

Development Permit Plans

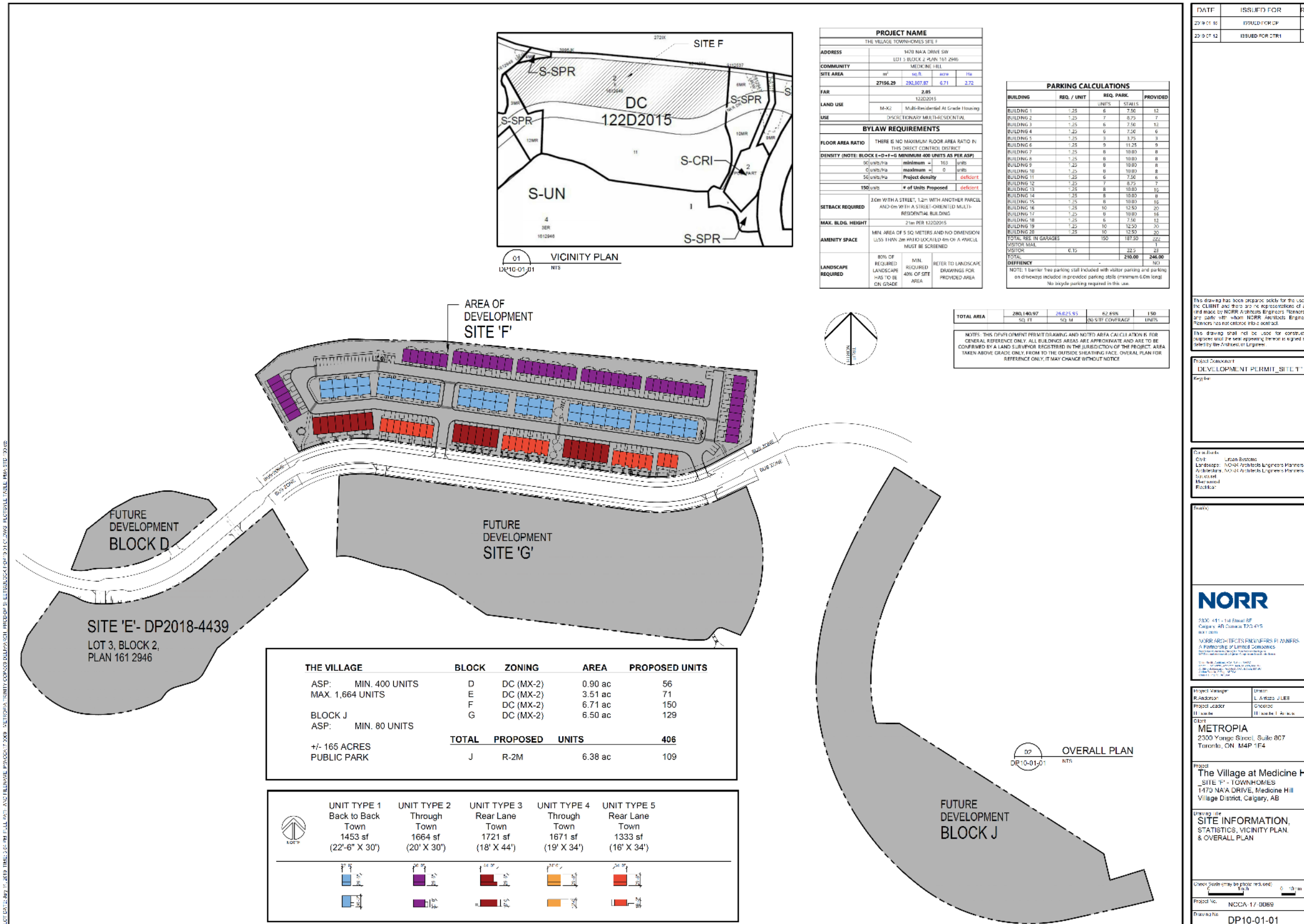
THE VILLAGE AT MEDICINE HILL - SITE "F" - TOWNHOMES

LEGAL: LOT 5, BLOCK 2, PLAN 161 2946
1470 NA'A DRIVE SW, CALGARY, ALBERTA

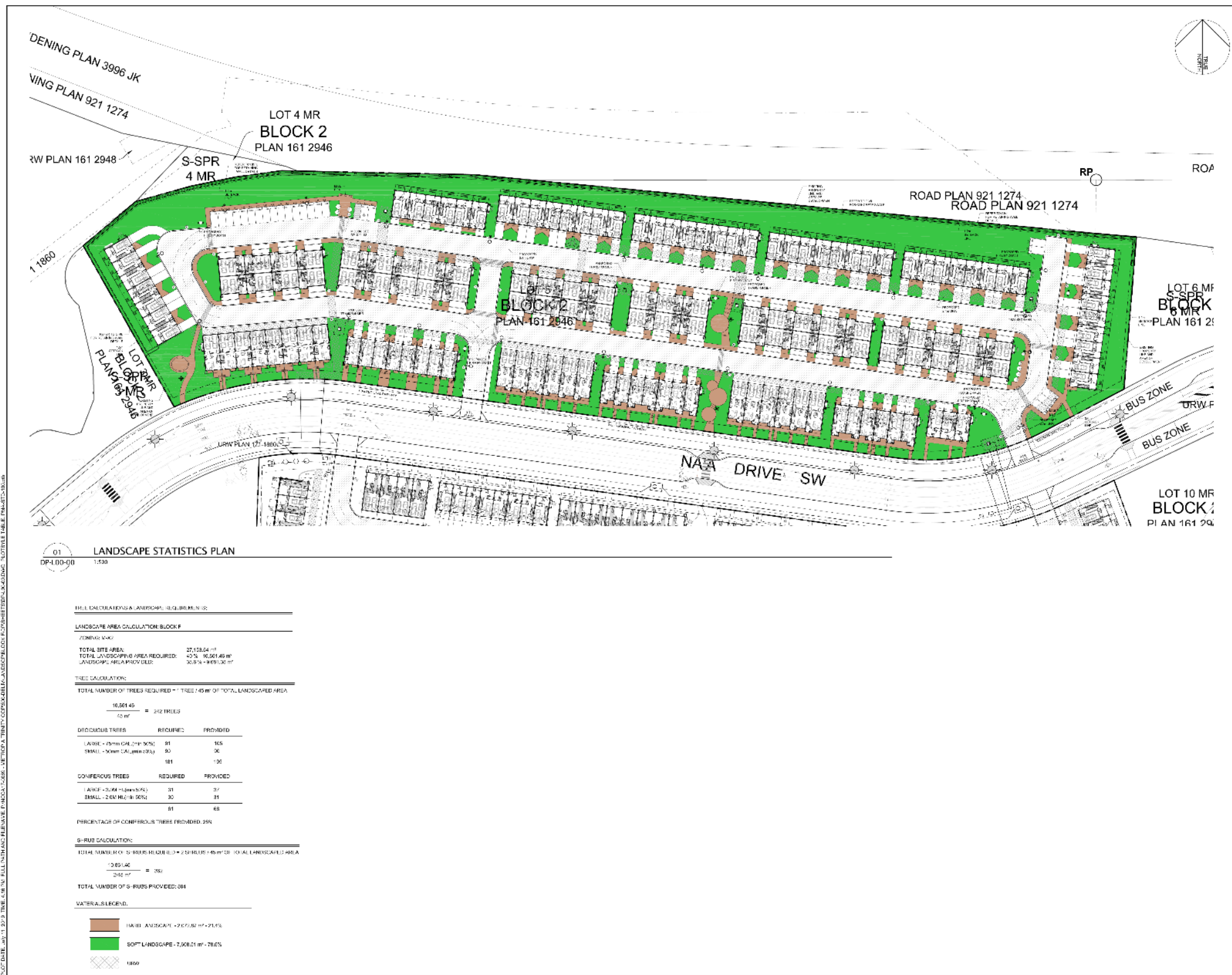
| | | |
|---|--|---|
| <p>ARCHITECTURAL</p> <p>NORR Architects Engineers Planners SUITE 2300, 411 - 1ST STREET., SE. CALGARY, AB, T2G 4Y5 P: 403-264-4000 F: 403-269-7215</p> |  | <p>CLIENT</p> <p>METROPIA 2300 Yonge Street, Suite 807 Toronto, ON, M4P 1E4</p> |
| <p>CIVIL</p> <p>URBAN SYSTEMS SUITE 101, 134 11TH AVENUE SE CALGARY, ALBERTA T2G 0X5 P: 403-291-1193</p> | | <p>DRAWING SET INFORMATION</p> <p>NORR PROJECT NUMBER: NCCA17-0069 DP NUMBER: DP2019-0211 ISSUED FOR DEVELOPMENT PERMIT: JAN 15, 2019 ISSUED FOR DTR1 RESPONSE: JULY 12, 2019</p> |
| <p>LANDSCAPE</p> <p>NORR Architects Engineers Planners 411 - 1ST STREET SE CALGARY, AB, T2G 4Y5 P: 403-264-4000 F: 403-269-7215</p> | | <p style="font-size: 24pt; font-weight: bold; color: #0056b3;">NORR</p> <p>2300, 411 - 1st Street SE, Calgary, AB Canada T2G 4Y5 norr.com</p> <p>NORR ARCHITECTS ENGINEERS PLANNERS A Partnership of Limited Companies <small>NORR is a registered company under the laws of the Province of Alberta</small></p> <p style="font-size: 8pt;"><small>Shirley Smith - Architect, AIA, P. Arch, M.A.S.C. Blair D. Macdonald, Architect, AIA, P. Arch, M.A.S.C. A. Silvio Jandrosich, Architect, AIA, P. Arch, M.A.S.C. Andrew Franko, P. Eng., A.C.T.Eng. © 2019 NORR ARCHITECTS ENGINEERS PLANNERS</small></p> |

| | | | |
|---|--|---|--|
| <p>ARCHITECTURAL</p> <p>DP-10-01-01 SITE INFORMATION & STATISTICS, VICINITY PLAN & OVERALL PLAN DP-10-01-02 SITE F PLAN, SIGNAGE & DETAILS DP-10-01-03 PHASING PLAN DP-10-01-04 WASTE & RECYCLING DP-10-01-05 SITE SECTIONS DP-20-01-01 BUILDING 01 & 03 FLOOR PLANS & ROOF PLAN, UNIT TYPE '3M' DP-20-02-01 BUILDING 02 FLOOR PLANS & ROOF PLAN, UNIT TYPE '5M' DP-20-04-01 BUILDING 04 FLOOR PLANS & ROOF PLAN, UNIT TYPE '5M' DP-20-05-01 BUILDING 05 FLOOR PLANS & ROOF PLAN, UNIT TYPE '5' DP-20-06-01 BUILDING 06 FLOOR PLANS, UNIT TYPE '6 & 6S' DP-20-06-02 BUILDING 06 FLOOR PLANS & ROOF PLAN, UNIT TYPE '6 & 6S' DP-20-07-01 BUILDING 07, 08, 09 & 10 FLOOR PLANS, UNIT TYPE '6' DP-20-07-02 BUILDING 07, 08, 09 & 10 FLOOR PLANS & ROOF PLAN, UNIT TYPE '6' DP-20-11-01 BUILDING 11 FLOOR PLANS & ROOF PLAN, UNIT TYPE '6' DP-20-12-01 BUILDING 12 FLOOR PLANS, UNIT TYPE '6' DP-20-12-02 BUILDING 12 FLOOR PLANS & ROOF PLAN, UNIT TYPE '6' DP-20-13-01 BUILDING 13 FLOOR PLANS, UNIT TYPE '3G' DP-20-13-02 BUILDING 13 FLOOR PLANS & ROOF PLAN, UNIT TYPE '3G' DP-20-14-01 BUILDING 14 FLOOR PLANS, UNIT TYPE '5G' DP-20-14-02 BUILDING 14 FLOOR PLAN & ROOF PLAN, UNIT TYPE '5G'</p> | <p>DP-20-15-01 BUILDING 15 FLOOR PLANS, UNIT TYPE '1' DP-20-15-02 BUILDING 15 FLOOR PLAN & ROOF PLAN, UNIT TYPE '1' DP-20-16-01 BUILDING 16 FLOOR PLANS, UNIT TYPE '1' DP-20-16-02 BUILDING 16 FLOOR PLAN & ROOF PLAN, UNIT TYPE '1' DP-20-17-01 BUILDING 17 FLOOR PLANS, UNIT TYPE '1' DP-20-17-02 BUILDING 17 FLOOR PLANS & ROOF PLAN, UNIT TYPE '1' DP-20-18-01 BUILDING 18 FLOOR PLANS & ROOF PLAN, UNIT TYPE '1' DP-20-19-01 BUILDING 19 & 20 FLOOR PLANS, UNIT TYPE '1' DP-20-19-02 BUILDING 19 & 20 FLOOR PLAN & ROOF PLAN, UNIT TYPE '1' DP-30-01-01 BUILDING 01 ELEVATIONS, UNIT TYPE '3M' DP-30-02-01 BUILDING 02 ELEVATIONS, UNIT TYPE '5M' DP-30-03-01 BUILDING 03 ELEVATIONS, UNIT TYPE '3M' DP-30-04-01 BUILDING 04 ELEVATIONS, UNIT TYPE '5M' DP-30-05-01 BUILDING 05 ELEVATIONS, UNIT TYPE '5' DP-30-06-01 BUILDING 06 ELEVATIONS, UNIT TYPE '6 & 6S' DP-30-07-01 BUILDING 07 ELEVATIONS, UNIT TYPE '6' DP-30-08-01 BUILDING 08 ELEVATIONS, UNIT TYPE '6' DP-30-09-01 BUILDING 09 ELEVATIONS, UNIT TYPE '6' DP-30-10-01 BUILDING 10 ELEVATIONS, UNIT TYPE '6' DP-30-11-01 BUILDING 11 ELEVATIONS, UNIT TYPE '6'</p> | <p>DP-20-12-01 BUILDING 12 FLOOR PLANS, UNIT TYPE '6' DP-20-12-02 BUILDING 12 FLOOR PLANS & ROOF PLAN, UNIT TYPE '6' DP-30-13-01 BUILDING 13 ELEVATIONS, UNIT TYPE '3G' DP-30-14-01 BUILDING 14 ELEVATIONS, UNIT TYPE '5G' DP-30-15-01 BUILDING 15 ELEVATIONS, UNIT TYPE '1' DP-30-16-01 BUILDING 16 ELEVATIONS, UNIT TYPE '1' DP-30-17-01 BUILDING 17 ELEVATIONS, UNIT TYPE '1' DP-30-18-01 BUILDING 18 ELEVATIONS, UNIT TYPE '1' DP-30-19-01 BUILDING 19 ELEVATIONS, UNIT TYPE '1' DP-30-20-01 BUILDING 20 ELEVATIONS, UNIT TYPE '1' DP-45-01-01 UNIT 01_INT PLANS DP-45-01-02 UNIT 01_END PLANS DP-45-03-03 UNIT 03G_INT PLANS DP-45-03-04 UNIT 03G_END PLANS DP-45-03-05 UNIT 03M_INT PLANS DP-45-03-06 UNIT 03M_END PLANS DP-45-05-01 UNIT 05_INT PLANS DP-45-05-02 UNIT 05_END PLANS DP-45-05-03 UNIT 05M_INT PLANS DP-45-05-04 UNIT 05M_END PLANS DP-45-06-01 UNIT 06_INT PLANS DP-45-06-02 UNIT 06_END PLANS DP-45-06-03 UNIT 06S_PLANS</p> | <p>CIVIL</p> <p>C01.0A SITE SERVICING PLAN C01.0B SITE SERVICING PLAN C01.0C SITE SERVICING PLAN C02.0A SITE GRADING PLAN C02.0B SITE GRADING PLAN C02.0C SITE GRADING PLAN C04.0 DETAILS FIGURE 1 CONCEPTUAL SITE PLAN FIGURE 2 CONCEPTUAL GRADING PLAN BLOCK F FIGURE 3 CONCEPTUAL GRADING PLAN BLOCK F FIGURE 4 CONCEPTUAL GRADING PLAN BLOCK F FIGURE 5 CONCEPTUAL GRADING PLAN BLOCK F FIGURE 6 CONCEPTUAL GRADING PLAN BLOCK F</p> <p>LANDSCAPE</p> <p>DP-L00-00 LANDSCAPE SITE PLAN DP-L01-00 LANDSCAPE PLAN DP-L01-01 LANDSCAPE FEATURES DP-L01-02 TREE PROTECTION PLAN DP-L02-00 LANDSCAPE FEATURES</p> |
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Development Permit Plans



Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|-----------------|-----|
| 2019-11-15 | ISSUED FOR DP | A |
| 2019-07-12 | ISSUED FOR SITE | E |

This drawing has been prepared solely for the use of the CLIENT and these are the representations of the work made by NORR Architects Engineers Planners to any party other than NORR Architects Engineers Planners has not entered into a contract.

The drawings shall not be used for any purpose other than the one specified herein unless the drawings are signed and sealed by the Architect or Engineer.

Project Component:
DEVELOPMENT PERMIT SITE F
Koopman

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: Metropia
Block out

Drawn:

NORR
2000, 411 - 1st Street SW
Calgary, AB Canada T2G 4R6
403.240.4000
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
Architectural: NORR Architects Engineers Planners
Landscape: NORR Architects Engineers Planners
Civil: Urban Systems
Structural: Metropia

Project Manager: R. Anderson
Design: S. Blundell
Project Leader: M. Zipp
Checked: C. Blundell

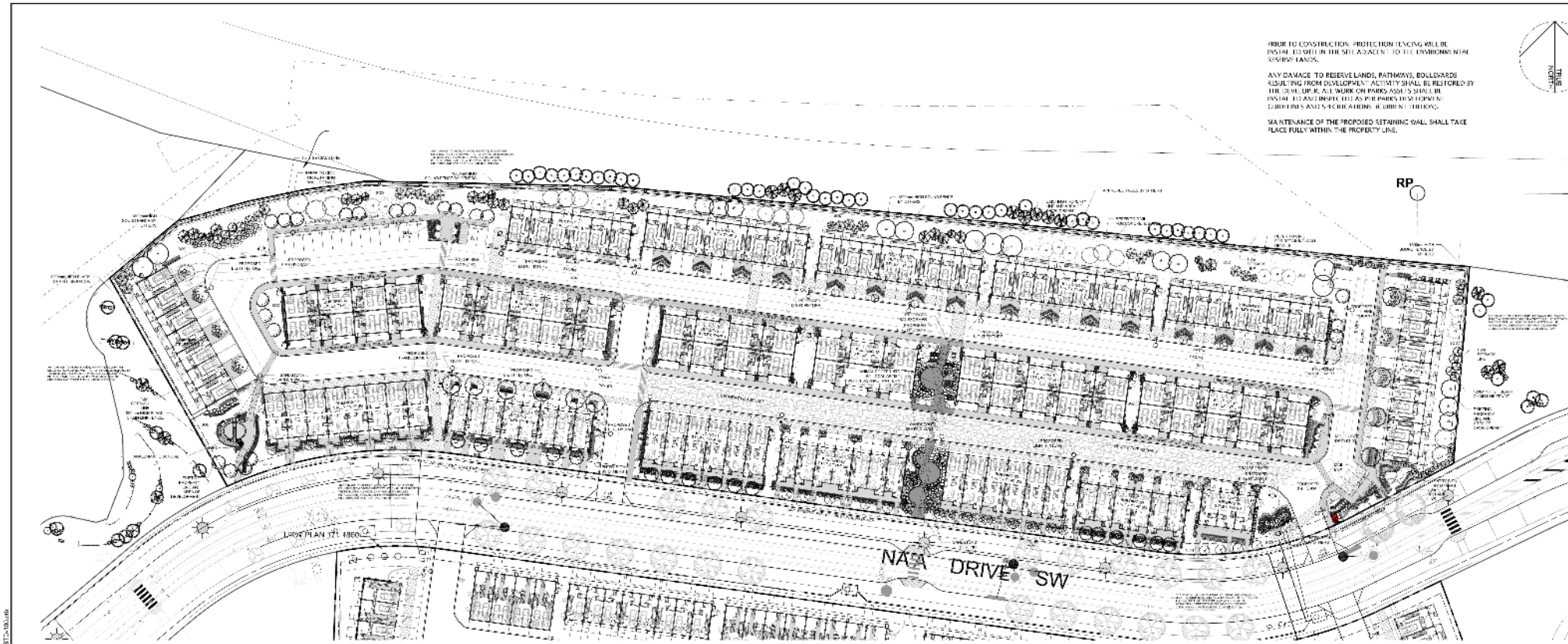
Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE F - TOWNHOMES
1470 N/A DRIVE, Medicine Hill
Village District, Calgary, AB

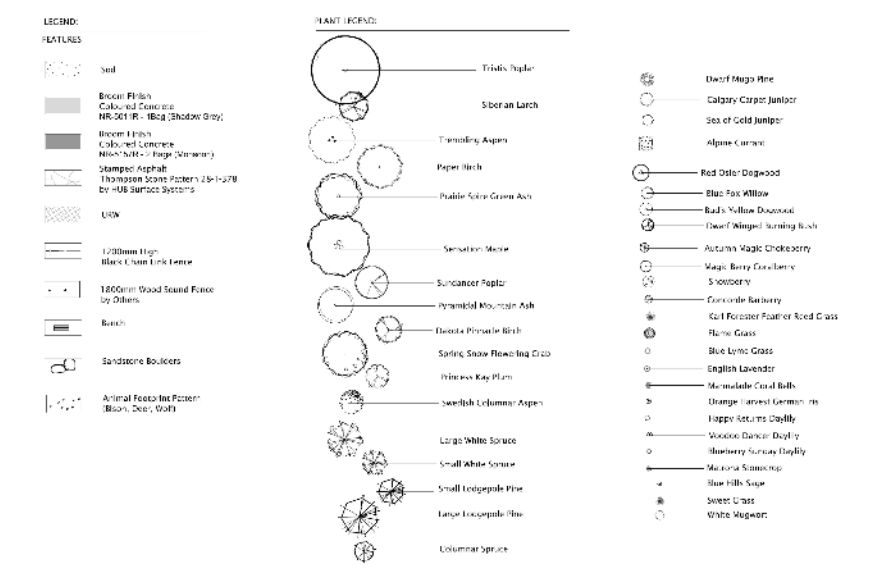
Drawing Title:
LANDSCAPE STATS PLAN

Check Scale (Drawn or Plotted): 1:500
Project No: NCCA-17-0069
Drawing No: DP-L00-00

Development Permit Plans



D1 LANDSCAPE STATISTICS PLAN
DP-L01-00 1:500



PLANT LIST:

| QTY | SCIENTIFIC NAME | COMMON NAME | PLANT SIZE |
|-----|-------------------------------------|------------------------|------------------------------------|
| 10 | <i>Picea glauca</i> | White Spruce - Small | 250mm H, 100mm dia. root ball dia. |
| 20 | <i>Picea glauca</i> | White Spruce - Large | 3.0m H, 100mm dia. root ball dia. |
| 10 | <i>Picea canadensis 'Fastigata'</i> | Columnar Spruce | 2.0m H, 100mm dia. root ball dia. |
| 7 | <i>Pinus contorta 'Lambert'</i> | Lodgepole Pine - Small | 2.0m H, 100mm dia. root ball dia. |
| 7 | <i>Pinus contorta 'Lambert'</i> | Lodgepole Pine - Large | 3.0m H, 100mm dia. root ball dia. |

| QTY | SCIENTIFIC NAME | COMMON NAME | PLANT SIZE |
|-----|--|----------------------------|---|
| 20 | <i>Actinophyllum 'Sensation'</i> | Sensation Maple | 300mm dia. @800, min 200mm wide x 450mm depth root ball |
| 2 | <i>Betula papyrifera 'Tango'</i> | Darkest Pinnace Birch | 300mm dia. @800, min 250mm wide x 450mm depth root ball |
| 18 | <i>Betula papyrifera</i> | Paper Birch | 225mm dia. @800, min 250mm wide x 450mm depth root ball |
| 17 | <i>Fraxinus pennsylvanica 'Magpie'</i> | Public Tree Green Ash | 300mm dia. @800, min 250mm wide x 500mm depth root ball |
| 6 | <i>Larix laricina</i> | Storstor Larich | 225mm dia. @800, min 200mm wide x 550mm depth root ball |
| 21 | <i>Milvus 'Spring Snow'</i> | Spring Snow Flowering Crab | 300mm dia. @800, min 200mm wide x 400mm depth root ball |
| 25 | <i>Populus x NW5517AC</i> | Sundance Poplar | 225mm dia. @800, min 200mm wide x 550mm depth root ball |
| 07 | <i>Populus x Tidalis</i> | Tidalis Poplar | 300mm dia. @800, min 200mm wide x 450mm depth root ball |
| 24 | <i>Populus tremuloides</i> | Trinidad Aspen | 225mm dia. @800, min 200mm wide x 500mm depth root ball |
| 28 | <i>Populus tremula 'Tundra'</i> | Storstor Columnar Aspen | 225mm dia. @800, min 200mm wide x 550mm depth root ball |
| 04 | <i>Sorbus aucuparia 'Fastigata'</i> | Pyramidal Mountain Ash | 300mm dia. @800, min 200mm wide x 400mm depth root ball |

| QTY | SCIENTIFIC NAME | COMMON NAME | PLANT SIZE |
|-----|--|--------------------------|--|
| 73 | <i>Asplenium adnigrum 'Autumn Magic'</i> | Autumn Magic Chickadee | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |
| 143 | <i>Betula puberula 'Concord'</i> | Concord Yellow Birch | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |
| 30 | <i>Cornus alba 'Red's Yellow'</i> | Red's Yellow Dogwood | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |
| 56 | <i>Cornus amomum</i> | Red Cedar Dogwood | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |
| 95 | <i>Eleocharis acicularis 'Compacta'</i> | Compact Orange Broomrape | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |
| 54 | <i>Alpen alpinum</i> | Alpen Carrot | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |
| 72 | <i>Solidago canadensis 'Blue Ice'</i> | Blue Ice White | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |
| 53 | <i>Symphoricarpos albus</i> | Snowberry | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |
| 75 | <i>Sambucus racemosa 'Magpie'</i> | Magpie Berry Coriander | Min. 600mm H, Min. 4 major basal stems, Root Size 300mm x 42 cent. |

| QTY | SCIENTIFIC NAME | COMMON NAME | PLANT SIZE |
|-----|--|------------------------------|------------------------|
| 789 | <i>Callitriche octandria 'Fall Follower'</i> | Fall Follower Flowering Crab | Min. 150mm H, 41 cent. |
| 438 | <i>Helictis scabra 'Happy Returns'</i> | Blue Ox Grass | Min. 150mm H, 41 cent. |
| 513 | <i>Hieracium adnigrum</i> | Sweet Grass | Min. 150mm H, 41 cent. |
| 150 | <i>Mentha arvensis 'Purpurea'</i> | Flame Grass | Min. 150mm H, 41 cent. |

NOTES:

1. ALL TREES AND SHRUBS TO BE PLANTED TO 25mm DIA. HOLES.
2. TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TRIFOLIUM TO A DEPTH OF 100MM AFTER PLANTING AND MAINTAINED. ALL TREES TO BE WATERED STARTING FROM THE ROOT FLANK PLANTING AND EXTENDING THE LENGTH OF THE HOLES.
3. ALL PLANT MATERIAL TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
4. FOR ALL GRADING INFORMATION REFER TO CIVIL DRAWINGS.

| DATE | ISSUED FOR | REV |
|----------|----------------|-----|
| 20-04-16 | ISSUED FOR DP | A |
| 20-04-12 | ISSUED FOR DTR | B |

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Project Component:
DEVELOPMENT PERMIT SITE Y
Kouplin

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architect: NORR Architects Engineers Planners
Structural: Metropia
Block out

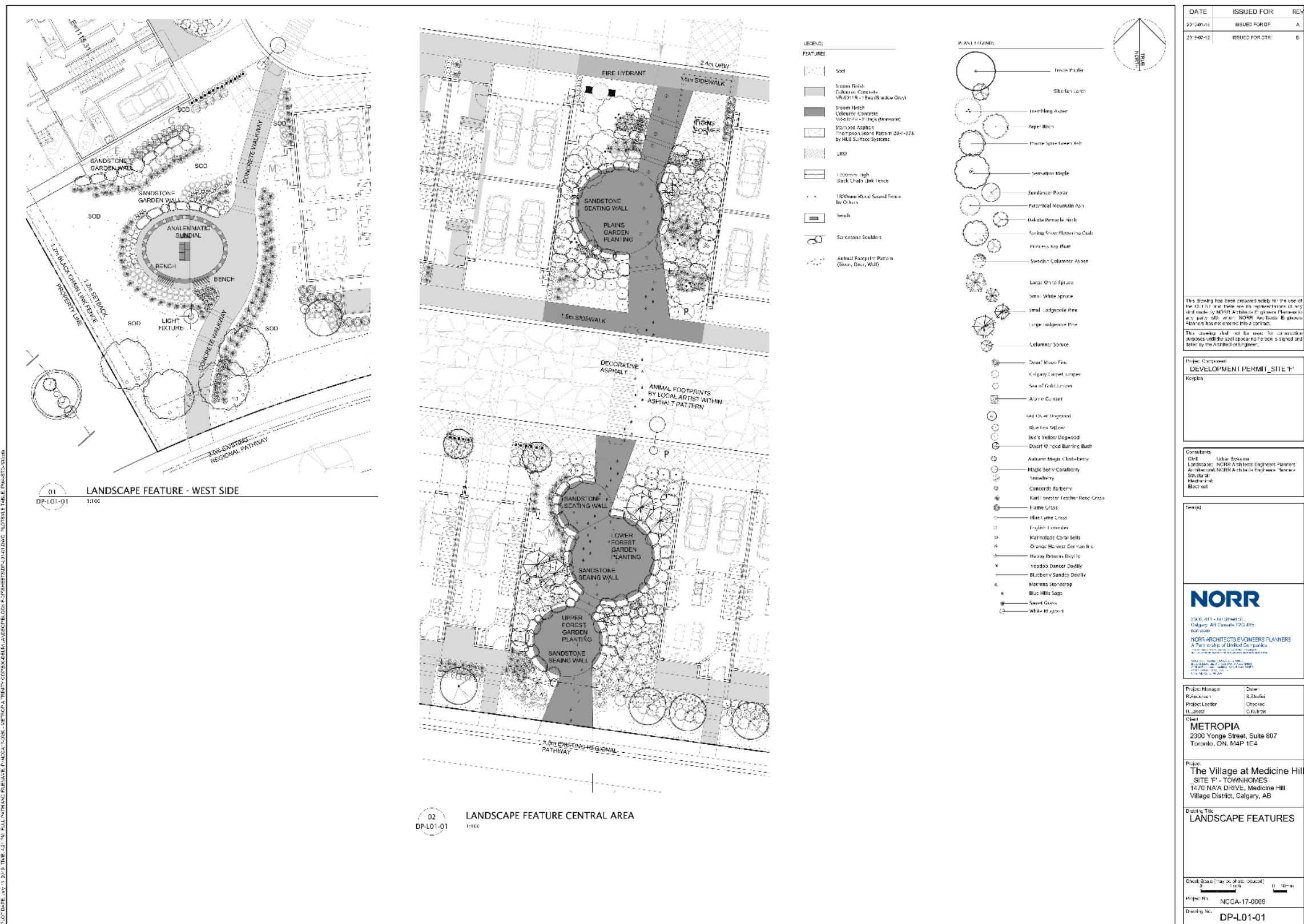
NORR
2000 411 - 1st Street SW
Calgary, AB Canada T2G 4R6
403.243.4600
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
NORR ARCHITECTS ENGINEERS PLANNERS
2000 411 - 1st Street SW
Calgary, AB Canada T2G 4R6
403.243.4600

Project Manager: B. Anderson
Project Leader: B. Shukla
Client: METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

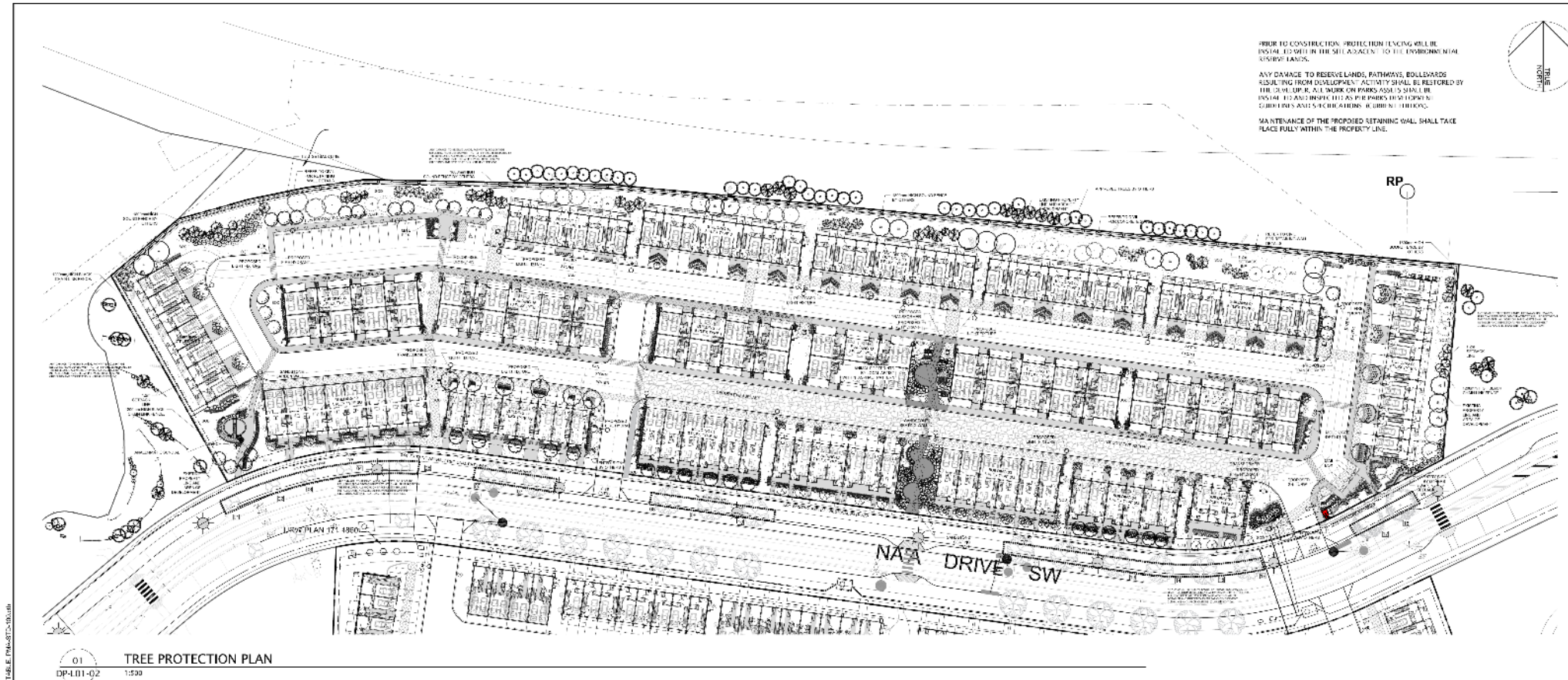
Project: The Village at Medicine Hill
SITE Y - TOWNHOMES
1470 N/A DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title: LANDSCAPE PLAN
Drawing No.: DP-L01-00

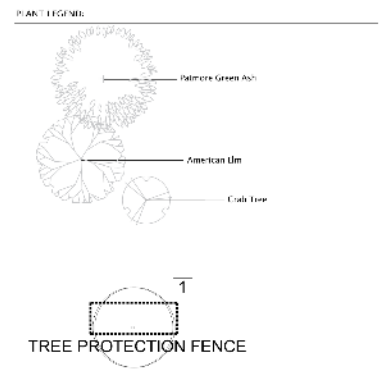
Development Permit Plans



Development Permit Plans



D1 TREE PROTECTION PLAN
DP-L01-02 1:500



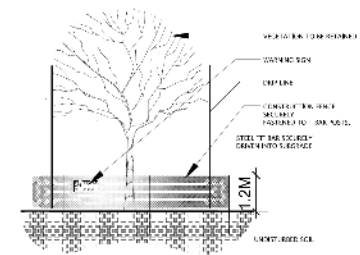
TREE PROTECTION PLAN:

EXISTING PLANTING SCHEDULE

| ID | COMMON NAME | SCIENTIFIC NAME | CANOPY | CALIPER | HEIGHT |
|----|--------------------|------------------------|--------|---------|--------|
| 05 | Oak Apple | Malus x | 1.5m | 90mm | 3.0m |
| 06 | Oak Apple | Malus x | 1.5m | 90mm | 3.0m |
| 07 | Oak Apple | Malus x | 1.5m | 90mm | 3.0m |
| 08 | Oak Apple | Malus x | 1.5m | 90mm | 3.0m |
| 09 | Oak Apple | Malus x | 1.5m | 90mm | 3.0m |
| 10 | American Elm | Ulmus americana | 1.5m | 90mm | 3.0m |
| 11 | American Elm | Ulmus americana | 1.5m | 90mm | 3.0m |
| 12 | American Elm | Ulmus americana | 1.5m | 90mm | 3.0m |
| 13 | American Elm | Ulmus americana | 1.5m | 90mm | 3.0m |
| 14 | American Elm | Ulmus americana | 1.5m | 90mm | 3.0m |
| 15 | American Elm | Ulmus americana | 1.5m | 90mm | 3.0m |
| 16 | American Elm | Ulmus americana | 1.5m | 90mm | 3.0m |
| 17 | Palmer's Green Ash | Fraxinus pennsylvanica | 1.5m | 90mm | 3.0m |
| 18 | Palmer's Green Ash | Fraxinus pennsylvanica | 1.2m | 90mm | 2.5m |

- NOTES:
- A tree protection fence will be provided as shown.
 - Area within tree protection zone to be free of all construction materials and vehicles.
 - Any damage to existing concrete and tree vaults shall be the responsibility of the contractor and will need to be reconstructed as per City of Calgary Standards.

