

**Duxbury, Christa A.**

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**From:** jaskaren.bhandal@gmail.com  
**Sent:** Monday, June 19, 2017 10:28 AM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 19, 2017

Application: LOC2016-0287

Submitted by: Jaskaren Bhandal

Contact Information

Address: Chestermere

Phone:

Email: [jaskaren.bhandal@gmail.com](mailto:jaskaren.bhandal@gmail.com)

Feedback:

I am in support of this land use redesignation. I am in this area frequently and have friends living in this area and with all other developments taking place this redevelopment is no different than the rest of the developments.

RECEIVED  
2017 JUN 19 AM 10:32  
CITY CLERK'S  
OFFICE

**Duxbury, Christa A.**

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**From:** krochenski@gmail.com  
**Sent:** Monday, June 19, 2017 9:53 AM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 19, 2017

Application: LOC2016-0287

Submitted by: Shannon Krochenski

Contact Information

Address: 2240 31 Ave SW

Phone:

Email: [krochenski@gmail.com](mailto:krochenski@gmail.com)

Feedback:

I am familiar with the South Calgary area and I support the land use redesignation proposed for this property.

RECEIVED  
2017 JUN 19 AM 10:18  
THE CITY OF CALGARY  
CITY CLERK'S OFFICE

**Smith, Theresa L.**

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**From:** robert@synaptic.ca  
**Sent:** Saturday, June 17, 2017 9:18 AM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 17, 2017

Application: LOC2016-0287

Submitted by: Robert Wiebe

Contact Information

Address: 2324 Langrville Drive SW

Phone: 403-836-4738

Email: [robert@synaptic.ca](mailto:robert@synaptic.ca)

RECEIVED  
2017 JUN 19 AM 7:53  
THE CITY OF CALGARY  
CITY CLERK'S

Feedback:

I know the property owners who are working on this application, am familiar with the details of their application. I live in North Glenmore Park, minutes from the subject property. I also travel through South Calgary almost daily, and am very familiar with the state of development in this South Calgary and Altadore. The property owners Dale amp; Bernadett have gone above-and-beyond to ensure the development plan is suitable for this neighborhood, have altered original plans, and collected the support of a vast majority of the people surrounding the subject property. I support this application, and trust that the review process applies appropriate weight to the support of the direct neighbors and community members like myself. Sincerely,  
Robert Wiebe

**Duxbury, Christa A.**

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**From:** jasudermann@gmail.com  
**Sent:** Thursday, June 15, 2017 3:56 PM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 15, 2017

Application: LOC2016-0287

Submitted by: Jennifer Sudermann

Contact Information

Address: #2, 1518-27 Avenue SW

Phone: 403-615-0379

Email: [jasudermann@gmail.com](mailto:jasudermann@gmail.com)

Feedback:

Hello, I am a resident and homeowner in the South Calgary neighbourhood. I was made aware of this application by a mutual friend of Dale and Bernadette's (the applicants). I thought it was important I share my thoughts on this development proposal as I too live in a modern style duplex on sloped land and do not see the applicants proposal to be any different than my living situation. I therefore see no issues in this development. Thanks, Jennifer

RECEIVED  
2017 JUN 15 PM 3:58  
THE CITY OF CALGARY  
CITY CLERK'S

**Duxbury, Christa A.**

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**From:** jodiefhansen@gmail.com  
**Sent:** Thursday, June 15, 2017 3:07 PM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 15, 2017

Application: LOC2016-0287

Submitted by: Jodie Hansen

Contact Information

Address: 226 11th Ave NW

Phone:

Email: [jodiefhansen@gmail.com](mailto:jodiefhansen@gmail.com)

Feedback:

I am writing in support of the proposed re-designation of 2039, 30 Ave SW. I know the owners of the property and the struggles they have been put through over the past 2 years very well. As a home owner in Calgary's inner city, I am very disappointed that they find themselves in this situation: they have respected the planning and development process, as well as the rights of their neighbors in every sense. The property in question is located in a heavily gentrified area of Calgary's inner-city, where countless renovations / resignations continue to occur. This property should not be treated any differently. Re-development of inner city properties is beneficial to the community and is a fundamental part of Calgary's growth as a city. What kind of message would the city be sending if they rejected this application?

RECEIVED  
2017 JUN 15 PM 3:25  
THE CITY OF CALGARY  
CITY CLERK'S

**Duxbury, Christa A.**

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**From:** kailenh@gmail.com  
**Sent:** Thursday, June 15, 2017 9:10 AM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 15, 2017

Application: LOC2016-0287

Submitted by: Kailen Hong

Contact Information

Address: #301 532 5th Ave NE

Phone: 403-585-2683

Email: [kailenh@gmail.com](mailto:kailenh@gmail.com)

Feedback:

Hello, living in Bridgeland with a family, I definitely support and am in favor of land use redesignation, especially for inner city, thank you!

RECEIVED  
2017 JUN 15 AM 9:12  
THE CITY OF SAUGATUCK  
CITY CLERK'S

**Duxbury, Christa A.**

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**From:** yshorman2@yahoo.com  
**Sent:** Wednesday, June 14, 2017 4:37 PM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 14, 2017

Application: LOC2016-0287

Submitted by: Yousef Shorman

Contact Information

Address: 95 Aspen Stone Way SW

Phone:

Email: [yshorman2@yahoo.com](mailto:yshorman2@yahoo.com)

Feedback:

I noticed that it is extremely onerous and very hard to develop inner city properties in Calgary, especially if you are on a sloped lot. With the City encouraging inner city development the process needs to be streamlined to allow development to proceed in a timely manner. I defiantly support this land use redesignation

RECEIVED  
2017 JUN 15 AM 8:10  
THE CITY OF CALGARY  
CITY CLERK'S

**Duxbury, Christa A.**

---

**From:** Turcatoe@telusplanet.net  
**Sent:** Wednesday, June 14, 2017 4:19 PM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 14, 2017

Application: LOC2016-0287

Submitted by: Edward Turcato

Contact Information

Address: 36 Christie Cairn Square SW Calgary - T3H-2Z2

Phone: 403-703-9873

Email: [Turcatoe@telusplanet.net](mailto:Turcatoe@telusplanet.net)

Feedback:

I would like to take this opportunity to provide some feed back on this project. I have lived in this city for the better part of my life. I have had the pleasure making the acquaintance Dale Wascherol as my neighbor for a number of years. I know this area that he wishes to build and I am familiar with South Calgary area and its redevelopment. Mr. Wascherol home project for this property falls within the redesignation guide lines amp; would be a good fit. I am pleased that Dale has the desire to help improve the features and update an existing community to move from the past to into the future. I am also familiar with the land use redesignation and this process in itself can be somewhat of a journey. If given a chance and some minds can be changed and see that this project is a positive for the community. So forward, onwards and upwards.  
Thank you Ed Turcato

RECEIVED  
2017 JUN 14 PM 4:18  
THE CITY OF CALGARY  
CITY CLERK'S



**Duxbury, Christa A.**

---

**From:** migfrancal@gmail.com  
**Sent:** Wednesday, June 14, 2017 2:06 PM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 14, 2017

Application: LOC2016-0287

Submitted by: Miguel Cortes

Contact Information

Address: 500 Everbrook way sw

Phone:

Email: [migfrancal@gmail.com](mailto:migfrancal@gmail.com)

Feedback:

I support this land use redesignation, the proposed development looks no different, and appears to be smaller than numerous other semi-detached homes being built in the area; it does not seem reasonable that the development has been continuously delayed. On the other side, people should not be able to use loopholes in the development rules to delay a development indefinitely. Thank you for considering my opinion. Kindly, Miguel Cortes

RECEIVED  
2017 JUN 14 PM 2:10  
THE CITY OF CALGARY  
CITY CLERK'S

**Duxbury, Christa A.**

---

**From:** savedbyvinyl@gmail.com  
**Sent:** Wednesday, June 14, 2017 2:12 PM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 14, 2017

Application: LOC2016-0287

Submitted by: Dawn Loucks

Contact Information

Address: 1431 - 2nd St NW

Phone: 403-608-6752

Email: [savedbyvinyl@gmail.com](mailto:savedbyvinyl@gmail.com)

Feedback:

I live in the inner city neighborhood of Crescent Heights NW. Although I don't live close to this development, I am very supportive of it. I support the development and increased density in the inner city areas. I SUPPORT THIS LAND USE REDESIGNATION. From my understanding of this saga, neighbors have been able to use loopholes in the development rules to delay this development indefinitely. That is just not fair. Please approve this land use redesignation.

RECEIVED  
2017 JUN 14 PM 2:10  
THE CITY OF CALGARY  
CITY CLERKS

**Duxbury, Christa A.**

---

**From:** Tracey.lai@hotmail.com  
**Sent:** Wednesday, June 14, 2017 12:18 PM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 14, 2017

Application: LOC2016-0287

Submitted by: Tracey Lai

Contact Information

Address: 2036 27 Ave SW

Phone: 403-472-9666

Email: [Tracey.lai@hotmail.com](mailto:Tracey.lai@hotmail.com)

Feedback:

- I'm acquainted with the owners of the property and its history of the development;
- I am familiar with the land use redesignation process;
- I am familiar with the South Calgary area and its redevelopment and live in South Calgary;
- I support the land use redesignation proposed for this property.

RECEIVED  
2017 JUN 14 PM 12:23  
THE CITY OF CALGARY  
CITY CLERK'S

**Duxbury, Christa A.**

**From:** tlbelter@telus.net  
**Sent:** Wednesday, June 14, 2017 8:56 AM  
**To:** City Clerk  
**Subject:** Online Submission on LOC2016-0287

June 14, 2017

Application: LOC2016-0287

Submitted by: Terri Belter

Contact Information

Address: #303, 41-6th Street NE Bridgeland

Phone: 403-561-7787

Email: [tlbelter@telus.net](mailto:tlbelter@telus.net)

Feedback:

I am a born and raised Calgarian and have been an inner city resident for most of my adult life. I am no stranger to the South Calgary Marda Loop area as I have spent a lot of time in this neighborhood over the years and also many years viewing homes in this area. It is one of the few areas in Calgary where there are many different types of homes of all shapes and sizes unlike some of the cookie cutter homes we see in other communities. This diversity in my opinion is where the land use redesignation becomes most purposeful. Not only that but a lot of these older homes in inner city areas have health concerns like asbestos, outdated piping, and electrical work while new buildings adhere to strict material requirements and building regulations which also aligns itself with the land use redesignation. I am familiar with and understand the land use redesignation as I once worked closely with a builder developing the inner city area of Hillhurst and surrounding areas. It was here where we also dotted our "I's" and crossed our "t's" perfecting the application of this land use redesignation. At times we were halted and went back to consult with neighbors and the city to come up with a plan to benefit all parties involved. It always ended with success but not without a lot of time, money and huge effort not always necessary in the end. Unfortunately it is always at the stress and financial cost of the new home owners. Within that role I also had the privilege of speaking to many people that would oppose the idea of a new development beside them. Some did not like change, some didn't want the hassle of construction next door, some people just wanted to go through the efforts of appeal because they could or were persuaded to and honestly for some people it held an element of control. As unfortunate as this is human behavior is not part of the application process and therefore has it's challenges. I have come to respect and know Dale Wascherol for many years now and one thing for sure is he is a fair and diligent individual. Since the process started in 2014 I have been informed along the way of progress for this development on 2039 30th Ave SW. It was disheartening to hear that despite adhering to every request that was asked by the city and neighbors in collaboration to build this well thought out plan it has been started and stopped so many times. I was also shocked to see that it now takes 3 years and counting for a homeowner to build a house inner city Calgary? In an economic time such as ours in Alberta and a push on industry diversity this shouldn't be a difficult process. Making it so difficult goes against what the government is so heavily relying on for it's future. I am in full support of this development please consider the time, money and effort these people are going through to have their home built.

