

Development Permit Plans

THE VILLAGE AT MEDICINE HILL - SITE "G" - TOWNHOMES

LEGAL: LOT 11, BLOCK 2, PLAN 161 2946
1453 NA'A DRIVE SW, CALGARY, ALBERTA

<p>ARCHITECTURAL</p> <p>NORR Architects Engineers Planners SUITE 2300, 411 - 1ST STREET, SE. CALGARY, AB, T2G 4Y5 P: 403-264-4000 F: 403-269-7215</p>		<p>CLIENT</p> <p>METROPIA 2300 Yonge Street, Suite 807 Toronto, ON, M4P 1E4</p>
<p>CIVIL</p> <p>URBAN SYSTEMS SUITE 101, 134 11TH AVENUE SE CALGARY, ALBERTA T2G 0X5 P: 403-291-1193</p>		<p>DRAWING SET INFORMATION</p> <p>NORR PROJECT NUMBER: NCCA17-0069 DP NUMBER: DP2019-0949 ISSUED FOR DEVELOPMENT PERMIT: FEB. 27, 2019 ISSUED FOR DTR1: JUL. 12 2019</p>
<p>LANDSCAPE</p> <p>NORR Architects Engineers Planners 411 - 1ST STREET SE CALGARY, AB, T2G 4Y5 P: 403-264-4000 F: 403-269-7215</p>	<p>NORR</p> <p>2300, 411 - 1st Street SE, Calgary, AB Canada T2G 4Y5 norr.com</p> <p>NORR ARCHITECTS ENGINEERS PLANNERS A Partnership of Limited Companies</p> <p>10000 Kingsway, Suite 1000, Calgary, Alberta, Canada NORR ARCHITECTS ENGINEERS PLANNERS INC. (Solely Proprietorship) NORR ARCHITECTS ENGINEERS PLANNERS LTD. (Solely Proprietorship) NORR ARCHITECTS ENGINEERS PLANNERS INC. (Solely Proprietorship) NORR ARCHITECTS ENGINEERS PLANNERS LTD. (Solely Proprietorship) NORR ARCHITECTS ENGINEERS PLANNERS INC. (Solely Proprietorship) NORR ARCHITECTS ENGINEERS PLANNERS LTD. (Solely Proprietorship) NORR ARCHITECTS ENGINEERS PLANNERS INC. (Solely Proprietorship) NORR ARCHITECTS ENGINEERS PLANNERS LTD. (Solely Proprietorship)</p>	

ARCHITECTURAL

- DP-10-01-01 SITE INFORMATION & STATISTICS, VICINITY PLAN & OVERALL PLAN
- DP-10-01-02 SITE G PLAN, SIGNAGE & DETAILS
- DP-10-01-03 PHASING PLAN
- DP-10-01-04 WASTE & RECYCLING
- DP-10-01-05 SITE SECTIONS
- DP-20-01-01 BUILDING 01 FLOOR PLANS & ROOF PLAN, UNIT TYPE '4G'
- DP-20-02-01 BUILDING 02 FLOOR PLANS, UNIT TYPE '4C'
- DP-20-02-02 BUILDING 02 FLOOR PLANS & ROOF PLAN, UNIT TYPE '4C'
- DP-20-03-01 BUILDING 03 FLOOR PLAN & ROOF PLAN, UNIT TYPE '4G'
- DP-20-04-01 BUILDING 04 FLOOR PLAN & ROOF PLAN, UNIT TYPE '4'
- DP-20-05-01 BUILDING 05 FLOOR PLAN & ROOF PLAN, UNIT TYPE '4'
- DP-20-06-01 BUILDING 06 FLOOR PLANS, UNIT TYPE '4'
- DP-20-06-02 BUILDING 06 FLOOR PLAN & ROOF PLAN, UNIT TYPE '4'
- DP-20-07-01 BUILDING 07 FLOOR PLANS, UNIT TYPE '4'
- DP-20-07-02 BUILDING 07 FLOOR PLAN & ROOF PLAN, UNIT TYPE '4'
- DP-20-08-01 BUILDING 08 FLOOR PLAN & ROOF PLAN, UNIT TYPE '6'
- DP-20-09-01 BUILDING 09 FLOOR PLAN & ROOF PLAN, UNIT TYPE '6'
- DP-20-10-01 BUILDING 10 FLOOR PLAN & ROOF PLAN, UNIT TYPE '6' & '6S'
- DP-20-11-01 BUILDING 11 FLOOR PLAN & ROOF PLAN, UNIT TYPE '3'
- DP-20-12-01 BUILDING 12 FLOOR PLAN & ROOF PLAN, UNIT TYPE '3'
- DP-20-13-01 BUILDING 13 FLOOR PLANS, UNIT TYPE '5'
- DP-20-13-02 BUILDING 13 FLOOR PLAN & ROOF PLAN, UNIT TYPE '5'

- DP-20-14-01 BUILDING 14 FLOOR PLANS, UNIT TYPE '3'
- DP-20-14-02 BUILDING 14 FLOOR PLAN & ROOF PLAN, UNIT TYPE '3'
- DP-20-15-01 BUILDING 15 FLOOR PLANS, UNIT TYPE '5'
- DP-20-15-02 BUILDING 15 FLOOR PLAN & ROOF PLAN, UNIT TYPE '5'
- DP-20-16-01 BUILDING 16 FLOOR PLAN & ROOF PLAN, UNIT TYPE '3'
- DP-20-17-01 BUILDING 17 FLOOR PLAN & ROOF PLAN, UNIT TYPE '5'
- DP-20-18-01 BUILDING 18 FLOOR PLAN & ROOF PLAN, UNIT TYPE '3'
- DP-20-19-01 BUILDING 19 FLOOR PLAN & ROOF PLAN, UNIT TYPE '3M'
- DP-20-20-01 BUILDING 20 & 21 FLOOR PLAN & ROOF PLAN, UNIT TYPE '1'
- DP-20-22-01 BUILDING 22 FLOOR PLAN & ROOF PLAN, UNIT TYPE '3'
- DP-30-01-01 BUILDING 01 ELEVATIONS, UNIT TYPE '4C'
- DP-30-02-01 BUILDING 02 ELEVATIONS, UNIT TYPE '4C'
- DP-30-03-01 BUILDING 03 ELEVATIONS, UNIT TYPE '4C'
- DP-30-04-01 BUILDING 04 ELEVATIONS, UNIT TYPE '4'
- DP-30-05-01 BUILDING 05 ELEVATIONS, UNIT TYPE '4'
- DP-30-06-01 BUILDING 06 ELEVATIONS, UNIT TYPE '4'
- DP-30-07-01 BUILDING 07 ELEVATIONS, UNIT TYPE '4'
- DP-30-08-01 BUILDING 08 ELEVATIONS, UNIT TYPE '6'
- DP-30-09-01 BUILDING 09 ELEVATIONS, UNIT TYPE '6'
- DP-30-10-01 BUILDING 10 ELEVATIONS, UNIT TYPE '6' & '6S'
- DP-30-11-01 BUILDING 11 ELEVATIONS, UNIT TYPE '3'
- DP-30-12-01 BUILDING 12 ELEVATIONS, UNIT TYPE '3'

- DP-30-13-01 BUILDING 13 ELEVATIONS, UNIT TYPE '5'
- DP-30-14-01 BUILDING 14 ELEVATIONS, UNIT TYPE '3'
- DP-30-15-01 BUILDING 15 ELEVATIONS, UNIT TYPE '5'
- DP-30-16-01 BUILDING 16 ELEVATIONS, UNIT TYPE '3'
- DP-30-17-01 BUILDING 17 ELEVATIONS, UNIT TYPE '5'
- DP-30-18-01 BUILDING 18 ELEVATIONS, UNIT TYPE '3'
- DP-30-19-01 BUILDING 19 ELEVATIONS, UNIT TYPE '3M'
- DP-30-20-01 BUILDING 20 ELEVATIONS, UNIT TYPE '1'
- DP-30-21-01 BUILDING 21 ELEVATIONS, UNIT TYPE '1'
- DP-30-22-01 BUILDING 22 ELEVATIONS, UNIT TYPE '3'
- DP-45-01-01 UNIT 01 INT PLANS
- DP-45-01-02 UNIT 01 END PLANS
- DP-45-03-01 UNIT 03 INT PLANS
- DP-45-03-02 UNIT 03 PLANS
- DP-45-03-05 UNIT 03M PLANS
- DP-45-04-01 UNIT 04 INT & END PLANS
- DP-45-04-02 UNIT 04G INT & END PLANS
- DP-45-05-01 UNIT 05 INT PLANS
- DP-45-05-02 UNIT 05 END PLANS
- DP-45-06-01 UNIT 06 INT PLANS
- DP-45-06-02 UNIT 06 END PLANS
- DP-45-06-03 UNIT 06S PLANS

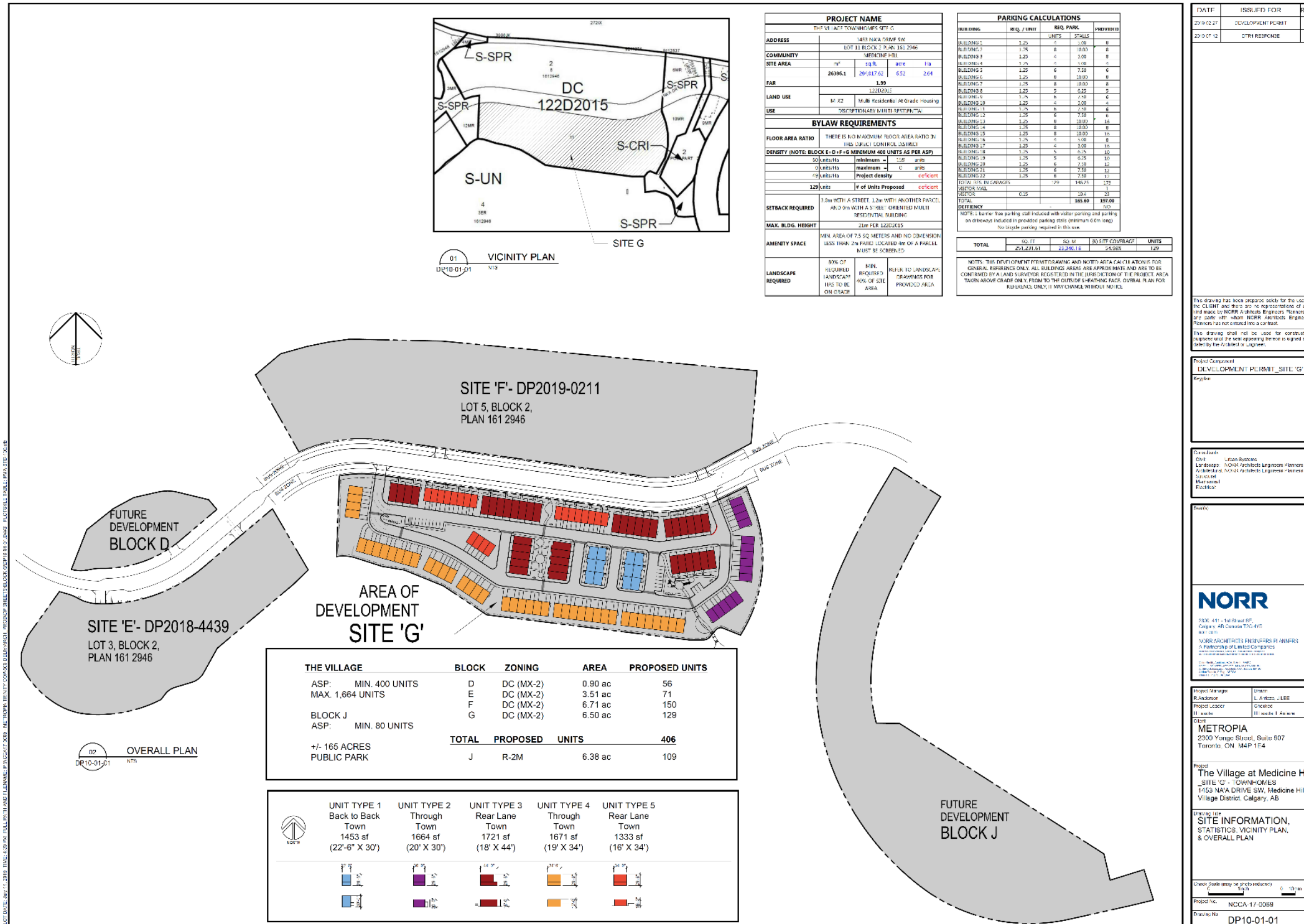
CIVIL

- C01.0 SITE SERVICING PLAN
- C02.0 SITE GRADING PLAN

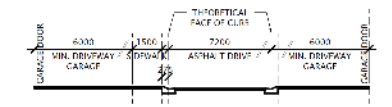
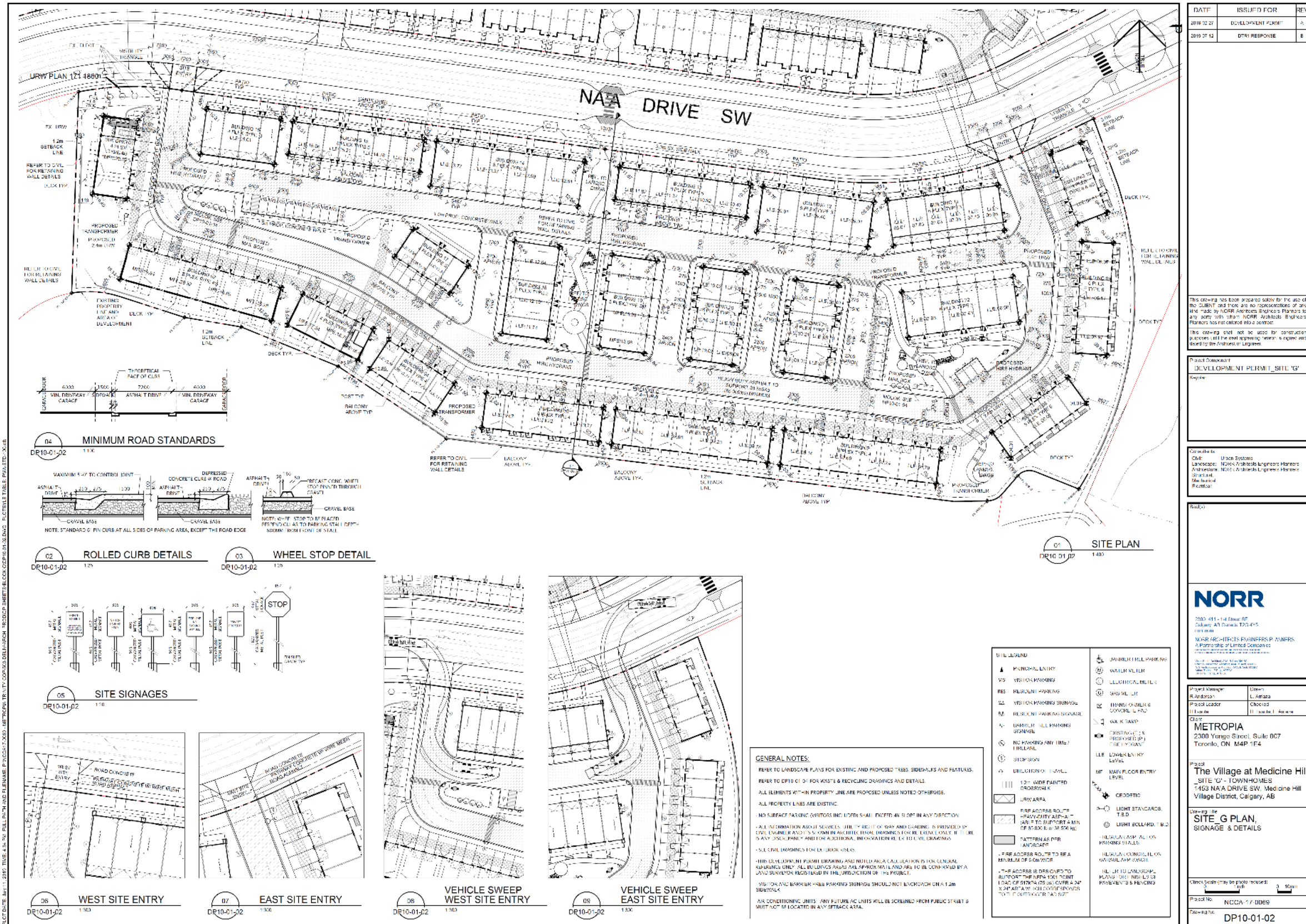
LANDSCAPE

- DP-L00-00 LANDSCAPE STATS PLAN
- DP-L01-00 LANDSCAPE PLAN
- DP-L01-01 LANDSCAPE FEATURES
- DP-L02-00 LANDSCAPE DETAILS AND GENERAL NOTES
- DP-L02-01 LANDSCAPE SECTIONS

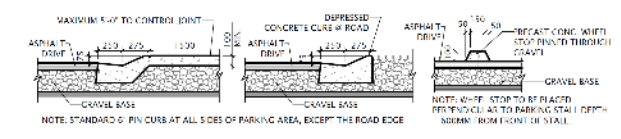
Development Permit Plans



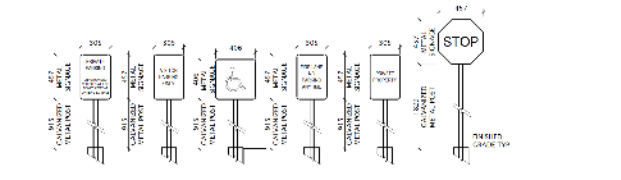
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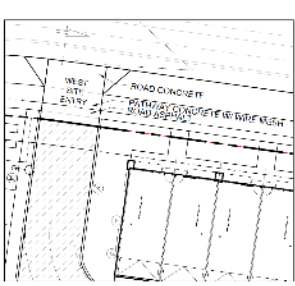
04 MINIMUM ROAD STANDARDS
DR10-01-02 1:100



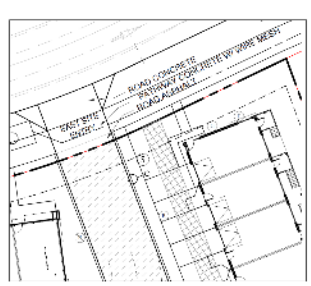
02 ROLLED CURB DETAILS 1:25
03 WHEEL STOP DETAIL 1:25



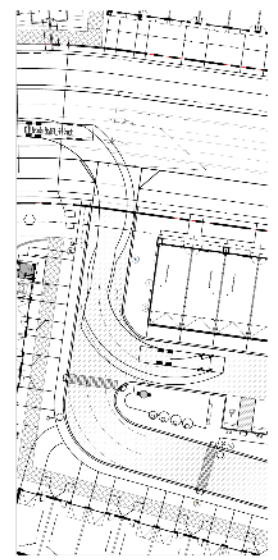
05 SITE SIGNAGES 1:10



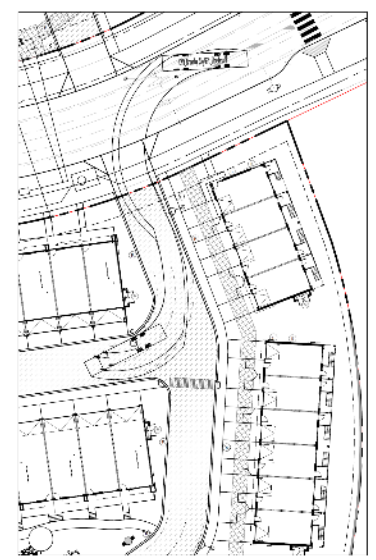
06 WEST SITE ENTRY 1:100



07 EAST SITE ENTRY 1:100



08 VEHICLE SWEEP WEST SITE ENTRY 1:100



09 VEHICLE SWEEP EAST SITE ENTRY 1:100

GENERAL NOTES:
REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS AND FEATURES.
REFER TO DP10-01-04 FOR WASTE & RECYCLING DRAWINGS AND DETAILS.
ALL ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE.
ALL PROPERTY LINES ARE EXISTING.
-NO SURFACE PARKING (VISITORS AND LOBBY) SHALL EXCEED 400 SQ. FT. IN ANY DIRECTION.
-ALL INFORMATION ABOUT SERVICES, UTILITIES, SOILS, AND GRADING IS PROVIDED BY CIVIL ENGINEER AND IS SOLELY FOR ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IT IS THE ARCHITECT'S RESPONSIBILITY TO OBTAIN ADDITIONAL INFORMATION RELATIVE TO CIVIL DRAWINGS.
-SEE CIVIL DRAWINGS FOR UTILITIES NOTES.
-THIS DEVELOPMENT PERMIT DRAWING AND NEIGHBORHOOD CALCULATION IS FOR GENERAL REFERENCE ONLY. ALL BUILDINGS AND APPROXIMATE AREAS ARE TO BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THIS PROJECT.
-SIGNAGE AND BARRIERS FOR VISITORS SHOULD NOT ENCRUSH ON A 1.2M SIDEWALK.
-AIR CONDITIONING UNITS, ANY FUTURE AC UNITS WILL BE SCREENED FROM PUBLIC STREET & MUST NOT BE LOCATED IN ANY SETBACK AREA.

SITE LEGEND

▲ PROPOSED ENTRY	⊗ UNIMULCH MULCH
⊗ RESIDENT PARKING	⊗ WATER MILLER
⊗ VISITOR PARKING SIGNAGE	⊗ LITHICAL MULCH
⊗ RESIDENT PARKING SIGNAGE	⊗ GRASS LIT
⊗ VISITOR PARKING SIGNAGE	⊗ BRUSH CHIPS & CORN COB PADS
⊗ UNIMULCH MULCH	⊗ WALK TAMP
⊗ NO PARKING ANY OTHER DIRECTION	⊗ CRISTING (C/S PROPOSED) (C/S) (C/S) (C/S)
⊗ STOP SIGN	⊗ LOWER ENTRY LEVEL
⊗ DIRECTION OF TRAVEL	⊗ MAIN FLOOR ENTRY LEVEL
⊗ URW AREA	⊗ GEODTIC
⊗ FIRE ACCESS ROUTE (MINIMUM 3.0M WIDE PAINTED CROSSWALK)	⊗ LIGHT STANDARDS T.3.D
⊗ FIRE ACCESS ROUTE TO BE A MINIMUM OF 6.0M WIDE	⊗ LIGHT BOLLARD T.3.D
⊗ FIRE ACCESS ROUTE TO SUPPORT A MINIMUM OF 3.0M WIDE PAINTED CROSSWALK	⊗ LIGHT BOLLARD T.3.D
⊗ FIRE ACCESS ROUTE TO BE A MINIMUM OF 6.0M WIDE	⊗ LIGHT BOLLARD T.3.D
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⊗ FIRE ACCESS ROUTE TO SUPPORT A MINIMUM OF 3.0M WIDE PAINTED CROSSWALK	⊗ LIGHT BOLLARD T.3.D

DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-12	DTM RESPONSE	B

This drawing has been prepared solely for the use of the CLIENT and there are no responsibilities of any kind made by NORR Architects Engineers Planners to any party other than NORR Architects Engineers Planners nor are we liable for any errors or omissions.

This drawing shall not be used for construction purposes until the exact appearing herein is signed and sealed by the Architect or Engineer.

Project Overview
DEVELOPMENT PERMIT SITE 'G'
Keynote

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: Mechanical
Electrical

Scale:
1:100
1:200
1:500
1:1000

NORR
2580 45th Street SE
Calgary, AB T2C 4K5
Canada
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
www.norr.ca

Project Manager: Owen
Project Leader: Chloee
Client: Metropro
METROPIA
2300 Yonge Street, Suite 607
Toronto, ON M4P 1E4

Project: The Village at Medicine Hill
Site 'G' - TOWNHOMES
1453 NAA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing: The Village at Medicine Hill
SITE 'G' PLAN, SIGNAGE & DETAILS

Checked: [Signature]
Project No: NCCA-17-0069
Drawing No: DP10-01-02

Development Permit Plans



DATE	ISSUED FOR	REV
2019-02-27	ISSUED FOR DP	A
2019-07-12	DP# 1	E

This drawing has been prepared solely for the use of the CLIENT and these are the representations of NORR Architects Engineers Planners to any party who enters into a contract with NORR Architects Engineers Planners. The drawings shall not be used for any other purpose until the date appearing hereon is signed and sealed by the Architect or Engineer.

Project Component:
DEVELOPMENT PERMIT SITE 'G'

Consultants:
 Civil: Urban Systems
 Landscape: NORR Architects Engineers Planners
 Structural: Metrovia
 Electrical: Black & Veatch

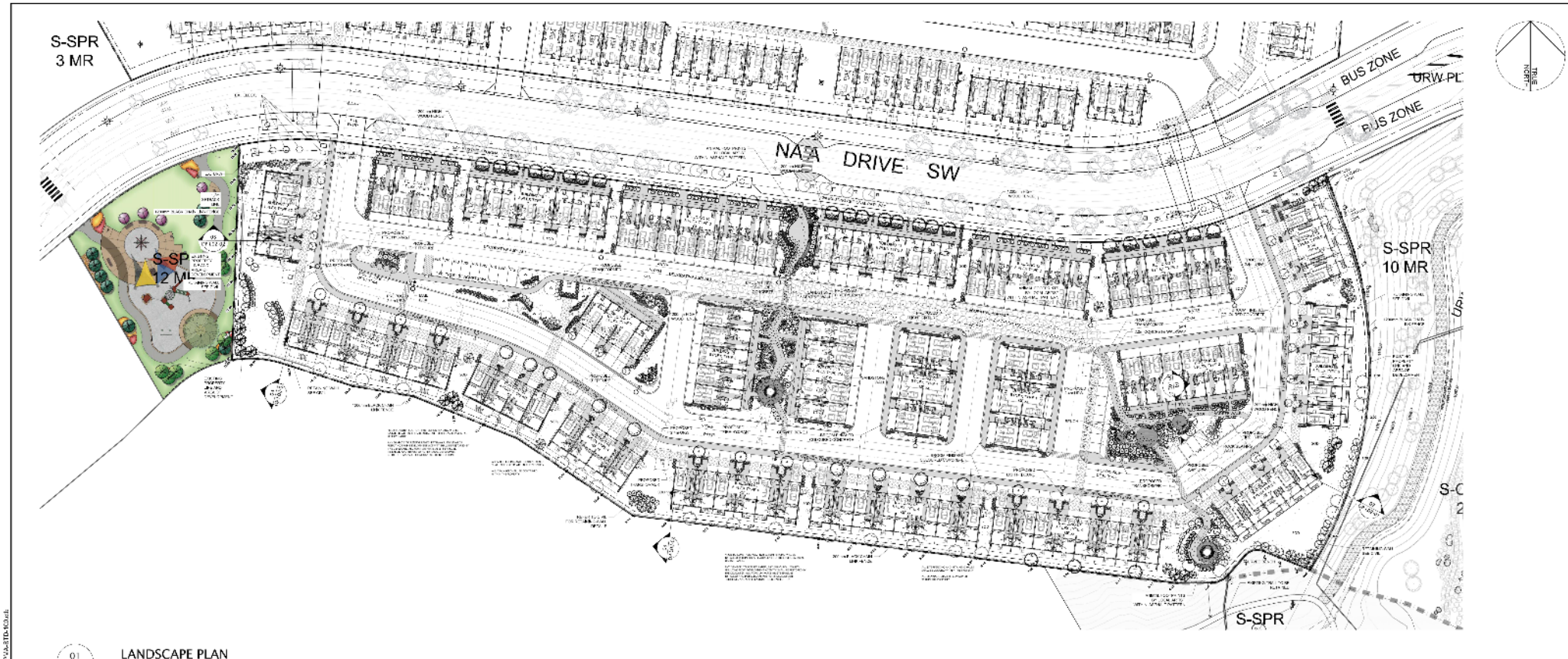
Client:
METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E4

Project:
 The Village at Medicine Hill
 SITE 'G' - TOWNHOMES
 1453 NAA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

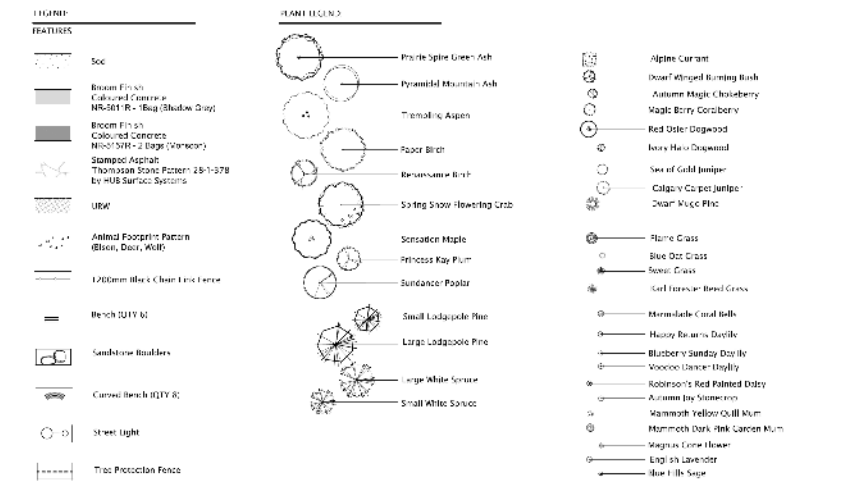
Drawing Title:
LANDSCAPE STATS PLAN

Check Scale (may be altered): 0 10m
 Project No: NCCA-17-0069
 Drawing No: DP-L00-00

Development Permit Plans



D1 LANDSCAPE PLAN
DP-L01-00 1:500



PLANT LIST:

QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
CONIFEROUS TREES			
14	<i>Pinus glauca</i>	White Spruce - Small	2.0m Ht. 100mm dia. ball dia.
16	<i>Pinus strobus</i>	White Spruce - Large	1.0m Ht. 100mm dia. ball dia.
15	<i>Pinus contorta latifolia</i>	Looseleaf Pine - Small	2.0m Ht. 100mm dia. ball dia.
14	<i>Pinus contorta latifolia</i>	Looseleaf Pine - Large	2.0m Ht. 100mm dia. ball dia.
DECIDUOUS TREES			
10	<i>Acer insubricum</i>	Sensation Maple	50mm cal. 80mm dia. 750mm wide x 450mm depth root ball
3	<i>Betula papyrifera</i>	Paper Birch	75mm cal. 80mm dia. 850mm wide x 550mm depth root ball
33	<i>Betula papyrifera</i>	Reversum Paper Birch	50mm cal. 80mm dia. 750mm wide x 450mm depth root ball
22	<i>Fraxinus pennsylvanica</i>	Principle Green Ash	75mm cal. 80mm dia. 850mm wide x 550mm depth root ball
13	<i>Malus x Spirella</i>	Spring Snow Flowering Crab	50mm cal. 80mm dia. 750mm wide x 450mm depth root ball
12	<i>Populus x MOAS151 AC</i>	Swamp Poplar	75mm cal. 80mm dia. 850mm wide x 550mm depth root ball
16	<i>Populus tremuloides</i>	Trembling Poplar	75mm cal. 80mm dia. 850mm wide x 550mm depth root ball
14	<i>Prunus nigra</i>	Princess Kay Plum	50mm cal. 80mm dia. 750mm wide x 450mm depth root ball
10	<i>Sorbus aucuparia</i>	Pyramidal Mountain Ash	50mm cal. 80mm dia. 750mm wide x 450mm depth root ball
CONIFEROUS SHRUBS			
18	<i>Juniperus procumbens</i>	Box of Gold Juniper	Min. 600 sq. root ball dia. 330mm, 25 container size
48	<i>Juniperus sibirica</i>	Category Carpet	Min. 600 sq. root ball dia. 330mm, 25 container size
23	<i>Pinus mugo</i>	Dwarf Mugo Pine	Min. 600 sq. root ball dia. 330mm, 25 container size

NOTES:
 1. ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
 2. TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT PLANTING AND EXTENDING THE LENGTH OF TALL.
 3. ALL PLANT MATERIAL TO BE DELIVERED BY 1:30 PM (REGULATED AUTOMATIC REGISTRATION SYSTEM).
 4. FOR ALL CHANGING TO DIMENSIONS OF 10.00 CM. 100.00 CM.

QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
DECIDUOUS SHRUBS			
83	<i>Asteria multiflora</i>	Asteria Multiflora	Min. 800mm Ht. Min. 4 major basal stems. Root spread 300mm. #2 cont.
41	<i>Cornus sericea</i>	Red Osier Dogwood	Min. 800mm Ht. Min. 4 major basal stems. Root spread 300mm. #2 cont.
41	<i>Cornus alba</i>	Berry Leds Dogwood	Min. 800mm Ht. Min. 4 major basal stems. Root spread 300mm. #2 cont.
55	<i>Lonicera alba</i>	Common Honeysuckle	Min. 800mm Ht. Min. 4 major basal stems. Root spread 300mm. #2 cont.
42	<i>Ribes alpinum</i>	Alpine Currant	Min. 800mm Ht. Min. 4 major basal stems. Root spread 300mm. #2 cont.
130	<i>Syringa vulgaris</i>	French Lilac	Min. 800mm Ht. Min. 4 major basal stems. Root spread 300mm. #2 cont.
ORNAMENTAL GRASSES			
148	<i>Calamagrostis can. (var. var.)</i>	River Feather Fescue Grass	Min. 150mm Ht. #1 cont.
15	<i>Holcus lanatus</i>	Sheep Fescue	Min. 150mm Ht. #1 cont.
171	<i>Hierochloa odorata</i>	Sweet Grass	Min. 150mm Ht. #1 cont.
102	<i>Molinia caerulea</i>	Flame Grass	Min. 150mm Ht. #1 cont.
PERENNIALS			
10	<i>Chrysanthemum</i>	Yellow Chrysanthemum	Min. 150mm Ht. #1 cont.
15	<i>Chrysanthemum</i>	Yellow Chrysanthemum	Min. 150mm Ht. #1 cont.
97	<i>Delphinium</i>	Delphinium	Min. 150mm Ht. #1 cont.
215	<i>Hemerocallis</i>	Hemerocallis	Min. 150mm Ht. #1 cont.
108	<i>Hemerocallis</i>	Hemerocallis	Min. 150mm Ht. #1 cont.
215	<i>Hemerocallis</i>	Hemerocallis	Min. 150mm Ht. #1 cont.
78	<i>Hemerocallis</i>	Hemerocallis	Min. 150mm Ht. #1 cont.
177	<i>Lavandula</i>	English Lavender	Min. 150mm Ht. #1 cont.
433	<i>Salvia nemorosa</i>	Blue Sage	Min. 150mm Ht. #1 cont.
108	<i>Sedum spectabile</i>	Autumn Joy	Min. 150mm Ht. #1 cont.
15	<i>Eleocharis</i>	Eleocharis	Min. 150mm Ht. #1 cont.

DATE	ISSUED FOR	REV
2019-02-27	ISSUED FOR DP	A
2019-07-12	DP	E

This drawing has been prepared solely for the use of the client and does not constitute a contract. It is the responsibility of the client to ensure that all necessary permits and approvals are obtained before construction begins. The client shall not be held liable for any construction work done without the proper permits and approvals. The client shall not be held liable for any construction work done without the proper permits and approvals.

Project Name: DEVELOPMENT PERMIT SITE 'G'

Client: Urban Exams
 Landscape: NORR Architects Engineers Planners
 Structural: M&P
 Electrical: M&P

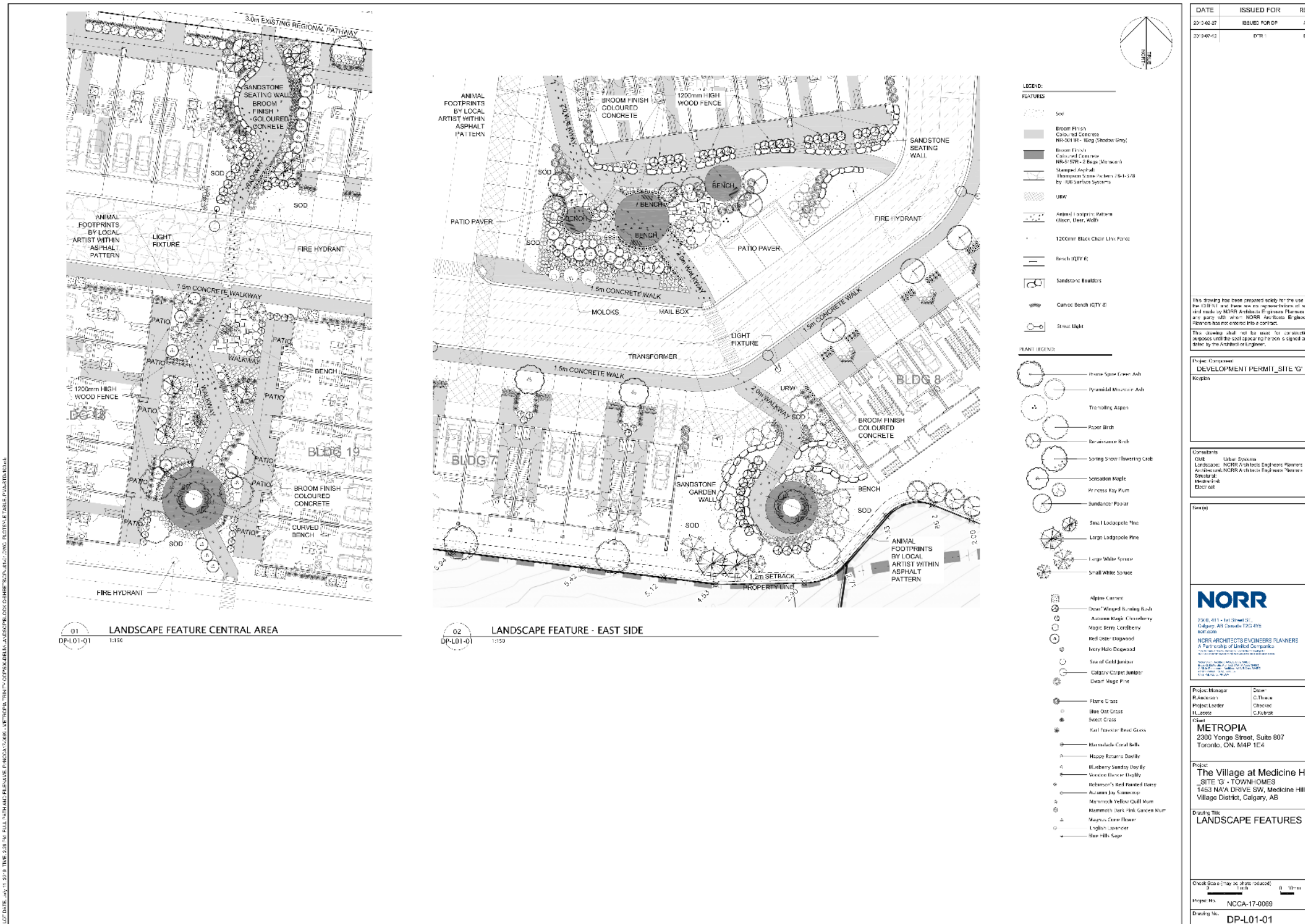
Project Manager: [Name]
 Project Leader: [Name]
 Date: [Date]

Project: THE VILLAGE AT MEDICINE HILL
 SITE 'G' - TOWNHOMES
 1455 NAA DRIVE SW, MEDICINE HILL
 VILLAGE DISTRICT, CALGARY, AB

Drawn By: [Name]
 Checked By: [Name]
 Date: [Date]

Scale: 1:500
 Project No: NCCA-17-0060
 Drawing No: DP-L01-00

Development Permit Plans



DATE	ISSUED FOR	REV
2019-02-27	ISSUED FOR DP	A
2019-07-12	DP 1	E

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Project: **DEVELOPMENT PERMIT SITE 'G'**
Koopman

Consultants:
Civil: Urban Systems Engineers Planning
Landscape: NORR Architects Engineers Planners
Architect: NORR Architects Engineers Planners
Structural: Metropia Inc.
Electrical: Black & Veatch

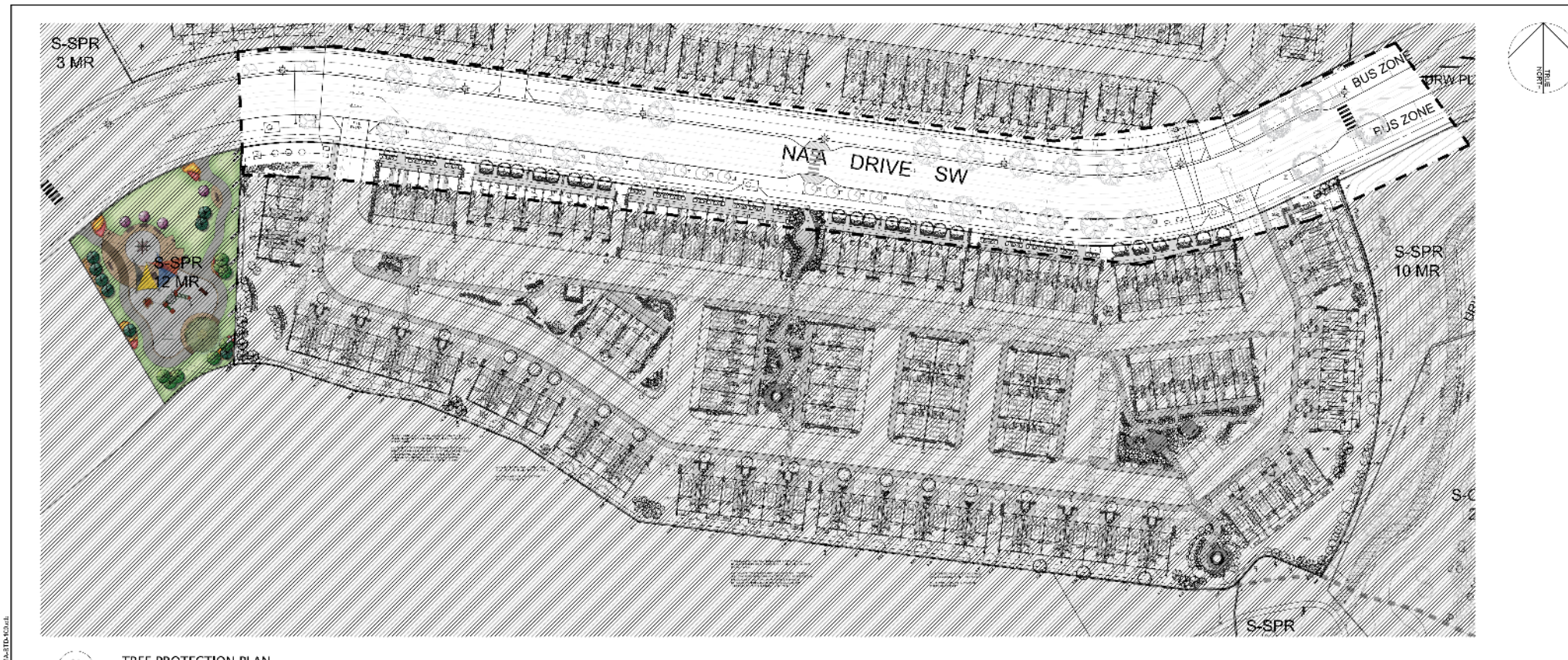
Project Manager: R. Anderson
Project Leader: M. 2020
Client: **METROPIA**
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project: **The Village at Medicine Hill - SITE 'G' - TOWNHOMES**
1455 NAVA DRIVE SW, Medicine Hill Village District, Calgary, AB

Drawing Title: **LANDSCAPE FEATURES**

Check Scale (Drawn or plotted): 0 5 10 meters
Project No: **NCCA-17-0060**
Drawing No: **DP-L01-01**

Development Permit Plans



D1 TREE PROTECTION PLAN
DP-L01-02 1:500

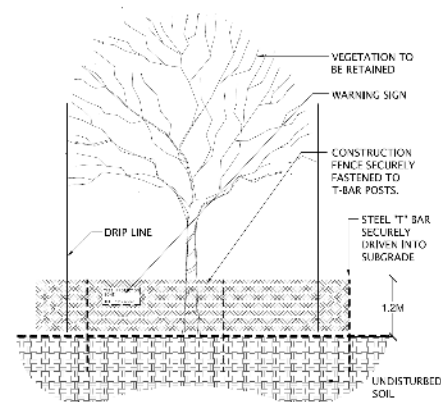
LEGEND:

- FEATURES
- TREE PROTECTION FENCE
 - EXISTING ELM TREE TO REMAIN
 - EXISTING CRAB TREE TO REMAIN
 - EXISTING ASH TREE TO REMAIN
 - EXISTING CRAB TREE TO REMAIN

TREE PROTECTION PLAN:

ID	COMMON NAME	SCIENTIFIC NAME	CANOPY	CALIPER	HEIGHT
1	Waco Thicket Elm	Thuja occidentalis	1.0m	50mm	2.5m
2	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
3	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
4	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
5	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
6	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
7	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
8	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
9	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
10	Waco Spotted Elm	Quercus Falcata	1.0m	50mm	2.5m
11	Waco Spotted Elm	Quercus Falcata	1.0m	50mm	2.5m
12	Waco Spotted Elm	Quercus Falcata	1.0m	50mm	2.5m
13	Waco Spotted Elm	Quercus Falcata	1.0m	50mm	2.5m
14	Waco Spotted Elm	Quercus Falcata	1.0m	50mm	2.5m
15	Waco Spotted Elm	Quercus Falcata	1.0m	50mm	2.5m
16	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
17	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
18	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
19	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
20	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
21	Ulmus americana	Ulmus Elm	1.0m	75mm	2.5m
22	Fraxinus americana	Fraxinus Elm	1.0m	75mm	2.5m

- NOTES:
- A TREE PROTECTION FENCE WILL BE PROVIDED AS SHOWN.
 - AREA WITHIN TREE PROTECTION ZONE TO BE FREE OF ALL CONSTRUCTION MATERIALS AND VEHICLES.
 - ANY DAMAGE TO EXISTING CONCRETE AND TREE ROOTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NEED TO BE REPAIRED AT HIS OR HER CITY OF CALGARY'S EXPENSE.



CITY OF CALGARY TREE PROTECTION GUIDELINES:

- All retained trees as shown shall be identified on site in such a way so that all workers shall know that the vegetation is to be retained. Identification of retained vegetation on site shall be by a Tree Protection Barrier as detailed here. For safety reasons be sure to call Alberta 1 Call at 1-800-242-3447 before installation and make sure it does not interfere with fire hydrants, secure intersections or traffic signage.
- The tree's roots, trunk, crown and tree protection zone must be adequately protected. The Tree Protection Barrier must be at least 1.2m (4') in height, 3m (10') around the circumference of the trunk or to the tree drip line (whichever is greater) and installed in all locations where trees are to be retained. The warning or barrier material shall be a bright, contrasting colour and be curable. Warning posts shall be metal T-posts, conical or heavier. Fencing will be maintained in an upright position throughout the duration of the project. Ensure the barrier is placed in between the sidewalk and property line to ensure that there is no unauthorized soil disturbance or entry into the area.

CITY OF CALGARY COMPENSATION GUIDELINES:

- Damage occurring to the landscape or trees on public lands resulting from construction will require rehabilitation/restoration at the cost of the Contractor.
- Trees removed or damaged, as the result of work, shall be compensated as per methodology from the Council of Tree and Landscape Appraisers (published by the International Society of Arboriculture).

DATE	ISSUED FOR	REV
2019-02-27	ISSUED FOR DP	A
2019-07-12	EPR	E

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by NORR Architects Engineers Planners to any party other than NORR Architects Engineers Planners who have entered into a contract.

This drawing shall not be used for construction purposes until the seal appears thereon signed and dated by the Architect or Engineer.

Project/Drawings:
DEVELOPMENT PERMIT SITE 'G'

Consultants:
Civil: Urban Exams
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: Architects
Electrical: Elect out

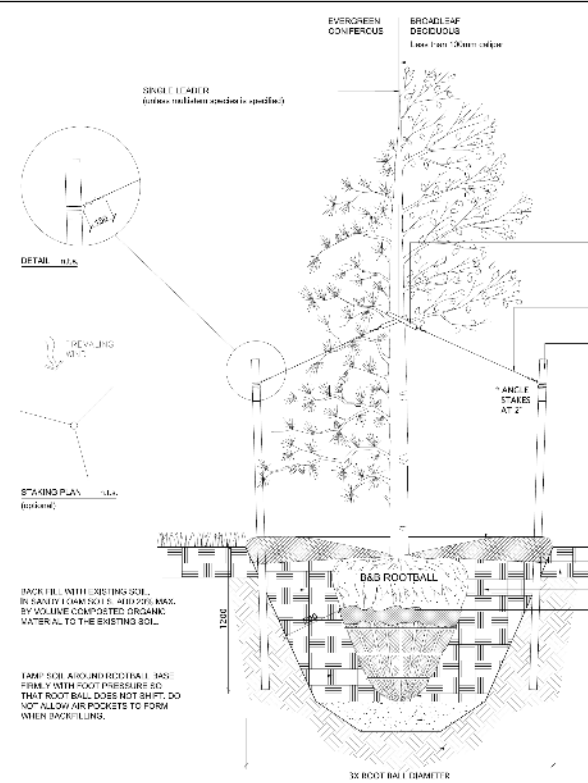
Project Manager: R. Anderson
Project Leader: M. 2020
Client: METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project: The Village at Medicine Hill
SITE 'G' - TOWNHOMES
1453 NAA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title: TREE PROTECTION PLAN

Client Scale (may be altered): 0 1m 10m
Project No: NCCA-17-0009
Drawing No: DP-L01-02

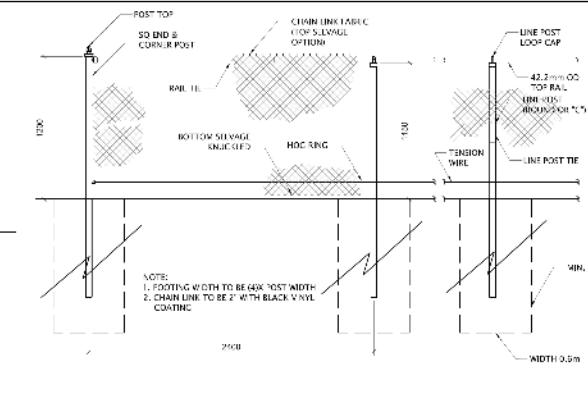
Development Permit Plans



01 TREE PLANTING DETAIL
1:00

LANDSCAPE NOTES:

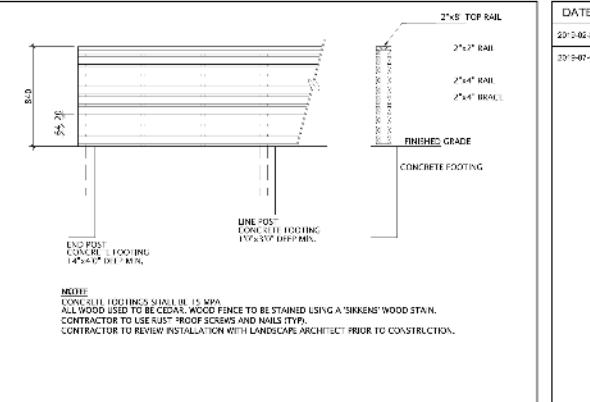
- ALL LANDSCAPE CONSTRUCTION MATERIALS AND TECHNIQUES SHALL MEET THE MINIMUM REQUIREMENTS OF THE OMA STANDARDS.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED BY THE LANDSCAPE CONSULTANT UNLESS APPROVED BY THE LANDSCAPE CONSULTANT IN WRITING PRIOR TO SUBMITTING TO SITE. ALL PLANT MATERIALS SHALL BE INSTALLED AS SPECIFIED ON THE DRAWINGS AND SHALL BE PLANT MATERIAL THAT MEETS THE SPECIFICATIONS AND IS AVAILABLE IN CANADA. ALL PLANT MATERIALS SHALL BE INSTALLED AS SPECIFIED ON THE DRAWINGS AND ASSOCIATED SPECIFICATIONS SHALL BE REVISED AND REPLACED WITH PLANT MATERIAL THAT MEETS THE ABOVE MENTIONED REQUIREMENTS AT THE CONTRACTOR'S SOLE EXPENSE.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE SOURCE SUPPLIER PRIOR TO BEING INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LANDSCAPE CONSULTANT AND PROVIDING TWO WEEKS NOTICE TO THE LANDSCAPE CONSULTANT TO COORDINATE THE REVIEW OF THE PLANT MATERIAL. THE LANDSCAPE CONSULTANT RESERVES THE RIGHT TO WAIVE THIS REQUIREMENT BASED ON THE SOURCE OF THE PLANT MATERIAL.
- ALL PLANTING OF SPECIES IS TO BE INSTALLED AS SPECIFIED ON THE DRAWINGS.
- ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE FEATURES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REPAIRABLE, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY REQUIREMENTS.
- ALL SITE GRADERS SHALL MATCH EXISTING GRADERS OF ADJACENT LANDS, WITH GRADING CONFINED TO THE SITE.
- THE CONTRACTOR SHALL OBTAIN ALL THE CONTRACTOR'S SOLE EXPENSE. ALL UTILITY LOCATIONS PRIOR TO COMMENCING WORK AND ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OR TOWN AUTHORITY REQUIREMENTS.



03 1200mm HIGH CHAIN LINK FENCE
1:20

NOTES:

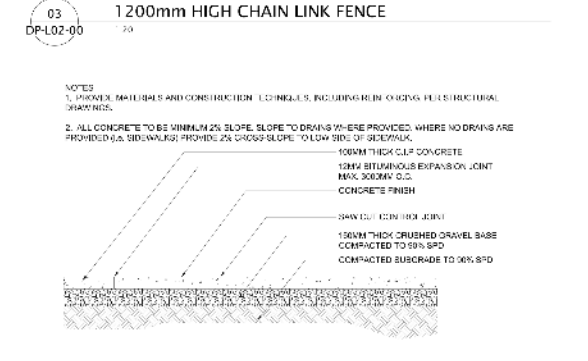
- PROVIDE FINISHES AND CONSTRUCTION DETAILS, INCLUDING FINISHING, FILL, STRUCTURAL FINISHES.
- ALL CONCRETE TO BE MINIMUM 2% SLOPE, SLOPE TO DRAIN WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED, SLOPE TO DRAIN TO FOLLOW SIDE OF SLOPE.
- 100MM THICK CLP CONCRETE TO BE MINIMUM 2% SLOPE, SLOPE TO DRAIN WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED, SLOPE TO FOLLOW SIDE OF SLOPE.
- 100MM THICK CRUSHED GRAVEL BASE TO BE MINIMUM 2% SLOPE, SLOPE TO DRAIN WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED, SLOPE TO FOLLOW SIDE OF SLOPE.
- 100MM THICK CRUSHED GRAVEL BASE TO BE MINIMUM 2% SLOPE, SLOPE TO DRAIN WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED, SLOPE TO FOLLOW SIDE OF SLOPE.



06 1200mm HIGH WOOD FENCE AT PATIO
1:20

NOTES:

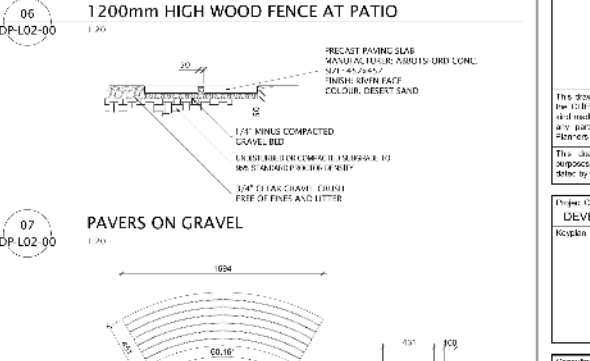
- CONCRETE FOOTING SHALL BE 150MM DEEP AND 100MM WIDE.
- ALL WOOD USED TO BE CEDAR. WOOD FENCE TO BE STAINED USING A 'SHIKENS' WOOD STAIN. CONTRACTOR TO REVIEW INSTALLATION WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



04 CONCRETE WALKWAY
1:20

NOTES:

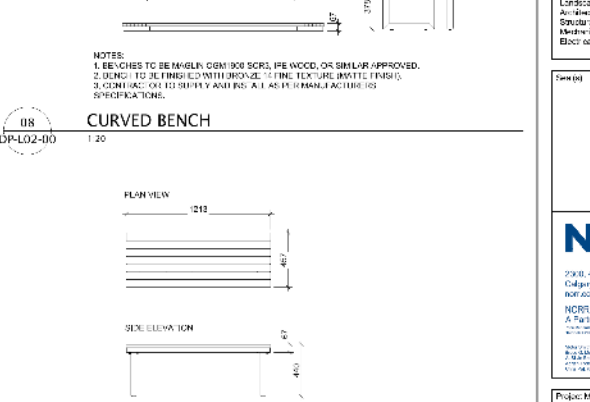
- ROCK STACK WALLS SHALL BE CONSTRUCTED USING NATIVE BOULDERS. BOULDERS SHOULD BE ANGULAR IN SHAPE AND REASONABLY UNIFORM IN SHAPE AND SIZE. ROUND BOULDERS SHOULD BE AVOIDED IN CONSTRUCTION OF ROCK STACK WALLS.
- BOULDERS FOR ROCK STACK WALLS SHALL BE NO SMALLER THAN 100MM WIDTH (100MM FACE) 100MM DEPTH AND 100MM HEIGHT. BOULDERS SHOULD BE REASONABLY UNIFORM IN SHAPE AND SIZE. ROUND BOULDERS SHOULD BE AVOIDED IN CONSTRUCTION OF ROCK STACK WALLS.
- BOULDERS FOR ROCK STACK WALLS SHALL BE APPROVED BY LANDSCAPE CONSULTANT PRIOR TO USE. BOULDERS SHALL BE PLACED UNDER SUPERVISION OF THE LANDSCAPE CONSULTANT UNLESS EXPRESS PERMISSION IS OTHERWISE OBTAINED FROM LANDSCAPE CONSULTANT.
- BOULDERS SHALL BE PLACED IN A MANNER THAT ALL BOULDERS ARE FULLY EXPOSED. UNWANTED OR EXCESSIVE BOULDERS SHALL BE REMOVED FROM THE SITE PRIOR TO COMMENCING CONSTRUCTION.



07 PAVERS ON GRAVEL
1:20

NOTES:

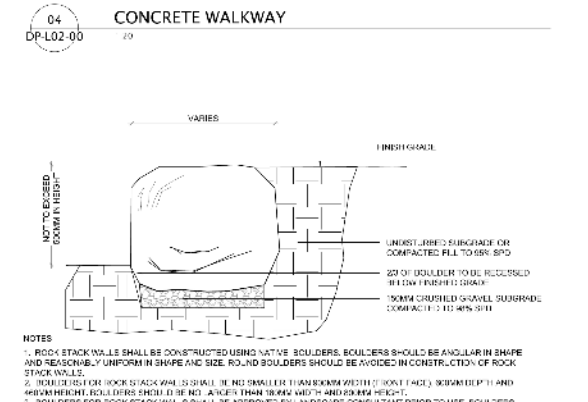
- PAVERS TO BE 400MM x 400MM x 20MM, PINE WOOD OR SIMILAR APPROVED.
- GRAVEL TO BE FINISHED WITH APPROXIMATE FINE TEXTURE (WHITE FINISH).
- CONTRACTOR TO FOLLOW ALL APPLICABLE SPECIFICATIONS.



08 CURVED BENCH
1:20

NOTES:

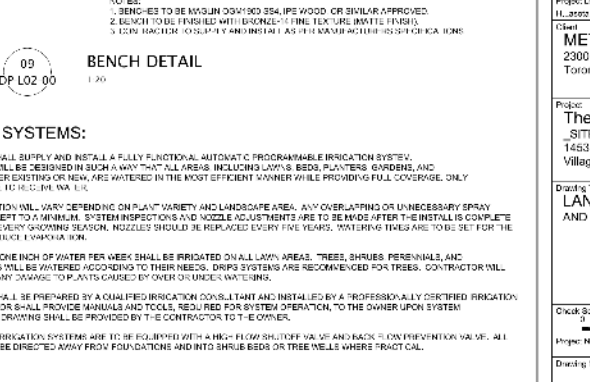
- BENCHES TO BE 400MM x 400MM x 20MM, PINE WOOD OR SIMILAR APPROVED.
- BENCH TO BE FINISHED WITH APPROXIMATE FINE TEXTURE (WHITE FINISH).
- CONTRACTOR TO FOLLOW ALL APPLICABLE SPECIFICATIONS.



05 NATIVE BOULDER INSTALLATION
1:20

NOTES:

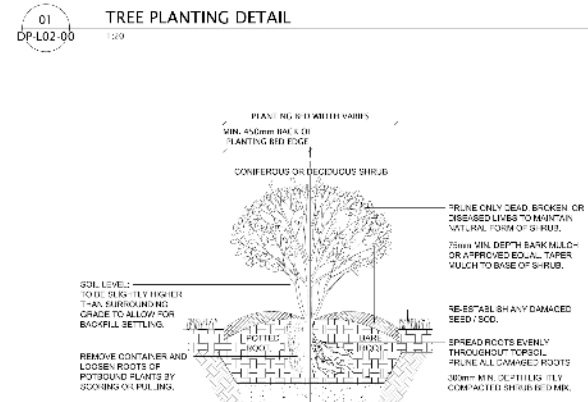
- ROCK STACK WALLS SHALL BE CONSTRUCTED USING NATIVE BOULDERS. BOULDERS SHOULD BE ANGULAR IN SHAPE AND REASONABLY UNIFORM IN SHAPE AND SIZE. ROUND BOULDERS SHOULD BE AVOIDED IN CONSTRUCTION OF ROCK STACK WALLS.
- BOULDERS FOR ROCK STACK WALLS SHALL BE NO SMALLER THAN 100MM WIDTH (100MM FACE) 100MM DEPTH AND 100MM HEIGHT. BOULDERS SHOULD BE REASONABLY UNIFORM IN SHAPE AND SIZE. ROUND BOULDERS SHOULD BE AVOIDED IN CONSTRUCTION OF ROCK STACK WALLS.
- BOULDERS FOR ROCK STACK WALLS SHALL BE APPROVED BY LANDSCAPE CONSULTANT PRIOR TO USE. BOULDERS SHALL BE PLACED UNDER SUPERVISION OF THE LANDSCAPE CONSULTANT UNLESS EXPRESS PERMISSION IS OTHERWISE OBTAINED FROM LANDSCAPE CONSULTANT.
- BOULDERS SHALL BE PLACED IN A MANNER THAT ALL BOULDERS ARE FULLY EXPOSED. UNWANTED OR EXCESSIVE BOULDERS SHALL BE REMOVED FROM THE SITE PRIOR TO COMMENCING CONSTRUCTION.



09 BENCH DETAIL
1:20

NOTES:

- BENCHES TO BE 400MM x 400MM x 20MM, PINE WOOD OR SIMILAR APPROVED.
- BENCH TO BE FINISHED WITH APPROXIMATE FINE TEXTURE (WHITE FINISH).
- CONTRACTOR TO FOLLOW ALL APPLICABLE SPECIFICATIONS.



02 SHRUB PLANTING DETAIL
1:20

LANDSCAPE NOTES:

- ALL LANDSCAPE CONSTRUCTION MATERIALS AND TECHNIQUES SHALL MEET THE MINIMUM REQUIREMENTS OF THE OMA STANDARDS.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED BY THE LANDSCAPE CONSULTANT UNLESS APPROVED BY THE LANDSCAPE CONSULTANT IN WRITING PRIOR TO SUBMITTING TO SITE. ALL PLANT MATERIALS SHALL BE INSTALLED AS SPECIFIED ON THE DRAWINGS AND SHALL BE PLANT MATERIAL THAT MEETS THE SPECIFICATIONS AND IS AVAILABLE IN CANADA. ALL PLANT MATERIALS SHALL BE INSTALLED AS SPECIFIED ON THE DRAWINGS AND ASSOCIATED SPECIFICATIONS SHALL BE REVISED AND REPLACED WITH PLANT MATERIAL THAT MEETS THE ABOVE MENTIONED REQUIREMENTS AT THE CONTRACTOR'S SOLE EXPENSE.
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- THE CONTRACTOR SHALL OBTAIN ALL THE CONTRACTOR'S SOLE EXPENSE. ALL UTILITY LOCATIONS PRIOR TO COMMENCING WORK AND ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OR TOWN AUTHORITY REQUIREMENTS.

LANDSCAPE NOTES:

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- ALL PLANTING OF SPECIES IS TO BE INSTALLED AS SPECIFIED ON THE DRAWINGS.
- ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE FEATURES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REPAIRABLE, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY REQUIREMENTS.
- ALL SITE GRADERS SHALL MATCH EXISTING GRADERS OF ADJACENT LANDS, WITH GRADING CONFINED TO THE SITE.
- THE CONTRACTOR SHALL OBTAIN ALL THE CONTRACTOR'S SOLE EXPENSE. ALL UTILITY LOCATIONS PRIOR TO COMMENCING WORK AND ALL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OR TOWN AUTHORITY REQUIREMENTS.

PLANT MATERIAL WARRANTY:

THE CONTRACTOR SHALL WARRANT THAT THE PLANT MATERIAL WILL BE AVAILABLE TO THE CLIENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTITUTION, WHEREAPTO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR WILL UNDERWRITE AND/OR MAKE GOOD THE COST OF REPLACEMENT PLANT MATERIAL THAT WILL BE REPLACED BY THE CONTRACTOR.

THE CONSULTANT RESERVES THE RIGHT TO EXTEND THE CONTRACTOR'S WARRANTY AND RESPONSIBILITY FOR AN ADDITIONAL YEAR AT THE END OF THE WARRANTY PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR WILL UNDERWRITE AND/OR MAKE GOOD THE COST OF REPLACEMENT PLANT MATERIAL THAT WILL BE REPLACED BY THE CONTRACTOR.

THE CONTRACTOR SHALL EXTEND THE WARRANTY ON ALL REPLACEMENT PLANT MATERIAL FOR ONE YEAR. REPLACEMENT PLANTS SHALL BE PLANTING OF SPECIES AND TYPES AS SPECIFIED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OR TOWN AUTHORITY REQUIREMENTS.

THE CONTRACTOR SHALL EXTEND THE WARRANTY ON ALL REPLACEMENT PLANT MATERIAL TO THE SATISFACTION OF THE CONSULTANT.

