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# NORR

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NORR ARCHITECTS ENGINEERS PLANNERS  
A Partnership of Limited Companies  
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# HAMPTON INN BY HILTON

614 6th AVENUE S.W.  
CALGARY, ALBERTA T2P 0S4

DP#: PE 2018-00452  
NORR JOB NO: ONBL18-0284



## DEVELOPMENT PERMIT REV.1 - 27TH JANUARY 2020

### SURVEY



#275 4515 BOW TRAIL SW,  
CALGARY AB T3C 2G3  
PHONE: 403-286-7937 FAX: NA

### CIVIL



Jubilee  
Engineering Consultants Ltd.  
3702 EDMONTON TRAIL N.E.  
CALGARY, ALBERTA, T2E 3P4  
PHONE: 403 276 1001 FAX: NA

### ARCHITECTURE - DESIGN



175 BLOOR ST E, NORTH TOWER, 15TH FLOOR  
TORONTO, ON, M4W 3R8  
PHONE: 416 929 0200 FAX: NA

### STRUCTURAL



270, CHEMIN DU TREMBLAY,  
BOUCHERVILLE, QC., J4B 5X9  
PHONE: 866 506 4000 FAX: NA

### MECHANICAL



ARROW  
ENGINEERING  
#204 - 2100 AIRPORT DR  
SASKATOON, SK, S7L 6M6  
PHONE: 306 361 4365 FAX: NA

### ELECTRICAL



ARROW  
ENGINEERING  
#204 - 2100 AIRPORT DR  
SASKATOON, SK, S7L 6M6  
PHONE: 306 361 4365 FAX: NA

### INTERIORS



ACCENT DESIGN STUDIO  
5034 FAIRVIEW STREET  
BURLINGTON, ON, L7L 0B4  
PHONE: 289 337 9066 FAX: NA

### LANDSCAPE

NORR ARCHITECTS & ENGINEERS LIMITED  
411- 1ST STREET SE, SUITE 2300  
CALGARY, AB T2G 4Y5  
PHONE: 403.264.4000 FAX: 403.269.7215

### ARCHITECTURE

- A0-00 COVER
- A0-01 SITE STATISTICS & CONTEXT PLAN / LAND USE MAP / SITE PHOTOS
- A0-02 FAR CALCULATION
- A0-03 OVERALL SITE PLAN & SHADOW STUDY
- A0-04 FIRE DEPARTMENT CONNECTION, DRIVEWAY ACCESS AND WASTE & RECYCLING PLAN
- A2-01 PROPOSED LEVEL 01, LOWER LEVEL 01 & 02 FLOOR PLANS
- A2-02 PROPOSED LEVEL MEZZANINE, LEVEL 02 & GUESTROOM (TYP 03-14) FLOOR PLANS
- A2-03 PROPOSED LEVEL 15, LEVEL 16 FLOOR PLANS & ROOF PLAN
- A3-01 NORTH AND WEST ELEVATIONS
- A3-02 SOUTH AND EAST ELEVATIONS
- A3-03 BUILDING SECTIONS
- A4-01 SUITE PLANS

### LANDSCAPE

- L1-01 LANDSCAPE PLAN

### SURVEY

- 190140 SITE SURVEY

### CIVIL

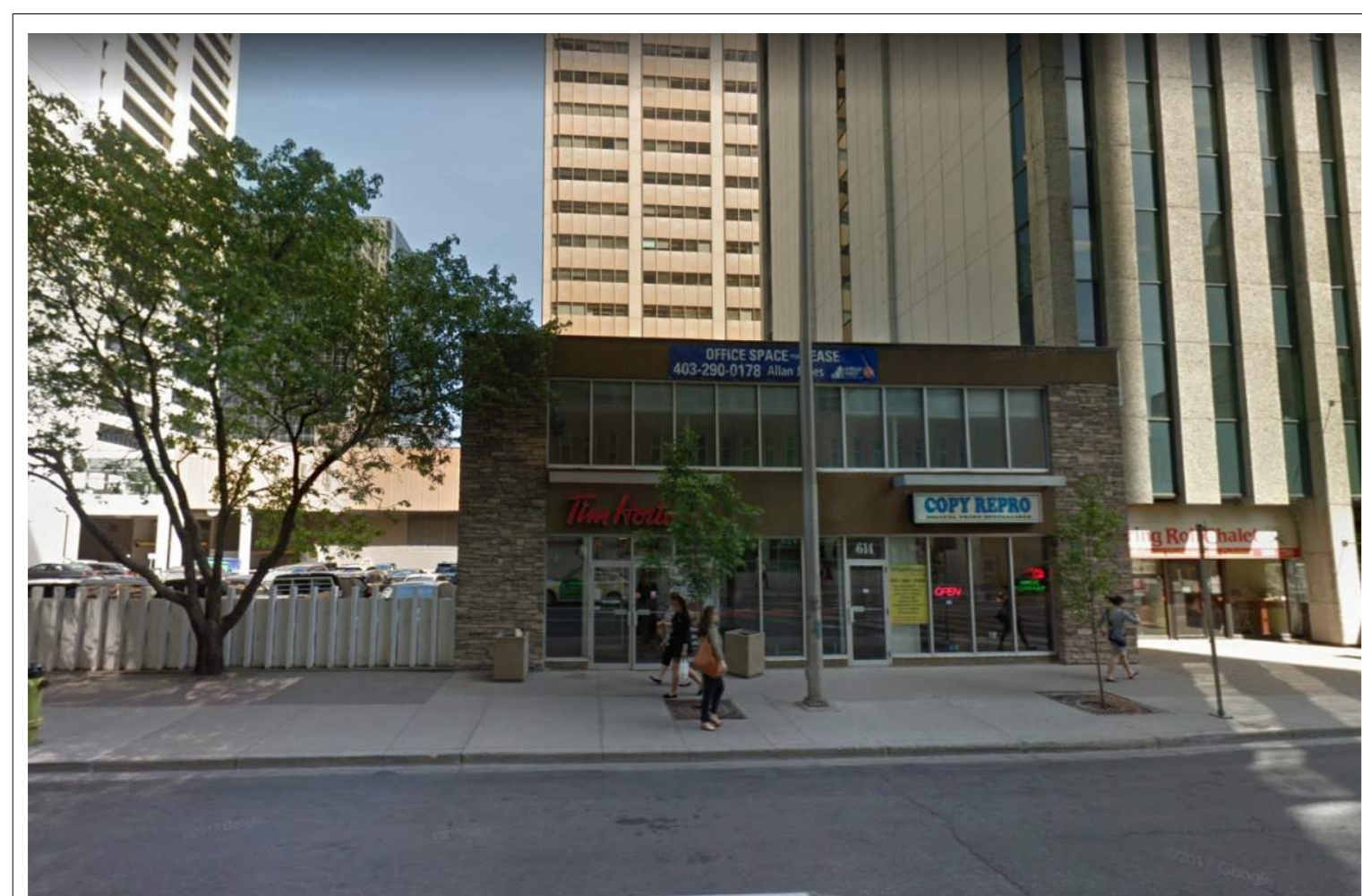
- SP1 SITE SERVICING PLAN
- SP2 SITE GRADING PLAN

| LEGAL DESCRIPTION                       |  |           |              |
|---|--|-----------|--------------|
| LOT                                     | 27-28  |           |              |
| BLOCK                                   | 29   |           |              |
| PLAN                                    | SA1  |           |              |
| MUNICIPAL ADDRESS                       | 614 6 Avenue SW - Calgary, AB                                    |           |              |
| COMMUNITY                               | City Centre - Downtown Commercial Core                           |           |              |
| LAND USE                                | CR20-C20/R20 - Commercial Residential District Incentive Density |           |              |
| SITE AREA                               | m <sup>2</sup>   |           |              |
|   | 604.59   | acre      | 0.15         |
|   | sq.ft.   | 6,507.75  | Ha           |
| FAR                                     |  |           |              |
|   | As-of-Right  | Incentive | Max Possible |
| FAR - COMMERCIAL USE (HOTEL) PROVISIONS | 3.00   | 17.00     | 20.00        |
| GFA                                     | m <sup>2</sup>   |           |              |
|   | 1,813.77   | 10,278.03 | 12,091.80    |
| FAR - COMMERCIAL USE (HOTEL) ALLOWABLE  | 3.00   | 14.67     | 17.67        |
| GFA                                     | m <sup>2</sup>   |           |              |
|   | 1,813.77   | 8,869.34  | 10,683.11    |
| FAR - COMMERCIAL USE (HOTEL) PROPOSED   | 3.00   | 11.87     | 14.87        |
| GFA                                     | m <sup>2</sup>   |           |              |
|   | 1,813.77   | 7,177.50  | 8,991.27     |

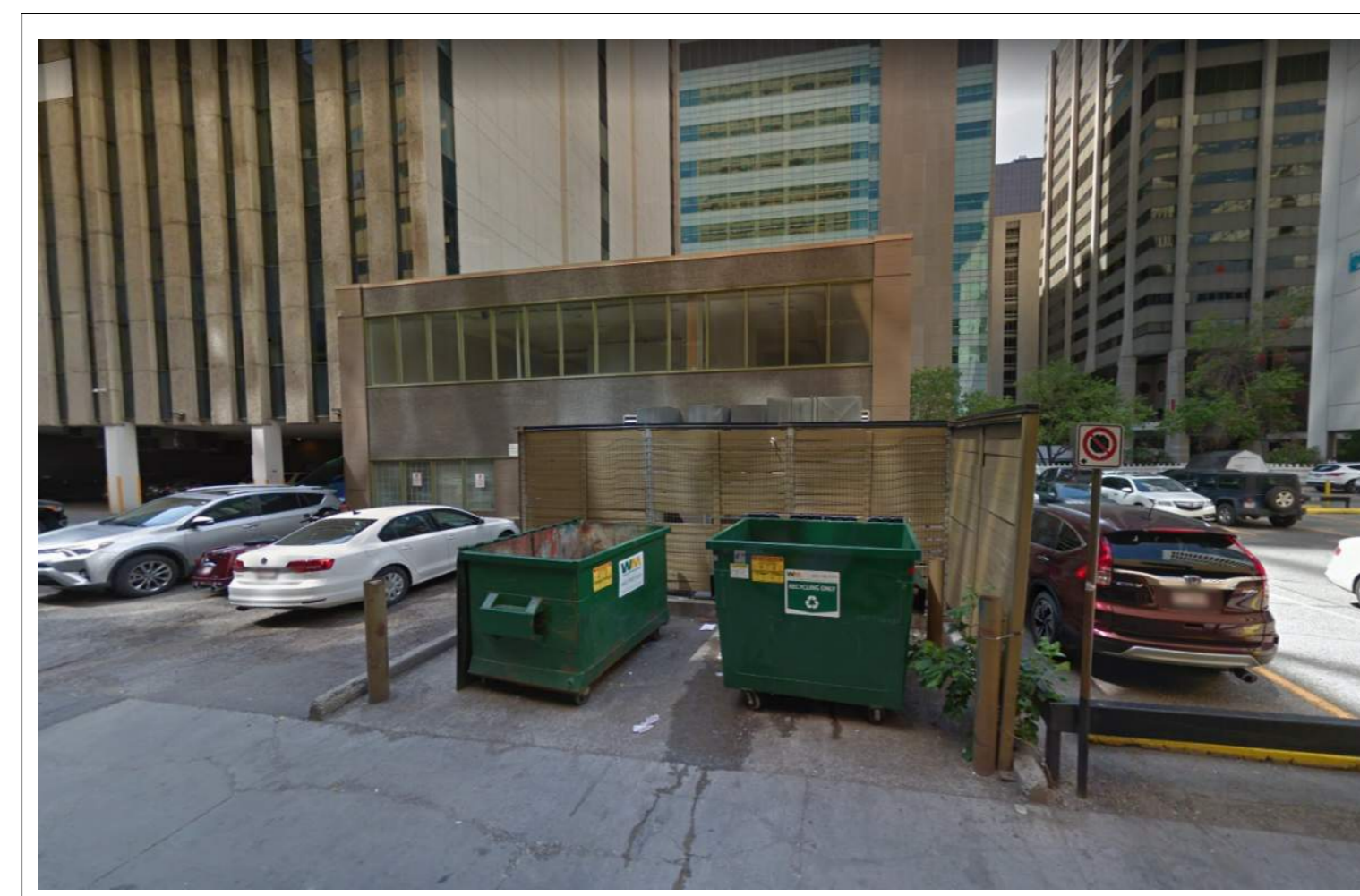
| AREA CALCULATIONS |                        |                 |              | UNIT MIX           |            |             |              |        |
|-------------------|------------------------|-----------------|--------------|--------------------|------------|-------------|--------------|--------|
| LEVEL             | USE                    | AREA            | HEIGHT       | GUESTROOM COUNT    |            |             |              |        |
|                   |                        | m <sup>2</sup>  | m            | KING               | KING SUITE | KING DELUXE | DOUBLE QUEEN |        |
| LEVEL 1           | RESIDENTIAL/RETAIL     | 328.67          | 5.94         | 0                  | 0          | 0           | 0            |        |
| LEVEL MEZZANINE   | RESIDENTIAL/RETAIL     | 154.23          |              | 0                  | 0          | 0           | 0            |        |
| LEVEL 2           | RESIDENTIAL            | 545.71          | 10.54        | 0                  | 0          | 1           | 0            |        |
| LEVEL 3           | RESIDENTIAL            | 574.46          | 13.69        | 6                  | 2          | 1           | 3            |        |
| LEVEL 4           | RESIDENTIAL            | 574.46          | 16.84        | 6                  | 2          | 1           | 3            |        |
| LEVEL 5           | RESIDENTIAL            | 574.46          | 19.99        | 6                  | 2          | 1           | 3            |        |
| LEVEL 6           | RESIDENTIAL            | 574.46          | 23.14        | 6                  | 2          | 1           | 3            |        |
| LEVEL 7           | RESIDENTIAL            | 574.46          | 26.29        | 6                  | 2          | 1           | 3            |        |
| LEVEL 8           | RESIDENTIAL            | 574.46          | 29.44        | 7                  | 2          | 1           | 2            |        |
| LEVEL 9           | RESIDENTIAL            | 574.46          | 32.59        | 6                  | 2          | 1           | 3            |        |
| LEVEL 10          | RESIDENTIAL            | 574.46          | 35.74        | 6                  | 2          | 1           | 3            |        |
| LEVEL 11          | RESIDENTIAL            | 574.46          | 38.89        | 6                  | 2          | 1           | 3            |        |
| LEVEL 12          | RESIDENTIAL            | 574.46          | 42.04        | 6                  | 2          | 1           | 3            |        |
| LEVEL 13          | RESIDENTIAL            | 579.92          | 45.19        | 6                  | 2          | 1           | 3            |        |
| LEVEL 14          | RESIDENTIAL            | 579.92          | 48.34        | 6                  | 2          | 1           | 3            |        |
| LEVEL 15          | RESIDENTIAL            | 579.92          | 51.55        | 4                  | 1          | 1           | 1            |        |
| LEVEL 16          | RESIDENTIAL/MECHANICAL | 478.27          | 56.35        | 0                  | 0          | 0           | 0            |        |
| <b>TOTAL</b>      |                        | <b>8,991.27</b> | <b>56.35</b> | <b>77</b>          | <b>25</b>  | <b>13</b>   | <b>36</b>    |        |
|                   |                        |                 |              | % PER ROOM TYPE    | 50.99%     | 16.56%      | 8.61%        | 23.84% |
|                   |                        |                 |              | <b>TOTAL UNITS</b> | <b>151</b> |             |              |        |

| PARKING CALCULATION  |       |               |                            |                       |           |
|--|-------|---------------|----------------------------|-----------------------|-----------|
| LEVEL  | USE   | REQ. PER UNIT | # OF GUESTROOMS            | REQ. PARKING          |           |
| BELOW GROUND   |       |               | UNDERGROUND VALET OPERATED |                       |           |
| LL02   | HOTEL | 0.33          | 151                        | 50                    |           |
| <b>RELAXATION OF MINIMUM STALLS REQUIRED</b>                       |       |               |                            | <b>TOTAL REQUIRED</b> | <b>25</b> |
| * REFER TO 1.0 PARKING REVIEW LETTER REPORT PREPARED BY WATT GROUP |       |               |                            | <b>TOTAL PROVIDED</b> | <b>27</b> |