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: JUNE DEXHAR

Signature: [Signature]

Date: 4.14.17

Address: 2039 30 Ave. SW

Phone: 403-245-6135

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern


Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: LISA MILLER

Signature: 

Date: MAY 31 / 2017

Address: 2007-30 AVE SW.  
CALGARY, AB

Phone: 587-588 8649

Email: lisa.miller1975@gmail.com

Name: KEITH MILLER

Signature: 

Date: MAY 31, 2017

Address: 2007-30 AVE SW.  
CALGARY, AB

Phone: 587-588 8649

Email: lisa.miller1975@gmail.com



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Michelle Gindl

Signature: Michelle Gindl

Date: May 31/17

Address: 2015 - 30 AVE SW

Phone: 403-276-8546

Email: michgindl@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern


Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Warren Phipps

Signature: 

Date: May 22, 2017

Address: 2024 30 Avenue SW

Phone: 403 984 4447

Email: Warren@mtnpark.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: RON DEKLEYN

Signature: 

Date: JUNE 4/2017


Address: 2020-30TH AVE SW

Phone: 403 239-7159

CALGARY AB T2T 1R2

Email: RON DEKLEYN@SHAW.CA

Name: PATRICIA DEKLEYN

Signature: 

Date: JUNE 4 2017

Address: 2020-30 Ave SW  
Calgary AB T2T 1R2

Phone: 403 239.7159

Email: patHydeKleyn@shaw.ca

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Name: JOHN KELLY

Signature: [Signature]

Date: MAY 22 2017

Address: 2018 - 30 AV SW

Phone: 403 244 7813

Email: JK Equipment @ Holmair . com

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Zbyszek Wojcik

Signature: 

Date: May 23 / 2017

Address: 2014-30 Ave

Phone: 403-816-1418

Email: zwojcik@telus.net

Name: Alicja Wojcik

Signature: 

Date: May 23 / 2017

Address: 2014-30 Ave SW

Phone: 403-816-9417

Email: aliciaw@p.mail.com

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Scott Waghorn

Signature:  Date: 22 May 2017

Address: 2012 30 Ave SW Phone: 403 903 4366

Email: ScottWaghorn@hotmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Aaron MacRae

Signature: 

Date: June 12, 2017

Address: 2004 30 Ave SW T2T1R2

Phone: 403-852-2260

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Boyd Nowek

Signature: Boyd Nowek

Date: June 12, 2017

Address: 3003-20 st SW  
Calgary, AB

Phone: 403-542-2338

Email: boydnowek@hotmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: SUMANTH SHARATCHANDRAN

Signature: 

Date: JUN 10/2017

Address: 3178 - 20 ST SW  
CALGARY, AB, T2T 6R2

Phone: 403-618-2549

Email: SumanthSC@hotmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

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I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Roger Close

Signature: [Handwritten Signature]

Date: May 21 / 2017

Address: 3175 20 St SW  
Calgary

Phone: 403 719 8533

Email: rogclose@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I We have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: CAROLYN HADDOCK

Signature: 

Date: 10/09/17

Address: 3208 22 St SW

Phone: 403 971 3370

CALGARY AB

Email: cehadlocke@telus.net

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Bryan Michalski

Signature: 

Date: Sept 11 2017

Address: 3212 20TH STREET SW  
CALGARY AB T2T 6T6

Phone: 403 826 8114

Email: michalski.bryan@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Ajay Kaur

Signature: 

Date: June 12 2017

Address: 2036 31 Ave SW

Phone: 403-936 3902

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: SHAWN FORD

Signature: 

Date: May 18/2017

Address: 2039 31<sup>st</sup> AVE SW

Phone: 403 899 4283

Email: shawn@shawnfordlandco.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I am fully supportive of the proposed new development going forward and enhancing the neighborhood.

Sincerely,

Name: BRIAN + ROSE PERRIN

Signature: 

Date: JUNE 9 2017

Address: 2032-31 AVE S.W.  
CALGARY AB

Phone: 403-620-4223

Email: BPERRIN111@GMAIL.COM

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Simone Veleu

Signature: [Signature]

Date: June 4, 2017

Address: 2028 31 AVE SW

Phone: 403-690-1109

Email: simone.velev@gmail.com

Name: LAZAR VELEV

Signature: [Signature]

Date: 06/04/2017

Address: 2028 31 AVE SW

Phone: 403 990 4150

Email: lazar.velev@gmail.com



To Whom It May Concern


Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Erin Storey

Signature: 

Date: June 11 / 2017

Address: 2020 31 AVE SW

Phone: 403 680 4749

Email: erinmstorey@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern


Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Mane-Amick Elie

Signature: 

Date: June 11, 2017

Address: 2018 31<sup>st</sup> Ave

Phone: 403-354-5445

Email: eliem-a@hotmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

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I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Camille Pature

Signature: 

Date: June 10 2017

Address: 2016 31<sup>st</sup> Ave

Phone: 780-838-2807

Email: cpature1@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Groff Spide

Signature: [Signature]

Date: June 13 2017

Address: 2039 30 Ave SW

Phone: 403-207-9301

Email: groffceleuglaesse@me

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: CRAIG HOWEY

Signature: Craig Howey

Date: June 12 - 2017

Address: 2035 31 Ave SW

Phone: 403 541 1695

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Sneha Attawar

Signature: S. Attawar

Address: 2027 31 ave SW

Email: sneaker144@yahoo.ca

Note: Support because  
only 2 houses, with  
each house having a  
double garage  
Date: June 11, 2017

Phone: 403-988-3383

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: MARCIA PAYEA

Signature: Marcia Payea

Date: June 11, 2017

Address: 2023-31 AVE SW

Phone: 403.244.4809

Email: (don't have)

Name: \_\_\_\_\_

Signature: N

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Pauline Simpson

Signature: 

Date: June 12/17

Address: 2005-31 Ave SW  
Calgary, AB

Phone: 403-678-8360

Email: pauline.simpson@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Rob Hayes

Signature: 

Date: June 11 / 2017

Address: 2003 31st Ave SW  
T2T 1T2

Phone: 587-347-4294

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Diane Alexandre

Signature: [Signature]

Date: June 11, 2017

Address: 2104-31 Ave SW

Phone: 403-880-7707

Email: diane.alexandre@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Camilla Clark

Signature: Camilla Clark

Date: June 14/17

Address: 2106 31 ave SW

Phone: 403-266-3633

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: PHILIP CARSON

Signature: Philip Carson

Date: June 4, 2017

Address: 2108 - 31 Ave SW

Phone: 403-830-2641

Email: pacarson@telus.net

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

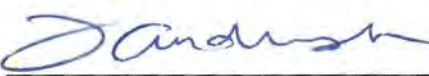
Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Tamara Anderson

Signature: 

Date: June 7, 2017

Address: 2110 31 Ave SW

Phone: 403-771-4181

Email: Tamara-Taylor18@hotmail.com

Name: Kristoffer Anderson

Signature: 

Date: June 7, 2017

Address: 2110 31 Ave SW

Phone: 403-809-1215

Email: erik.anderson@hotmail.com

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Chris Ross

Signature: 

Date: June 11 2017,

Address: 2126 -31 Ave

Phone: 403-475 0909

Calgary AB - T2T 1T4

Email: CrossdL@gmail

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: San Kamukam

Signature: [Signature]

Date: 2017/5/18

Address: 2106-30th Ave SW.

Phone: 403-477-7241

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I am fully supportive of the proposed new development going forward and enhancing the neighborhood.

Sincerely,

Name:

David Ng

Signature:

[Signature]

Date:

Jun 12, 2017

Address:

2110 30th Avenue S.W.

Phone:

[Signature]

Email:

[Signature]



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name:

DOUGLAS NDEGWIA

Signature:



Date: JUN 4, 2017

Address:

2112 - 30 AVE SW

Phone:

587-353-5533

Email:

NDEGWIA.DOU@SPARTANCONTRACTORS.COM

Name:

Signature:

Date:

Address:

Phone:

Email:

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: CHRIS POST

Signature: 

Date: June 4/17

Address: 2116 30 Ave.

Phone: 403 852 0955

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Tim Jones

Signature: [Signature]

Date: 19<sup>th</sup> May 2017

Address: 2105 30 Ave SW.

Phone: \_\_\_\_\_

Email: twrtw@aol.com.

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: GARTH WONG

Signature: 


Date: MAY 22, 2017

Address: 2107 30 AVE SW

Phone: (403) 246-1439

Email: \_\_\_\_\_

Name: Anne Schenkenberger

Signature: 

Date: May 22, 2017

Address: 2107 30th Ave SW

Phone: (403) 246-1439

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Judith Heubler

Signature: [Signature]

Date: June 4/17

Address: 2115 30 Ave SW

Phone: 403 243 5875

Email: judithheubler@icloud.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Andrew Bennie

Signature: 

Date: June 11/17

Address: 2041 29th Ave SW  
Calgary

Phone: 403-701-9888

Email: arennie@sasktel.net

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Chris Lofgren

Signature: 

Date: JUNE 11/17

Address: 2037-29 Ave SW  
CALGARY AB T2T 1W4

Phone: 403/931-3918

Email: cmlofgren@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern


Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Corinne Lyons

Signature: 

Date: June 11/17

Address: 2031-29 Ave SW

Phone: 403-809-7415

Email: cklyons@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: JOHN GIVENS

Signature: 

Date: June 12/17

Address: 2029-24th Ave SW  
T2T 1N4

Phone: 403 605 4646

Email: john.givens@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: CHRIS FORTIN

Signature: 

Date: 17/6/12

Address: 2019-29 Ave

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Tanya Eklund

Signature: Tanya Eklund

Date: 06/11/17

Address: 2011 29 Ave SW  
Calgary AB.

Phone: 403-863-7134

Email: tanya@tanyaeklundgroup.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Marie-Andrée Ménard

Signature: 

Date: June 12 2017

Address: 2107 29 ave SW

Phone: 403 462 6925

T2T INC

Email: m-a.menard@shell.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Paul McGhee

Signature: 

Date: June 6.17

Address: 1820-32<sup>nd</sup> Ave SW

Phone: (403) 700 8709

Email: paul.mcghee@telus.net

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Dianne Martel

Signature: Dianne Martel

Date: June 11, 2017

Address: 1523 - 32 Ave SW

Phone: 403-880-7518

Calgary T2T 1V7

Email: dianne.martel@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

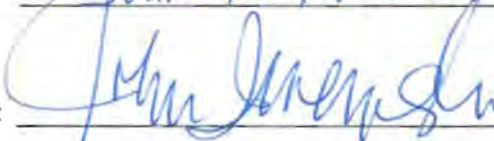
I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name:

JOHN IWANSKI

Signature:



Date:

JUNE 11/17

Address:

1915-27 AVE SW

Phone:

403.244.3053

Email:

jiwanski@iwanskiarchitecture.com

Name:

\_\_\_\_\_

Signature:

\_\_\_\_\_

Date:

\_\_\_\_\_

Address:

\_\_\_\_\_

Phone:

\_\_\_\_\_

Email:

\_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Renelle Daigle

Signature: R Daigle

Date: 2017/06/13

Address: 3216 20<sup>th</sup> Street SW

Phone: 403-880-4987

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

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I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Joseph O. Asuncion

Signature: [Signature]

Date: June 13/17

Address: 2009-31 Ave SW  
Calgary, AB

Phone: 403-926-7778

Email: jco@DAHLIAN.COM

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

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I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Ken Hayes

Signature: 

Date: June 13, 2017

Address: 2002 31 Ave SW

Phone: 403 975 1920

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Eric Lawson

Signature: 

Date: June 13, 2017

Address: 2006 31 Avenue SW  
Calgary, AB T2T 1T2

Phone: 403 923 41347

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I am fully supportive of the proposed new development going forward and enhancing the neighborhood.

Sincerely,

Name: Deanne Webster

Signature: Deanne Webster

Date: June 15/17

Address: 2015 29 Ave SW  
Calgary AB

Phone: 403-652-0562

Email: webster.deanne@gmail.com

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Dorothy Whitson

Signature: D Whitson

Date: June 14 2017

Address: 2025 29 Ave SW  
Calgary AB

Phone: 403-244 3329

Email: dorothy@whitson.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Candis Chamberlain

Signature: Candis Chamberlain

Date: June 14 2017

Address: 2019-29 Ave SW  
Calgary, AB

Phone: 403-585-8711

Email: soscaregivercandis@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Kevin Reardon

Signature: 

Date: June 14/17

Address: 2012 - 31 Ave SW

Phone: 403-863-4051

Email: Kevin.reardon@hotmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern


Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Walter Assmus

Signature: 

Date: 15/~~6~~<sup>July</sup>/2017

Address: 2011 - 31 AVE S.W

Phone: 403-875-4673

Email: Wassmus@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Rosa Gillies

Signature: R. Gillies

Date: June 15/17

Address: 2035 29th Ave SW

Phone: 403-829-8639

Email: robert.gillies@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

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I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Bernice M. Dawson

Signature: Bernice M. Dawson

Date: June 17, 2017

Address: 2019 31<sup>st</sup> Ave SW  
Calgary AB T2T 1T3

Phone: 403-245-2166

Email: polly-dawson@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Lynn Boettger

Signature: L. Boettger

Date: June 18 / 17

Address: 2039 30 Ave SW

Phone: 403-2285017

Email: lboettger@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: L. Scarlett

Signature: [Handwritten Signature]

Date: 18 June / 17

Address: 3023 - 19 St. SW

Phone: 403-228-2154

Email: scarlet1@shaw.ca

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Tim Stone

Signature: 

Date: 19<sup>th</sup> June 2017

Address: 2039 - 30 Ave SW

Phone: 413 703 6909

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Brent Webster

Signature: B. Webster

Date: June 19 2017

Address: 2015 29 Ave SW

Phone: 403 283 9590

Email: webster.brent@gmail.com

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_



To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: FIONNA CHISHOLM

Signature: 

Date: JUNE 19/17

Address: 2007 29 AVE SW  
CALGARY, AB, T2T1N4

Phone: 587 888 1557

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Simon Ngan

Signature: 

Date: 30 SE 17TH, 2017

Address: 2108 29TH AVE S.W

Phone: 403 891 8627

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: Chloe Ross

Signature: [Signature]

Date: May 20

Address: 2039-30 Ave SW

Phone: 403-241-1111

Email: \_\_\_\_\_

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.

