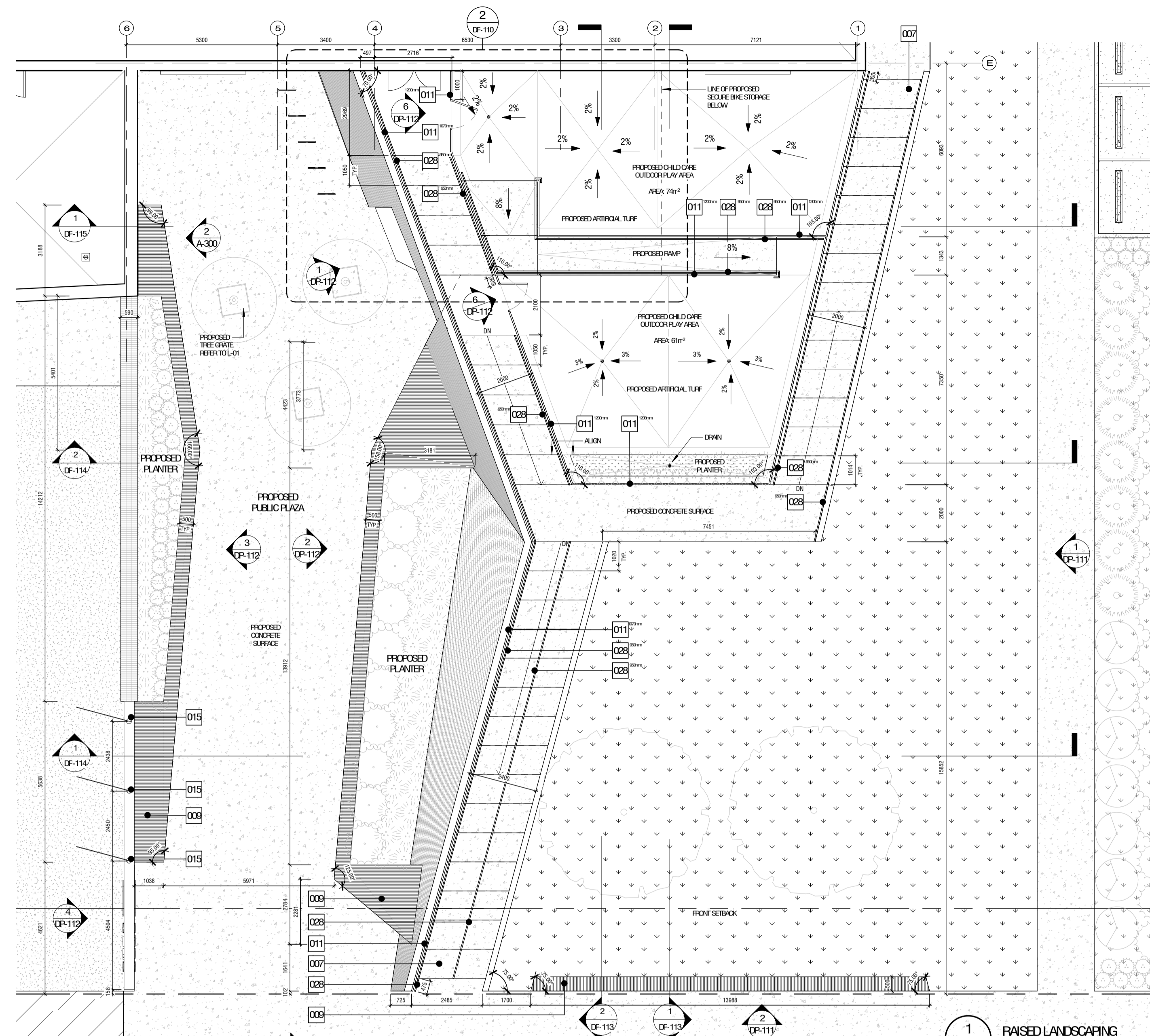
scale as noted all dimensions are in millimeters

drawn by Author drawing no. DP-103

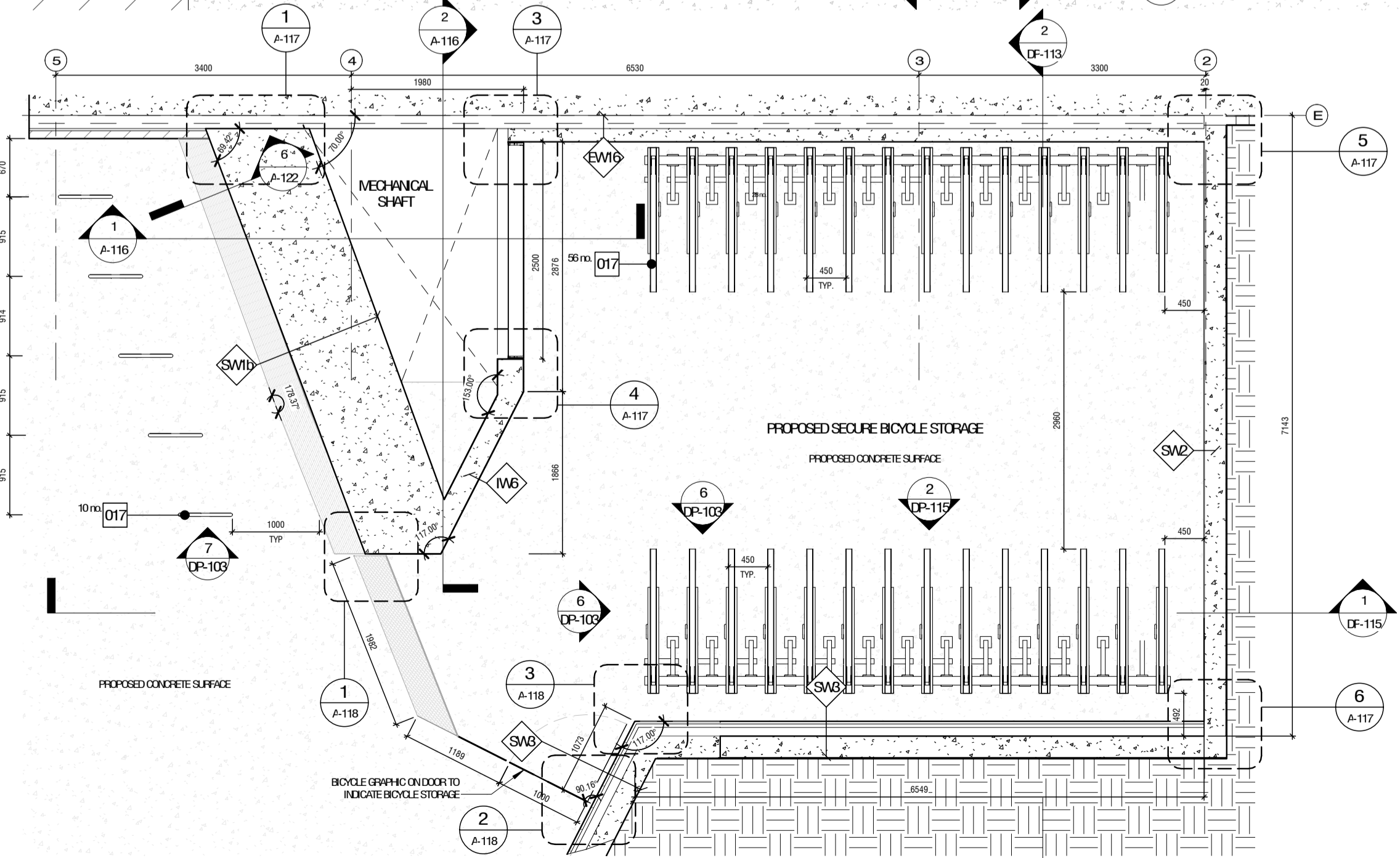
checked by Checker

reviewed by project no. 18004

CAD file name:



1 RAISED LANDSCAPING  
1:100



2 ENCLOSED BICYCLE STORAGE  
1:50

- 001 FIBRE CEMENT SIDING; CHARCOAL
- 002 FIBREGLASS CURTAIN WALL GLAZING; BLACK FRAME
- 003 BRICK; CHARCOAL
- 004 TERRACOTTA; OXIDE RED
- 005 PERFORATED ALUMINUM SCREEN; CLEAR ANODIZED
- 006 MECHANICAL ROOFTOP SCREEN - PV SOLAR PANELS; BLACK
- 007 C.I.P CONCRETE STAIRS
- 008 FOUR FOLD GLAZED DOORS; BLACK
- 009 CONCRETE WITH WOOD SURFACE SEATING/PLANTER
- 010 DRAINABLE ALUMINUM LOUVER; BLACK
- 011 CUSTOM FABRICATED GUARDRAIL; 50mm x 13mm FLATBAR; 100mm O.C.; GALVANIZED;BLACK; UNO; REFER TO STRUCTURAL
- 012 FIBREGLASS SLIDING GLASS DOOR;
- 013 FIBREGLASS OPERABLE WINDOW;
- 014 SIGNAGE; CUSTOM FABRICATED METAL LETTERS; BRONZE FINISH
- 015 ALUMINUM FLAGPOLE; CLEAR ANODIZED
- 016 BELL; BRONZE
- 017 BIKE RACKS
- 018 INSULATED BLANK OFF PANEL
- 019 BRICK; HIT AND MISS APPLICATION; CHARCOAL
- 020 CORRUGATED METAL PANEL SCREEN; BLACK
- 021 WOOD ROOF SURFACE
- 022 GLAZED FIBRE-GLASS FRAME DOOR; BLACK FRAME
- 023 RESERVED;
- 024 HPI PANEL; COLOUR TO MATCH TERRA COTTA
- 025 HOLLOW METAL DOOR; BLACK
- 027 BOLLARD; RED
- 028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED; BLACK
- 031 PLYWOOD
- 032 SELF ADHERED AIR/VAPOUR BARRIER
- 033 VAPOUR RETARDER
- 034 WOOD BLOCKING
- 035 BRICK TIE; ANCHOR TO SUBSTRATE AS REQUIRED
- 036 SBS ROOFING MEMBRANE
- 037 PREFINISHED FLASHING; BLACK UNO
- 039 SEMI RIGID INSULATION
- 040 FIBRE CEMENT PANEL
- 041 FIBRE CEMENT PANEL TRIM
- 042 WOOD FURRING
- 043 COUNTERSUNK STAINLESS STEEL SCREW WITH FILLER TO MATCH PANEL COLOUR
- 044 Z-GIRT
- 046 BLACK ANODIZED ALUMINUM BRAKE SHAPE; 2MM UNO
- 047 VOID FORM; REFER TO STRUCTURAL
- 049 RIGID INSULATION
- 050 PILE; REFER TO STRUCTURAL
- 051 SELF ADHERED WATERPROOFING MEMBRANE
- 053 SEALANT; C/W FOAM BACKER AS REQUIRED
- 055 STEEL STUD
- 056 CALGARY FIRE DEPARTMENT MALTESE CROSS; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT
- 057 WEEP HOLE
- 058 VAPOUR RADON BARRIER MEMBRANE
- 060 VAPOUR PERMEABLE MEMBRANE
- 062 CITY OF CALGARY LOGO; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT
- 063 CITY OF CALGARY GAS METER
- 064 GLAZED ALUMINUM FRAME DOOR; BLACK FRAME
- 065 FIBREGLASS OUTSWING DOOR;
- 066 DOOR FRAME; ANCHOR AS REQUIRED
- 067 SPRAY FOAM INSULATION
- 068 GYPSUM WALL BOARD; 12.7MM UNO
- 069 CURTAIN WALL ANCHOR AND/OR REINFORCEMENT; AS REQUIRED; BY CURTAIN WALL SUPPLIER
- 070 MEMBER; REFER TO STRUCTURAL
- 071 DRAINAGE MAT
- 072 BRAKE SHAPE; 5MM UNO
- 073 LOUVER SUPPORT; AS REQUIRED
- 074 THERMAL BREAK
- 075 TERRACOTTA SUPPORT CLIP AND PROFILE
- 076 TERRACOTTA 2 PART WALL ANCHOR SYSTEM
- 077 ASPHALT IMPREGNATED FIBRE BOARD
- 078 EXTERIOR SHEATHING
- 079 STICK PIN
- 081 RIGID MINERAL WOOL INSULATION
- 082 MDF
- 083 CANT STRIP
- 084 ROOF ANCHOR
- 085 SPUN ALUMINUM FLASHING; C/W EPDM GASKET
- 086 ROOF DRAIN
- 087 REINFORCEMENT MEMBRANE
- 088 STEEL ANGLE
- 089 WOOD STUD
- 090 CLOSURE STRIP
- 091 TYPE X GYPSUM WALL BOARD; 15.9MM
- 092 ACOUSTIC INSULATION
- 093 OPERABLE PARTITION; C/W ACOUSTICAL POCKET DOOR
- 094 REVEAL
- 095 EMBED; REFER TO STRUCTURAL
- 096 CONCRETE PAVER
- 097 PAVER PEDESTAL
- 098 SKATESTOP
- 099 DOOR THRESHOLD
- 100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL
- 101 WEEPING TILE C/W GEOTEXTILE FABRIC AND 150MM DRAINAGE ROCK; REFER TO MECHANICAL
- 102 WATERSTOP
- 103 BLINDSIDE WATERPROOFING MEMBRANE
- 104 ARTIFICIAL TURF
- 105 REINFORCEMENT; REFER TO STRUCTURAL
- 106 LIGHT FIXTURE; REFER TO ELECTRICAL
- 107 WALK OFF GRILLE; C/W DRIP PAN
- 108 IN SLAB FAN COIL; REFER TO MECHANICAL
- 109 HAT CHANNEL
- 110 JOINT CLOSURE
- 111 J BEAD
- 112 38mm x 89mm BALAU
- 113 GEOTEXTILE FABRIC
- 115 FIRE GUARD TAPE
- 116 STEEL CURB BY ROOF SUPPLIER - GUAGE AS REQUIRED
- 117 VINYL FILM ADHESIVE
- 118 PVC DECK MEMBRANE
- 119 MASONRY CONTROL JOINT
- 120 BLACK ANODIZED ALUMINUM EXTRUSION; REFER TO EXTRUSION SCHEDULE
- 121 EXPANSION ANCHOR
- 122 STEEL PLATE
- 123 FASTENER

- 124 INSECT SCREEN
- 125 HANDRAIL SUPPORT AS REQUIRED; SOLID SQUARE SECTIONS; BLACK
- 126 VAPOUR BARRIER
- 127 CEILING MOUNTED WINDOW COVERING
- 128 NON-SHRINK GROUT
- 129 ANCHOR BOLT
- 130 TRACTION STRIP
- 131 CONCRETE FILL
- 132 STEEL PAN AND RISER
- 135 LINEAR WOOD GRILLE C/W BLACK WOOD BACKER
- 136 WOOD TREAD
- 137 JACKETED INSULATED AIR SEAL DUCT COVER; REFER TO MECHANICAL
- 138 FIRESTOP SEALANT
- 139 BLACK HEAVY DUTY 15/16" MAIN T-BAR
- 140 METAL ANGLE CONNECTOR
- 141 PERIMETER METAL TRIM, BLACK
- 142 ACOUSTIC BACKER
- 143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
- 144 LINEAR SUPPLY DIFFUSER; REFER TO MECHANICAL

**GRAPHIC LEGEND:**

- G- G- = BURIED GAS
- CH- CH- = OVERHEAD POWER & COMM
- W- W- = BURIED WATER
- S- S- = BURIED SANITARY
- ST- ST- = BURIED STORM
- CT- CT- = BURIED CABLE/TELEPHONE
- P- P- = BURIED POWER
- T- T- = BURIED TELLUS

= EXISTING TREE TO REMAIN  
 = PROPOSED TREES & SHRUBS  
 REFER TO L-01 FOR DETAILS

- ⊙ = MIN-HOLE
- ⊞ = CATCH BASIN
- ⊕ = HORIZONTAL
- ⊞ = CAR PLUG; REFER TO ELECTRICAL
- ⊞ = POLE MOUNTED LIGHT; REFER TO ELECTRICAL
- ⊞ = LIGHT BOLLARD; REFER TO ELECTRICAL
- ⊞ = WALL MOUNTED FIXTURE; REFER TO ELECTRICAL
- ⊞ = DUPLEX RECEPTACLE; REFER TO ELECTRICAL
- ⊞ = FACILITY WASTE/RECYCLING/ORGANICS CONTAINER
- ⊞ = MAIN BUILDING ACCESS POINT
- ⊞ = UTILITY POLE
- ⊞ = POLE MOUNTED PARKING / TRAFFIC SIGN

= PROPOSED HEAVY DUTY ASPHALT  
 = PROPOSED STANDARD ASPHALT  
 = PROPOSED CONCRETE SIDEWALK PATH  
 = PROPOSED PLANTING MEDIUM  
 = PROPOSED SOFT LANDSCAPING  
 = PROPOSED ARTIFICIAL TURF  
 = PROPOSED CONCRETE PAVERS  
 = PROPOSED GEODETIC  
 = EXISTING GEODETIC

1107400  
(1107400)

GENERAL NOTE:  
REFER TO A-001 FOR BICYCLE STALL REQUIREMENT CALCULATIONS

notes

PRIME CONSULTANT

The main business and architectural collaborative inc.  
the-mbac.ca  
Contact: Michelle Smith-Davies  
T: 403.261.9229  
F: 403.261.9254

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seal

seal

permit

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 Landscape: ISL Engineering and Land Services  
 Structural: Enbridge Corporation  
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 Electrical: Nemer & Associates Ltd  
 Civil: ISL Engineering and Land Services  
 Consultant Project Number: 18004

project

Verity Mill Service Redevelopment

location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 1799C Block 2 Lot 9

drawing title

**RAISED LANDSCAPE PLANS**

scale as noted all dimensions are in millimeters

drawn by Author drawing no. DP-110

checked by Checker

reviewed by project no. 18004

CAD file name:



- 001 FIBRE CEMENT SIDING; CHARCOAL
- 002 FIBREGLASS CURTAIN WALL GLAZING; BLACK FRAME
- 003 BRICK; CHARCOAL
- 004 TERRACOTTA; OXIDE RED
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- 037 PREFINISHED FLASHING; BLACK UNO
- 039 SEMI RIGID INSULATION
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- 109 HAT CHANNEL
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- 144 LINEAR SUPPLY DIFFUSER; REFER TO MECHANICAL

notes

PRIME CONSULTANT



110 - mbaac.ca  
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 T: 403.261.9029  
 F: 403.261.9054

northern

General Notes

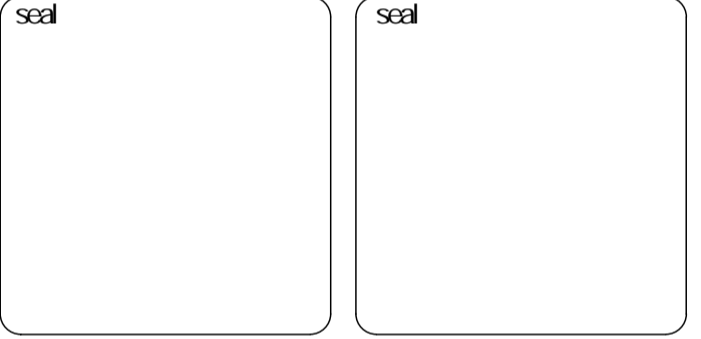
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3	Issued for DP DTR1	2020.04.15
4	60% CD Progress Submission	2020.06.24
5	Issued for DP DTR2	2020.06.29
6	Issued for DP	2020.08.13



permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural: the mbaac architectural collaborative & jordan duncan architecture - planning  
 Landscape: ISL Engineering and Land Services  
 Structural: Enbridge Corporation  
 Mechanical: The M&E Consulting Group Ltd  
 Electrical: Nemer & Associates Ltd  
 Civil: ISL Engineering and Land Services  
 Consultant Project Number: 18004



project

Varsity Mill Service Redevelopment

location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 1799XC Block 2 Lot 9

drawing title

**RAISED LANDSCAPE  
ELEVATIONS**

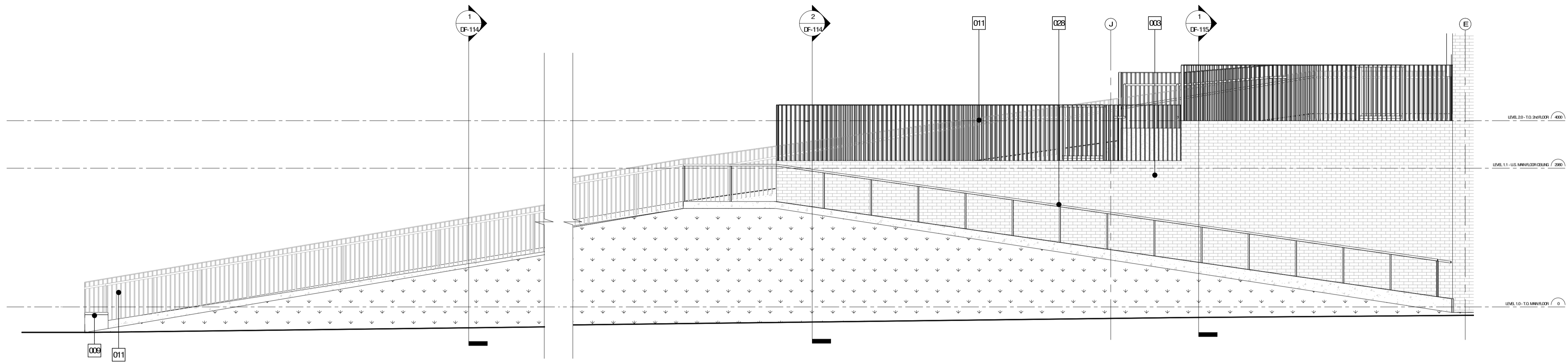
scale: as noted      all dimensions are in millimeters

drawn by: Author      drawing no.: DP-111

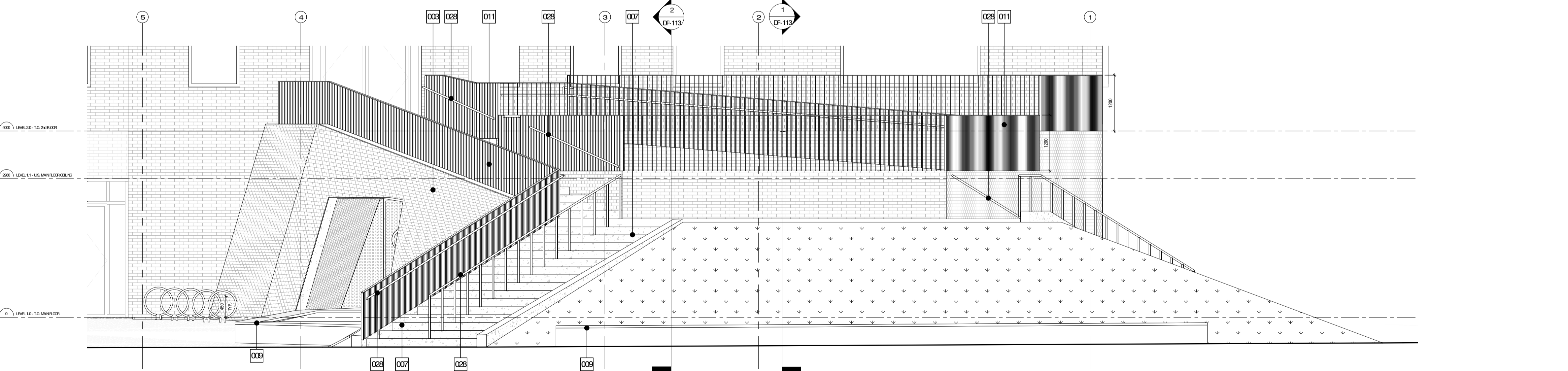
checked by: Checker

reviewed by:      project no.: 18004

CAD file name:



1 RAISED LANDSCAPING SOUTH ELEVATION  
 DP-111 1:50



2 RAISED LANDSCAPING WEST ELEVATION  
 DP-111 1:50

001 FIBRE CEMENT SIDING; CHARCOAL	013 FIBREGLASS OPERABLE WINDOW;	028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED;	046 BLACK ANODIZED ALUMINUM BRAKE SHAPE;	064 GLAZED ALUMINUM FRAME DOOR; BLACK	079 STICK PIN	096 CONCRETE PAVER	112 38mm x 89mm BALAU	128 NON-SHRINK GROUT
002 FIBREGLASS CURTAIN WALL GLAZING; BLACK	014 SIGNAGE; CUSTOM FABRICATED METAL	031 PLYWOOD	047 VOID FORM; REFER TO STRUCTURAL	065 FIBREGLASS OUTSWING DOOR;	081 RIGID MINERAL WOOL INSULATION	097 PAVER PEDESTAL	113 GEOTEXTILE FABRIC	129 ANCHOR BOLT
003 BRICK; CHARCOAL	015 ALUMINUM FLAGPOLE; CLEAR ANODIZED	032 SELF ADHERED AIR/VAPOUR BARRIER	048 RIGID INSULATION	066 DOOR FRAME; ANCHOR AS REQUIRED	082 MDF	098 SKATESTOP	115 FIRE GUARD TAPE	130 TRACTION STRIP
004 TERRACOTTA; OXIDE RED	016 BELL; BRONZE	033 VAPOUR RETARDER	049 PILE; REFER TO STRUCTURAL	067 SPRAY FOAM INSULATION	083 CANT STRIP	099 DOOR THRESHOLD	116 STEEL CURB BY ROOF SUPPLIER - GUAGE AS	131 CONCRETE FILL
005 PERFORATED ALUMINUM SCREEN; CLEAR	017 BIKE RACKS	034 WOOD BLOCKING	050 SEALANT; REFER TO STRUCTURAL	068 GYPSUM WALL BOARD; 12.7MM UNO	084 ROOF ANCHOR	100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL	117 VINYL FILM ADHESIVE	132 STEEL PAN AND RISER
006 ANODIZED	018 INSULATED BLANK OFF PANEL	035 BRICK TIE; ANCHOR TO SUBSTRATE AS	051 SELF ADHERED WATERPROOFING MEMBRANE	069 CURTAIN WALL ANCHOR AND/OR	085 SPUN ALUMINUM FLASHING; C/W EPDM	101 WEEPING TILE C/W GEOTEXTILE FABRIC AND	118 PVC DECK MEMBRANE	135 LINEAR WOOD GRILLE C/W BLACK WOOD
007 MECHANICAL ROOFTOP SCREEN - PV SOLAR	019 BRICK; HIT AND MISS APPLICATION;	036 SBS ROOFING MEMBRANE	052 SEALANT; C/W FOAM BACKER AS REQUIRED	REINFORCEMENT; AS REQUIRED, BY CURTAIN	086 ROOF DRAIN	102 WATERSTOP	119 MASONRY CONTROL JOINT	136 WOOD TREAD
008 PANELS; BLACK	CHARCOAL	037 PREFINISHED FLASHING; BLACK UNO	053 STEEL STUD	WALL SUPPLIER	087 REINFORCEMENT MEMBRANE	103 BLINDSIDE WATERPROOFING MEMBRANE	120 BLACK ANODIZED ALUMINUM EXTRUSION;	137 JACKETED INSULATED AIR SEAL DUCT COVER;
009 C.I.P. CONCRETE STAIRS	020 CORRUGATED METAL PANEL SCREEN; BLACK	038 SEMI RIGID INSULATION	054 CALGARY FIRE DEPARTMENT MALTESE CROSS;	070 MEMBER; REFER TO STRUCTURAL	088 STEEL ANGLE	104 ARTIFICIAL TURF	REFER TO EXTRUSION SCHEDULE	REFER TO MECHANICAL
010 FOUR FOLD GLAZED DOORS; BLACK	021 WOOD ROOF SURFACE	039 FIBRE RIGID INSULATION	055 WEEP HOLE	071 DRAINAGE MAT	089 WOOD STUD	105 REINFORCEMENT; REFER TO STRUCTURAL	121 EXPANSION ANCHOR	138 FIRESTOP SEALANT
011 CONCRETE WITH WOOD SURFACE	022 GLAZED FIBRE-GLASS FRAME DOOR; BLACK	040 FIBRE CEMENT PANEL	056 VAPOUR RADON BARRIER MEMBRANE	072 BRAKE SHAPE; 5MM UNO	090 CLOSURE STRIP	106 LIGHT FIXTURE; REFER TO ELECTRICAL	122 STEEL PLATE	139 BLACK HEAVY DUTY 15/16" MAIN T-BAR
SEATING/PLANTER	FRAME	041 FIBRE CEMENT PANEL TRIM	057 VAPOUR PERMEABLE MEMBRANE	073 LOUVER SUPPORT; AS REQUIRED	091 TYPE X GYPSUM WALL BOARD; 15.9MM	107 WALK OFF GRILLE; C/W DRIP PAN	123 FASTENER	140 METAL ANGLE CONNECTOR
012 DRAINABLE ALUMINUM LOUVER; BLACK	023 RESERVED	042 WOOD FURRING	058 CITY OF CALGARY LOGO; PIN MOUNTED	074 THERMAL BREAK	092 ACOUSTIC INSULATION	108 IN SLAB FAN COIL; REFER TO MECHANICAL	124 INSECT SCREEN	141 PERIMETER METAL TRIM; BLACK
013 CUSTOM FABRICATED GUARDRAIL; 50mm x	024 HPL PANEL; COLOUR TO MATCH TERRA COTTA	043 COUNTERSUNK STAINLESS STEEL SCREW	ARCYLIC PANEL C/W DIGITAL PRINT	075 TERRACOTTA SUPPORT CLIP AND PROFILE	093 OPERABLE PARTITION; C/W ACOUSTICAL	109 HAT CHANNEL	125 HANDRAIL SUPPORT AS REQUIRED; SOLID	142 ACOUSTIC BACKER
13mm FLATBAR; 100mm O.C.,	025 HOLLOW METAL DOOR; BLACK	WITH FILLER TO MATCH PANEL COLOUR		076 TERRACOTTA 2 PART WALL ANCHOR SYSTEM	POCKET DOOR	110 JOINT CLOSURE	SQUARE SECTIONS; BLACK	143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
GALVANIZED; BLACK; UNO; REFER TO	027 BOLLARD; RED			077 ASPHALT IMPREGNATED FIBRE BOARD	094 REVEAL	111 J BEAD		144 LINEAR SUPPLY DIFFUSER; REFER TO
STRUCTURAL				078 EXTERIOR SHEATHING	095 EMBED; REFER TO STRUCTURAL			MECHANICAL
014 FIBREGLASS SLIDING GLASS DOOR;								

notes

**PRIME CONSULTANT:**

**MBAC**

The McBain Architectural Collaborative Inc.  
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 F: 403.261.9054

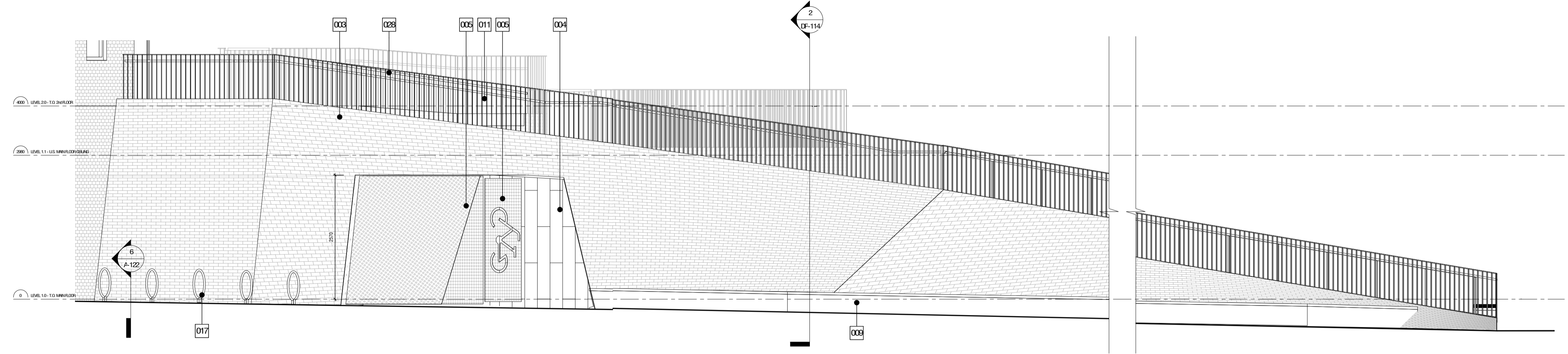
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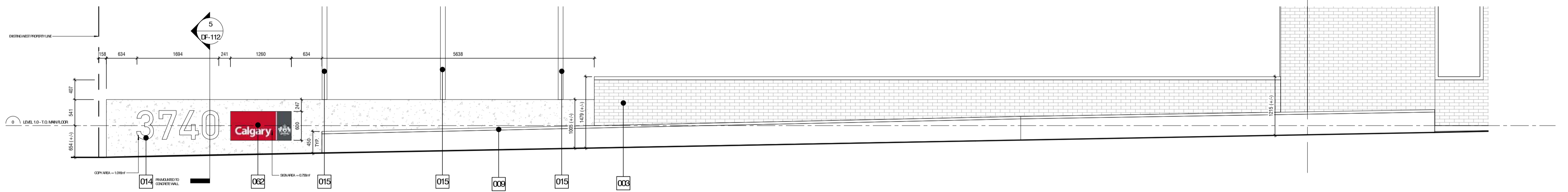
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#	DESCRIPTION	DATE
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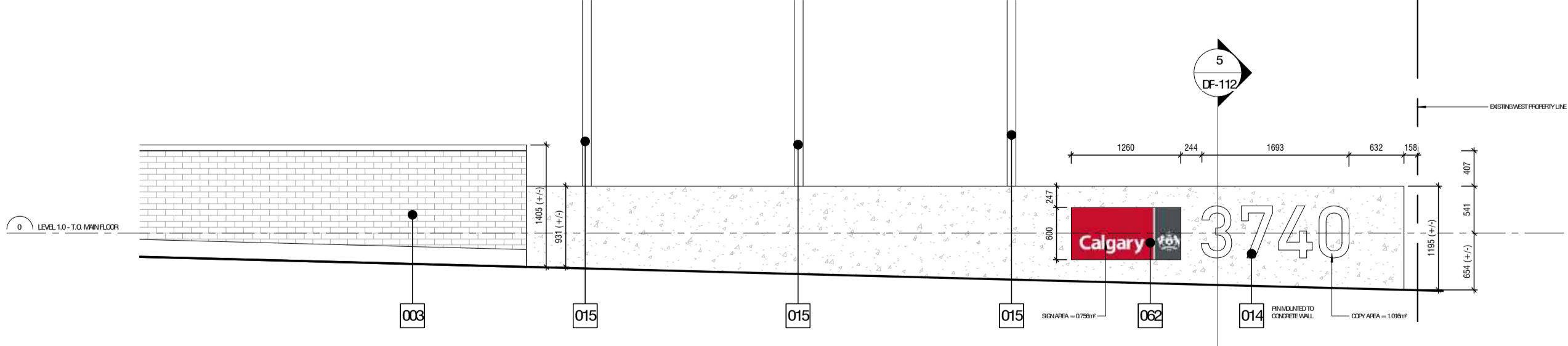


1 RAISED LANDSCAPING NORTH ELEVATION 2  
 DP-112 1:50

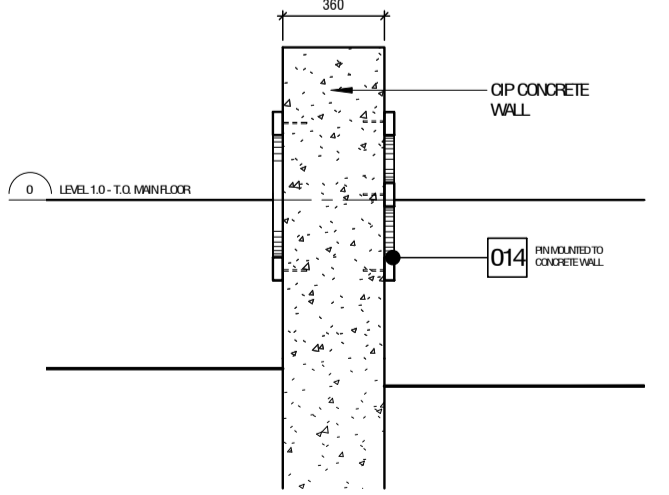
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 DP-112 1:50



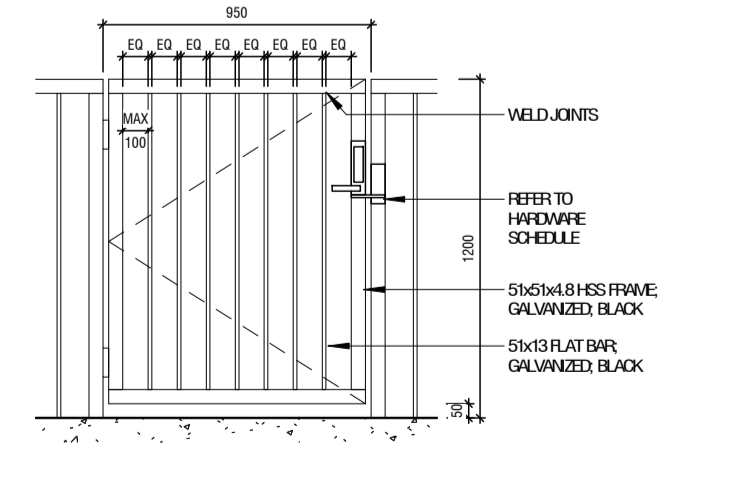
3 PROPOSED SIGNAGE SOUTH ELEVATION  
 DP-112 1:50



4 PROPOSED SIGNAGE NORTH ELEVATION  
 DP-112 1:50



5 PROPOSED SIGNAGE SECTION  
 DP-112 1:25



6 TERRACE GATE ELEVATION  
 DP-112 1:25

seal

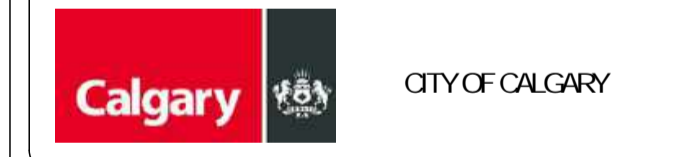
seal

permit

**PRELIMINARY  
 NOT FOR CONSTRUCTION**

consultants

Architectural: the-mc-bain-architectural-collaborative & jordan-dickson-architecture - planning  
 Landscape: ISL Engineering and Land Services  
 Structural: Enbridge Corporation  
 Mechanical: The M&E Consulting Group Ltd  
 Electrical: Nemetz & Associates Ltd  
 Civil: ISL Engineering and Land Services  
 Consultant Project Number: 18004



project

Veristy Mill Service Redevelopment

location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 17993C Block 2 Lot 9

drawing title

**RAISED LANDSCAPE  
 ELEVATIONS**

scale as noted	all dimensions are in millimeters
drawn by Author	drawing no. DP-112
checked by Checker	
reviewed by	project no. 18004
CAD file name:	

- 001 FIBRE CEMENT SIDING; CHARCOAL
- 002 FIBREGLASS CURTAIN WALL GLAZING; BLACK FRAME
- 003 BRICK; CHARCOAL
- 004 TERRACOTTA; OXIDE RED
- 005 PERFORATED ALUMINUM SCREEN; CLEAR ANODIZED
- 006 MECHANICAL ROOFTOP SCREEN - PV SOLAR PANELS; BLACK
- 007 C.I.P CONCRETE STAIRS
- 008 FOUR FOLD GLAZED DOORS; BLACK
- 009 CONCRETE WITH WOOD SURFACE SEATING/PLANTER
- 010 DRAINABLE ALUMINUM LOUVER; BLACK
- 011 CUSTOM FABRICATED GUARDRAIL; 50mm x 13mm FLATBAR; 100mm O.C., GALVANIZED; BLACK; UNO; REFER TO STRUCTURAL
- 012 FIBREGLASS SLIDING GLASS DOOR;