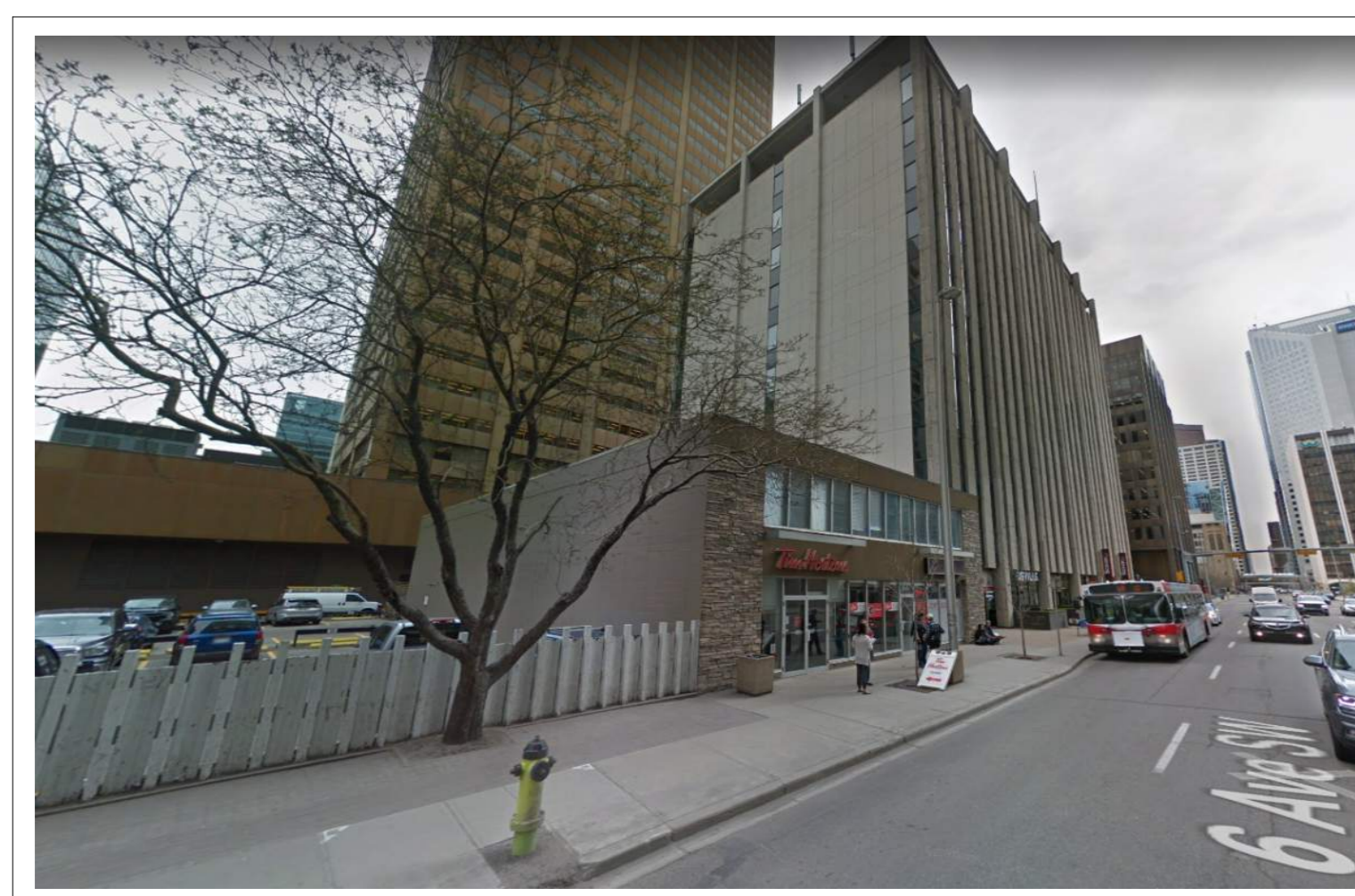
**BICYCLE PARKING** NOT PROVIDED



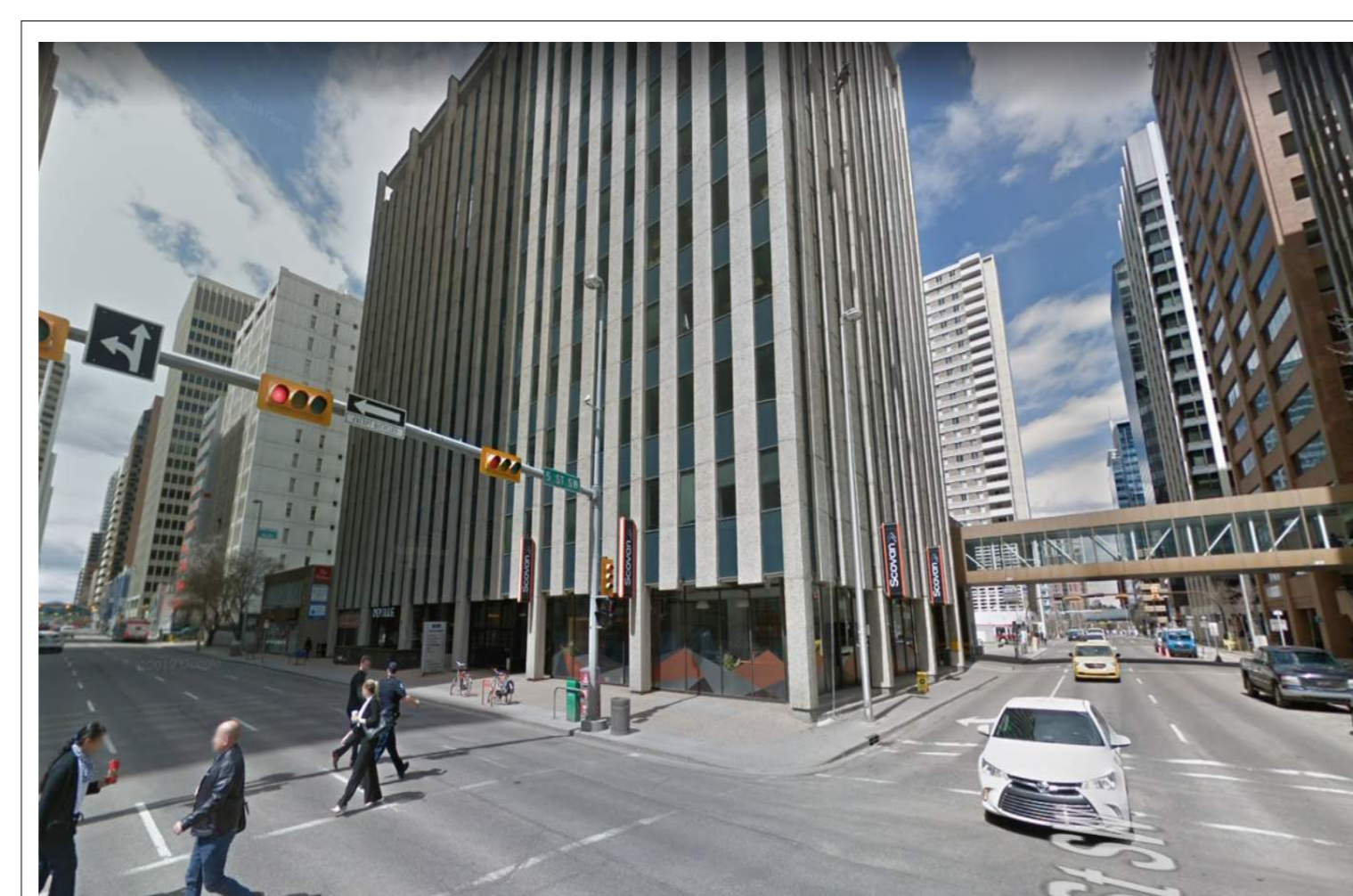
6 VIEW OF SITE FROM FRONT  
A0-01 N.T.S.



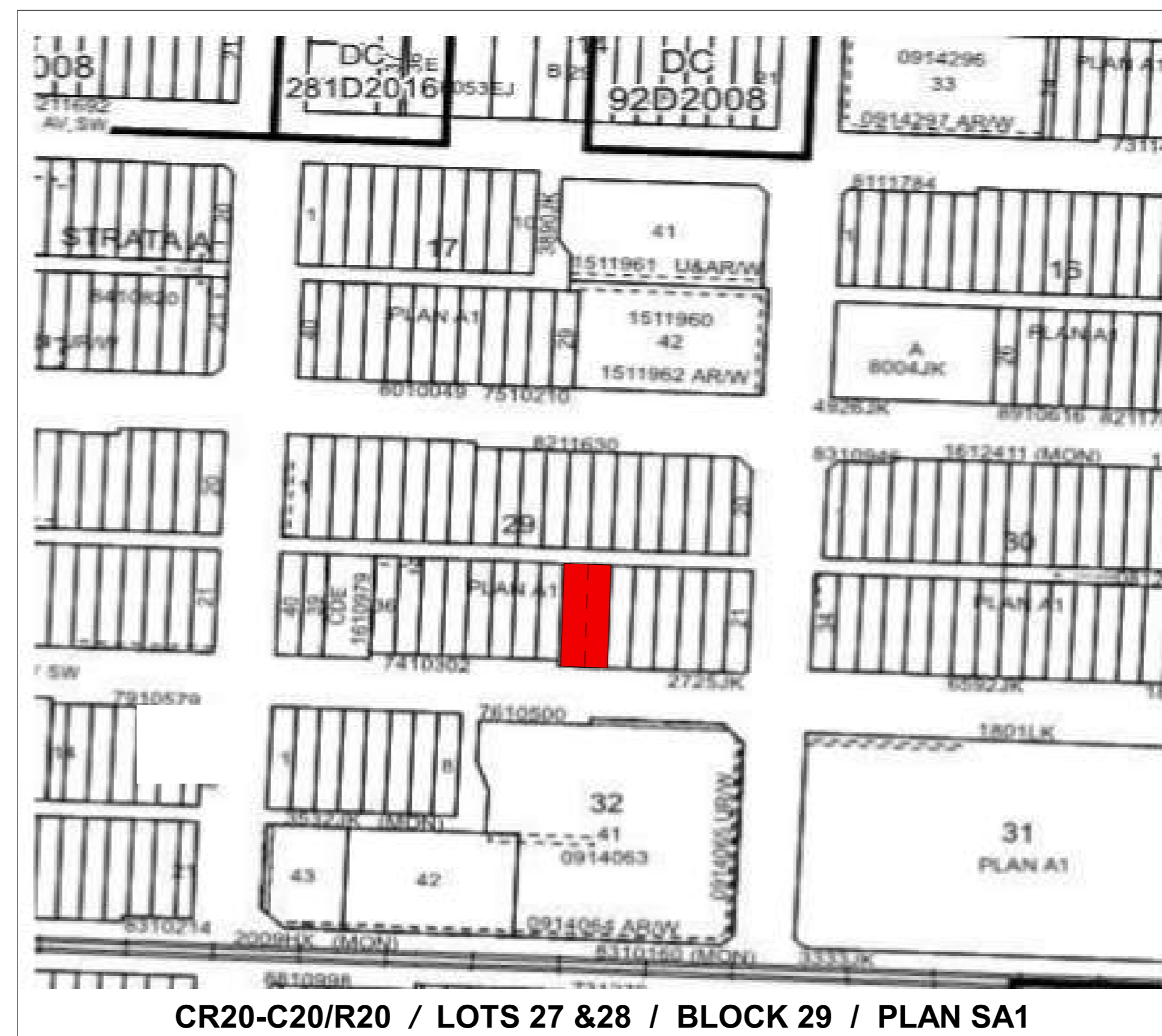
4 VIEW OF SITE FROM REAR  
A0-01 N.T.S.



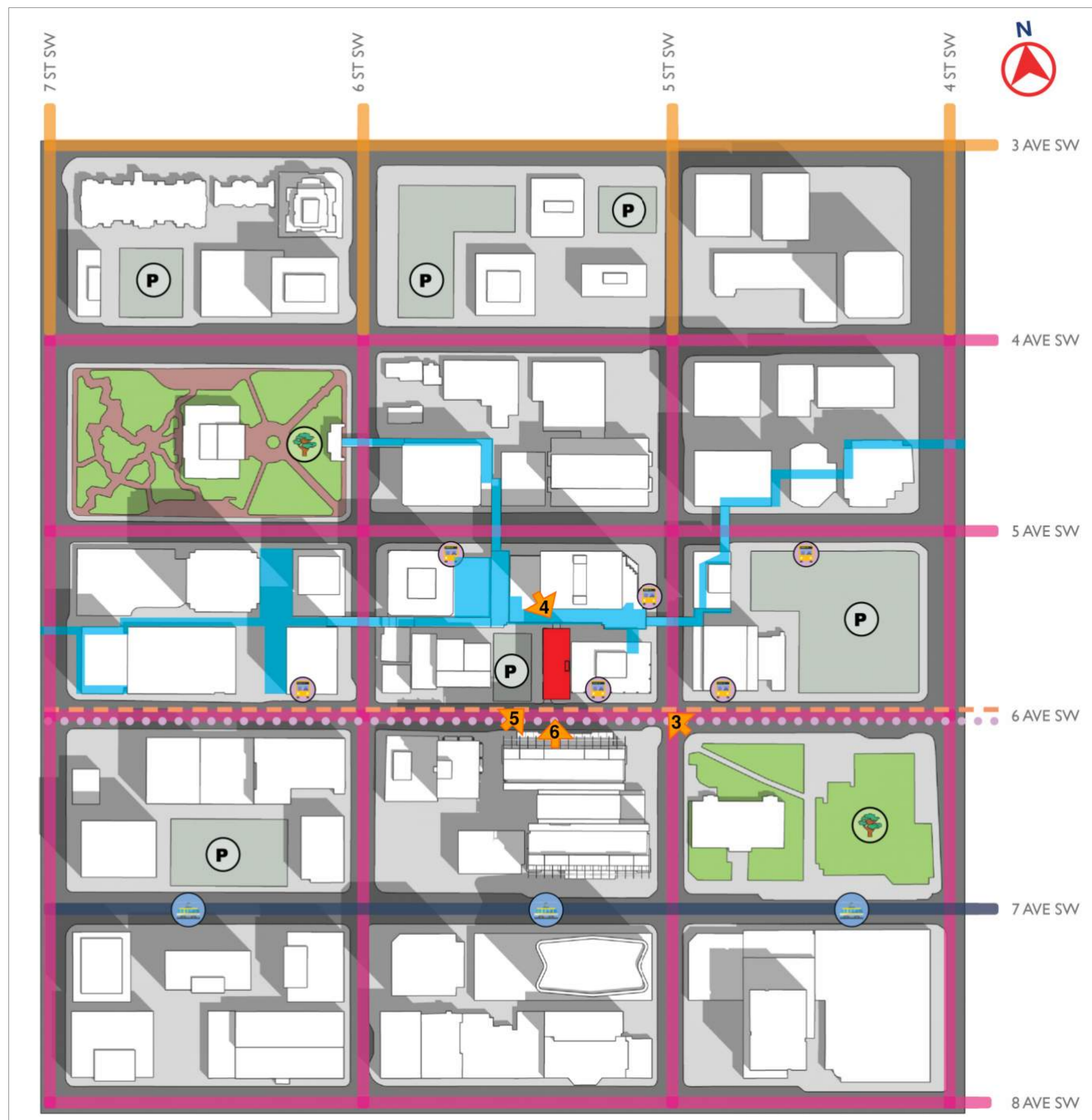
5 VIEW OF 630 6 AVE. S.W. AND SITE LOOKING N.E.  
A0-01 N.T.S.



3 VIEW LOOKING N.W. OF 600 6 AVE. S.W.  
A0-01 N.T.S.



2 LAND USE MAP/ LOCATION  
A0-01 N.T.S.



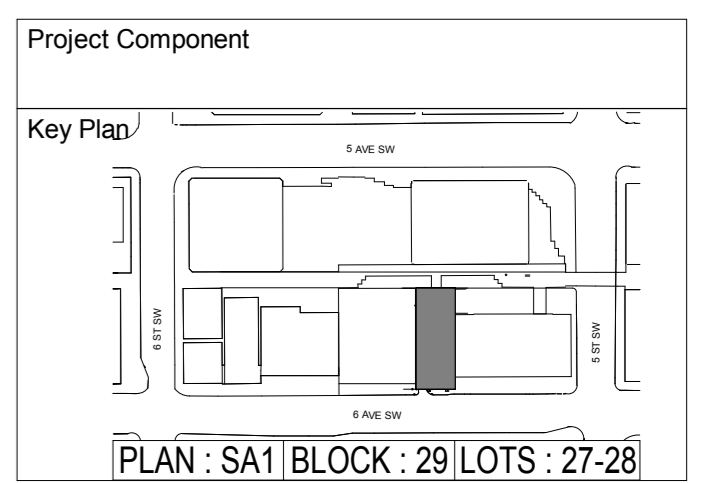
1 CONTEXT PLAN  
A0-01 N.T.S.

- SITE
- COMMERCIAL STREETS
- HIGH VOL. TRAFFIC PRIORITY
- PEDESTRIAN PRIORITY
- BUS ZONES
- TRANSIT STREETS
- RESIDENTIAL STREETS
- +15 WALKWAY SYSTEM
- P PARKING
- TRANSIT STATIONS
- PARKS/GREEN SPACES
- VIEW LOCATION

| DATE       | ISSUED FOR              | REV |
|------------|-------------------------|-----|
| 2019-10-18 | DEVELOPMENT PERMIT      | A   |
| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Consultants

Civil: JUBILEE ENGINEERING CONSULTANTS LTD  
 Landscape: NORR ARCHITECTS & ENGINEERS LIMITED  
 Architecture: NORR ARCHITECTS & ENGINEERS LIMITED  
 Structural: CANAM MANAC  
 Mechanical: ARROW ENGINEERING  
 Electrical: ARROW ENGINEERING

Seal(s)

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 Full Member Alberta Institute of Professional Engineers

|                       |               |
|-----------------------|---------------|
| Project Manager<br>CG | Drawn<br>MK   |
| Project Leader<br>MK  | Checked<br>CG |

Client

**TRIPLE ONE PROPERTIES**

2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6

Project

**HAMPTON INN BY HILTON**

614 6th Avenue S.W.  
 CALGARY, ALBERTA T2P 0S4

Drawing Title

**SITE STATISTICS & CONTEXT PLAN / LAND USE MAP / SITE PHOTOS**

Scale

As indicated

Project No.

ONBL18-0284

Drawing No.

**A0-01**

AO Title Block - R18 Rev - June 19 Copyright © 2019

| DATE       | ISSUED FOR              | REV |
|------------|-------------------------|-----|
| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |

Hampton Inn Revision 4 27-Jan-20

City of Calgary Planning - land Use Bylaw 1P2007  
Development Permit Application Analysis of Requirements  
<http://lub.calgary.ca/>

614 6th Avenue SW  
City Centre  
Downtown Commercial Core  
Ward 8

Lot Size 50' x 130' 15.24m x 39.62m (approx.)  
Lot Area 6500 sf 604.46 sm

Applicable Zoning  
Part 13 Commercial Residential Districts  
Division 3 CR20-C20/R20 Incentive Density  
Use Hotel

| FAR Incentives                          | Table | Item No     | Items   | Remarks  | FAR Attained |
|---|-------|-------------|---|--|--------------|
| <b>Allowed as of right</b>              |       |             |   |  |              |
| 3                                       | 7     |             |   | <b>MAX FAR allowed for Hotel use</b>   | <b>3</b>     |
| <b>Mandatory (additional incentive)</b> |       |             |   |  |              |
| 4                                       | 8     | 8.0.4       | <b>On-Site Pedestrian Amenities</b>   | <b>Requirement</b>   | <b>4</b>     |
|   |       | (a)         | At grade pedestrian circulation, 2.134 setback at 6th Ave elevation   | Complies   |              |
|   |       | (b)         | At grade pedestrian circulation corner lot  | discussed with File Manager)   |              |
|   |       | (c)         | (i) ( A ) +15 Skywalk System - elements for potential connection to +15 unobstructed with of 4.5 meter oriented for the greatest opportunity for connection, and extension of<br>(i) ( C ) vertical movement opportunities:<br>publicly accessible elevator staircase with a minimum unobstructed width of 2.0 meters<br>(ii) financial contribution to the +15 Skywalk System Fund | Written confirmation received from Roads that 3.5m connection was accepted<br><br>Accessible elevator provided; written confirmation received from Roads that 1.5m wide staircase was accepted<br><br>Not targeted |              |
| <b>8 max</b>                            |       | <b>8.22</b> | <b>Indoor Public Hotel Space</b>  | <b>Conference facility ratio 1:18</b><br><br>All other indoor hotel public spaces 1:10   | <b>8</b>     |
| <b>1</b>                                |       | <b>8.23</b> | <b>+ 15 Skywalk System Bridge</b>   | A minimum 11.0 FAR must be achieved prior to use of this item.<br>1.0 FAR for each +15 bridge  | <b>0.67</b>  |
| <b>1max</b>                             |       | <b>8.24</b> | <b>+ 15 Skywalk System Feature Access</b>   | Elevator or stair that creates a focal point   | <b>1</b>     |
| <b>Total</b>                            |       |             |   |  | <b>16.67</b> |

- The above is a summary of the FAR calculation of Table 8: Public Amenity Items evaluation by the City of Calgary, with the exception that at present we are not pursuing 8.21 Exceptional Design.  
- See attached evaluation for your reference.

| CONFERENCE FACILITIES |              |                |
|-----------------------|--------------|----------------|
|                       | sm           | sft            |
| LEVEL 2               | 220.9        | 2,377.2        |
|                       | <b>220.9</b> | <b>2,377.2</b> |
| INDOOR PUBLIC SPACES  |              |                |
|                       | sm           | sft            |
| LEVEL 1               | 97.8         | 1,053.0        |
| Retail                | 42.9         | 478.3          |
| LEVEL 2               | 74.0         | 796.1          |
|                       | <b>214.7</b> | <b>2,327.5</b> |

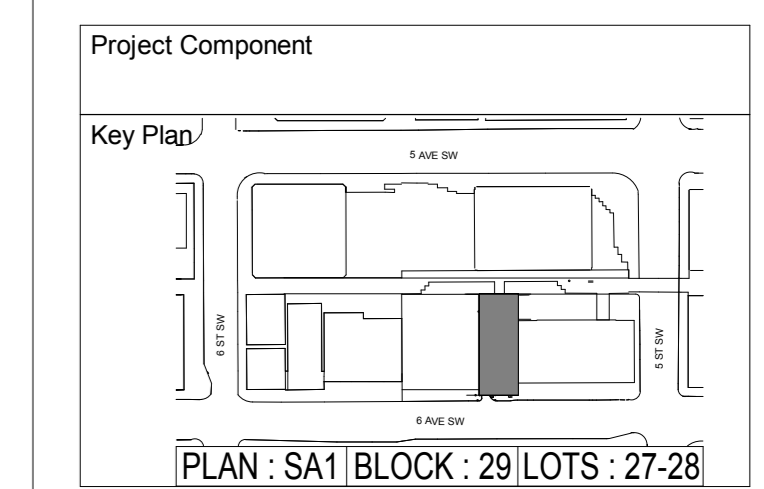
INDOOR PUBLIC SPACES  
CONFERENCE FACILITIES



2 LEVEL 02 FAR CALCULATION  
SCALE: 1:100

1 LEVEL 01 FAR CALCULATION  
SCALE: 1:100

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Architecture: NORR ARCHITECTS & ENGINEERS LIMITED  
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Mechanical: ARROW ENGINEERING  
Electrical: ARROW ENGINEERING

Seal(s)

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Professional Engineers, Registered Architects

Project Manager: CG, Drawn: MK  
Project Leader: MK, Checked: CG  
Client: **TRIPLE ONE PROPERTIES**  
2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6  
Project: **HAMPTON INN BY HILTON**  
614 6th Avenue S.W.  
CALGARY, ALBERTA T2P 0S4  
Drawing Title: **FAR CALCULATION**  
Scale: As indicated  
Project No: ONBL18-0284  
Drawing No: **A0-02**

| DATE       | ISSUED FOR              | REV |
|------------|-------------------------|-----|
| 2019-10-18 | DEVELOPMENT PERMIT      | A   |
| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |



