

Development Permit Drawings

D:\CPC\2019-1261\001.dwg (11/11/2019)

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT APPLICATION**

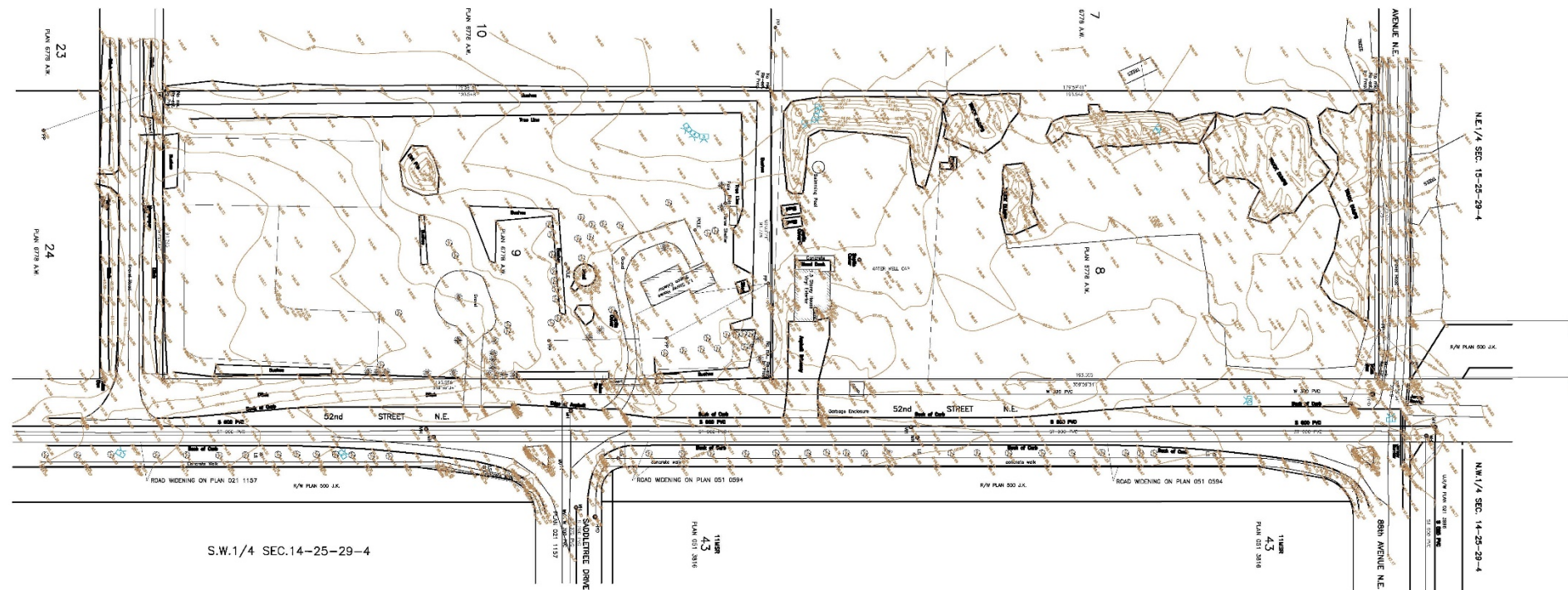
Client-  
**SADDLE RIDGE CROSSING INC**

Design by-  
*Seika Architecture Ltd*  
651 MACEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TE: 403-210 5085

Development Permit Drawings



LEGAL DESCRIPTION  
PLAN 6778AW, BLOCK 8 & 9  
MUNICIPAL ADDRESS  
8807 & 8825 52ND Street NE  
Calgary, Alberta  
SITE AREA  
TOTAL SITE AREA = 3.54ha/8.75ac  
LAND USE DISTRICT  
SITE 01 DC(C-COR1f2.5h23) & SITE2 MH2  
PROPOSED DEVELOPMENT  
MIXED USE DEVELOPMENT



1 SURVEYOR PLAN  
SCALE: 1:750

NOTE-

- (1) WASTE AND RECYCLING WILL BE COLLECTED TWO OR THREE TIMES PER WEEK
- (2) FIRE ACCESS ROUT IS DESIGN TO SUPPORT A 38,556kg/85,000lbs LOAD.
- (3) COLLECTION VEHICLE ROUT ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM 25,000kg LOAD.
- (4) FIRE DEPARTMENT CONNECTION(SIAMESS) LOCATION
  - (a) NO CLOSER THAN 3M AND NOT MORE THAN 15M FROM EACH PRINCIPLE ENTRANCE
  - (b) PROVIDE 2M OPERATIONAL CLEARANCE LEFT AND RIGHT OF EACH PART
- (C) FACING STREET OR ACCESS ROUT, NOT BLOCKED BY COLUMNS, PLANTERS OR LANDSCAPING ETC.
- (5) PARKING AREA & INTERNAL ROAD ASPHALT PAVING

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REV	DATE	DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
1	18/01/14	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1R	YYMMDD	ISSUE/REVISION DESCRIPTION						

Client- **SADDLE RIDGE CROSSING INC**

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651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

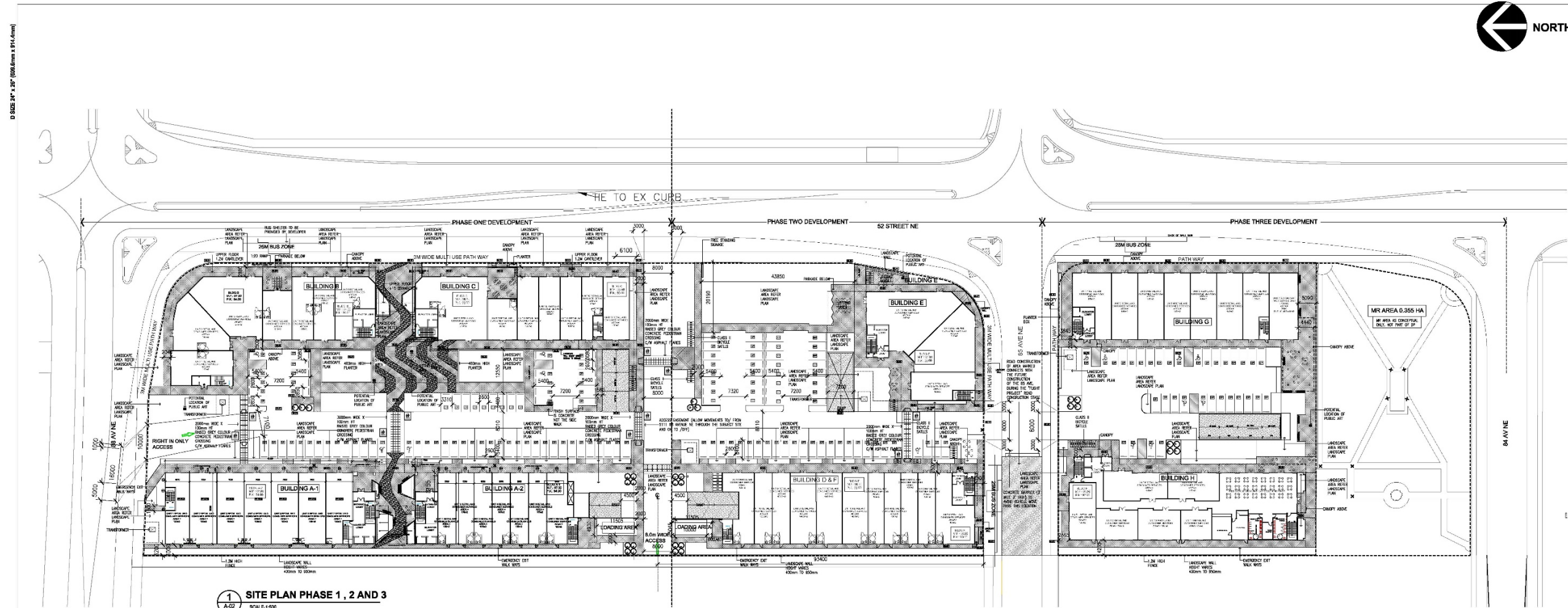
PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.

DEVELOPMENT PERMIT DRAWINGS  
SURVEYOR PLAN AND SITE INFORMATION

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
SE-140	A-01	01



Development Permit Drawings



1 SITE PLAN PHASE 1, 2 AND 3  
SCALE 1:500

SITE ZONING INFORMATION

LOT-1  
AREA= 4.882 AC  
COR-1 AND FAR= 2.5  
HEIGHT- 23M

LOT-2  
AREA= 1.524 AC  
M H 2 AND FAR 4  
HEIGHT 23M

PARKING LEGEND

- RETAIL & CONSUMER SERVICES
- VISITOR'S PARKING STALLS RESIDENTIAL UNITS
- PARKING STALLS RESIDENTIAL UNITS

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	7	19/07/20	DEVELOPMENT PERMIT DRAWINGS	AK	AK			
	6	19/03/09	DEVELOPMENT PERMIT DRAWINGS	AK	AK			
	5	18/11/12	DEVELOPMENT PERMIT DRAWINGS	AK	AK			
	4	18/09/12	DEVELOPMENT PERMIT DRAWINGS	AK	AK			
	3	18/07/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK			
	2	18/06/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK			
	1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK			

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**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
SITE PLAN- PHASE 1, 2 AND PHASE 3**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-02</b>	<b>7</b>



Development Permit Drawings

**BUILDING "E"**

MAIN FLOOR AREA=785 M2 (8,450F2)  
2ND FLOOR AREA =785 M2 (8,450 F2)  
TOTAL FLOOR AREA=1,570 M2 (16,900 F2)

MAIN FLOOR  
RETAIL AND CONSUMER SERVICES AREA = 685M2  
2ND FLOOR  
RETAIL AND CONSUMER SERVICES AREA = 685M2

**PARKING REQUIREMENT**

MAIN FLOOR AREA=RETAIL AND  
LAND USE BYLAW 791 (2)(d)(ii)  
RETAIL & CONSUMER SERVICES AT GROUND FLOOR = 685 M2 /100 X  
2=13 STALLS  
RETAIL & CONSUMER SERVICES AT UPPER FLOOR = 685 M2 /100 X  
4=27 STALLS  
TOTAL PARKING REQUIRED FOR RETAIL & CONSUMER SERVICES  
40 STALLS

RETAIL AND CONSUMER SERVICES -BICYCLE PARKING  
LAND USE BYLAW 286.1(i)  
CLASS ONE-RETAIL AND CONSUMER SERVICES ZERO  
CLASS TWO-RETAIL AND CONSUMER SERVICES 1 PER250M2  
RETAIL & CONSUMER SERVICES ARE =1,370M2 /250 X1=6 STALLS

**BUILDING "H"**

MAIN FLOOR AREA=1,340 M2 (14,423F2)  
2ND FLOOR AREA =1,240 M2 (13,347F2)  
3RD FLOOR AREA =1,240 M2 (13,347F2)  
4TH FLOOR AREA =1,240 M2 (13,347F2)  
5TH FLOOR AREA =1,240 M2 (13,347F2)  
6TH FLOOR AREA =1,240 M2 (13,347F2)  
7TH FLOOR AREA =1,240 M2 (13,347F2)  
TOTAL FLOOR AREA=8,780 M2 (94,505 F2)

MAIN FLOOR AREA=RETAIL AND  
CONSUMER SERVICES = 645M2  
2ND TO 7TH FLOOR  
INDEPENDENT LIVING  
1 BED ROOM = 78 UNITS  
2 BED ROOMS = 12 UNITS  
TOTAL 90 UNITS

**PARKING REQUIREMENT**  
MAIN FLOOR AREA=RETAIL AND  
CONSUMER SERVICES = 645M2 /100 X 4=26 STALLS  
2ND TO 7TH FLOOR- RESIDENTIAL UNITS ((SENIOR HOUSING  
TOTAL UNITS= 90 UNITS  
PROVIDED PARKING 2.5 UNIT PER 1 STALLS  
REQUIRED 36 STALLS  
VISITORS PARKING 0.1STALL X 90 UNITS= 9 STALLS  
TOTAL PARKING REQUIRED FOR BUILDING "H"= 71 STALLS

**BICYCLE PARKING CLASS ONE**  
RETAIL AND CONSUMER SERVICES ZERO  
INDEPENDENT LIVING UNITS = 0.5 x100=50 STALLS  
**BICYCLE PARKING CLASS TWO**  
RETAIL AND CONSUMER SERVICES 645 /250 =3 STALLS  
INDEPENDENT LIVING UNITS = 0.1 X 100=10 STALLS

**BUILDING "G"**

MAIN FLOOR AREA=1,248 M2 (13,433F2)  
2ND FLOOR AREA =1,248 M2 (13,433F2)  
3RD FLOOR AREA =1,248 M2 (13,433F2)  
4TH FLOOR AREA =1,248 M2 (13,433F2)  
5TH FLOOR ARE =1,248 M2 (13,433F2)  
TOTAL FLOOR AREA=6,24 M2 (67,167 F2)

MAIN FLOOR AREA=RETAIL AND  
CONSUMER SERVICES = 970M2  
2ND TO 5TH FLOOR  
1 BED ROOM = 1 X 4= 4 UNITS  
1 BED ROOM +DEN=2 X 4=8 UNITS  
2 BED ROOMS = 10 X 4 FLOORS =40 UNITS  
TOTAL UNITS= 52 UNITS

**RESTAURANT**  
FOOD SERVICE ONLY  
- SMALL PUBLIC AREA 75M2

**PARKING REQUIREMENT**  
MAIN FLOOR AREA=RETAIL AND  
CONSUMER SERVICES = 970M2 /100 X 4=39 STALLS  
**RESTAURANT**  
FOOD SERVICE ONLY  
SMALL PUBLIC AREA 75M2  
75 / 10 X 2.85=22 STALLS

2ND TO 5TH FLOOR  
TOTAL UNITS= 58 UNITS  
REQUIRED PARKING 52 STALLS  
VISITORS PARKING 0.1STALL X 52 UNITS= 6 STALLS  
TOTAL PARKING REQUIRED FOR BUILDING "G"= 103 STALLS  
PARKING REDUCE BASED ON LAND USE BYLAW 1P2007  
SECTION 560(2) 10% FOR RESIDENTIAL 52X .1=6 STALLS

**BICYCLE PARKING CLASS ONE**  
RETAIL AND CONSUMER SERVICES ZERO  
DWELLING UNITS =0.5 PER UNIT =0.5 X 52=26 STALLS

**BICYCLE PARKING CLASS TWO**  
RETAIL AND CONSUMER SERVICES 970 /250 =4 STALLS  
DWELLING UNITS =1 PER UNIT =0.1 X 52=6 STALLS

**PHASE ONE AND PHASE TWO DEVELOPMENT**

BUILDING TYPE	USER TYPE	REQUIRED TOTAL PARKING(STALLS)	PROVIDED TOTAL PARKING(STALLS)	PARKING LOCATION	AVAILABLE PARKING STALLS-PARKADE	REMARKS
"A-1" AND "A-2"	RESIDENTIAL	RESIDENCE 72 VISITORS 10	82	BUILDING "A" PARKADE	81	
	RETAIL & CONSUMER SERVICES	40	40	BUILDING "B" & "C" PARKADE		
"B"	RETAIL & CONSUMER SERVICES	21	21	BUILDING "B" & "C" PARKADE	140	BUILDING "A" / "B" / "C" - PARKADE RETAIL & CONSUMER PARKING=82STALLS BUILDING "B" / "C" - PARKADE OFFICE =39 STALLS TOTAL OCCUPIED= 121 STALLS TOTAL AVAILABLE= 19 STALLS
	OFFICE	22	22	BUILDING "B" & "C" PARKADE		
"C"	RETAIL & CONSUMER SERVICES	21	21	BUILDING "B" & "C" PARKADE	48	PARKING PROVIDED IN PARKADE RESIDENCE 45 VISITORS 3 RETAIL & CONSUMER SERVICES SURFACE PARKING STALL 28
	OFFICE	17	17	BUILDING "B" & "C" PARKADE		
"D" & "F"	RESIDENTIAL	RESIDENCE 45 VISITORS 6	51	BUILDING "D" & "F" PARKADE	17	BUILDING "B" / "C" =17 STALLS (PARKADE) BUILDING "E" =17 STALLS (PARKADE) SURFACE PARKING STALL 6
	RETAIL & CONSUMER SERVICES	28	28	SURFACE PARKING		
"E"	RETAIL & CONSUMER SERVICES	40	40	BUILDING "E" AND BUILDING "D" & "F" PARKADE		

**SUMMARY**  
TOTAL AVAILABLE PARKING FACILITY IN THE PARKADES (A / B+C/ D+F) = 288STALLS  
TOTAL SURFACE PARKING PROVIDED=135 STALLS  
TOTAL PARKING FOR PHASE ONE = 403 STALLS  
TOTAL PARKING USED FOR PHASE ONE= 322 STALLS  
AVAILABLE PARKING STALLS FOR PHASE TWO = 81 STALLS

**PHASE THREE DEVELOPMENT**

BUILDING TYPE	USER TYPE	REQUIRED TOTAL PARKING(STALLS)	PROVIDED TOTAL PARKING(STALLS)	PARKING LOCATION	AVAILABLE PARKING STALLS-PARKADE	REMARKS
"G"	RESIDENTIAL	RESIDENCE 46 VISITORS 6	52	BUILDING "G" PARKADE	118	WE HAVE USED SURFACE PARKING = 19 STALLS FOR RESIDENCE
	RESTAURANT FOOD SERVICE ONLY SMALL PUBLIC AREA 75M2	62	62	SURFACE PARKING		SURFACE PARKING STALL 40 USED FOR RETAIL & CONSUMER SERVICES
"H"	RESIDENTIAL	RESIDENCE 36 VISITORS 9	45	BUILDING "H" PARKADE	9	WE HAVE USED SURFACE PARKING = 9 STALLS FOR VISITORS
	RETAIL & CONSUMER SERVICES	26	26	SURFACE PARKING		SURFACE PARKING STALL 34 USED

**SUMMARY**  
TOTAL AVAILABLE PARKING FACILITY IN THE PARKADES = 118 STALLS  
TOTAL SURFACE PARKING PROVIDED=34 STALLS  
TOTAL PARKING FOR PHASE THREE = 152 STALLS  
TOTAL PARKING REQUIRED FOR PHASE ONE= 185 STALLS  
AVAILABLE PARKING STALLS FOR PHASE ONE = 81 STALLS

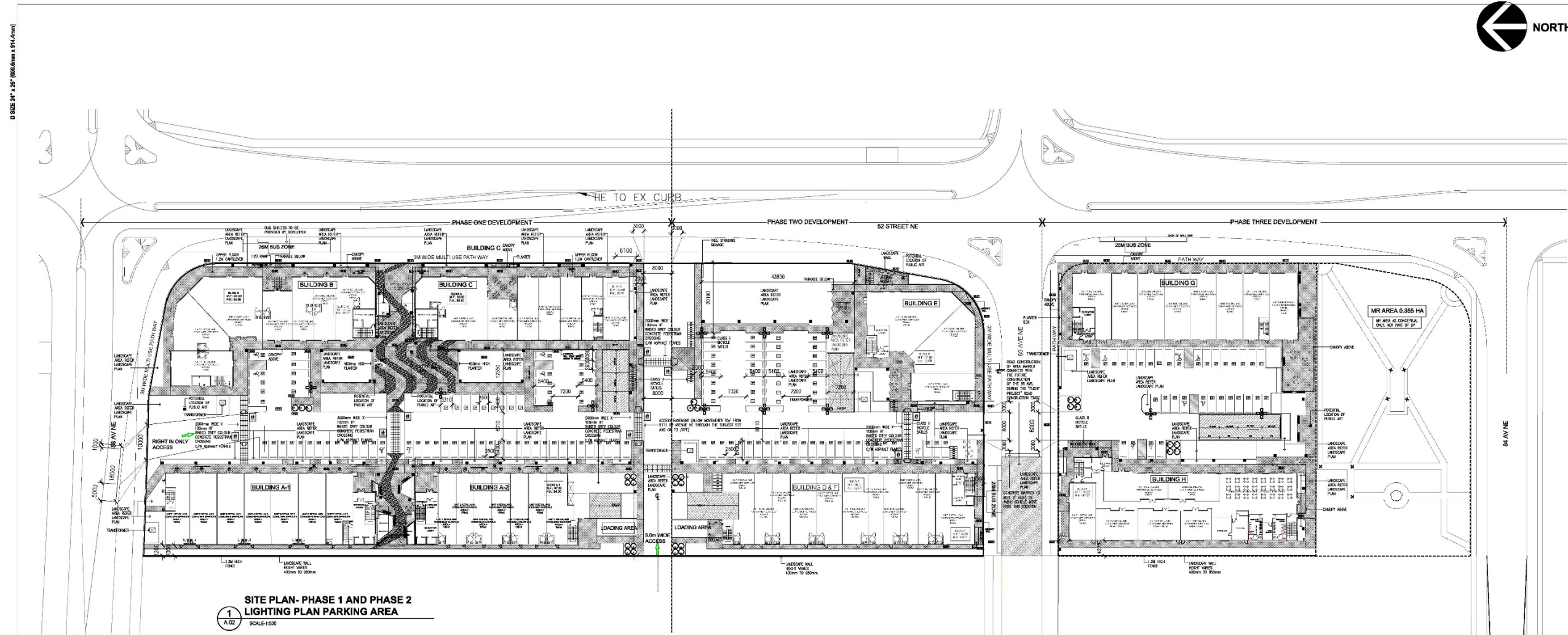
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Development Permit Drawings



**SITE PLAN - PHASE 1 AND PHASE 2**  
**LIGHTING PLAN PARKING AREA**  
SCALE: 1:500

**PARKING & WALKWAY LIGHTING LEGEND**

**EXTERIOR LAMP TYP 1**

**MANUFACTURER, MODEL & INFORMATION**

EATON MCGRAW EDISON MODEL: GLEON-AE-06-LED-E1-SL3-BK

**EXTERIOR LAMP TYP 2**

LIGHT ENGINE DESCRIPTION					
LED ENGINE	DESCRIPTION	COLOR TEMPERATURE	LUMINAIRE LAYOUT	BALL BALLPS	STARTING TEMPERATURE °C
3000K LED	30W outdoor LED light engine	3000K	2125	ET-124-02	-20
4000K LED	30W outdoor LED light engine	4000K	2125	ET-124-02	-20

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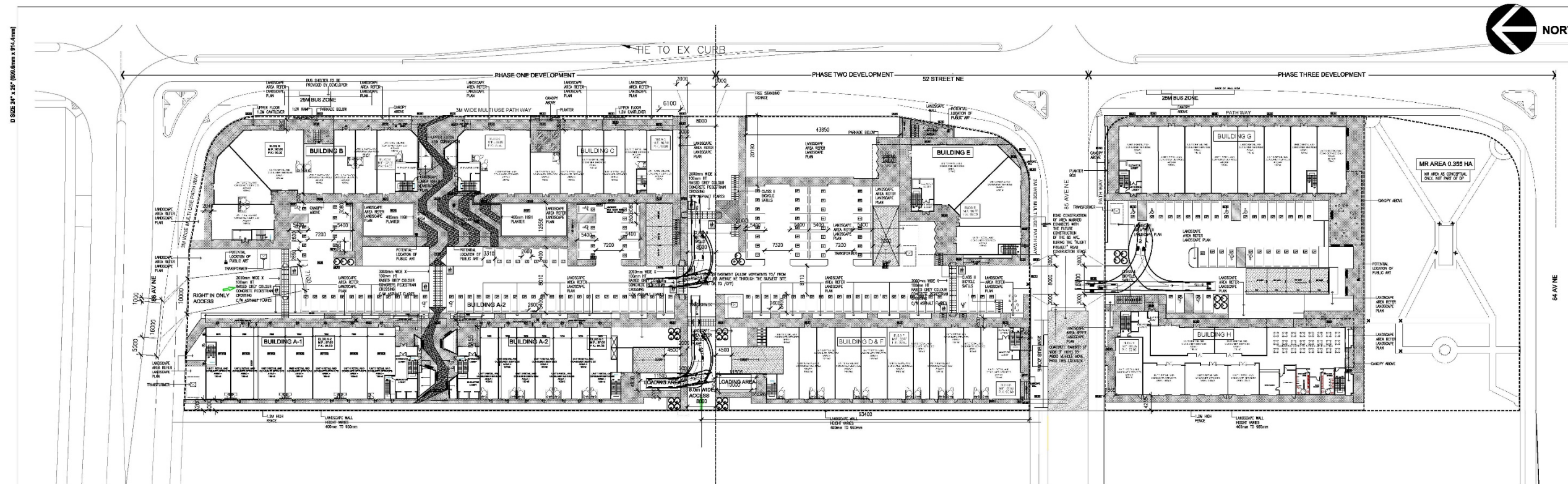
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851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
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**PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E.**  
**DEVELOPMENT PERMIT DRAWINGS**  
**SITE PLAN - PHASE 1, 2 AND PHASE 3 LIGHTING PLAN PARKING AREA**

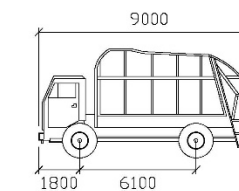
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-02d</b>	<b>1</b>



Development Permit Drawings



1  
A-02a SCALE: 1:500  
WASTE & RECYCLING SERVICES COLLECTION  
VEHICLE SWEEP PATH



SU-9 mm  
Width : 2600  
Track : 2600  
Lock to Lock Time : 6.0  
Steering Angle : 40.0

2  
A-02b SCALE: 1:100  
WASTE & RECYCLING SERVICES COLLECTION  
VEHICLE DETAILS

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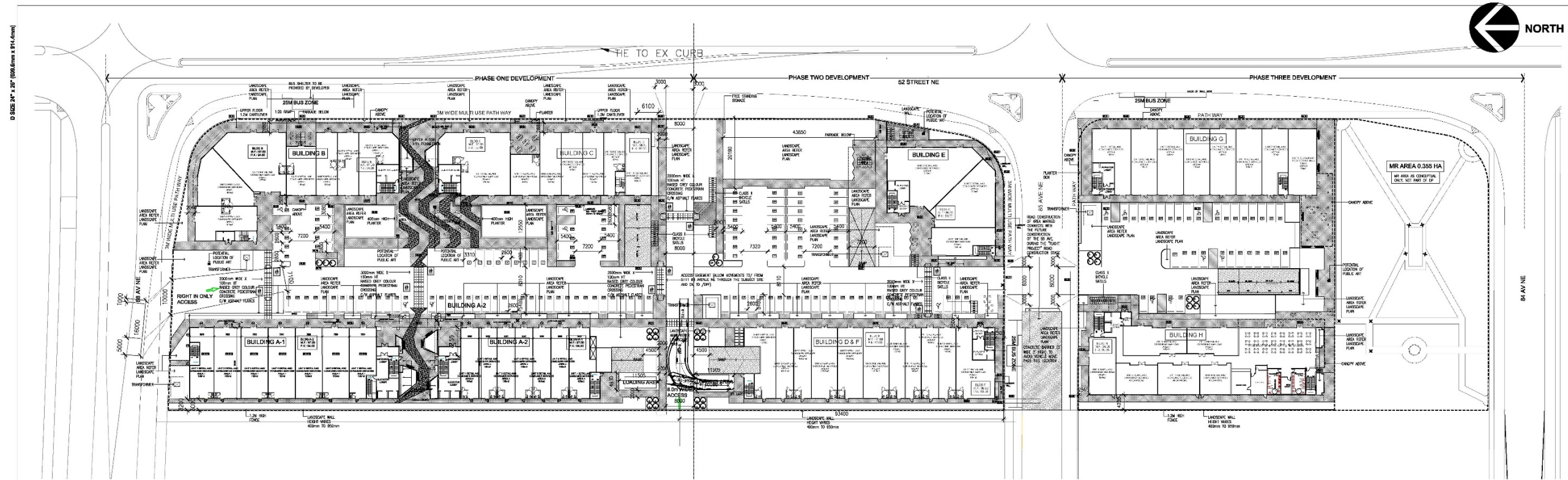
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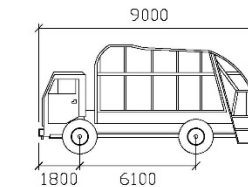
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AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
SITE PLAN- WASTE & RECYCLING SERVICES COLLECTION  
VEHICLE SWEEP PATH**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-02e</b>	<b>2</b>

Development Permit Drawings



1  
A-02f SCALE: 1:500  
WASTE & RECYCLING SERVICES COLLECTION  
VEHICLE SWEEP PATH



SU-9 mm  
Width : 2600  
Track : 2600  
Lock to Lock Time : 6.0  
Steering Angle : 40.0

2  
A-02e SCALE: 1:100  
WASTE & RECYCLING SERVICES COLLECTION  
VEHICLE DETAILS

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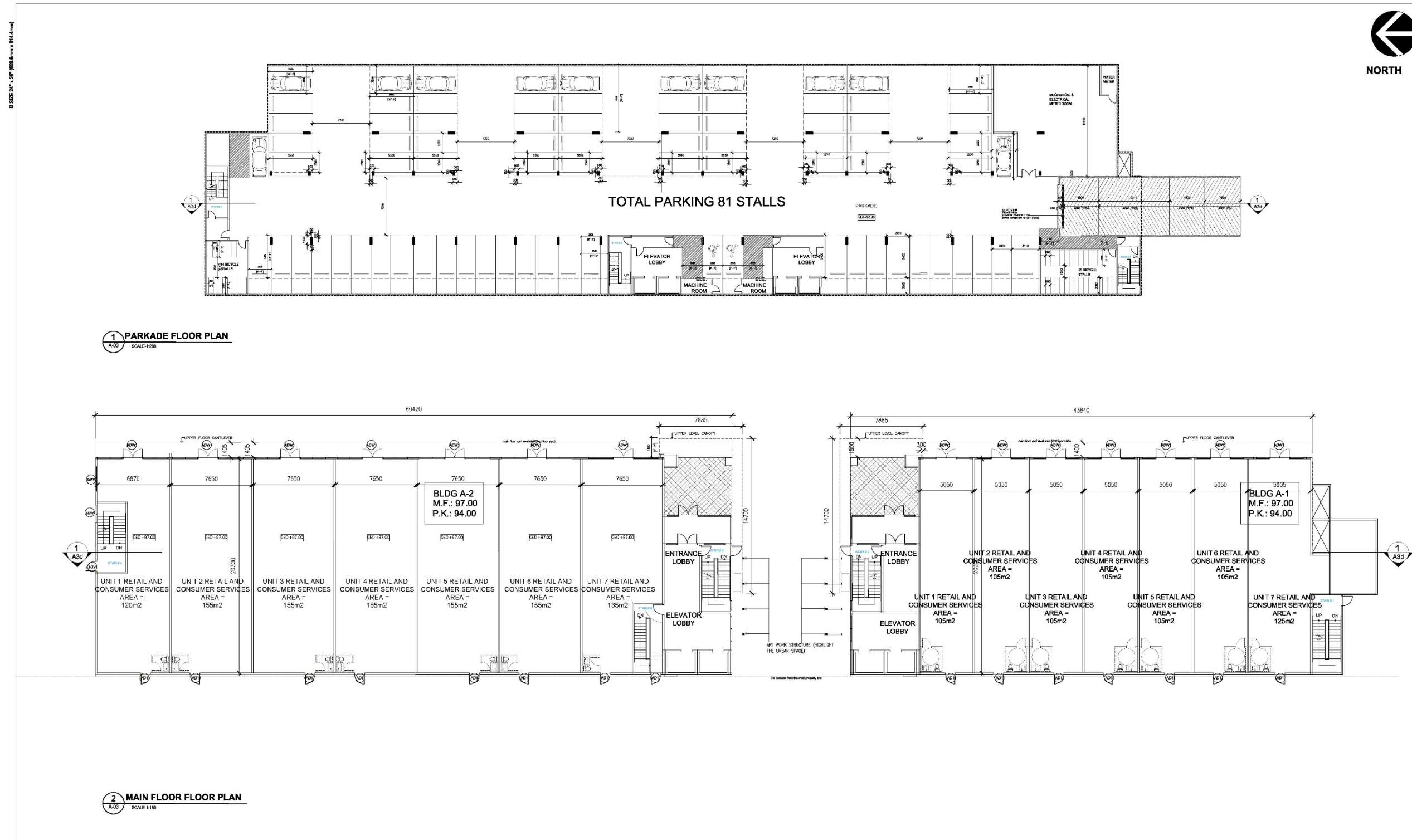
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AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING D & F- WASTE & RECYCLING SERVICES COLLECTION  
VEHICLE SWEEP PATH**