- 013 FIBREGLASS OPERABLE WINDOW;
- 014 SIGNAGE; CUSTOM FABRICATED METAL LETTERS; BRONZE FINISH
- 015 ALUMINUM FLAGPOLE; CLEAR ANODIZED
- 016 BELL; BRONZE
- 017 BIKE RACKS
- 018 INSULATED BLANK OFF PANEL
- 019 BRICK; HIT AND MISS APPLICATION; CHARCOAL
- 020 CORRUGATED METAL PANEL SCREEN; BLACK
- 021 WOOD ROOF SURFACE
- 022 GLAZED FIBRE-GLASS FRAME DOOR; BLACK FRAME
- 023 RESERVED
- 024 HPL PANEL; COLOUR TO MATCH TERRA COTTA
- 025 HOLLOW METAL DOOR; BLACK
- 027 BOLLARD; RED

- 028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED; BLACK
- 031 PLYWOOD
- 032 SELF ADHERED AIR/VAPOUR BARRIER
- 033 VAPOUR RETARDER
- 034 WOOD BLOCKING
- 035 BRICK TIE; ANCHOR TO SUBSTRATE AS REQUIRED
- 036 SBS ROOFING MEMBRANE
- 037 PREFINISHED FLASHING; BLACK UNO
- 039 SEMI RIGID INSULATION
- 040 FIBRE CEMENT PANEL
- 041 FIBRE CEMENT PANEL TRIM
- 042 WOOD FURRING
- 043 COUNTERSUNK STAINLESS STEEL SCREW WITH FILLER TO MATCH PANEL COLOUR
- 044 Z-GIRT

- 046 BLACK ANODIZED ALUMINUM BRAKE SHAPE; 2MM UNO
- 047 VOID FORM; REFER TO STRUCTURAL
- 049 RIGID INSULATION
- 050 PILE; REFER TO STRUCTURAL
- 051 SELF ADHERED WATERPROOFING MEMBRANE
- 052 SEALANT; C/W FOAM BACKER AS REQUIRED
- 055 STEEL STUD
- 056 CALGARY FIRE DEPARTMENT MALTESE CROSS; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT
- 057 WEEP HOLE
- 058 VAPOUR RADON BARRIER MEMBRANE
- 060 VAPOUR PERMEABLE MEMBRANE
- 062 CITY OF CALGARY LOGO; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT
- 063 CITY OF CALGARY GAS METER

- 064 GLAZED ALUMINUM FRAME DOOR; BLACK FRAME
- 065 FIBREGLASS OUTSWING DOOR;
- 066 DOOR FRAME; ANCHOR AS REQUIRED
- 067 SPRAY FOAM INSULATION
- 068 GYPSUM WALL BOARD; 12.7MM UNO
- 069 CURTAIN WALL ANCHOR AND/OR REINFORCEMENT; AS REQUIRED, BY CURTAIN WALL SUPPLIER
- 070 MEMBER; REFER TO STRUCTURAL
- 071 DRAINAGE MAT
- 072 BRAKE SHAPE; 5MM UNO
- 073 LOUVER SUPPORT; AS REQUIRED
- 074 THERMAL BREAK
- 075 TERRACOTTA SUPPORT CLIP AND PROFILE
- 076 TERRACOTTA 2 PART WALL ANCHOR SYSTEM
- 077 ASPHALT IMPREGNATED FIBRE BOARD
- 078 EXTERIOR SHEATHING

- 079 STICK PIN
- 081 RIGID MINERAL WOOL INSULATION
- 082 MDF
- 083 CANT STRIP
- 084 ROOF ANCHOR
- 085 SPUN ALUMINUM FLASHING; C/W EPDM GASKET
- 086 ROOF DRAIN
- 087 REINFORCEMENT MEMBRANE
- 088 STEEL ANGLE
- 089 WOOD STUD
- 090 CLOSURE STRIP
- 091 TYPE X GYPSUM WALL BOARD; 15.9MM
- 092 ACOUSTIC INSULATION
- 093 OPERABLE PARTITION; C/W ACOUSTICAL POCKET DOOR
- 094 REVEAL
- 095 EMBED; REFER TO STRUCTURAL

- 096 CONCRETE PAVER
- 097 PAVER PEDESTAL
- 098 SKATESTOP
- 099 DOOR THRESHOLD
- 100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL
- 101 WEEPING TILE C/W GEOTEXTILE FABRIC AND 150MM DRAINAGE ROCK; REFER TO MECHANICAL
- 102 WATERSTOP
- 103 BLINDSIDE WATERPROOFING MEMBRANE
- 104 ARTIFICIAL TURF
- 105 REINFORCEMENT; REFER TO STRUCTURAL
- 106 LIGHT FIXTURE; REFER TO ELECTRICAL
- 107 WALK OFF GRILLE; C/W DRIP PAN
- 108 IN SLAB FAN COIL; REFER TO MECHANICAL
- 109 HAT CHANNEL
- 110 JOINT CLOSURE
- 111 J BEAD

- 112 38mm x 89mm BALAU
- 113 GEOTEXTILE FABRIC
- 115 FIRE GUARD TAPE
- 116 STEEL CURB BY ROOF SUPPLIER - GUAGE AS REQUIRED
- 117 VINYL FILM ADHESIVE
- 118 PVC DECK MEMBRANE
- 119 MASONRY CONTROL JOINT
- 120 BLACK ANODIZED ALUMINUM EXTRUSION; REFER TO EXTRUSION SCHEDULE
- 121 EXPANSION ANCHOR
- 122 STEEL PLATE
- 123 FASTENER
- 124 INSECT SCREEN
- 125 HANDRAIL SUPPORT AS REQUIRED; SOLID SQUARE SECTIONS; BLACK
- 126 VAPOUR BARRIER
- 127 CEILING MOUNTED WINDOW COVERING

- 128 NON-SHRINK GROUT
- 129 ANCHOR BOLT
- 130 TRACTION STRIP
- 131 CONCRETE FILL
- 132 STEEL PAN AND RISER
- 135 LINEAR WOOD GRILLE C/W BLACK WOOD BACKER
- 136 WOOD TREAD
- 137 JACKETED INSULATED AIR SEAL DUCT COVER; REFER TO MECHANICAL
- 138 FIRESTOP SEALANT
- 139 BLACK HEAVY DUTY 15/16" MAIN T-BAR
- 140 METAL ANGLE CONNECTOR
- 141 PERIMETER METAL TRIM; BLACK
- 142 ACOUSTIC BACKER
- 143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
- 144 LINEAR SUPPLY DIFFUSER; REFER TO MECHANICAL

notes

FRAME CONSULTANT



the mrc baolin architectural collaborative inc.  
110 - mbaic.ca  
Contact: Michele Smith-Davies  
T: 403.261.9292  
F: 403.261.9254



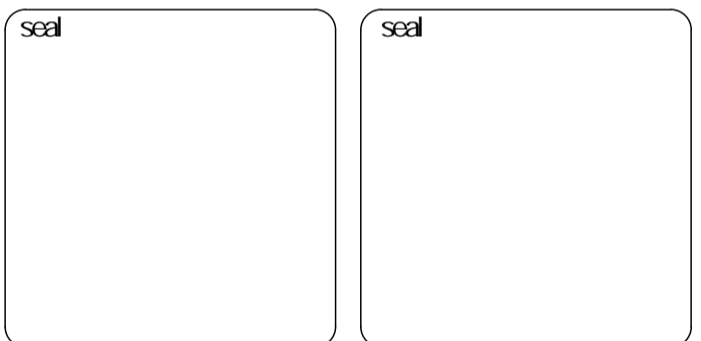
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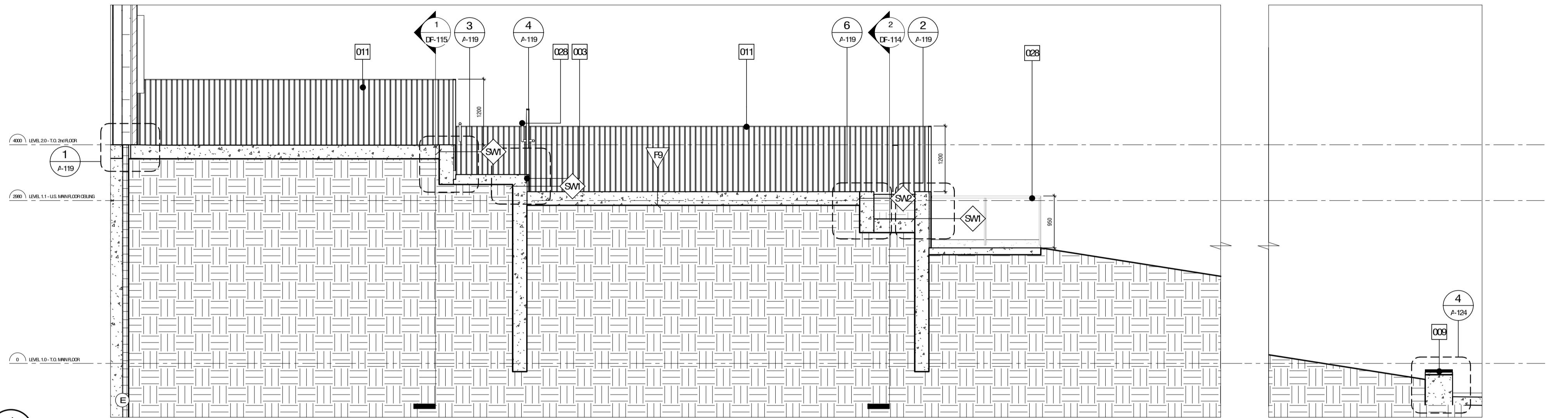
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Architectural: the mrc baolin architectural collaborative & jordan dudman architecture - planning  
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Consultant Project Number: 18004



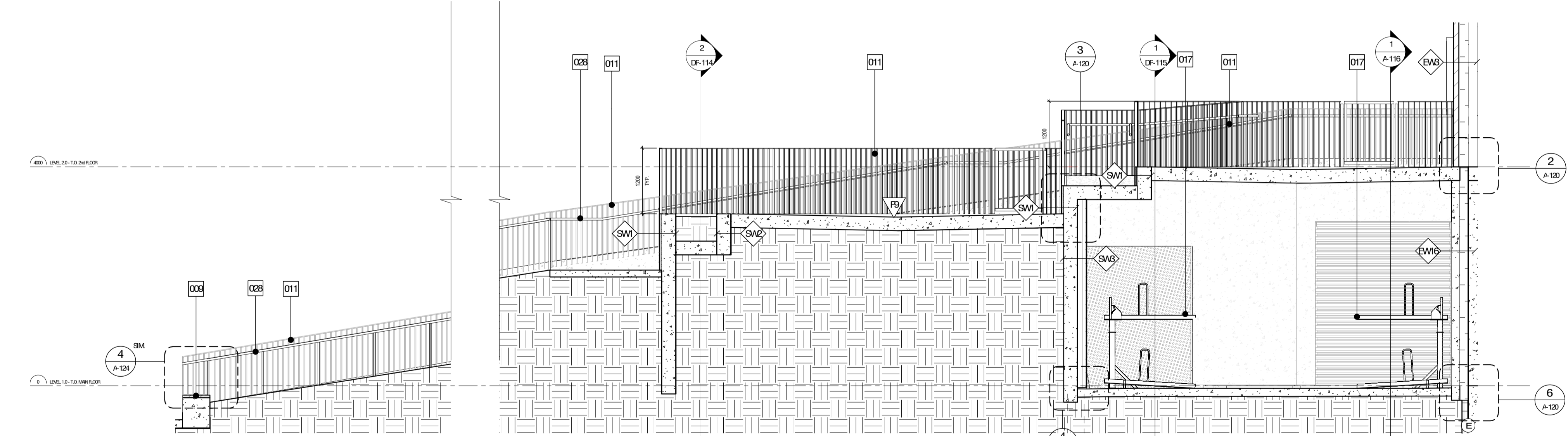
project  
Verity Mill Service Redevelopment  
location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 17990C Block 2 Lot 9

drawing title  
**RAISED LANDSCAPE SECTIONS**

scale: as noted all dimensions are in millimeters  
drawn by: Author  
checked by: Checker  
reviewed by:  
CAD file name:  
drawing no.: DP-113  
project no.: 18004



1 LANDSCAPE LONG SECTION 1  
1:50



2 LANDSCAPE LONG SECTION 2  
1:50

001 FIBRE CEMENT SIDING; CHARCOAL	013 FIBREGLASS OPERABLE WINDOW;	028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED; BLACK	046 BLACK ANODIZED ALUMINUM BRAKE SHAPE; 2MM UNO	064 GLAZED ALUMINUM FRAME DOOR; BLACK FRAME	079 STICK PIN	096 CONCRETE PAVER	112 38mm x 69mm BALAU	128 NON-SHRINK GROUT
002 FIBREGLASS CURTAIN WALL GLAZING; BLACK FRAME	014 SIGNAGE; CUSTOM FABRICATED METAL LETTERS; BRONZE FINISH	031 PLYWOOD	047 VOID FORM; REFER TO STRUCTURAL	065 FIBREGLASS OUTSWING DOOR;	081 RIGID MINERAL WOOL INSULATION	097 PAVER PEDESTAL	113 GEOTEXTILE FABRIC	129 ANCHOR BOLT
003 BRICK; CHARCOAL	015 ALUMINUM FLAGPOLE; CLEAR ANODIZED	032 SELF ADHERED AIR/VAPOUR BARRIER	048 RIGID INSULATION	066 DOOR FRAME; ANCHOR AS REQUIRED	082 MDF	098 SKATESTOP	115 FIRE GUARD TAPE	130 TRACTION STRIP
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005 PERFORATED ALUMINUM SCREEN; CLEAR ANNOIDIZED	017 BIKE RACKS	034 WOOD BLOCKING	051 SELF ADHERED WATERPROOFING MEMBRANE	068 GYPSUM WALL BOARD; 12.7MM UNO	084 ROOF ANCHOR	100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL	117 VINYL FILM ADHESIVE	132 STEEL PAN AND RISER
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008 FOUR FOLD GLAZED DOORS; BLACK	020 CORRUGATED METAL PANEL SCREEN; BLACK	037 PREFINISHED FLASHING; BLACK UNO	056 CALGARY FIRE DEPARTMENT MALTESE CROSS; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT	071 DRAINAGE MAT	087 REINFORCEMENT MEMBRANE	103 BLINDSIDE WATERPROOFING MEMBRANE	120 BLACK ANODIZED ALUMINUM EXTRUSION; REFER TO EXTRUSION SCHEDULE	137 JACKETED INSULATED AIR SEAL DUCT COVER; REFER TO MECHANICAL
009 CONCRETE WITH WOOD SURFACE SEATING/PLANTER	021 WOOD ROOF SURFACE	039 SEMI RIGID INSULATION	057 WEEP HOLE	072 BRAKE SHAPE; 5MM UNO	088 STEEL ANGLE	104 ARTIFICIAL TURF	121 EXPANSION ANCHOR	138 FIRESTOP SEALANT
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012 FIBREGLASS SLIDING GLASS DOOR;	024 HPL PANEL; COLOUR TO MATCH TERRA COTTA	042 WOOD FURRING	062 CITY OF CALGARY LOGO; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT	075 TERRACOTTA SUPPORT CLIP AND PROFILE	091 TYPE X GYPSUM WALL BOARD; 15.9MM	107 WALK OFF GRILLE; C/W DRIP PAN	124 INSECT SCREEN	141 PERIMETER METAL TRIM; BLACK
	025 HOLLOW METAL DOOR; BLACK	043 COUNTERSUNK STAINLESS STEEL SCREW WITH FILLER TO MATCH PANEL COLOUR	063 CITY OF CALGARY GAS METER	076 TERRACOTTA 2 PART WALL ANCHOR SYSTEM	092 ACOUSTIC INSULATION	108 IN SLAB FAN COIL; REFER TO MECHANICAL	125 HANDRAIL SUPPORT AS REQUIRED; SOLID SQUARE SECTIONS; BLACK	142 ACOUSTIC BACKER
	027 BOLLARD; RED	044 Z-GIRT		077 ASPHALT IMPREGNATED FIBRE BOARD	093 OPERABLE PARTITION; C/W ACOUSTICAL POCKET DOOR	109 HAT CHANNEL	126 VAPOUR BARRIER	143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
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**notes**

**PRIME CONSULTANT**

**MBAC**  
The mbc.ca  
Contact: Michelle Smith-Davies  
T: 403.261.9059  
F: 403.261.9054

**northernav**

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Do not scale drawings.  
This drawing supersedes previous issues.

#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Design Development	2020.01.17
3	Issued for DP DTR1	2020.04.15
4	60% CD Progress Submission	2020.06.24
5	Issued for DP DTR2	2020.06.29
6	Issued for DP	2020.08.13

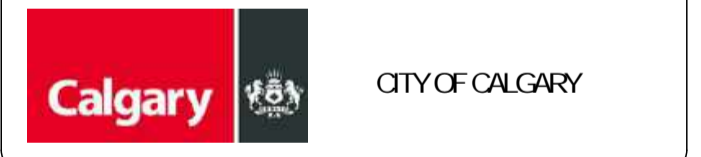
seal	seal
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**permit**

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

**consultants**

Architectural:	the mbc, mbac architectural collaborative & jordan/sutton architecture + planning
Landscape:	ISL Engineering and Land Services
Structural:	Envision Corporation
Mechanical:	The M&E Consulting Group Ltd.
Electrical:	Nemetz & Associates Ltd.
Civil:	ISL Engineering and Land Services
Consultant Project Number:	18004



**project**

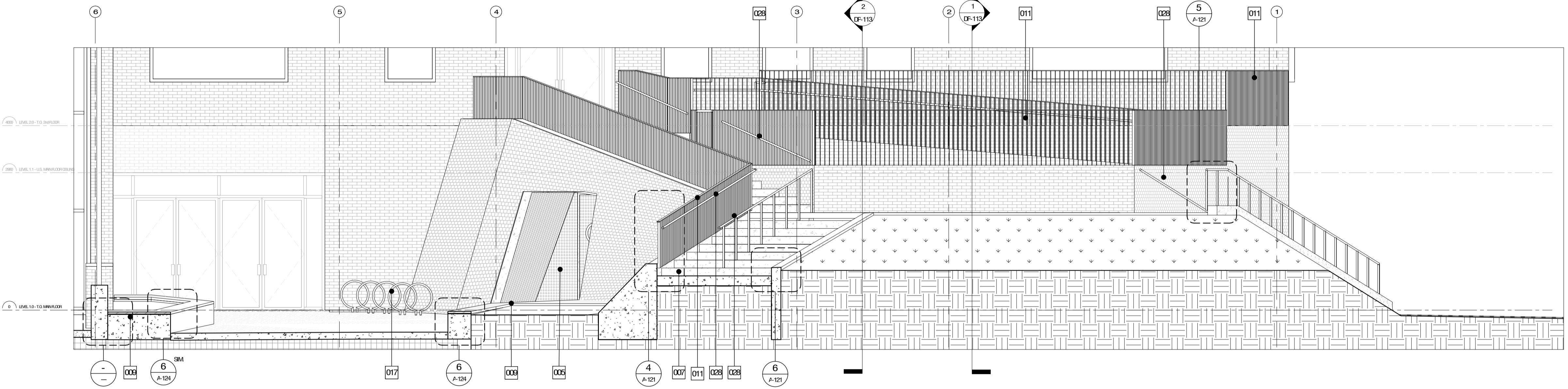
Varsity Mill Service Redevelopment

**location:** Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 1799AC Block 2 Lot 9

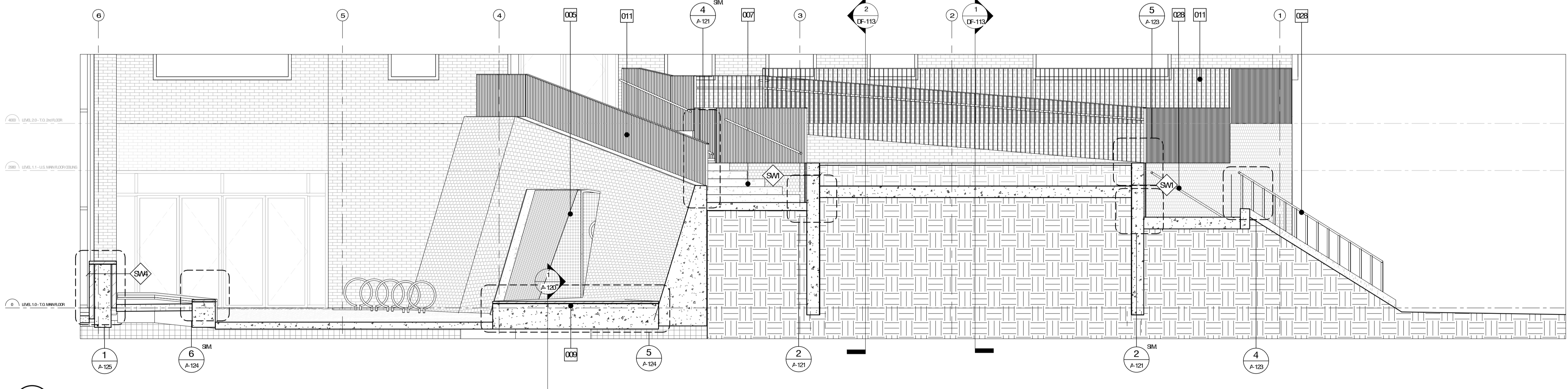
**drawing title**

**RAISED LANDSCAPE SECTIONS**

scale	as noted	all dimensions are in millimeters
drawn by	Author	drawing no. DP-114
checked by	Checker	project no. 18004
reviewed by		
CAD file name:		



**1**  
**LANDSCAPE CROSS SECTION 1**  
1:50



**2**  
**LANDSCAPE CROSS SECTION 2**  
1:50

001 FIBRE CEMENT SIDING; CHARCOAL	013 FIBREGLASS OPERABLE WINDOW;	028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED; BLACK	046 BLACK ANODIZED ALUMINUM BRAKE SHAPE; 2MM UNO	079 STICK PIN	096 CONCRETE PAVER	112 38mm x 89mm BALAU	128 NON-SHRINK GROUT
002 FIBREGLASS CURTAIN WALL GLAZING; BLACK FRAME	014 SIGNAGE; CUSTOM FABRICATED METAL LETTERS; BRONZE FINISH	031 PLYWOOD	047 VOID FORM; REFER TO STRUCTURAL	081 RIGID MINERAL WOOL INSULATION	097 PAVER PEDESTAL	113 GEOTEXTILE FABRIC	129 ANCHOR BOLT
003 BRICK; CHARCOAL	015 ALUMINUM FLAGPOLE; CLEAR ANODIZED	032 SELF ADHERED AIR/VAPOUR BARRIER	048 RIGID INSULATION	082 MDF	098 SKATESTOP	115 FIRE GUARD TAPE	130 TRACTION STRIP
004 TERRACOTTA; OXIDE RED	016 BELL; BRONZE	033 VAPOUR RETARDER	049 PIPE; REFER TO STRUCTURAL	083 CANT STRIP	099 DOOR THRESHOLD	116 STEEL CURB BY ROOF SUPPLIER - GUAGE AS REQUIRED	131 CONCRETE FILL
005 PERFORATED ALUMINUM SCREEN; CLEAR ANODIZED	017 BIKE RACKS	034 WOOD BLOCKING	050 SEALANT; C/W FOAM BACKER AS REQUIRED	084 ROOF ANCHOR	100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL	117 VINYL FILM ADHESIVE	132 STEEL PAN AND RISER
006 MECHANICAL ROOFTOP SCREEN - PV SOLAR PANELS; BLACK	018 INSULATED BLANK OFF PANEL	035 BRICK TIE; ANCHOR TO SUBSTRATE AS REQUIRED	051 SELF ADHERED WATERPROOFING MEMBRANE	085 SPUN ALUMINUM FLASHING; C/W EPDM GASKET	101 WEEPING TILE C/W GEOTEXTILE FABRIC AND 150MM DRAINAGE ROCK; REFER TO MECHANICAL	118 PVC DECK MEMBRANE	135 LINEAR WOOD GRILLE C/W BLACK WOOD BACKER
007 C.I.P CONCRETE STAIRS	019 BRICK; HIT AND MISS APPLICATION; CHARCOAL	036 SBS ROOFING MEMBRANE	052 CALGARY FIRE DEPARTMENT MALTESE CROSS; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT	086 ROOF DRAIN	102 WATERSTOP	119 MASONRY CONTROL JOINT	136 WOOD TREAD
008 FOUR FOLD GLAZED DOORS; BLACK	020 CORRUGATED METAL PANEL SCREEN; BLACK	037 PREFINISHED FLASHING; BLACK UNO	053 WEEP HOLE	087 REINFORCEMENT MEMBRANE	103 BLINDSIDE WATERPROOFING MEMBRANE	120 BLACK ANODIZED ALUMINUM EXTRUSION; REFER TO EXTRUSION SCHEDULE	137 JACKETED INSULATED AIR SEAL DUCT COVER; REFER TO MECHANICAL
009 CONCRETE WITH WOOD SURFACE SEATING/PLANTER	021 WOOD ROOF SURFACE	038 FIBRE RIGID INSULATION	054 VAPOUR RADON BARRIER MEMBRANE	088 STEEL ANGLE	104 ARTIFICIAL TURF	121 EXPANSION ANCHOR	138 FIRESTOP SEALANT
010 DRAINABLE ALUMINUM LOUVER; BLACK	022 GLAZED FIBRE-GLASS FRAME DOOR; BLACK FRAME	039 FIBRE CEMENT PANEL	055 VAPOUR PERMEABLE MEMBRANE	089 WOOD STUD	105 REINFORCEMENT; REFER TO STRUCTURAL	122 STEEL PLATE	139 BLACK HEAVY DUTY 15/16" MAIN T-BAR
011 CUSTOM FABRICATED GUARDRAIL; 50mm x 13mm FLATBAR; 100mm O.C.; GALVANIZED; BLACK; UNO; REFER TO STRUCTURAL	023 RESERVED	040 FIBRE CEMENT PANEL TRIM	056 CITY OF CALGARY LOGO; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT	090 CLOSURE STRIP	106 LIGHT FIXTURE; REFER TO ELECTRICAL	123 FASTENER	140 METAL ANGLE CONNECTOR
012 FIBREGLASS SLIDING GLASS DOOR;	024 HPL PANEL; COLOUR TO MATCH TERRA COTTA	041 WOOD FURRING	057 TERRACOTTA 2 PART WALL ANCHOR SYSTEM	091 TYPE X GYPSUM WALL BOARD; 15.9MM	107 WALK OFF GRILLE; C/W DRIP PAN	124 INSECT SCREEN	141 PERIMETER METAL TRIM, BLACK
	025 HOLLOW METAL DOOR; BLACK	042 COUNTERSUNK STAINLESS STEEL SCREW WITH FILLER TO MATCH PANEL COLOUR	058 ASPHALT IMPREGNATED FIBRE BOARD	092 ACOUSTIC INSULATION	108 IN SLAB FAN COIL; REFER TO MECHANICAL	125 HANDRAIL SUPPORT AS REQUIRED; SOLID SQUARE SECTIONS; BLACK	142 ACOUSTIC BACKER
	027 BOLLARD; RED	044 Z-GIRT	059 EXTERIOR SHEATHING	093 OPERABLE PARTITION; C/W ACOUSTICAL POCKET DOOR	109 HAT CHANNEL	126 VAPOUR BARRIER	143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
				094 REVEAL	110 JOINT CLOSURE	127 CEILING MOUNTED WINDOW COVERING	144 LINEAR SUPPLY DIFFUSER; REFER TO MECHANICAL
				095 EMBED; REFER TO STRUCTURAL	111 J BEAD		

notes

FRAME CONSULTANT



The m.m. boulin architectural collaborative inc. 110 - mbac, c.o. Contact: Mehdi Boulin-Guyon T: 403.261.9029 F: 403.261.9054



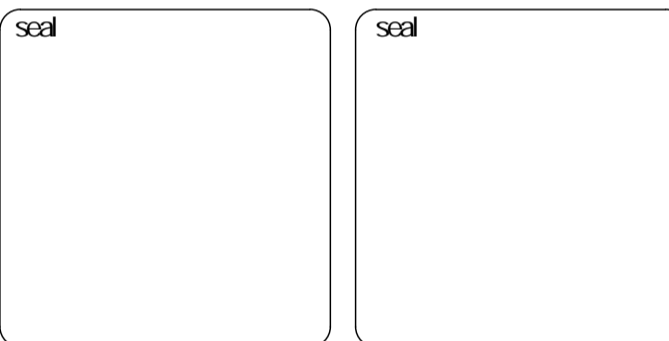
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#	DESCRIPTION	DATE
1	Issued for DP	2020.08.13



permit  
**PRELIMINARY  
NOT FOR CONSTRUCTION**

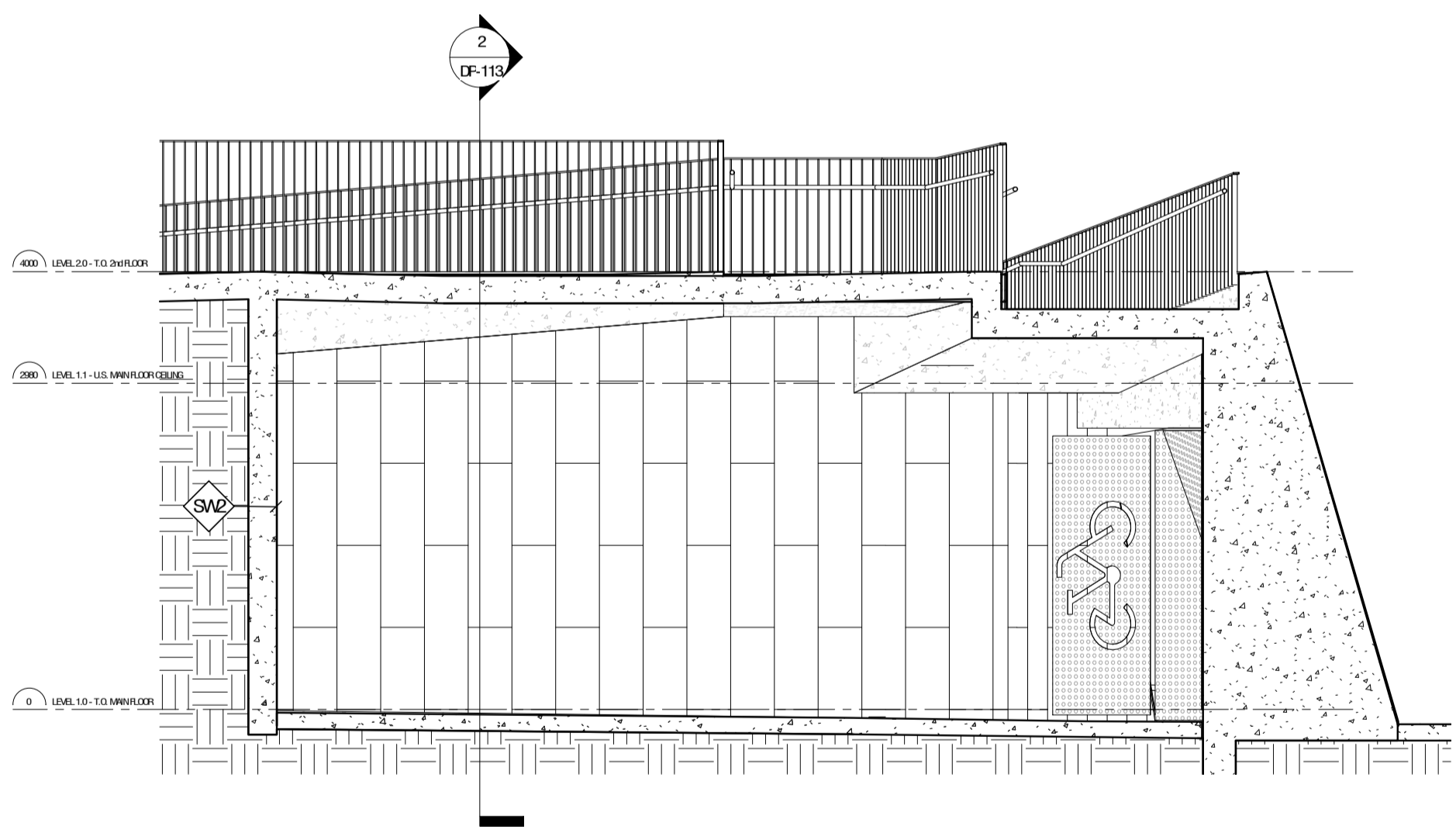
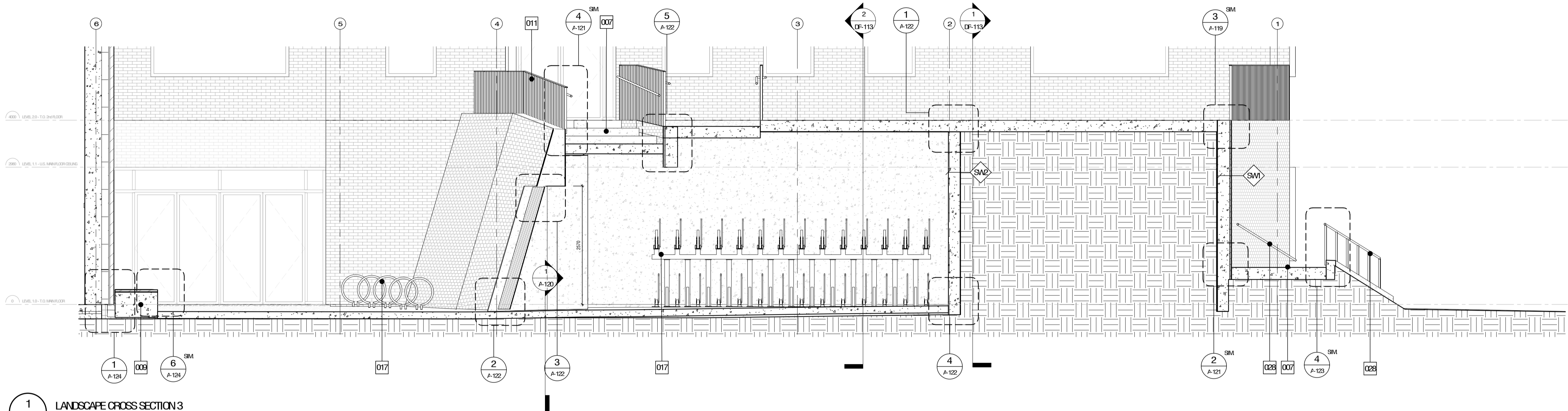
consultants  
Architectural: the m.m. boulin architectural collaborative & jordan dudkin architecture + planning  
Landscape: ISL Engineering and Land Services  
Structural: Emotive Corporation  
Mechanical: The M.E. Consulting Group Ltd.  
Electrical: Nemz & Associates Ltd.  
Civil: ISL Engineering and Land Services  
Consultant Project Number: 18004

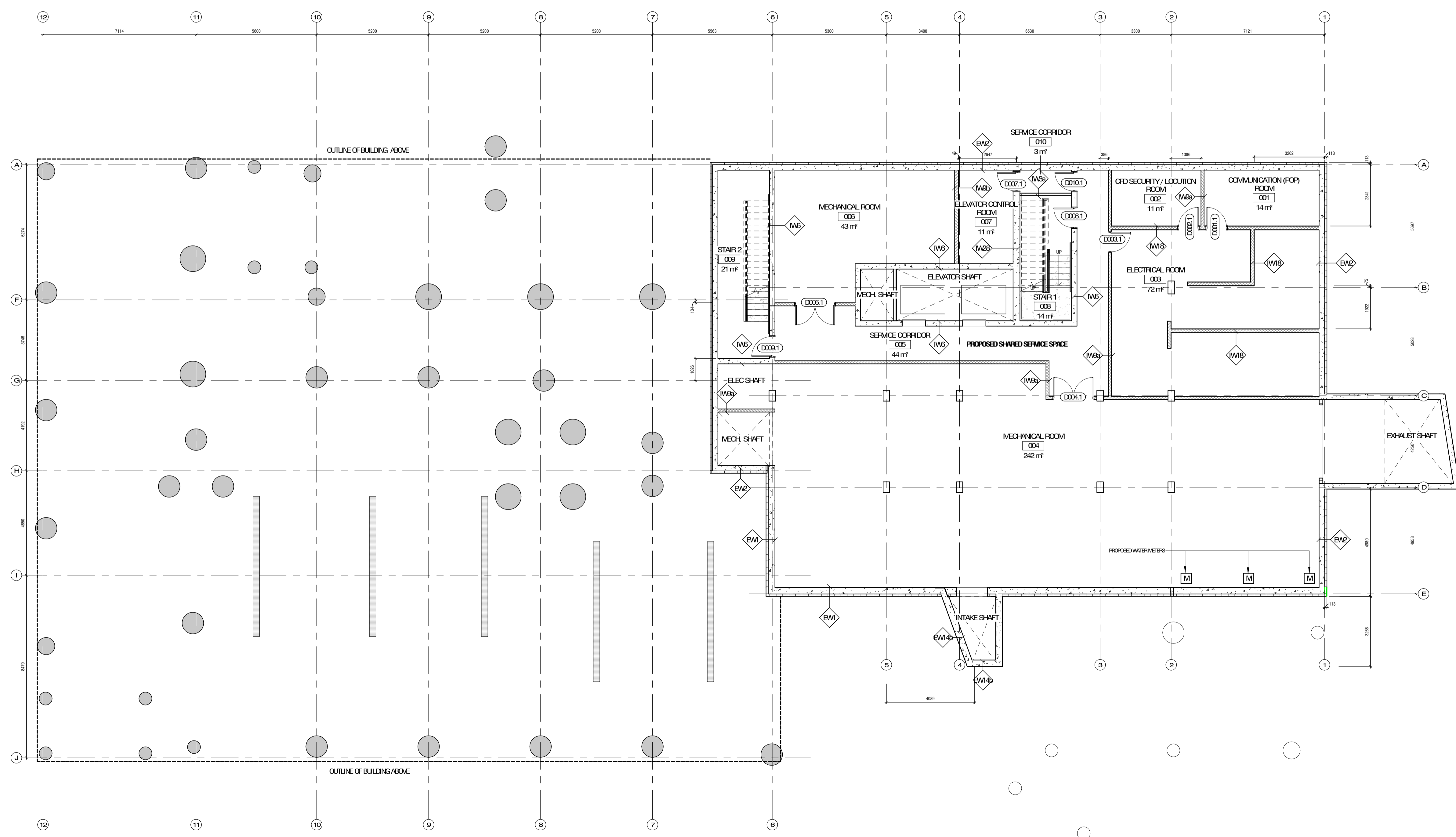


project  
Varsity Mill Service Redevelopment  
location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 17990C Block 2 Lot 9

drawing title  
**RAISED LANDSCAPE SECTIONS**

scale as noted all dimensions are in millimeters  
drawn by Author  
checked by Checker  
reviewed by  
drawing no. DP-115  
project no. 18004  
CAD file name:





**NOTES**

**PRIME CONSULTANT**



the-mbac.ca  
 Contact: Michelle Smith-Cavann  
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 F: 403.261.9254



northern

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#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Design Development	2020.01.17
3	Issued for DP DTR1	2020.04.15
4	Issued for DP DTR2	2020.06.29
5	Issued for DP	2020.08.13

seal

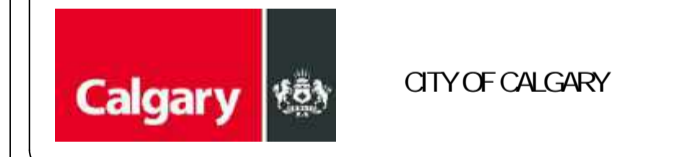
seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**consultants**

Architectural: the-mbac architectural collaborative & jordan dickson architecture - planning  
 Landscape: ISL Engineering and Land Services  
 Structural: Envision Corporation  
 Mechanical: The M.E. Consulting Group Ltd  
 Electrical: Nemer & Associates Ltd  
 Civil: ISL Engineering and Land Services  
 Consultant Project Number: 18004