SEPTEMBER 21 - 10 AM



SEPTEMBER 21 - 12 PM

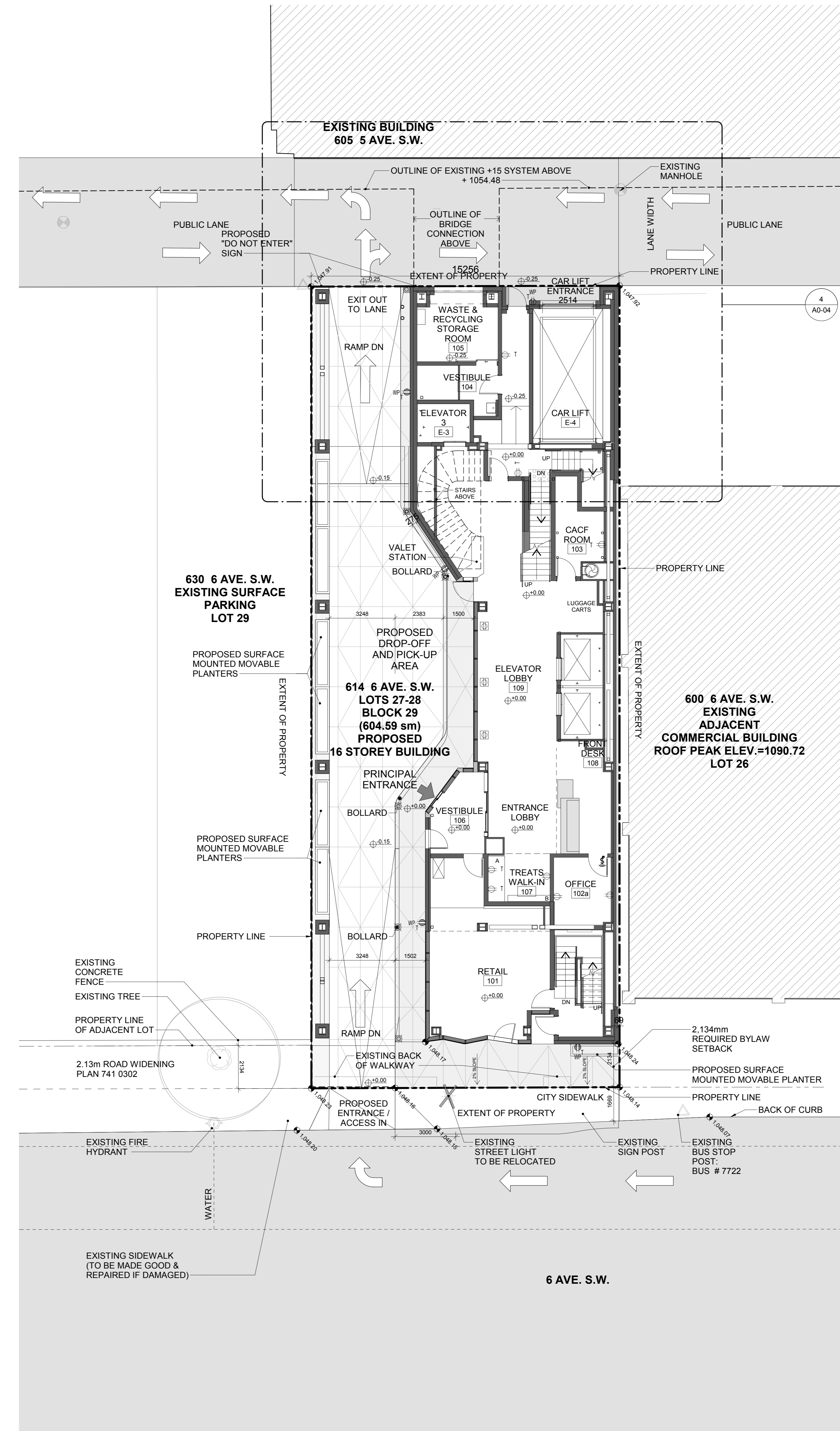


SEPTEMBER 21 - 2 PM



SEPTEMBER 21 - 4 PM

2 SHADOW STUDY  
A0-03 N.T.S.

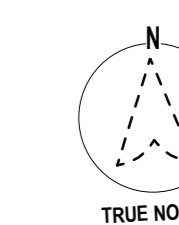


1 OVERALL SITE PLAN  
A0-03 SCALE: 1:100

+0.00 FIN FLOOR DATUM = 1048.2m GEODETIC DATUM ABOVE SEA LEVEL

■ xxx - GEODETIC DATUM  
○ xxx - ELEVATION

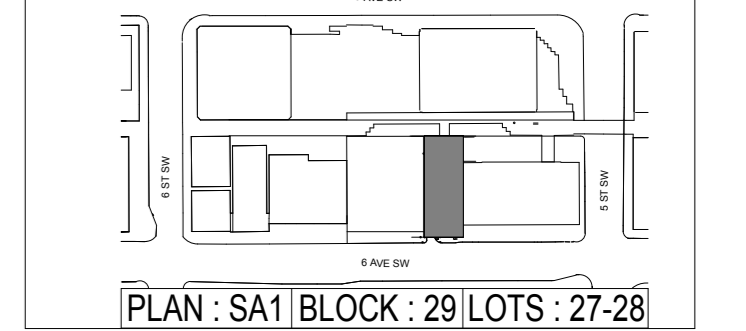
SCALE 1:100 0 1m 2.5m 5m 10m



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Project Component

Key Plan



Consultants  
Civil: JUBILEE ENGINEERING CONSULTANTS LTD.  
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Project Leader: MK, Checked: CG

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2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6

Project: **HAMPTON INN BY HILTON**

614 6th AVENUE S.W.  
CALGARY, ALBERTA T2P 0S4

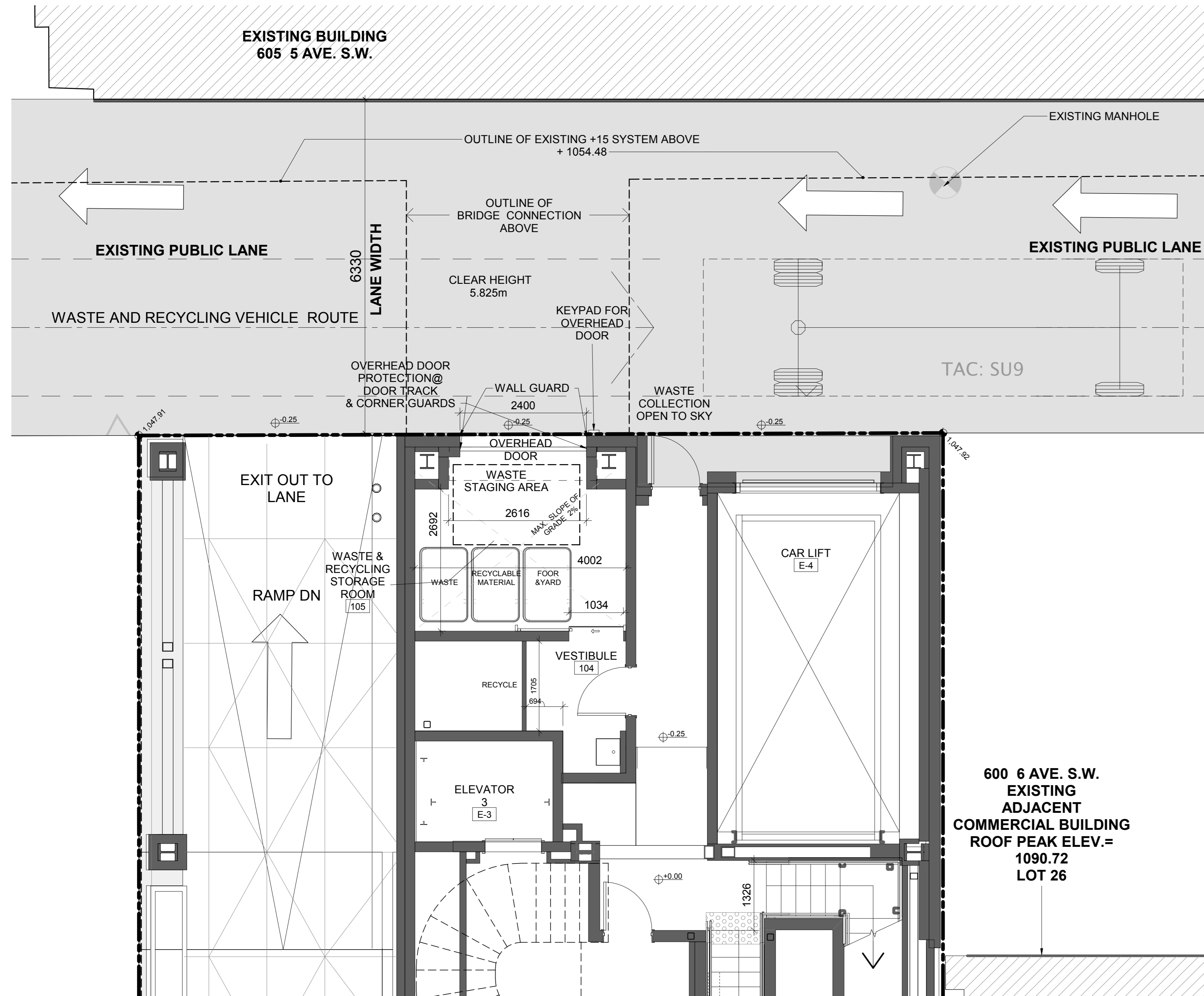
Drawing Title: **OVERALL SITE PLAN & SHADOW STUDY**

Scale: As indicated

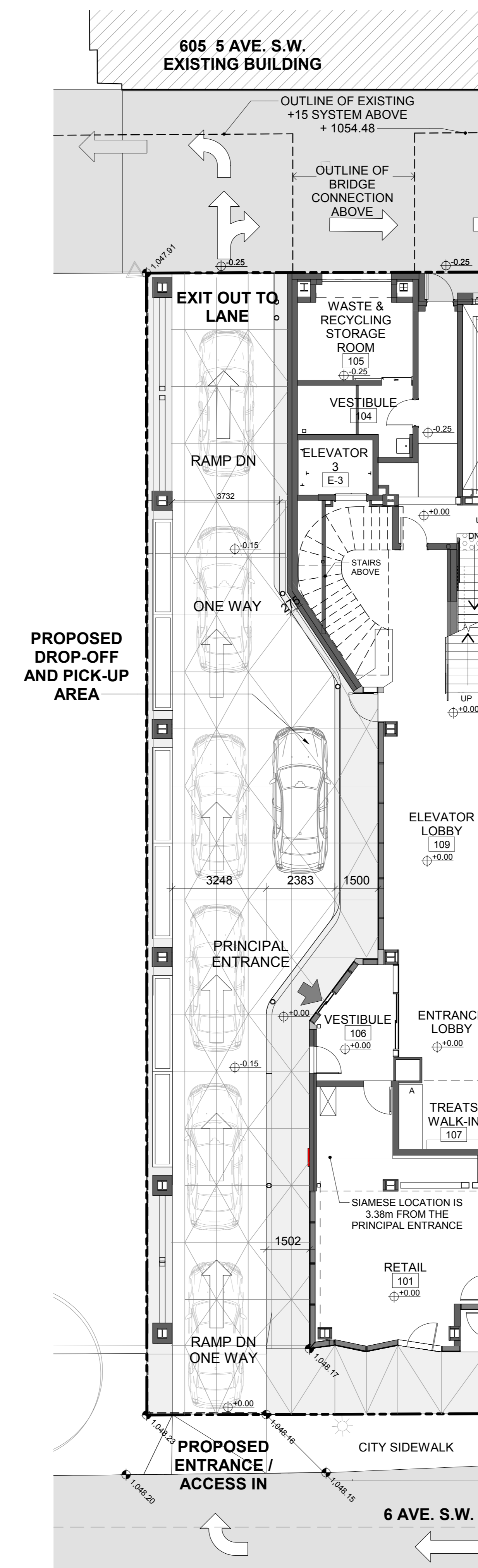
Project No: ONBL18-0284

Drawing No: **A0-03**

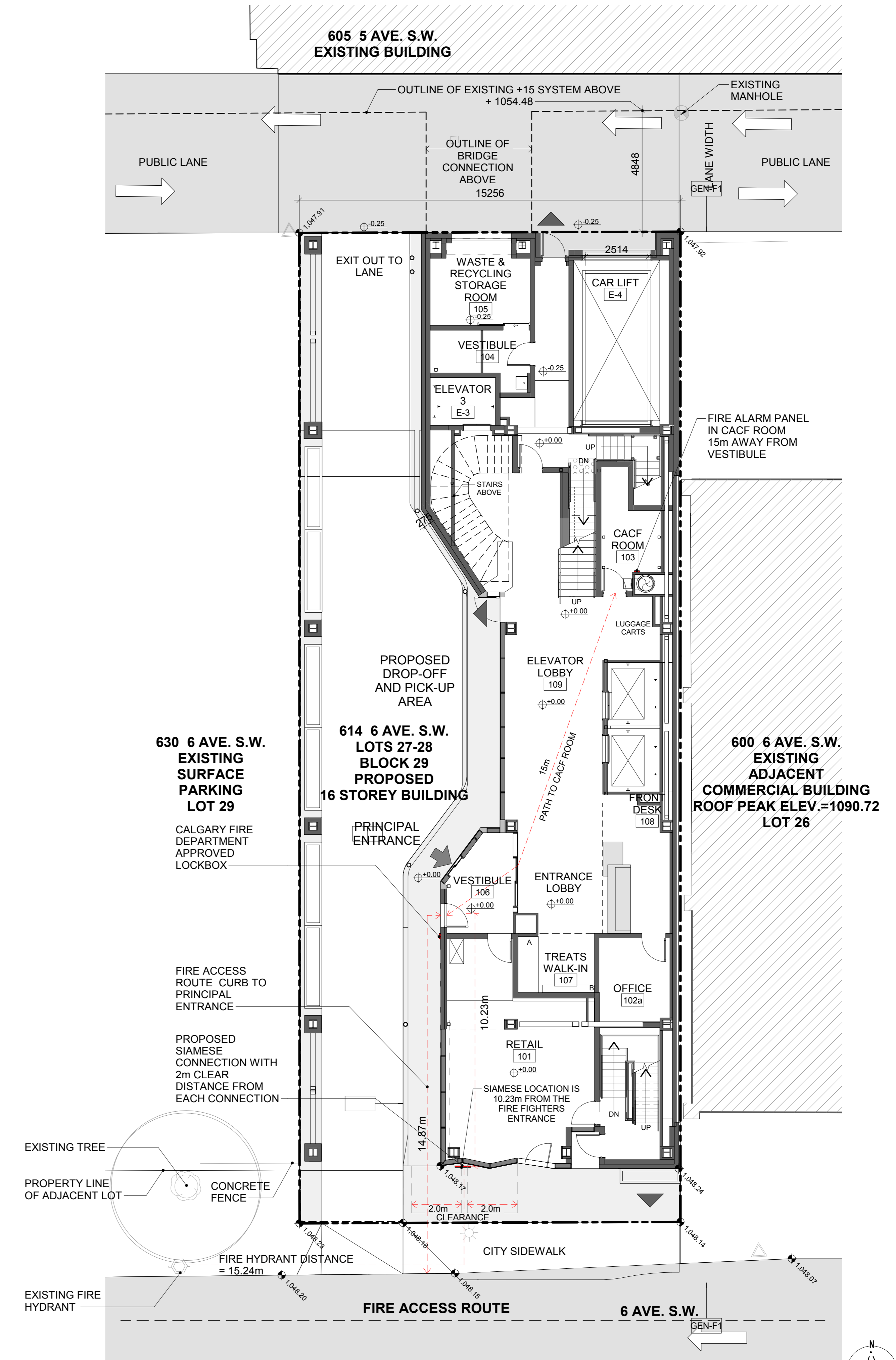
All Title Block - R18 Rev. 1/June/15 Copyright © 2019



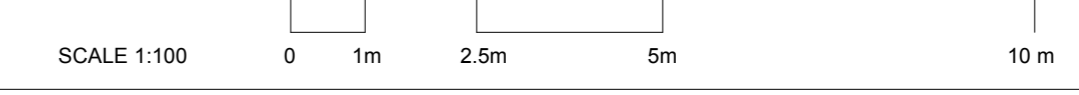
4 WASTE & RECYCLING ROOM  
SCALE: 1:50



2 DRIVEWAY ACCESS PARTIAL PLAN  
SCALE: 1:100



1 FIRE DEPARTMENT CONNECTION  
SCALE: 1:100

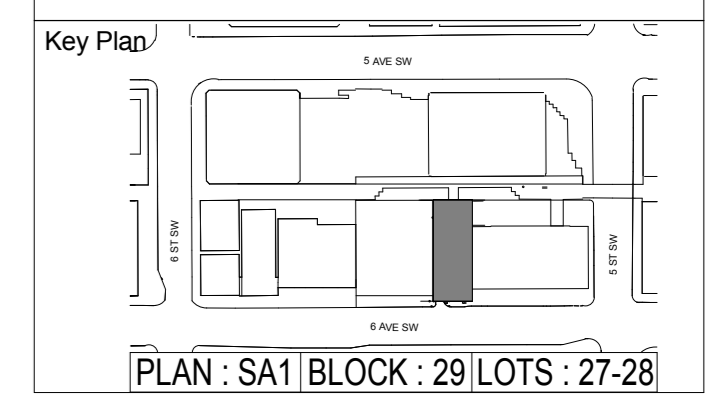


| DATE       | ISSUED FOR              | REV |
|------------|-------------------------|-----|
| 2019-10-18 | DEVELOPMENT PERMIT      | A   |
| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |

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Project Component



Consultants  
Civil: JUBILEE ENGINEERING CONSULTANTS LTD.  
Landscape: NORR ARCHITECTS & ENGINEERS LIMITED  
Architecture: NORR ARCHITECTS & ENGINEERS LIMITED  
Structural: CANAM MANAC  
Mechanical: ARROW ENGINEERING  
Electrical: ARROW ENGINEERING

Seal(s)

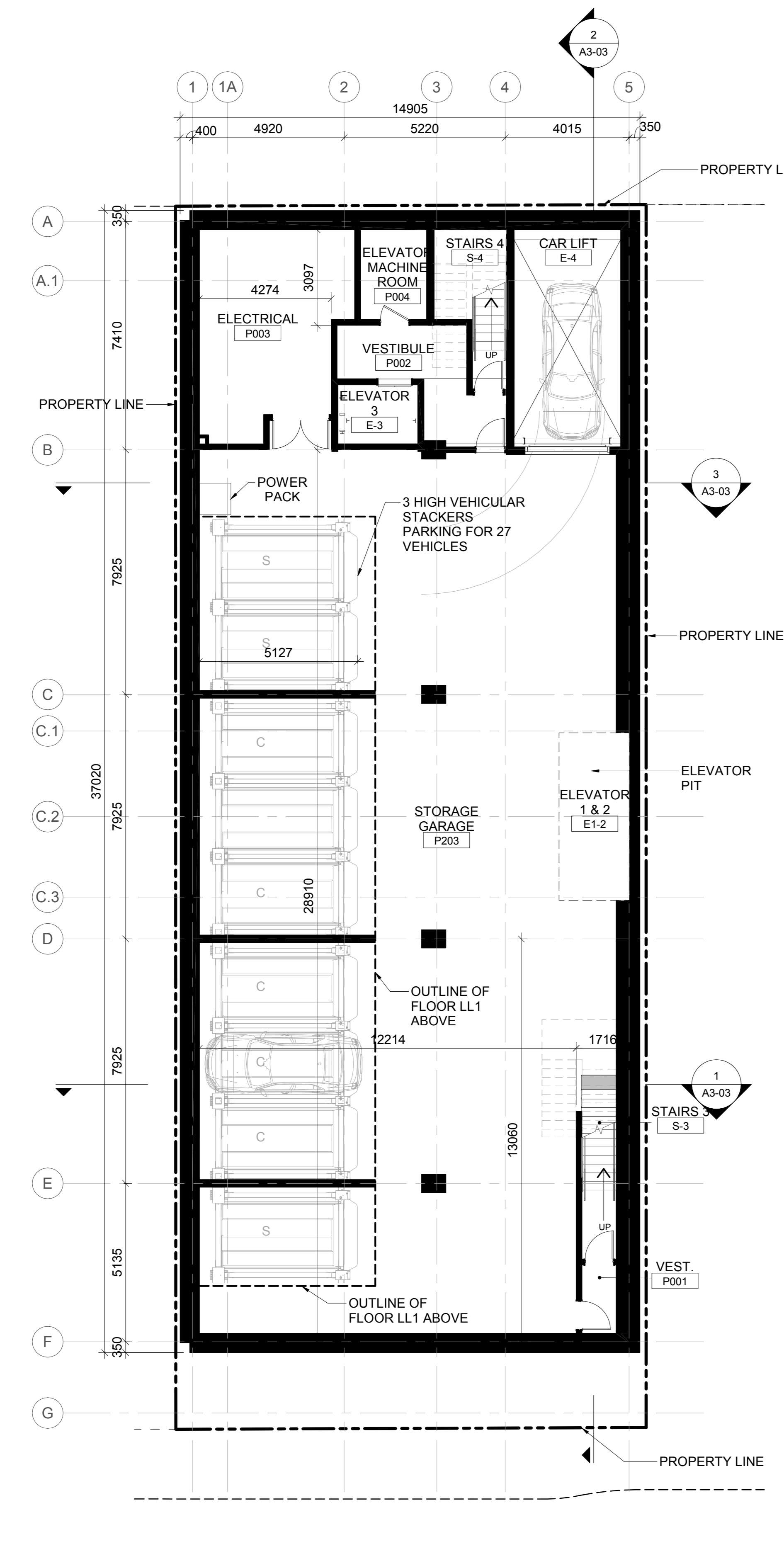
**NORR**  
2300, 411 - 1st Street SE  
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norr.com  
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Project Manager: CG, Drawn: MK  
Project Leader: MK, Checked: CG  
Client: **TRIPLE ONE PROPERTIES**  
2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6