- CITY OF CALGARY TREE PROTECTION GUIDELINES:
- All retained trees as shown shall be identified on site in such a way so that all workers shall know that the vegetation is to be retained. Identification of retained vegetation on site shall be by a Tree Protection Barrier as detailed here. For safety reasons be sure to call 'Alberta 1 Call' at 1-800-242-3447 before installation and make sure it does not interfere with fire hydrants, obscure intersections or traffic signage.
 - The tree's roots, trunk, crown and tree protection zone must be adequately protected. The Tree Protection Barrier must be at least 1.2m (4') in height, 3m (10') around the circumference of the trunk or, to the root outline (whichever is greater) and installed in all locations where roots are to be retained. The fencing or barrier material shall be a bright, contrasting colour and be durable. Fence posts shall be metal T-posts, comparable or heavier. Fencing will be maintained in an upright position throughout the duration of the project. Ensure the barrier is placed in between the sidewalk and property line to ensure that there is no unauthorized soil disturbance or entry into the area.
 - A warning sign shall be displayed on all tree protection barriers. The sign shall be a minimum of 300x450mm and clearly state: "WARNING- TREE PROTECTION ZONE" and indicate contact phone number. Sign to be obtained with applicable permit from The City of Calgary Parks.
 - No excavation, stockpiling of materials or other construction related activity shall occur within the Tree Protection Barrier.
 - Trees and other vegetation within the Tree Protection Barrier shall be adequately maintained throughout the construction process. They shall be watered sufficiently, particularly if the root system has been disturbed during construction. A Tree watering schedule will be required when the development is to last more than two years.
 - Root and branch pruning shall only be completed with approval from and in accordance with The City of Calgary.
 - If any damage occurs to the protected vegetation (regardless of how) the Contractor is required to notify the permit holder within two working days.



- CITY OF CALGARY COMPENSATION GUIDELINES:
- Damage occurring to the landscape or trees on public lands resulting from construction will require rehabilitation/restoration at the cost of the Contractor.
 - Trees removed or damaged, as the result of work, shall be compensated as per methodology from the Council of Tree and Landscape Appraisers (published by the International Society of Arboriculture).

| DATE | ISSUED FOR | REV |
|----------|----------------|-----|
| 20-04-16 | ISSUED FOR DP | A |
| 20-04-12 | ISSUED FOR DTR | B |

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Project Component:
DEVELOPMENT PERMIT SITE 1*
Kouplin

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Arboreal: NORR Architects Engineers Planners
Structural: Metropia
Block out

Scale:
1:500

Project Manager: B. Shukla
Project Leader: C. Shukla

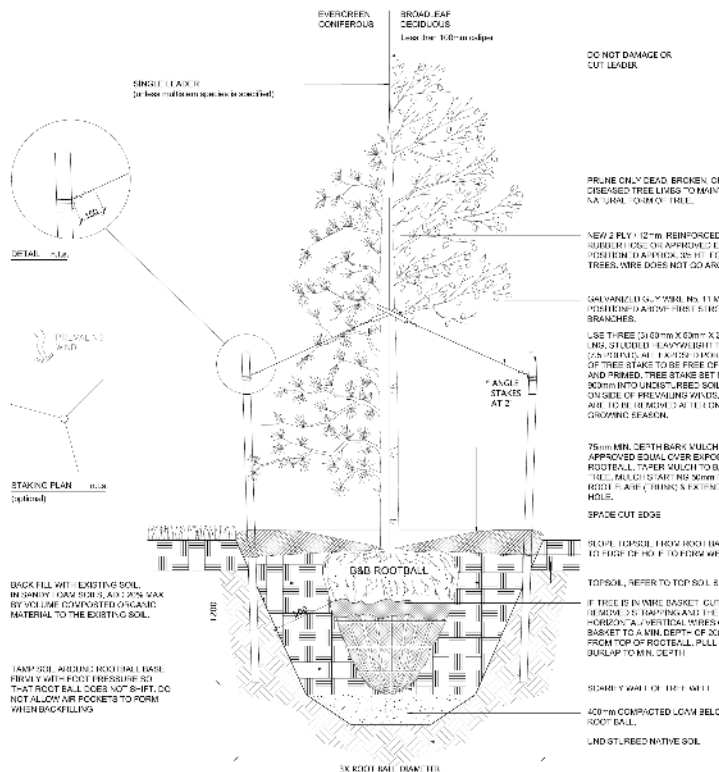
Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
SITE 1* - TOWNHOMES
1470 N/A DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
TREE PROTECTION PLAN

Check Scale (mm or other): 1:500
Project No: NCCA-17-0069
Drawing No: DP-L01-02

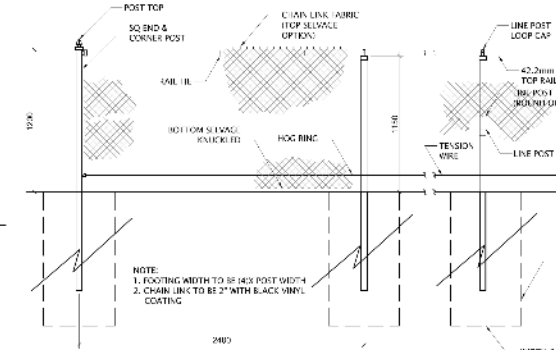
Development Permit Plans



01 TREE PLANTING DETAIL
DP-L02-00 1:20

LANDSCAPE NOTES:

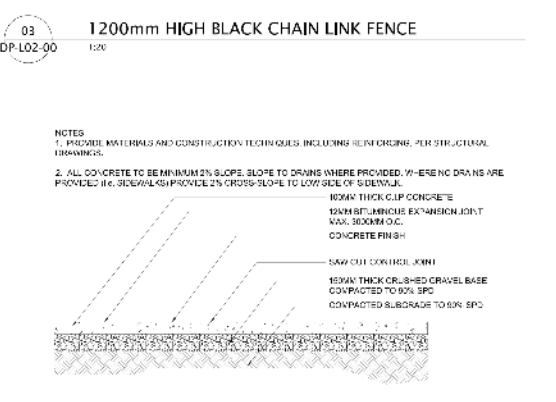
- ALL LANDSCAPE CONSTRUCTION MATERIALS AND TECHNIQUES SHALL MEET THE MINIMUM REQUIREMENTS OF THE CANADIAN STANDARDS.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED BY THE LANDSCAPE CONSULTANT UNLESS APPROVED BY THE LANDSCAPE CONSULTANT IN WRITING PRIOR TO SHIPMENT TO SITE. ALL PLANT MATERIAL SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS. ALL GROUND CONDITIONS SHALL BE EXAMINED BY THE CONSULTANT PRIOR TO PLANTING. ANY UNDESIRABLE CONDITIONS SHALL BE REMOVED AND REPLACED WITH THE APPLICABLE REQUIREMENTS AT THE CONTRACTOR'S SOLE EXPENSE.
- ALL PLANT MATERIAL SHALL BE APPROVED AT THE SOIL NURSERY PRIOR TO SHIPMENT TO SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LANDSCAPE CONSULTANT IMMEDIATELY UPON RECEIVING THE PLANT MATERIAL. THE LANDSCAPE CONSULTANT RESERVES THE RIGHT TO REJECT THE MATERIAL FROM THE NURSERY SOURCE PROPOSED FOR USE BY THE CONTRACTOR.
- ALL PLANTING AREAS SHALL BE MULCHED WITH AN 80MM DEPTH OF MULCH TO A 150MM DEPTH.
- ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE AMENITIES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD, BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF TORONTO'S REQUIREMENTS.
- ALL SITE GRADING SHALL MATCH EXISTING GRADES OF ADJACENT LOTS, WITH GRADING CONFINED TO THE SITE.
- THE CONTRACTOR SHALL OBTAIN AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATIONS PRIOR TO COMMENCING WORK, ANY AND ALL DAMAGES TO UTILITIES, REGARDS TO WHICH THE CONSULTANT SHALL BE HELD HARMLESS. ALL UTILITIES SHALL BE MARKED AND PROTECTED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF TORONTO'S REQUIREMENTS.



04 CONCRETE WALKWAY
DP-L02-00 1:20

NOTES:

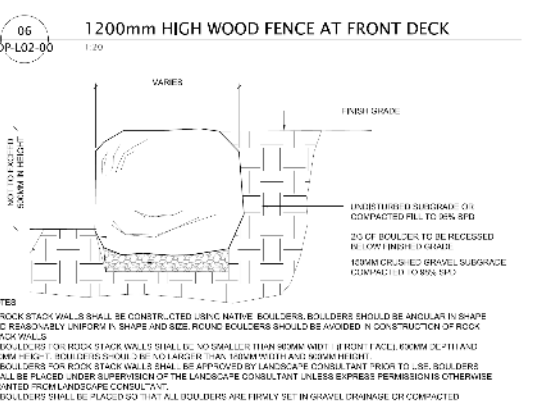
- BENCHES TO BE MADE OF 100% RECYCLED ASPHALT PAVING OR SIMILAR APPROVED.
- BENCH TO BE FINISHED WITH BRUSHED FINISH TEXTURE MATCH FINISH.
- CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.



03 1200mm HIGH BLACK CHAIN LINK FENCE
DP-L02-00 1:20

NOTES:

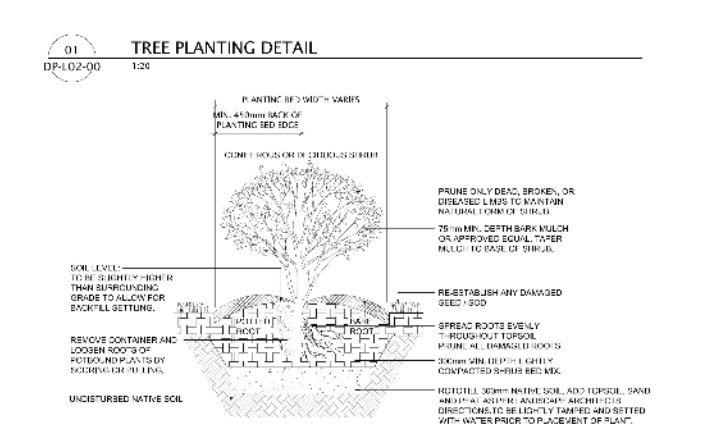
- PROVIDE MATERIALS AND CONSTRUCTION TECHNIQUES INCLUDING REINFORCING PER STRUCTURAL DRAWINGS.
- ALL CONCRETE TO BE MINIMUM 40MPa. SLOPE TO DRAINS WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED THE SLOPE SHALL PROVIDE AN OVERSLOPE TO LOW SIDE OF SLOPES.



07 SANDSTONE BOULDER INSTALLATION
DP-L02-00 1:20

NOTES:

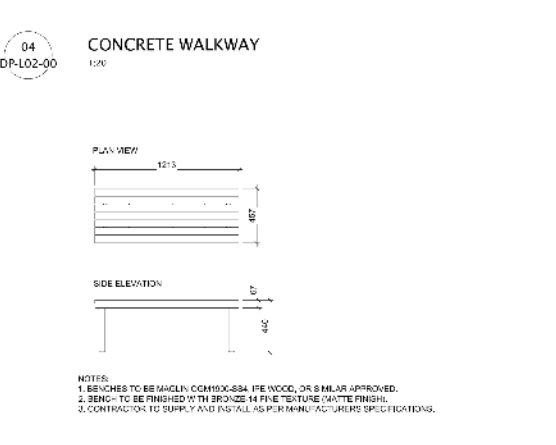
- ROCK STACK WALLS SHALL BE CONSTRUCTED USING NATIVE BOULDERS. BOULDERS SHOULD BE ANGULAR IN SHAPE AND REASONABLY UNIFORM IN SHAPE AND SIZE. ROUND BOULDERS SHOULD BE AVOIDED IN CONSTRUCTION OF ROCK STACK WALLS.
- BOULDERS FOR ROCK STACK WALLS SHALL BE NO SMALLER THAN 300MM WIDTH, 180MM HEIGHT AND 180MM DEPTH. BOULDERS SHALL BE LAYED BY HAND, SUBMITTING AND NUMBERING.
- BOULDERS FOR ROCK STACK WALLS SHALL BE APPROVED BY LANDSCAPE CONSULTANT PRIOR TO USE. BOULDERS SHALL BE PLACED UNDER SUPERVISION OF THE LANDSCAPE CONSULTANT UNLESS EXPRESS PERMISSIONS OTHERWISE GRANTED FROM LANDSCAPE CONSULTANT.
- BOULDERS SHALL BE PLACED SO THAT ALL BOULDERS ARE FIRMLY SET IN GRAVEL OR SAND OR COMPACTED SAND OR SANDSTONE. BOULDERS SHALL BE SET IN A MANNER THAT THEY DO NOT MOVE.



02 SHRUB PLANTING DETAIL
DP-L02-00 1:20

LANDSCAPE NOTES:


- ALL LANDSCAPE CONSTRUCTION MATERIALS AND TECHNIQUES SHALL MEET THE MINIMUM REQUIREMENTS OF THE CANADIAN STANDARDS.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED BY THE LANDSCAPE CONSULTANT UNLESS APPROVED BY THE LANDSCAPE CONSULTANT IN WRITING PRIOR TO SHIPMENT TO SITE. ALL PLANT MATERIAL SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS. ALL GROUND CONDITIONS SHALL BE EXAMINED BY THE CONSULTANT PRIOR TO PLANTING. ANY UNDESIRABLE CONDITIONS SHALL BE REMOVED AND REPLACED WITH THE APPLICABLE REQUIREMENTS AT THE CONTRACTOR'S SOLE EXPENSE.
- ALL PLANT MATERIAL SHALL BE APPROVED AT THE SOIL NURSERY PRIOR TO SHIPMENT TO SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LANDSCAPE CONSULTANT IMMEDIATELY UPON RECEIVING THE PLANT MATERIAL. THE LANDSCAPE CONSULTANT RESERVES THE RIGHT TO REJECT THE MATERIAL FROM THE NURSERY SOURCE PROPOSED FOR USE BY THE CONTRACTOR.
- ALL PLANTING AREAS SHALL BE MULCHED WITH AN 80MM DEPTH OF MULCH TO A 150MM DEPTH.
- ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE AMENITIES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD, BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF TORONTO'S REQUIREMENTS.
- ALL SITE GRADING SHALL MATCH EXISTING GRADES OF ADJACENT LOTS, WITH GRADING CONFINED TO THE SITE.
- THE CONTRACTOR SHALL OBTAIN AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATIONS PRIOR TO COMMENCING WORK, ANY AND ALL DAMAGES TO UTILITIES, REGARDS TO WHICH THE CONSULTANT SHALL BE HELD HARMLESS. ALL UTILITIES SHALL BE MARKED AND PROTECTED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF TORONTO'S REQUIREMENTS.



05 BENCH DETAIL
DP-L02-00 1:20

NOTES:

- BENCHES TO BE MADE OF 100% RECYCLED ASPHALT PAVING OR SIMILAR APPROVED.
- BENCH TO BE FINISHED WITH BRUSHED FINISH TEXTURE MATCH FINISH.
- CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.



06 1200mm HIGH WOOD FENCE AT FRONT DECK
DP-L02-00 1:20

NOTES:

- CONCRETE TO BE MINIMUM 40MPa. SLOPE TO DRAINS WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED THE SLOPE SHALL PROVIDE AN OVERSLOPE TO LOW SIDE OF SLOPES.
- ALL WOOD USED TO BE CEDAR. WOOD FENCE TO BE STAINED USING A SIKENS WOOD STAIN. CONTRACTOR TO USE MUST PROOF SCREENS AND VAILS TYPE. CONTRACTOR TO REVIEW INSTALLATION WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

| DATE | ISSUED FOR | REV |
|----------|-----------------|-----|
| 20-04-16 | ISSUED FOR DP | A |
| 20-04-12 | ISSUED FOR SITE | E |

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The drawing shall not be used for construction purposes without the prior written consent of the Architect or Engineer.

Project Component:
DEVELOPMENT PERMIT SITE 1

Client:
Metropia

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: Metropia
Block out

Project Manager: [Blank]
Designer: B. Shukla
Project Leader: Chiranjit
Checker: [Blank]

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4

Project:
The Village at Medicine Hill
SITE 1P - TOWNHOMES
1470 NAPA DRIVE, Medicine Hill
Village District, Calgary, AB

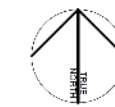
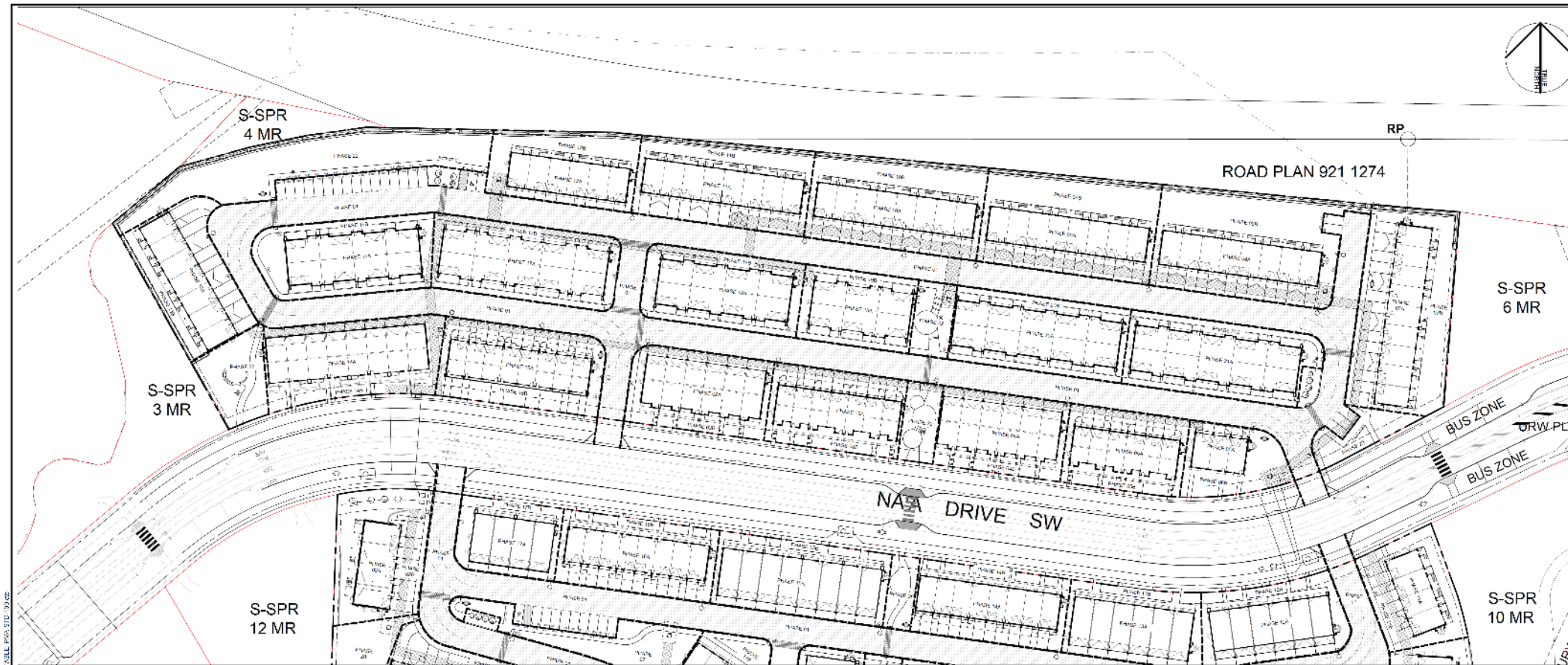
Drawing Title:
LANDSCAPE FEATURES

Check Scale: [Blank] x [Blank] = [Blank]
Project No: NCCA-17-0069
Drawing No: DP-L02-00

CPC2019-1049 - Attach 3
ISC: UNRESTRICTED

Page 8 of 81

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|-----------------|-----|
| 2019-01-10 | ISSUED FOR DP | A |
| 2019-07-12 | ISSUED FOR STRY | B |

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This drawing shall not be used for construction purposes until it has been approved, in writing, and signed and sealed by the Architect or Engineer.

Project Name: DEVELOPMENT PERMIT SITE 11
 Register:

Consultants:
 Civil: Urban Systems
 Landscape: NORR Architects Engineers Planners & Planners, NORR Architects Engineers Planners & Planners
 Mechanical: NORR Architects Engineers Planners & Planners
 Electrical: NORR Architects Engineers Planners & Planners
 Fire: NORR Architects Engineers Planners & Planners

Scale:

NORR

2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E4

NORR ARCHITECTS ENGINEERS PLANNERS & PLANNERS
 A Partnership of Limited Companies
 10000 Yonge Street, Suite 1000
 Richmond Hill, ON L4B 1N7
 Tel: 905.709.8888
 Fax: 905.709.8889
 Email: info@norr.ca

Project Manager: D. Loo
 Project Leader: M. Jaska
 Client: METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E4

Project: The Village at Medicine Hill
 SITE 11 - TOWNHOMES
 1470 NAA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title: PHASING PLAN

Check Scale: 1:1000
 Project No: NCCA-17-0089
 Drawing No: DP10-01-03

01 PHASING PLAN
 DP10-01-03 1/8" = 1'-0"

PHASING LEGEND:

PHASE 1 TO BE THE FIRST PHASE FOR CONSTRUCTION OF THIS DEVELOPMENT. ALL OTHER PHASES MAY NOT BE CONSECUTIVE.

BARRIER FREE PEDESTRIAN ACCESS, PERMANENT OR TEMPORARY ACCESS TO WASTE & RECYCLING FACILITIES AND ACCESS TO PUBLIC STREETS AND PATHWAYS WILL BE AVAILABLE AT EACH PHASE OF THE DEVELOPMENT.

EACH BUILDING PHASE AND ALL SURROUNDING LANDSCAPING TO BE PHASED INDIVIDUALLY AND IN A RANDOM ORDER, INDEPENDENT OF EACH OTHER, NON SEQUENTIAL.

FINAL LIFT OF ASPHALT TO BE COMPLETED WITH THE LAST PHASE OF CONSTRUCTION.

APPROVED FENCE TO BE INSTALLED AT FINAL PHASE.

- PHASE 1:**
- INTERNAL ROADWAYS CONSTRUCTED UP TO THE SURROUNDING CURBS
 - GARBAGE FACILITY (MOLOK)
 - VISITOR STALLS
 - DEEP SERVICES AND CONNECTION TO EXISTING SUPPLY LINE
 - SHALLOW SERVICES AS REQUIRED
 - FIRST LIFT OF ASPHALT

- PHASE 02A:**
- BUILDING 01
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 02B:**
- LANDSCAPE

- PHASE 03A:**
- BUILDING 02
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 03B:**
- LANDSCAPE

- PHASE 04A:**
- BUILDING 03
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 04B:**
- LANDSCAPE

- PHASE 05A:**
- BUILDING 04
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 05B:**
- LANDSCAPE

- PHASE 06A:**
- BUILDING 05
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 06B:**
- LANDSCAPE

- PHASE 07A:**
- BUILDING 06
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 07B:**
- LANDSCAPE

- PHASE 08A:**
- BUILDING 07
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 08B:**
- LANDSCAPE

- PHASE 09A:**
- BUILDING 08
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 09B:**
- LANDSCAPE

- PHASE 10A:**
- BUILDING 09
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 10B:**
- LANDSCAPE

- PHASE 11A:**
- BUILDING 10
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 11B:**
- LANDSCAPE

- PHASE 12A:**
- BUILDING 11
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 12B:**
- LANDSCAPE

- PHASE 13A:**
- BUILDING 12
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 13B:**
- LANDSCAPE

- PHASE 14A:**
- BUILDING 13
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 14B:**
- LANDSCAPE

- PHASE 15A:**
- BUILDING 14
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 15B:**
- LANDSCAPE

- PHASE 16A:**
- BUILDING 15
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 16B:**
- LANDSCAPE

- PHASE 17A:**
- BUILDING 16
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 17B:**
- LANDSCAPE

- PHASE 18A:**
- BUILDING 17
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 18B:**
- LANDSCAPE

- PHASE 19A:**
- BUILDING 18
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 19B:**
- LANDSCAPE

- PHASE 20A:**
- BUILDING 19
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 20B:**
- LANDSCAPE

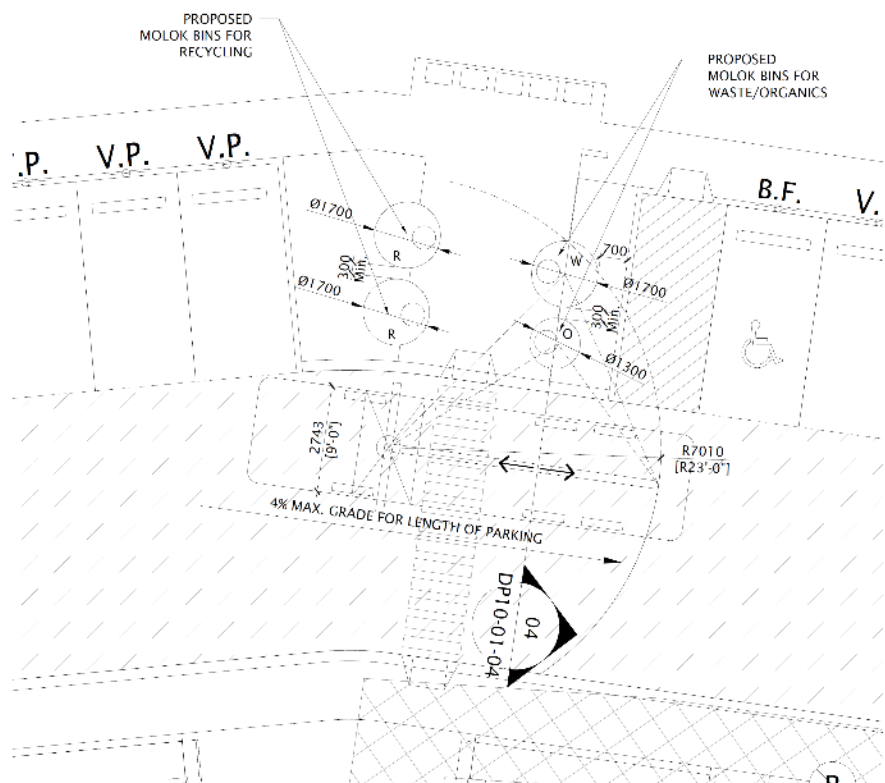
- PHASE 21A:**
- BUILDING 20
 - DRIVEWAYS, WALKWAYS & SIDEWALKS
- PHASE 21B:**
- LANDSCAPE

- PHASE 22:**
- VARIOUS LANDSCAPED AREAS

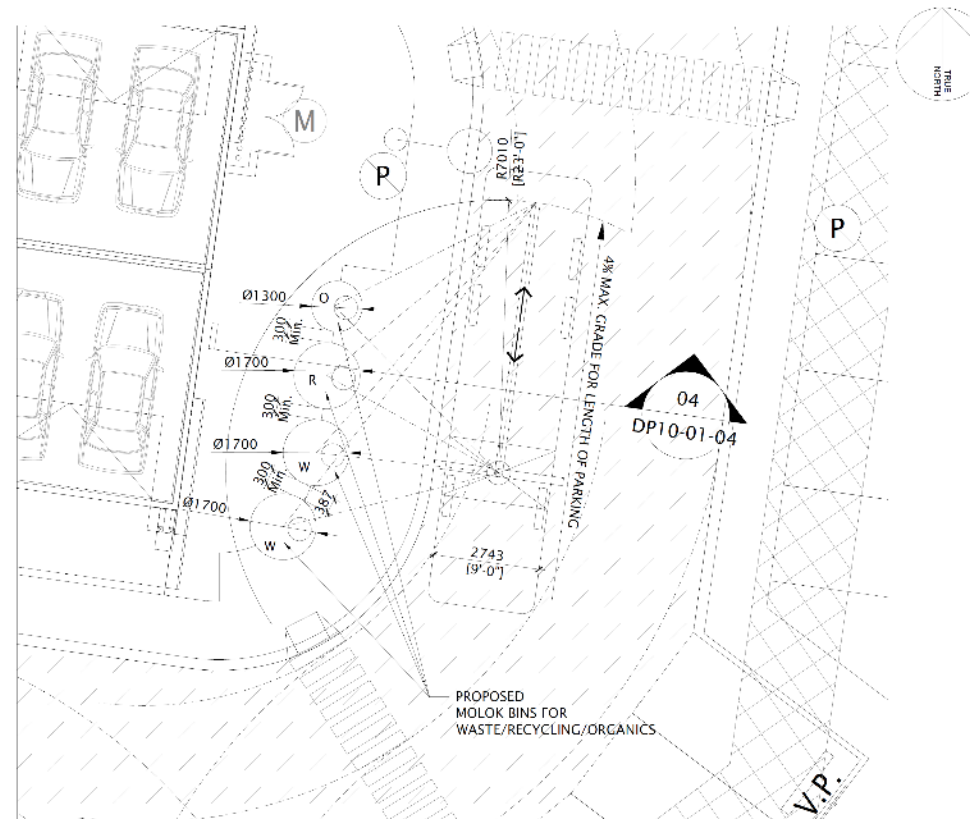
SITE LEGEND:

- ▲ PRINCIPAL ENTRY
- ▽ VISITOR PARKING
- RESIDENT PARKING
- ▽ VISITOR PARKING SIGNAL
- RESIDENT PARKING SIGNAL
- BARRIER FREE PARKING SIGNAGE
- NO PARKING ANY TIME / HORIZONTAL
- STOP SIGN
- DIRECTION OF TRAVEL
- 12" WIDE PAINTED CROSSWALK
- LOW ADA
- 10" ADA COMPLIANT (PROVIDE ASPHALT SURF TO SUPPORT A MIN OF 95 KILOHRS PER HOUR)
- PATTERN AS PER APPROVED
- 10" ADA COMPLIANT TO BE A MINIMUM OF 8' WIDE
- 10" ADA COMPLIANT TO BE A MINIMUM OF 8' WIDE (2' 6" ADA COMPLIANT TO BE A MINIMUM OF 8' WIDE)
- 10" ADA COMPLIANT TO BE A MINIMUM OF 8' WIDE (2' 6" ADA COMPLIANT TO BE A MINIMUM OF 8' WIDE)
- BARRIER FREE PARKING
- WATER METER
- ELECTRICAL METER
- GAS METER
- TRUNK CABLE & CONCRETE PAD
- WALKWAY
- EXISTING (S) & PROPOSED (P) - (H) HORIZONTAL
- LOWER ENTRY LEVEL
- MAIN FLOOR ENTRY LEVEL
- GRADING
- LIGHT STANDARD, T10
- LIGHT POLLARD, T10
- REGULAR ASPHALT ON PARKING STALLS
- REGULAR CONCRETE ON GARAGE APPROACH
- REFER TO LANDSCAPE PLANS FOR FINISHES OF PAVEMENTS & PAVING

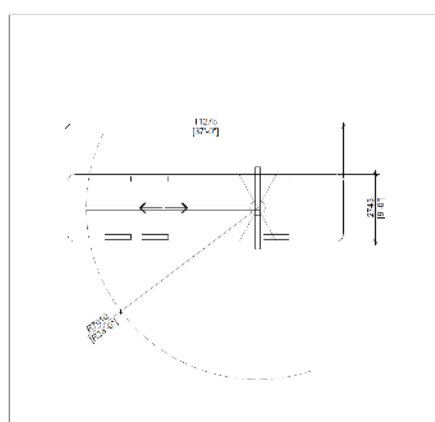
Development Permit Plans



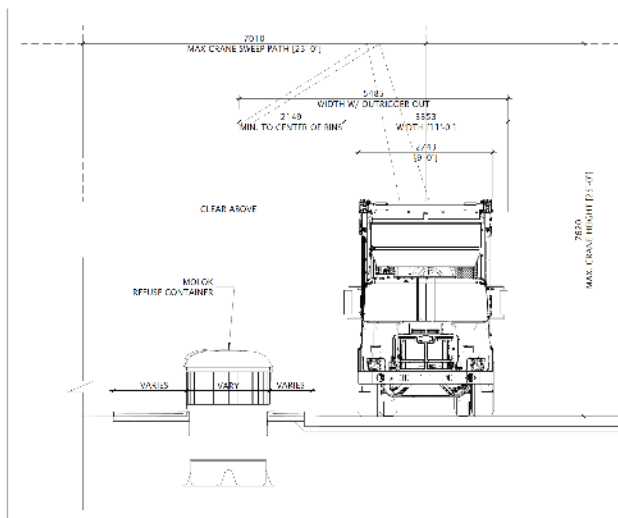
01 MOLOK WASTE & RECYCLING LOCATION 1
DP10-01-04 1:100



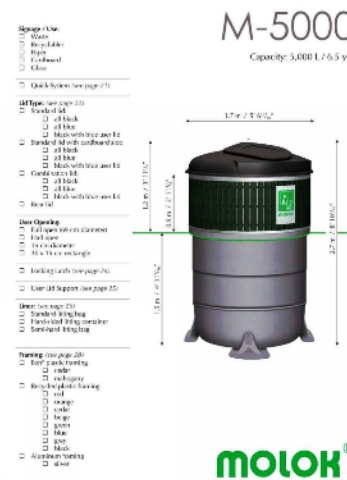
02 MOLOK WASTE & RECYCLING LOCATION 2
DP10-01-04 1:100



03 MOLOK TRUCK APPROXIMATE DIMENSIONS
DP10-01-04 1:100



04 MOLOK TRUCK & CONTAINER
DP10-01-04 NTS



05 MOLOK DETAIL
DP10-01-04 NTS

| WASTE & RECYCLING STORAGE CALCULATION | | | | | | |
|---------------------------------------|---------------------------------------|--------------------------|------|-------------------------|------|-------------|
| WASTE RECYCLING REQUIRED | | WASTE RECYCLING PROVIDED | | | | |
| # OF UNITS | TOTAL WASTE (yd³) at 0.3 yd³ per unit | W & R BIN SIZE (yd³) | Q | Organics BIN SIZE (yd³) | Q | TOTAL WASTE |
| 150 | 45 | 6.50 | 6.00 | 4.00 | 2.00 | 47 |

MOLOK DEEP COLLECTION CONTAINERS
WASTE & RECYCLING PICK-UP AREA TO BE ASPHALT ROAD WITH CAPACITY TO CARRY A LOADED COLLECTION VEHICLE 65,000 LB (29,556 kg)
HEAVY DUTY ASPHALT PROVIDED FOR ENTIRE WASTE COLLECTION VEHICLE ROUTE