**project**

Verity Mill Service Redevelopment

Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 17990C Block 2 Lot 9

**drawing title**

LEVEL 0 PLAN

scale: as noted      all dimensions are in millimeters

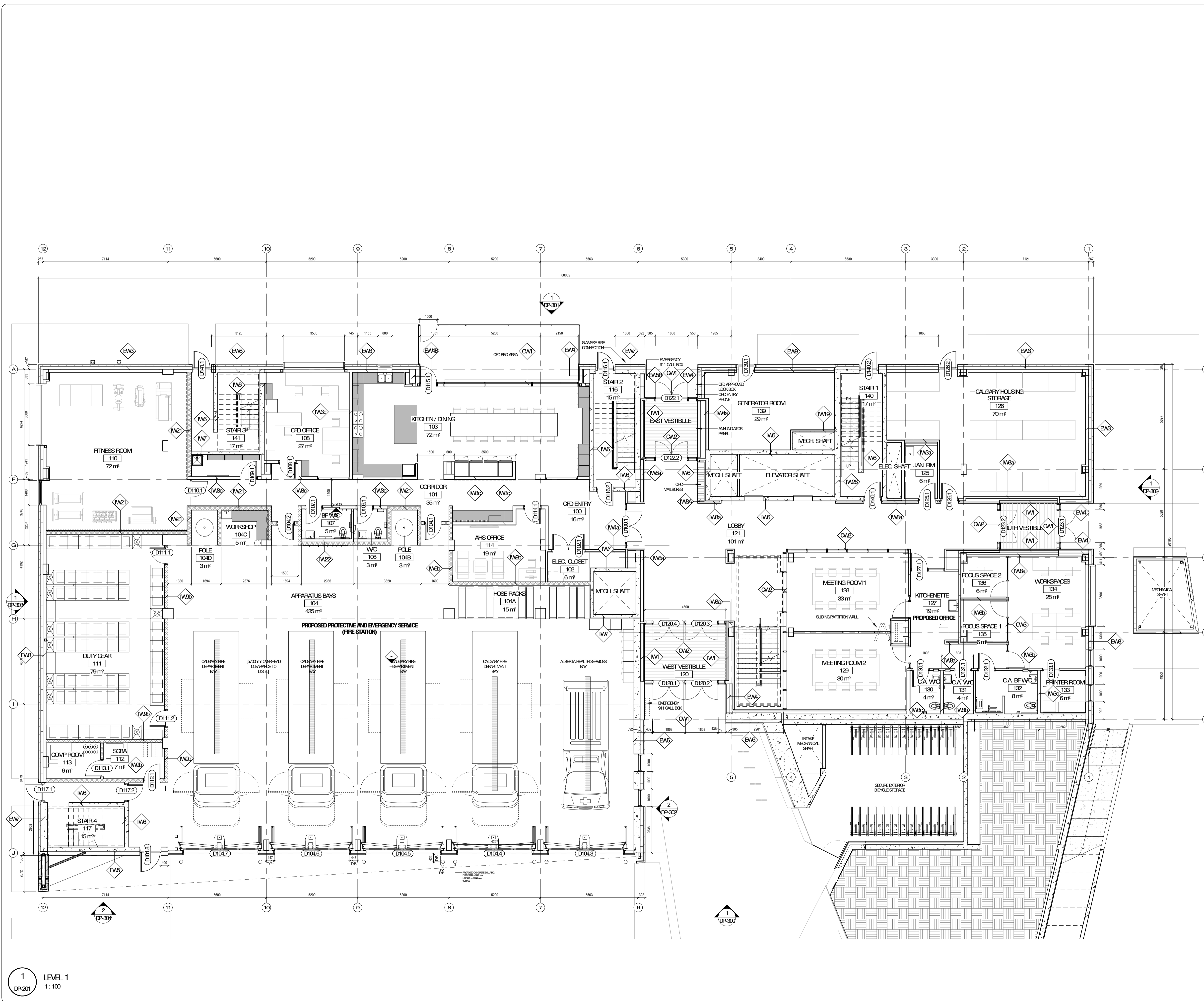
drawn by: Author      drawing no.: DP-200

checked by: Checker

reviewed by:      project no.: 18004

CAD file name:

1 LEVEL 0  
 DP-200 1:100



**NOTES**

**PRIME CONSULTANT**



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←  
northarrow

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#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Design Development	2020.01.17
3	Issued for DP DTR1	2020.04.15
4	Issued for DP DTR2	2020.06.29
5	Issued for DP	2020.08.13

seal

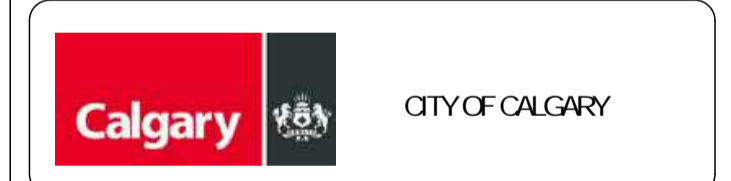
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permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**consultants**

Architectural: the-mbac architectural collaborative & jordan/brown architecture - planning  
 Landscape: ISL Engineering and Land Services  
 Structural: Enbridge Corporation  
 Mechanical: The M&E Consulting Group Ltd  
 Electrical: Nemer & Associates Ltd  
 Civil: ISL Engineering and Land Services  
 Consultant Project Number: 18004



**project**

Varsity Mill Service Redevelopment

**location:**  
 Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 1799C Block 2 Lot 9

**drawing title**

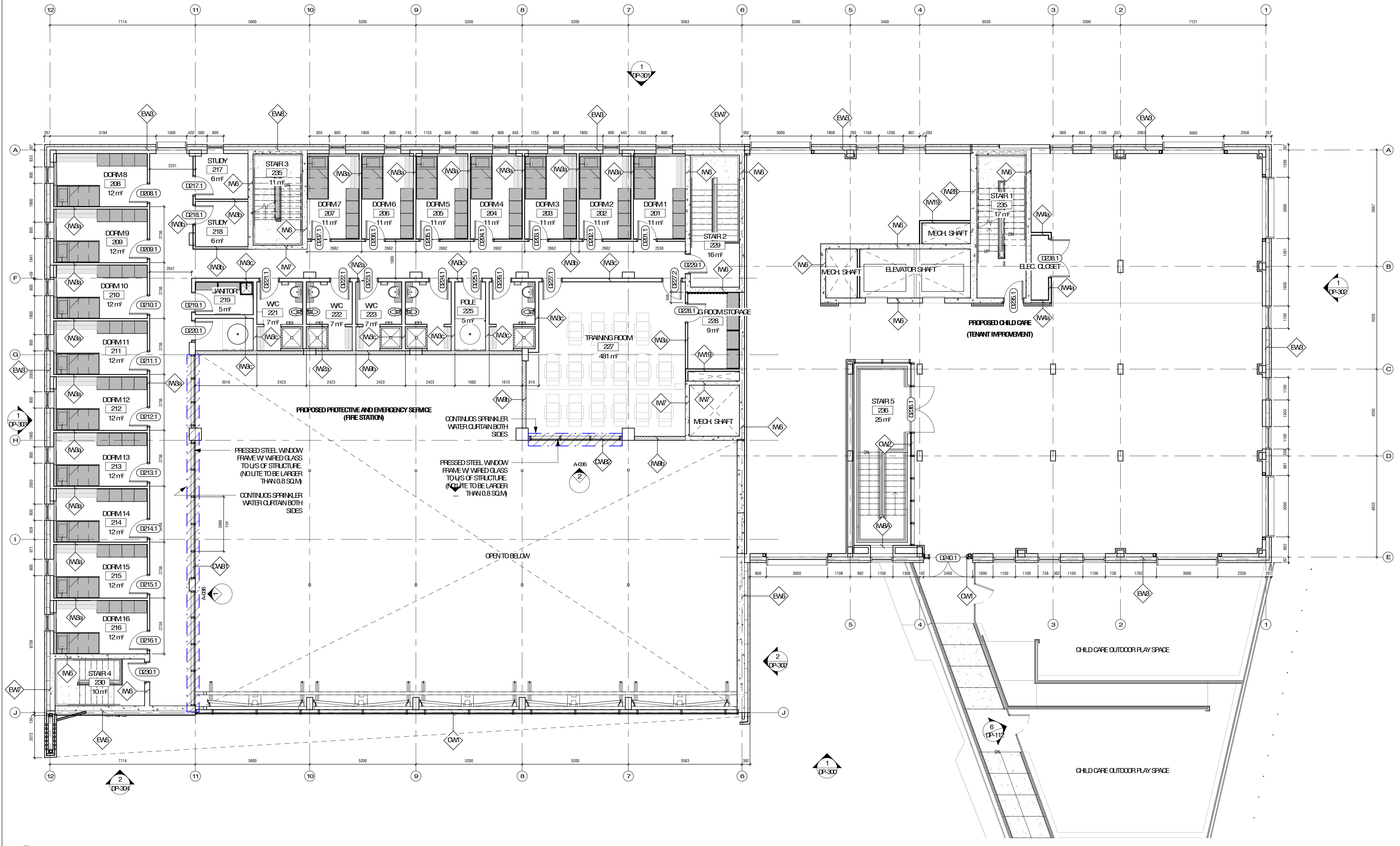
LEVEL 1 PLAN

**scale**  
as noted

all dimensions are in millimeters

<b>drawn by</b> Author	<b>drawing no.</b> DP-201
<b>checked by</b> Checker	
<b>reviewed by</b>	<b>project no.</b> 18004
<b>CAD file name:</b>	

**1** LEVEL 1  
1:100  
DP-201



**NOTES**

**PRIME CONSULTANT**



the-mbac.ca  
 Contact: Marilee Smith-Cavann  
 T: 403.261.9229  
 F: 403.261.9254

←  
northarrow

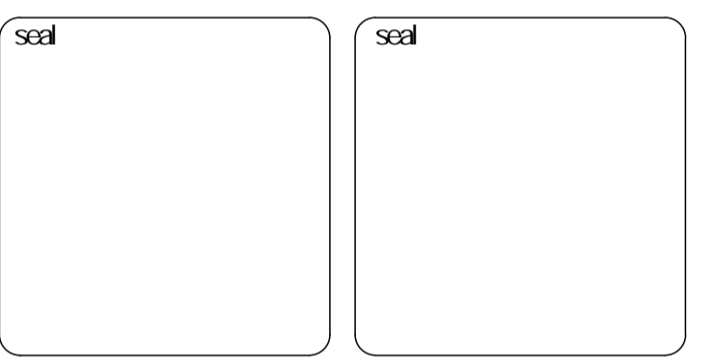
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#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Issued for DP DTR1	2020.04.15
3	Issued for DP DTR2	2020.06.29
4	Issued for DP	2020.08.13



**permit**

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**consultants**

Architectural: the-mbac architectural collaborative & jordan-dickson architecture - planning  
 Landscape: iSL Engineering and Land Services  
 Structural: Enbridge Corporation  
 Mechanical: The M&E Consulting Group Ltd  
 Electrical: Nemetz & Associates Ltd  
 Civil: iSL Engineering and Land Services  
 Consultant Project Number: 18004



**project**

Varsity Multi-Service Redevelopment

Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 1799C Block 2 Lot 9

**drawing title**

LEVEL 2 PLAN

**scale**  
 as noted      all dimensions are in millimeters

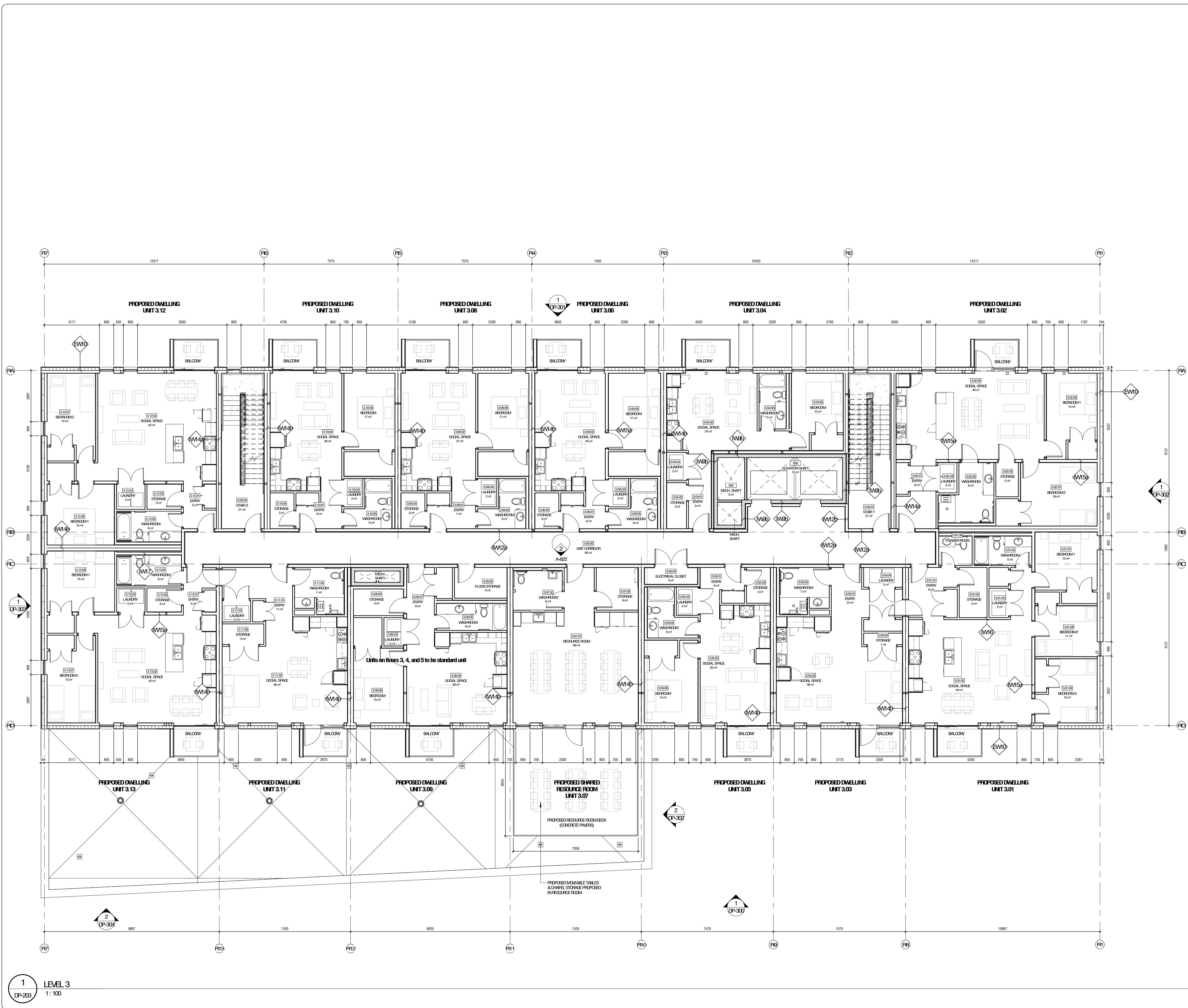
**drawn by**      Author  
 checked by      Checker

**revised by**      project no.  
 18004

**CAD file name:**

**1** LEVEL 2  
 DP-202 1:100





**NOTES**

**PRIME CONSULTANT**



the mbc.ca  
the-mbac.ca  
Contact: Michelle Smith-Cavann  
T: 403.261.9222  
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northern

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Do not scale drawings.  
This drawing supersedes previous issues.

#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Design Development	2020.01.17
3	Issued for DP DTR1	2020.04.15
4	Issued for DP DTR2	2020.06.29
5	Issued for DP	2020.08.13

seal

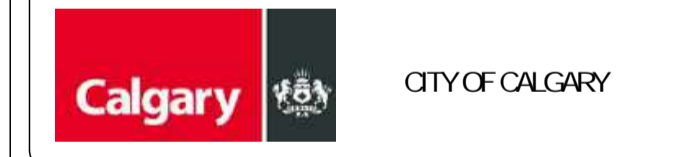
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permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**consultants**

Architectural: the mbc.ca architectural collaborative & jprison-dickson architecture - planning  
Landscape: ESL Engineering and Land Services  
Structural: Envision Corporation  
Mechanical: The M.E. Consulting Group Ltd.  
Electrical: Nemer & Associates Ltd.  
Civil: ESL Engineering and Land Services  
Consultant Project Number: 18004



project

Varsity Mills Senior Redvelopment

location:

Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 1799AC Block 2 Lot 9

drawing title

**LEVEL 3 PLAN**

scale as noted all dimensions are in millimeters

drawn by: Author

checked by: Checker

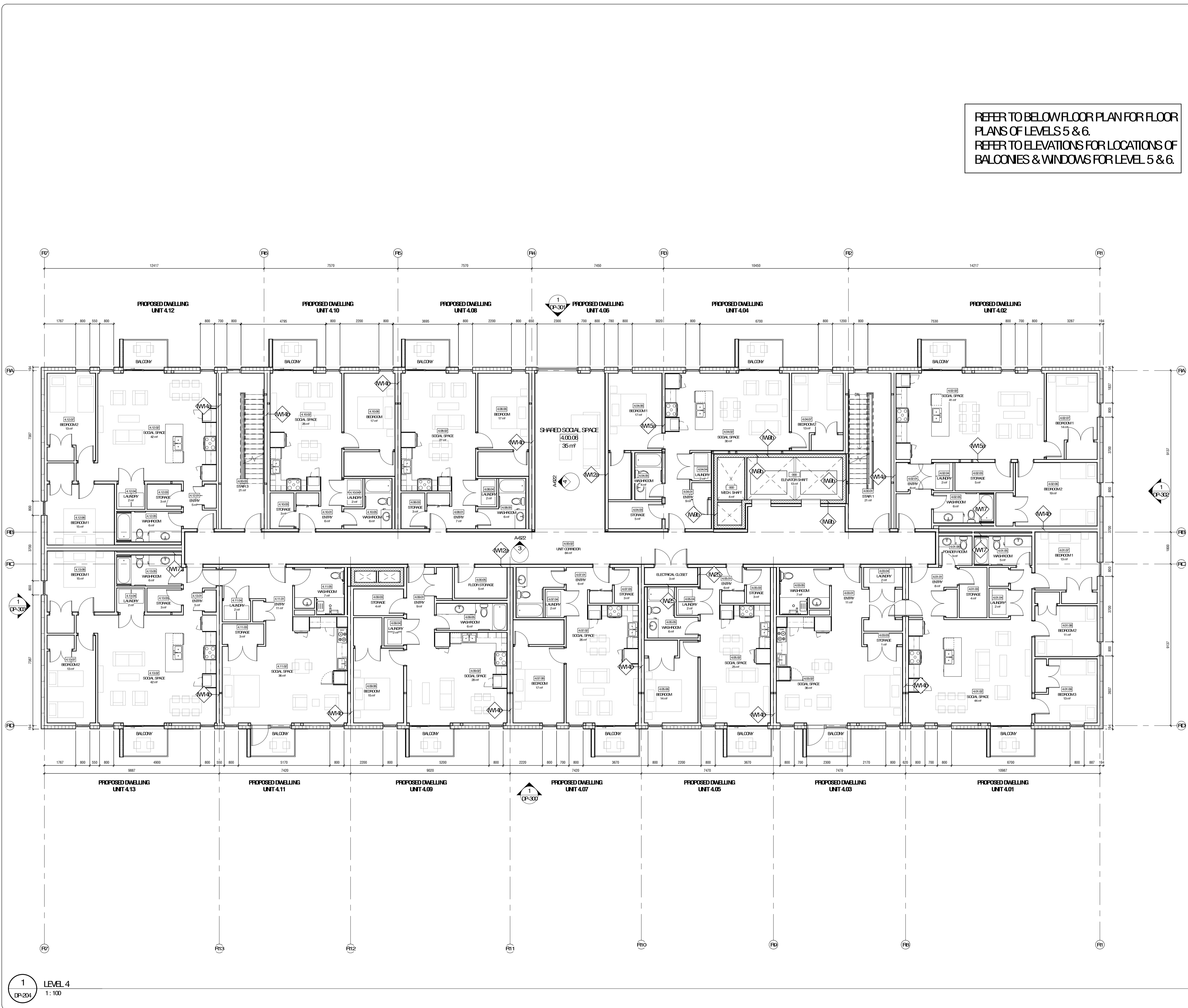
reviewed by:

CAD file name:

drawing no. **DP-203**

project no. 18004

1 LEVEL 3  
DP-203 1:100



REFER TO BELOW FLOOR PLAN FOR FLOOR PLANS OF LEVELS 5 & 6.  
REFER TO ELEVATIONS FOR LOCATIONS OF BALCONIES & WINDOWS FOR LEVEL 5 & 6.

notes

PRIME CONSULTANT



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northern

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This drawing supersedes previous issues.

#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Design Development	2020.01.17
3	Issued for DP DTR1	2020.04.15
4	Issued for DP DTR2	2020.06.29
5	Issued for DP	2020.08.13

seal

seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural: the-mbac architectural collaborative & jprison-davison architecture - planning  
Landscape: ESL Engineering and Land Services  
Structural: Envision Corporation  
Mechanical: The M.E. Consulting Group Ltd  
Electrical: Nemer & Associates Ltd  
Civil: ESL Engineering and Land Services  
Consultant Project Number: 18004



project

Verity Mill Service Redevelopment

location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 1799AC Block 2 Lot 9

drawing title

LEVEL 4 PLAN

scale as noted all dimensions are in millimeters

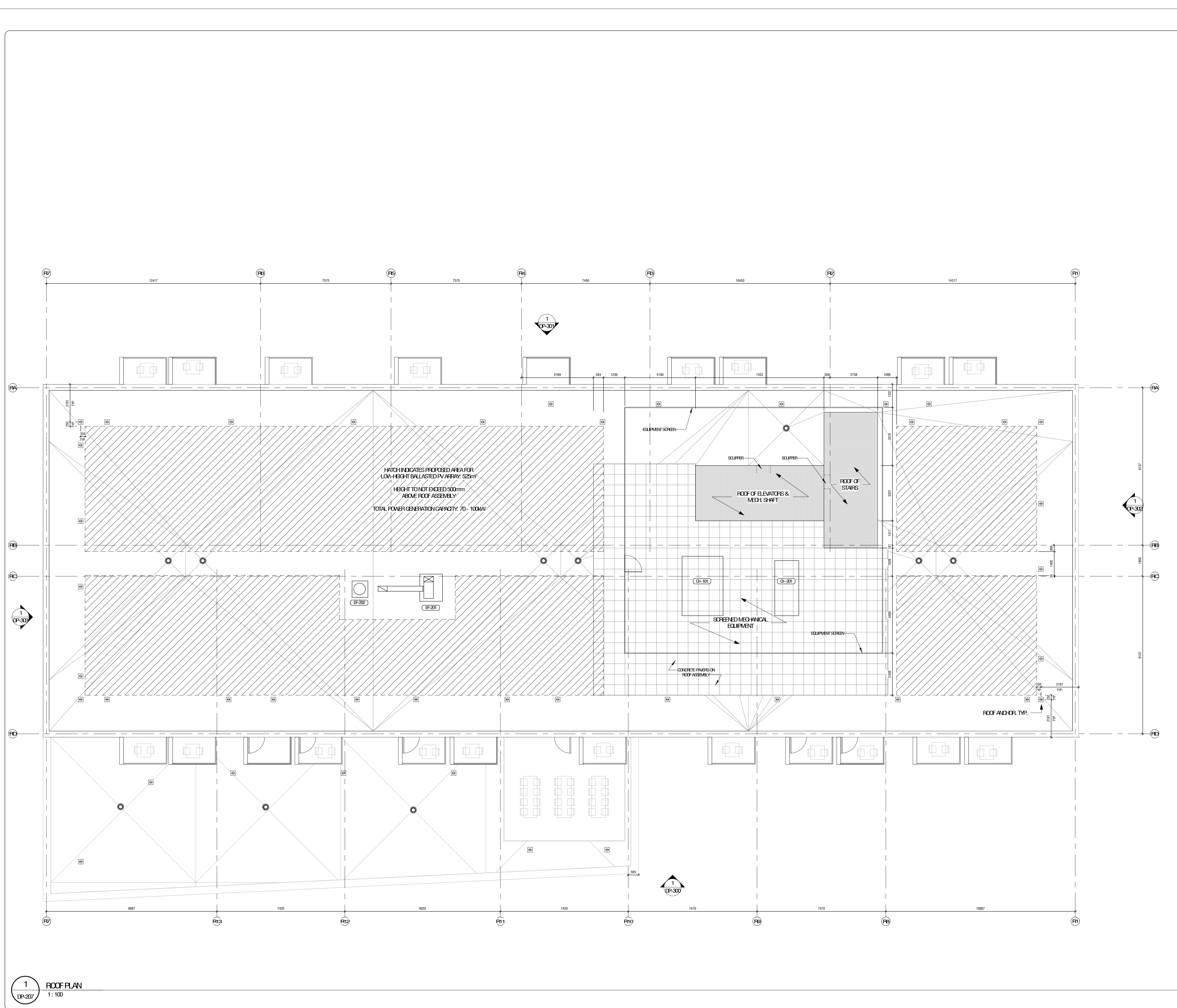
drawn by Author drawing no. DP-204

checked by Checker

reviewed by project no. 18004

CAD file name:

1 LEVEL 4  
DP-204  
1:100



**NOTES**

**PRIME CONSULTANT**  
 northarrow  
 the men, bovin and architectural collaborative inc.  
 the-mbac.ca  
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 T: 403.261.9229  
 F: 403.261.9254

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#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Design Development	2020.01.17
3	Issued for DP DTR1	2020.04.15
4	Issued for DP DTR2	2020.06.29
5	Issued for DP	2020.08.13

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

**consultants**  
 Architectural: the men, bovin architectural collaborative & jordan dudman architecture - planning  
 Landscape: ESL Engineering and Land Services  
 Structural: Envision Corporation  
 Mechanical: The M.E. Consulting Group Ltd.  
 Electrical: Nemetz & Associates Ltd.  
 Civil: ESL Engineering and Land Services  
 Consultant Project Number: 18004

**project**  
 Varsity Mill Service Redevelopment  
 Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
 Legal Address: Plan 1799AC Block 2 Lot 9

**drawing title**  
 ROOF PLAN

scale as noted

all dimensions are in millimeters

drawn by: Author

checked by: Checker

reviewed by: \_\_\_\_\_

drawing no.: **DP-207**

project no.: 18004

CAD file name: \_\_\_\_\_

**1** ROOF PLAN  
 DP-207 1:100

001	FIBRE CEMENT SIDING; CHARCOAL
002	FIBREGLASS CURTAIN WALL GLAZING; BLACK FRAME
003	BRICK; CHARCOAL
004	TERRACOTTA; OXIDE RED
005	PERFORATED ALUMINUM SCREEN; CLEAR ANNOIDIZED
006	MECHANICAL ROOFTOP SCREEN - PV SOLAR PANELS; BLACK
007	C.I.P CONCRETE STAIRS
008	FOUR FOLD GLAZED DOORS; BLACK
009	CONCRETE WITH WOOD SURFACE SEATING/PLANTER
010	DRAINABLE ALUMINUM LOUVER; BLACK
011	CUSTOM FABRICATED GUARDRAIL; 50mm x 13mm FLATBAR; 100mm O.C., GALVANIZED;BLACK; UNO; REFER TO STRUCTURAL
012	FIBREGLASS SLIDING GLASS DOOR;

013	FIBREGLASS OPERABLE WINDOW;
014	SIGNAGE; CUSTOM FABRICATED METAL LETTERS; BRONZE FINISH
015	ALUMINUM FLAGPOLE; CLEAR ANNOIDIZED
016	BELL; BRONZE
017	BIKE RACKS
018	INSULATED BLANK OFF PANEL
019	BRICK; HIT AND MISS APPLICATION; CHARCOAL
020	CORRUGATED METAL PANEL SCREEN; BLACK
021	WOOD ROOF SURFACE
022	GLAZED FIBRE-GLASS FRAME DOOR; BLACK FRAME
023	RESERVED
024	HPL PANEL; COLOUR TO MATCH TERRA COTTA
025	HOLLOW METAL DOOR; BLACK
027	BOLLARD; RED

028	38mm Ø STEEL PIPE HANDRAIL; GALVANIZED; BLACK
031	PLYWOOD
032	SELF ADHERED AIR/VAPOUR BARRIER
033	VAPOUR RETARDER
034	WOOD BLOCKING
035	BRICK TIE; ANCHOR TO SUBSTRATE AS REQUIRED
036	SBS ROOFING MEMBRANE
037	PREFINISHED FLASHING; BLACK UNO
039	SEMI RIGID INSULATION
040	FIBRE CEMENT PANEL
041	FIBRE CEMENT PANEL TRIM
042	WOOD FURRING
043	COUNTERSUNK STAINLESS STEEL SCREW WITH FILLER TO MATCH PANEL COLOUR
044	Z-GIRT

046	BLACK ANODIZED ALUMINUM BRAKE SHAPE; 2MM UNO
047	VOID FORM; REFER TO STRUCTURAL
049	RIGID INSULATION
050	PILE; REFER TO STRUCTURAL
051	SELF ADHERED WATERPROOFING MEMBRANE
053	SEALANT; C/W FOAM BACKER AS REQUIRED
055	STEEL STUD
056	CALGARY FIRE DEPARTMENT MALTESE CROSS; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT
057	WEEP HOLE
058	VAPOUR RADON BARRIER MEMBRANE
060	VAPOUR PERMEABLE MEMBRANE
062	CITY OF CALGARY LOGO; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT
063	CITY OF CALGARY GAS METER

064	GLAZED ALUMINUM FRAME DOOR; BLACK FRAME
065	FIBREGLASS OUTSWING DOOR;
066	DOOR FRAME; ANCHOR AS REQUIRED
067	SPRAY FOAM INSULATION
068	GYPSTUM WALL BOARD; 12.7MM UNO
069	CURTAIN WALL ANCHOR AND/OR REINFORCEMENT; AS REQUIRED, BY CURTAIN WALL SUPPLIER
070	MEMBER; REFER TO STRUCTURAL
071	DRAINAGE MAT
072	BRAKE SHAPE; 5MM UNO
073	LOUVER SUPPORT; AS REQUIRED
074	THERMAL BREAK
075	TERRACOTTA SUPPORT CLIP AND PROFILE
076	TERRACOTTA 2 PART WALL ANCHOR SYSTEM
077	ASPHALT IMPREGNATED FIBRE BOARD
078	EXTERIOR SHEATHING

079	STICK PIN
081	RIGID MINERAL WOOL INSULATION
082	MOF
083	CANT STRIP
084	ROOF ANCHOR
085	SPUN ALUMINUM FLASHING; C/W EPDM GASKET
086	ROOF DRAIN
087	REINFORCEMENT MEMBRANE
088	STEEL ANGLE
089	WOOD STUD
090	CLOSURE STRIP
091	TYPE X GYPSUM WALL BOARD; 15.9MM
092	ACOUSTIC INSULATION
093	OPERABLE PARTITION; C/W ACOUSTICAL POCKET DOOR
094	REVEAL
095	EMBED; REFER TO STRUCTURAL

096	CONCRETE PAVER
097	PAVER PEDESTAL
098	SKATESTOP
099	DOOR THRESHOLD
100	KNIFE PLATE/GUSSET; REFER TO STRUCTURAL
101	WEEPING TILE C/W GEOTEXTILE FABRIC AND 150MM DRAINAGE ROCK; REFER TO MECHANICAL
102	WATERSTOP
103	BLINDSIDE WATERPROOFING MEMBRANE
104	ARTIFICIAL TURF
105	REINFORCEMENT; REFER TO STRUCTURAL
106	LIGHT FIXTURE; REFER TO ELECTRICAL
107	WALK OFF GRILLE; C/W DRIP PAN
108	IN SLAB FAN COIL; REFER TO MECHANICAL
109	HAT CHANNEL
110	JOINT CLOSURE
111	J BEAD

112	38mm x 89mm BALAU
113	GEOTEXTILE FABRIC
115	FIRE GUARD TAPE
116	STEEL CURB BY ROOF SUPPLIER - GAUGE AS REQUIRED
117	VINYL FILM ADHESIVE
118	PVC DECK MEMBRANE
119	MASONRY CONTROL JOINT
120	BLACK ANODIZED ALUMINUM EXTRUSION; REFER TO EXTRUSION SCHEDULE
121	EXPANSION ANCHOR
122	STEEL PLATE
123	FASTENER
124	INSECT SCREEN
125	HANDRAIL SUPPORT AS REQUIRED; SOLID SQUARE SECTIONS; BLACK
126	VAPOUR BARRIER
127	CEILING MOUNTED WINDOW COVERING

128	NON-SHRINK GROUT
129	ANCHOR BOLT
130	TRACTION STRIP
131	CONCRETE FILL
132	STEEL PAN AND RISER
135	LINEAR WOOD GRILLE C/W BLACK WOOD BACKER
136	WOOD TREAD
137	JACKETED INSULATED AIR SEAL DUCT COVER; REFER TO MECHANICAL
138	FIRESTOP SEALANT
139	BLOCK HEAVY DUTY 15/16" MAIN T-BAR
140	METAL ANGLE CONNECTOR
141	PERIMETER METAL TRIM, BLACK
142	ACOUSTIC BACKER
143	WOOD TRIM TO MATCH LINEAR WOOD GRILLE
144	LINEAR SUPPLY DIFFUSER; REFER TO MECHANICAL

NOTES

PRIME CONSULTANT



MBAC  
The main building architectural collaborative inc.  
11th - MBAC, c.a  
Contact: Michelle Smith-Coxam  
T: 403.261.9029  
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1	DP	2019.12.05
2	LOC	2019.12.05
3	Design Development	2020.01.17
4	Issued for DP DTR1	2020.04.15
5	Issued for LOC DTR1	2020.04.15
6	Issued for DP DTR2	2020.06.29
7	Issued for LOC DTR2	2020.06.29
8	Issued for DP	2020.08.13



1 WEST ELEVATION  
1:100  
DP-304

seal

seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural: the main building architectural collaborative & jordan davidson architecture - planning  
Landscape: ISL Engineering and Land Services  
Structural: Enbridge Corporation  
Mechanical: The AME Consulting Group Ltd  
Electrical: Nemer & Associates Ltd  
Civil: ISL Engineering and Land Services  
Consultant Project Number: 18004



project

Varsity Mill Service Redevelopment

location: Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
Legal Address: Plan 1799CC Block 2 Lot 9

drawing title

**BUILDING ELEVATION - WEST**

scale: as noted all dimensions are in millimeters

drawn by: Author drawing no: DP-300

checked by: Checker

reviewed by: project no: 18004

CAD file name:

001 FIBRE CEMENT SIDING, CHARCOAL	013 FIBREGLASS OPERABLE WINDOW;	028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED;	046 BLACK ANODIZED ALUMINUM BRAKE SHAPE;	064 GLAZED ALUMINUM FRAME DOOR; BLACK	079 STICK PIN	096 CONCRETE PAVER	112 38mm x 89mm BALAU	128 NON-SHRINK GROUT
002 FIBREGLASS CURTAIN WALL GLAZING; BLACK	014 SIGNAGE, CUSTOM FABRICATED METAL	031 PLYWOOD	047 VOID FORM; REFER TO STRUCTURAL	065 FIBREGLASS OUTSWING DOOR;	081 RIGID MINERAL WOOL INSULATION	097 PAVER PEDESTAL	113 GEOTEXTILE FABRIC	129 ANCHOR BOLT
003 BRICK; CHARCOAL	015 ALUMINUM FLAGPOLE; CLEAR ANODIZED	032 SELF ADHERED AIR/VAPOUR BARRIER	049 RIGID INSULATION	066 DOOR FRAME; ANCHOR AS REQUIRED	082 MDF	098 SKATESTOP	115 FIRE GUARD TAPE	130 TRACTION STRIP
004 TERRACOTTA; OXIDE RED	016 BELL; BRONZE	033 VAPOUR RETARDER	050 PILE; REFER TO STRUCTURAL	067 SPRAY FOAM INSULATION	083 CANT STRIP	099 DOOR THRESHOLD	116 STEEL CURB BY ROOF SUPPLIER - GUAGE AS	131 CONCRETE FILL
005 PERFORATED ALUMINUM SCREEN; CLEAR	017 BIKE RACKS	034 WOOD BLOCKING	051 SELF ADHERED WATERPROOFING MEMBRANE	068 GYPSUM WALL BOARD; 12.7MM UNO	084 ROOF ANCHOR	100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL	REQUIRED	132 STEEL PAN AND RISER
006 MECHANICAL ROOFTOP SCREEN - PV SOLAR	018 INSULATED BLANK OFF PANEL	035 BRICK TIE; ANCHOR TO SUBSTRATE AS	052 SEALANT; C/W FOAM BACKER AS REQUIRED	069 CURTAIN WALL ANCHOR AND/OR	085 SPUN ALUMINUM FLASHING; C/W EPDM	101 WEERING TILE C/W GEOTEXTILE FABRIC AND	150MM DRAINAGE ROCK; REFER TO	135 LINEAR WOOD GRILLE C/W BLACK WOOD
007 C.I.P CONCRETE STAIRS	019 BRICK; HIT AND MISS APPLICATION;	036 SBS ROOFING MEMBRANE	053 STEEL STUD	WALL SUPPLIER	086 ROOF DRAIN	MECHANICAL		BACKER
008 FOUR FOLD GLAZED DOORS; BLACK	CHARCOAL	037 PREFINISHED FLASHING; BLACK UNO	054 CALGARY FIRE DEPARTMENT MALTESE CROSS;	069 CURTAIN WALL ANCHOR AND/OR	087 REINFORCEMENT MEMBRANE	102 WATERSTOP	120 BLACK ANODIZED ALUMINUM EXTRUSION;	136 WOOD TREAD
009 CONCRETE WITH WOOD SURFACE	020 CORRUGATED METAL PANEL SCREEN; BLACK	038 SEMI RIGID INSULATION	PIN MOUNTED ACRYLIC PANEL C/W DIGITAL	WALL SUPPLIER	088 STEEL ANGLE	103 BLINDSIDE WATERPROOFING MEMBRANE	REFER TO EXTRUSION SCHEDULE	137 JACKETED INSULATED AIR SEAL DUCT COVER;
SEATING/PLANTER	WOOD ROOF SURFACE	039 FIBRE CEMENT PANEL	PRINT		089 WOOD STUD	104 ARTIFICIAL TURF		REFER TO MECHANICAL
010 DRAINABLE ALUMINUM LOUVER; BLACK	021 WOOD ROOF SURFACE	040 FIBRE CEMENT PANEL TRIM	057 WEEP HOLE	070 MEMBER; REFER TO STRUCTURAL	090 CLOSURE STRIP	105 REINFORCEMENT; REFER TO ELECTRICAL	121 EXPANSION ANCHOR	138 FIRESTOP SEALANT
011 CUSTOM FABRICATED GUARDRAIL; 50mm x	022 GLAZED FIBRE-GLASS FRAME DOOR; BLACK	041 WOOD FURRING	058 VAPOUR RADON BARRIER MEMBRANE	071 DRAINAGE MAT	091 TYPE X GYPSUM WALL BOARD; 15.9MM	106 LIGHT FIXTURE; REFER TO ELECTRICAL	122 STEEL PLATE	139 BLACK HEAVY DUTY 15/16" MAIN T-BAR
13mm FLATBAR; 100mm Ø C.	FRAME	042 WOOD FURRING	059 VAPOUR PERMEABLE MEMBRANE	072 BRAKE SHAPE; 5MM UNO	092 ACOUSTIC INSULATION	107 WALK OFF GRILLE; C/W DRIP PAN	123 FASTENER	140 METAL ANGLE CONNECTOR
GALVANIZED;BLACK; UNO; REFER TO	023 RESERVED	043 COUNTERSUNK STAINLESS STEEL SCREW	060 CITY OF CALGARY LOGO; PIN MOUNTED	073 LOUVER SUPPORT; AS REQUIRED	093 OPERABLE PARTITION; C/W ACOUSTICAL	108 IN SLAB FAN COIL; REFER TO MECHANICAL	124 INSECT SCREEN	141 PERIMETER METAL TRIM, BLACK
STRUCTURAL	024 HPL PANEL; COLOUR TO MATCH TERRA COTTA	WITH FILLER TO MATCH PANEL COLOUR	ACRYLIC PANEL C/W DIGITAL PRINT	074 THERMAL BREAK	094 REVEAL	109 HAT CHANNEL	125 HANDRAIL SUPPORT AS REQUIRED; SOLID	142 ACOUSTIC BACKER
012 FIBREGLASS SLIDING GLASS DOOR;	025 HOLLOW METAL DOOR; BLACK	062 CITY OF CALGARY GAS METER		075 TERRACOTTA SUPPORT CLIP AND PROFILE	095 EMBED; REFER TO STRUCTURAL	110 JOINT CLOSURE	SQUARE SECTIONS; BLACK	143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
	027 BOLLARD; RED	063 CITY OF CALGARY GAS METER		076 TERRACOTTA 2 PART WALL ANCHOR SYSTEM		111 J BEAD		144 LINEAR SUPPLY DIFFUSER; REFER TO
				077 ASPHALT IMPREGNATED FIBRE BOARD				MECHANICAL
				078 EXTERIOR SHEATHING				

notes

MBAC

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7	Issued for LOC DTR2	2020.06.29
8	Issued for DP	2020.08.13