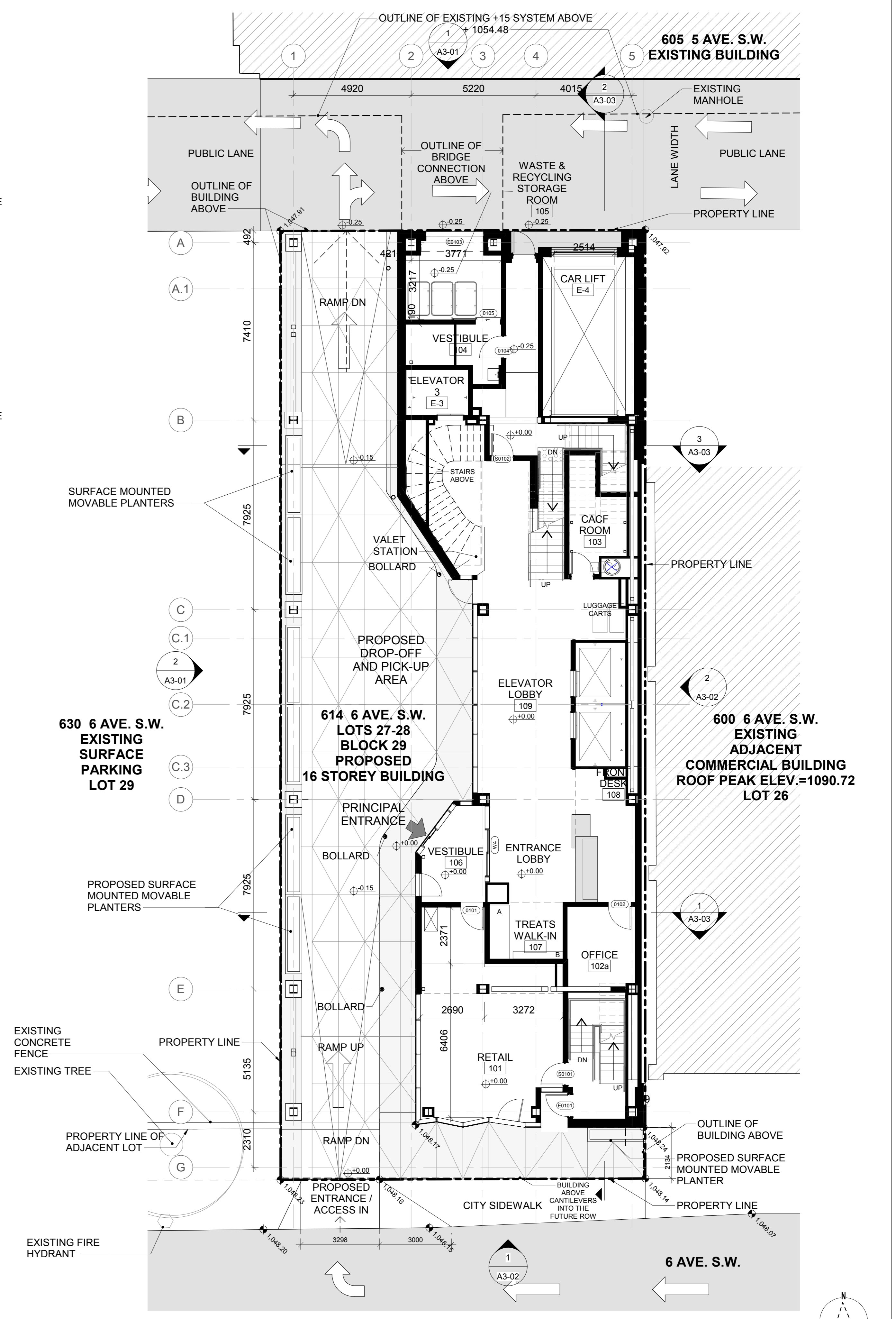
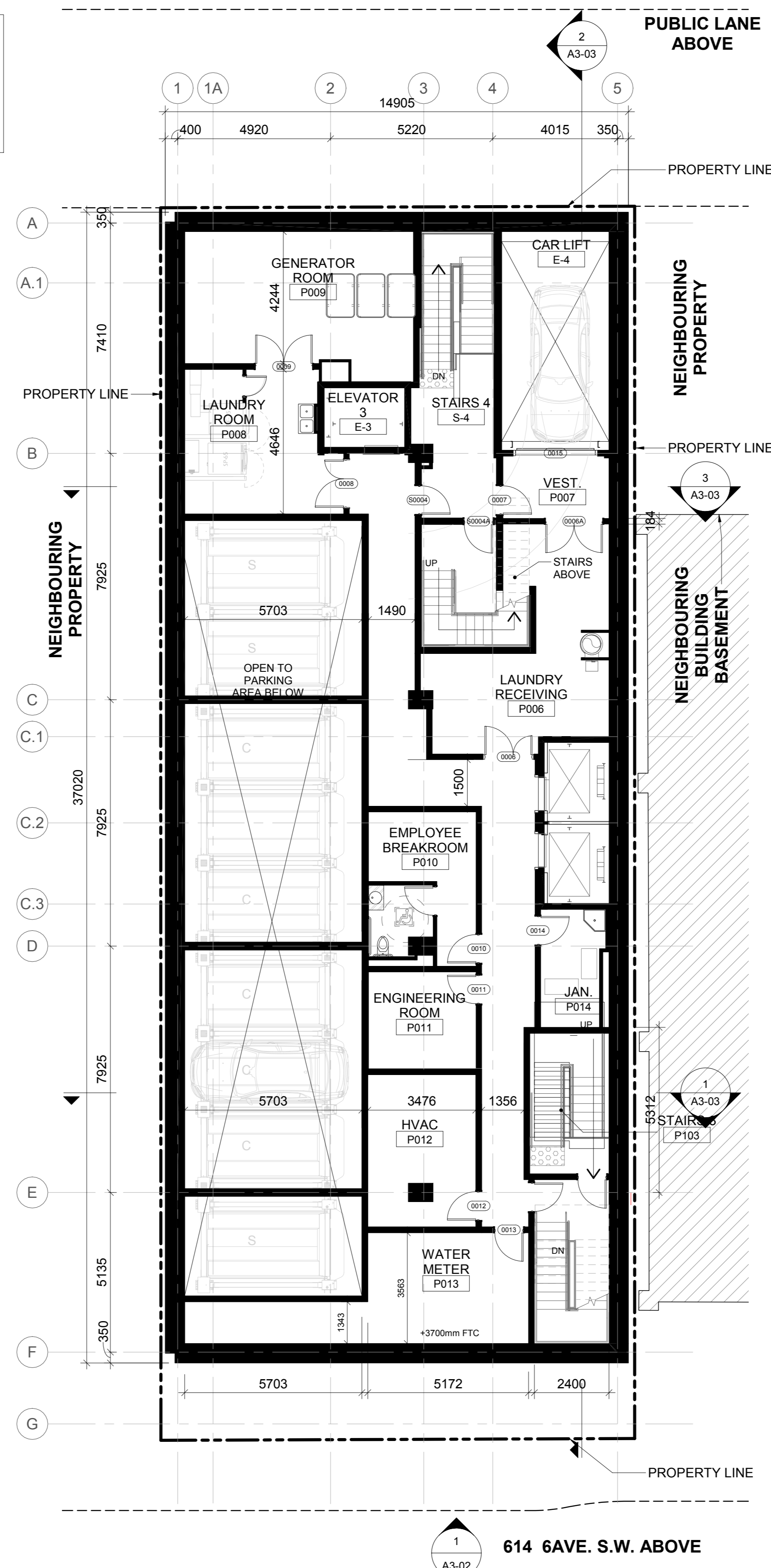
Project: **HAMPTON INN BY HILTON**  
614 6th AVENUE S.W.  
CALGARY, ALBERTA T2P 0S4  
Drawing Title: **FIRE DEPARTMENT CONNECTION, DRIVEWAY ACCESS AND WASTE & RECYCLING PLAN**

Scale: As indicated  
Project No.: ONBL18-0284  
Drawing No.: **A0-04**

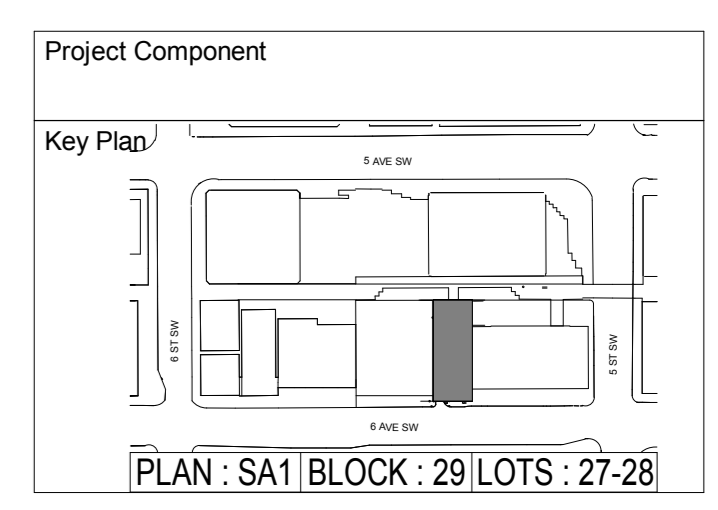
| DATE       | ISSUED FOR              | REV |
|------------|-------------------------|-----|
| 2019-10-18 | DEVELOPMENT PERMIT      | A   |
| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |



NOTE:  
ALL PARKADE WALLS & COLUMNS TO BE PAINTED WITH HIGH PERFORMANCE LOW VOC LATEX PAINT-WHITE EGGSHELL.  
ALL EXPOSED CONCRETE CORNERS TO BE CHAMFERED 19mm



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Consultants

- Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
- Landscape: NORR ARCHITECTS & ENGINEERS LIMITED
- Architecture: NORR ARCHITECTS & ENGINEERS LIMITED
- Structural: CANAM MANAC
- Mechanical: ARROW ENGINEERING
- Electrical: ARROW ENGINEERING

Seal(s)

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Calgary, AB, Canada T2C 4Y5  
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NORR Architects Engineers Planners  
A Partnership of Limited Companies

