








City of Calgary
CALGARY PLANNING COMMISSION
FEBRUARY 6th, 2020



Location

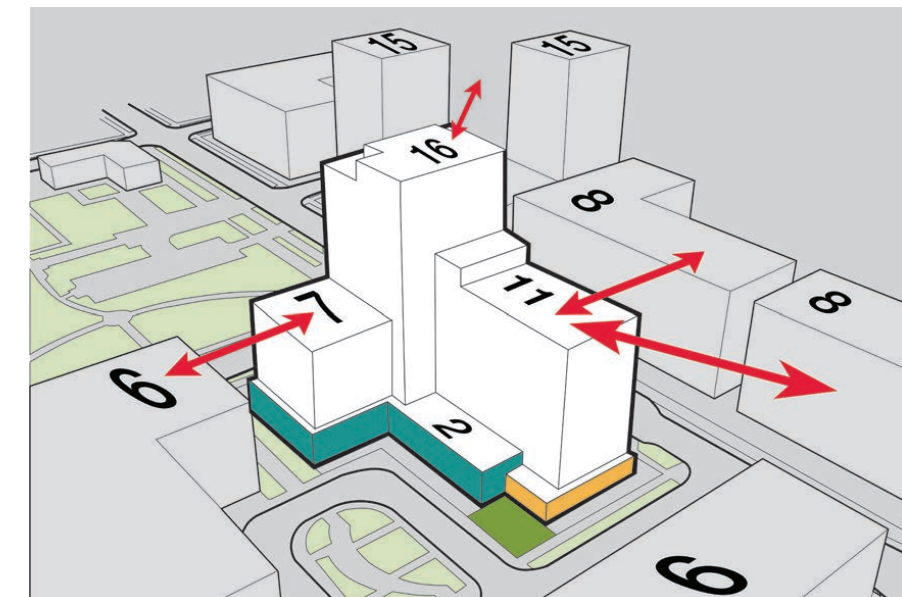
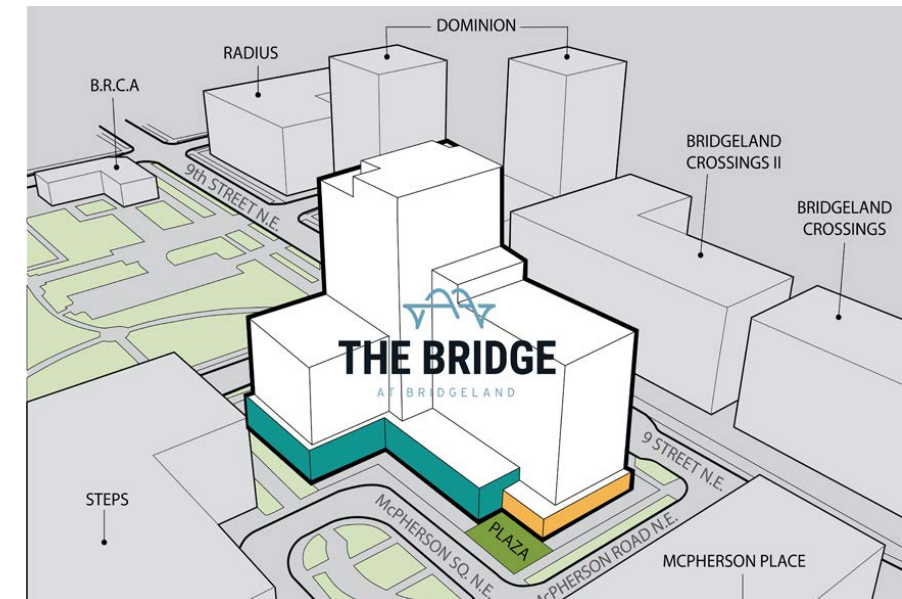
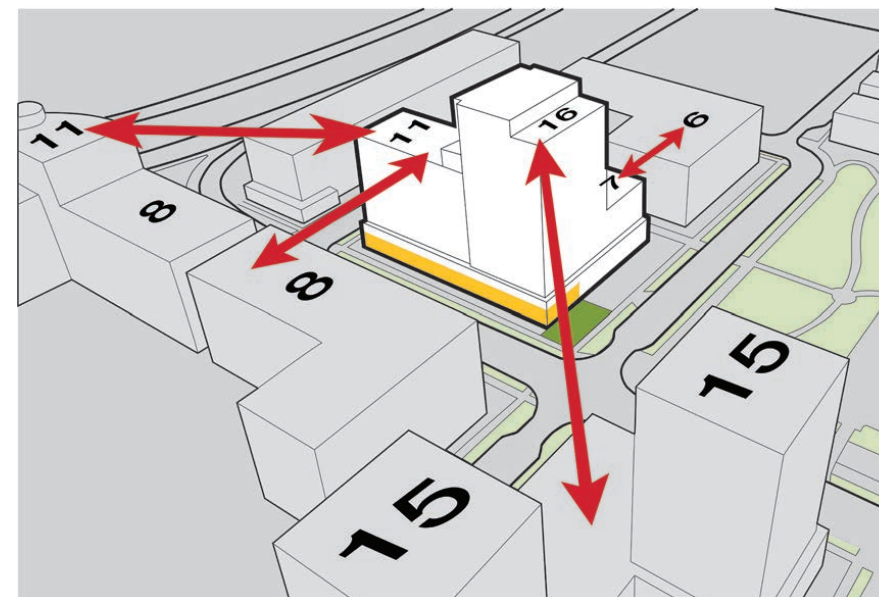
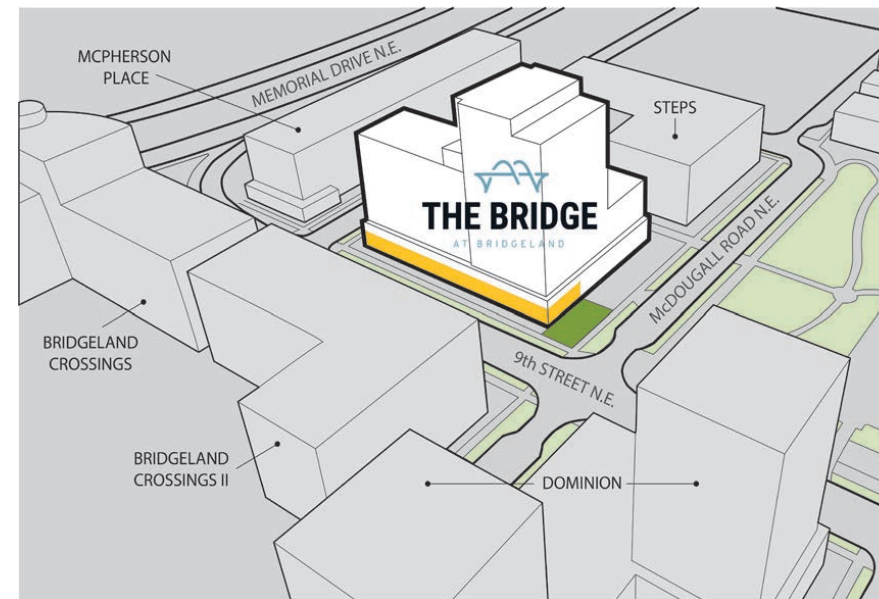
The Bridges Site 13
950 McPherson Sq. NE
Within 250m (3 min) walking distance of Bridgeland / Memorial LRT station
Within 300m from the designated Main Street 1st Ave NE
Within 300m from the Bow River Pathway system
Well-served by parks, open space, located between Murdoch Park, McDougall Park and St. Patrick's Island Park

-  Subject Site
-  400 m walkshed
-  LRT Station
-  Main Street
-  Bow River Pathway



Massing Diagrams - An Urban Conversation

In determining the overall building massing, every endeavour was made to design “The BRIDGE” building massing as responsive to the existing and proposed context. “The BRIDGE” has been designed as tiered building with a 16-storey tower on the Northeast corner of the site, a 11-storey wing to the South, and a 7-storey wing to the West. The intent was to have an ‘urban conversation’ with the contextual buildings and match neighbouring massing. As such, the 7-storey wing to the West is similar in scale to the 6-storey “STEPS” development. The 11-storey wing is a reaction to the taller 8-storey/11-storey “Bridgeland Crossings” development. Placing 16-storey the tower element on the Northeast corner of the site was intentional to bring prominence to this important intersection and as a reaction to the two 15-storey towers proposed for the “Dominion” development. As the “Dominion” towers were design away from the corner intersection, “The BRIDGE” proposed tower element ‘fills-in-the-gap’, creating a dynamic massing interface with the surrounding buildings. Finally, “The BRIDGE” was designed with a 2-storey residential massing along McPherson Sq. NE to create a more residential / pedestrian scaled massing as one approaches the primary residential building entry.



The Bridge at Bridgeland | CPC Presentation

Site/Landscape Plan



NOTE: More detailed architectural and Landscape Site Plans can be found in the DP drawings.



The Bridge at Bridgeland | CPC Presentation

Building Elevations + Materials



East Elevation

North Elevation



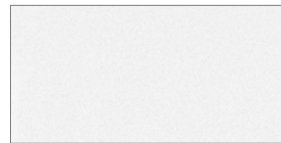
The Bridge at Bridgeland | CPC Presentation

Building Elevations + Materials



The Bridge at Bridgeland | CPC Presentation

Exterior Finish Materials



1a COMPOSITE METAL WALL PANEL
COLOUR: WHITE



1b COMPOSITE METAL WALL PANEL
COLOUR: BLACK LAVA



5a LARGE FORMAT WALL TILE
COLOUR: RUST



5b LARGE FORMAT WALL TILE
COLOUR: WHITE



18 CAST-IN-PLACE CONCRETE PLANTERS
COLOUR / FINISH: STANDARD CONCRETE,
SANDBLAST FINISH



ROOFTOP CONCRETE PAVERS:
COLOUR: SILVER-WHITE + TAMARACK



6a ALUMINUM WINDOW WALL SYSTEM C/W
POWDERCOATED FRAMES AND FLASHINGS
FRAME COLOUR: MEDIUM GREY GLASS
COLOUR: CLEAR VISION GLASS



6b ALUMINUM WINDOW WALL SYSTEM C/W
POWDERCOATED FRAMES AND FLASHINGS
FRAME COLOUR: MEDIUM GREY SPANDREL
COLOUR: MEDIUM GREY TO MATCH FRAMES



5c LARGE FORMAT WALL TILE
COLOUR: BLACK



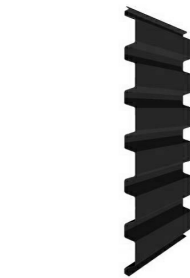
4 BRICK VENEER, STACK BOND (*RUNNING BOND SHOWN*)
COLOUR: "IRONSTONE" (RED/BROWN), W/ GREY MORTAR



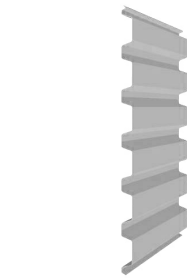
ROOFTOP DECORATIVE STONE BALLAST
COLOUR: 2-TONE (RUNDL E + CHINOOK)



CAST-IN-PLACE CONCRETE PAVING (PLAZAS)
2 COLOURS: STANDARD GREY + DARK GREY,
BROOM FINISH, SAW-CUT.



25a PREFINISHED CORRUGAGTED METAL PANEL
(MECH. PENTHOUSE "LOUVER" WALL)
COLOUR: CHARCOAL BLACK



25b PREFINISHED CORRUGAGTED METAL PANEL
(MECH. PENTHOUSE "LOUVER" WALL)
COLOUR: WHITE



26 CONCRETE BOARD PANELS
COLOUR: TWO-TONE GREY



25b RETAIL CANOPY
FASCIA: PRE-FINISHED METAL BREAK SHAPE - BLACK
SOFFIT: "WOOD-LOOK" DARK CHERRY
(*INSPIRATION IMAGE FOR CANOPY / SOFFIT*)



CITY BOULEVARDS / SIDEWALKS
CAST-IN-PLACE CONCRETE, STANDARD GREY,
BROOM FINISH, SAWCUT, TO CITY OF
CALGARY STANDARDS.

At Grade Residential

All ground floor residential suites are elevated ± 0.6m above grade, and are accessed directly from the street. These units are set back from the pedestrian sidewalks that run in front of these units. Tiered landscape planters, complete with trees and shrubs, give a measure of screening and privacy for the resident patios.



West Residential Elevation (McPherson Square N.E.)



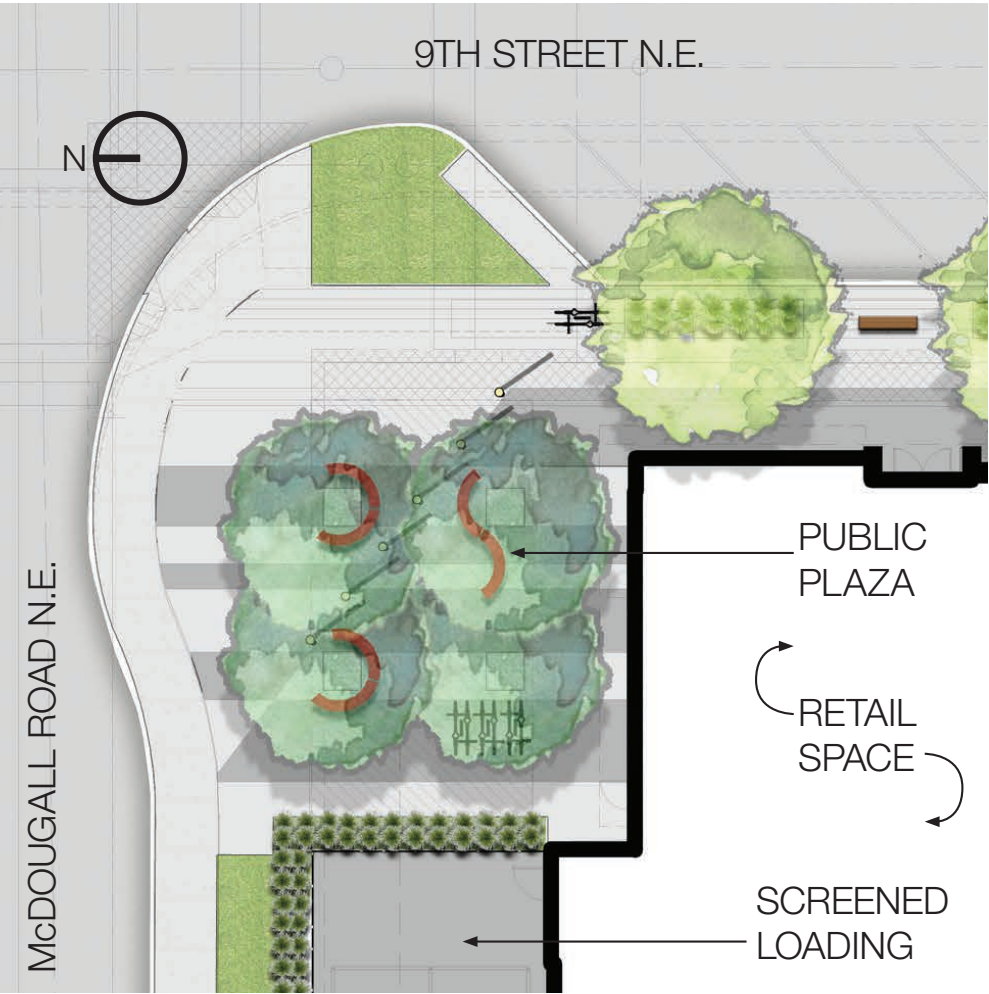
The Bridge at Bridgeland | CPC Presentation

Northeast Public Plaza

9th Street & McDougall Road N.E.

The Northeast corner of the site (9th Street & McDougall Rd N.E.) has been dedicated as a publicly accessible plaza, activating this important corner with urban pedestrian use. This corner plaza connects to the proposed at-grade retail programming within the building, as well as promoting a gathering place before moving on to the adjacent Murdoch Park or

crossing the street to visit the at-grade retail at the adjacent ‘Dominion’ development. This plaza has been designed with playful urban furniture, planted soft landscape elements, urban pedestrian scaled light-poles and decorative concrete paving.



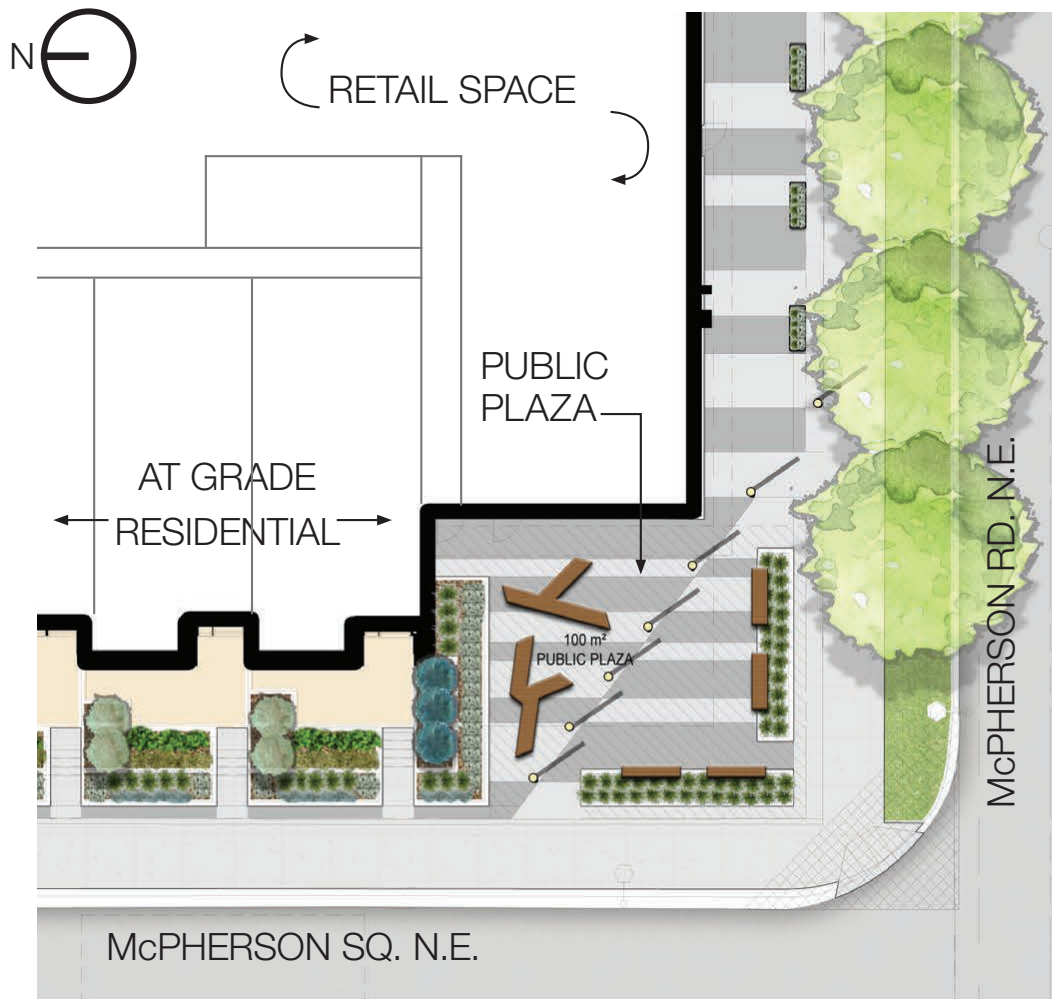
The Bridge at Bridgeland | CPC Presentation

Southwest Public Plaza

McPherson Road & McPherson Square N.E.

The Southwest corner of the site (McPherson Rd. & McPherson Sq. N.E.) has been dedicated as a publicly accessible plaza. This corner plaza has similar design elements as the NE plaza, but with a slightly quieter feel. As this plaza faces primarily residential streets,

the urban furniture and planters have been designed to help enclose and border the plaza. The decorative concrete paving and pedestrian scaled light poles bisect the plaza, inviting pedestrians to “round the corner”, through this public space.



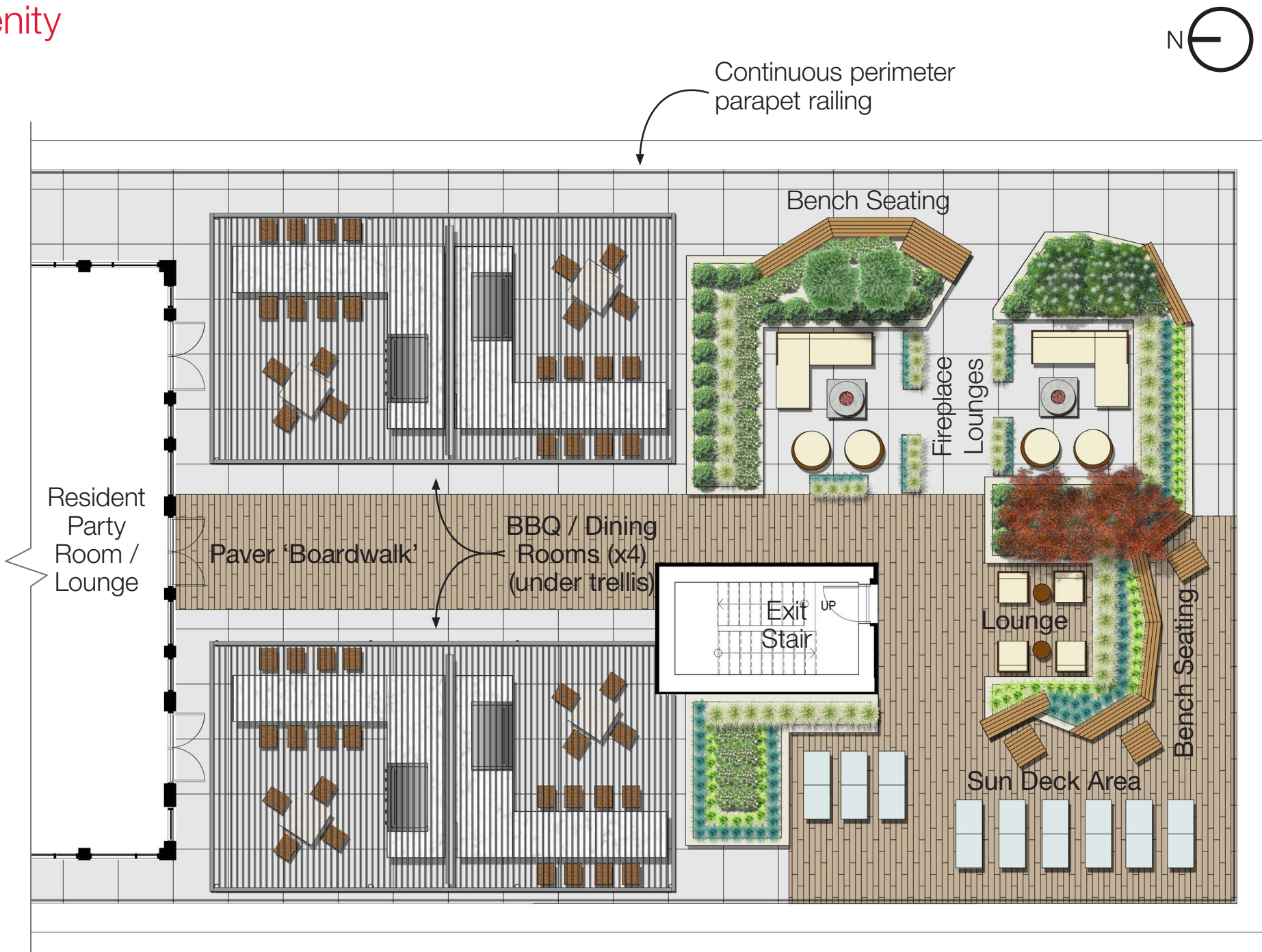
The Bridge at Bridgeland | CPC Presentation

Resident Rooftop Amenity

Located on Level 12

The BRIDGE is proposing a large rooftop amenity area on Level 12 of the building. At this level, resident views towards the South and West are expansive and unobstructed. This rooftop patio area is accessed directly through the Resident Party Room / Lounge. This will allow opportunities for resident gatherings to take place both indoors and outdoors.