I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name: DEAN BRISTOW

Signature: 

Date: MAY 18/17

Address: 2001-30 AVE, SW

Phone: 403 244 1591

Email: BRISTOWD@TELUS.NET

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

2017 JUN 21 AM 11:02  
THE CITY OF CALGARY  
CITY CLERKS

RECEIVED

RECEIVED

CPC2017-210  
Attachment 2  
Letter 14

June 14, 2017

2017 JUN 21 AM 11:08

City of Calgary  
700 Macleod Trail  
Calgary, T2P 2M5

THE CITY OF CALGARY  
CITY CLERK'S

Re: LAND USE BYLAW AMMENDMENT # 211D2017

I, Allan Yellin, hereby formally oppose Land Use Bylaw #211D2017 regarding rezoning of property 2039 30 Ave SW on the grounds that doing so would adversely impact the use and enjoyment of multiple surrounding properties in the neighbourhood including my own.

On or about June 4, 2017 I was approached by Ms. Bernadett Maxwell at my home at 2032 30<sup>th</sup> Ave. SW. Ms. Maxwell asked my wife and I to sign a letter in support of her proposed development of her property located at 2039 30<sup>th</sup> Ave SW (the "Development"). She advised us that the Development met all requirements for building in the area. I advised Ms. Maxwell that I required additional information on the Development prior to offering support. On June 8, 2017, Ms. Maxwell provided me with plans for a semi-detached dwelling. The plans provided did not include any permits or approvals in support of the Development as advised and were insufficient to properly evaluate the Development. On further inquiry with City Planner, Felix Ochieng, on June 12, 2017, I was informed that the Development was disallowed on at least two occasions upon successful appeals by neighbors. The City then provided me with a copy of Development rezoning drawings, information on rezoning to DC/R-C2 (copies of which are attached hereto), and copies of two previous appeals. I found very little and certainly no material change has been made to the plans presented with the request for rezoning which allow for additional relaxations and easements, and which would likely not be required if the development was in keeping within the context of the surrounding homes and neighbourhood. Upon review of the documentation I'd like to formally oppose the rezoning of the Development as it is currently designed. At present, the Development would adversely impact the neighbourhood, surrounding properties and the use and enjoyment of my own property.

I am a recently retired long term resident of Calgary. My wife and I began building our dream home in the neighborhood in 2014. The property for our home was carefully selected for its location, overall aesthetic and view of the Rocky Mountains. In building our home we were compliant with all building and zone requirements. Our home was designed to achieve maximum enjoyment of the location and its views amidst surrounding properties and developments bound by the same building and zone requirements. If the Development is permitted to proceed as proposed, my wife and I will no longer be able to enjoy the view around which our home was designed due to the excessive size and third floor of the Development. While we welcome development within the neighbourhood and on the property located at 2039 30 Ave SW, any such development not bound by the same building and zone





requirements of its neighbours can eclipse compliant neighbours who responsibly designed their properties. Furthermore I believe there are no other properties in the immediate area surrounding the Development with DC/R-C2 zoning

While there are a few three story properties in the neighbourhood , the homes presented in the application for rezoning the Development are all located north of 2039 30 Ave. SW on the crest of the hill. This is unlike what would result from the Development, since these homes have no impact on the mountain views of surrounding properties or neighbourhood aesthetic. There are currently no three storey homes on the south side of 30<sup>th</sup> Ave SW from 18<sup>th</sup> Street to 21<sup>st</sup> Street.

Finally, many properties are available for and are undergoing development at present. If the Development is rezoned, it will set a precedent for current and future developments to be zoned in the same manner. Not only will such properties in the area be incompatible with the neighbourhood and its aesthetic, it will hinder the reasonable use and enjoyment for which the existing residents purchased and designed their properties.

Please note that for the purpose of opposition to Land Use Bylaw #211D2017 regarding rezoning of property 2039 30 Ave SW, I have been authorized to represent and speak on behalf of NG Holdings, owner of property 2034 30<sup>th</sup> Ave. SW and Amy Johnson and Charlotte Cabrol owners of property 2030 30<sup>th</sup> Ave SW .

Sincerely,



Allan Yellin,

Encl: Copy of Development Rezoning Drawings  
Information on rezoning to DC/R-C2  
Pictures of view and homes presented by applicant



To: City of Calgary  
Re: LAND USE BYLAW AMENDMENT APPLICATION # 211D2017

### AUTHORIZATION

**HN Holdings**, the owner of property located at 2034 30 Ave. SW, hereby opposes Land Use Bylaw #211D2017 regarding rezoning of property 2039 30 Ave SW.

Allan Yellin is hereby authorized to speak to City Council on behalf of HN Holdings regarding this opposition.

**HN Holdings**

Per: \_\_\_\_\_

Hein Ngo, President

Date: \_\_\_\_\_

CURRENT VIEW  
FROM 2032 30 AVE S.W.



APPROXIMATE HEIGHT  
OF PROPOSED → — — — — —  
BUILDING





Dead-end rear laneway, facing 20<sup>th</sup> Street SW.



DC – 30<sup>th</sup> Avenue SW

### Purpose

- 1 This Direct Control District is intended to allow for the **development** of **Semi-Detached Dwellings** on a **sloped lot** as a **permitted use** that is sensitive to the context of the surrounding neighbourhood;

### Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

### Reference to Bylaw 1P2007

- 3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

### Permitted Uses

- 4 The **permitted uses** of the Residential – Contextual One / Two Dwelling (R-C2) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District in addition to:  
(a) **Semi-detached Dwelling**.

### Discretionary Uses

- 5 The **discretionary uses** of the Residential – Contextual One / Two Dwelling (R-C2) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

### Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Residential – Contextual One / Two Dwelling (R-C2) District of Bylaw 1P2007 apply in this Direct Control District.

### Building Height

- 7 (1) For a **Semi-detached Dwelling** the maximum **building height** is 10 meters.  
(2) There is no requirement for a 4:12 sloped height plane when the **building height** is less than 10 meters.

### Parcel Coverage

- 8 The maximum **parcel coverage** is 45.0 per cent of the area of a parcel.

## 2039 30 Avenue SW Land Use Redesignation Rationale



*Figure 3: Adjacent property, east, 2035A 30 Avenue SW*



*Figure 4: Properties south of the subject lot, 2040 & 2036 31 Avenue SW*

## 2039 30 Avenue SW Land Use Redesignation Rationale



*Figure 5: Adjacent properties (west) at 2103 & 2107 30 Avenue SW*



*Figure 6: 2107 30 Avenue SW*

## 2039 30 Avenue SW Land Use Redesignation Rationale



Figure 7: 2024 29 Avenue SW



Figure 8: 2114 31 Avenue SW



Figure 9: View of 20th Street SW looking north past subject lot (right)



Figure 10: View of 20th Street SW looking south past subject lot (left)