SYMBOL LEGEND

- ▲ PRINCIPAL ENTRY
- VS VISITOR PARKING
- RES RESIDENT PARKING
- VE VISITOR PARKING SIGNAGE
- RE RESIDENT PARKING SIGNAGE
- RP RESIDENT ENTRY PARKING SIGNAGE
- NO NO PARKING ANY TIME / TRIP AND
- STOP SIGN
- ↑ DIRECTION OF TRAVEL
- 12m WIDE PAINTED CROSSWALK
- UNWAYMARK
- HIGH ACCURACY MOBILE HEAVY-DUTY ASPHALT CAPABLE TO SUPPORT A MIN. OF 60,000 LB (27,220 kg)
- PATTERN AS PER LANDSCAPE
- HIGH ACCURACY MOBILE MIN. MINIMUM OF 6.0m WIDE
- THE ACCESS IS DESIGNED TO SUPPORT THE MINIMUM POINT LOAD OF 5 T/PA (70 PSI) OVER A 24" X 24" AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE
- NATURAL TRIP PARKING
- WATER METER
- FI FUTURE WATER
- DAB WATER
- TRANSFORMER & CONDENSATE PAD
- WALK RAMP
- EXITING TO VA PROPOSED/EXISTING (INDICATE)
- LEVEL/LEVELLY LEVEL
- MIN-LOGIC ENTRY LEVEL
- GC&C
- LIGHT STANDARDS, I.E.D.
- LIGHT MOUNTS, I.E.D.
- SPRINKLER ASHTRAY ON PARKING STAIRS
- REGULAR CONCRETE ON GARAGE APPROACH
- COLLECTOR LANDSCAPE, MINIMUM 1.0m (3.3ft) WIDE, 0.1m (0.3ft) DEEP

| DATE | ISSUED FOR | REV |
|------------|-----------------|-----|
| 2019.01.10 | ISSUED FOR OP | A |
| 2019.07.12 | ISSUED FOR CTR1 | B |

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Project Consultant
DEVELOPMENT PERMIT SITE 1
Region:

Drawn by:
Civil Urban Systems
Landscape NORR Architects Engineers Planners
Architectural NORR Architects Engineers Planners
Structural
Mechanical
Electrical

Scale:

NORR

2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4

NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4
Tel: 416-461-1111
Fax: 416-461-1112
www.norr.ca

Project Manager: Umair
Project Leader: J.Loc
Project Leader: C.Groce
Project Leader: J.Boyd

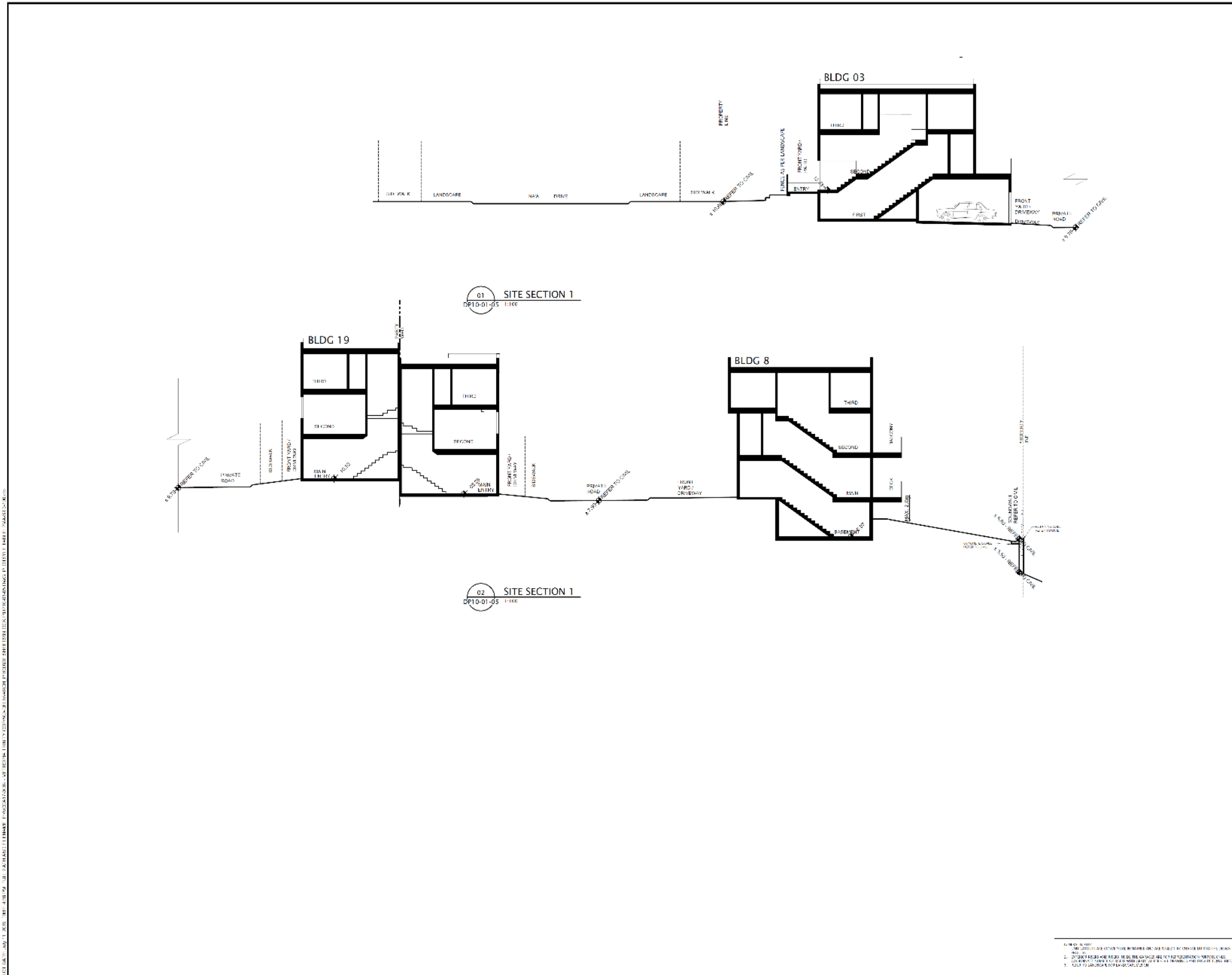
Client
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON M4P 1E4

Project
The Village at Medicine Hill
SITE F - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District Calgary, AB

Drawing for
WASTE & RECYCLING

Check: Scale may be plate reduced
Project No. NCCA-17-0088
Drawing No. DP10-01-04

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-05 | DEVELOPMENT PERMIT | A |
| 2019-01-05 | REVISIONS | B |

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Project Description
DEVELOPMENT PERMIT SITE 'F'

Location
Calgary

Discipline
Civil
Urban Systems
Mechanical
Electrical
Structural
Plumbing

Client
Urban Systems
NORR Architects Engineers Planners Inc.
2300 Yonge Street, Suite 507
Toronto, ON M4P 1E4

Project Manager
Dariusz
Project Engineer
T. Chudzik
Project Location
Calgary

Client
METROPIA
2300 Yonge Street, Suite 507
Toronto, ON M4P 1E4

Project
The Village at Medicine Hill
BLOCK 'F' - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

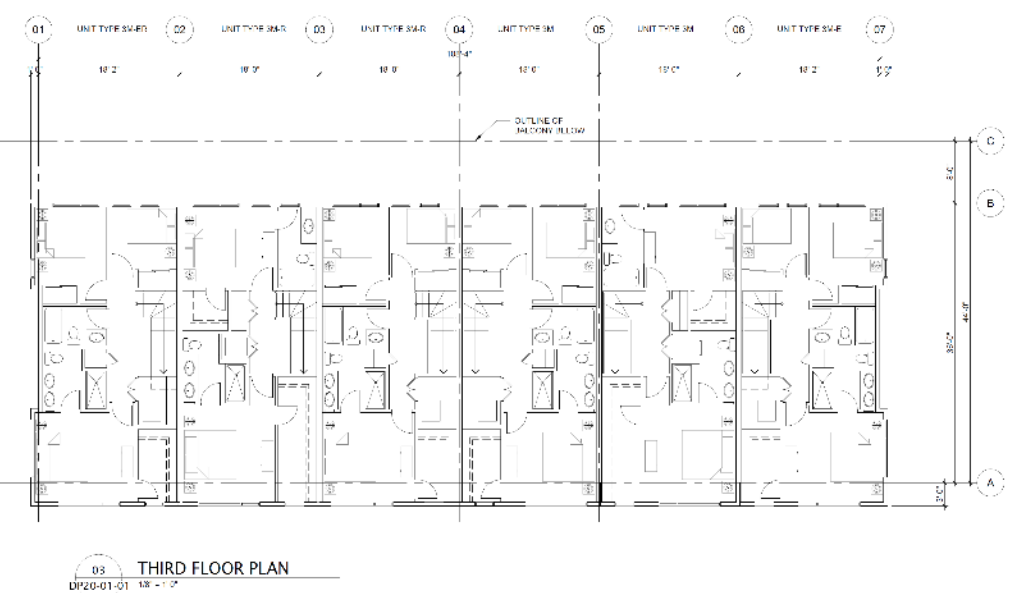
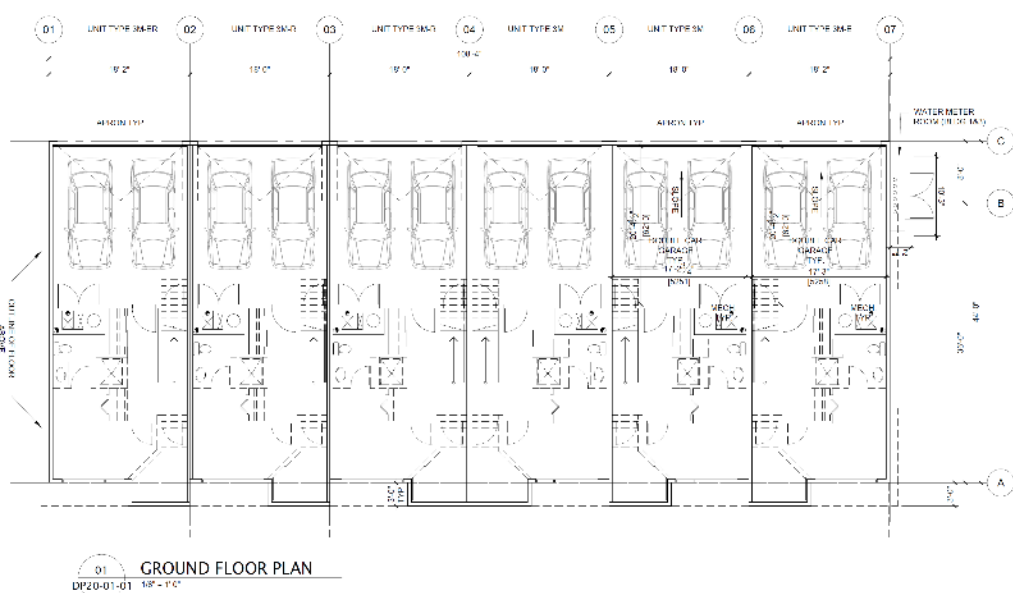
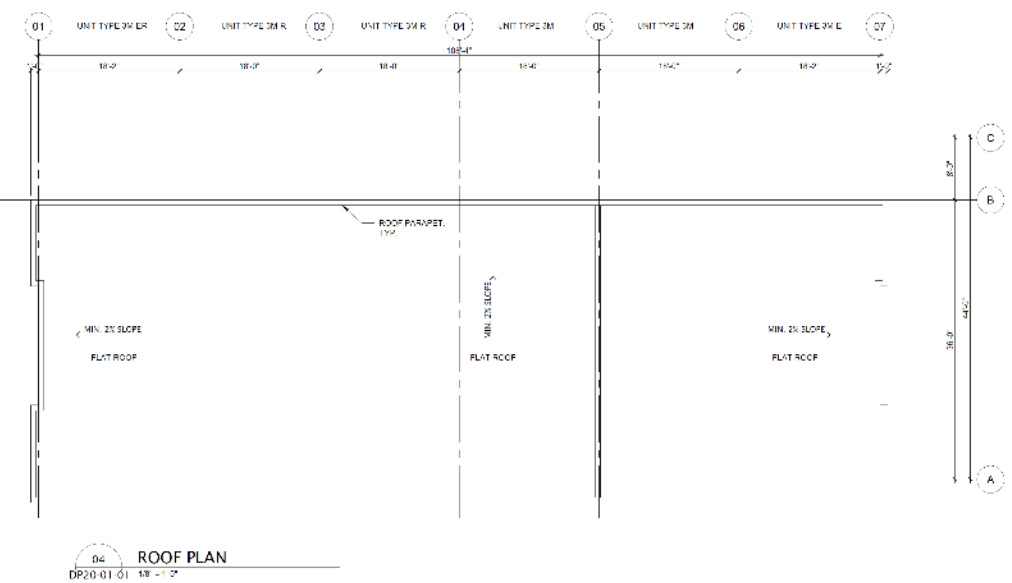
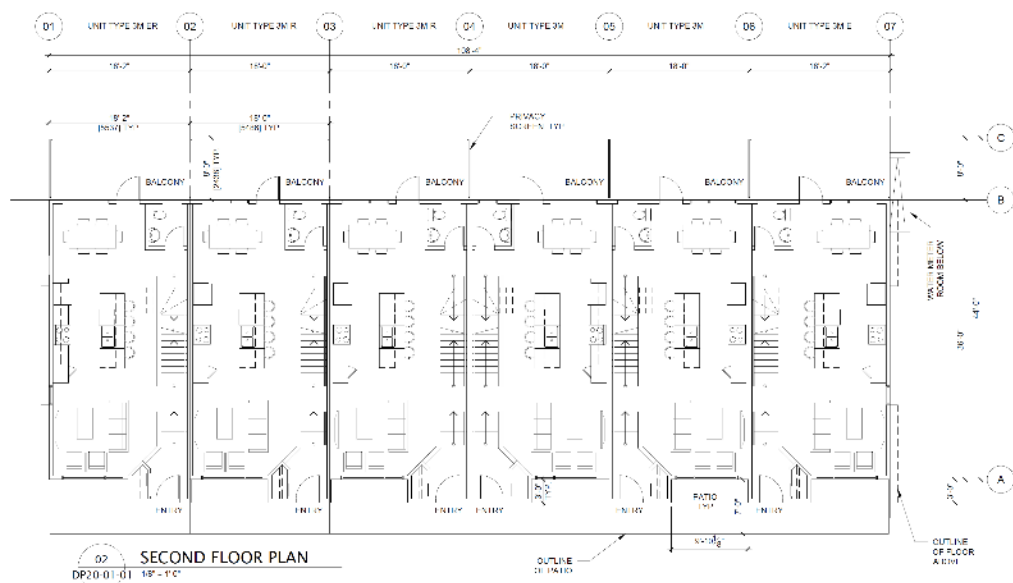
Drawing Title
SITE SECTIONS

Check Scale (mm, no photo reduction)
1:1000

Project No.
NCCA-17-0089

Drawing No.
DP10-01-05

Development Permit Plans



- GENERAL NOTES:**
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND WEED PROTECTORS ARE TO BE PROVIDED FOR REPRESENTATION PURPOSES ONLY. COORDINATE NUMBER OF RISERS WITH EXISTING OR PROPOSED ARCHITECTURAL DRAWINGS AND POINTS TO BE NOTED.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

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Project Component:
DEVELOPMENT PERMIT - SITE PLAN

Consultants:
Urban Systems
NORR Applied Social Engineers Planners & Architects
NORR Architects Engineers Planners & Architects
Mechanical
Electrical

NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4W0
www.norr.ca

NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
2500 41st Street SE, Suite 100
Calgary, Alberta T2C 4W0
Phone: (403) 243-1111
Fax: (403) 243-1112
Email: info@norr.ca

Project Manager: J. Lee
Project Leader: J. Lee
Project Engineer: J. Lee

METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
BLOCK 7 - TOWNHOUSES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 01 & 03
FLOOR PLANS & ROOF PLAN
UNIT TYPE 3M

Check Scale (only for printed version):
1" = 1'-0"

Project No.:
NCCA-17-0069

Drawing No.:
DP20-01-01

Development Permit Plans

02 SECOND FLOOR PLAN
UP20-02-01 18' x 17'

04 ROOF PLAN
UP20-02-01 18' x 17'

01 GROUND FLOOR PLAN
UP20-02-01 18' x 17'

03 THIRD FLOOR PLAN
UP20-02-01 18' x 17'

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

Project Information:
 Project: DEVELOPMENT PERMIT SITE
 Consultant: Urban Systems
 Location: NORR Applied Building Engineers Planners & Architects
 Project Name: METROPIA
 Address: 2500 Yonge Street, Suite 807, Toronto, ON, M4P 1E4

Project Name:
 The Village at Medicine Hill
 BLOCK 7 - TOWNHOMES
 1470 NAVA DRIVE, Medicine Hill
 Village District, Calgary, AB

Project Title:
 BUILDING 02
 FLOOR PLANS & ROOF PLAN
 UNIT TYPE SM

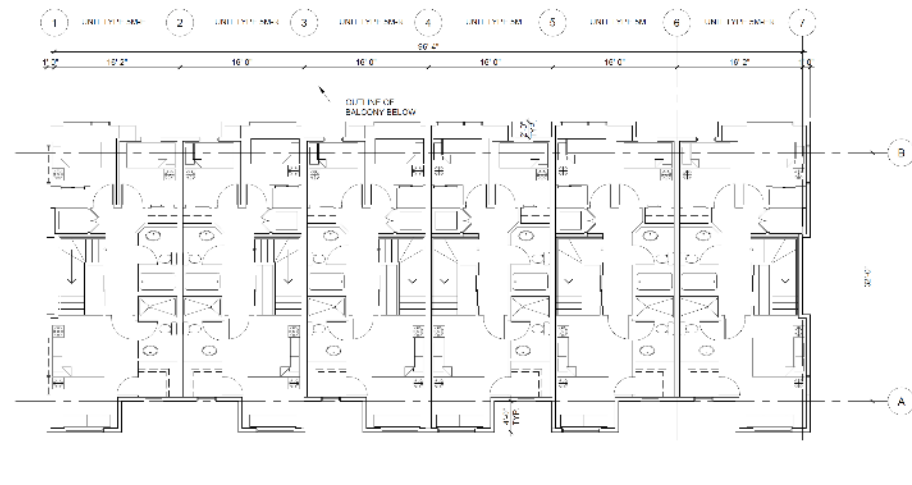
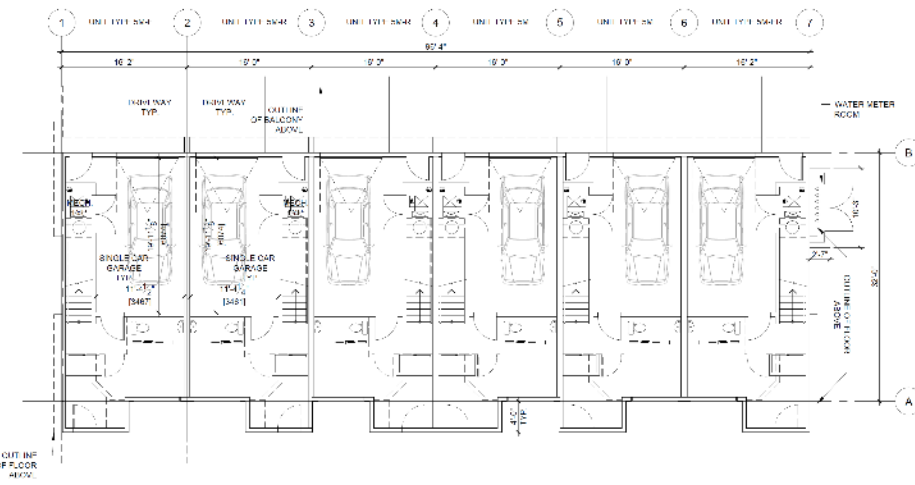
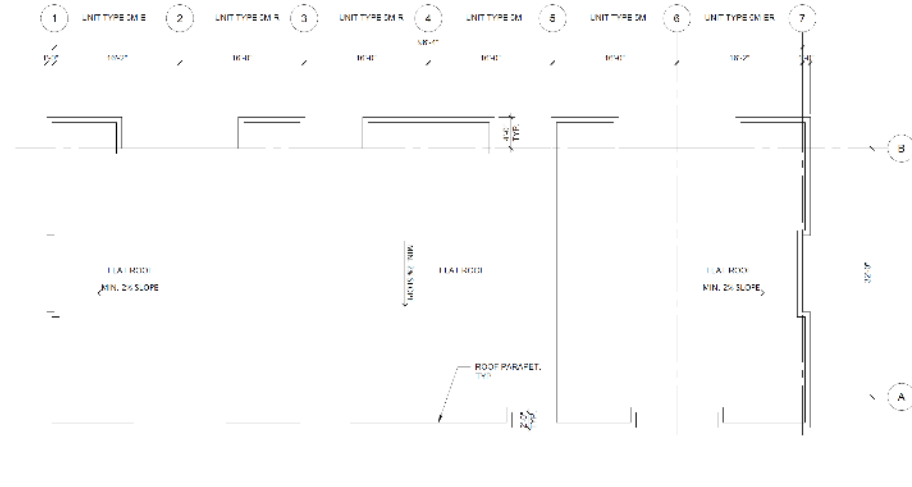
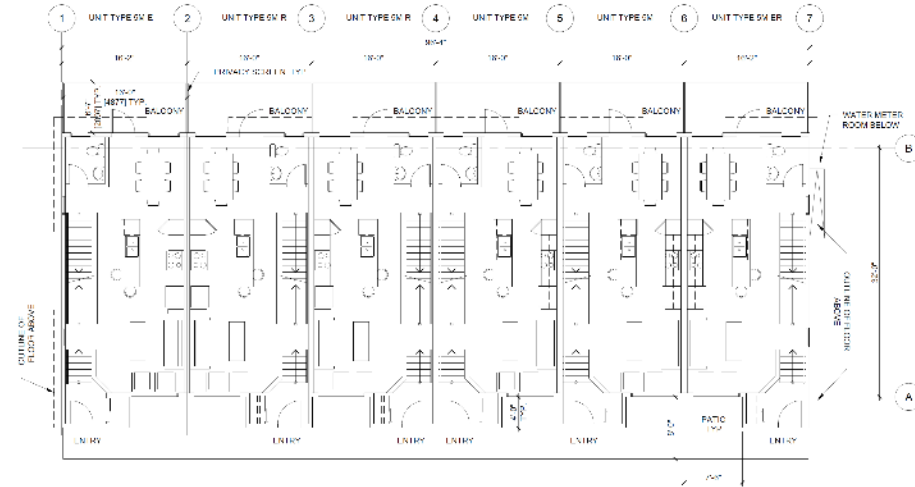
Revision Table:

| Rev | Description |
|-----|------------------------------|
| 1 | Issue for Development Permit |
| 2 | Issue for DMR Response |

General Notes:

- UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
- FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
- ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
- EXTERIOR RISERS AND WELLS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE (NBC).
- CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

This drawing has been accepted solely for the use of the City of Calgary and does not constitute a warranty or guarantee. It is the responsibility of the user to verify all information and to comply with all applicable laws, codes, and regulations. The drawing shall not be used for construction purposes without appearing on the contract documents prepared by the architect or engineer.

Project Component:
DEVELOPMENT PERMIT SITE PLAN

Consultants:
Urban Systems
NORR Architectural Engineers Planners
Mechanical
Electrical



2500 41st Street SE
Calgary, Alberta, Canada T2B 4Y0
www.norr.ca

NORR ARCHITECTS ENGINEERS PLANNERS
A member of the SNC-Lavalin Group
2500 41st Street SE, Calgary, Alberta T2B 4Y0
Phone: (403) 243-1111
Fax: (403) 243-1112
www.norr.ca

Project Manager: Rob Benson
Project Leader: Elizabeth Hill
City of Calgary

METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
BLOCK 77 - TOWNHOUSES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 04
FLOOR PLANS & ROOF PLAN
UNIT TYPE 5M

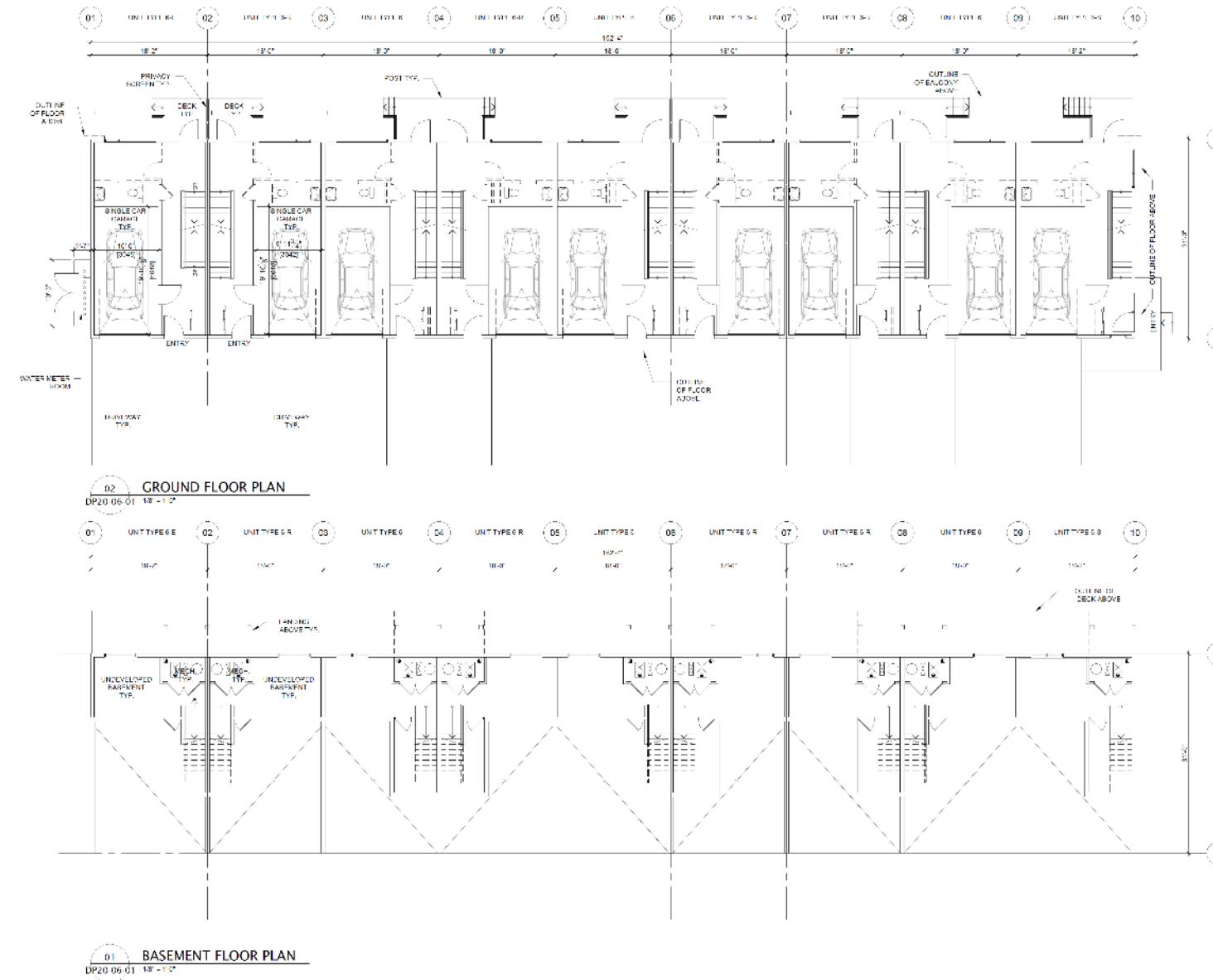
Check Scale (only for printed version):
1" = 10'-0"

Project No.: NCCA-17-0069

Drawing No.: DP20-04-01

- GENERAL NOTES:
- UNIT DIMENSIONS ARE CONCLUSIVE. FINISHES ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 - FLOOR FINISH ARE TO BE DETERMINED BY THE ARCHITECT/ENGINEER.
 - ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, CENTER LINE OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 - EXTERIOR FINISHES AND FINISHES TO BE DETERMINED FOR REPRESENTATION PURPOSES ONLY. COORDINATE NUMBER OF FINISHES WITH THE ARCHITECT/ENGINEER AND FINISHES TO BE DETERMINED BY THE ARCHITECT/ENGINEER.
 - CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, PARTITION OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR FINISHES AND RECESSED DOOR THRESHOLDS ARE FOR INFORMATION PURPOSES ONLY. COORDINATE WITH OTHER DISCIPLINES.
 5. CONFIRM LOCATION OF WATER METERS WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | CITY RESPONSE | B |

This drawing has been prepared solely for the use of the City of Medicine Hat and does not constitute a contract. It is the responsibility of the client to ensure that all information is up to date and that all necessary permits are obtained. The drawing shall not be used for construction purposes without the approval of the City of Medicine Hat.

Project Name:
DEVELOPMENT PERMIT SITE 1

Consultants:
 Urban Systems
 NORR Architects Engineers Planners
 NORR Architects Engineers Planners

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 2500 41st Street SE,
 Calgary, Alberta, Canada T2B 4W0
 www.norr.ca
 NORR ARCHITECTS ENGINEERS PLANNERS
 A Partnership of Licensed Companies
 2500 41st Street SE, Calgary, Alberta T2B 4W0
 403-243-8888
 Fax: 403-243-8889
 Email: info@norr.ca

Project Manager: Rob Benson
 Designer: L. Lee
 Checker: J. Chabot
 P1 scale: 1/8" = 1'-0"

Client:
METROPIA
 2500 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

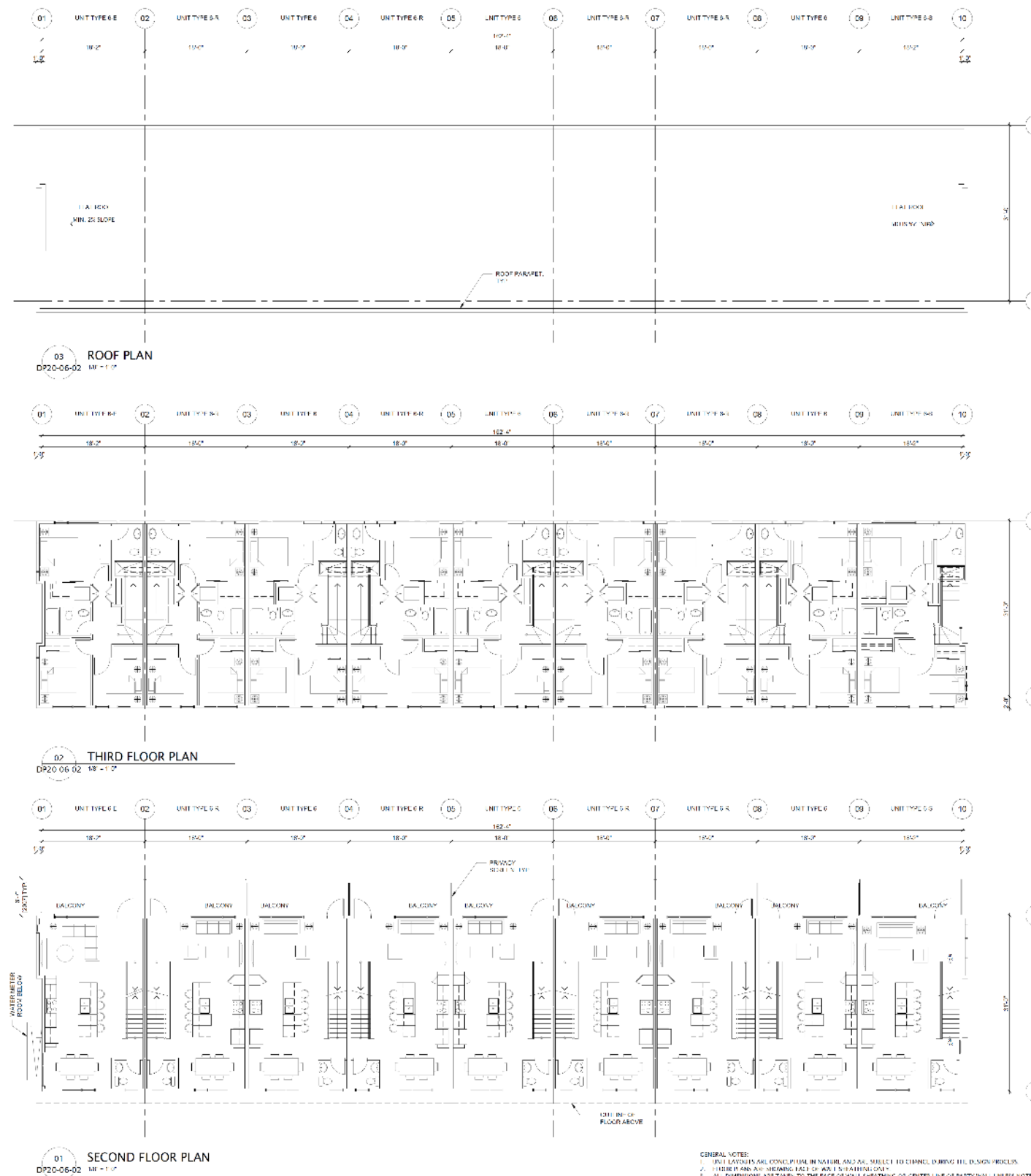
Project:
The Village at Medicine Hill
 BLOCK 7 - TOWNHOUSES
 1470 NAVA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 06
 FLOOR PLANS
 UNIT TYPE 0 & 05

Check Scale (only for printed version):
 1" = 1'-0"

Project No.: NCCA-17-0069
 Drawing No.: DP20-06-01

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONSIDERED IN ACCORDANCE WITH THE DESIGN PROCESS.
 2. THE PLAN AND VIEWING FACE OF WALLS IS AS SHOWN.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALLS SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. OUTLOR BALCONIES AND TERRACES ARE TO BE CONSIDERED FOR THE PURPOSES OF THE EXISTING AND PROPOSED COORDINATE NUMBERING SYSTEM.
 5. CONCRETE LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

This drawing has been prepared solely for the use of the City of Calgary and does not constitute a contract. It is the responsibility of the client to ensure that the drawing is used for the intended purpose and is not used for any other purpose without the written consent of the architect or engineer.

Project Information:
DEVELOPMENT PERMIT SITE PLAN
 Revision:

Consultants:
 Civil: Urban Systems
 Landscape: NORR Architecture, Engineers, Planners & Architects
 Mechanical: NORR Architecture, Engineers, Planners & Architects
 Electrical: NORR Architecture, Engineers, Planners & Architects
 Structural: NORR Architecture, Engineers, Planners & Architects

Client:
METROPIA
 2500 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

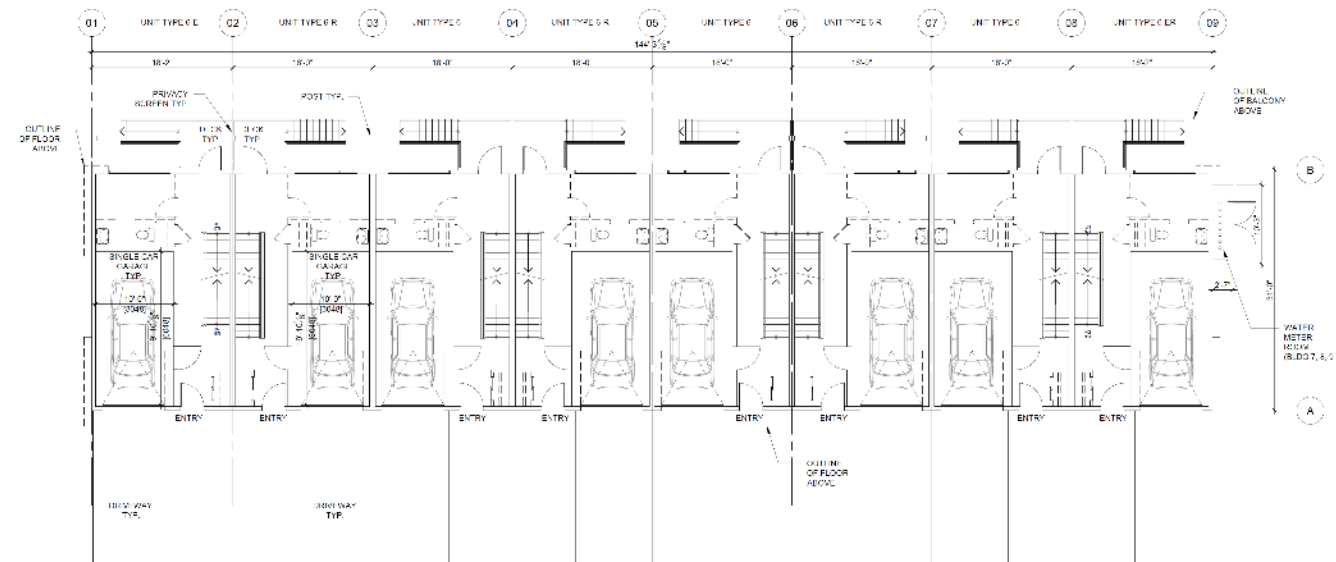
Project:
The Village at Medicine Hill
 BLOCK 7 - TOWNHOMES
 1470 NAVA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 06
 FLOOR PLAN & ROOF PLAN
 UNIT TYPE 0 & 05

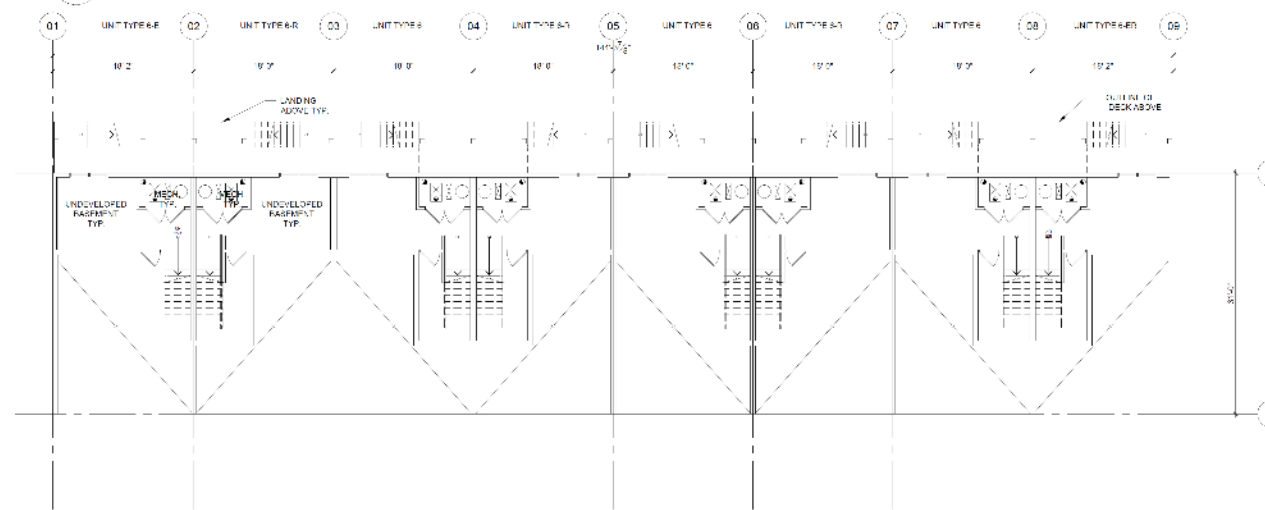
Drawn: NCCA-17-0008
 Checked: DP20-06-02

PLOT DATE: MAY 1, 2019. THE DESIGN, FULL PLAN AND PLAN VIEWING FACE, IS THE PROPERTY OF NORR ARCHITECTURE, ENGINEERS, PLANNERS & ARCHITECTS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF NORR ARCHITECTURE, ENGINEERS, PLANNERS & ARCHITECTS.