IRRIGATION SYSTEMS:

- THE CONTRACTOR SHALL SUPPLY AND INSTALL A FULLY FUNCTIONAL AUTOMATIC PROGRAMMABLE IRRIGATION SYSTEM. IRRIGATION SYSTEMS SHALL BE DESIGNED IN SUCH A MANNER THAT ALL AREAS INCLUDING LAWNS, BEDS, PLANTERS, GROUNDS, AND GREEN ROOFS, WHETHER EXISTING OR NEW, ARE WATERED IN THE MOST EFFICIENT MANNER WHILE PROVIDING FULL COVERAGE. ONLY LANDSCAPE ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN OF THE IRRIGATION SYSTEM.
- SYSTEM CONFIGURATION WILL VARY DEPENDING ON PLANT VARIETY AND LANDSCAPE AREA. ANY OVERLAPPING OR UNNECESSARY SPRAY PATTERNS ARE TO BE KEPT TO A MINIMUM. SYSTEM INSPECTIONS AND NOZZLE ADJUSTMENTS ARE TO BE MADE AFTER THE INSTALLATION IS COMPLETE AND AT THE START OF EVERY GROWING SEASON. NOZZLES SHOULD BE REPLACED EVERY YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PLANTS CAUSED BY OVER OR UNDER WATERING.
- ONCE ESTABLISHED, ONE INCH OF WATER PER WEEK SHALL BE IRRIGATED ON ALL LAWN AREAS. TREES, SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES WILL BE IRRIGATED ACCORDING TO THEIR NEEDS. DRIPS SYSTEMS ARE RECOMMENDED FOR TREES. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO PLANTS CAUSED BY OVER OR UNDER WATERING.
- IRRIGATION PLANS SHALL BE PREPARED BY A QUALIFIED IRRIGATION CONSULTANT AND INSTALLED BY A PROFESSIONALLY CERTIFIED IRRIGATION INSTALLER. CONTRACTOR SHALL PROVIDE MANUALS AND TOOLS, REDUCED FOR SYSTEM OPERATION, TO THE OWNER UPON SYSTEM COMPLETION. AS BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE OWNER.
- ALL UNDERGROUND IRRIGATION SYSTEMS ARE TO BE FOLLOWED WITH A HIGH FLOW SHUTOFF VALVE AND BACKFLOW PREVENTION VALVE. ALL DOWN SPOUTS ARE TO BE DIRECTED AWAY FROM FOUNDATIONS AND INTO SHRUB BEDS OR TREE WELLS WHERE PRACTICAL.

DATE	ISSUED FOR	REV
2019-02-27	ISSUED FOR DP	A
2019-07-12	DP-1	E

This drawing has been prepared solely for the use of the CLIENT and these are the representations of the architect and not a contract. The drawings shall not be used for construction purposes until the work has been signed and sealed by the Architect or Engineer.

Project Consultant:
DEVELOPMENT PERMIT SITE 'G'
Koupin

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: Architects
Electrical: Electric

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'G' - TOWNHOMES
1455 MAIN DRIVE SW, Medicine Hill
Village District, Calgary, AB

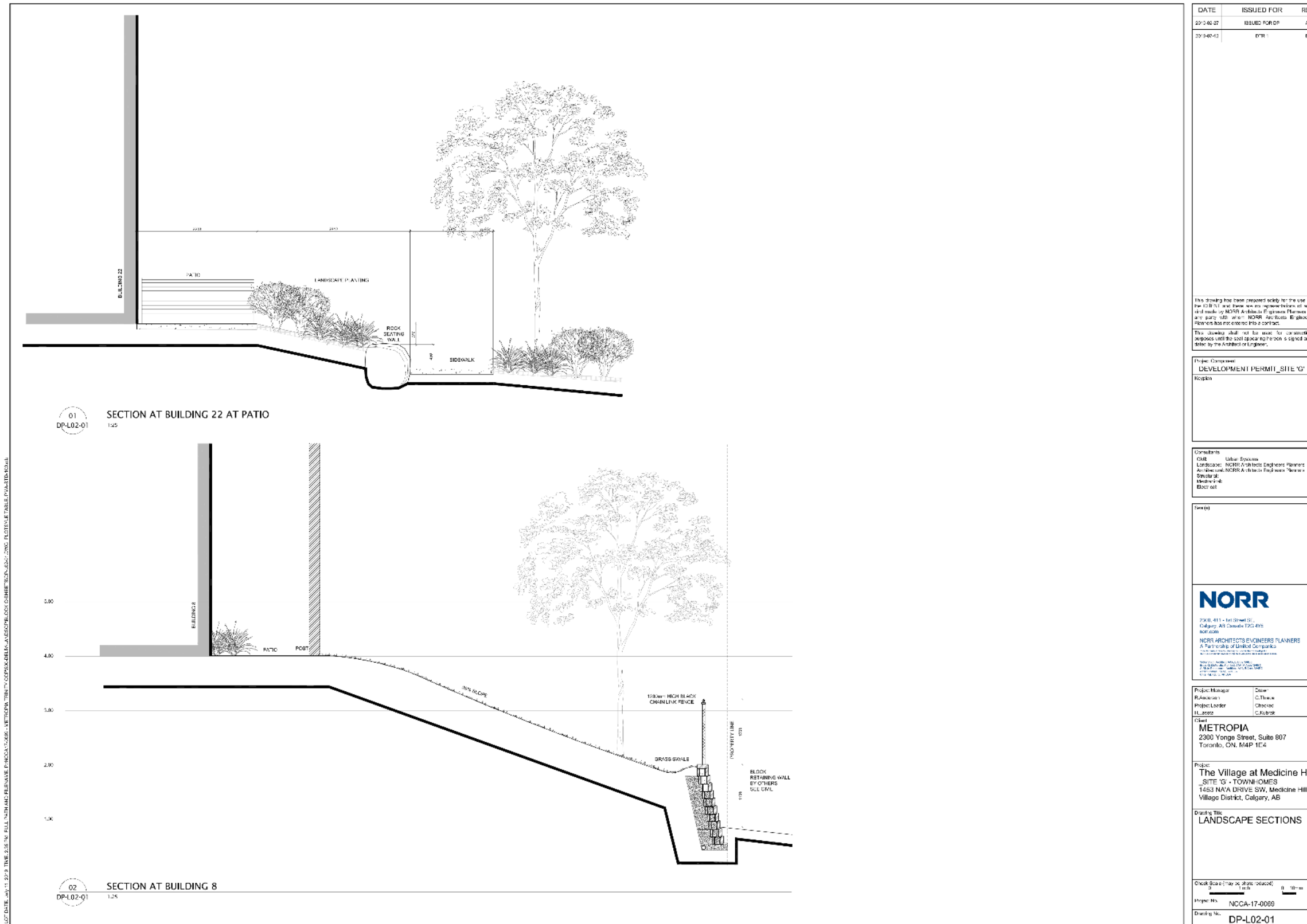
Drawing Title:
LANDSCAPE DETAILS AND GENERAL NOTES

Check Scale: 1:20 (1:50) 1:100 1:200 1:500 1:1000 1:2000 1:5000 1:10000

Project No.: **NCCA-17-0060**

Drawing No.: **DP-L02-00**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-02-27	ISSUED FOR DP	A
2019-07-12	DP 1	B

This drawing has been prepared solely for the use of the CLIENT and these are the representations of the work made by NORR Architects Engineers Planners to any party who enters into a contract with NORR Architects Engineers Planners. It shall not be used for any other purpose until the work has been signed and sealed by the Architect or Engineer.

Project Component:
DEVELOPMENT PERMIT SITE 'G'
Koopke

Consultants:
Civil: Urban Systems Engineers Planners
Landscape: NORR Architects Engineers Planners
Architect: NORR Architects Engineers Planners
Structural: MetroPia
Electrical: Electrol

Drawn by:
NORR
2000, 411 - 1st Street SW,
Calgary, AB Canada T2G 4R6
403.266.4000
nor.com
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
NORR ARCHITECTS ENGINEERS PLANNERS
NORR ARCHITECTS ENGINEERS PLANNERS
NORR ARCHITECTS ENGINEERS PLANNERS
NORR ARCHITECTS ENGINEERS PLANNERS

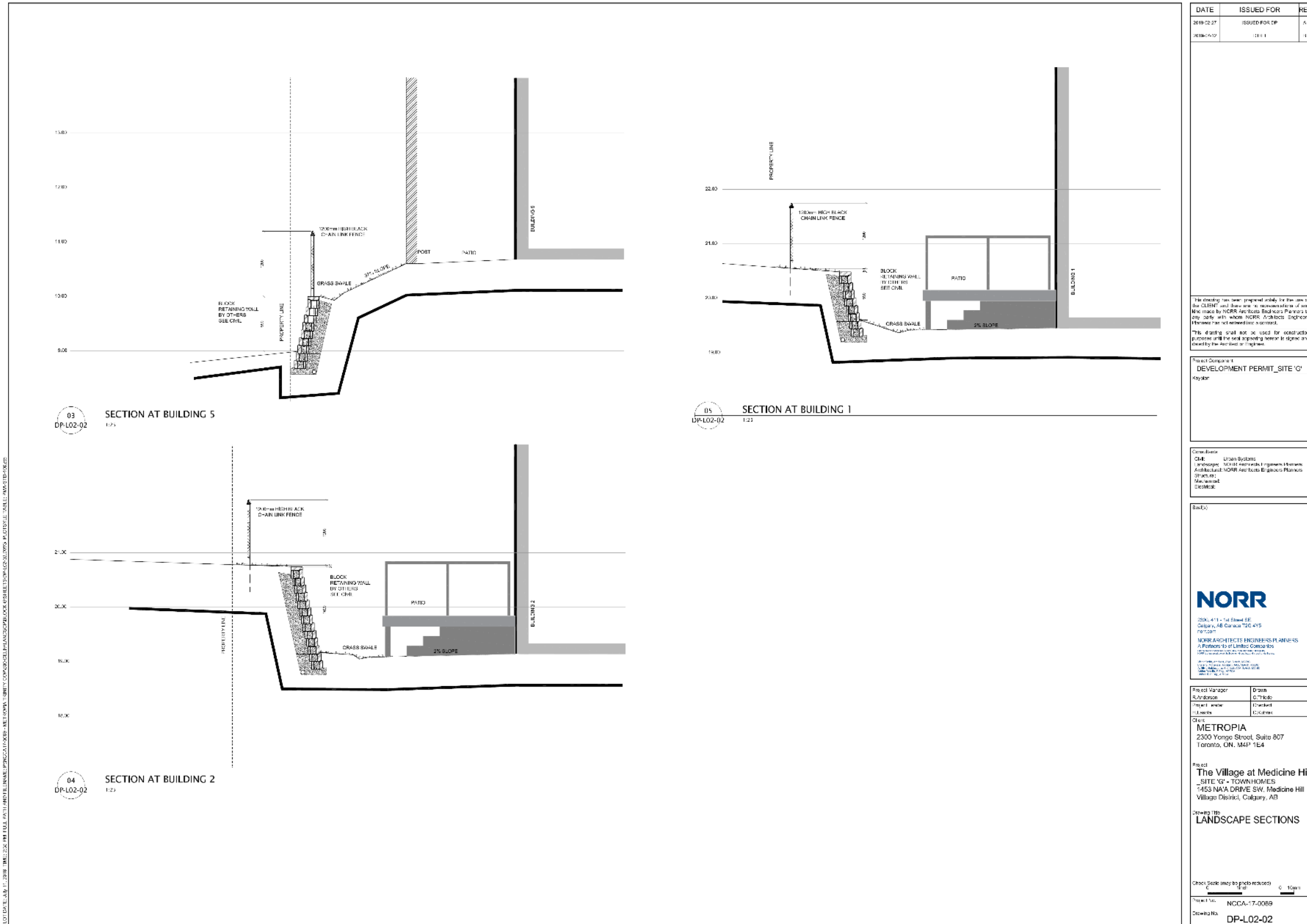
Project Manager: R. Anderson
Project Leader: M. J. J. J.
Client: **METROPIA**
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project: **The Village at Medicine Hill**
SITE 'G' - TOWN HOMES
1455 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title: **LANDSCAPE SECTIONS**

Check Scale (mm): 0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100
Project No: **NCCA-17-0060**
Drawing No: **DP-L02-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-02-27	ISSUED FOR DP	A
2019-04-17	REVISED	B

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Project Component:
DEVELOPMENT PERMIT SITE 'G'
Keyplan

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners & Scientists
Structural: NORR Architects Engineers Planners & Scientists
Mechanical: Electrical

NORR
2500, 4th + 7th Street SE
Calgary, AB Canada T2C 4Y5
REG-2297
NORR ARCHITECTS ENGINEERS PLANNERS & SCIENTISTS
A Partnership of Limited Companies
1100 - 11th Street SW
Calgary, Alberta T2P 1K1
www.norr.ca

Project Manager S. Anderson	Drawn C. Thibodeau
Project Engineer J. Lewis	Checked C. Thibodeau

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

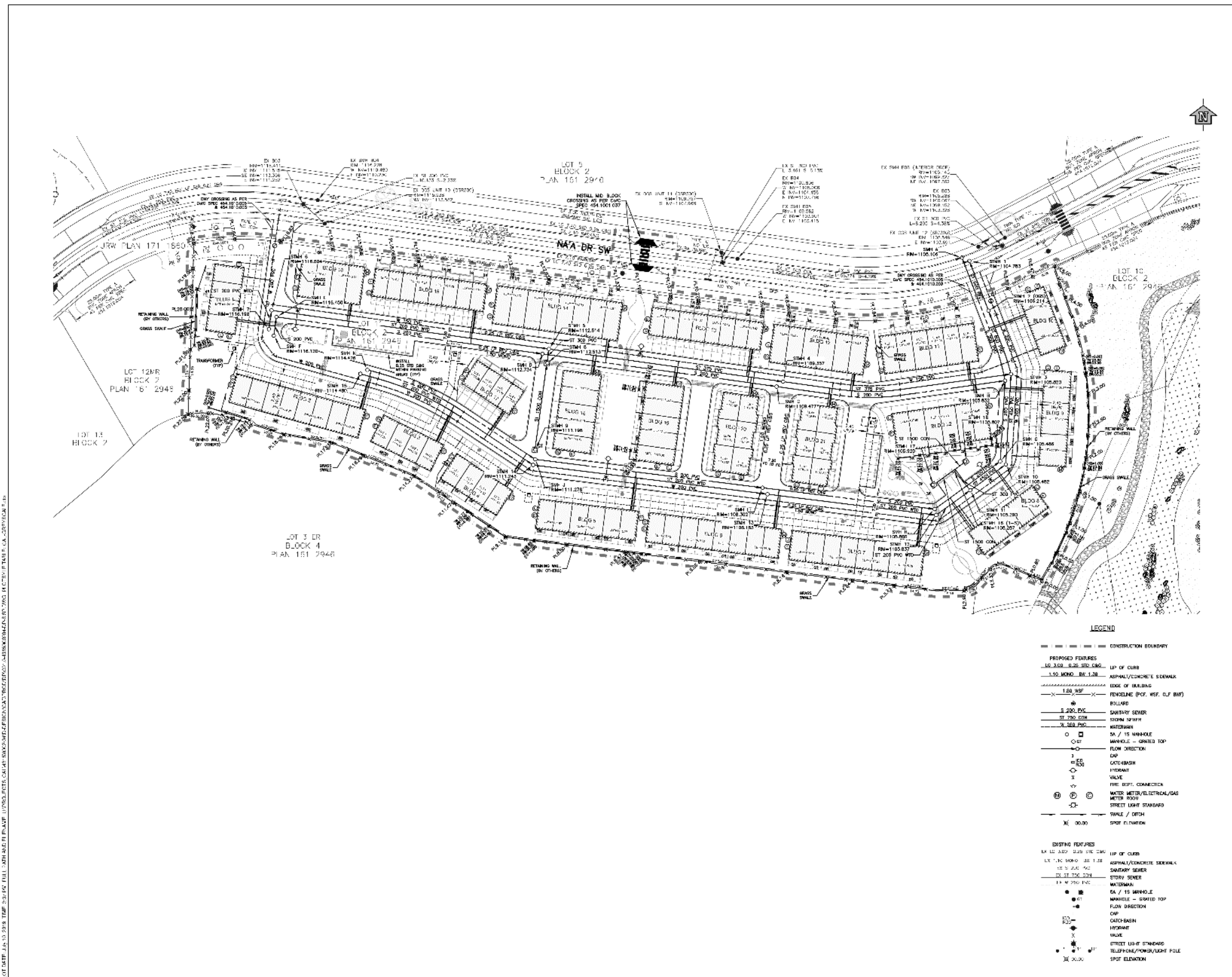
Project:
The Village at Medicine Hill
SITE 'G' - TOWN HOMES
1453 N.A.A. DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
LANDSCAPE SECTIONS

Check/Scale/Date by: [Signature] [Date] [Scale]

Project No.: NCCA-17-0069
Drawing No.: DP-L02-02

Development Permit Plans



DATE	ISSUED FOR	REV
15-07-21	DP'S, ILM'S ON	
15-07-10	DP APPROVAL	

The drawings were prepared under the supervision of a Professional Engineer and are not to be used for any other purpose without the written consent of the Engineer.

Project Designer:
SITE G, THE VILLAGE

Inspector:

Consultants:
Civil: L. J. Parsons
Landscape: R. J. Parsons
Architectural: R. J. Parsons
Structural: R. J. Parsons
Mechanical: R. J. Parsons
Electrical: R. J. Parsons

Scale:

URBAN systems
100 - 10000000 ST
CALGARY, ALBERTA T2C 0G5
urbansystems.ca

Project Manager:	Drawn:
Project Leader:	Checked:
Client:	Plotted:

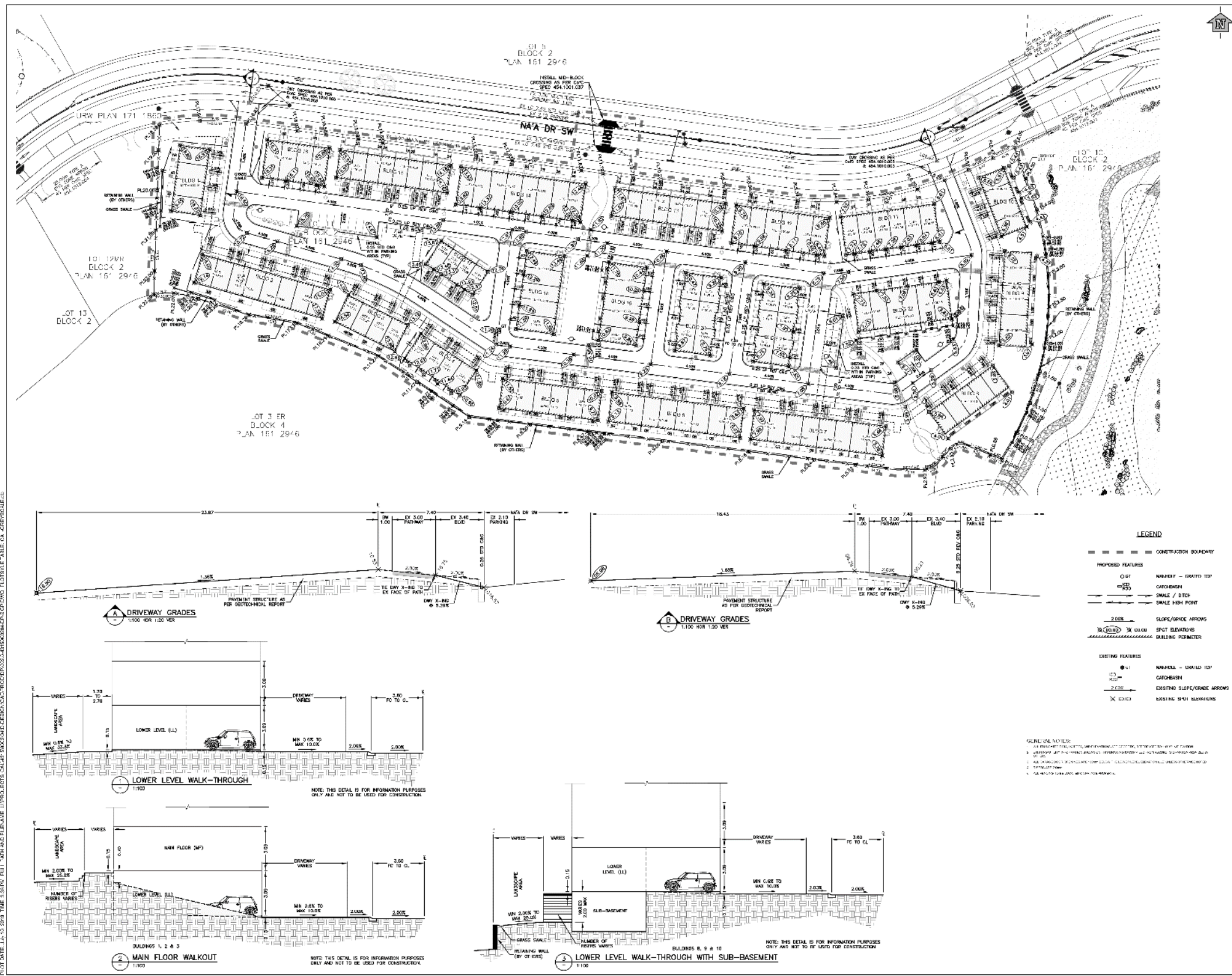
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village
1453 NAA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
SITE SERVICING PLAN

Drawn: R. J. Parsons
Scale: 1:1000
Project No.: 4315.0002.04
Drawing No.: C01.0

Development Permit Plans



DATE	ISSUED FOR	REV
15-07-21	DP APPROVAL	
15-07-10	DP APPROVAL	

The drawings were prepared solely for the use of the client and are not to be used for any other purpose without the written consent of the Architect/Engineer. The drawings shall not be used for construction purposes without the approval of the Architect/Engineer.

Project Developer:
SITE G. THE VILLAGE

Contractor:
Urban Systems
2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4
urban-systems.ca

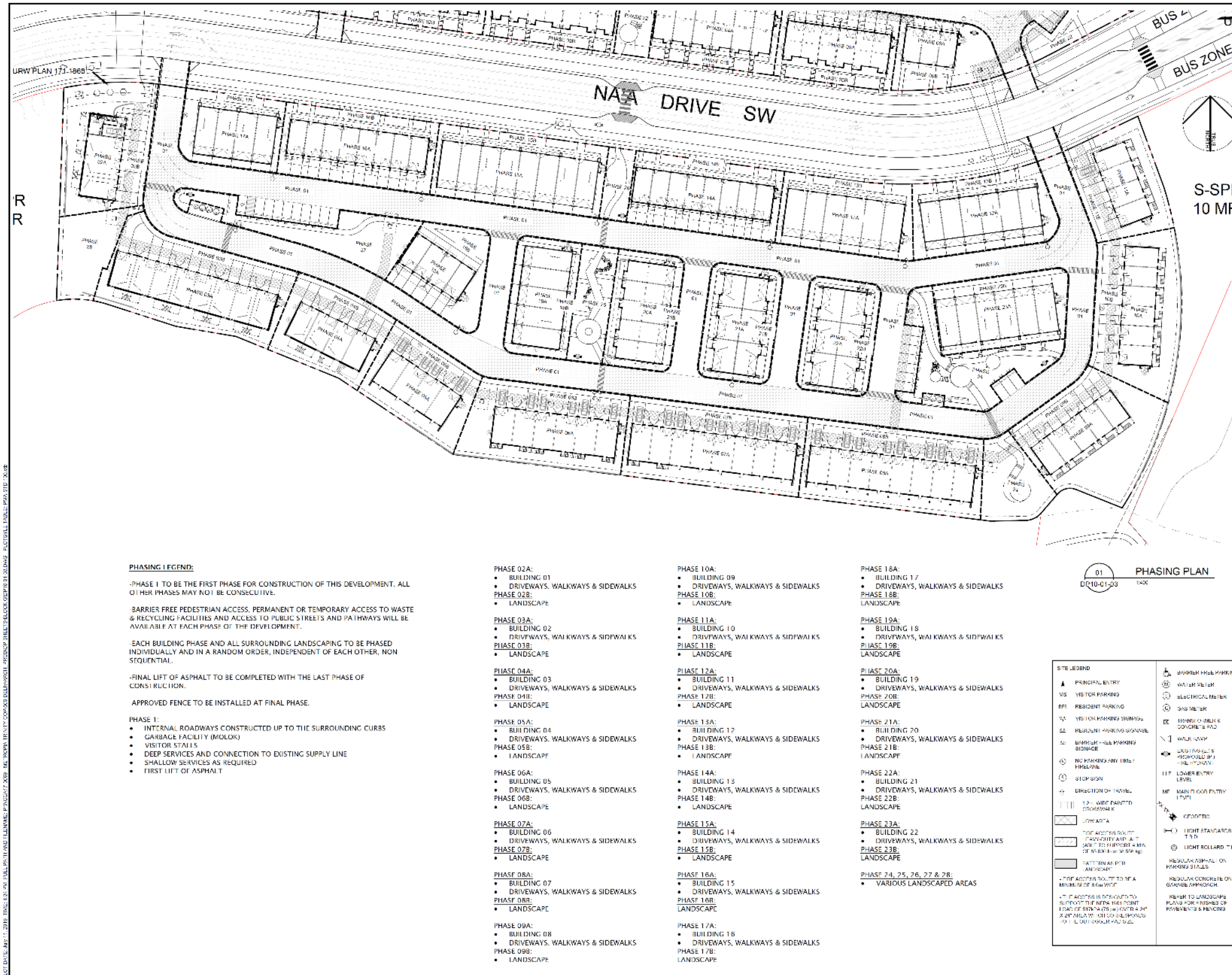
Project Manager: [Name]
Project Engineer: [Name]
Project Planner: [Name]
Client: METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village
1453 NAA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
SITE GRADING PLAN

Drawn: [Name]
Checked: [Name]
Project No.: 4315.0002.04
Drawing No.: C02.0

Development Permit Plans



DATE	ISSUED FOR	REV
27/02/21	DEVELOPMENT PERMIT	A
22/07/22	STRA RESPONSE	B

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and sealed by the Architect or Engineer.

Project Name:
DEVELOPMENT PERMIT SITE 'G'

Register:

Drawn by:
Chit Looan Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical: NORR Architects Engineers Planners
Electrical: NORR Architects Engineers Planners

Scale:

NORR

2300 41st Street SE
Calgary, AB Canada T2C 4Y1
www.norr.com

NORR ARCHITECTS ENGINEERS PLANNERS
& PARTNERSHIP OF LIMITED COMPANIES

Project Manager: Daren
Responsible: J. Loo
Project Leader: Doreen
H. Loo
M. Loo
M. Loo

Client:
METROPIA
2300 Yonge Street, Suite 607
Toronto, ON M4P 1E4

Project:
The Village at Medicine Hill
SITE 'G' - CIVIL/MECHANICAL
1455 NAA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
PHASING PLAN

Client Scale: 1mm = 1m (as indicated)
Project No.: NCCA-17-0089
Drawing No.: DP10-01-03

PHASING LEGEND:

- PHASE 1 TO BE THE FIRST PHASE FOR CONSTRUCTION OF THIS DEVELOPMENT. ALL OTHER PHASES MAY NOT BE CONSECUTIVE.
- BARRIER FREE PEDESTRIAN ACCESS, PERMANENT OR TEMPORARY ACCESS TO WASTE & RECYCLING FACILITIES AND ACCESS TO PUBLIC STREETS AND PATHWAYS WILL BE AVAILABLE AT EACH PHASE OF THE DEVELOPMENT.
- EACH BUILDING PHASE AND ALL SURROUNDING LANDSCAPING TO BE PHASED INDIVIDUALLY AND IN A RANDOM ORDER, INDEPENDENT OF EACH OTHER, NON SEQUENTIAL.
- FINAL LIFT OF ASPHALT TO BE COMPLETED WITH THE LAST PHASE OF CONSTRUCTION.
- APPROVED FENCE TO BE INSTALLED AT FINAL PHASE.
- PHASE 1:**
 - INTERNAL ROADWAYS CONSTRUCTED UP TO THE SURROUNDING CURBS
 - GARBAGE FACILITY (MOLOK)
 - VISITOR STALLS
 - DEEP SERVICES AND CONNECTION TO EXISTING SUPPLY LINE
 - SHALLOW SERVICES AS REQUIRED
 - FIRST LIFT OF ASPHALT

PHASE 02A:

- BUILDING 01
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 02B:
- LANDSCAPE

PHASE 03A:

- BUILDING 02
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 03B:
- LANDSCAPE

PHASE 04A:

- BUILDING 03
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 04B:
- LANDSCAPE

PHASE 05A:

- BUILDING 04
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 05B:
- LANDSCAPE

PHASE 06A:

- BUILDING 05
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 06B:
- LANDSCAPE

PHASE 07A:

- BUILDING 06
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 07B:
- LANDSCAPE

PHASE 08A:

- BUILDING 07
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 08B:
- LANDSCAPE

PHASE 09A:

- BUILDING 08
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 09B:
- LANDSCAPE

PHASE 10A:

- BUILDING 09
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 10B:
- LANDSCAPE

PHASE 11A:

- BUILDING 10
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 11B:
- LANDSCAPE

PHASE 12A:

- BUILDING 11
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 12B:
- LANDSCAPE

PHASE 13A:

- BUILDING 12
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 13B:
- LANDSCAPE

PHASE 14A:

- BUILDING 13
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 14B:
- LANDSCAPE

PHASE 15A:

- BUILDING 14
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 15B:
- LANDSCAPE

PHASE 16A:

- BUILDING 15
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 16B:
- LANDSCAPE

PHASE 17A:

- BUILDING 16
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 17B:
- LANDSCAPE

PHASE 18A:

- BUILDING 17
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 18B:
- LANDSCAPE

PHASE 19A:

- BUILDING 18
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 19B:
- LANDSCAPE

PHASE 20A:

- BUILDING 19
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 20B:
- LANDSCAPE

PHASE 21A:

- BUILDING 20
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 21B:
- LANDSCAPE

PHASE 22A:

- BUILDING 21
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 22B:
- LANDSCAPE

PHASE 23A:

- BUILDING 22
- DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 23B:
- LANDSCAPE

PHASE 24, 25, 26, 27 & 28:

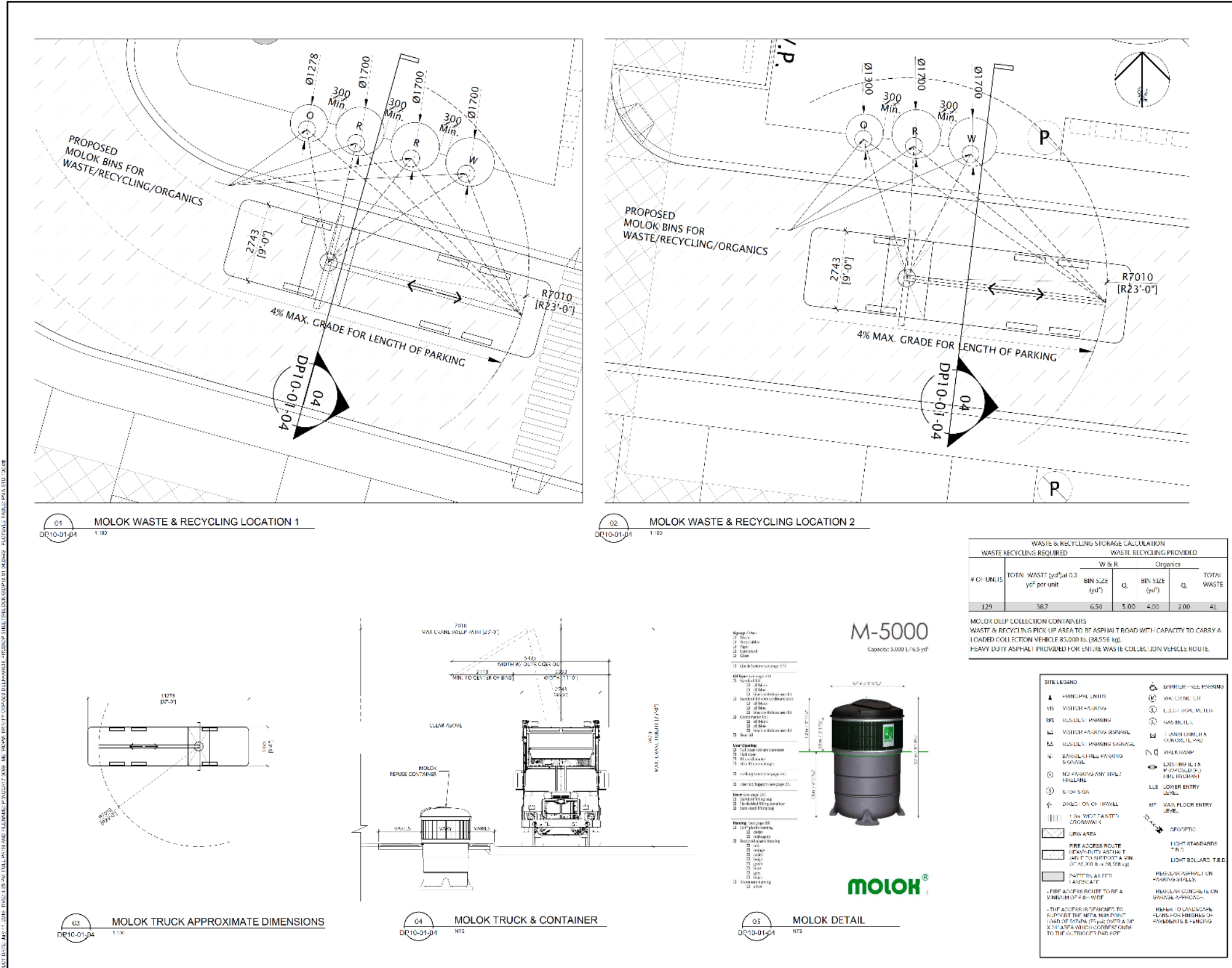
- VARIOUS LANDSCAPED AREAS

01 PHASING PLAN
DP10-01-03 1:400

SITE LEGEND

▲ PRINCIPAL ENTRY	⊕ WALKWAY MARKING
○ VISITOR PARKING	⊖ ELECTRICAL METER
□ RESIDENT PARKING	⊖ GAS METER
○ VISITOR PARKING SIGNAGE	⊖ TRANSFORMER & CONDUIT RIG
□ RESIDENT PARKING SIGNAGE	⊖ WALKWAY
○ BARRIER FREE PARKING SIGNAGE	⊖ WALKWAY & DRIVEWAY WITH 1:12 SLOPE
○ NO PARKING ANY TIME MARKING	⊖ LOWER ENTRY LEVEL
○ STOP SIGN	⊖ MAIN FLOOR ENTRY POINT
➔ DIRECTION OF TRAVEL	⊖ GRADING
➔ 1:2 WIDE PAINTED DRIVEWAY	⊖ LIGHT STANDARDS T10
⊖ LOW AREA	⊖ LIGHT COLLARD T10
⊖ TOP AREA SOUTH (AVAILABILITY AND ALT. SIGN TO SUPPORT 4 MINS. OF 90 MIN. IN 90 MIN. NO.)	⊖ REGULAR ASPHALT ON PARKING STALLS
⊖ TOP AREA NORTH (AVAILABILITY AND ALT. SIGN TO SUPPORT 4 MINS. OF 90 MIN. IN 90 MIN. NO.)	⊖ REGULAR CONCRETE ON GARAGE APPROACH
⊖ TOP AREA SOUTH (AVAILABILITY AND ALT. SIGN TO SUPPORT 4 MINS. OF 90 MIN. IN 90 MIN. NO.)	⊖ REGULAR CONCRETE ON PARKING STALLS
⊖ TOP AREA NORTH (AVAILABILITY AND ALT. SIGN TO SUPPORT 4 MINS. OF 90 MIN. IN 90 MIN. NO.)	⊖ REGULAR CONCRETE ON GARAGE APPROACH

Development Permit Plans



DATE	ISSUED FOR	REV
27/02/21	DEVELOPMENT PERMIT	A
22/07/22	DMR RESPONSE	B

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and sealed by the Architect or Engineer.