## 2039 30 Avenue SW Land Use Redesignation Rationale



*Figure 11: Sloped, corner lot unit at 2041 29 Avenue SW (1 block north)*



*Figure 12: Sloped, corner lot unit at 2103 29 Avenue SW (1 block north)*

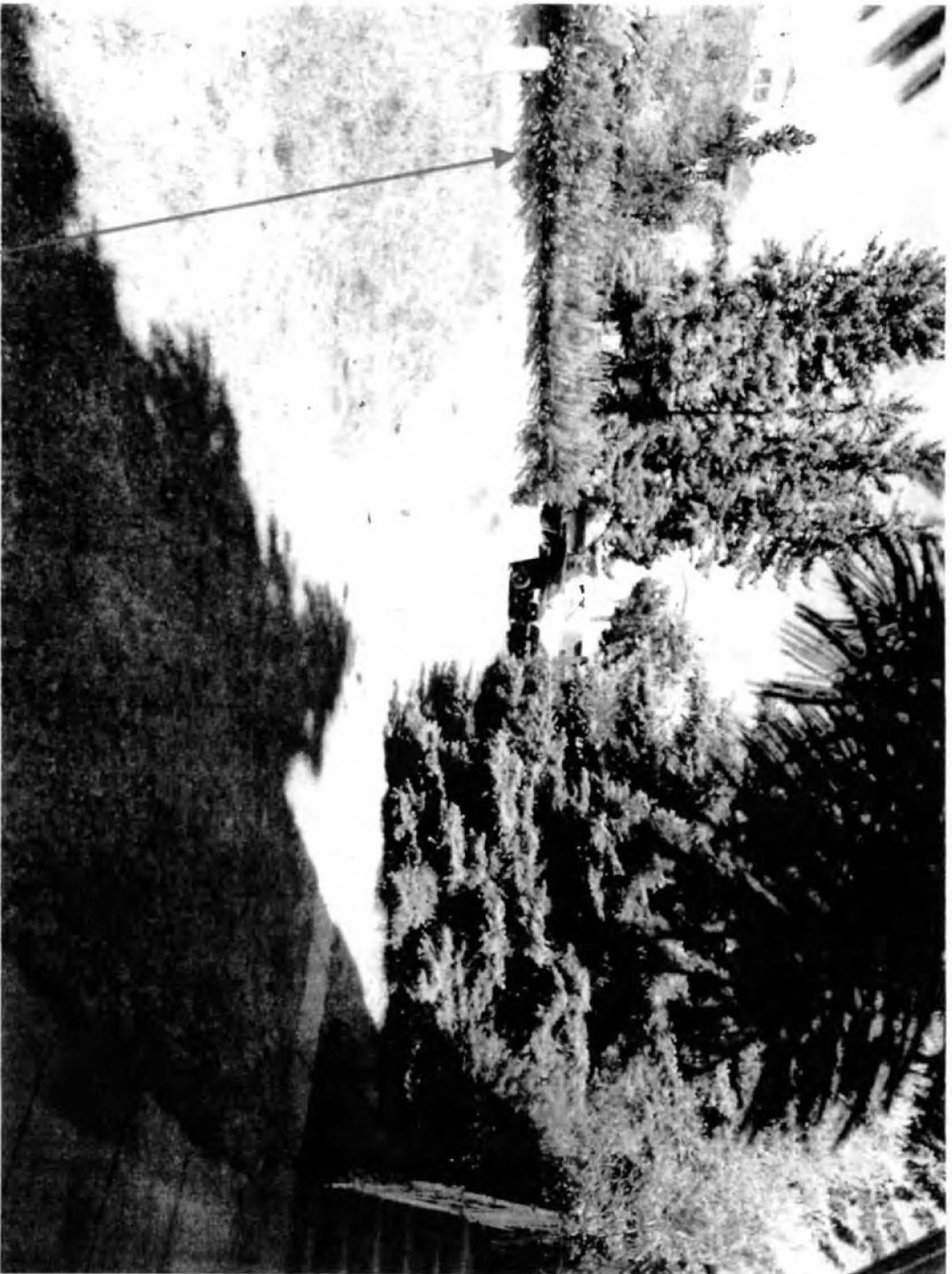




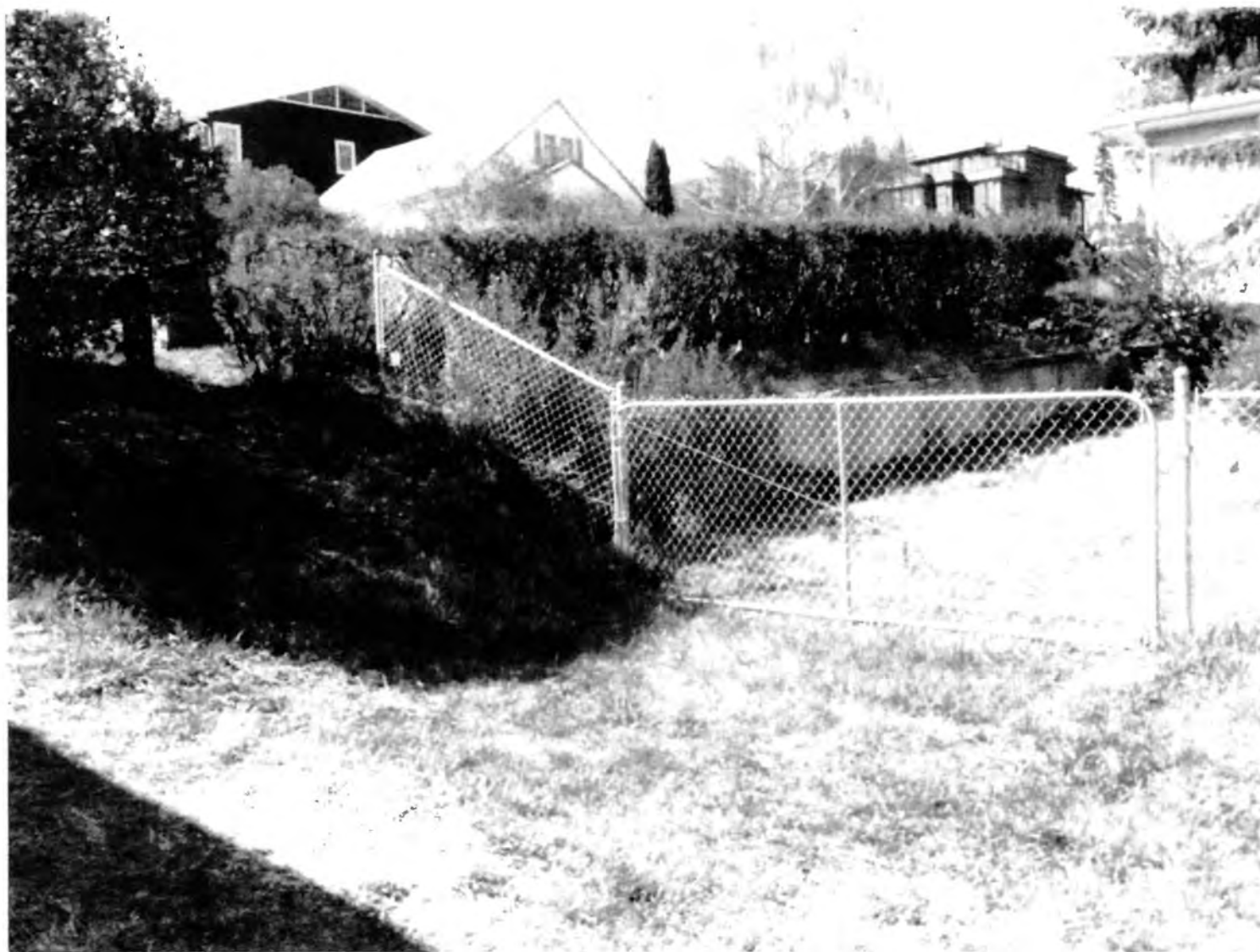
2039 30 Avenue NW: View from top of garage looking south on 20<sup>th</sup> Street SW. Green flags show lot line.



Southern portion of subject lot. Note the several steps down back yard from basement walkout.



Back of sidewalk at front of subject property



Laneway access to subject lot. Note the existing retaining wall and grade differential from west property line (green flags).



View from subject lot facing rear laneway. Note the existing retaining wall and grade differential from west property line (green flags).





Dead-end rear laneway, facing 20<sup>th</sup> Street SW.





## DC DIRECT CONTROL DISTRICT

### Purpose

- 1 This Direct Control District is intended to:
- (a) accommodate residential **development** on a site constrained by slope and compromised **lane** access.

### Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

### Reference to Bylaw 1P2007

- 3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

### Permitted Uses

- 4 The **permitted uses** of the Residential – Contextual One / Two Dwelling (R-C2) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

### Discretionary Uses

- 5 The **discretionary uses** of the Residential – Contextual One / Two Dwelling (R-C2) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

### Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Residential – Contextual One / Two Dwelling (R-C2) District of Bylaw 1P2007 apply in this Direct Control District.

### Building Setback from Front Property Line

- 7 (1) For a **Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Semi-detached Dwelling** and a **Single Detached Dwelling**, the minimum **building setback** from a **front property line** is the greater of:
- (a) the **contextual front setback** less 3.0 metres; or
  - (b) 3.0 metres.
- (2) For an addition or exterior alteration to a **Duplex Dwelling, Semi-detached Dwelling, or Single Detached Dwelling** which was existing and approved on or before the effective date of this Direct Control District, the minimum **building setback** from a **front property line** is the lesser of:
- (a) the **contextual front setback** less 3.0 metres to a minimum of 3.0 metres; or
  - (b) the existing **building setback** less 3.0 metres to a minimum of 3.0 metres.
- (3) For all other **uses**, the minimum **building setback** from a **front property line** is 3.0 metres.

### **Maximum Building Depth**

**8** The maximum **building depth** is the greater of:

- (a) 68.0 per cent of the **parcel depth**; or
- (b) the **contextual building depth average**.

### **Retaining Walls**

**9** (1) A **retaining wall** must be 2.5 metres in height or less when measured from **grade**.

- (2) **Retaining walls** on the same **parcel** must have a minimum horizontal separation of 1.0 metre between **retaining walls**.

### **Building Height on a Corner Parcel**

**10** In addition to the rules of sections 360 (2) and (3), for a **Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Semi-detached Dwelling** and **Single Detached Dwelling** located on a **corner parcel**, no portion of a **building** facing a **street** may exceed the maximum **building height** for the District when measured vertically at any point from **grade** adjacent to the **building**.

3D IMAGES ARE FOR VISUALIZATION PURPOSES ONLY

## GENERAL NOTES

## GENERAL

- DRAWINGS ARE DRAWN TO SCALE AS INDICATED AND SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO PHASE ONE DESIGN AND PRIOR TO CONSTRUCTION.

• WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

## FOUNDATIONS

• FOOTINGS TO REST ON NATIVE, UNDISTURBED SOIL  
• FINAL EXTERIOR GRADES MAY VARY FROM THOSE SHOWN IN  
DRAWINGS. CONTRACTOR TO VERIFY PRIOR TO POURING FOUNDATIONS  
• ALL CONCRETE PAD FOOTINGS AND PILES TO BE  
VERIFIED BY STRUCTURAL ENGINEER TO MEET  
SOIL CONDITIONS OF THE BUILDING SITE.

## STRUCTURAL

- TRUSS MANUFACTURER TO PROVIDE TRUSS LAYOUT AND VERIFY ALL ROOF SLOPES. TRUSSES ARE TO BE DESIGNED TO THE CURRENT EDITION OF THE ALBERTA BUILDING CODE AND BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE WITHIN ALBERTA.
- ALL BEAMS AND UNITS AS PER THE ALBERTA BUILDING CODE APPLICABLE TABLES.
- JOIST SUPPLIER TO PROVIDE FLOOR LAYOUTS AND ENGINEERING FOR FLOOR SYSTEM.

## DOOR AND WINDOWS

- WINDOWS AND DOOR SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. SIZES INDICATED ARE NOMINAL. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.  
- WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH IRRA'S REQUIREMENTS.

MINIMUM PERFORMANCE GRADE 30  
 MIN. POSITIVE DESIGN PRESSURE 1440PSI  
 MIN. NEGATIVE DESIGN PRESSURE 1440PSI  
 MIN. WATER PENETRATION PRESSURE 320 PSI  
 MIN. CANADIAN AIR INFILTRATION A2

ALL REQUIREMENTS CALCULATED AS PER [WWW.FENESTRATIONCANADA.CA](http://WWW.FENESTRATIONCANADA.CA)  
 ONLINE CALCULATOR FOR WINDOWS WITHIN 10mm OF GRADE ON ROUGH  
 TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERSEDE  
 ARCHITECTURAL DRWG.

• MAXIMUM U VALUE FOR ALL WINDOW TO BE 2.0

## FRAMING

• ALL FRAMING TO BE S.F.P. #2 OR BETTER AS PER PLAN.  
• DOORSHOES ARE FROM OUTSIDE FACE OF EXTERIOR SHEATHING  
TO FACE OF PARTITION WALL STUDS UNLESS NOTED OTHERWISE.

## REFERENCES

IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO ENSURE THAT ALL MECHANICAL SYSTEMS COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.

## ELECTRICAL

- ELECTRICAL LAYOUT SHOWN IS TO BE USED AS A GUIDELINE ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN AND SYSTEMS COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.

## DRAWING INDEX

Sheet #	Sheet Name
AS.1	SITE PLAN
AS.2	BLOCK PLAN AND STREETSCAPE
AS.3	LANDSCAPING PLAN
AL1a	BASEMENT FLOOR PLAN
AL1	MAIN FLOOR PLAN
AL2	UPPER FLOOR PLAN
AL3	LOFT FLOOR PLAN
AS.1	FRONT ELEVATION
AS.2	LEFT ELEVATION
AS.3	RIGHT ELEVATION
AS.4	REAR ELEVATION
DL.1	DETAILS



PHASE ONE DESIGN  
plan, build, live.

Please Use Order  
 Form and Return  
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 1221 Avenue of the Americas  
 New York, NY 10020-1346  
 Tel: 212-512-2000  
 Fax: 212-512-2050

1998

[illegible]

**(continued)**

**DISCLAIMER:**  
DRAWINGS ARE DRAWN TO SCALE AND INDICATED AND CAN BE BAY VARY SLIGHTLY FROM REPRODUCTION. CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE CLIENT AND PRIOR TO CONSTRUCTION.

WRITTEN (DISPOSABLE) TYPE MECHANICAL  
OVER 80,000 DIALS/DOZ.

CLIENT

CLIENT: SEMI DETACHED DWELLING

2039 30TH AVE S.W.  
CALGARY, AB  
LOTS 21 & 22, BLOCK  
40, PLAN 4479 P

**STATUS:**  
REZONING DRAWINGS  
NOT ISSUED FOR CONSTRUCTION

COVER SHEET

FORUM BY:	DISCUSS BY:
KI	MD

SCALE: 3/16" = 1'-0"  
PRINTED ON MICH PAPER

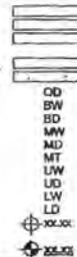
10-11-67

PLANS NOT  
PRINTED TO SCALE



# LEGEND

EXISTING PROPERTY LINES...  
EXISTING SETBACK LINES...  
PROPOSED CANTILEVER...  
PROPOSED RESIDENCE...  
PROPOSED DETACHED GARAGE...  
PROPOSED ROOF OVERHANG...  
PROPOSED EXPOSED AGGREGATE...  
OVERHEAD GARAGE DOORS...  
BASEMENT WINDOWS...  
BASEMENT DOORS...  
MAIN FLOOR WINDOWS...  
MAIN FLOOR DOORS...  
MAIN FLOOR TRANSOMS...  
UPPER FLOOR WINDOWS...  
UPPER FLOOR DOORS...  
LOFT WINDOWS...  
LOFT DOORS...  
EXISTING GEODETIC...  
PROPOSED GEODETIC...



## LOT INFORMATION

LEGAL ADDRESS:  
LOT 21 & 22, BLOCK 40, PLAN 4479 P  
MUNICIPAL ADDRESS:  
2039 30TH AVENUE S.W.,  
CALGARY, ALBERTA

PROPOSED USE:  
SEMI DETACHED DWELLINGS

## SITE INFORMATION

SITE AREA (UNIT A): 286.33m<sup>2</sup>  
SITE AREA (UNIT B): 290.38m<sup>2</sup>  
RC-2 - 1P2007 (LANED)  
MAX. BUILDING HEIGHT: 8.60m  
FRONT YARD SETBACK: 4.90m  
SIDE YARD SETBACKS: 1.20m  
REAR YARD SETBACK: 7.50m

## SITE COVERAGE SUMMARY

TOTAL COVERAGE: 43.5%  
SITE AREA (UNIT A): 286.33m<sup>2</sup>  
TOTAL COVERAGE: 43.5%  
SITE AREA (UNIT B): 290.38m<sup>2</sup>  
TOTAL COVERAGE: 43.5%

## DISCLAIMER

THE DATA INFORMATION SHOWN ON THIS SHEET IS COMPILED FROM RECORDS MAINTAINED BY ATCO GAS. NO WARRANTY OR GUARANTEE IS GIVEN AS TO THE ACCURACY OR COMPLETENESS OF THOSE RECORDS. SERVICE LINES, WATER LINES, STORM, SANITARY, ELECTRICAL AND CABLE AS SHOWN ARE SCHEMATIC REPRESENTATION ONLY AND DO NOT INDICATE THE ACTUAL LOCATION OR LENGTH OF THE SERVICE LINES. (AL) BEFORE YOU DIG SERVICES SHOULD BE UTILIZED TO PREPARE FOR CONSTRUCTION OF ANY EXCAVATION OR CONSTRUCTION.