Project Manager: CG, Drawn: MK  
Project Leader: MK, Checked: CG

Client: **TRIPLE ONE PROPERTIES**

2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6

Project: **HAMPTON INN BY HILTON**

614 6th AVENUE S.W.  
CALGARY, ALBERTA T2P 0S4

Drawing Title: **PROPOSED LEVEL 01, LOWER LEVEL 01 & 02 FLOOR PLANS**

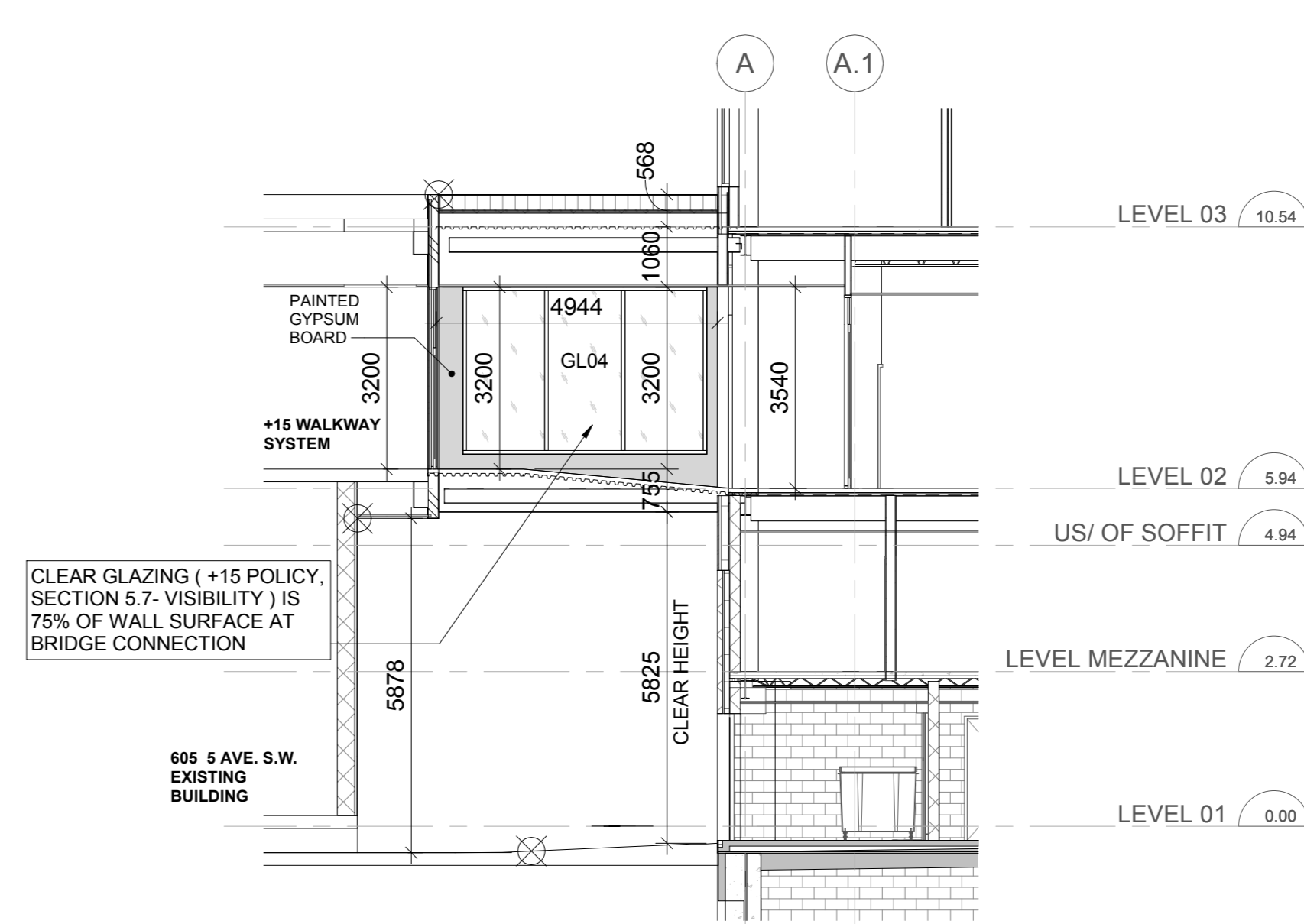
Scale: 1:100

Project No: ONBL18-0284

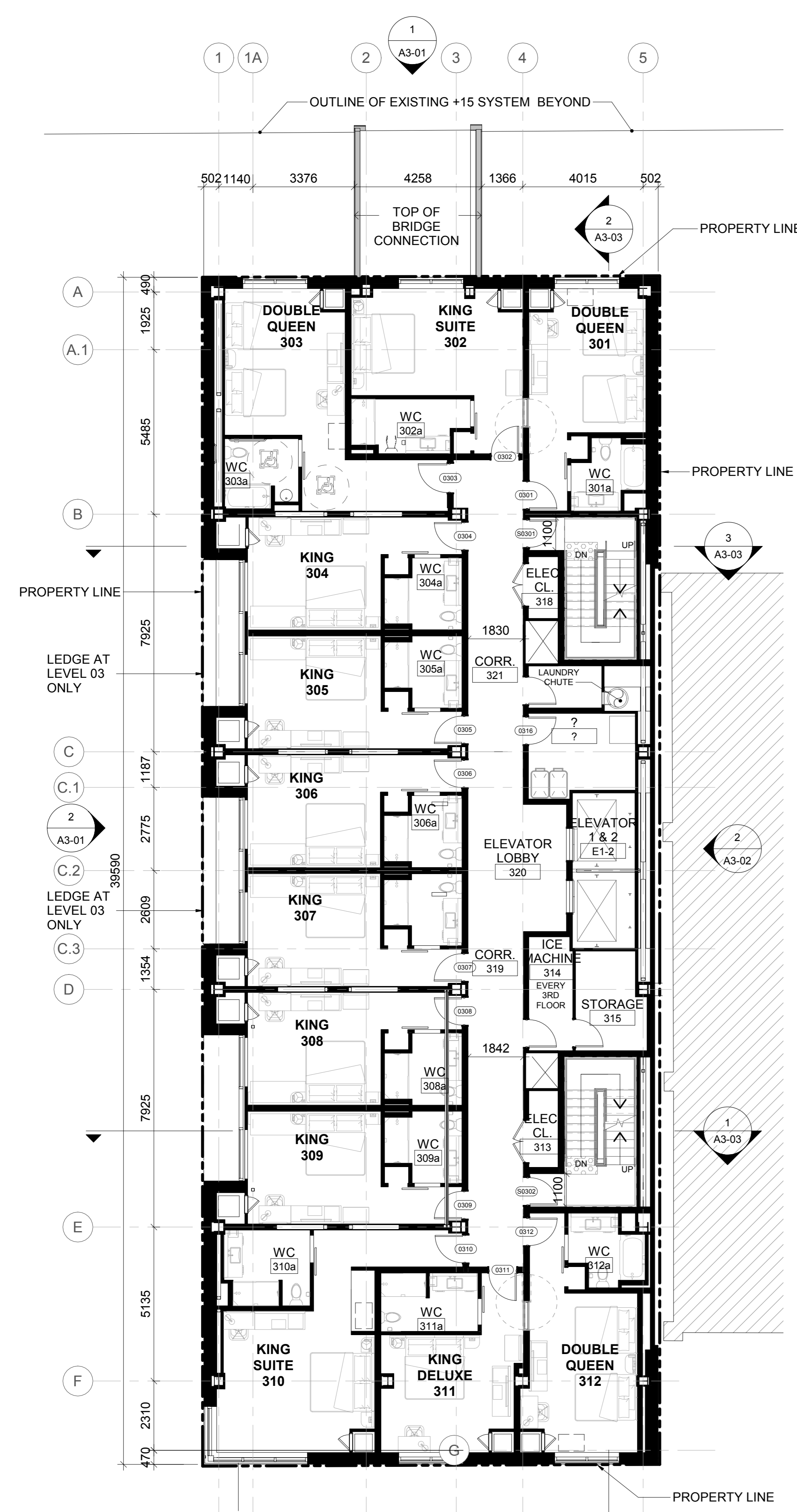
Drawing No: **A2-01**

AS THE BLOCK - R18 Rev. 1/20/19 Copyright © 2019

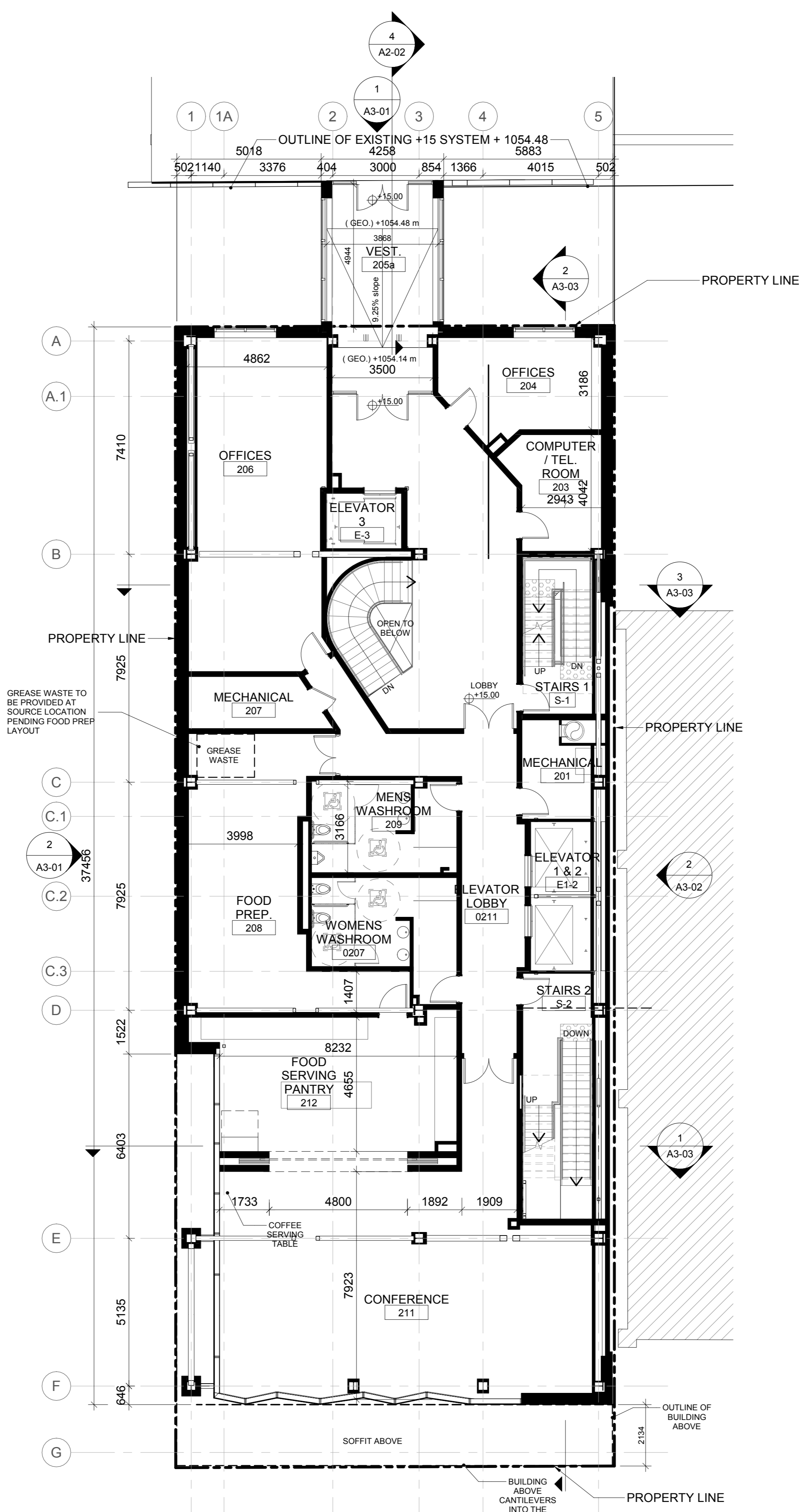
| DATE       | ISSUED FOR              | REV |
|------------|-------------------------|-----|
| 2019-10-18 | DEVELOPMENT PERMIT      | A   |
| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |



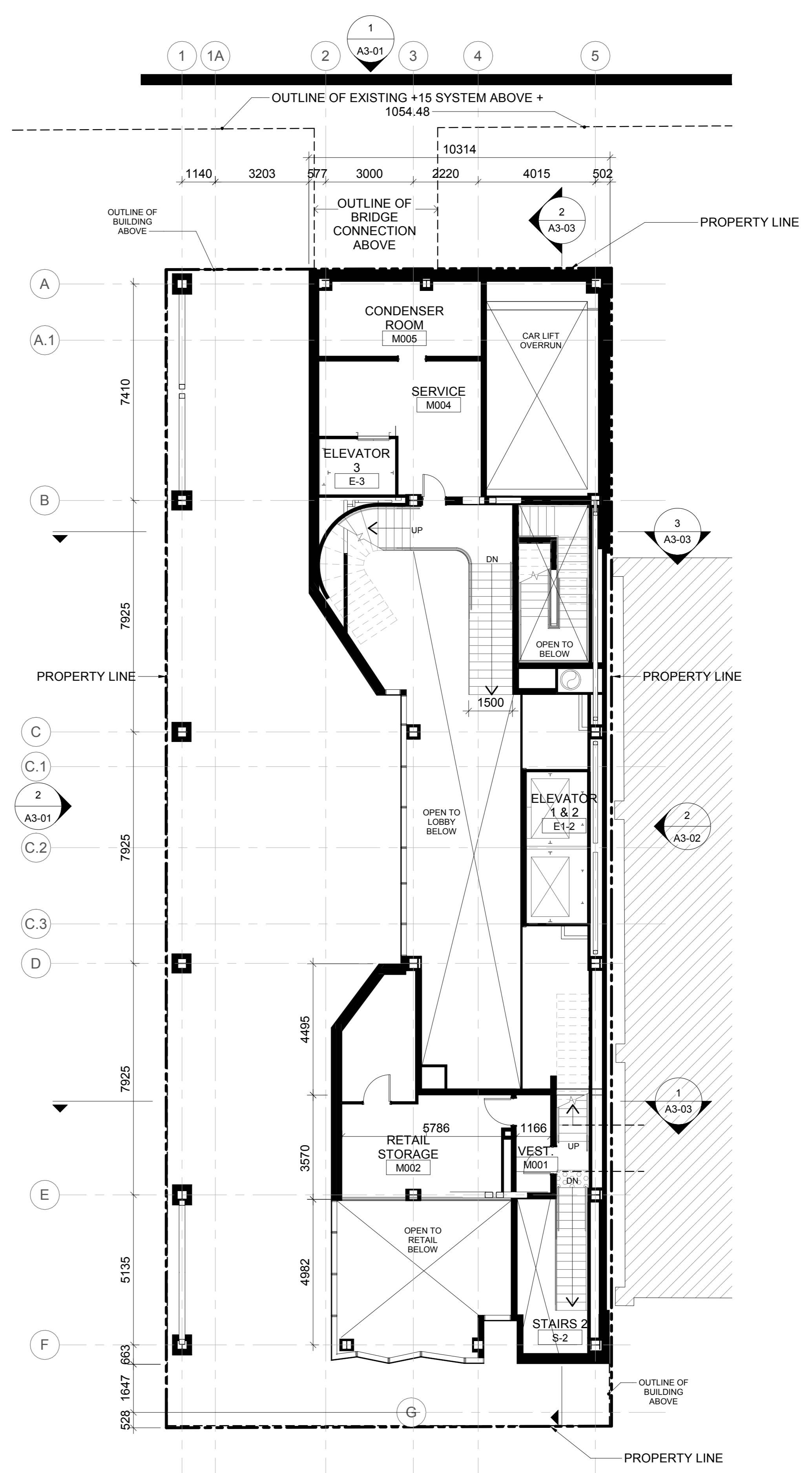
4 SECTION AT BRIDGE CONNECTION  
SCALE: 1:100



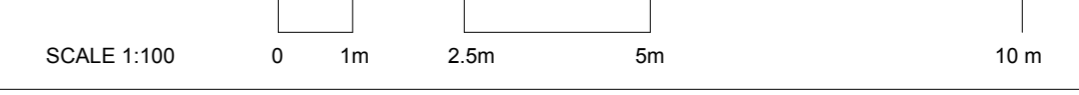
3 TYPICAL FLOOR PLAN (LEVEL 03 - 14)  
SCALE: 1:100



2 LEVEL 02  
SCALE: 1:100

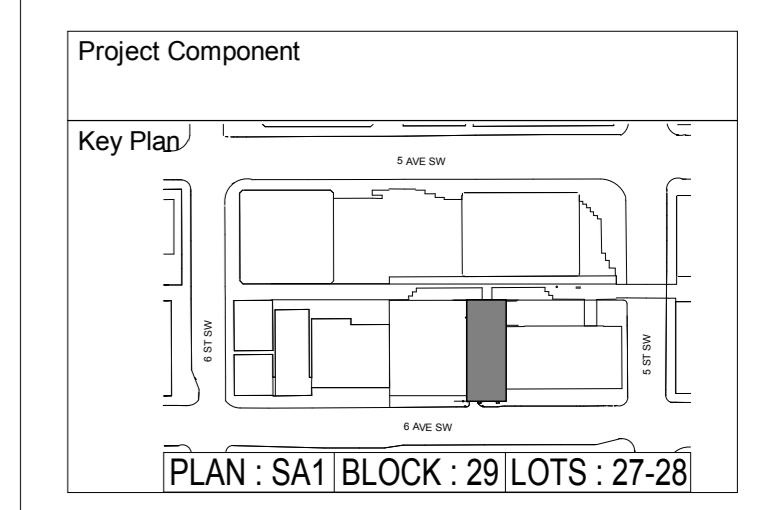


1 LEVEL MEZZANINE  
SCALE: 1:100



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Mechanical: ARROW ENGINEERING  
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Partnership Agreement dated: 1st March 2010

Project Manager: CG, Drawn: MK  
Project Leader: MK, Checked: CG

Client: **TRIPLE ONE PROPERTIES**

2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6

Project: **HAMPTON INN BY HILTON**

614 6th AVENUE S.W.  
CALGARY, ALBERTA T2P 0S4

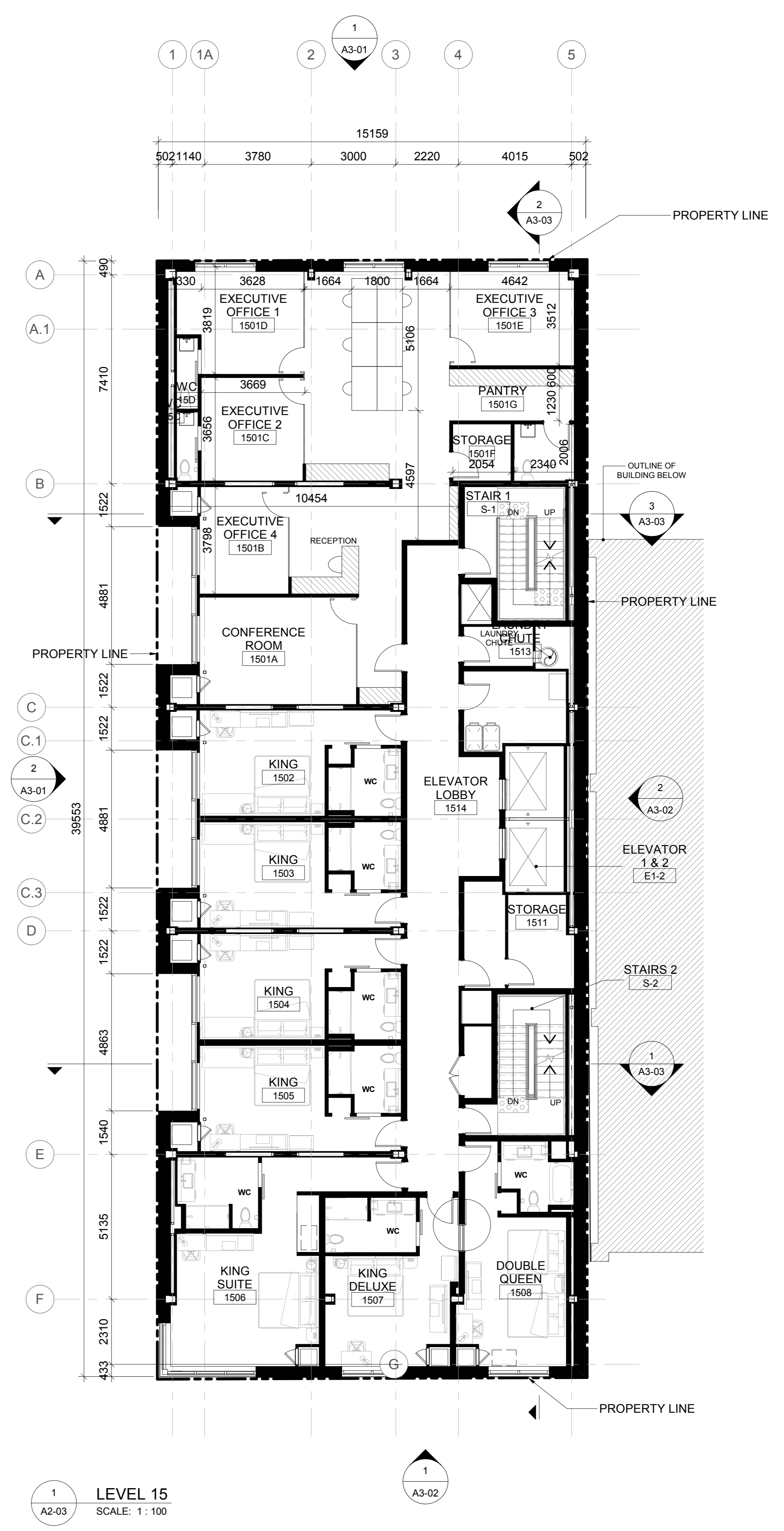
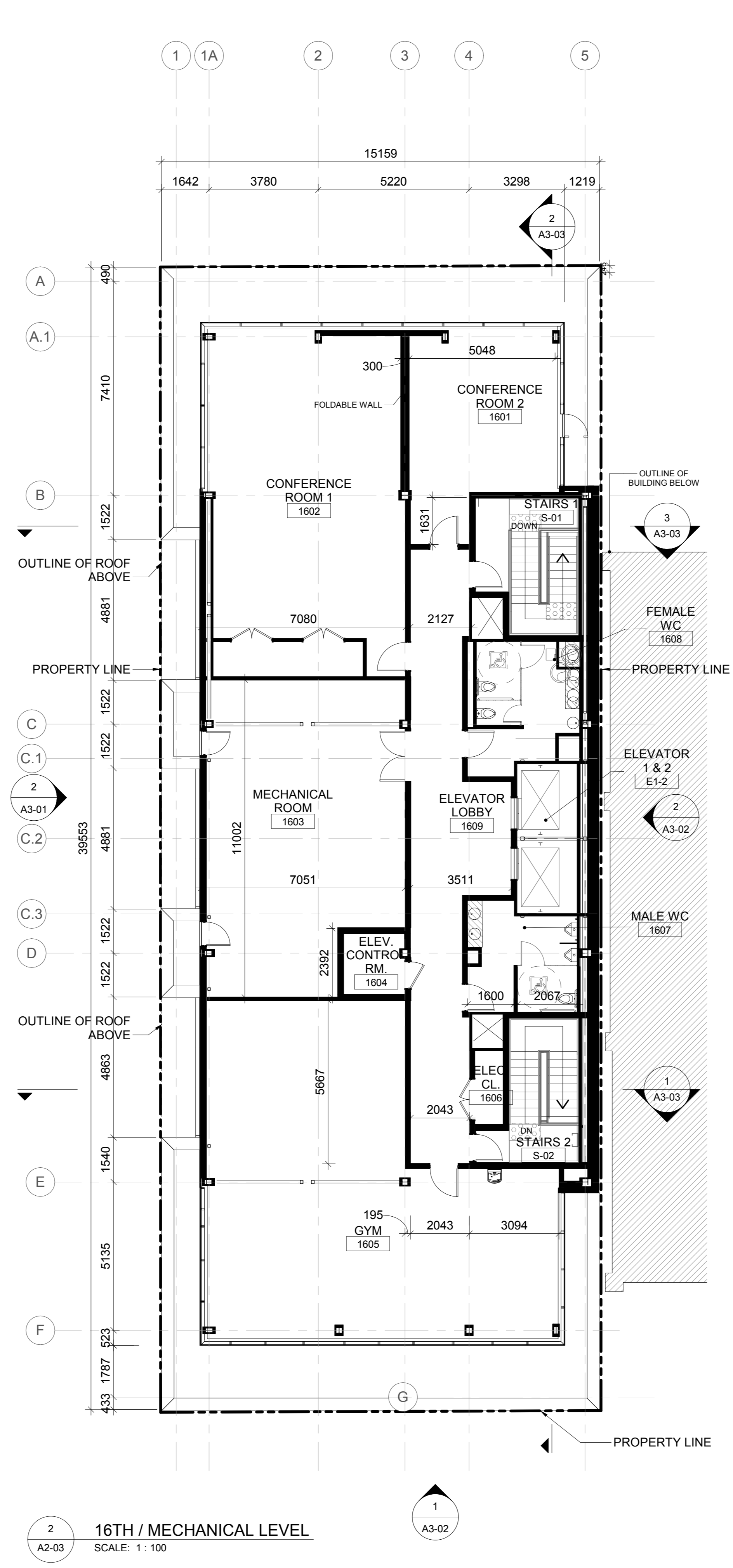
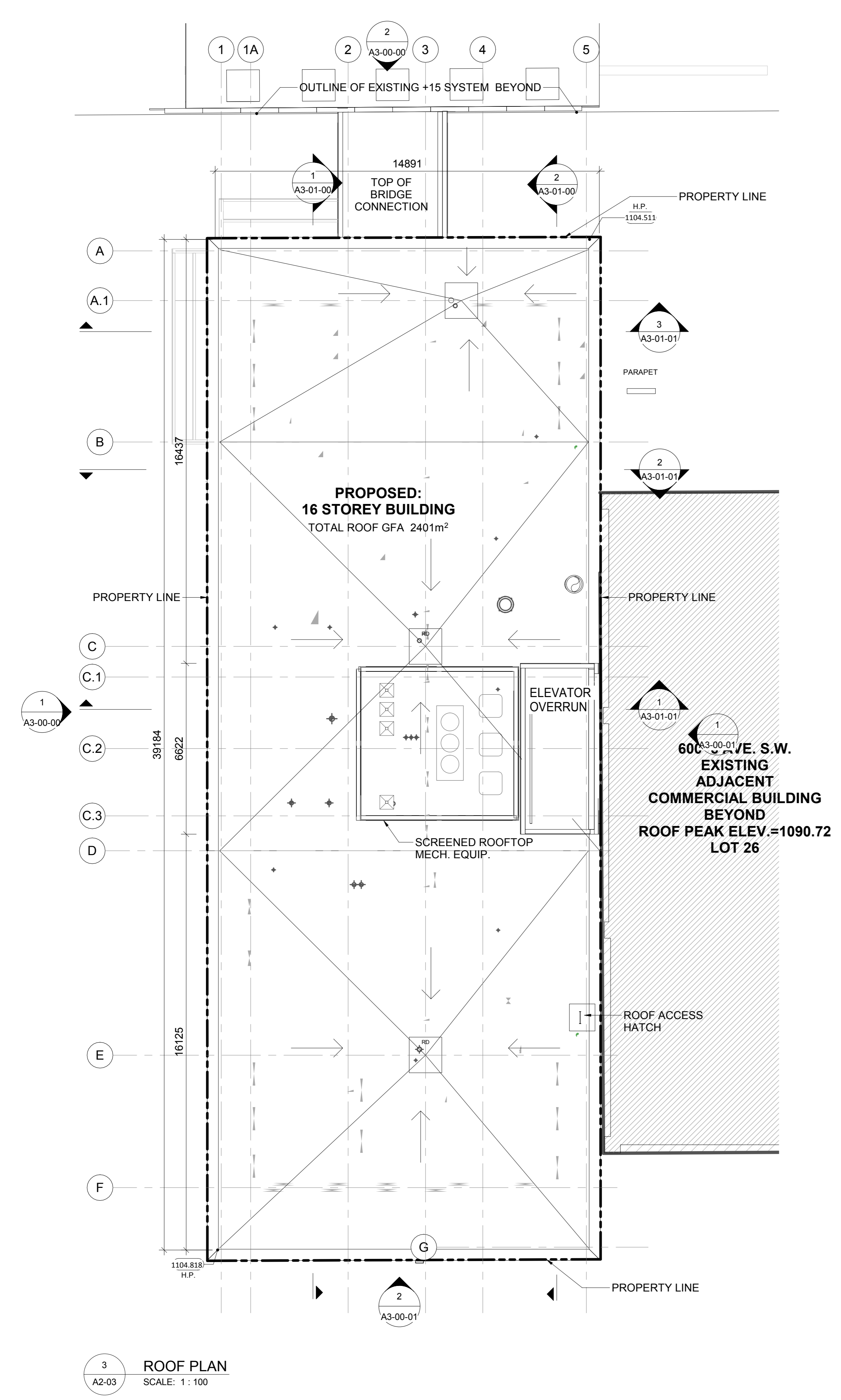
Drawing Title: **PROPOSED LEVEL MEZZANINE, LEVEL 02 & GUESTROOM (TYP 03-14) FLOOR PLANS**