The rooftop patio area has been designed to allow for large communal gatherings, as well as separate smaller groups to share the space. Different programmatic uses, including covered and uncovered areas allow opportunities for residents to use the space in different ways, throughout the year.

















JEMM Properties



"The BRIDGE" (THE BRIDGES SITE 13)
MULTY-FAMILY APARTMENTS



ARCHITECTURAL

DP0.00 COVER SHEET
DP0.02 EXISTING SITE SURVEY
DP0.03 CONTEXT PLAN & EXISTING SITE PHOTOS
DP0.04 SITE SHADOW STUDY - DECEMBER 21
DP0.05 SITE SHADOW STUDY - MARCH 21
DP0.06 SITE SHADOW STUDY - JUNE 21
DP0.07 SITE SHADOW STUDY - SEPTEMBER 21
DP1.00 PROJECT INFORMATION
DP1.01 SITE PLAN
DP1.02 SITE PLAN - FIRE TRUCK PATH
DP1.03a VEHICLE & PEDESTRIAN MOVEMENT
DP1.03b VEHICLE MOVEMENT
DP1.04 ENLARGED WASTE & RECYCLING AREAS
DP1.05 ENLARGED BIKE ROOM PLANS
DP2.01 PARKADE PLAN
DP2.02 MAIN FLOOR PLAN
DP2.03 MEZZANINE LEVEL FLOOR PLANS
DP2.04 LEVEL 2 PLAN
DP2.05 LEVEL 3-7 TYPICAL FLOOR PLAN
DP2.06 LEVEL 8 FLOOR PLAN
DP2.07 LEVEL 9-11 TYPICAL FLOOR PLAN
DP2.08 LEVEL 12 FLOOR PLAN
DP2.09 LEVEL 13-16 TYPICAL FLOOR PLAN
DP2.10 MECHANICAL & ROOF PLAN
DP3.00 PERSPECTIVE VIEWS
DP3.01 BUILDING ELEVATIONS - NORTH & WEST
DP3.02 BUILDING ELEVATIONS - SOUTH & EAST
DP3.03 ENLARGED RESIDENTIAL ELEVATIONS
DP3.04 ENLARGED RETAIL ELEVATIONS
DP4.01 BUILDING SECTIONS
DP4.02 BUILDING SECTIONS
DP4.03 BUILDING SECTIONS
DP-MAT.1 EXTERIOR MATERIAL FINISH BOARD
DP-MAT.2 EXTERIOR MATERIAL FINISH BOARD
DP-MAT.3 EXTERIOR MATERIAL FINISH BOARD

LANDSCAPE

DP-L0-00 LANDSCAPE LEGEND / PLANT LIST & GENERAL NOTES
DP-L1-00 LANDSCAPE PLAN
DP-L1-01 TREE PROTECTION PLAN
DP-L1-02 LINE ASSIGNMENT PLAN
DP-L2-00 12th FLOOR AMENITY LANDSCAPE PLAN
DP-L2-01 LEVEL 8 LANDSCAPE PLAN
DP-L3-00 LANDSCAPE DETAILS
DP-L3-01 LANDSCAPE DETAILS
DP-L3-02 LANDSCAPE DETAILS
DP-L3-03 LANDSCAPE SECTIONS
DP-L3-04 SCREEN WALL ELEVATION
DP-L3-05 LANDSCAPE INFLUENCES AND CONCRETE FINISHES

CIVIL

SP1 SITE SERVICING PLAN
SP2 SITE GRADING PLAN
SP3 SECTION DETAILS & STORM CALCULATIONS

ELECTRICAL

DPE1.0 DP ELECTRICAL SITE PLAN
DPE1.1 DP LIGHTING POINT-BY-POINT CALCULATIONS
DPE1.2 LUMINAIRE CUT SHEETS

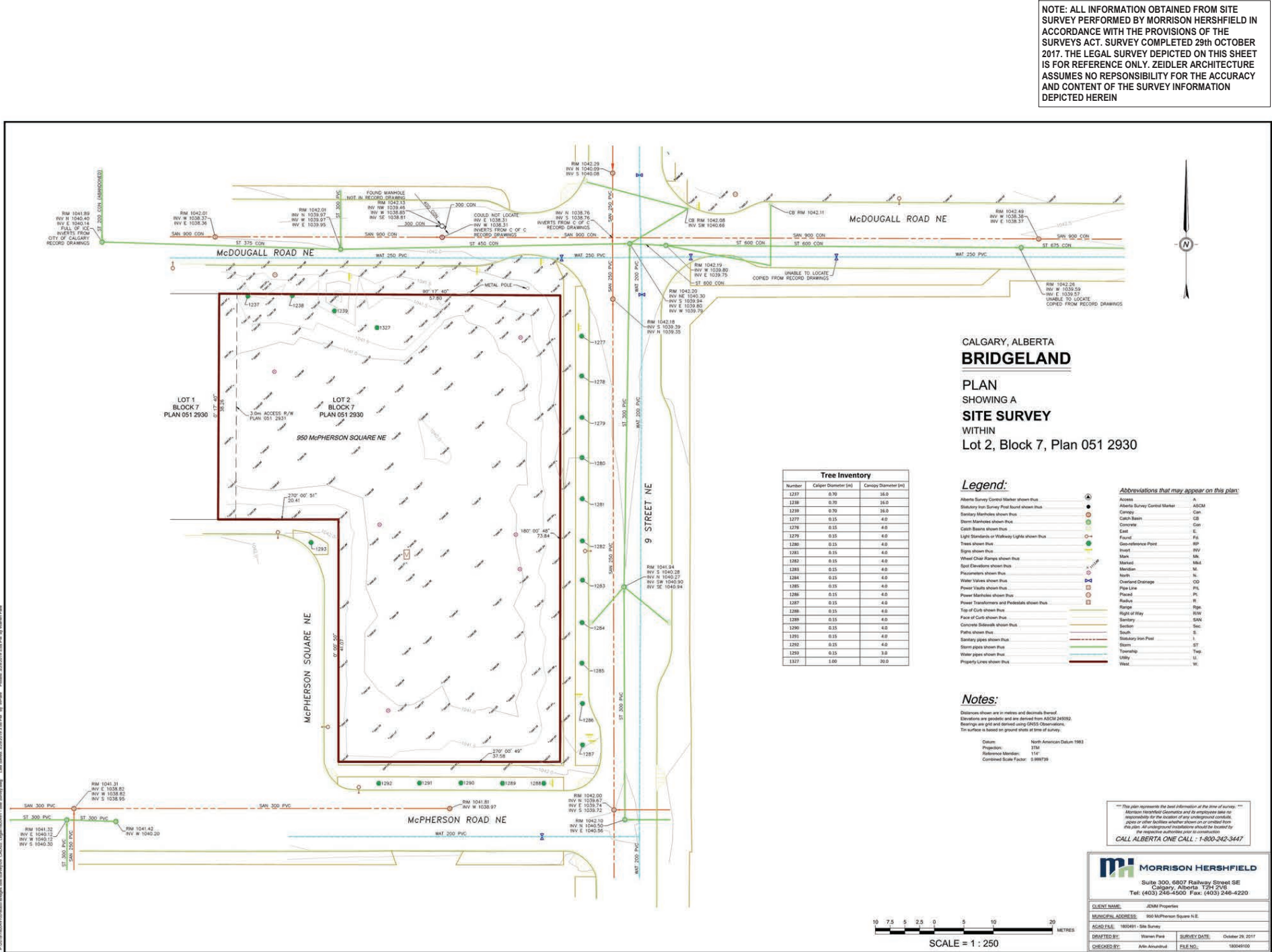


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JEMM Properties
"The BRIDGE" (THE BRIDGES SITE 13)
950 McPHERSON SQUARE N.E.
218-017

DATE: 2020-01-21 ISSUED FOR DTR3 RESPONSE

Development Permit Plans



Development Permit Plans



4 VIEW FACING SOUTHEAST
SCALE: 1:1



3 VIEW FACING NORTHEAST
SCALE: 1:1



7 VIEW FACING NW
SCALE: 1:1



6 VIEW FACING SW
SCALE: 1:1



5 VIEW FACING SOUTH
SCALE: 1:1



2 VIEW FACING NORTH
SCALE: 1:1



1 VIEW FACING WEST
SCALE: 1:1



VIEW KEYPLAN
SCALE: 1:5



LAND USE MAP
SCALE: 1:1



VICINITY PLAN
SCALE: 1:1



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seal

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1	2019-06-14	ISSUED FOR ARC REVIEW
2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTR1 RESPONSE
5	2019-12-13	ISSUED FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client
JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C 1N6



project title
THE BRIDGE
AT BRIDGELAND
THE BRIDGES
Building on urban legacy
950 McPHERSON SQUARE N.E. CALGARY, AB

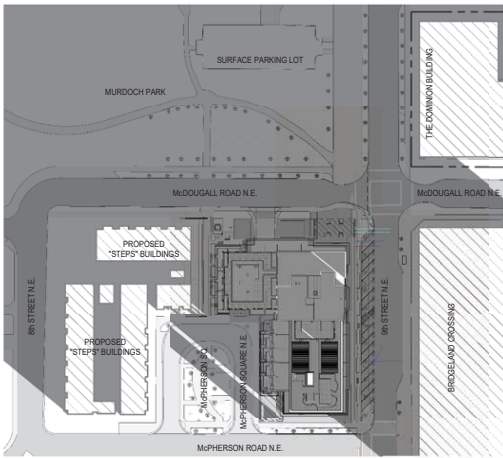
drawing title
CONTEXT PLAN & EXISTING
SITE PHOTOS

scale: NTS
drawn by: AR
checked by: TL
project no: 218-017
date issued: 2020-01-21

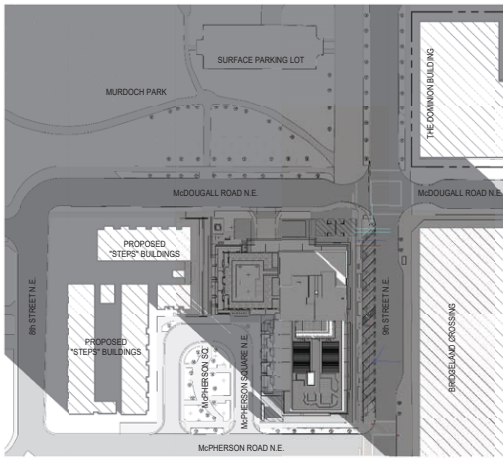
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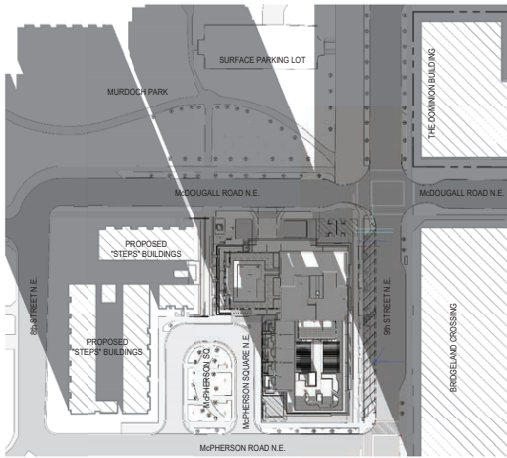
Development Permit Plans



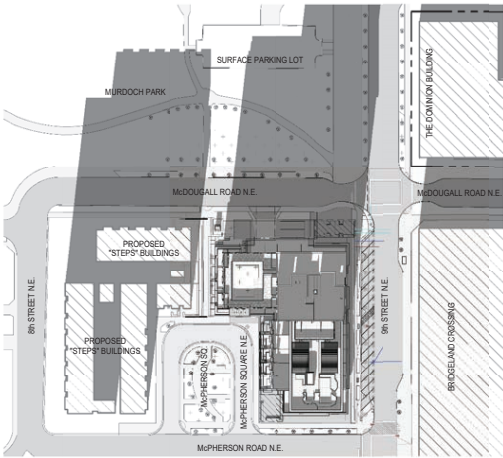
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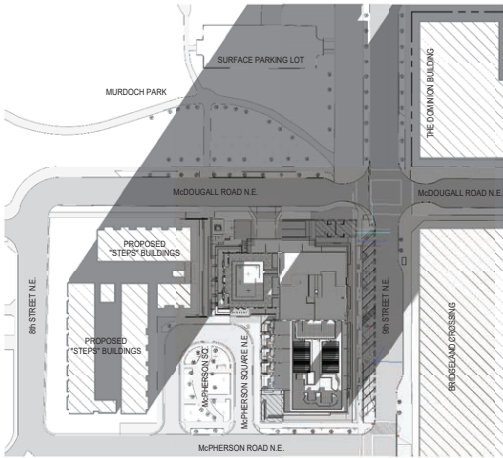
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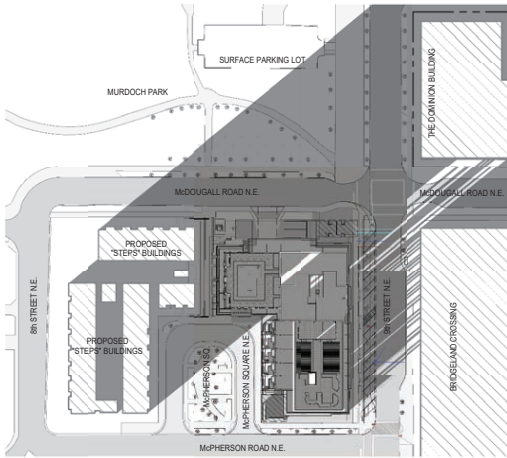
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DP0.04 SCALE: 1:1000



2 SITE SHADOW STUDY DECEMBER 21 @ 4PM
DP0.04 SCALE: 1:1000



3 SITE SHADOW STUDY DECEMBER 21 @ 6PM
DP0.04 SCALE: 1:1000



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5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client

JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6



project title

THE BRIDGE
AT BRIDGLAND
THE BRIDGES
Building on urban legacy
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

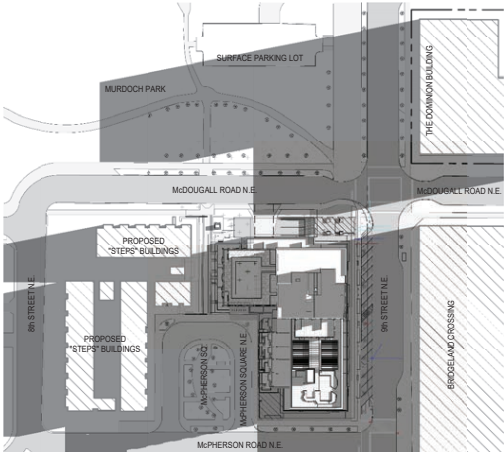
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checked by: TL
project no: 218-017
date issued: 2020-01-21

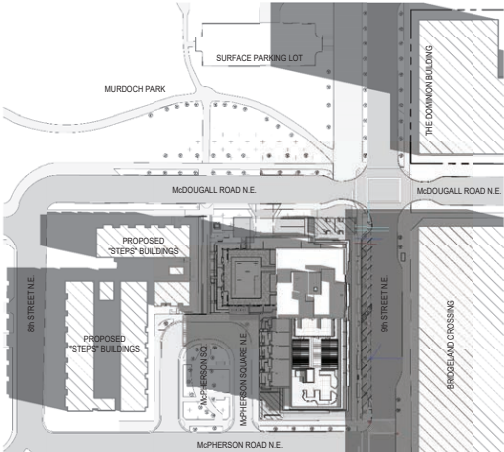
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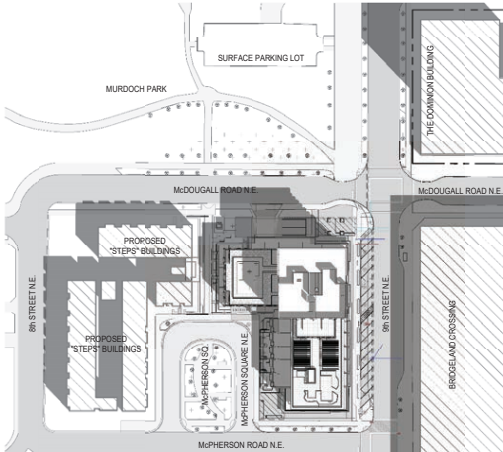
Development Permit Plans



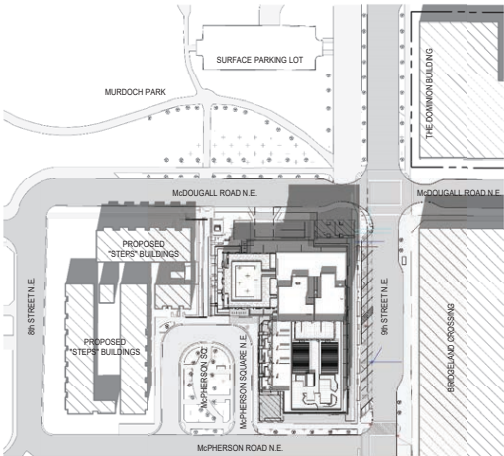
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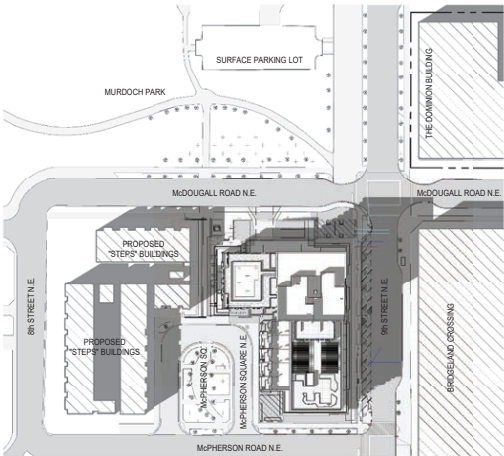
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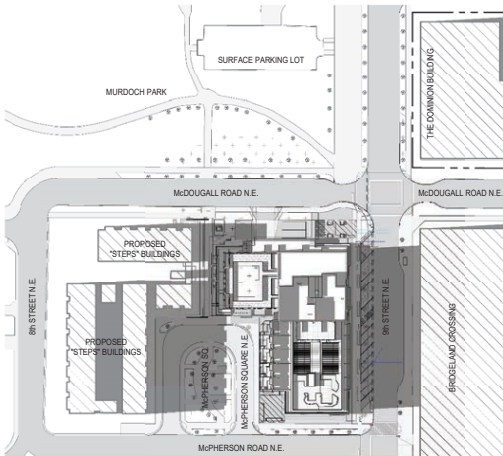
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DP0.06 SCALE: 1:1000



6 SITE SHADOW STUDY JUNE 21 @ 6PM
DP0.06 SCALE: 1:1000



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client

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CALGARY, AB T2C1N6

project title

THE BRIDGE
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THE BRIDGES
Building on urban legacy
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

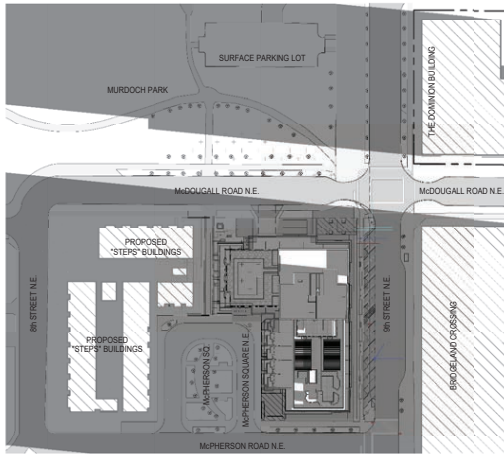
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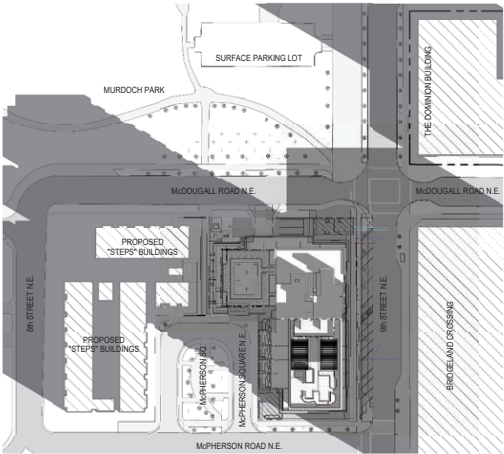
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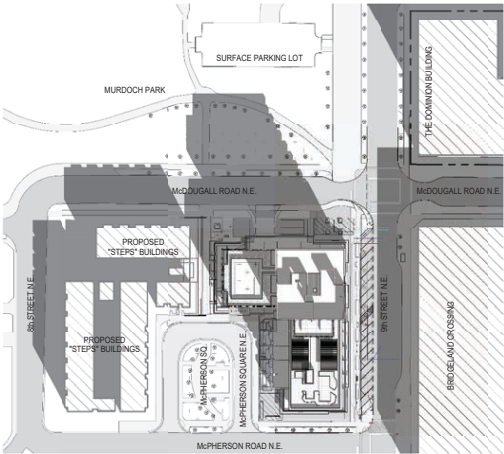
Development Permit Plans



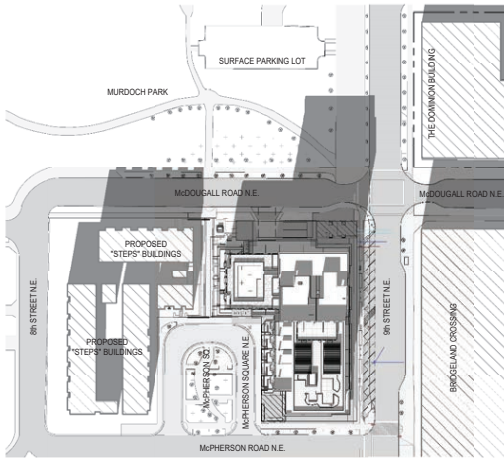
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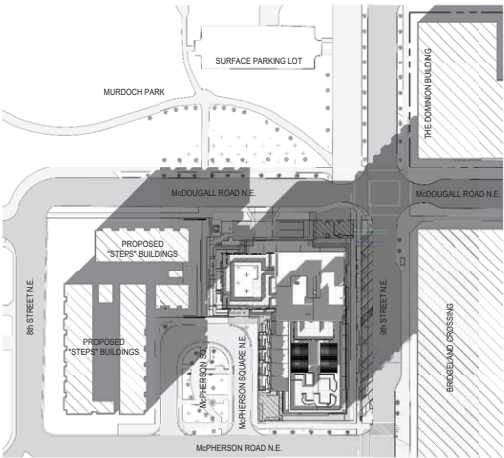
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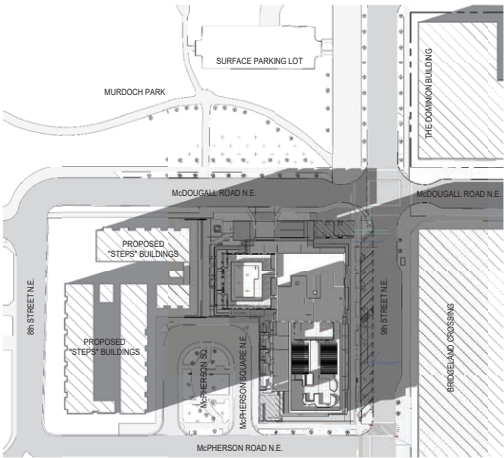
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DP0.07 SCALE: 1:1000