THIS PROJECT IS NOT TO BE USED WITHOUT THE COUNCIL AND PLANNING DEPARTMENT OF THE MUNICIPALITY OF CALGARY. FOR MORE INFORMATION VISIT WWW.CALGARY.CA

## PHASE ONE DESIGN

DATE: 01/11/2023  
DRAWN BY: KL  
CHECKED BY: MD  
SCALE: AS SHOWN  
PRINTED ON: 11/11/2023

## REVISIONS

NO.	DATE	DESCRIPTION	BY
1	01/11/2023	PHASE ONE DESIGN	KL

## CLIENT

SEMI DETACHED DWELLING

## PROJECT ADDRESS

2039 30TH AVE S.W.,  
CALGARY, AB  
LOTS 21 & 22, BLOCK  
40, PLAN 4479 P

## STATUS

RECORDS CHARGED  
NOT RELEASED FOR CONSTRUCTION

## DRAWING NAME

SITE PLAN

## DRAWN BY

KL

## CHECKED BY

MD

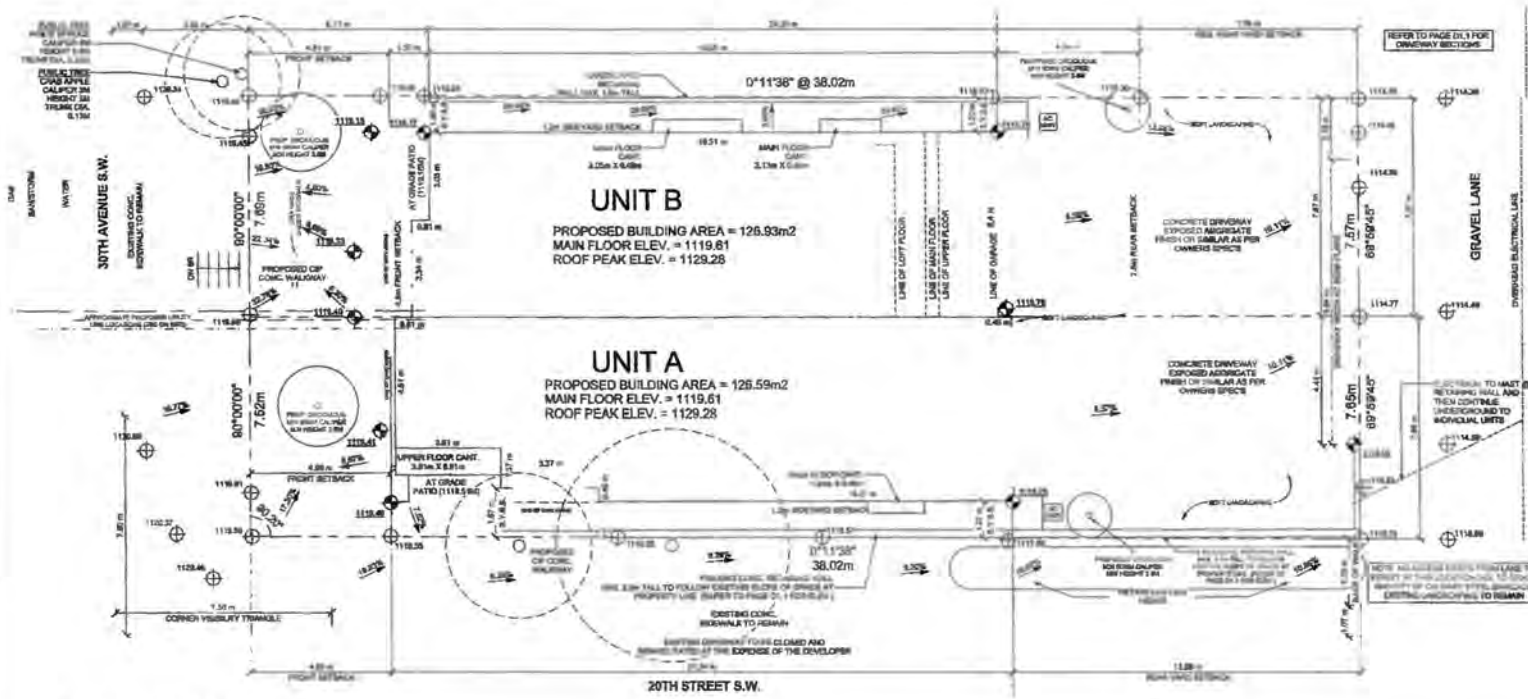
## SCALE

AS SHOWN

## PRINTED ON

11/11/2023

## AS.1



1 SITE PLAN - PROPOSED  
1:100











PHASE ONE DESIGN  
plan, build, live.

Phase One Design  
1000 Macleod Trail S.W.  
Calgary, Alberta T2C 2P4  
P: 403.242.7800 F: 403.242.7801  
www.phaseonedesign.com

SCALE:

No.	Date	Description	By
1	2023.08.18	Development Permit	KL

CONTRACTOR: ALL CIVIL AND GEOTECH RECOMMENDATIONS BY THIS DRAWING ARE SUBJECT TO THE FINAL DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT IS RESPONSIBLE FOR THE FINAL DESIGN AND CONSTRUCTION OF THE PROJECT.

DISCLAIMER: THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE CLIENT IS RESPONSIBLE FOR THE FINAL DESIGN AND CONSTRUCTION OF THE PROJECT.

STATUS: PRELIMINARY

CLIENT: SEMI DETACHED DWELLING

2039 30TH AVE S.W.  
CALGARY, AB  
LOTS 21 & 22, BLOCK  
40, PLAN 4479 P

STATUS: PRELIMINARY

DRAWING NAME: LANDSCAPING PLAN

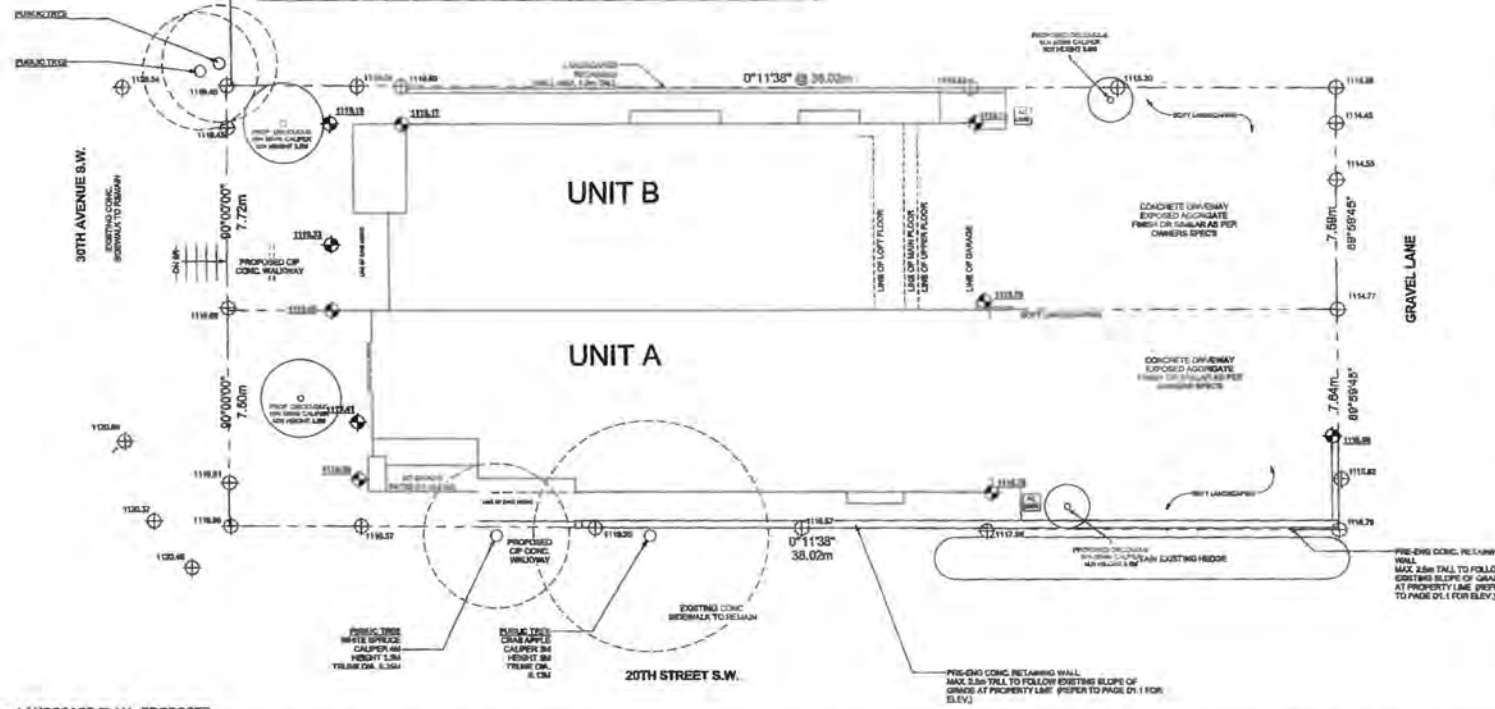
DRAWN BY: KL CHECKED BY: MD

SCALE: 1:100  
PRINTED ON 11x17 PAPER

PROJECT # .AS.3

PROJ: 2023.08.18 12:24 PM

LANDSCAPING LEGEND	
PROPOSED SOD	PROPOSED PLANTING BED
PROPOSED CONCRETE	PROPOSED DRIVEWAY
RETAINING WALL	
PUBLIC TREE	
PROPOSED TREE	

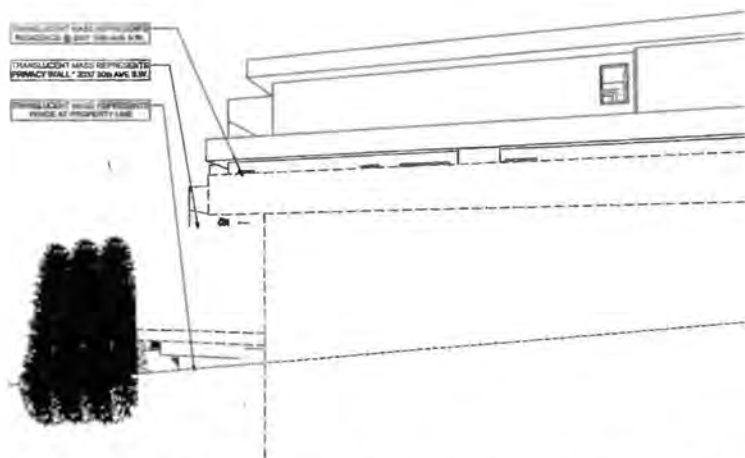


1 LANDSCAPE PLAN - PROPOSED  
1:100

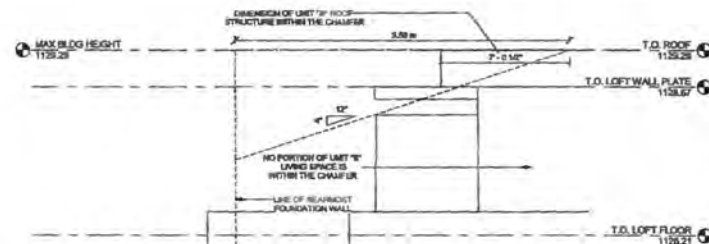




① LEFT ELEVATION - PROPOSED  
1/8" = 1'-0"



3D IMAGES ARE FOR VISUALIZATION PURPOSES ONLY



④ CHAMFER DETAIL - UNIT B  
1/4" = 1'-0"

**PHASE ONE DESIGN**  
PLAN, ELEVATION, SECTION

3039 30TH AVE S.W.  
CALGARY, AB  
LOTS 21 & 22, BLOCK  
40, PLAN 4479 P

**STATUS:**  
EXISTING DRAWINGS  
NOT ISSUED FOR CONSTRUCTION

**DRAWING NAME:**  
LEFT ELEVATION

**DRAWN BY:**  
KL

**CHECKED BY:**  
MD

**SCALE:**  
As Indicated

**PRINTED ON:**  
MEDIUM PAPER

**SHEET #**  
**A3.2**

**PROFESSOR:**  
LUCAS V. VANDERKAM

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PHASE ONE DESIGN CAN BE CONTACTED AT: 403-241-1111 OR 403-241-1112