1 EAST ELEVATION  
 DP-301 1:100

seal

seal

permit

**PRELIMINARY  
 NOT FOR CONSTRUCTION**

consultants

Architectural: the mercer/bain architectural collaborative & johnson/bain architectural - planning

Landscape: SL Engineering and Land Services

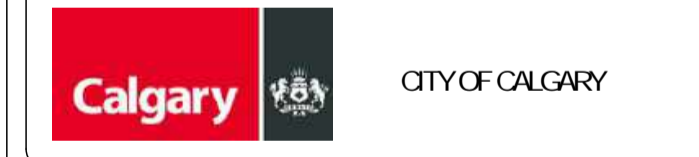
Structural: Creative Corporation

Mechanical: The M&E Consulting Group Ltd

Electrical: Nantz & Associates Ltd

Civil: SL Engineering and Land Services

Consultant Project Number: 1804



project

Varsity Multi-Services Redevelopment

location: Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
 Legal Address: Plan 1599C Block 2 Lot 9

drawing title

**BUILDING ELEVATION - EAST**

scale: as noted all dimensions are in millimeters

drawn by: Author drawing no: DP-301

checked by: Checker

reviewed by: project no: 1804

CAD file name:

001 FIBRE CEMENT SIDING; CHARCOAL	013 FIBREGLASS OPERABLE WINDOW;	028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED;	046 BLACK ANODIZED ALUMINUM BRAKE SHAPE;	064 GLAZED ALUMINUM FRAME DOOR; BLACK	079 STICK PIN	096 CONCRETE PAVER	112 38mm x 89mm BALAU	128 NON-SHRINK GROUT
002 FIBREGLASS CURTAIN WALL GLAZING; BLACK	014 SIGNAGE; CUSTOM FABRICATED METAL	031 PLYWOOD	047 VOID FORM; REFER TO STRUCTURAL	065 FIBREGLASS OUTSWING DOOR;	081 RIGID MINERAL WOOL INSULATION	097 PAVER PEDESTAL	113 GEOTEXTILE FABRIC	129 ANCHOR BOLT
003 BRICK; CHARCOAL	LETTERS; BRONZE FINISH	032 SELF ADHERED AIR/VAPOUR BARRIER	049 RIGID INSULATION	066 DOOR FRAME; ANCHOR AS REQUIRED	082 MOF	098 SKATESTOP	115 FIRE GUARD TAPE	130 TRACTION STRIP
004 TERRACOTTA; OXIDE RED	015 ALUMINUM FLAGPOLE; CLEAR ANODIZED	033 VAPOUR RETARDER	050 PILE; REFER TO STRUCTURAL	067 SPRAY FOAM INSULATION	083 CANT STRIP	099 DOOR THRESHOLD	116 STEEL CURB BY ROOF SUPPLIER - GUAGE AS	131 CONCRETE FILL
005 PERFORATED ALUMINUM SCREEN; CLEAR	016 BELL; BRONZE	034 WOOD BLOCKING	051 SELF ADHERED WATERPROOFING MEMBRANE	068 GYPSUM WALL BOARD; 12.7MM UNO	084 ROOF ANCHOR	100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL	REQUIRED	132 STEEL PAN AND RISER
006 MECHANICAL ROOFTOP SCREEN - PV SOLAR	017 BIKE RACKS	035 BRICK TIE; ANCHOR TO SUBSTRATE AS	052 SEALANT; C/W FOAM BACKER AS REQUIRED	069 CURTAIN WALL ANCHOR AND/OR	085 SPUN ALUMINUM FLASHING; C/W EPDM	101 WEPPING TILE C/W GEOTEXTILE FABRIC AND	117 VINYL FILM ADHESIVE	135 LINEAR WOOD GRILLE C/W BLACK WOOD
007 C.I.P CONCRETE STAIRS	018 INSULATED BLANK OFF PANEL	REQUIRED	053 SEALANT; C/W FOAM BACKER AS REQUIRED	REINFORCEMENT; AS REQUIRED, BY CURTAIN	GASKET	150MM DRAINAGE ROCK; REFER TO	118 PVC DECK MEMBRANE	BACKER
008 FOUR FOLD GLAZED DOORS; BLACK	019 BRICK; HIT AND MISS APPLICATION;	036 SBS ROOFING MEMBRANE	054 SEALANT; C/W FOAM BACKER AS REQUIRED	WALL SUPPLIER	086 ROOF DRAIN	MECHANICAL	119 MASONRY CONTROL JOINT	136 WOOD TREAD
009 CONCRETE WITH WOOD SURFACE	CHARCOAL	037 PREFINISHED FLASHING; BLACK UNO	055 STEEL STUD	070 MEMBER; REFER TO STRUCTURAL	087 REINFORCEMENT MEMBRANE	102 WATERSTOP	120 BLACK ANODIZED ALUMINUM EXTRUSION;	137 JACKETED INSULATED AIR SEAL DUCT COVER;
010 SEATING/PLASTER	020 CORRUGATED METAL PANEL SCREEN; BLACK	039 SEMI RIGID INSULATION	056 CALGARY FIRE DEPARTMENT MALTESE CROSS;	071 DRAINAGE MAT	088 STEEL ANGLE	103 BLINDSIDE WATERPROOFING MEMBRANE	REFER TO EXTRUSION SCHEDULE	REFER TO MECHANICAL
011 DRAINABLE ALUMINUM LOUVER; BLACK	021 WOOD ROOF SURFACE	040 FIBRE CEMENT PANEL	PIN MOUNTED ACRYLIC PANEL C/W DIGITAL	072 BRAKE SHAPE; 5MM UNO	089 WOOD STUD	104 ARTIFICIAL TURF	121 EXPANSION ANCHOR	138 FIRESTOP SEALANT
012 CUSTOM FABRICATED GUARDRAIL; 50mm x	022 GLAZED FIBRE-GLASS FRAME DOOR; BLACK	041 FIBRE CEMENT PANEL TRIM	PRINT	073 LOUVER SUPPORT; AS REQUIRED	090 CLOSURE STRIP	105 REINFORCEMENT; REFER TO STRUCTURAL	122 STEEL PLATE	139 BLACK HEAVY DUTY 15/16" MAIN T-BAR
13mm FLATBAR; 100mm O.C.,	023 RESERVED	042 WOOD FURRING	057 WEEP HOLE	074 THERMAL BREAK	091 TYPE X GYPSUM WALL BOARD; 15.9MM	106 LIGHT FIXTURE; REFER TO ELECTRICAL	123 FASTENER	140 METAL ANGLE CONNECTOR
GALVANIZED;BLACK; UNO; REFER TO	024 HPL PANEL; COLOUR TO MATCH TERRA COTTA	043 COUNTERSUNK STAINLESS STEEL SCREW	058 VAPOUR RADON BARRIER MEMBRANE	075 TERRACOTTA SUPPORT CLIP AND PROFILE	092 ACOUSTIC INSULATION	107 WALK OFF GRILLE; C/W DRIP PAN	124 INSECT SCREEN	141 PERIMETER METAL TRIM, BLACK
STRUCTURAL	025 HOLLOW METAL DOOR; BLACK	WITH FILLER TO MATCH PANEL COLOUR	059 VAPOUR PERMEABLE MEMBRANE	076 TERRACOTTA 2 PART WALL ANCHOR SYSTEM	093 OPERABLE PARTITION; C/W ACOUSTICAL	108 IN SLAB FAN COIL; REFER TO MECHANICAL	125 HANDRAIL SUPPORT AS REQUIRED; SOLID	142 ACOUSTIC BACKER
012 FIBREGLASS SLIDING GLASS DOOR;	027 BOLLARD; RED	044 Z-GIRT	060 CITY OF CALGARY LOGO; PIN MOUNTED	ACRYLIC PANEL C/W DIGITAL PRINT	POCKET DOOR	109 HAT CHANNEL	SQUARE SECTIONS; BLACK	143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
			063 CITY OF CALGARY GAS METER		094 REVEAL	110 JOINT CLOSURE	126 VAPOUR BARRIER	144 LINEAR SUPPLY DIFFUSER; REFER TO
					095 EMBED; REFER TO STRUCTURAL	111 J BEAD	127 CEILING MOUNTED WINDOW COVERING	MECHANICAL

NOTES

PRIME CONSULTANT



the main boun architectural collaborative inc.  
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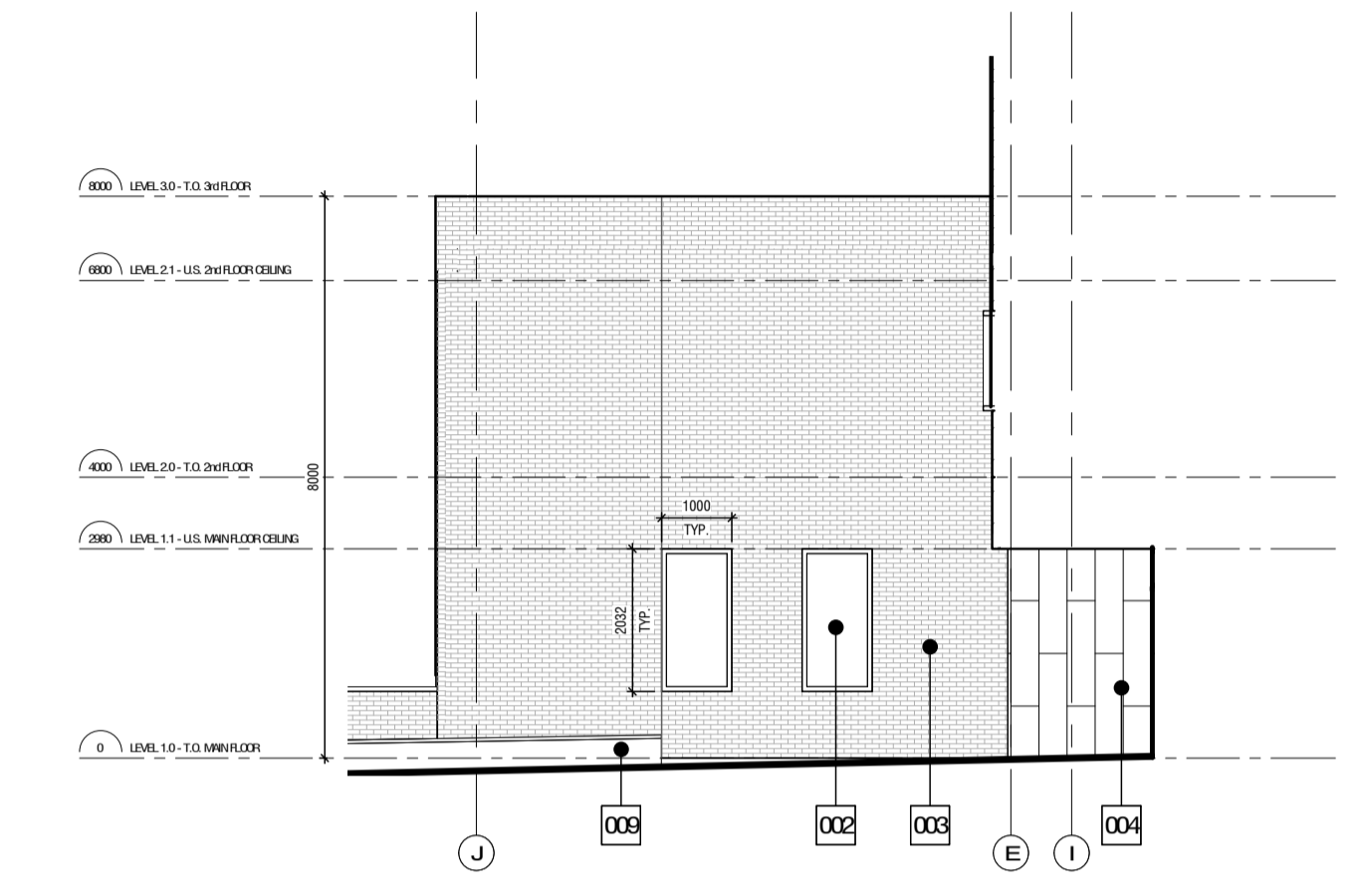
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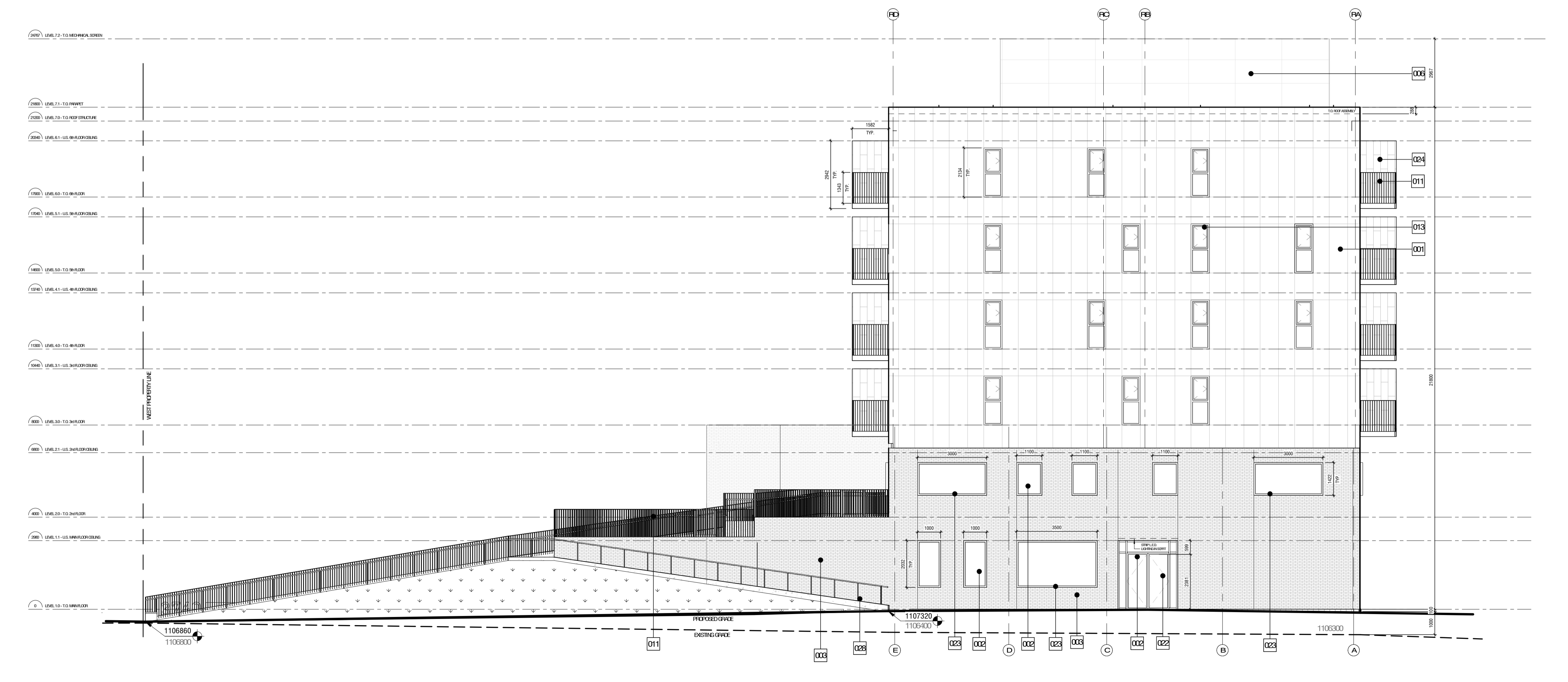
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6	Issued for DP DTR2	2020.06.29
7	Issued for LOC DTR2	2020.06.29
8	Issued for DP	2020.08.13



2 CFD SOUTH ELEVATION  
DP-302 1:100



1 SOUTH ELEVATION  
DP-302 1:100

seal

seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural: the main boun architectural collaborative & jordan davidson architecture - planning  
Landscape: ESL Engineering and Land Services  
Structural: Creative Corporation  
Mechanical: The AME Consulting Group Ltd  
Electrical: Nemer & Associates Ltd  
Civil: ESL Engineering and Land Services  
Consultant Project Number: 18004



project

Verity Mill Service Redevelopment

location: Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
Legal Address: Plan 1799C Block 2 Lot 9

drawing title

**BUILDING ELEVATIONS - SOUTH**

scale: as noted all dimensions are in millimeters

drawn by: Author drawing no: DP-302

checked by: Checker

reviewed by: project no: 18004

CAD file name:

001 FIBRE CEMENT SIDING; CHARCOAL	013 FIBREGLASS OPERABLE WINDOW;	028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED;	046 BLACK ANODIZED ALUMINUM BRAKE SHAPE;	064 GLAZED ALUMINUM FRAME DOOR; BLACK	079 STICK PIN	096 CONCRETE PAVER	112 38mm x 89mm BALAU	128 NON-SHRINK GROUT
002 FIBREGLASS CURTAIN WALL GLAZING; BLACK	014 SIGNAGE; CUSTOM FABRICATED METAL	031 PLYWOOD	047 VOID FORM; REFER TO STRUCTURAL	065 FIBREGLASS OUTSWING DOOR;	081 RIGID MINERAL WOOL INSULATION	097 PAVEMENT PEDESTAL	113 GEOTEXTILE FABRIC	129 ANCHOR BOLT
003 BRICK; CHARCOAL	015 ALUMINUM FLAGPOLE; CLEAR ANODIZED	032 SELF ADHERED AIR/VAPOUR BARRIER	049 RIGID INSULATION	066 DOOR FRAME; ANCHOR AS REQUIRED	082 MDF	098 SKATESTOP	115 FIRE GUARD TAPE	130 TRACTION STRIP
004 TERRACOTTA; OXIDE RED	016 BELL; BRONZE	033 VAPOUR RETARDER	050 PILE; REFER TO STRUCTURAL	067 SPRAY FOAM INSULATION	083 CANT STRIP	099 DOOR THRESHOLD	116 STEEL CURB BY ROOF SUPPLIER - GAUGE AS	131 CONCRETE FILL
005 PERFORATED ALUMINUM SCREEN; CLEAR	017 BIKE RACKS	034 WOOD BLOCKING	051 SELF ADHERED WATERPROOFING MEMBRANE	068 GYPSUM WALL BOARD; 12.7MM UNO	084 ROOF ANCHOR	100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL	REQUIRED	132 STEEL PAN AND RISER
006 MECHANICAL ROOFTOP SCREEN - PV SOLAR	018 INSULATED BLANK OFF PANEL	035 WOOD BLOCKING	052 SEALANT; C/W FOAM BACKER AS REQUIRED	069 CURTAIN WALL ANCHOR AND/OR	085 SPUN ALUMINUM FLASHING; C/W EPDM	101 WEAVING TILE C/W GEOTEXTILE FABRIC AND	150MM DRAINAGE ROCK; REFER TO	135 LINEAR WOOD GRILLE C/W BLACK WOOD
007 C.I.P CONCRETE STAIRS	019 BRICK; HIT AND MISS APPLICATION;	036 SBS ROOFING MEMBRANE	053 STEEL STUD	WALL SUPPLIER	GASKET	MECHANICAL		BACKER
008 FOUR FOLD GLAZED DOORS; BLACK	CHARCOAL	037 PREFINISHED FLASHING; BLACK UNO	055 CALGARY FIRE DEPARTMENT MALTESE CROSS;	070 MEMBER; REFER TO STRUCTURAL	086 ROOF DRAIN	102 WATERSTOP	120 BLACK ANODIZED ALUMINUM EXTRUSION;	136 WOOD TREAD
009 CONCRETE WITH WOOD SURFACE	020 CORRUGATED METAL PANEL SCREEN; BLACK	039 SEMI RIGID INSULATION	PIN MOUNTED ACRYLIC PANEL C/W DIGITAL	071 DRAINAGE MAT	087 REINFORCEMENT MEMBRANE	103 BLINDSIDE WATERPROOFING MEMBRANE	REFER TO EXTRUSION SCHEDULE	137 JACKETED INSULATED AIR SEAL DUCT COVER;
SEATING/PLASTER	021 WOOD ROOF SURFACE	040 FIBRE CEMENT PANEL	PRINT	072 BRAKE SHAPE; 5MM UNO	088 STEEL ANGLE	104 ARTIFICIAL TURF		REFER TO MECHANICAL
010 DRAINABLE ALUMINUM LOUVER; BLACK	022 GLAZED FIBRE-GLASS FRAME DOOR; BLACK	041 FIBRE CEMENT PANEL TRIM	057 WEEP HOLE	073 LOUVER SUPPORT; AS REQUIRED	089 WOOD STUD	105 REINFORCEMENT; REFER TO STRUCTURAL	121 EXPANSION ANCHOR	138 FIRESTOP SEALANT
011 CUSTOM FABRICATED GUARDRAIL; 50mm x	023 RESERVED	042 WOOD FURRING	058 VAPOUR RADON BARRIER MEMBRANE	074 THERMAL BREAK	090 CLOSURE STRIP	106 LIGHT FIXTURE; REFER TO ELECTRICAL	122 STEEL PLATE	139 BLACK HEAVY DUTY 15/16" MAIN T-BAR
13mm FLATBAR; 100mm O.C.,	024 HPL PANEL; COLOUR TO MATCH TERRA COTTA	043 COUNTERSUNK STAINLESS STEEL SCREW	060 VAPOUR PERMEABLE MEMBRANE	075 TERRACOTTA SUPPORT CLIP AND PROFILE	091 TYPE X GYPSUM WALL BOARD; 15.9MM	107 WALK OFF GRILLE; C/W DRIP PAN	123 FASTENER	140 METAL ANGLE CONNECTOR
GALVANIZED;BLACK; UNO; REFER TO	025 HOLLOW METAL DOOR; BLACK	WITH FILLER TO MATCH PANEL COLOUR	062 CITY OF CALGARY LOGO; PIN MOUNTED	076 TERRACOTTA 2 PART WALL ANCHOR SYSTEM	092 ACOUSTIC INSULATION	108 IN SLAB FAN COIL; REFER TO MECHANICAL	124 INSECT SCREEN	141 PERIMETER METAL TRIM, BLACK
STRUCTURAL	027 BOLLARD; RED		ACRYLIC PANEL C/W DIGITAL PRINT	077 ASPHALT IMPREGNATED FIBRE BOARD	093 OPERABLE PARTITION; C/W ACOUSTICAL	109 HAT CHANNEL	125 HANDRAIL SUPPORT AS REQUIRED; SOLID	142 ACOUSTIC BACKER
012 FIBREGLASS SLIDING GLASS DOOR;			063 CITY OF CALGARY GAS METER	078 EXTERIOR SHEATHING	POCKET DOOR	110 JOINT CLOSURE	SQUARE SECTIONS; BLACK	143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
					094 REVEAL	111 J BEAD		144 LINEAR SUPPLY DIFFUSER; REFER TO
					095 EMBED; REFER TO STRUCTURAL			MECHANICAL

notes

PRIME CONSULTANT



the menzies architectural collaborative inc.  
11th - mbac, c/o  
Contact: Myles Smith-Coxam  
T: 403.261.9029  
F: 403.261.9054



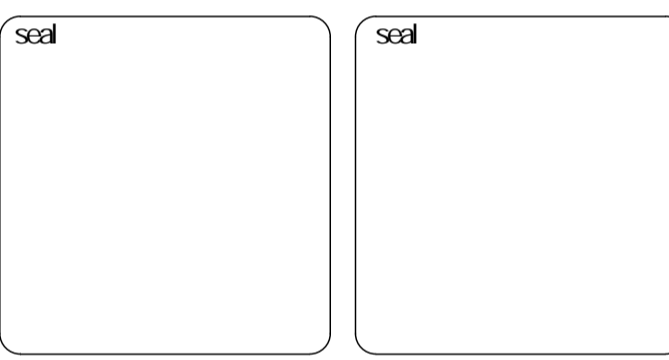
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6	Issued for DP DTR2	2020.06.29
7	Issued for LOC DTR2	2020.06.29
8	Issued for DP	2020.08.13



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**PRELIMINARY  
NOT FOR CONSTRUCTION**

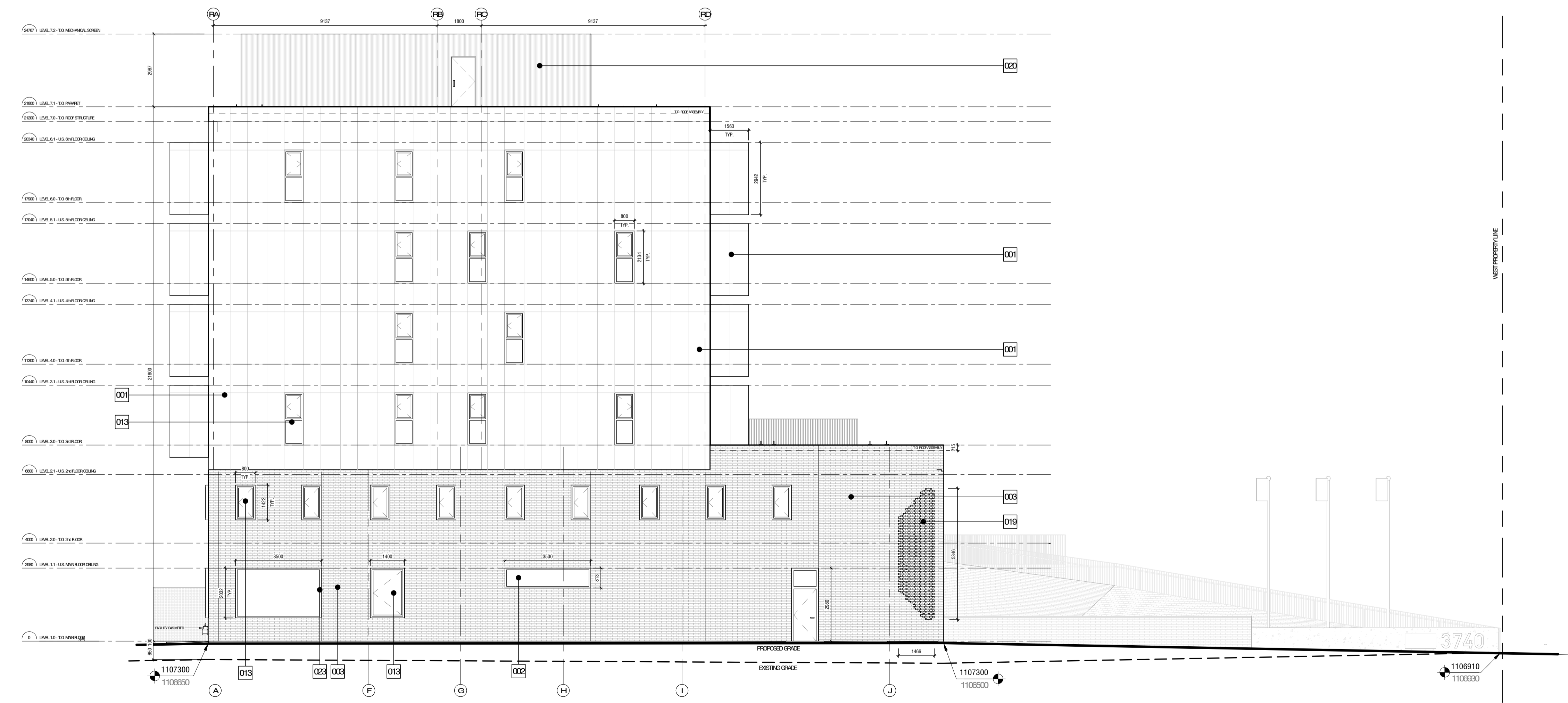
consultants  
Architectural: the menzies architectural collaborative & jordan davidson architecture - planning  
Landscape: ESL Engineering and Land Services  
Structural: Creative Corporation  
Mechanical: The AME Consulting Group Ltd  
Electrical: Nantz & Associates Ltd  
Civil: ESL Engineering and Land Services  
Consultant Project Number: 18004



project  
Verity Mill Service Redevelopment  
location: Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
Legal Address: Plan 1799CC Block 2 Lot 9

drawing title  
**BUILDING ELEVATIONS - NORTH**

scale: as noted  
all dimensions are in millimeters  
drawn by: Author  
checked by: Checker  
reviewed by:  
CAD file name:  
drawing no: DP-303  
project no: 18004



1 NORTH ELEVATION  
DP-303 1:100

001 FIBRE CEMENT SIDING; CHARCOAL
002 FIBREGLASS CURTAIN WALL GLAZING; BLACK FRAME
003 BRICK; CHARCOAL
004 TERRACOTTA; OXIDE RED
005 PERFORATED ALUMINUM SCREEN; CLEAR ANODIZED
006 MECHANICAL ROOFTOP SCREEN - PV SOLAR PANELS; BLACK
007 C.I.P CONCRETE STAIRS
008 FOUR FOLD GLAZED DOORS; BLACK
009 CONCRETE WITH WOOD SURFACE SEATING/PLANTER
010 DRAINABLE ALUMINUM LOUVER; BLACK
011 CUSTOM FABRICATED GUARDRAIL; 50mm x 13mm FLATBAR; 100mm O.C.; GALVANIZED BLACK; UNO; REFER TO STRUCTURAL
012 FIBREGLASS SLIDING GLASS DOOR;

013 FIBREGLASS OPERABLE WINDOW;
014 SIGNAGE; CUSTOM FABRICATED METAL LETTERS; BRONZE FINISH
015 ALUMINUM FLAGPOLE; CLEAR ANODIZED
016 BELL; BRONZE
017 BIKE RACKS
018 INSULATED BLANK OFF PANEL
019 BRICK; HIT AND MISS APPLICATION; CHARCOAL
020 CORRUGATED METAL PANEL SCREEN; BLACK
021 WOOD ROOF SURFACE
022 GLAZED FIBRE-GLASS FRAME DOOR; BLACK FRAME
023 RESERVED
024 HPL PANEL; COLOUR TO MATCH TERRA COTTA
025 HOLLOW METAL DOOR; BLACK
027 BOLLARD; RED

028 38mm Ø STEEL PIPE HANDRAIL; GALVANIZED; BLACK
031 PLYWOOD
032 SELF ADHERED AIR/VAPOUR BARRIER
033 VAPOUR RETARDER
034 WOOD BLOCKING
035 BRICK TIE; ANCHOR TO SUBSTRATE AS REQUIRED
036 SBS ROOFING MEMBRANE
037 PREFINISHED FLASHING; BLACK UNO
039 SEMI RIGID INSULATION
040 FIBRE CEMENT PANEL
041 FIBRE CEMENT PANEL TRIM
042 WOOD FURRING
043 COUNTERSUNK STAINLESS STEEL SCREW WITH FILLER TO MATCH PANEL COLOUR
044 Z-GIRT

046 BLACK ANODIZED ALUMINUM BRAKE SHAPE; 2MM UNO
047 VOID FORM; REFER TO STRUCTURAL
049 RIGID INSULATION
050 PILE; REFER TO STRUCTURAL
051 SELF ADHERED WATERPROOFING MEMBRANE
053 SEALANT; C/W FOAM BACKER AS REQUIRED
055 STEEL STUD
056 CALGARY FIRE DEPARTMENT MALTESE CROSS; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT
057 WEEP HOLE
058 VAPOUR RADON BARRIER MEMBRANE
060 VAPOUR PERMEABLE MEMBRANE
062 CITY OF CALGARY LOGO; PIN MOUNTED ACRYLIC PANEL C/W DIGITAL PRINT
063 CITY OF CALGARY GAS METER

064 GLAZED ALUMINUM FRAME DOOR; BLACK FRAME
065 FIBREGLASS OUTSWING DOOR;
066 DOOR FRAME; ANCHOR AS REQUIRED
067 SPRAY FOAM INSULATION
068 GYPSUM WALL BOARD; 12.7MM UNO
069 CURTAIN WALL ANCHOR AND/OR REINFORCEMENT; AS REQUIRED, BY CURTAIN WALL SUPPLIER
070 MEMBER; REFER TO STRUCTURAL
071 DRAINAGE MAT
072 BRAKE SHAPE; 5MM UNO
073 LOUVER SUPPORT; AS REQUIRED
074 THERMAL BREAK
075 TERRACOTTA SUPPORT CLIP AND PROFILE
076 TERRACOTTA 2 PART WALL ANCHOR SYSTEM
077 ASPHALT IMPREGNATED FIBRE BOARD
078 EXTERIOR SHEATHING

079 STICK PIN
081 RIGID MINERAL WOOL INSULATION
082 MDF
083 CANT STRIP
084 ROOF ANCHOR
085 SPUN ALUMINUM FLASHING; C/W EPDM GASKET
086 ROOF DRAIN
087 REINFORCEMENT MEMBRANE
088 STEEL ANGLE
089 WOOD STUD
090 CLOSURE STRIP
091 TYPE X GYPSUM WALL BOARD; 15.9MM
092 ACOUSTIC INSULATION
093 OPERABLE PARTITION; C/W ACOUSTICAL POCKET DOOR
094 REVEAL
095 EMBED; REFER TO STRUCTURAL

096 CONCRETE PAVER
097 PAVER PEDESTAL
098 SKATESTOP
099 DOOR THRESHOLD
100 KNIFE PLATE/GUSSET; REFER TO STRUCTURAL
101 WEEPING TILE C/W GEOTEXTILE FABRIC AND 150MM DRAINAGE ROCK; REFER TO MECHANICAL
102 WATERSTOP
103 BLINDSIDE WATERPROOFING MEMBRANE
104 ARTIFICIAL TURF
105 REINFORCEMENT; REFER TO STRUCTURAL
106 LIGHT FIXTURE; REFER TO ELECTRICAL
107 WALK OFF GRILLE; C/W DRIP PAN
108 IN SLAB FAN COIL; REFER TO MECHANICAL
109 HAT CHANNEL
110 JOINT CLOSURE
111 J BEAD

112 38mm x 89mm BALAU
113 GEOTEXTILE FABRIC
115 FIRE GUARD TAPE
116 STEEL CURB BY ROOF SUPPLIER - GUAGE AS REQUIRED
117 VINYL FILM ADHESIVE
118 PVC DECK MEMBRANE
119 MASONRY CONTROL JOINT
120 BLACK ANODIZED ALUMINUM EXTRUSION; REFER TO EXTRUSION SCHEDULE
121 EXPANSION ANCHOR
122 STEEL PLATE
123 FASTENER
124 INSECT SCREEN
125 HANDRAIL SUPPORT AS REQUIRED; SOLID SQUARE SECTIONS; BLACK
126 VAPOUR BARRIER
127 CEILING MOUNTED WINDOW COVERING

128 NON-SHRINK GROUT
129 ANCHOR BOLT
130 TRACTION STRIP
131 CONCRETE FILL
132 STEEL PAN AND RISER
135 LINEAR WOOD GRILLE C/W BLACK WOOD BACKER
136 WOOD TREAD
137 JACKETED INSULATED AIR SEAL DUCT COVER; REFER TO MECHANICAL
138 FIRESTOP SEALANT
139 BLACK HEAVY DUTY 15/16" MAIN T-BAR
140 METAL ANGLE CONNECTOR
141 PERIMETER METAL TRIM; BLACK
142 ACOUSTIC BACKER
143 WOOD TRIM TO MATCH LINEAR WOOD GRILLE
144 LINEAR SUPPLY DIFFUSER; REFER TO MECHANICAL

notes

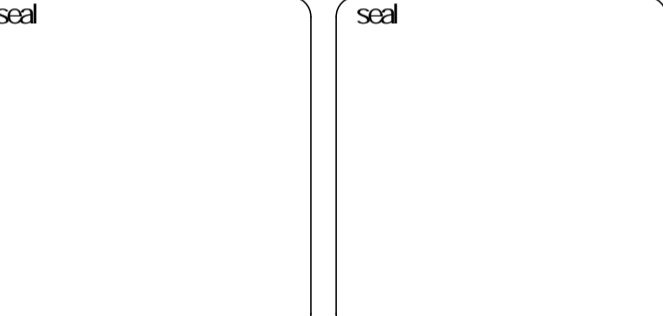


the mbc architectural collaborative inc.  
110 - mbac, ca  
Contact: Madeline Smith-Gavin  
T: 403.261.9229  
F: 403.261.9254

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#	DESCRIPTION	DATE
1	Issued for DP	2020.08.13



permit  
**PRELIMINARY  
NOT FOR CONSTRUCTION**

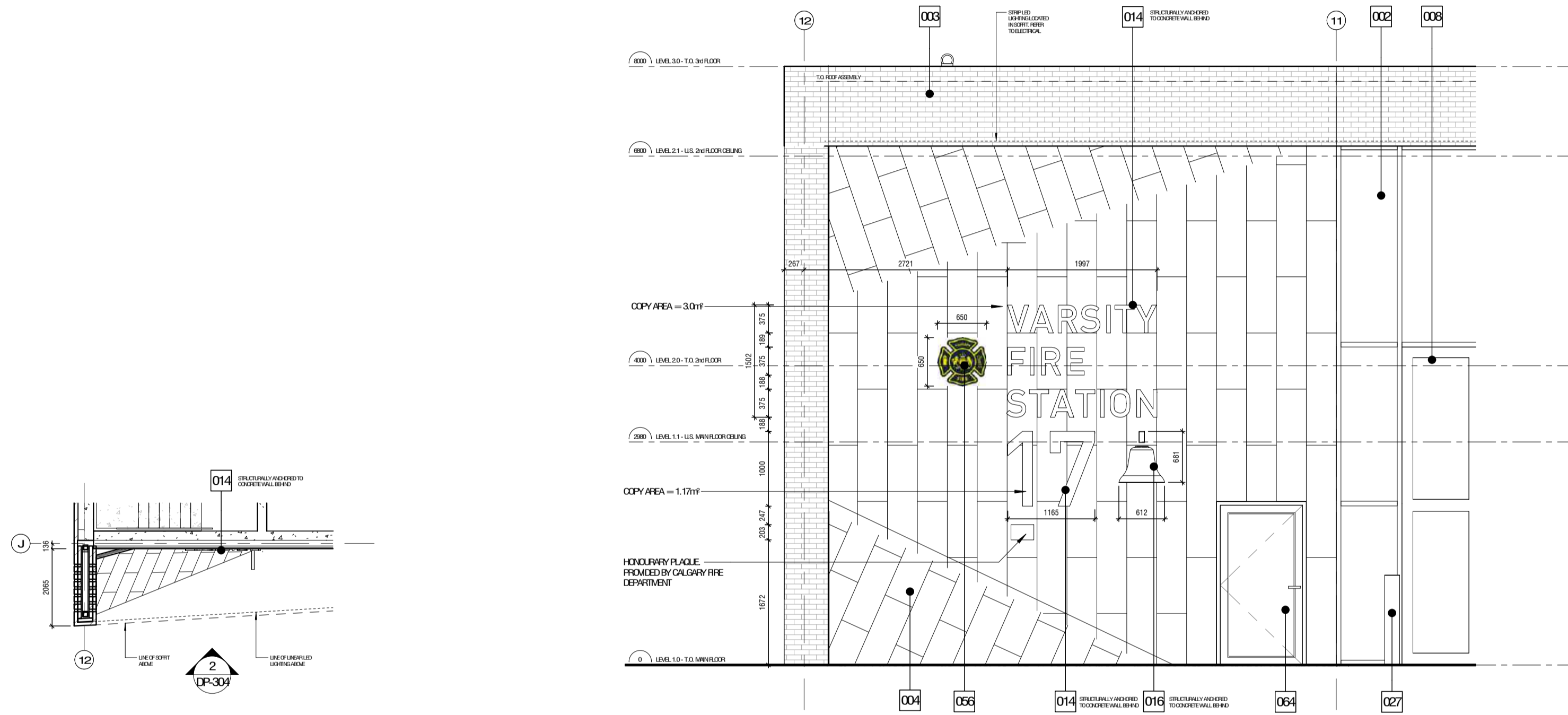
consultants  
Architectural: the mbc architectural collaborative & jehon doudon architecture + planning  
Landscape: ISL Engineering and Land Services  
Structural: Envision Corporation  
Mechanical: The M.E. Crowley Group Ltd.  
Electrical: Nemt, & Associates Ltd.  
Civil: ISL Engineering and Land Services  
Consultant Project Number: 1804



project  
Varsity Mill Senior Redevelopment  
location:  
Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
Legal Address: Plan 1799CC Block 2 Lot 9

drawing title  
**WEST CFD SIGNAGE ELEVATION**

scale: as noted all dimensions are in millimeters  
drawn by: /Author/ drawing no.: DP-304  
checked by: /Checker/ project no.: 1804  
reviewed by: CAD file name:



1 PROPOSED FASCIA SIGNAGE PLAN  
DP-304 1: 100

2 PROPOSED WEST SIGNAGE ELEVATION  
DP-304 1: 50



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037	PREFINISHED FLASHING; BLACK UNO
039	SEMI RIGID INSULATION
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144	LINEAR SUPPLY DIFFUSER; REFER TO MECHANICAL

notes

PRIME CONSULTANT



116-116-010-001  
Contact: Mark Smith (403) 261-9029  
F: 403.261.9054

General Notes:

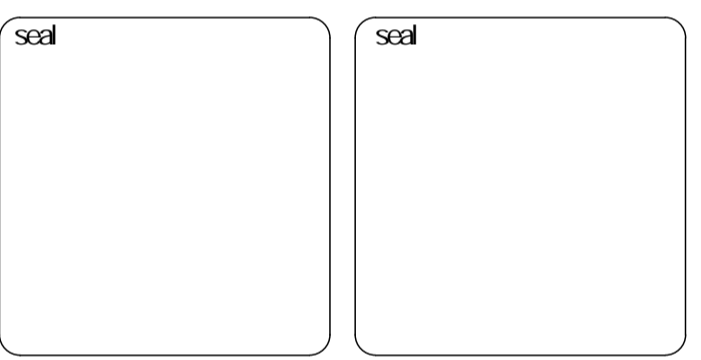
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#	DESCRIPTION	DATE
1	60X CD Progress Submission	2020.06.24
2	Issued for DP	2020.08.13

#	DESCRIPTION	DATE
1	60X CD Progress Submission	2020.06.24
2	Issued for DP	2020.08.13



permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural: the mbc baun architectural collaborative & jordan dudman architecture - planning  
Landscape: ISL Engineering and Land Services  
Structural: Envision Corporation  
Mechanical: The M/E Consulting Group Ltd  
Electrical: Nemetz & Associates Ltd  
Civil: ISL Engineering and Land Services  
Consultant Project Number: 18004



project

Veristy Mill Service Redevelopment

location: Project Address: 3740 - 33rd Avenue NW, Calgary, AB  
Legal Address: Plan 1799GC Block 2 Lot 9

drawing title

**MECHANICAL DOGHOUSE**

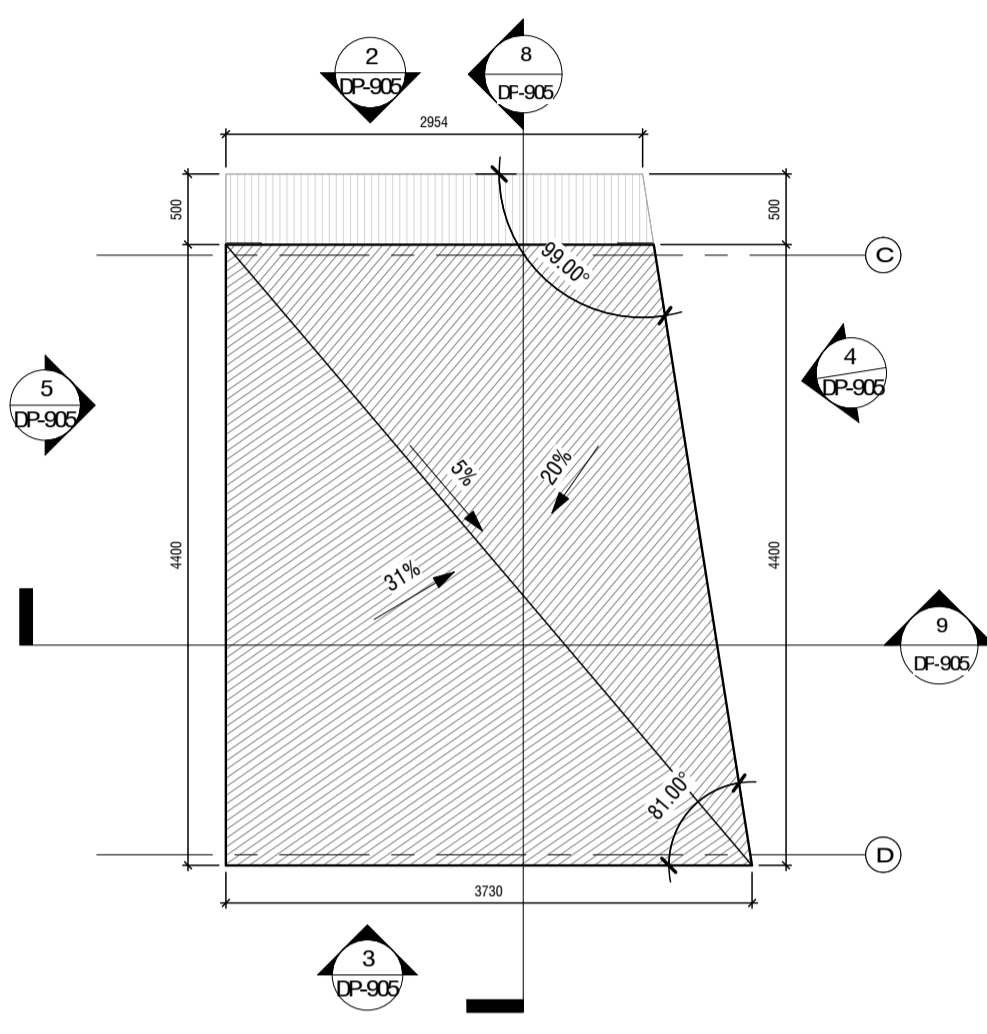
scale: as noted all dimensions are in millimeters

drawn by: Author drawing no. DP-905

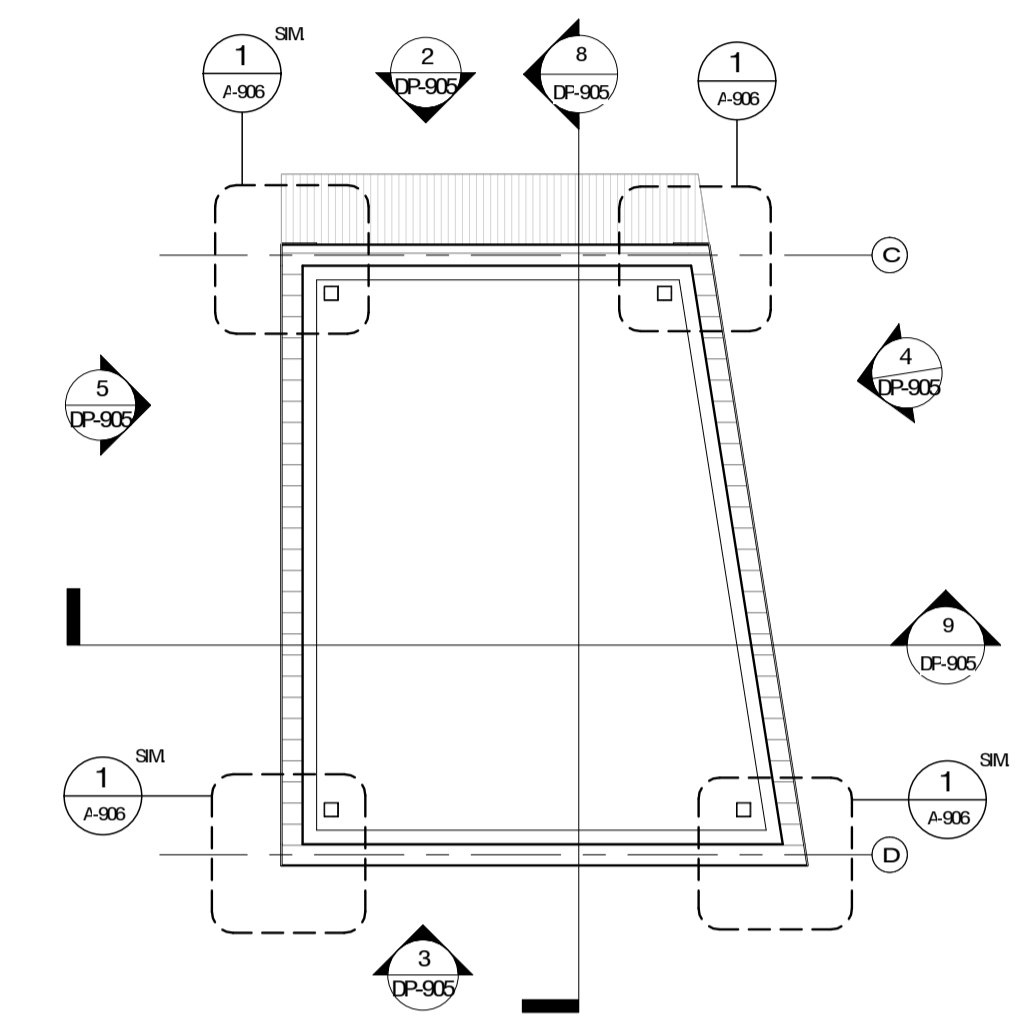
checked by: Checker

reviewed by: project no. 18004

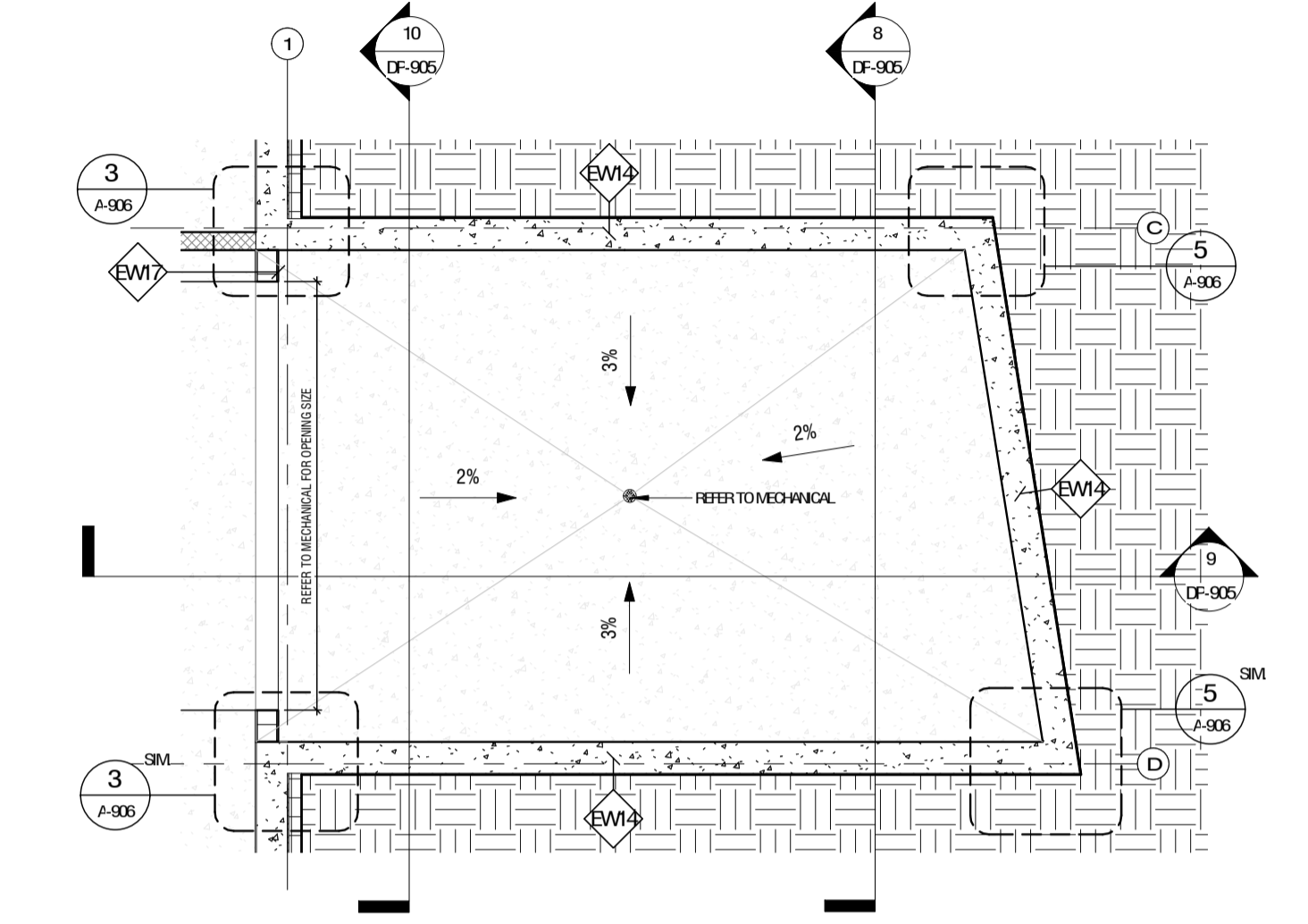
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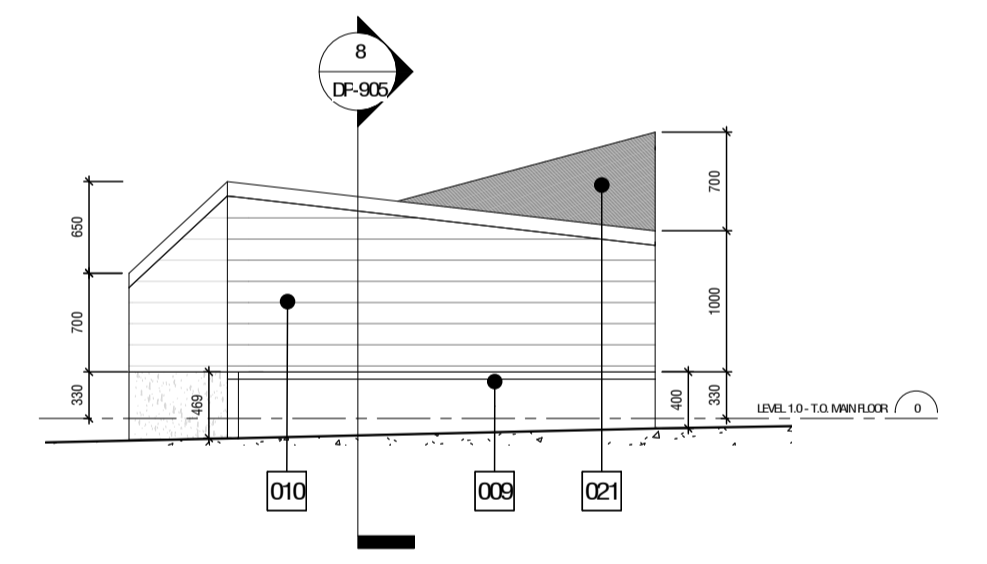
1 MECHANICAL DOGHOUSE ROOF PLAN  
1:50



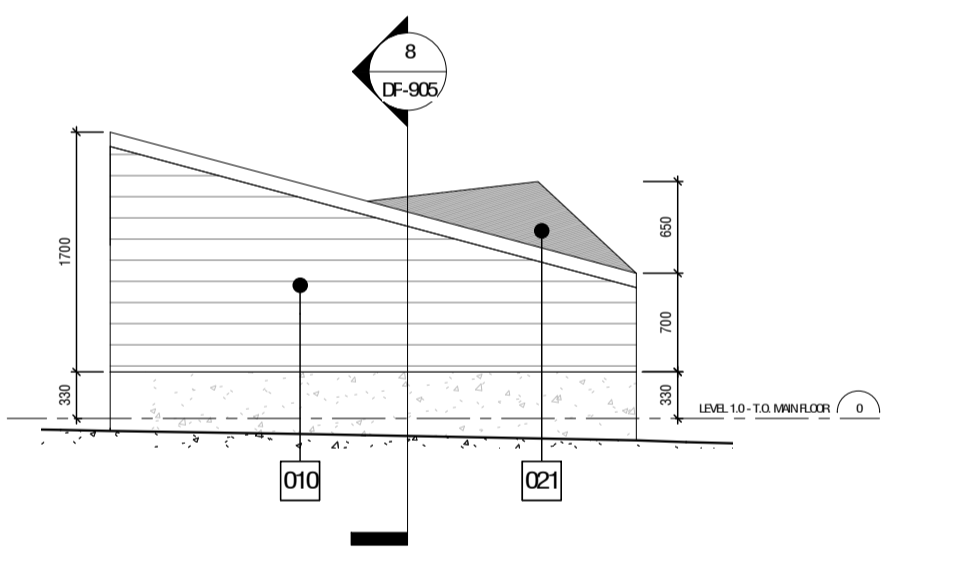
7 MECHANICAL DOGHOUSE LEVEL 1 PLAN  
1:50



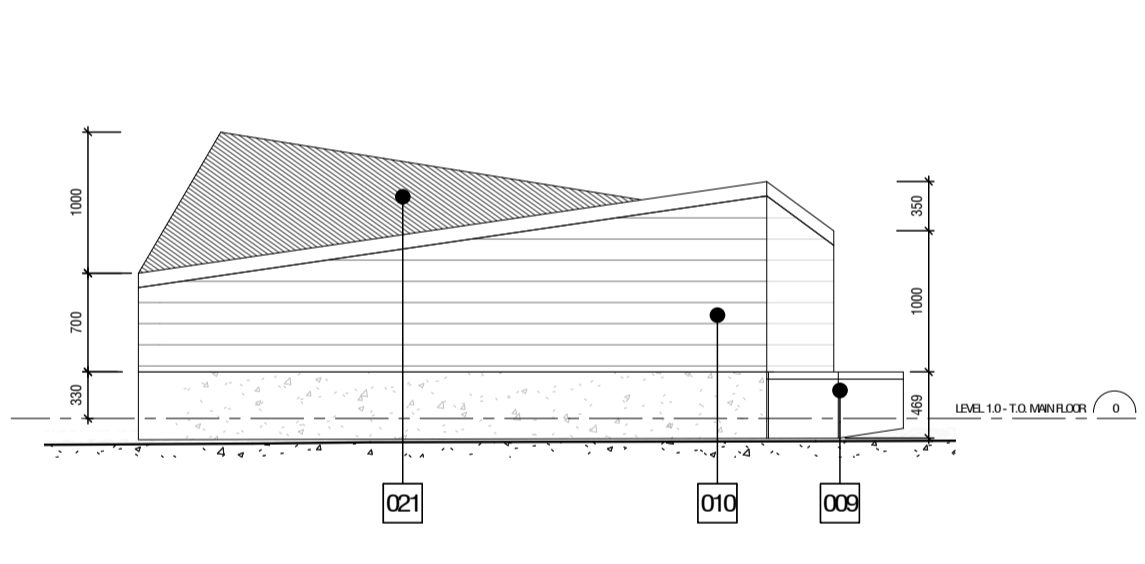
6 MECHANICAL DOGHOUSE LEVEL 0 PLAN  
1:50



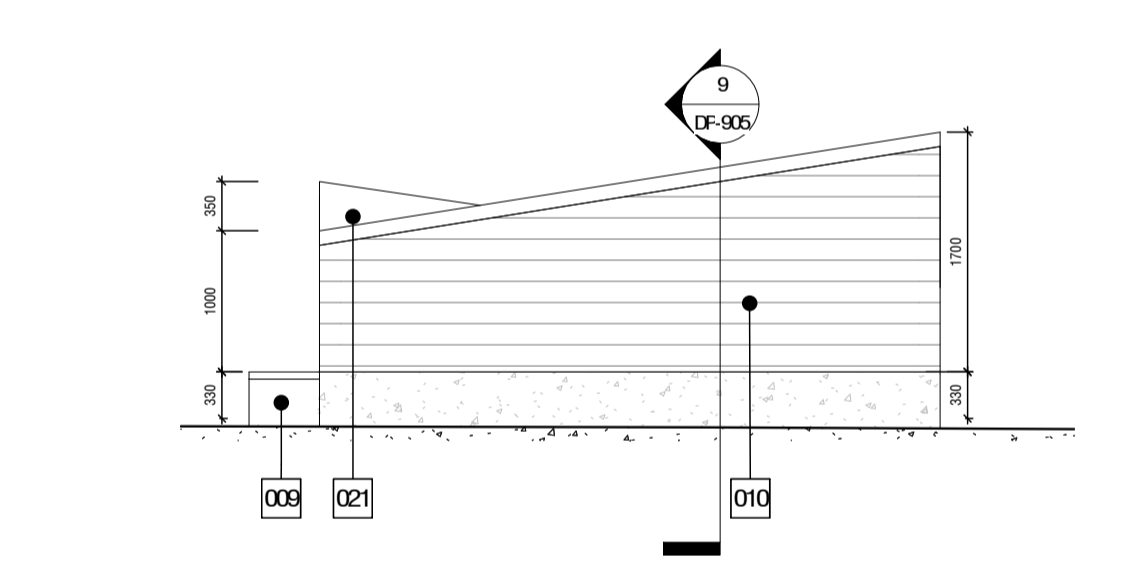
2 MECH DOG HOUSE EAST ELEV.  
1:50



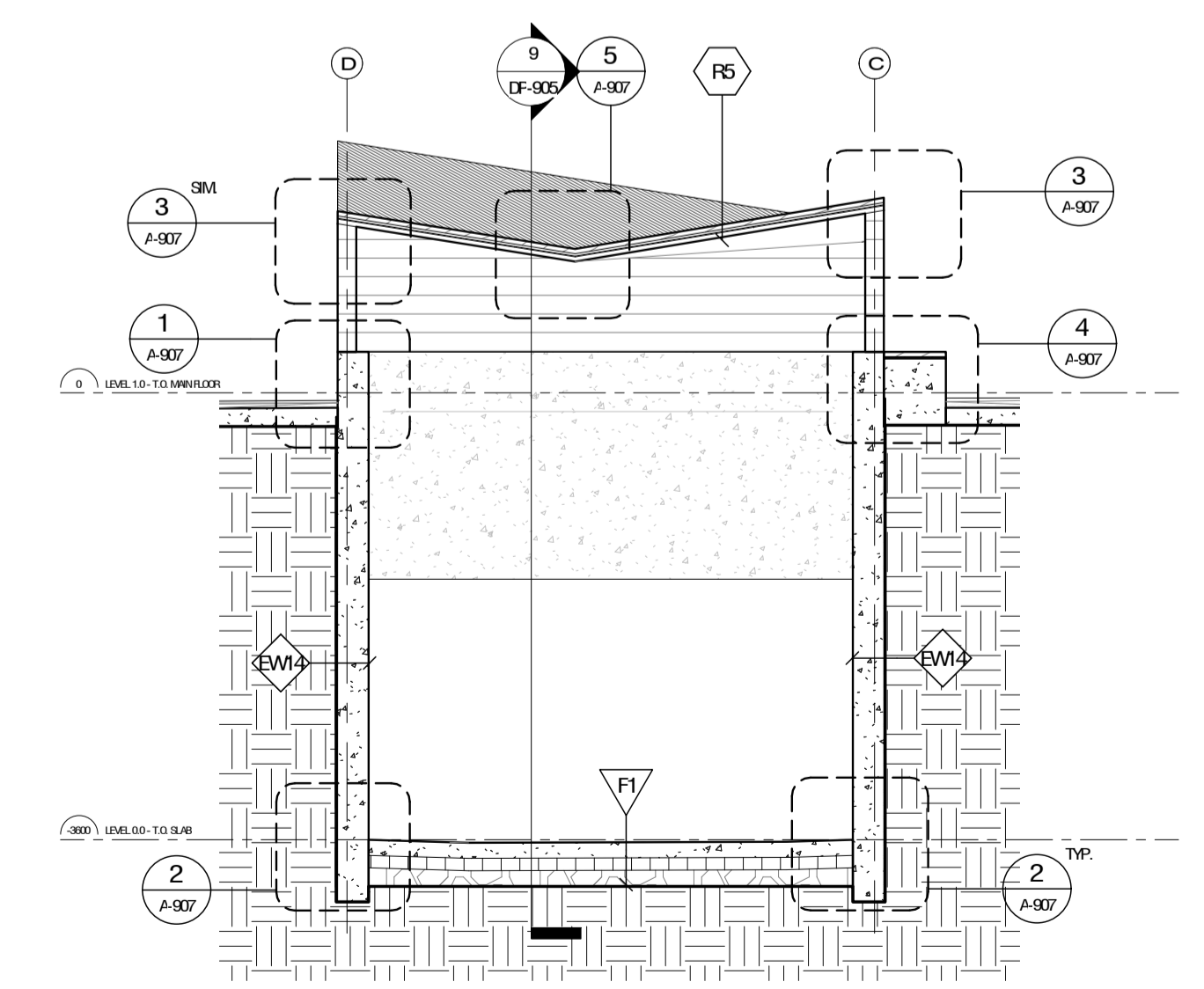
3 MECH DOG HOUSE WEST ELEV.  
1:50



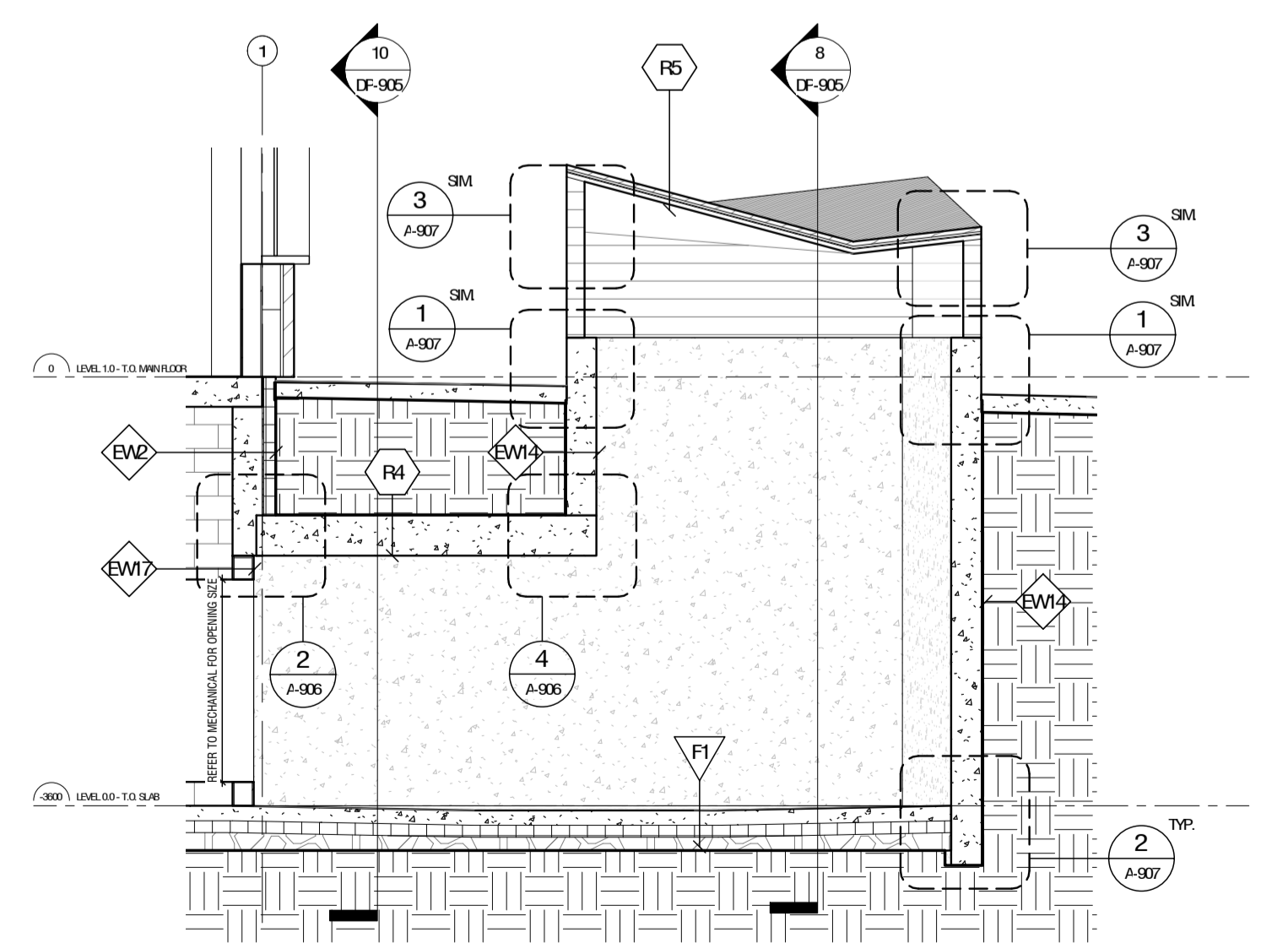
4 MECH DOG HOUSE SOUTH ELEV.  
1:50



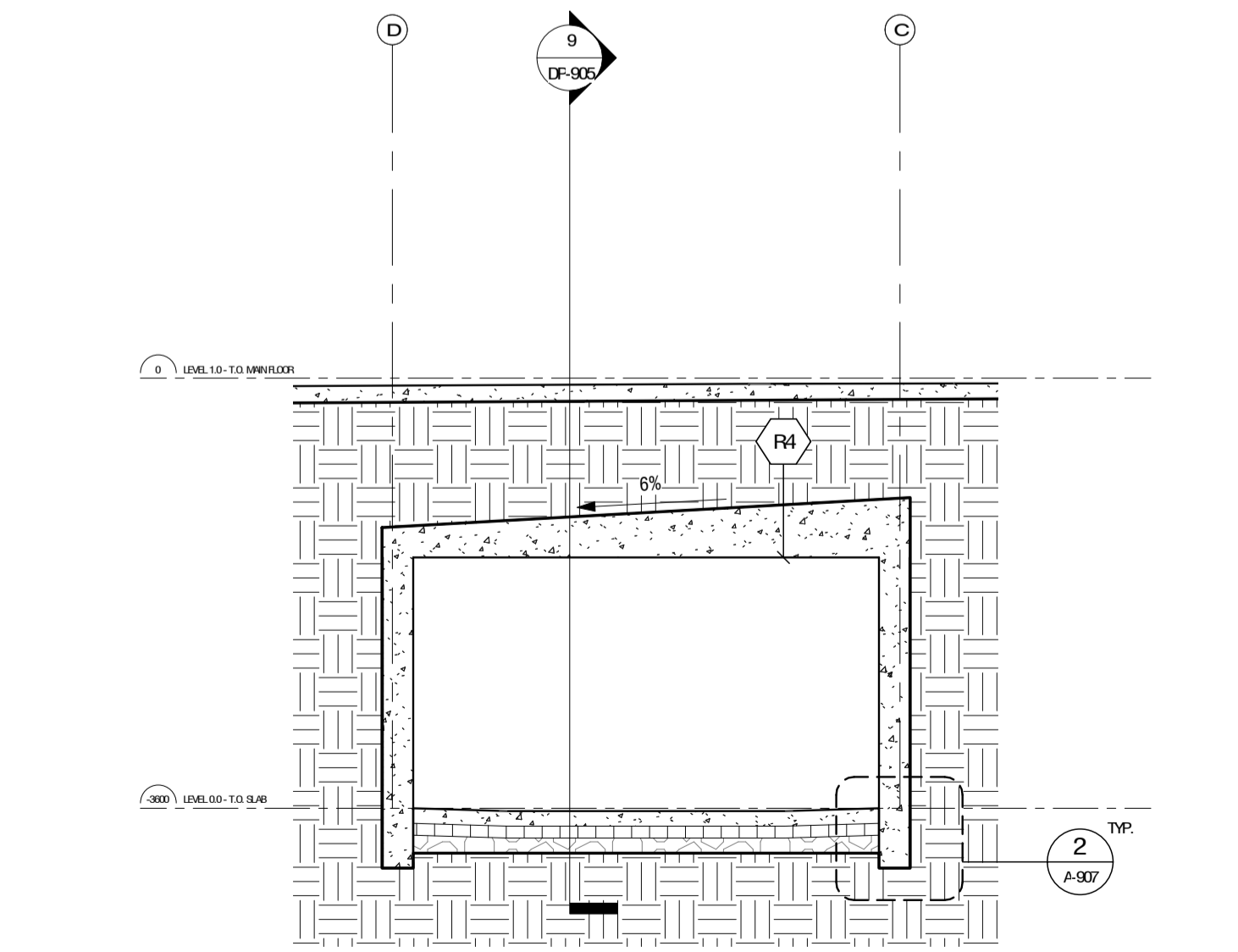
5 MECH DOG HOUSE NORTH ELEV.  
1:50



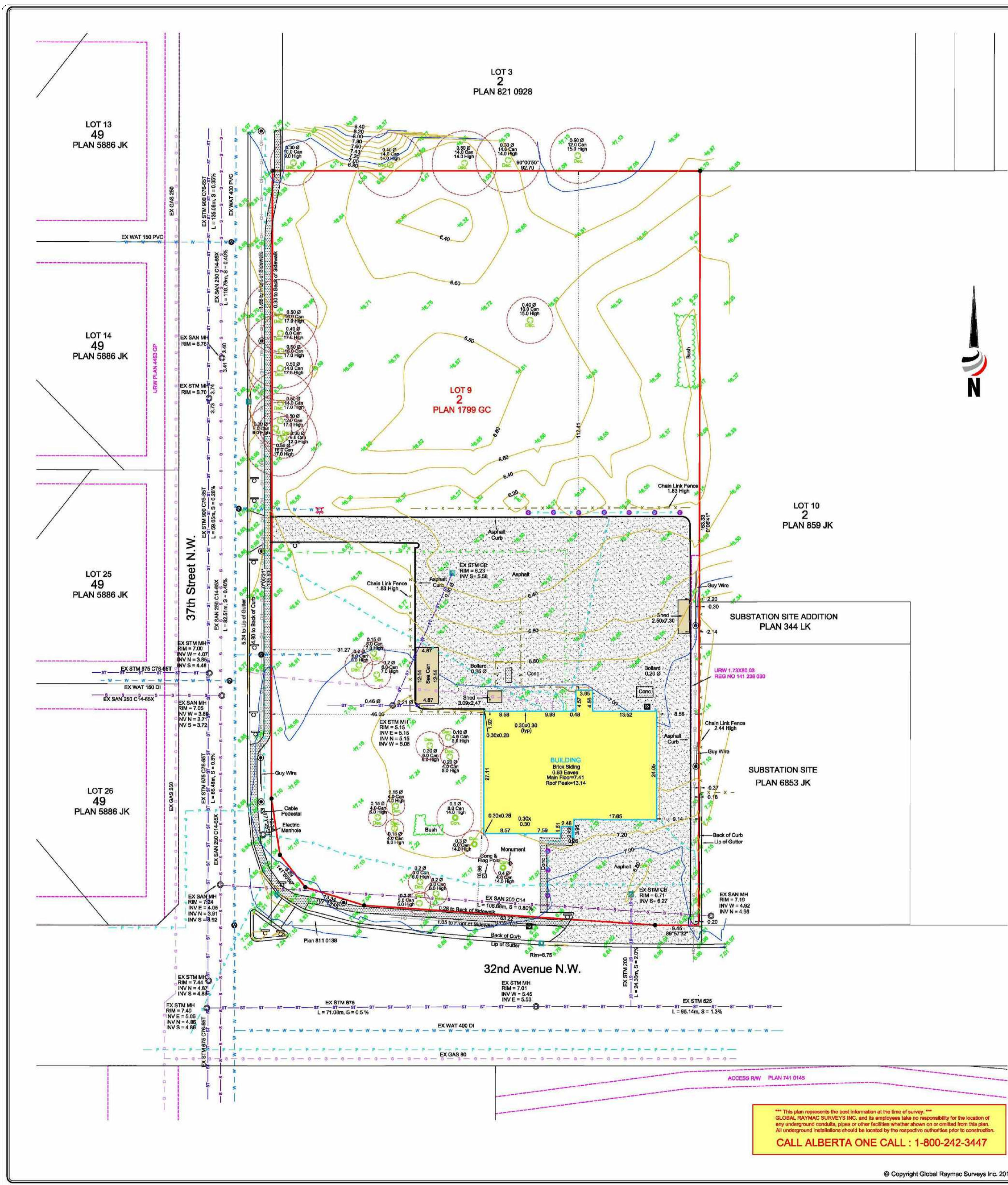
8 MECHANICAL DOGHOUSE EAST-WEST SECTION  
1:50



9 MECHANICAL DOGHOUSE NORTH-SOUTH SECTION  
1:50



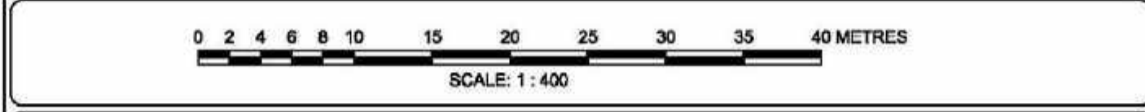
10 MECHANICAL DOGHOUSE EAST-WEST SECTION @SIDEWALK  
1:50



**THE CITY OF CALGARY**

**PLAN**  
SHOWING  
**SITE SURVEY**  
AFFECTING  
LOT 9, BLOCK 2, PLAN 1799 GC  
WITHIN THE  
W 1/2 SEC 31 TWP 24 RGE 1 W5M

ALBERTA  
2016



**LEGEND**

Statutory iron survey post found shown thus.....	●
Statutory iron survey post placed shown thus.....	○ and are stamped P235
Drill hole found shown thus.....	⊗
Drill hole placed shown thus.....	⊕
Metal plug placed shown thus.....	⊖
Temporary point shown thus.....	⊙
Iron bar found shown thus.....	⊗
Alberta Survey Control Marker (ASCM) shown thus.....	⊕
Delta (Central) angle of arc shown thus.....	Δ
Eave Fascia are shown thus.....	— x — x — x —
Fences are shown thus.....	— — — — —
Building foundation shown thus.....	— — — — —
Gas line shown thus.....	— G — G — G —
Power Lines shown thus.....	— P — P — P —
Overhead Utilities shown thus.....	— O — O — O —
Sanitary Lines shown thus.....	— S — S — S —
Storm lines shown thus.....	— ST — ST — ST —
Water lines shown thus.....	— W — W — W —
Telus Lines shown thus.....	— T — T — T —
Coniferous trees are shown thus.....	⊙
Deciduous trees are shown thus.....	⊙
Shrubs are shown thus.....	⊙
Tree Canopy shown thus.....	⊙
Catch Basins shown thus.....	⊙
Manhole shown thus.....	⊙
Catch Basin Manholes shown thus.....	⊙
Power Poles shown thus.....	⊙
Fire Hydrant shown thus.....	⊙
Street Lights shown thus.....	⊙
Water valves shown thus.....	⊙
Spot Elevations are shown thus.....	⊙
Concrete surfaces are shown thus.....	⊙
Asphalt Pathway shown thus.....	⊙
Utility Rights of Way are shown thus.....	⊙
Subject Property is shown thus.....	⊙
Gas Valve shown thus.....	⊙
Sign shown thus.....	⊙

**ABBREVIATIONS**

A..... Arc	MWC..... Monitoring Well Cap
AC..... Access Cover	N..... North
ag..... Above Ground	NAD..... North American Datum
ALS..... Alberta Land Surveyor	No..... Number
ARW..... Access Right of Way	NT..... Non-Tangent
ASCM..... Alberta Survey Control Marker	(NTS)..... Not to Scale
Blk..... Block	ODRW..... Overland Drainage RW
C..... Short Curve	OS..... Brass Cap
C of T..... Certificate of Title	P..... Pedestal
calc..... calculated	PL..... 4 Pile
Card..... Card	Placed..... Placed
CB..... Chord Bearing	Pos..... Position
check..... check measured	PPL..... Pipeline
Conc..... Concrete	PUL..... Public Utility Lot
cs..... counter sunk	R..... Radius
E..... East	Re-est..... Re-established
ER..... Environmental Reserve	Ref..... Reference
Est..... Established	Res..... Restored
FC..... Filler Cap	Range..... Range
Fd..... Found	RW..... Right of Way
GNSS..... Global Navigation Satellite System	(R)..... Radial
ha..... Hectare	Sc..... South
I..... Statutory Iron Post	SEC..... Section
L..... Short Line	TCCO..... Top Cut Off
M..... Mound or Meridian	TWP..... Township
Mk..... Mark	URW..... Utility RW
Md..... Marker Post	W..... West
MR..... Municipal Reserve	W..... West
	STM..... ST Transverse Mercator
	Δ..... Central Delta Angle

**NOTE**

Distances are shown in metres and decimals thereof.  
Elevations are geodetic and derived from ASCM 197416, elevation = 1107.856.  
To obtain actual elevation add 1100 to spot elevations.  
Fences are within 0.10m of property line unless otherwise noted.  
Eave dimensioned to the line of the fascia.  
Actual locations of all facilities are to be confirmed prior to excavation.  
Any subsequent users of this plan or digital file cannot rely on the information contained herein without the expressed consent and authority of Gordon M. Linnell, A.L.S.