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DP0.07 SCALE: 1:1000



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DP0.07 SCALE: 1:1000



6 SITE SHADOW STUDY SEPTEMBER 21 @ 6PM
DP0.07 SCALE: 1:1000



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5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client

JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6



project title

THE BRIDGE
AT BRIDGLAND
THE BRIDGES
Building on urban legacy
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

SITE SHADOW STUDY -
SEPTEMBER 21

scale: 1:1000
drawn by: TP
checked by: TL
project no: 218-017
date issued: 2020-01-21

re-issue no: sheet no:
6 DP0.07

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Development Permit Plans

BYLAW SCHEDULE / SITE & PROJECT INFORMATION:

SITE & PROJECT INFORMATION:

DP APPLICANT:	ZEIDLER ARCHITECTURE (640 - 8th AVE S.W., SUITE 300, CALGARY AB)
MUNICIPAL ADDRESS:	950 McPHERSON SQUARE N.E. CALGARY, AB
LEGAL ADDRESS:	LOT 2, BLOCK 7, PLAN 051 2930
ZONING:	DC - DIRECT CONTROL, 64D2019 (BASED ON MU-1 MIXED-USE - GENERAL)
LAND USE BYLAW:	1P2007
TOTAL PARCEL AREA:	3,748.022m ² / 40,343 ft ² (0.3748 HECTARES / 0.926 ACRES)
DENSITY:	MAXIMUM F.A.R. = 5.3 MAXIMUM F.A.R. = 5.5* MAXIMUM F.A.R. = 6.0** (BASE MAXIMUM F.A.R.) (WHEN TWO 100m ² PUBLICALLY ACCESSIBLE PRIVATE OPEN SPACES ARE PROVIDED) (WHEN A MIN. 50% OF REQUIRED CLASS 1 BICYCLE PARKING STALLS ARE PROVIDED AS LOCKERS, THE FOLLOWING AREAS OF THE BUILDING MUST BE EXCLUDED FROM THE CALCULATION TO A CUMULATIVE MAXIMUM OF 0.5 F.A.R.: - ALL CLASS 1 BICYCLE PARKING STALLS; - ALL BICYCLE REPAIR FACILITIES; - ALL ENCLOSED MECHANICAL EQUIPMENT AREAS; - ALL STAIRWELLS; - ALL ELEVATOR SHAFTS; AND - ALL WASTE & RECYCLING AREAS.
MAX. BUILDING HEIGHT:	50.0m
SETBACKS:	BASED ON MU-1 ZONING - NO REQUIRED SETBACK AREAS. BASED ON "THE BRIDGES" ARCHITECTURAL DESIGN & CONTROL GUIDELINES: - 3.0m SETBACK 6.0m BUILD-TO LINES PROPOSED WHERE THE PROPERTY ADJUTS McPHERSON RD. N.E. OR ANY PUBLIC ACCESS EASEMENT; - 3.0m SETBACK 12.0m BUILD-TO LINES PROPOSED WHERE THE PROPERTY ADJUTS McPHERSON SQ. N.E.

VEHICULAR PARKING:

RESIDENTIAL PARKING STALLS REQUIRED:
0.575 STALLS PER DWELLING UNIT **OR**
0.375 STALLS PER DWELLING UNIT WHERE A MINIMUM OF 1.25 BICYCLE PARKING STALLS - CLASS 1 ARE PROVIDED PER UNIT. **OR**
0.300 STALLS PER DWELLING UNIT WHERE BOTH:
- AN OFF-SITE UPGRADE TO THE EXISTING PEDESTRIAN CROSSING AT 9th STREET N.E. AND McPHERSON ROAD N.E. HAS BEEN COMPLETED
OR IS PROVIDED IN CONJUNCTION WITH THE DEVELOPMENT USING A RECTANGULAR RAPID FLASHING BEACON (RRFB), OR EQUIVALENT TECHNOLOGY; **AND**
- THE 1.25 CLASS 1 BICYCLE PARKING STALLS / DWELLING UNIT IS PROVIDED **AND EITHER OF**
- A MINIMUM OF 5 STALLS DEDICATED TO CAR-SHARING SERVICES ARE PROVIDED; **OR**
- A BICYCLE REPAIR FACILITY IS PROVIDED.
0.250 STALLS PER DWELLING UNIT WHERE ALL FOUR OF THE ABOVE REQUIREMENTS ARE MET.

285 DWELLING UNITS X 0.250 = (71.3) **72 RESIDENTIAL PARKING STALLS REQUIRED**, WHEN ALL ABOVE NOTED REQUIREMENTS ARE SATISFIED.

RESIDENTIAL PARKING STALLS PROVIDED:
72 RESIDENTIAL PARKING STALLS PROVIDED. (ALL OF THE ABOVE NOTED PARKING RATIO REDUCTION REQUIREMENTS ARE BEING SATISFIED)

BARRIER-FREE PARKING STALLS REQUIRED:
4 BARRIER-FREE PARKING STALLS REQUIRED / 100 PARKING STALLS = 1 ADJO. BARRIER-FREE STALL REQUIRED FOR EACH ADDITIONAL INCREMENT OF 100 STALLS.
= 105 TOTAL PARKING STALLS = 5 BARRIER-FREE PARKING STALLS REQUIRED TOTAL.

BARRIER-FREE PARKING STALLS PROVIDED:
5 BARRIER-FREE PARKING STALLS PROVIDED WITHIN 105 PARKING STALLS PROVIDED.

VISITOR PARKING STALLS REQUIRED:
0.15 VISITOR PARKING STALLS REQUIRED PER DWELLING UNIT.
285 DWELLING UNITS X 0.05 = (14.25) = 15 VISITOR PARKING STALLS REQUIRED.

VISITOR PARKING STALLS PROVIDED:
28 VISITOR PARKING STALLS PROVIDED (SHARED WITH RETAIL PARKING - SEE BELOW.)

RETAIL & CONSUMER SERVICES PARKING STALLS REQUIRED:
NO MINIMUM NUMBER OF PARKING STALLS REQUIRED FOR THE FOLLOWING USES:
- CONVENIENCE FOOD STORE;
- DRINKING ESTABLISHMENT - SMALL;
- LOCKER STORE;
- RESTAURANT- FOOD SERVICE ONLY - SMALL OR MEDIUM;
- RESTAURANT- LICENSED - SMALL OR MEDIUM;
- RESTAURANT- NEIGHBOURHOOD; AND
- TAKE OUT FOOD SERVICE.

FOR ALL OTHER USES:
- THE VEHICULAR PARKING STALL REQUIREMENTS ARE 25% LESS THAN REQUIRED IN PART 4 OF BYLAW 1P2007; AND
- A FURTHER 25% REDUCTION MAY APPLY WHEN:
- ANGLED PARKING IS PROVIDED ALONG THE WESTERN PORTION OF 9th STREET N.E. BETWEEN McDOWALL RD. N.E. AND McPHERSON RD. N.E. **OR**
- ALTERNATIVE TRANSPORTATION DEMAND MANAGEMENT (TDM) MEASURE(S) ARE PROVIDED TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
THE ABOVE NOTED PARKING REDUCTION REQUIREMENTS ARE BEING PROVIDED.

AT THIS TIME COMMERCIAL TENANCY USE IS NOT DETERMINED.
ASSUMING 75% GROSS USABLE AREA AND MOST STRINGENT PARKING RATIO OF 4 STALLS / 100m² GROSS USABLE AREA:
849.0m² RETAIL AREA X 75% G.U.A. = 636.8m² X 4 / 100m² = (25.5) **26 COMMERCIAL STALLS REQUIRED** (MOST STRINGENT CASE SCENARIO)

RETAIL & CONSUMER SERVICES PARKING STALLS PROVIDED:
28 RETAIL & CONSUMER SERVICES PARKING STALLS PROVIDED (SHARED WITH VISITOR PARKING AND CAR-SHARING STALLS.)

* THE VEHICULAR PARKING STALL REQUIREMENTS FOR VISITOR PARKING STALLS AND COMMERCIAL USES MUST BE SATISFIED BY THE SAME VEHICULAR PARKING STALLS WHERE A PARKING STUDY THAT ADDRESSES ON-SITE, SHARED-USE COMMERCIAL AND VISITOR PARKING STALLS IS PROVIDED AND THE RECOMMENDATIONS OF THAT STUDY ARE IMPLEMENTED THROUGH DEVELOPMENT PERMIT CONDITIONS TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY (PROVIDED).

LOADING STALLS REQUIRED:
1 LOADING STALL REQUIRED PER 9,300m² OF G.F.A.
(22,438.4m² G.F.A. / 9,300m² = (2.4) **2 LOADING STALLS REQUIRED**.)

LOADING STALLS PROVIDED:
2 LOADING STALLS PROVIDED. (3.1m X 9.3m - UNLIMITED OVERHEAD CLEARANCE)
** 1 ADDITIONAL OFF-SITE LOADING STALL IS BEING PROPOSED ON McPHERSON SQ. N.E.
(WHILE NOT BYLAW COMPLIANT, IT WOULD MEET THE 1 LOADING STALL REQUIREMENT IN FUNCTION.)

WASTE & RECYCLING:

*** WASTE & RECYCLING TO BE PRIVATELY MANAGED. ***

- ALL WASTE & RECYCLING TO BE STORED INSIDE SECURE ROOMS WITHIN THE BUILDING.
- KEYPAD OR OTHER SECURE ACCESS WILL BE PROVIDED FOR THE COLLECTION CREWS TO ACCESS BOTH RESIDENTIAL AND COMMERCIAL WASTE & RECYCLING ROOMS.
- ALL COMMERCIAL SPACES HAVE INTERNAL ACCESS TO COMMERCIAL WASTE & RECYCLING ROOM.
- THE MAXIMUM GRADE FOR THE WASTE & RECYCLING FACILITIES, THE STAGING AND COLLECTION LOCATIONS, THE VEHICLE APPROACH AREA/LOADING STALLS IS A MAXIMUM OF 2%.
- ALL SURFACES FOR WASTE & RECYCLING VEHICULAR COLLECTION ROUTE HAVE BEEN DESIGNED TO ACCOMMODATE THE GROSS WEIGHT OF A LOADED COLLECTION VEHICLE (MAX. 25,000kg / 55,000lbs).
- UNLIMITED VERTICAL CLEARANCE IN EXTERIOR WASTE & RECYCLING STAGING / LOADING AREA.
- WASTE & RECYCLING PICK-UP VEHICLE SWEEP IS SHOWN ON VEHICULAR ACCESS SHEET DP1.02.

RESIDENTIAL WASTE & RECYCLING CALCULATIONS:

RESIDENTIAL WASTE & RECYCLING PRODUCED:
285 DWELLING UNITS X 0.3m³ = 85.5m³ (85.4m³) PRODUCED / WEEK.
85.5m³ / 4yrs BINS = (21.4) **22 X 4yrs BINS REQUIRED / WEEK.**

REDUCTION DUE TO 2 COMPACTORS = 66% VOLUME REDUCTION.
22 X 66% = (14.5) **15 X 4yrs BINS REQUIRED / WEEK.**

*** AFTER REVIEW OF WMR ROOM DESIGN AND # OF BINS BY PRIVATE WASTE MANAGEMENT COMPANY,
THE CURRENT DESIGN AS SUBMITTED HAS BEEN DEEMED APPROPRIATE.
2 COMPACTORS = 17.3 4yrs BINS FOR WASTE & RECYCLING + 0.6 4yrs BINS (4yrs) PROVIDE FOR RESIDENTIAL WMR.

COMMERCIAL WASTE & RECYCLING PRODUCED:

3m³ COMBINED WASTE & RECYCLING PRODUCED PER 1000m² COMMERCIAL AREA / WEEK.
3m³ / 1000m² X 849.0m² = (2.5) 3m³ (3.0yrs) COMBINED WASTE & RECYCLING PRODUCED / WEEK.
1 X 4yrs WASTE & RECYCLING BIN REQUIRED.

2 X 4yrs COMMERCIAL WASTE & RECYCLING BINS PROVIDED - SEPARATE GREASE & ORGANICS ROOM FOR COMMERCIAL USE PROVIDED.

RESIDENTIAL AMENITY SPACES:

RESIDENTIAL AMENITY SPACE MAY BE PROVIDED AS COMMON AMENITY SPACE, PRIVATE AMENITY SPACE OR A COMBINATION OF BOTH.

REQUIRED: 5.0m² RESIDENTIAL AMENITY SPACE REQUIRED PER DWELLING UNIT = 285 X 5.0m² = 1,425m² TOTAL RESIDENTIAL AMENITY SPACE REQUIRED.

PROVIDED COMMON AMENITY SPACES:

- 2 X 100m² PUBLICALLY ACCESSIBLE EXTERIOR PRIVATE PLAZAS (N.E. & S.W. CORNERS OF SITE) = 200m²
- 1 X 15m² EXTERIOR DOG RUN / PLAY AREA LOCATED ON ROOF - LEVEL 19 = 15m²
- 1 X 15m² INTERIOR "PARTY" ROOM / LOUNGE (LOCATED ON LEVEL 12) = 15m²
- 1 X 50m² EXTERIOR ROOFTOP PATIO AT LEVEL 12 = 50m²
- 1.08m² COMMON AMENITY SPACE PROVIDED TOTAL.

PROVIDED PRIVATE AMENITY SPACES:

- 141 INDIVIDUAL RESIDENT BALCONIES & PATIOS PROVIDED FOR A TOTAL OF 1,219m² OF PRIVATE AMENITY SPACE PROVIDED.

TOTAL AMENITY SPACE PROVIDED:
= 1,219m² + 1.08m² = **2,300m² TOTAL AMENITY SPACE PROVIDED.**
= 2,300m² / 285 UNITS = 8.1m² AMENITY SPACE PER UNIT PROVIDED.

* WHILE SOME BALCONIES MAY BE LESS THAN 2.0m IN ONE DIRECTION, AN EXCESS OF BYLAW REQUIRED AMENITY SPACE IS PROVIDED.

BICYCLE PARKING:

RESIDENTIAL BICYCLE PARKING STALLS - CLASS 1 REQUIRED:

0.50 BICYCLE PARKING STALLS - CLASS 1 REQUIRED / PER DWELLING UNIT
1.25 BICYCLE PARKING STALLS - CLASS 1 REQUIRED / PER DWELLING UNIT FOR VEHICULAR PARKING REDUCTION (SEE ABOVE)
(285 DWELLING UNITS X 1.25 = (36.25) = **37 BICYCLE PARKING STALLS - CLASS 1 REQUIRED**)
50% OF REQUIRED CLASS 1 BICYCLE PARKING STALLS TO BE PROVIDED AS BICYCLE LOCKERS FOR F.A.R. EXCLUSION AREAS.
(37 REQUIRED CLASS 1 BICYCLE STALLS X 50% = (17.5) = **18 CLASS 1 BICYCLE PARKING STALLS TO BE PROVIDED AS BICYCLE LOCKERS REQUIRED**.)

RESIDENTIAL BICYCLE PARKING STALLS - CLASS 1 PROVIDED:

369 BICYCLE PARKING STALLS - CLASS 1 PROVIDED FOR RESIDENTIAL.

144 CUSTOM DESIGNED BICYCLE LOCKERS PROVIDED = 216 BICYCLE PARKING STALLS - CLASS 1 PROVIDED.
"CUSTOM DESIGNED LOCKERS ARE SIZED TO ACCOMMODATE 2 BIKES / LOCKER.
FOR BYLAW PURPOSES AND CALCULATIONS, WHEN STACKED 2-HIGH THE LOWER LOCKER WILL COUNT FOR TWO (2) CLASS 1 BIKE STALLS / LOWER LOCKER AND THE UPPER LOCKER WILL COUNT FOR ONE (1) CLASS 1 BICYCLE PARKING STALL / UPPER LOCKER.
(LOWER LOCKERS CAN BE SHARED BETWEEN 2 DIFFERENT DWELLING UNITS - TO BE SECURELY MANAGED BY BUILDING MANAGEMENT.)

73 WALL MOUNTED SECURE BICYCLE RACKS/HANGERS PROVIDED = 73 BICYCLE PARKING STALLS - CLASS 1 PROVIDED.
VERTICALLY STACKED, WALL MOUNTED VERTICAL BIKE RACKS/HANGERS PROVIDED IN VARIOUS BIKE ROOMS (SEE PLANS)

70 SECURE STORAGE LOCKERS WITH VERTICAL HANGER = 70 BICYCLE PARKING STALLS - CLASS 1 PROVIDED.
THE ABOVE MENTIONED STORAGE LOCKERS ARE LOCATED IN THE SMALL STORAGE ROOM LOCATED DIRECTLY SOUTH OF THE ELEVATOR/STAR CORE.
TEN (10) LOCKERS PER ROOM LOCATED ON FLOORS 4 - 10 = 10 LOCKERS/ROOM X 7 FLOORS = 70 CLASS 1 BICYCLE PARKING STALLS (IN THE FORM OF SECURE LOCKERS - SEE PLANS).

369 BICYCLE PARKING STALLS - CLASS 1 PROVIDED TOTAL FOR RESIDENTIAL REQUIREMENTS.

RESIDENTIAL BICYCLE PARKING STALLS - CLASS 2 REQUIRED:

0.1 BICYCLE PARKING STALLS - CLASS 2 REQUIRED PER DWELLING UNIT
(285 DWELLING UNITS X 0.1 = **28.5 BICYCLE PARKING STALLS - CLASS 2 REQUIRED.**)

RETAIL & CONSUMER SERVICES BICYCLE PARKING STALLS - CLASS 1 REQUIRED:

1.00 BICYCLE PARKING STALLS - CLASS 1 PER 100.0m² OF GROSS USABLE FLOOR AREA
(75% ASSUMED G.U.A. X 849.0m² / 100m² = 637.0m² / 100m² = (6.4) **7 BICYCLE PARKING STALLS - CLASS 1 REQUIRED**.)

RETAIL & CONSUMER SERVICES BICYCLE PARKING STALLS - CLASS 1 PROVIDED:

7 BICYCLE PARKING STALLS - CLASS 1 PROVIDED.

RETAIL & CONSUMER SERVICES BICYCLE PARKING STALLS - CLASS 2 REQUIRED:

5% OF MINIMUM NUMBER OF REQUIRED VEHICULAR STALLS
(5% X 29 COMMERCIAL VEHICULAR PARKING STALLS = 1.45 BICYCLE PARKING STALLS - CLASS 2 REQUIRED.)

TOTAL CLASS 2 BICYCLE PARKING STALLS REQUIRED:

RESIDENTIAL REQUIRED: 28.5 CLASS 2 BIKE STALLS
RETAIL REQUIRED: 1.45 CLASS 2 BIKE STALLS
= 28.5 + 1.45 = **29 CLASS 2 BIKE PARKING STALLS REQUIRED TOTAL.**

TOTAL CLASS 2 BICYCLE PARKING STALLS PROVIDED:

28 CLASS 2 BICYCLE PARKING STALLS PROVIDED ON SITE TOTAL.
12 ADDITIONAL CLASS 2 BIKE STALLS ARE PROVIDED ALONG THE 9th STREET NE CITY BOULEVARD
(DOES NOT COUNT TOWARDS BYLAW REQUIREMENTS.)

PROJECT INFORMATION	
MUNICIPAL ADDRESS	950 McPHERSON SQUARE N.E. CALGARY, AB
LEGAL ADDRESS	LOT 2, BLOCK 7, PLAN 051 2930
COMMUNITY	THE BRIDGES [BRIDGELAND]
LAND USE	DC-64D2019 (BASED ON MU-1)
SITE AREA	3748.022 m ² [40,343 ft ²]
FAR MAX 5.3	19,864.517m ² [213,820 ft ²]
FAR MAX 5.5 (WITH PLAZAS)	20,614.121m ² [221,888 ft ²]
FAR MAX 6.0 (WITH BIKE LOCKERS)	22,488.109 m ² [242,060 ft ²]

BUILDING AREA CALCULATIONS (F.A.R.):

MAXIMUM F.A.R. = 5.3 (BASE MAXIMUM F.A.R.)
MAXIMUM F.A.R. = 5.5* (WHEN TWO 100m² PUBLICALLY ACCESSIBLE PRIVATE OPEN SPACES ARE PROVIDED)
MAXIMUM F.A.R. = 6.0** (WHEN A MIN. 50% OF REQUIRED CLASS 1 BICYCLE PARKING STALLS ARE PROVIDED AS LOCKERS,
THE FOLLOWING AREAS OF THE BUILDING MUST BE EXCLUDED FROM THE CALCULATION
TO A CUMULATIVE MAXIMUM OF 0.5 F.A.R.:
- ALL CLASS 1 BICYCLE PARKING STALLS;
- ALL BICYCLE REPAIR FACILITIES;
- ALL ENCLOSED MECHANICAL EQUIPMENT AREAS;
- ALL STAIRWELLS;
- ALL ELEVATOR SHAFTS; AND
- ALL WASTE & RECYCLING AREAS.

ALL ABOVE INCREASED DENSITY REQUIREMENTS HAVE BEEN MET TO ACHIEVE THE MAXIMUM (G.F.A.) F.A.R. OF 6.0.

F.A.R. AREA EXCLUSION CALCULATIONS:

MAXIMUM AREA OF 0.5 F.A.R. (1,874.0m²) TO BE INCLUDED IN F.A.R. EXCLUSION CALCULATIONS.