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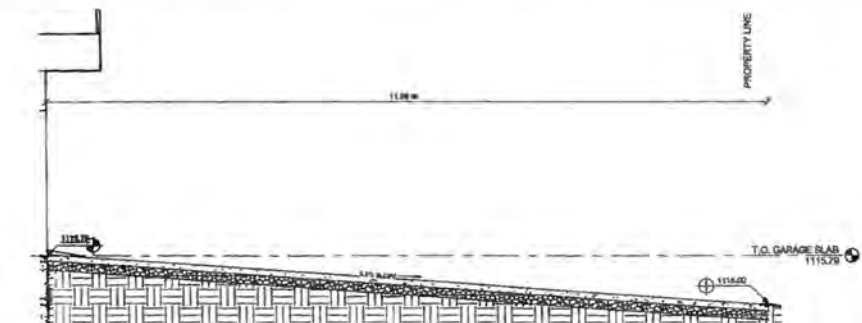
PHASE ONE DESIGN CAN BE CONTACTED AT: 403-241-1111 OR 403-241-1112



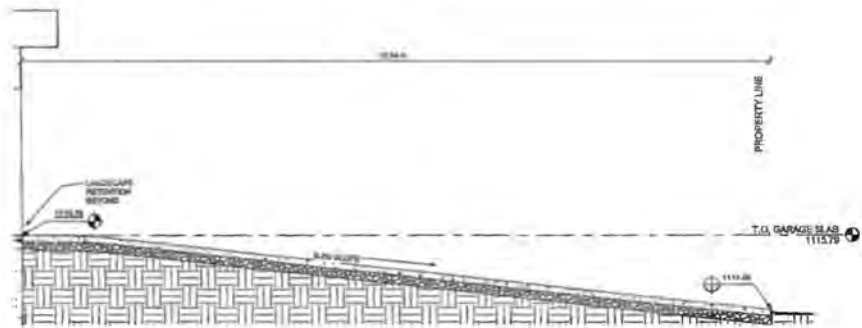




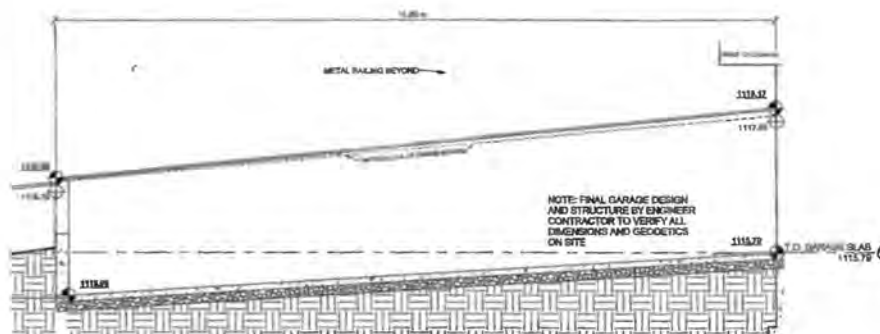




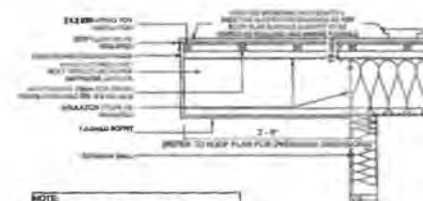
1 DRIVEWAY SLOPE UNIT 'A'  
1/4" = 1'-0"



2 DRIVEWAY SLOPE UNIT 'B'  
1/4" = 1'-0"

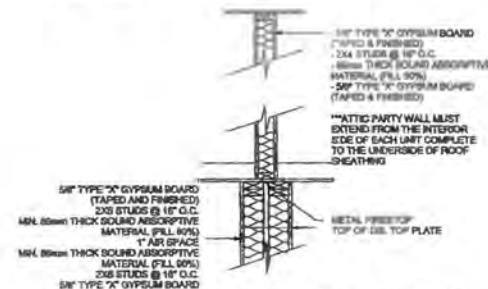


3 WEST SIDE RETAINING WALL UNIT 'A'  
1/4" = 1'-0"

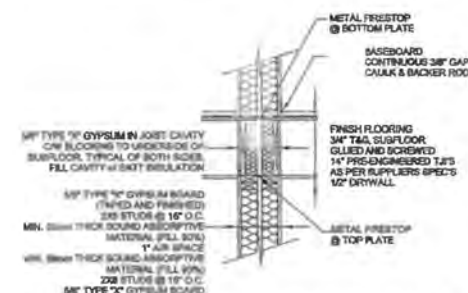


NOTE:  
REFER TO ROOF PLAN FOR DRAINAGE  
AND VENTING NOTES.  
REFER TO SECTIONS (A1.1) FOR ROOF  
CONSTRUCTION ASSEMBLY.  
DETAILS SHOWN AT ALL ROOF CHANGES.  
LOCATIONS, DIMENSIONS OF OVERHANG MAY VARY.

4 FLAT ROOF DETAIL  
3/4" = 1'-0"



PARTY WALL AT LOFT CEILING AND ROOF CONNECTION



PARTY WALL AT INTERMEDIATE FLOOR CONNECTIONS

5 PARTY WALL DETAILS  
3/8" = 1'-0"



**PHASE ONE DESIGN**  
plan, 1x12, 1x12

Phase One Design  
1000 West 10th Street, Suite 100  
Calgary, Alberta T2C 1S1  
403.243.1000 • 403.243.1001  
www.phaseonedesign.com

No.	Date	Description
1	2019-08-14	ISSUED FOR PERMIT
2		
3		
4		
5		
6		
7		
8		
9		
10		

**CLIENT:**  
SEMI DETACHED DWELLING

**2039 30TH AVE S.W.,  
CALGARY, AB  
LOTS 21 & 22, BLOCK  
40, PLAN 4479 P**

**STATUS:**  
REVISION DRAWING  
NOT READY FOR CONSTRUCTION

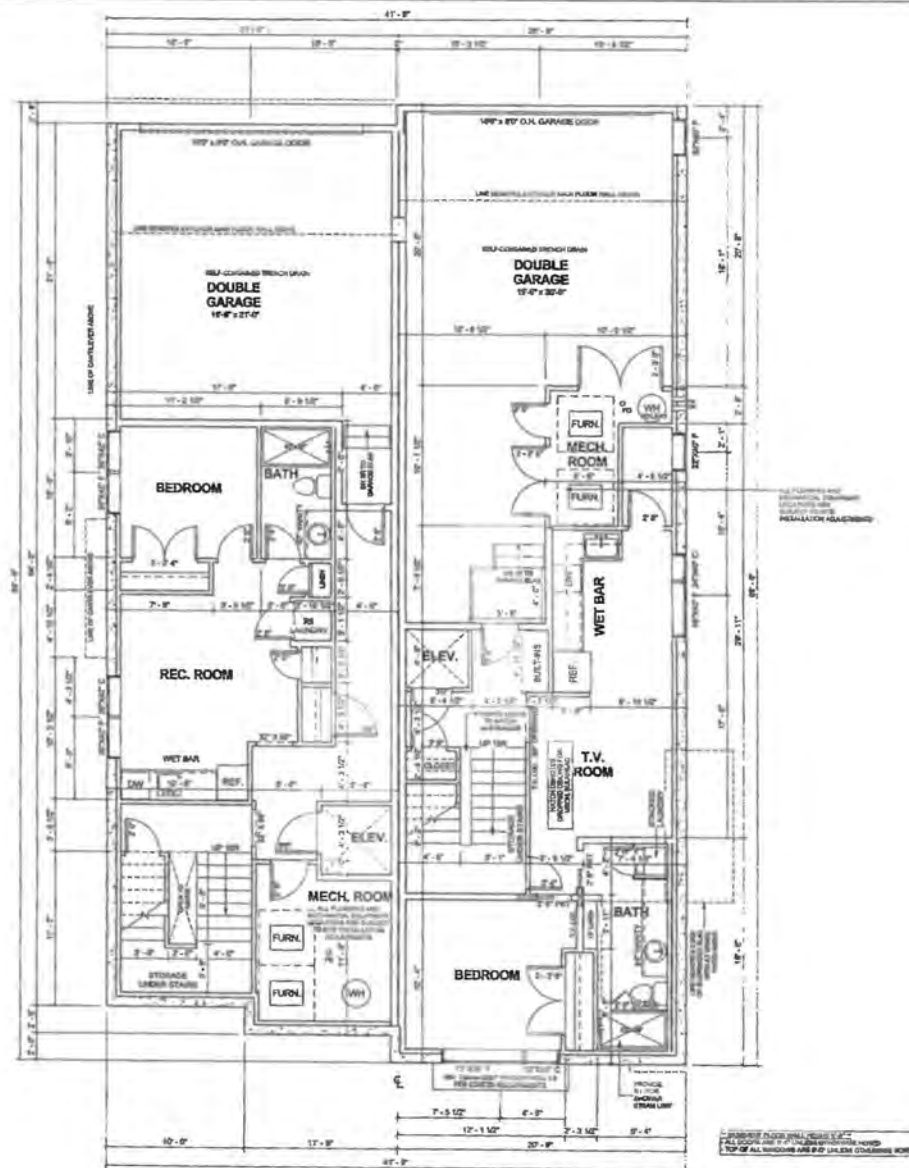
**DRAWING NAME:**  
DETAILS

**DRAWN BY:** KL **CHECKED BY:** MD


**SCALE:** As Shown  
PRINTED ON 180G PAPER

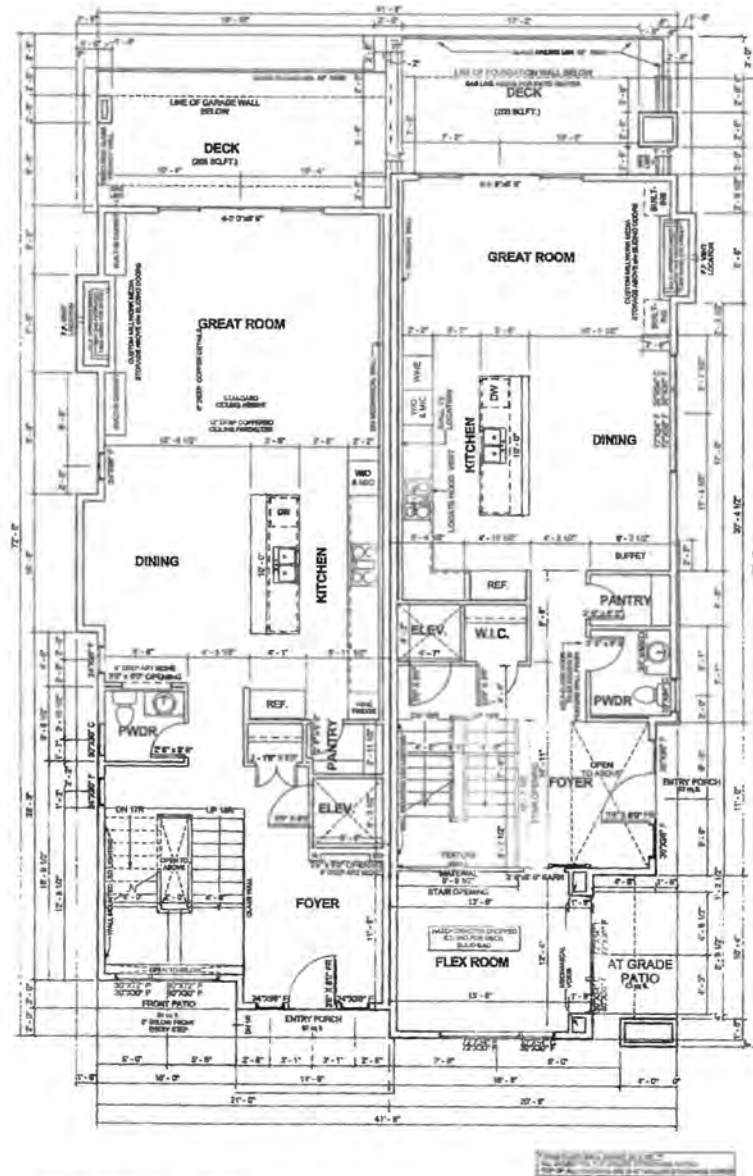
**SHEET P:**  
**D1.1**

DATE: 2019-08-14 12:00 PM




① BASEMENT FLOOR PLAN - PROPOSED  
3/16" = 1'-0"

 <b>PHASE ONE DESIGN</b> civil, design, inc. 1000 10th Ave S.W. Calgary, Alberta T2P 1C1 Tel: 403.263.1111 Fax: 403.263.1112 www.phaseonedesign.com			
BUILDING:			
SHEET:			
REVISIONS:			
No.	Date	Description	By
1	10/10/18	ISSUING DRAWINGS	KL
COPYRIGHT:			
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DRAWINGS ARE TO BE USED AS INDICATED AND SCALE. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.			
QUANTITY:			
SEMI DETACHED DWELLING			
2038 30TH AVE S.W. CALGARY, AB LOTS 21 & 22, BLOCK 40, PLAN 4479 P			
STATUS:			
ISSUING DRAWINGS NOT ISSUED FOR CONSTRUCTION			
DRAWING NAME:			
BASEMENT FLOOR PLAN			
DRAWN BY:		CHECKED BY:	
KL		MD	
SCALE: 3/16" = 1'-0"			
PRINTED ON 300g PAPER			
SHEET:			
<b>A1.0a</b>			
PRINTED:			



① MAIN FLOOR PLAN - PROPOSED  
3/16" = 1'-0"



**PHASE ONE DESIGN**  
plan, build, live.

Phase One Design  
101 10th Avenue SW  
Calgary, Alberta T2C 2G2  
P: 403.243.1700 F: 403.243.1701  
www.phaseonedesign.com

NO.	DATE	DESCRIPTION	BY
1	2023-08-15	PROPOSED	KL

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**DISCLAIMER:**  
This drawing is intended to provide a general overview of the proposed design. It is not intended to be used for construction purposes. The client is responsible for obtaining all necessary permits and approvals. The designer is not responsible for any errors or omissions in this drawing.