Development Permit Plans



02 GROUND FLOOR PLAN
DP20-07-01 18'-0"



01 BASEMENT FLOOR PLAN
DP20-07-01 18'-0"

- GENERAL NOTES
1. UNIT LEVELS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. UNDER PAVEMENT SURFACING AND FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL UNLESS NOTED OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR WALLS AND ROOFS INSIDE THE CONCRETE ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE NUMBER 0.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

This drawing has been prepared solely for the use of the City of Medicine Hat and does not constitute a contract. It is subject to the terms and conditions of the contract with whom NORR Architects Engineers Planners Inc. has entered into a contract. This drawing shall not be used for any other purpose without the prior written approval of NORR Architects Engineers Planners Inc.

Project Component:
DEVELOPMENT PERMIT SITE PLAN

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners Inc.
Architectural: NORR Architects Engineers Planners Inc.
Mechanical: NORR Architects Engineers Planners Inc.
Electrical: NORR Architects Engineers Planners Inc.

NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4Y0
www.norr.ca

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A Partnership of Limited Companies
2500 41st Street SE, Suite 100
Calgary, Alberta T2C 4Y0
2500 41st Street SE, Suite 100
Calgary, Alberta T2C 4Y0
2500 41st Street SE, Suite 100
Calgary, Alberta T2C 4Y0

Project Manager: Rob Benson
Project Leader: Elizabeth
Project Architect: Elizabeth
City: Calgary

METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

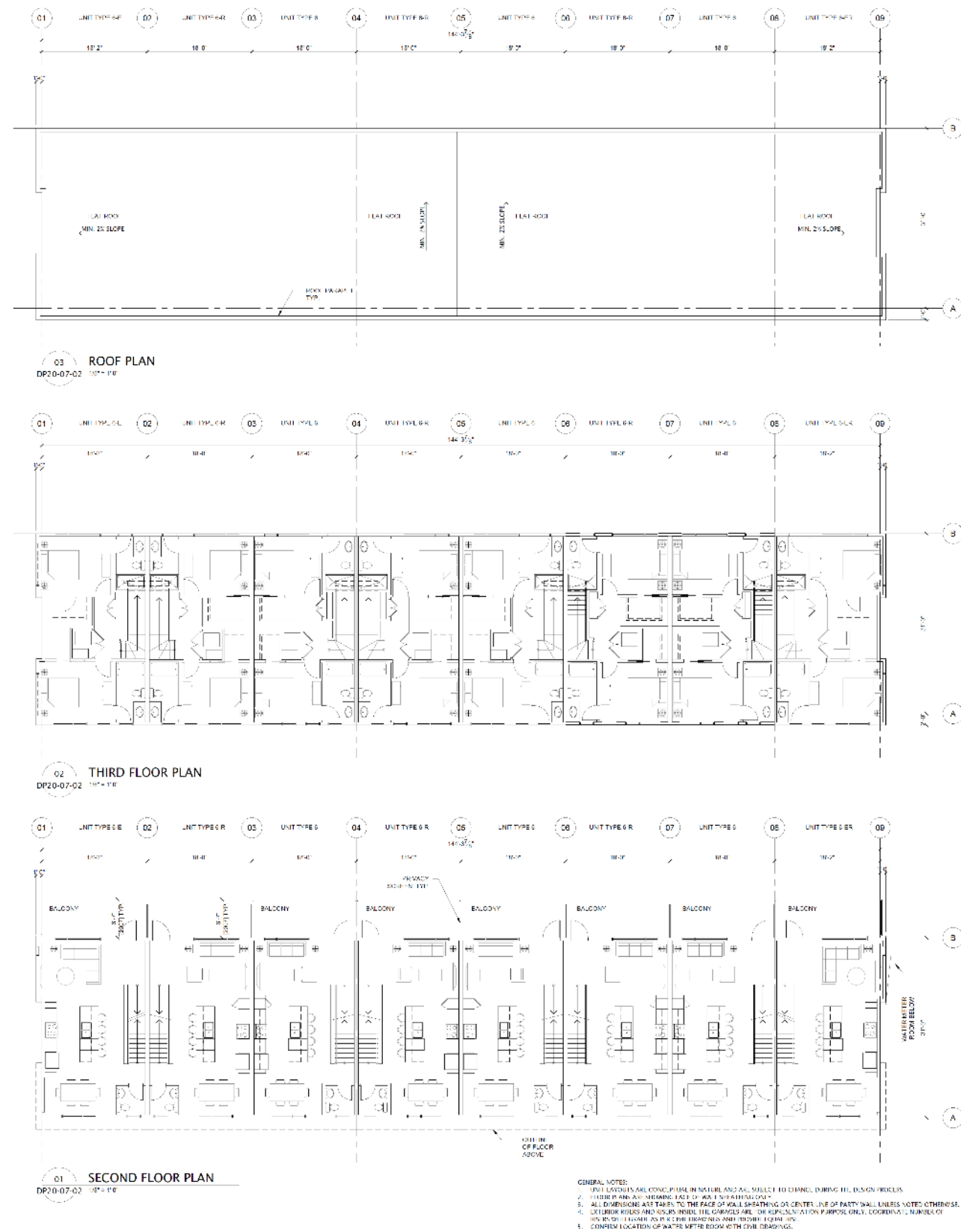
Project:
The Village at Medicine Hill
BLOCK T - TOWNHOUSES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 07, 08, 09 & 10
FLOOR PLANS
UNIT TYPE C

Check Scale (only for printed version):
1" = 10'-0"

Project No.: NCCA-17-0069
Drawing No.: DP20-07-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

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Project Components:
DEVELOPMENT PERMIT SITE PLAN

Consultants:
Urban Systems
NORR Architects Inc. Engineers Planners & Architects
NORR Architects Inc. Engineers Planners & Architects
Mechanical
Electrical

Scale:
1/8" = 1'-0"

NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4W5
www.norr.ca

NORR ARCHITECTS INC. ENGINEERS PLANNERS & ARCHITECTS
A member of the NORR Group
2500 41st Street SE, Suite 200
Calgary, Alberta T2C 4W5
Phone: (403) 243-1111
Fax: (403) 243-1112
Email: info@norr.ca

Project Manager: [Name]
Designer: [Name]
Checker: [Name]
Title: [Name]

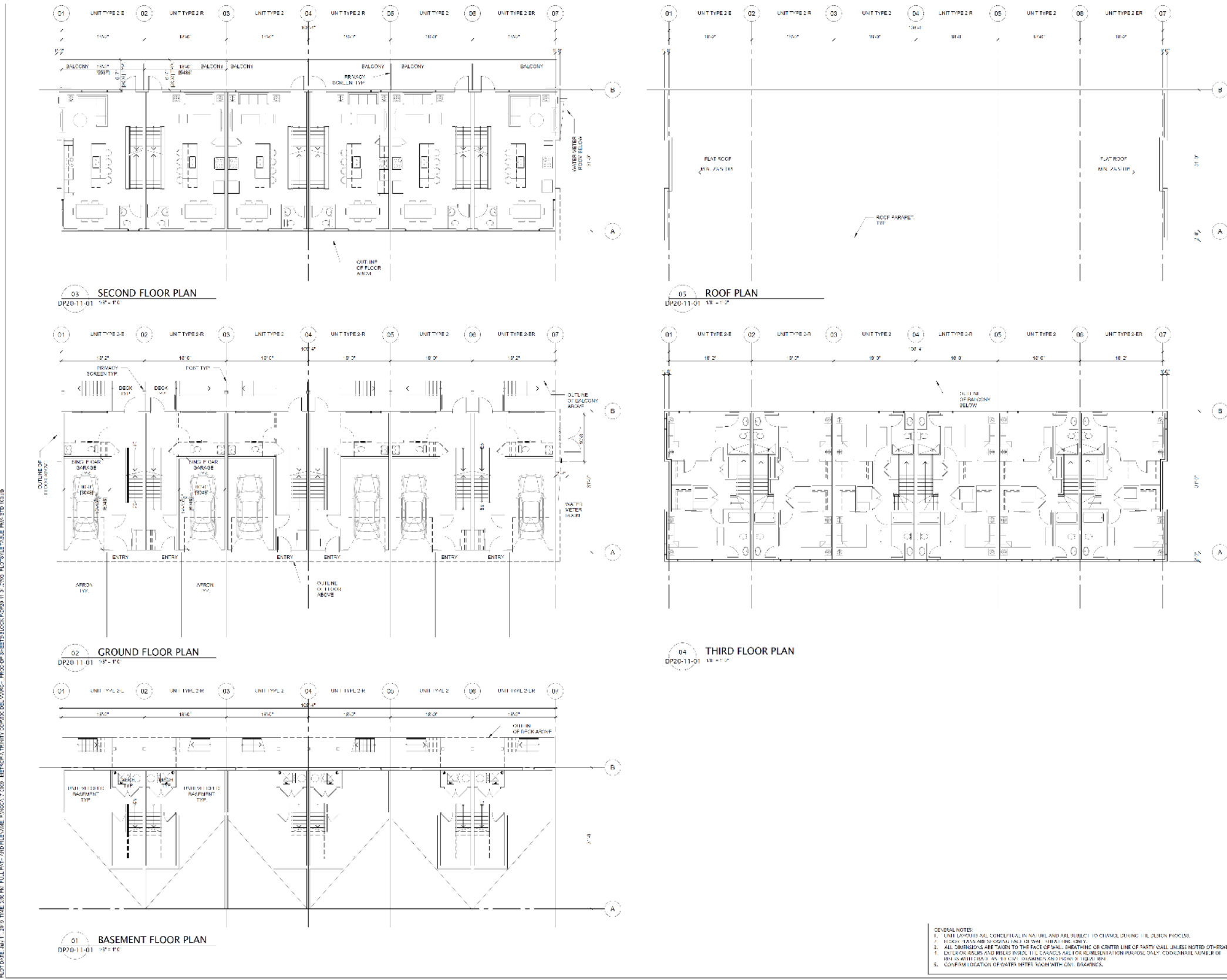
METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
BLOCK 7, TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 07, 08, 09 & 10
FLOOR PLANS & ROOF PLAN
UNIT TYPE 0'

Client: [Name]
Project No.: NCCA-17-0008
Drawing No.: DP20-07-02

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019.01.10 | DEVELOPMENT PERMIT | A |
| 2019.07.12 | DMR RESPONSE | B |

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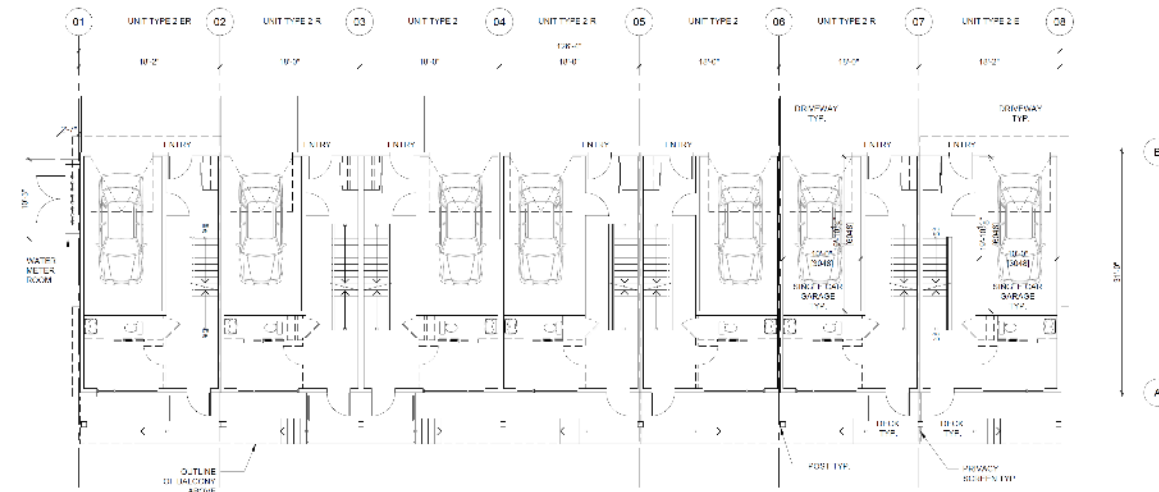
Project Component:
DEVELOPMENT PERMIT - SITE PLAN

Consultants:
Urban Systems
NORR Architects Engineers Planners Inc.
NORR Architects Engineers Planners Inc.
Mechanical
Electrical

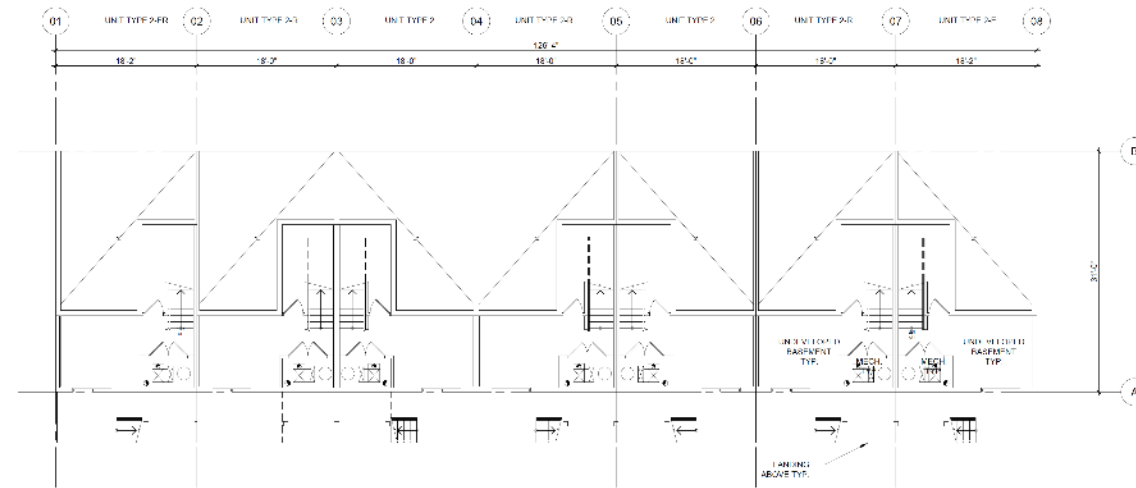
Drawn:
Checked:
Project No.: NCCA-17-0069
Drawing No.: DP20-11-01

- GENERAL NOTES:
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND RISER PROFILES TO BE DETERMINED BY THE CLIENT. COORDINATE WITH THE CLIENT.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

Development Permit Plans



02 GROUND FLOOR PLAN
DP20-12-01 1/8" = 1'-0"



01 BASEMENT FLOOR PLAN
DP20-12-01 1/8" = 1'-0"

- GENERAL NOTES
1. UNIT LEVELS ARE CONFORMING TO NATIONAL AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. UNDER VEHICLE PARKING AREAS ARE TO BE CONSTRUCTED TO THE FACE OF THE WALL.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL UNLESS OTHERWISE NOTED OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXISTING WALLS AND FLOORS INSIDE THE CONCRETE ARE FOR REPRESENTATION PURPOSE ONLY. COORDINATE WITH THE EXISTING DRAWINGS AND AS-BUILT DRAWINGS.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CIVIL DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DRA RESPONSE | B |

This drawing has been prepared solely for the use of the client. It is not to be used for any other purpose without the written consent of the architect. The architect shall not be held responsible for any errors or omissions in this drawing or for any consequences arising therefrom.

Project Information:
DEVELOPMENT PERMIT SITE PLAN
Residential

Consultants:
Civil: Urban Systems
Mechanical: NORR Architectural Engineers Planners & Architects
Structural: NORR Architectural Engineers Planners & Architects
Mechanical: NORR Architectural Engineers Planners & Architects
Electrical: NORR Architectural Engineers Planners & Architects

NORR

2500 41st Street SE
Calgary, Alberta, Canada T2C 4K4
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A partnership of licensed professionals
2500 41st Street SE, Suite 100
Calgary, Alberta, Canada T2C 4K4
Tel: 403.243.8888
Fax: 403.243.8889
www.norr.ca

Project Manager: Urban Systems
Civil Engineer: Urban Systems
Mechanical Engineer: Urban Systems
Structural Engineer: Urban Systems
Electrical Engineer: Urban Systems

Client:
METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
BLOCK 7 - TOWNHOUSES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

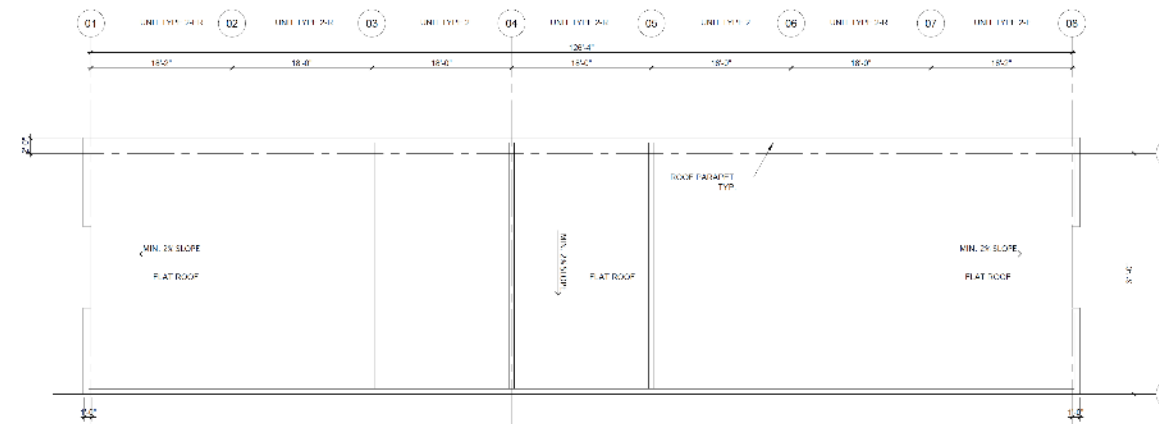
Drawing Title:
BUILDING 12
FLOOR PLANS
UNIT TYPE 01

Check Scale (only for printed version):
1" = 1'-0"

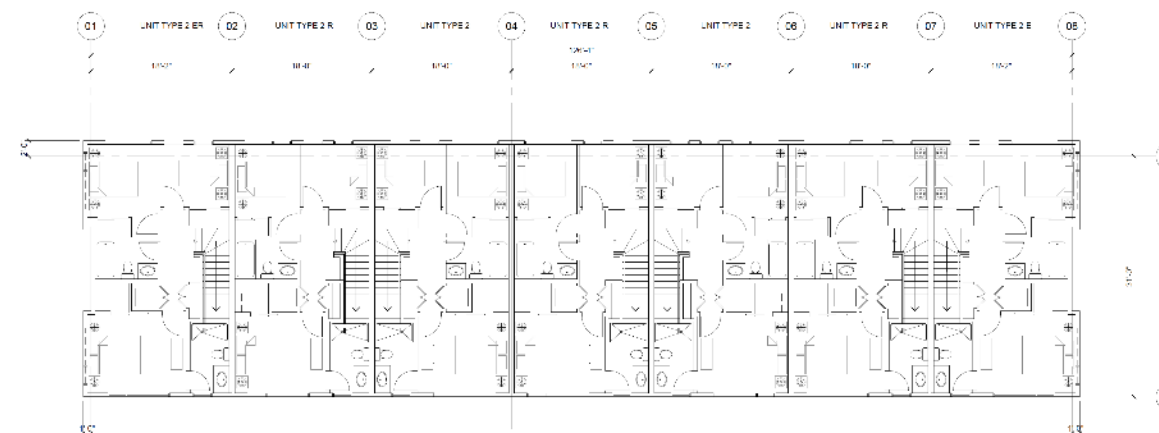
Project No.:
NCCA-17-0069

Drawing No.:
DP20-12-01

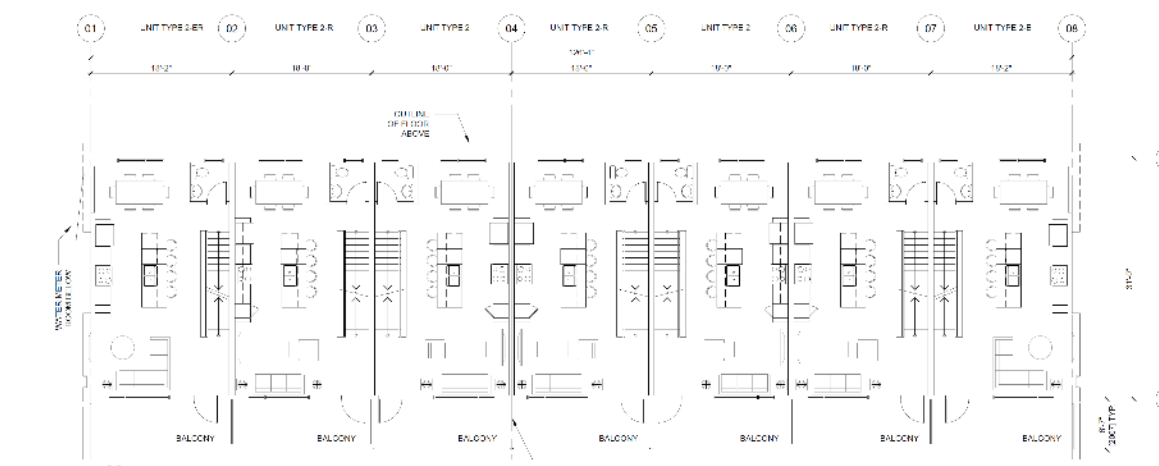
Development Permit Plans



03 ROOF PLAN
DP20-12-02 1/8" = 1'-0"



02 THIRD FLOOR PLAN
DP20-12-02 1/8" = 1'-0"



01 SECOND FLOOR PLAN
DP20-12-02 1/8" = 1'-0"

GENERAL NOTES:
 1. UNIT LAYOUTS AND FINISHES SHALL BE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL UNLESS NOTED OTHERWISE.
 6. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL UNLESS NOTED OTHERWISE.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

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Project Component:
DEVELOPMENT PERMIT SITE PLAN

Consultants:
 Urban Systems
 NORA Architects Engineers Planners
 NORA Architects Engineers Planners
 NORA Architects Engineers Planners

Project:
The Village at Medicine Hill
BLOCK 77 - TOWNHOUSES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

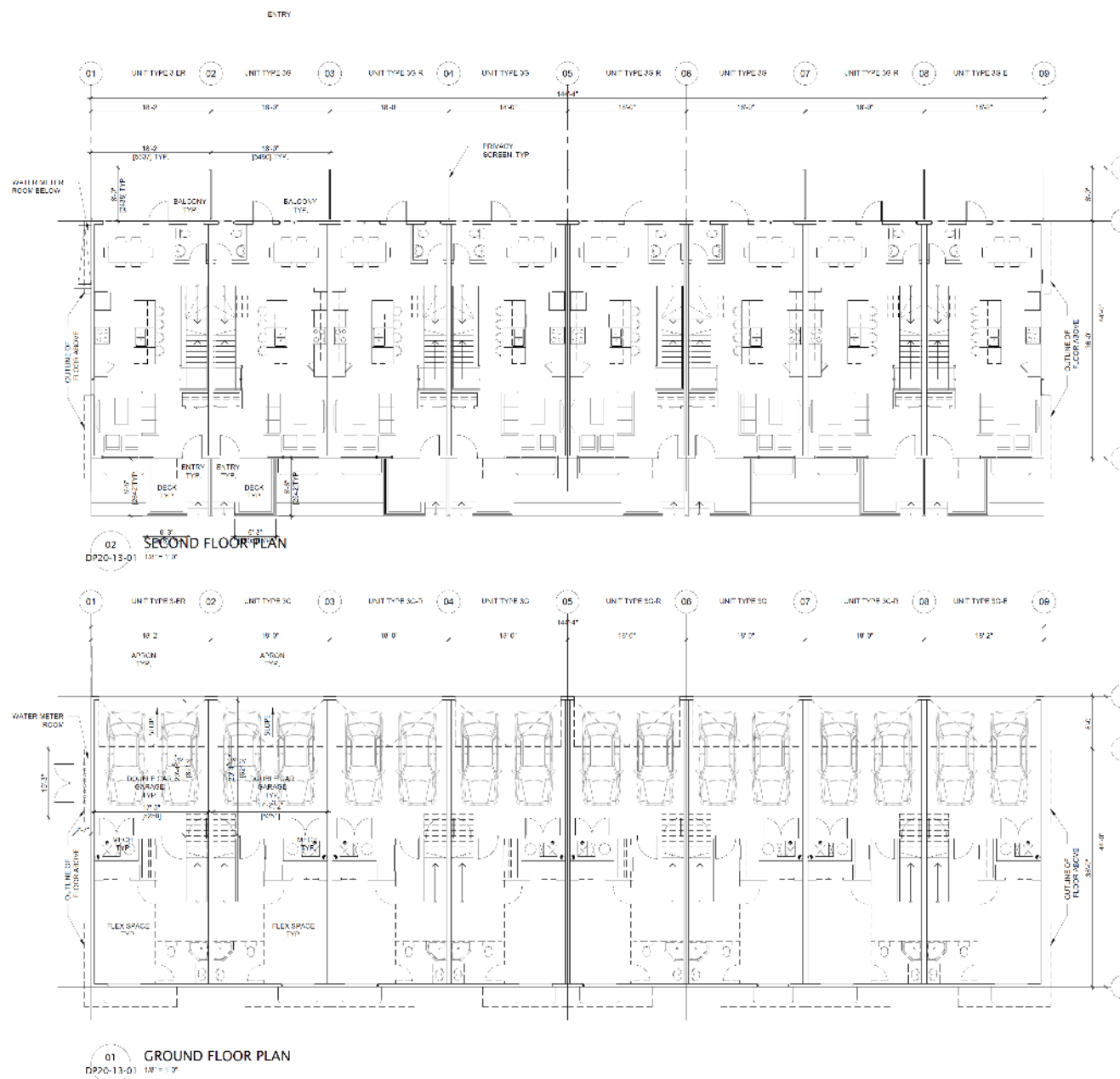
Project Title:
BUILDING 12
FLOOR PLANS & ROOF PLAN
UNIT TYPE B

Client:
NCCA-17-0069

Drawing No.:
DP20-12-02

PLOT DATE: MAY 1, 2019 11:25 AM; FULL PATH: ANDREW.WEISS@CITY.MEDHAT.CA; PROJECT: 918878; PROJECT NUMBER: 12000; METROPIA; UNIT TYPE: B; SCALE: 1/8" = 1'-0"; SHEET: 12 OF 12; TOTAL SHEETS: 12

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND RISER FINISHES TO BE DETERMINED FOR REPRESENTATION PURPOSES ONLY. COORDINATE NUMBER OF RISER WITH ELEVATION NUMBER AND POINTS TO BE SHOWN.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | OWNER RESPONSE | B |

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Project Completion:
 DEVELOPMENT PERMIT SITE PLAN
 Revision:

Consultants:
 Urban Systems
 NORR Architects Engineers Planners Inc.
 NORR Architects Engineers Planners Inc.
 Mechanical
 Electrical

Scale:
 1/8" = 1'-0"

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 2500 41st Street SE
 Calgary, Alberta, Canada T2C 4Y0
 www.norr.ca

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 A Partnership of Licensed Professionals
 2500 41st Street SE, Suite 200
 Calgary, Alberta T2C 4Y0
 403.243.4444
 www.norr.ca

Project Manager: [Name]
 Project Engineer: [Name]
 Project Architect: [Name]

METROPIA
 2500 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

Project:
 The Village at Medicine Hill
 BLOCK 17 - TOWNHOUSES
 1470 NAVA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 13
 FLOOR PLANS
 UNIT TYPE 3G

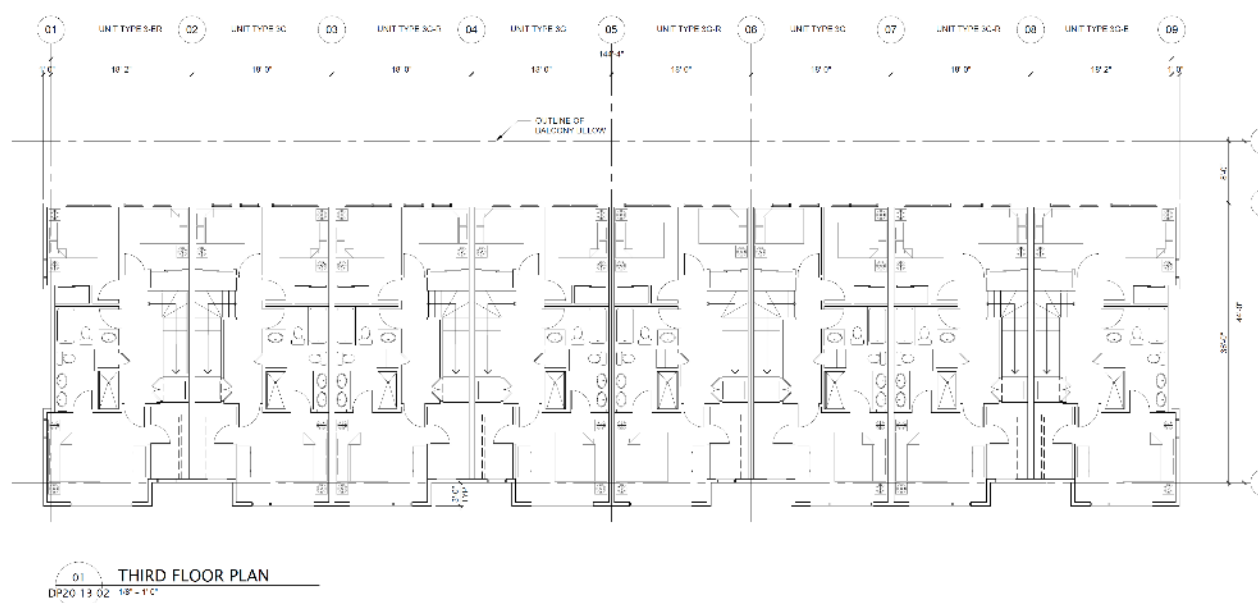
Check Scale (only for printed version):
 1" = 1'-0"

Project No.:
 NCCA-17-008

Drawing No.:
 DP20-13-01

FLOOR PLAN - MAY 1, 2019, THE 25th FLOOR, FULL PLAN - AND FLOOR PLAN - 2019, METROPIA, TRINITY SQUARE DEVELOPMENT - 1470 NAVA DRIVE, MEDICINE HILL, CALGARY, ALBERTA, CANADA

Development Permit Plans



- GENERAL NOTES:**
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND RISER PROFILES TO BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS. COORDINATE NUMBER OF RISERS WITH RISER AND RISER PROFILES TO BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
 5. CONFIRM LOCATION OF WATER METERS WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

This drawing has been prepared solely for the use of the client. It is not to be used for any other purpose without the written consent of NORR Architects Engineers Planners Inc. The drawing shall not be used for construction purposes unless it is accompanied by the written approval of the architect or engineer.

Project Category:
DEVELOPMENT PERMIT - SITE PLAN

Consultants:
 Civil: Urban Systems
 Landscape: NORR Architects Engineers Planners Inc.
 Architectural: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Electrical: NORR Architects Engineers Planners Inc.

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 2500 41st Street SE
 Calgary, Alberta, Canada T2C 4Y0
 www.norr.ca

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 A Partnership of Licensed Professionals
 2500 41st Street SE, Suite 100
 Calgary, Alberta, Canada T2C 4Y0
 Phone: (403) 243-1111
 Fax: (403) 243-1112
 Email: info@norr.ca

Project Manager: [Name]
 Designer: [Name]
 Checker: [Name]
 Date: [Date]

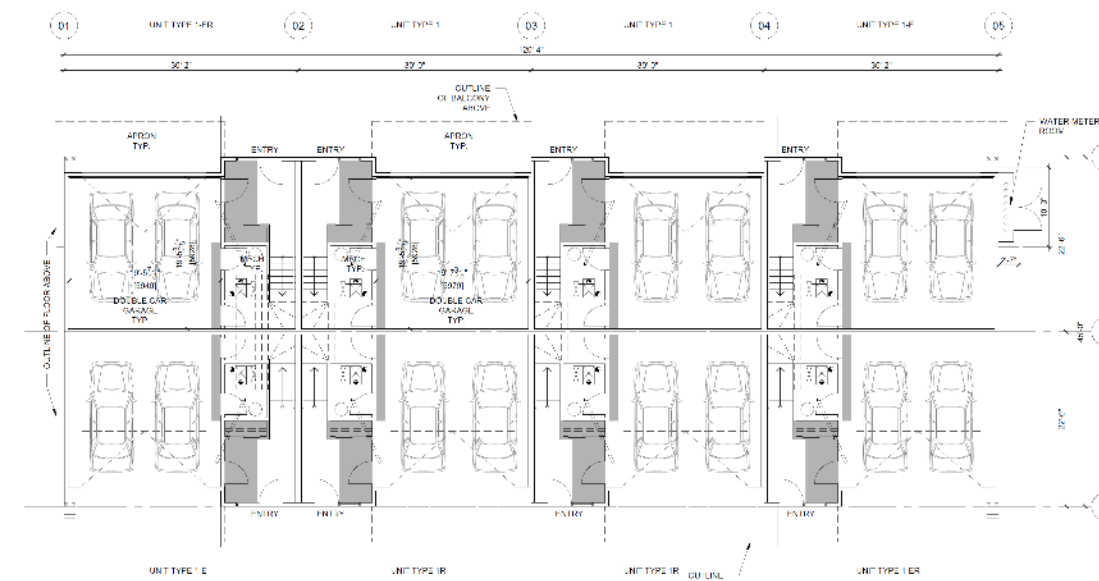
METROPIA
 2500 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
 BLOCK 7 - TOWNHOUSES
 1470 NAVA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 13
 FLOOR PLAN & ROOF PLAN
 UNIT TYPE 3G

Client: [Name]
 Project No.: NCCA-17-0069
 Drawing No.: DP20-13-02

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND RISER PROFILES TO BE CHANGED FOR REPRESENTATION PURPOSES ONLY. COORDINATE NUMBER OF RISER WITH EXISTING ARCHITECTURAL DRAWINGS AND PROJECTS. (10/01/19)
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | CITY RESPONSE | B |

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Project Name:
DEVELOPMENT PERMIT SITE 11

Consultants:
 Urban Systems
 NORR Architects Engineers Planners Inc.
 NORR Architects Engineers Planners Inc.