F.A.R. EXCLUSION		F.A.R. EXCLUSION		F.A.R. EXCLUSION		F.A.R. EXCLUSION	
RESIDENT BIKE ROOMS		ENCLOSED MECHANICAL		ELEVATORS & STAIRS		WASTE & RECYCLING	
LEVEL	AREA	LEVEL	AREA	LEVEL	AREA	LEVEL	AREA
LEVEL 0.5	106.0 m ²	LEVEL 1	21.9 m ²	LEVEL 1	130.5 m ²	LEVEL 1	128.7 m ²
LEVEL 1.5	170.7 m ²	LEVEL 2	9.1 m ²	LEVEL 2	89.1 m ²	LEVEL 2	8.6 m ²
LEVEL 2	153.1 m ²	LEVEL 3	9.1 m ²	LEVEL 3	89.1 m ²	LEVEL 3	8.6 m ²
LEVEL 4	32.6 m ²	LEVEL 4	9.1 m ²	LEVEL 4	77.7 m ²	LEVEL 4	8.6 m ²
LEVEL 5	32.6 m ²	LEVEL 5	9.1 m ²	LEVEL 5	77.7 m ²	LEVEL 5	8.6 m ²
LEVEL 6	32.6 m ²	LEVEL 6	9.1 m ²	LEVEL 6	77.7 m ²	LEVEL 6	8.6 m ²
LEVEL 7	32.6 m ²	LEVEL 7	9.1 m ²	LEVEL 7	77.7 m ²	LEVEL 7	8.6 m ²
LEVEL 8	32.7 m ²	LEVEL 8	9.1 m ²	LEVEL 8	60.9 m ²	LEVEL 8	6.7 m ²
LEVEL 9	32.7 m ²	LEVEL 9	9.1 m ²	LEVEL 9	60.9 m ²	LEVEL 9	5.6 m ²
LEVEL 10	32.7 m ²	LEVEL 10	9.1 m ²	LEVEL 10	60.9 m ²	LEVEL 10	5.6 m ²
LEVEL 11	32.7 m ²	LEVEL 11	9.1 m ²	LEVEL 11	60.9 m ²	LEVEL 11	5.6 m ²
LEVEL 12	9.1 m ²	LEVEL 12	9.1 m ²	LEVEL 12	60.9 m ²	LEVEL 12	5.7 m ²
LEVEL 13	9.1 m ²	LEVEL 13	45.3 m ²	LEVEL 13	45.3 m ²	LEVEL 13	5.7 m ²
LEVEL 14	9.1 m ²	LEVEL 14	45.3 m ²	LEVEL 14	45.3 m ²	LEVEL 14	5.7 m ²
LEVEL 15	9.1 m ²	LEVEL 15	45.3 m ²	LEVEL 15	45.3 m ²	LEVEL 15	5.7 m ²
LEVEL 16	9.1 m ²	LEVEL 16	45.3 m ²	LEVEL 16	45.3 m ²	LEVEL 16	5.7 m ²
ROOF TOP MECHANICAL ROOM	186.9 m ²	ROOF TOP MECHANICAL ROOM	45.5 m ²			Total	232.0 m ²
Total	345.3 m ²	Total	1,150.7 m ²				

TOTAL AREA TYPES ELIGIBLE FOR F.A.R. AREA EXCLUSION = 2,418.9m²

MAXIMUM ALLOWABLE AREA FOR F.A.R. EXCLUSION = 1,874.0m² (0.5 F.A.R.)

*** THE CUMULATIVE EXCLUDABLE AREAS GREATER THAN 1,874.0m² (0.5 F.A.R.) ARE INCLUDED IN THE BASE 5.5 F.A.R. AREA, AND NOT AS PART OF THE 0.5 F.A.R. EXCLUSION TOTAL. TOTAL G.F.A. IS UNDER 6.0 F.A.R. ***

AREA SCHEDULE (GFA / LEVEL)	
LEVEL	GROSS AREA
LEVEL 0.5	106.0 m ²
LEVEL 1	2,216.1 m ²
LEVEL 1.5	170.7 m ²
LEVEL 2	1,998.0 m ²
LEVEL 3	1,781.9 m ²
LEVEL 4	1,781.9 m ²
LEVEL 5	1,781.9 m ²
LEVEL 6	1,781.9 m ²
LEVEL 7	1,781.9 m ²
LEVEL 8	1,339.2 m ²
LEVEL 9	1,339.2 m ²
LEVEL 10	1,339.2 m ²
LEVEL 11	791.2 m ²
LEVEL 12	664.4 m ²
LEVEL 13	664.4 m ²
LEVEL 14	664.4 m ²
LEVEL 15	664.4 m ²
LEVEL 16	664.4 m ²
ROOF TOP MECHANICAL ROOM	232.4 m ²
Total	22,438.4 m ²
= 5.99 F.A.R. TOTAL	

RESIDENTIAL UNITS				
LEVEL	RES. SUITE AREA	TOTAL UNIT COUNT	1 BED Count	2 BED Count
LEVEL 1	551.7 m ²	8	7	1
LEVEL 2	1,436.4 m ²	27	22	5
LEVEL 3	1,420.0 m ²	26	19	7
LEVEL 4	1,420.0 m ²	26	19	7
LEVEL 5	1,419.6 m ²	26	19	7
LEVEL 6	1,420.0 m ²	26	19	7
LEVEL 7	1,420.0 m ²	26	19	7
LEVEL 8	1,094.0 m ²	19	11	8
LEVEL 9	1,107.6 m ²	19	11	8
LEVEL 10	1,107.6 m ²	19	11	8
LEVEL 11	1,107.6 m ²	19	11	8
LEVEL 12	496.2 m ²	8	3	5
LEVEL 13	547.0 m ²	9	4	5
LEVEL 14	547.0 m ²	9	4	5
LEVEL 15	547.0 m ²	9	4	5
LEVEL 16	547.0 m ²	9	4	5
Total	16,188.8 m ²	285	187	98

RETAIL GROSS FLOOR AREA		
LEVEL	AREA	CRU Count
LEVEL 1	849.0 m ²	6
Total	849.0 m ²	6

3.78% OF G.F.A. IS COMMERCIAL / RETAIL USE



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Calgary, AB T2P 1G7
T +1 403 233 2525

seal

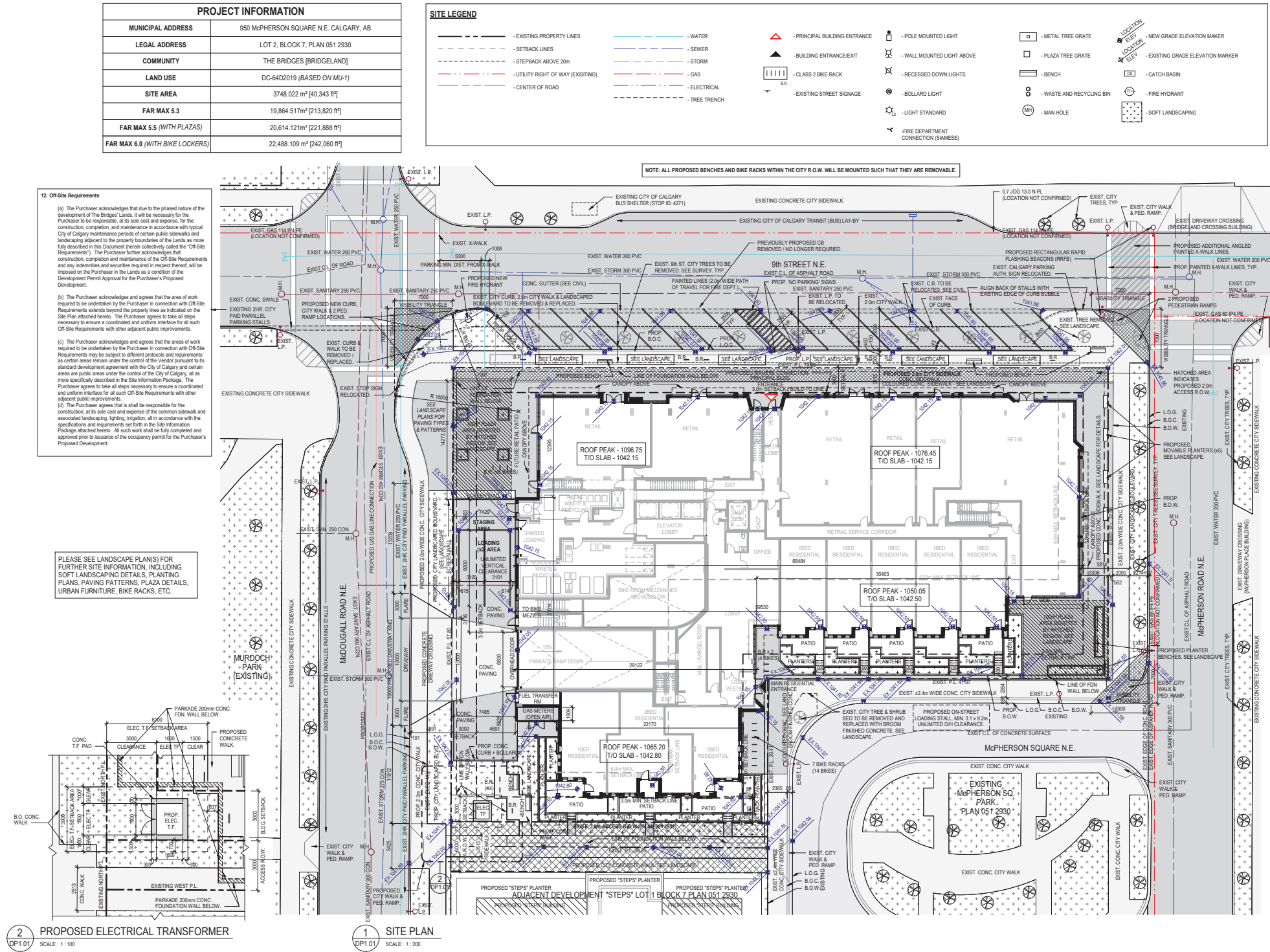
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Issue No.	Date	Description
1	2019-08-14	ISSUED FOR ARC REVIEW
2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTR RESPONSE
5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE

Development Permit Plans



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2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTR1 RESPONSE
5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client
JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C 1N6

project title
THE BRIDGE
AT BRIDGELAND
THE BRIDGES
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

SITE PLAN

scale: As indicated
drawn by: TP
checked by: TL
project no: 218-017
date issued: 2020-01-21

re-issue no: 6 DP1.01
sheet no: 6 DP1.01

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2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTR1 RESPONSE
5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client

JEMM Properties



#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6

project title



950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

SITE PLAN -FIRE TRUCK
PATH

scale: 1 : 200

drawn by: AR/TP

checked by: TL

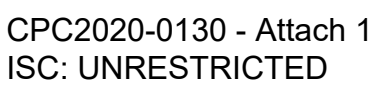
project no: 218-017

date issued: 2020-01-2

re-issue no:
sheet no:

6 DP1

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client

JEMM Properties

#26, 7003 - 30th ST. S.E. JEMM
CALGARY, AB T2C1N6 PROPERTIES

project title

THE BRIDGE
AT BRIDGELAND
THE BRIDGES
building an urban legacy

950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

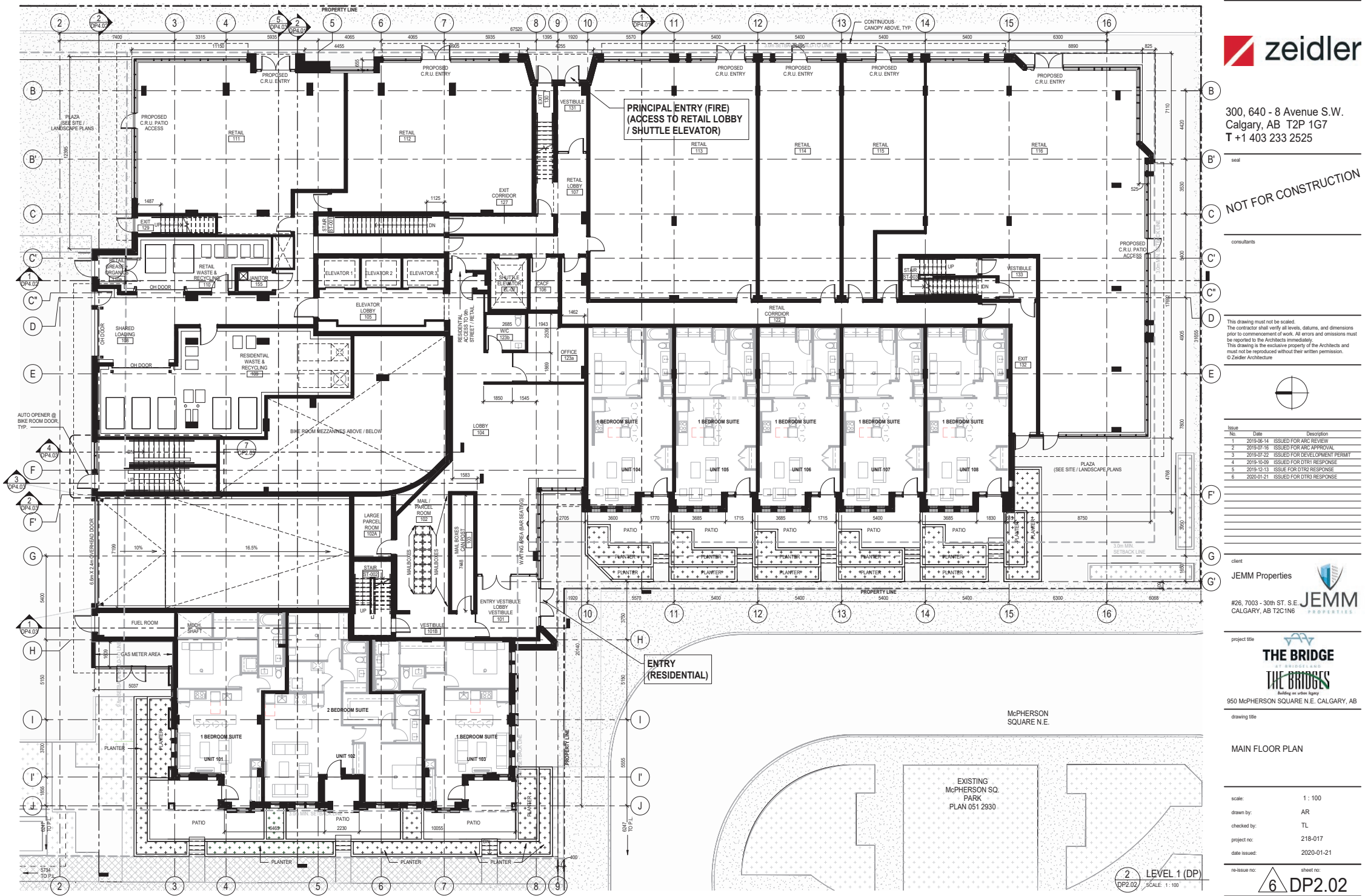
ENLARGED BIKE ROOM
PLANS

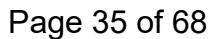
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checked by:	Checker
project no:	218-017
date issued:	2020-01-21

re-issue no:  sheet no: DP1.05

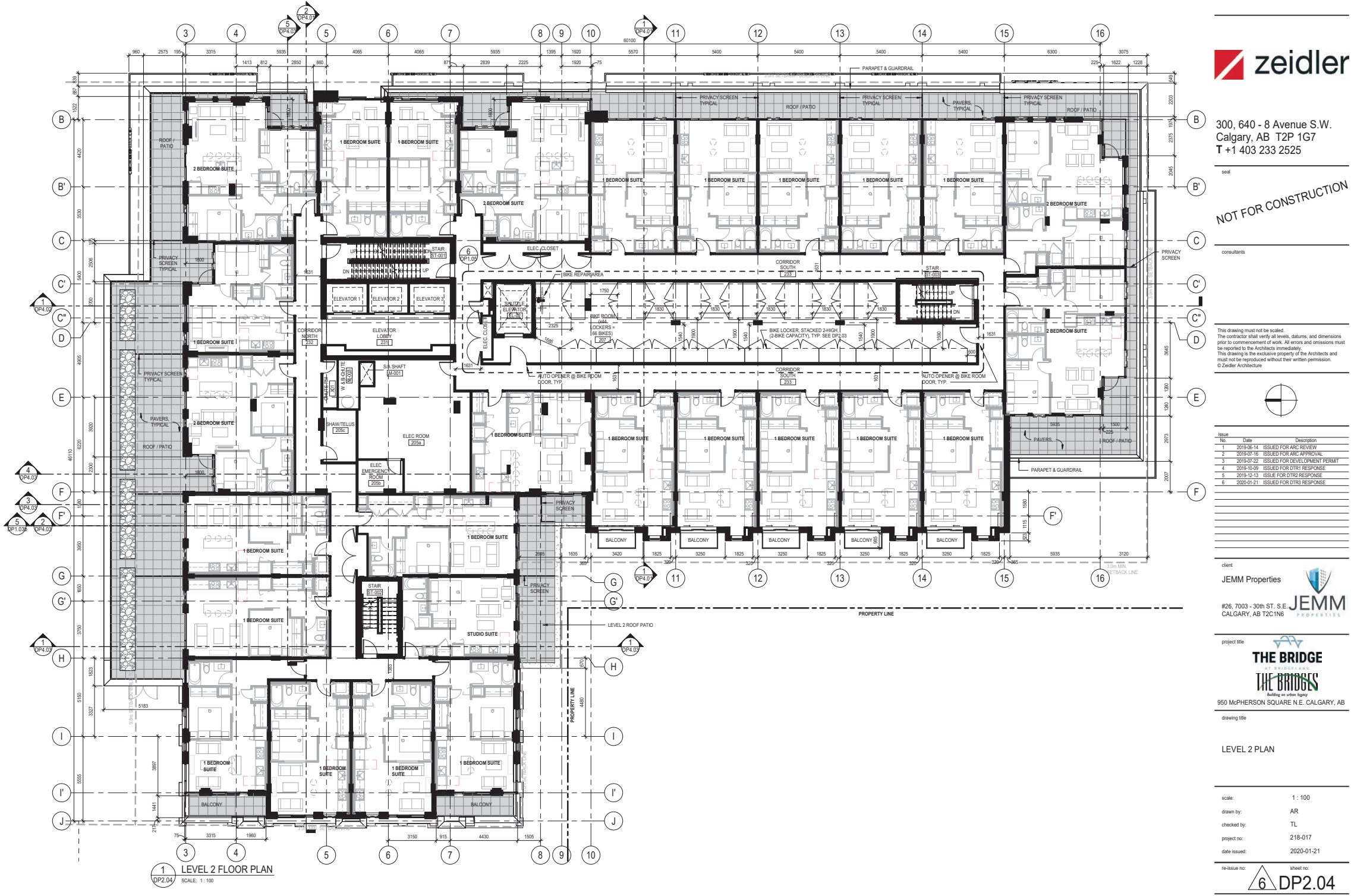


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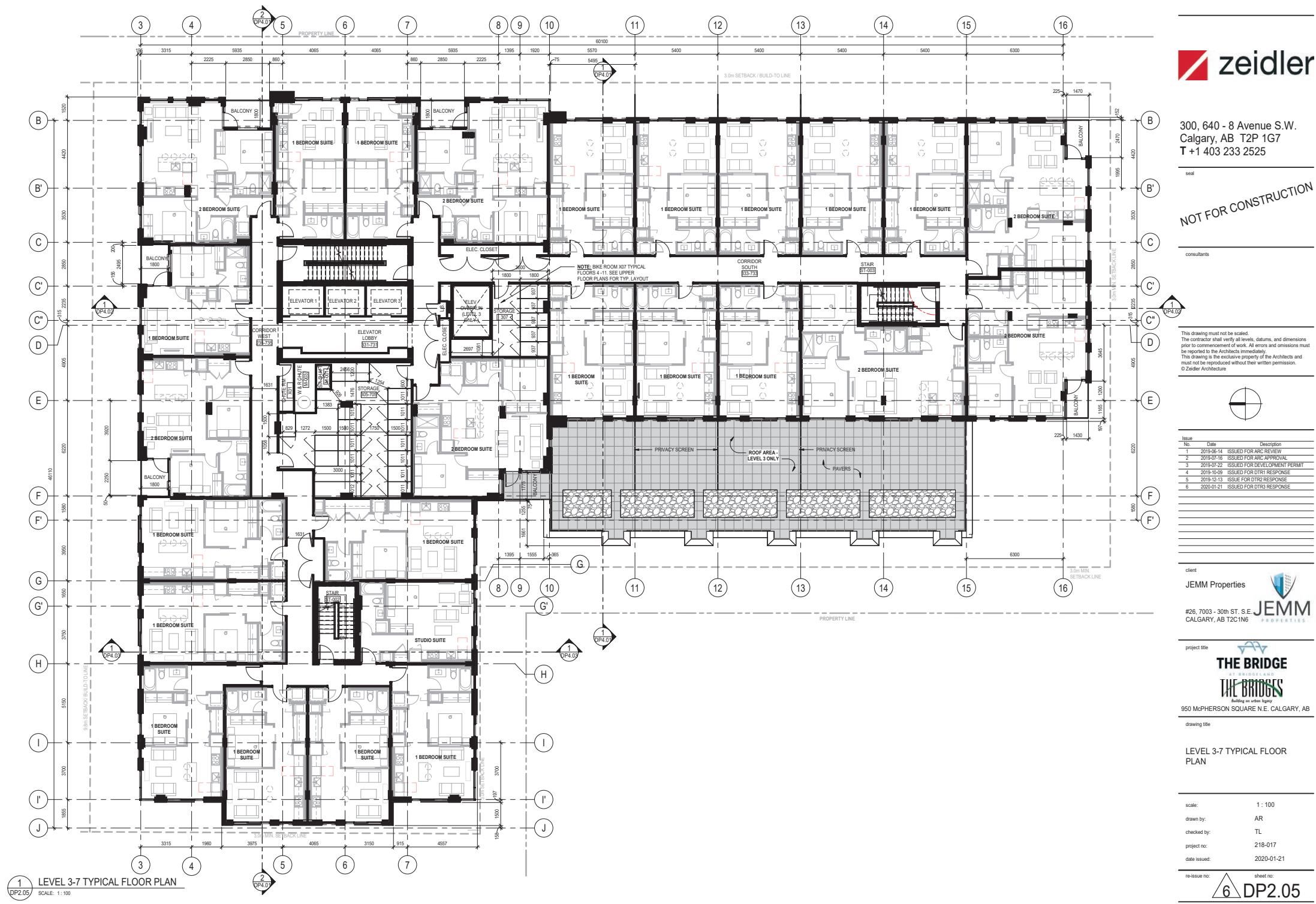