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<b>SE-140</b>	<b>A-02f</b>	<b>2</b>



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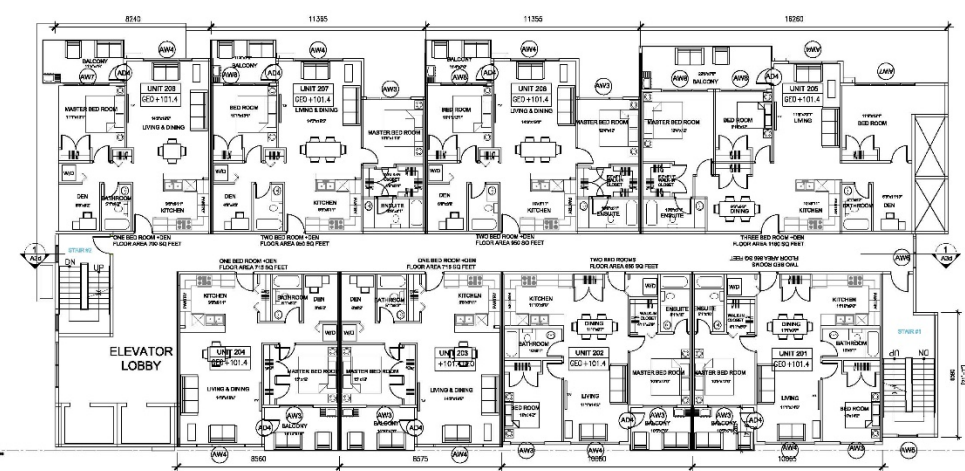
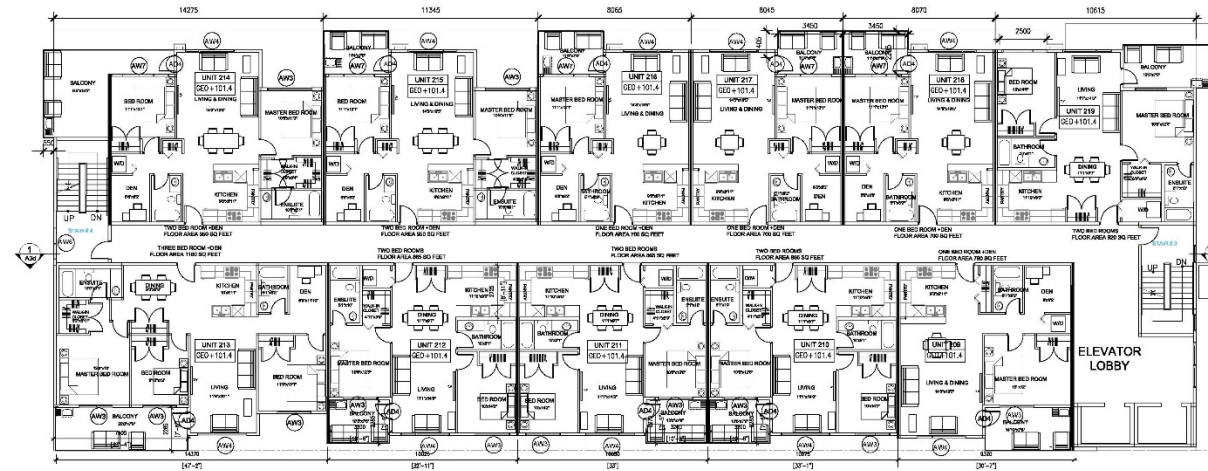
<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING- A MAIN FLOOR &amp; PARKADE LAYOUTS</b>		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-03</b>	<b>04</b>



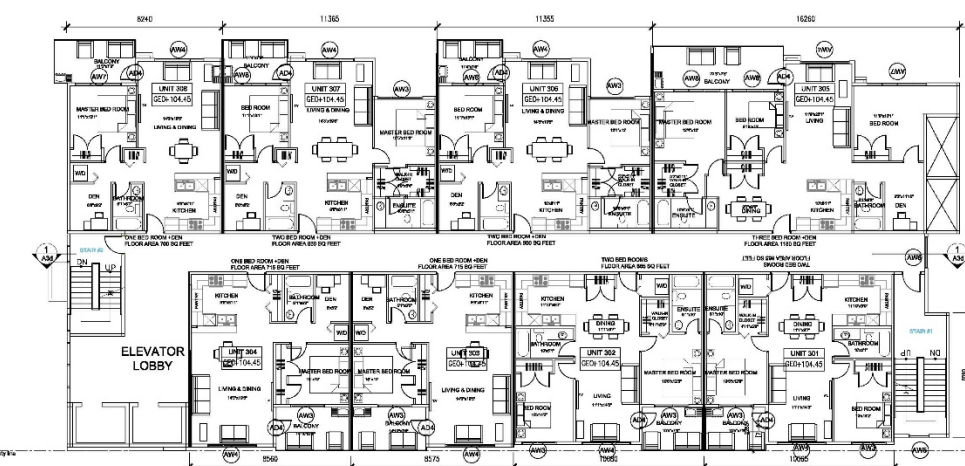
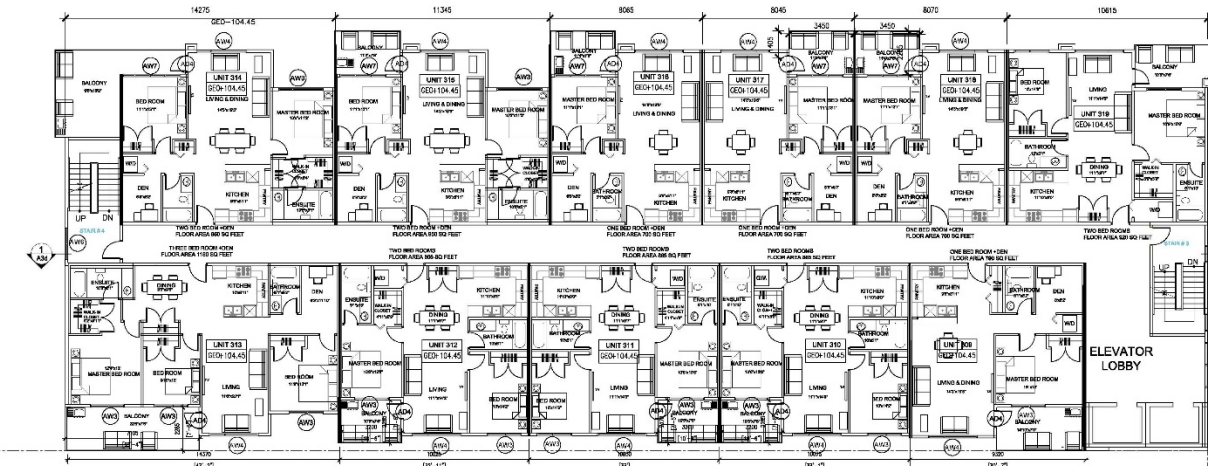
Development Permit Drawings



D SIZE: 24" x 36" (609.6mm x 914.4mm)



**1** 2nd FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**2** 3rd FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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NO	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	19/08/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
IR	YYMMDD	ISSUE/REVISION DESCRIPTION						

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACDOWAN DRIVE W IN CALGARY ALBERTA, T2K 3R1  
TEL: 403-210-5065

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS**

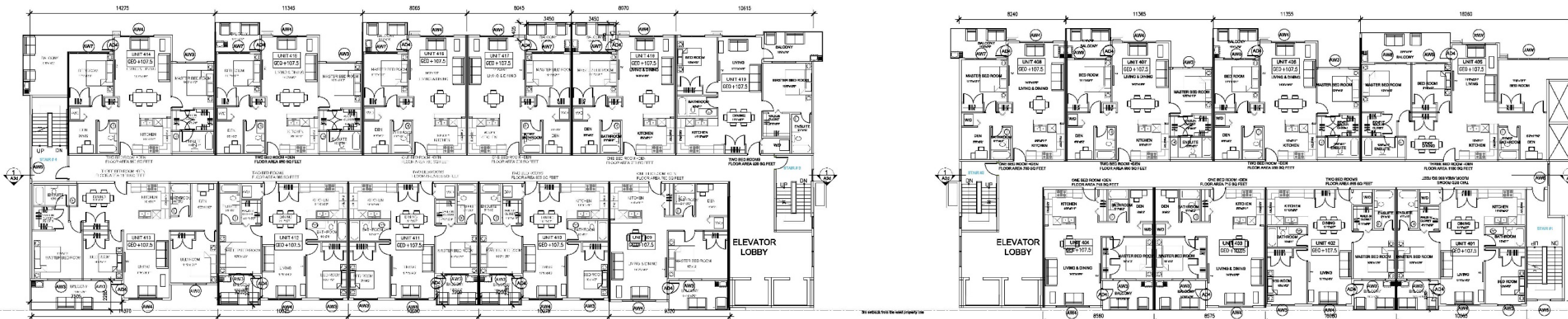
**BUILDING- A FLOOR PLANS**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-03a</b>	<b>03</b>

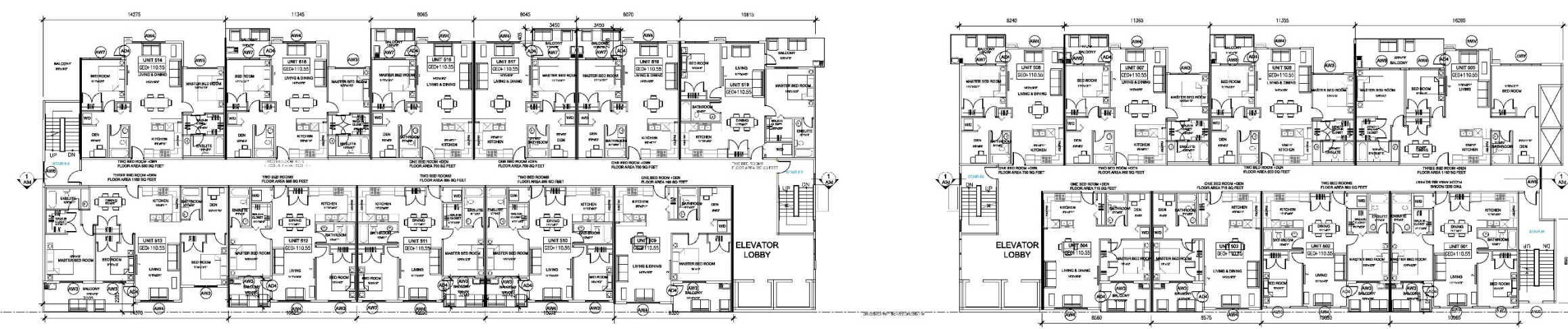
Development Permit Drawings



D SIZE: 24" x 36" (609.6mm x 914.4mm)



**1 4th FLOOR PLAN**  
SCALE: 1/80



**2 5th FLOOR PLAN & 6TH FLOOR PLAN**  
SCALE: 1/80

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NO.	DATE	DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
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2	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK					
1	18/01/05	DEVELOPMENT PERMIT DRAWINGS	AK					
IR	YYMMDD	ISSUE/REVISION DESCRIPTION						

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACDOWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS**

BUILDING- A FLOOR PLANS		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-03b</b>	<b>03</b>



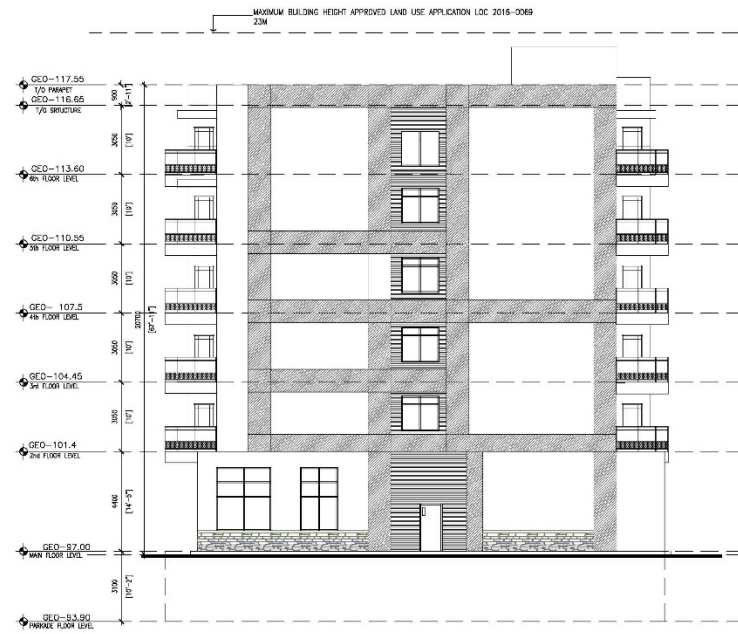
Development Permit Drawings



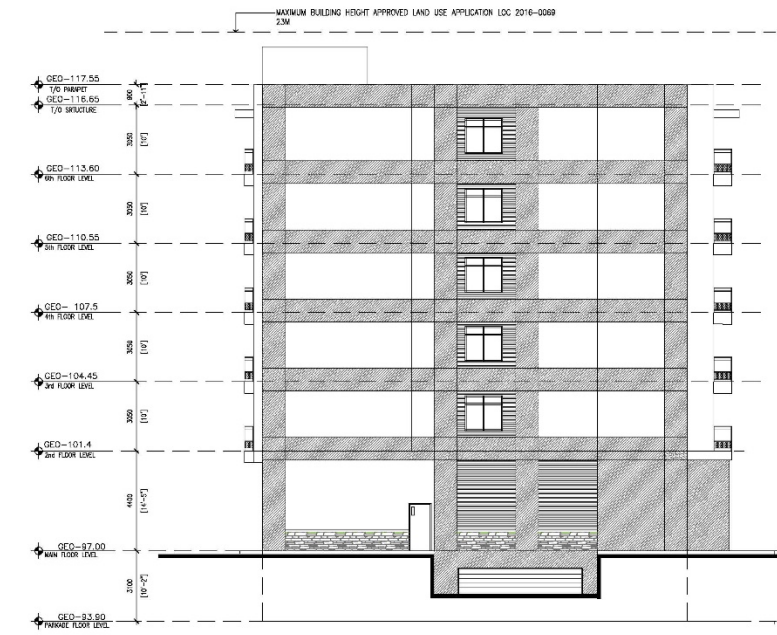
1 ELEVATION TO EAST  
A-03c SCALE: 1/120

MATERIAL LEGEND

- CULTURED STONE BALCK & BROWN
- STUCCO : LIGHT GRAY CLOSED TO WHITE
- STUCCO : DARK GRAY
- WOOD PANEL - BROWN & NATURAL COLOUR
- PARKADE DOOR - COLOUR BLACK
- ALUMINUM WINDOW COLOUR - BLACK
- GLASS IN WINDOWS COLOUR - CLEAR
- ALUMINUM DOOR COLOUR - BLACK
- INSULATED DOOR COLOUR - BLACK
- BALCONY RAILS ALUMINUM COLOUR - BLACK
- GARAGE DOOR - COLOUR - BLACK



3 ELEVATION TO NORTH  
A-03c SCALE: 1/120



4 ELEVATION TO SOUTH  
A-03c SCALE: 1/120

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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	18/08/05	DEVELOPMENT PERMIT DRAWINGS	AK	AK				
2	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK	AK				
1	18/01/05	DEVELOPMENT PERMIT DRAWINGS	AK	AK				

Client- **SADDLE RIDGE CROSSING INC**

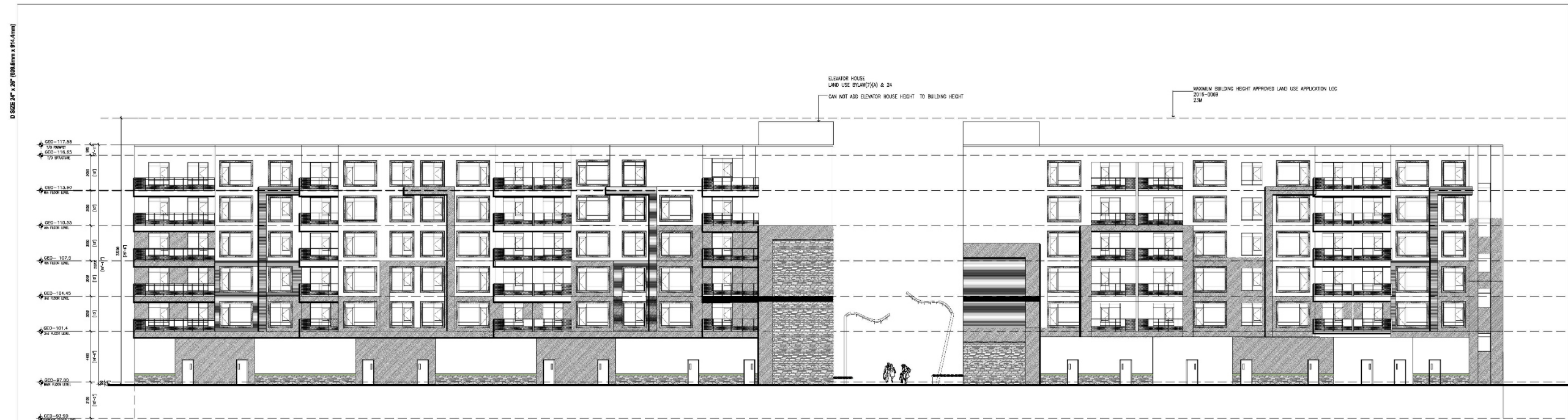
Design by- **Seika Architecture Ltd**  
651 MACDOWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

**PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS**

**BUILDING - A ELEVATIONS**






PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-03c</b>	<b>03</b>

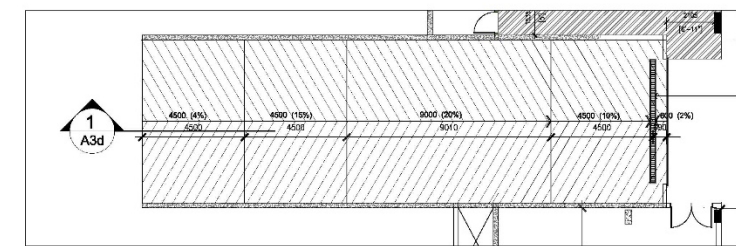
Development Permit Drawings



1 ELEVATION TO WEST  
A-03d  
SCALE: 1/100

MATERIAL LEGEND

-  CULTURED STONE - BALCK & BROWN
-  STUCCO - LIGHT GRAY CLOSED TO WHITE
-  STUCCO - DARK GRAY
-  WOOD PANEL - BROWN & NATURAL COLOUR
-  PARKADE DOOR - COLOUR BLACK
- ALUMINUM WINDOW COLOUR - BLACK
- GLASS IN WINDOWS COLOUR - CLEAR
- ALUMINUM DOOR COLOUR - BLACK
- INSULATED DOOR COLOUR - BLACK
- BALCONY RAILS ALUMINUM COLOUR - BLACK
- GARAGE DOOR - COLOUR - BLACK



2 RAMP DETAILS  
A-03d  
SCALE: 1/125

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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
5	15/08/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
4	18/11/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
3	18/06/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/08/02	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
8511 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

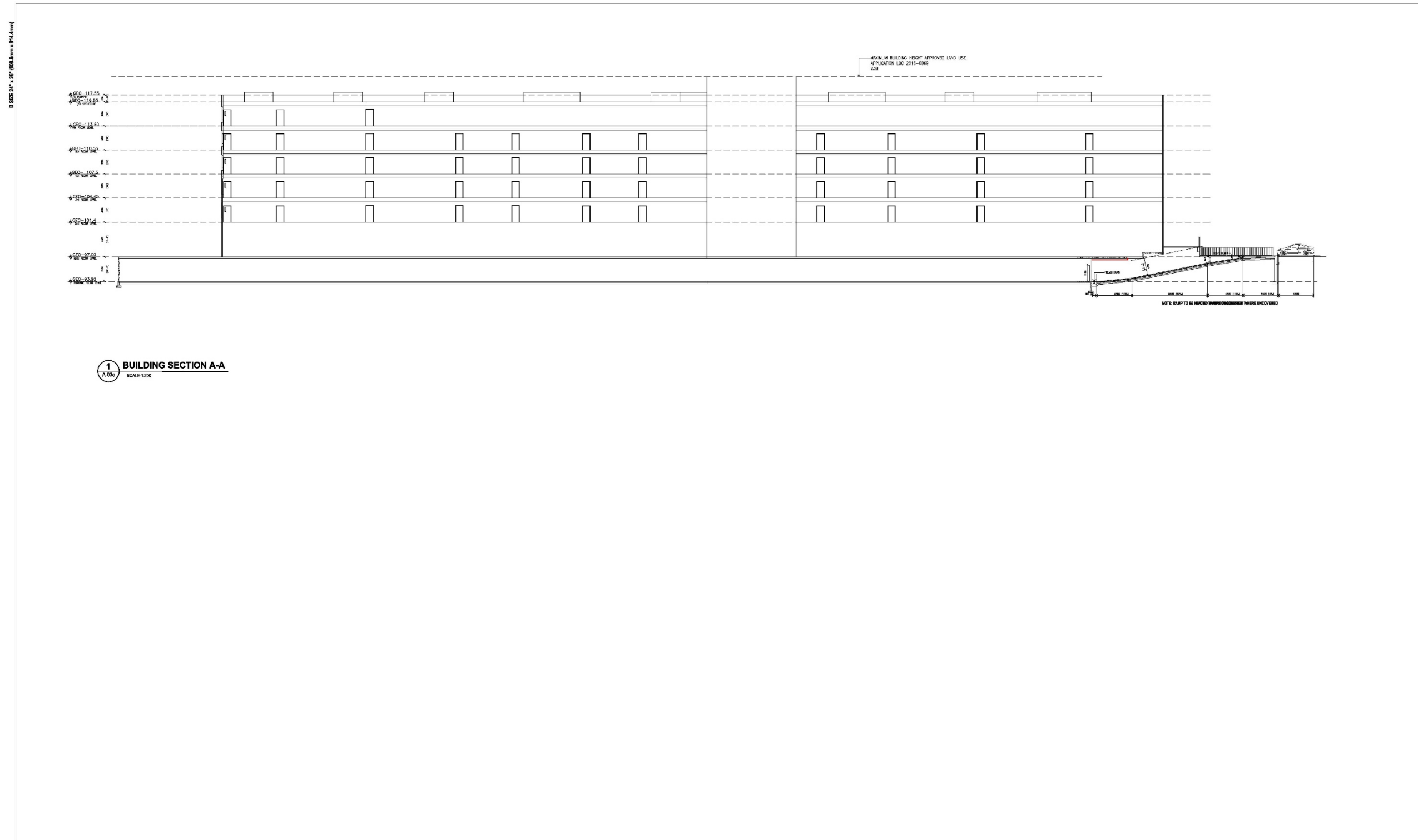
**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS**

**BUILDING - A ELEVATIONS**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-03d</b>	<b>05</b>



Development Permit Drawings



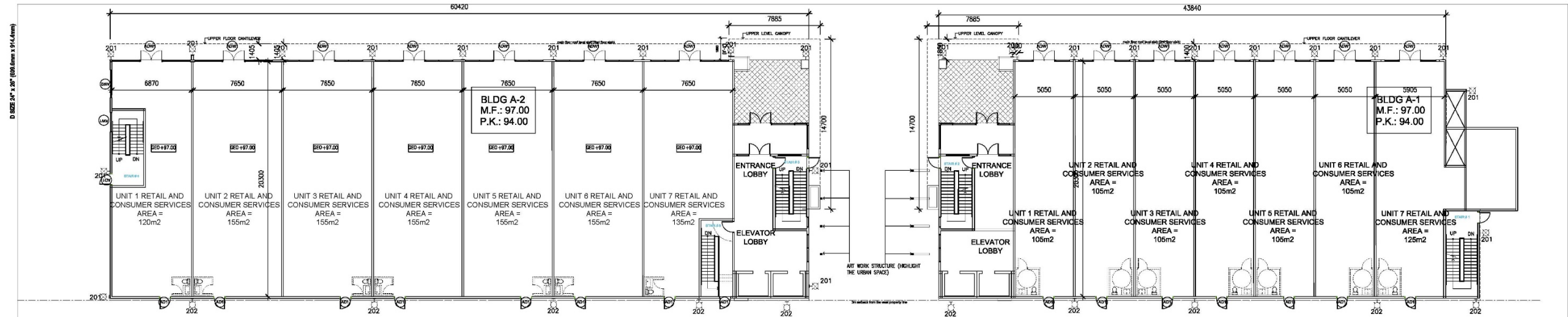
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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
5	15/08/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
4	18/11/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
3	18/06/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/08/02	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**  
Design by- **Seika Architecture Ltd**  
851 MACDEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E.</b>		
<b>DEVELOPMENT PERMIT DRAWINGS</b>		
<b>BUILDING-A SECTION</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-03e</b>	ISSUE/REVISION <b>05</b>

Development Permit Drawings



1 MAIN FLOOR PLAN- LIGHT FIXTURE LOCATIONS  
SCALE: 1:150

LIGHTING FIXTURE TYPE 1

LIGHTING FIXTURE TYPE 201

LIGHTING FIXTURE TYPE 202

LIGHTING FIXTURE TYPE 203

LIGHTING FIXTURE SCHEDULE			
NO.	GENERAL DESCRIPTION	LOCATION	LAMPS / SPECIFICATION/COMMENTS
1	DECORATIVE EXTERIOR WALL MOUNTED LIGHTING FIXTURE	EXTERIOR SIGNAGE AREA/ ENTRANCES	1500 MITT WED BASE FORECAST LIGHTING QTY# 184888 LED TO BE CONSIDERED
201	WALL MOUNTED 2 DIRECTION (UP/DOWN) LIGHT FIXTURE	EXTERIOR ENTRANCE LOBBY/ PARKADE ENTRANCE	1400 MITT WED LUMENOM QTY# W2000/120/9
202	WALL MOUNTED 1 DIRECTION LIGHT FIXTURE	EXTERIOR ENTRANCE LOBBY/ PARKADE ENTRANCE	1400 MITT WED LUMENOM QTY# W1200/120/9
203	EXTERIOR LANDSCAPE WALLMOUNTED LIGHT FIXTURE	EXTERIOR FRONT LANDSCAPED AREA	LED LUMENOM QTY# BL300A/120/9

**NOTE-**  
(1) MOUNTING HEIGHT- 2.8METERS FROM ROOM FLOOR LEVEL.  
(2) EXTERIOR LIGHTING DOES NOT EXTEND BEYOND THE BOUNDARIES OF THE SITE

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NO.	DATE	DESCRIPTION	BY	CHK	APP
3	19/08/05	DEVELOPMENT PERMIT DRAWINGS	AK	AK	
2	19/09/05	DEVELOPMENT PERMIT DRAWINGS	AK	AK	
1	18/01/05	DEVELOPMENT PERMIT DRAWINGS	AK	AK	
1/1R	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES ENG IDR APP

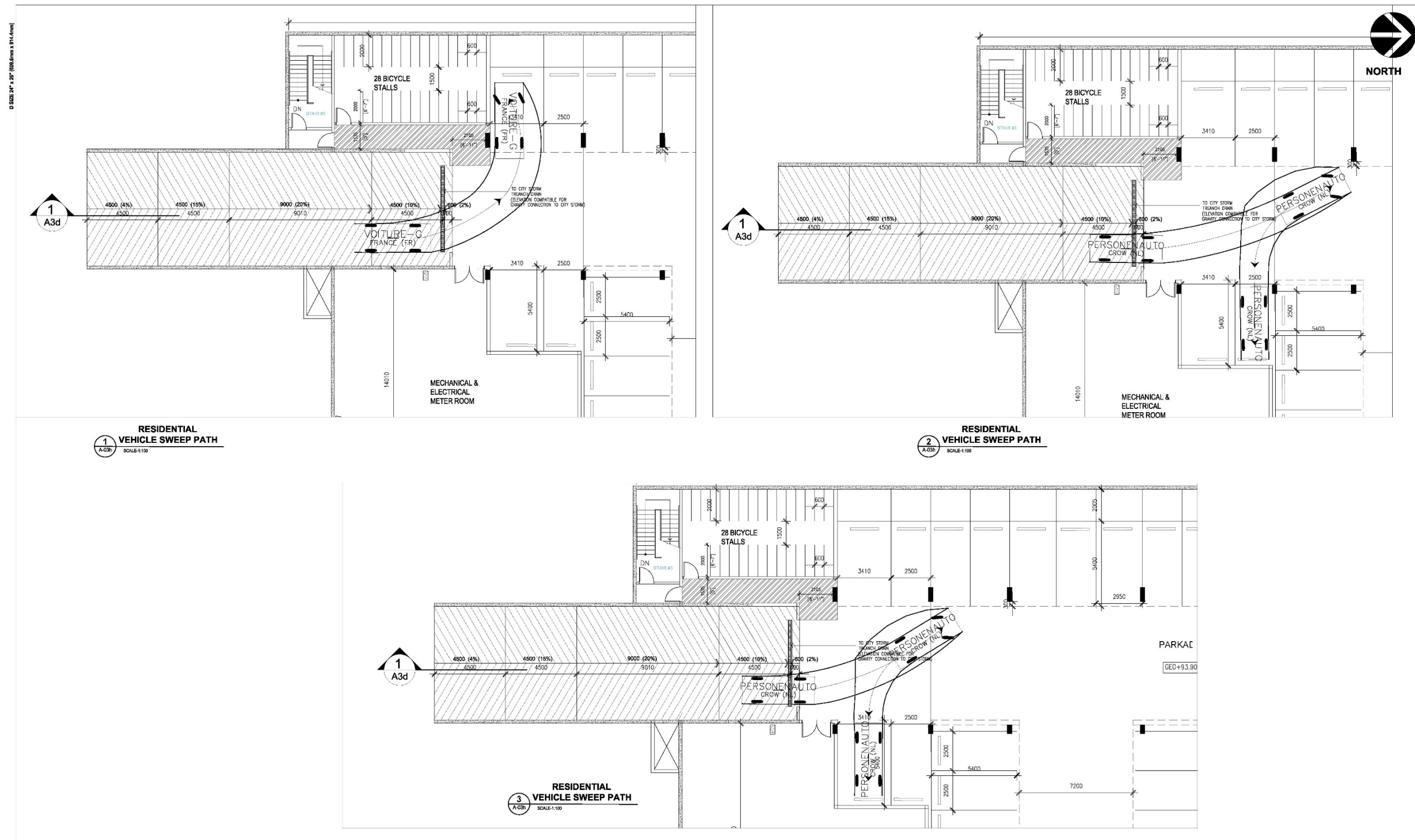
Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
601 MACDONALD DRIVE W. CALGARY ALBERTA, T2K 3R1  
1540343103005

**PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING- A LIGHTING LAYOUT PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-03f</b>	<b>03</b>