Scale: 1:100

Project No.: ONBL18-0284

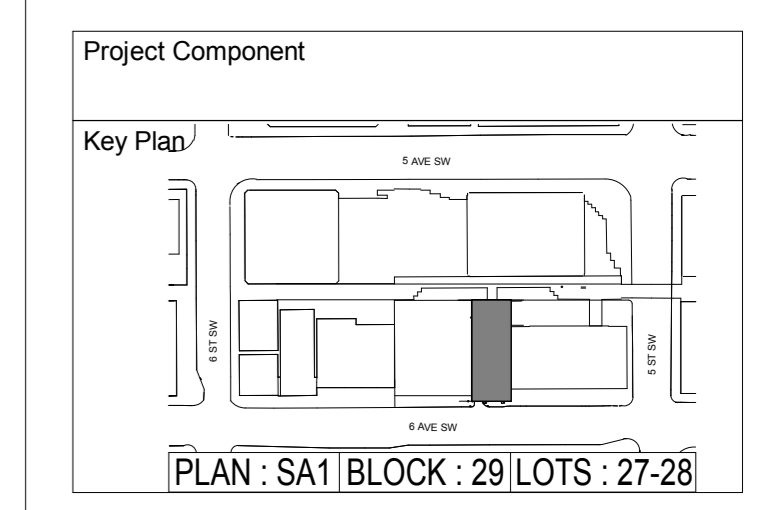
Drawing No.: **A2-02**

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Project Leader: MK

Drawn: MK  
Checked: CG

Client: **TRIPLE ONE PROPERTIES**

2420 37 AVE NE, CALGARY, ALBERTA T2E 8S8

Project: **HAMPTON INN BY HILTON**

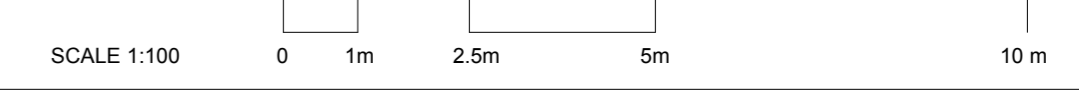
614 6th AVENUE S.W.  
CALGARY, ALBERTA T2P 0S4

Drawing Title: **PROPOSED LEVEL 15, LEVEL 16 FLOOR PLANS & ROOF PLAN**

Scale: 1:100

Project No: ONBL18-0284

Drawing No: **A2-03**





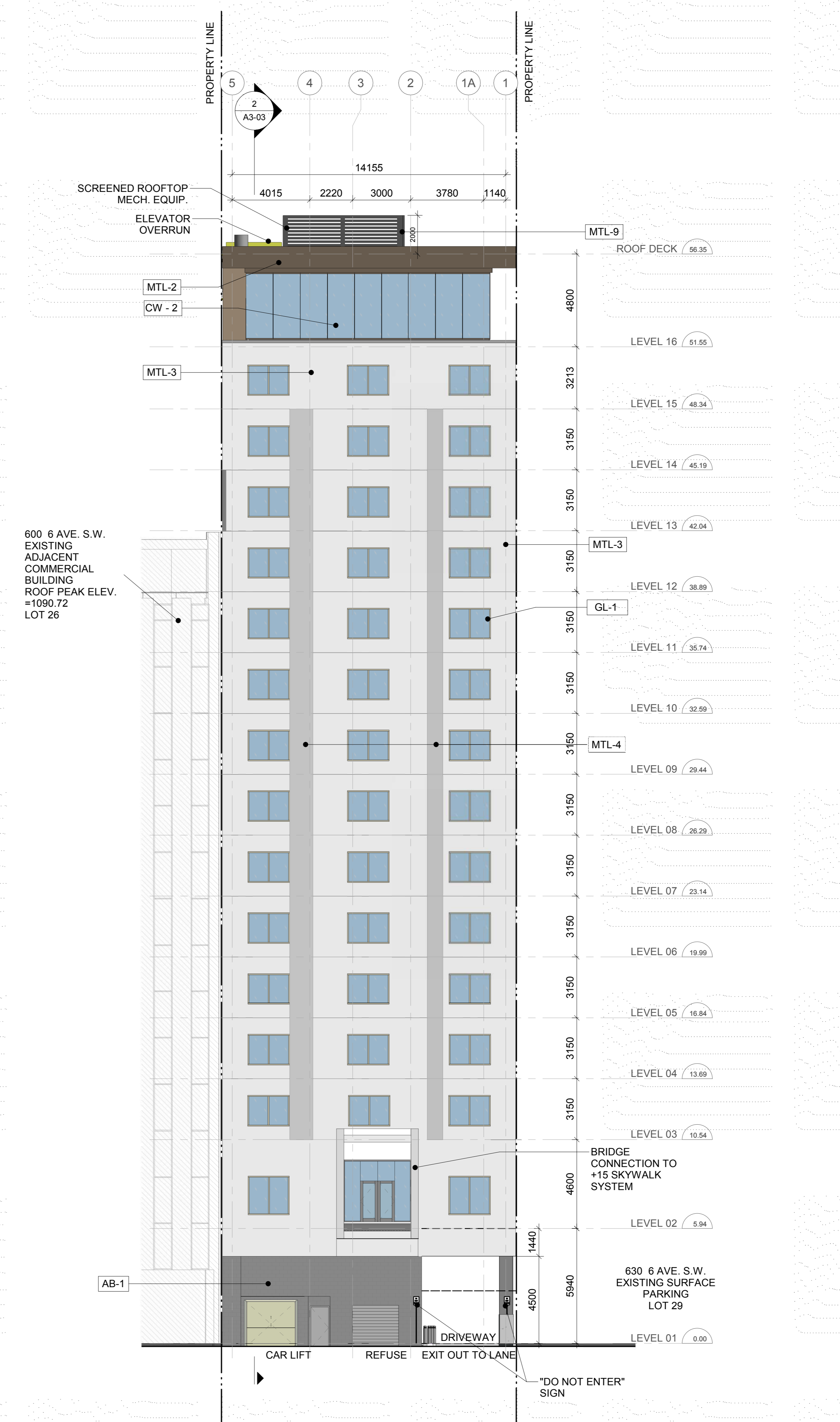
| DATE       | ISSUED FOR              | REV |
|------------|-------------------------|-----|
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| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |

**MATERIAL LEGEND**

|       |  |       |  |
|-------|--|-------|--|
| AB-1  | ARCHITECTURAL CEMENT BLOCK (COLOUR: EBONY GREY)  | MTL-3 | PREFINISHED MODULAR ALUMINUM PANELS VERTICAL MOUNTING (MIX OF 3 MILL FINISHED COLOURS)   |
| CW-1  | TINTED VISION GLASS INSULATED GLASS UNIT - CURTAIN WALL; MULLIONS W/DARK BRONZE ANODIZED ALUMINUM; PREFINISHED ALUMINUM SPANDRAL PANEL (COLOUR: FLUROPAN CHOCOLATE CHIP) | MTL-4 | PREFINISHED PERFORATED ALUMINUM COMPOSITE PANEL VERTICAL MOUNTING (MILL FINISHED COLOUR) |
| CW-2  | CLEAR VISION GLASS INSULATED GLASS UNIT - CURTAIN WALL; MULLIONS W/DARK BRONZE ANODIZED ALUMINUM; PREFINISHED ALUMINUM SPANDRAL PANEL (COLOUR: FLUROPAN CHOCOLATE CHIP)  | MTL-5 | EXPANDED ALUMINUM SCREEN (COLOUR: FLUROPAN CLASSIC GOLD)                                 |
| GL-1  | CLEAR VISION GLASS - PUNCHED WINDOW, CAPS (COLOUR - CHAMPAGNE ANODIZED)  | MTL-6 | PREFINISHED STEEL PANEL INBOARD OF KEYNOTE MTL-6 (COLOUR: FLUROPAN CLASSIC II ONYX)      |
| FRP-1 | FIBRE REINFORCED CEMENT PANEL (COLOUR: LIQUID BLACK)   | MTL-7 | PREFINISHED METAL PANEL (COLOUR: FLUROPAN CLASSIC GOLD)                                  |
| FRP-2 | FIBRE REINFORCED CEMENT PANEL (COLOUR: LARCH)  | MTL-8 | PREFINISHED ALUMINUM COMPOSITE PANEL (COLOUR: CHOCOLATE CHIP)                            |
| MTL-1 | PREFINISHED ALUMINUM COMPOSITE PANEL (COLOUR: PACIFIC CHAMPAGNE)   | MTL-9 | PREFINISHED ALUMINUM SCREEN (COLOUR: BLACK)  |
| MTL-2 | PREFINISHED ALUMINUM COPING & FLASHING (COLOUR - DARK BRONZE ANODIZED)   | PC-1  | PRECAST CONCRETE COVER - COLUMN BASE (COLOUR: GRAPHITE)                                  |



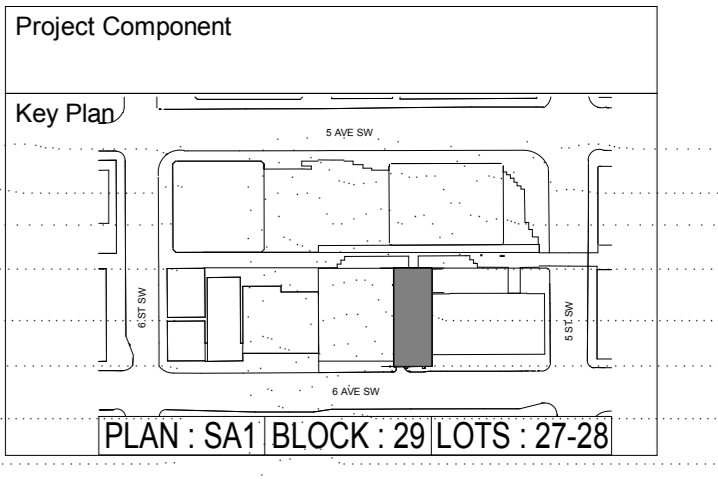
2 WEST ELEVATION  
SCALE: 1:125



1 NORTH ELEVATION  
SCALE: 1:125

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Consultants

Civil: JUBILEE ENGINEERING CONSULTANTS LTD  
 Landscape: NORR ARCHITECTS & ENGINEERS LIMITED  
 Architecture: NORR ARCHITECTS & ENGINEERS LIMITED  
 Structural: CANAM MANIC  
 Mechanical: ARROW ENGINEERING  
 Electrical: ARROW ENGINEERING

Seal(s)

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 Calgary, AB, Canada T2G 4Y5  
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Project Manager: CG  
 Project Leader: MK  
 Client: TRIPLE ONE

Project: **TRIPLE ONE**  
 2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6

Project: **HAMPTON INN BY HILTON**  
 614 8th AVENUE S.W.  
 CALGARY, ALBERTA T2P 0S4

Drawing Title: **NORTH AND WEST ELEVATIONS**

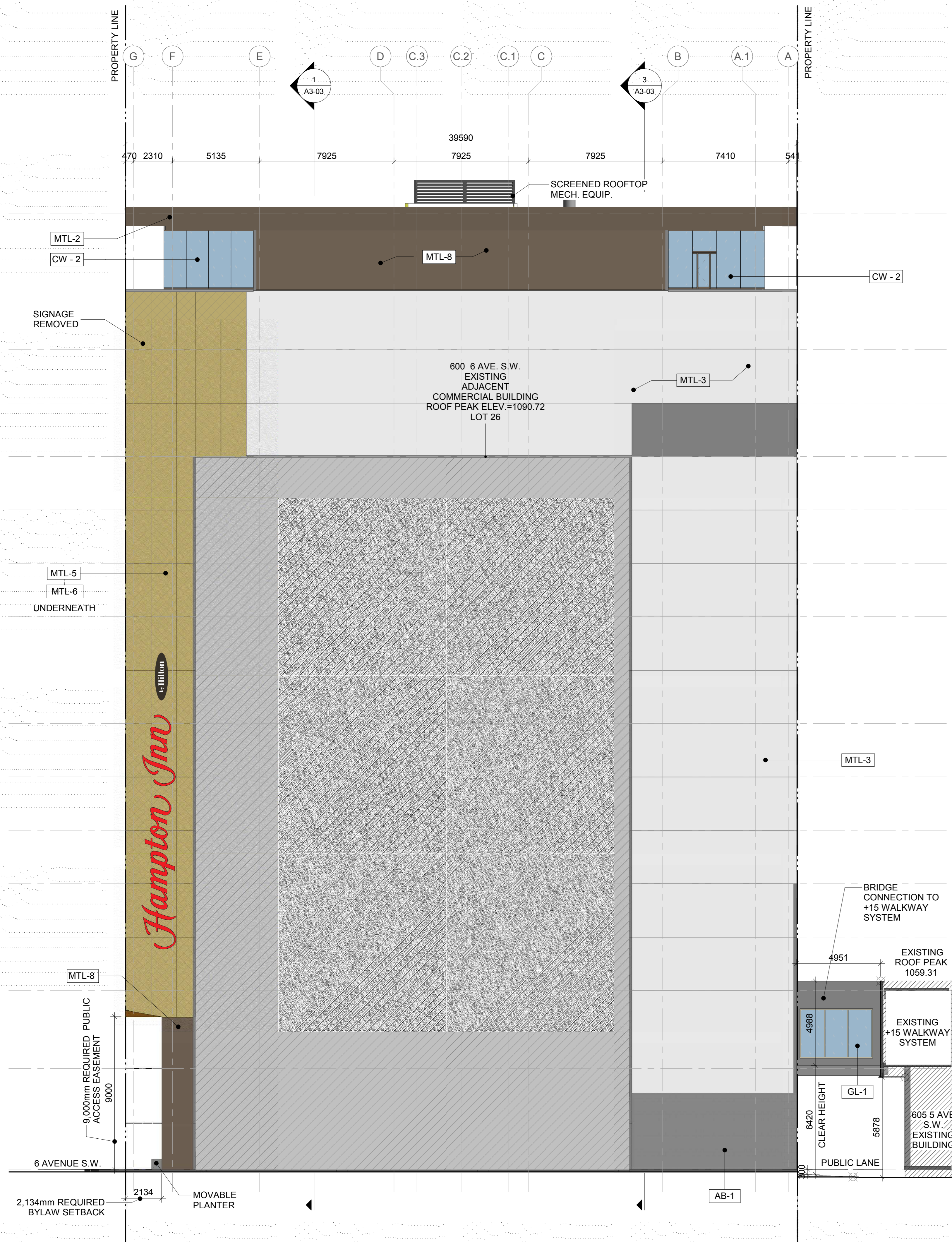
Scale: 1:125  
 Project No.: ONBL18-0284  
 Drawing No.: **A3-01**



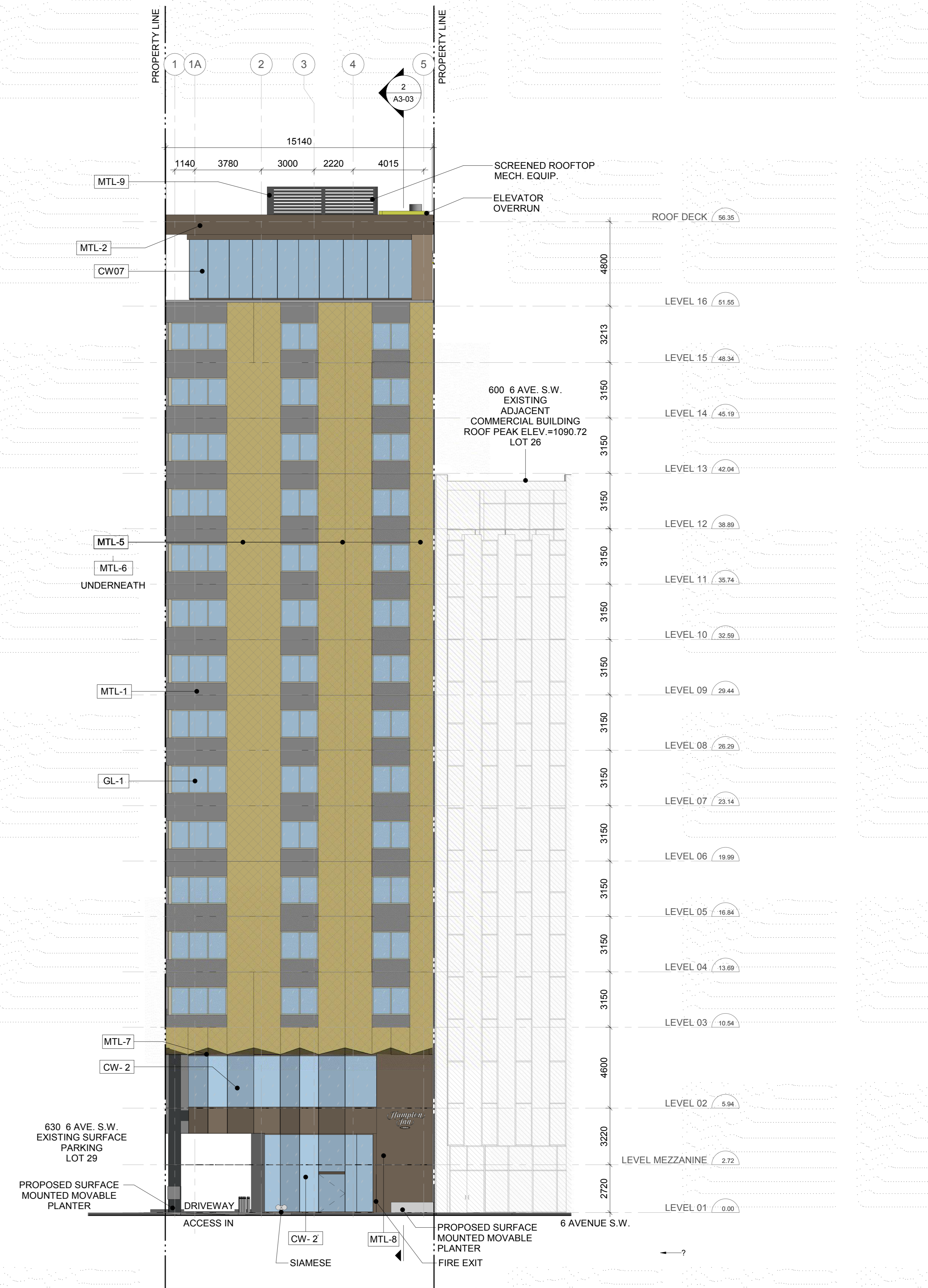
| DATE       | ISSUED FOR              | REV |
|------------|-------------------------|-----|
| 2019-10-18 | DEVELOPMENT PERMIT      | A   |
| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |

**MATERIAL LEGEND**

|       |  |       |  |
|-------|--|-------|--|
| AB-1  | ARCHITECTURAL CEMENT BLOCK (COLOUR: EBONY GREY)  | MTL-3 | PREFINISHED MODULAR ALUMINUM PANELS VERTICAL MOUNTING (MIX OF 3 MILL FINISHED COLOURS)   |
| CW-1  | TINTED VISION GLASS INSULATED GLASS UNIT - CURTAIN WALL; MULLIONS W/DARK BRONZE ANODIZED ALUMINUM; PREFINISHED ALUMINUM SPANDRAL PANEL (COLOUR: FLUROPAN CHOCOLATE CHIP) | MTL-4 | PREFINISHED PERFORATED ALUMINUM COMPOSITE PANEL VERTICAL MOUNTING (MILL FINISHED COLOUR) |
| CW-2  | CLEAR VISION GLASS INSULATED GLASS UNIT - CURTAIN WALL; MULLIONS W/DARK BRONZE ANODIZED ALUMINUM; PREFINISHED ALUMINUM SPANDRAL PANEL (COLOUR: FLUROPAN CHOCOLATE CHIP)  | MTL-5 | EXPANDED ALUMINUM SCREEN (COLOUR: FLUROPAN CLASSIC GOLD)                                 |
| GL-1  | CLEAR VISION GLASS - PUNCHED WINDOW; CAPS (COLOUR - CHAMPAGNE ANODIZED)  | MTL-6 | PREFINISHED STEEL PANEL INBOARD OF KEYNOTE MTL-6 (COLOUR: FLUROPAN CLASSIC II ONYX)      |
| FRP-1 | FIBRE REINFORCED CEMENT PANEL (COLOUR: LIQUID BLACK)   | MTL-7 | PREFINISHED METAL PANEL (COLOUR: FLUROPAN CLASSIC GOLD)                                  |
| FRP-2 | FIBRE REINFORCED CEMENT PANEL (COLOUR: LARCH)  | MTL-8 | PREFINISHED ALUMINUM COMPOSITE PANEL (COLOUR: CHOCOLATE CHIP)                            |
| MTL-1 | PREFINISHED ALUMINUM COMPOSITE PANEL (COLOUR: PACIFIC CHAMPAGNE)   | MTL-9 | PREFINISHED ALUMINUM SCREEN (COLOUR: BLACK)  |
| MTL-2 | PREFINISHED ALUMINUM COPING & FLASHING (COLOUR - DARK BRONZE ANODIZED)   | PC-1  | PRECAST CONCRETE COVER - COLUMN BASE (COLOUR: GRAPHITE)                                  |