Project Consultant:
DEVELOPMENT PERMIT - SITE 'G'

Register:

Drawings:
 Civil: Urban Systems
 Landscape: Urban Systems Engineers Planners
 Architectural: NORR Architects Engineers Planners
 Mechanical: Urban Systems
 Electrical: Urban Systems
 Structural: Urban Systems

Project Manager: [Name]
 Project Leader: [Name]
 Designer: [Name]

METROPIA
 2300 Yonge Street, Suite 607
 Toronto, ON M4P 1E4

Project:
The Village at Medicine Hill
 - SITE 'G' - CORE HOMES
 1155 NAVA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
WASTE & RECYCLING

Check State (under or grade indicators):
 0' 10' 20'

Project No.: NCCA-17-0089

Drawing No.: DP10-01-04

Development Permit Plans



DATE	ISSUED FOR	REV
2019-06-07	DEVELOPMENT PERMIT	A
2019-06-07	DEVELOPMENT PERMIT	B

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Project Name: DEVELOPMENT PERMIT SITE '01'

Client: Metro City

Project Location: 2300 Village Street, Suite 807, Toronto, ON M8P 1E1

Project Number: DP10-01-05

Project Date: 2019-06-07

Project Status: Issued

Project Manager: C. Tall

Project Engineer: J. Antone

Client: METROPIA
2300 Village Street, Suite 807
Toronto, ON M8P 1E1

Project: The Village at Medicine Hill
SITES '01' - TOWN-HOMES
7455 NAPA DRIVE SW, Medicine Hill
Village District, Calgary, AB

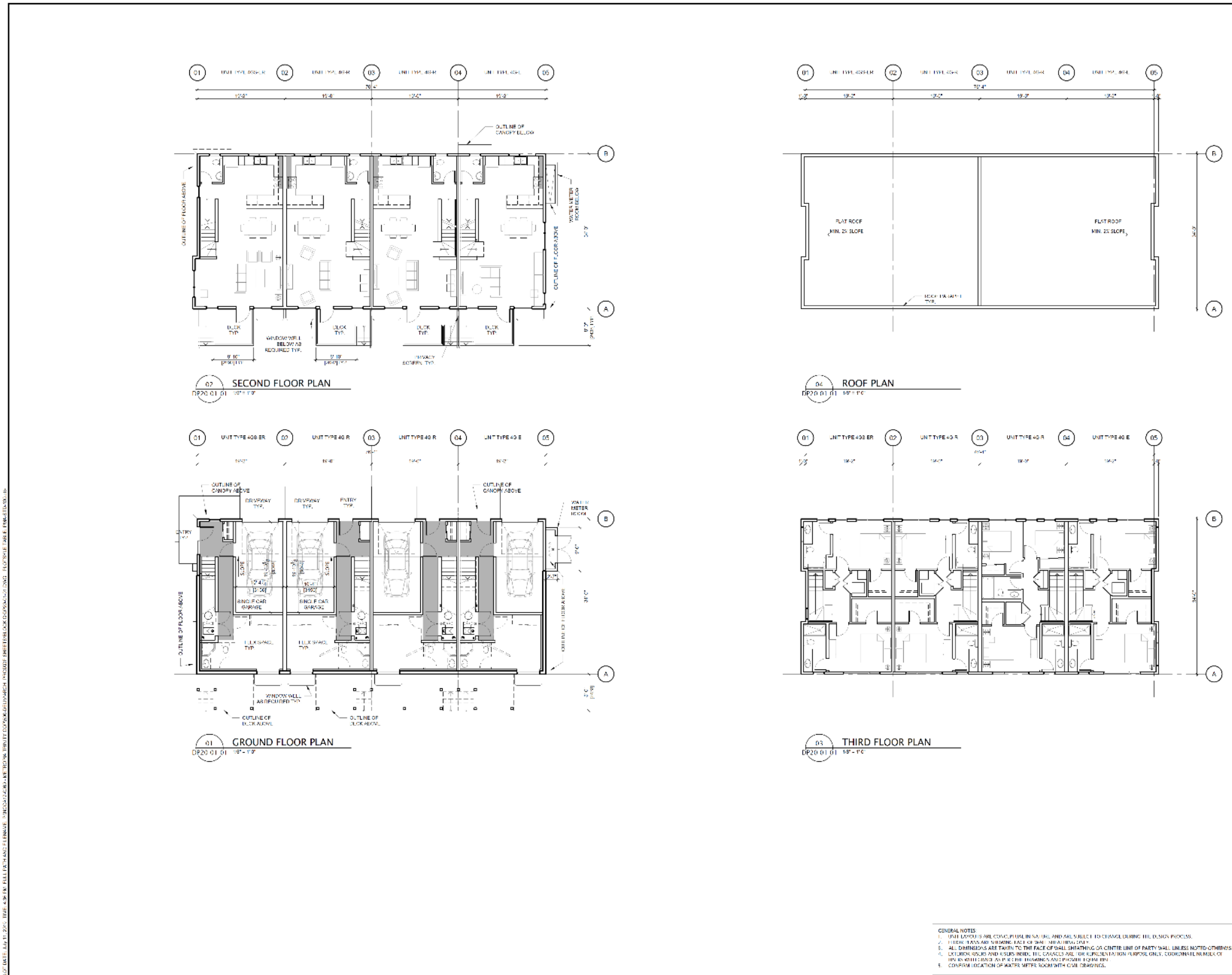
Project Title: SITE SECTIONS

Check State Only the project and work

Project No: NCCA-17-0088

Drawing No: DP10-01-05

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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Project No: **DEVELOPMENT PERMIT SITE 01**
Kosjar

Consultants:
Civil: Other Systems
Landscaping: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K9
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NORR ARCHITECTS ENGINEERS PLANNERS
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10000 Macleod Trail SE, Suite 1000
Calgary, Alberta T2C 1H6
403-243-7777
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Project Manager	Author
D. Anderson	J. Lee
M. Smith	C. Jones
H. White	M. Black

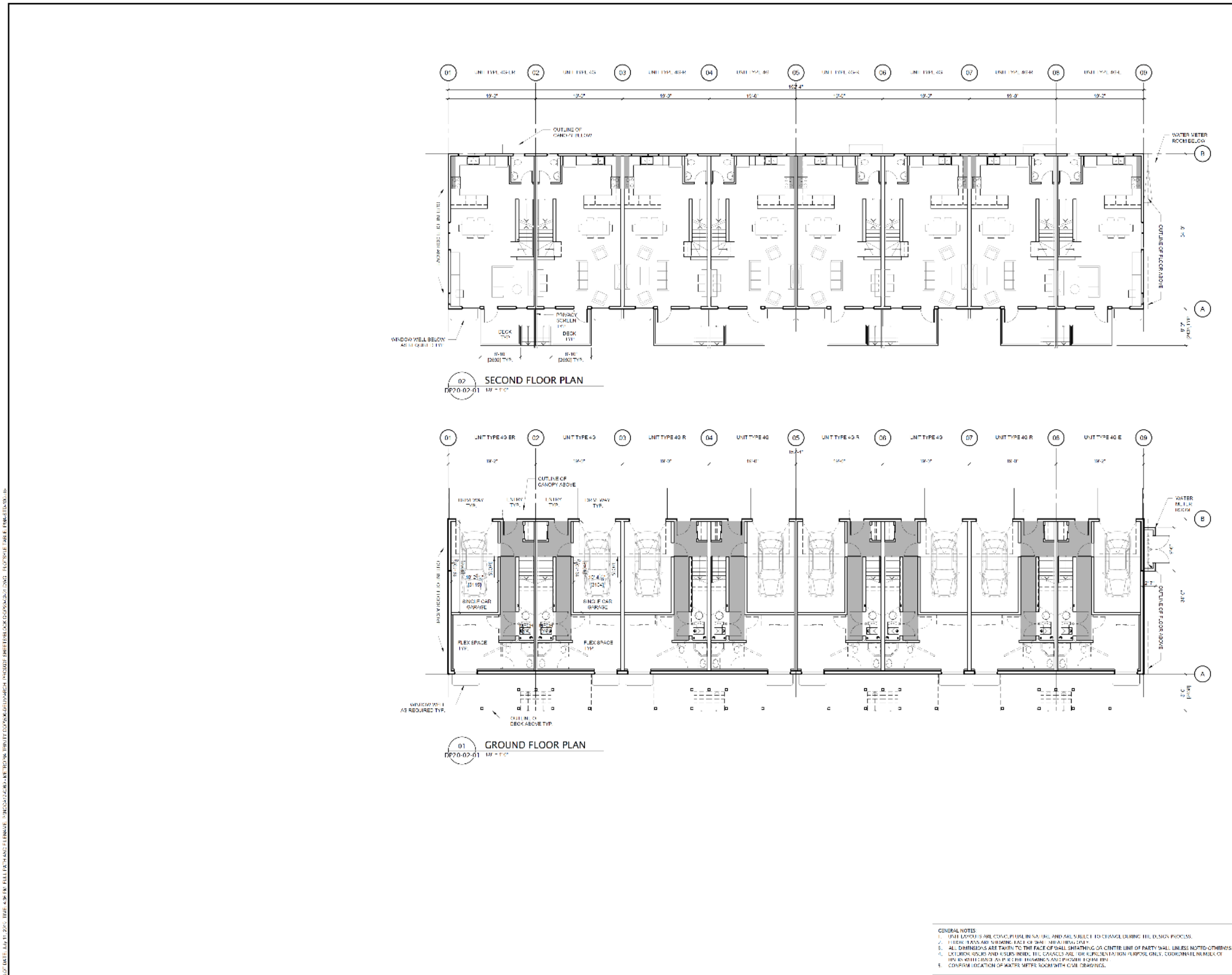
Project:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 01 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 01
FLOOR PLANS & ROOF PLAN
UNIT TYPE 40

Check State (only for printed copies)
Project No: **NCCA-17-0069**
Drawing No: **DP20-01-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DRAW RESPONSE	B

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Project No: **DEVELOPMENT PERMIT SITE 02**
Kosher

Consultants:
Civil: Other Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

NORR
2500 41st Street SW
Calgary, Alberta, Canada T2C 4K5
403.275.1111
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Lend Lease Group
10000 14th Avenue SW
Calgary, Alberta, Canada T2C 1S5
www.norr.ca

Project Manager	Umesh
Project Designer	Umesh
Project Engineer	Umesh
Project Architect	Umesh

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 02 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

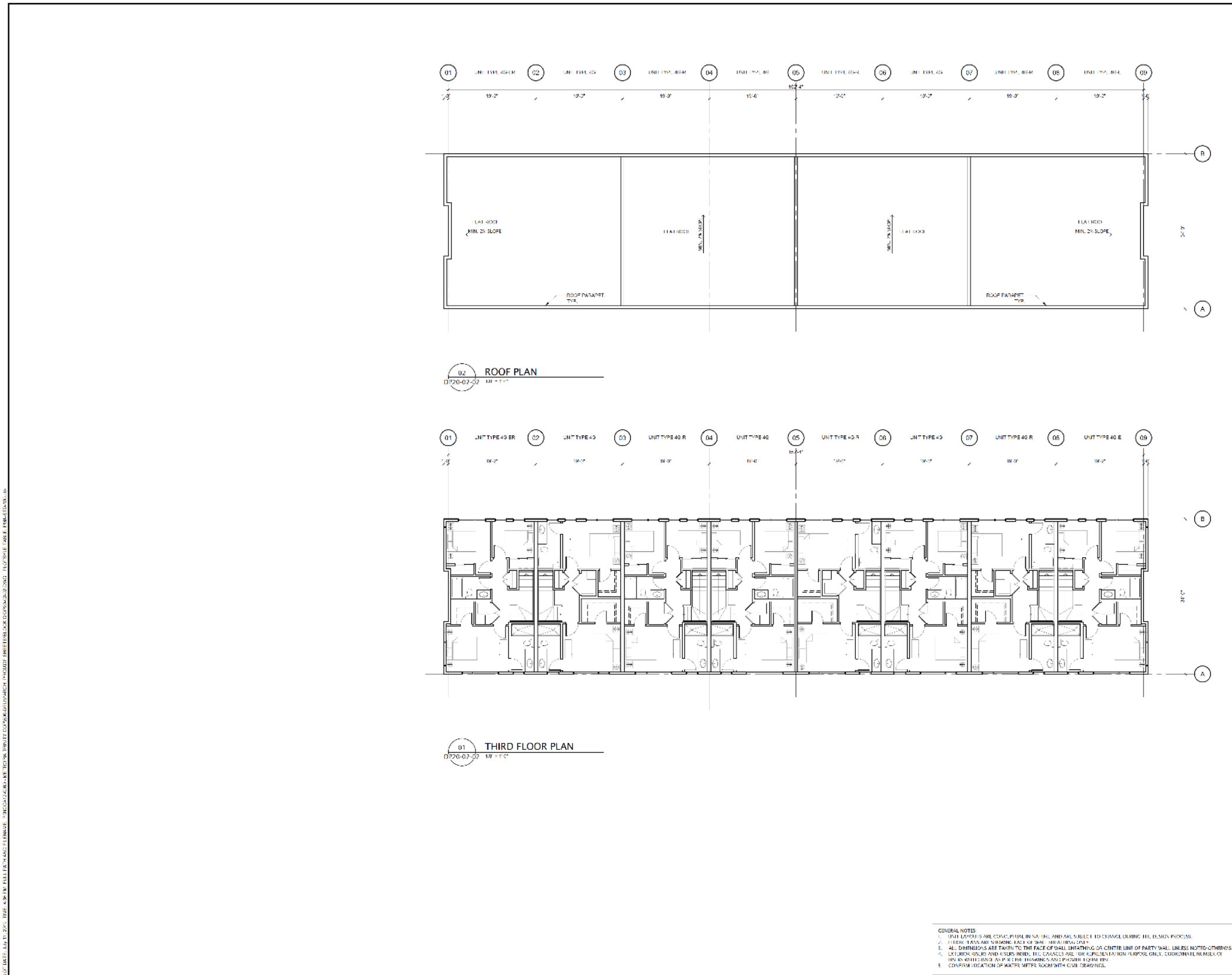
Drawing Title:
BUILDING 02
FLOOR PLANS
UNIT TYPE 4G

Check: Error
 Omissions
 Missing
 Incomplete

Project No: **NCCA-17-0069**

Drawing No: **DP20-02-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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This drawing shall not be used for construction purposes until its use and approval terms is agreed and dated by the Architect and Engineer.

Project No: **DEVELOPMENT PERMIT SITE 02**
Kosgar

Consultants:
Civil: Other Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural:
Mechanical:
Electrical:

Company:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K5
www.norr.com
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the HOK Group
1000 10th Avenue SW
Calgary, Alberta T2C 1E9
www.norr.com

Project Manager	Urban
Designer	Urban
Project Lead	Urban
Project Engineer	Urban

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 02 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 02
FLOOR PLAN & ROOF PLAN
UNIT TYPE 4B

Check Sheet (to be printed with drawing)

Project No: **NCCA-17-009**

Drawing No: **DP20-02-02**

GENERAL NOTES

1. THIS DRAWING IS AN ARCHITECTURAL DRAWING AND IS SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS UNLESS NOTED OTHERWISE.
4. EXISTING CONDITIONS AND SURVEY DATA IS FOR INFORMATION PURPOSE ONLY. CONSULT THE SURVEYOR FOR MORE INFORMATION.
5. CONSULT THE LOCATION OF WATER METRE ROOM WITH CIVIL DRAWINGS.

Development Permit Plans

02 SECOND FLOOR PLAN
DP20-03-01 18'-10"

04 ROOF PLAN
DP20-03-01 18'-10"

01 GROUND FLOOR PLAN
DP20-03-01 18'-10"

03 THIRD FLOOR PLAN
DP20-03-01 18'-10"

GENERAL NOTES

1. UNIT LAYOUT IS AN EXAMPLE ONLY AND IS SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
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3. EXISTING WALLS AND STRUCTURES ARE TO REMAIN UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS UNLESS NOTED OTHERWISE.
5. COORDINATE LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

REVISIONS

DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

Project Information

Project Name: DEVELOPMENT PERMIT SITE 'C'
 Consultant: NORR
 Client: Other Systems
 Discipline: NORR Architects Engineers Planners
 Architectural: NORR Architects Engineers Planners
 Mechanical: NORR Architects Engineers Planners
 Electrical: NORR Architects Engineers Planners
 Civil: NORR Architects Engineers Planners

Company

NORR
 2500, 411 - 1st Street SE
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 NORR ARCHITECTS ENGINEERS PLANNERS
 A member of the HOK Group
 1000 - 10th Street SW
 Calgary, Alberta, Canada T2C 4K5
 403.275.8888
 www.norr.ca

Project

METROPIA
 2500 Yonge Street, Suite 607
 Toronto, ON, M4P 1E4

Project

The Village at Medicine Hill
 SITE 'C' - TOWNHOMES
 1453 NAVA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Project

BUILDING 03
 FLOOR PLANS & ROOF PLAN
 UNIT TYPE 4G

Project

Check Sheet: Approved
 Project No: NCCA-17-0069
 Drawing No: DP20-03-01

Development Permit Plans

02 SECOND FLOOR PLAN
DP20-04-01 1/8" = 1'-0"

01 GROUND FLOOR PLAN
DP20-04-01 1/8" = 1'-0"

04' ROOF PLAN
DP20-04-01 1/8" = 1'-0"

03 THIRD FLOOR PLAN
DP20-04-01 1/8" = 1'-0"

GENERAL NOTES:

1. UNIT LAYOUT IS AN APPROXIMATE LAYOUT AND IS SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. EXISTING WALLS AND STRUCTURE ARE TO REMAIN UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS, PARTING OR CENTRE LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
4. EXISTING ROOF AND SUBSISTERS, THE CONTRACTOR TO BE DETERMINED FOR PURPOSES ONLY. COORDINATE WITH ALL OTHER TRADES.
5. COORDINATE LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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Project No: **DEVELOPMENT PERMIT SITE 04**
Kosar

Consultants:
Civil: Other Systems
Landscaping: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

Company:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K9
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NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Impact Companies
10000 Macleod Trail SE, Suite 1000
Calgary, Alberta, Canada T2C 1M6
www.norr.com

Project Manager	Urban
Designer	Urban
Project Lead	Urban
Project Engineer	Urban

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 04 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 04
FLOOR PLANS & ROOF PLAN
UNIT TYPE 04

Check Sheet (to be printed on A3)
Project No: **NCCA-17-0069**
Drawing No: **DP20-04-01**

Development Permit Plans

02 SECOND FLOOR PLAN
DP20-05-01 1/8" = 1'-0"

04 ROOF PLAN
DP20-05-01 1/8" = 1'-0"

01 GROUND FLOOR PLAN
DP20-05-01 1/8" = 1'-0"

03 THIRD FLOOR PLAN
DP20-05-01 1/8" = 1'-0"

GENERAL NOTES

1. THIS DRAWING IS AN ARCHITECTURAL DRAWING AND IS SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS UNLESS NOTED OTHERWISE.
4. EXISTING WALLS AND STRUCTURE SHALL BE PRESERVED UNLESS OTHERWISE NOTED.
5. COORDINATE LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE **ISSUED FOR** **REV**

2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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Project Information

DEVELOPMENT PERMIT SITE ID:
K0100

Consultants

Cost	Other Systems
Landscaping	NORR Architects Engineers Planners
Architectural	NORR Architects Engineers Planners
Mechanical	
Electrical	

Company

NORR

2500 41st Street SE
Calgary, Alberta, Canada T2C 4K5
www.norr.com

NORR ARCHITECTS ENGINEERS PLANNERS
A member of the HOK Group

Project

METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project

The Village at Medicine Hill
SITE 05 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title

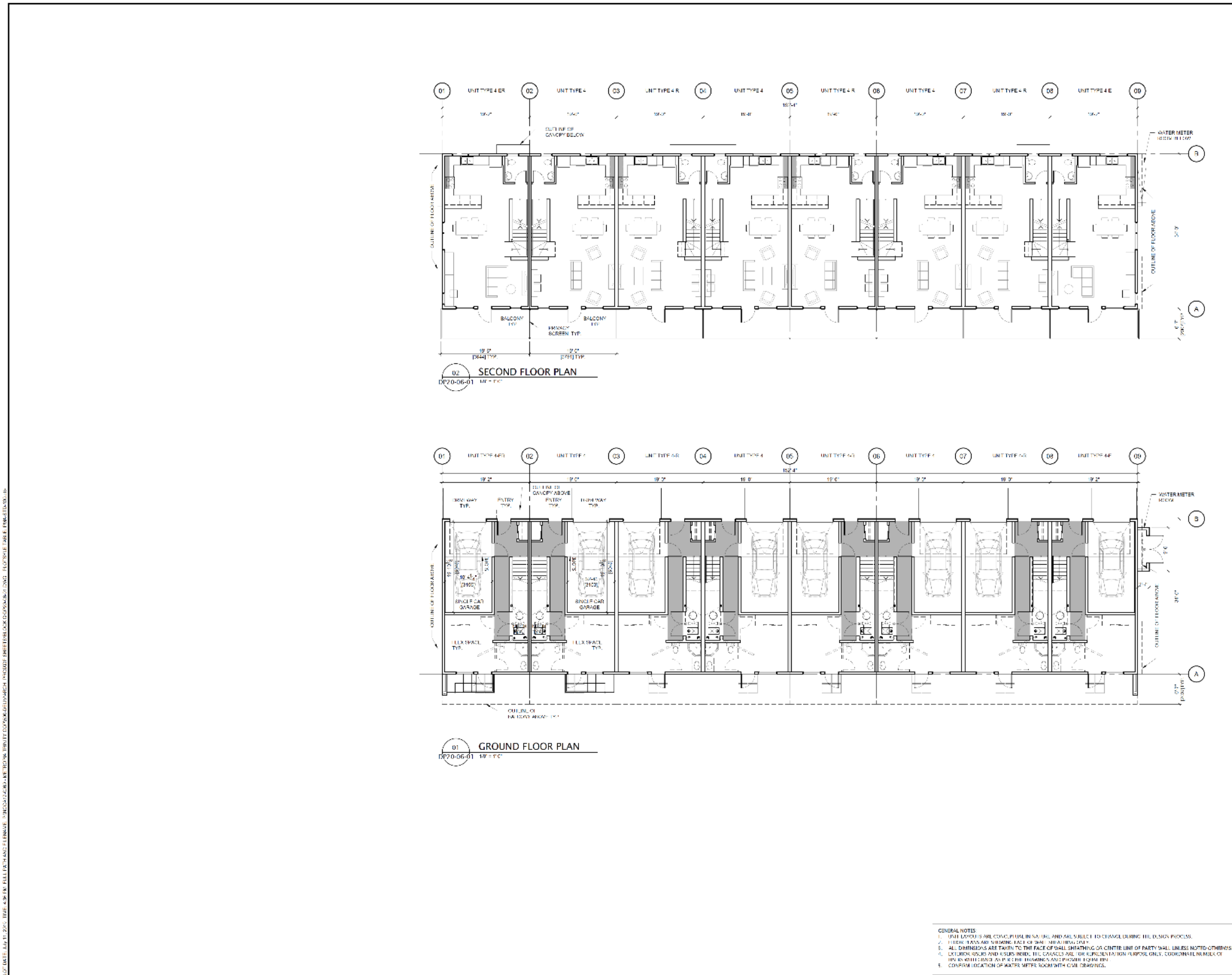
BUILDING 05
FLOOR PLANS & ROOF PLAN
UNIT TYPE 4

Check/Issue/Rev/Date

Project No. **NCCA-17-0069**

Drawing No. **DP20-05-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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Project No: **DEVELOPMENT PERMIT SITE 01**
Kospar

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical: Mechanical
Electrical: Electrical

Company:
NORR
2500 41st - 1st Floor SE
Calgary, Alberta, Canada T2C 4K9
www.norr.com
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Impact Companies
10000 10th Avenue SW, Suite 100
Calgary, Alberta T2C 1E9
www.norr.com

Project Manager	Urban
Project Architect	Urban
Project Engineer	Urban
Project Designer	Urban

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 01 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

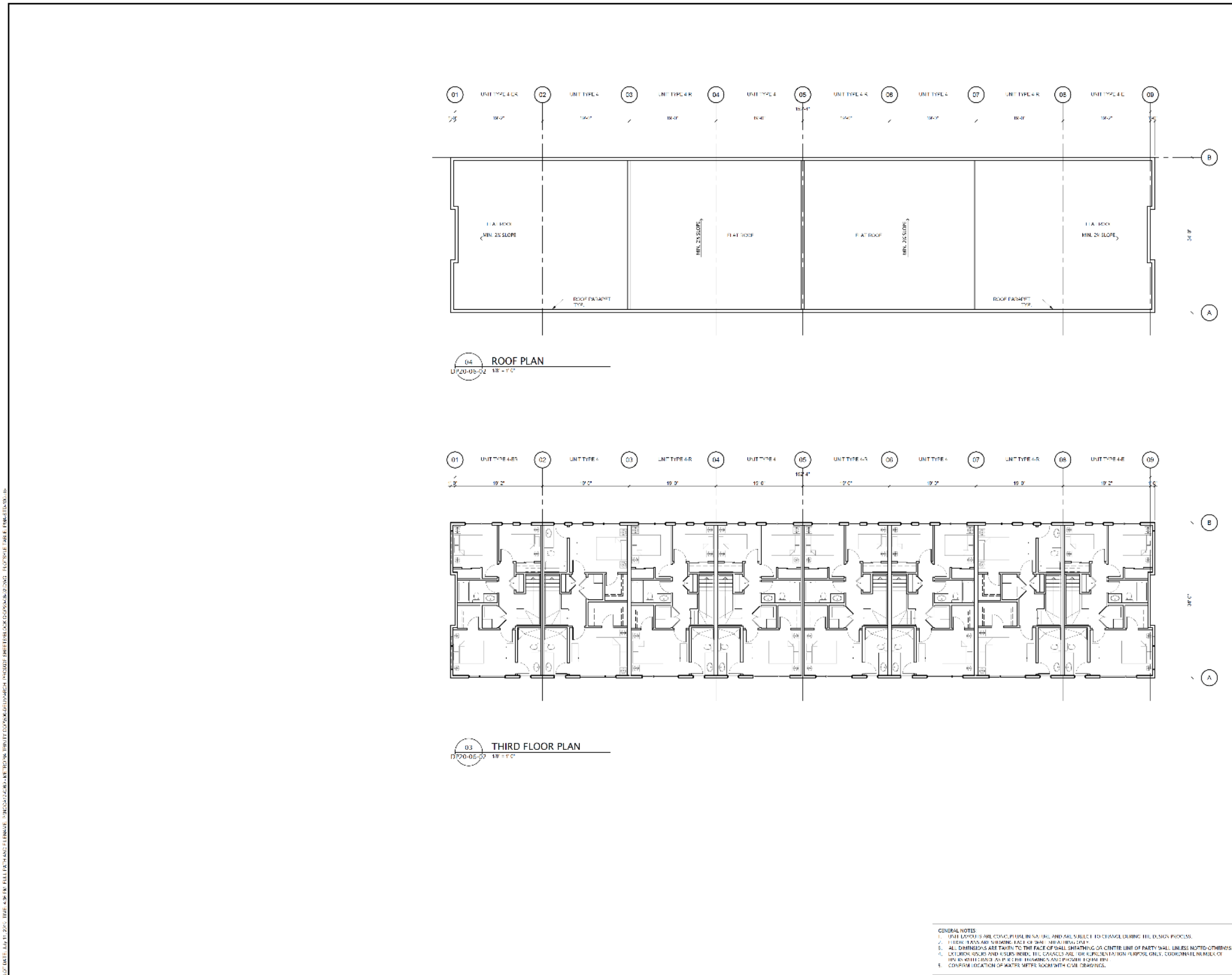
Drawing Title:
BUILDING 06
FLOOR PLANS
UNIT TYPE 01

Check Scale: 1/8" = 1'-0"

Project No: **NCCA-17-0069**

Drawing No: **DP20-06-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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Project Information:
DEVELOPMENT PERMIT SITE 'O'
Kosgar

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: Mechanical
Electrical:

Company:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K9
www.norr.com
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Impact Companies
10000 17th Avenue SW, Suite 1000
Edmonton, Alberta T5A 0P6
www.norr.com

Project Manager	Urban Systems
Designer	Urban Systems
Project Engineer	Urban Systems
Client	Metropia

Project:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'O' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 06
FLOOR PLAN & ROOF PLAN
UNIT TYPE '4'

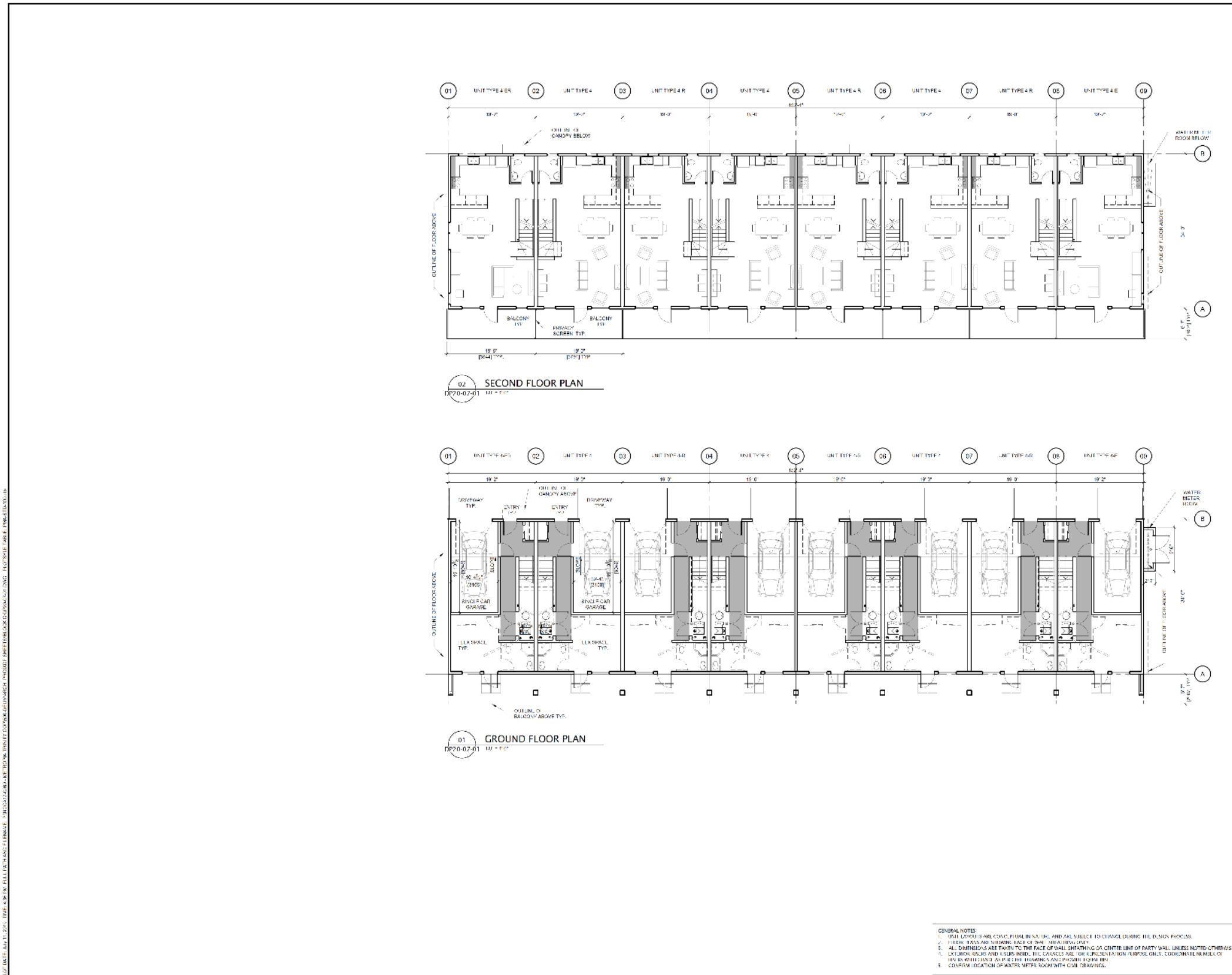
Check Scale (may be printed reduced)

Project No.: NCCA-17-0069

Drawing No.: DP20-06-02

GENERAL NOTES:
1. THIS DRAWING IS AN ARCHITECTURAL DRAWING AND IS SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. FIELD DIMENSIONS ARE SHOWN IN METERS AND MILLIMETERS.
3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS, PARTING OR CENTER LINE OF PARTY WALL, UNLESS NOTED OTHERWISE.
4. EXISTING ROADS AND SURF WIDTHS, ETC. CONFLICT ARE FOR INFORMATION PURPOSE ONLY. COORDINATE WITH LOCAL AUTHORITIES.
5. COORDINATE LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

The drawing has been prepared solely for the use of the client and shall not be reproduced or any kind of copy without the prior written consent of the Engineer/Planner. The drawing shall not be used for construction purposes until its use and approval terms are agreed and dated by the Architect/Engineer.