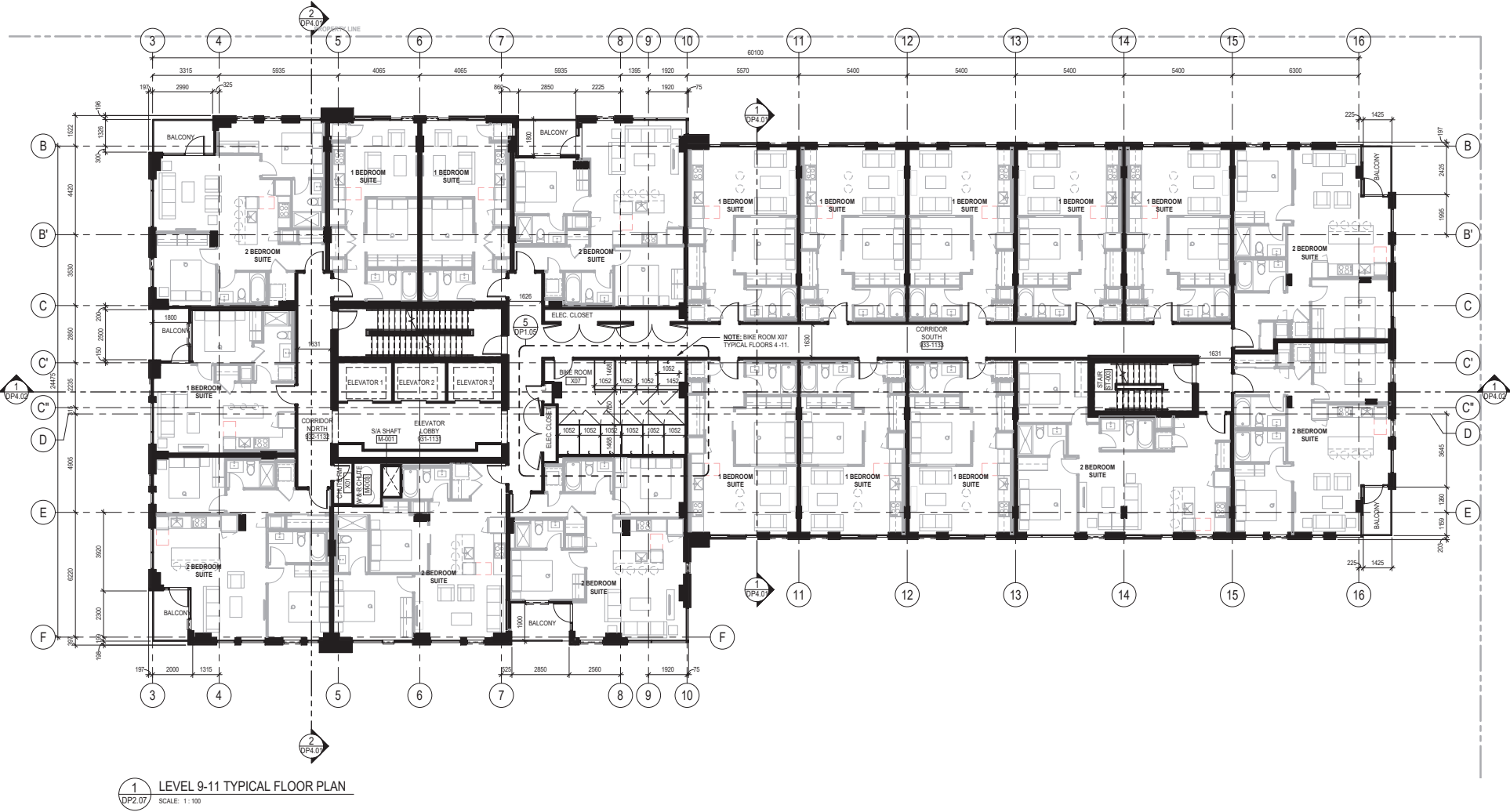
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5	2019-12-13	ISSUED FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client

JEMM Properties



#26, 7003 - 30th ST. S.E.
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project title



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drawing title

LEVEL 9-11 TYPICAL FLOOR
PLAN

scale: 1 : 100

drawn by: AR/TP

checked by: TL

project no: 218-017

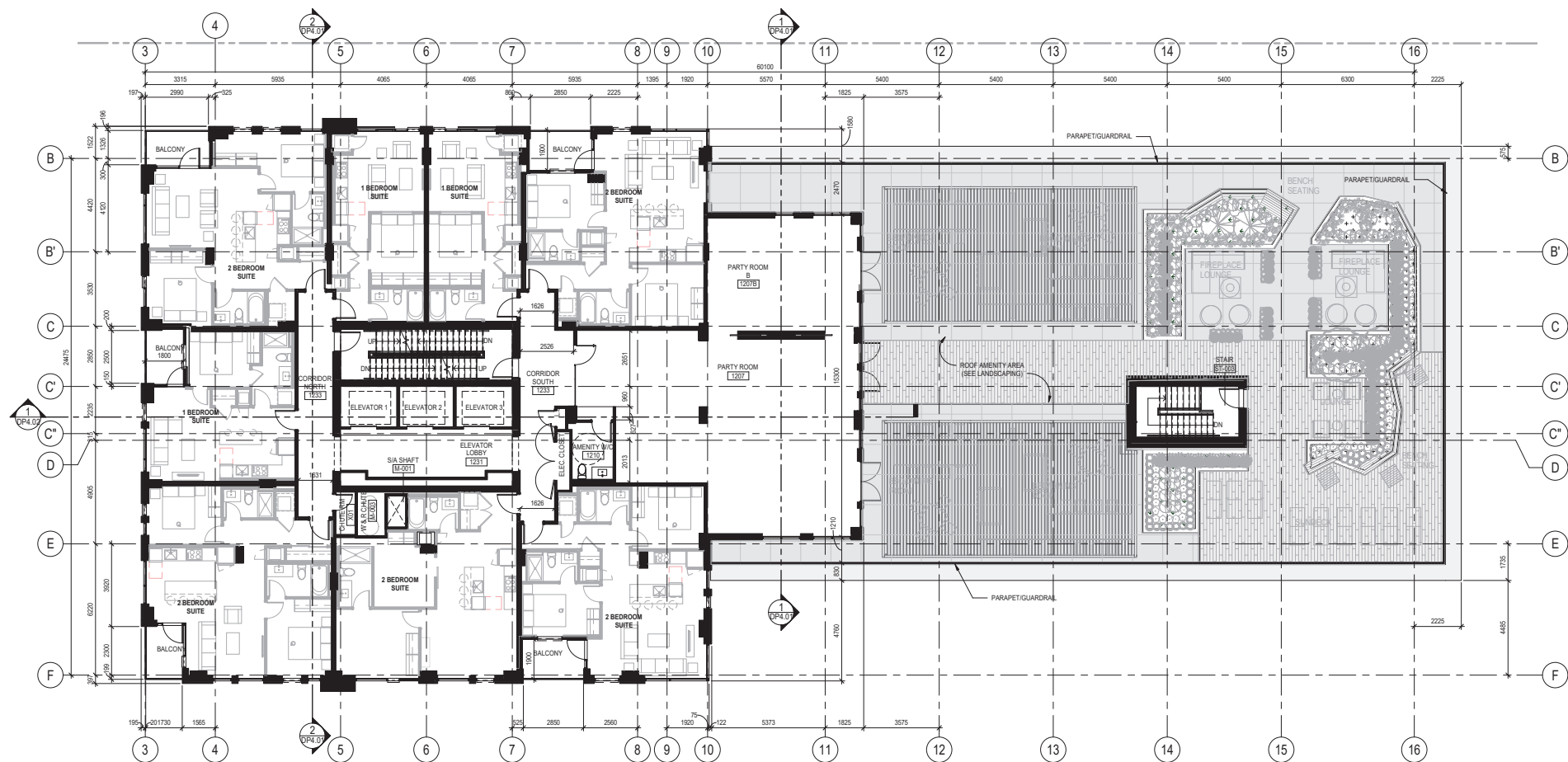
date issued: 2020-01-21

re-issue no: sheet no:

6 DP2.07

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1 LEVEL 12 FLOOR PLAN
DP2.08 SCALE: 1 : 100



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6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client

JEMM Properties
#26, 7003 - 30th ST. S.E. CALGARY, AB T2C1N6

project title

THE BRIDGE
AT BRIDGELAND
THE BRIDGES

950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

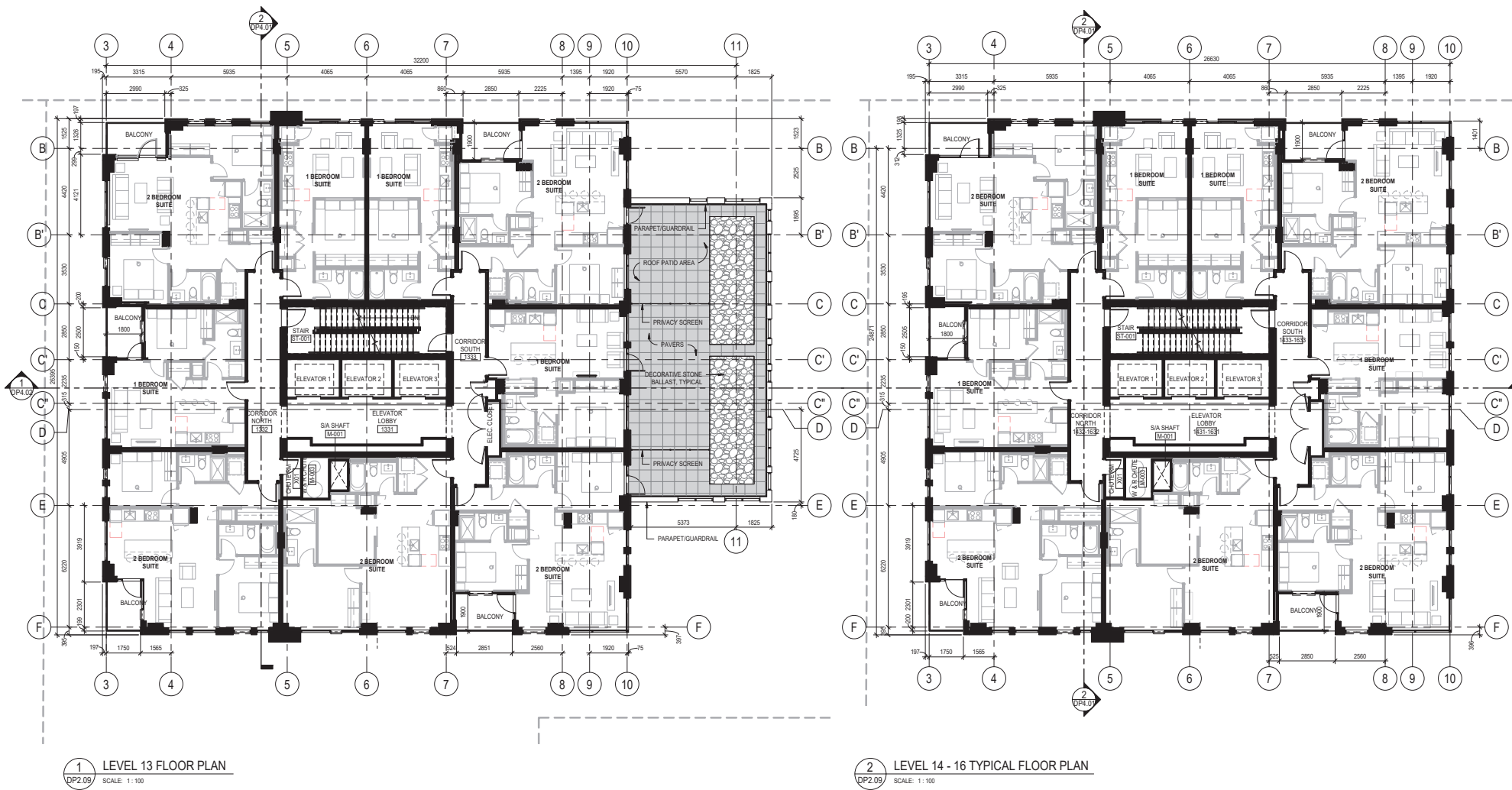
LEVEL 12 FLOOR PLAN

scale: 1 : 100
drawn by: AR
checked by: TL
project no: 218-017
date issued: 2020-01-21

re-issue no: 6 DP2.08
sheet no:

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6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client
JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C 1N6

project title
THE BRIDGE
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title
LEVEL 13-16 TYPICAL
FLOOR PLAN

scale: 1 : 100
drawn by: ARTP
checked by: TL
project no: 218-017
date issued: 2020-01-21

re-issue no: 6 DP2.09
sheet no:

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6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client

JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6



project title

THE BRIDGE
AT BRIDGES
THE BRIDGES
Building on urban legacy
950 McPHERSON SQUARE N.E. CALGARY, AB

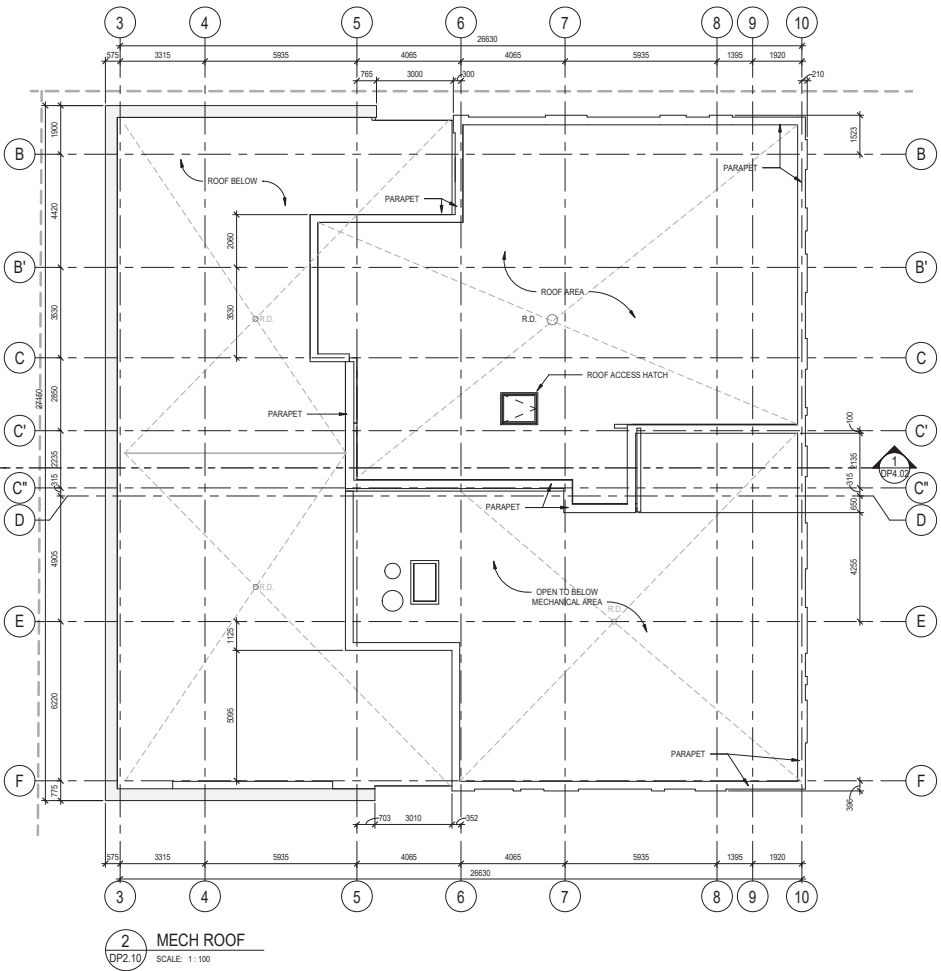
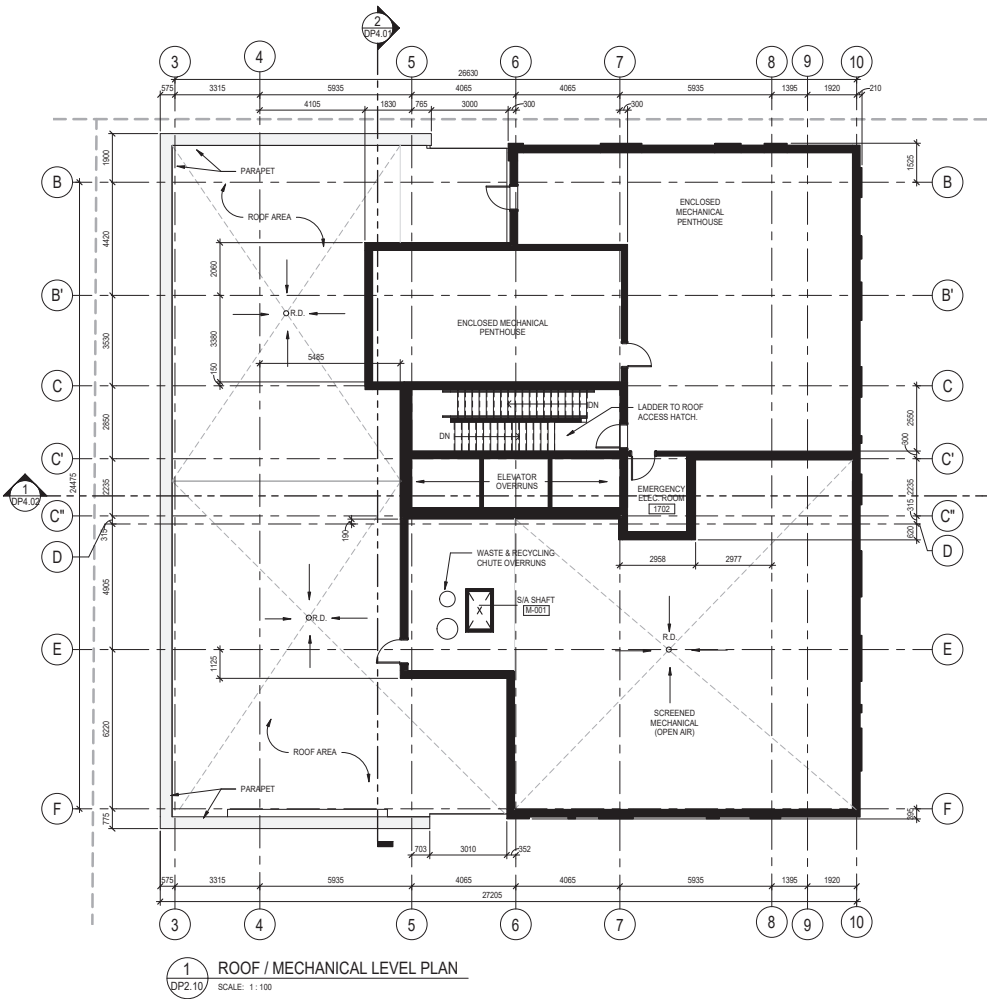
drawing title

MECHANICAL & ROOF PLAN

scale: 1 : 100
drawn by: AR
checked by: TL
project no: 218-017
date issued: 2020-01-21

re-issue no: sheet no:
6 DP2.10

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Development Permit Plans

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3 3D VIEW NE CORNER
DP3.00 SCALE:



4 3D VIEW SE CORNER
DP3.00 SCALE:

NOTE:
ALL LANDSCAPE PLANTING, URBAN FURNITURE,
AND PAVING PATTERNS ARE NOT SHOWN IN
THESE PERSPECTIVE VIEWS - BUILDING ONLY.



2 3D VIEW NW CORNER
DP3.00 SCALE:



1 3D VIEW SW CORNER
DP3.00 SCALE:



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client
JEMM Properties
#26, 7003 - 30th ST. S.E. CALGARY, AB T2C1N6

project title
THE BRIDGE
AT BRIDGES
THE BRIDGES
Building on urban rights
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

PERSPECTIVE VIEWS

scale:
drawn by: AR
checked by: TL
project no: 218-017
date issued: 2020-01-21

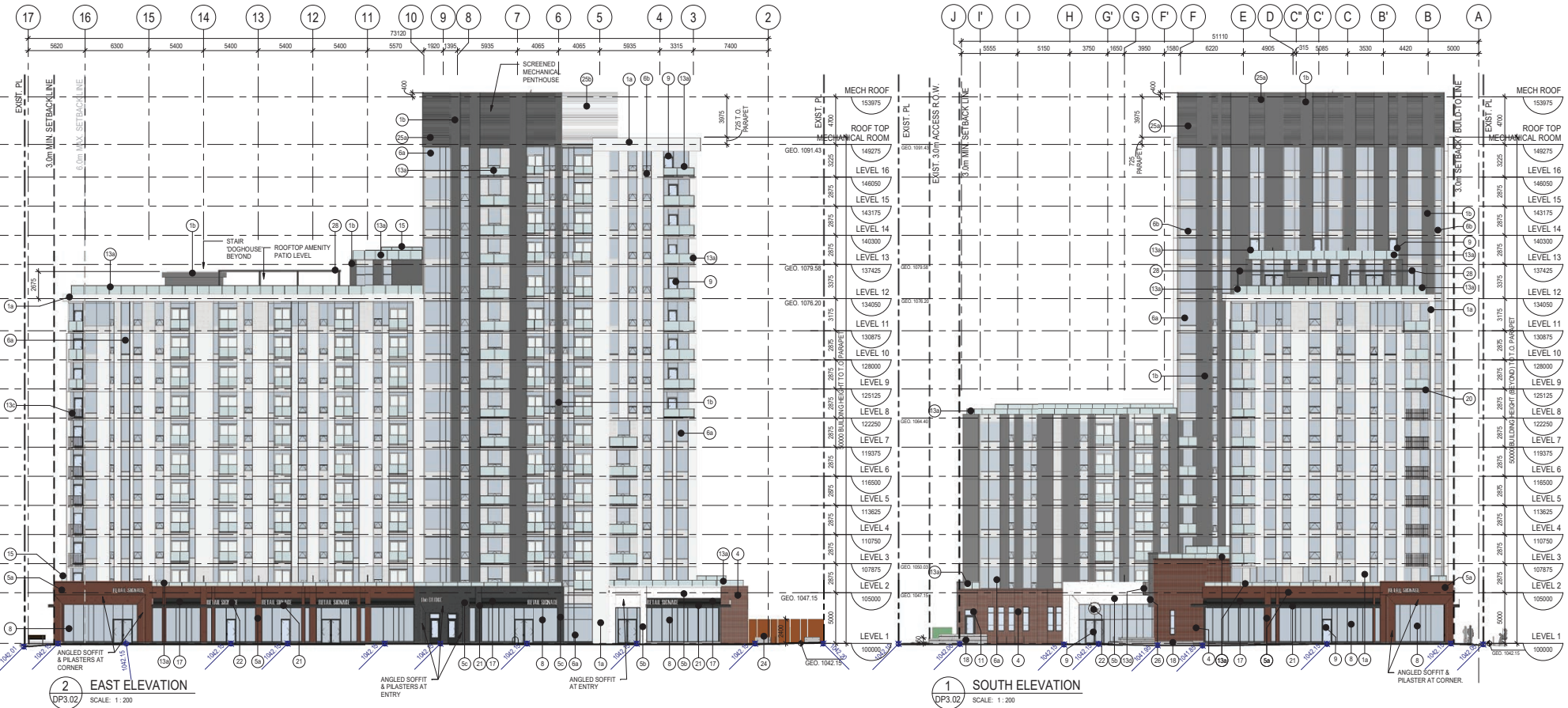
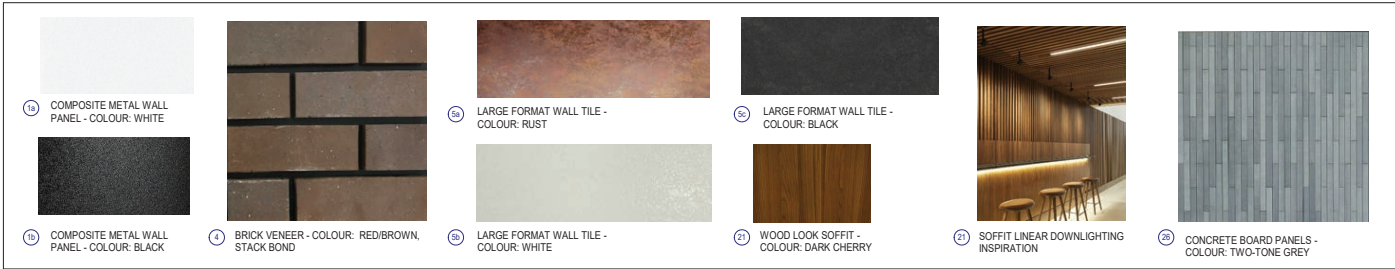
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CPC2020-0130 - Attach 1
ISC: UNRESTRICTED