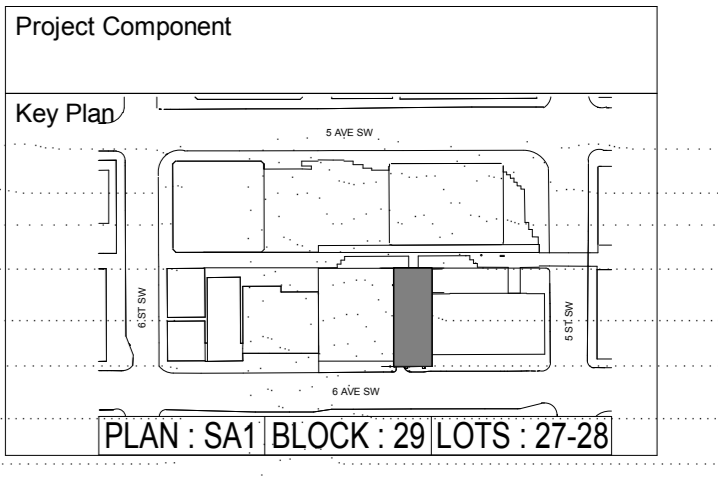
2 EAST ELEVATION  
SCALE: 1 : 125



1 SOUTH ELEVATION  
SCALE: 1 : 125

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Architecture: NORR ARCHITECTS & ENGINEERS LIMITED  
Structural: CANAM MANIC  
Mechanical: ARROW ENGINEERING  
Electrical: ARROW ENGINEERING

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Project Manager: CG  
Project Leader: MK  
Client: TRIPLE ONE PROPERTIES

Drawn: MK  
Checked: CG

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Project: **HAMPTON INN BY HILTON**

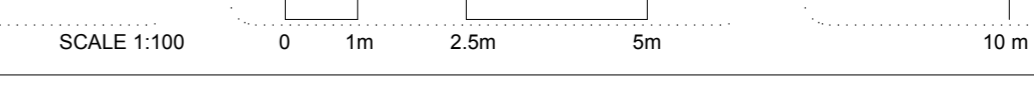
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CALGARY, ALBERTA T2P 0S4

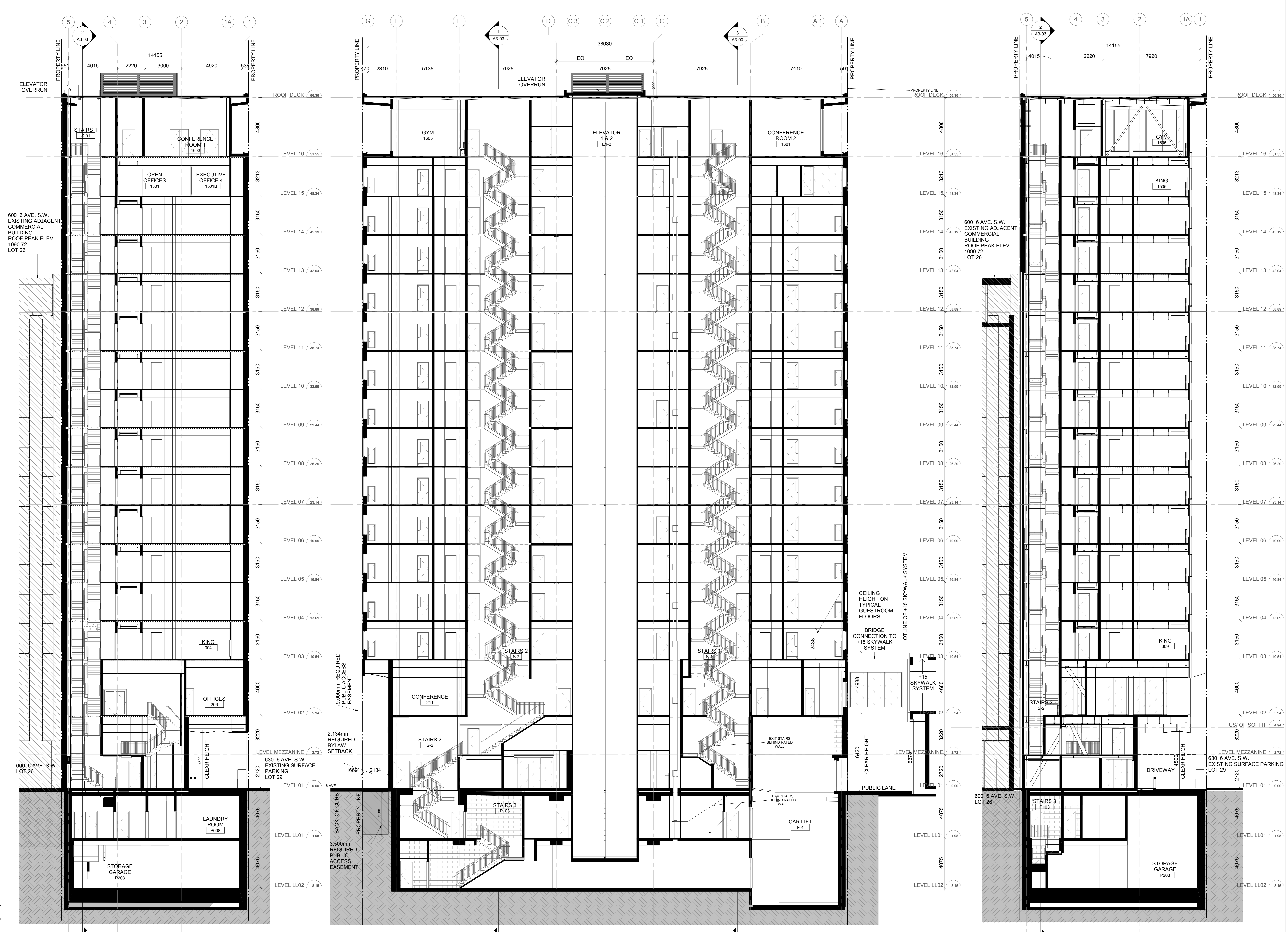
Drawing Title: **SOUTH AND EAST ELEVATIONS**

Scale: 1 : 125

Project No.: ONBL18-0284

Drawing No.: **A3-02**





600 6 AVE. S.W.  
EXISTING ADJACENT  
COMMERCIAL  
BUILDING  
ROOF PEAK ELEV. =  
1090.72  
LOT 26

600 6 AVE. S.W.  
EXISTING ADJACENT  
COMMERCIAL  
BUILDING  
ROOF PEAK ELEV. =  
1090.72  
LOT 26

630 6 AVE. S.W.  
EXISTING SURFACE  
PARKING  
LOT 29

3 SECTION @ STAIR 1  
A3-03 SCALE: 1:100

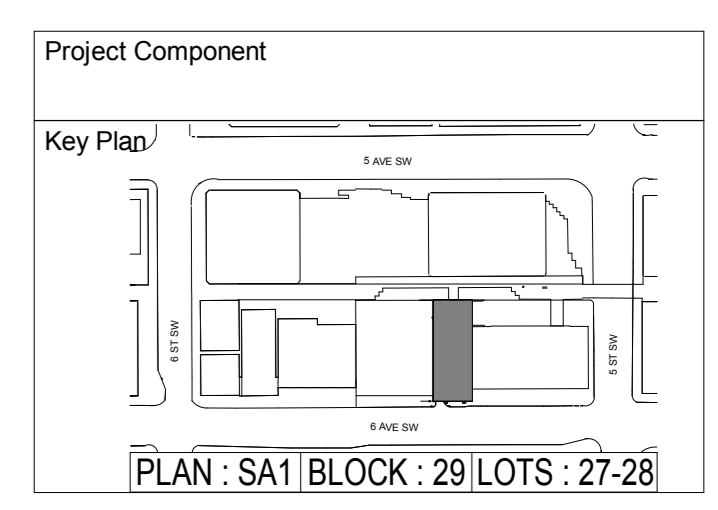
2 SOUTH TO NORTH SECTION AT ELEVATORS  
A3-03 SCALE: 1:100

1 SECTION @ STAIR 2  
A3-03 SCALE: 1:100

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- Architecture: NORR ARCHITECTS & ENGINEERS LIMITED
- Structural: CANAM MANAC
- Mechanical: ARROW ENGINEERING
- Electrical: ARROW ENGINEERING

Seal(s)

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NORR Architects Engineers Planners  
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Project Manager  
CG

Project Leader  
MK

Client  
**TRIPLE ONE PROPERTIES**

2420 37 AVE. NE, CALGARY, ALBERTA T2E 8S6

Project  
**HAMPTON INN BY HILTON**

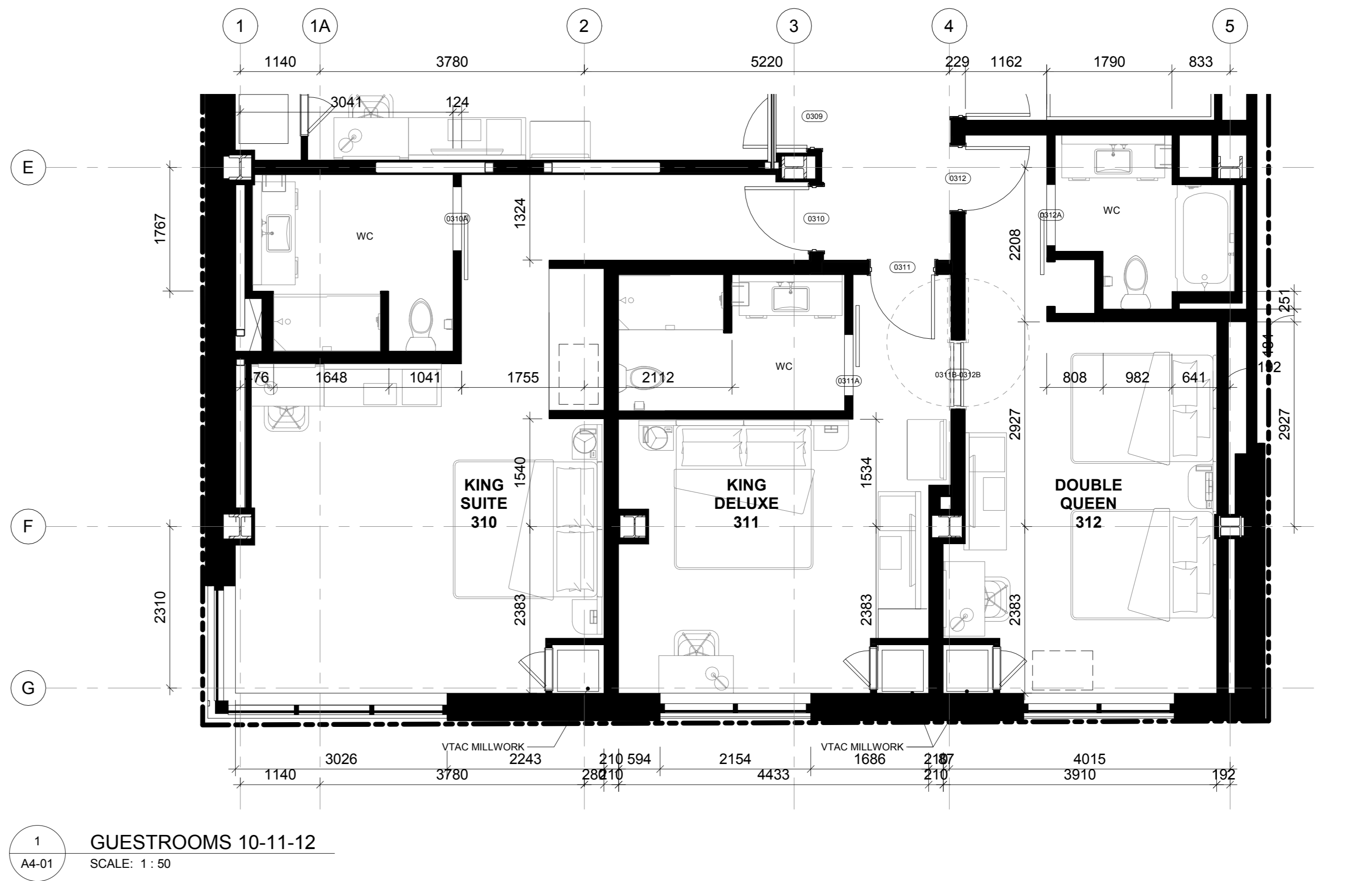
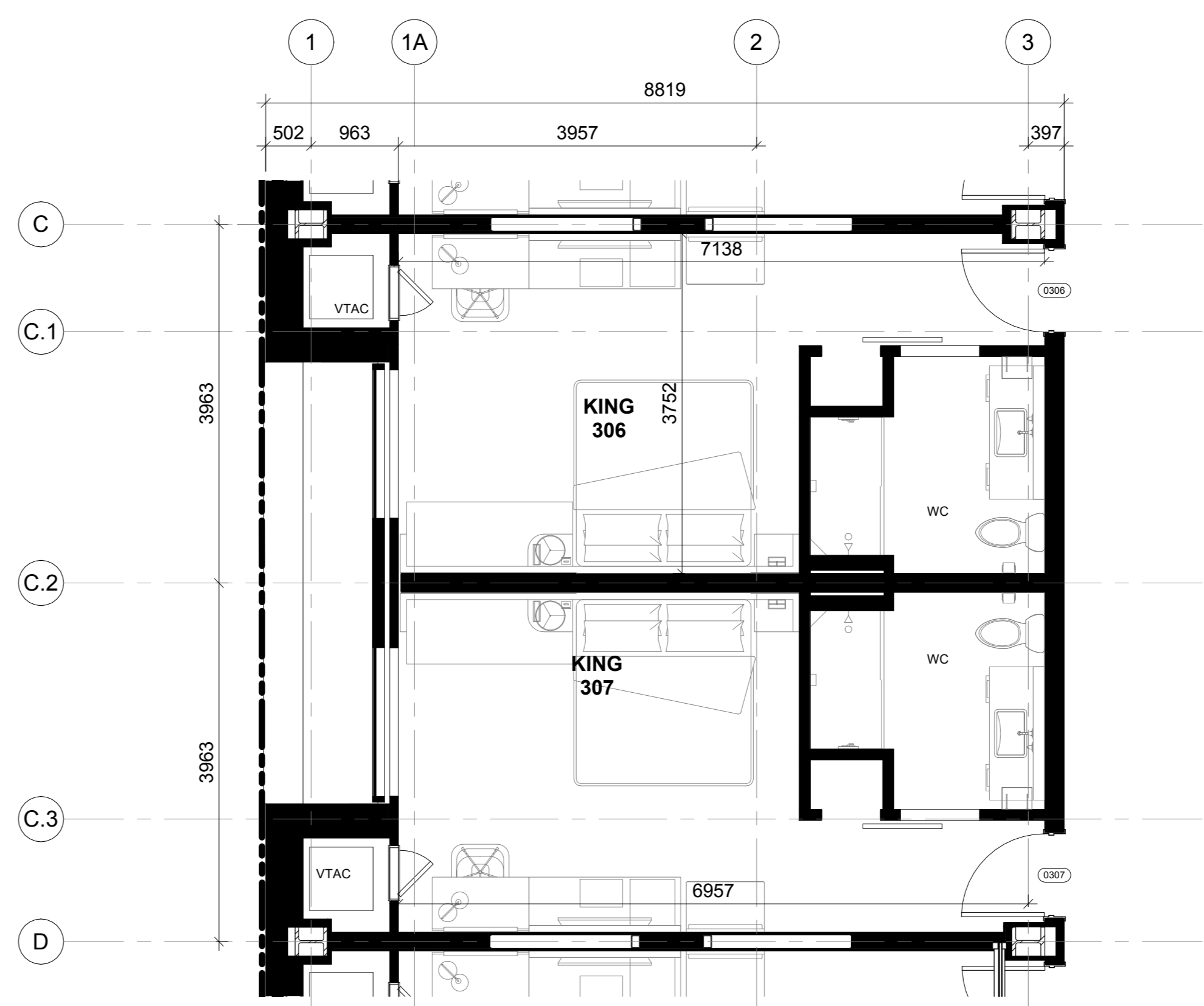
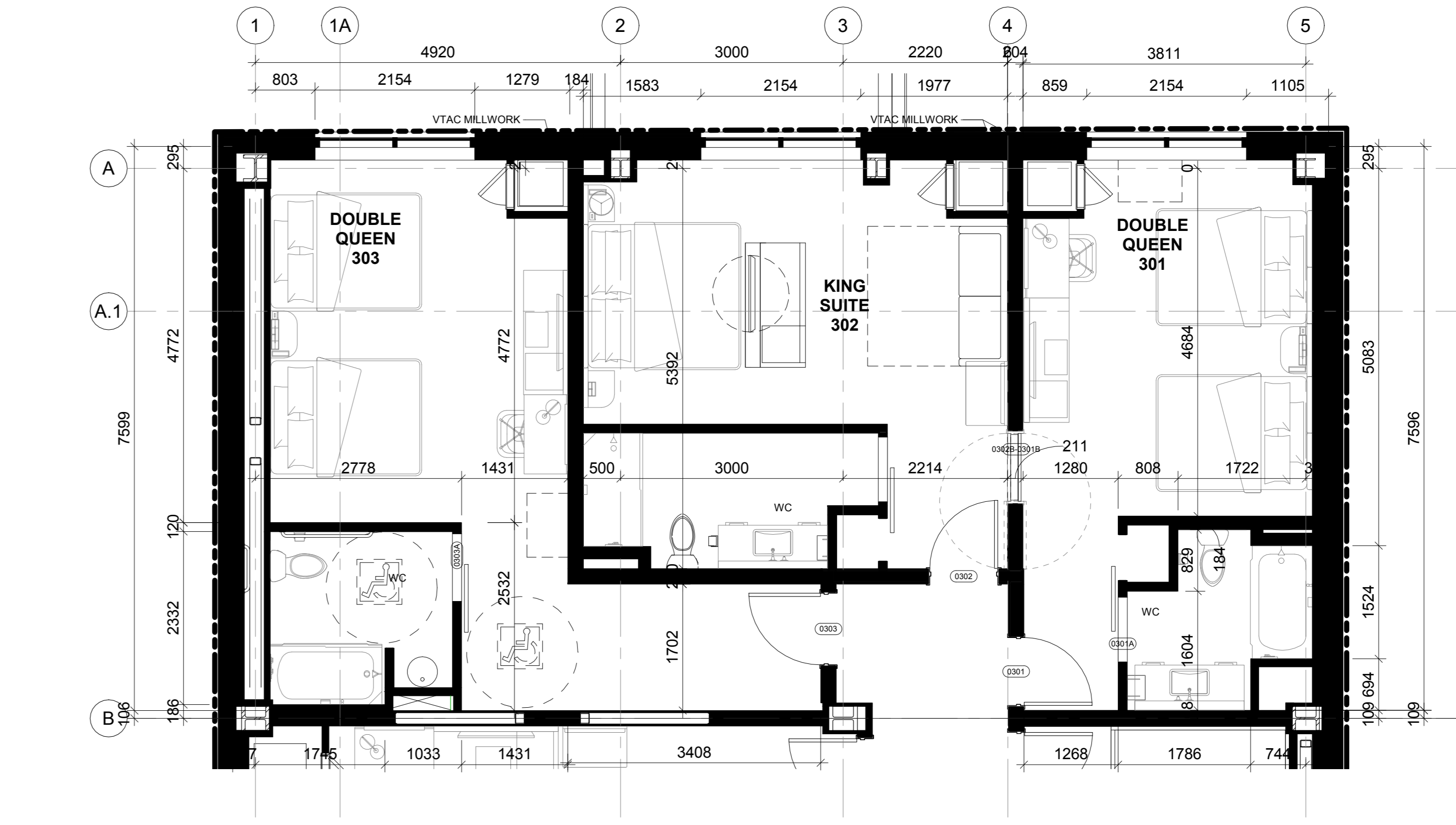
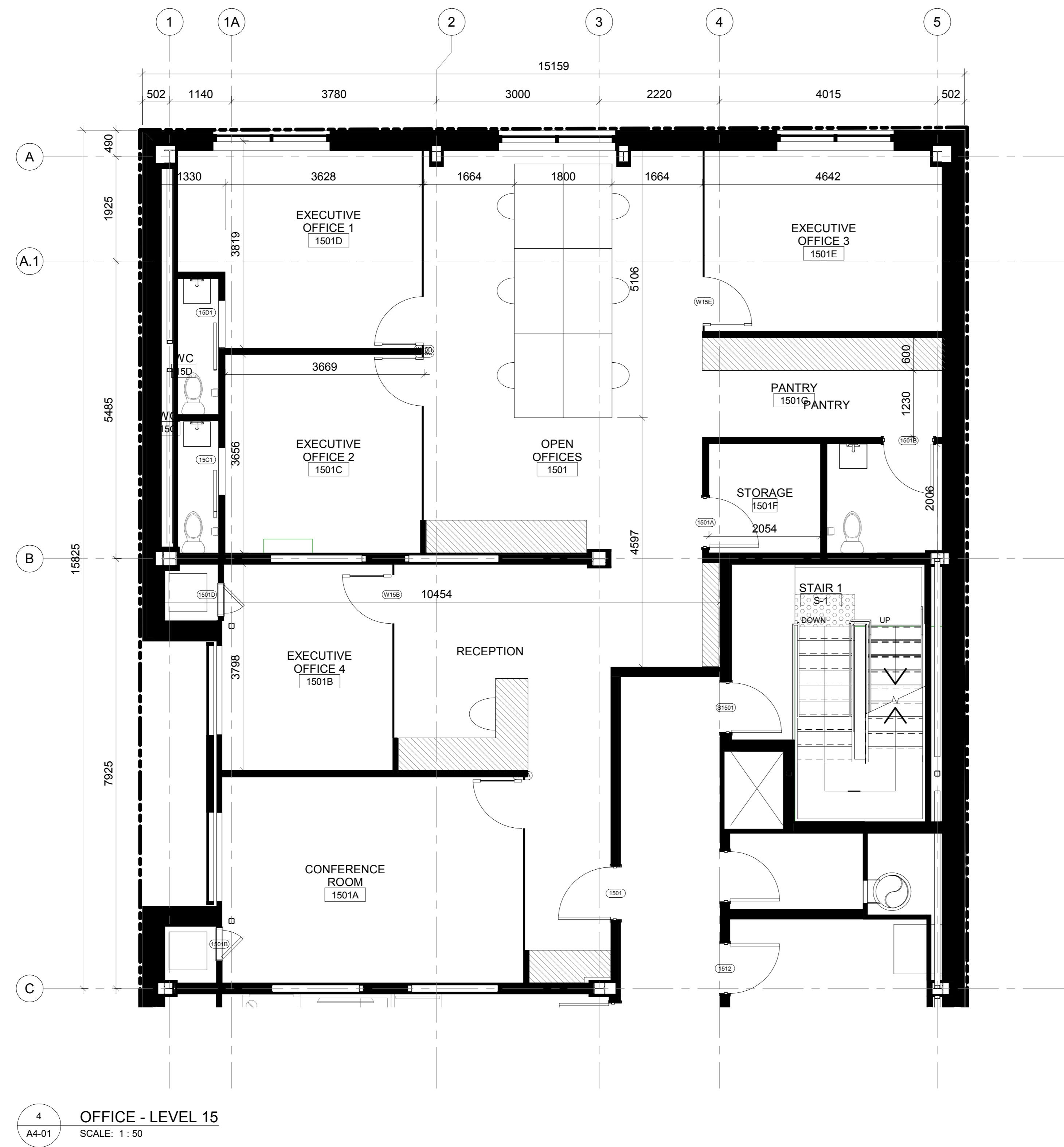
614 6th Avenue S.W.  
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Drawing Title  
**BUILDING SECTIONS**