Project Information:
DEVELOPMENT PERMIT SITE 'C'
Kospar

Consultants:
Civil: Other Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: [Redacted]
Mechanical: [Redacted]
Electrical: [Redacted]

Company:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K9
403.243.1100
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the HOK Group
1000 10th Avenue SW
Calgary, Alberta T2P 1C9
www.norr.ca

Project Manager	Umesh
Designer	Umesh
Project Lead	Umesh
Project Engineer	Umesh

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

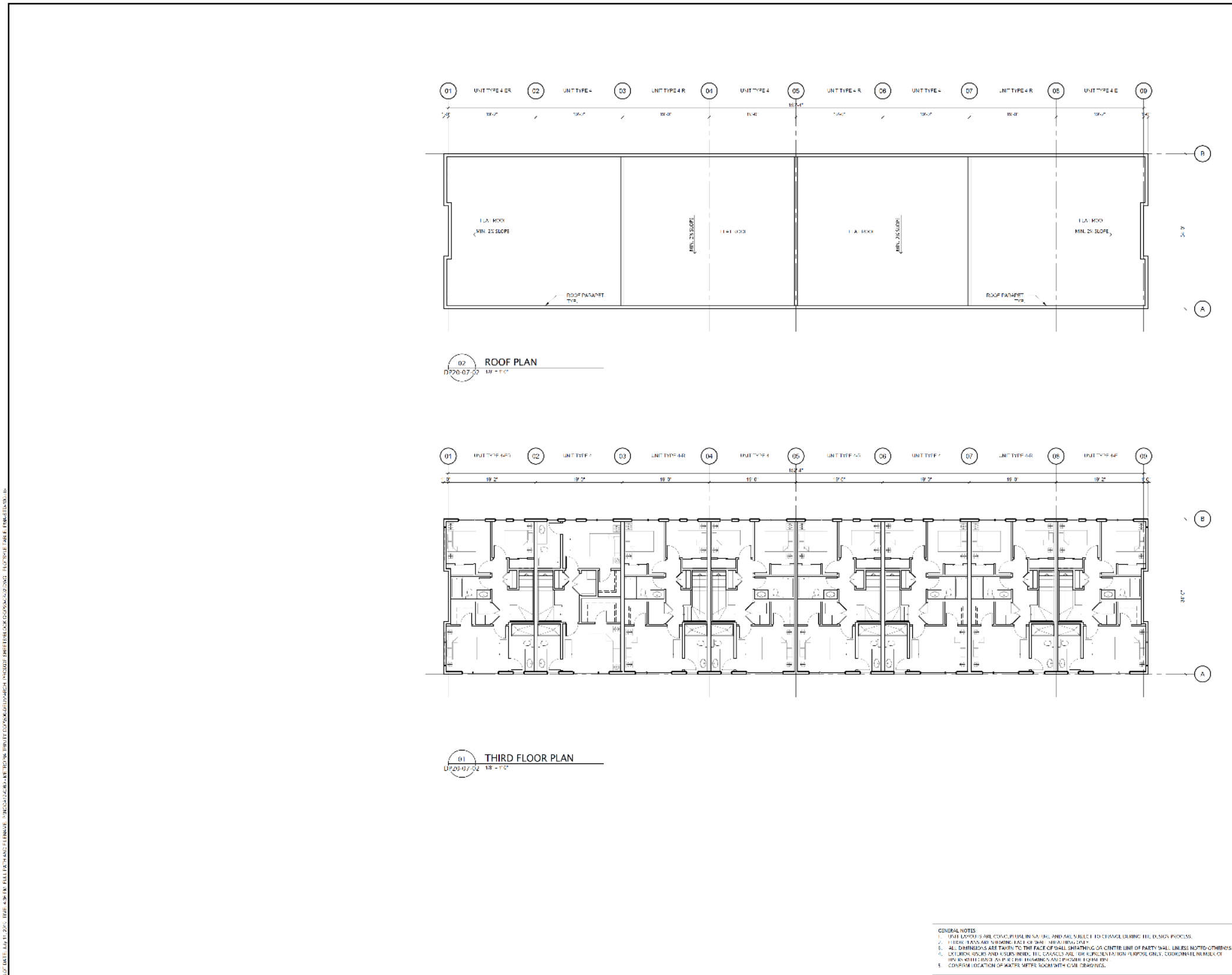
Drawing Title:
BUILDING 07
FLOOR PLANS
UNIT TYPE 'C'

Check Scale (to be printed only):
1" = 1/8" (Horizontal)
1" = 1/8" (Vertical)

Project No.:
NCCA-17-0069

Drawing No.:
DP20-07-01

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

The drawing has been prepared solely for the use of the Client and shall not be reproduced or any kind of copy without the prior written consent of the Engineer. The drawing shall not be used for construction purposes until its use is approved in writing and signed by the Architect or Engineer.

Project Name:
DEVELOPMENT PERMIT SITE 07

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

Company:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K9
www.norr.com
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Impact Companies
10000 Macleod Trail SE, Suite 100
Calgary, Alberta T2C 1M2
www.norr.com

Project Manager	Urban Systems
Project Architect	Urban Systems
Project Engineer	Urban Systems

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 07 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 07
FLOOR PLAN & ROOF PLAN
UNIT TYPE 4 R

Check Scale (mm) by photo reduced:
1:1000
1:500
1:200
1:100

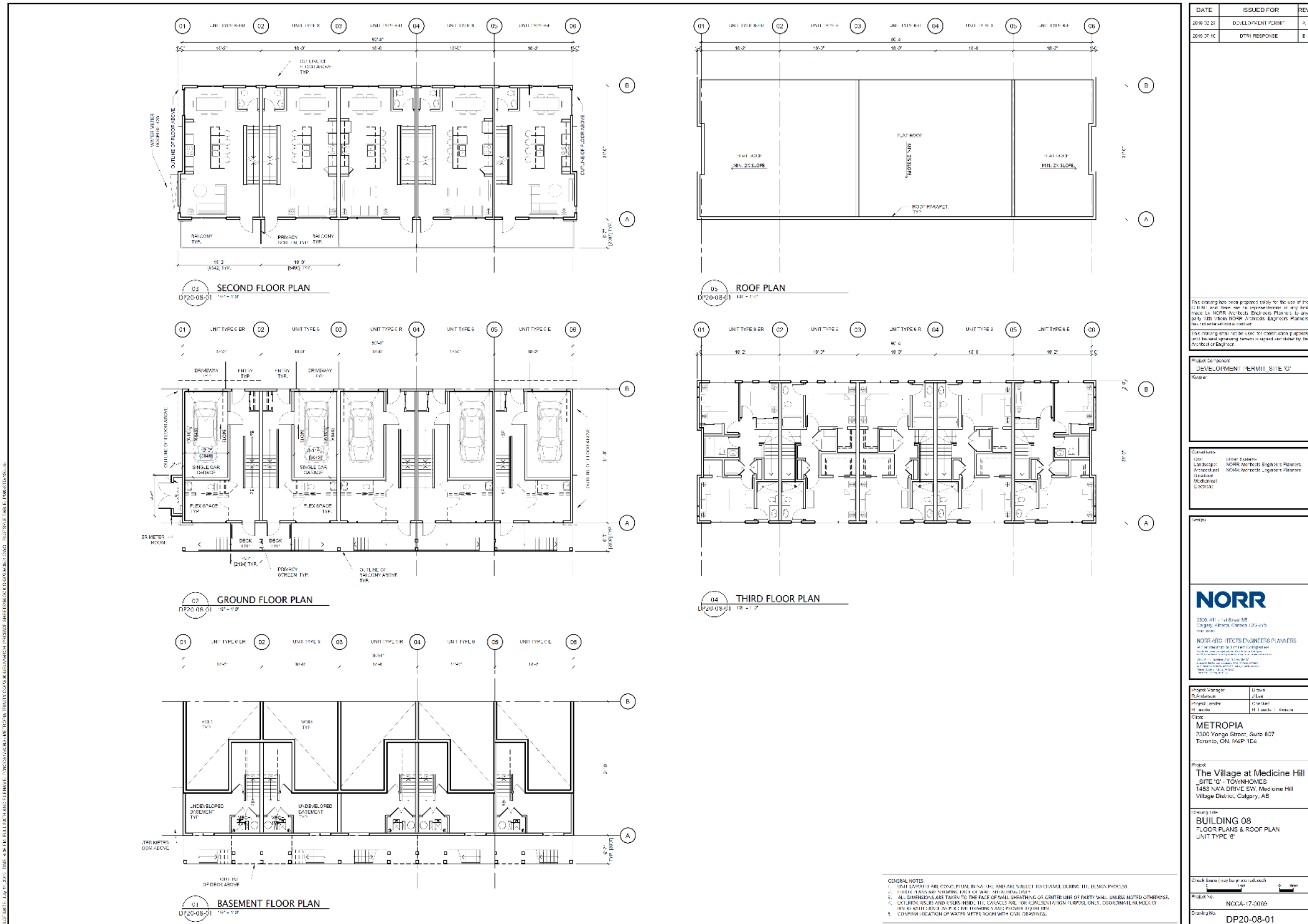
Project No.:
NCCA-17-009

Drawing No.:
DP20-07-02

GENERAL NOTES

1. THIS DRAWING IS AN ARCHITECTURAL DRAWING AND IS SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. EXISTING CONDITIONS ARE SHOWN IN DASHED LINES UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS UNLESS NOTED OTHERWISE.
4. EXISTING ROADS AND SURFINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION PURPOSE ONLY. COORDINATE WITH THE CITY OF CALGARY.
5. COORDINATE LOCATION OF WATER METRE ROOM WITH CIVIL DRAWINGS.

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DRAWING RESPONSE	B

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This drawing shall not be used for construction purposes until its use and approval terms are signed and dated by the architect of record.

Project No: **DEVELOPMENT PERMIT SITE 'C'**

Consultants:
Civil: Other Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

NORR
2500 41st Street SW
Calgary, Alberta, Canada T2C 4K5
403.243.8800

NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Impact Companies
10000 Macleod Trail SE, Suite 100
Calgary, Alberta T2C 1M6
403.243.8800

Project Manager: **METROPIA**
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project: **The Village at Medicine Hill**
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

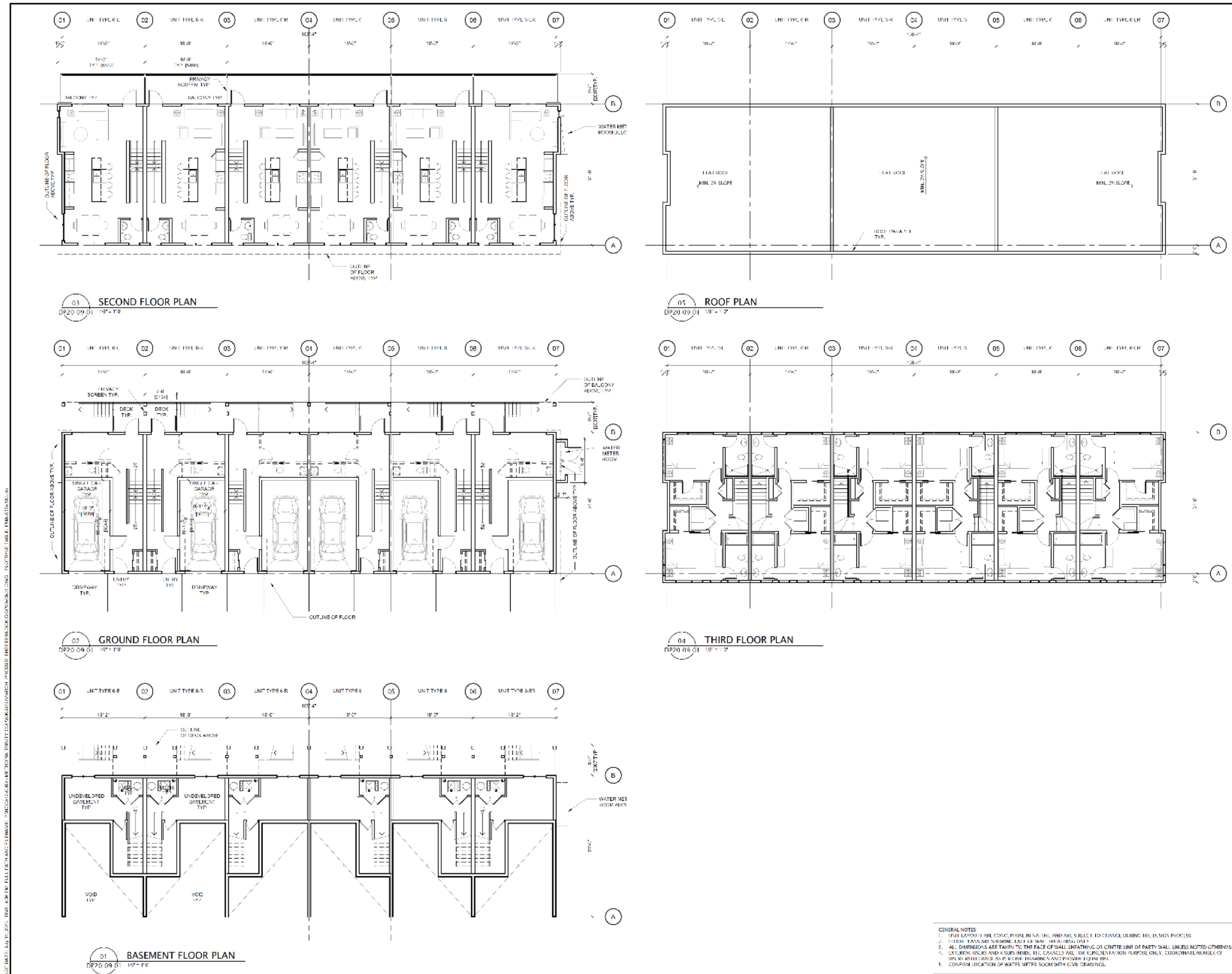
Drawing Title: **BUILDING 08**
FLOOR PLANS & ROOF PLAN
UNIT TYPE 'B'

Check Scale: as printed as shown

Project No: **NCCA-17-0069**

Drawing No: **DP20-08-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-02-27	DEVELOPMENT PERMIT	A
2019-07-16	DTR RESPONSE	B

The drawing has been prepared solely for the use of the client and shall not be used for any other purpose without the prior written consent of the architect. The architect shall not be liable for any errors or omissions in this drawing.

Project Name: DEVELOPMENT PERMIT SITE 'C'

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical: [Blank]
Electrical: [Blank]

Architect:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K9
403.243.1111
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the HOK Group
1000 15th Street SW
Calgary, Alberta, Canada T2C 4K9
403.243.1111
www.norr.ca

Project Manager	Urban Systems
Project Architect	Calvin
Project Engineer	H. T. [Blank]

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 09
FLOOR PLANS & ROOF PLAN
UNIT TYPE 'B'

Check Sheet: [Blank]

Project No.: NCCA-17-0069

Drawing No.: DP20-09-01

Development Permit Plans

03 SECOND FLOOR PLAN
DP20-10-01 MF-TYP

02 GROUND FLOOR PLAN
DP20-10-01 MF-TYP

01 BASEMENT FLOOR PLAN
DP20-10-01 MF-TYP

05 ROOF PLAN
DP20-10-01 MF-TYP

04 THIRD FLOOR PLAN
DP20-10-01 MF-TYP

GENERAL NOTES

1. UNIT LAYOUT IS AN APPROXIMATE LAYOUT AND IS SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. EXISTING FLOOR AND FINISHING ARE TO BE MAINTAINED WHERE APPLICABLE.
3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS EXCEPT ON CENTRE LINE OF PARTY WALLS UNLESS NOTED OTHERWISE.
4. EXISTING RISERS AND RISER HEADS, THE CORNER ARE TO BE PRESERVED FOR CONCRETE POURING PURPOSES ONLY. CONCRETE NUMBER OF UNITS IS TO BE 20. AS PER THE DRAWINGS AND PROJECT EQUATION.
5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTM RESPONSE	B

The drawing has been prepared solely for the use of the Client and shall not be used for any other purpose without the prior written consent of NORR Architects Engineers Planners Inc. The drawing shall not be used for construction purposes until its use and approval terms are agreed and noted by the Project of Building.

Project Name: DEVELOPMENT PERMIT SITE 'C'

Client: Kogal

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

Company:
NORR
2500 41st Street SW
Calgary, Alberta, Canada T2C 4K5
403.243.8800
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the SNC-Lavalin Group
10000 104th Avenue, Suite 100
Calgary, Alberta, Canada T2C 4K5
www.norr.ca

Project Manager:
Project Engineer:
Project Architect:
Project Designer:

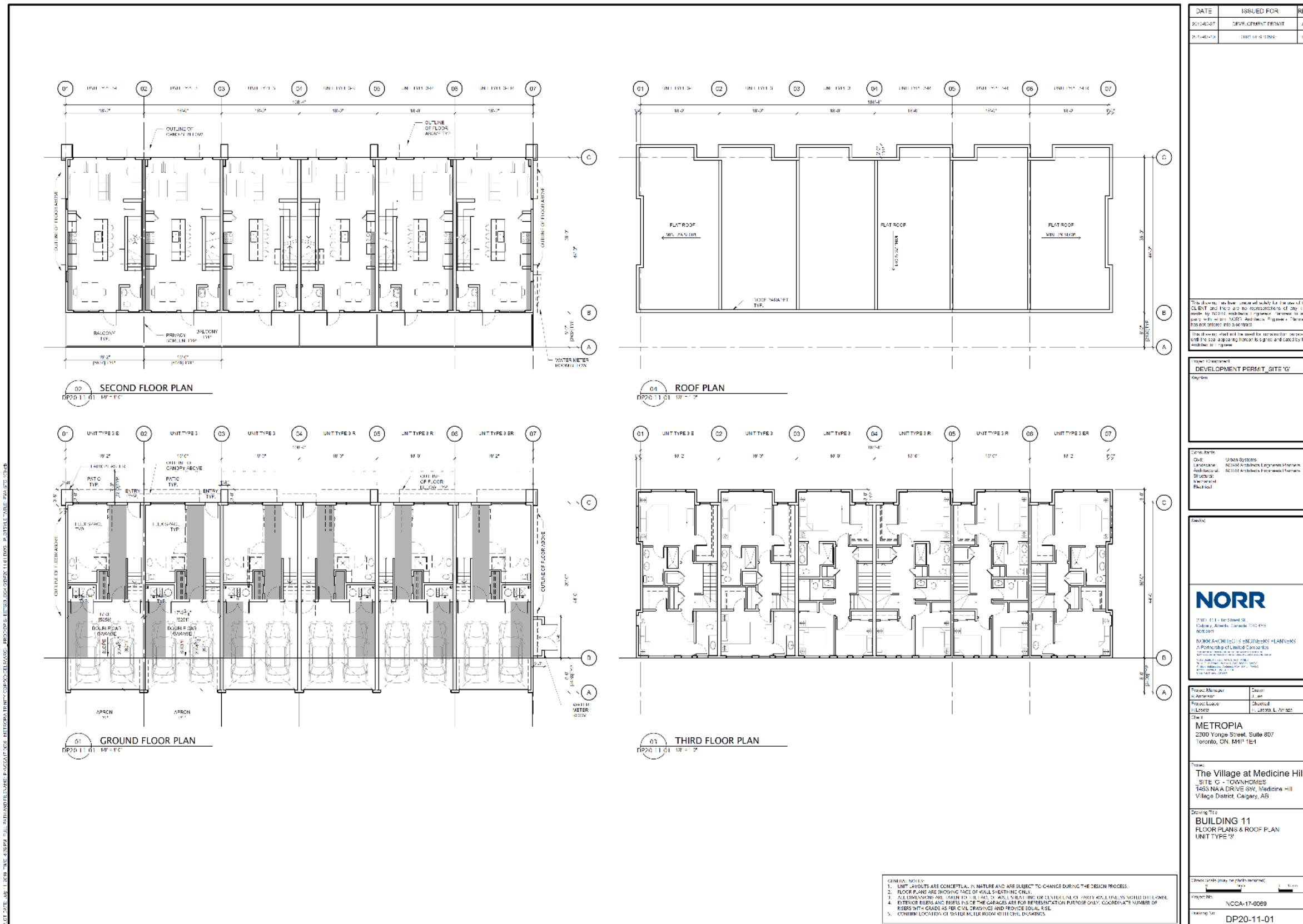
Project:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

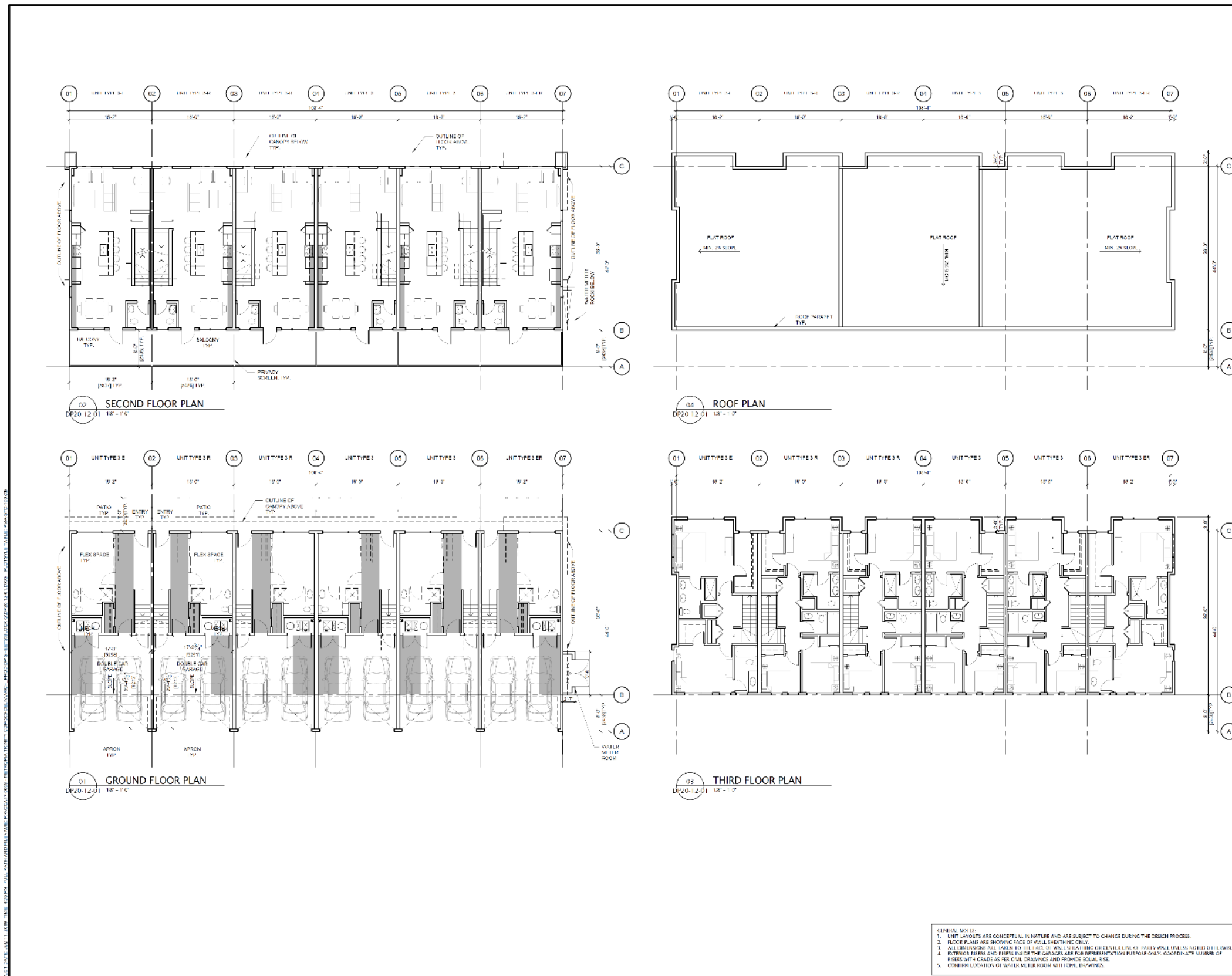
Drawing Title:
BUILDING 10
FLOOR PLANS & ROOF PLAN
UNIT TYPE 'B' & 'B'

Check Sheet (to be printed on A3):
Project No.: NCCA-17-0069
Drawing No.: DP20-10-01

Development Permit Plans



Development Permit Plans



DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	UNIT TYPE 3'S	B

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the architect or engineer.

Project Information:
DEVELOPMENT PERMIT SITE 'C'
City: Calgary

Consultants:
Civil: Urban Systems
Landscaping: NORR Architects Engineers Planners Inc.
Mechanical: NORR Architects Engineers Planners Inc.
Structural: NORR Architects Engineers Planners Inc.
Electrical: NORR Architects Engineers Planners Inc.

Scale:
NORR
2780, 47th St. SW, Calgary, Alberta, Canada T2C 4K9
403.243.8800
NORR ARCHITECTS ENGINEERS PLANNERS INC. A Partnership of Limited Companies
10000 10th Avenue SW, Suite 1000, Calgary, Alberta, Canada T2C 1E9
www.norr.ca

Project Manager: Jason
Project Lead: David
Designer: Jason

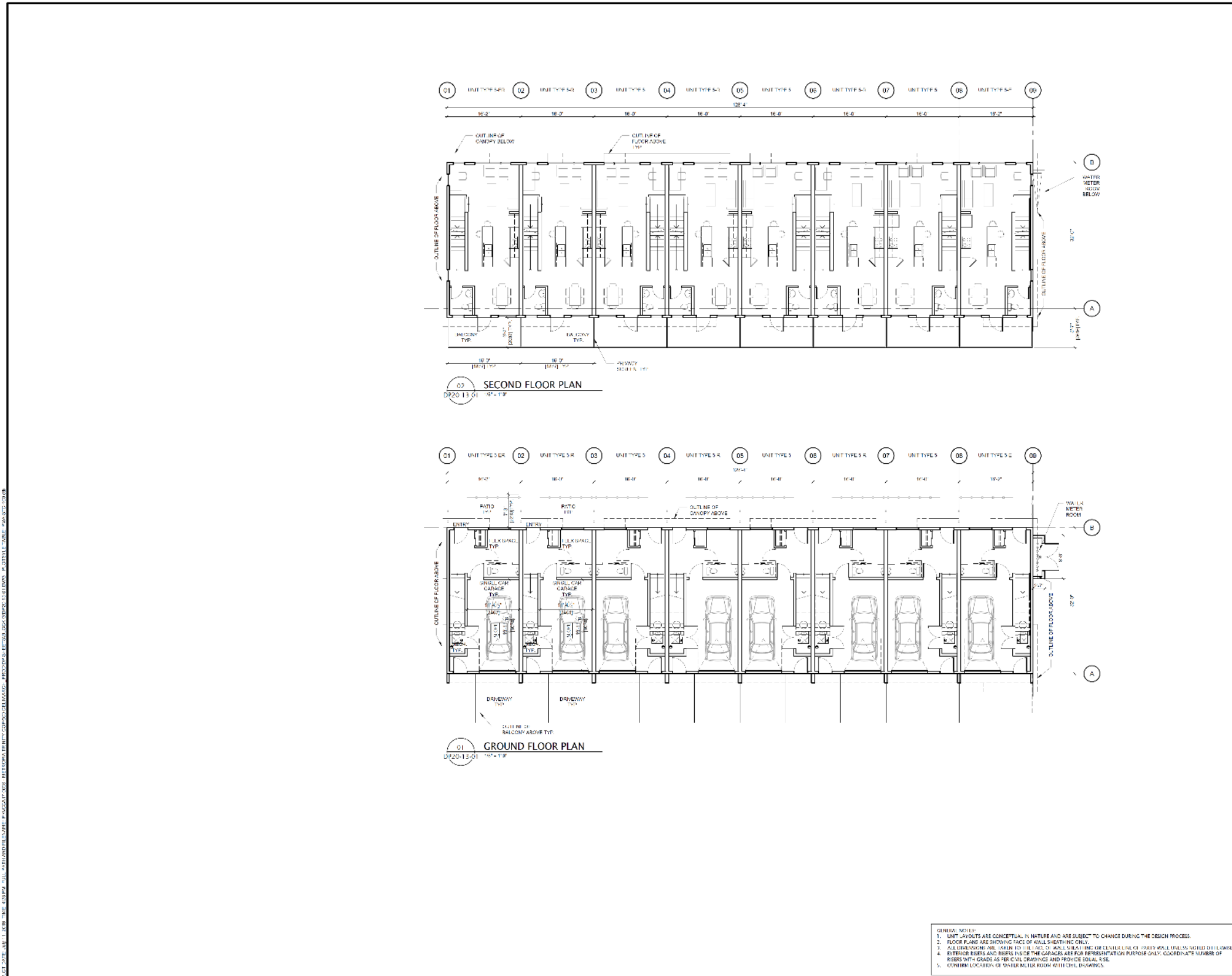
Client:
METROPIA
2200 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1455 NAKA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 12
FLOOR PLANS & ROOF PLAN
UNIT TYPE '3'

Check (only print) or field examined:
Project No: NCCA-17-0089
Drawing No: DP20-12-01

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR PLANS ARE SHOWING FACE OF WALL SHEETING ONLY.
 3. ALL DIMENSIONS ARE GIVEN TO THE FACE OF WALLS UNLESS OTHERWISE NOTED OR STATED OTHERWISE.
 4. EXTERIOR DOORS AND WINDOWS ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE NUMBER OF REVISIONS WITH GRADES FOR CIVIL, MECHANICAL AND ELECTRICAL, SEE.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	DEVELOPMENT PERMIT	B

This drawing is the best interest of safety for the use of the CLIENT and there are no representations of any kind made by NORR Architects Engineers Planners Inc. or any party with whom NORR Architects Engineers Planners Inc. has any relationship and liability.

This drawing shall not be used for construction purposes until the seal appearing thereon is signed and dated by the architect or engineer.