Development Permit Drawings



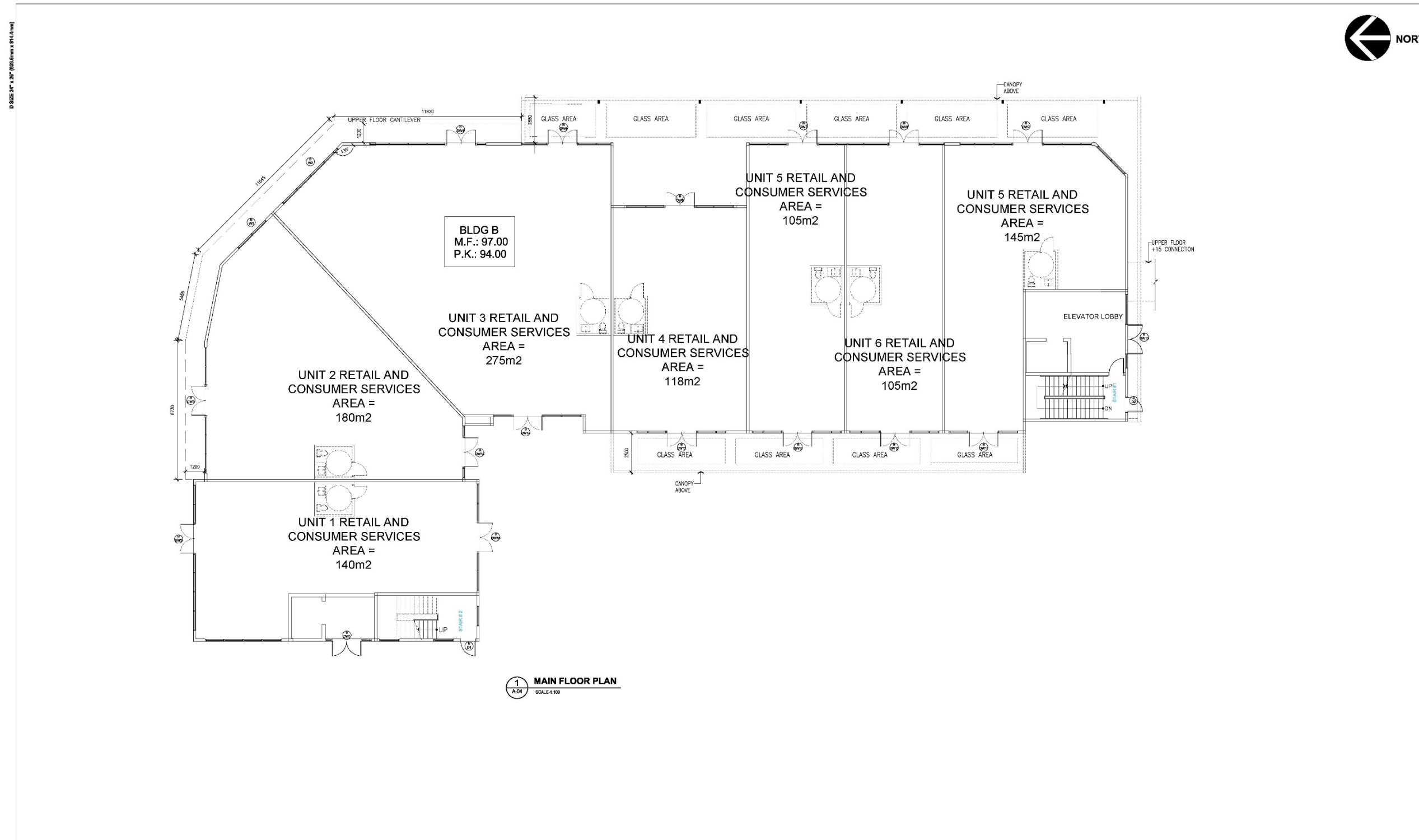
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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
4	19/03/09	DEVELOPMENT PERMIT DRAWINGS	AK					AK
3	18/11/15	DEVELOPMENT PERMIT DRAWINGS	AK					AK
2	18/09/15	DEVELOPMENT PERMIT DRAWINGS	AK					AK
1	18/01/05	DEVELOPMENT PERMIT DRAWINGS	AK					AK

Client- **SADDLE RIDGE CROSSING INC**  
Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS</b>		
<b>BUILDING - A PARKADE LAYOUTS VEHICLE SWEEP PATH</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-03h</b>	ISSUE/REVISION <b>04</b>

Development Permit Drawings



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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
2	18/09/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**  
  
Design by- **Seika Architecture Ltd**  
8511 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

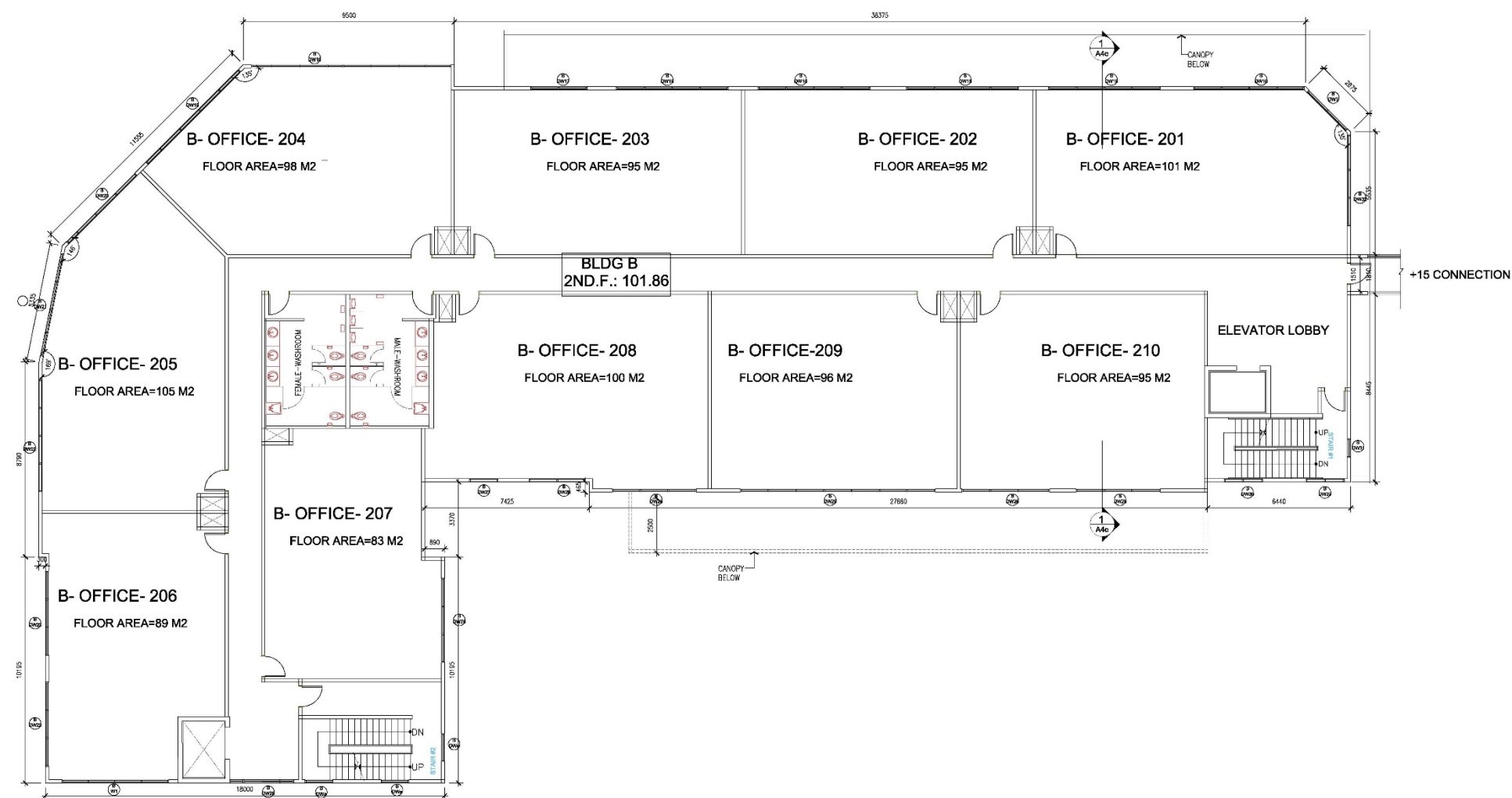
<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E.</b>		
<b>DEVELOPMENT PERMIT DRAWINGS</b>		
<b>BUILDING- B MAIN FLOOR PLAN</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-04</b>	ISSUE/REVISION <b>02</b>



Development Permit Drawings



D SIZE: 24" x 36" (609.6mm x 914.4mm)



1 2nd FLOOR PLAN  
A-48 SCALE: 1/160

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NO.	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
2	18/09/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1/R	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

Client- **SADDLE RIDGE CROSSING INC**

Design by-

**Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5565

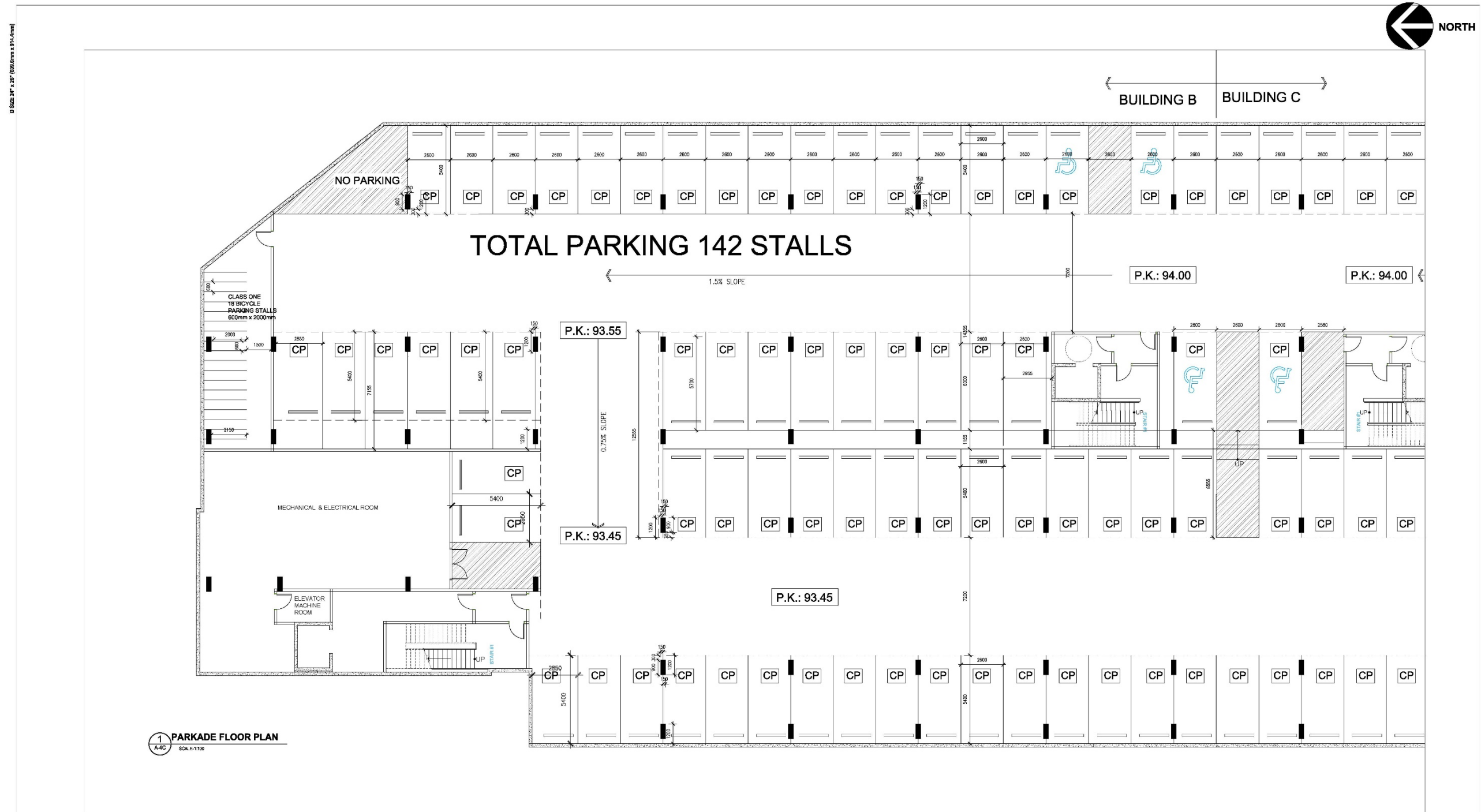
**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS**

**BUILDING- B 2nd FLOOR PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-04a</b>	<b>02</b>



Development Permit Drawings



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NO	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
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2	18/11/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
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IR	YYMMDD	ISSUE/REVISION DESCRIPTION						

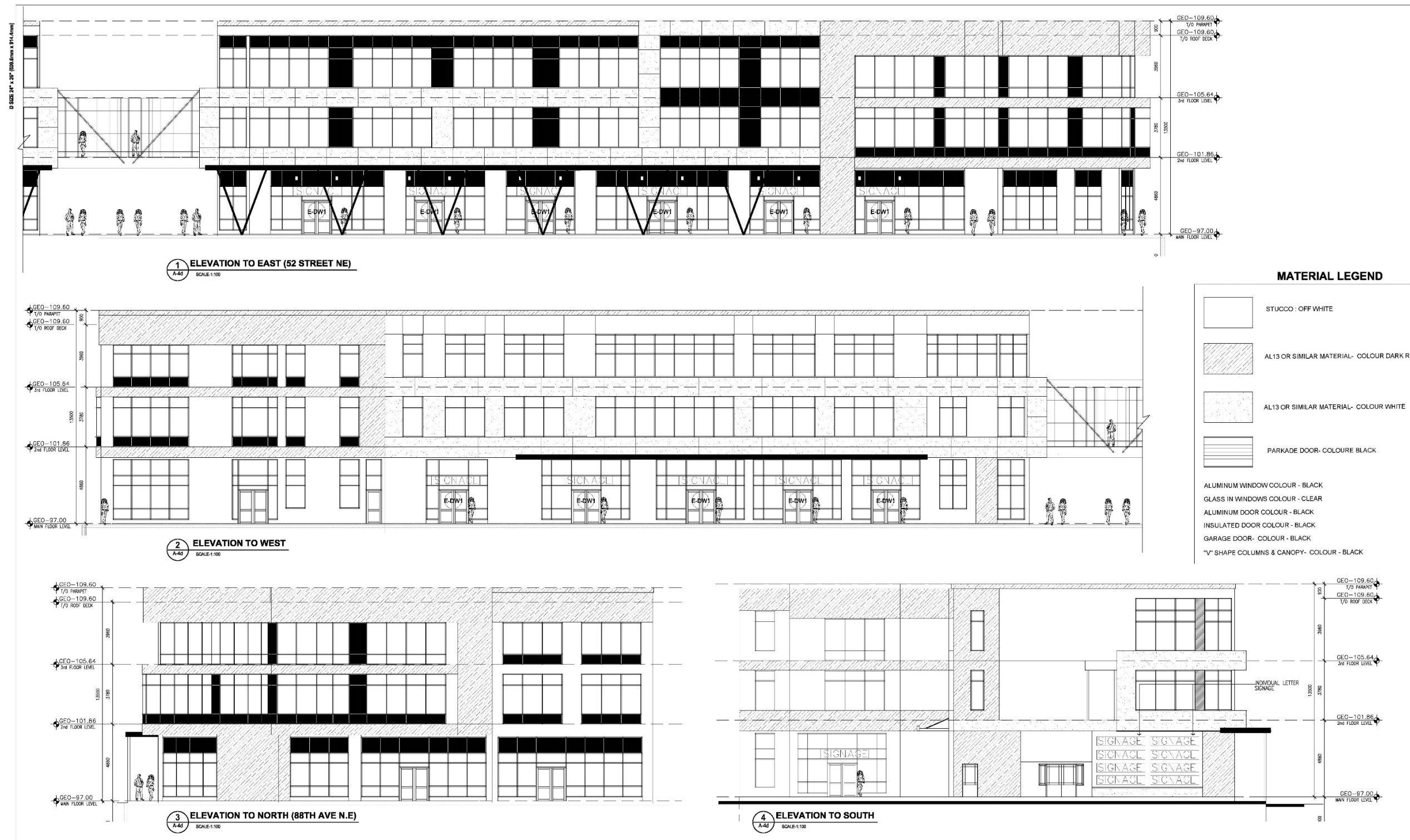
Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING-B PARKADE FLOOR PLAN</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-04c</b>	ISSUE/REVISION <b>03</b>



Development Permit Drawings



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IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

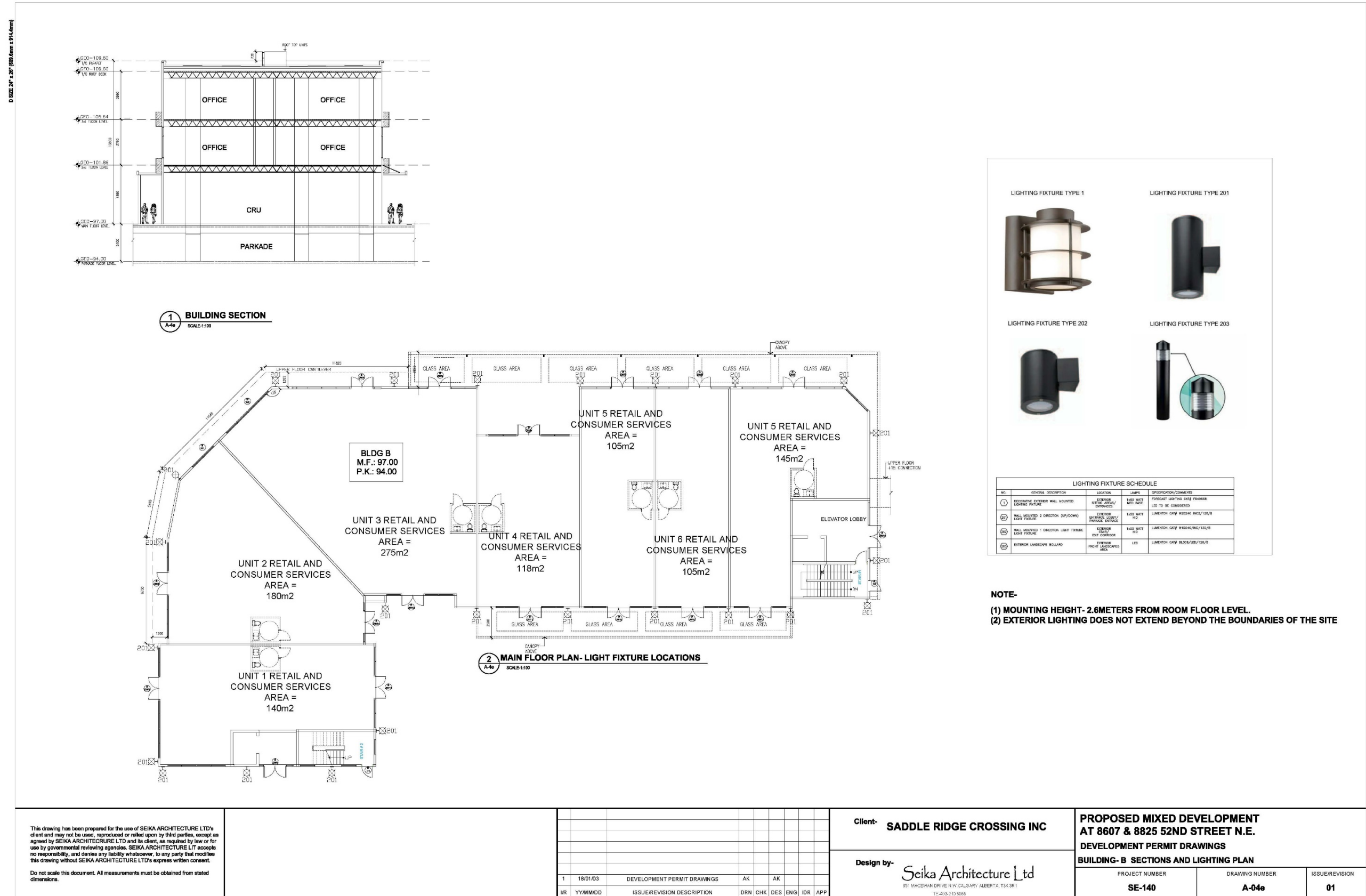
Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T2K 3R1  
TEL: 403-210-5985

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS**

BUILDING - B ELEVATIONS		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-04d</b>	<b>01</b>

Development Permit Drawings



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1	18/01/03	DEVELOPMENT PERMIT DRAWINGS	AK	AK						
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP		

Client- **SADDLE RIDGE CROSSING INC**

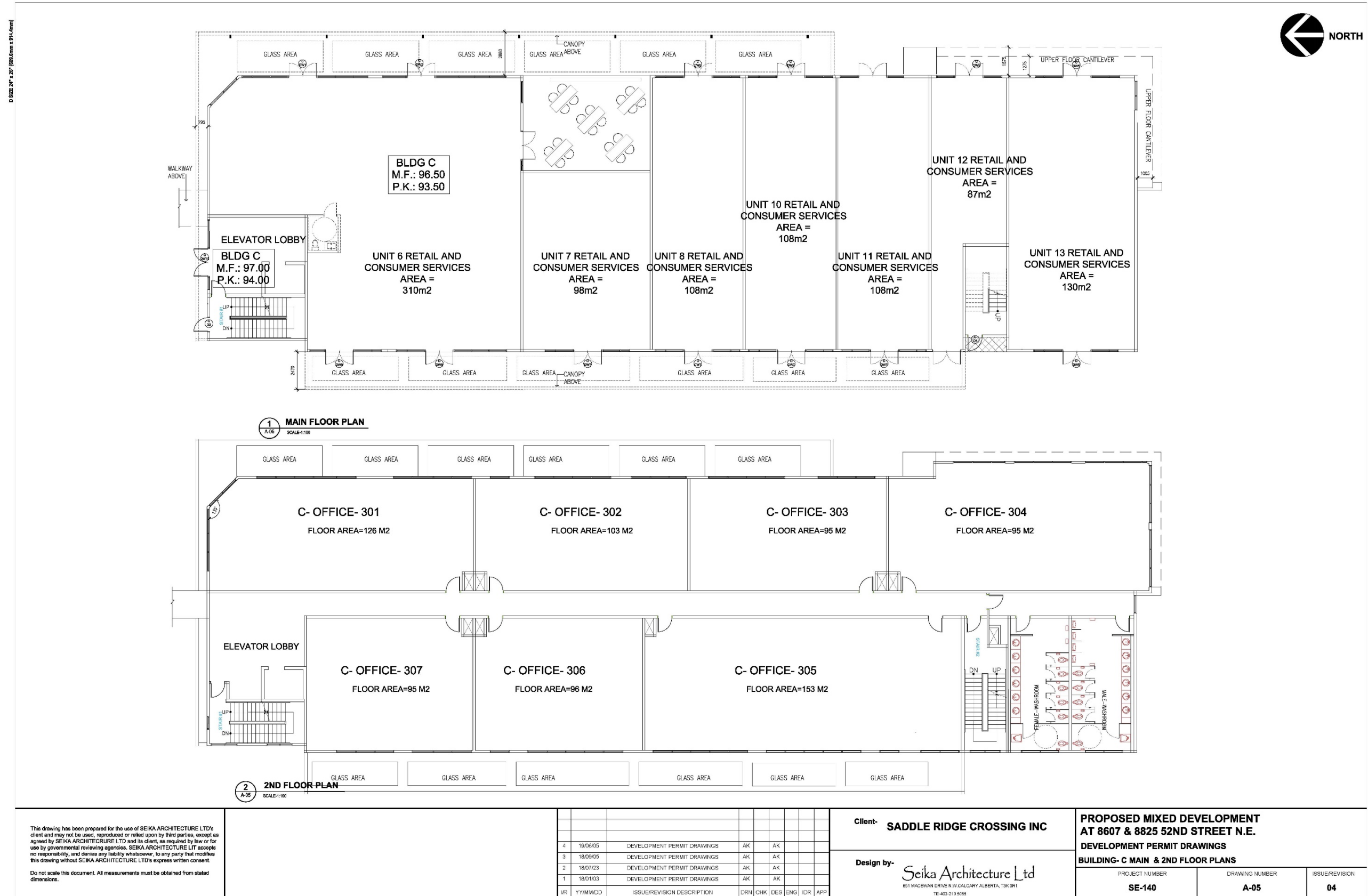
Design by- **Seika Architecture Ltd**  
251 MACDONALD DRIVE N.W. CALGARY, ALBERTA, T2K 3P1  
1-403-310-5285

**PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING- B SECTIONS AND LIGHTING PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-04e</b>	<b>01</b>



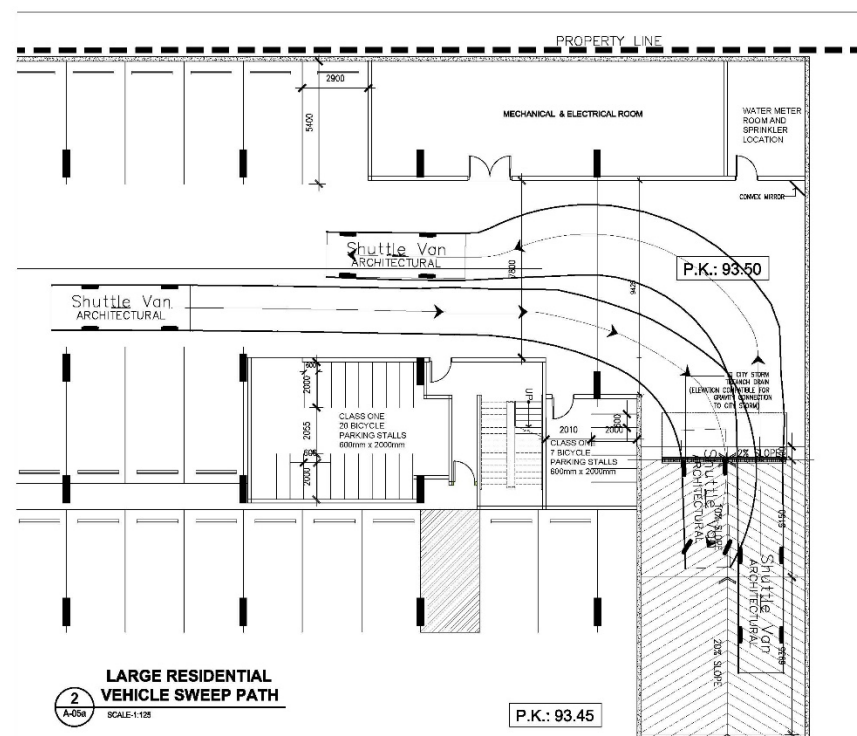
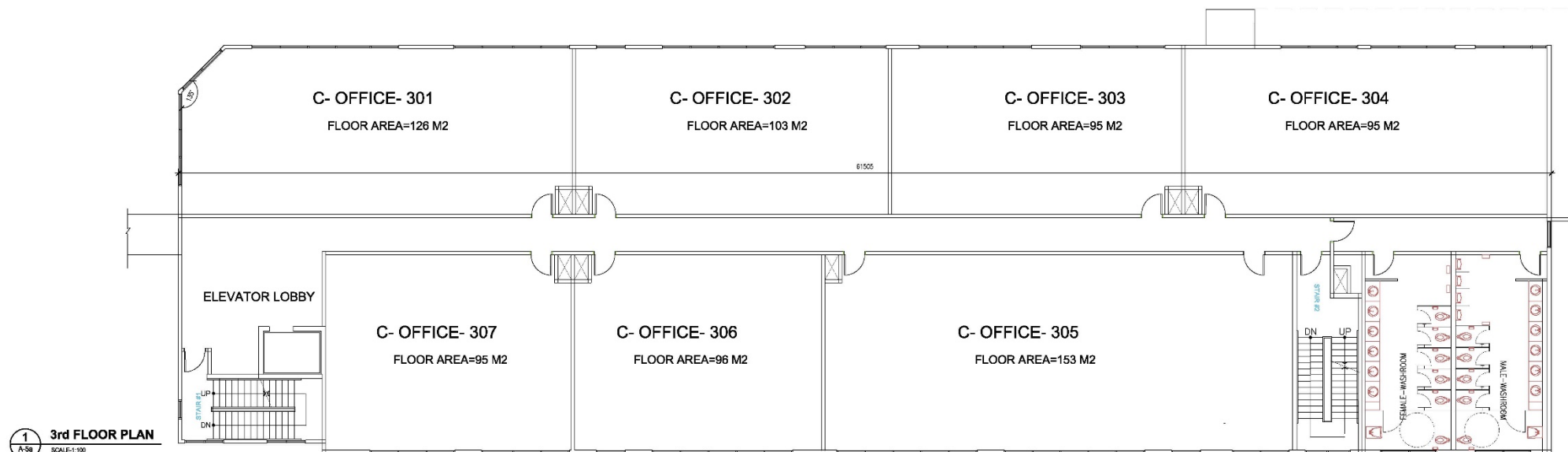
Development Permit Drawings



Development Permit Drawings



D SIZE: 24" x 36" (609.6mm x 914.4mm)



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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
4	19/03/08	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
3	18/06/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/07/23	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

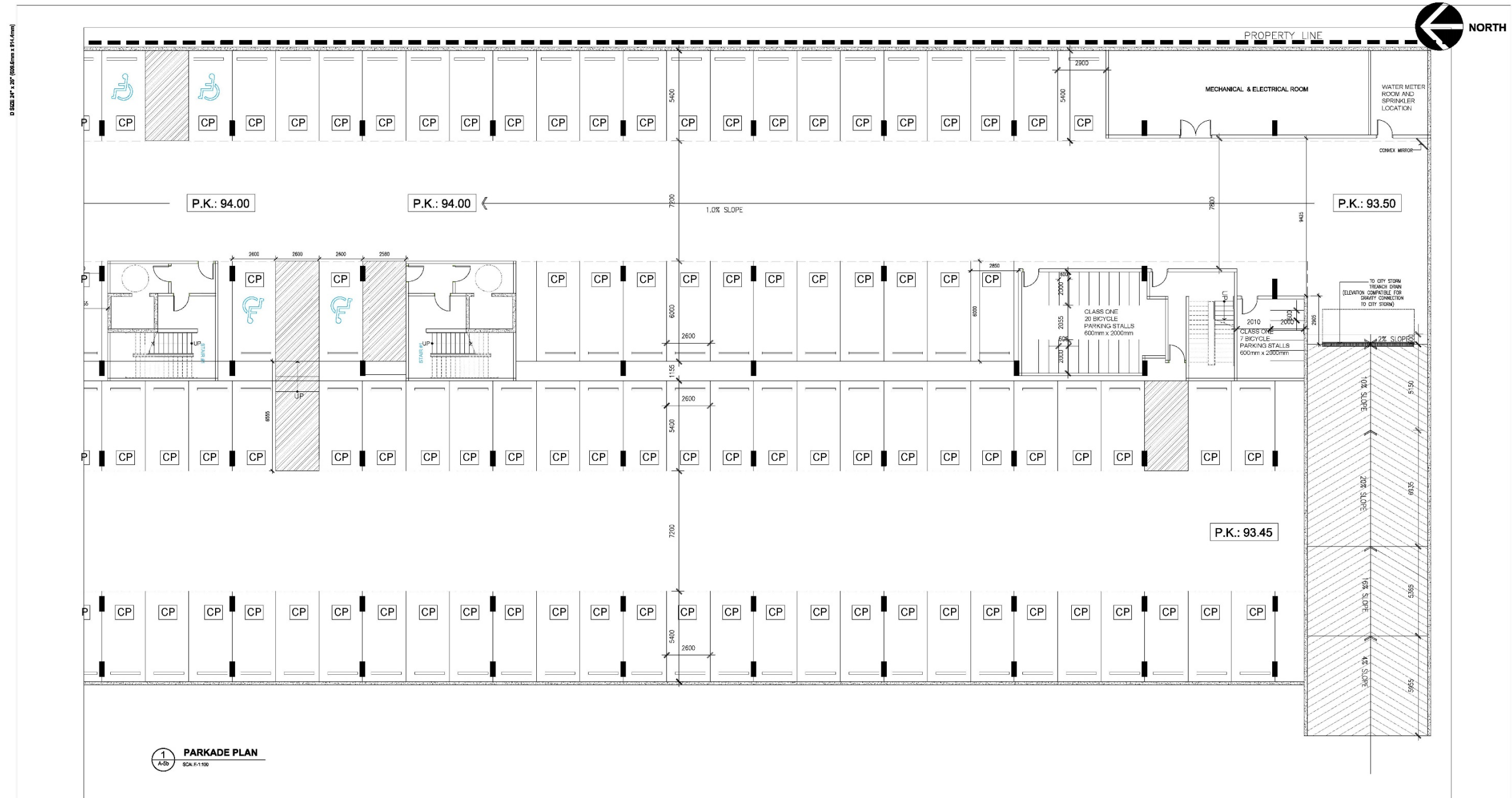
**PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS**