**CLIENT:**  
SEMI DETACHED DWELLING

2030 30TH AVE S.W.  
CALGARY, AB  
LOTS 21 & 22, BLOCK  
40, PLAN 4473 P

**STATUS:**  
REWORKING CONCEPTS  
NOT READY FOR CONSTRUCTION

**DRAWING NAME:**  
MAIN FLOOR PLAN

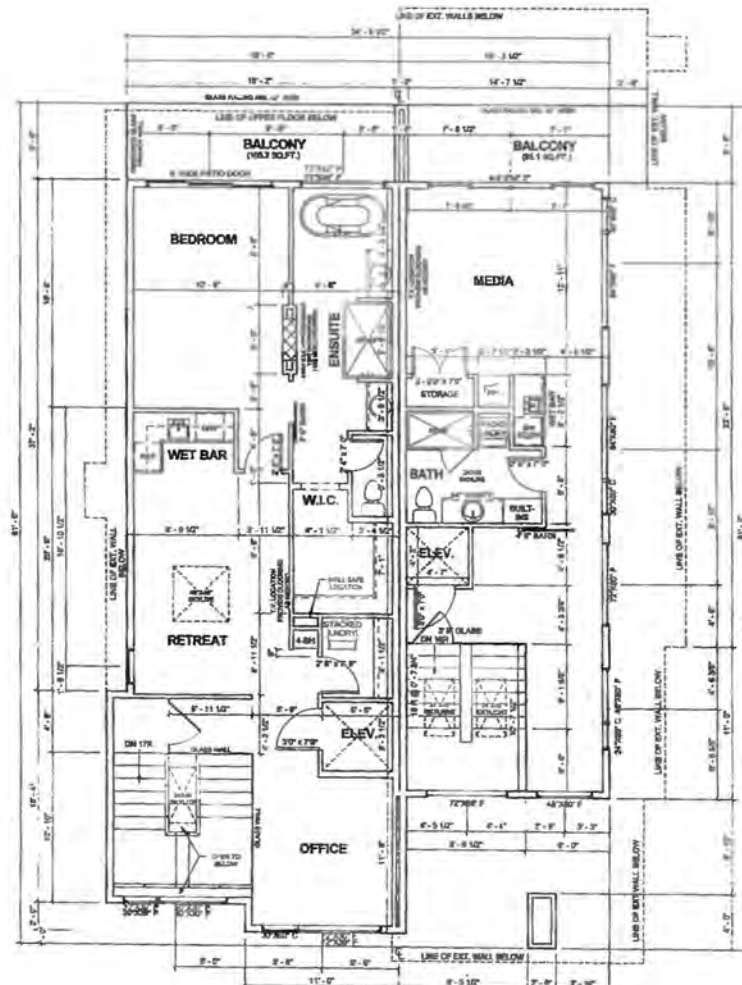
DRAWN BY:	KL	CHECKED BY:	MD
SCALE:	3/16" = 1'-0"	PRINTED ON:	1/8" X 11" PAPER
SHEET #	A1.1		





DRAFT DEVELOPMENT PERMIT DRAWINGS PROVIDED FOR INFORMATIONAL PURPOSES ONLY





① LOFT FLOOR PLAN - PROPOSED  
3/16" = 1'-0"

LOFT FLOOR PLAN - PROPOSED  
FLOORING AND FINISHES SHOWN  
TOP OF ALL FINISHES AND FINISHES SHOWN



**PHASE ONE DESIGN**  
plan. build. live.

1000 West 10th Ave. Suite 200  
Calgary, Alberta T2P 0K4  
P: 403.247.1000 F: 403.247.1001  
www.phaseonedesign.com

**BUILDER:**

No.	Date	Description	By
1.	04/01/15	Issued for Permits	KL

**CLIENT:**  
**SEMI DETACHED DWELLING**

2039 30TH AVE S.W.  
CALGARY, AB  
LOTS 21 & 22, BLOCK  
40, PLAN 4478 P

**STATUS:**  
REZONING DRAWINGS  
NOT ISSUED FOR CONSTRUCTION

**DRAWING NAME:**  
LOFT FLOOR PLAN

**DRAWN BY:** KL **CHECKED BY:** MD

**SCALE:** 3/16" = 1'-0"

**SHEET #**  
**A1.3**

PRINTED ON 11x17 PAPER



**JOHN W. WILSON**  
 Director, Center for the Study of the History of Mathematics  
 University of California, San Diego  
 950 University Ave., Room 040A  
 La Jolla, CA 92037  
 Tel: 619/594-2211  
 Fax: 619/594-2211  
 Email: wilson@ucsd.edu  
 Website: <http://www.math.ucsd.edu/~wilson>



3D IMAGES ARE FOR VISUALIZATION PURPOSES ONLY

DRAFT DEVELOPMENT PERMIT DRAWINGS PROVIDED FOR INFORMATIONAL PURPOSES ONLY



PHASE ONE DESIGN  
plans, build, live

**Three Top Judges**  
 ON THE MICHIGAN TRIAL JUDGE  
 CATEGORY AWARD TRIAL JUDGE  
 P. 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1041 1042 1043 1044 1045 1046 1047 1048 1049 1050 1051 1052 1053 1054 1055 1056 1057 1058 1059 1060 1061 1062 1063 1064 1065 1066 1067 1068 1069 1070 1071 1072 1073 1074 1075 1076 1077 1078 1079 1080 1081 1082 1083 1084 1085 1086 1087 1088 1089 1090 1091 1092 1093 1094 1095 1096 1097 1098 1099 1100 1101 1102 1103 1104 1105 1106 1107 1108 1109 1110 1111 1112 1113 1114 1115 1116 1117 1118 1119 1120 1121 1122 1123 1124 1125 1126 1127 1128 1129 1130 1131 1132 1133 1134 1135 1136 1137 1138 1139 1140 1141 1142 1143 1144 1145 1146 1147 1148 1149 1150 1151 1152 1153 1154 1155 1156 1157 1158 1159 1160 1161 1162 1163 1164 1165 1166 1167 1168 1169 1170 1171 1172 1173 1174 1175 1176 1177 1178 1179 1180 1181 1182 1183 1184 1185 1186 1187 1188 1189 1190 1191 1192 1193 1194 1195 1196 1197 1198 1199 1200 1201 1202 1203 1204 1205 1206 1207 1208 1209 1210 1211 1212 1213 1214 1215 1216 1217 1218 1219 1220 1221 1222 1223 1224 1225 1226 1227 1228 1229 1230 1231 1232 1233 1234 1235 1236 1237 1238 1239 1240 1241 1242 1243 1244 1245 1246 1247 1248 1249 1250 1251 1252 1253 1254 1255 1256 1257 1258 1259 1260 1261 1262 1263 1264 1265 1266 1267 1268 1269 1270 1271 1272 1273 1274 1275 1276 1277 1278 1279 1280 1281 1282 1283 1284 1285 1286 1287 1288 1289 1290 1291 1292 1293 1294 1295 1296 1297 1298 1299 1300 1301 1302 1303 1304 1305 1306 1307 1308 1309 1310 1311 1312 1313 1314 1315 1316 1317 1318 1319 1320 1321 1322 1323 1324 1325 1326 1327 1328 1329 1330

**健康提示：**

[illegible]

**Comments:**  
All areas with serious deficiencies  
of both quantity and quality of  
the design. All other elements  
including the plan of  
the building are of good quality.  
All other elements of the building  
are of good quality.

**LOCAL ACTION:**  
 Encouraged and trained to build an  
 economic base and self-sufficient  
 communities, entrepreneurs  
 encouraged to develop all resources  
 on-site, from food to construction, from  
 the local community and to get support  
 resources to develop the local  
 economy to develop the local

#### NOTICE CONCERNING TAKE-PROCEEDING

SEMI DETACHED DWELLING

2039 30TH AVE S.W.  
CALGARY, AB  
LOTS 21 & 22, BLOCK  
40, PLAN 4479 P

STATUS:  
FREEZING DRAWINGS  
NOT ISSUED FOR CONSTRUCTION

DATE/TIME	
-----------	--

FRONT ELEVATION

<p> <input type="checkbox"/> <b>Yes</b>  <input type="checkbox"/> <b>No</b>  <input type="checkbox"/> <b>Don't know</b> </p>	<p> <input type="checkbox"/> <b>Yes</b>  <input type="checkbox"/> <b>No</b>  <input type="checkbox"/> <b>Don't know</b> </p>
--------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------

<p>    <b>ASHG</b>           American Society of Human Genetics       </p>	<p>    <b>ASHG</b>           American Society of Human Genetics       </p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------

SCALE:	As indicated
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PRINTED ON TAPE PAPER

TABLE 4

### A3.1

**RECEIVED**

**2017 JUN 21 AM 11: 07**

**THE CITY OF CALGARY  
CITY CLERK'S**

**CPC2017-210  
Attachment 2  
Letter 15**

Amy Johnson & Charlotte Cabrol

2030 30 Ave. SW  
Calgary, AB T2T 1R2  
403.617.2001  
cycab@aol.com

June 19, 2017

City of Calgary  
700 Macleod Trail  
Calgary, AB T2P 2M5

Re: LAND USE BYLAW AMENDMENT #211D2017

I, Amy Johnson and I, Charlotte Cabrol oppose Land Use Bylaw #211D2017 regarding rezoning of property at 2039 30 Ave SW on the grounds that doing so would adversely impact the use and enjoyment of our property as well as multiple other properties surrounding ours.

In the past week we were approached by Ms. Bernadette Maxwell at our home during the dinner hour, and then her male domestic partner approached two days later, also at the dinner hour. Since we were unable to receive them at that time, we asked our next-door neighbors to fill us in on the details they learned about this issue. Our neighbors agreed to share their information, but assured us they did not want to sway our thinking in any way. They informed us that more than likely, Ms. Maxwell had approached to ask us to sign a letter in support of her proposed development of her property located at 2039 30 Ave SW. We learned that Ms. Maxwell had informed our neighbors that the development of her property met all requirements for building in the area, but our neighbors shared they subsequently learned that was not the case. We learned that the development had been disallowed at least two times previously, and because of that, we asked our neighbors to show us the documentation they were able to access. Upon our review of the documentation, we are writing to formally oppose the rezoning of this development as it is currently designed as it would most certainly destroy our view and adversely impact our neighborhood.

We recently moved to Calgary because of a job promotion. We selected this neighborhood and house specifically for the view of the Canadian Rocky Mountains from our deck. Thankfully our neighbors designed the duplex such that we are able to enjoy a most beautiful view.....a view that would be destroyed by the huge size and third floor of the proposed development. There are a minimum of other three story properties in the neighborhood, but they are ALL located a block north on the crest of the hill. As such, they have no negative impact on the surrounding properties, as this one would if it were allowed to move forward. We truly enjoy seeing new development in our

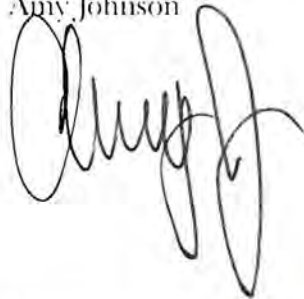
neighborhood, but are firmly opposed to development that is not compliant with the same building and zoning requirements of the surrounding properties.