Project Description:
DEVELOPMENT PERMIT SITE 'G'
 Calgary

Consultants:
 Civil: Urban Systems
 Electrical: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Structural: Structural
 Electrical: Electrical

Architect:
NORR
 2700, 414 - 4th Street SE
 Calgary, Alberta, Canada T2G 4W9
 403.269.8000
 NORR ARCHITECTS ENGINEERS PLANNERS
 A Partnership of Limited Companies
 10000 10th Avenue, Suite 1000
 Calgary, Alberta, Canada T2C 1E9
 403.269.8000
 Fax: 403.269.8001
 10000 10th Avenue, Suite 1000
 Calgary, Alberta, Canada T2C 1E9

Project Manager: Jason
 Project Lead: David
 Designer: David

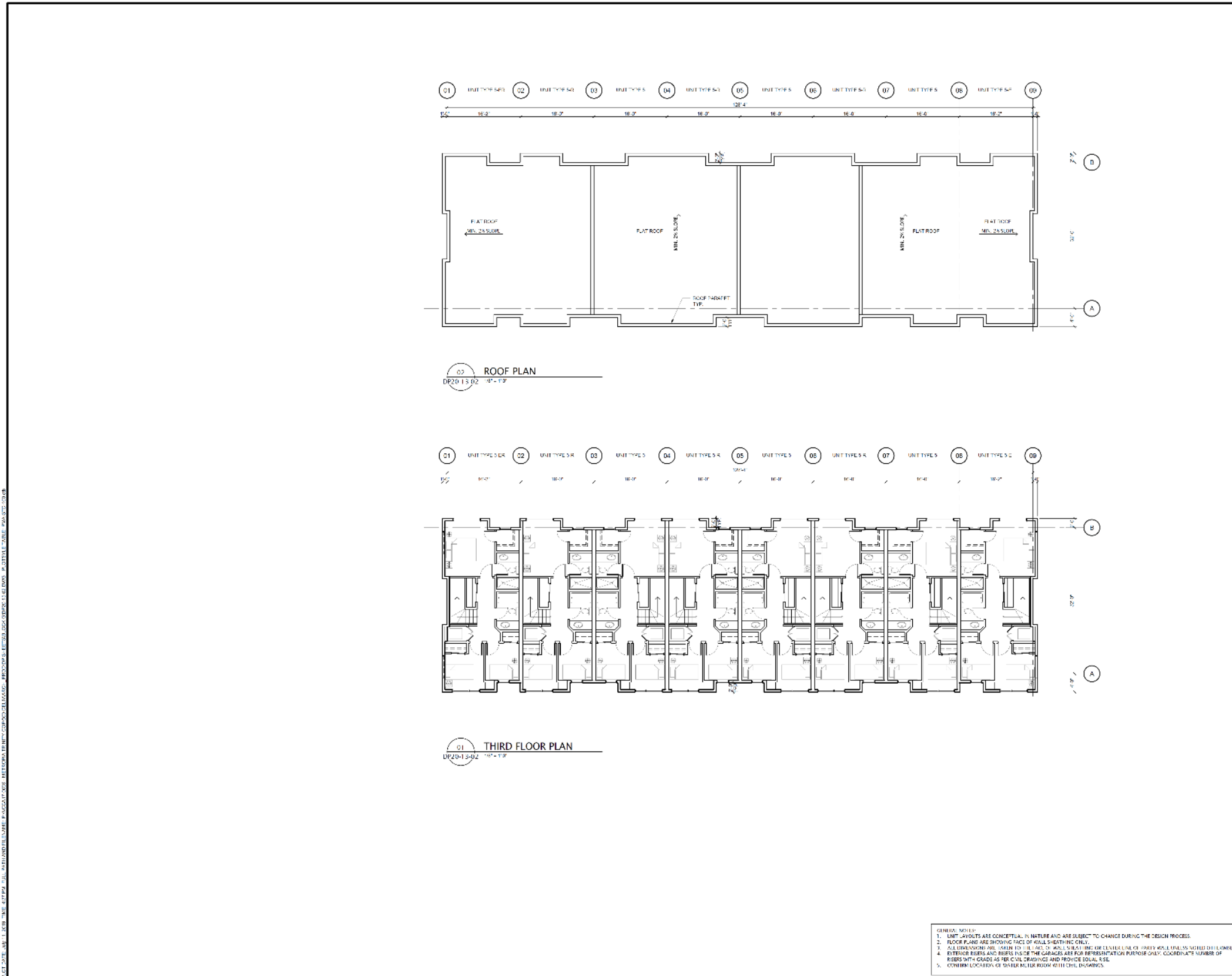
Client:
METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E4

Project:
 The Village at Medicine Hill
 SITE 'G' - TOWNHOMES
 1455 NAKA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 13
 FLOOR PLANS
 UNIT TYPE 'G'

Check (only print) or fields required:
 Project No: NCCA-17-009
 Drawing No: DP20-13-01

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR PLANS ARE SHOWING FINISH FLOOR SLAB FINISHING ONLY.
 3. ALL DIMENSIONS ARE GIVEN TO THE FACE OF WALLS UNLESS OTHERWISE NOTED OR SHOWN OTHERWISE.
 4. EXTERIOR DOORS AND WINDOWS ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE NUMBER OF REVISIONS WITH CHANGES TO THE PLAN AND PROVIDE LOCAL A.S.E.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CHIEF DRAWINGS.

DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	UNIT TYPE 09	B

This drawing is the work of the architect and is not to be construed as a guarantee of any kind. The architect is not responsible for any errors or omissions in any drawings or specifications. The architect is not responsible for any construction or other work done in accordance with these drawings or specifications. The architect is not responsible for any construction or other work done in accordance with these drawings or specifications.

Project: **DEVELOPMENT PERMIT SITE 'G'**

Client: **City of Calgary**

Architect: **NORR ARCHITECTS INC.**
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E1

Project Manager: **David J. Lee**
 Project Lead: **David J. Lee**

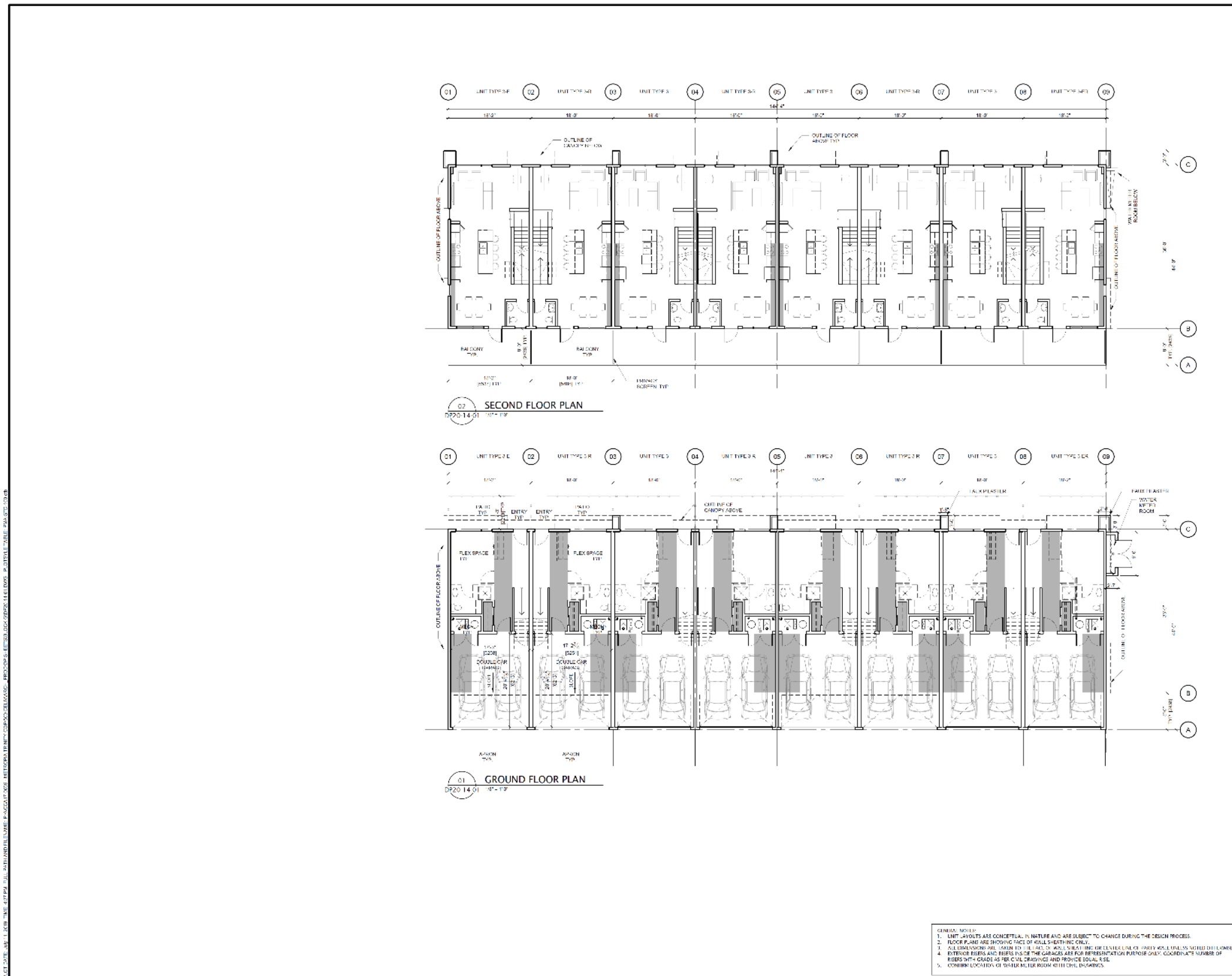
Project: **METROPIA**
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E1

Project: **The Village at Medicine Hill**
 SITE 'G' - TOWNHOMES
 1455 NAKA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Project No: **NCCA-17-0089**

Drawing No: **DP20-13-02**

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR PLANS ARE SHOWING FACE OF WALL SHEETING ONLY.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS UNLESS OTHERWISE NOTED OR UNLESS OTHERWISE NOTED BY LOCAL CODES.
 4. EXTERIOR FINISHES AND FINISHES INSIDE THE GARAGES ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE NUMBER OF REVISIONS WITH CHANGES TO THE PLAN AND PROVIDE LOCAL, S.S.E.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	DEVELOPMENT PERMIT	B

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the author or engineer.

Project Description:
DEVELOPMENT PERMIT SITE 'G'
 Calgary

Consultants:
 Civil: Urban Systems
 Landscape: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Structural: Structural
 Electrical: Electrical

Scale:
NORR
 2780, 47 E. 4th Street SE
 Calgary, Alberta, Canada T2G 4R9
 403.263.8800
 NORR ARCHITECTS ENGINEERS PLANNERS INC.
 A Partnership of Limited Companies
 10000 10th Avenue SE, Suite 1000
 Calgary, Alberta, Canada T2C 1E9
 403.263.8800
 10000 10th Avenue SE, Suite 1000
 Calgary, Alberta, Canada T2C 1E9
 403.263.8800

Project Manager: Jason
 Project Lead: David
 Designer: L. Arora

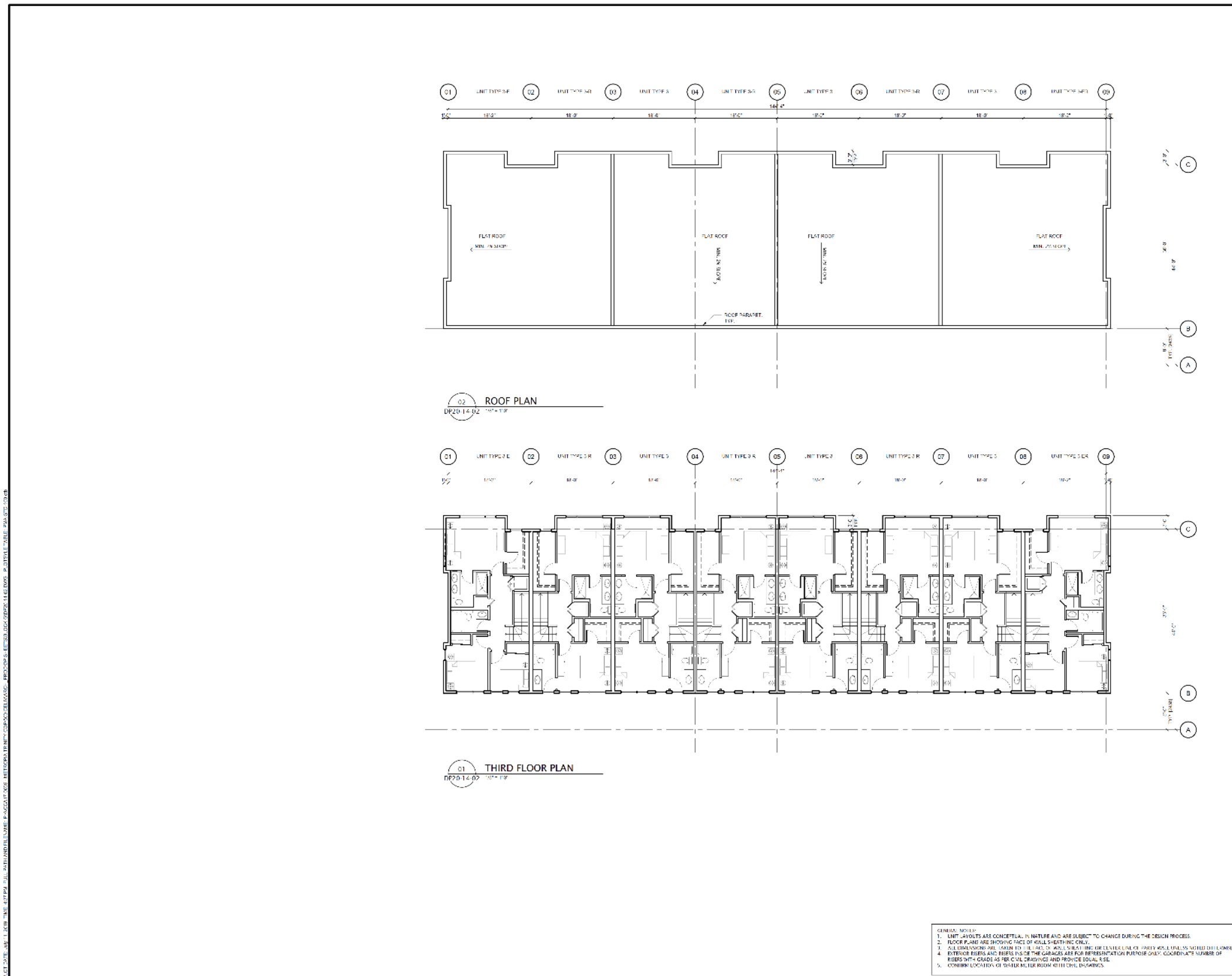
Client:
METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

Project:
 The Village at Medicine Hill
 SITE 'G' - TOWNHOMES
 1405 NAKA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 14
 FLOOR PLANS
 UNIT TYPE 'G'

Check (only print) or field examined:
 Project No: NCCA-17-0089
 Drawing No: DP20-14-01

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR PLANS ARE SHOWING FACE OF WALL SHEETING ONLY.
 3. ALL DIMENSIONS ARE GIVEN TO THE FACE OF WALLS UNLESS OTHERWISE NOTED OR CLEARLY INDICATED.
 4. EXTERIOR DOORS AND WINDOWS ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE NUMBER OF REVISIONS WITH GRADES FOR CIVIL, MECHANICAL AND ELECTRICAL, AS SE.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	UNIT TYPE 3'S	B

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Engineer of the project.

Project Description:
DEVELOPMENT PERMIT SITE 'C'
 Calgary

Consultants:
 Civil: Urban Systems
 Landscape: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Structural: Structural
 Electrical: Electrical

Drawn:
NORR
 2180, 41st St. SW, Calgary, Alberta, Canada T2C 4K9
 403.243.1000
 NORR ARCHITECTS ENGINEERS PLANNERS INC.
 A Partnership of Limited Companies
 10000 14th Avenue SW, Suite 1000, Calgary, Alberta, Canada T2C 1S9
 403.243.1000
 10000 14th Avenue SW, Suite 1000, Calgary, Alberta, Canada T2C 1S9
 403.243.1000

Project Manager: J. J. J.
 Project Lead: J. J. J.
 Designer: J. J. J.

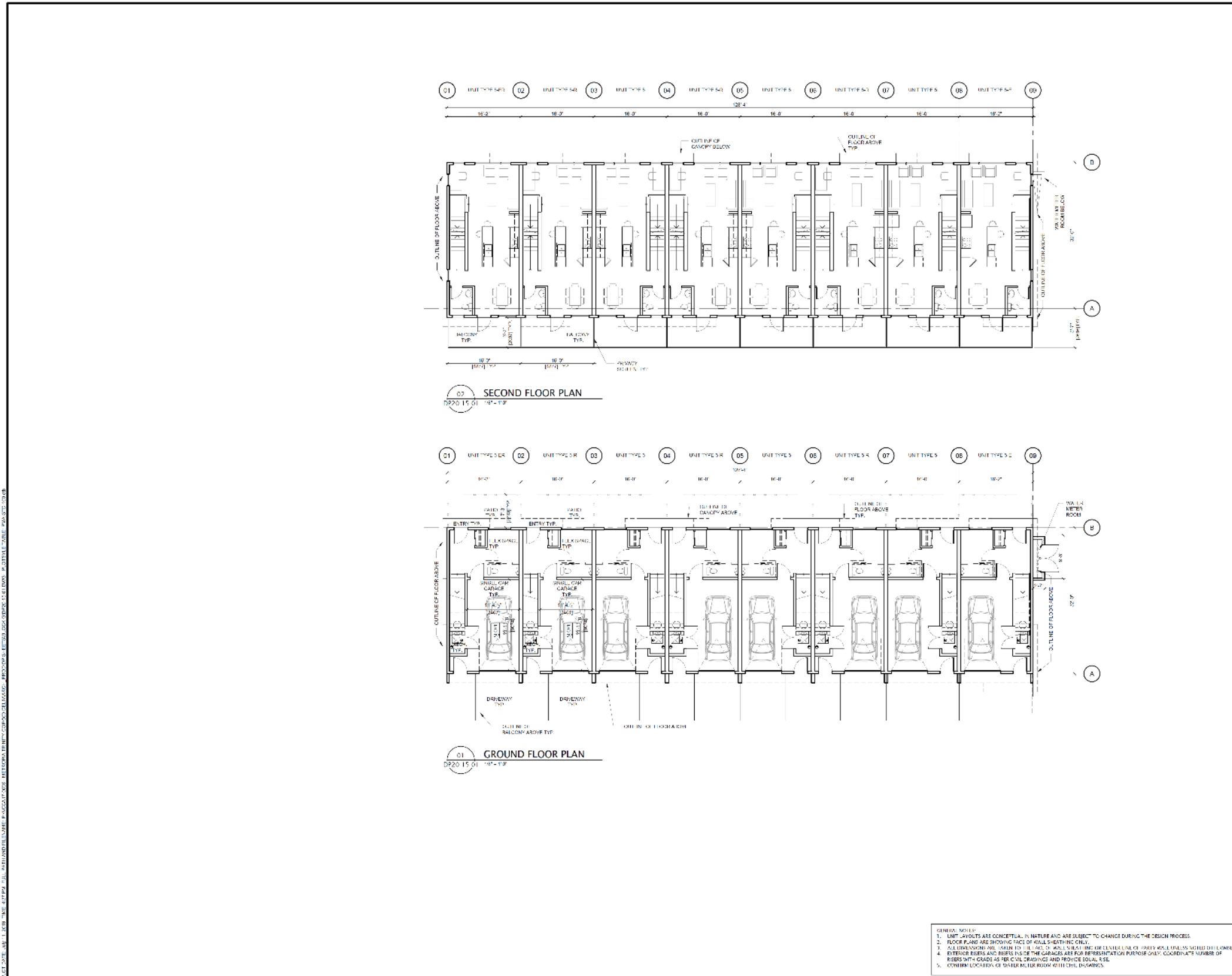
Client:
METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E1

Title:
The Village at Medicine Hill
 SITE 'C' - TOWNHOMES
 1405 NAKA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 14
 FLOOR PLAN & ROOF PLAN
 UNIT TYPE '3'

Check (only print) or field required:
 Project No: **NCCA-17-0089**
 Drawing No: **DP20-14-02**

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR PLANS ARE SHOWING FINISH FLOOR SLAB FINISHING ONLY.
 3. ALL DIMENSIONS ARE GIVEN TO THE FACE OF WALLS UNLESS OTHERWISE NOTED OR UNLESS OTHERWISE NOTED BY LOCAL CODES.
 4. EXTERIOR FINISHES AND FINISHES INSIDE THE GARAGES ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE NUMBER OF FINISH WITH GRADES FOR FINAL FINISHES AND FINISH ELEVATIONS.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE	ISSUED FOR	REV
2019-02-07	DEVELOPMENT PERMIT	A
2019-02-19	DEVELOPMENT PERMIT	B

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This drawing shall not be used for construction purposes until the seal appearing thereon is signed and dated by the Engineer or Planner.

Project Description:
DEVELOPMENT PERMIT SITE 'G'
 Calgary

Consultants:
 Civil: Urban Systems
 Landscape: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Structural: Structural
 Electrical: Electrical

Drawn:
NORR
 2300 Yonge Street, Suite 807
 Toronto, Ontario M4P 1E4
 NORR ARCHITECTS ENGINEERS PLANNERS
 A Partnership of Limited Companies
 100 Adelaide Street West, Suite 2000
 Toronto, Ontario M5H 1A1
 Tel: (416) 593-7777
 Fax: (416) 593-7778
 www.norr.ca

Project Manager: Daniel J. J. J.
 Project Lead: Daniel J. J. J.
 Designer: Daniel J. J. J.

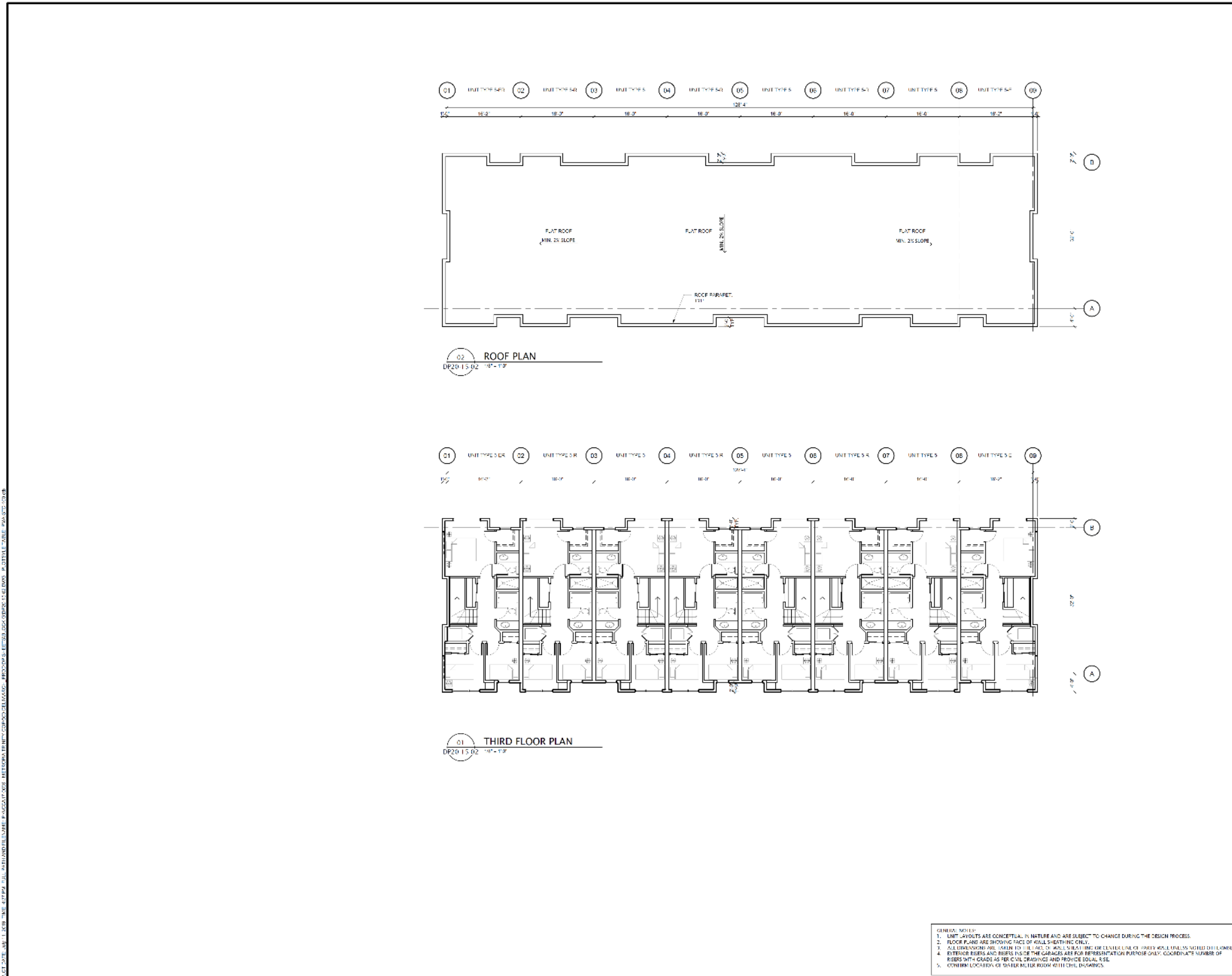
Client:
METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E4

Project:
 The Village at Medicine Hill
 SITE 'G' - TOWNHOMES
 1455 NAKA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 15
 FLOOR PLANS
 UNIT TYPE 'G'

Check (only print) or field examined:
 Project No: **NCCA-17-0089**
 Drawing No: **DP20-15-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	UNIT TYPE 15B	B

This drawing is the work of solely the Engineer of the Client and there are no responsibilities of any kind made by NORR Architects Engineers Planners Inc. or any party with whom NORR Architects Engineers Planners Inc. has any relationship.

This drawing shall not be used for construction purposes until the seal appearing thereon is signed and dated by the Engineer of the project.

Project Description:
DEVELOPMENT PERMIT SITE 'C'
Codydon

Consultants:
Civil: Urban Systems
Landscaping: NORR Architects Engineers Planners Inc.
Mechanical: NORR Architects Engineers Planners Inc.
Structural: NORR Architects Engineers Planners Inc.
Electrical: NORR Architects Engineers Planners Inc.

Checked:
NORR
2300 Yonge Street, Suite 807
Toronto, Ontario, Canada M4P 1E4
Tel: 416-461-1111
Fax: 416-461-1112
www.norr.ca

Project Manager: Daniel J. Lee
Project Lead: David L. Lee
Project Engineer: David L. Lee

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4

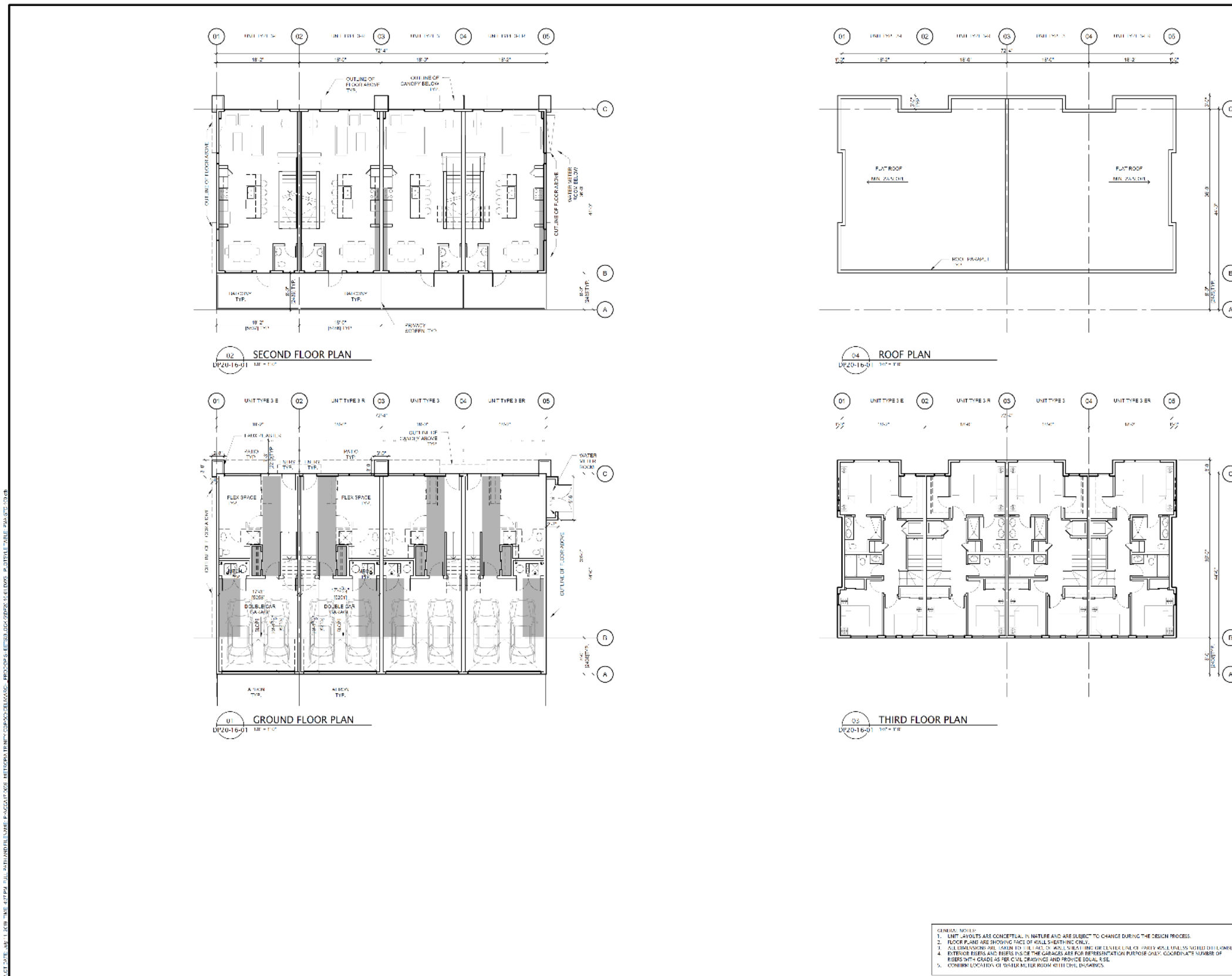
Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1455 NAKA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 15
FLOOR PLAN & ROOF PLAN
UNIT TYPE 'C'

Check (only to be filled in when required):
Project No: NCCA-17-0089
Drawing No: DP20-15-02

- GENERAL NOTES:
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR PLANS ARE SHOWING FACES OF WALLS EXCEPTING ONLY.
 3. ALL DIMENSIONS ARE GIVEN TO THE FACE OF WALLS UNLESS OTHERWISE NOTED OR INDICATED.
 4. EXTERIOR DOORS AND WINDOWS ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE NUMBER OF REVISIONS WITH CHANGES TO THE PLAN AND PROVIDE EQUAL SIZE.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

Development Permit Plans



DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	DEVELOPMENT PERMIT	B

This drawing is the work of the architect and is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in this drawing. The client is responsible for providing accurate information and for obtaining all necessary permits and approvals. The architect is not responsible for any construction or other work done in reliance on this drawing.

DEVELOPMENT PERMIT SITE 'G'

Consultants:

- Architect: NORR
- Structural: NORR
- Electrical: NORR
- Mechanical: NORR
- Plumbing: NORR
- Fire: NORR
- Energy: NORR
- Accessibility: NORR

NORR

2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4

METROPIA
2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4

The Village at Medicine Hill
SITE 'G' - TOWNHOMES
1455 NAKA DRIVE SW, Medicine Hill
Village District, Calgary, AB

BUILDING 16
FLOOR PLANS & ROOF PLAN
UNIT TYPE 'G'

Project No: NCCA-17-0089

Drawing No: DP20-16-01

Development Permit Plans

02 SECOND FLOOR PLAN
DP20-17-01 1/8" = 1'-0"

01 GROUND FLOOR PLAN
DP20-17-01 1/8" = 1'-0"

04 ROOF PLAN
DP20-17-01 1/8" = 1'-0"

03 THIRD FLOOR PLAN
DP20-17-01 1/8" = 1'-0"

GENERAL NOTES

1. UNIT LAYOUT IS AN APPROXIMATE LAYOUT AND IS SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. EXISTING WALLS AND STRUCTURE ARE TO REMAIN UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS, PARTING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
4. EXISTING ROOF AND SUBSISTANCE TO BE PRESERVED FOR RE-USE FOR RE-USE PURPOSE ONLY. COORDINATE WITH ALL OTHER TRADES.
5. COORDINATE LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

The drawing has been prepared solely for the use of the Client and shall not be used for any other purpose without the prior written consent of NORR Architects Engineers Planners Inc. This drawing shall not be used for construction purposes until its use and approval terms are signed and sealed by the Architect of Record.