**BUILDING- C 3rd FLOOR PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-05a</b>	<b>04</b>



Development Permit Drawings



1 PARKADE PLAN  
A-5b  
SCALE: 1:150

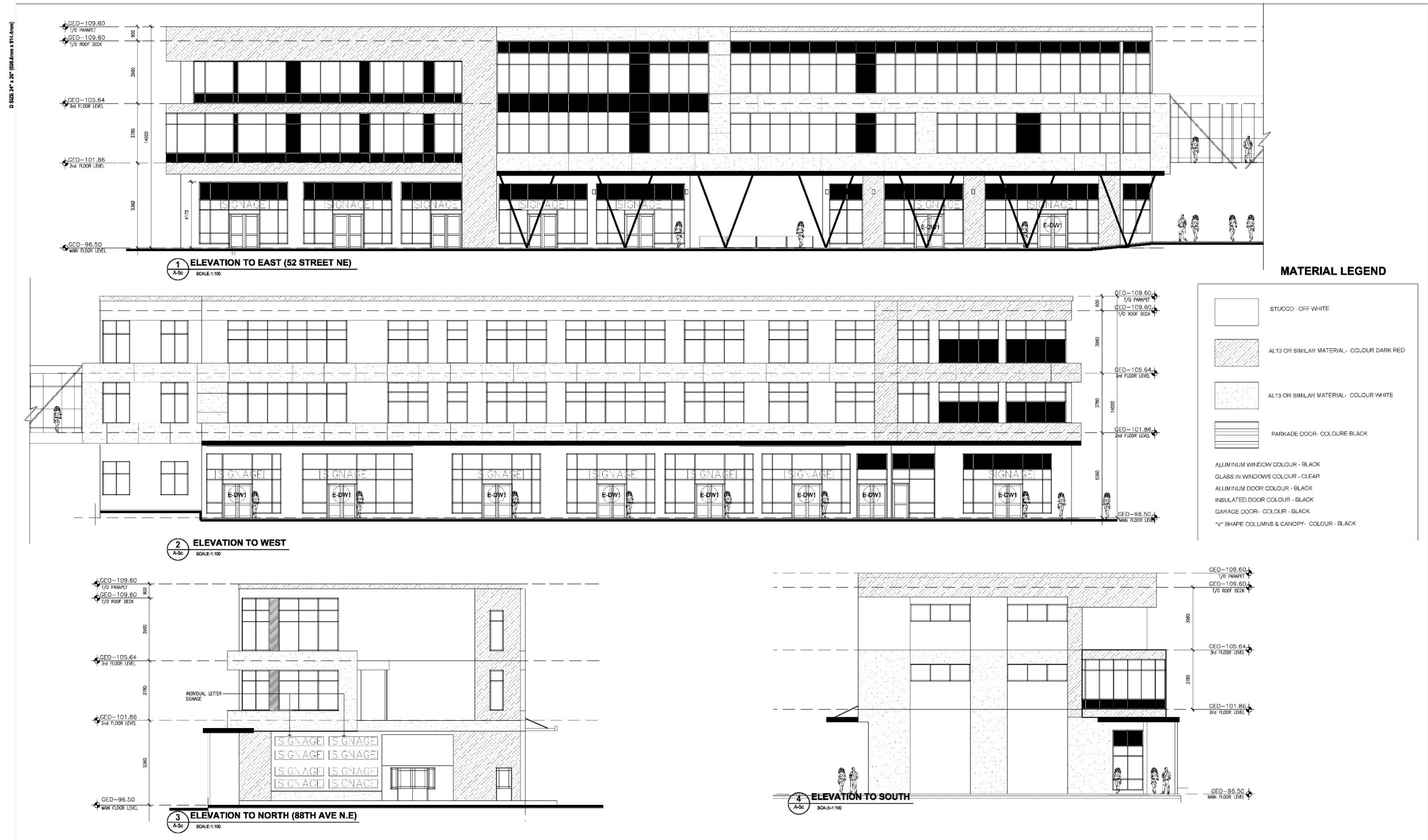
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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	19/03/08	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/07/23	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**  
Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS</b>		
<b>BUILDING- C PARKADE PLAN</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-05b</b>	ISSUE/REVISION <b>3</b>

Development Permit Drawings



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IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	18/08/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/07/23	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

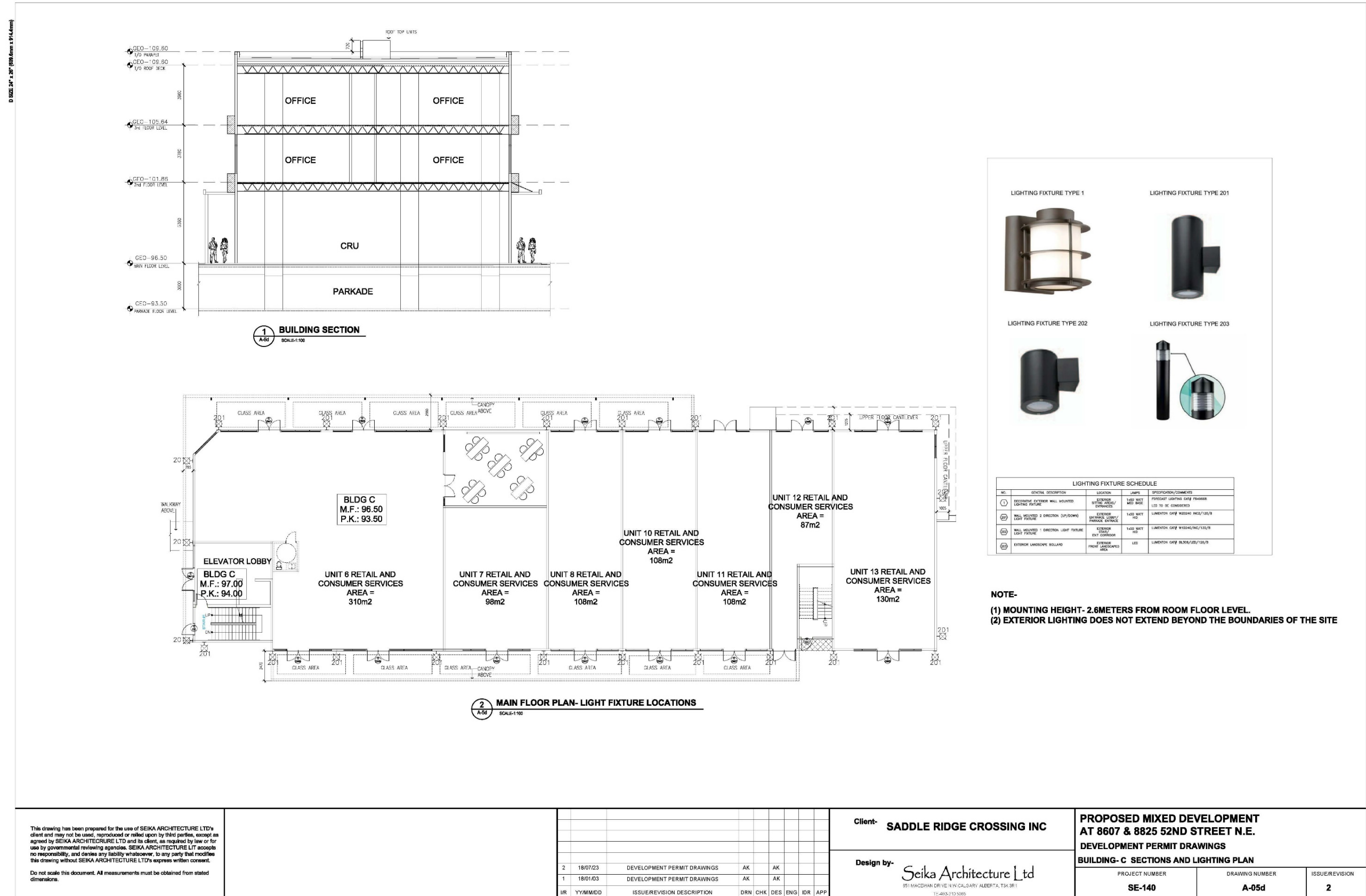
Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T2K 3R1  
TEL: 403-210-5985

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS**

BUILDING-C ELEVATIONS		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-05c</b>	<b>03</b>



Development Permit Drawings



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NO.	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
2	18/07/23	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACDONALD DRIVE N.W. CALGARY, ALBERTA, T2K 3P1  
15-493-310 5385

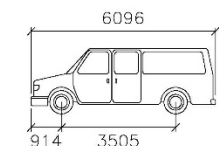
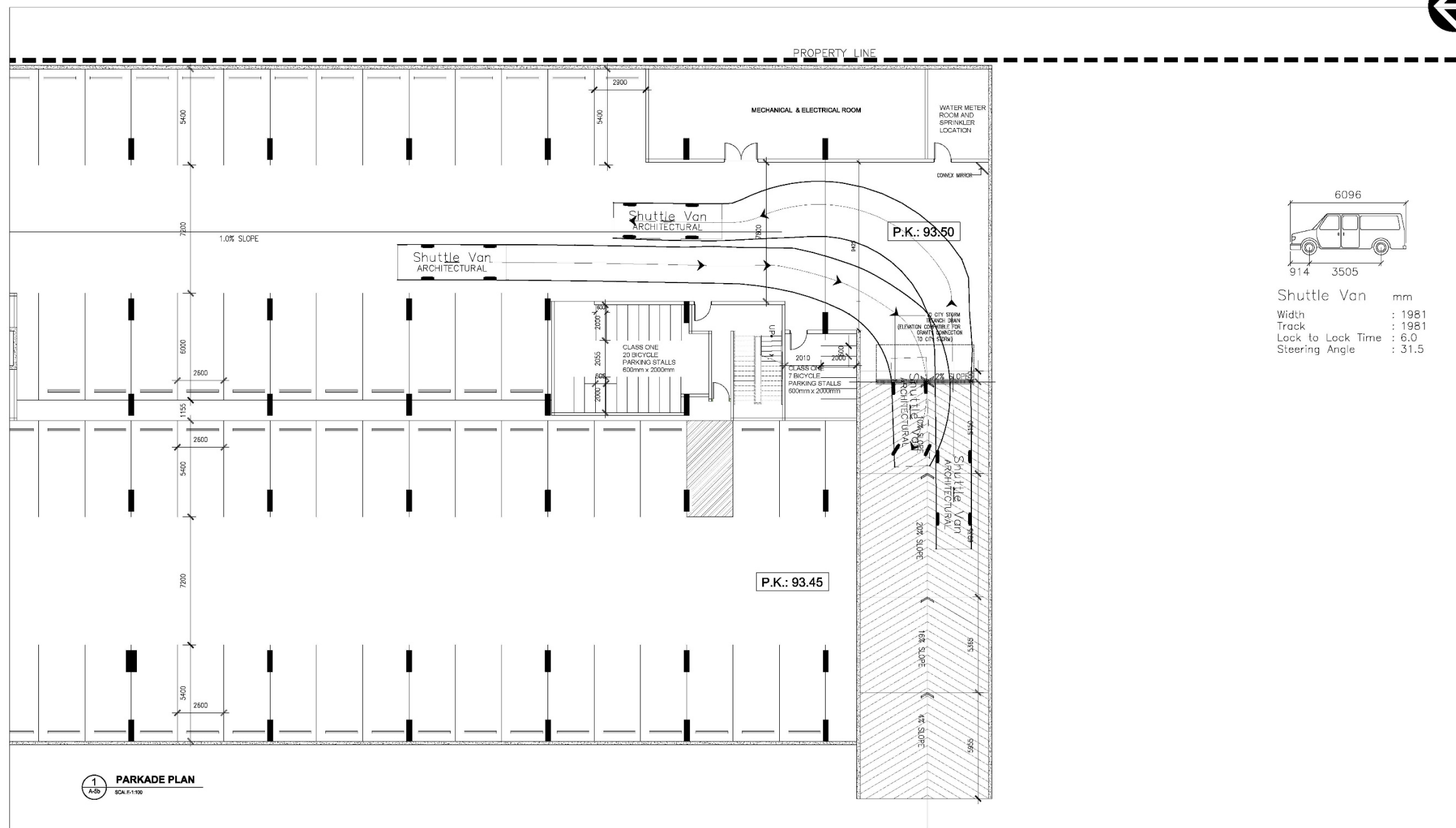
**PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING- C SECTIONS AND LIGHTING PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-05d</b>	<b>2</b>

Development Permit Drawings



D SIZE 24" x 36" (609.6mm x 914.4mm)



Shuttle Van mm  
 Width : 1981  
 Track : 1981  
 Lock to Lock Time : 6.0  
 Steering Angle : 31.5

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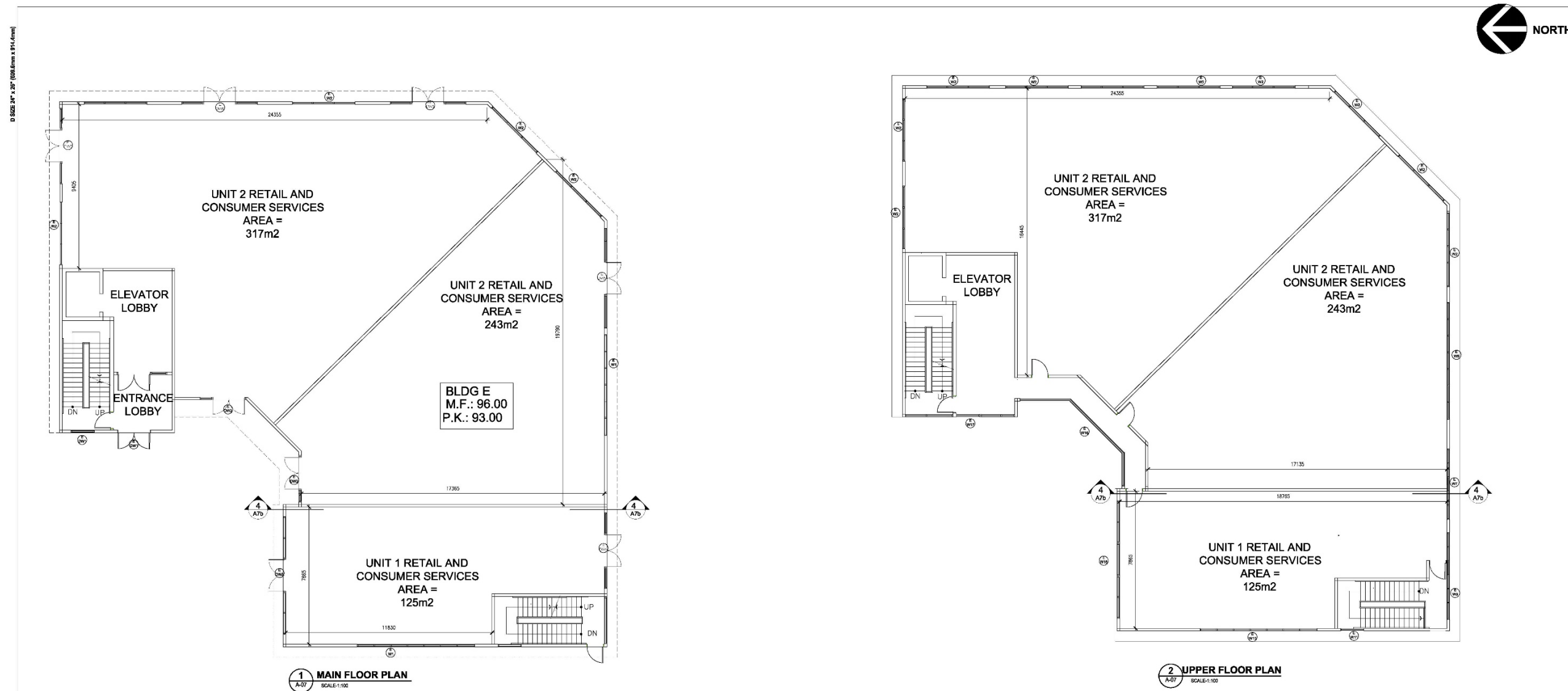
IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
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1	18/01/03	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**  
 Design by- **Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
 TEL: 403-210-5565

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS</b>		
<b>BUILDING- C SWEEP PATH PLAN</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-05e</b>	ISSUE/REVISION <b>3</b>



Development Permit Drawings



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NO	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	18/07/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/06/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

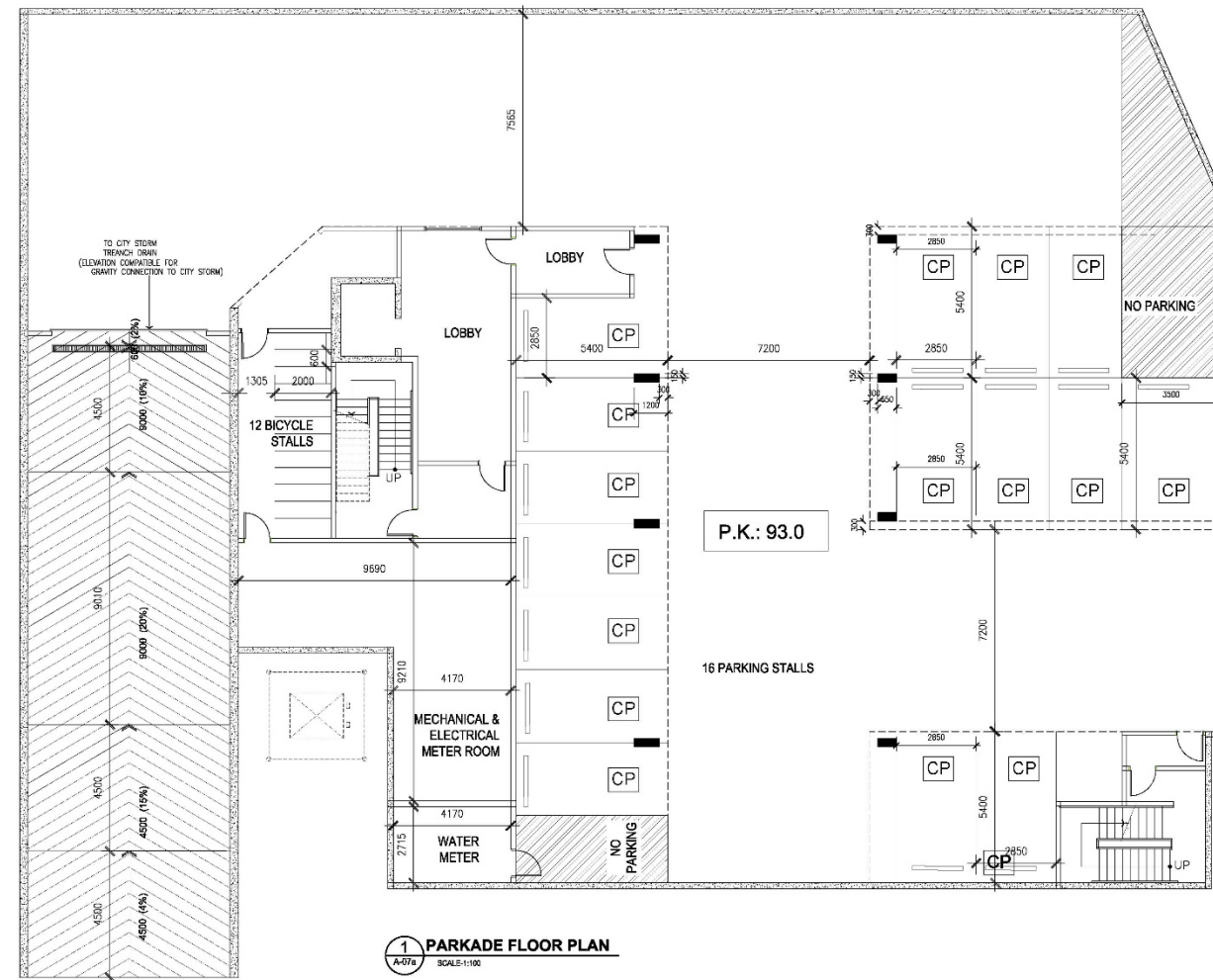
Client- **SADDLE RIDGE CROSSING INC**  
Design by- **Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING E FLOOR PLANS</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-07</b>	ISSUE/REVISION <b>3</b>

Development Permit Drawings



D SIZE 24" x 36" (604.8mm x 914.4mm)



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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
5	15/03/06	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
4	12/11/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
3	18/07/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/06/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

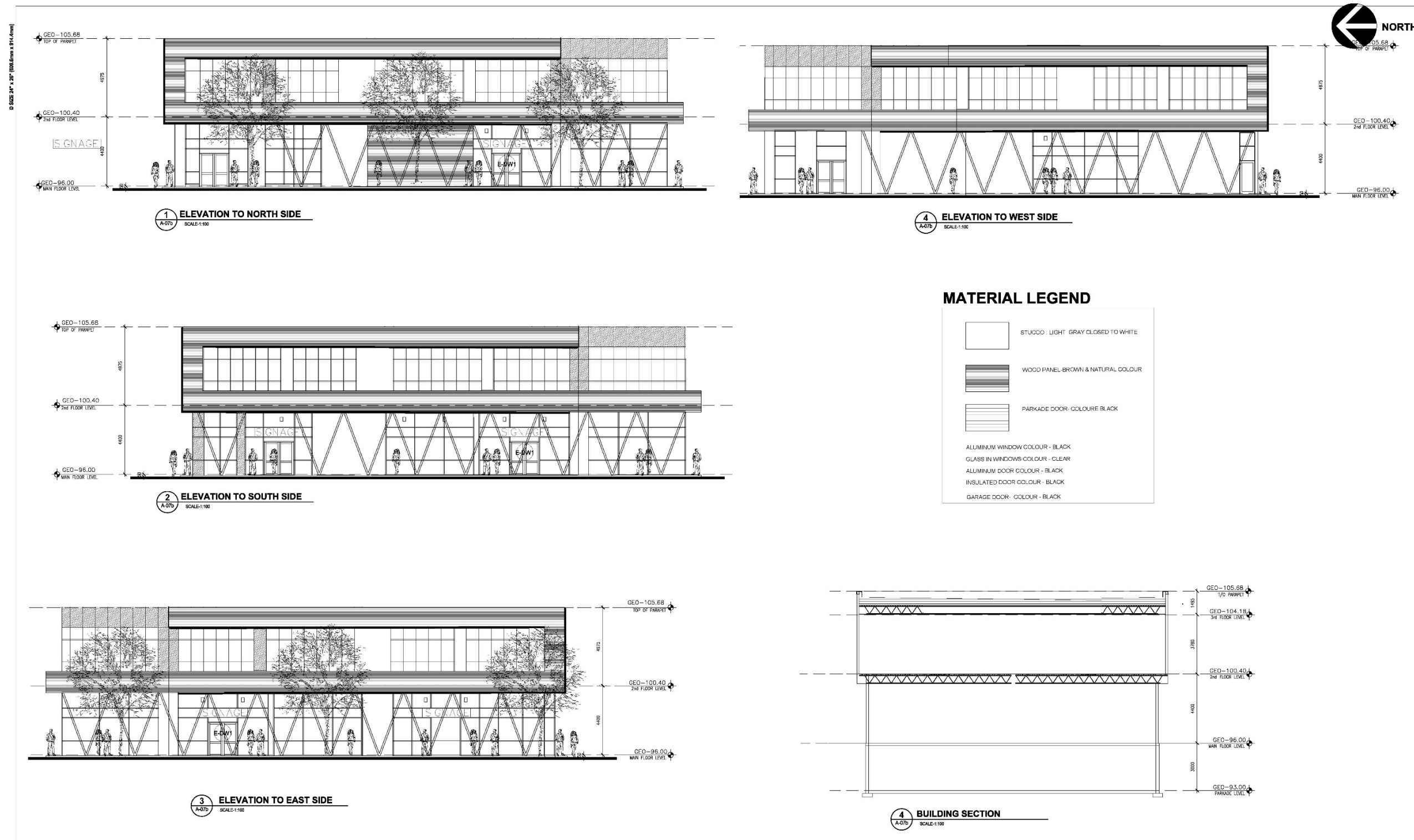
Design by- **Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5665

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING E PARKADE FLOOR PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-07a</b>	<b>5</b>



Development Permit Drawings



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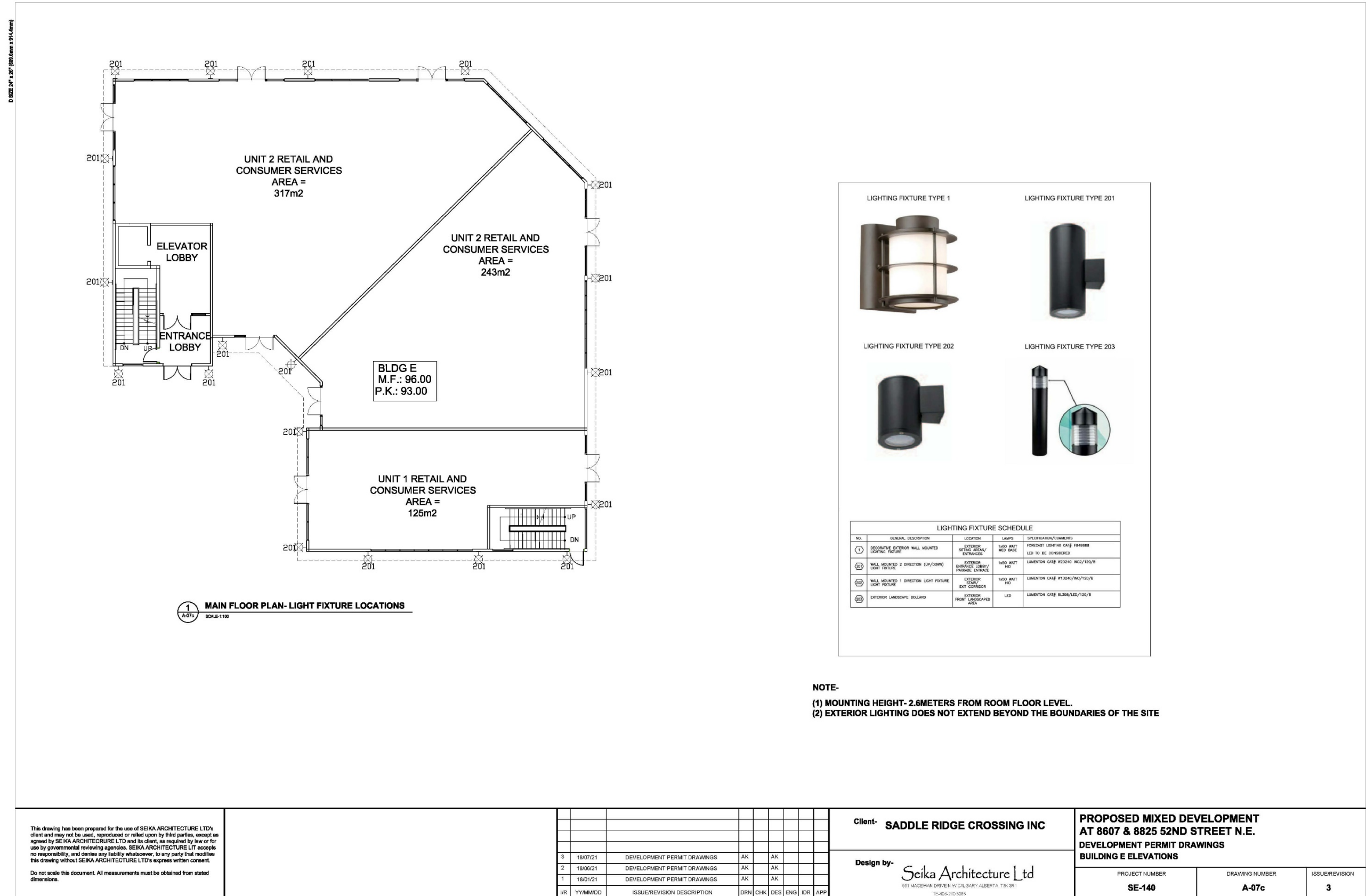
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1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACDEWAN DRIVE N.W. CALGARY ALBERTA, T2K 3R1  
TEL: 403-210-5385

PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING E ELEVATIONS		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-07b</b>	<b>3</b>

Development Permit Drawings



**NOTE-**  
(1) MOUNTING HEIGHT- 2.6METERS FROM ROOM FLOOR LEVEL.  
(2) EXTERIOR LIGHTING DOES NOT EXTEND BEYOND THE BOUNDARIES OF THE SITE

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NO.	DATE	DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
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1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1/R	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
601 MACDONNELL DRIVE N. W. CALGARY ALBERTA, T3K 3E1  
15403-310 3085

**PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING E ELEVATIONS**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-07c</b>	<b>3</b>

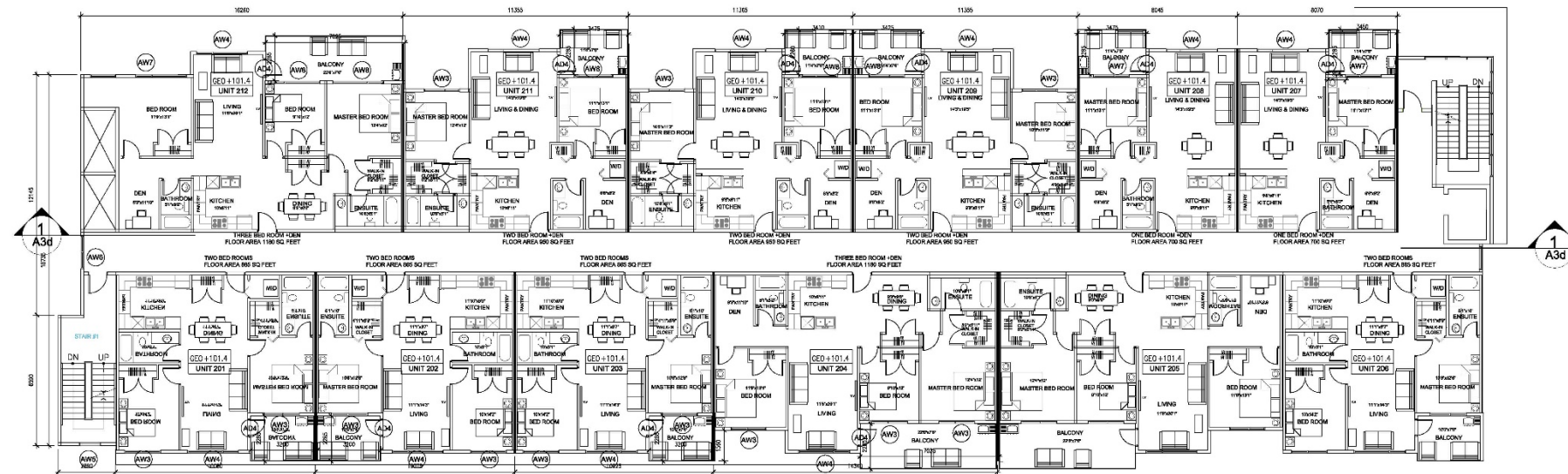




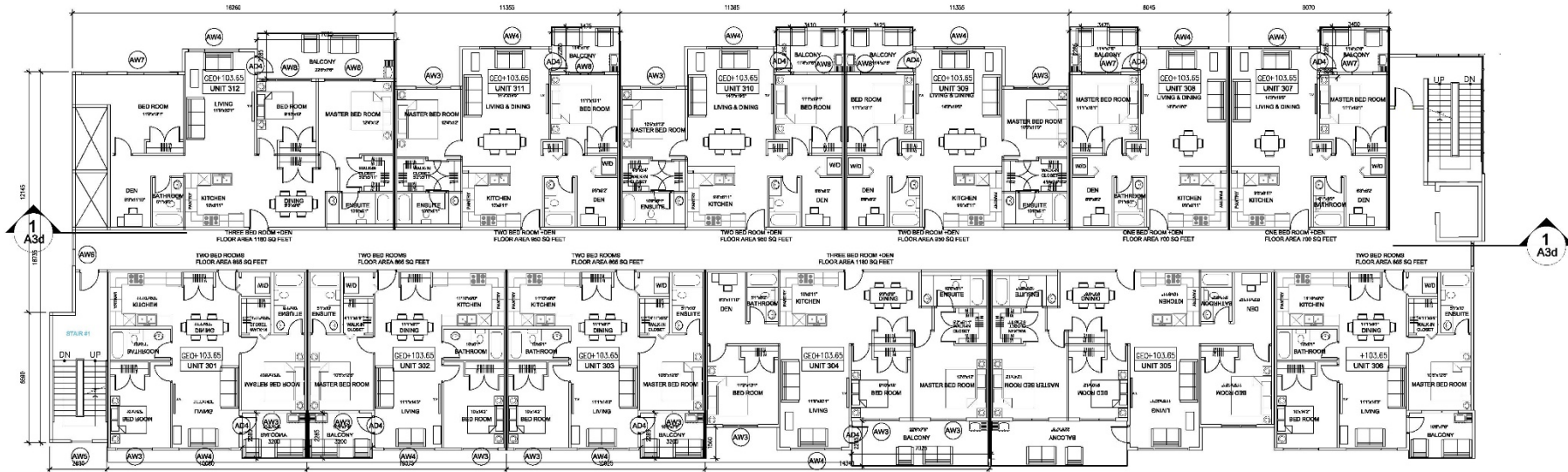
Development Permit Drawings



D SIZE: 24" x 36" (609.6mm x 914.4mm)