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 2500 41st Street SE
 Calgary, Alberta, Canada T2C 4Y0
 www.norr.ca

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 2500 41st Street SE, Suite 100
 Calgary, Alberta T2C 4Y0
 403-243-1111
 Fax: 403-243-1112
 Email: info@norr.ca

Project Manager: [Name]
 Designer: [Name]
 Checker: [Name]

METROPIA
 2500 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
 BLOCK 11 - TOWNHOMES
 1470 NAVA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 15
 FLOOR PLANS
 UNIT TYPE 1

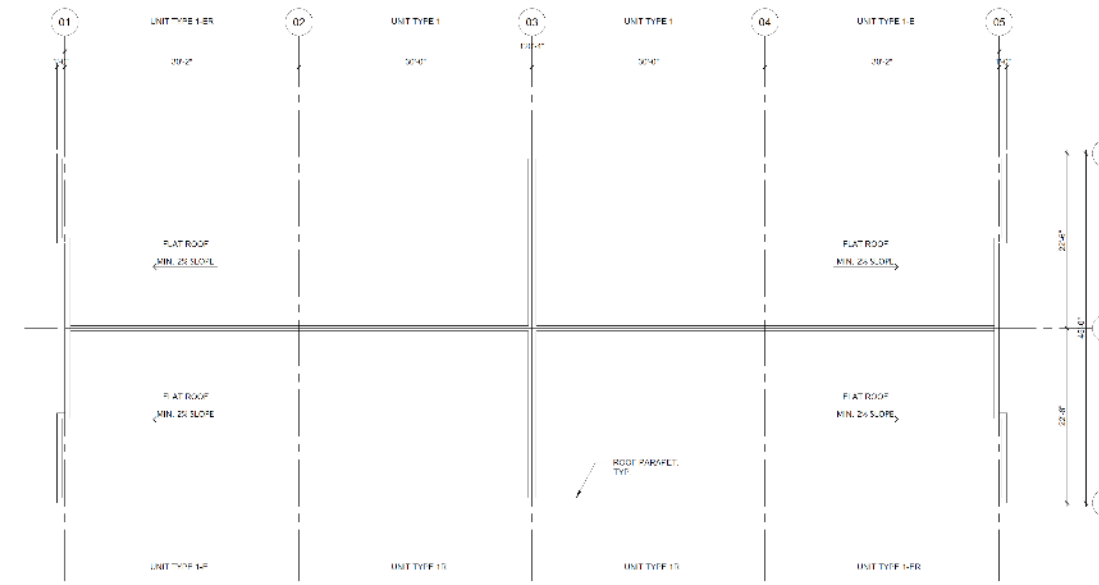
Check Scale (only for printed version):
 1" = 1'-0"

Project No.:
NCCA-17-0069

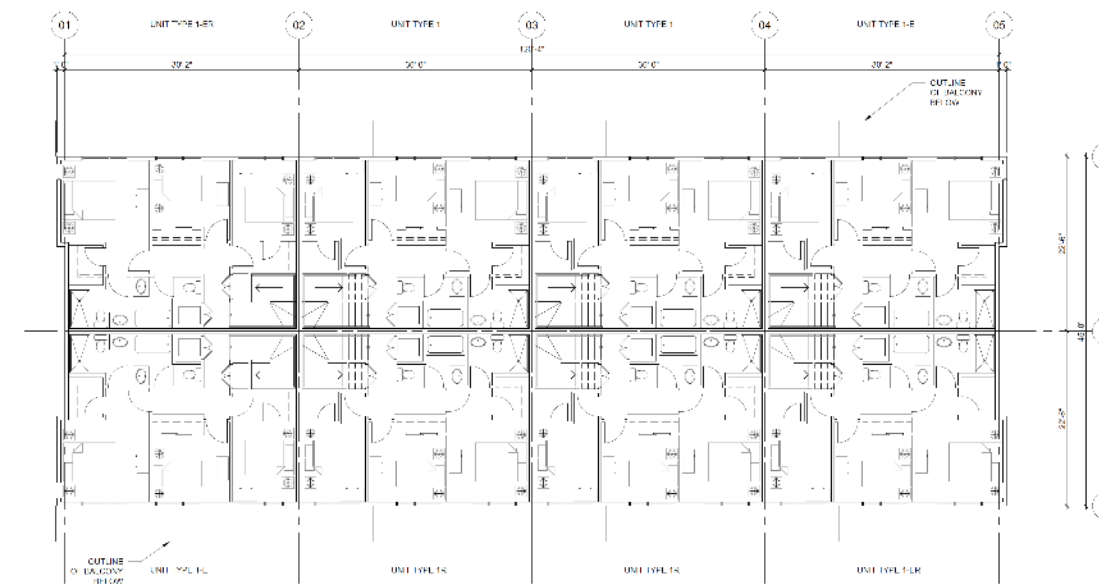
Drawing No.:
DP20-15-01

PLOT DATE: MAY 1, 2019 11:25 AM; FULL PATH: ANDERSON\PROJECTS\2019\METROPIA\TRINITY\2019\02\FLOOR PLANS\15-01-01.DWG; PLOT DATE: MAY 1, 2019 11:25 AM; FULL PATH: ANDERSON\PROJECTS\2019\METROPIA\TRINITY\2019\02\FLOOR PLANS\15-01-01.DWG

Development Permit Plans



02 ROOF PLAN
DP20-15-02 1/8" = 1'-0"



01 THIRD FLOOR PLAN
DP20-15-02 1/8" = 1'-0"

- GENERAL NOTES:
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL, UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND WELLS SHALL BE CONFORMANT WITH THE CANADIAN NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARD FOR THE CONSTRUCTION OF EXTERIOR RISERS AND WELLS (NFPA 13).
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CITY ENGINEERS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | CITY RESPONSE | B |

This drawing has been prepared solely for the use of the City of Calgary and shall not be used for any other purpose without the written consent of NORR Architects Engineers Planners Inc. The drawing shall not be used for construction purposes until the need appearing hereon is agreed and sealed by the Architect or Engineer.

Project Component:
DEVELOPMENT PERMIT - SITE PLAN
Revision:

Consultants:
Urban Systems
NORR Architects Engineers Planners Inc.
NORR Architects Engineers Planners Inc.
Mechanical
Electrical

Vendor:
NORR
2500 41st Street SE,
Calgary, Alberta, Canada T2C 4W7
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
A member of the United Companies
2500 41st Street SE, Calgary, Alberta T2C 4W7
Phone: 403.275.1111
Fax: 403.275.1112
Email: info@norr.ca
www.norr.ca

Project Manager: Urban Systems
Project Architect: Urban Systems
Project Engineer: Urban Systems
Project Designer: Urban Systems
Project Checker: Urban Systems
Project Approver: Urban Systems

Client:
METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

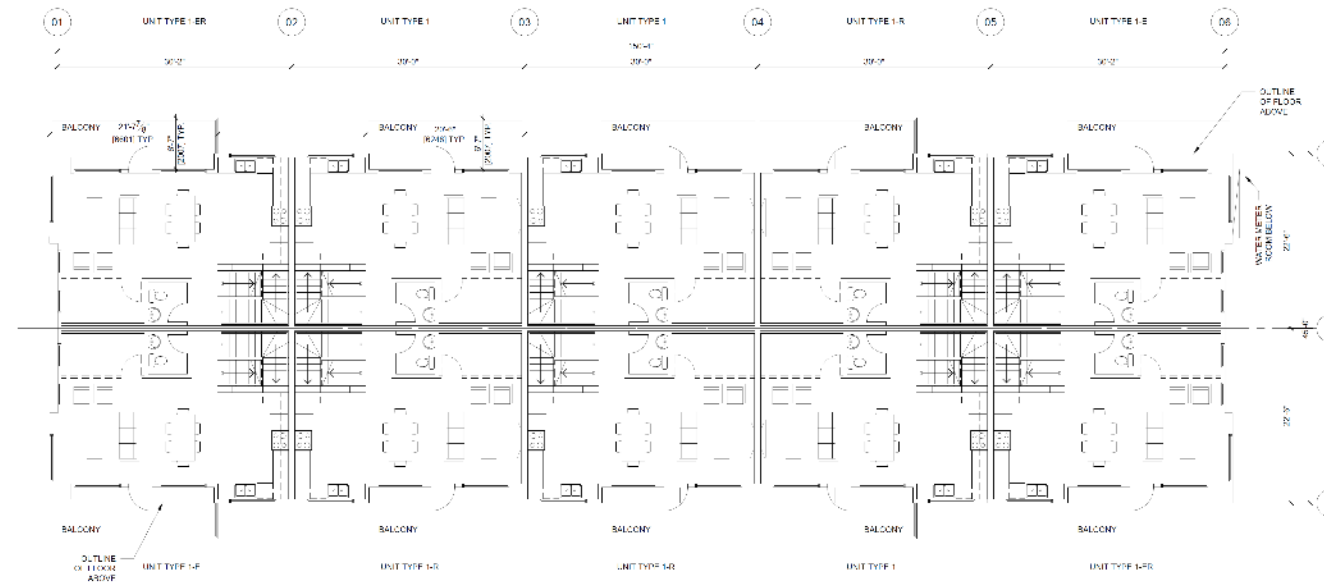
Project:
The Village at Medicine Hill
BLOCK 7 - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 15
FLOOR PLAN & ROOF PLAN
UNIT TYPE 1

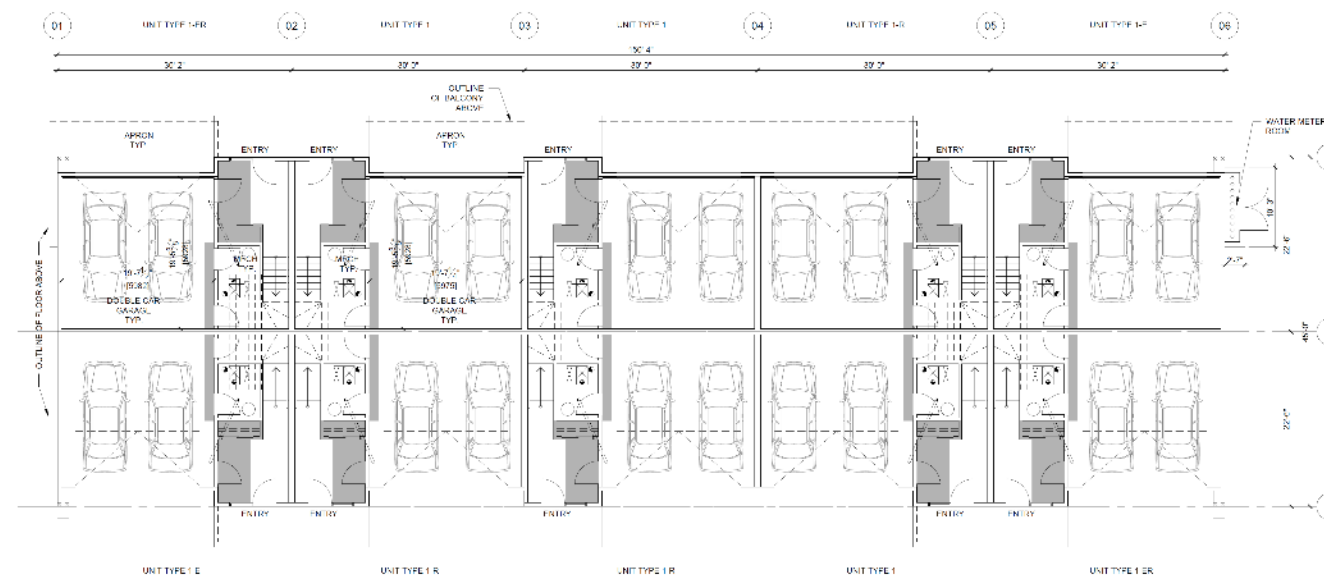
Check Scale (only for printed version):
1" = 10'-0"
1" = 20'-0"
1" = 30'-0"
Project No.: NCCA-17-0069
Drawing No.: DP20-15-02

PLOT DATE: MAY 1, 2019 11:26:51 AM FILE NAME: DP20-15-02 METROPIA TRINITY CONDO DEVELOPMENT - RESCOP 9 SHEET ARCHITECTURE IS A DIVISION OF NORR ARCHITECTS ENGINEERS PLANNERS INC. (NORR) 2500 41ST STREET SE, CALGARY, ALBERTA T2C 4W7

Development Permit Plans



02 SECOND FLOOR PLAN
DP20-16-01 1/8" = 1'-0"



01 GROUND FLOOR PLAN
DP20-16-01 1/8" = 1'-0"

- GENERAL NOTES:
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR FINISHES AND RELATED FINISHES TO BE DETERMINED BY THE CLIENT. COORDINATE WITH ARCHITECTURAL DRAWINGS.
 5. CONFIRM LOCATION OF WATER METER WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

This drawing has been prepared solely for the use of the client and does not constitute a contract. It is the responsibility of the client to ensure that the drawing is used in accordance with the terms and conditions of the contract. The drawing shall not be used for any other purpose without the written approval of the architect or engineer.

Project Completion:
DEVELOPMENT PERMIT SITE '1'

Consultants:
Civil: Urban Systems
Mechanical: NORR Architectural Engineers Planners
Electrical: NORR Architectural Engineers Planners
Structural: NORR Architectural Engineers Planners
Landscape: NORR Architectural Engineers Planners
Interior: NORR Architectural Engineers Planners

NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K0
www.norr.ca

NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Licensed Professionals
2500 41st Street SE, Suite 100
Calgary, Alberta T2C 4K0
Phone: (403) 243-1111
Fax: (403) 243-1112
Email: info@norr.ca

Project Manager: [Name]
Architect: [Name]
Mechanical: [Name]
Electrical: [Name]
Structural: [Name]
Landscape: [Name]
Interior: [Name]

METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

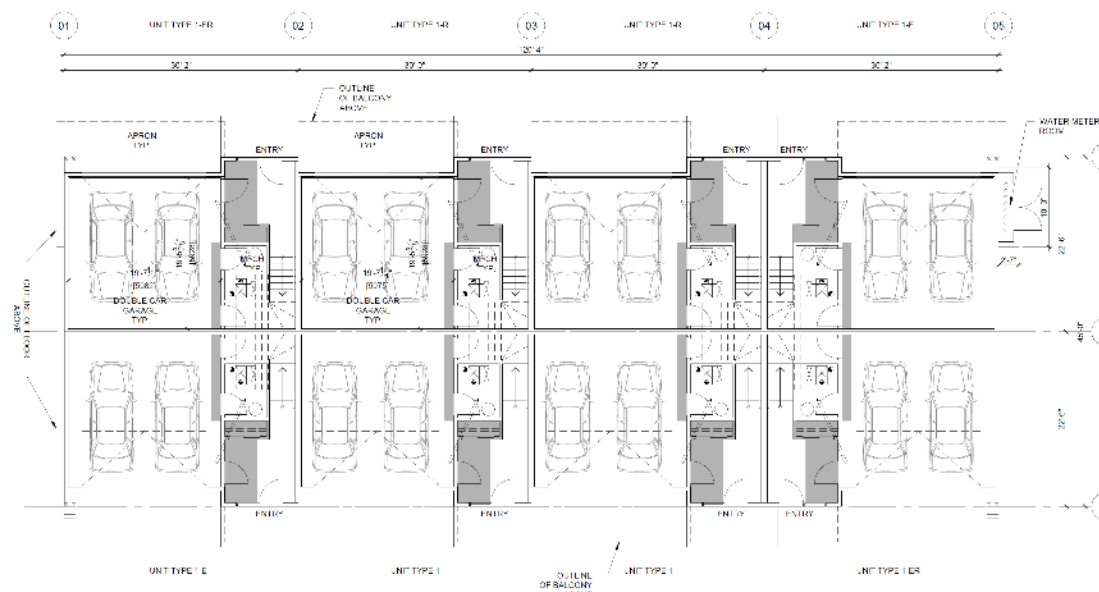
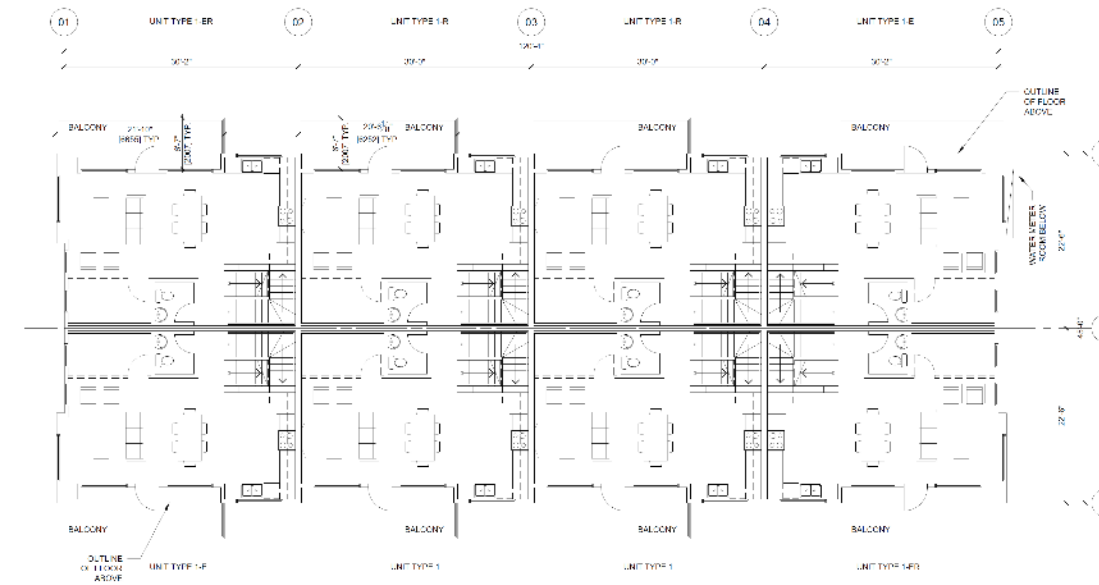
Project:
The Village at Medicine Hill
BLOCK '1' - TOWNHOUSES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 16
FLOOR PLANS
UNIT TYPE '1'

Check Scale (only for printed version):
1" = 1'-0"

Project No.: NCCA-17-0069
Drawing No.: DP20-16-01

Development Permit Plans



- GENERAL NOTES:
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND RECESSED DOORS TO BE CHECKED FOR REPRESENTATION PURPOSES ONLY. COORDINATE NUMBER OF RISER OR RECESSED DOOR WITH ARCHITECT'S DRAWING AND PROJECT'S LEGEND.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-16 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

This drawing has been prepared solely for the use of the City of Medicine Hill and is not to be used for any other purpose. It is the responsibility of the user to verify all information with the City of Medicine Hill. The drawing shall not be used for construction purposes until the required approvals have been obtained from the City of Medicine Hill.

Project Name:
DEVELOPMENT PERMIT SITE 17

Consultants:
Urban Systems
NORR Architectural Engineers Planners
Mechanical
Electrical

NORR
2500 41st Street SE
Calgary, Alberta, Canada T2C 4K0
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A Partnership of Licensed Companies
2500 41st Street SE, Suite 100
Calgary, Alberta T2C 4K0
Phone: (403) 243-1111
Fax: (403) 243-1112
Email: info@norr.ca

Project Manager: [Name]
Designer: [Name]
Checker: [Name]

METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
BLOCK 7, TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
BUILDING 17
FLOOR PLANS
UNIT TYPE 1

Check Scale (City of Medicine Hill):
1" = 100'

Project No.:
NCCA-17-008

Drawing No.:
DP20-17-01

PLOT DATE: MAY 1, 2019 11:25 AM; FULL PATH: AND FILE NAME: E:\2019 METROPIA\TRINITY\20190502\DELIVERABLES\20190502\20190502\BUILDING 17\2019 FLOOR PLANS\BUILDING 17-01.DWG

Development Permit Plans



02 ROOF PLAN
DP20-17-02 1/4" = 1'-0"



01 THIRD FLOOR PLAN
DP20-17-02 1/4" = 1'-0"

- GENERAL NOTES:
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND WELLS SHALL BE TO THE CHANGING FLOOR FOR REPRESENTATION PURPOSES ONLY. COORDINATE NUMBER OF RISER WITH THE 2020 ASHRAE 90.1-2019 DRAWING AND PROJECTS (19.0) AND 19.1.
 5. CONFIRM LOCATION OF WATER METERS TOGETHER WITH CIVIL DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019 01 10 | DEVELOPMENT PERMIT | A |
| 2019 07 12 | DMR RESPONSE | B |

This drawing has been prepared solely for the use of the Client. It is not to be used for any other purpose without the written consent of NORR Architects. Engineers. Planners. Inc. The drawing shall not be used for construction purposes until the need appearing hereon is agreed and sealed by the Architect or Engineer.

Project Completion:
DEVELOPMENT PERMIT SITE PLAN
Kesteven

Consultants:
Civil: Urban Systems
Landscape: NORR Applied Architecture
Architectural: NORR Architects Engineers Planners
Interior: NORR Architects Engineers Planners
Mechanical: NORR Architects Engineers Planners
Electrical: NORR Architects Engineers Planners

Client:
Metrovia
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

NORR
2500 41st Street SE,
Calgary, Alberta, Canada T2C 4W0
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NORR ARCHITECTS ENGINEERS PLANNERS
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2500 41st Street SE, Suite 807
Calgary, Alberta T2C 4W0
Phone: (403) 243-1111
Fax: (403) 243-1112
Email: info@norr.ca

Project Manager: [Name]
Project Architect: [Name]
Project Engineer: [Name]

METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
BLOCK 'T' - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

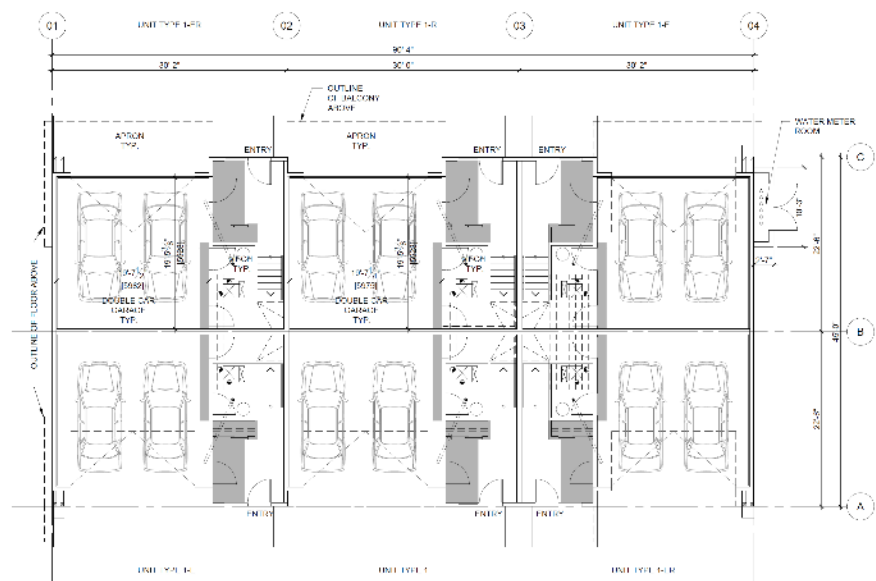
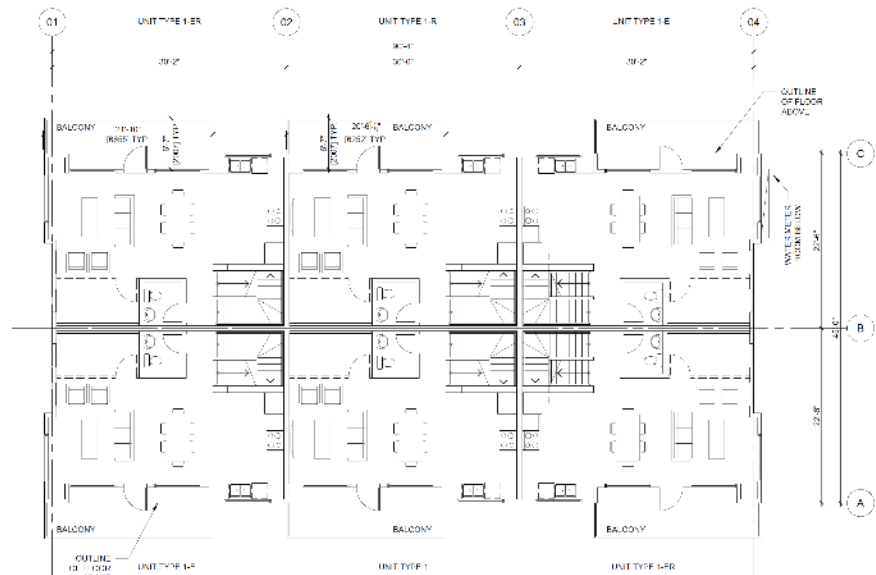
Drawing Title:
BUILDING 17
FLOOR PLAN & ROOF PLAN
UNIT TYPE '1'

Client Scale Only for project use:
1" = 1'-0"

Project No.: NCCA-17-008
Drawing No.: DP20-17-02

PLOT DATE: MAY 1, 2019 11:56 AM; FULL PATH: AND FILE NAME: DP20-17-02-01 METROPIA TRINITY DRIVE DELAWARE - PROJECT SHEET ARCHITECTURE AT METROVIA TOWNHOMES TRINITY DRIVE UNIT 1001-18

Development Permit Plans



- GENERAL NOTES:
1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR RISERS AND WELLS SHALL BE TO BE CHECKED FOR PERMITS AND APPROVALS ONLY. COORDINATE NUMBER OF RISERS WITH LOCAL AND CITY DRAWINGS AND PROJECTS. (10/01/18)
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

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Project Component:
DEVELOPMENT PERMIT - SITE PLAN
Residential

Consultants:
Civil: Urban Systems
Landscape: NORR Applied Architecture Planners & Engineers
Architectural: NORR Architects Engineers Planners Inc.
Mechanical: Urban Systems
Electrical: Urban Systems

NORR
2503 41st Street SE,
Calgary, Alberta, Canada T2B 4Y0
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NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Licensed Professionals
2503 41st Street SE, Calgary, Alberta T2B 4Y0
Phone: (403) 243-1111
Fax: (403) 243-1112
Email: info@norr.ca

Project Manager: Urban Systems
Project Architect: Urban Systems
Project Engineer: Urban Systems
Project Designer: Urban Systems

METROPIA
2500 Yonge Street, Suite 807
Toronto, ON, M4P 1E4

Project:
The Village at Medicine Hill
BLOCK "C" - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

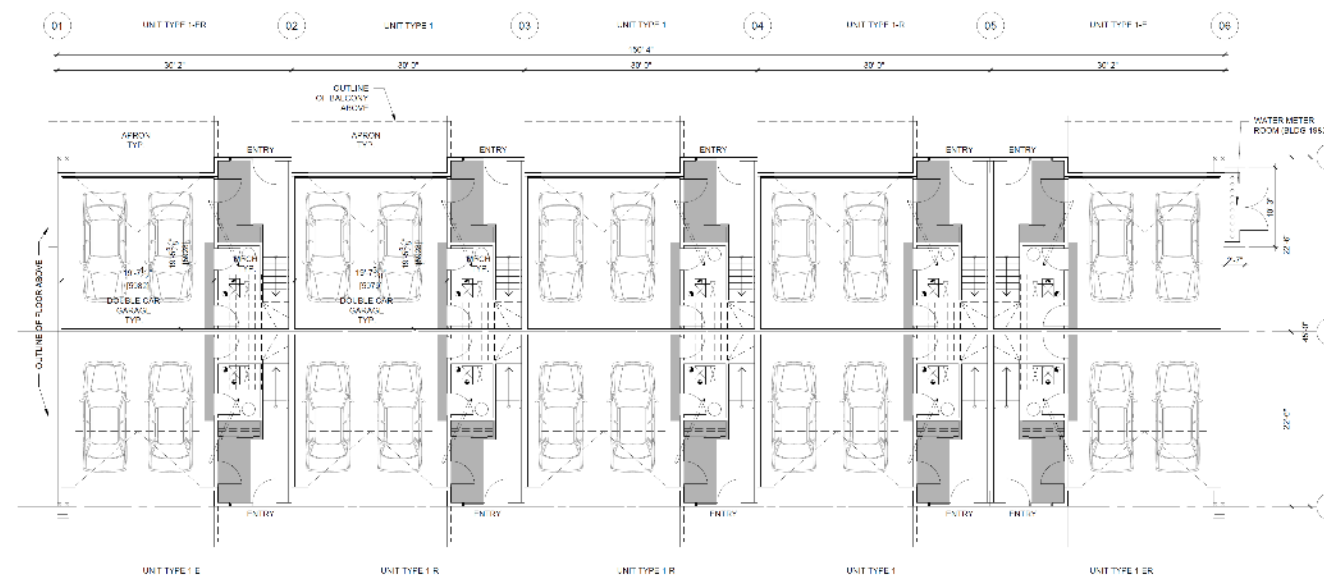
Drawing Title:
BUILDING 18
FLOOR PLANS & ROOF PLAN
UNIT TYPE "1"

Check State (only for printed version):
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

Project No.:
NCCA-17-0069

Drawing No.:
DP20-18-01

Development Permit Plans



GENERAL NOTES:
 1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
 2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
 4. EXTERIOR FINISHES AND RELATED FINISHES TO BE DETERMINED BY THE CLIENT.
 5. CONFIRM LOCATION OF WATER METER ROOM WITH CITY DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

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Project Completion:
DEVELOPMENT PERMIT SITE '1'

Consultants:
 Urban Systems
 NORR Architectural Engineers Planners
 NORR Architects Engineers Planners
 Mechanical
 Electrical

NORR
 2500 41st Street SE
 Calgary, Alberta, Canada T2C 4K0
 www.norr.ca

NORR ARCHITECTS ENGINEERS PLANNERS
 A Partnership of Licensed Companies
 2500 41st Street SE, Suite 100
 Calgary, Alberta T2C 4K0
 403-243-1111
 Fax: 403-243-1112
 Email: info@norr.ca

Project Manager: Urban Systems
 Project Architect: Urban Systems
 Project Engineer: Urban Systems
 Project Designer: Urban Systems

METROPIA
 2500 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

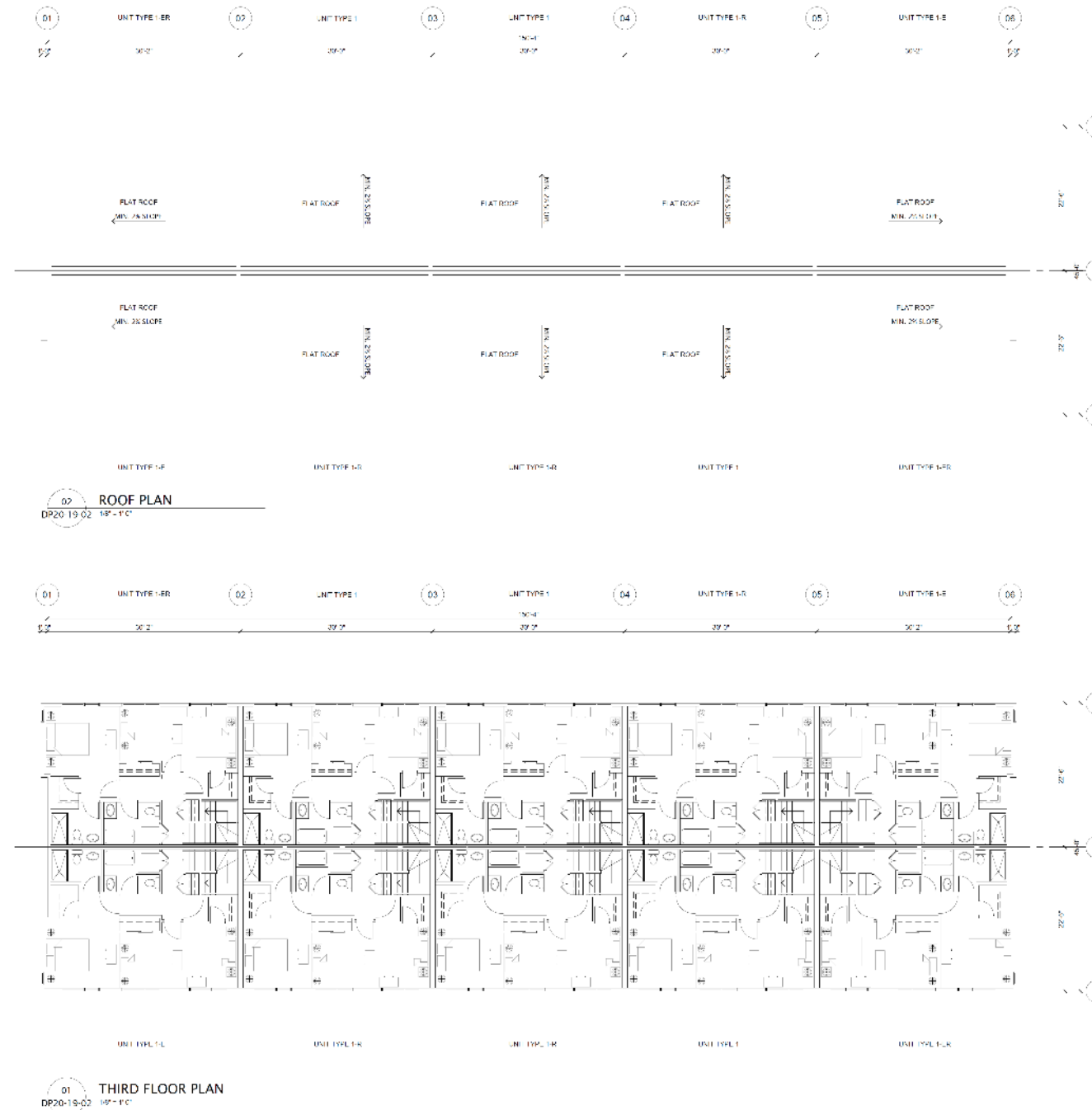
Project:
The Village at Medicine Hill
 BLOCK '1' - TOWNHOMES
 1470 NAVA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
BUILDING 19 & 20
 FLOOR PLANS
 UNIT TYPE '1'

Check Scale (only for printed version):
 1" = 10'-0"

Project No.: NCCA-17-0069
 Drawing No.: DP20-19-01

Development Permit Plans



GENERAL NOTES:

1. UNIT LAYOUTS ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS.
2. FLOOR FINISHES ARE TO BE DETERMINED BY THE CLIENT.
3. ALL DIMENSIONS ARE TAKEN TO THE FACE OF WALL, SHEATHING OR CENTER LINE OF PARTY WALL UNLESS NOTED OTHERWISE.
4. EXTERIOR RISERS AND RECESSED RISERS TO BE CHECKED FOR REPRESENTATION PURPOSES ONLY. COORDINATE NUMBER OF RISER WITH ELEVATION DRAWING AND PROJECT NUMBER.
5. CONFIRM LOCATION OF WATER METERS TOGETHER WITH CIVIL DRAWINGS.

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DMR RESPONSE | B |

This drawing has been prepared solely for the use of the client and shall not be used for any other purpose without the written consent of the Architect. The Architect's liability is limited to the professional services rendered by the Architect and shall not extend to the design of any other work.

Project Component:
DEVELOPMENT PERMIT - SITE 1'

Consultants:
 Civil: Urban Systems
 Landscape: NORR Applied Architecture
 Mechanical: NORR Applied Architecture
 Electrical: NORR Applied Architecture
 Structural: NORR Applied Architecture

NORR
 2500 41st Street SE
 Calgary, Alberta, Canada T2C 4W7
 www.norr.ca

NORR ARCHITECTS INC. ENGINEERS & PLANNERS
 A member of the NORR Group
 2500 41st Street SE, Suite 100
 Calgary, Alberta, Canada T2C 4W7
 Phone: (403) 243-1111
 Fax: (403) 243-1112
 Email: info@norr.ca

Project Manager: John S. Brown
Project Architect: Elizabeth H. Brown
Project Engineer: Michael J. Brown

METROPIA
 2500 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

Project:
 The Village at Medicine Hill
 BLOCK 17 - TOWNHOMES
 1470 NAVA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title:
 BUILDING 19 & 20
 FLOOR PLAN & ROOF PLAN
 UNIT TYPE 1'

Check Scale (only for printed version):
 1" = 10'-0"

Project No.: NCCA-17-0069
 Drawing No.: DP20-19-02

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2024-01-15 | DEVELOPMENT PERMIT | A |
| 2024-01-15 | DATE BY: SKYBEN | 1 |

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Project Name: DEVELOPMENT PERMIT SITE 17

Client: Urban Systems
 Location: 1470 NAKA DRIVE, MEDICINE HILL
 Structure: 1470 NAKA DRIVE, MEDICINE HILL
 Discipline: Architectural

NORR
 2700 41st Street SE
 Calgary, Alberta Canada T2C 4K9
 403.243.8888
 NORR ARCHITECTS ENGINEERS PLANNERS
 A CORPORATION OF ALBERTA COMPANIES
 2024-01-15 10:00 AM
 2024-01-15 10:00 AM
 2024-01-15 10:00 AM

Project Manager: Drew L. Johnson, L.L.B.
 Project Leader: Chocoid L. Johnson, L.L.B.
 Designer: METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E1

The Village at Medicine Hill
 BLOCK 7 - TOWNHOMES
 1470 NAKA DRIVE, MEDICINE HILL
 Village District, Calgary, AB

Check Dates only by permit holder

Project No: NCCA-17-0089

Drawing No: DP30-01-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2024-01-16 | DEVELOPMENT PERMIT | A |
| 2024-01-19 | DATE BY: 60369 | 11 |

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The drawings shall not be used for construction purposes until the seal applying portion is signed and dated by the professional engineer.