Project No: **DEVELOPMENT PERMIT SITE 01**
Kosjar

Consultants:
Civil: Other Systems
Landscaping: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: Mechanical
Electrical: Other Systems

Company:
NORR
2508 41st Street SE
Calgary, Alberta, Canada T2C 4K9
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Impact Companies
10000 10th Avenue SW, Suite 100
Calgary, Alberta, Canada T2C 1E9
www.norr.ca

Project Manager	Urban
Designer	Urban
Project Lead	Urban
Client	METROPIA

Project:
The Village at Medicine Hill
SITE 01 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

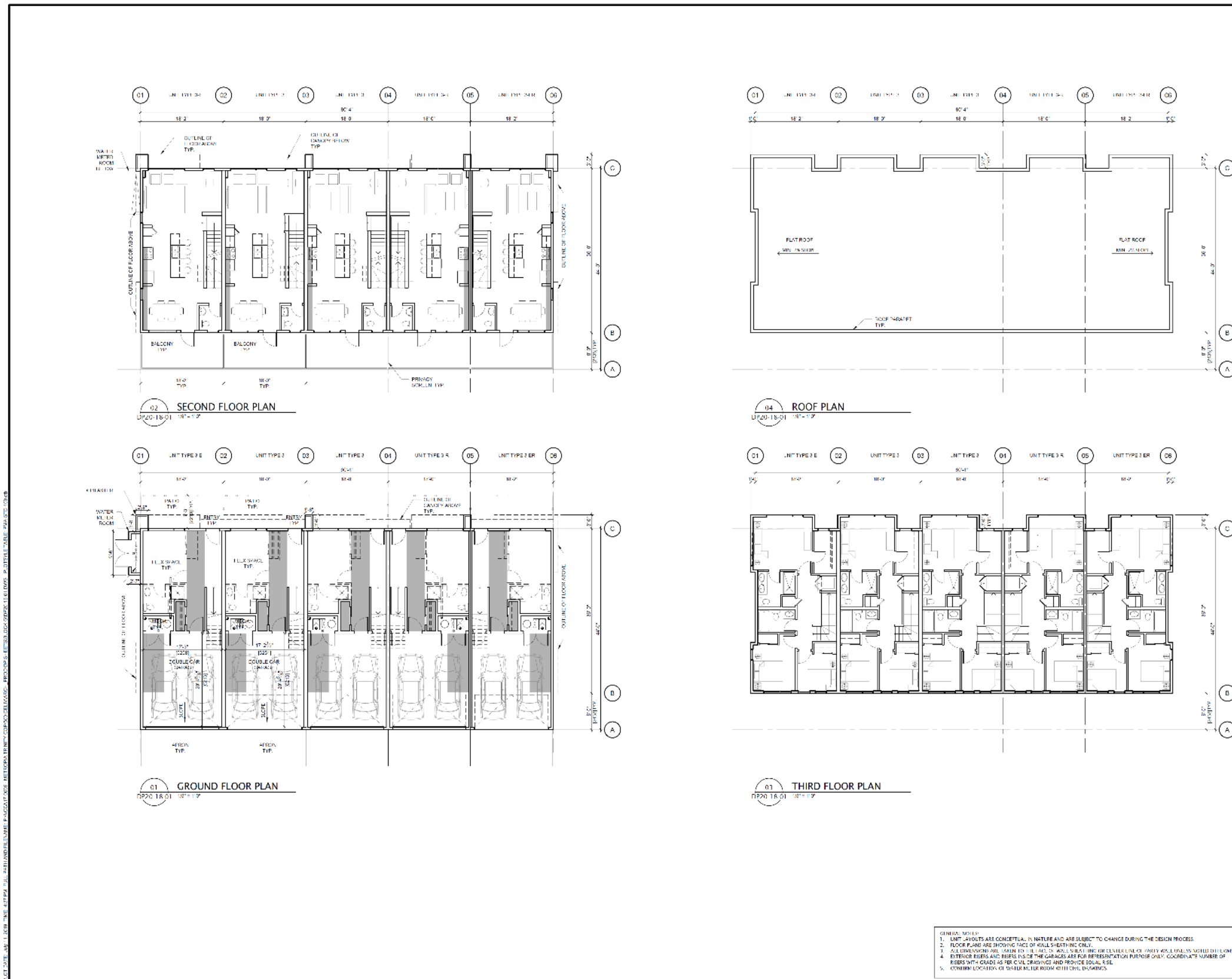
Drawing Title:
BUILDING 17
FLOOR PLANS & ROOF PLAN
UNIT TYPE 'S'

Check Scale:

Project No: **NCCA-17-009**

Drawing No: **DP20-17-01**

Development Permit Plans



GENERAL NOTES:

1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. FLOOR PLANS ARE SHOWING FACES OF WALL SHEATHING ONLY.
3. ALL DIMENSIONS ARE GIVEN TO THE FACE OF WALLS UNLESS OTHERWISE NOTED OR UNLESS OTHERWISE NOTED BY LOWER.
4. EXTERIOR DOORS AND WINDOWS IN THE GARAGES ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE NUMBER OF REVISIONS WITH GRADES FOR CIVIL, MECHANICAL AND STRUCTURAL S.S.E.
5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	UNIT TYPE 3 PLAN	B

This drawing has been issued solely for the use of the CLIENT and there are no representations of any kind made by NORR Architects Engineers Planners Inc. or any party with whom NORR Architects Engineers Planners Inc. has any relationship.

This drawing shall not be used for construction purposes until the seal appearing thereon is signed and dated by the author or engineer.

Project Information:
DEVELOPMENT PERMIT SITE 'C'
Calgary

Consultants:
Civil: Urban Systems
Landscaping: NORR Architects Engineers Planners Inc.
Architectural: NORR Architects Engineers Planners Inc.
Structural: Structural
Mechanical: Mechanical
Electrical: Electrical

Drawn by:
NORR
2180, 41st St. SW, Suite 101
Calgary, Alberta, Canada T2C 4K9
403.243.8800

Project Manager: Daniel J. Smith
Project Lead: Daniel J. Smith
Project Engineer: Daniel J. Smith

Client:
METROPIA
2200 Yonge Street, Suite 807
Toronto, ON M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1455 NAKA DRIVE SW, Medicine Hill
Village District, Calgary, AB

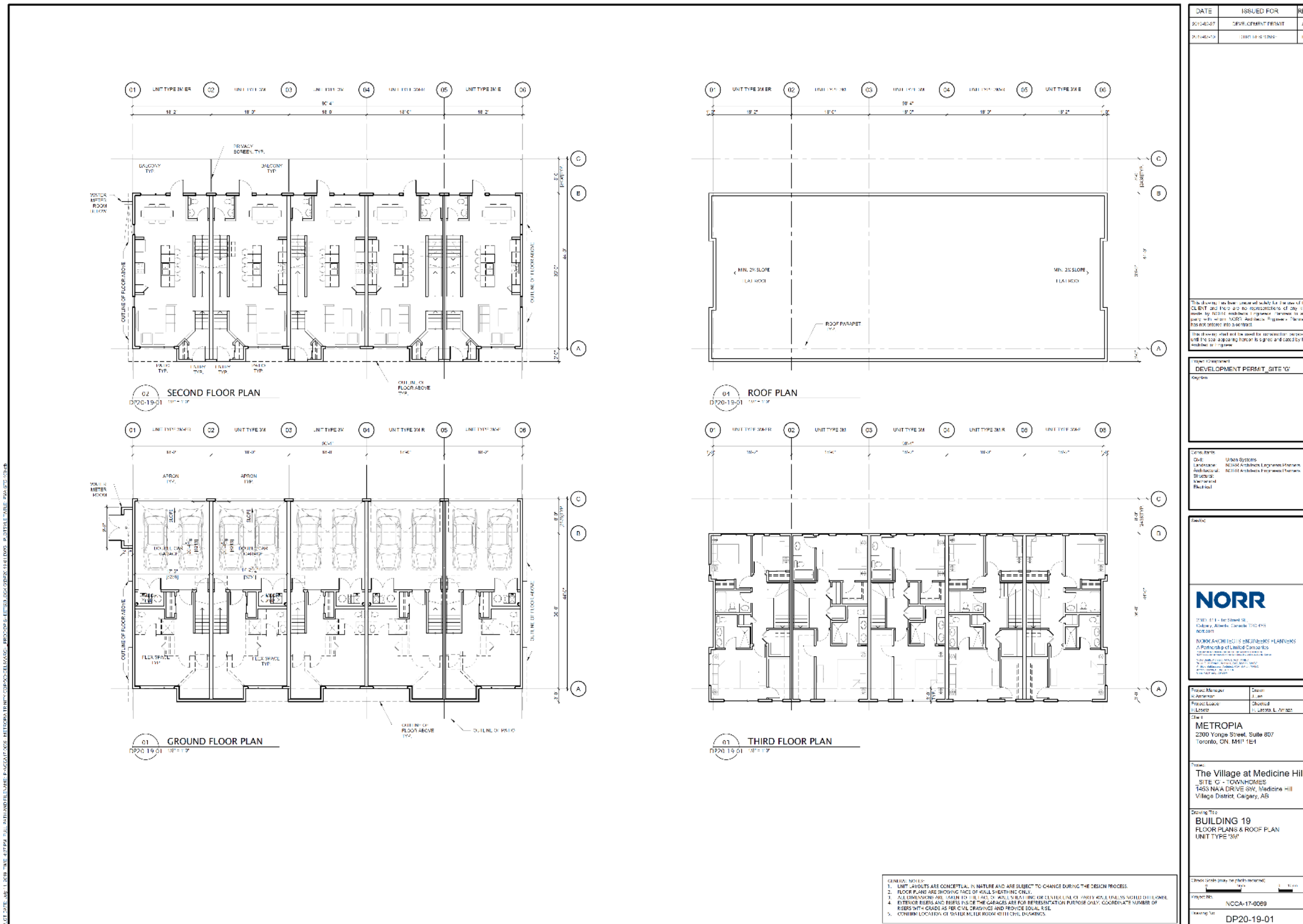
Drawing Title:
BUILDING 18
FLOOR PLANS & ROOF PLAN
UNIT TYPE '3'

Check (only print or field required):
Scale: 1/8" = 1'-0"

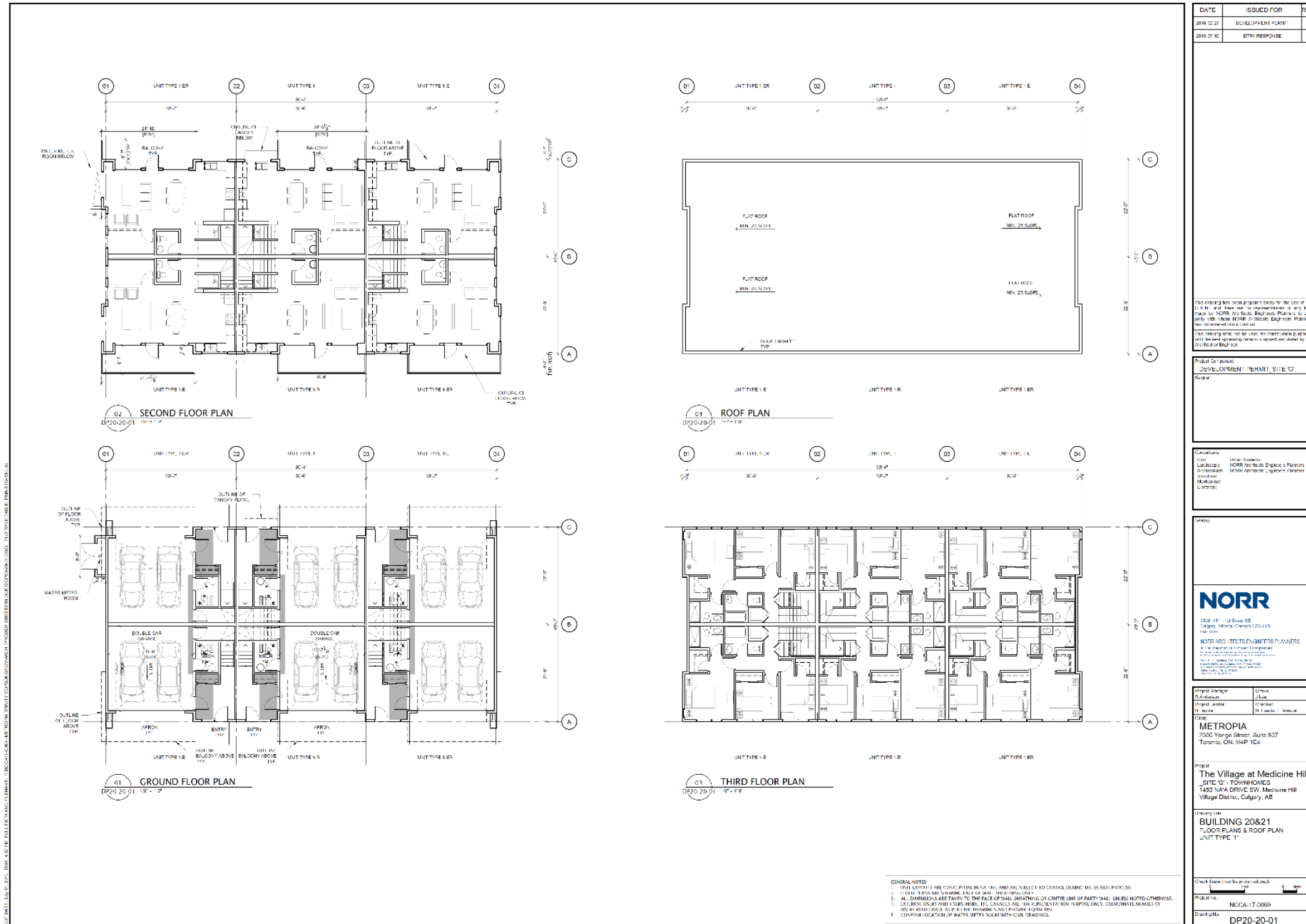
Project No.:
NCCA-17-0089

Drawing No.:
DP20-18-01

Development Permit Plans



Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

The drawing has been prepared solely for the use of the client and shall not be used for any other purpose without the prior written consent of the architect. The drawing shall not be used for construction purposes until its use is approved in writing by the architect.

Project Information:
DEVELOPMENT PERMIT SITE ID:
K000000000

Consultants:
Civil: Other Systems
Landscaping: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

Company:
NORR
2308 41st Street SE
Calgary, Alberta, Canada T2C 4K9
403.243.8888
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Enbridge Group
10000 17th Avenue SW, Suite 100
Edmonton, Alberta T5C 1S6
www.norr.ca

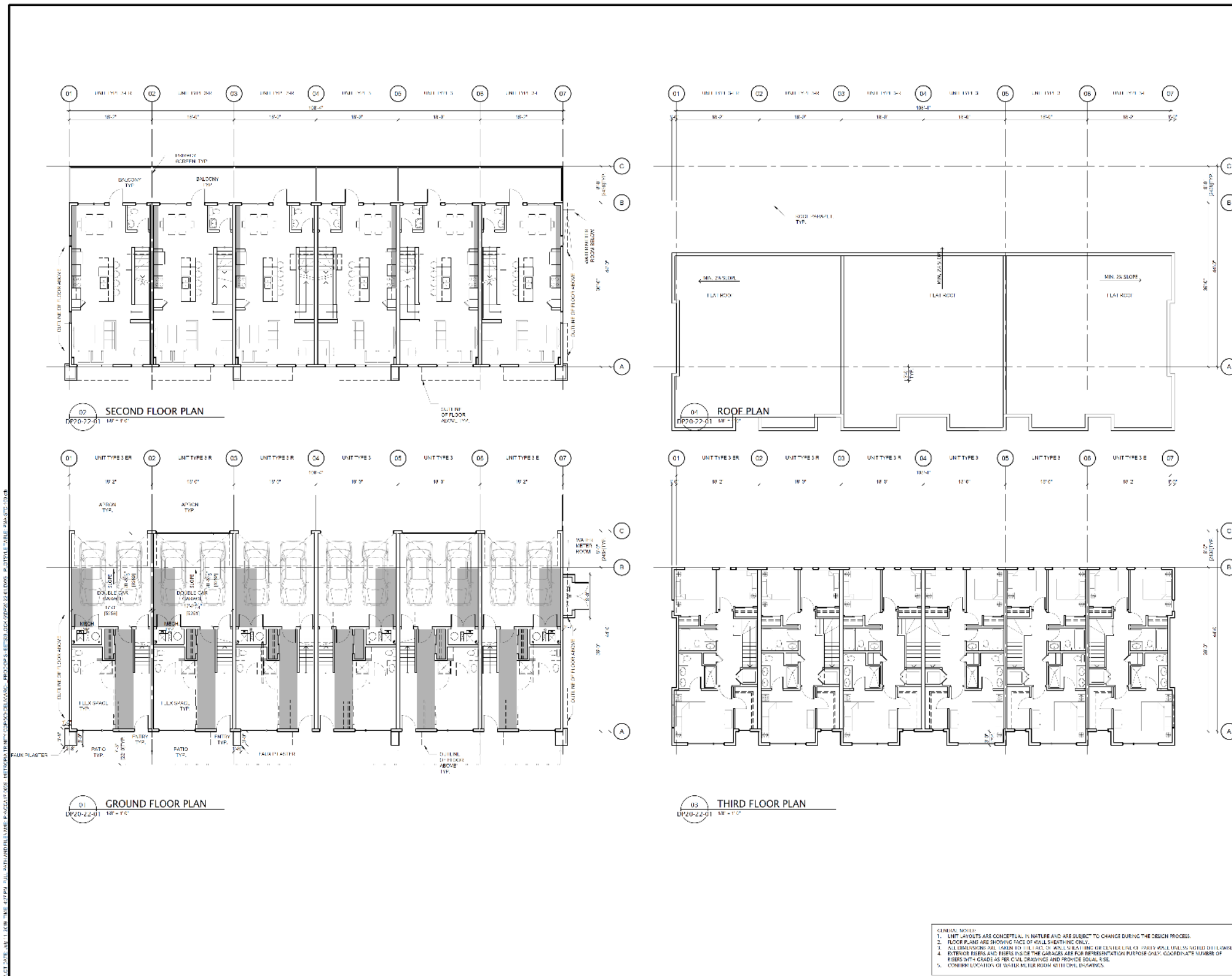
Project:
METROPIA
2500 Young Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE ID: TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 20&21
FLOOR PLANS & ROOF PLAN
UNIT TYPE '1'

Check Sheet (to be printed on A3):
Project No.: NCCA-17-0069
Drawing No.: DP20-20-01

Development Permit Plans



DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	DEVELOPMENT PERMIT	B

This drawing is the work of the architect and is not to be construed as a representation of any other party. The architect is not responsible for any errors or omissions in any drawings or specifications. The architect is not responsible for any errors or omissions in any drawings or specifications. The architect is not responsible for any errors or omissions in any drawings or specifications.

Project: **DEVELOPMENT PERMIT SITE 'C'**

Client: **Urban Systems**

Architect: **NORR ARCHITECTS INC.**

Project Manager: **David L. Smith**

Project Lead: **David L. Smith**

Project Location: **1450 NAKA DRIVE SW, Medicine Hill Village District, Calgary, AB**

Project Name: **METROPIA**

Project Address: **2200 Yonge Street, Suite 807, Toronto, ON, M4P 1E1**

Project: **The Village at Medicine Hill**

Site: **1450 NAKA DRIVE SW, Medicine Hill Village District, Calgary, AB**

Project Name: **BUILDING 22**

Project Description: **FLOOR PLANS & ROOF PLAN UNIT TYPE '3'**

Project No: **NCCA-17-0089**

Project No: **DP20-22-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-19	DATE OF REVISION	B

This drawing has been issued solely for the use of the CLIENT and there are no representations of any kind made by NORR Architects Engineers Planners Inc. or any party with whom NORR Architects Engineers Planners Inc. has a relationship.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Engineer or Planner.

Project: **DEVELOPMENT PERMIT SITE 'G'**

Client: **Metropia**

Consultant: **NORR Architects Engineers Planners Inc.**

Project Manager: **David J. Jones**

Project Lead: **Cheryl L. Jones**

Project Location: **14399 L. Arroyo**

Client: **METROPIA**
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project: **The Village at Medicine Hill**
SITE 'G' - TOWNHOMES
14399 L. ARROYO DR., Medicine Hill
Village District, Calgary, AB

Drawing Title: **BUILDING 01 ELEVATIONS UNIT TYPE 40'**

Check Grade (may be field obtained):

Project No: **NCCA-17-0089**

Issued On: **DP30-01-01**

Development Permit Plans

The drawings show four elevations of a building with various material and color callouts. The South Elevation (01) and North Elevation (03) are shown from the front and back respectively, with unit types 4B, 4C, 4D, 4E, and 4F. The East Elevation (02) and West Elevation (04) are shown from the side, with unit types 4C and 4E. Each elevation includes a grid of units and a list of material and color specifications.

01 SOUTH ELEVATION
DP30-02-01 1/8" = 1'-0"

02 EAST ELEVATION
DP30-02-01 1/8" = 1'-0"

03 NORTH ELEVATION
DP30-02-01 1/8" = 1'-0"

04 WEST ELEVATION
DP30-02-01 1/8" = 1'-0"

Material Legend:

- 1. MATERIAL: WOOD-GRAIN PANEL (COLOR: REFER TO LETTER BELOW)
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DATE	ISSUED FOR	REV
27/9/2017	DEVELOPMENT PERMIT	A
22/9/2018	DMR RESPONSE	B

The drawing has been prepared solely for the use of the DMR. It is not to be used for any other purpose. It is the responsibility of the user to ensure that the drawing is used in accordance with the relevant legislation and standards.

Product Code: **DEVELOPMENT PERMIT SITE 'G'**

Consultants:
 Civil: Urban Systems
 Landscape: NORR Architects Engineers Planners
 Architect: NORR Architects Engineers Planners
 Mechanical: Mechanical
 Electrical: Electrical

NORR
 2300 41st Street SE,
 Calgary, Alberta Canada T2C 2L2
 www.norr.ca

NORR ARCHITECTS ENGINEERS PLANNERS
 A Division of: United Construction
 2100 17th Street SW,
 Calgary, Alberta Canada T2C 2L2
 www.norr.ca

Project Manager: **Ellen L. Lewis**
 Project Leader: **Ellen L. Lewis**

METROPIA
 2200 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

Project: **The Village at Medicine Hill**
SITE 'G' - TOWNHOUSES
 1455 NAVA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Drawing Title: **BUILDING 02 ELEVATIONS UNIT TYPE '4G'**

Scale: 1/8" = 1'-0"

Project No: **NCCA-17-0069**

Drawing No: **DP30-02-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-03-07	DEVELOPMENT PERMIT	A
2019-03-07	DEVELOPMENT PERMIT	B

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Project Information
DEVELOPMENT PERMIT SITE '03'
Cityplan

Consultants
Client: Urban Systems
Architect: NORR Architects Engineers Planners Inc.
Structural: NORR Architects Engineers Planners Inc.
Mechanical: NORR Architects Engineers Planners Inc.
Electrical: NORR Architects Engineers Planners Inc.

Owner
NORR
2200, 411 - 1st Street S.
Calgary, Alberta, Canada T2C 4K9
780.228.2222
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
1000 - 10th Street S.W. Suite 100
Calgary, Alberta, Canada T2C 4K9
780.228.2222
www.norr.ca

Project Manager: Diana L. Anderson, P.Eng.
Project Leader: Checked
L. Larson, L. Larson

Client:
METROPIA
2300 Yonge Street, Suite 907
Toronto, ON M4P 1E4

Project Name:
The Village at Medicine Hill
SITES 10 - TOWN-HOMES
1430 NAVAL DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 03
ELEVATIONS
UNIT TYPE 40'

Check Scale Only the graph indicated.
Project No: NCCA-17-0089
Drawing No: DP30-03-01

Development Permit Plans



DATE	ISSUED FOR	REV
2019-04-01	DEVELOPMENT PERMIT	A
2019-04-01	REVISED PERMIT	B

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by NORR Architects Engineers Planners Inc. any other person NORR Architects Engineers Planners Inc. does not warrant the accuracy of the information contained herein. The development permit and the conditions contained herein shall apply to the project as shown on the drawings and shall be subject to the provisions of the Act and the Regulations.

Project Name: DEVELOPMENT PERMIT SITE '04'

Client: Urban Systems
City of Calgary
NORR Architects Engineers Planners Inc.

Project Manager: Diana L. Adams
Project Leader: Checked
L. Adams, L. Adams

Client: METROPIA
2300 Yonge Street, Suite 507
Toronto, ON M4P 1E1

Project Name: The Village at Medicine Hill
SITES '10' - TOWN-HOMES
7450 NAZA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Building Title: BUILDING 04
ELEVATIONS
UNIT TYPE 4'

Check Scale Only the project and units
Project No: NCCA-17-0068
Drawing No: DP30-04-01

Development Permit Plans



Development Permit Plans



DATE	ISSUED FOR	REV
2019-06-07	DEVELOPMENT PERMIT	A
2019-06-07	REVISED PERMIT	B

The Village at Medicine Hill
SITES 10 - TOWNHOMES
2450 NAZA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Project Name: Metrovia
2300 Yonge Street, Suite 607
Toronto, ON M4Y 1E1

Project Lead: [Name]
Project Manager: [Name]

Project No: NCCA-17-0068
Drawing No: DP30-06-01

Development Permit Plans



DATE	ISSUED FOR	REV
2019-07-01	DEVELOPMENT PERMIT	A
2019-07-01	REVISED PERMIT	B

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Project Name: **DEVELOPMENT PERMIT SITE '07'**

Client: **Urban Systems**
 City of Calgary
 A Division of
 Development Services

Project Manager: **Dustin L. Adams**
 Project Engineer: **Christina L. Adams**
 Project Architect: **Ilana L. Adams**

NORR
 2200, 411 - 4th Street, S.W.
 Calgary, Alberta, Canada T2C 4K9
 403.243.8888
 www.norr.ca

METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E1

The Village at Medicine Hill
 SITES '10' - TOWNHOMES
 7450 NAZA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Project No: **NCCA-17-0068**

Drawing No: **DP30-07-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-08-01	DEVELOPMENT PERMIT	A
2019-08-01	REVISED PERMIT	B

The drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by NORR Architecture Engineers Planners to any other party. The drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Name: DEVELOPMENT PERMIT SITE '01'
Client: Metropro

Discipline: Urban Systems
Civil: NORR Architecture Engineers Planners
Architectural: NORR Architecture Engineers Planners
Mechanical: NORR Architecture Engineers Planners
Electrical: NORR Architecture Engineers Planners

Project Manager: Diana L. Linton
Project Engineer: Diana L. Linton

Client: METROPRO
2300 Yonge Street, Suite 807
Toronto, ON M4P 1E1

Project: The Village at Medicine Hill
SITE '01' - TOWNHOMES
2450 NAZA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Check Scale Only the ground level
Project No: NCCA-17-0068
Drawing No: DP30-08-01

Development Permit Plans

01 WEST ELEVATION
DP30-09-01 1/8" = 1'-0"

02 SOUTH ELEVATION
DP30-09-01 1/8" = 1'-0"

03 EAST ELEVATION
DP30-09-01 1/8" = 1'-0"

04 NORTH ELEVATION
DP30-09-01 1/8" = 1'-0"

MATERIAL LEGEND

1. MATERIAL: FIBRE CEMENT PANEL ON GYPSUM BOARD COLOUR: REFER TO LETTER BELOW A. LIGHT GRAY B. MEDIUM GRAY C. DARK GRAY D. DARK BROWN E. WHITE	2. MATERIAL: FIBRE CEMENT LATHING BRICKWORK COLOUR: REFER TO LETTER BELOW A. LIGHT GRAY B. MEDIUM GRAY C. DARK GRAY D. DARK BROWN E. WHITE	3. MATERIAL: FIBRE CEMENT PANEL ON GYPSUM BOARD COLOUR: REFER TO LETTER BELOW A. LIGHT GRAY B. MEDIUM GRAY C. DARK GRAY D. DARK BROWN E. WHITE	4. MATERIAL: STONE VENEER COLOUR: REFER TO LETTER BELOW A. LIGHT GRAY B. MEDIUM GRAY C. DARK GRAY D. DARK BROWN E. WHITE	5. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	6. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	7. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	8. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	9. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	10. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	11. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	12. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	13. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	14. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	15. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	16. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	17. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	18. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	19. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	20. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	21. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	22. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	23. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	24. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	25. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	26. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	27. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	28. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	29. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	30. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	31. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	32. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	33. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	34. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	35. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	36. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	37. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	38. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	39. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY	40. MATERIAL: WOOD GRAIN PANELS COLOUR: REFER TO LETTER BELOW A. FAUX WOOD B. BLACK C. GRAY
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DATE	ISSUED FOR	REV
2019-09-07	DEVELOPMENT PERMIT	A
2019-09-06	FOR INFO ONLY	B

The client is responsible for providing all necessary information for the design of the project. The client is responsible for providing all necessary information for the design of the project. The client is responsible for providing all necessary information for the design of the project.

Project Information

DEVELOPMENT PERMIT SITE '01'

Project Name: Metrovia
Project Number: DP30-09-01
Project Location: 2300 Yonge Street, Suite 907, Toronto, ON M4P 1E1

Client

METROVIA
2300 Yonge Street, Suite 907
Toronto, ON M4P 1E1

Architect

THE VILLAGE AT MEDICINE HILL SITE '10' - TOWNHOMES
2300 YONGE STREET, SUITE 907, MEDICINE HILL VILLAGE DISTRICT, CALGARY, AB

Project Title

BUILDING 09 ELEVATIONS
UNIT TYPE '0'

Check Scale Only the project and units
Project No: NCCA-17-0088
Drawing No: DP30-09-01

Development Permit Plans



Development Permit Plans



DATE	ISSUED FOR	REV
2019-05-07	DEVELOPMENT PERMIT	A
2019-04-15	REVISED PERMIT	B

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Project Name: **DEVELOPMENT PERMIT SITE '01'**

Client: Urban Systems
 2300 Yonge Street, Suite 507
 Toronto, ON M4P 1E1

Project Manager: **Dustin**
 Project Leader: **Chukwu**
 Designer: **H. Lopez, L. Lopez**

METROPIA
 2300 Yonge Street, Suite 507
 Toronto, ON M4P 1E1

The Village at Medicine Hill
 SITES '10' - TOWNHOMES
 2450 NAVA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Project No: **DP30-11-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-06-07	DEVELOPMENT PERMIT	A
2019-04-15	DEVELOPMENT PERMIT	B

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Project Name: DEVELOPMENT PERMIT SITE '01'
Location: [Redacted]

Consultant: Urban Systems
City: Medicine Hat
Architect: NORR Architects & Engineers, Inc.
Project No: [Redacted]

NORR
2500, 411 - 44 Street, S.E.
Calgary, Alberta, Canada T2C 4K9
403.242.0000

NORR ARCHITECTS & ENGINEERS PLANNERS
A Part of the United Group
1000 - 10th Avenue, S.W.
Calgary, Alberta, Canada T2C 4K9
403.242.0000

Project Manager: [Redacted]
Architect: [Redacted]
Project Leader: [Redacted]
City: [Redacted]

METROPIA
2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4

The Village at Medicine Hill
SITES 10 - 12 TOWN-HOMES
1433 NAVAL DRIVE SW, Medicine Hill
Village District, Calgary, AB

Building Title: BUILDING 12 ELEVATIONS UNIT TYPE '01'

Check Scale Only the graphic indicates:
1" = 16'-0" (1:192)

Project No: NCCA-17-0089
Drawing No: DP30-12-01

Development Permit Plans



DATE	ISSUED FOR	REV
2019-06-07	DEVELOPMENT PERMIT	A
2019-06-07	REVISED PERMIT	B

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The drawings were prepared and the information contained herein is for the use of the CLIENT and shall not be used for any other purpose without the written consent of NORR Architects & Engineers.

Project Name: **DEVELOPMENT PERMIT SITE 'G'**

Client: Urban Systems
 City: Calgary
 Address: 10000 13th Avenue, NW, Calgary, Alberta, Canada T2C 0G8

Design: Urban Systems
 City: Calgary
 Address: 10000 13th Avenue, NW, Calgary, Alberta, Canada T2C 0G8

Project Manager: Duane
 Project Leader: Chukwu
 Designer: H. Lopez, L. Lopez

Client: **METROPIA**
 2300 Yonge Street, Suite 507
 Toronto, ON M4P 1E1

Project: **The Village at Medicine Hill**
 SITES '10' - TOWNHOMES
 2450 MAIN DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Project No: NCCA-17-0068

Drawing No: DP30-13-01

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-16	DRAW RESPONSE	B

The drawing has been prepared solely for the use of the client and shall not be used for any other purpose without the prior written consent of NORR Architects Engineers Planners Inc. The drawing shall not be used for construction purposes until its use is approved in writing by the Project Architect.

Project Name: DEVELOPMENT PERMIT SITE 'C'

Consultants:
Client: Urban Systems
Landscape: NORR Architects Engineers Planners Inc.
Architectural: NORR Architects Engineers Planners Inc.
Mechanical:
Electrical:

Company:
NORR
2500 41st Street, Suite 607
Calgary, Alberta, Canada T2C 4K9
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Impact Group

Project:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1C4

Building Title:
BUILDING 14
ELEVATIONS
UNIT TYPE 3'

Check Scale (not to scale):
1" = 16'-0"

Project No.: NCCA-17-0065

Drawing No.: DP30-14-01

Development Permit Plans



DATE	ISSUED FOR	REV
2019-05-07	DEVELOPMENT PERMIT	A
2019-05-07	DEVELOPMENT PERMIT	B

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Project Name: **DEVELOPMENT PERMIT SITE 'G'**

Client: Urban Systems
Architect: NORR Architects Engineers Planners Inc.
Structural: NORR Architects Engineers Planners Inc.
Mechanical: NORR Architects Engineers Planners Inc.
Electrical: NORR Architects Engineers Planners Inc.

Project Manager: **Dustin**
Project Leader: **Chukwu**
Project Engineer: **H. L. L. L.**

METROPIA
2300 Yonge Street, Suite 507
Toronto, ON M2P 1E1

The Village at Medicine Hill
SITES 'C' - 'I' - TOWN-HOMES
2450 NAZA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Project Title: **BUILDING 15 ELEVATIONS UNIT TYPE 'G'**

Check Scale: Only the ground level.