**ENCUMBRANCES, LIENS & INTERESTS**

TITLE: 19C H 170 (Searched October 27th, 2016)  
Owner (s): The City of Calgary

PLAN 1799 GC  
BLOCK 2  
LOT 9

EXCEPTING:  
PLAN REPLITTING SCHEME NUMBER 811 038 HECTARES 0.17 ACRES 0.427

SUBJECT TO:  
Utility Right of Way: 141 238 030

**SURVEYOR**

**GORDON M. LINNELL, A.L.S.**

Date of Survey: October 31st and November 1st, 2016  
Certified Correct this 23th day of November, 2016

Gordon M. Linnell, A.L.S.

MUNICIPAL ADDRESS:  
3740 - 32nd Avenue N.W.  
Calgary, Alberta

Client: MPE Engineering Ltd.

File No.: 16CC0367  
JOB NO.: 16CC0367\_v2  
Drawn By: Lin Shi

**global raymac surveys**  
212, 4004-4th Street S.E.  
Calgary, Alberta T2C 0R3  
Phone: (403) 243-5468  
Email: sales@globalraymac.com

**notes**

PRIME CONSULTANT

**MBAC**  
The main basin architectural collaborative inc.  
the-mbac.ca  
Contact: Michele Smith-Cavann  
T: 403.261.9229  
F: 403.261.9254

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Do not scale drawings.  
This drawing supersedes previous issues.

#	DESCRIPTION	DATE
1	DP	2019.12.05
2	Issued for DP DTR1	2020.04.15
3	Issued for LOC DTR1	2020.04.15
4	Issued for DP DTR2	2020.06.29
5	Issued for LOC DTR2	2020.06.29
6	Issued for DP	2020.08.13

seal

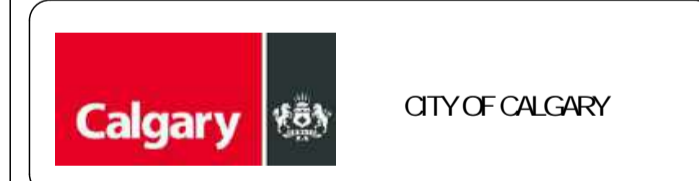
seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**consultants**

Architectural: the main basin architectural collaborative & prime basin architecture - planning  
Landscape: ISL Engineering and Land Services  
Structural: Enbridge Corporation  
Mechanical: The M.E. Crowley Group Ltd  
Electrical: Nemetz & Associates Ltd  
Civil: ISL Engineering and Land Services  
Consultant Project Number: 18004



project

Verity Mill Senior Redevlopment

location:

Project Address: 3740 - 32nd Avenue N.W. Calgary, AB  
Legal Address: Plan 1799GC Block 2 Lot 9

drawing title

SURVEY

scale as noted all dimensions are in millimeters

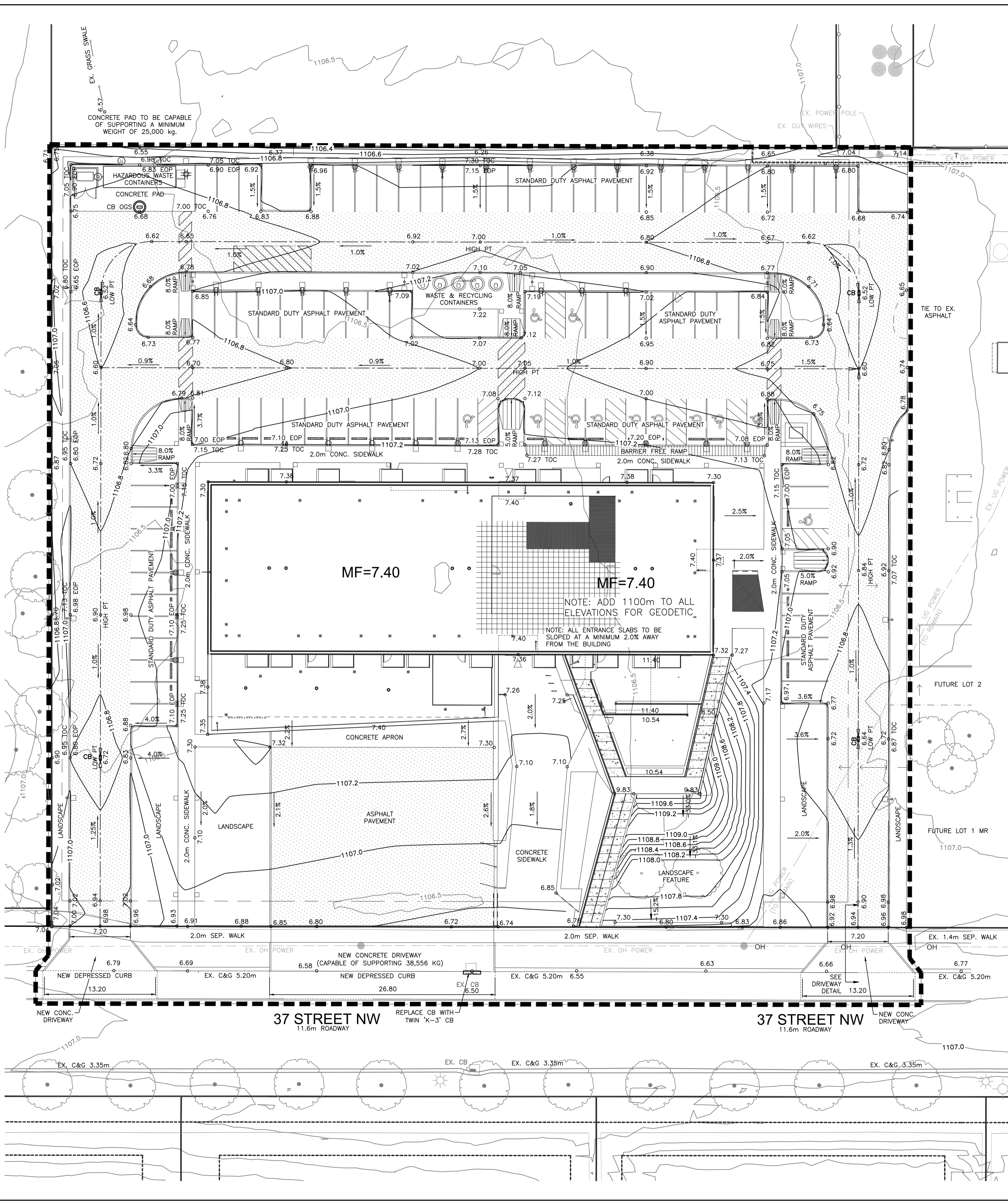
drawn by: Author drawing no: S-101

checked by: Checker

reviewed by:

CAD file name: project no: 18004

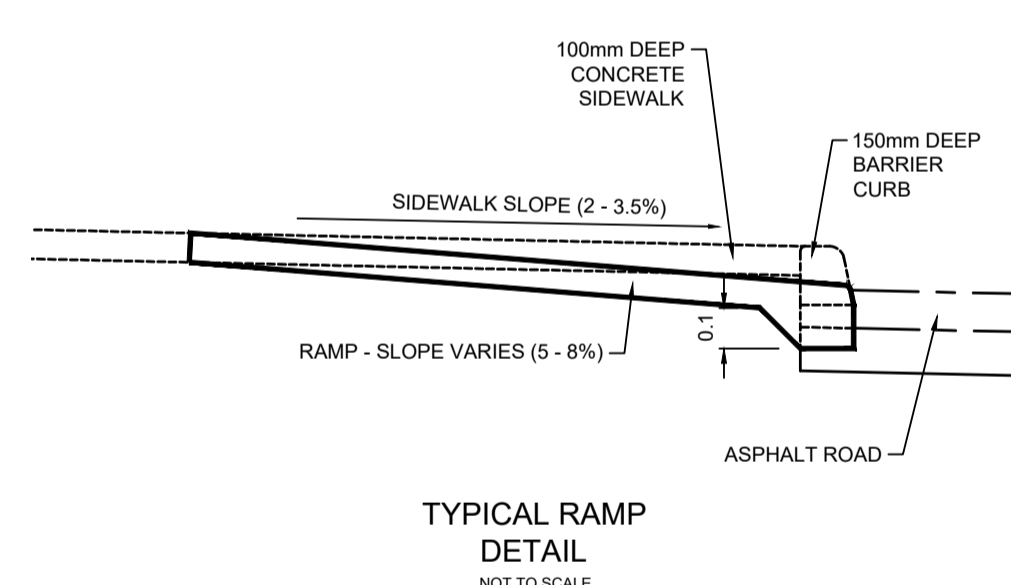
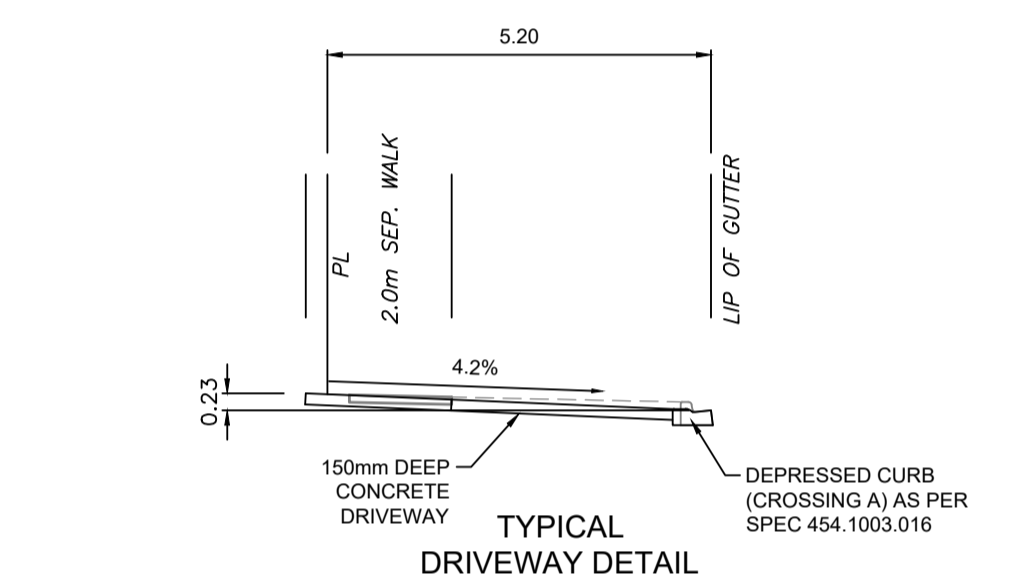
\*\*\* This plan represents the best information at the time of survey. \*\*\*  
GLOBAL RAYMAC SURVEYS INC. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.  
All underground installations should be located by the respective authorities prior to construction.  
**CALL ALBERTA ONE CALL : 1-800-242-3447**



- LEGEND:**
- DEVELOPMENT BOUNDARY
  - EXISTING CONTOUR ELEVATIONS
  - PROPOSED CONTOUR ELEVATIONS
  - PROPOSED PARKING LINES
  - EXISTING CURB AND GUTTER
  - PROPOSED CURB AND GUTTER
  - PROPOSED EDGE OF ASPHALT
  - EXISTING EDGE OF ASPHALT
  - PROPOSED GRASS SWALE
  - ☀ EXISTING STREET LIGHT
  - EXISTING POWER POLE
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - ▨ HEAVY DUTY PAVEMENT

HEAVY DUTY ASPHALT SHALL BE CAPABLE OF SUPPORTING A 38,556kg / 85,000 lbs LOAD, AND THE NFPA 1901 POINT LOAD OF 517kPa OVER A 24" X 24" AREA

ALL BOULEVARD GRADES ARE SET AT 2.0% UP FROM THE TOP OF CURB TO THE EXISTING PROPERTY LINE.



PAVEMENT STRUCTURE		
MATERIAL	LIGHT-DUTY TRAFFIC AREAS	HEAVY-DUTY TRAFFIC AREAS
ASPHALTIC CONCRETE PAVEMENT	80	130
25mm CRUSHED GRAVEL (BASE COURSE)	150	150
75mm GRANULAR (SUBBASE COURSE)	300	400

**notes**

PRIME CONSULTANT  
**MBAC**  
the marc boulin architectural collaborative  
Contact: Michele Smith Cowman  
T. 403.261.9050  
F. 403.261.9054

General Notes:  
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Do not scale drawings.  
This drawing supercedes previous issues.

**ISL Engineering and Land Services**

revisions			
no.	description	date	checked
1	ISSUED FOR DP DTR1	2020-04-15	CDH
2	ISSUED FOR DP DTR2	2020-06-29	CDH

issue data		date
Development Permit Submission		2019-12-03
Design Development Report		2020-01-15
Issued for DP DTR1		2020-04-15
Issued for DP DTR2		2020-06-29
Issued for 80% CD Progress Submission		2020-06-24
Issued for Development Permit		2020-08-13

seal	seal

**DEVELOPMENT PERMIT (DP2019-6254)**

consultants  
Architectural: MBAC  
Landscape: ISL Engineering  
Structural: Estative  
Mechanical: AME Group  
Electrical: Nemetz (SIA) & Associates Ltd.  
Civil: ISL Engineering  
Consultant Project Number: 27297

**Calgary** CITY OF CALGARY

project  
**Varsity Multi-Purpose Building**

location : 3740 32 Avenue NW

drawing title  
**SITE GRADING PLAN**

scale  
1:250 all dimensions are in meters

drawn by  
03.12.2019 JH

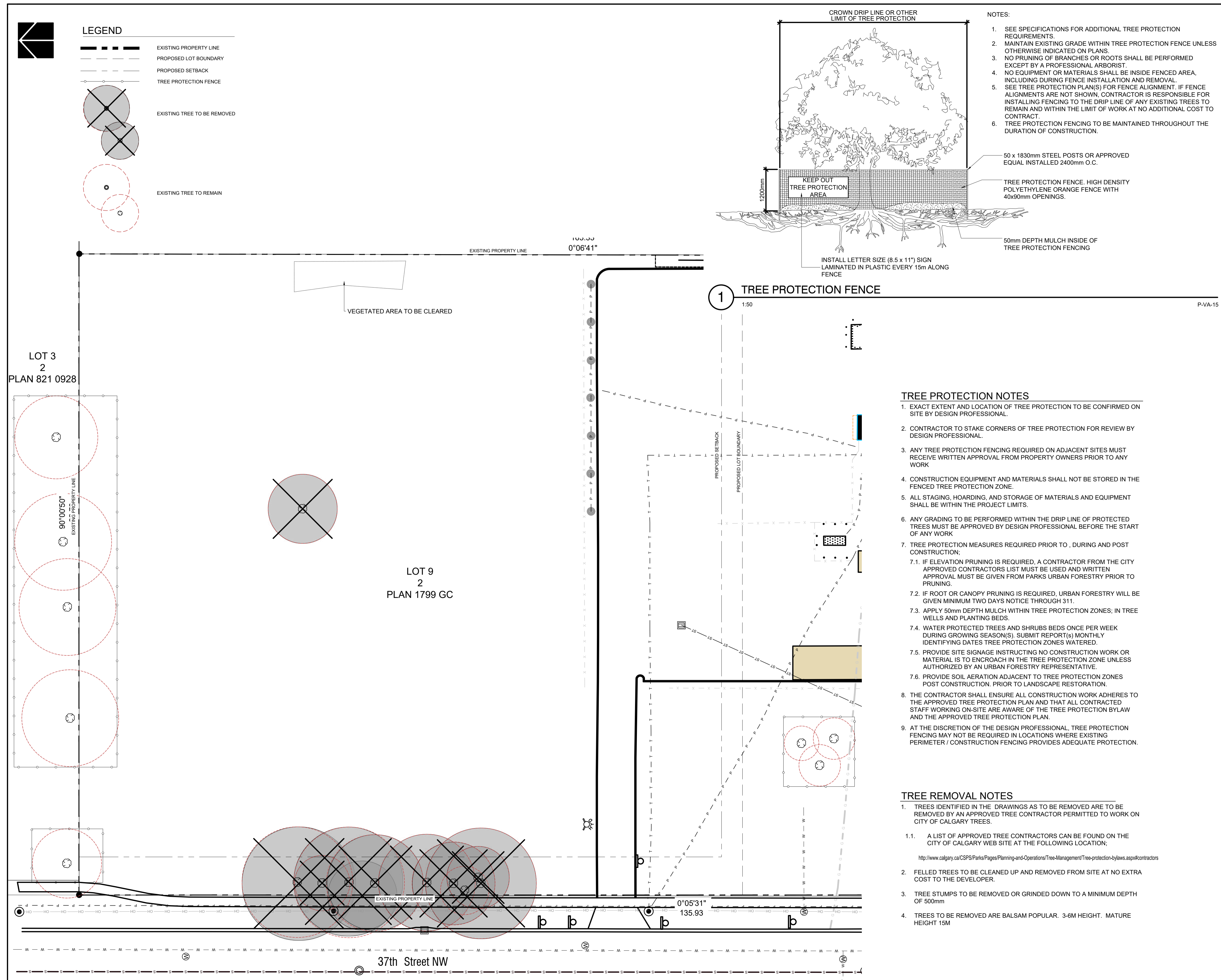
checked by  
03.12.2019 CDH

reviewed by

CAD file name:

drawing no.  
**C-2**

project no.  
27297



no.	by	date	remarks
5	SB	2020.08.13	ISSUED FOR DEVELOPMENT PERMIT
4	SB	2020.06.29	ISSUED FOR DP DTR 2
3	SB	2020.04.15	ISSUED FOR DP DTR 1
2	SB	2020.01.17	ISSUED FOR DP
1	SB	2019.12.06	ISSUED FOR DD

Issue	
consultants	
seals	
drawn:	sbudish December 5, 2019 1:250
project	
Varsity Multi-Service Development Project Address: 3740-32nd Avenue NW, Calgary, AB Legal Address: Plan 1799GC Block 2 Lot 9	
client	
MBAC	
drawing title:	
TREE REMOVAL AND PROTECTION PLAN	
drawing no.	
<b>TRPP-01</b>	
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C:\Projects\200027292\_Varsity\_Multi-Service\_Site\02\_CADD\02\_Drawing\00\_LANDSCAPE\003-drawing\2797\_TREE\_REMOVAL\_PROTECTION\_PLAN.dwg



PLANT SCHEDULE

CONIFEROUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	PC	3	Picea pungens	Colorado Spruce (Green)	Ball & Burlap	2000mm HT.
	PL	9	Pinus contorta latifolia	Lodgepole Pine	Ball & Burlap	3000mm HT.
	PG	9	Pinus ponderosa	Ponderosa Pine	Ball & Burlap	2000mm HT.
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	PT2	9	Populus tremuloides	Trembling Aspen	Ball & Burlap	50mm Cal.
	PT	27	Populus tremuloides	Trembling Aspen	Ball & Burlap	75mm Cal.
	AG	11	Prunus padus commutate	Mayday	Ball & Burlap	50mm Cal.
	PM	6	Prunus virginiana var. melanocarpa	Chokecherry	Ball & Burlap	50mm Cal.
	UA	2	Ulmus americana	American Elm	Ball & Burlap	75mm Cal.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	CR	60	Cornus sericea	Red Twig Dogwood	#1 Container	600mm HT.
	JC	74	Juniperus communis 'Effusa'	Common effusa Juniper	#2 Container	600 mm HT.
	RG	7	Ribes aureum	Golden Flowering Currant	#2 Container	600 mm HT.
	RW	157	Rosa woodsii	Wood Rose	#2 Container	600 mm HT.
	RK	8	Rubus sp.	Raspberry	#2 Container	600 mm HT.
	SO	46	Symphoricarpos occidentalis	Western Snowberry	#1 Container	600 mm HT.
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	CK	62	Calamagrostis x acutiflora	Karl Foester Reed Grass	#2 Container	1000mm HT.
	EB2	635	Elymus arenarius Blue Dune	Blue Dune Lyme Grass	#1 Container	600 mm HT.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	BM	200.9 m <sup>2</sup>	Bark Mulch	Mulch	Mulch	
	TS	998.4 m <sup>2</sup>	Sod	Sod	Sod	

**LAYOUT NOTES**

- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS ON SITE.
- STAKEOUT DESIGN AND CONFIRM LAYOUT WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLING SURFACES AND MATERIAL FINISHES. CONTRACTOR TO CONSTRUCT ALL CURVILINEAR SITE ELEMENTS WITH SMOOTH, CONTINUOUS, UNBROKEN CURVES.
- DIGITAL FILES WILL BE MADE AVAILABLE FOR LAYOUT. CONTRACTOR TO CONFIRM NORTHING AND EASTING POINTS WITH SURVEYOR. LANDSCAPE ARCHITECT TAKES NO RESPONSIBILITY FOR INCORRECT INFORMATION.
- REFER TO CIVIL DRAWING C-01 FOR SITE GRADING INFORMATION.
- REFER TO ARCHITECTURE PLANS FOR BIKE RACK REQUIREMENTS.
- THE CITY OF CALGARY BYLAW PART 6 DIVISION 1 SECTION 556 TO BE EXERCISED: LOW WATER LANDSCAPING OPTION (3%).
- EXISTING LAND USE: S-URP
- PROPOSED LAND USE: S-SRP

**CURB LINEWORK DISCLAIMER**

- ALL CURB AND CURB RAMP LINEWORK SHOWN OUTSIDE OF SITE PROPERTY LINE PROVIDED BY OTHERS. ISL ASSUMES NO RESPONSIBILITY FOR TRAFFIC TURNING MOVEMENTS AND PEDESTRIAN ACCOMMODATION OF LINEWORK SHOWN OUTSIDE OF PROPERTY LINE.

no.	by	date	remarks
5	SB	2020.08.13	ISSUED FOR DEVELOPMENT PERMIT
4	SB	2020.06.29	ISSUED FOR DP DTR 2
3	SB	2020.04.15	ISSUED FOR DP DTR 1
2	SB	2020.01.17	ISSUED FOR DD
1	SB	2019.12.06	ISSUED FOR DP

no.	by	date	remarks
Issue			



no.	by	date	remarks
Issue			

SUMMARY OF LANDSCAPE DATA

TOTAL LANDSCAPE AREA: 3053 m<sup>2</sup> (34.4%)  
 TOTAL SOFT LANDSCAPE: 1703 m<sup>2</sup>  
 TOTAL HARD LANDSCAPE: 1350 m<sup>2</sup>

NO.	ITEM	REQUIRED BY BYLAW	PROVIDED ON PLAN
1	# OF TREES	68 (3053 ÷ 45)	73 (+3 outside of scope)
2	# OF SHRUBS	136 (3053 ÷ 45) x 2	352
3	# OF CONIFEROUS TREES ( 25% of total)	17	18 (+3 outside of scope)
4	# OF DECIDUOUS TREES	51	55
5	# OF 3m HIGH CONIFERS (50%)	9	9
6	# OF 2m HIGH CONIFERS	9	9
7	# OF 75mm DECIDUOUS TREES (50%)	26	29
8	# OF 50mm DECIDUOUS TREES	26	26

REFERENCE NOTES SCHEDULE DEVELOPMENT

SYMBOL	DEVELOPMENT PERMIT DESCRIPTION	QTY	DETAIL	SYMBOL	DEVELOPMENT PERMIT DESCRIPTION	QTY	DETAIL
DP-111	SAW CUT	220.9 m		[Wood Bench Icon]	WOOD CUSTOM BENCH	61.5 m <sup>2</sup>	
[Tree Grate Icon]	TREE GRATE	3	2/L-02	[Sidewalk Icon]	SIDEWALK	800.6 m <sup>2</sup>	
[Outdoor Chair Icon]	OUTDOOR CHAIR	4	1/L-02	[Artificial Turf Icon]	ARTIFICIAL TURF	138.2 m <sup>2</sup>	5/L-02
[3m Container Icon]	3m ORGANIC CONTAINER	1	3/L-02	[Hardscape Icon]	HARDSCAPE	227.4 m <sup>2</sup>	
[5m Container Icon]	5m WASTE AND RECYCLING CONTAINER	4	4/L-02	[Limestone Fines Icon]	LIMESTONE FINES	2.6 m <sup>2</sup>	
				[Asphalt Icon]	ASPHALT	4,287 m <sup>2</sup>	

drawn: sbudish  
August 18, 2020  
1:250

project: Varsity Multi-Service Development  
Project Address: 3740-32nd Avenue NW, Calgary, AB  
Legal Address: Plan 1799GC Block 2 Lot 9

client: MBAC

drawing title: PLANTING PLAN

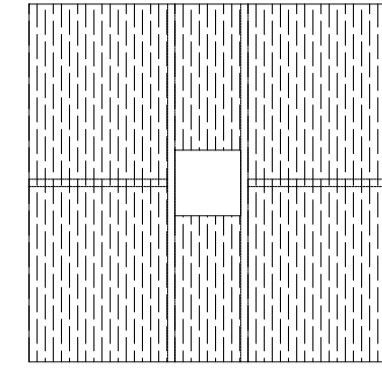
drawing no. **L-01**

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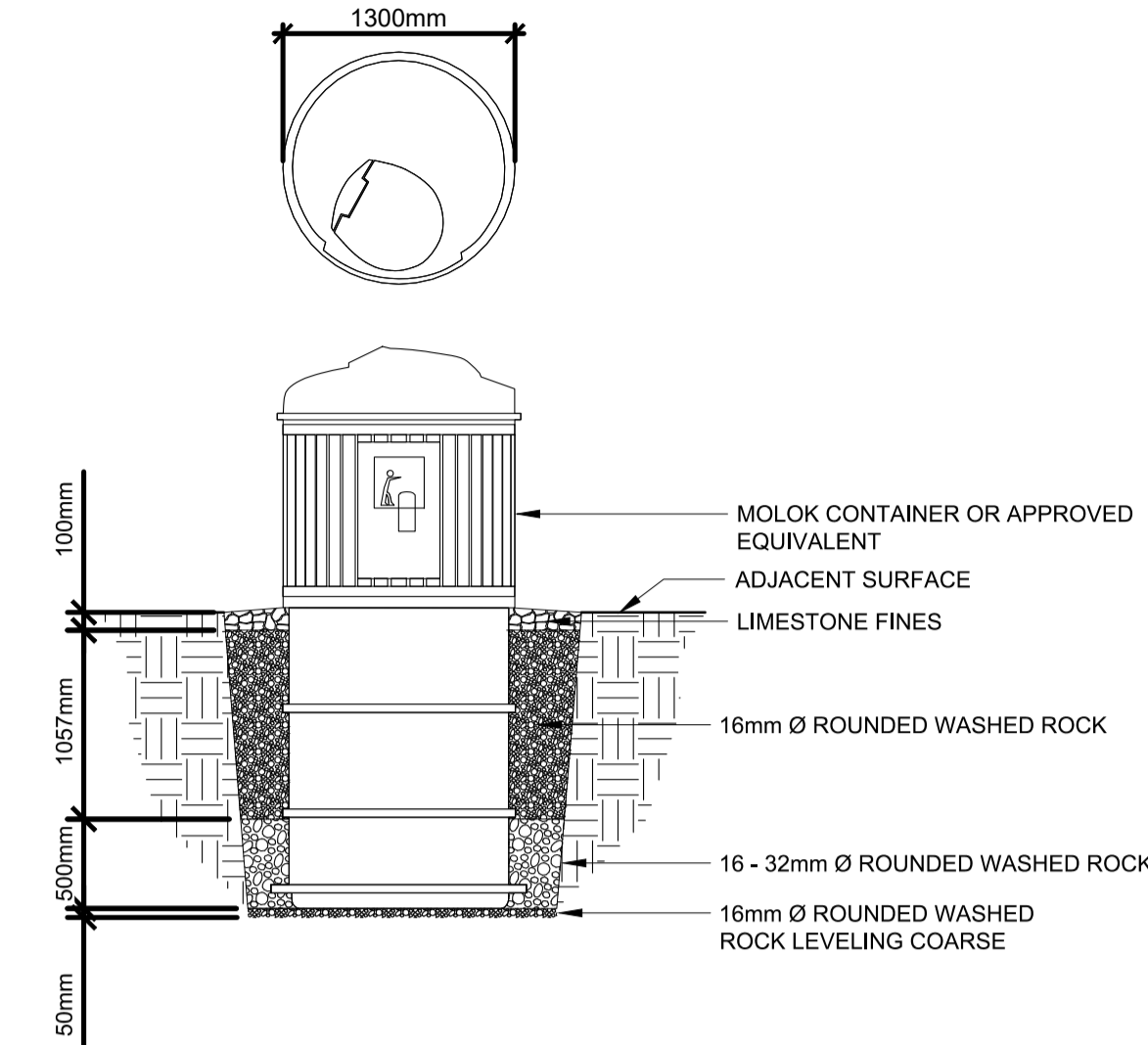
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NOTE: CHAIR TO BE LOLL TALL ADIRONDACK OR APPROVED EQUIVALENT



NOTE: TREE GRATE TO BE IRON AGE "RAIN" TREE GRATE OR APPROVED EQUIVALENT



**1** OUTDOOR CHAIR  
1:20 P-VA-04

**2** TREE GRATE  
1:20 P-VA-02

**3** 3M<sup>3</sup> ORGANIC CONTAINER  
1:40 P-VA-11

- LAYOUT NOTES**
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS ON SITE.
  - STAKEOUT DESIGN AND CONFIRM LAYOUT WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLING SURFACES AND MATERIAL FINISHES.
  - CONTRACTOR TO CONSTRUCT ALL CURVILINEAR SITE ELEMENTS WITH SMOOTH, CONTINUOUS, UNBROKEN CURVES.
  - DIGITAL FILES WILL BE MADE AVAILABLE FOR LAYOUT.
  - CONTRACTOR TO CONFIRM NORTHING AND EASTING POINTS WITH SURVEYOR. LANDSCAPE ARCHITECT TAKES NO RESPONSIBILITY FOR INCORRECT INFORMATION.
  - REFER TO CIVIL DRAWING C-01 FOR SITE GRADING INFORMATION.
  - REFER TO ARCHITECTURE PLANS FOR BIKE RACK REQUIREMENTS.
  - THE CITY OF CALGARY BYLAW PART 6 DIVISION 1 SECTION 556 TO BE EXERCISED: LOW WATER LANDSCAPING OPTION (3%).
  - EXISTING LAND USE: S-URP
  - PROPOSED LAND USE: S-SRP

- CURB LINEWORK DISCLAIMER**
- ALL CURB AND CURB RAMP LINEWORK SHOWN OUTSIDE OF SITE PROPERTY LINE PROVIDED BY OTHERS. ISL ASSUMES NO RESPONSIBILITY FOR TRAFFIC TURNING MOVEMENTS AND PEDESTRIAN ACCOMMODATION OF LINEWORK SHOWN OUTSIDE OF PROPERTY LINE.

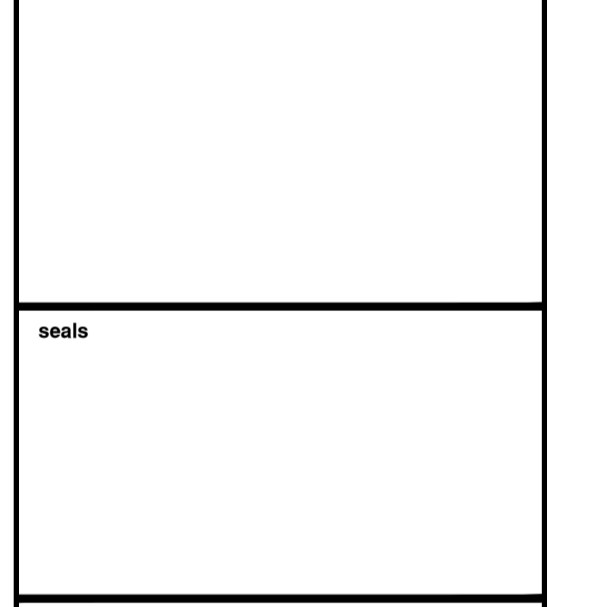
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5	SB	2020.08.13	ISSUED FOR DEVELOPMENT PERMIT
4	SB	2020.06.29	ISSUED FOR DP DTR 2
3	SB	2020.04.15	ISSUED FOR DP DTR 1
2	SB	2020.01.17	ISSUED FOR DD
1	SB	2019.12.06	ISSUED FOR DP

no.	by	date	remarks

Issue



consultants



drawn: sbudish  
July 24, 2020

seals

project

**Varsity Multi-Service Development**  
Project Address: 3740-32nd Avenue NW, Calgary, AB  
Legal Address: Plan 1799GC Block 2 Lot 9

client

**MBAC**

drawing title:

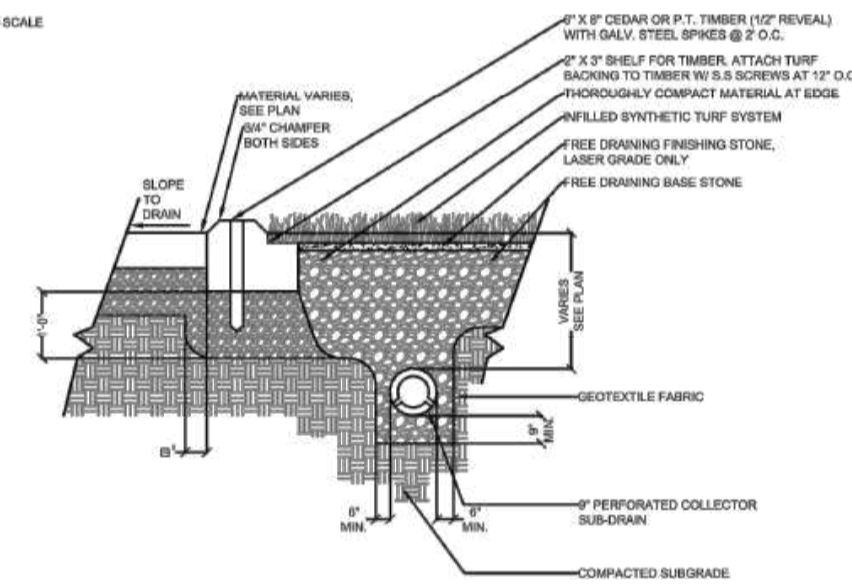
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drawing no.