Project Information
DEVELOPMENT PERMIT SITE 1'
Keyplan

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Inc.
Architectural: NORR Architects Engineers Inc.
Structural: NORR Architects Engineers Inc.
Mechanical: NORR Architects Engineers Inc.
Electrical: NORR Architects Engineers Inc.

Project Manager: [Name]
Project Lead: [Name]
Project Architect: [Name]

Client: METROPIA
2300 Yonge Street, Suite 807
Toronto, ON M2P 1E1

Project Name: The Village at Medicine Hill
BLOCK 7 - TOWNHOMES
1470 HAZARD DRIVE, Medicine Hill
Village District, Calgary, AB

Project No: NCCA-17-0089
Drawing No: DP30-02-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2024-04-16 | DEVELOPMENT PERMIT | A |
| 2024-04-19 | DATE BY: SKYRIS | 1 |

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Project Information
DEVELOPMENT PERMIT SITE #1

Client: Urban Systems
Location: 1470 Main Street, Medicine Hill, Alberta
Structure: 3M1, 3M2, 3M3, 3M4, 3M5, 3M6, 3M7
Discipline: Architectural, Electrical

Project Manager: Drew L. Lister
Project Leader: Chantal L. Lister

Drawn by: METROPIA
2300 Yonge Street, Suite 807
Toronto, ON M2P 1E1

The Village at Medicine Hill BLOCK 7 - TOWNHOMES
1470 MAIN STREET, Medicine Hill Village District, Calgary, AB

Project No: NCCA-17-0089
Drawing No: DP30-03-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2024-04-15 | DEVELOPMENT PERMIT | A |
| 2024-04-19 | DATE BY: 04/19/24 | 11 |

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These drawings shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Information
DEVELOPMENT PERMIT SITE #1
Keyplan

Client
City of Calgary
Urban Systems
City of Calgary, Alberta, Canada T2C 0G9
NORR ARCHITECTURAL ENGINEERS PLANNERS
A Partnership of Allied Companies
3075 Macleod Trail S. Suite 100
Calgary, Alberta, Canada T2C 0G9
Tel: (403) 243-1111
Fax: (403) 243-1112
www.norr.ca

Project Manager
D. Anderson
D. Anderson
D. Anderson
D. Anderson

Drawn
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M2P 1E1

Project
The Village at Medicine Hill
BLOCK 7 - TOWNHOMES
1470 NAKA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title
BUILDING 04
ELEVATIONS
UNIT TYPE 5M

Check Dates
Project No: NCCA-17-0089
Drawing No: DP30-04-01

Development Permit Plans

01 NORTH ELEVATION
DP30-05-01 18'-17'

02 WEST ELEVATION
DP30-05-01 18'-17'

03 SOUTH ELEVATION
DP30-05-01 18'-17'

04 EAST ELEVATION
DP30-05-01 18'-17'

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2024-04-16 | DEVELOPMENT PERMIT | A |
| 2024-04-19 | DATE BY: 05/06/24 | 11 |

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DEVELOPMENT PERMIT SITE PLAN

Keynote

Legend

Unit Types

Unit: Unit Systems
 Discipline: NORR Architects Engineers Planners Inc.
 Architectural: NORR Architects Engineers Planners Inc.
 Structural: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Electrical: NORR Architects Engineers Planners Inc.

Project Manager / **Drawn**
 S. Anderson / S. Anderson, J. Lian

Project Leader / **Checked**
 H. Loo / H. Loo, S. Anderson

Client
METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON, M4P 1E4

Project
The Village at Medicine Hill
 BLOCK 7 - TOWNHOMES
 1470 HAZA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawing Title
BUILDING 05
 ELEVATIONS
 UNIT TYPE 'E'

Check Status only by project and model
 Project No: NCCA-17-0089
 Drawing No: DP30-05-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2024-04-16 | DEVELOPMENT PERMIT | A |
| 2024-04-19 | DATE BY: 60368 | 11 |

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Project: DEVELOPMENT PERMIT SITE 11
Client: [Redacted]

Core Team:
 Civil: Urban Systems
 Civil: NORR Architects Engineers Planners Inc.
 Architectural: NORR Architects Engineers Planners Inc.
 Mechanical: [Redacted]
 Electrical: [Redacted]

Project Manager: [Redacted]
 Project Lead: [Redacted]
 Designer: [Redacted]

METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M2P 1E1

The Village at Medicine Hill
 BLOCK 7 - TOWNHOMES
 1470 HAZA DRIVE, Medicine Hill
 Village District, Calgary, AB

Project No: NCCA-17-0089
 Drawing No: DP30-06-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
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| 2019-04-16 | DEVELOPMENT PERMIT | A |
| 2019-04-19 | DATE BY: SIKKENS | 11 |

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Project Name: **DEVELOPMENT PERMIT SITE 1'**

Client: Urban Systems
 Location: 1470 NAKA DRIVE, MEDICINE HILL
 Structure: 1470 NAKA DRIVE, MEDICINE HILL
 Discipline: Architectural

Project Manager: Drew L. James, L.L.M.
 Project Leader: Chantal L. James, L.L.M.
 Designer: METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON, M4P 1E1

Project: **The Village at Medicine Hill BLOCK 7 - TOWNHOMES**
 1470 NAKA DRIVE, MEDICINE HILL
 Village District, Calgary, AB

Project No: NCCA-17-0089
 Drawing No: DP30-07-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
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| 2024-01-15 | DEVELOPMENT PERMIT | A |
| 2024-01-15 | DATE BY: SKYRIS | 1 |

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Project: DEVELOPMENT PERMIT SITE 'F'

Client: Urban Systems
 Location: 1470 NAKA DRIVE, MEDICINE HILL DISTRICT, CALGARY, AB
 Structure: 3-STOREY TOWNHOMES
 Electrical

NORR
 2702 41st Street SE
 Calgary, Alberta, Canada T2C 0Y9
 403.243.8888

NORR ARCHITECTS ENGINEERS PLANNERS
 A CORPORATION OF ALBERTA
 2024-01-15 10:00 AM

Project Manager: Drew L. James, P. Eng.
 Project Leader: Chantal L. Lavoie, P. Eng.
 Designer: METROPIA

METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E4

The Village at Medicine Hill
 BLOCK 'F' - TOWNHOMES
 1470 NAKA DRIVE, MEDICINE HILL
 Village District, Calgary, AB

Building: BUILDING 08
 Elevations
 Unit Type 'F'

Check Dates using the grid and scale.

Project No: NCCA-17-0089
 Drawing No: DP30-08-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
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| 2024-01-15 | DEVELOPMENT PERMIT | A |
| 2024-01-15 | DATE BY: SIKKENS | 1 |

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Project Information
DEVELOPMENT PERMIT SITE #:
 Keyplan

Code Book
 Civil: Urban Systems
 Electrical: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Structural: NORR Architects Engineers Planners Inc.
 Landscape: NORR Architects Engineers Planners Inc.

Project Manager: Drew L. Lupton
 Project Lead: Chantal L. Lupton
 Designer: Drew L. Lupton

METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M2P 1E1

The Village at Medicine Hill
 BLOCK 7 - TOWNHOMES
 1470 HAZA DRIVE, Medicine Hill
 Village District, Calgary, AB

Building Title
BUILDING 09
 ELEVATIONS
 UNIT TYPE '0'

Check Status on the ground and walls
 Project No: NCCA-17-0089
 Drawing No: DP30-09-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2024-01-15 | DEVELOPMENT PERMIT | A |
| 2024-01-15 | DATE BY: SIKSIS | 1 |

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Project: **DEVELOPMENT PERMIT SITE 17**

Client: **Urban Systems**
 Location: **2300 Yonge Street, Suite 807, Toronto, ON, M2P 1E1**
 Architect: **NORR ARCHITECTS ENGINEERS PLANNERS INC.**
 Structural: **NORR ARCHITECTS ENGINEERS PLANNERS INC.**
 Mechanical: **NORR ARCHITECTS ENGINEERS PLANNERS INC.**
 Electrical: **NORR ARCHITECTS ENGINEERS PLANNERS INC.**

Project Manager: **David L. Jones**
 Project Lead: **Chloe L. Jones**
 Designer: **METROPIA**
 2300 Yonge Street, Suite 807
 Toronto, ON, M2P 1E1

Project: **The Village at Medicine Hill BLOCK 7 - TOWNHOMES**
 1470 HAZEL DRIVE, Medicine Hill Village District, Calgary, AB

Project No: **NCCA-17-0089**

Drawing No: **DP30-10-01**

Development Permit Plans

The drawings show four elevations of a building: South (01), North (03), East (02), and West (04). Each elevation includes a grid of units and materials, with detailed legends for materials and colors. Elevation 01 (South) shows units 01-07. Elevation 02 (East) shows units 01-02. Elevation 03 (North) shows units 01-07. Elevation 04 (West) shows units 01-02. The drawings include level markers such as +118'-2.78" (ROOF), +110'-1.34" (LEVEL 3), +100'-0" (LEVEL 2), and +90'-10.14" (GROUND LEVEL). A 'MATERIAL LEGEND' at the bottom center defines various materials and colors used in the elevations.

01 SOUTH ELEVATION
DP30-11-01 18'-1'-0"

02 EAST ELEVATION
DP30-11-01 18'-1'-0"

03 NORTH ELEVATION
DP30-11-01 18'-1'-0"

04 WEST ELEVATION
DP30-11-01 18'-1'-0"

MATERIAL LEGEND

- 1 MATERIAL: FIBRE CEMENT PANEL, CH. EASY TRIM
COLOUR: REF. TO LETTER BELOW
- 2 MATERIAL: FIBRE CEMENT LATH AND FINISH (SMOOTH)
COLOUR: REF. TO LETTER BELOW
- 3 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 4 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 5 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 6 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 7 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 8 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 9 MATERIAL: WOOD GRAIN PANEL
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- 10 MATERIAL: WOOD GRAIN PANEL
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- 11 MATERIAL: WOOD GRAIN PANEL
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- 12 MATERIAL: WOOD GRAIN PANEL
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- 92 MATERIAL: WOOD GRAIN PANEL
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- 93 MATERIAL: WOOD GRAIN PANEL
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- 94 MATERIAL: WOOD GRAIN PANEL
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- 95 MATERIAL: WOOD GRAIN PANEL
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- 96 MATERIAL: WOOD GRAIN PANEL
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- 97 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 98 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 99 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW
- 100 MATERIAL: WOOD GRAIN PANEL
COLOUR: REFER TO LETTER BELOW

| DATE | ISSUED FOR | REV |
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| 2024-04-16 | DEVELOPMENT PERMIT | A |
| 2024-04-19 | DATE BY: SKYBEN | 11 |

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Project Name: **DEVELOPMENT PERMIT SITE 'F'**

Client: Urban Systems
 Location: 2300 Yonge Street, Suite 807, Toronto, ON, M2P 1E1
 Architect: NORR Architects Engineers Planners Inc.
 Structural: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Electrical: NORR Architects Engineers Planners Inc.

Project Manager: Drew L. James, P. Eng.
 Project Leader: Chantal L. Lavoie, P. Eng.

METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON, M2P 1E1

The Village at Medicine Hill
 BLOCK 'F' - TOWNHOMES
 1470 HAZEL DRIVE, Medicine Hill
 Village District, Calgary, AB

Building Title: **BUILDING 11**
 ELEVATIONS
 UNIT TYPE 'F'

Check Dates every 90 days and update
 Project No: **NCCA-17-0089**
 Drawing No: **DP30-11-01**

Development Permit Plans



| DATE | ISSUED FOR | REV |
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| 2019-04-16 | DEVELOPMENT PERMIT | A |
| 2019-04-19 | DATE BY: SKYRIS | 1 |

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Project: DEVELOPMENT PERMIT SITE 17
Keyplan

Client: Urban Systems
City: Calgary
Location: 1470 NAKA DRIVE, MEDICINE HILL
Architect: NORR ARCHITECTS ENGINEERS PLANNERS
Structural: NORR ARCHITECTS ENGINEERS PLANNERS
Mechanical: NORR ARCHITECTS ENGINEERS PLANNERS
Electrical: NORR ARCHITECTS ENGINEERS PLANNERS

Project Manager: Drew L. Jones
Project Leader: Chantal L. Jones
Architect: Chantal L. Jones

Client: METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1E1

Project: The Village at Medicine Hill
BLOCK 7 - TOWNHOMES
1470 NAKA DRIVE, MEDICINE HILL
Village District, Calgary, AB

Client: NORR ARCHITECTS ENGINEERS PLANNERS
1470 NAKA DRIVE, MEDICINE HILL
Village District, Calgary, AB

Check: Check against the permit and model
Scale: 1/8" = 1'-0"

Project No: NCCA-17-0089
Drawing No: DP30-12-01

Development Permit Plans



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| 2024-04-16 | DEVELOPMENT PERMIT | A |
| 2024-04-19 | DATE BY: 04/19/24 | 11 |

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Project: DEVELOPMENT PERMIT SITE 11
Keyplan

Client: Urban Systems
 Civil: NORR Architects Engineers Planners Inc.
 Landscape: NORR Architects Engineers Planners Inc.
 Structural: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Electrical: NORR Architects Engineers Planners Inc.

Prepared by: J. Lavoie
 Checked by: J. Lavoie
 Drawn by: J. Lavoie

Client: METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M4P 1E1

Project: The Village at Medicine Hill
 BLOCK 7 - TOWNHOMES
 1470 NAZA DRIVE, Medicine Hill
 Village District, Calgary, AB

Client: BUILDING 13
 ELEVATIONS
 UNIT TYPE 3G

Check Dates only by project and scale.
 Project No: NCCA-17-0089
 Drawing No: DP30-13-01

Development Permit Plans



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DEVELOPMENT PERMIT SITE 'F'

Keyplan

Consultants

City: Urban Systems
Civil: NORR Architects Engineers Planners Inc.
Electrical: NORR Architects Engineers Planners Inc.
Mechanical: NORR Architects Engineers Planners Inc.
Structural: NORR Architects Engineers Planners Inc.

NORR

2200 Yonge Street, Suite 507
Toronto, ON M4Y 1E1

METROPIA
2300 Yonge Street, Suite 507
Toronto, ON M4Y 1E1

The Village at Medicine Hill
BLOCK 'F' - TOWNHOMES
1470 HAZEL DRIVE, MEDICINE HILL
Village District, Calgary, AB

Building 14
ELEVATIONS
UNIT TYPE 5G

Check Dates only by permit holder

Project No: NCCA-17-0089

Drawing No: DP30-14-01

Development Permit Plans



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| 2024-01-16 | DEVELOPMENT PERMIT | A |
| 2024-01-19 | DATE BY: SIKSIS | 1 |

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Project: DEVELOPMENT PERMIT SITE 17
Client: Metro

Color Schedule:
 01: FAIRY DARK BROWN*
 02: FAIRY DARK GRAY
 03: FAIRY LIGHT GRAY
 04: FAIRY WHITE
 05: HORIZ SIDING LIGHT GRAY
 06: HORIZ SIDING WHITE
 07: WOOD GRAN P. YELLOW
 08: WOOD GRAN P. BROWN
 09: STONE VENEER A FIN*
 10: STONE VENEER B FIN*
 11: STONE VENEER C FIN*
 12: STONE VENEER D FIN*
 13: STONE VENEER E FIN*
 14: STONE VENEER F FIN*
 15: STONE VENEER G FIN*
 16: STONE VENEER H FIN*
 17: STONE VENEER I FIN*
 18: STONE VENEER J FIN*
 19: STONE VENEER K FIN*
 20: STONE VENEER L FIN*
 21: STONE VENEER M FIN*
 22: STONE VENEER N FIN*
 23: STONE VENEER O FIN*
 24: STONE VENEER P FIN*
 25: STONE VENEER Q FIN*
 26: STONE VENEER R FIN*
 27: STONE VENEER S FIN*
 28: STONE VENEER T FIN*
 29: STONE VENEER U FIN*
 30: STONE VENEER V FIN*
 31: STONE VENEER W FIN*
 32: STONE VENEER X FIN*
 33: STONE VENEER Y FIN*
 34: STONE VENEER Z FIN*
 35: STONE VENEER AA FIN*
 36: STONE VENEER AB FIN*
 37: STONE VENEER AC FIN*
 38: STONE VENEER AD FIN*
 39: STONE VENEER AE FIN*
 40: STONE VENEER AF FIN*
 41: STONE VENEER AG FIN*
 42: STONE VENEER AH FIN*
 43: STONE VENEER AI FIN*
 44: STONE VENEER AJ FIN*
 45: STONE VENEER AK FIN*
 46: STONE VENEER AL FIN*
 47: STONE VENEER AM FIN*
 48: STONE VENEER AN FIN*
 49: STONE VENEER AO FIN*
 50: STONE VENEER AP FIN*
 51: STONE VENEER AQ FIN*
 52: STONE VENEER AR FIN*
 53: STONE VENEER AS FIN*
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 68: STONE VENEER BH FIN*
 69: STONE VENEER BI FIN*
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 71: STONE VENEER BK FIN*
 72: STONE VENEER BL FIN*
 73: STONE VENEER BM FIN*
 74: STONE VENEER BN FIN*
 75: STONE VENEER BO FIN*
 76: STONE VENEER BP FIN*
 77: STONE VENEER BQ FIN*
 78: STONE VENEER BR FIN*
 79: STONE VENEER BS FIN*
 80: STONE VENEER BT FIN*
 81: STONE VENEER BU FIN*
 82: STONE VENEER BV FIN*
 83: STONE VENEER BW FIN*
 84: STONE VENEER BX FIN*
 85: STONE VENEER BY FIN*
 86: STONE VENEER BZ FIN*
 87: STONE VENEER CA FIN*
 88: STONE VENEER CB FIN*
 89: STONE VENEER CC FIN*
 90: STONE VENEER CD FIN*
 91: STONE VENEER CE FIN*
 92: STONE VENEER CF FIN*
 93: STONE VENEER CG FIN*
 94: STONE VENEER CH FIN*
 95: STONE VENEER CI FIN*
 96: STONE VENEER CJ FIN*
 97: STONE VENEER CK FIN*
 98: STONE VENEER CL FIN*
 99: STONE VENEER CM FIN*
 100: STONE VENEER CN FIN*
 101: STONE VENEER CO FIN*
 102: STONE VENEER CP FIN*
 103: STONE VENEER CQ FIN*
 104: STONE VENEER CR FIN*
 105: STONE VENEER CS FIN*
 106: STONE VENEER CT FIN*
 107: STONE VENEER CU FIN*
 108: STONE VENEER CV FIN*
 109: STONE VENEER CW FIN*
 110: STONE VENEER CX FIN*
 111: STONE VENEER CY FIN*
 112: STONE VENEER CZ FIN*
 113: STONE VENEER DA FIN*
 114: STONE VENEER DB FIN*
 115: STONE VENEER DC FIN*
 116: STONE VENEER DD FIN*
 117: STONE VENEER DE FIN*
 118: STONE VENEER DF FIN*
 119: STONE VENEER DG FIN*
 120: STONE VENEER DH FIN*
 121: STONE VENEER DI FIN*
 122: STONE VENEER DJ FIN*
 123: STONE VENEER DK FIN*
 124: STONE VENEER DL FIN*
 125: STONE VENEER DM FIN*
 126: STONE VENEER DN FIN*
 127: STONE VENEER DO FIN*
 128: STONE VENEER DP FIN*
 129: STONE VENEER DQ FIN*
 130: STONE VENEER DR FIN*
 131: STONE VENEER DS FIN*
 132: STONE VENEER DT FIN*
 133: STONE VENEER DU FIN*
 134: STONE VENEER DV FIN*
 135: STONE VENEER DW FIN*
 136: STONE VENEER DX FIN*
 137: STONE VENEER DY FIN*
 138: STONE VENEER DZ FIN*
 139: STONE VENEER EA FIN*
 140: STONE VENEER EB FIN*
 141: STONE VENEER EC FIN*
 142: STONE VENEER ED FIN*
 143: STONE VENEER EE FIN*
 144: STONE VENEER EF FIN*
 145: STONE VENEER EG FIN*
 146: STONE VENEER EH FIN*
 147: STONE VENEER EI FIN*
 148: STONE VENEER EJ FIN*
 149: STONE VENEER EK FIN*
 150: STONE VENEER EL FIN*
 151: STONE VENEER EM FIN*
 152: STONE VENEER EN FIN*
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 158: STONE VENEER ET FIN*
 159: STONE VENEER EU FIN*
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 161: STONE VENEER EW FIN*
 162: STONE VENEER EX FIN*
 163: STONE VENEER EY FIN*
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 188: STONE VENEER FX FIN*
 189: STONE VENEER FY FIN*
 190: STONE VENEER FZ FIN*
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 198: STONE VENEER GH FIN*
 199: STONE VENEER GI FIN*
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 203: STONE VENEER GM FIN*
 204: STONE VENEER GN FIN*
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 208: STONE VENEER GR FIN*
 209: STONE VENEER GS FIN*
 210: STONE VENEER GT FIN*
 211: STONE VENEER GU FIN*
 212: STONE VENEER GV FIN*
 213: STONE VENEER GW FIN*
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 215: STONE VENEER GY FIN*
 216: STONE VENEER GZ FIN*
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 219: STONE VENEER HC FIN*
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 226: STONE VENEER HJ FIN*
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 247: STONE VENEER IE FIN*
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 261: STONE VENEER IS FIN*
 262: STONE VENEER IT FIN*
 263: STONE VENEER IU FIN*
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 265: STONE VENEER IW FIN*
 266: STONE VENEER IX FIN*
 267: STONE VENEER IY FIN*
 268: STONE VENEER IZ FIN*
 269: STONE VENEER JA FIN*
 270: STONE VENEER JB FIN*
 271: STONE VENEER JC FIN*
 272: STONE VENEER JD FIN*
 273: STONE VENEER JE FIN*
 274: STONE VENEER JF FIN*
 275: STONE VENEER JG FIN*
 276: STONE VENEER JH FIN*
 277: STONE VENEER JI FIN*
 278: STONE VENEER JJ FIN*
 279: STONE VENEER JK FIN*
 280: STONE VENEER JL FIN*
 281: STONE VENEER JM FIN*
 282: STONE VENEER JN FIN*
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 284: STONE VENEER JP FIN*
 285: STONE VENEER JQ FIN*
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 287: STONE VENEER JS FIN*
 288: STONE VENEER JT FIN*
 289: STONE VENEER JU FIN*
 290: STONE VENEER JV FIN*
 291: STONE VENEER JW FIN*
 292: STONE VENEER JX FIN*
 293: STONE VENEER JY FIN*
 294: STONE VENEER JZ FIN*
 295: STONE VENEER KA FIN*
 296: STONE VENEER KB FIN*
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 298: STONE VENEER KD FIN*
 299: STONE VENEER KE FIN*
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 301: STONE VENEER KG FIN*
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 320: STONE VENEER KZ FIN*
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 322: STONE VENEER LB FIN*
 323: STONE VENEER LC FIN*
 324: STONE VENEER LD FIN*
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 328: STONE VENEER LH FIN*
 329: STONE VENEER LI FIN*
 330: STONE VENEER LJ FIN*
 331: STONE VENEER LK FIN*
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 333: STONE VENEER LM FIN*
 334: STONE VENEER LN FIN*
 335: STONE VENEER LO FIN*
 336: STONE VENEER LP FIN*
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 338: STONE VENEER LR FIN*
 339: STONE VENEER LS FIN*
 340: STONE VENEER LT FIN*
 341: STONE VENEER LU FIN*
 342: STONE VENEER LV FIN*
 343: STONE VENEER LW FIN*
 344: STONE VENEER LX FIN*
 345: STONE VENEER LY FIN*
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 375: STONE VENEER NE FIN*
 376: STONE VENEER NF FIN*
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 381: STONE VENEER NK FIN*
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 383: STONE VENEER NM FIN*
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 385: STONE VENEER NP FIN*
 386: STONE VENEER NQ FIN*
 387: STONE VENEER NR FIN*
 388: STONE VENEER NS FIN*
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 390: STONE VENEER NU FIN*
 391: STONE VENEER NV FIN*
 392: STONE VENEER NW FIN*
 393: STONE VENEER NX FIN*
 394: STONE VENEER NY FIN*
 395: STONE VENEER NZ FIN*
 396: STONE VENEER OA FIN*
 397: STONE VENEER OB FIN*
 398: STONE VENEER OC FIN*
 399: STONE VENEER OD FIN*
 400: STONE VENEER OE FIN*
 401: STONE VENEER OF FIN*
 402: STONE VENEER OG FIN*
 403: STONE VENEER OH FIN*
 404: STONE VENEER OI FIN*
 405: STONE VENEER OJ FIN*
 406: STONE VENEER OK FIN*
 407: STONE VENEER OL FIN*
 408: STONE VENEER OM FIN*
 409: STONE VENEER ON FIN*
 410: STONE VENEER OP FIN*
 411: STONE VENEER OQ FIN*

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-04-16 | DEVELOPMENT PERMIT | A |
| 2019-04-19 | DATE BY: SKYRIS | 11 |

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by NORR Architects Engineers Planners Inc. any way with respect to NORR Architects Engineers Planners Inc. or any of its employees, agents or contractors.

The drawings shall not be used for construction purposes until the seal applying thereto is signed and dated by the registered engineer.

Report Contents:
DEVELOPMENT PERMIT SITE PLAN

Client:
Urban Systems

Location:
NORR Architects Engineers Planners Inc.

Address:
NORR Architects Engineers Planners Inc.

Professional:
NORR Architects Engineers Planners Inc.

Project:
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Urban Concepts
3000 Yonge Street, Suite 507
Toronto, ON M5E 1B1

Project Manager:
L. L. L. L.

Drawn:
L. L. L. L.

Project Leader:
L. L. L. L.

Drawn:
METROPIA
3300 Yonge Street, Suite 507
Toronto, ON M5E 1B1

Project:
The Village at Medicine Hill
BLOCK 7 - TOWNHOMES
1470 NAKA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawn Title:
BUILDING 17
ELEVATIONS
UNIT TYPE 1

Check Status (only by project lead):
Project No:
NCCA-17-0089

Drawing No:
DP30-17-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-04-16 | DEVELOPMENT PERMIT | A |
| 2019-04-19 | DATE BY: SIKKENS | 1 |

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by NORR Architects Engineers Planners Inc. any use of this drawing without the express written consent of NORR Architects Engineers Planners Inc. shall be deemed to be a breach of contract.

These drawings shall not be used for construction purposes until the seal applying hereto is signed and dated by the Architect or Engineer.

Project Information
 DEVELOPMENT PERMIT SITE 'F'
 Keyplan

Client
 Urban Systems
 2300 Yonge Street, Suite 807
 Toronto, ON M2P 1E1

Design Team
 Project Manager: Drew L. James, P.Eng.
 Project Leader: Choccol L. Lobo, P.Eng.
 Designer: Drew L. James, P.Eng.

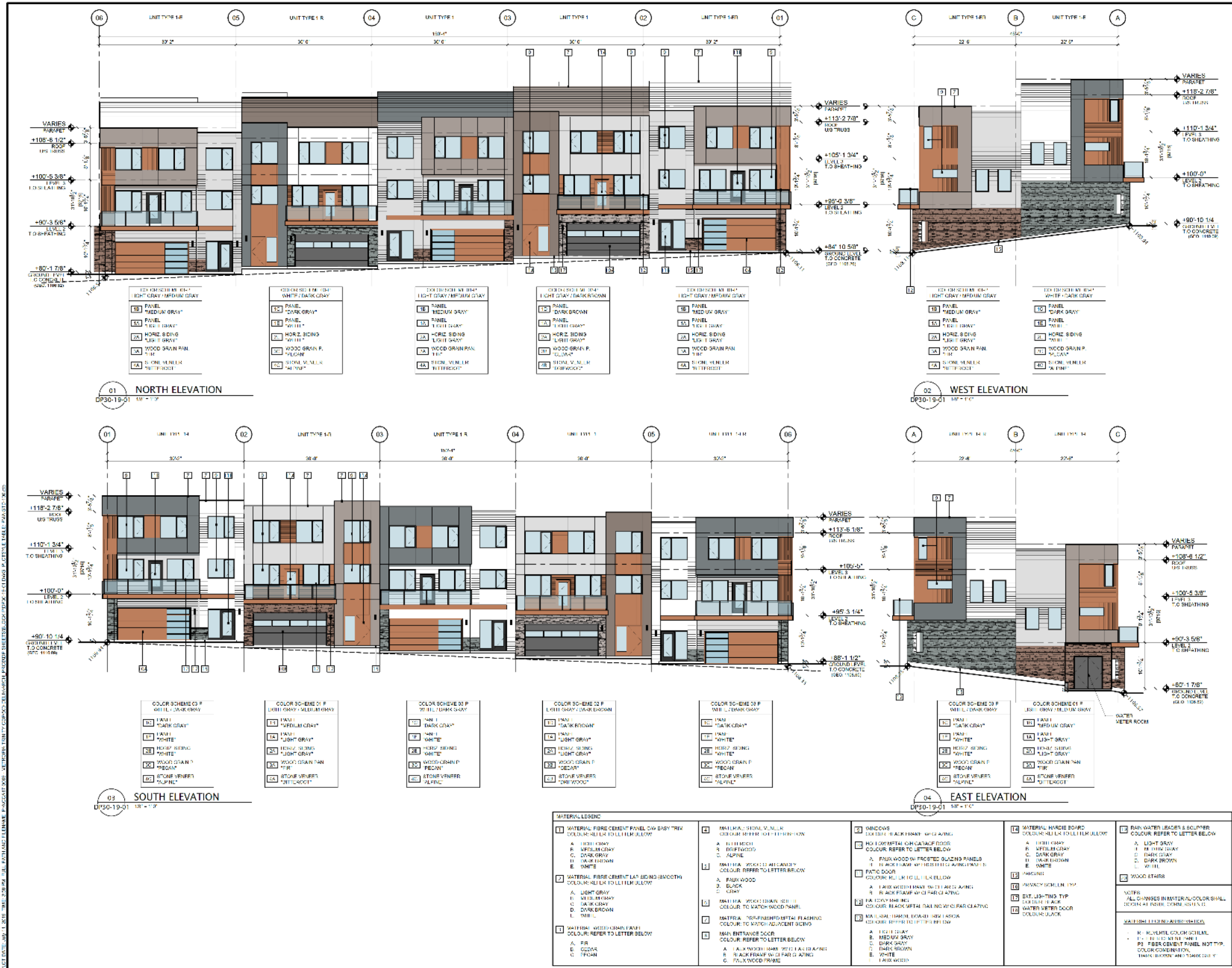
Drawn By
 METROPIA
 2300 Yonge Street, Suite 807
 Toronto, ON M2P 1E1

Project
 The Village at Medicine Hill
 BLOCK 'F' - TOWNHOMES
 1470 HAZA DRIVE, Medicine Hill
 Village District, Calgary, AB

Drawn Title
 BUILDING 18
 ELEVATIONS
 UNIT TYPE '1'

Check Dates
 Project No: NCCA-17-0089
 Drawing No: DP30-18-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-04-16 | DEVELOPMENT PERMIT | A |
| 2019-04-19 | DATE BY: SKYRIS | 1 |

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by NORR Architects Engineers Planners Inc. any way with respect to NORR Architects Engineers Planners Inc. or any of its employees or agents. The client shall be responsible for obtaining all necessary permits and the client shall be responsible for obtaining all necessary permits and the client shall be responsible for obtaining all necessary permits.

Project: DEVELOPMENT PERMIT SITE 19

Client: Urban Systems
 Location: 2300 Yonge Street, Suite 507, Toronto, ON, M2P 1E1
 Architect: NORR Architects Engineers Planners Inc.
 Structural: NORR Architects Engineers Planners Inc.
 Mechanical: NORR Architects Engineers Planners Inc.
 Electrical: NORR Architects Engineers Planners Inc.

Project Manager: Drew L. Jones
 Project Lead: Chantal L. Lavoie
 Designer: Drew L. Jones

Client: METROPIA
 2300 Yonge Street, Suite 507
 Toronto, ON, M2P 1E1

Project: The Village at Medicine Hill
 BLOCK 7 - TOWNHOMES
 1470 HAZEL DRIVE, Medicine Hill
 Village District, Calgary, AB

Project No: NCCA-17-0089
 Drawing No: DP30-19-01

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2024-01-15 | DEVELOPMENT PERMIT | A |
| 2024-01-19 | DATE BY: SIKKENS | 1 |

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The drawings shall not be used for construction purposes until the seal applying thereon is signed and dated by the registered professional.

Project: DEVELOPMENT PERMIT SITE '1'

Client: Urban Systems
 Date: 2024-01-15
 Location: 2300 Yonge Street, Suite 507, Toronto, ON, M2P 1E1
 Project: 2300 Yonge Street, Suite 507, Toronto, ON, M2P 1E1
 Architect: NORR ARCHITECTS ENGINEERS PLANNERS A Partnership of United Companies
 2300 Yonge Street, Suite 507, Toronto, ON, M2P 1E1
 Tel: (416) 593-8888
 Fax: (416) 593-8889
 Website: www.norr.ca

Project Manager: J. L. Lavoie
 Project Lead: J. Lavoie
 Designer: J. Lavoie

Client: METROPIA
 2300 Yonge Street, Suite 507
 Toronto, ON, M2P 1E1

Project: The Village at Medicine Hill BLOCK '1' - TOWNHOMES
 1470 HAZA DRIVE, Medicine Hill Village District, Calgary, AB

Project No: NCCA-17-0089
 Drawing No: DP30-20-01

Development Permit Plans

01 UNIT 1 - INT GROUND FLOOR PLAN
DP45-01-01 1/8" = 1'-0"

02 UNIT 1 - INT SECOND FLOOR PLAN
DP45-01-01 1/8" = 1'-0"

03 UNIT 1 - INT SECOND FLOOR KITCHEN OPT. PLANS
DP45-01-01 1/8" = 1'-0"

04 UNIT 1 - INT THIRD FLOOR PLAN-2 BEDROOMS
DP45-01-01 1/8" = 1'-0"

05 UNIT 1 - INT THIRD FLOOR PLAN-3 BEDROOMS
DP45-01-01 1/8" = 1'-0"

06 UNIT 1 - INT THIRD FLOOR PLAN-4 BEDROOMS
DP45-01-01 1/8" = 1'-0"

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2018-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DRAW RESPONSE | B |

The drawing has been prepared solely for the use of the Client and shall not be used for any other purpose without the prior written consent of NORR Architects Engineers Planners Inc. The drawing shall not be used for construction purposes until its use and approval has been approved and sealed by the Architect of Engineer.