1 2nd FLOOR PLAN  
SCALE: 1/125



2 3RD FLOOR FLOOR PLAN  
SCALE: 1/125

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NO.	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
2	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK					
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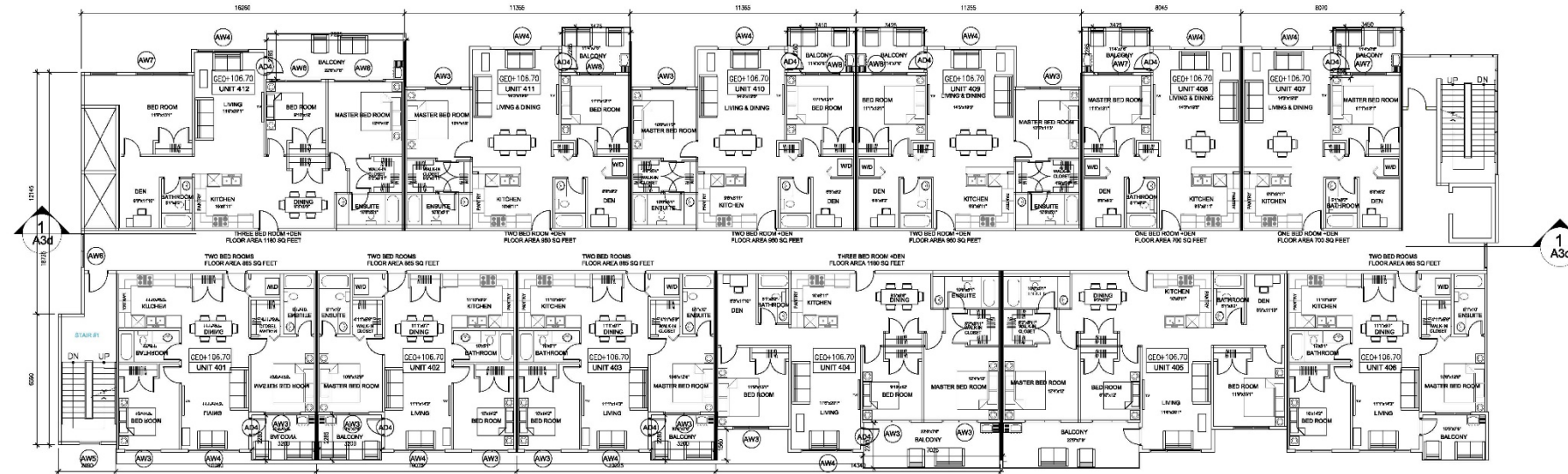
Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACDONALD DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5965

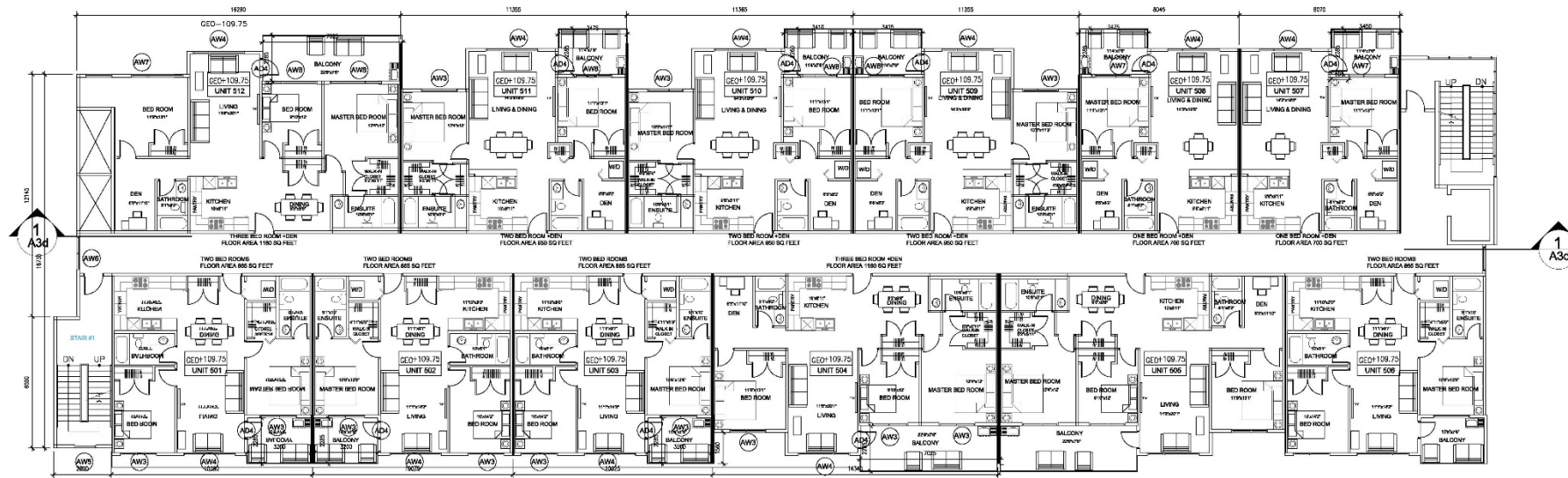
**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - D & F- 2nd FLOOR & 3rd FLOOR PLANS**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-08a</b>	<b>02</b>

Development Permit Drawings



1  
A-08b  
4th FLOOR PLAN  
SCALE: 1:125



2  
A-08c  
5th FLOOR PLAN & 6TH FLOOR PLAN  
SCALE: 1:125

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NO	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	18/06/05	DEVELOPMENT PERMIT DRAWINGS	AK					AK
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1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK					AK
IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

Client- **SADDLE RIDGE CROSSING INC**

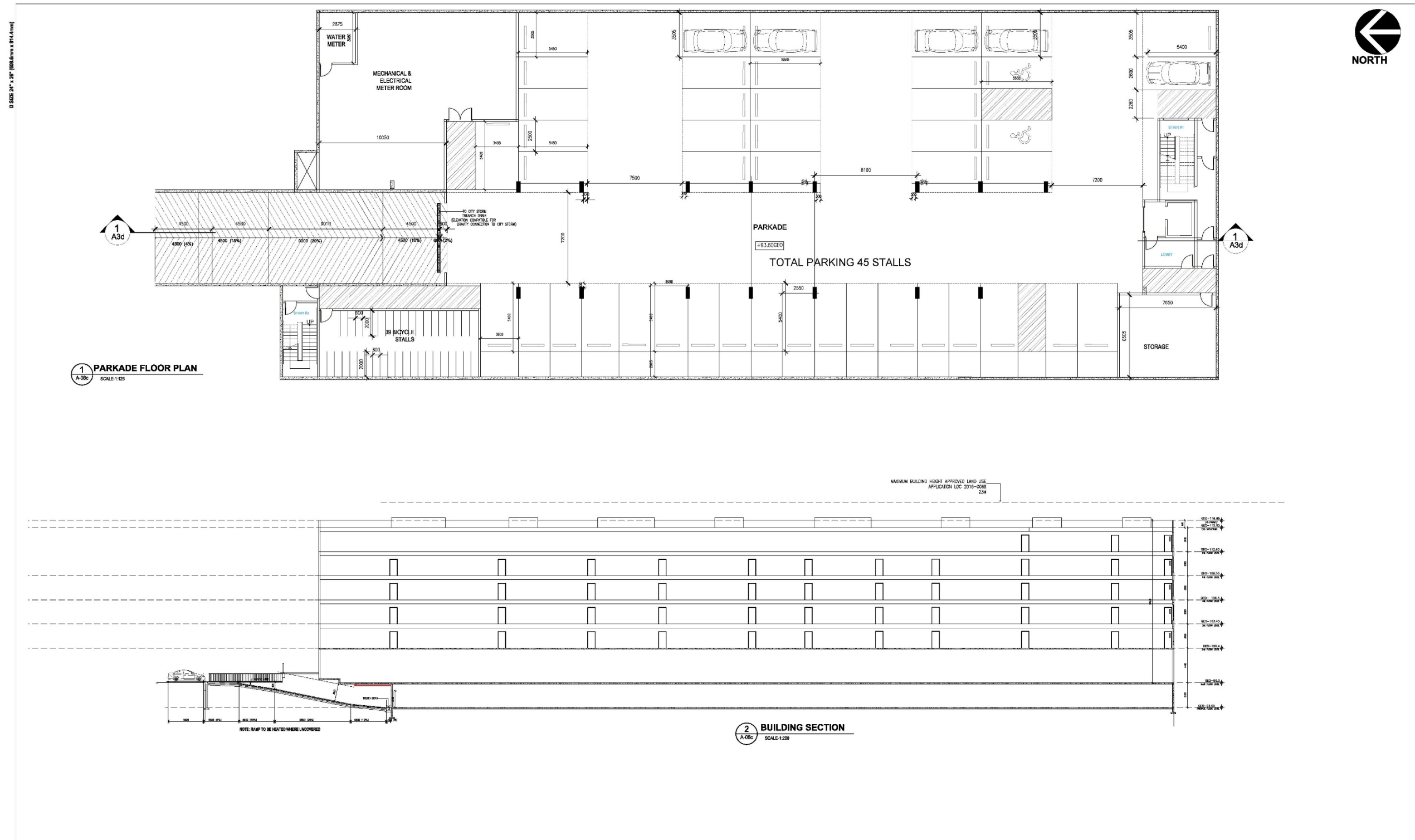
Design by- **Seika Architecture Ltd**  
651 MACDONALD DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - D & F- 4TH FLOOR TO 6TH FLOOR PLANS**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-08b</b>	<b>03</b>



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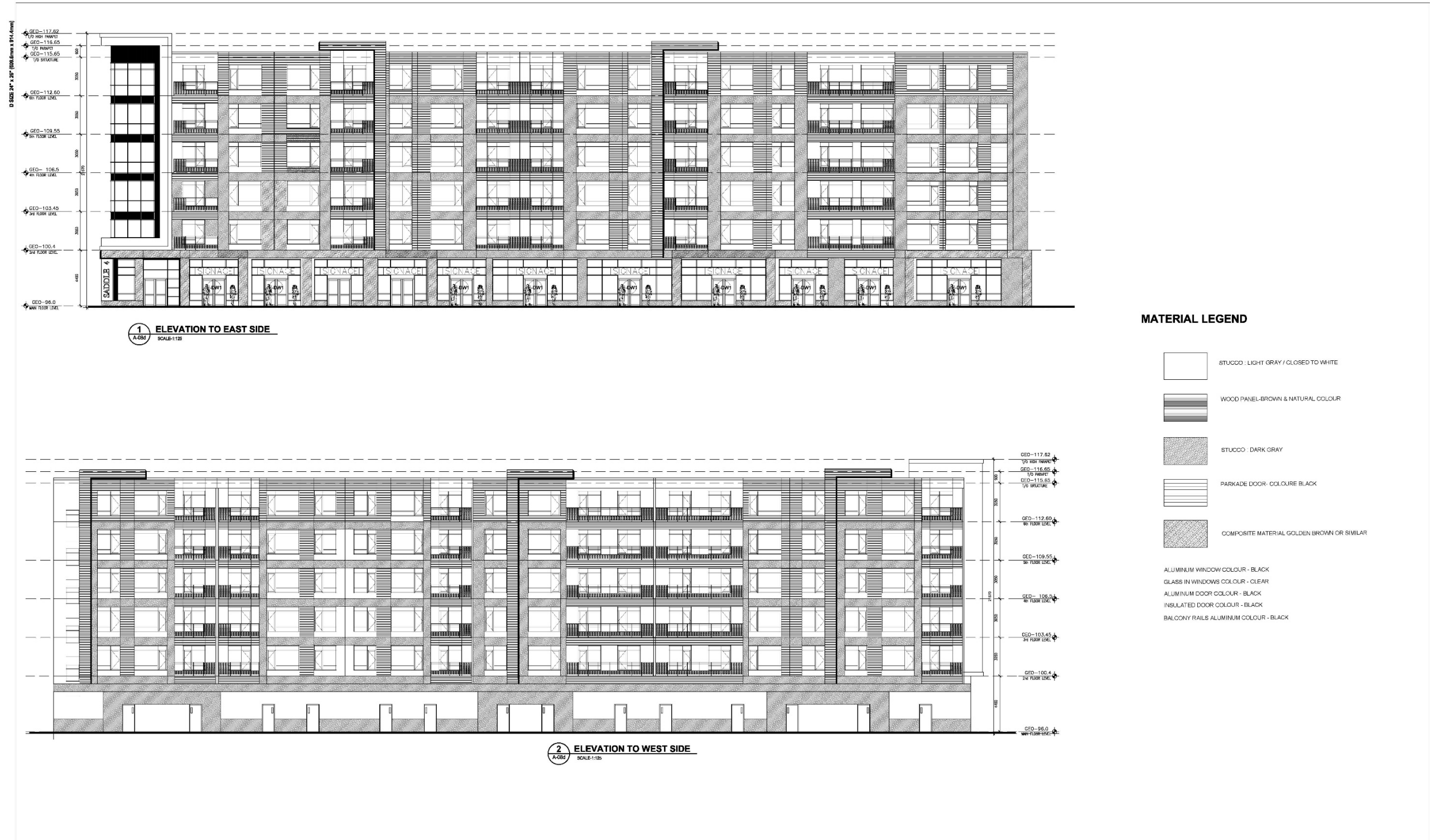
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2	18/07/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**  
Design by- **Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

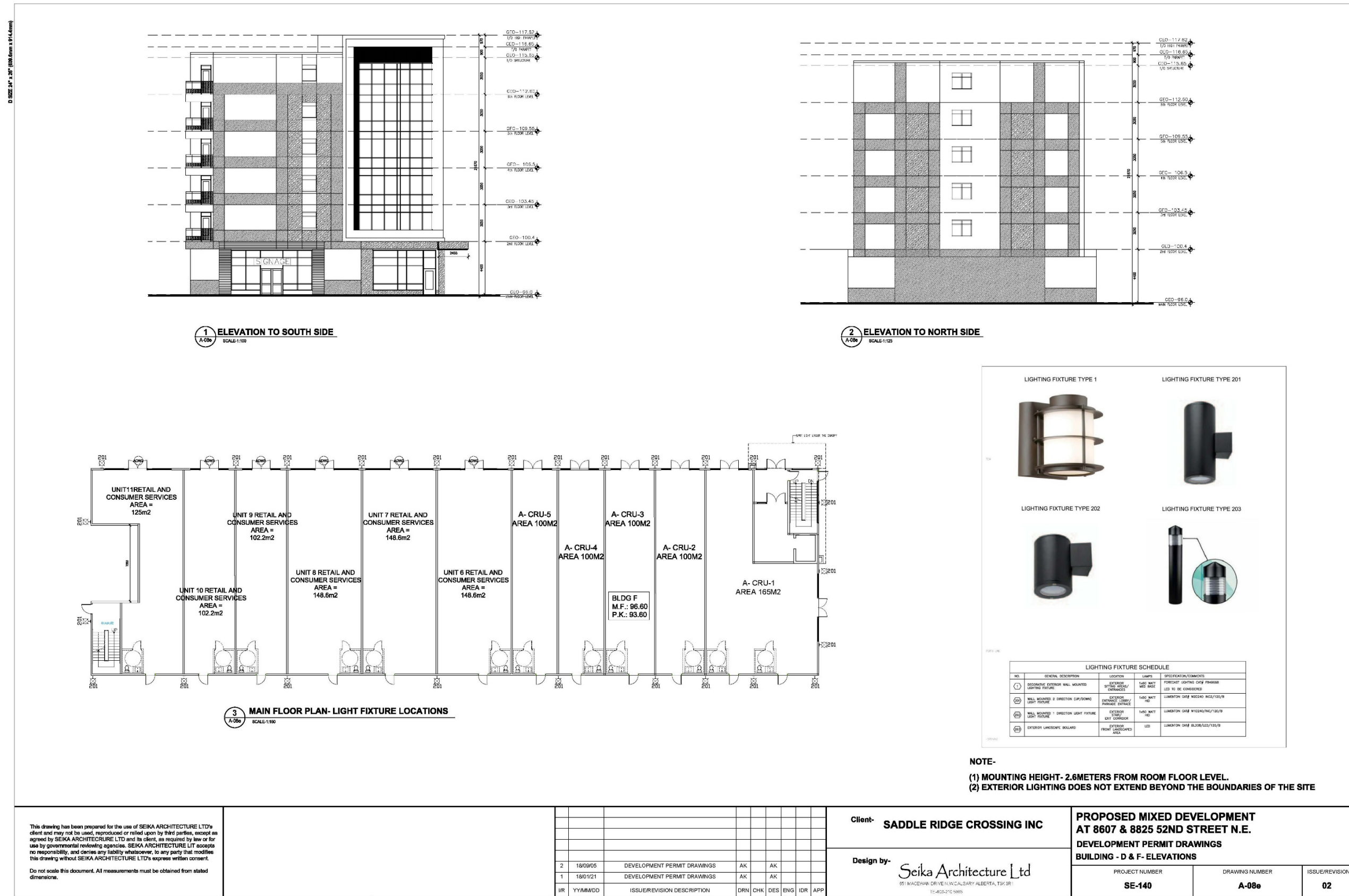
<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E.</b>		
<b>DEVELOPMENT PERMIT DRAWINGS</b>		
<b>BUILDING - D &amp; F- BASEMENT FLOOR PLAN &amp; SECTIONS</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-08c</b>	ISSUE/REVISION <b>04</b>



Development Permit Drawings



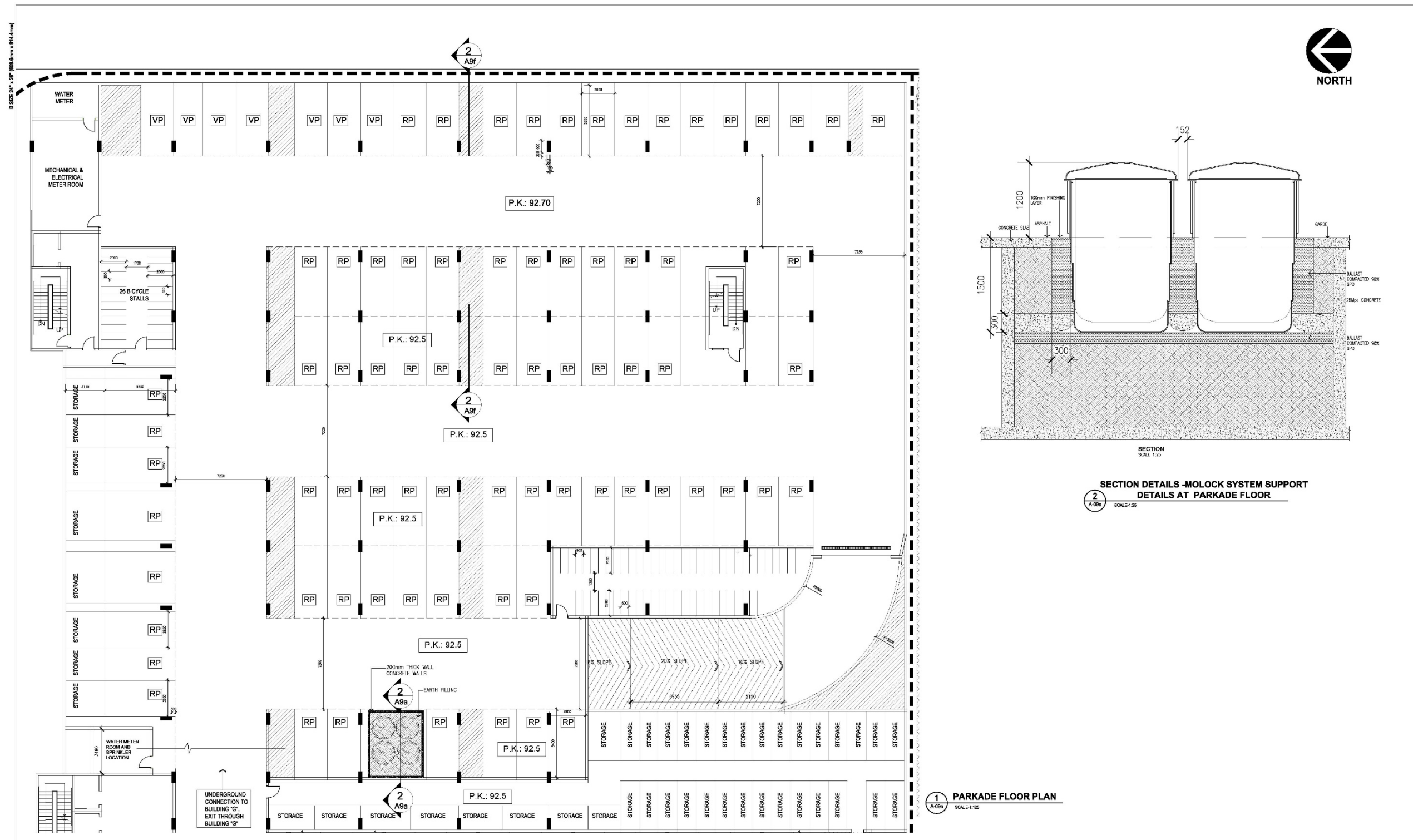
Development Permit Drawings







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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
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2	18/07/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACDOWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

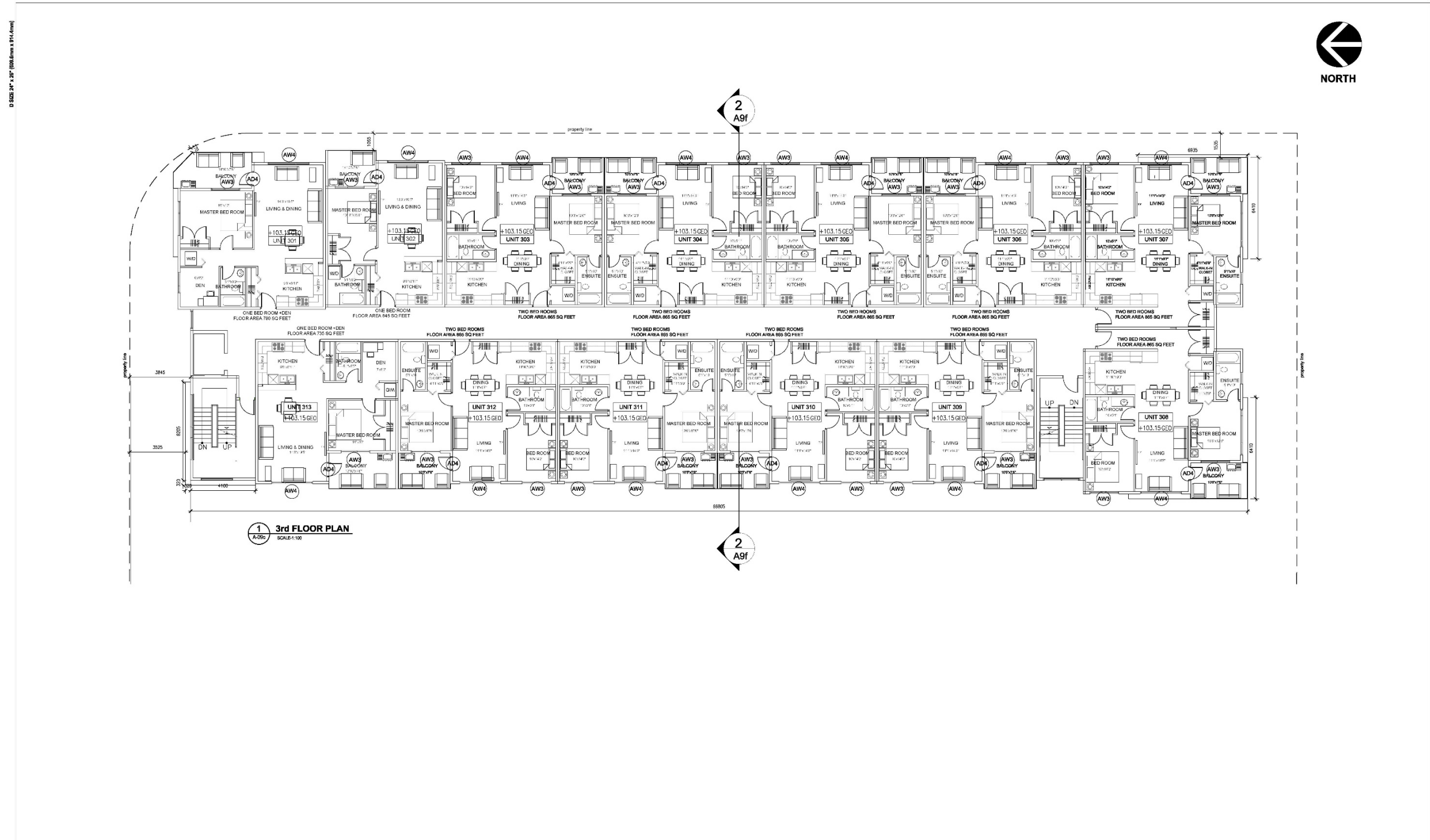
**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - G- DETAILS- PARKADE FLOOR PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-09a</b>	<b>03</b>





Development Permit Drawings



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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	19/08/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACDONALD DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5565

**PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - G- DETAILS- 3RD FLOOR PLAN**

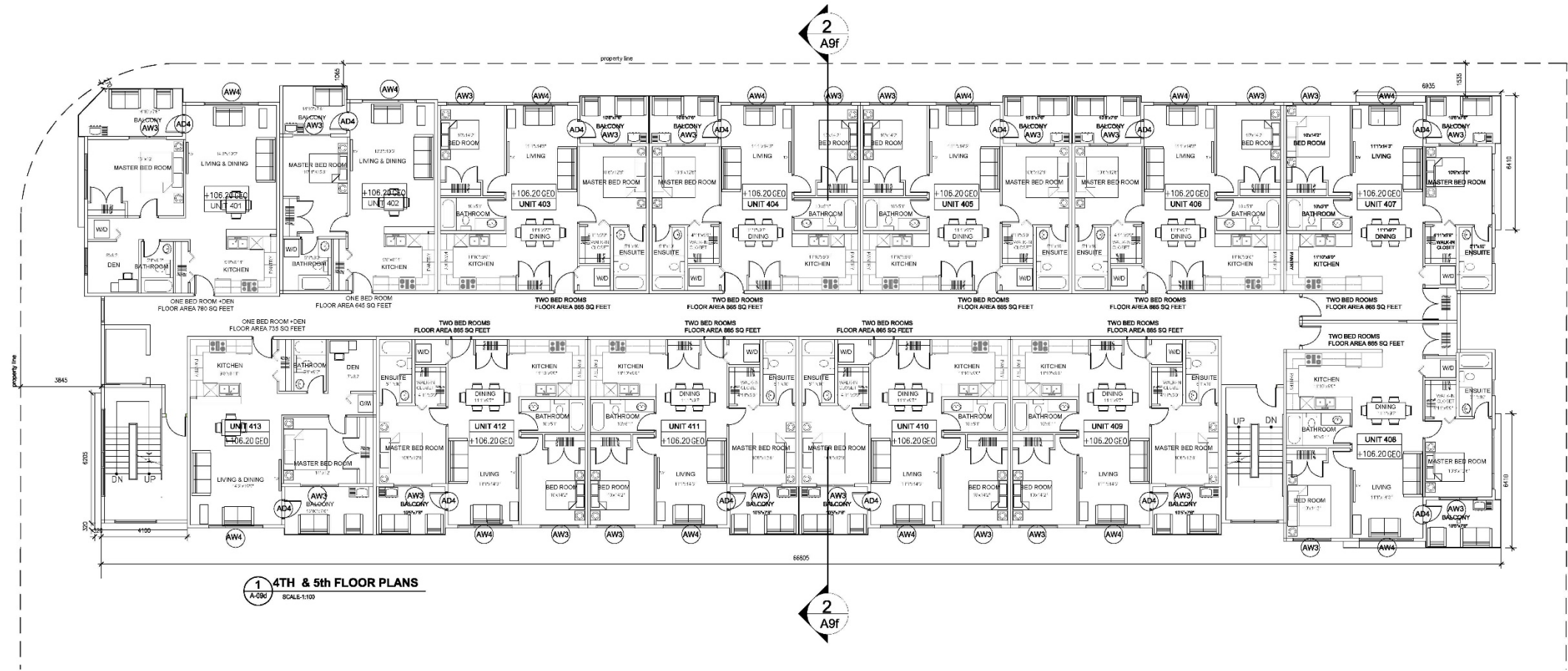
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-09c</b>	<b>03</b>



Development Permit Drawings



D SIZE: 24" x 36" (609.6mm x 914.4mm)



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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	19/08/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**  
  
Design by- **Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - G- DETAILS- 4th &amp; 5th FLOOR PLANS</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-09d</b>	ISSUE/REVISION <b>03</b>

Development Permit Drawings



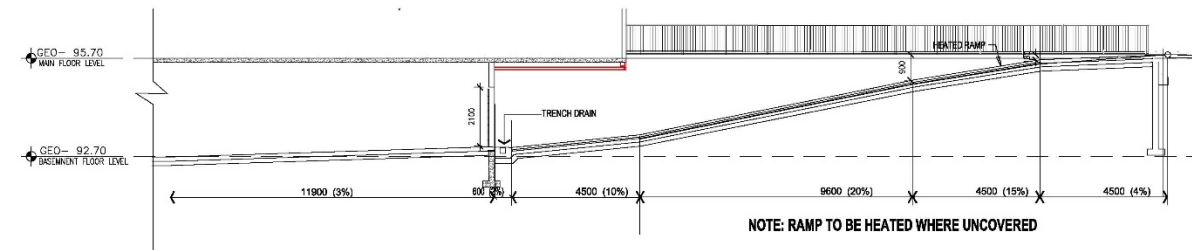
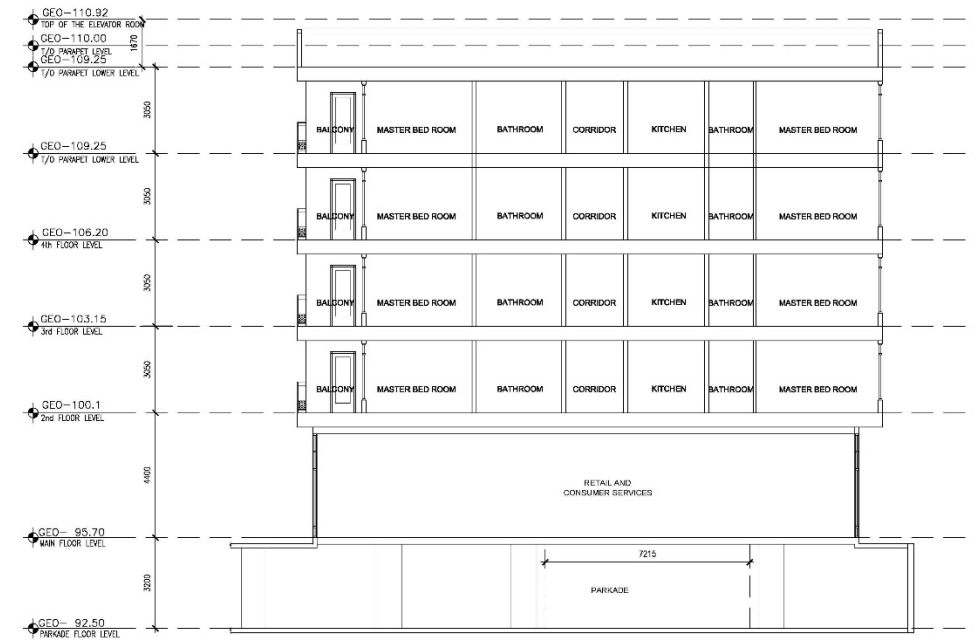
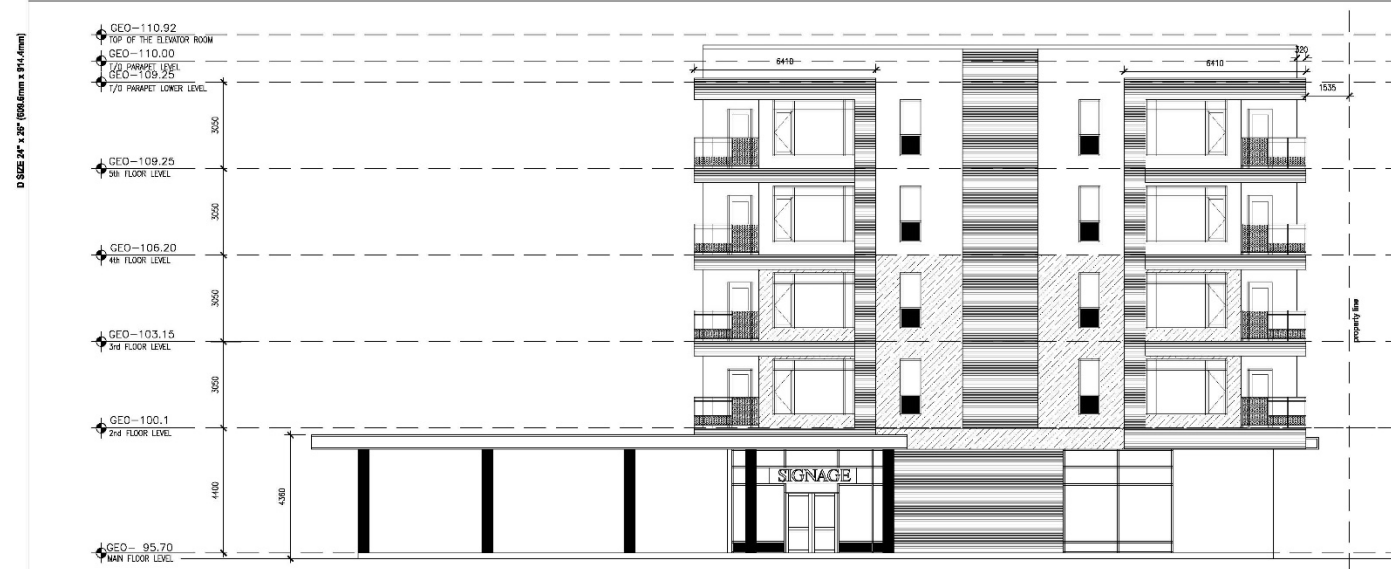
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IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	19/08/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	19/08/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	19/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**  
Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T2K 3R1  
TEL: 403-210-5985