While we are enjoying our time in Calgary immensely, we cannot ignore the impact this proposed development may have on the value of our home if we should be required to move for another job promotion.

Note that we will be unavailable during the hearing of this matter, and we have authorized our neighbors Allen and Michelle Yellin, to speak on our behalf.

Sincerely,

Amy Johnson

A handwritten signature in black ink, appearing to read 'Amy Johnson', with a large, stylized loop at the end.

Charlotte Cabrol

A handwritten signature in blue ink, appearing to read 'Charlotte Cabrol', with a long, sweeping horizontal line extending to the right.

To: City of Calgary

Re: LAND USE BYLAW AMENDMENT APPLICATION # 211D2017

### AUTHORIZATION

**HN Holdings**, the owner of property located at 2034 30 Ave. SW, hereby opposes Land Use Bylaw #211D2017 regarding rezoning of property 2039 30 Ave SW.

Allan Yellin is hereby authorized to speak to City Council on behalf of HN Holdings regarding this opposition.

**HN Holdings**

Per: 

Hein Ngo, President

Date: June 14/2017

**RECEIVED**  
2017 JUN 21 AM 11:07  
THE CITY OF CALGARY  
CITY CLERK'S



RECEIVED

June 6, 2017

2017 JUN 21 AM 11:02

To whom it may concern,

THE CITY OF CALGARY  
CITY CLERK'S

Re: letter of support for 2039 – 30 Avenue, SW (proposed land use amendment LOC2016-0287 and proposed semi-detached development at 2039 – 30 Avenue, SW)

I have attached a letter of support, signed by both myself and my husband, in regards to the above land use amendment and the development.

I wanted to make reference to the more personal side of this situation.

I don't know Bernadette, the applicant, personally. I have met her on two occasions and found her to be a very friendly, intelligent person.

I do want to note that the situation she is facing in regards to delays after delays with the land use amendment and development seems very silly and highly inappropriate.

I know that there is a one neighbor in particular who has launched what I can only define as a bullying attack on Bernadette and her dreams of building a home. This neighbor happens to be a City of Calgary employee, with engrained knowledge of the development and land use systems. He has targeted all of the surrounding home-owners and has engaged in what I feel are fairly exaggerated and aggressive conversations around stopping this development. He has done this in the past as well.

No one citizen has right to impeded development and modernization. The current home is an eye sore – honestly hideously ugly, run down, and in need of being taken down. Bernadette has worked tirelessly to design her dream home, she has made so many changes to the design already.

I would think that the City of Calgary and the development committee would show some respect for all citizens and not just the one with the loudest and most foolish complaints.

Re-development should be the goal. Old homes should be upgraded, modernized, or replace with new homes. The neighborhood will flourish, my property values will increase (I'm quite happy to pay more tax for a higher property value – any intelligent home owner feels the same).

I would encourage you all to consider all citizens and to lean towards re-development vs stagnation. I support the land use amendment and development fully.

Thanks for your time,

A handwritten signature in black ink that reads "Julie Jeffery". The script is fluid and cursive, with the first name "Julie" and last name "Jeffery" clearly legible.

Julie Jeffery

403.828.4832

To Whom It May Concern

Re: 2039 - 30 Ave SW Proposed Land Use Amendment and Proposed Semi-Detached Development

This is a letter of SUPPORT for the proposed Land Use Amendment LOC2016-0287 and the proposed Semi-Detached Development at 2039-30 Ave SW, Calgary, Alberta.


I/we have reviewed the architectural drawings and am fully supportive of the proposed development.

Sincerely,

Name:

JULIE JEFFERY

Signature:



Date:

JUNE 5, 2017

Address:

2040 - 31 Avenue SW  
Calgary - AB

Phone:

403.828.4832

Email:

julie@elevationmortgage.ca

Name:

ANDY JEFFERY

Signature:



Date:

JUNE 5, 2017

Address:

2040 - 31 Avenue SW  
Calgary. AB

Phone:

403.828.8832

Email:

andy@elevationmortgage.ca

REC

CPC2017-210  
Attachment 2  
Letter 17

2017 JUN 21 AM 11:02

THE CITY OF CALGARY  
CITY CLERK'S

To Whom It May Concern

Re: 2039 – 30 Ave SW Proposed Land Use Amendment LOC2016-0287 and Proposed Semi-Detached Development

I am writing this letter to City Council to confirm my support for this amendment. I have had a chance to talk to the proponents, Bernadett Maxwell and Dale Wascherol, and am in full agreement with their application. I have also reviewed their plans and walked their property and believe this proposal will enhance the neighborhood.

I am both the owner and resident of my property in this neighborhood and am interested in ensuring good development takes place in the area.

Should you wish to confirm my support please feel free to contact me.

Sincerely,



Alan Chan, P.Eng

June 14, 2017

Address: 2008 31 Ave SW      Phone: 403 874 0858  
Calgary

Shaw Webmail

bernadettmaxwell@shaw.ca

---

**Re: 2039 30 Ave Development Update**

---

**From :** rob henschel <rob.henschel@wsi-inc.com>

Sat, Jun 10, 2017 01:04 PM

**Sender :** rob henschel <rob.henschel@wsi-inc.com>**Subject :** Re: 2039 30 Ave Development Update**To :** Bernadett Maxwell  
<bernadettmaxwell@shaw.ca>

Hi Bernadett,

I'm indifferent to your proposal, so I neither support nor oppose it. I think this matter is between you, the City and your adjacent neighbours. Good luck with your application.

Rob

> On Jun 8, 2017, at 5:01 PM, Bernadett Maxwell  
<bernadettmaxwell@shaw.ca> wrote:

&gt;

&gt; &lt;Development Info Brief.pdf&gt;

---

Rob Henschel

2025-30 Ave SW

&amp; 2009-30 Ave SW

RECEIVED  
2017 JUN 21 AM 11:02  
THE CITY OF CALGARY  
CITY CLERKS



1773590

0

CPC2017-210  
Attachment 2  
Letter 19

5/30/2017

Mohinder Jaswal, Owner

1773590 Alberta Ltd.

41 Cougar Plateau Point

Calgary, Alberta

T3H 5S7

To whom it may concern,

As the owner of 1773590 Alberta Ltd, which holds;

2038 - 30 Ave SW, Calgary, Alberta T3H 5S7

2040 - 30 Ave SW, Calgary, Alberta T3H 5S7

I would like to express my support for the rezoning and development application for 2039 30 Ave SW.

Please contact me if you have any questions or concerns.



Mohinder Jaswal, Owner

1773590 Alberta Ltd.

403-830-0166

2038 - 30 Ave SW  
& 2040 - 30 Ave SW

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2017 JUN 21 AM 11:02

THE CITY OF CALGARY  
CITY CLERK'S



June 5, 2017

To: Whom It May Concern

Re: Proposed Land Use Amendment and Proposed Semi-Detached Development at  
2039 – 30 Ave SW, Calgary

Being a member of the Marda Loop Community for 12 years, I would like to express my support for the proposed development at 2039 – 30 Ave SW, Calgary.

The development that is being proposed is no different than 3 similar developments across the street from us, and is more appealing than the large monstrosity built on our south side (which is complete with turret). It is in keeping with what has been developed in our community over the past several years, and is in keeping with area re-development.

I have reviewed the architectural drawings and the design of the development is similar to and compliments the character and redevelopment of the community. I am fully supportive of the proposed development.

Sincerely,



Kelly Hall

Address: 3920 15A St SW, Calgary, Alberta

Email: kellyhall8765@gmail.com

Phone: 403.921.2573

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June 21, 2017

2017 JUN 21 AM 8:49

THE CITY OF CALGARY  
CITY CLERK'S

CPC2017-210

Attachment 2

Letter 21

Steve Rowan

2037 - 30 Avenue SW

Calgary, Alberta

T2T 1R3

Office of the City Clerk  
The City of Calgary  
700 Macleod Trail SE  
P.O. Box 2100, Postal Station M  
Calgary, Alberta  
T2P 2M5

To Whom it May Concern:

Re: Land Use Bylaw Amendment #211D2017

I, Steve Rowan, formally oppose Land Use Bylaw #211D2017, pertaining to the rezoning of property 2039 - 30 Avenue SW.

I oppose this application for rezoning because I feel that the result will be a home that will negatively impact the enjoyment of my property, as well as, the properties of many of my neighbours.

I will be in attendance at the hearing with City council on Monday, July 3, 2017 at which time I will present a more factual rationale for my objections to this application.

Best Regards,

A handwritten signature in black ink, appearing to read "Steve Rowan", written in a cursive style.

Steve Rowan

**Smith, Theresa L.**

**From:** Nancy Purdy [calgaryn@gmail.com]  
**Sent:** Wednesday, June 21, 2017 10:22 PM  
**To:** City Clerk  
**Subject:** [EXTERNAL] #211D22017

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2017 JUN 21 AM 8:47  
THE CITY OF CALGARY  
CITY CLERKS

City of Calgary  
700 MacLeod Trail  
Calgary, AB T2P 2M5  
These 1960

Dear Sir/Madam,

RE: Land Use Bylaw Amendment #211D2017

I live in the 2nd building east of the proposed development at 2039 30th Ave SW. Both of the neighbouring buildings are single story duplexes. These 1960s homes have been upgraded and are highly unlikely to be torn down for future development.

Having owned my home at 2029 30th Ave SW for 14 years, I am writing to formally oppose the Land Use Bylaw #211D22017 as it will adversely impact the use and enjoyment of multiple surrounding properties in the neighbourhood including my own.

South Calgary is a thriving inner city neighbourhood and we have welcomed development. My block has a mix of homes. There has been a few recent developments including a 2 story duplex on the north side of the street that was build in the past 3 years. On the south side of the street, the homes were developed mainly in the 90's or are the original homes. The developments in the 90s were 2 story homes with no extra rear setbacks. Thus, these homes were respectful to neighbours as they didn't block views or shade homes/yards.

In contrast, the proposed development is a 3 story with considerable request for relaxation of the rear setback. These two factors will shade neighbouring homes, block our views and adversely impact the enjoyment of our existing homes. I have additional concerns over this proposed development as it will set precedent for future developments in the area. This would directly impact me even further as the lot to the east of me has been purchased for future redevelopment.

As a citizen and homeowner, I am frustrated with the process for attaining a development permit. Ms Maxwell has now had multiple opportunities to apply for a development permit and the development was disallowed on three occasions through successful appeals by neighbours. This process took lots of time, money and energy from the neighbouring homeowners who needed to work diligently to protect our investment. I am appalled that Ms. Maxwell now has applied for rezoning to give her direct control to allow her to work around city process. As a taxpayer I am deeply offended that she can now take the time of council and use taxpayer money to circumvent the established development permit process and pursue her interests. I recognize that her property does have some challenges for building although this should have been considered when Ms. Maxwell purchased the property and designed the home. Changing the rules to accommodate her dream home should not come at a price to all of the neighbouring homeowner's with existing homes. Her dream home needs to be modified to be compliant with all the building and zone requirements.

Sincerely,

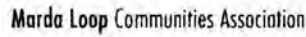
Nancy Purdy

2029 30th Ave SW



Virus-free [www.avast.com](http://www.avast.com)





**Smith, Theresa L.**

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**From:** kevin riley [kevin\_riley74@hotmail.com]  
**Sent:** Thursday, June 22, 2017 8:24 AM  
**To:** City Clerk  
**Subject:** [EXTERNAL] DC proposal for 2039 30 ave SW

We are in favour of development in the neighbourhood including on the proposed lot. However, we object to the proposed changing in the Land Use Designation (zoning). We understand that there are challenges to the site, but the owners should have been aware of this before they bought the property or propose to build a house that would fit the lot and be similar in size, height and massing to the adjacent houses. The multiple relaxations makes it evident that the proposed development is not contextual.

The SDAB agrees with us also. We have won 2 hearings (SDAB2014-0127 and SDAB2016-0030). The DC process is unfair and a loophole to bypass the bylaws.

We object to the extreme height of the proposed development (there are not any 3 story houses on the block). We object to the enormous rear set back that will set a precedence for the neighbourhood and we will lose the enjoyment of our backyard. The extreme height will shade our backyard in the afternoon in the summer.

Regards,

Kevin Riley and Rob Weidemann  
2035 30th Ave SW.

Sent from my iPhone

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2017 JUN 21 AM 8:38  
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