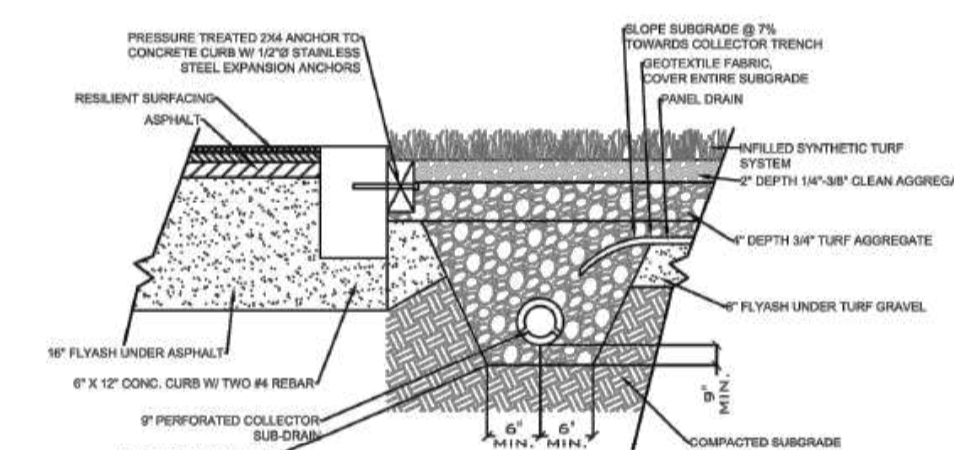
**L-02**

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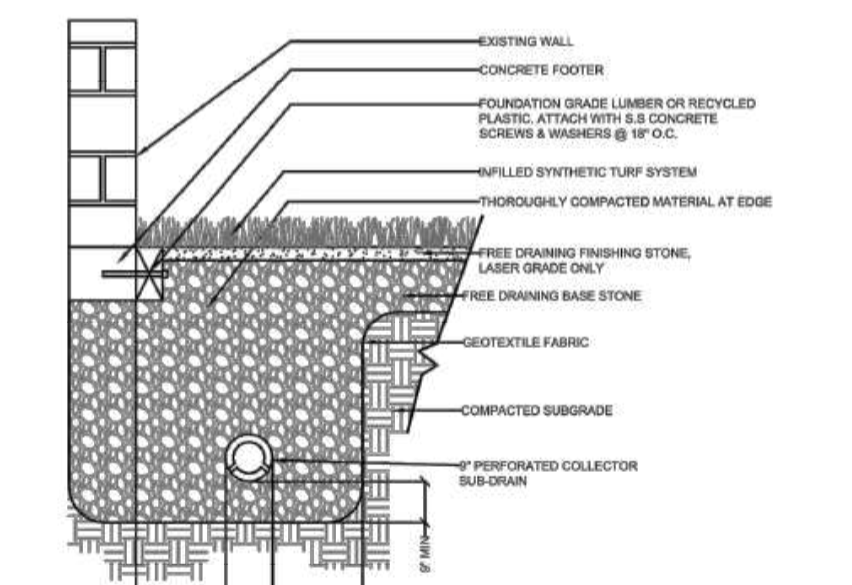
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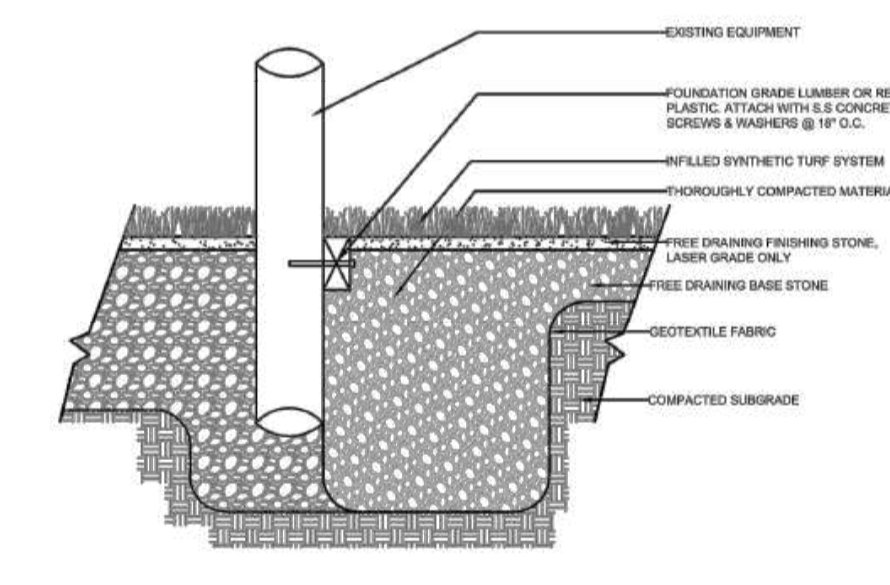
**NAILER BOARD**



**CURB**

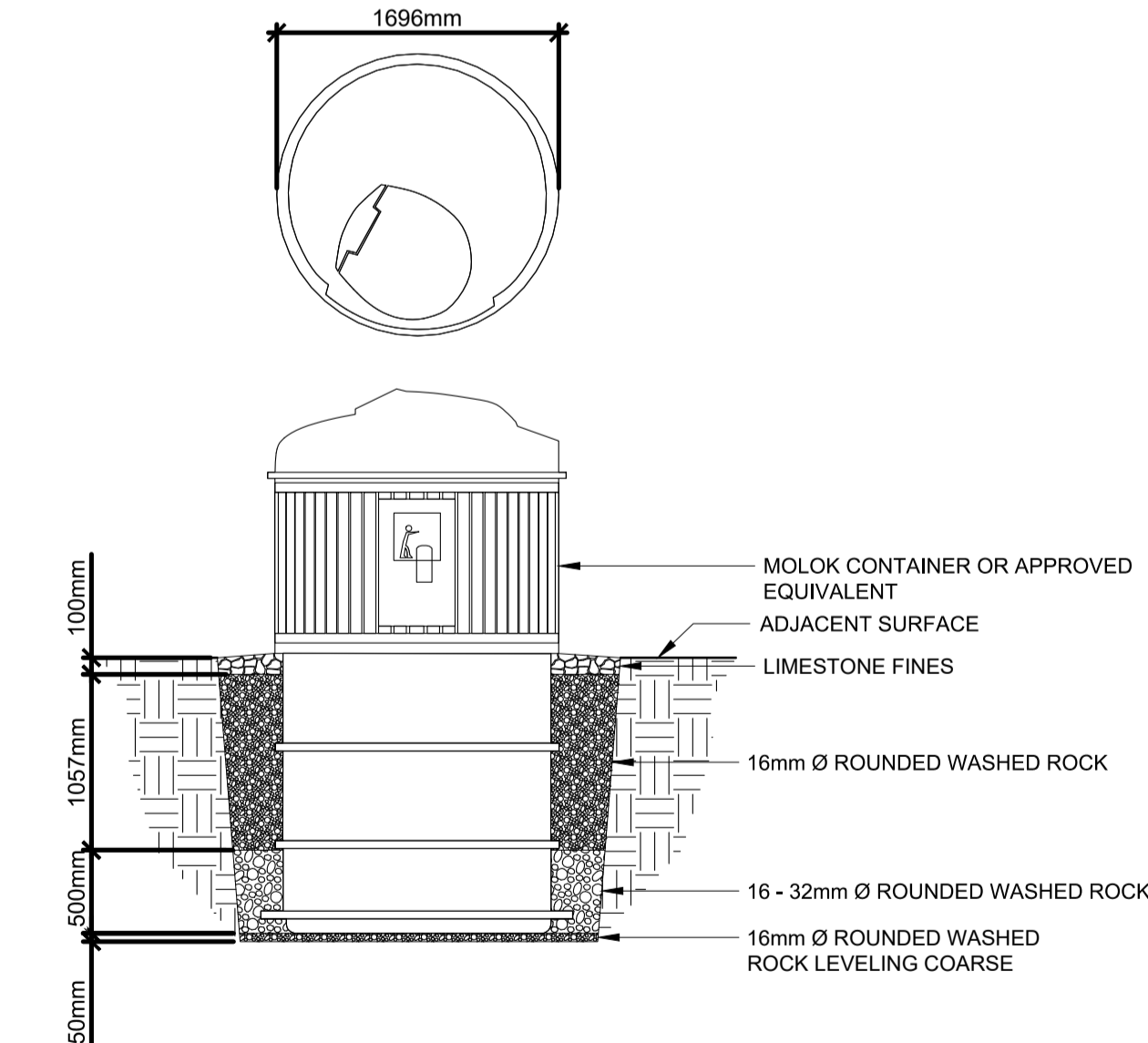


**WALL**



**EQUIPMENT**








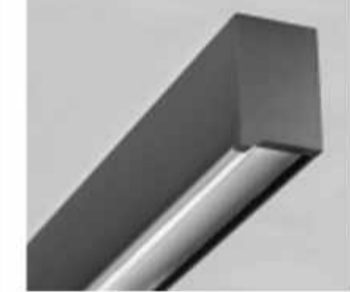

NOTE: ARTIFICIAL TURF TO BE SPORT TURF OR APPROVED EQUIVALENT



**4** 5M<sup>3</sup> WASTE AND RECYCLING CONTAINER  
1:40 P-VA-10


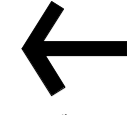
**5** FRESH GRASS ARTIFICIAL TURF  
1:10 P-VA-17

C:\Projects\2700627200\27297\_Varsity\_Multi-Use\_Site\02\_CADD\02\_Drawing\00\_LANDSCAPE\03-drawings\27297\_PLANTING PLAN 13.dwg

LUMINAIRE SCHEDULE					
	Nemetz Type	Description	Location	Lamp	Mounting
<b>LANDSCAPE AND EXTERIOR</b>					
<b>Landscape Type</b>					
	HH	BEGA 84 667K35 (CONFIRM FINISH WITH ARCHITECT)	LANDSCAPE LIGHTING	27W LED 2,000 LUMENS 3500K	SURFACE/JB
	DD	LITHONIA LIGHTING DSX1 LED-P2-40K-BLC-MVOLT-SPA-NLTAIR2-PIRHN-XX (CONFIRM FINISH WITH ARCHITECT)	SITE LIGHTING	70W LED 7,293 LUMENS 4000K	6096mm POLE (20')
	DD1	LITHONIA LIGHTING DSX1 LED-P2-40K-T4M-MVOLT-SPA-NLTAIR2-PIRHN-XX; 2 HEADS PER POLE (CONFIRM FINISH WITH ARCHITECT)	SITE LIGHTING	70W LED 8,707 LUMENS PER HEAD 4000K	6096mm POLE (20')
	JJ	LITHONIA LIGHTING WDGE2 LED-P1SW-40K-90CRI-VW-MVOLT-SRM-NLTAIR2 PIR-XX (CONFIRM FINISH WITH ARCHITECT) <b>NOTE: PERFORMANCE RECOMMENDATION. FIXTURE BY OWNER.</b>	HHWD SHED (EXTERIOR)	10W LED 4000K 1284 LUMENS	SURFACE/WALL
 	LL	DIFFUSION LIGHTING SL6-XX-24V-3500 K c/w SLC-065R EXTRUSION (CONFIRM MOUNTING DETAILS AND FINISH WITH ARCHITECT)	BENCH LIGHTING	14.4 W/m LED 297 LUMENS 3500K	RECESSED/UNDER BENCH
 	LL1	DIFFUSION LIGHTING SL1-XX-24V-3500 K c/w SLC-002S EXTRUSION (CONFIRM MOUNTING DETAILS AND FINISH WITH ARCHITECT)	RAILING LIGHTING	4.8 W/m LED 99 LUMENS 3500K	RECESSED/RAILING
	LL2	A LIGHT ACL8-XX-LH-35-U-TF-F-XX-D-XX-Q-CRI (CONFIRM MOUNTING DETAILS AND FINISH WITH ARCHITECT)	APRON CANOPY	38.4W LED 1,655 LUMENS 3500K	SURFACE/SOFFIT
	LL3	SELUX LIGHTING M60-L60W-1B30-35-NB-XX-14-BK-UNV-XX-XX-XX	ENTRY CANOPY (FRONT ENTRY)	23 W/m LED 6737 LM/m 3500K	RECESSED/SOFFIT
	LL3a	SELUX LIGHTING M60-L60W-1B30-35-NB-XX-8-BK-UNV-XX-XX-XX	ENTRY CANOPY (SIDE ENTRY)		
	LL3b	SELUX LIGHTING M60-L60W-1B30-35-NB-XX-9-BK-UNV-XX-XX-XX	ENTRY CANOPY (REAR ENTRY)		
	LL3c	SELUX LIGHTING M60-L60W-1B30-35-NB-XX-29-BK-UNV-XX-XX-XX	CFD CANOPY (REAR )		

notes

PRIME CONSULTANT

the mac boudin architectural collaborative inc.  
the m b a c i s  
Contact: Michele Smith-Cowan  
T: 403.281.9050  
F: 403.281.9054

CONSULTANT



**NEMETZ (S/A) & ASSOCIATES LTD.**  
CONSULTING ENGINEERS  
525 11th AVENUE SW, SUITE 305, CALGARY, AB T2R 0C9  
TEL: (403) 294-9027 FAX: (403) 294-9028  
214 KING ST. WEST, SUITE 214 TORONTO, ON M5H3S6  
TEL: (647) 253-0086 FAX: (647) 253-2085  
2009 WEST 4TH AVENUE, VANCOUVER, BC V6J1N3  
TEL: (604) 736-6562 FAX: (604) 736-9805  
E-MAIL: ENGINEERS@NEMETZ.COM

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Revision			
no.	description	date	checked
1	DP DTR 1	2020-03-12	

issue data		date
ISSUED FOR DEVELOPMENT PERMIT		2019-10-09
RE-ISSUED FOR DEVELOPMENT PERMIT		2019-12-03
ISSUED FOR DTR 1 AMENDMENTS		2020-03-12
ISSUED FOR DP DTR 1		2020-04-15
ISSUED FOR DP DTR 2		2020-06-29

seal


seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural:  
Landscape:  
Structural:  
Mechanical:  
Electrical:  
Civil:  
Consultant Project Number:



project

VARSITY MULTI-SERVICE  
REDEVELOPMENT

location: 3740 32 AVENUE NW, CALGARY, ALBERTA  
T2N 1N8

drawing title

LUMINAIRE SCHEDULE

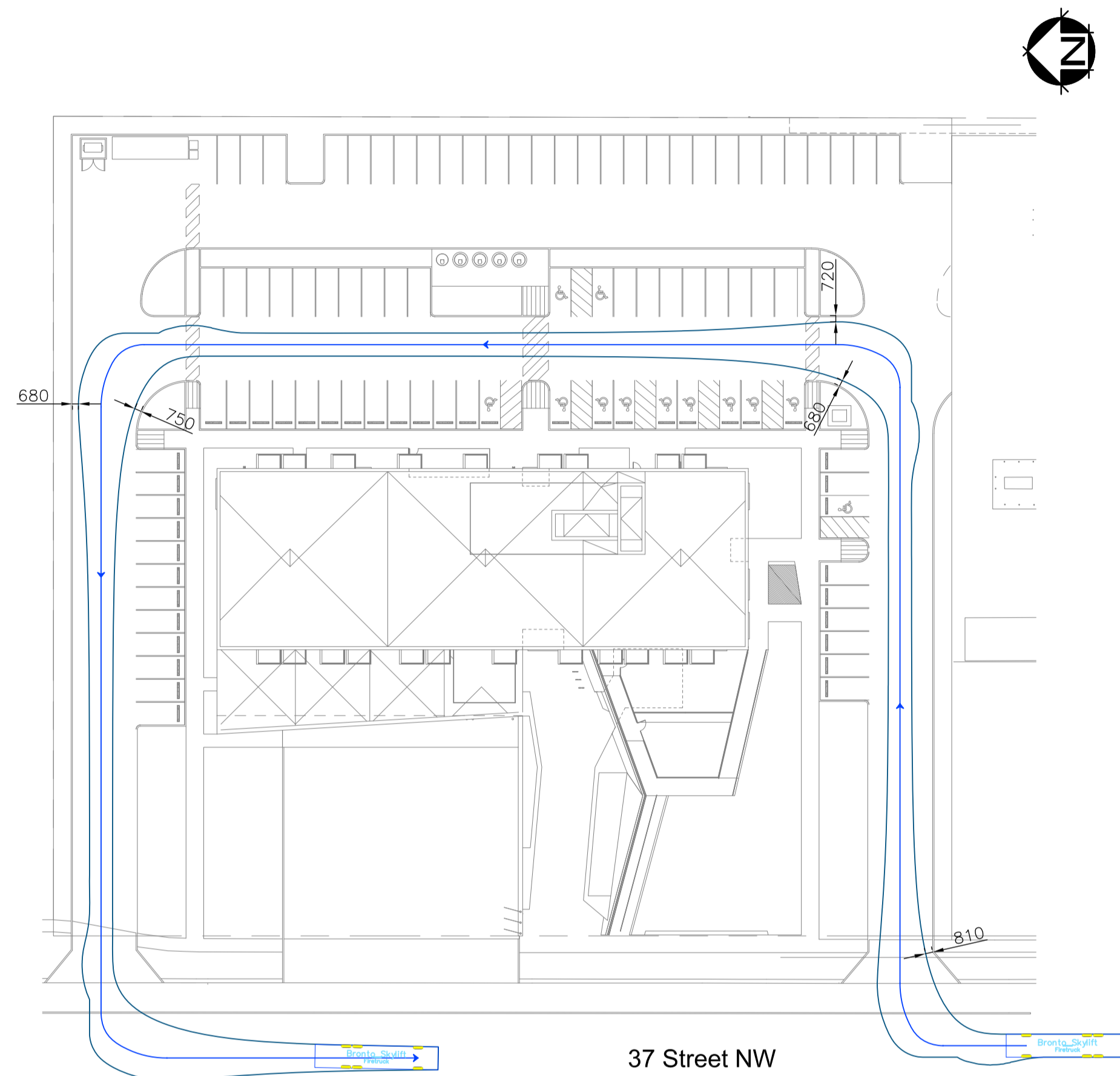
scale as noted all dimensions are in millimeters

drawn by MDA drawing no. DP-E-1.03

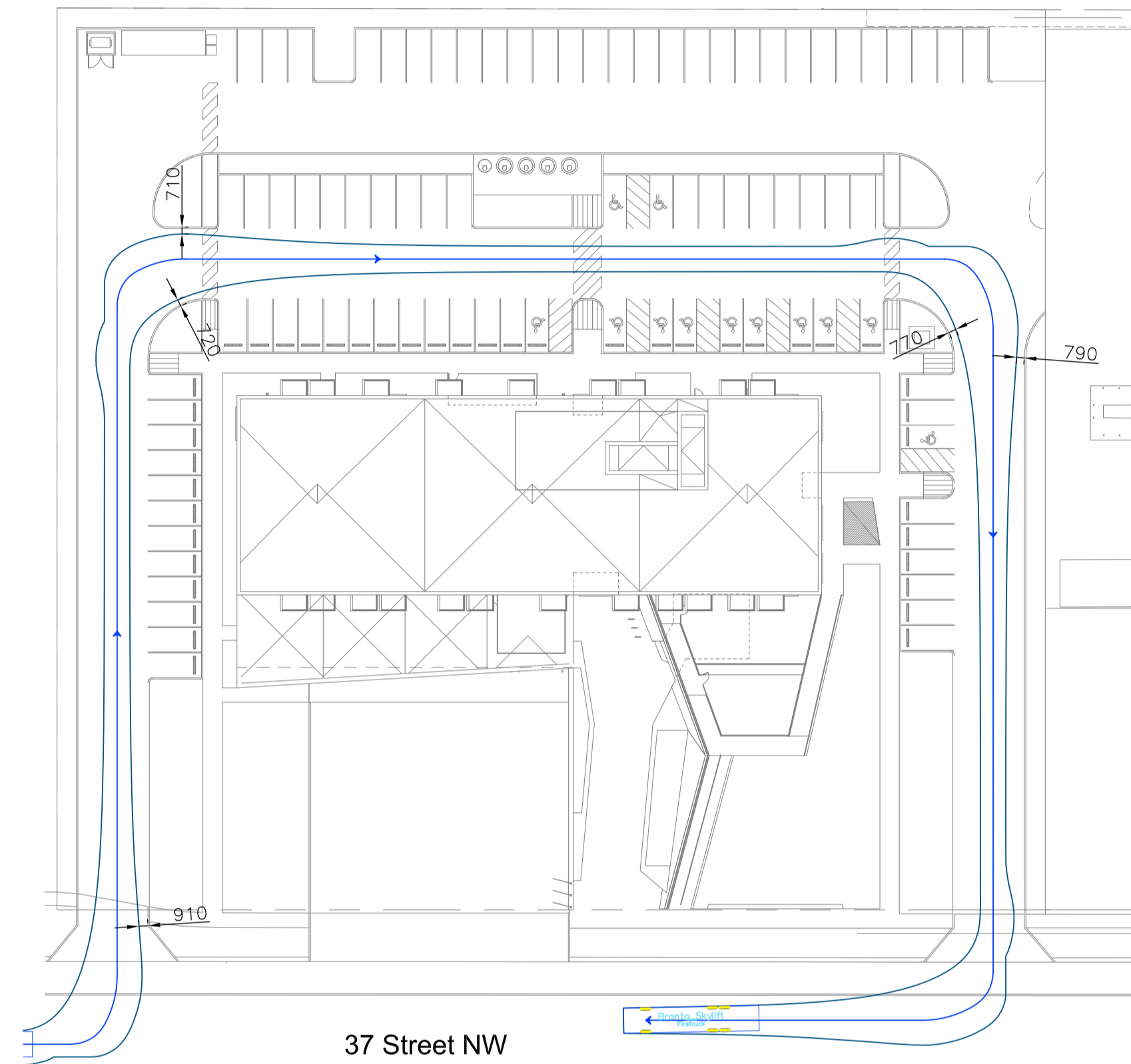
checked by BLSS/CT

reviewed by project no. C136

CAD file name:

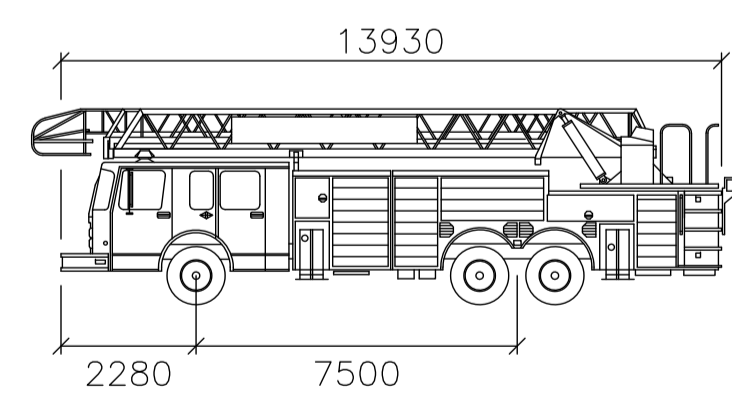


1 VEHICLE SWEEP PATHS - FIRE TRUCK CIRCULATION FROM SOUTH ACCESS  
T-101 1:500



2 VEHICLE SWEEP PATHS - FIRE TRUCK CIRCULATION FROM NORTH ACCESS  
T-101 1:500

### Design Vehicle



Bronto Skylift

	mm
Width	: 2600
Track	: 2600
Lock to Lock Time	: 6.0
Steering Angle	: 47.3



notes

PRIME CONSULTANT



the marc bouth architectural collaborative inc.  
t h e - m b a c c a  
Contact: Michael Smith Cowman  
T. 403.261.9550  
F. 403.261.9554

←  
north arrow

General Notes:

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revisions			
no.	description	date	checked

issue data		date
ISSUED FOR DEVELOPMENT PERMIT		2019/10/01
ISSUED FOR DP DTR1		2020/04/15

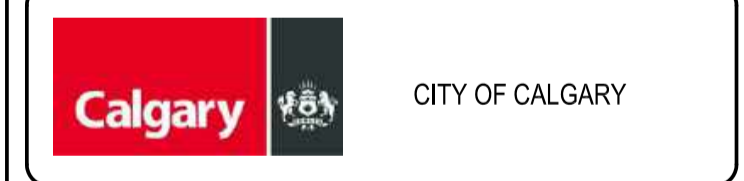
seal	seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural:	the marc bouth architectural collaborative & jonathan davidson architecture + planning
Landscape:	ISL Engineering and Land Services
Structural:	Entuitive Corporation
Mechanical:	The AME Consulting Group Ltd.
Electrical:	Hernandez & Associates Ltd.
Civil:	ISL Engineering and Land Services
Transportation:	Bunt & Associates Engineering Ltd.
Consultant Project Number:	02-19-0002



project

Varsity Integrated Facility

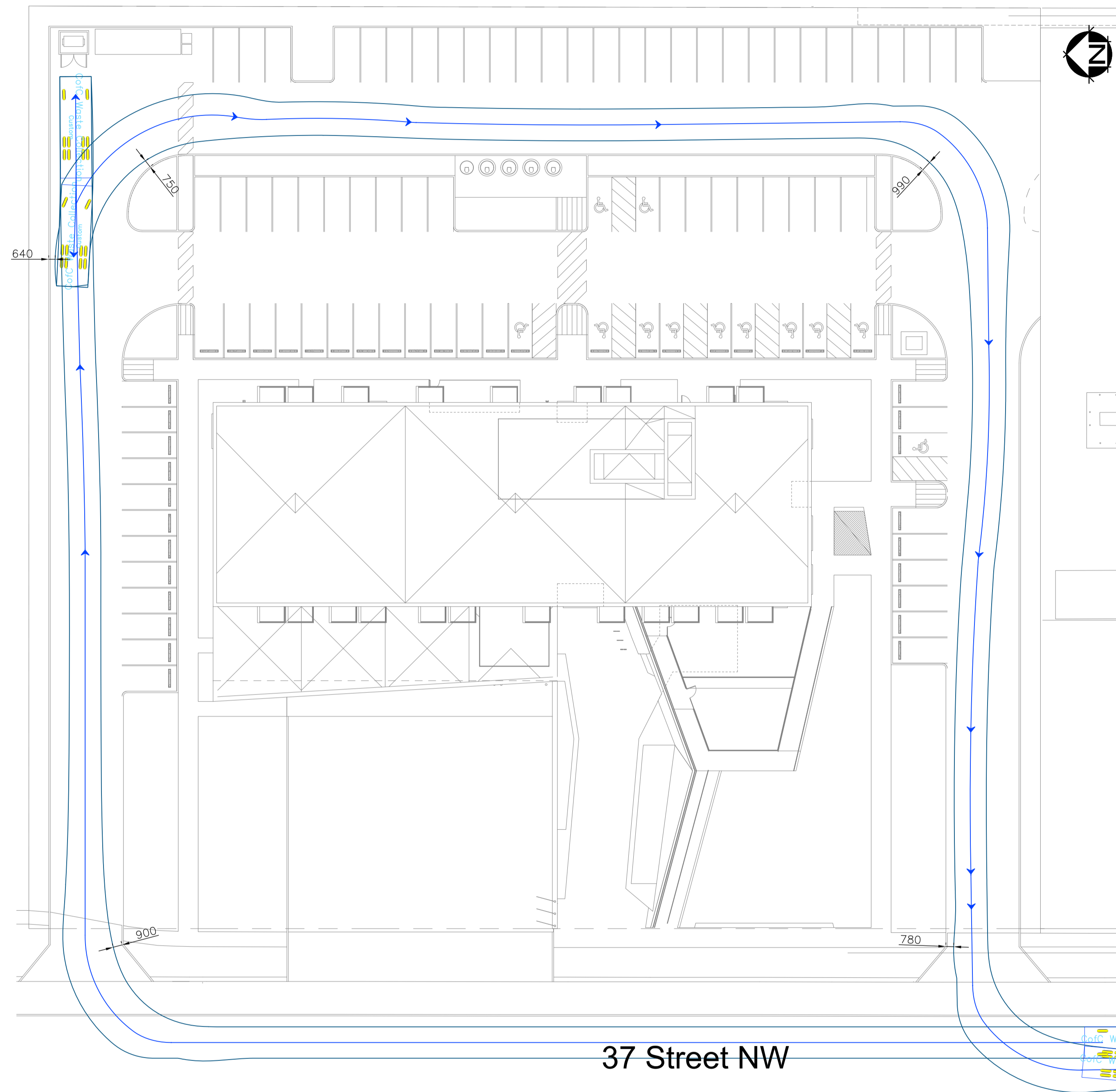
location : Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
Legal Address: SW 31-24-1 W5M

drawing title

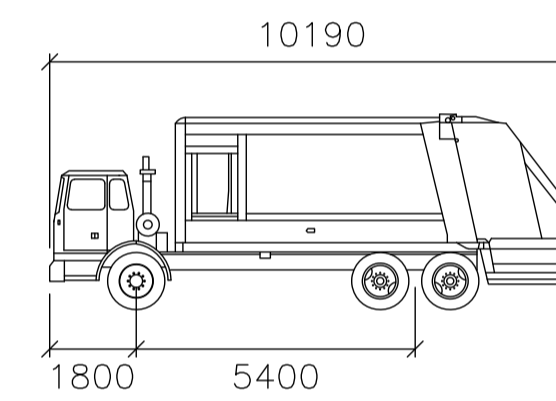
**VEHICLE SWEEP PATHS  
FIRE TRUCK CIRCULATION**

scale as noted	all dimensions are in millimeters
drawn by BM	drawing no. T-101
checked by KM	project no. 15-1694
reviewed by KM	CAD file name: 02-19-0002_D0815_A1





### Design Vehicle



CofC Waste Collection  
mm  
Width : 3150  
Track : 2600  
Lock to Lock Time : 6.0  
Steering Angle : 26.8

37 Street NW

1  
T-102  
VEHICLE SWEEP PATHS - WASTE COLLECTION  
1:300

notes

PRIME CONSULTANT



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north arrow

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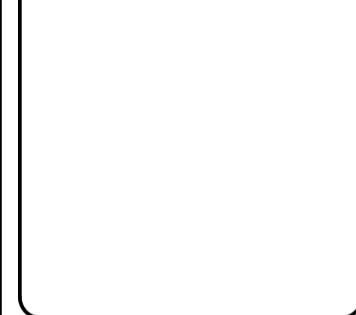
revisions

no.	description	date	checked

issue data

issue data	date
ISSUED FOR DEVELOPMENT PERMIT	2019/10/01
ISSUED FOR DP DTR1	2020/04/15

seal



seal



permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural: the marc bouth architectural collaborative & jonathan davidson architecture + planning  
Landscape: ISL Engineering and Land Services  
Structural: Entuitive Corporation  
Mechanical: The AME Consulting Group Ltd.  
Electrical: Hensel & Associates Ltd.  
Civil: ISL Engineering and Land Services  
Transportation: Bunt & Associates Engineering Ltd.  
Consultant Project Number: 02-19-0002



CITY OF CALGARY

project

Varsity Integrated Facility

location :

Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
Legal Address: SW 31-24-1 W5M

drawing title

VEHICLE SWEEP PATHS  
WASTE COLLECTION

scale

as noted all dimensions are in millimeters

drawn by

BM

drawing no.

T-102

checked by

KM

reviewed by

KM

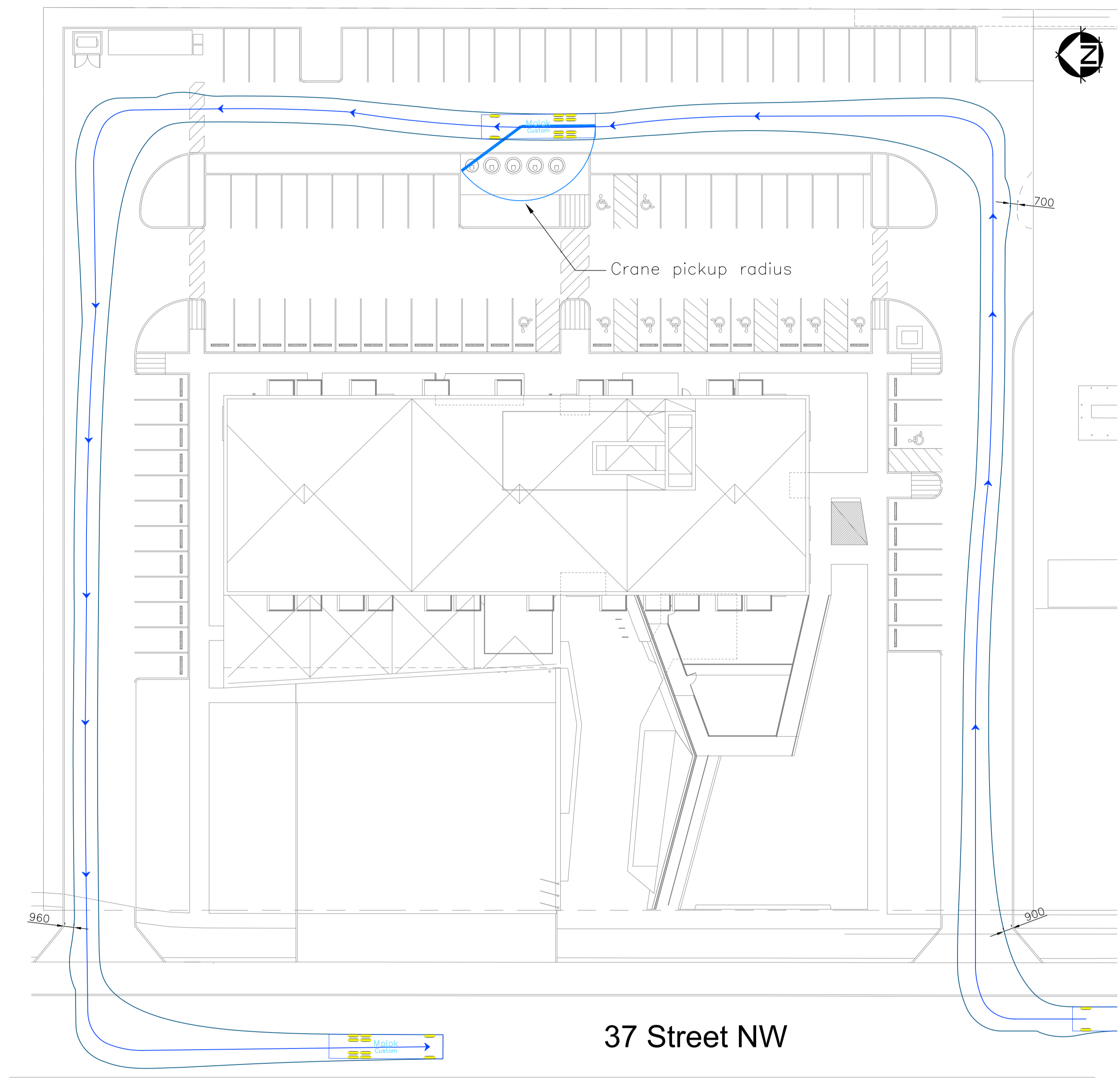
project no.

15-1694

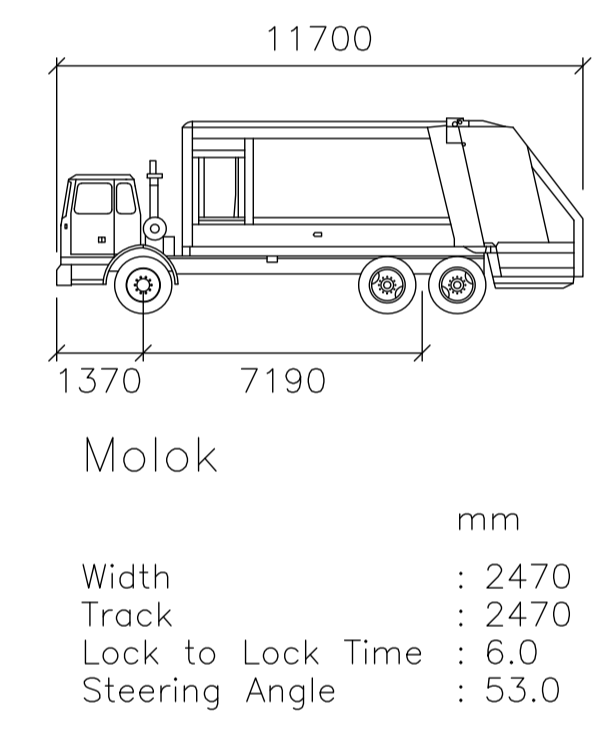
CAD file name:

02-19-0002\_D0815\_A1





**Design Vehicle**



37 Street NW

1 VEHICLE SWEPT PATHS - MOLOK WASTE COLLECTION  
T-103 1:300

notes

**PRIME CONSULTANT**

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F. 403.261.9554

the marc bouth architectural collaborative inc.  
north arrow

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issue data		date
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ISSUED FOR DP DTR1		2020/04/15

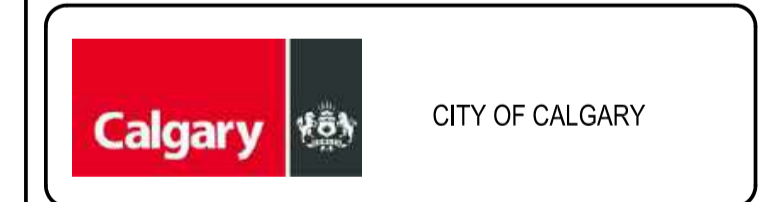
seal	seal
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permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants

Architectural: the marc bouth architectural collaborative & jordan davidson architecture + planning  
Landscape: ISL Engineering and Land Services  
Structural: Entative Corporation  
Mechanical: The AME Consulting Group Ltd.  
Electrical: Hensel & Associates Ltd.  
Civil: ISL Engineering and Land Services  
Transportation: Bunt & Associates Engineering Ltd.  
Consultant Project Number: 02-19-0002



project

Varsity Integrated Facility

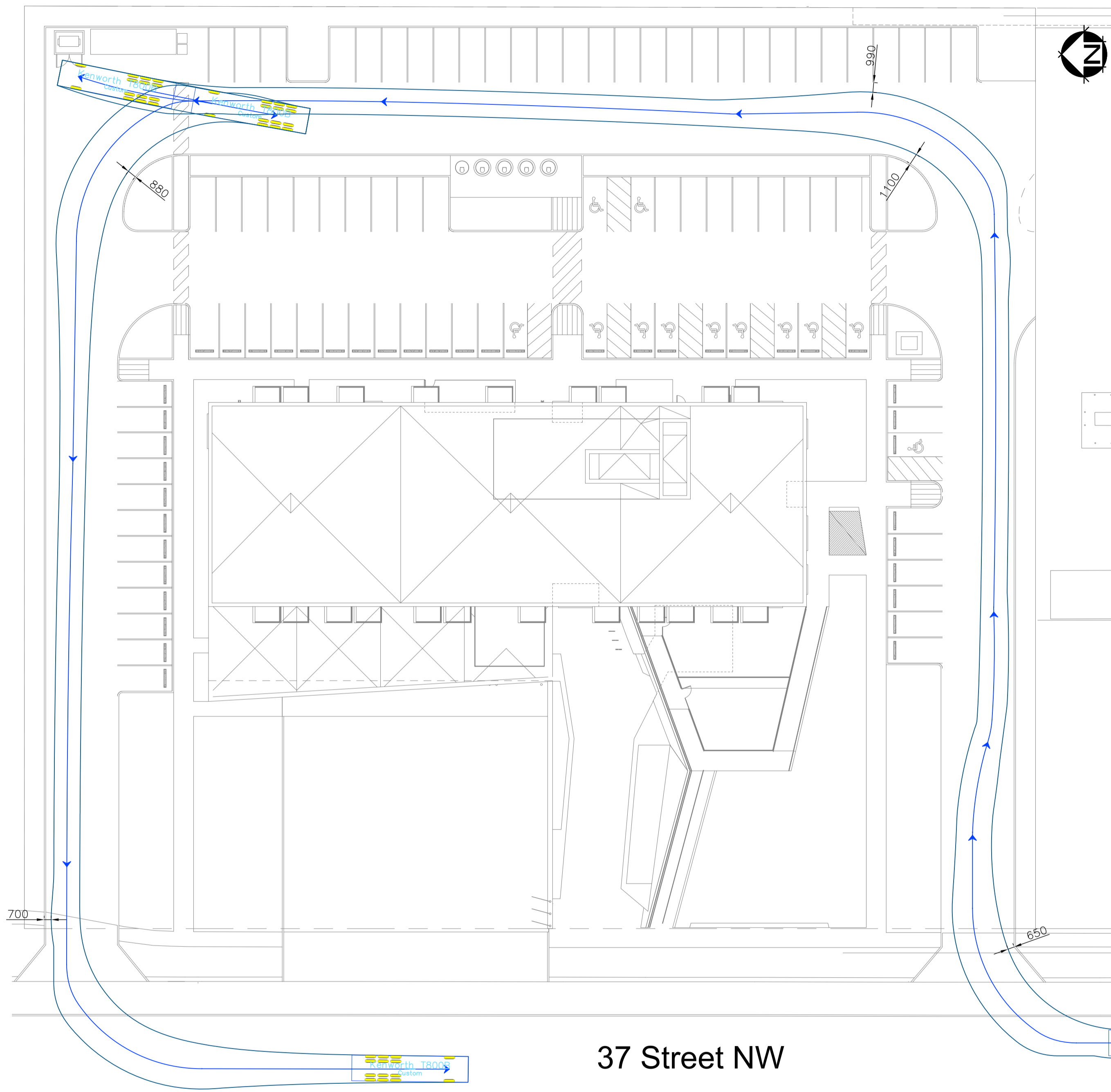
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Legal Address: SW 31-24-1 W5M

drawing title

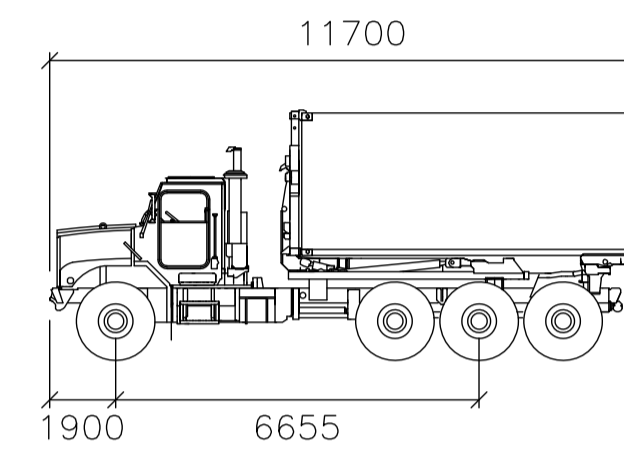
VEHICLE SWEPT PATHS  
MOLOK WASTE COLLECTION

scale as noted	all dimensions are in millimeters
drawn by BM	drawing no. T-103
checked by KM	project no. 15-1694
reviewed by KM	CAD file name: 02-19-0002_D0815_A1

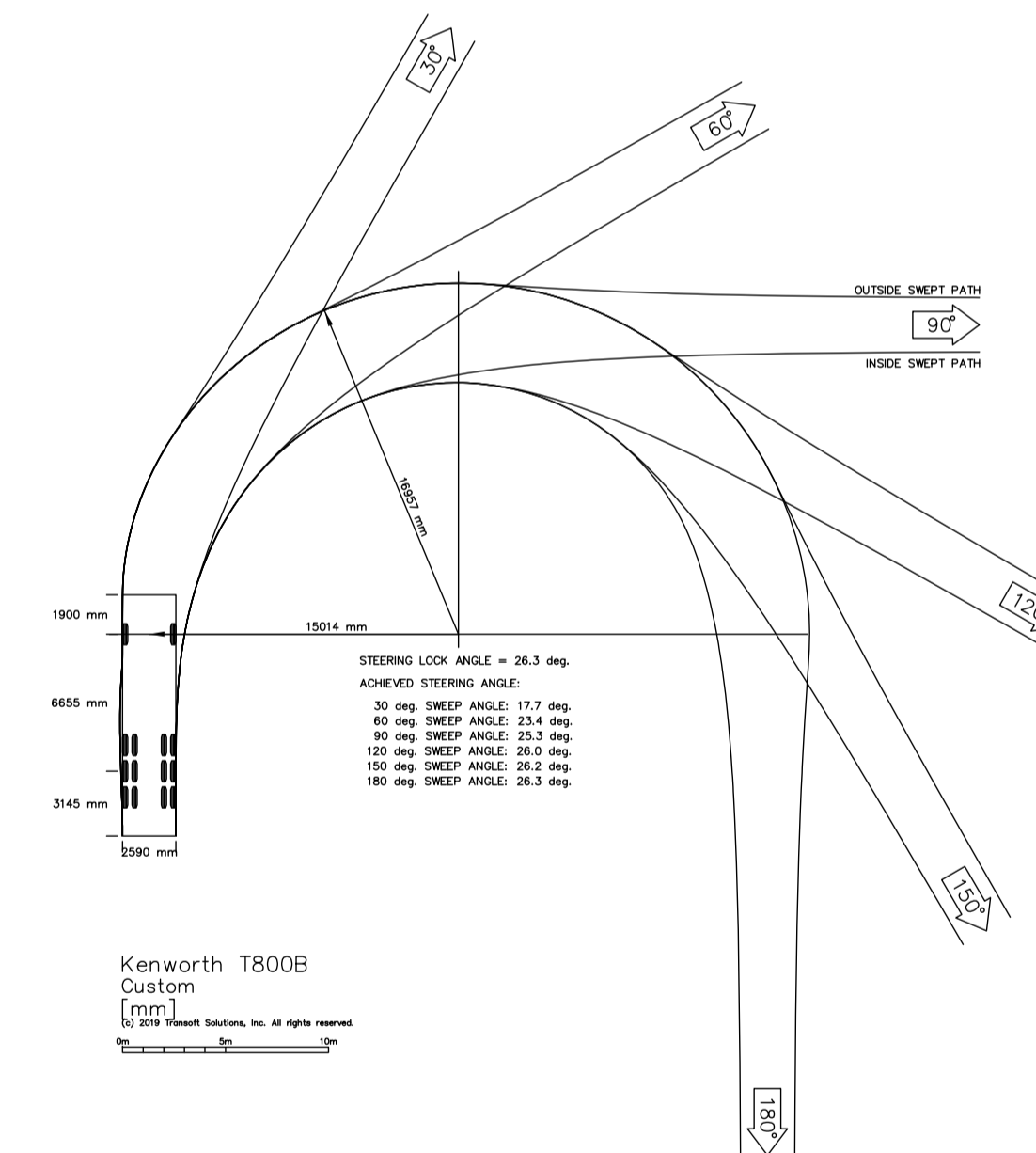




### Design Vehicle



Kenworth T800B  
mm  
Width : 2590  
Track : 2590  
Lock to Lock Time : 6.0  
Steering Angle : 26.3