Development Permit Plans

MATERIALS LEGEND			
15	COMPOSITE METAL WALL PANEL - COLOUR: WHITE	25	ALUMINUM WINDOW WALL SYSTEM C/W POWDER COATED MEDIUM GREY FRAMES
16	COMPOSITE METAL WALL PANEL - COLOUR: BLACK	26	ALUMINUM WINDOW WALL SYSTEM C/W POWDER COATED MEDIUM GREY FRAMES AND SPANDREL PANEL TO MATCH FRAMES
2	NOT USED	7	THERMALLY BROKEN, 'BLACK' ALUMINUM PUNCHED WINDOW C/W CLEAR GLASS
3	PREFINISHED CHAINLINK FENCING WITH GATES (FOR GAS METER ACCESS)	8	DOUBLE GLAZED, THERMALLY BROKEN, ALUMINUM STOREFRONT GLAZING SYSTEM C/W CLEAR GLASS AND POWDER COATED 'BLACK' FRAMES
4	BRICK MASONRY VENEER - COLOUR: RED/BROWN, STACK BOND	9	PREFINISHED, THERMALLY BROKEN ALUMINUM SLIDING DOOR C/W CLEAR GLAZING INSET AND TRANSOM - COLOUR: 'BLACK' FRAME
5a	EXTERIOR WALL TILE SYSTEM - COLOUR: RUST	10a	PREFINISHED, THERMALLY BROKEN ALUMINUM SLIDING DOOR C/W CLEAR GLAZING AND MEDIUM GREY FRAME
5b	EXTERIOR WALL TILE SYSTEM - COLOUR: WHITE	10b	PREFINISHED, THERMALLY BROKEN ALUMINUM SLIDING DOOR C/W CLEAR GLAZING AND 'BLACK' FRAME
5c	EXTERIOR WALL TILE SYSTEM - COLOUR: BLACK	11	SOLID CORE TOWNHOUSE ENTRY DOOR C/W SIDELITE, CLEAR GLASS, AND WOOD VENEER
		12	PREFINISHED INSULATED OVERHEAD DOOR - COLOUR: BLACK
		13a	PREFINISHED ALUMINUM GUARDRAIL C/W CLEAR GLASS PANELS - COLOUR: MEDIUM GREY
		13b	PREFINISHED ALUMINUM GUARDRAIL C/W CLEAR GLASS PANELS - COLOUR: BLACK
		13c	PREFINISHED ALUMINUM FACE MOUNTED PICKET GUARDRAIL - COLOUR: WHITE
		13d	PREFINISHED ALUMINUM FACE MOUNTED PICKET GUARDRAIL - COLOUR: BLACK
		14	PREFINISHED ALUMINUM JULET GUARDRAIL C/W CLEAR GLASS - COLOUR: MEDIUM GREY
		15	PREFINISHED 'BLACK' ALUMINUM PRIVACY SCREEN C/W OPAQUE GLASS 'XXXXX'
		16	PREFINISHED HOLLOW METAL INSULATED DOOR - COLOUR: BLACK
		17	PREFINISHED METAL MECHANICAL LOUVER - COLOUR: XXX
		18	CAST-IN-PLACE CONCRETE PLANTERS FINISH: SANDBLASTED
		19	CAST-IN-PLACE CONCRETE STAIRS - FINISH: BROOM
		20	CONCRETE BALCONY TRAFFIC MEMBRANE COLOUR: WHITE
		21	PREFINISHED METAL BREAK SHAPE CANOPY FASCIA - COLOUR: BLACK
		22	SIGNAGE - FOR REFERENCE ONLY - BY SIGNAGE PERMIT
		23	CONCRETE FILLED STEEL BOLLARD COLOUR: PAINTED SAFETY YELLOW
		24	SCREEN WALL - RAW SEALED STEEL PANELS
		25a	PREFINISHED METAL MECHANICAL LOUVER WALL - COLOUR: BLACK
		25b	PREFINISHED METAL MECHANICAL LOUVER WALL - COLOUR: WHITE
		26	TWO-TONED CONCRETE PANEL SIDING - COLOUR: LIGHT GREY AND MEDIUM GREY



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5	2019-12-13	ISSUE FOR DTR2 RESPONSE
6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client
JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6

project title
THE BRIDGE
Building on urban legacy
THE BRIDGES
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title
BUILDING ELEVATIONS - SOUTH & EAST

scale: As indicated
drawn by: ARTP
checked by: BR
project no: 218-017
date issued: 2020-01-21

re-issue no: sheet no:
6 DP3.02

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client
JEMM Properties
#26, 7003 - 30th ST. S.E. CALGARY, AB T2C1N6

project title
THE BRIDGE
ST BRIDGES BLVD
THE BRIDGES
950 McPHERSON SQUARE N.E. CALGARY, AB

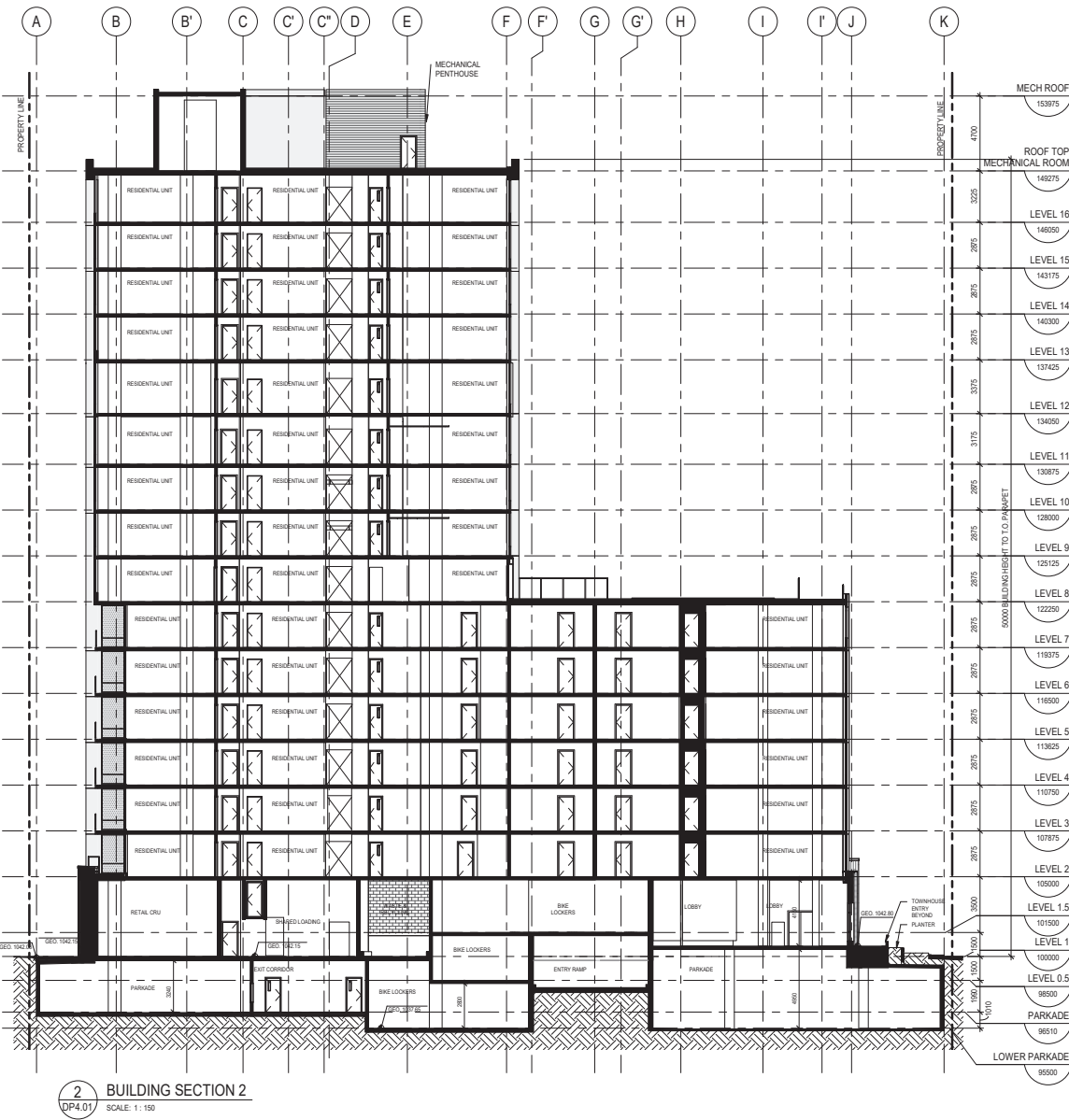
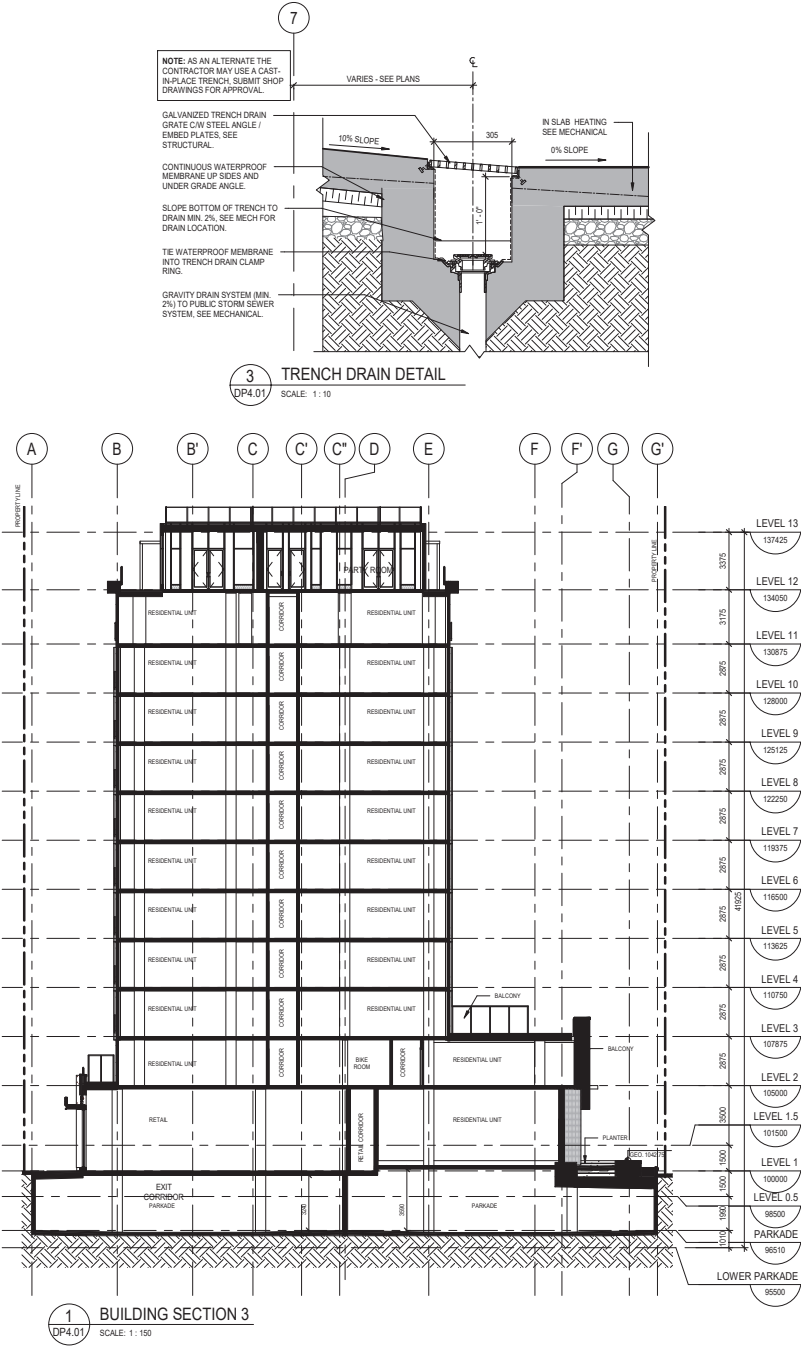
drawing title
ENLARGED RESIDENTIAL ELEVATIONS

scale: 1 : 50
drawn by: AR/TP
checked by: TL
project no: 218-017
date issued: 2020-01-21

re-issue no: 6 DP3.03
sheet no:

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client
JEMM Properties

#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C 1N6

project title
THE BRIDGE
AT BRIDGLAND
THE BRIDGES

950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

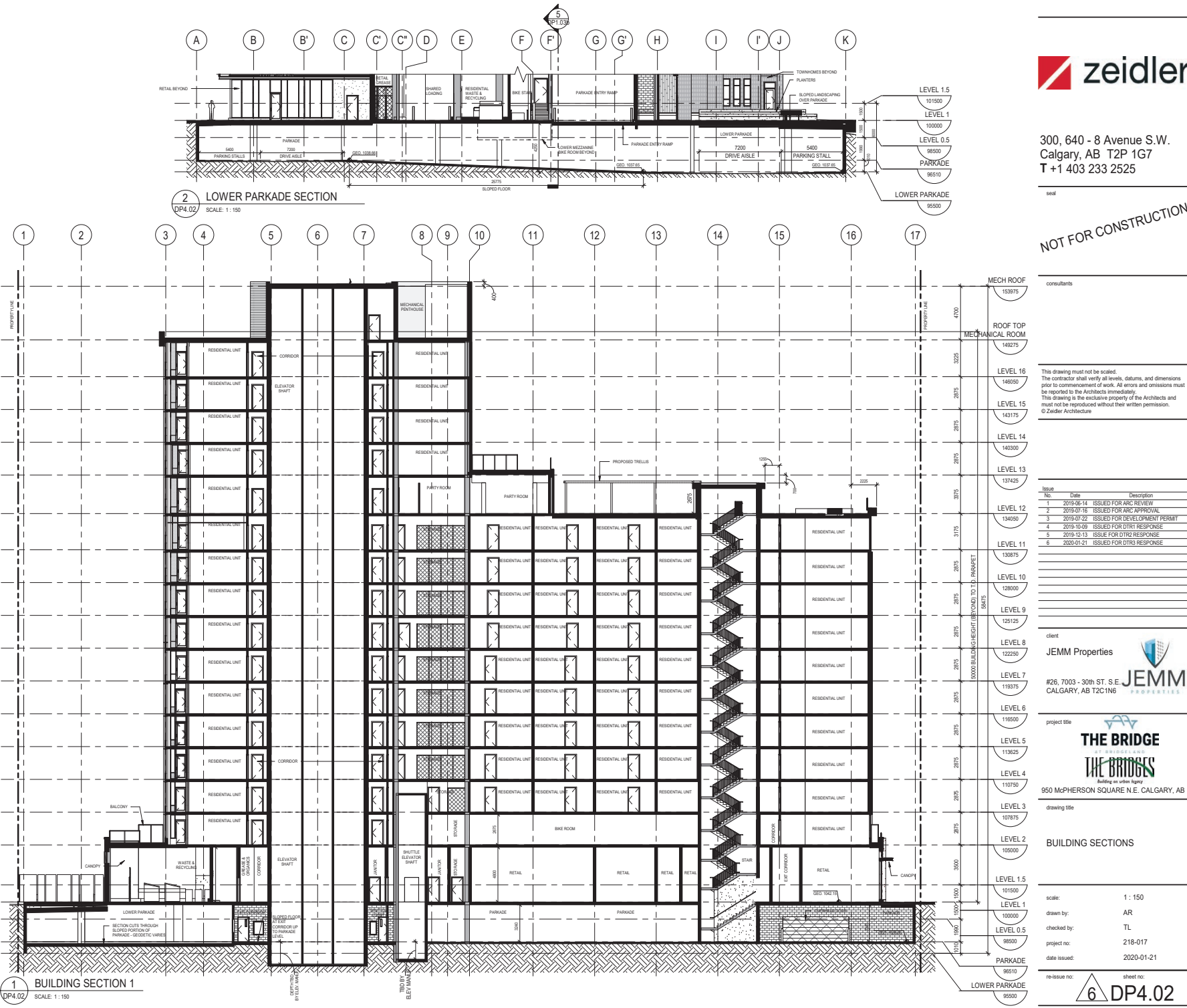
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scale: As indicated
drawn by: AR
checked by: TL
project no: 218-017
date issued: 2020-01-21

re-issue no: sheet no: 6 DP4.01

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client

JEMM Properties
#26, 7003 - 30th ST. S.E. CALGARY, AB T2C1N6

project title

THE BRIDGE AT BRIDGLAND THE BRIDGES
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

BUILDING SECTIONS

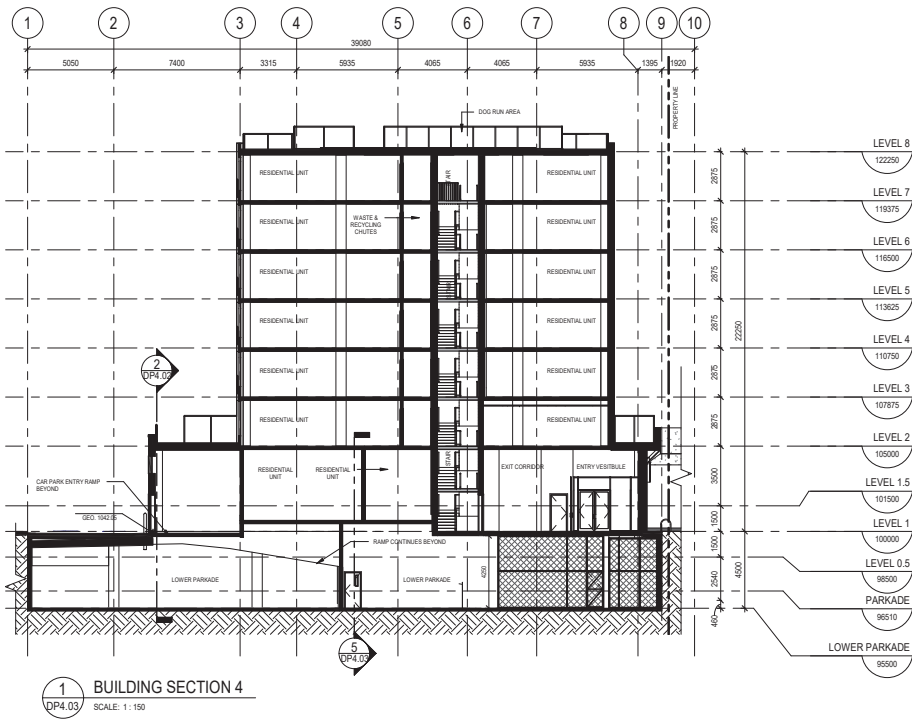
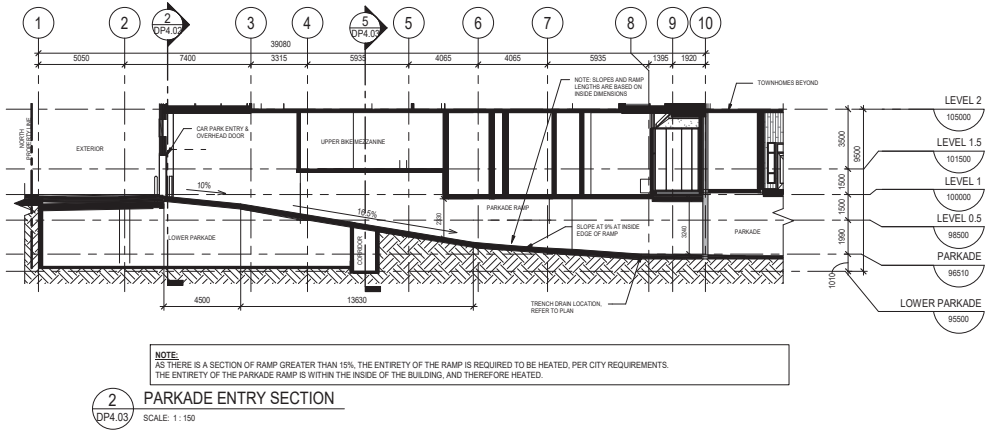
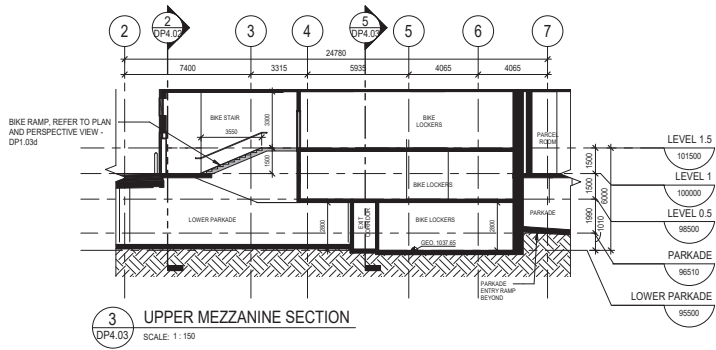
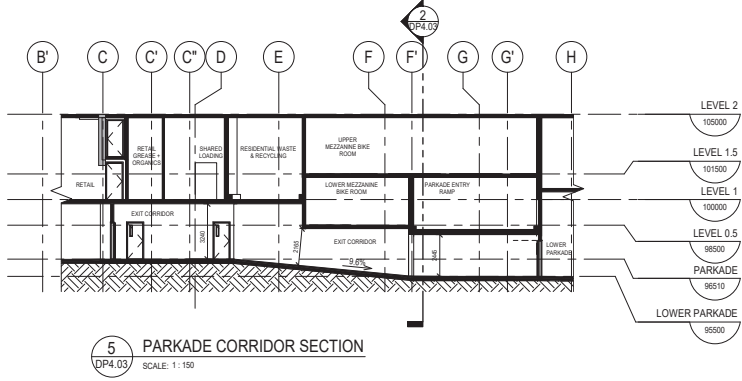
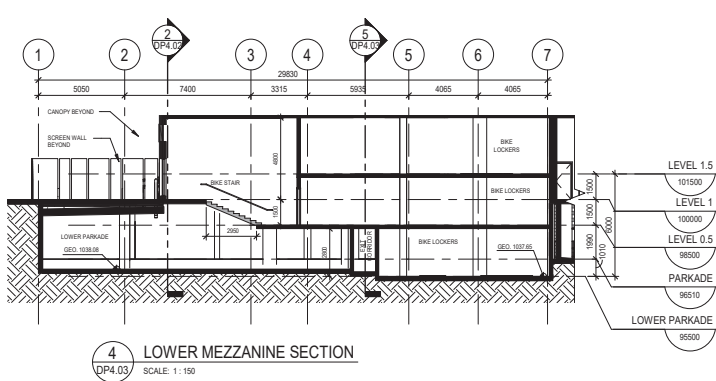
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checked by: TL
project no: 218-017
date issued: 2020-01-21

re-issue no: 6 DP4.02

sheet no: 6 DP4.02

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6	2020-01-21	ISSUED FOR DTR3 RESPONSE

client
JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C 1N6

project title
THE BRIDGE
AT BRIDGES
THE BRIDGES
Building on urban rights
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