Project Consultant:
DEVELOPMENT PERMIT - SITE PLAN
Kosman

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: [Redacted]
Mechanical: [Redacted]
Electrical: [Redacted]

NORR
2306, 41st St. SW, Suite 200
Calgary, Alberta, Canada T2C 2R2
403.243.8888
www.norr.ca

NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership Limited Company
INCORPORATED IN CANADA
100-11000-100 Street, Suite 100
Calgary, Alberta T2C 1K5
2019-07-12

| | |
|-------------------|----------------------|
| Project Manager: | D. Smith |
| Project Engineer: | L. de la Cruz |
| Project Designer: | C. Giesler |
| Project Checker: | M. Javala, L. Javala |

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1S4

Project:
The Village at Medicine Hill
BLOCK 'F' - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
UNIT 1 - INT PLANS

Check Scale (refer to sheet reduction):

Project No.: **NCCA-17-0069**

Drawing No.: **DP45-01-01**

Development Permit Plans

01 UNIT 1 - END GROUND FLOOR PLAN
DP45-01-02 1/8" = 1'-0"

02 UNIT 1 - END SECOND FLOOR PLAN
DP45-01-02 1/8" = 1'-0"

03 UNIT 1 - END SECOND FLOOR KITCHEN OPT. PLANS
DP45-01-02 1/8" = 1'-0"

04 UNIT 1 - END THIRD FLOOR PLAN-2 BEDROOMS
DP45-01-02 1/8" = 1'-0"

05 UNIT 1 - END THIRD FLOOR PLAN-3 BEDROOMS
DP45-01-02 1/8" = 1'-0"

06 UNIT 1 - END THIRD FLOOR PLAN-4 BEDROOMS
DP45-01-02 1/8" = 1'-0"

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-01-12 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DRAW RESPONSE | B |

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Project Consultant
DEVELOPMENT PERMIT - SITE PLAN
Kosman

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: NORR Architects Engineers Planners
Mechanical: NORR Architects Engineers Planners
Electrical: NORR Architects Engineers Planners

NORR
2300, 411 - 5th Street SE,
Calgary, Alberta, Canada T2G 0R6
403-243-1100
www.norr.ca

NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
Professional Services
1000 - 10th Street SW, Suite 1000
Calgary, Alberta, Canada T2G 0R6
403-243-1100
www.norr.ca

| | |
|------------------|---------------|
| Project Manager | Urban Systems |
| Project Leader | Urban Systems |
| Project Engineer | Urban Systems |

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1S4

Project:
The Village at Medicine Hill
BLOCK 'F' - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing title:
UNIT 1 - END PLANS

Check Scale (refer to sheet reduction)

Project No.: **NCCA-17-0069**

Drawing No.: **DP45-01-02**

Development Permit Plans

UNIT 3G-INT GROUND FLOOR PLAN
DP45 03 03 1/4" = 1'-0"

UNIT 3G-INT SECOND FLOOR PLAN
DP45 03 03 1/4" = 1'-0"

UNIT 3G-INT THIRD FLOOR PLAN-3 BEDROOMS
DP45 03 03 1/4" = 1'-0"

UNIT 3G-INT THIRD FLOOR PLAN-2 BEDROOMS
DP45 03 03 1/4" = 1'-0"

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019 07 12 | DEVELOPMENT PERMIT | A |
| 2019 07 12 | DRAW RESPONSE | B |

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Project Consultant:
DEVELOPMENT PERMIT SITE PLAN
Kosman

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: [Blank]
Mechanical: [Blank]
Electrical: [Blank]

Company:
NORR
2306, 411 - 5th Street SE,
Calgary, Alberta, Canada T2G 0R0
403-270-0000
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
1100 - 10th Street SW, Suite 1000
Calgary, Alberta, Canada T2P 1C9
403-270-0000
www.norr.ca

| | |
|-------------------|------------------------|
| Project Manager: | D. Smith |
| Designer: | L. de la Torre, J. Liu |
| Project Leader: | C. Giesler |
| Project Engineer: | M. Lavigne, L. Braxton |

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1C4

Project:
The Village at Medicine Hill
BLOCK 11 - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title:
UNIT 3G_INT PLANS

Check Scale (True or Shrink/Reduce):
Scale: 1/4" = 1'-0"

Project No.:
NCCA-17-0069

Drawing No.:
DP45-03-03

Development Permit Plans

UNIT 3G-END GROUND FLOOR PLAN
DP45 03 04 1/4" = 1'-0"

UNIT 3G-END SECOND FLOOR PLAN
DP45 03 04 1/4" = 1'-0"

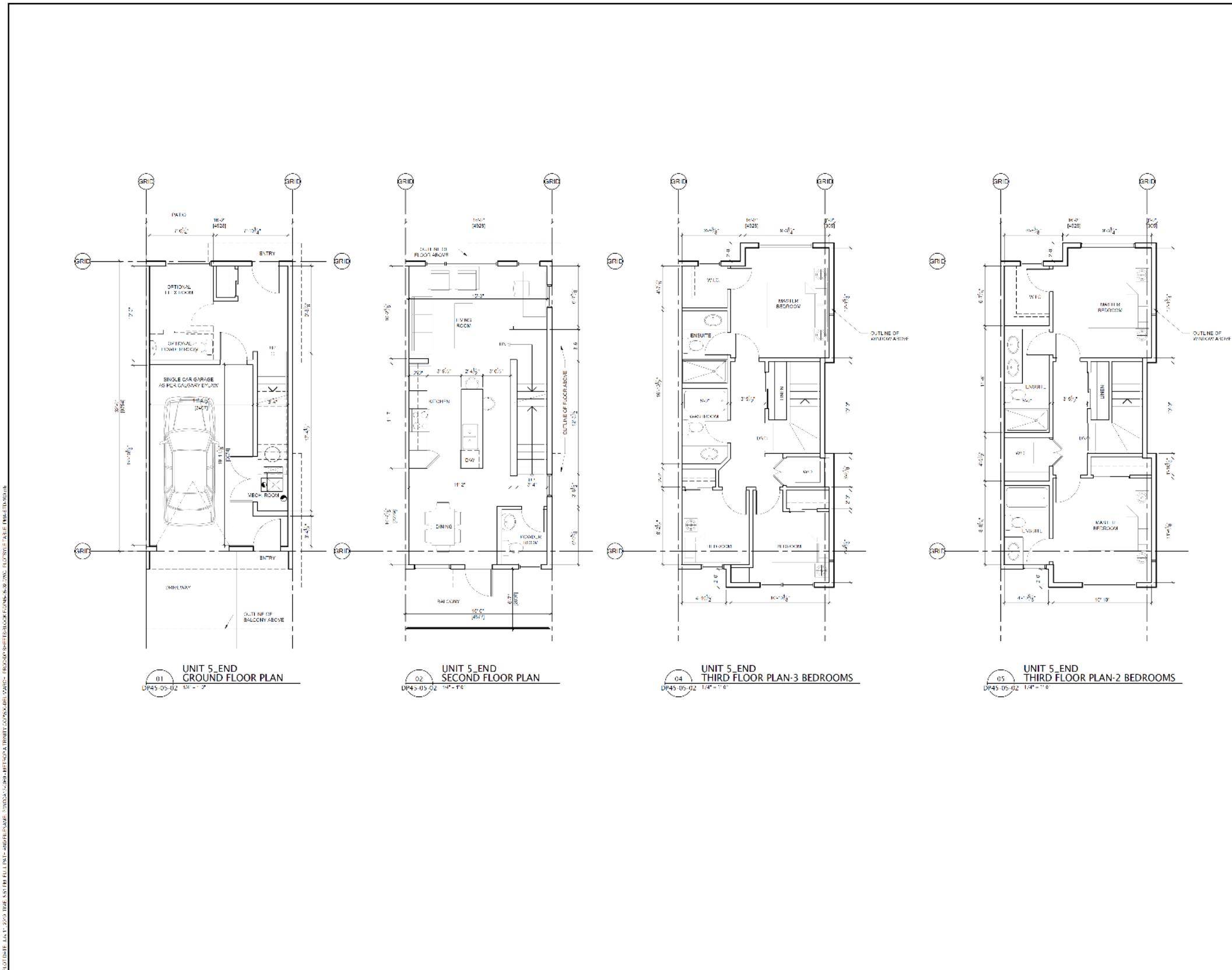
UNIT 3G-END THIRD FLOOR PLAN-3 BEDROOMS
DP45 03 04 1/4" = 1'-0"

UNIT 3G-END THIRD FLOOR PLAN-2 BEDROOMS
DP45 03 04 1/4" = 1'-0"

| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019 07 12 | DEVELOPMENT PERMIT | A |
| 2019 07 12 | DRAW RESPONSE | B |

The drawing has been prepared to be used for the use of the...
This drawing shall not be used for construction purposes...
Project Description:
DEVELOPMENT PERMIT SITE PLAN
Kosman
Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: [blank]
Mechanical: [blank]
Electrical: [blank]
Title:
Project Manager: D. [blank]
Project Leader: C. [blank]
H. [blank]
Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1Y4
Project:
The Village at Medicine Hill
BLOCK 17 - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB
Drawing Title:
UNIT 3G_END PLANS
Check Scale (This is not reduced):
Project No.:
NCCA-17-0069
Drawing No.:
DP45-03-04

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2018-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DRAWING RESPONSE | B |

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Project Consultant:
DEVELOPMENT PERMIT SITE PLAN
Kosman

Consultants:
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: NORR Architects Engineers Planners
Mechanical: NORR Architects Engineers Planners
Electrical: NORR Architects Engineers Planners

Company:
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Calgary, Alberta, Canada T2G 4R9
Phone: (403) 243-1111
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership Limited Company
www.norr.ca
www.norr.com

Project Manager: D. Smith
Project Engineer: L. Labrecque, J. Labrecque
Project Designer: M. Labrecque, H. Labrecque

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1G4

Project:
The Village at Medicine Hill
BLOCK "T" - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

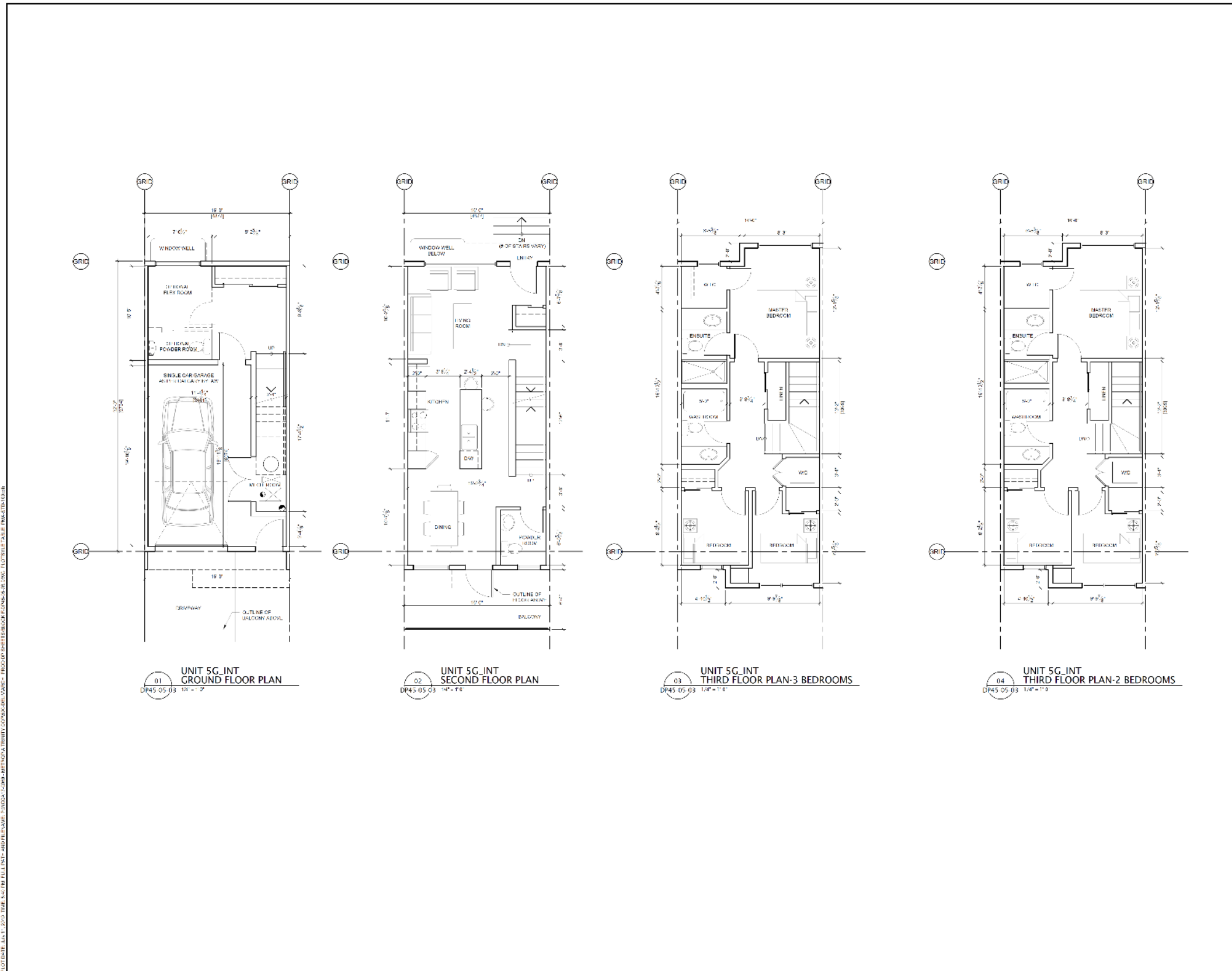
Drawing Title:
UNIT 5-END PLANS

Check Scale (inches to millimeters):
1" = 1/4" (1:3)

Project No.: NCCA-17-0089

Drawing No.: DP45-05-02

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-07-12 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DRAW RESPONSE | B |

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Use drawing shall not be used for construction purposes until its seal and signature have been signed and sealed by the Architect of Engineer.

Project Consultant
DEVELOPMENT PERMIT SITE PLAN
Kosman

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: NORR Architects Engineers Planners
Mechanical: NORR Architects Engineers Planners
Electrical: NORR Architects Engineers Planners

Company
NORR
2300, 411 - 5th Street SE,
Calgary, Alberta, Canada T2G 0A9
403-270-0000
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
NORR ARCHITECTS ENGINEERS PLANNERS INC.
NORR ARCHITECTS ENGINEERS PLANNERS LTD.
NORR ARCHITECTS ENGINEERS PLANNERS U.S.A. INC.
NORR ARCHITECTS ENGINEERS PLANNERS CANADA INC.

| | |
|-----------------|------------------------|
| Project Manager | D. Smith |
| Designer | L. de la Torre, J. Liu |
| Project Leader | C. Giesler |
| Checker | M. Lavie, L. Lavie |

Client
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1C4

Project
The Village at Medicine Hill
BLOCK 17 - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

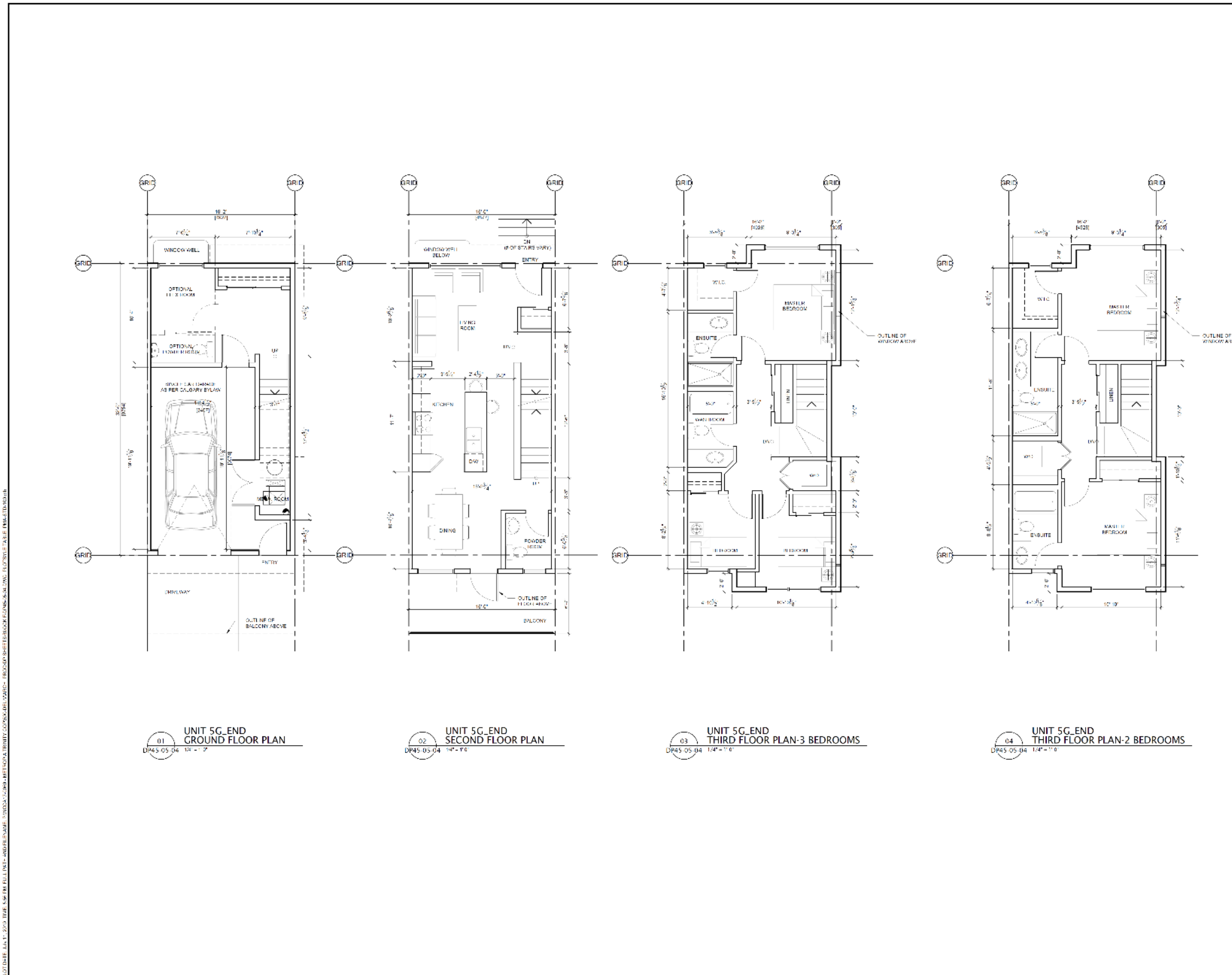
Drawing Title
UNIT 5G_INT PLANS

Check Scale (true scale/reduced)
1" = 1'-0"

Project No.
NCCA-17-0089

Drawing No.
DP45-05-03

Development Permit Plans



| DATE | ISSUED FOR | REV |
|------------|--------------------|-----|
| 2019-07-12 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DRAW RESPONSE | B |

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Project Consultant
DEVELOPMENT PERMIT SITE PLAN
Kosman

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: NORR Architects Engineers Planners
Mechanical: NORR Architects Engineers Planners
Electrical: NORR Architects Engineers Planners

Company
NORR

2300, 411 - 5th Street SE,
Calgary, Alberta, Canada T2G 0R6
Phone: 403.270.1111
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
10000 10th Street, Suite 1000
Calgary, Alberta T2C 1E9
www.norr.ca

| | |
|------------------|-------------|
| Project Manager | Urbain |
| Project Leader | Cherish |
| Project Engineer | M. J. J. J. |

Client
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1C4

Project
The Village at Medicine Hill
BLOCK 17 - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title
UNIT 5G_END PLANS

Check Scale (This is a reduced scale)
Project No. NCCA-17-0089
Drawing No. DP45-05-04

Development Permit Plans

01 UNIT 5M_INT GROUND FLOOR PLAN
DP45-05-03 1/4" = 1'-0"

02 UNIT 5M_INT SECOND FLOOR PLAN
DP45-05-03 1/4" = 1'-0"

03 UNIT 5M_INT THIRD FLOOR PLAN-3 BEDROOMS
DP45-05-03 1/4" = 1'-0"

04 UNIT 5M_INT THIRD FLOOR PLAN-2 BEDROOMS
DP45-05-03 1/4" = 1'-0"

| DATE | ISSUED FOR | REV |
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| 2019-07-12 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DATA RESPONSE | B |

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Project Consultant
DEVELOPMENT PERMIT SITE PLAN
Kosman

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: Mechanical
Contract:

Company

NORR
2300, 411 - 5th Street SE,
Calgary, Alberta, Canada T2G 0R0
403-243-1100
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
1100-12th Street SW, Suite 100
Calgary, Alberta, Canada T2C 0A2
403-243-1100

| | |
|------------------|----------------------------------|
| Project Manager | D. Smith |
| Project Leader | L. de la Cruz, J. Lee |
| Project Engineer | C. Giesler, H. Javala, L. Javala |

Client
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1C4

Project
The Village at Medicine Hill
BLOCK 17 - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

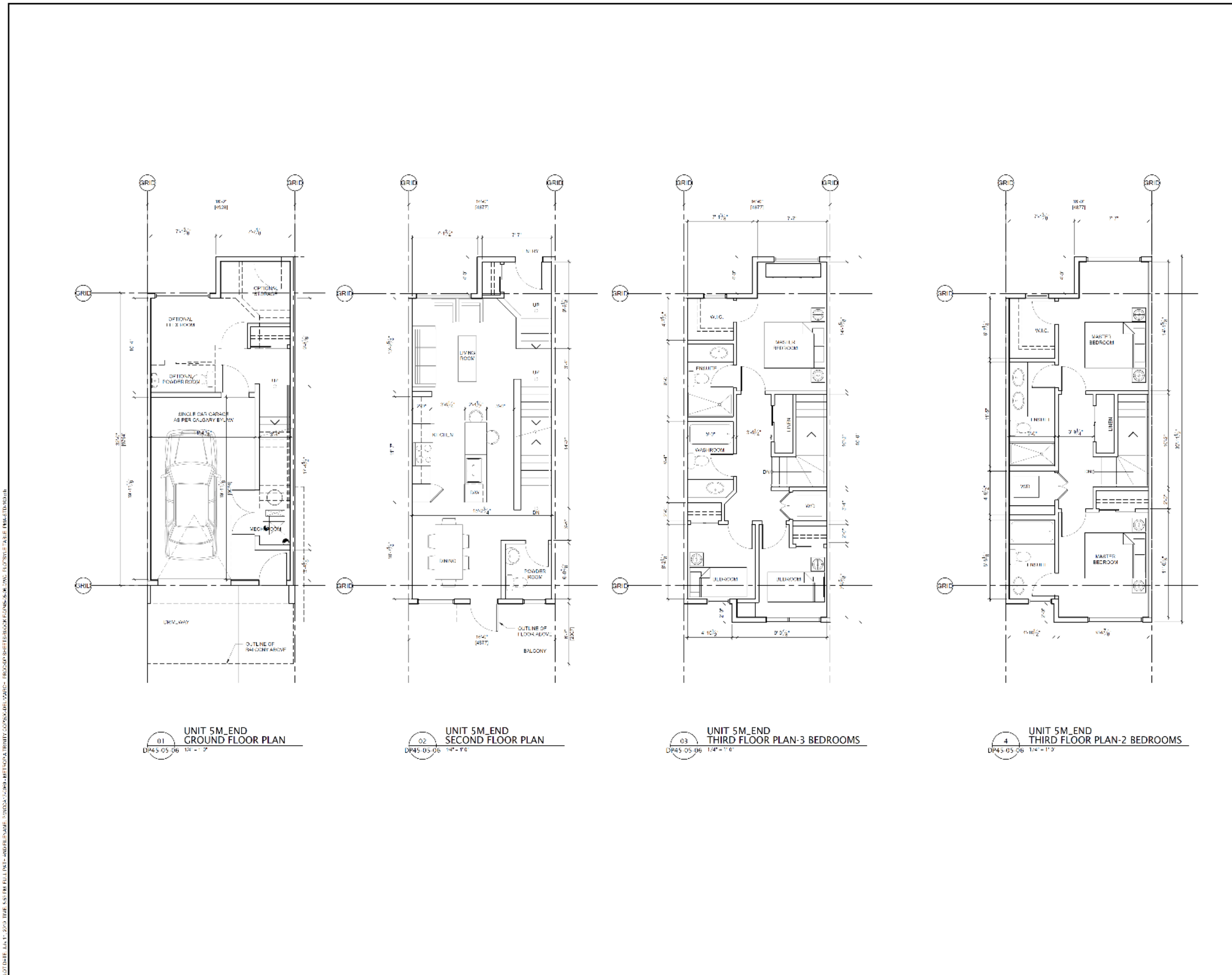
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UNIT 5G_INT PLANS

Check Scale (if not indicated)

Project No.
NCCA-17-0069

Drawing No.
DP45-05-03

Development Permit Plans



| DATE | ISSUED FOR | REV |
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| 2018-01-10 | DEVELOPMENT PERMIT | A |
| 2019-07-12 | DRAW RESPONSE | B |

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Project Consultant
DEVELOPMENT PERMIT SITE PLAN
Kosman

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: [Redacted]
Mechanical: [Redacted]
Electrical: [Redacted]

NORR
2306, 411 - 5th Street SE,
Calgary, Alberta, Canada T2G 0R6
403-243-1100
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
Professional Services
10000 100th Street, Suite 100
Calgary, Alberta T2C 1E8
www.norr.ca

| | |
|------------------|----------|
| Project Manager | D. Smith |
| Project Leader | C. Smith |
| Project Engineer | M. Smith |

Client:
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1C4

Project:
**The Village at Medicine Hill
BLOCK 'F' - TOWNHOMES**
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

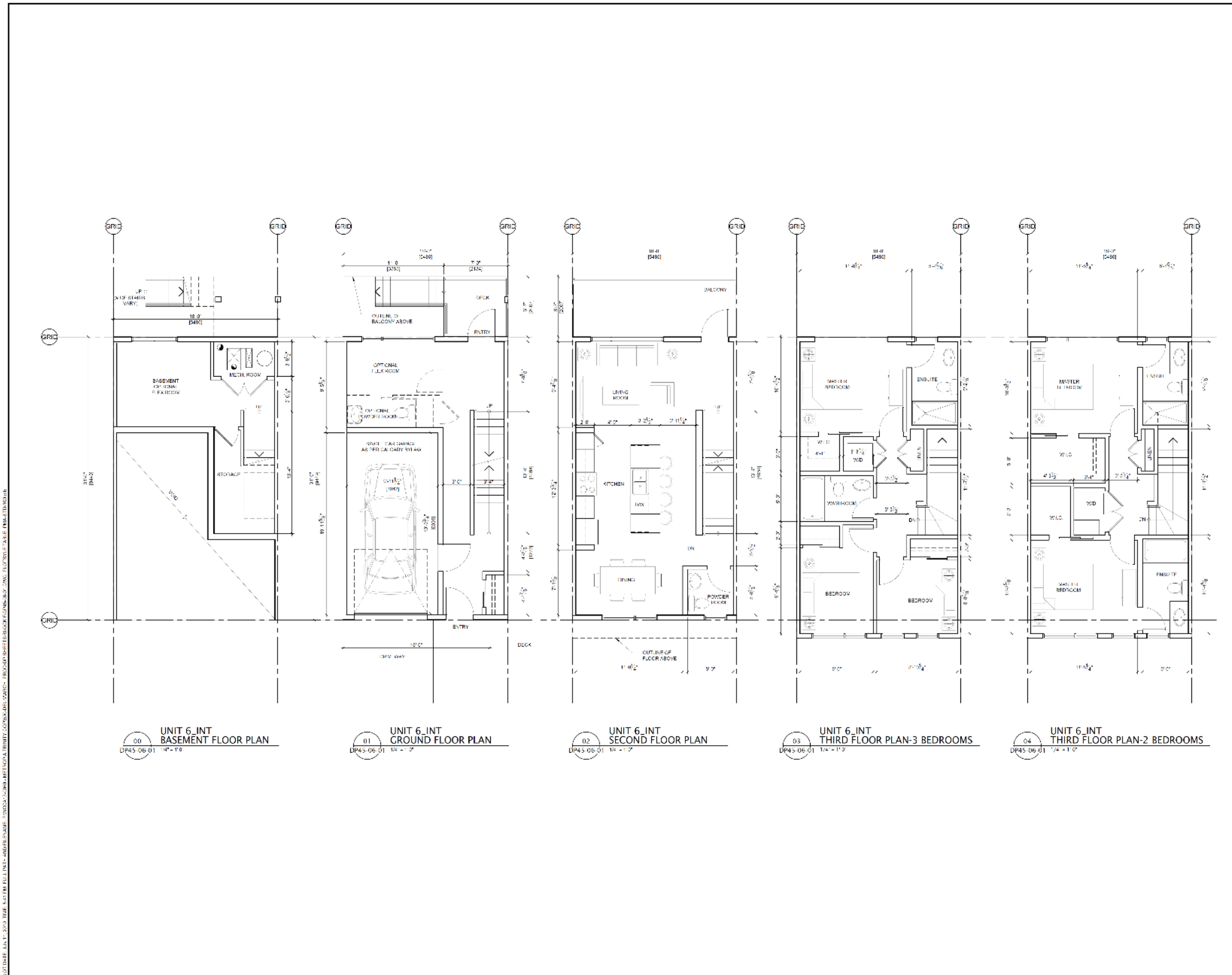
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UNIT 5M_END PLANS

Check Scale (if not indicated):
Scale: 1/4" = 1'-0"

Project No.:
NCCA-17-0089

Drawing No.:
DP45-05-06

Development Permit Plans



| DATE | ISSUED FOR | REV |
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| 2018 01 12 | DEVELOPMENT PERMIT | A |
| 2019 07 12 | DRAW RESPONSE | B |

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Project Consultant
DEVELOPMENT PERMIT SITE PLAN
Kosman

Consultants
Civil: Urban Systems
Landscape: NORR Architects Engineers Planners
Architectural: NORR Architects Engineers Planners
Structural: [Redacted]
Mechanical: [Redacted]
Electrical: [Redacted]

Company
NORR
2306, 411 - 5th Street SE,
Calgary, Alberta, Canada T2G 0R0
403.270.1100

NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership Limited Company
1100 - 10th Street SW, Suite 1000
Calgary, Alberta, Canada T2G 0R0
403.270.1100
www.norr.ca

| | |
|------------------|------------------|
| Project Manager | D. Smith |
| Project Leader | J. de la Cruz |
| Project Designer | M. J. de la Cruz |

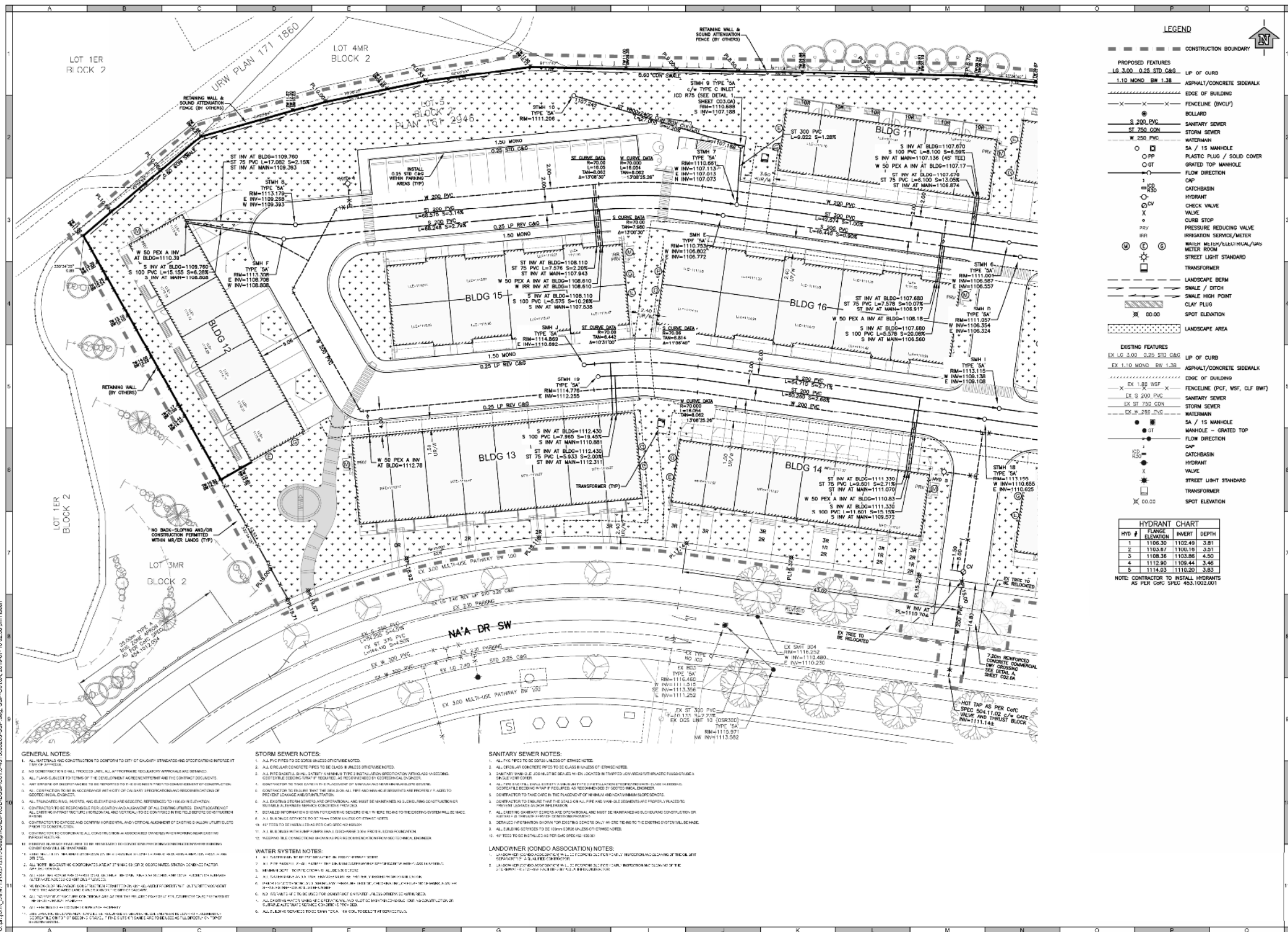
Client
METROPIA
2300 Yonge Street, Suite 807
Toronto, ON, M4P 1G4

Project
The Village at Medicine Hill
BLOCK 17 - TOWNHOMES
1470 NAVA DRIVE, Medicine Hill
Village District, Calgary, AB

Drawing Title
UNIT 6_INT PLANS

Check Scale (if not indicated)
Project No. **NCCA-17-0069**
Drawing No. **DP45-06-01**

Development Permit Plans



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WARNING
All fees or structures shown on this drawing were obtained from information supplied by various parties and may not be complete or accurate. Exposed and unexcavated utilities are shown as indicated on this drawing. All underground utilities in the area of the proposed work are shown as indicated on this drawing. All underground utilities are shown as indicated on this drawing. All underground utilities are shown as indicated on this drawing. All underground utilities are shown as indicated on this drawing.