37 Street NW

1 VEHICLE SWEEP PATHS - CLEANING SERVICE VEHICLE  
T-104 1:300

notes  
PRIME CONSULTANT  
**MBAC**  
the marc boulin architectural collaborative inc.  
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F. 403.261.9554

← north arrow

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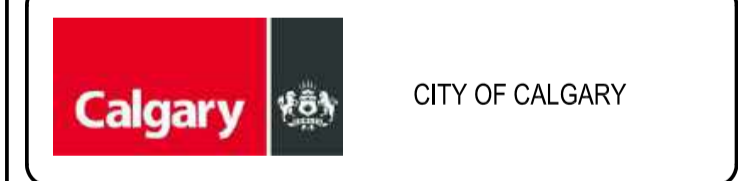
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issue data		date
ISSUED FOR DEVELOPMENT PERMIT		2019/10/01
ISSUED FOR DP DTR1		2020/04/15

seal

permit  
**PRELIMINARY  
NOT FOR CONSTRUCTION**

consultants  
Architectural: the marc boulin architectural collaborative & jonathan davidson architecture + planning  
Landscape: ISL Engineering and Land Services  
Structural: Entuitive Corporation  
Mechanical: The AME Consulting Group Ltd.  
Electrical: Henzel & Associates Ltd.  
Civil: ISL Engineering and Land Services  
Transportation: Bunt & Associates Engineering Ltd.  
Consultant Project Number: 02-19-0002



project  
Varsity Integrated Facility

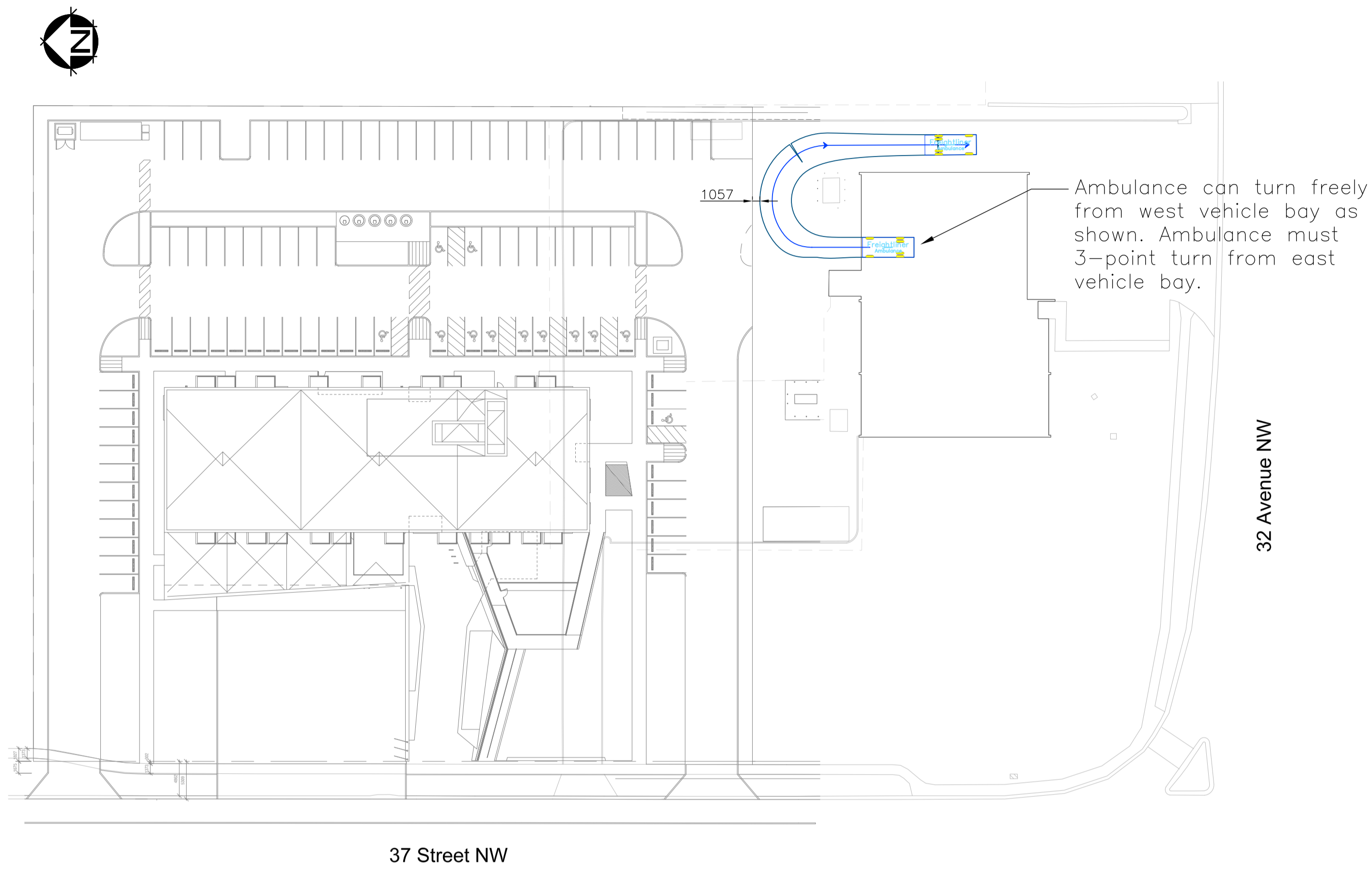
location : Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
Legal Address: SW 31-24-1 W5M

drawing title  
VEHICLE SWEEP PATHS  
CLEANING SERVICE VEHICLE

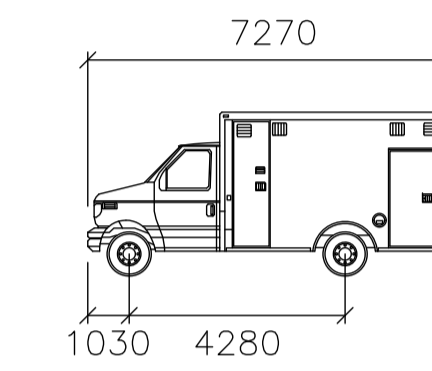
scale as noted all dimensions are in millimeters

drawn by	BM	drawing no.	T-104
checked by	KM	project no.	15-1694
reviewed by	KM	CAD file name:	02-19-0002_D0815_A1





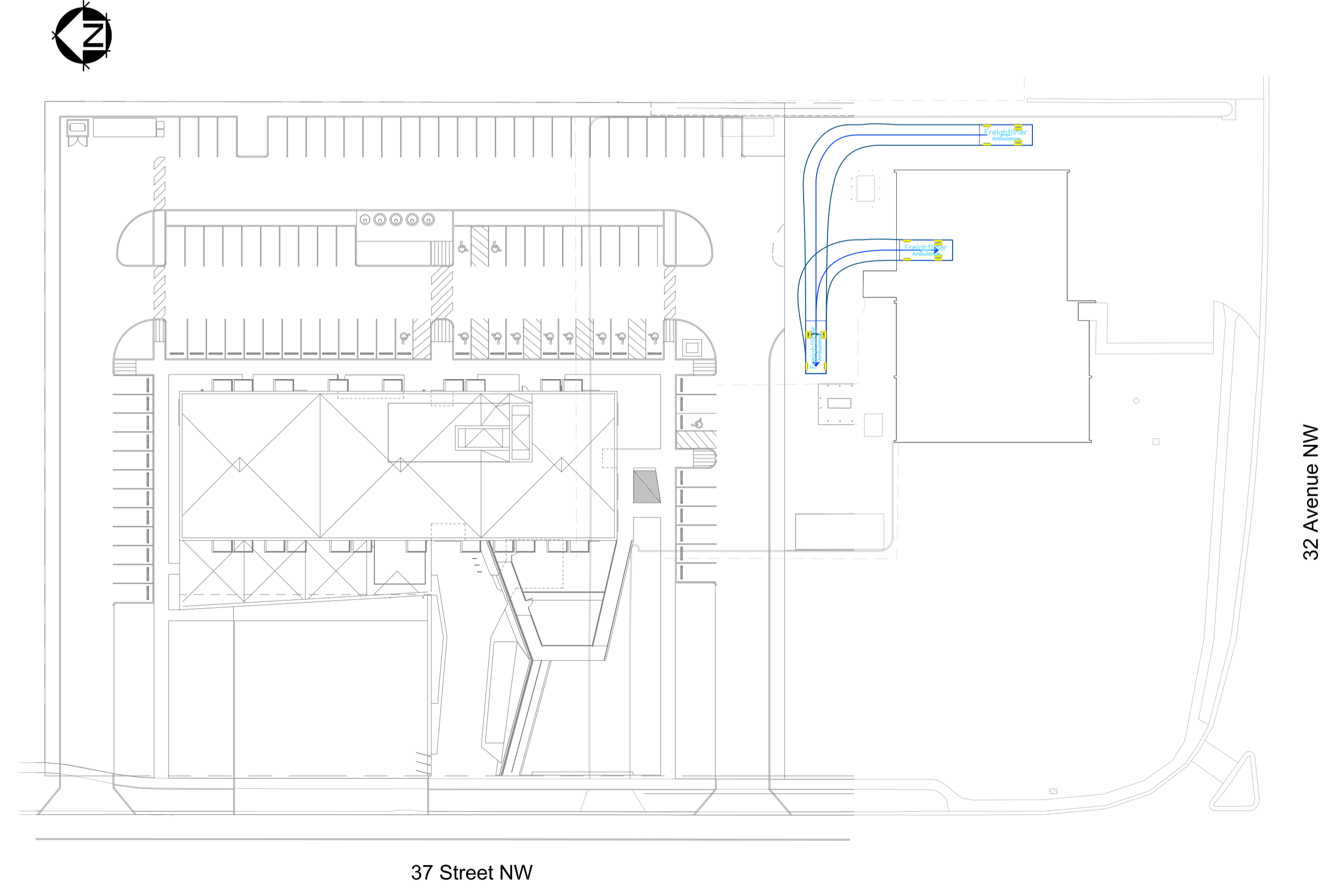
**Design Vehicle**



Freightliner

- Width : 2820 mm
- Track : 2820 mm
- Lock to Lock Time : 6.0
- Steering Angle : 33.3

1 VEHICLE SWEEP PATHS - AMBULANCE MANEUVERING OUTBOUND  
T-105 1:500



2 VEHICLE SWEEP PATHS - AMBULANCE MANEUVERING INBOUND  
T-105 1:500

notes

**PRIME CONSULTANT**

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← north arrow

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issue data		date
ISSUED FOR DEVELOPMENT PERMIT		2019/10/01
ISSUED FOR DP DTR1		2020/04/15

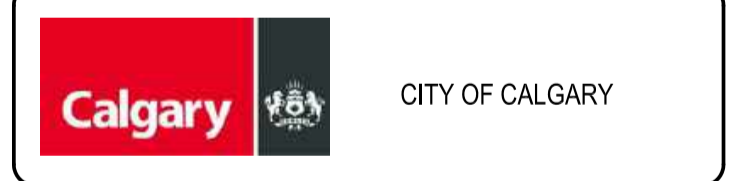
seal

seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

- consultants
- Architectural: the marc bouth architectural collaborative & jonathan davidson architecture + planning
  - Landscape: ISL Engineering and Land Services
  - Structural: Entuitive Corporation
  - Mechanical: The AME Consulting Group Ltd.
  - Electrical: Henetz & Associates Ltd.
  - Civil: ISL Engineering and Land Services
  - Transportation: Bunt & Associates Engineering Ltd.
  - Consultant Project Number: 02-19-0002



project

Varsity Integrated Facility

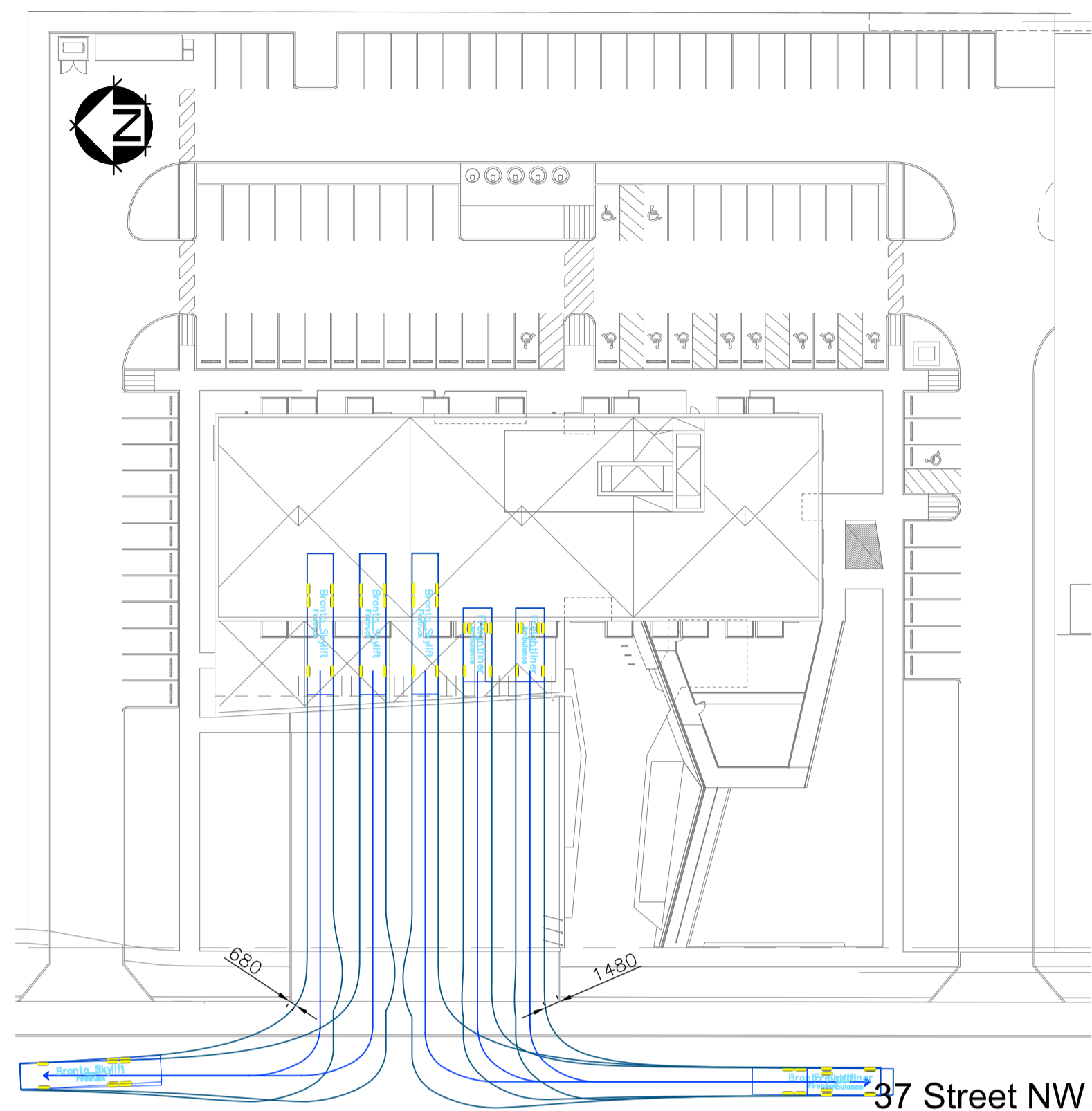
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Legal Address: SW 31-24-1 W5M

drawing title

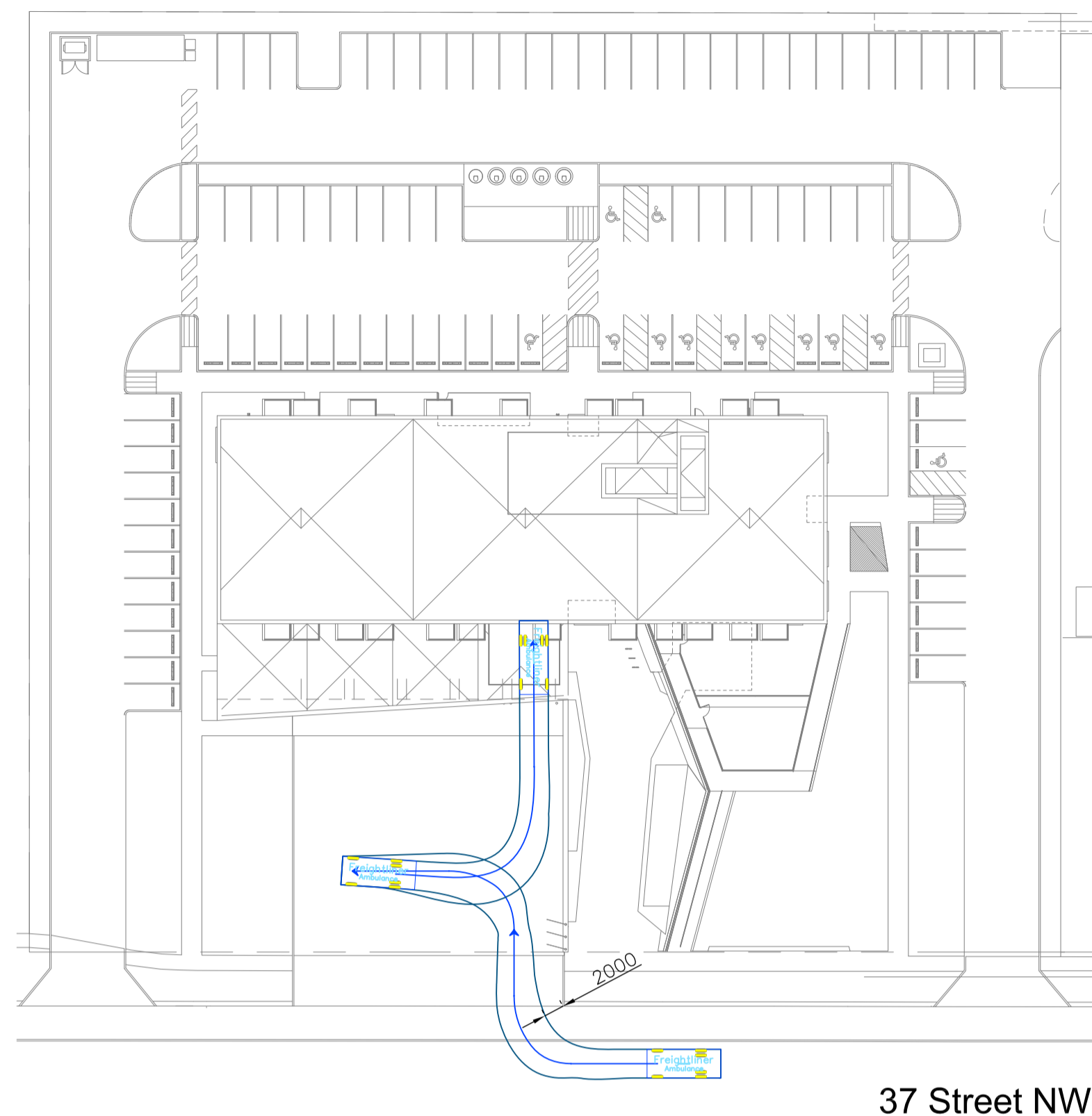
VEHICLE SWEEP PATHS  
AMBULANCE MANEUVERING

scale as noted	all dimensions are in millimeters
drawn by BM	drawing no. T-105
checked by KM	project no. 15-1694
reviewed by KM	CAD file name: 02-19-0002_D0815_A1

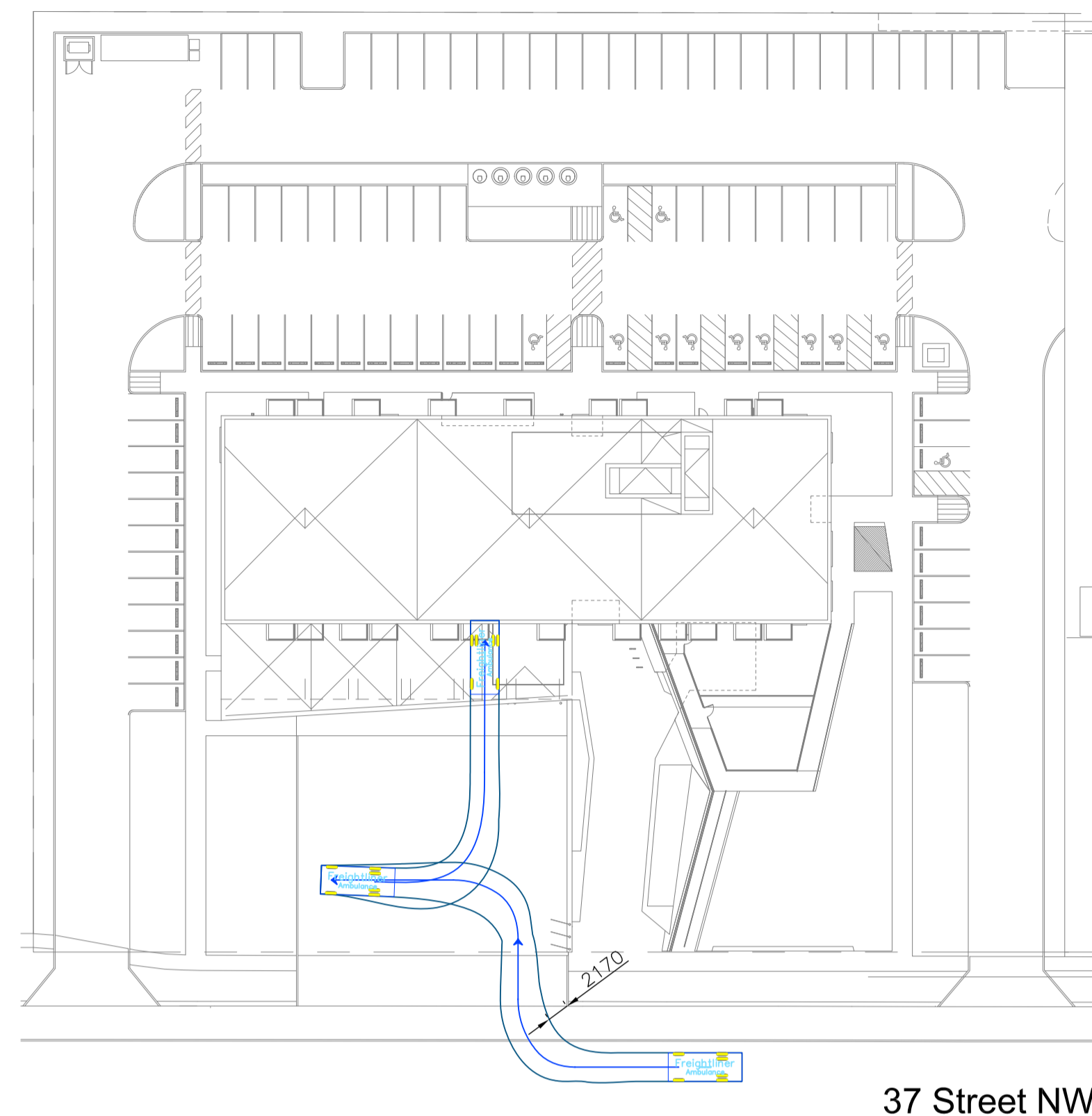




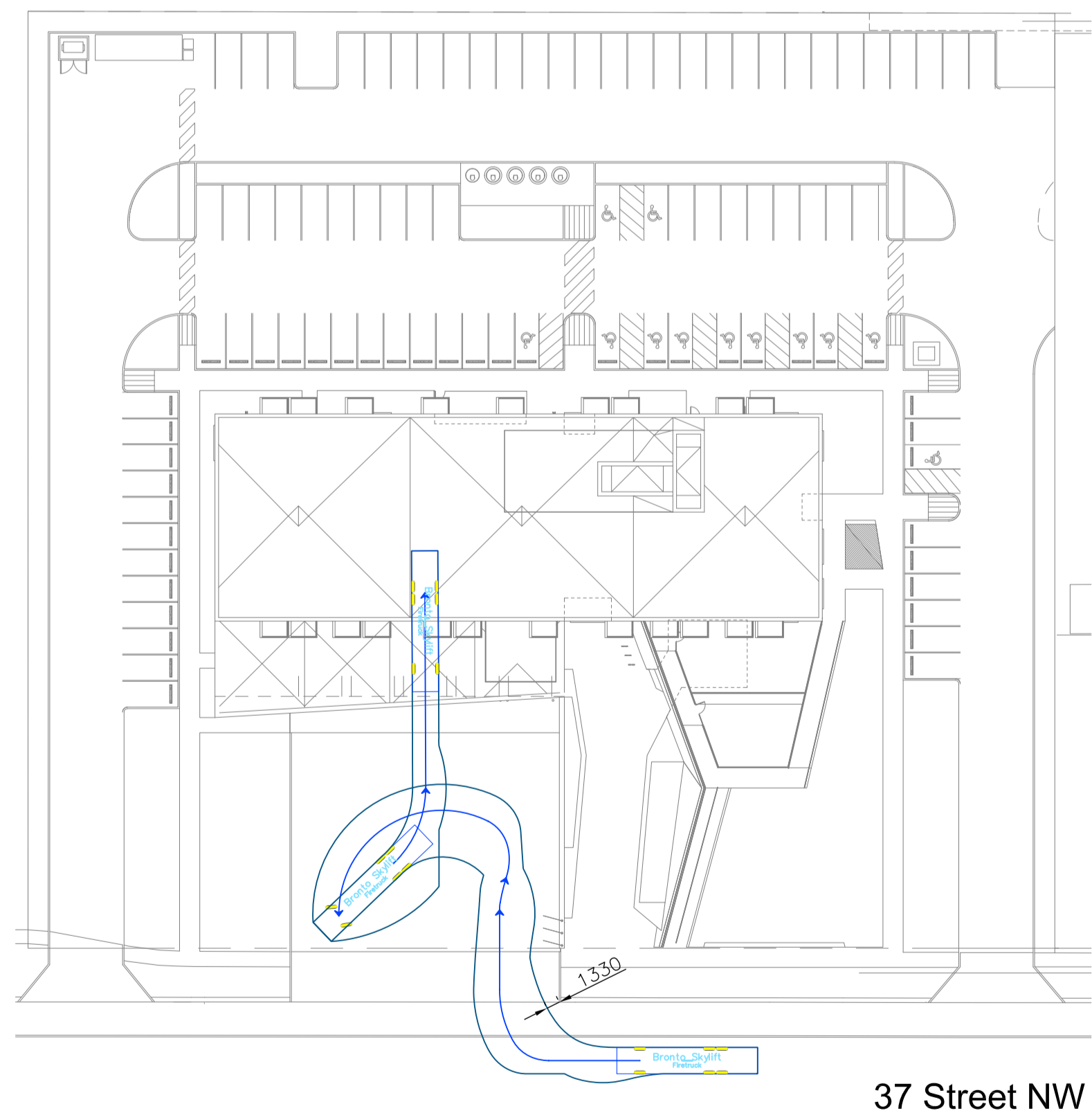
1 VEHICLE SWEEP PATHS - FIRE TRUCK & AMBULANCE MANEUVERING OUTBOUND  
T-106 1:500



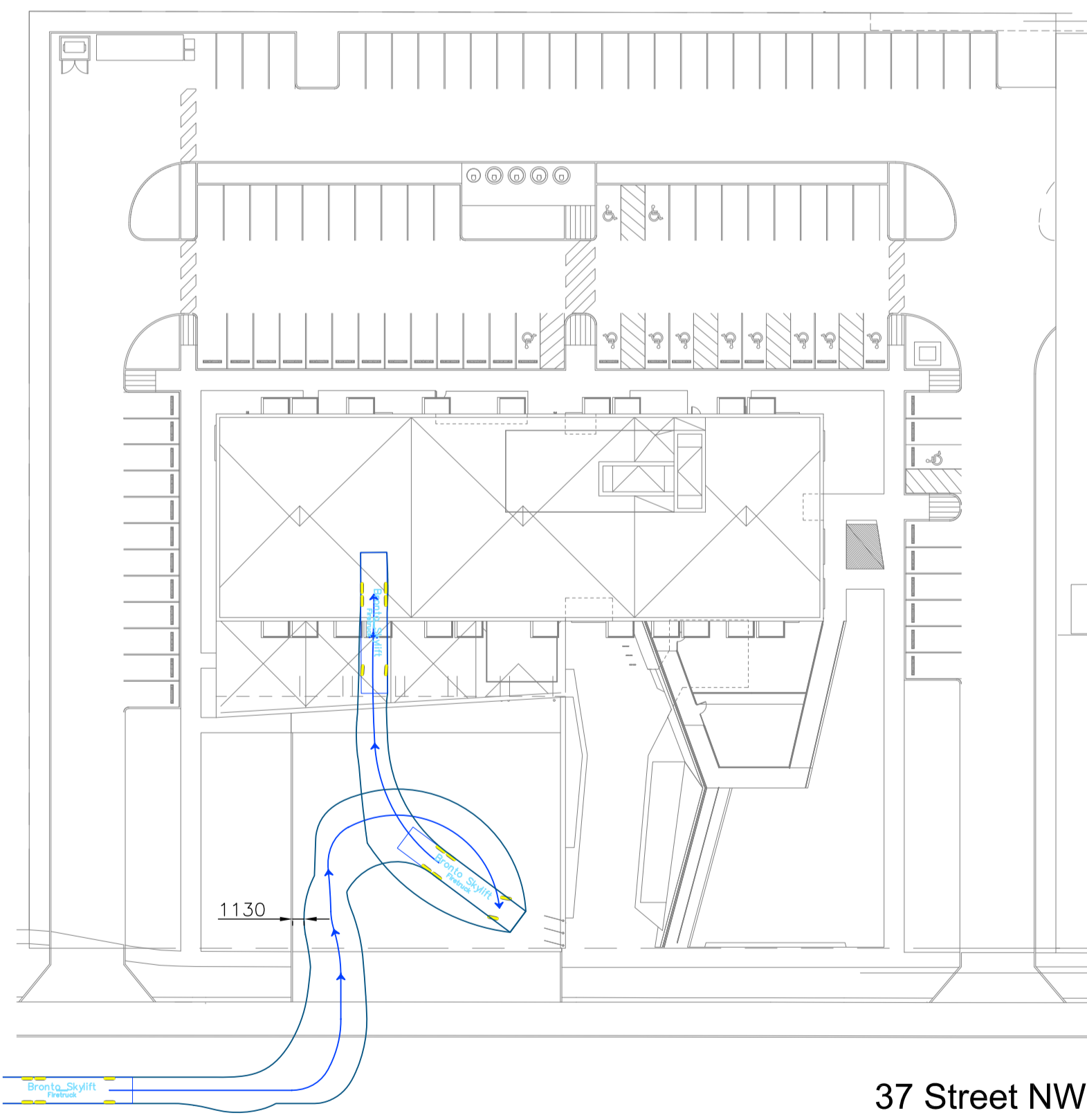
2 VEHICLE SWEEP PATHS - AMBULANCE MANEUVERING INBOUND  
T-106 1:500



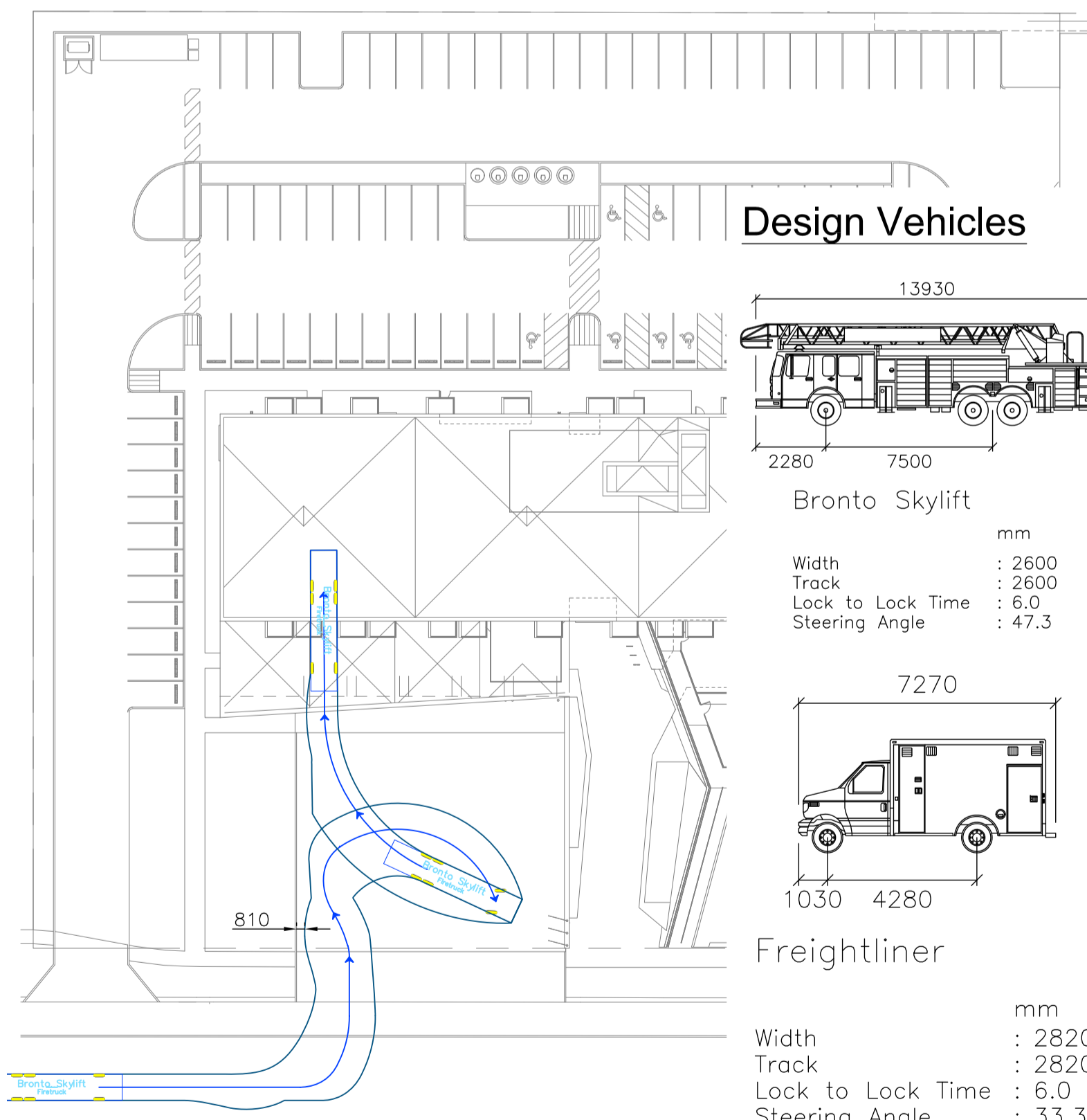
3 VEHICLE SWEEP PATHS - AMBULANCE MANEUVERING INBOUND  
T-106 1:500



4 VEHICLE SWEEP PATHS - FIRE TRUCK MANEUVERING INBOUND  
T-106 1:500

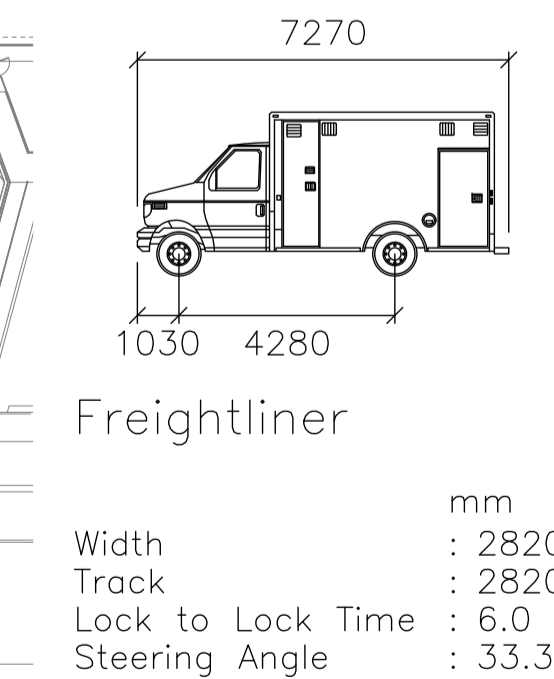
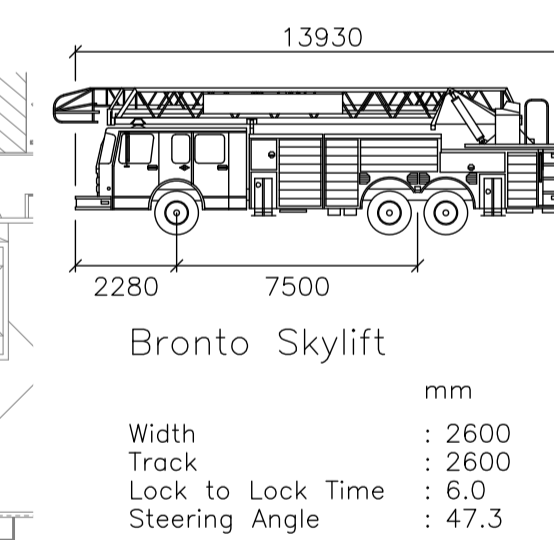


5 VEHICLE SWEEP PATHS - FIRE TRUCK MANEUVERING INBOUND  
T-106 1:500



6 VEHICLE SWEEP PATHS - FIRE TRUCK MANEUVERING INBOUND  
T-106 1:500

**Design Vehicles**



notes

**PRIME CONSULTANT**

the marc boulin architectural collaborative inc.  
t h e - m b a a c i n c .

Contact: Mikal Smith Cowan  
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F. 403.261.9554

north arrow

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revisions			
no.	description	date	checked

issue data		date
ISSUED FOR DEVELOPMENT PERMIT		2019/10/01
ISSUED FOR DP DTR1		2020/04/15

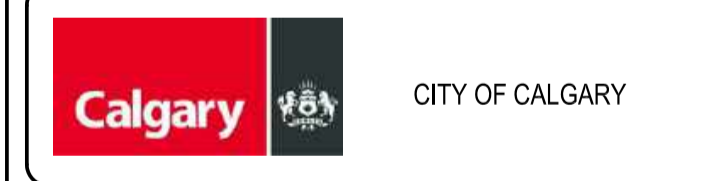
seal

seal

permit

**PRELIMINARY  
NOT FOR CONSTRUCTION**

- consultants
- Architectural: the marc boulin architectural collaborative & jordan davidson architecture + planning
  - Landscape: ISL Engineering and Land Services
  - Structural: Entuitive Corporation
  - Mechanical: The AME Consulting Group Ltd.
  - Electrical: Hensel & Associates Ltd.
  - Civil: ISL Engineering and Land Services
  - Transportation: Bunt & Associates Engineering Ltd.
  - Consultant Project Number: 02-19-0002



project

Varsity Integrated Facility

location : Project Address: 3740 - 32nd Avenue NW, Calgary, AB  
Legal Address: SW 31-24-1 W5M

drawing title

**VEHICLE SWEEP PATHS  
FIRE TRUCK & AMBULANCE MANEUVERING**

scale as noted	all dimensions are in millimeters
drawn by BM	drawing no. T-106
checked by KM	project no. 15-1694
reviewed by KM	CAD file name: 02-19-0002_D0815_A1