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - G- DETAILS- ELEVATIONS</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-09e</b>	ISSUE/REVISION <b>03</b>

Development Permit Drawings



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NO	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
2	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
IR	YYMMDD	ISSUE/REVISION DESCRIPTION						

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

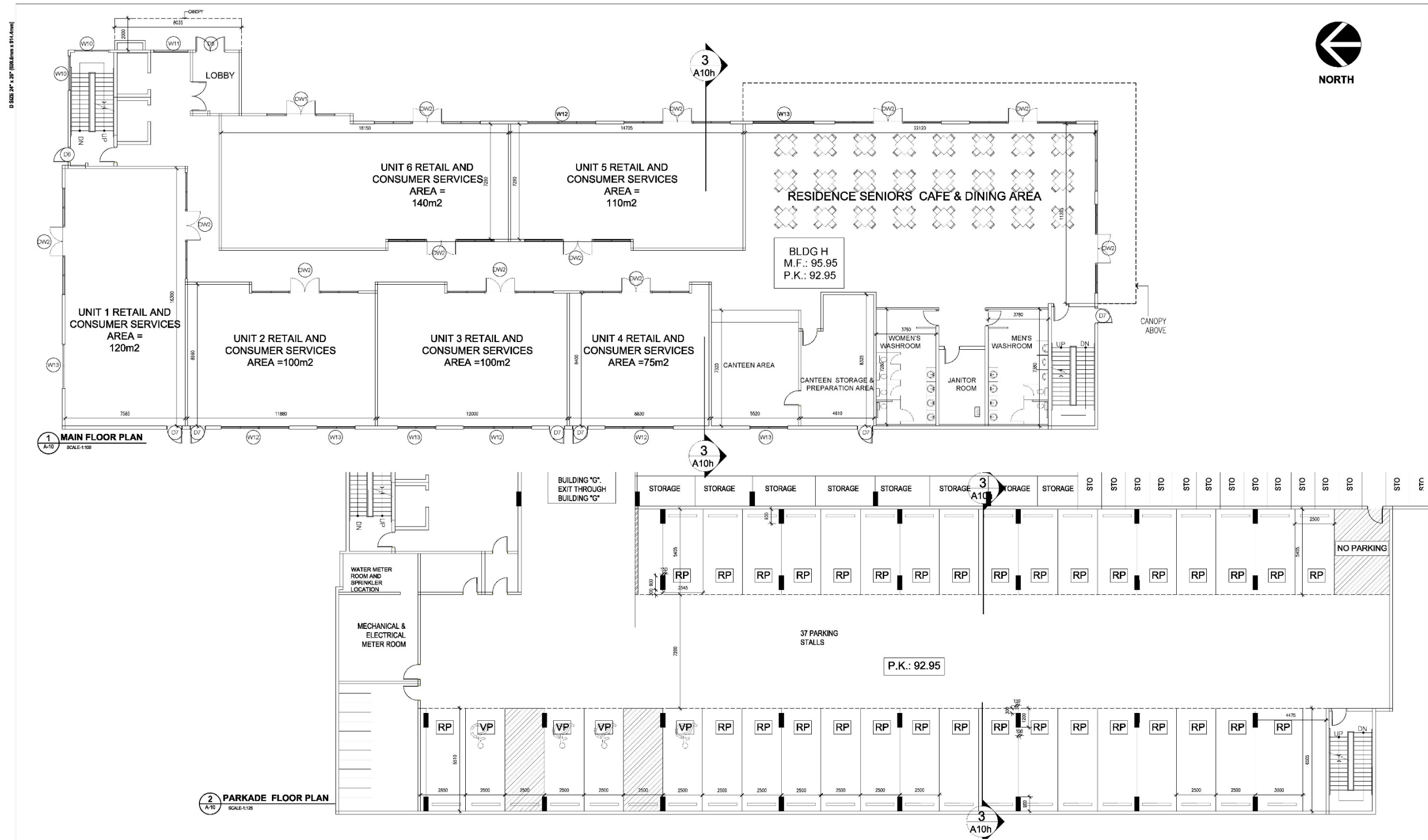
**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - G- DETAILS- ELEVATION AND SECTIONS**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-09f</b>	<b>02</b>





Development Permit Drawings



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6	19/04/07	DEVELOPMENT PERMIT DRAWINGS	AK	AK					
5	19/03/09	DEVELOPMENT PERMIT DRAWINGS	AK	AK					
4	18/11/05	DEVELOPMENT PERMIT DRAWINGS	AK	AK					
3	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK	AK					
2	18/02/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK					
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK					
IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP	

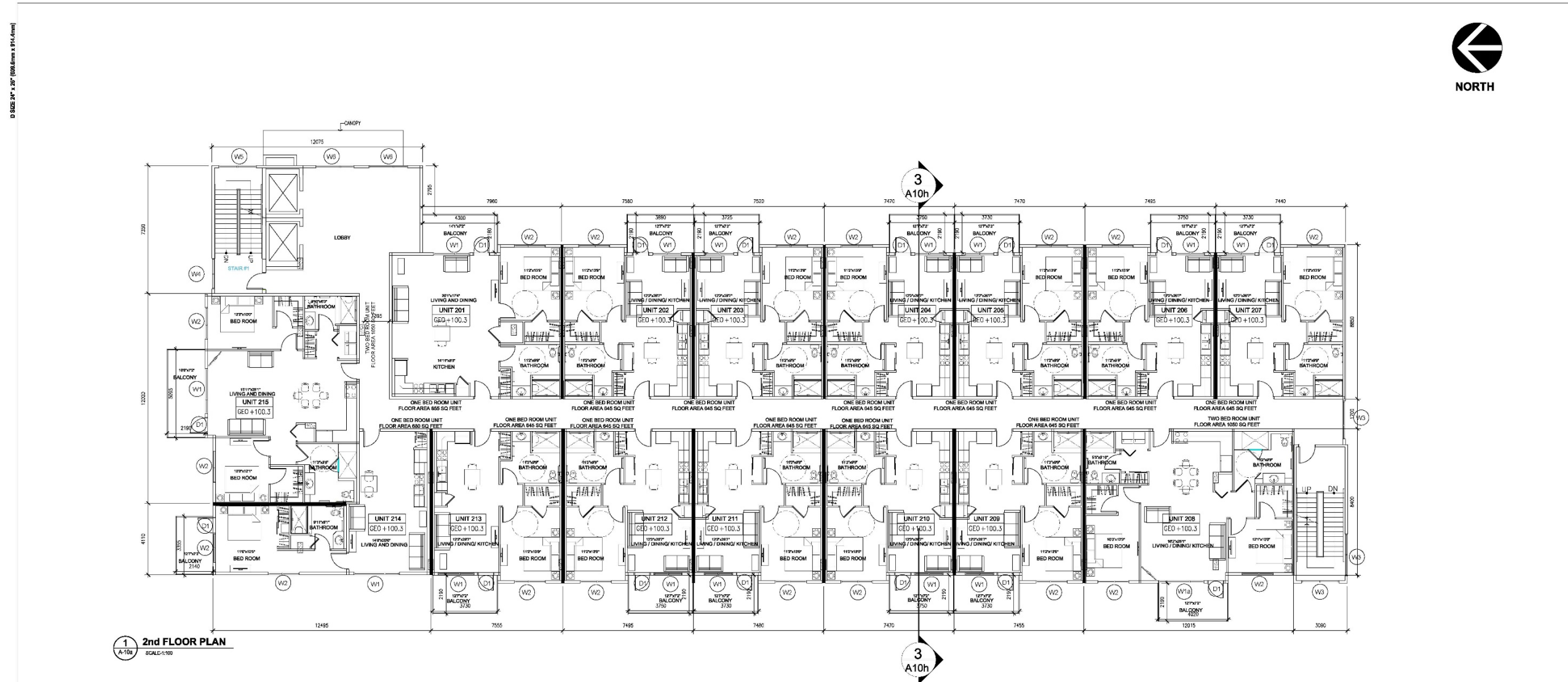
Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACDOWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - H- DETAILS- MAIN FLOOR PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-10</b>	<b>07</b>

Development Permit Drawings



1 2nd FLOOR PLAN  
A-10a  
SCALE: 1/160

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NO.	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK				
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

Client- **SADDLE RIDGE CROSSING INC**

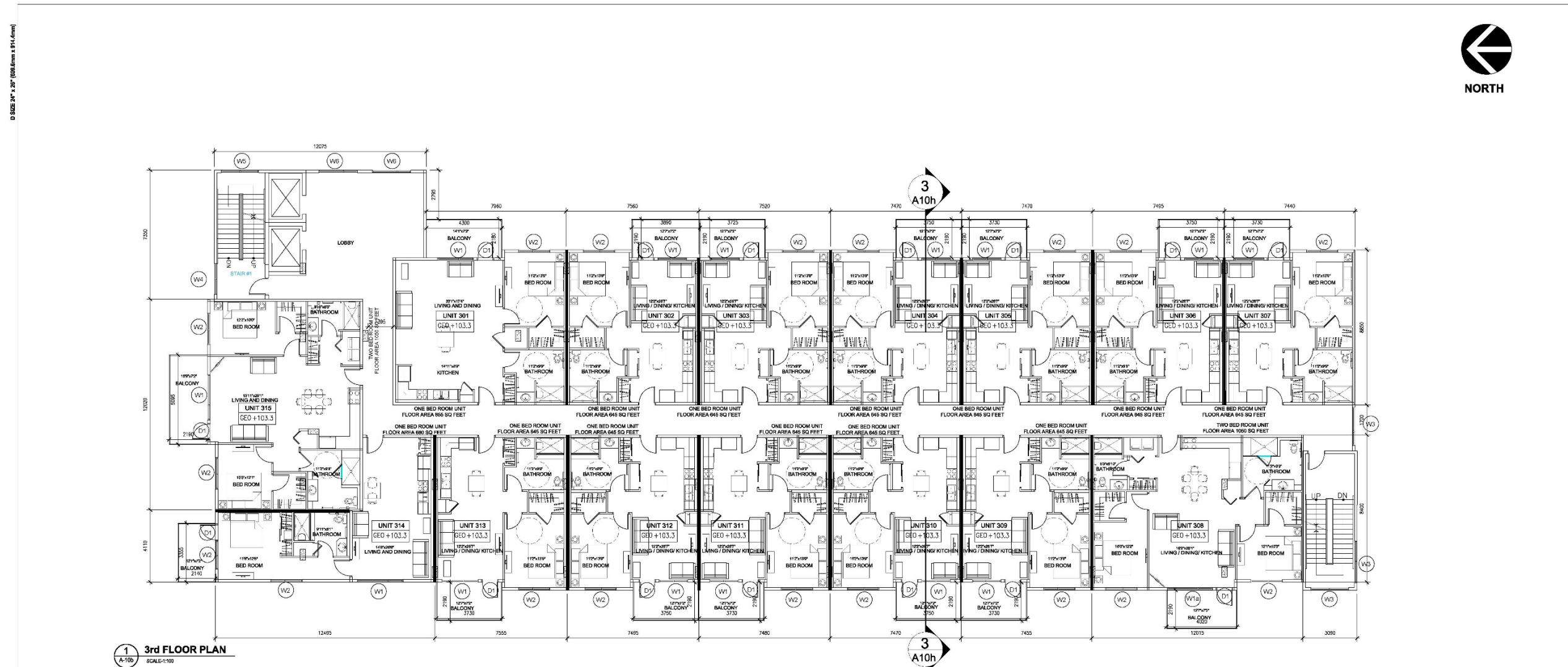
Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5665

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - H- DETAILS- 2nd FLOOR PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-10a</b>	<b>01</b>



Development Permit Drawings



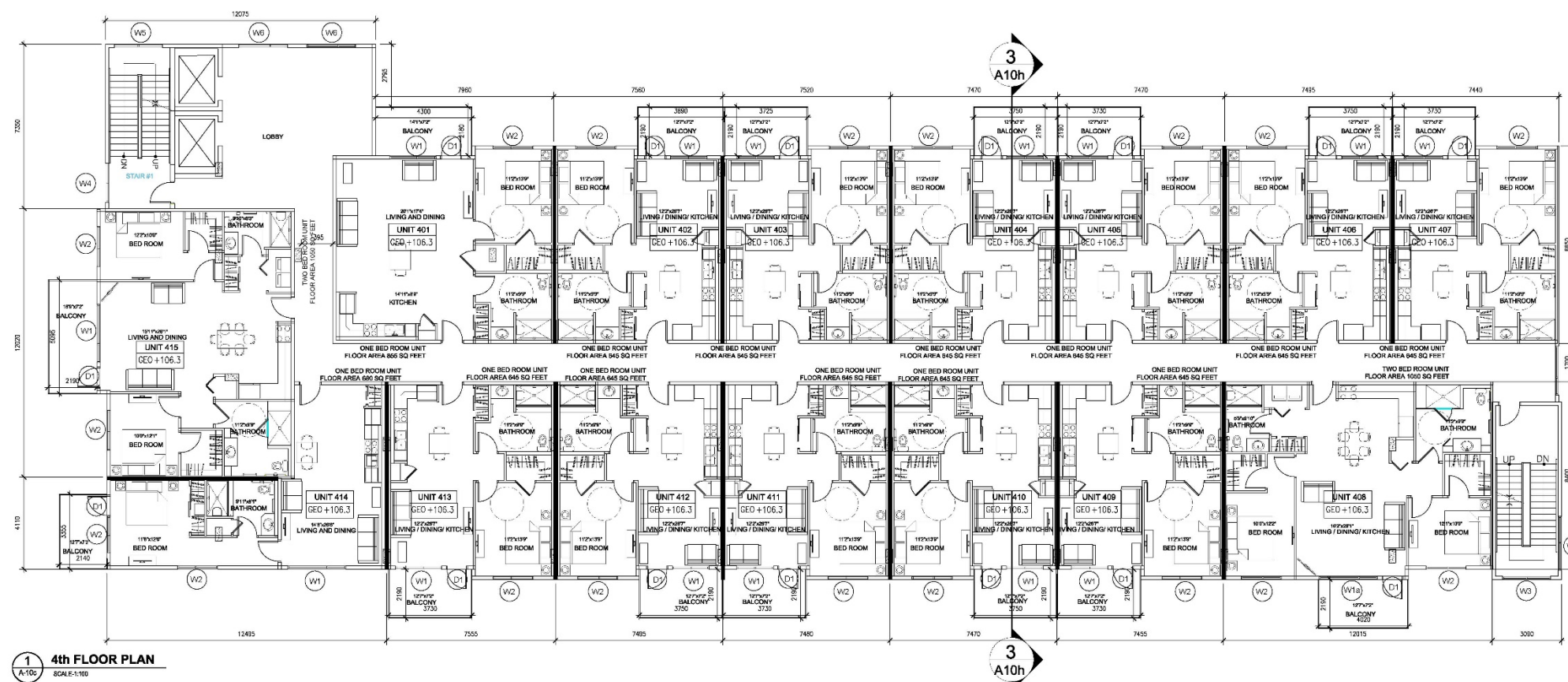
1 3rd FLOOR PLAN  
A-10b SCALE: 1/100

<p>This drawing has been prepared for the use of SEIKA ARCHITECTURE LTD's client and may not be used, reproduced or relied upon by third parties, except as agreed by SEIKA ARCHITECTURE LTD and its client, as required by law or for use by governmental reviewing agencies. SEIKA ARCHITECTURE LTD accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without SEIKA ARCHITECTURE LTD's express written consent.</p> <p>Do not scale this document. All measurements must be obtained from stated dimensions.</p>					<p>Client- <b>SADDLE RIDGE CROSSING INC</b></p>		<p><b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - H- DETAILS- 3rd FLOOR PLAN</b></p>																							
	<p>Design by- <b>Seika Architecture Ltd</b> 651 MACDONALD DRIVE N.W. CALGARY ALBERTA, T3K 3R1 TEL: 403-210-5665</p>		<table border="1"> <tr> <td>1</td> <td>18/01/21</td> <td>DEVELOPMENT PERMIT DRAWINGS</td> <td>AK</td> <td>AK</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>IR</td> <td>YYMMDD</td> <td>ISSUE/REVISION DESCRIPTION</td> <td>DRN</td> <td>CHK</td> <td>DES</td> <td>ENG</td> <td>IDR</td> <td>APP</td> <td></td> </tr> </table>		1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK						IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP		<table border="1"> <tr> <td>PROJECT NUMBER</td> <td>DRAWING NUMBER</td> <td>ISSUE/REVISION</td> </tr> <tr> <td><b>SE-140</b></td> <td><b>A-10b</b></td> <td><b>01</b></td> </tr> </table>	PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION	<b>SE-140</b>	<b>A-10b</b>
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK																										
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PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION																												
<b>SE-140</b>	<b>A-10b</b>	<b>01</b>																												

Development Permit Drawings



D SIZE: 24" x 36" (609.6mm x 914.4mm)



**1**  
A-10c  
**4th FLOOR PLAN**  
SCALE: 1/100

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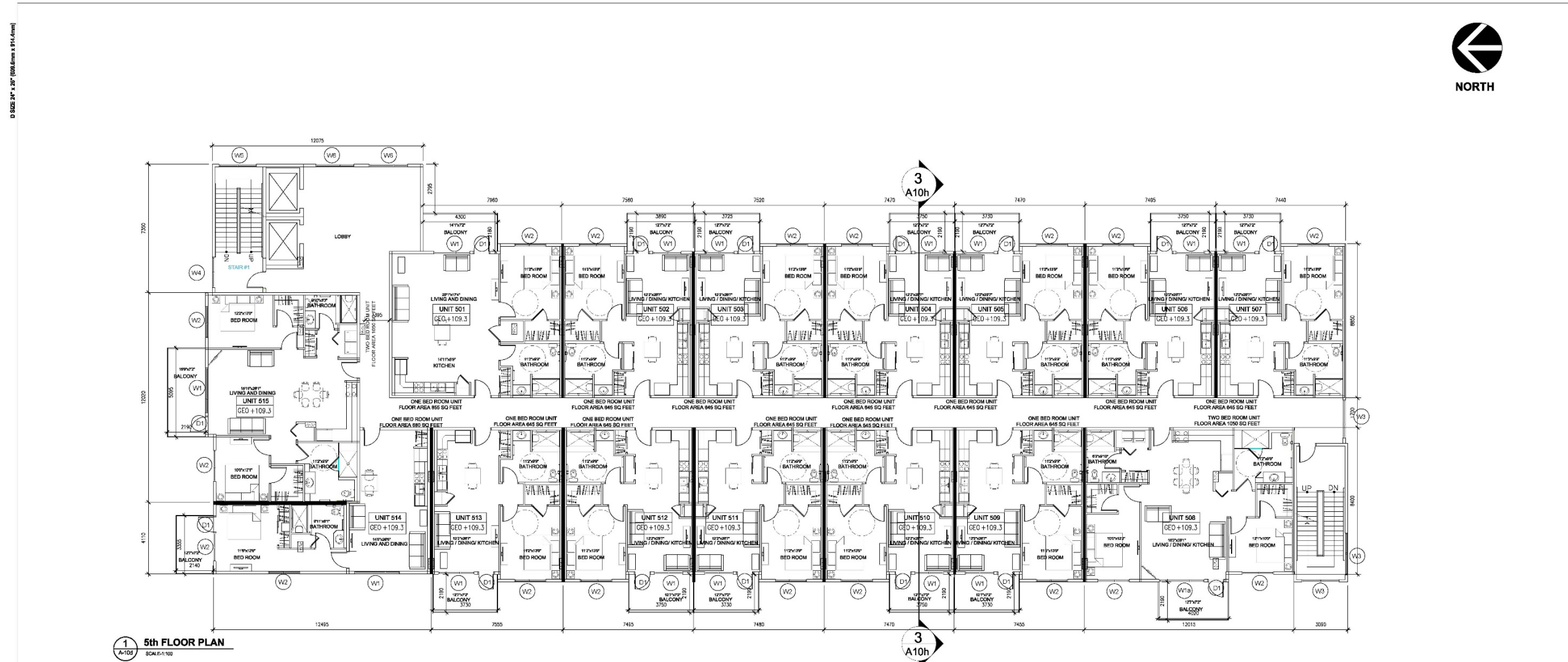
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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP	

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACDONALD DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5565

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - H- DETAILS- 4th FLOOR PLAN</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-10c</b>	ISSUE/REVISION <b>01</b>

Development Permit Drawings



1 5th FLOOR PLAN  
A-10d  
SCALE: 1/8"=1'-0"

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1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK					
IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP	

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
601 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

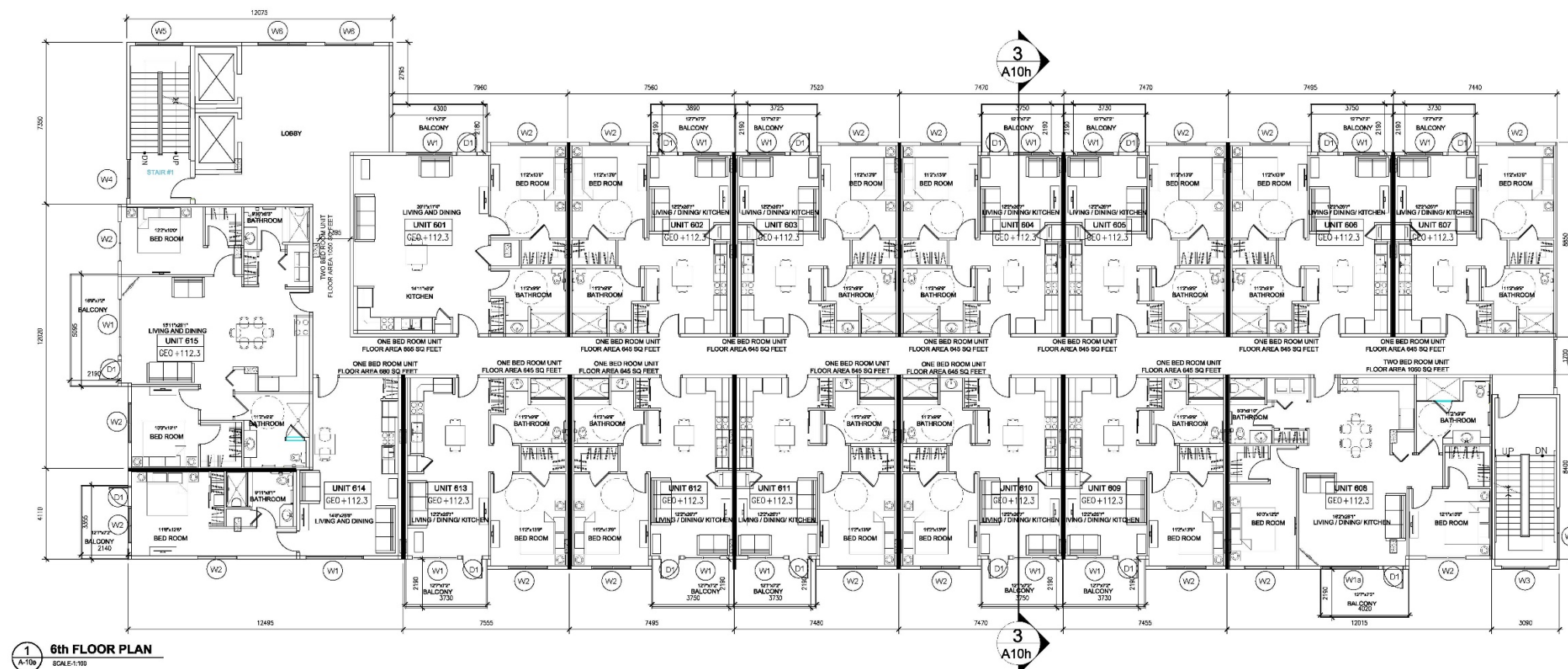
<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - H- DETAILS- 5th FLOOR PLAN</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-10d</b>	ISSUE/REVISION <b>01</b>



Development Permit Drawings



D SIZE 24" x 36" (609.6mm x 914.4mm)



**1** 6th FLOOR PLAN  
SCALE: 1/100

**3** A10h

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IR	YYMMDD	ISSUE/REVISION DESCRIPTION						

Client- **SADDLE RIDGE CROSSING INC**

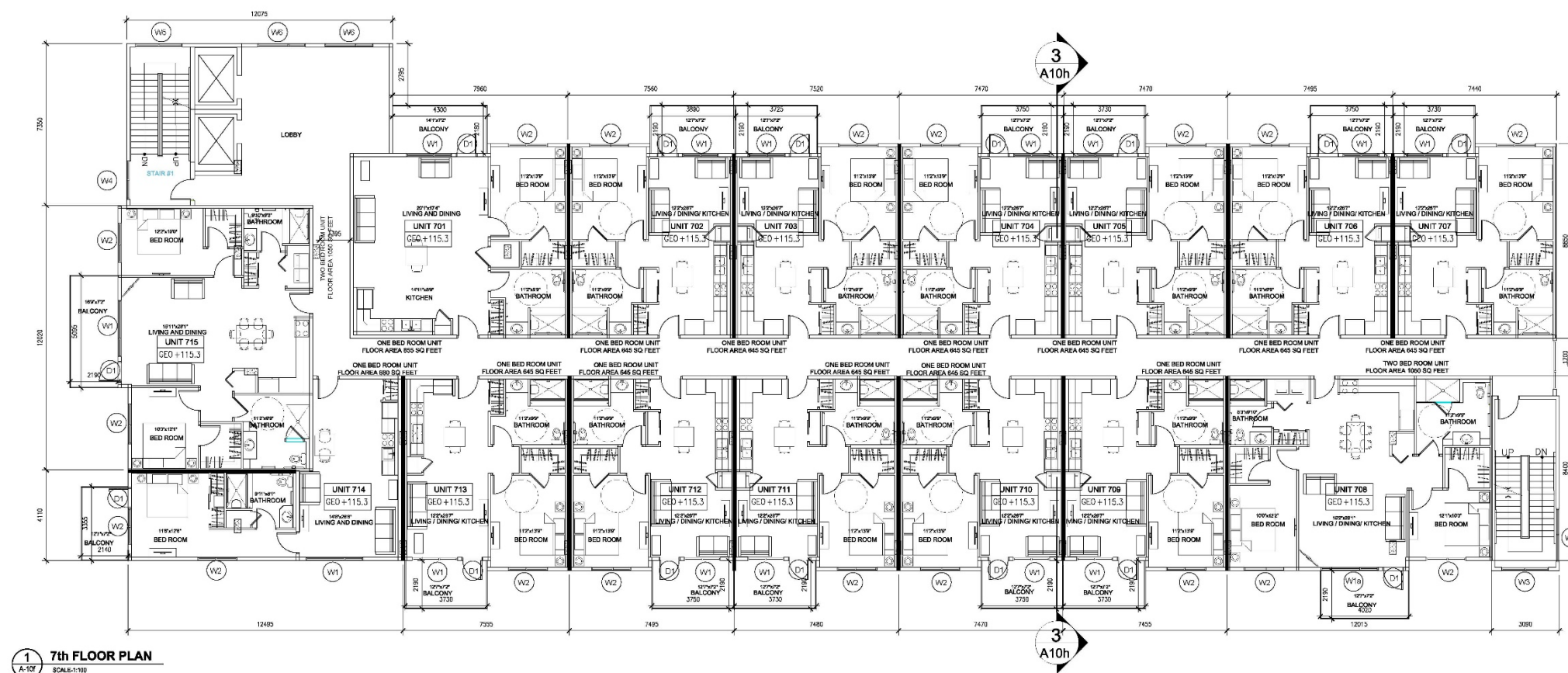
Design by- **Seika Architecture Ltd**  
601 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - H- DETAILS- 6th FLOOR PLAN</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>A-10e</b>	ISSUE/REVISION <b>01</b>

Development Permit Drawings



D SIZE 24" x 36" (609.6mm x 914.4mm)



**1 7th FLOOR PLAN**  
SCALE: 1/160

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1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK	AK				
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5665

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - H- DETAILS- 7th FLOOR PLAN**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-10f</b>	<b>01</b>



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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	18/11/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	18/09/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

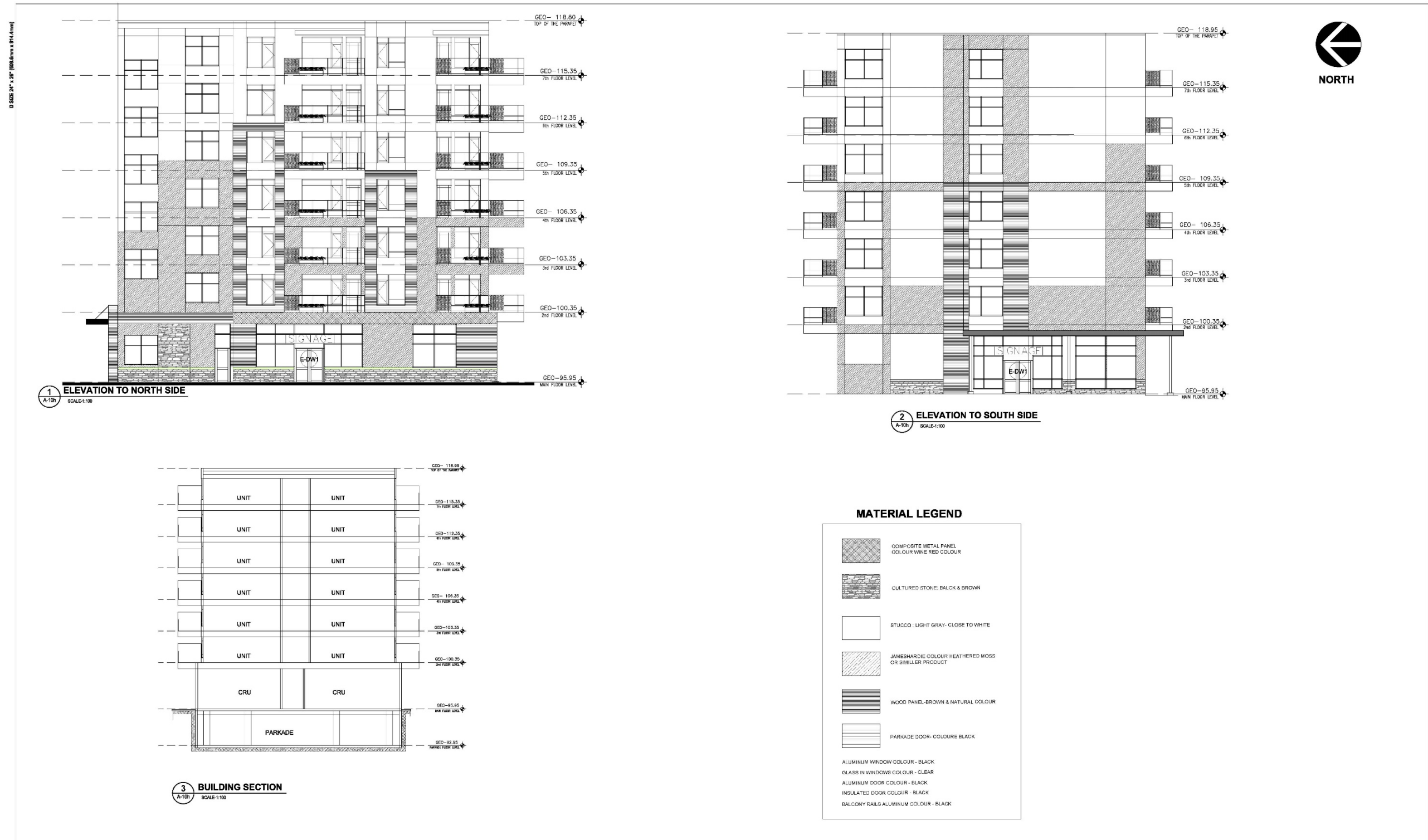
Design by- **Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - H- DETAILS- ELEVATIONS**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-10g</b>	<b>03</b>