BUILDING SECTIONS

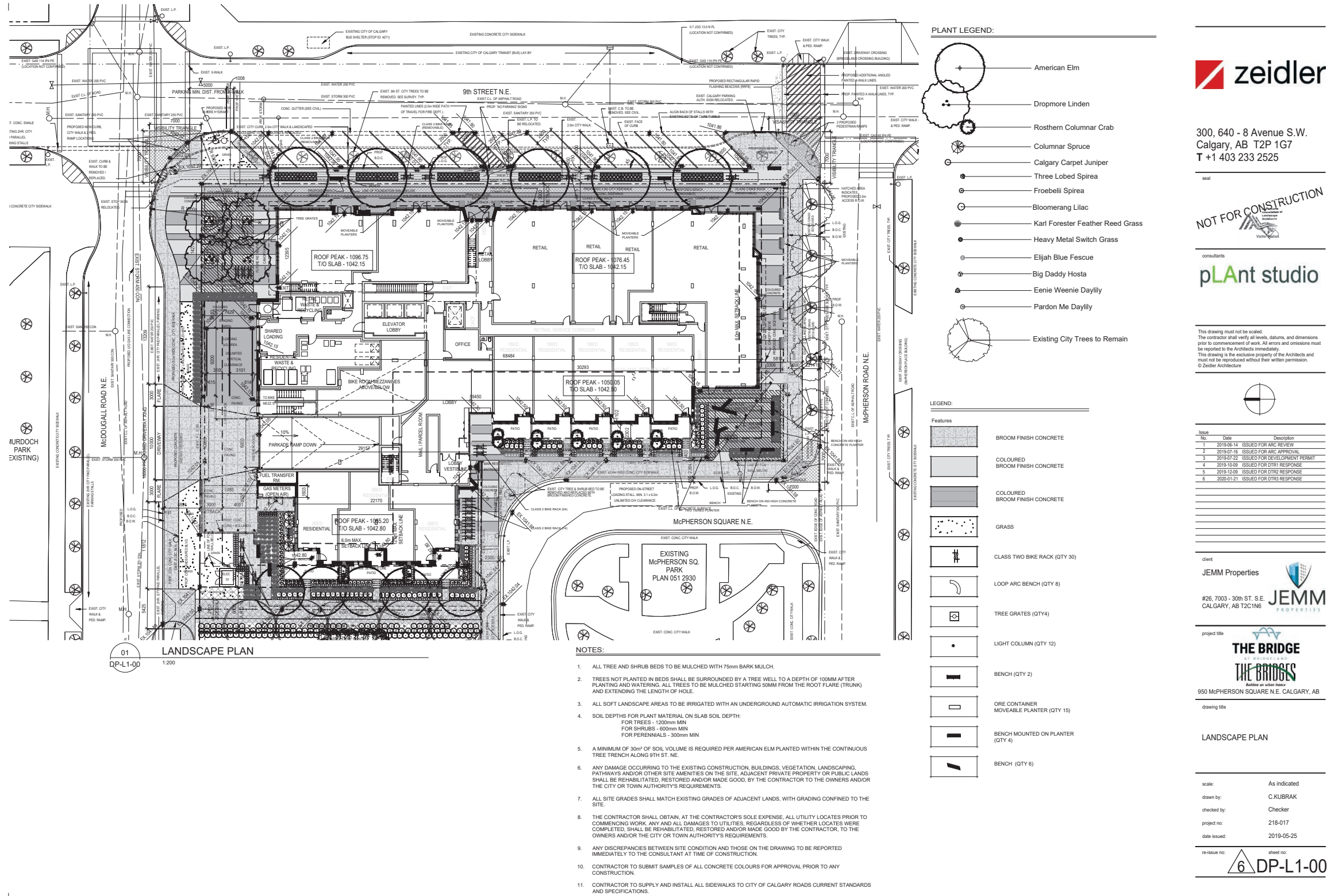
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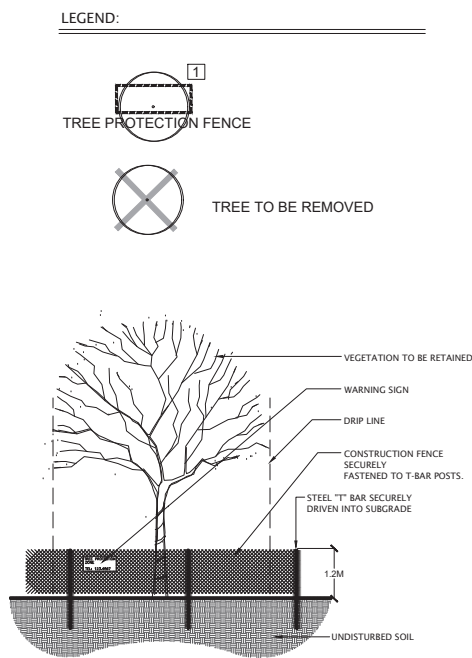
re-issue no: sheet no:
6 DP4.03

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Development Permit Plans





1. All retained trees as shown shall be identified on site in such a way so that all workers shall know that the vegetation to be retained. Identification of retained vegetation on site shall be by a Tree Protection Barrier as shown. For soil retention be sure to call Alberta 1 Call or 1-800-245-3447 before installation and make sure it is done in the form of fly hydrants, discolorations or traffic signage.
2. The tree's roots, trunk, crown and free protection zone must be adequately protected. The Tree Protection Barrier must be at least 2m (6'6") in height, 3m (10') around the circumference of the trunk or, to the tree (whichever is greater) and installed in all locations where trees are to be retained. The fencing or barrier material shall be a bright, contrasting colour and be durable. Fence posts shall be driven into the ground at the corners of the barrier. Fencing will be maintained in a upright position throughout the duration of the project. Ensure the barrier is placed in between the sidewalk and property line to ensure that there is no unauthorized soil disturbance or entry into the area.
3. A warning sign shall be displayed on all free tree protection barriers. The sign shall be a minimum of 50cm (20") high and clearly visible. Signs shall be placed at the corners and indicate contact phone number. Sign to be obtained with applicable permit from The City of Calgary Parks.
4. Mulching to the edge of the Tree Protection Zone will be required. The mulch shall consist of untreated wood chips 2-3cm in size and shall be spread to a 5cm (2") depth. The mulch should be kept at least 50cm (2') from tree trunk.
5. No excavation, stock-piling of materials or other construction related activity shall occur within the Tree Protection Zone.
6. Trees and other vegetation within the Tree Protection Barrier shall be adequately maintained throughout the construction process. They shall be watered sufficiently, particularly if the root system has been disturbed during construction. A tree watering schedule will be required when the Cleveland is to last more than only two weeks.
7. Root and branch pruning shall only be completed with approval from and in accordance with the City of Calgary's Tree Pruning Guidelines.
8. If any damage occurs to the protected vegetation (landscaping) on the lot, the contractor is responsible to notify the permit holder within two working days.

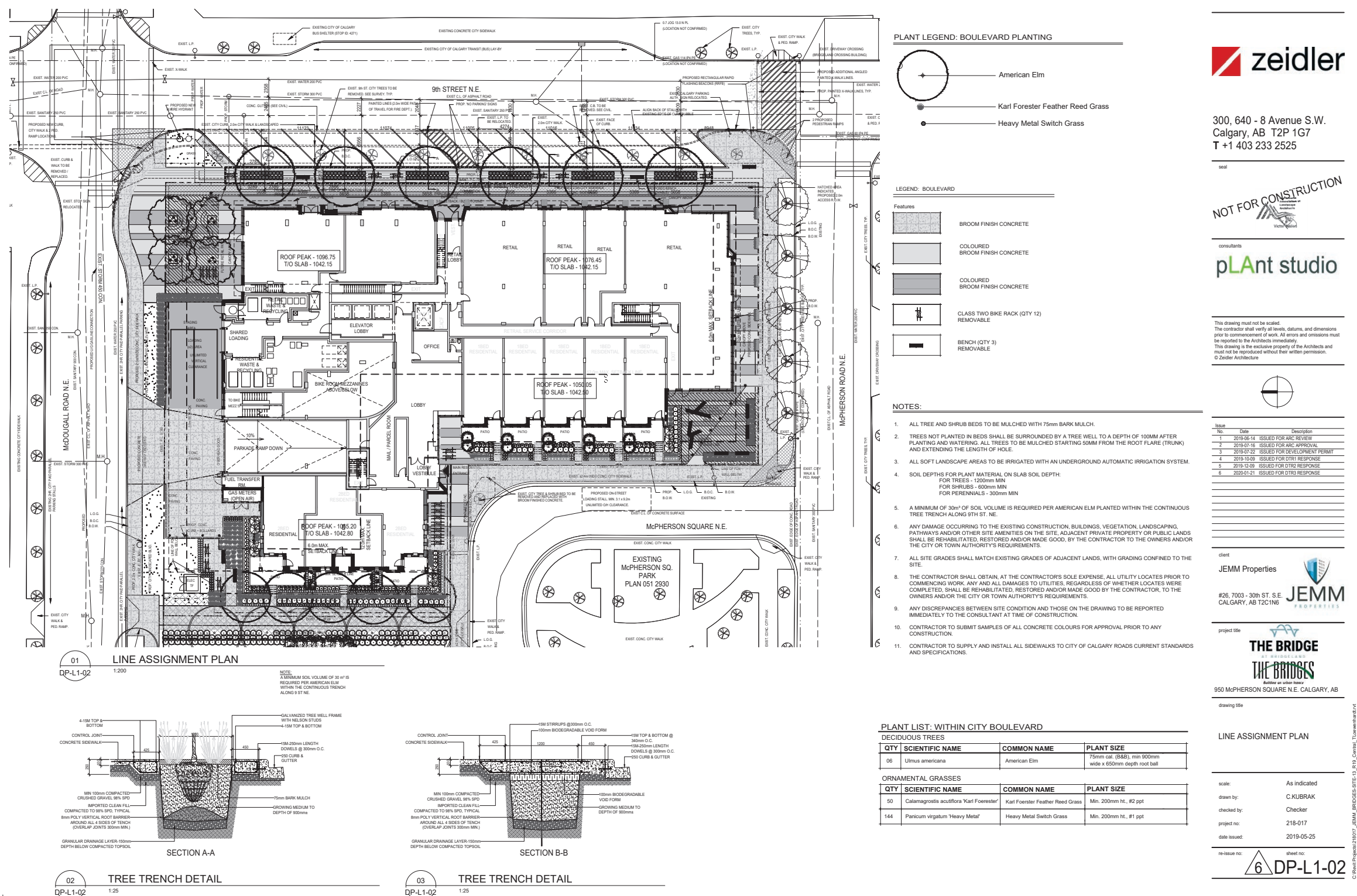
B. Trees removed or damaged, as the result of work, shall be compensated as per methodology from the Council of Tree and Landscape Appraisers (published by the International Society of Arboriculture).

1. A tree protection fence will be provided as shown.
2. Area within tree protection zone to be free of all construction materials and vehicles.
3. Any damage to existing concrete and tree vaults shall be the responsibility of the contractor and will need to be reconstructed as per City of Calgary Standards.

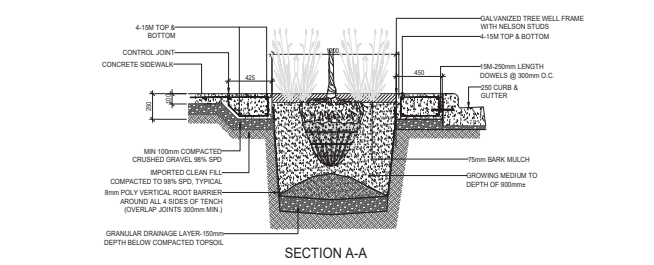
TREE PROTECTION PLAN

re-issue no:  sheet no: DP-L1-01

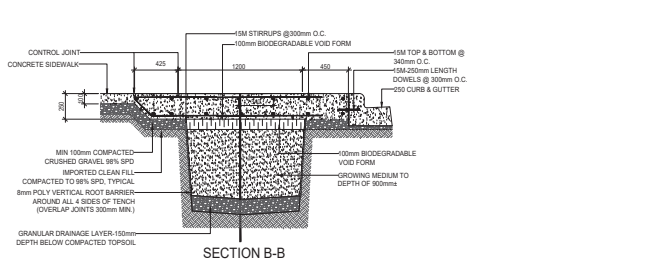
Development Permit Plans



01 LINE ASSIGNMENT PLAN
DP-L1-02 1:200



02 TREE TRENCH DETAIL
DP-L1-02 1:25



03 TREE TRENCH DETAIL
DP-L1-02 1:25

- PLANT LEGEND: BOULEVARD PLANTING
- American Elm
 - Karl Foerster Feather Reed Grass
 - Heavy Metal Switch Grass

- LEGEND: BOULEVARD
- Features
- BROOM FINISH CONCRETE
 - COLOURED BROOM FINISH CONCRETE
 - COLOURED BROOM FINISH CONCRETE
 - CLASS TWO BIKE RACK (QTY 12) REMOVABLE
 - BENCH (QTY 3) REMOVABLE

- NOTES:
- ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
 - TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
 - ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
 - SOIL DEPTHS FOR PLANT MATERIAL ON SLAB SOIL DEPTH:
FOR TREES - 1200mm MIN
FOR SHRUBS - 600mm MIN
FOR PERENNIALS - 300mm MIN
 - A MINIMUM OF 30m³ OF SOIL VOLUME IS REQUIRED PER AMERICAN ELM PLANTED WITHIN THE CONTINUOUS TREE TRENCH ALONG 9TH ST. NE.
 - ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE AMENITIES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD, BY THE CONTRACTOR TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
 - ALL SITE GRADES SHALL MATCH EXISTING GRADES OF ADJACENT LANDS, WITH GRADING CONFINED TO THE SITE.
 - THE CONTRACTOR SHALL OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATES PRIOR TO COMMENCING WORK. ANY AND ALL DAMAGES TO UTILITIES, REGARDLESS OF WHETHER LOCATES WERE COMPLETED, SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR, TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
 - ANY DISCREPANCIES BETWEEN SITE CONDITION AND THOSE ON THE DRAWING TO BE REPORTED IMMEDIATELY TO THE CONSULTANT AT TIME OF CONSTRUCTION.
 - CONTRACTOR TO SUBMIT SAMPLES OF ALL CONCRETE COLOURS FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
 - CONTRACTOR TO SUPPLY AND INSTALL ALL SIDEWALKS TO CITY OF CALGARY ROADS CURRENT STANDARDS AND SPECIFICATIONS.

PLANT LIST: WITHIN CITY BOULEVARD

DECIDUOUS TREES		
QTY	SCIENTIFIC NAME	COMMON NAME
06	Ulmus americana	American Elm

ORNAMENTAL GRASSES		
QTY	SCIENTIFIC NAME	COMMON NAME
50	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass
144	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass

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client
JEMM Properties

#26, 7003 - 30th St. S.E.
CALGARY, AB T2C 1N6

project title
THE BRIDGE
AT BRIDGLAND
THE BRIDGES
Bridging an urban legacy

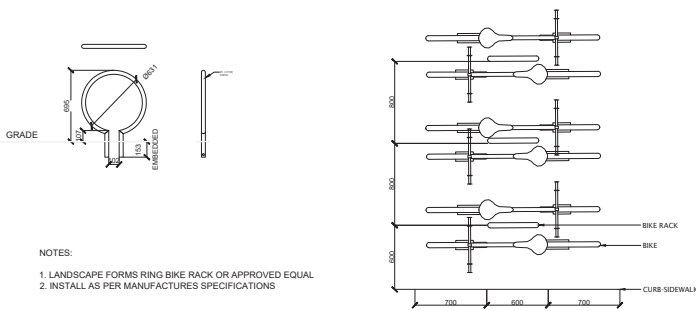
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title
LINE ASSIGNMENT PLAN

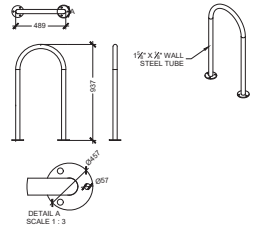
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drawn by: C.KUBRAK
checked by: Checker
project no: 218-017
date issued: 2019-05-25
re-issue no: 6
sheet no: DP-L1-02



Development Permit Plans



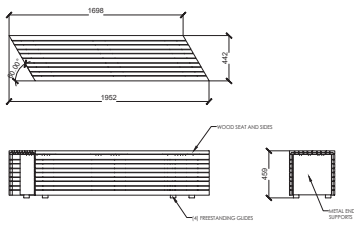
01 BIKE RACK CLASS 2
DP-L3-01 1:25



04 BIKE RACK WITHIN CITY BOULEVARD
DP-L3-01 1:25



02 BENCH WITHIN CITY BOULEVARD
DP-L3-01 NTS



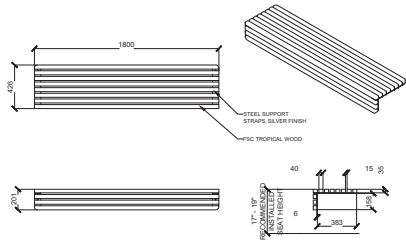
05 SOUTH PLAZA BENCH
DP-L3-01 1:25



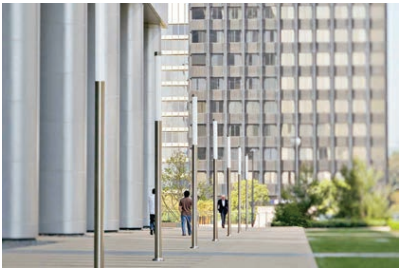
07 ORE MOVEABLE CONTAINERS
DP-L3-01 NTS



03 NORTH PLAZA BENCH
DP-L3-01 NTS



06 BENCH ON PLANTER
DP-L3-01 1:25



08 COLUMN PEDESTRIAN LIGHTS
DP-L3-01 NTS



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Issue No.	Date	Description
1	2019-05-14	ISSUED FOR ARC REVIEW
2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTR RESPONSE
5	2019-12-09	ISSUED FOR DTR RESPONSE
6	2020-01-21	ISSUED FOR DTR RESPONSE

client
JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6

project title
THE BRIDGE
THE BRIDGES
Bridges at City Centre
660 McPherson Square N.E. CALGARY, AB

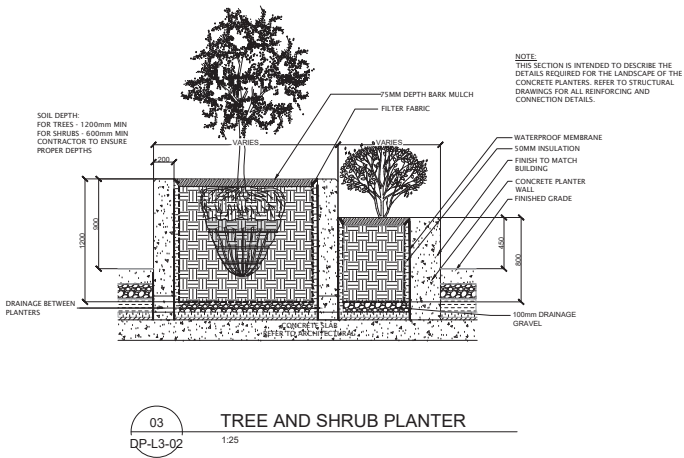
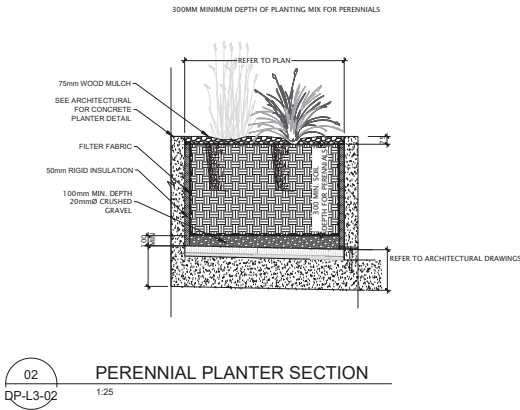
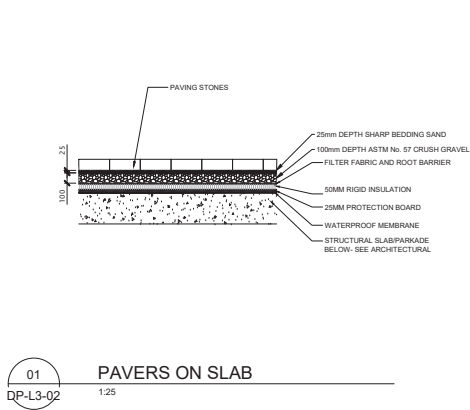
drawing title
LANDSCAPE DETAILS

scale: As indicated
drawn by: C.KUBRAK
checked by: Checker
project no: 218-017
date issued: 2019-04-26

re-issue no: 6 DP-L3-01
sheet no: 6

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Development Permit Plans



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Issue No.	Date	Description
1	2019-06-14	ISSUED FOR ARC REVIEW
2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTIR RESPONSE
5	2019-12-09	ISSUED FOR DTIR RESPONSE
6	2020-01-21	ISSUED FOR DTIR RESPONSE

client
JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6

project title
THE BRIDGE
THE BRIDGES
Builder as owner
660 McPHERSON SQUARE N.E. CALGARY, AB

drawing title
LANDSCAPE DETAILS

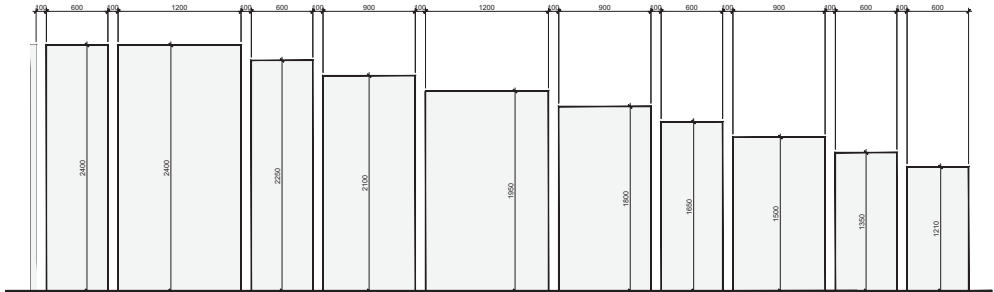
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drawn by:	C.KUBRAK
checked by:	Checker
project no:	218-017
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6	DP-L3-01

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NOTE:
FENCE SCREEN PANEL SECTIONS TO BE RAW
SEALED STEEL PANELS OR SIMILAR
APPROVED.