Scale  
1 : 100

Project No.  
ONBL18-0284

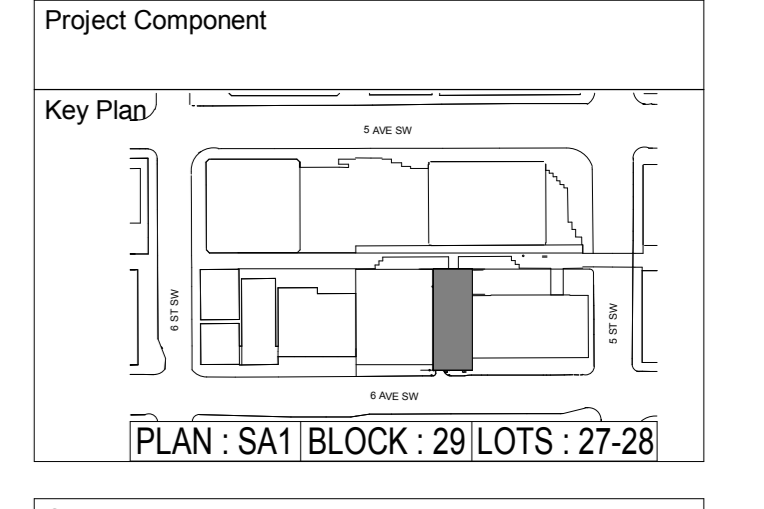
Drawing No.  
**A3-03**



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 Electrical: ARROW ENGINEERING

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|                       |               |
|-----------------------|---------------|
| Project Manager<br>CG | Drawn<br>MK   |
| Project Leader<br>MK  | Checked<br>CG |

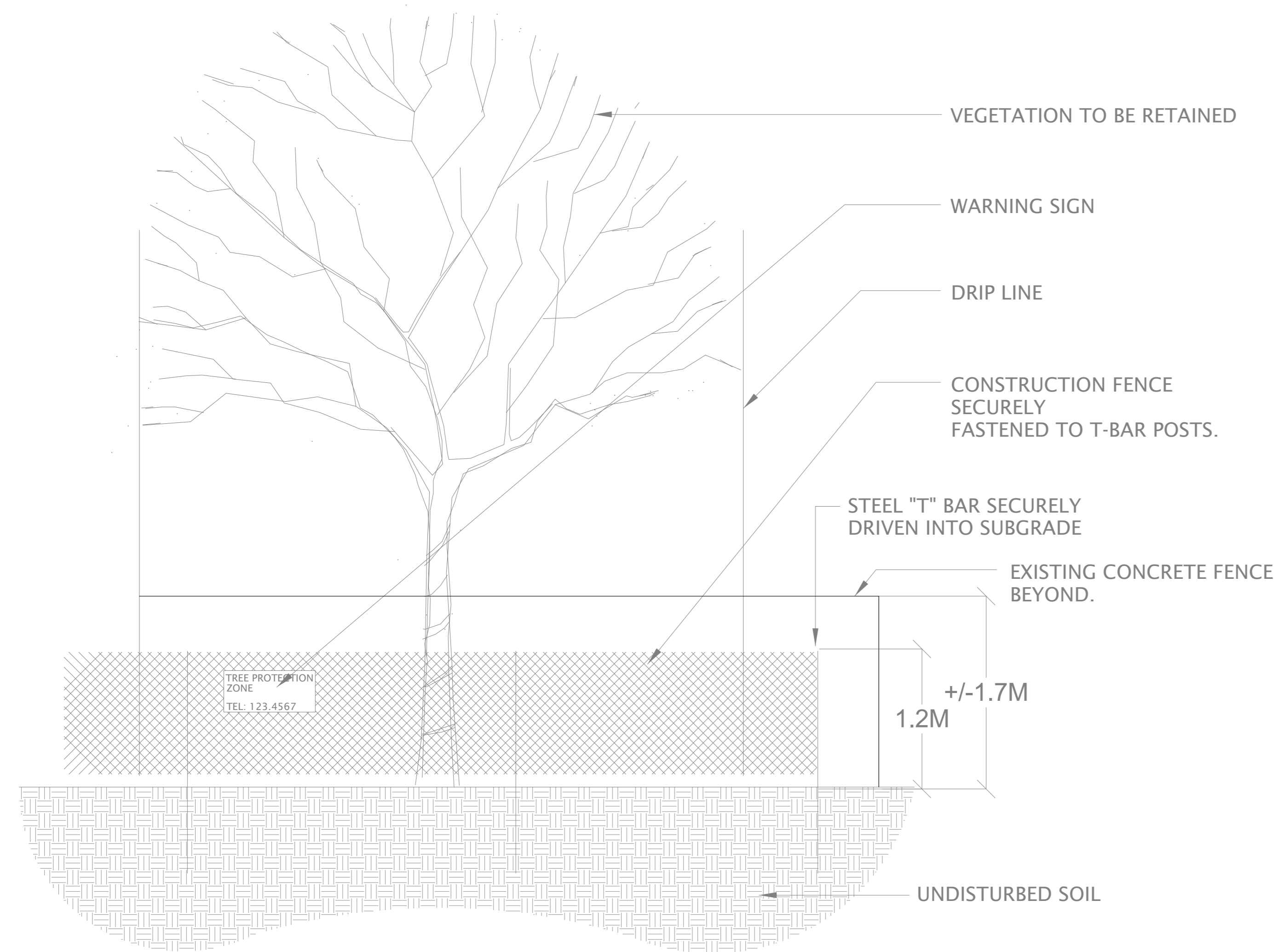
Client  
**TRIPLE ONE PROPERTIES**  
 2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6

Project  
**HAMPTON INN BY HILTON**  
 614 6th AVENUE S.W.  
 CALGARY, ALBERTA T2P 0S4  
 Drawing Title  
**SUITE PLANS**

Scale  
 1 : 50  
 Project No.  
 ONBL18-0284  
 Drawing No.  
**A4-01**

NOTES:

1. A tree protection fence will be provided as shown.
2. Area within tree protection zone to be free of all construction materials and vehicles.
3. Any damage to existing concrete and tree vaults shall be the responsibility of the contractor and will need to be reconstructed as per City of Calgary Standards.



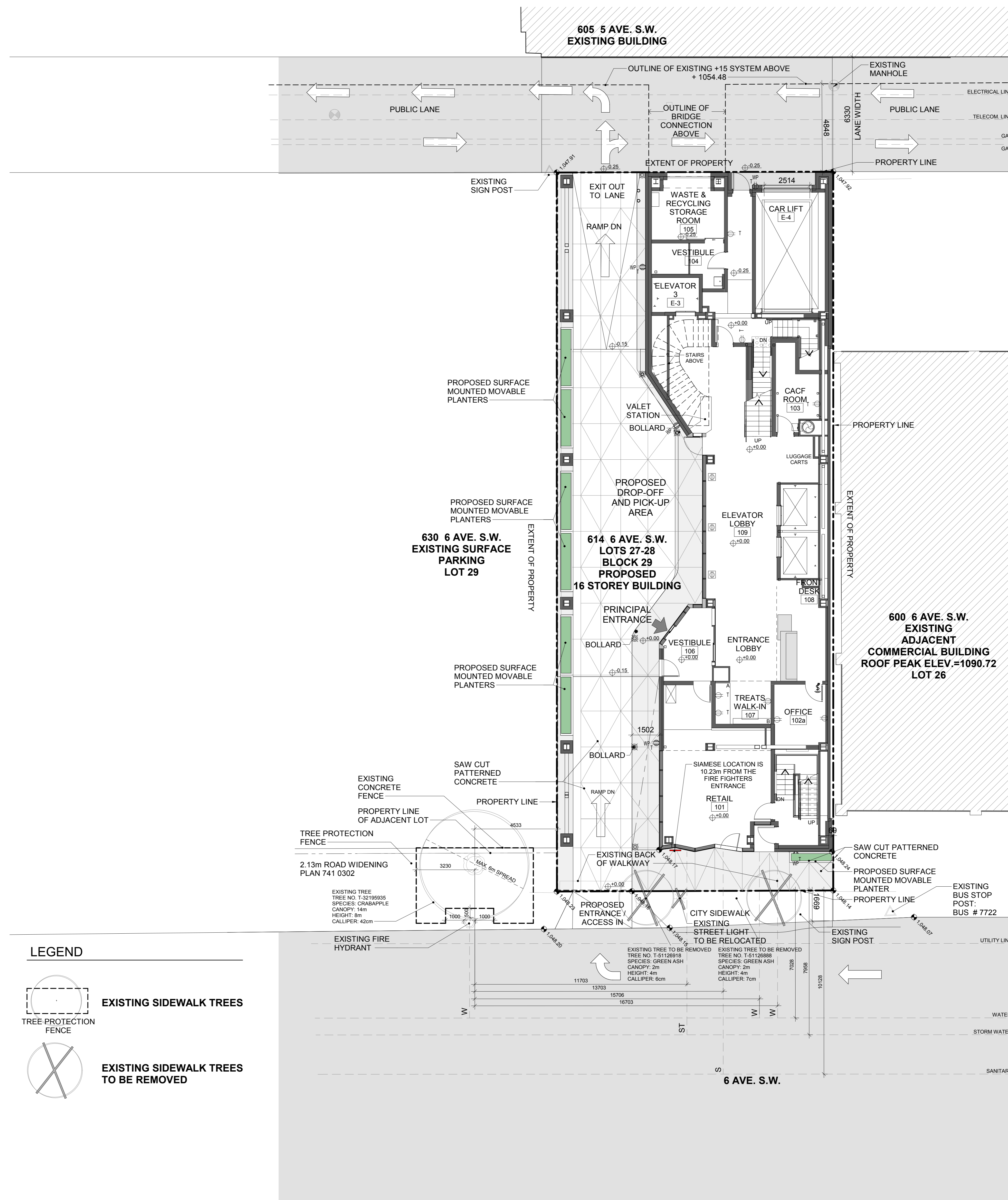
2 TREE PROTECTION PLAN  
L1-01 N.T.S.

CITY OF CALGARY TREE PROTECTION GUIDELINES:

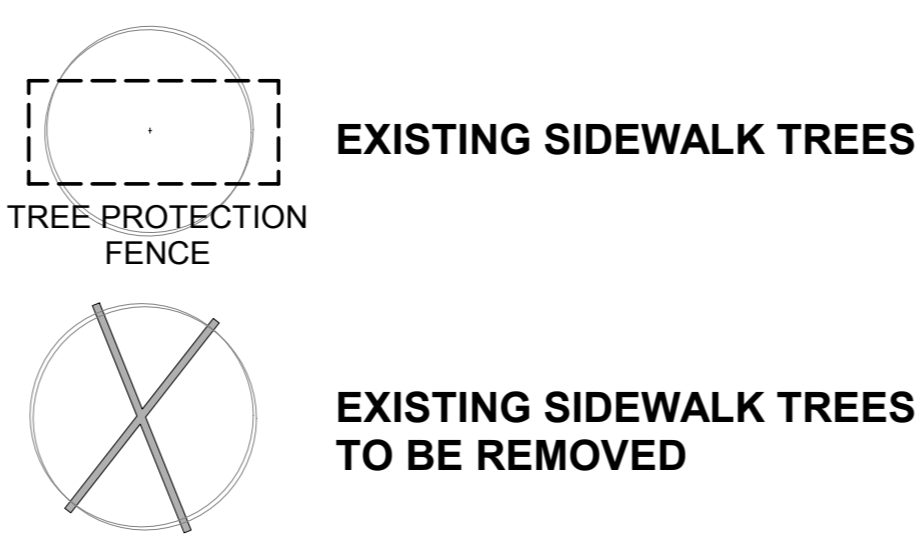
1. All retained trees as shown shall be identified on site in such a way so that all workers shall know that the vegetation is to be retained. Identification of retained vegetation on site shall be by a Tree Protection Barrier as detailed here. For safety reasons be sure to call 'Alberta 1 Call' at 1-800-242-3447 before installation and make sure it does not interfere with fire hydrants, obscure intersections or traffic signage.
2. The tree's roots, trunk, crown and tree protection zone must be adequately protected. The Tree Protection Barrier must be at least 1.2m (4') in height, 3m (10') around the circumference of the trunk or, to the tree dripline (whichever is greater) and installed in all locations where trees are to be retained. The fencing or barrier material shall be a bright, contrasting colour and be durable. Fence posts shall be metal T-posts, comparable or heavier. Fencing will be maintained in an upright position throughout the duration of the project. Ensure the barrier is placed in between the sidewalk and property line to ensure that there is no unauthorized soil disturbance or entry into the area.
3. A warning sign shall be displayed on all tree protection barriers. The sign shall be a minimum of 30.5x40.5cm and clearly state, "WARNING- TREE PROTECTION ZONE" and indicate contact phone number. Sign to be obtained with applicable permit from The City of Calgary Parks.
4. Mulching to the edge of the Tree Protection Zone will be required. The mulch shall consist of untreated wood chips 2-3cm in size and shall be spread to a 5cm (2") depth. The mulch should be kept at least 5cm (2") from tree trunk.
5. No excavation, stock-piling of materials or other construction related activity shall occur within the Tree Protection Barrier.
6. Trees and other vegetation within the the Tree Protection Barrier shall be adequately maintained throughout the construction process. They shall be watered sufficiently, particularly if the root system has been disturbed during construction. A Tree watering schedule will be required when the development is to last more than two weeks.
7. Root and branch pruning shall only be completed with approval from and in accordance with The City of Calgary and the Consultant.
8. If any damage occurs to the protected vegetation (regardless of how) the Contractor is required to notify the permit holder within two working days.

CITY OF CALGARY COMPENSATION GUIDELINES

- A. Damage occurring to the landscape or trees on public lands resulting from construction will require rehabilitation/restoration at the cost of the Contractor.
- B. Trees removed or damaged, as the result of work, shall be compensated as per methodology from the Council of Tree and Landscape Appraisers (published by the International Society of Arboriculture).



LEGEND

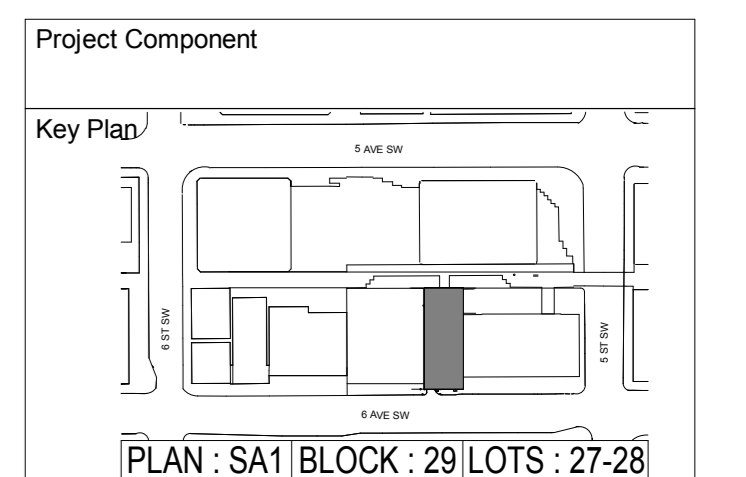


1 LANDSCAPE PLAN - PROPOSED  
L1-01 SCALE: 1:100

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|------------|-------------------------|-----|
| 2019-10-18 | DEVELOPMENT PERMIT      | A   |
| 2020-01-27 | DEVELOPMENT PERMIT - R1 | C   |

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Consultants

Civil: JUBILEE ENGINEERING CONSULTANTS LTD.  
Landscape: NORR ARCHITECTS & ENGINEERS LIMITED  
Architecture: NORR ARCHITECTS & ENGINEERS LIMITED  
Structural: CANAM MANAC  
Mechanical: ARROW ENGINEERING  
Electrical: ARROW ENGINEERING

Seal(s)

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|  |               |
|--|---------------|
| Project Manager<br>CG                    | Drawn<br>MK   |
| Project Leader<br>MK                     | Checked<br>CG |
| Client<br><b>TRIPLE ONE PROPERTIES</b>   |               |
| 2420 37 AVE NE, CALGARY, ALBERTA T2E 8S6 |               |

Project  
**HAMPTON INN BY HILTON**

614 6th AVENUE S.W.  
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Drawing Title  
**LANDSCAPE PLAN**

|             |              |
|-------------|--------------|
| Scale       | As indicated |
| Project No. | ONBL18-0284  |
| Drawing No. | L1-01        |