Development Permit Drawings



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2	18/11/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
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IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

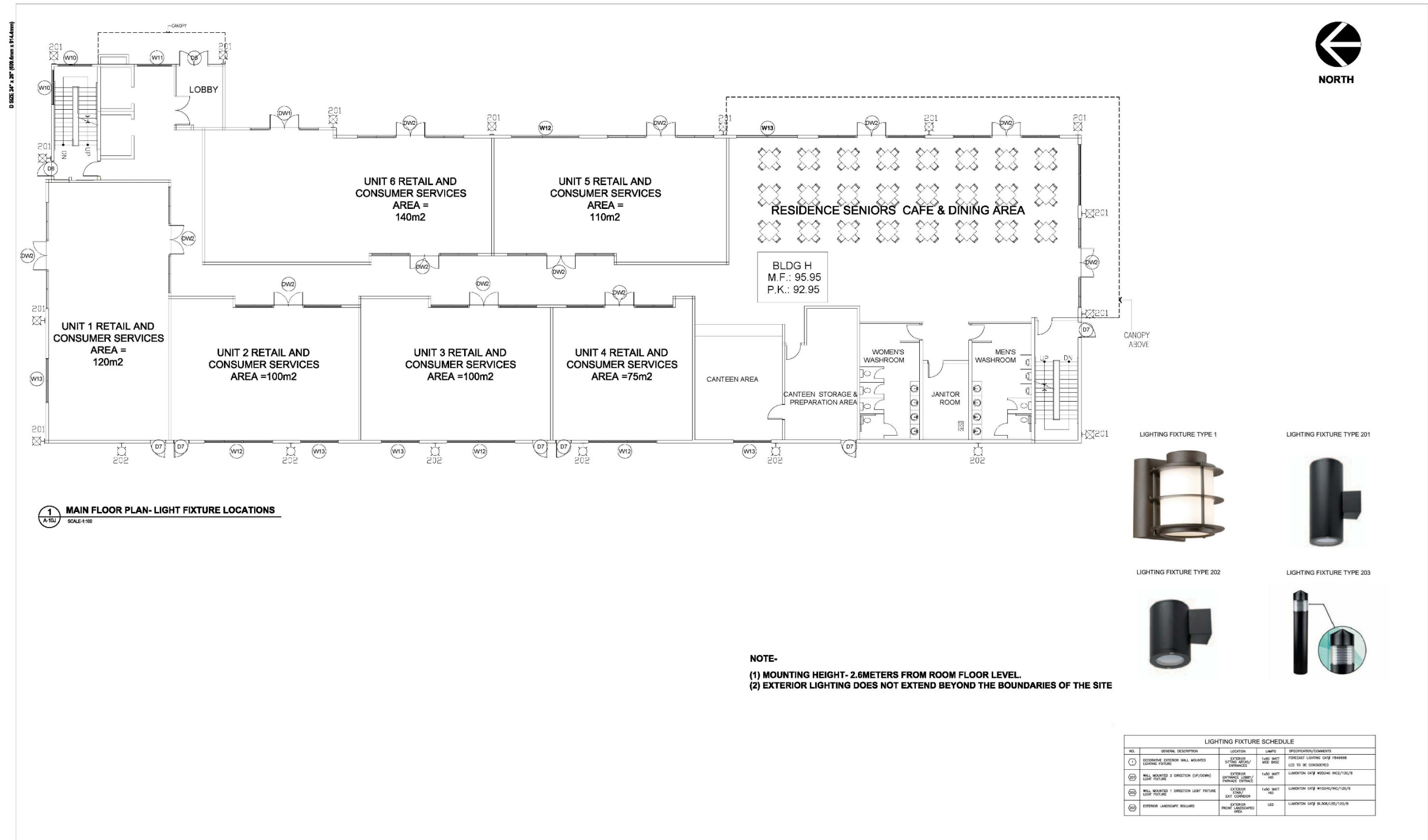
Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - H- DETAILS- ELEVATIONS**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-10h</b>	<b>02</b>

Development Permit Drawings



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3	19/05/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
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1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			

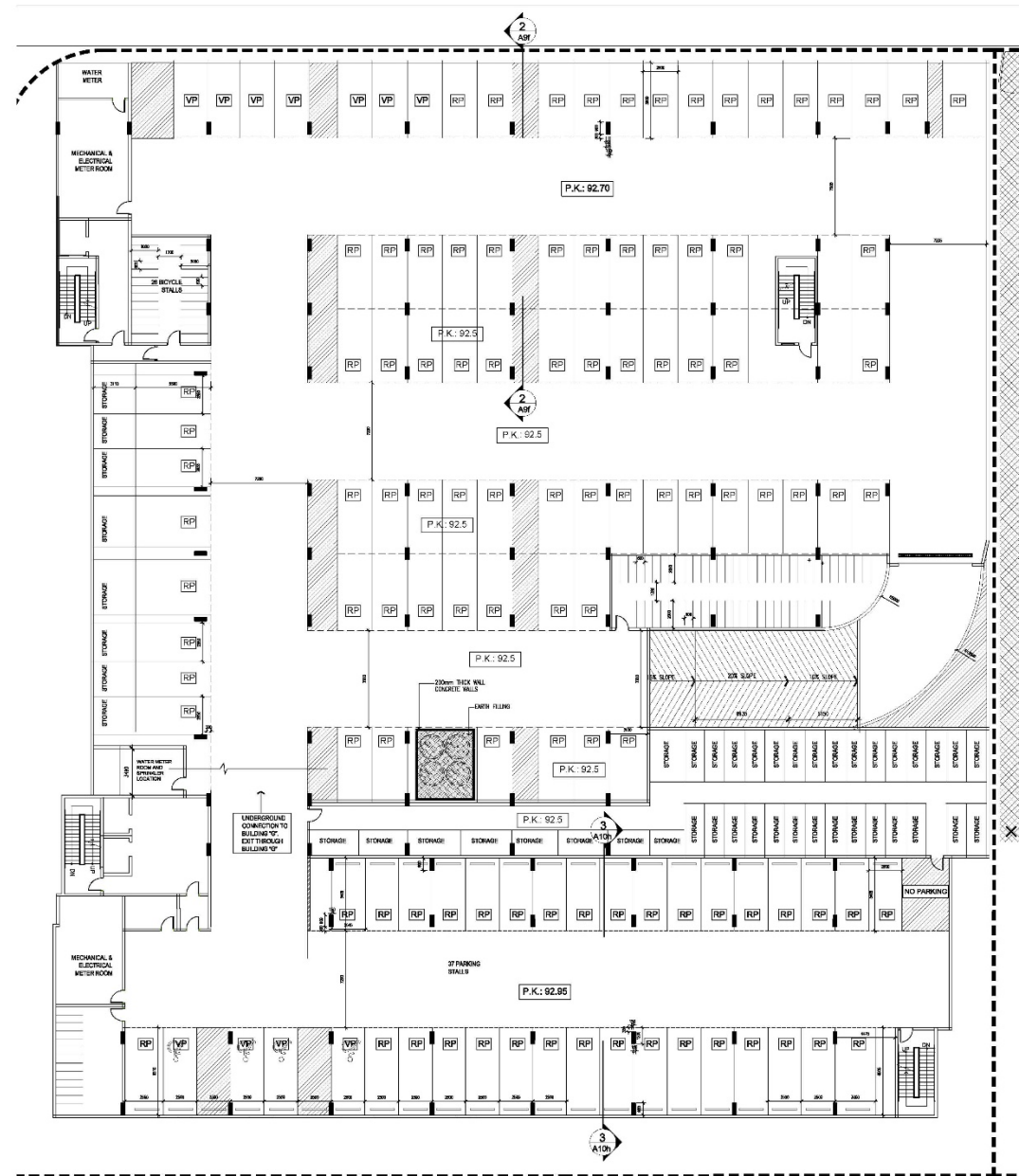
Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
851 MACDONALD DRIVE N.W. CALGARY ALBERTA, T2K 3P1  
15-493-310 5385

PROPOSED MIXED DEVELOPMENT AT 8607 & 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - H- DETAILS- LIGHTING LAYOUT		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
SE-140	A-10J	03

Development Permit Drawings

D SIZE: 24" x 36" (609.6mm x 914.4mm)



**1** COMBINED PARKADE BUILDING G & H  
A-11 SCALE: 1/200

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REV	DATE	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
3	19/05/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
2	19/09/05	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
1	18/01/21	DEVELOPMENT PERMIT DRAWINGS	AK		AK			
JR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

Client- **SADDLE RIDGE CROSSING INC**

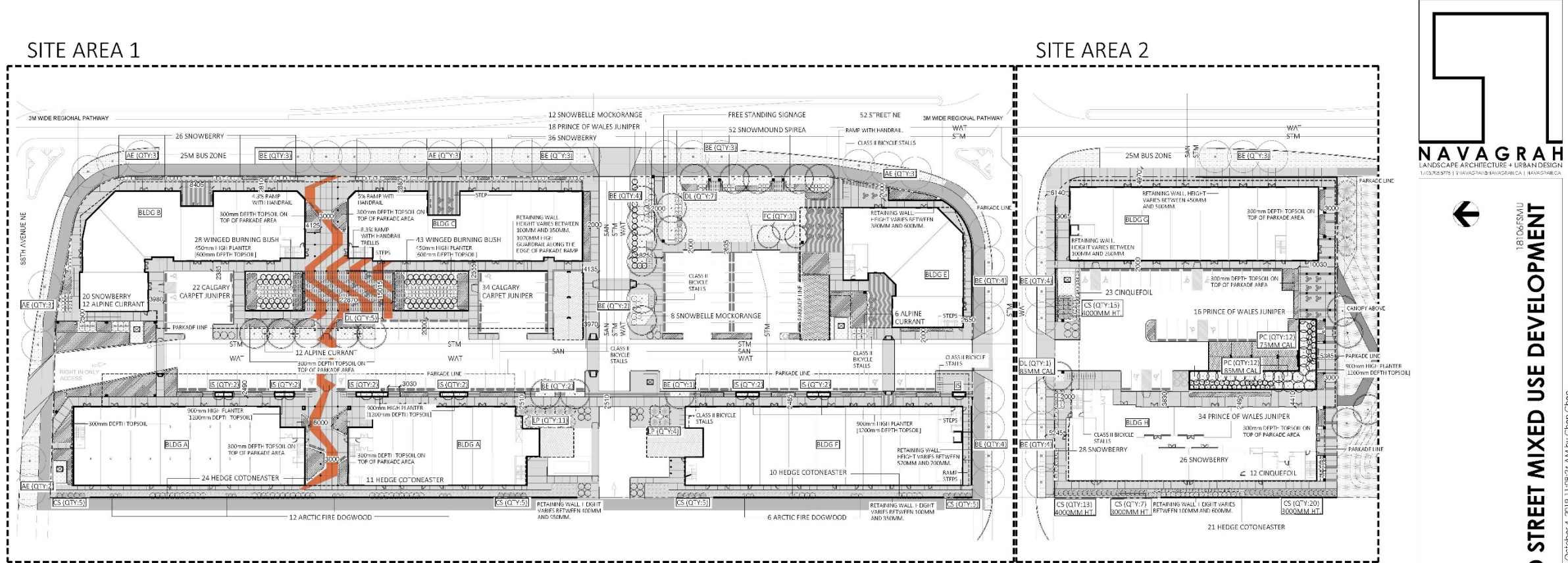
Design by- **Seika Architecture Ltd**  
8511 MACLEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5065

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
COMBINED PARKADE BUILDING G & H**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>A-11</b>	<b>01</b>



Development Permit Drawings



18106FSMU  
52ND STREET MIXED USE DEVELOPMENT

File Location: N:\Projects\18106FSMU\_52nd Street Mixed Use Development\Current\18106FSMU\_Site Landscape Plan\_191004.dwg Plotted: October 4, 2019 11:08:24 AM by Chen Chen

### LEGEND

- LIGHT RED CONCRETE
- REGULAR GREY COLOR CONCRETE
- CHARCOAL COLOR CONCRETE
- SHRUB & PERENNIAL PLANTING BED
- SOD
- 40MM RUNDLE ROCK MULCH
- DECIDUOUS TREES
- CONIFEROUS TREES
- BOULEVARD TREES
- DECIDUOUS SHRUBS
- CONIFEROUS SHRUBS
- PERENNIALS
- GUARDRAIL
- BENCHES FOR SEATING
- BICYCLE PARKING
- MOVABLE FURNITURE
- BOLLARD
- PEDESTRIAN LIGHTING
- WASTE CONTAINER

### LANDSCAPE ANALYSIS

**SITE AREA 1 : 19759.89 SQ.M.**  
PROVIDED LANDSCAPED AREA = 36.92% OF SITE AREA = 7294.72 SQ.M.

TOTAL TREES PROVIDED = 72  
 DECIDUOUS TREES PROVIDED = 37  
 CONIFEROUS TREES PROVIDED = 35  
 TOTAL SHRUBS PROVIDED = 352  
 DECIDUOUS SHRUBS PROVIDED = 318  
 CONIFEROUS SHRUBS PROVIDED = 74

**SITE AREA 2 : 6167.21 SQ.M.**  
REQUIRED LANDSCAPED AREA = 30.59% OF SITE AREA = 1886.54 SQ.M.  
PROVIDED LANDSCAPED AREA = 32.39% OF SITE AREA = 1997.62 SQ.M.

REDUCTION IN REQUIRED LANDSCAPE AREA BY APPLICATION OF STREET ORIENTED DEVELOPMENT (MAXIMUM 4% REDUCTION) = 3.41% OF AREA OF PARCEL  
 TOTAL STREET ORIENTED FRONTAGE ALONG PROPERTY LINE = 105.31 L.M.  
 REDUCTION IN REQUIRED LANDSCAPE AREA BY APPLICATION OF LOW WATER LANDSCAPING = 3.00% OF REQUIRED LANDSCAPE AREA  
 REDUCTION IN REQUIRED LANDSCAPE AREA BY APPLICATION OF ENHANCED LANDSCAPING = 3.00% OF REQUIRED LANDSCAPE AREA

TOTAL NUMBER OF REQUIRED TREES = 78 90\*90  
 1 TREE/25 SQ.M. OF LANDSCAPED AREA  
 MIN. CONIFEROUS TREES REQUIRED = 20

REMAINING TREES TO BE DECIDUOUS  
 TOTAL NUMBER OF REQUIRED SHRUBS = 160  
 2 SHRUBS/25 SQ.M. OF LANDSCAPED AREA

**TOTAL TREES PROVIDED = 80**  
 DECIDUOUS TREES PROVIDED = 25  
 CONIFEROUS TREES WITH MIN 85MM CALLIPER REQUIRED = 22.5  
 PROVIDED = 13  
 REMAINING DECIDUOUS TREES TO HAVE MIN. 75MM CALLIPER

CONIFEROUS TREES PROVIDED = 35  
 CONIFEROUS TREES WITH MIN 4000MM HEIGHT REQUIRED = 27.5  
 PROVIDED = 28  
 REMAINING CONIFEROUS TREES TO HAVE MIN. 3000MM HEIGHT

**TOTAL SHRUBS PROVIDED = 160**

### PLANTING SCHEDULE

common name	lat/n name	s'ze/ spread	quantity
deciduous trees			
CD SPRING SNOW FLOWERING CRAB	MALLUS 'SPRING SNOW'	75MM CAL	03
CS IVORY SILK TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	50MM CAL	13
DI DROPMORE LINDEN	'LILIA FLAVESCENS' DROPMORE	75MM CAL	12
BE BRANDON ELM	ULMUS AMERICANA 'BRANDON'	75MM CAL	09
coniferous trees			
CS COLLUMNAR BLUE SPRUCE	PICEA PLUNGENS 'FASTIGIATA'	3000MM HT	20
CS LODGEPOLE PINE	PINUS CONTORTA 'LATIFOLIA'	2000MM HT	15
southern planting (not included in total provided trees)			
BE AMERICAN ELM	ULMUS AMERICANA	65MM CAL	14
BE BRANDON ELM	ULMUS AMERICANA 'BRANDON'	65MM CAL	17
common name	lat/n name	s'ze/ spread	quantity
deciduous shrubs			
ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	600MM HT	18
HEDGE COTONEASTER	COTONEASTER ACUTIFOLIA	600MM HT	45
WINGED BURNING BUSH	EUONYMUS ALATUS 'COMPACT'	600MM HT	71
SNOWBELLE MOCKORANGE	PHILADELPHUS X 'SNOWBELLE'	600MM HT	20
ALPINE CURRANT	RIBES ALPINUM	600MM HT	30
SNOWMOUND SPIREA	SPIRAEA JAPONICA 'SNOWMOUND'	600MM HT	52
SNOWBERRY	SYMPHORICARPOS ALBUS	600MM HT	62
coniferous shrubs			
CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	600MM SPREAD	56
PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	600MM SPREAD	18
<b>SITE AREA 2:</b> **LOW WATER TREES			
common name	lat/n name	s'ze/ spread	quantity
deciduous trees			
DI PIN CHERRY**	PRUNUS PENNSYLVANICA	85MM CAL	12
DI PIN CHERRY**	PRUNUS PENNSYLVANICA	75MM CAL	12
DI DROPMORE LINDEN	'LILIA FLAVESCENS' DROPMORE	85MM CAL	01
coniferous trees			
CS COLLUMNAR BLUE SPRUCE	PICEA PLUNGENS 'FASTIGIATA'	4000MM HT	28
CS COLLUMNAR BLUE SPRUCE	PICEA PLUNGENS 'FASTIGIATA'	3000MM HT	27
southern planting (not included in total required trees)			
BE BRANDON ELM	ULMUS AMERICANA 'BRANDON'	65MM CAL	11
<b>**LOW WATER SHRUBS</b>			
common name	lat/n name	s'ze/ spread	quantity
deciduous shrubs			
HEDGE COTONEASTER	COTONEASTER ACUTIFOLIA	600MM HT	21
CINQUEFOIL ***	POTTENTILLA FRUTICOSA	600MM HT	35
SNOWBERRY	SYMPHORICARPOS ALBUS	600MM HT	54
coniferous shrubs			
PRINCE OF WALES JUNIPER***	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	600MM SPREAD	50

### NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO BE CONFIRMED TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH FOOTHILLS PREMIUM MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND LOW WATER IRRIGATION SYSTEM WITH DELIVERY OF IRRIGATED WATER CONFINED TO TREES AND SHRUBS.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- REFER TO CIVIL DRAWINGS FOR ALL GRADES WITHIN PROPERTY.

**NOT FOR CONSTRUCTION**

ISSUED FOR	DATE
DTR COMMENTS	180203
DTR COMMENTS	180912
DTR COMMENTS	190111
DTR SUBMISSION	190206
DTR SUBMISSION	190507
CITY REVIEW	190605
CITY REVIEW	190816
CITY REVIEW	190827
CITY REVIEW	190926

SCALE 1:500  
 DATE 180801  
 DRAWN BY TN/CC  
 CHECKED BY YN

**DP-L1** LAYOUT PLAN



Development Permit Drawings

11 MSR  
BLOCK 43  
PLAN 051 0594  
R/W PLAN 500 JK

ROAD WIDENING PLAN 051 0594

52 STREET NE

88th AVENUE N.E.

BLOCK 35  
PLAN 121 1515

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.

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**Jubilee Engineering Consultants Ltd.**  
Municipal Engineering • Industrial, Commercial, & Residential Land Development • Planning • Engineering • Surveys  
3702 Edmonton Trail N.E., Calgary, Alberta, T2E 3P4  
www.jubileeengineering.com  
P: 403 276 1001 | F: 403 276 1012

**PERMIT** \_\_\_\_\_ **STAMP** \_\_\_\_\_

**NOTES**

1. All elevations referenced to 1000m Geodetic Datum.
2. Hydrants, valves, check valves, manholes, sewer lines, water lines etc. to be installed to City of Calgary standards.
3. All manholes to be S.C. TYPE SA unless otherwise noted.
4. Match crown minimum at all sewer connections.
5. All sewer distribution pipes to be SDR 35 PVC, all sewer service pipes to be SDR 28 PVC unless otherwise noted.
6. Sewer lines to minimum slopes as per City of Calgary Standards.
7. Use City of Calgary Type 2 Installation, Class 1A bedding for sewer pipes unless otherwise noted.
8. Insulation required for sanitary sewers if cover less than 2.50m on mains, 1.80m in local traffic areas and 1.50m in landscaped areas. As per City of Calgary Standards.
9. Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
10. All water mains to be DR 38 PVC unless otherwise noted.
11. Use City of Calgary Type 1 Installation, Class 1A bedding for water mains, Type 2 Installation, class B bedding for services.
12. Depth of bury for water lines to conform with City of Calgary standards.
13. No trees to be planted over water lines.
14. Protection of Possible Water Supply From Contamination: All cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 20062 and the National Plumbing Code of Canada.
15. For building locations and dimensions refer to latest Architectural drawings.
16. The contractor is responsible for locating all shallow utilities.
17. The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
18. Sweeping Tilt & Free Flow area drains to be tied to unrestricted free flow storm sewer.

**LEGEND**

	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Water meter location
	Existing elevation
	Sanitary manhole number & elevation
	Storm sewer manhole number & elevation
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

**DEVELOPMENT PERMIT 2018-0750**

**REVISIONS**

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

**ISSUED FOR**

4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	

**CLIENT**  
SADDLE RIDGE CROSSING INC

**PROJECT**  
SADDLERIDGE MIXED DEVELOPMENT  
8607, 8825 52 ST NE

**TITLE**  
SITE SERVICING PLAN

DESIGN BY: DIV	SCALE: 1:400	JOB NUMBER: 19-100
DRAWN BY: LM		DRAWING NUMBER: SP1-A
CHECKED BY:		
DATE: JULY 2018	REV NO.: 0	

**CITY OF CALGARY**  
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED	INITIAL	DATE

**WATER RESOURCES**

RENEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE BENEFIT OF THEIR CLIENTS AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

MUNICIPAL ADDRESS  
8607, 8825 52 ST N.E.  
CALGARY AB

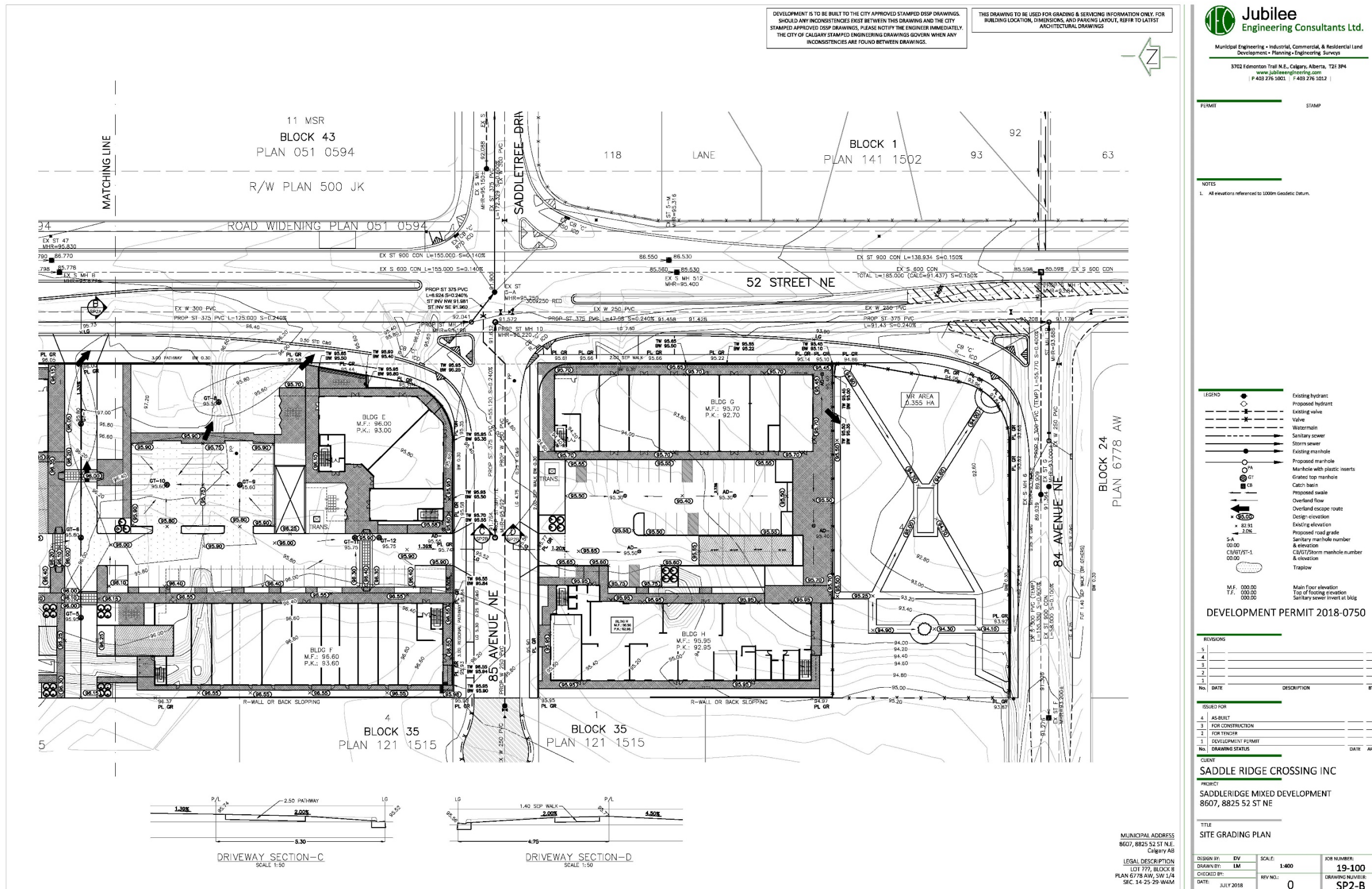
LEGAL DESCRIPTION  
LOT 777, BLOCK 8  
PLAN 6778 AW, SW 1/4  
SEC. 14-25-29-W4M

**ISSUED FOR**

PRIOR TO DECISION	<input type="checkbox"/> 00Mon00
DEVELOPMENT PERMIT	<input type="checkbox"/> 00Mon00
APPROVAL	<input type="checkbox"/> 00Mon00
BUILDING PERMIT	<input type="checkbox"/> 00Mon00
TENDER	<input type="checkbox"/> 00Mon00
CONSTRUCTION	<input type="checkbox"/> 00Mon00



Development Permit Drawings



DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.

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3702 Edmonton Trail N.E., Calgary, Alberta, T2E 3P4  
www.jubileeengineering.com  
P: 403 276 1001 | F: 403 276 1012

PERMIT \_\_\_\_\_ STAMP \_\_\_\_\_

NOTES  
1. All elevations referenced to 1000m Geodetic Datum.

**LEGEND**

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Proposed swale
- Overland flow
- Overland escape route
- Design elevation
- Existing elevation
- Proposed road grade
- Sanitary manhole number & elevation
- CS/GT/Storm manhole number & elevation
- Traplow
- M.F. 000.00 Main floor elevation
- T.F. 000.00 Top of footing elevation
- 000.00 Sanitary sewer invert at blig

DEVELOPMENT PERMIT 2018-0750

NO.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

ISSUED FOR

4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	

CLIENT  
**SADDLE RIDGE CROSSING INC**

PROJECT  
**SADDLERIDGE MIXED DEVELOPMENT**  
8607, 8825 52 ST NE

TITLE  
**SITE GRADING PLAN**

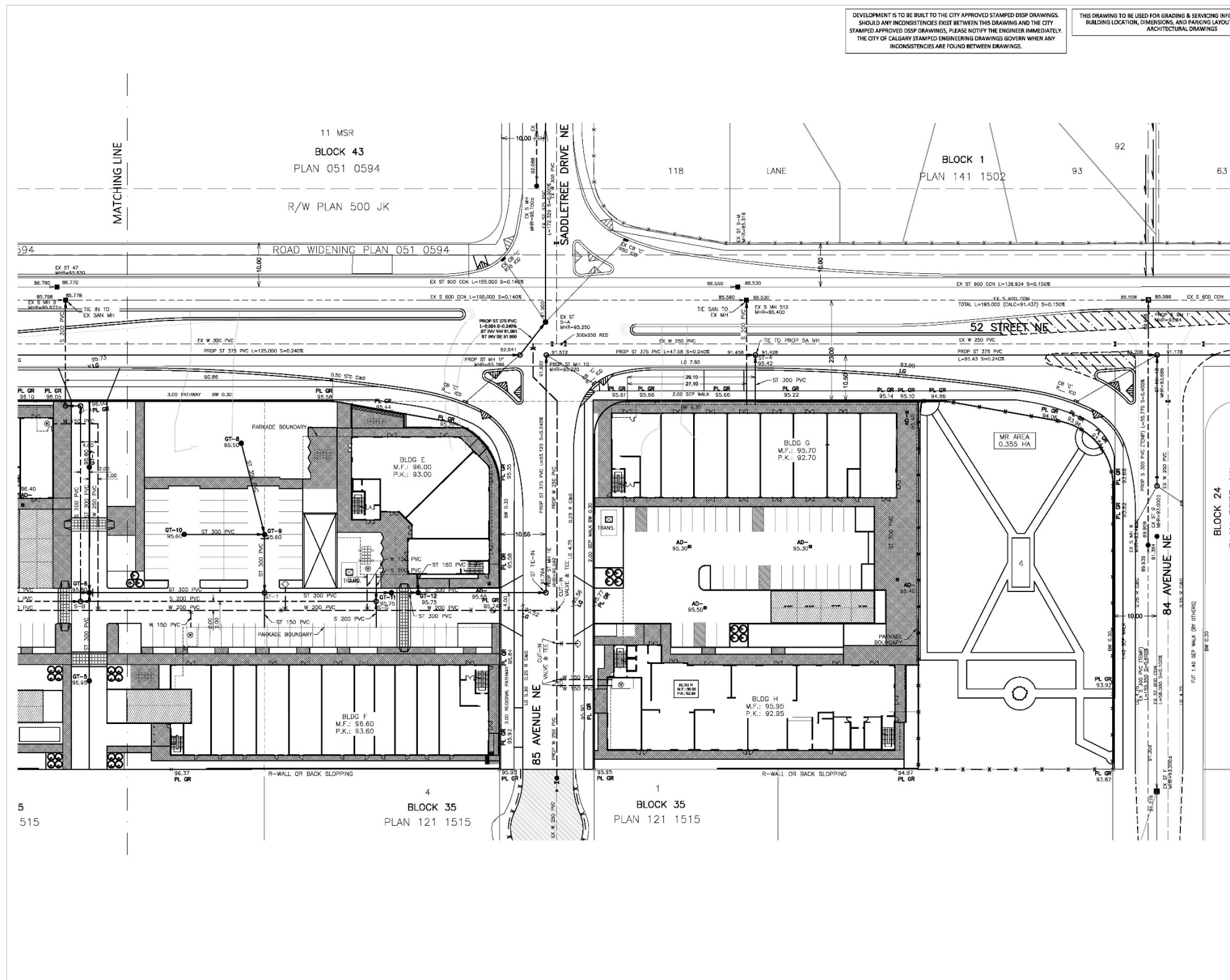
DESIGN BY:	SCALE:	JOB NUMBER:
DIV	1:400	19-100
DRAWN BY:	REV NO.:	DRAWING NUMBER:
LM	0	SP2-B
CHECKED BY:	DATE:	
	JULY 2018	

MUNICIPAL ADDRESS  
8607, 8825 52 ST N.E.  
CALGARY AB

LEGAL DESCRIPTION  
LOT 777, BLOCK 8  
PLAN 6778 AW, SW 1/4  
SEC. 14-25-29-W4M



### Development Permit Drawings



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P: 403 276 1001 | F: 403 276 1012

PERMIT \_\_\_\_\_ STAMP \_\_\_\_\_

- NOTES**
- All elevations referenced to 1000m Geodetic Datum.
  - Hydrants, valves, check valves, manholes, sewer lines, water lines etc. to be installed to City of Calgary standards.
  - All manholes to be S.C.C. TYPE 5A unless otherwise noted.
  - Match crown minimum at all sewer connections.
  - All sewer distribution pipes to be SDR 35 PVC, all sewer service pipes to be SDR 26 PVC unless otherwise noted.
  - Sewer lines to minimum slopes as per City of Calgary Standards.
  - Use City of Calgary Type 2 Installation, Class 1A bedding for sewer pipes unless unwise road.
  - Insulation required for sanitary sewers if cover less than 2.50m on mains, 1.80m in local traffic areas and 1.50m in landscaped areas. As per City of Calgary Standards.
  - Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
  - All water mains to be DR 38 PVC unless otherwise noted.
  - Use City of Calgary Type 1 Installation, Class 1A bedding for water mains, Type 2 Installation, class B bedding for services.
  - Depth of bury for water lines to conform with City of Calgary standards.
  - No trees to be planted over water lines.
  - Protection of Possible Water Supply From Contamination: All cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility by-law 22M62 and the National Plumbing Code of Canada.
  - For building locations and dimensions refer to latest Architectural drawings.
  - The contractor is responsible for locating all shallow utilities.
  - The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
  - Weeping Tile & Free Flow area drains to be tied to unrestricted three flow storm sewer.