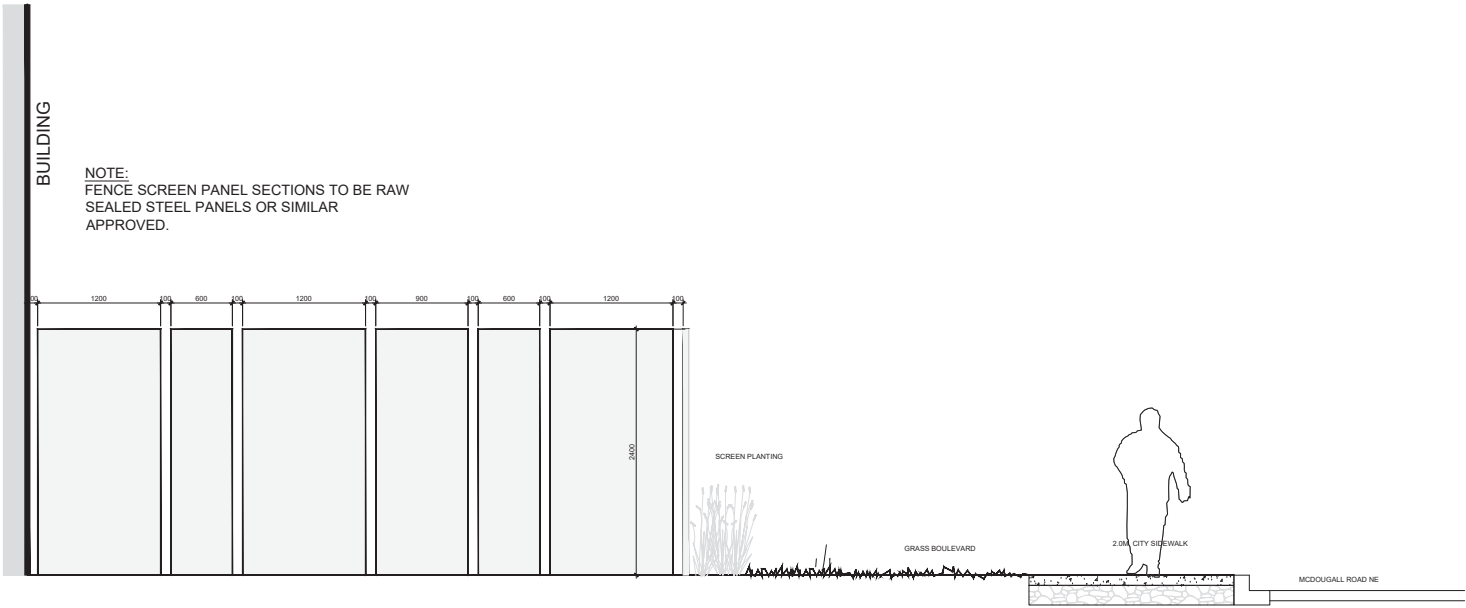
NORTH ELEVATION OF SCREEN WALL

01
DP-L3-04
SCREEN WALL - NORTH ELEVATION
1:25



02
DP-L3-04
SCREEN WALL INSPIRATION
NTS

NOTE:
FENCE SCREEN PANEL SECTIONS TO BE RAW
SEALED STEEL PANELS OR SIMILAR
APPROVED.



EAST ELEVATION OF SCREEN WALL

02
DP-L3-04
SCREEN WALL - EAST ELEVATION
1:25



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1	2019-05-14	ISSUED FOR ARC REVIEW
2	2019-07-16	ISSUED FOR ARC APPROVAL
3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTIR RESPONSE
5	2019-12-09	ISSUED FOR DTIR RESPONSE
6	2020-01-21	ISSUED FOR DTIR RESPONSE

client
JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6

project title
THE BRIDGE
THE BRIDGES
Builder at other level
660 McPHERSON SQUARE N.E. CALGARY, AB

drawing title
SCREEN WALL ELEVATION

scale: As indicated
drawn by: C.KUBRAK
checked by: Checker
project no: 218-017
date issued: 2019-04-26

re-issue no: 6
sheet no: DP-L3-04

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Development Permit Plans

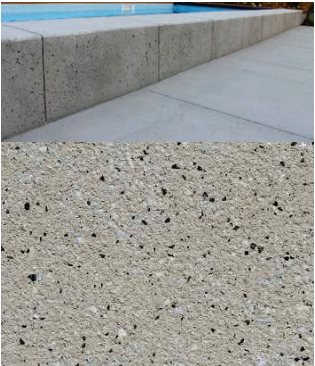
LANDSCAPE IFEATURES AND MATERIALS



DECORATIVE FENCE AND GATE



METAL PERGOLA



SNADBLASTED CONCRETE

LANDSCAPE PAVING TYPES



SAWCUT CONCRETE



DARK CHARCOAL COLOURED PAVING



LIGHT CHARCOAL COLOURED PAVING



PATIO SLABS FOR PRIVATE PATIOS



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Issue No.	Date	Description
1	2019-06-14	ISSUED FOR ARC REVIEW
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3	2019-07-22	ISSUED FOR DEVELOPMENT PERMIT
4	2019-10-09	ISSUED FOR DTIR RESPONSE
5	2019-12-09	ISSUED FOR DTIR RESPONSE
6	2020-01-21	ISSUED FOR DTIR RESPONSE

client

JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C1N6



project title



660 McPherson Square N.E. CALGARY, AB

drawing title

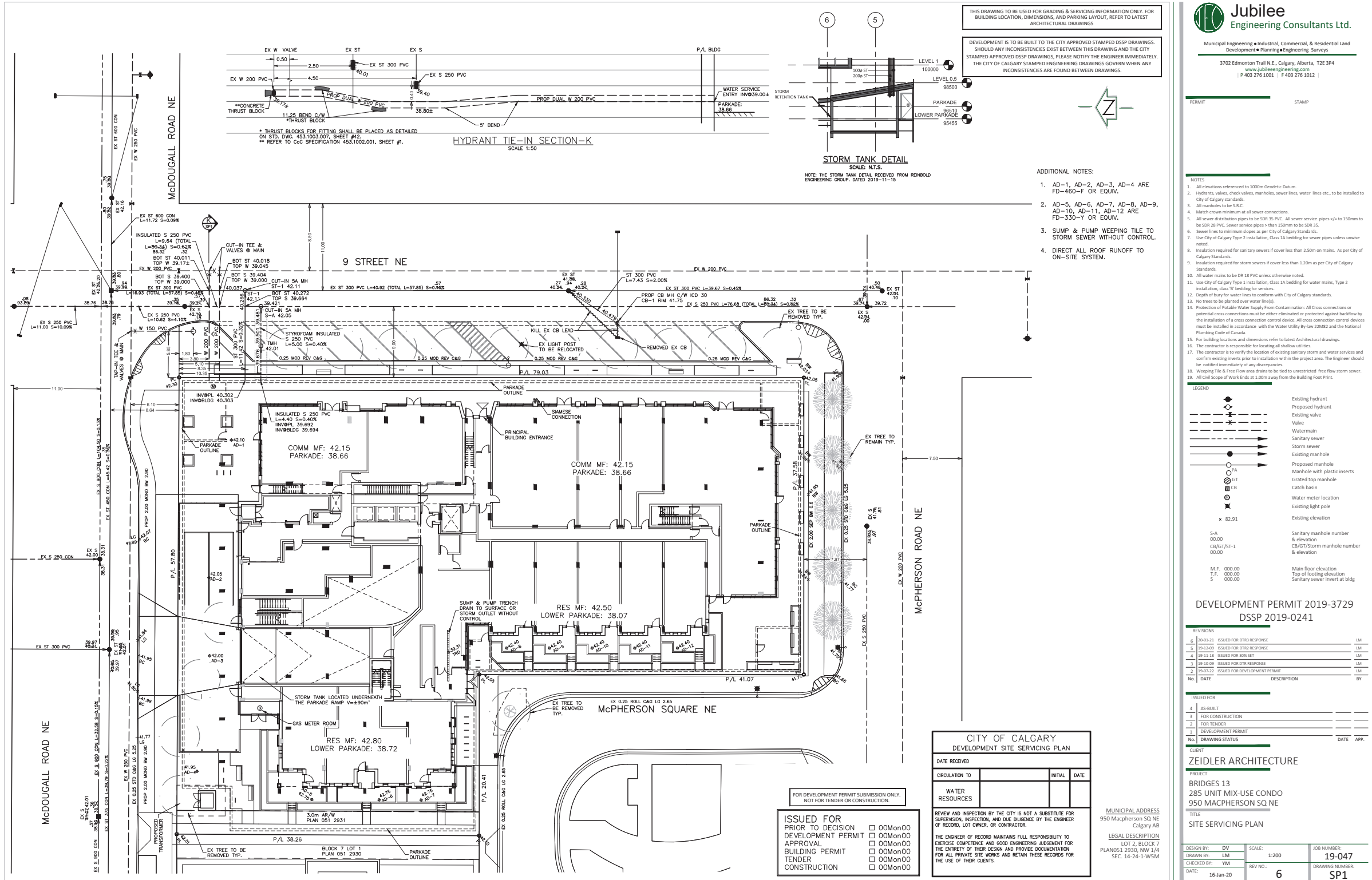
LANDSCAPE INFLUENCES
AND CONCRETE FINISHES

scale: As indicated
drawn by: C.KUBRAK
checked by: Checker
project no: 218-017
date issued: 2019-04-26

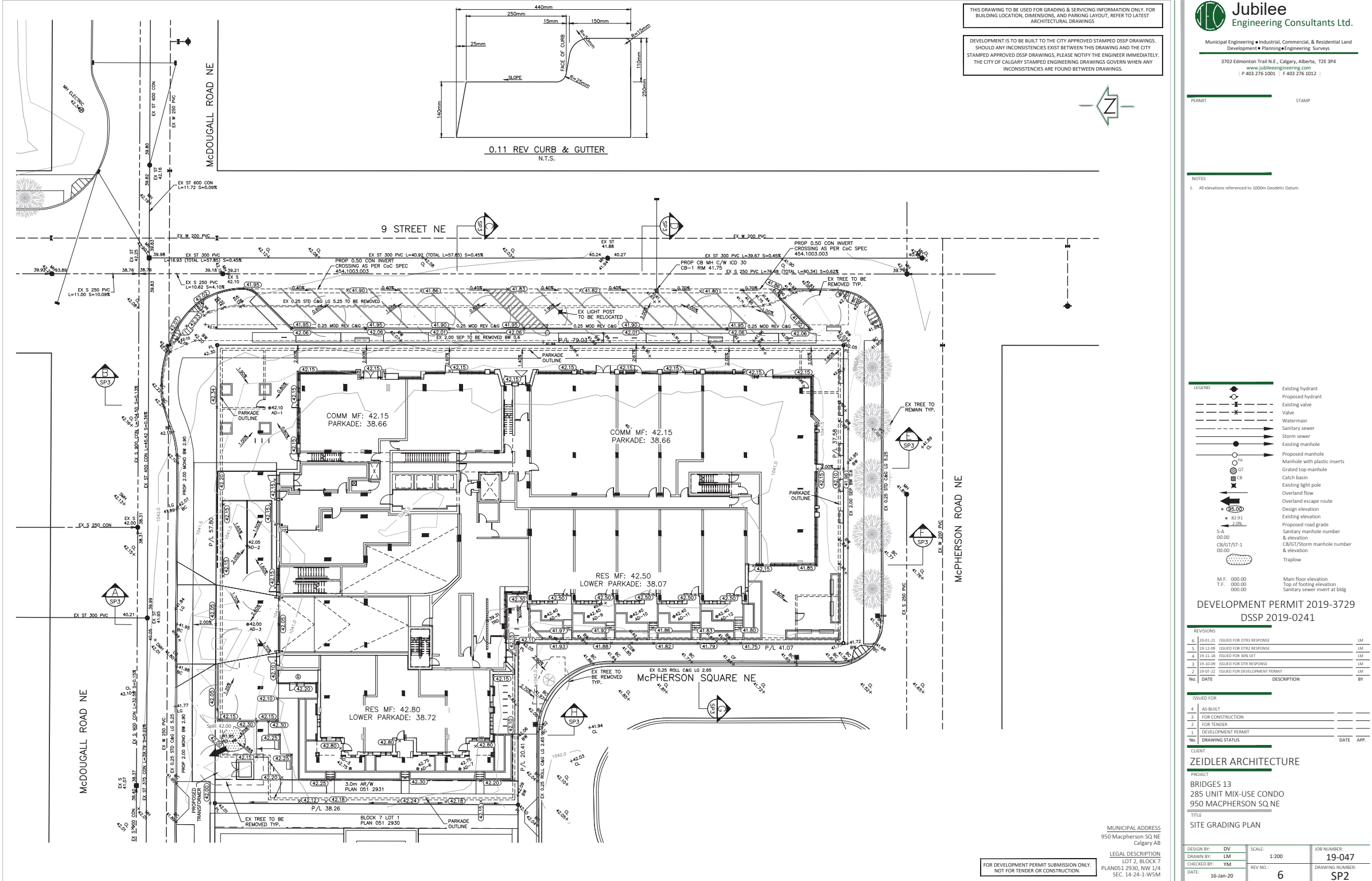
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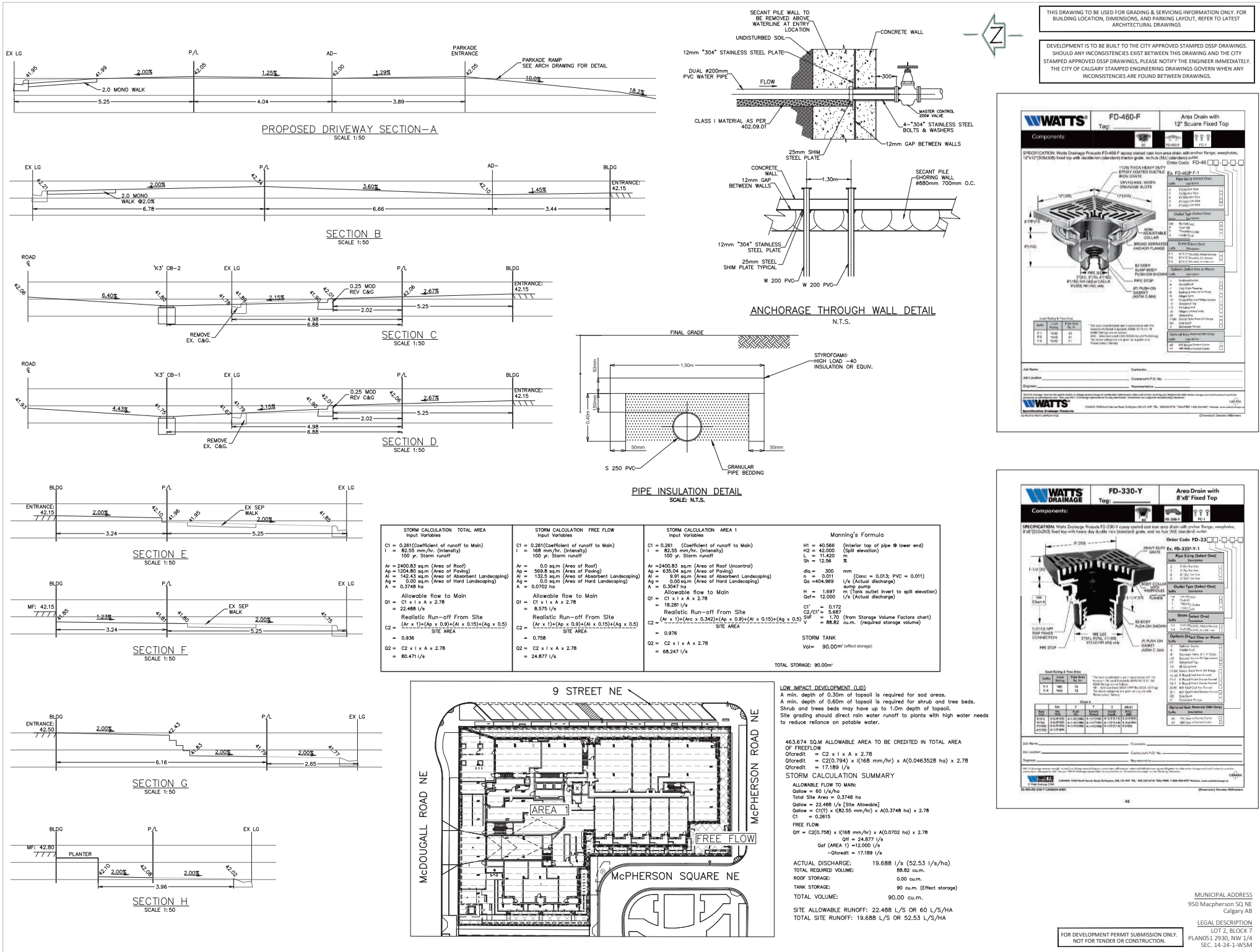
Development Permit Plans



Development Permit Plans



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www.jubileeengineering.com
P 403 276 1003 | F 403 276 1012

PERMIT _____ STAMP _____

NOTES
1. All elevations referenced to 1000m Geodetic Datum.

LEGEND _____

DEVELOPMENT PERMIT 2019-3729
DSSP 2019-0241

REVISIONS

NO.	DATE	DESCRIPTION	BY
6	20-01-21	ISSUED FOR OTHER RESPONSE	LM
5	19-12-09	ISSUED FOR OTHER RESPONSE	LM
4	19-11-18	ISSUED FOR 30% SET	LM
3	19-10-09	ISSUED FOR OTHER RESPONSE	LM
2	19-07-22	ISSUED FOR DEVELOPMENT PERMIT	LM

ISSUED FOR

NO.	DATE	DESCRIPTION	DATE	APP.
4		AS-BUILT		
3		FOR CONSTRUCTION		
2		FOR TENDER		
1		DEVELOPMENT PERMIT		

CLIENT
ZEIDLER ARCHITECTURE

PROJECT
**BRIDGES 13
285 UNIT MIX-USE CONDO
950 MACPHERSON SQ NE**

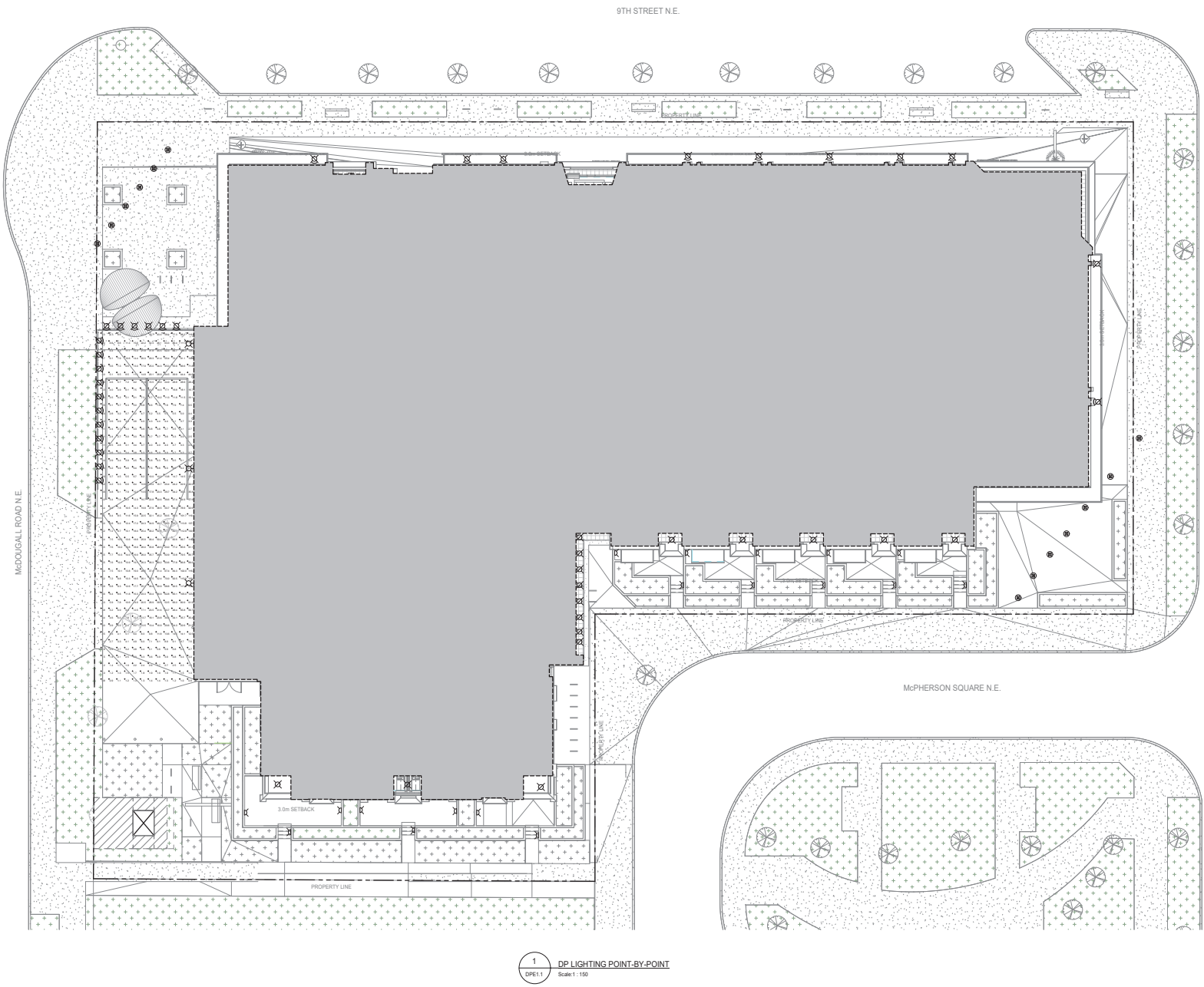
TITLE
SECTION DETAILS & STORM CALCULATIONS

DESIGN BY:	SCALE:	JOB NUMBER:
DV	NTS	19-047
CHECKED BY:	REV NO.:	DRAWING NUMBER:
YM	6	SP3
DATE:	16-Jan-20	



1 DP ELECTRICAL SITE PLAN
DPE1.0 Scale: 1 : 150

Development Permit Plans



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Issue No.	Date	Description
1	2016-06-14	ISSUED FOR ARC REVIEW
2	2016-07-12	ISSUED FOR DEVELOPMENT PERMIT
3	2016-10-09	ISSUED FOR DTR1 RESPONSE
4	2016-12-09	ISSUED FOR DTR2 RESPONSE
5	2020-01-21	ISSUED FOR DTR3 RESPONSE

client

JEMM Properties



#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C 1N6

project title



Building an urban legacy
950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

DP LIGHTING
POINT-BY-POINT

scale: AS SHOWN
drawn by: AC
checked by: NM
project no: 19025
date issued: 2020-01-21

re-issue no: 5 sheet no: DPE1.1

BIM 360 / JEMM Bridges - Site 13 DPE 19025_EL_TB013_4110-04

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1	2016-06-14		ISSUED FOR ARC REVIEW
2	2016-07-12		ISSUED FOR DEVELOPMENT PERMIT
3	2016-10-09		ISSUED FOR DTR1 RESPONSE
4	2016-12-09		ISSUED FOR DTR2 RESPONSE
5	2020-01-21		ISSUED FOR DTR3 RESPONSE

client

JEMM Properties
#26, 7003 - 30th ST. S.E.
CALGARY, AB T2C 1N6



project title

THE BRIDGE
AT BRIDGELAND

THE BRIDGES
Building an urban legacy

950 McPHERSON SQUARE N.E. CALGARY, AB

drawing title

LUMINAIRE CUT SHEETS

scale: AS SHOWN
drawn by: AC
checked by: Checker
project no: 19025
date issued: 2020-01-21

re-issue no: 5 sheet no: DPE1.2

BIM 300 / JEMM Design - 5th / 13/02/2020 - 01 - 21/01/21