Project No: **NCCA-17-0068**

Drawing No: **DP30-15-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2019-07-10	FOR PERMITTING	A
2019-07-10	FOR PERMITTING	B

This drawing has been prepared solely for the use of the client and shall not be used for any other purpose without the written consent of the architect. The architect shall not be held responsible for any errors or omissions in this drawing.

Project Name: DEVELOPMENT PERMIT, SITE 'C'
Keyplan

Color Book:
1. Urban Systems
2. NORR Architects Engineers Planners
3. NORR Architects Engineers Planners
4. Mechanical
5. Electrical

Client:
NORR
2300 41st Street SE
Calgary, Alberta Canada T2C 2T5
www.norr.ca

NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Allied Companies
2300 41st Street SE, Calgary, Alberta Canada T2C 2T5
www.norr.ca

Project Manager: L. Armitage, L. Lavoie
Project Leader: L. Lavoie
111 weeks
M. Lavoie, L. Armitage

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1C4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1455 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 17
ELEVATIONS
UNIT TYPE 'D'

Scale: 1/8" = 1'-0" (as shown)
1" = 1'-0" (as shown)

Project No: NCCA-17-0068
Drawing No: DP30-17-01

Development Permit Plans



DATE	ISSUED FOR	REV
2019-07-10	FOR REVIEW ONLY	1
2019-07-10	FOR REVIEW ONLY	2

This drawing has been prepared solely for the use of the client and shall not be used for any other purpose without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing. The client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall not be responsible for any delays or costs incurred by the client in obtaining such permits and approvals. The architect shall not be responsible for any damage to property or persons caused by the use of this drawing. The architect shall not be responsible for any other matters not specifically mentioned in this drawing. The architect shall not be responsible for any other matters not specifically mentioned in this drawing.

Project Information
DEVELOPMENT PERMIT, SITE 'C'
Keyplan

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architect: NORR Architects Engineers Planners
Structural: BlueLine
Mechanical: I Interiors

Client
METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1455 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Project File
BUILDING 19
ELEVATIONS
UNIT TYPE 'SM'

Drawn
NCCA-17-0068

Checked
DP30-19-01

Development Permit Plans



DATE	ISSUED FOR	REV
2019-06-07	DEVELOPMENT PERMIT	A
2019-06-07	REVISED PERMIT	B

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The drawings were prepared and the information contained therein is for the use of the CLIENT and is not to be used for any other purpose without the written consent of NORR Architects Engineers Planners Inc.

Project Name: **DEVELOPMENT PERMIT SITE 'G'**

Client: **Urban Systems**
 2300 Yonge Street, Suite 507
 Toronto, ON M4P 1E1

Project Manager: **Dustin**
 2300 Yonge Street, Suite 507
 Toronto, ON M4P 1E1

Project Leader: **Chakradhar**
 2300 Yonge Street, Suite 507
 Toronto, ON M4P 1E1

Client: **METROPIA**
 2300 Yonge Street, Suite 507
 Toronto, ON M4P 1E1

Project Name: **The Village at Medicine Hill**
 SITES 'C' - TOWNHOMES
 7450 MAIN DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Project No: **DP30-21-01**

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-16	DTR RESPONSE	B

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Project Description:
DEVELOPMENT PERMIT SITE 'C'
Kosher

Consultants:
Civil: Other Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural:
Mechanical:
Electrical:

Architect:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K5
403.243.8888
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Encompass Group
10000 Macleod Trail SE, Suite 1000
Calgary, Alberta, Canada T2C 1M2
403.243.8888

Project Manager:
D. Smith
L. Atkinson, LLC

Project:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project Name:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
UNIT 1_INT PLANS

Check: ERM (not for printed use)

Project No.:
NCCA-17-0069

Drawing No.:
DP45-01-01

Development Permit Plans

01 UNIT 1 - END GROUND FLOOR PLAN
DP45-01-02 1/8" = 1'-0"

02 UNIT 1 - END SECOND FLOOR PLAN
DP45-01-02 1/8" = 1'-0"

03 UNIT 1 - END SECOND FLOOR KITCHEN OPT. PLANS
DP45-01-02 1/8" = 1'-0"

04 UNIT 1 - END THIRD FLOOR PLAN-2 BEDROOMS
DP45-01-02 1/8" = 1'-0"

05 UNIT 1 - END THIRD FLOOR PLAN-3 BEDROOMS
DP45-01-02 1/8" = 1'-0"

06 UNIT 1 - END THIRD FLOOR PLAN-2 BEDROOMS
DP45-01-02 1/8" = 1'-0"

DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-16	DTR RESPONSE	B

The drawing has been prepared solely for the use of the Client and shall not be used for any other purpose without the prior written consent of the Architect. The drawing shall not be used for construction purposes until its use is approved in writing by the Architect or Engineer.

Project Description:
DEVELOPMENT PERMIT SITE 'C'
Kosher

Consultants:
Civil: Other Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: [Blank]
Mechanical: [Blank]
Electrical: [Blank]

Company:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K5
www.norr.com
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the Impact Group
10000 10th Avenue NW
Calgary, Alberta T2C 1E9
www.impactgroup.com

Project Manager: [Blank]
Project Engineer: [Blank]
Project Architect: [Blank]
Project Designer: [Blank]

Project:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
UNIT 1_END PLANS

Check: [Blank]
Scale: 1/8" = 1'-0"

Project No.: NCCA-17-0069
Drawing No.: DP45-01-02

Development Permit Plans

01 UNIT 3-END GROUND FLOOR PLAN
DP45 03 02 1/4" = 1'-0"

02 UNIT 3-END SECOND FLOOR PLAN
DP45 03 02 1/4" = 1'-0"

03 UNIT 3-END THIRD FLOOR PLAN-3 BEDROOMS
DP45 03 02 1/4" = 1'-0"

04 UNIT 3-END THIRD FLOOR PLAN-2 BEDROOMS
DP45 03 02 1/4" = 1'-0"

DATE	ISSUED FOR	REV
2018 02 27	DEVELOPMENT PERMIT	A
2019 07 10	DTR RESPONSE	B

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This drawing shall not be used for construction purposes until its use and approval terms is signed and sealed by the Architect of Record.

Project No: **DEVELOPMENT PERMIT SITE 01**
Kospar

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

NORR
2500 41st Street SW
Calgary, Alberta, Canada T2C 4K5
403.243.8800
NORR ARCHITECTS ENGINEERS PLANNERS
A Corporation of Alberta
10000 10th Street SW
Calgary, Alberta T2C 1E9
www.norr.ca

Project Manager	U. Singh
Architect	L. de la Cruz, L.L.C.
Project Lead	C. Carter
Project Architect	M. J. Jones, L. Architects

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 01 - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

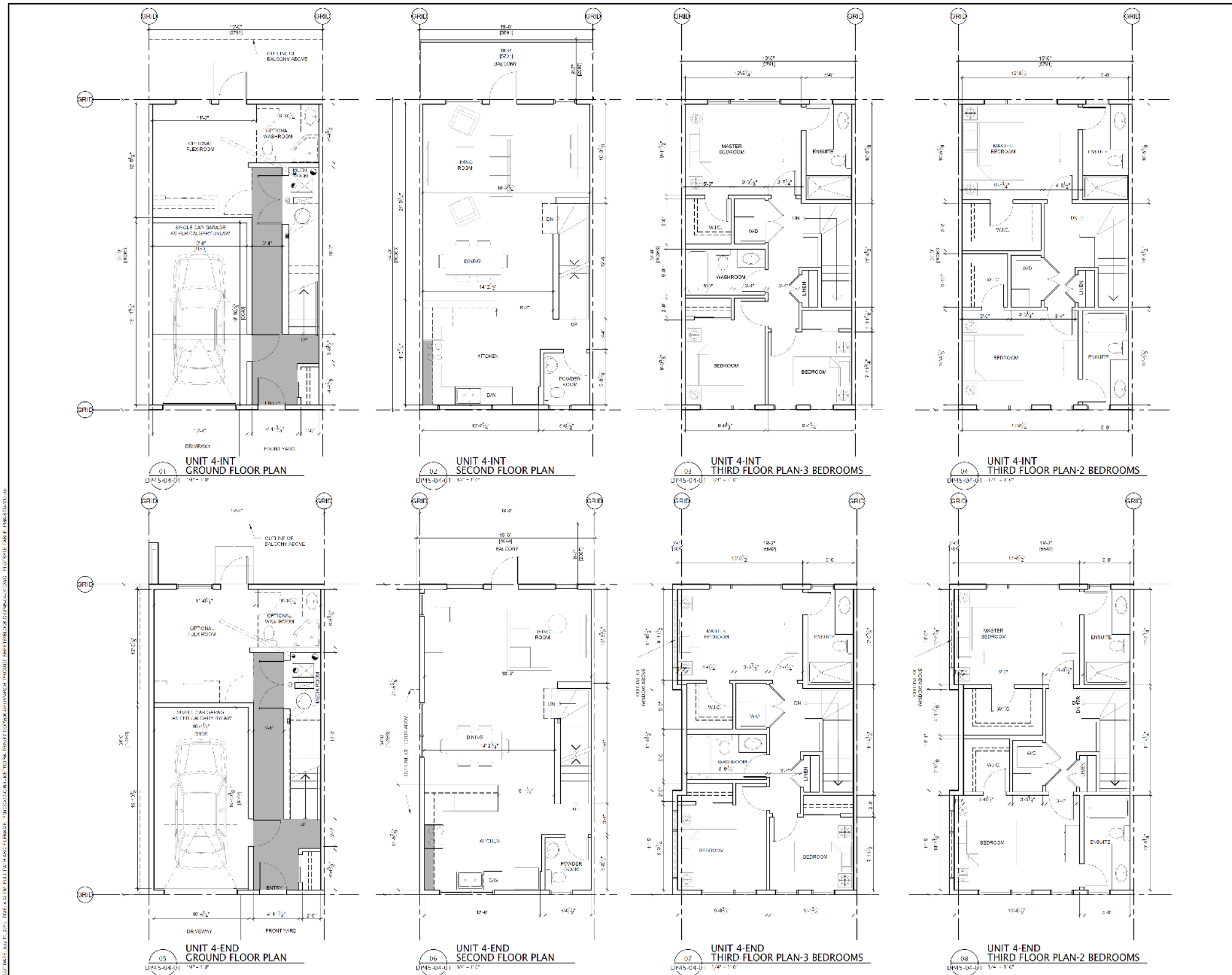
Drawing Title:
UNIT 3-END PLANS

Check Scale (may be printed reduced)

Project No: **NCCA-17-0069**

Drawing No: **DP45-03-02**

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-16	DTR RESPONSE	B

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Project Name: DEVELOPMENT PERMIT SITE 'C'

Consultants:
 Civil: Other Systems
 Landscape: NORR Architects Engineers Planners Architects
 Mechanical: M&M Associates Engineers Planners
 Electrical: M&M Associates Engineers Planners
 Structural: M&M Associates Engineers Planners

Architect:
NORR
 2500, 411 - 1st Street SE
 Calgary, Alberta, Canada T2C 4K9
 403.275.8888
 NORR ARCHITECTS ENGINEERS PLANNERS
 A member of the Envision Group
 10000, 10000 - 10000
 10000, 10000 - 10000
 10000, 10000 - 10000

Project Manager: D. Smith
 Project Architect: J. Carter
 Project Engineer: M. Jones, I. Arora

Client:
METROPIA
 2500 Yonge Street, Suite 607
 Toronto, ON, M4P 1E4

Project:
 The Village at Medicine Hill
 SITE 'C' - TOWNHOMES
 1453 NAVA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

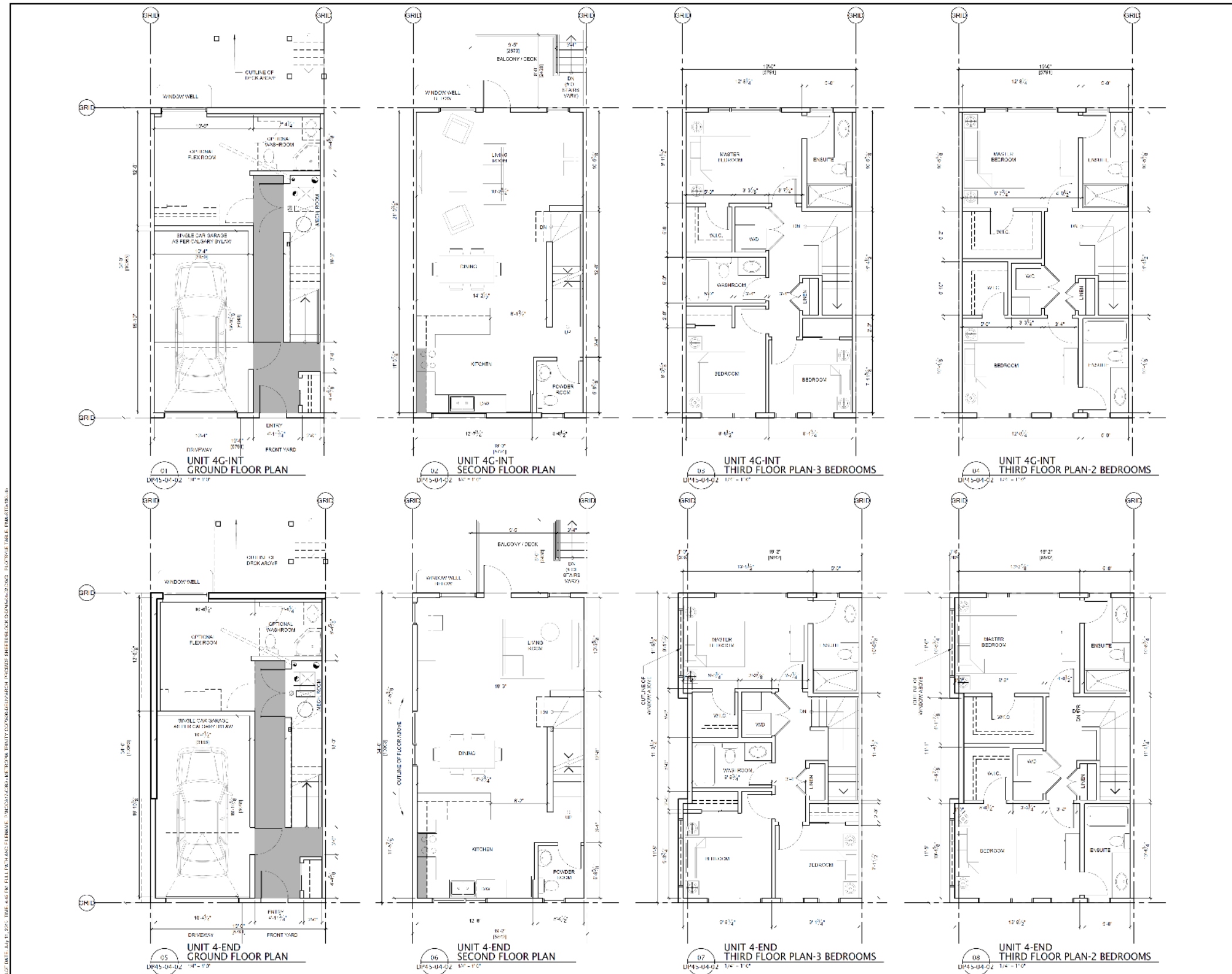
Drawing Title:
UNIT 4_INT & END PLANS

Check Scale (may be printed reduced)

Project No.: NCCA-17-0069

Drawing No.: DP45-04-01

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DPA RESPONSE	B

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Project Name: DEVELOPMENT PERMIT SITE 01
 Location: Medicine Hill

Consultants:
 Civil: Other Systems
 Landscaping: NORR Architects Engineers Planners
 Architectural: NORR Architects Engineers Planners
 Mechanical: Mechanical
 Electrical: Electrical

Architect:
NORR
 2500 41st Street SE
 Calgary, Alberta, Canada T2C 4K9
 403.243.1100
 NORR ARCHITECTS ENGINEERS PLANNERS
 A member of the HOK Group
 1000 10th Street SW
 Calgary, Alberta, Canada T2P 1C9
 403.243.1100

Project Manager:
 D. Smith
 L. Atkinson, LLC
 C. Carter
 H. Jackson, I. Arsenau

Client:
METROPIA
 2500 Yonge Street, Suite 607
 Toronto, ON, M4P 1E4

Project:
 The Village at Medicine Hill
 SITE 01 - TOWNHOMES
 1453 NAVA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
 UNIT 4G-INT & END PLANS

Check: [Signature]
 Scale: 1/8" = 1'-0"

Project No.: NCCA-17-0069
 Drawing No.: DP45-04-02

Development Permit Plans

01 UNIT 5_INT GROUND FLOOR PLAN
DP45-05-01 1/4" = 1'-0"

02 UNIT 5_INT SECOND FLOOR PLAN
DP45-05-01 1/4" = 1'-0"

03 UNIT 5_INT THIRD FLOOR PLAN-3 BEDROOMS
DP45-05-01 1/4" = 1'-0"

04 UNIT 5_INT THIRD FLOOR PLAN-3 BEDROOMS
DP45-05-01 1/4" = 1'-0"

DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

The drawing has been prepared solely for the use of the Client and shall not be used for any other purpose without the prior written consent of NORR Architects Engineers Planners Inc. The drawing shall not be used for construction purposes until its use is approved in writing by the Architect of Record.

Project Information
DEVELOPMENT PERMIT SITE 'C'
Keston

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners Inc.
Architectural: NORR Architects Engineers Planners Inc.
Mechanical: NORR Architects Engineers Planners Inc.
Electrical: NORR Architects Engineers Planners Inc.

Company
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K9
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
A member of Impact Companies
10000 10th Avenue SW, Suite 100
Calgary, Alberta, Canada T2C 1E9
www.norr.ca

Project Manager	D. Smith
Project Architect	L. de la Cruz, LLC
Project Engineer	C. Carter
Project Designer	M. J. Jones, I. Atkins

Client
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title
UNIT 5_INT PLANS

Check State (may be printed on site)

Project No. NCCA-17-0069

Drawing No. DP45-05-01

Development Permit Plans

01 UNIT 5_END GROUND FLOOR PLAN
DP45-05-02 14' x 17'

02 UNIT 5_END SECOND FLOOR PLAN
DP45-05-02 14' x 17'

04 UNIT 5_END THIRD FLOOR PLAN-3 BEDROOMS
DP45-05-02 14' x 17'

05 UNIT 5_END THIRD FLOOR PLAN-2 BEDROOMS
DP45-05-02 14' x 17'

DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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This drawing shall not be used for construction purposes until its use and approval terms is signed and sealed by the Architect of Record.

Project Name: DEVELOPMENT PERMIT SITE 'C'

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical: NORR Architects Engineers Planners
Electrical: NORR Architects Engineers Planners

NORR
2500, 411 - 1st Street SE
Calgary, Alberta, Canada T2S 4K5
403.243.1111

NORR ARCHITECTS ENGINEERS PLANNERS
A member of the NORR Group
1000 - 10th Street SW
Calgary, Alberta, Canada T2P 1C9
403.243.1111

Project Manager	D. Smith
Designer	L. de la Cruz, LLC
Project Lead	C. Carter
Project Architect	M. J. Jones, I. Architects

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

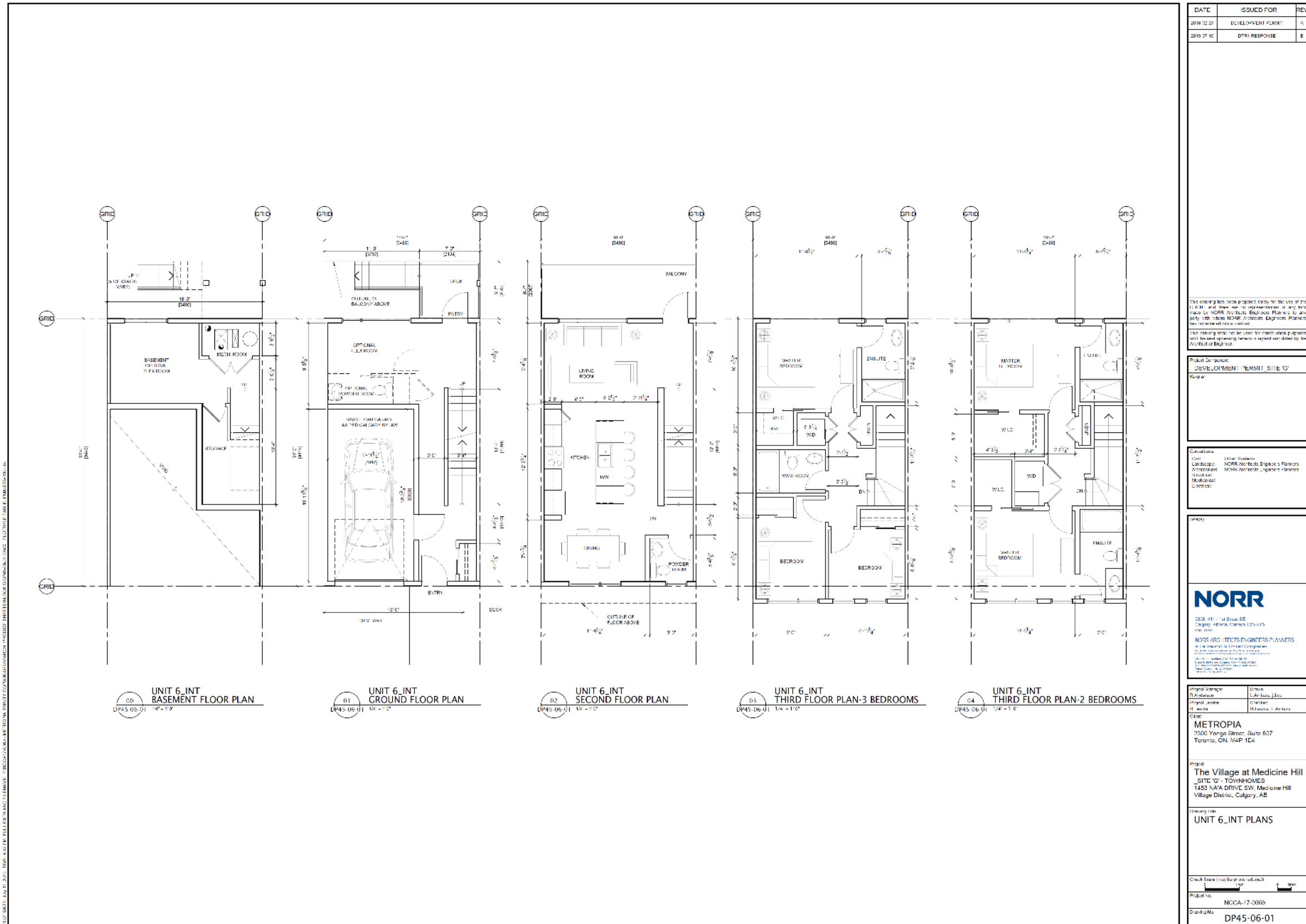
Drawing Title:
UNIT 5_END PLANS

Check Scale (may be printed reduced)

Project No.: NCCA-17-0069

Drawing No.: DP45-05-02

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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Project Name:
DEVELOPMENT PERMIT SITE 'C'
Kestrel

Consultants:
Civil: Other Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical: Mechanical
Electrical: Electrical

NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K5
403.243.7000
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the NORR Group
10000 104th Street NW
Edmonton, Alberta, Canada T5A 0G6
780.443.7000

Project Manager	U. Singh
Project Architect	L. de la Cruz, LLC
Project Engineer	C. Carter
Project Designer	M. J. Jones, J. Arora

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
UNIT 6_INT PLANS

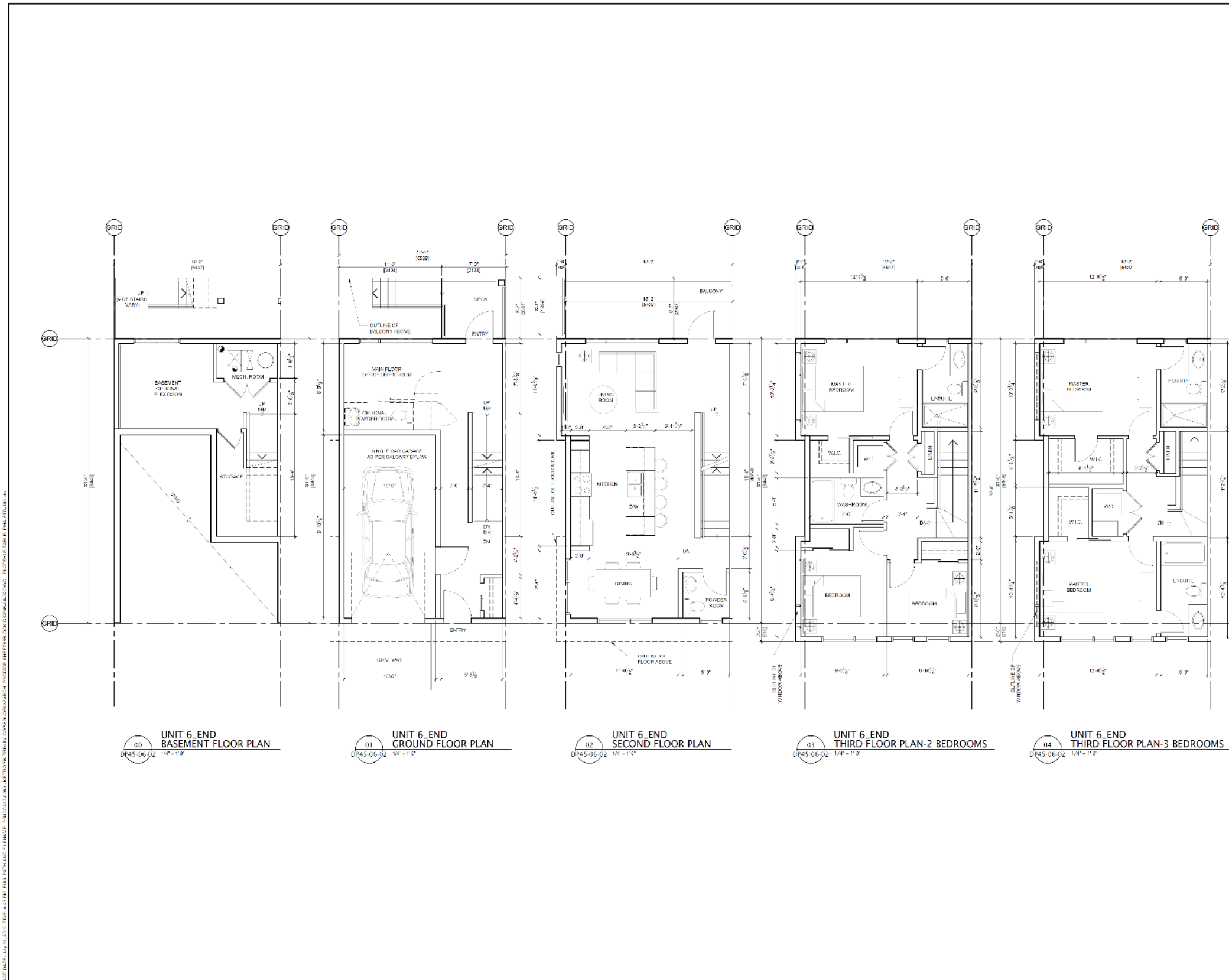
Check State (only for printed output)

Scale: 1/4" = 1'-0"

Project No.: NCCA-17-0069

Drawing No.: DP45-06-01

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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Project Name: DEVELOPMENT PERMIT SITE 'C'

Consultants:
 Civil: Other Systems
 Landscape: NORR Architects Engineers Planners
 Architectural: NORR Architects Engineers Planners
 Mechanical: Mechanical
 Electrical: Electrical

Company:
NORR
 2500, 411 - 1st Street SE
 Calgary, Alberta, Canada T2C 4K5
 403.243.8888
 NORR ARCHITECTS ENGINEERS PLANNERS
 A member of the NORR Group
 1000 - 10th Street SW
 Calgary, Alberta, Canada T2C 4K5
 403.243.8888

Project Manager	Urbach
Architect	L. A. Urbach, LLC
Project Lead	Cherise
Project Lead	M. J. Urbach, L. A. Urbach

Client:
METROPIA
 2500 Yonge Street, Suite 607
 Toronto, ON, M4P 1E4

Project:
 The Village at Medicine Hill
 SITE 'C' - TOWNHOMES
 1453 NAVA DRIVE SW, Medicine Hill
 Village District, Calgary, AB

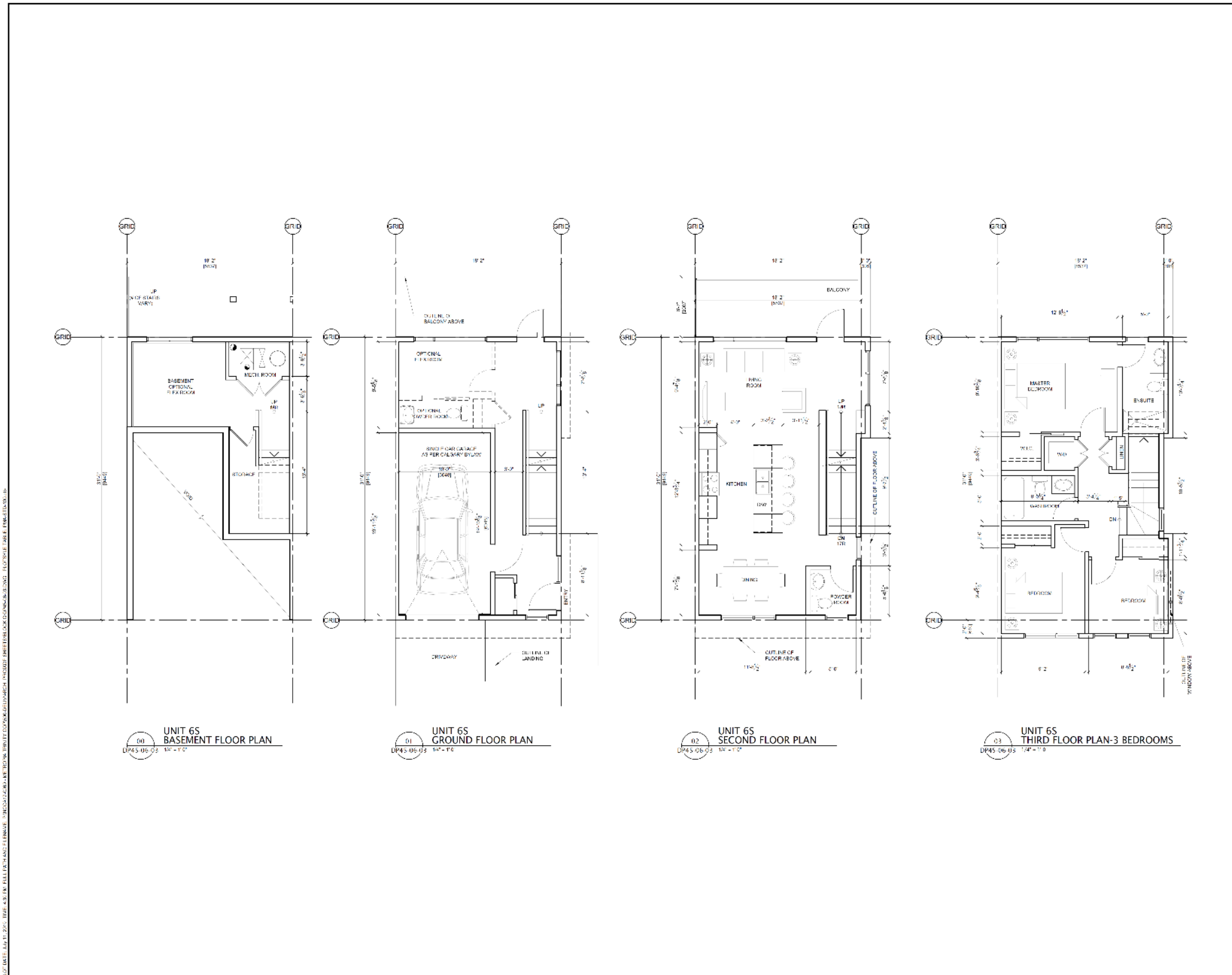
Drawing Title:
UNIT 6-END PLANS

Check State (may be printed on job)

Project No.: NCCA-17-0069

Drawing No.: DP45-06-02

Development Permit Plans



DATE	ISSUED FOR	REV
2018-02-27	DEVELOPMENT PERMIT	A
2019-07-10	DTR RESPONSE	B

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Project Name:
DEVELOPMENT PERMIT SITE 'C'

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Mechanical:
Electrical:

Company:
NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K5
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NORR ARCHITECTS ENGINEERS PLANNERS
A member of the HOK Group
10000 104th Avenue NW
Suite 1000, Edmonton, Alberta T5A 0G6
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Project Manager	U. Shah
Architect	L. de la Cruz, L.L.C.
Project Lead	C. Carter
Project No.	M. J. Jones, L. Arreola

Client:
METROPIA
2500 Yonge Street, Suite 607
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 'C' - TOWNHOMES
1453 NAVA DRIVE SW, Medicine Hill
Village District, Calgary, AB

Drawing Title:
UNIT 6S_PLANS

Check: ERM (not to be printed)

Scale:
1" = 1/8" (1/8" = 1')

Project No.:
NCCA-17-0069

Drawing No.:
DP45-06-03