**LEGEND**

	Existing hydrant
	Proposed hydrant
	Existing valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Water meter location
	Existing elevation
	Sanitary manhole number & elevation
	CB/ST/ST-1 manhole number & elevation
	Main Floor elevation
	Top of Footing elevation
	Sanitary sewer invert at bldg

**DEVELOPMENT PERMIT 2018-0750**

**REVISIONS**

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

**ISSUED FOR**

No.	DATE	DESCRIPTION	DATE	APP.
4		AS-BUILT		
3		FOR CONSTRUCTION		
2		FOR TENDER		
1		DEVELOPMENT PERMIT		

**CLIENT**  
SADDLE RIDGE CROSSING INC

**PROJECT**  
SADDLERIDGE MIXED DEVELOPMENT  
8607, 8825 52 ST NE

**TITLE**  
SITE SERVICING PLAN

**MUNICIPAL ADDRESS**  
8607, 8825 52 ST N.E.  
CALGARY AB

**LEGAL DESCRIPTION**  
LOT 777, BLOCK 8  
PLAN 6778 AW, SW 1/4  
SEC. 14-25-29-W4M

DESIGN BY:	SCALE:	JOB NUMBER:
DIV	1:400	19-100
DRAWN BY:	REV. NO.:	DRAWING NUMBER:
LM	0	SP1-B
CHECKED BY:	DATE:	
	JULY 2018	





### Development Permit Drawings



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IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
2	19/09/05	DRAWINGS FOR CPC	AK		AK			
1	19/05/25	DRAWINGS FOR CPC	AK		AK			

Client- **SADDLE RIDGE CROSSING INC**

Design by- *Seika Architecture Ltd*  
651 MACEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5085

<b>PROPOSED MIXED DEVELOPMENT AT 8807 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - A EXTERIOR MATERIAL COLOURE INFORMATION</b>		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>SK-01</b>	<b>02</b>



Development Permit Drawings



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1	19/05/25	DRAWINGS FOR CPC	AK	AK					
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP	

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACDEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3P1  
TE-403-210 5385

<b>PROPOSED MIXED DEVELOPMENT AT 8807 &amp; 8825 52ND STREET N.E. DEVELOPMENT PERMIT DRAWINGS BUILDING - B &amp; C EXTERIOR MATERIAL COLOURE INFORMATION</b>		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>SK-02</b>	<b>01</b>

Development Permit Drawings

**MATERIAL LEGEND-**

- STUCCO : LIGHT GRAY / CLOSED TO WHITE
- WOOD PANEL-BROWN & NATURAL COLOUR
- STUCCO : DARK GRAY
- PARKADE DOOR- COLOUR BLACK
- COMPOSITE MATERIAL GOLDEN BROWN OR SIMILAR

ALUMINUM WINDOW COLOUR - BLACK  
GLASS IN WINDOWS COLOUR - CLEAR  
ALUMINUM DOOR COLOUR - BLACK  
INSULATED DOOR COLOUR - BLACK  
BALCONY RAILS ALUMINUM COLOUR - BLACK  
GARAGE DOOR- COLOUR - BLACK

**1 ELEVATION FACING TO EAST SIDE**  
SCALE: 1/175

**2 ELEVATION FACING TO WEST SIDE**  
SCALE: 1/175

**3 ELEVATION FACING TO NORTH SIDE**  
SCALE: 1/175

**4 ELEVATION FACING TO SOUTH SIDE**  
SCALE: 1/175

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1	19/05/25	DRAWINGS FOR CPC	AK	AK				
IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP

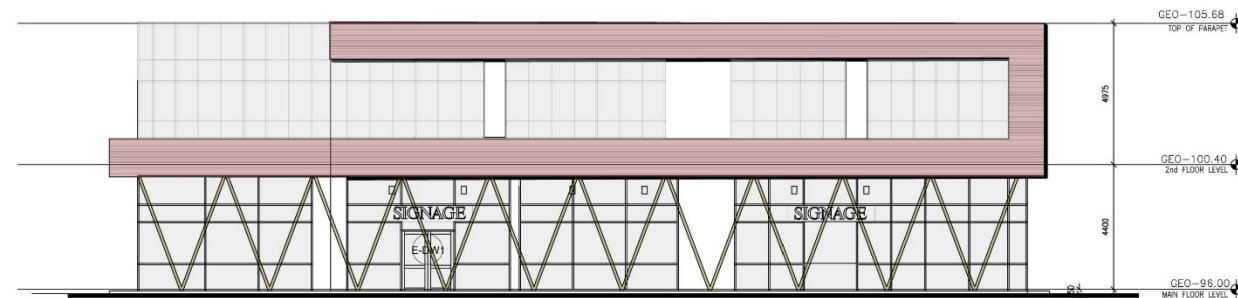
Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TE-403-210 5585

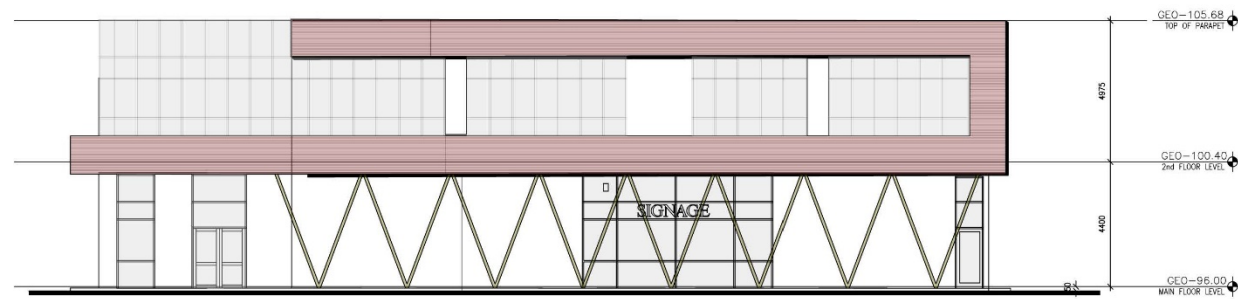
<b>PROPOSED MIXED DEVELOPMENT AT 8807 &amp; 8825 52ND STREET N.E.</b>		
<b>DEVELOPMENT PERMIT DRAWINGS</b>		
<b>BUILDING - D &amp; F EXTERIOR MATERIAL COLOUR INFORMATION</b>		
PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>SK-03</b>	<b>01</b>

Development Permit Drawings

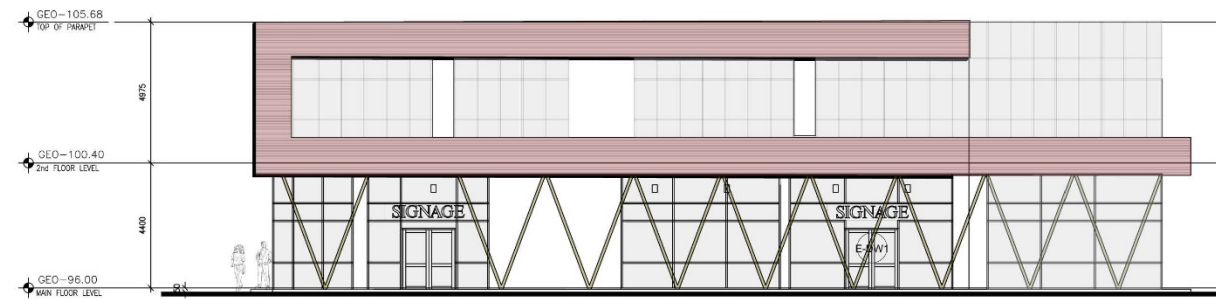
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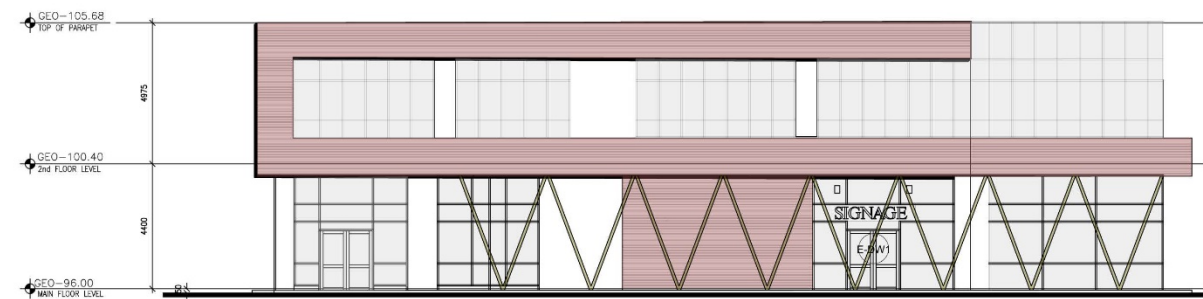
**1** ELEVATION FACING TO EAST SIDE  
SK-06 SCALE:1:100



**2** ELEVATION FACING TO WEST SIDE  
SK-06 SCALE:1:100



**3** ELEVATION FACING TO SOUTH SIDE  
SK-06 SCALE:1:175



**4** ELEVATION FACING TO NORTH SIDE  
SK-06 SCALE:1:175

**MATERIAL LEGEND-**

- STUCCO : LIGHT GRAY CLOSED TO WHITE
  - WOOD PANEL-BROWN & NATURAL COLOUR
  - PARKADE DOOR- COLOURE BLACK
- ALUMINUM WINDOW COLOUR - BLACK  
GLASS IN WINDOWS COLOUR - CLEAR  
ALUMINUM DOOR COLOUR - BLACK  
INSULATED DOOR COLOUR - BLACK  
GARAGE DOOR- COLOUR - BLACK

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1	19/05/25	DRAWINGS FOR CPC	AK	AK					
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP	

Client- **SADDLE RIDGE CROSSING INC**

Design by- *Seika Architecture Ltd*  
651 MACEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5085

**PROPOSED MIXED DEVELOPMENT  
AT 8807 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - E EXTERIOR MATERIAL COLOURE INFORMATION**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>SK-04</b>	<b>01</b>



Development Permit Drawings



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NO	DATE	DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
2	19/8/25	DRAWINGS FOR CPC	AK		AK			
1	19/05/25	DRAWINGS FOR CPC	AK		AK			
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION						

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACDEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TE:403-210-5085

**PROPOSED MIXED DEVELOPMENT  
AT 8807 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - G EXTERIOR MATERIAL COLOURE INFORMATION**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>SK-05</b>	<b>02</b>

Development Permit Drawings

D SIZE 24" x 36" (609.6mm x 914.4mm)



**1**  
SK-06  
ELEVATION FACING TO EAST SIDE  
SCALE: 1/175



**2**  
SK-06  
ELEVATION FACING TO WEST SIDE  
SCALE: 1/175









**3**  
SK-06  
ELEVATION FACING TO SOUTH SIDE  
SCALE: 1/175



**4**  
SK-06  
ELEVATION FACING TO NORTH SIDE  
SCALE: 1/175

**MATERIAL LEGEND-**

-  CULTURED STONE: BALCK & BROWN
-  STUCCO : LIGHT GRAY
-  JAMESHARDIE COLOUR HEATHERED MOSS OR SIMILLER PRODUCT
-  WOOD PANEL-BROWN & NATURAL COLOUR
-  PARKADE DOOR- COLOURE BLACK
-  COMPOSITE METAL PANEL COLOUR WINE RED COLOUR

- ALUMINUM WINDOW COLOUR - BLACK
- GLASS IN WINDOWS COLOUR - CLEAR
- ALUMINUM DOOR COLOUR - BLACK
- INSULATED DOOR COLOUR - BLACK
- BALCONY RAILS ALUMINUM COLOUR - BLACK
- GARAGE DOOR- COLOUR - BLACK

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1	19/05/25	DRAWINGS FOR CPC	AK	AK					
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP	

Client- **SADDLE RIDGE CROSSING INC**

Design by- *Seika Architecture Ltd*  
651 MACEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-216-5985

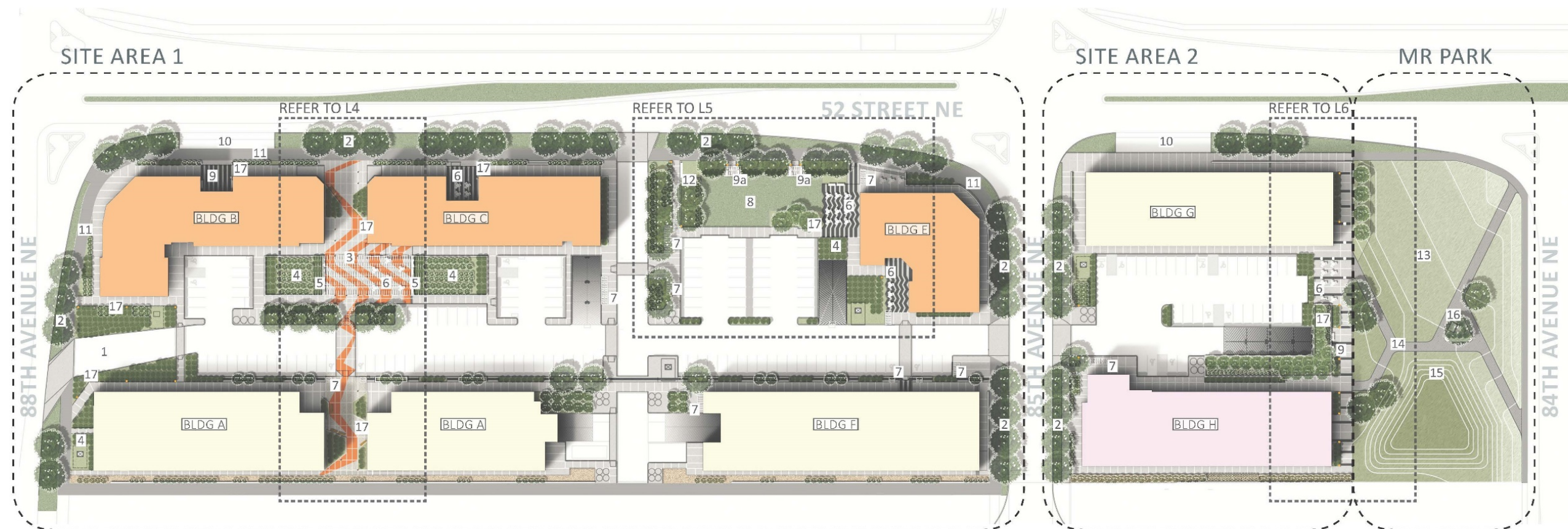
**PROPOSED MIXED DEVELOPMENT  
AT 8807 & 8825 52ND STREET N.E.  
DEVELOPMENT PERMIT DRAWINGS  
BUILDING - H EXTERIOR MATERIAL COLOURE INFORMATION**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>SK-06</b>	<b>01</b>



Development Permit Drawings

52ND STREET MIXED USE DEVELOPMENT | LANDSCAPE DESIGN



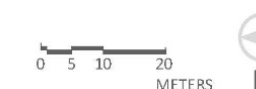
Legend -Site Area 1 & 2

- |                                       |   |
|---------------------------------------|---|
| 1. Drive Lane                         | 8. Multipurpose Open Space              |
| 2. Boulevard Trees                    | 9. Seating Node with Benches            |
| 3. Trellis                            | 9a. Seating Node - Benches with Trellis |
| 4. Planting Bed                       | 10. 25m Bus Zone                        |
| 5. Seating Ledge                      | 11. 3m Wide Regional Pathway            |
| 6. Patio Space with Movable Furniture | 12. Free Standing Signage               |
| 7. Bike Parking                       |   |

Legend -MR Park

- |                                     |
|-------------------------------------|
| 13. Multipurpose Open Space         |
| 14. 2.5m Wide Local Asphalt Pathway |
| 15. Amphitheater Seating            |
| 16. Sitting Nodes with Benches      |
| 17. Waste Container                 |

- |  |  |
|--|--|
| <span style="display:inline-block; width:15px; height:10px; background-color:orange; border:1px solid black;"></span> Commercial   | <span style="display:inline-block; width:15px; height:10px; background-color:grey; border:1px solid black;"></span> Asphalt                  |
| <span style="display:inline-block; width:15px; height:10px; background-color:yellow; border:1px solid black;"></span> Mixed Development                                    | <span style="display:inline-block; width:15px; height:10px; background-color:black; border:1px solid black;"></span> Charcoal Concrete       |
| <span style="display:inline-block; width:15px; height:10px; background-color:pink; border:1px solid black;"></span> Ground Floor Commercial<br>Upper Level Assisted Living | <span style="display:inline-block; width:15px; height:10px; background-color:lightgrey; border:1px solid black;"></span> Light Grey Concrete |
|  | <span style="display:inline-block; width:15px; height:10px; background-color:orange; border:1px solid black;"></span> Light Red Concrete     |



L1 | AUGUST 27, 2019

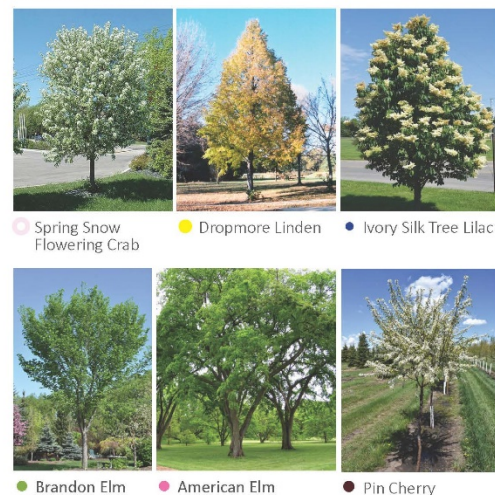


Development Permit Drawings

52ND STREET MIXED USE DEVELOPMENT | PLANTING SCHEDULE



Deciduous Trees



Coniferous Trees



Deciduous Shrubs



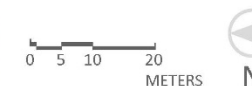
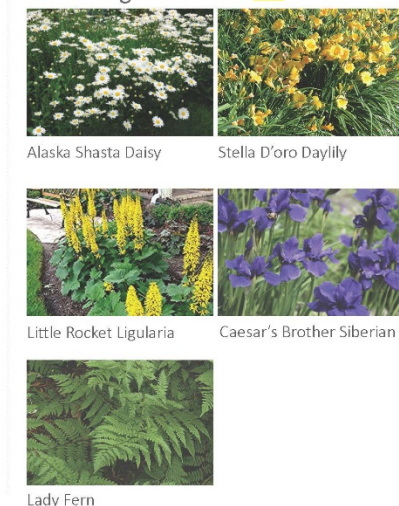
Coniferous Shrubs



Grasses



Flowering Perennials



L2 | AUGUST 27, 2019



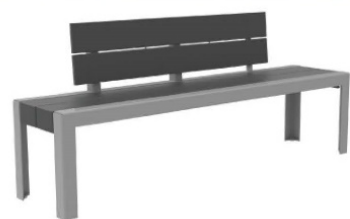
### Development Permit Drawings

## 52ND STREET MIXED USE DEVELOPMENT | SITE FURNITURE

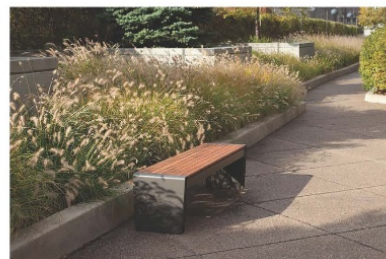


### BENCHES

Product: MLB1050 BENCH SERIES  
Supplier: MAGLIN



Product: VECTOR SEATING SYSTEM  
Supplier: FORMS+SURFACES



### BIKE RACKS

Product: SCBR1600 SERIES  
Supplier: MAGLIN



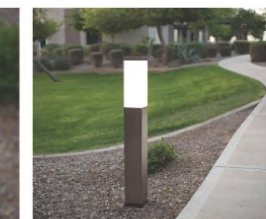
### WASTE CONTAINER

Product: LXRC1502 - 32 - MS - VGST - WASTE  
Supplier: MAGLIN



### BOLLARDS

Product: RINCON  
Supplier: FORMS+SURFACES



### PEDESTRIAN LIGHTING

Product: RINCON PEDESTRIAN LIGHTING  
Supplier: FORMS+SURFACES





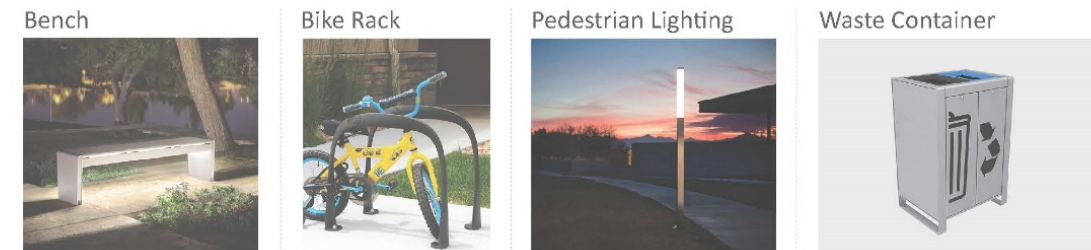
Development Permit Drawings

52ND STREET MIXED USE DEVELOPMENT | DETAILED AREA 1

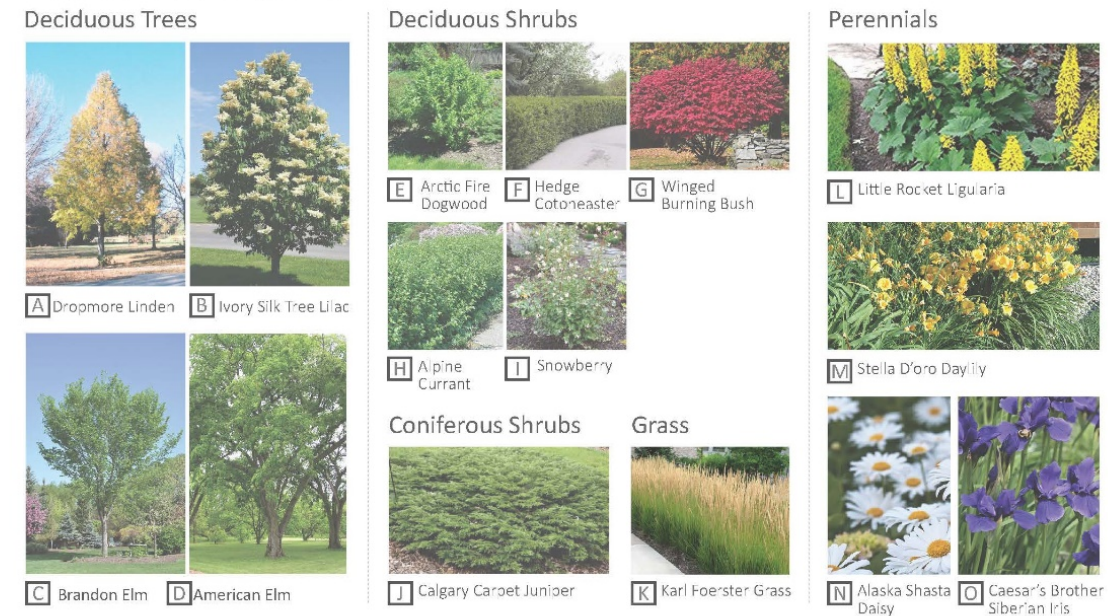
FLOORING + HARDSCAPE



SITE FURNITURE

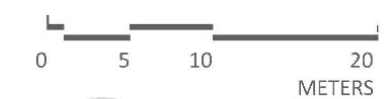


PLANTING PALETTE



Legend - Detailed Area 1

- 1. Drive Lane
- 2. Boulevard Trees
- 3. Trellis
- 4. Raised Planting Bed
- 5. Seating Ledge
- 6. Patio Space with Movable Furniture
- 7. Bike Parking
- 8. Bench
- 9. 3m Wide Regional Pathway
- 10. 25m Bus Zone
- Pedestrian Lighting
- Waste Container
- Charcoal Concrete
- Light Grey Concrete
- Light Red Concrete
- Asphalt



L4 | AUGUST 27, 2019



Development Permit Drawings

52ND STREET MIXED USE DEVELOPMENT | DETAILED AREA 2



FLOORING + HARDSCAPE

Flooring



Metal Frame Trellis



SITE FURNITURE

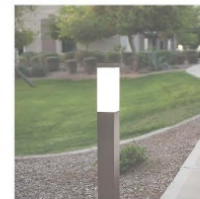
Bench



Bike Rack



Bollard

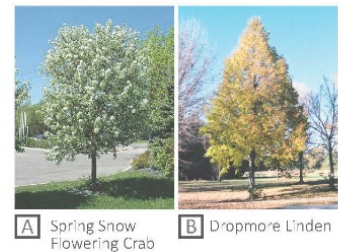


Waste Container



PLANTING PALETTE

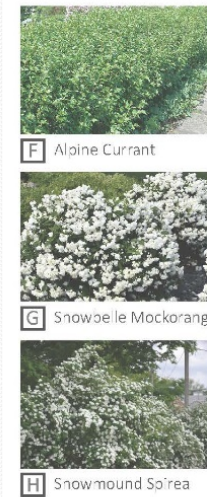
Deciduous Trees



Coniferous Shrubs



Deciduous Shrubs



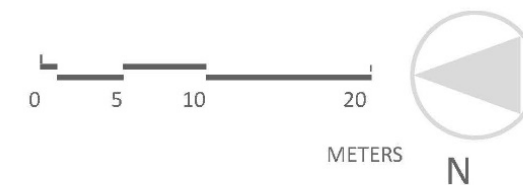
Perennials



Legend - Detailed Area 2

- 1. Drive Lane
- 2. Parking Lot
- 3. Parkade Ramp
- 4. Boulevard Trees
- 5. Planting Bed
- 6. Bike Parking
- 7. Patio Space with Movable Furniture
- 8. Multipurpose Open Space
- 9. Seating Node - Benches with Trellis
- 10. 3m Wide Regional Pathway
- 11. Art Sculpture
- 12. Free Standing Signage

- Waste Container
- Light Bollard
- Charcoal Concrete
- Light Grey Concrete
- Asphalt





Development Permit Drawings

52ND STREET MIXED USE DEVELOPMENT | DETAILED AREA 3

FLOORING + HARDSCAPE

Flooring



Concrete Planter



SITE FURNITURE

Bench



Bike Rack



Bollard



Waste Container



PLANTING PALETTE

Deciduous Trees



A Pin Cherry



B Brandon Elm

Coniferous Trees



C Columnar Blue Spruce

Deciduous Shrubs



D Hedge Cotoneaster



E Cinquefoil

Coniferous Shrubs



F Prince of Wales Juniper

Perennials



G Karl Foerster Feather Reed Grass



H Caesar's Brother Siberian Iris



I Lady Fern



Legend - Detailed Area 3

- 1. Parking Lot
- 2. Parkade Ramp
- 3. Boulevard Tree
- 4. Raised Planting Bed
- 5. Patio Space with Movable Furniture
- 6. Seating Node with Benches
- 7. 52nd Street MR Park
- 8. Art Sculpture

- Light Bollard
- Waste Container
- Charcoal Concrete
- Light Grey Concrete



L6 | AUGUST 27, 2019







Development Permit Drawings



D SIZE: 24" x 36" (609.6mm x 914.4mm)

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										Design by- <b>Seika Architecture Ltd</b> <small>6511 MACDEWAN DRIVE N.W. CALGARY, ALBERTA, T3K 3P1 TEL: 403.210.5585</small>	PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>SK-02</b>	ISSUE/REVISION <b>1</b>
	1	19/05/01	CONCEPT BUILDING IMAGES	AK	AK								
	IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP				



Development Permit Drawings



D:\2022\24\" x 20\" (100k) (mm x 614.4mm)

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NO.	DATE	DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
1	19/05/01	CONCEPT BUILDING IMAGES			AK	AK		
IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION						

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
651 MACDEWAN DRIVE N.W. CALGARY ALBERTA, T2K 3P1  
TE:403-210-5085

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. PROPOSED BUILDING IMAGES</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>SK-03</b>	ISSUE/REVISION <b>1</b>



Development Permit Drawings

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NO	DATE	DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP
1	19/05/01	CONCEPT BUILDING IMAGES			AK	AK		
	YY/MM/DD	ISSUE/REVISION DESCRIPTION						

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
6511 MACSWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1  
TEL: 403-210-5085

**PROPOSED MIXED DEVELOPMENT  
AT 8607 & 8825 52ND STREET N.E.  
PROPOSED BUILDING IMAGES**

PROJECT NUMBER	DRAWING NUMBER	ISSUE/REVISION
<b>SE-140</b>	<b>SK-04</b>	<b>1</b>












Development Permit Drawings



D:\2022-24\"

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								<b>Design by-</b>  <small>551 MACDEWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1 TE: 403.210.5065</small>		<small>PROJECT NUMBER</small> <b>SE-140</b>	<small>DRAWING NUMBER</small> <b>SK-07</b>	<small>ISSUE/REVISION</small> <b>1</b>
	1	19/05/01	CONCEPT BUILDING IMAGES	AK	AK							
	I/R	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP			



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D:\2022-24\" x 20\" (100k Area x 814.4mm)

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										<p>Design by- <b>Seika Architecture Ltd</b> <small>851 MACDOWAN DRIVE N.W. CALGARY ALBERTA, T3K 3R1 TE-403-210-9265</small></p>	<p>PROJECT NUMBER <b>SE-140</b></p>	<p>DRAWING NUMBER <b>SK-08</b></p>	<p>ISSUE/REVISION <b>1</b></p>
	1	19/05/01	CONCEPT BUILDING IMAGES	AK	AK								
	IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP				



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D:\2019\1261\1000\1000.dwg (1000 mm x 614.4 mm)

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1	19/05/01	CONCEPT BUILDING IMAGES	AK	AK					
IR	YYMMDD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP	

Client- **SADDLE RIDGE CROSSING INC**

Design by- **Seika Architecture Ltd**  
8511 MACDEWAIN DRIVE N.W. CALGARY ALBERTA, T2K 3P1  
 TEL: 403-210-5385

<b>PROPOSED MIXED DEVELOPMENT AT 8607 &amp; 8825 52ND STREET N.E. PROPOSED BUILDING IMAGES</b>		
PROJECT NUMBER <b>SE-140</b>	DRAWING NUMBER <b>SK-09</b>	ISSUE/REVISION <b>1</b>



Development Permit Drawings



D:\2022\24' x 36' (800) (8mm x 614.4mm)

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								<p>Design by- <b>Seika Architecture Ltd</b> <small>651 MACDEWAIN DRIVE N.W. CALGARY ALBERTA, T2K 3P1 TE:403-210-5885</small></p>	<p>PROJECT NUMBER <b>SE-140</b></p>	<p>DRAWING NUMBER <b>SK-10</b></p>	<p>ISSUE/REVISION <b>1</b></p>
	1	19/05/01	CONCEPT BUILDING IMAGES	AK	AK						
	IR	YY/MM/DD	ISSUE/REVISION DESCRIPTION	DRN	CHK	DES	ENG	IDR	APP		