NOT FOR CONSTRUCTION
July 10, 2019
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Professional Seal

| # | Date | Description | Appr. |
|---|----------|-------------|-------|
| 1 | 18-07-19 | DR APPROVAL | DM |
| 2 | - | - | - |
| 3 | - | - | - |
| 4 | - | - | - |
| 5 | - | - | - |
| 6 | - | - | - |
| 7 | - | - | - |
| 8 | - | - | - |

METROPIA

URBAN SYSTEMS
1101 2718 SURGROVE WAY N.E.
CALGARY, ALBERTA T1Y 3A6

Scale: 1:250

Quality Control by: JPMO
Designed by: JPMO
Drawn by: JPMO

THE VILLAGE - SITE F

Parcel Size: 2.716 Hectares

Lot 5 Block 2 Plan 1612946

Legal: Portion of NW 1/4, Sec 27, Twp 24, Rge 2, W5M

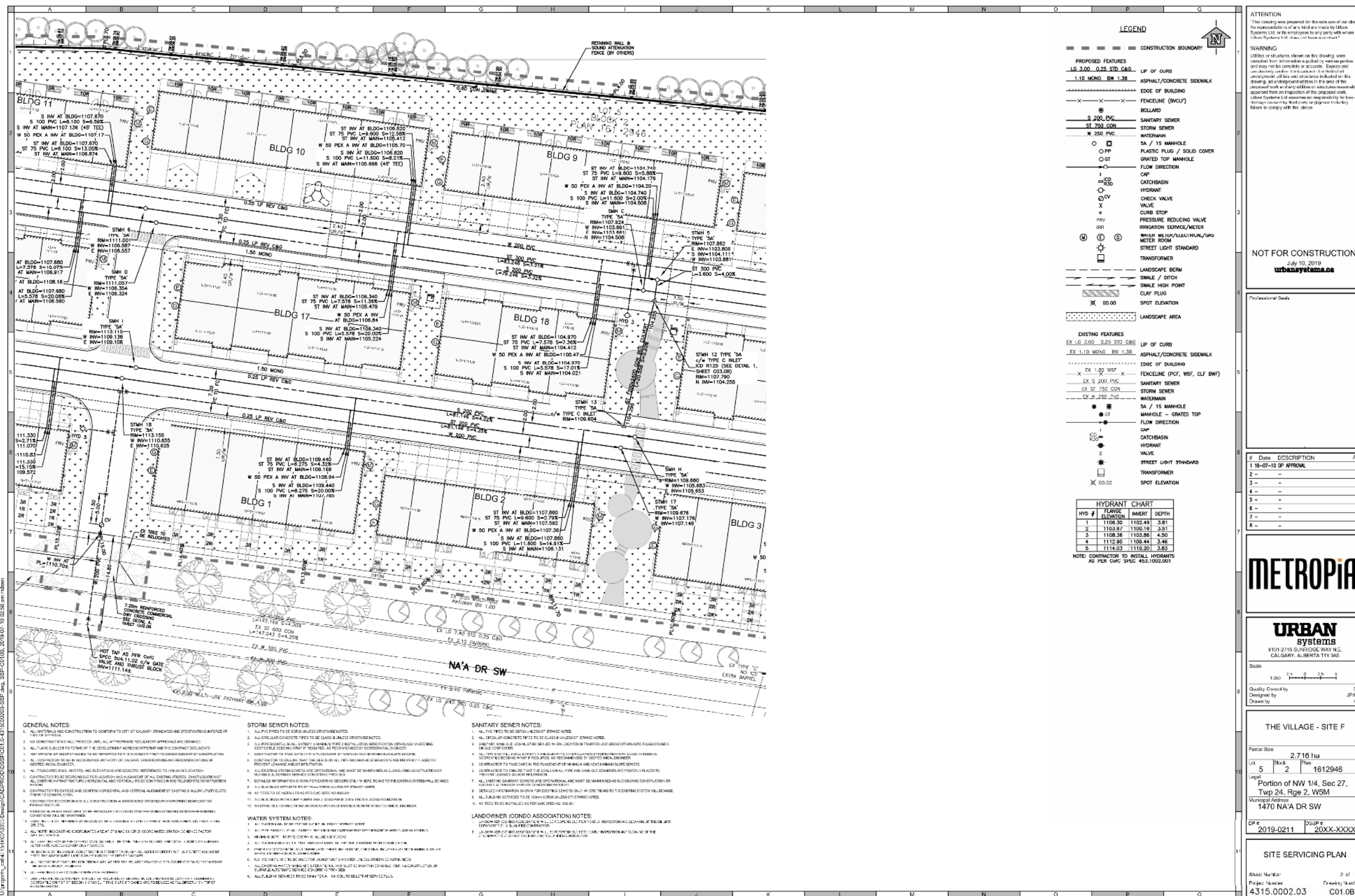
Municipal Address: 1470 NA'A DR SW

DP #: 2019-0211, DDP #: 20XX-XXXX

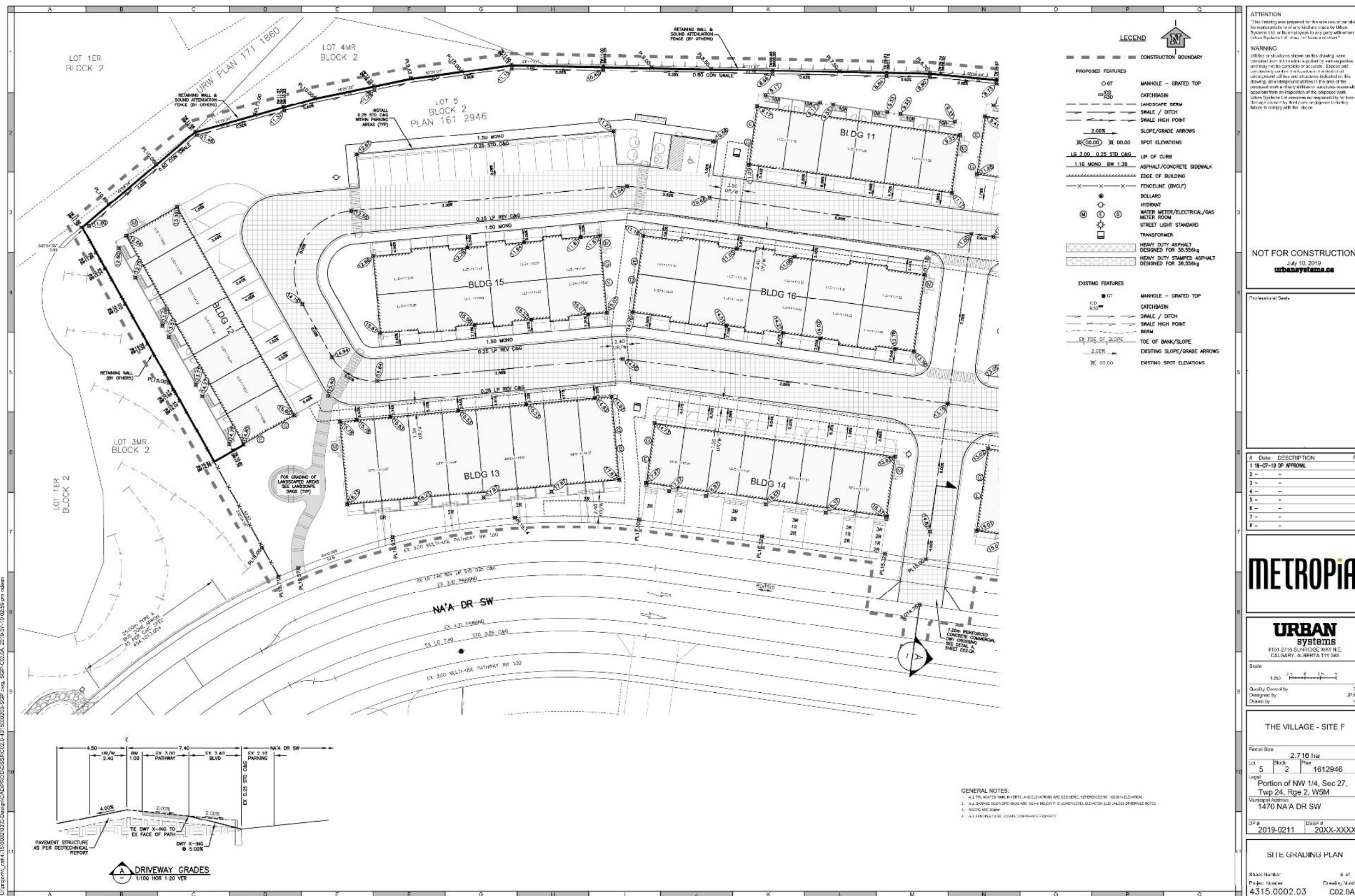
SITE SERVICING PLAN

Sheet Number: 1 of 7
Project Number: 4315.0002.03
Drawing Number: C01.0A

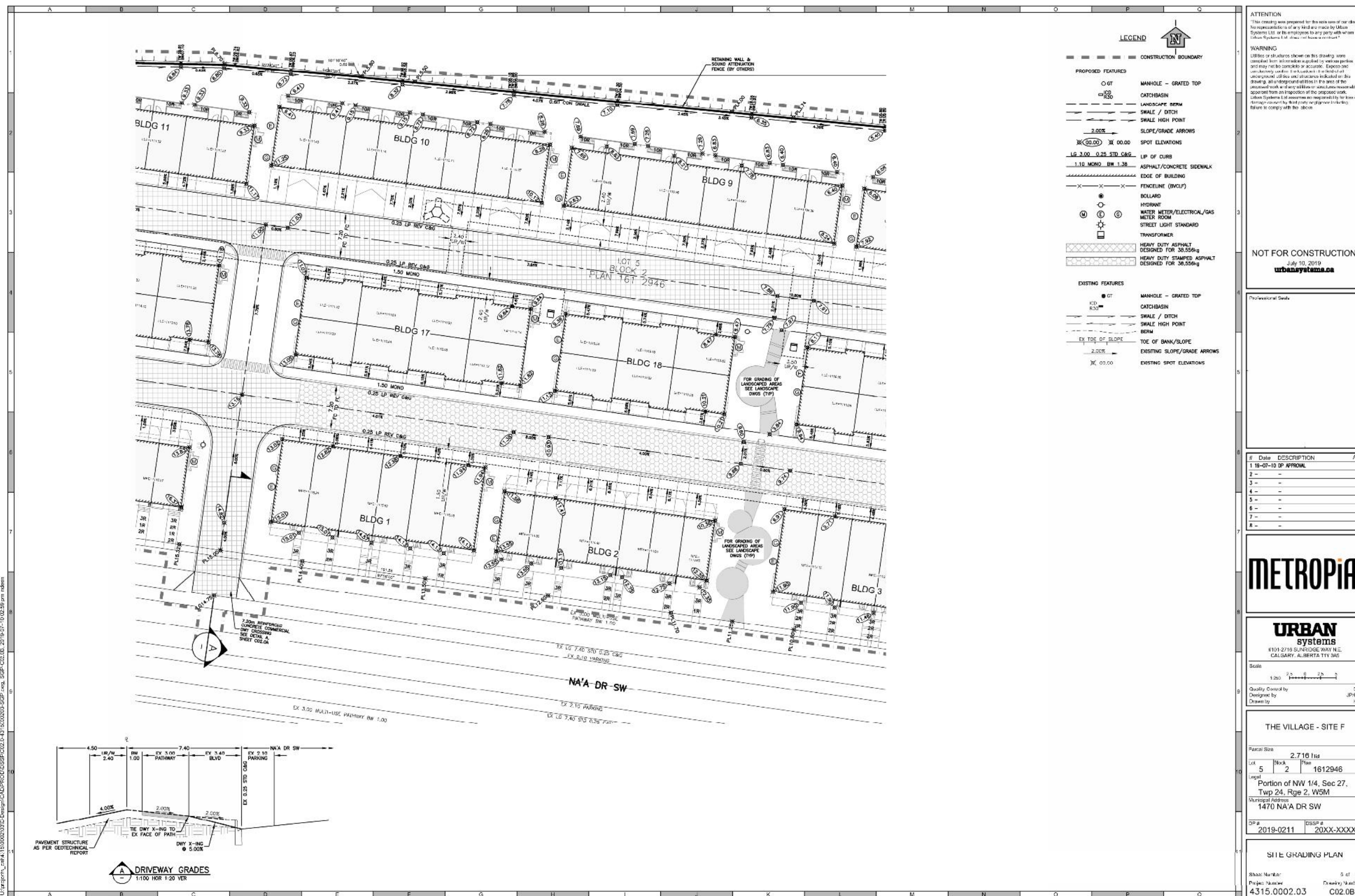
Development Permit Plans



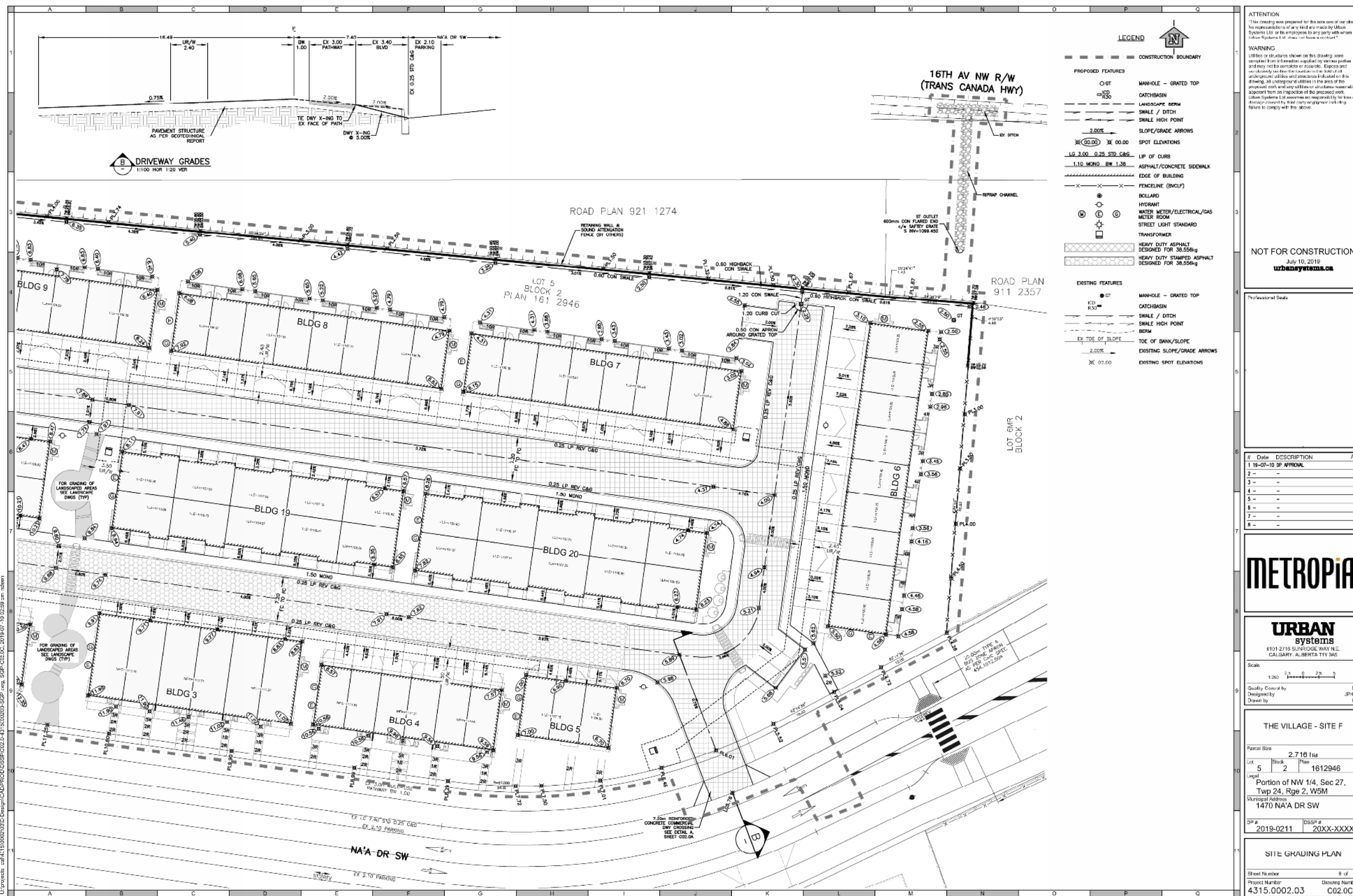
Development Permit Plans



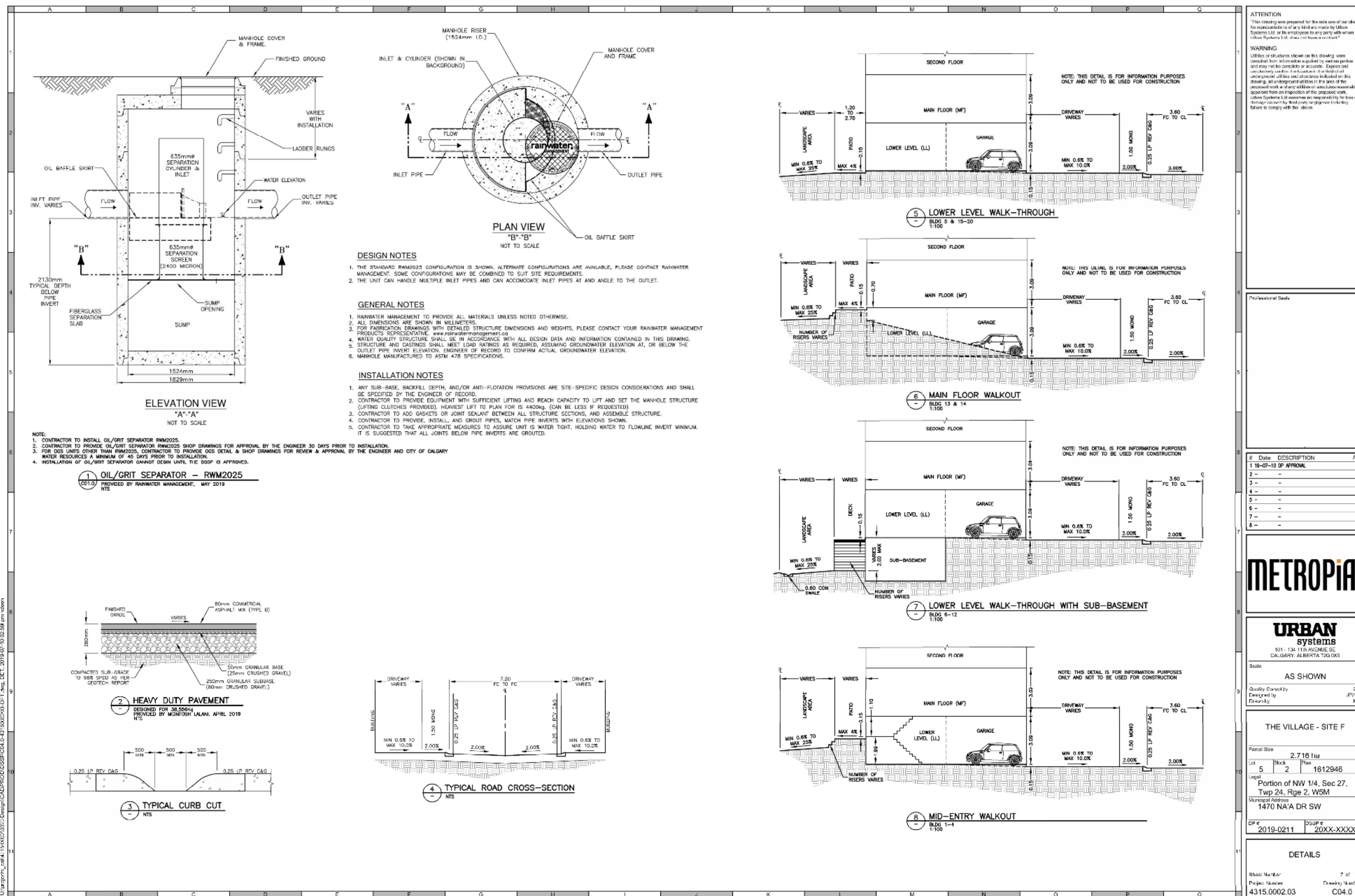
Development Permit Plans



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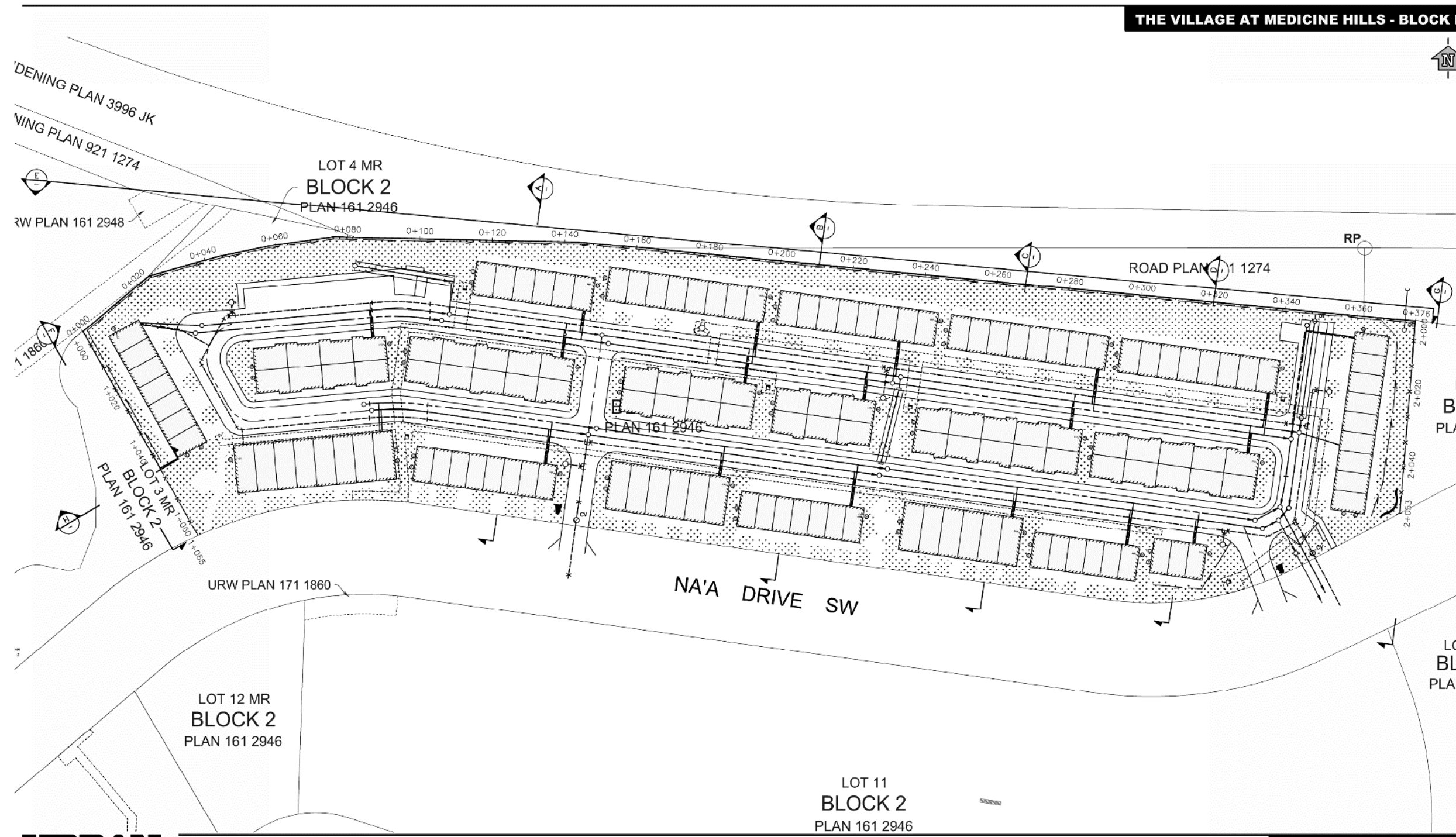


Development Permit Plans



Development Permit Plans

THE VILLAGE AT MEDICINE HILLS - BLOCK F



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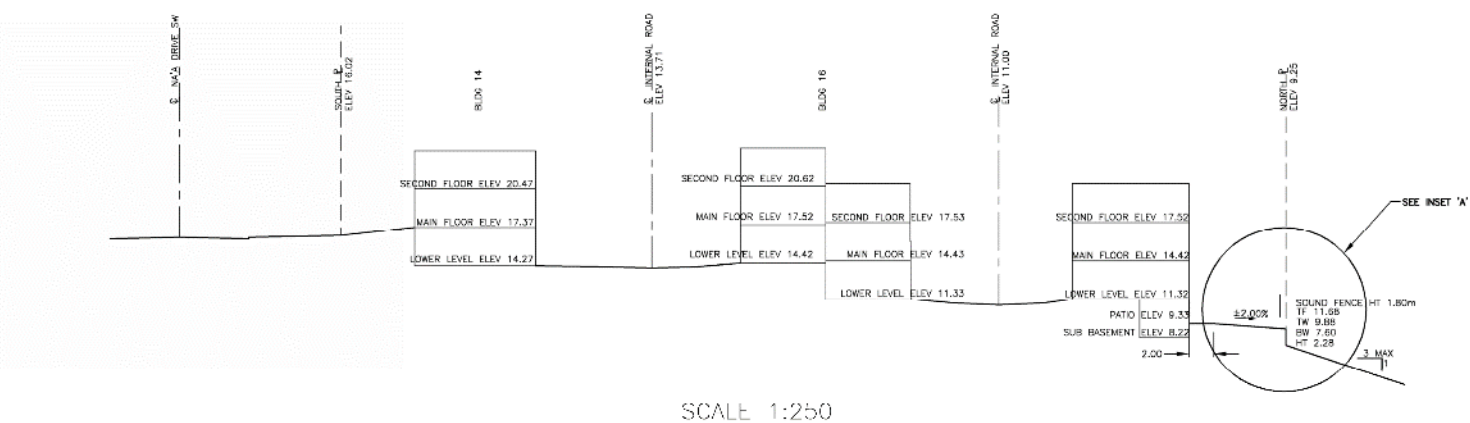
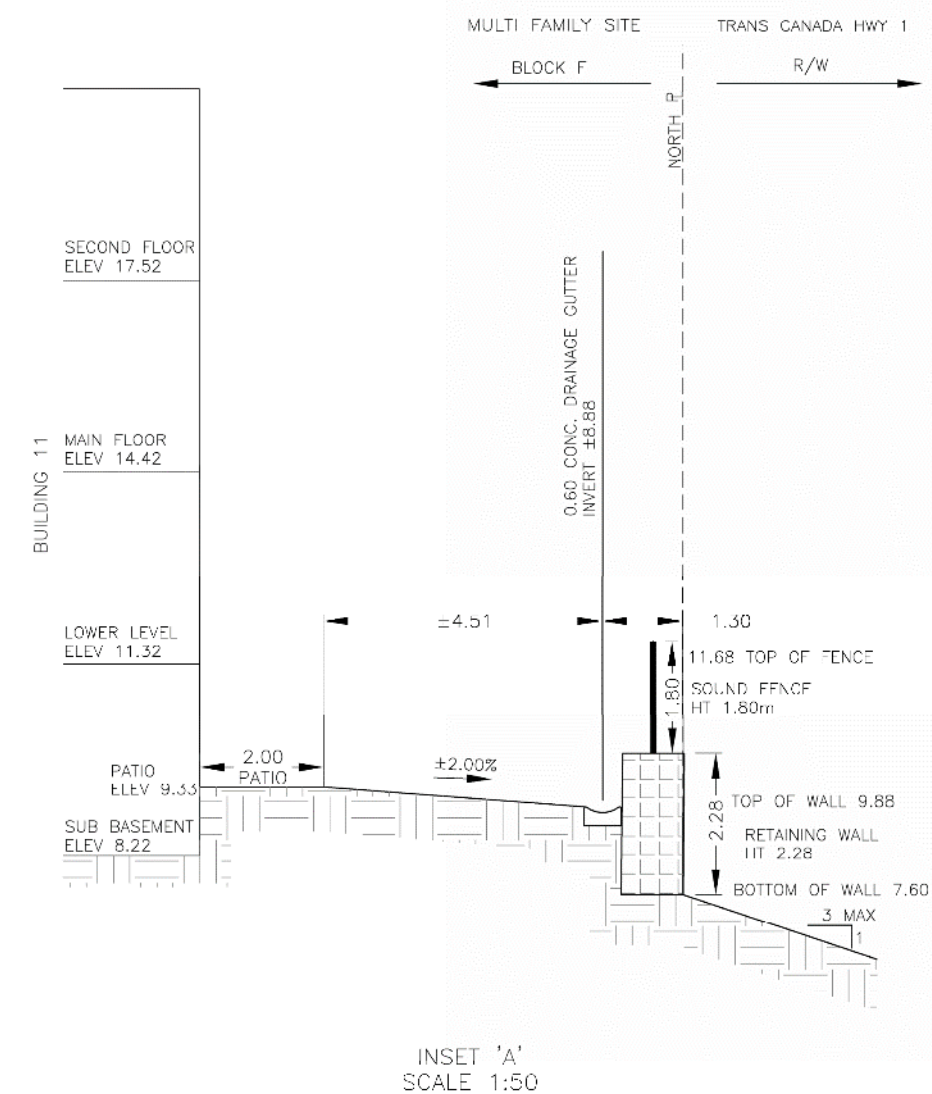
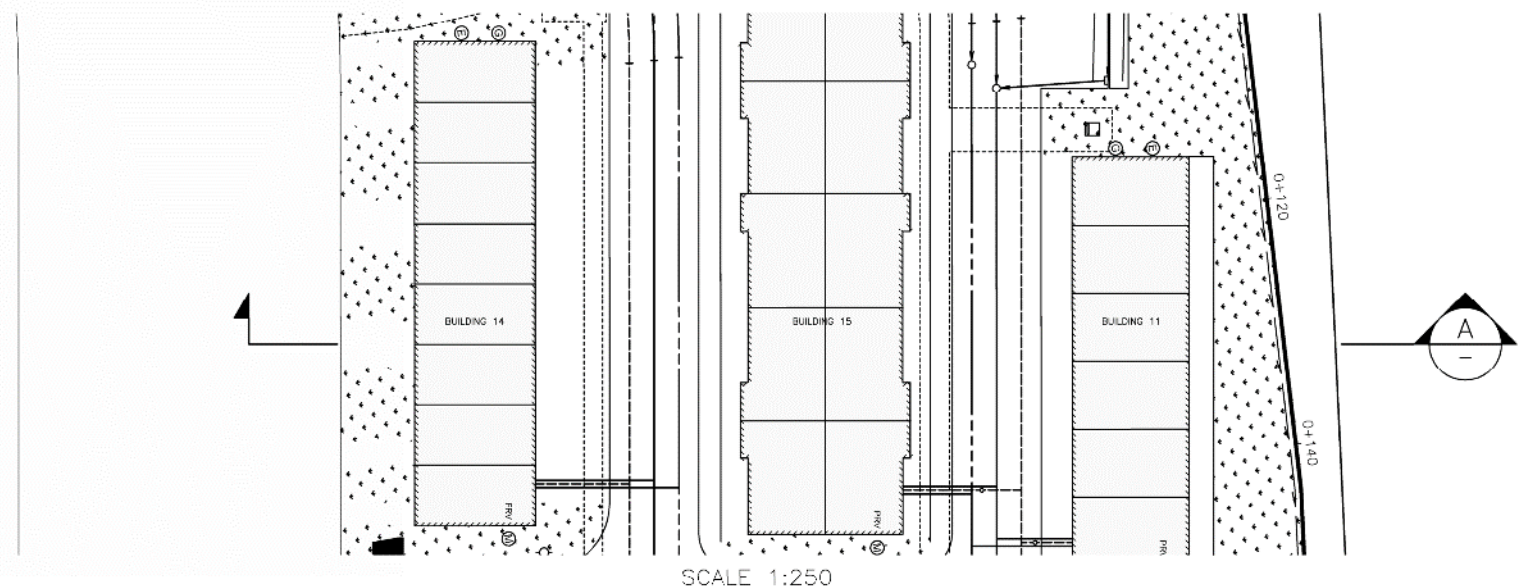
- NOTES:
1. ALL ELEVATIONS ARE GEODETIC AND REFERENCED TO 1100.00 IN ELEVATION
 2. ALL TOP OF FENCE (TF) ELEVATIONS ARE TO BE CONFIRMED BY SOUND ENGINEER
 3. RETAINING WALL TO BE DESIGNED BY OTHERS

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| | | |
|---|---------------|--------|
| Client/Project | | |
| METROPIA THE VILLAGE AT MEDICINE HILLS | | |
| Scale | Revision Date | Figure |
| 1:500 | 2019-06-12 | 1 |
| 4315.0002.01 | | Title |
| CONCEPTUAL SITE PLAN BLOCK F 2019-0211 | | |

Development Permit Plans

THE VILLAGE AT MEDICINE HILLS - BLOCK F



- NOTES:
1. ALL ELEVATIONS ARE GEODETIC AND REFERENCED TO 1100.00 IN ELEVATION
 2. ALL TOP OF FENCE (TF) ELEVATIONS ARE TO BE CONFIRMED BY SOUND ENGINEER
 3. RETAINING WALL TO BE DESIGNED BY OTHERS

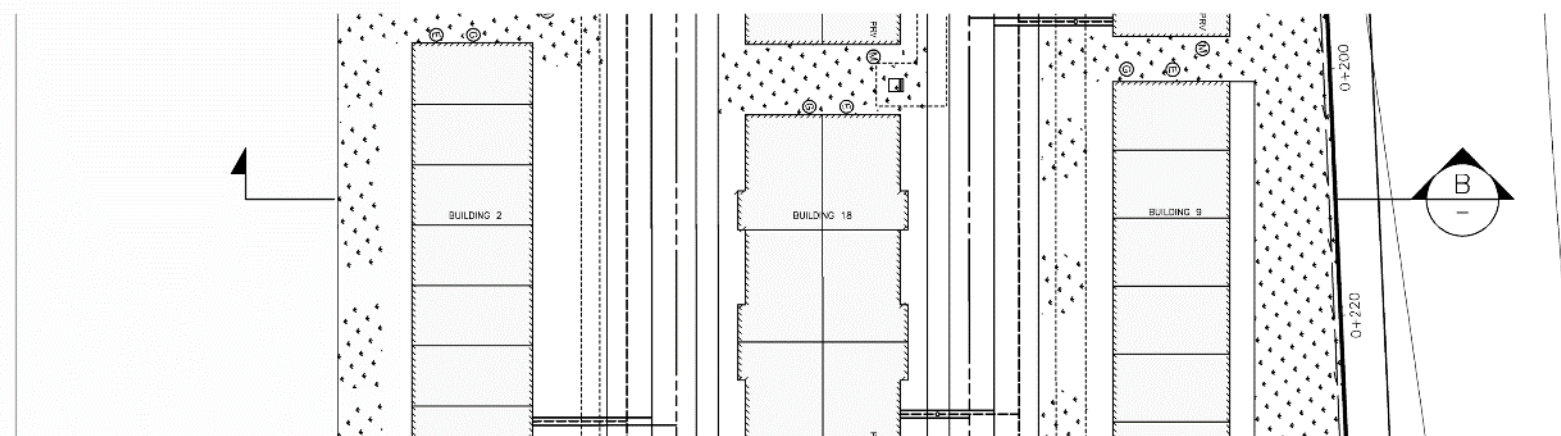
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JUNE 12 2019
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| Client/Project | | |
|---|---------------|--------|
| METROPIA THE VILLAGE AT MEDICINE HILLS | | |
| Scale | Revision Date | Figure |
| AS SHOWN | 2019-06-12 | 2 |
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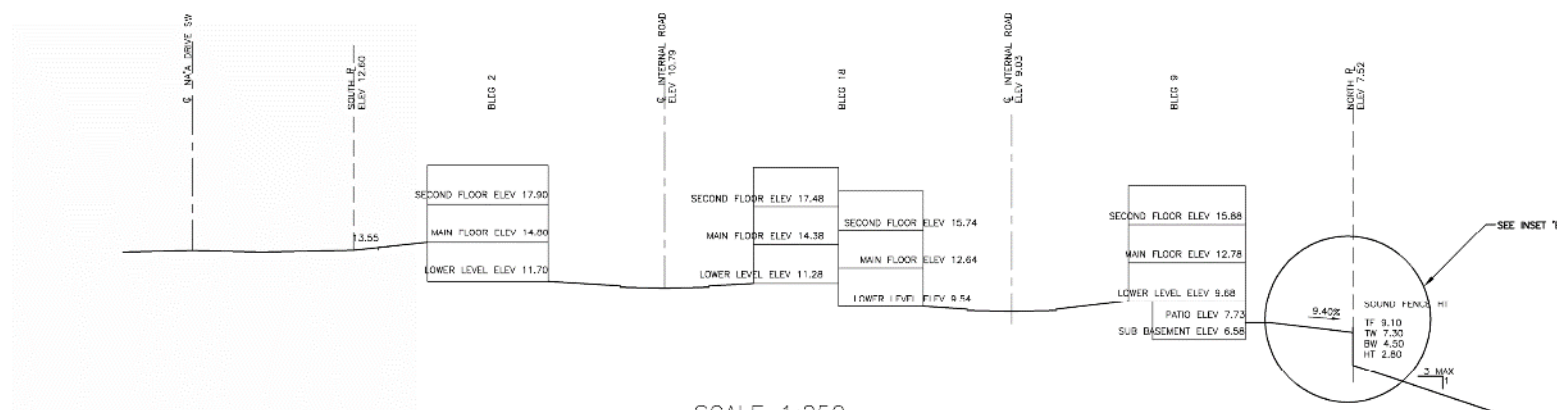
CONCEPTUAL GRADING PLAN BLOCK F
CROSS SECTION A STA 0+132.398 2019-0211

Development Permit Plans

THE VILLAGE AT MEDICINE HILLS - BLOCK F



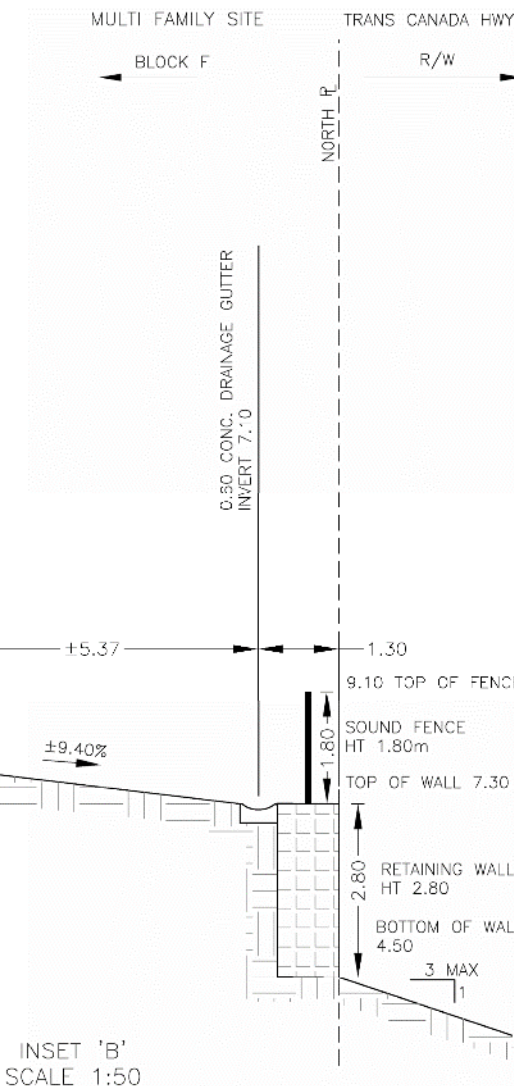
SCALE 1:250



SCALE 1:250



BUILDING 9



INSET 'B'
SCALE 1:50

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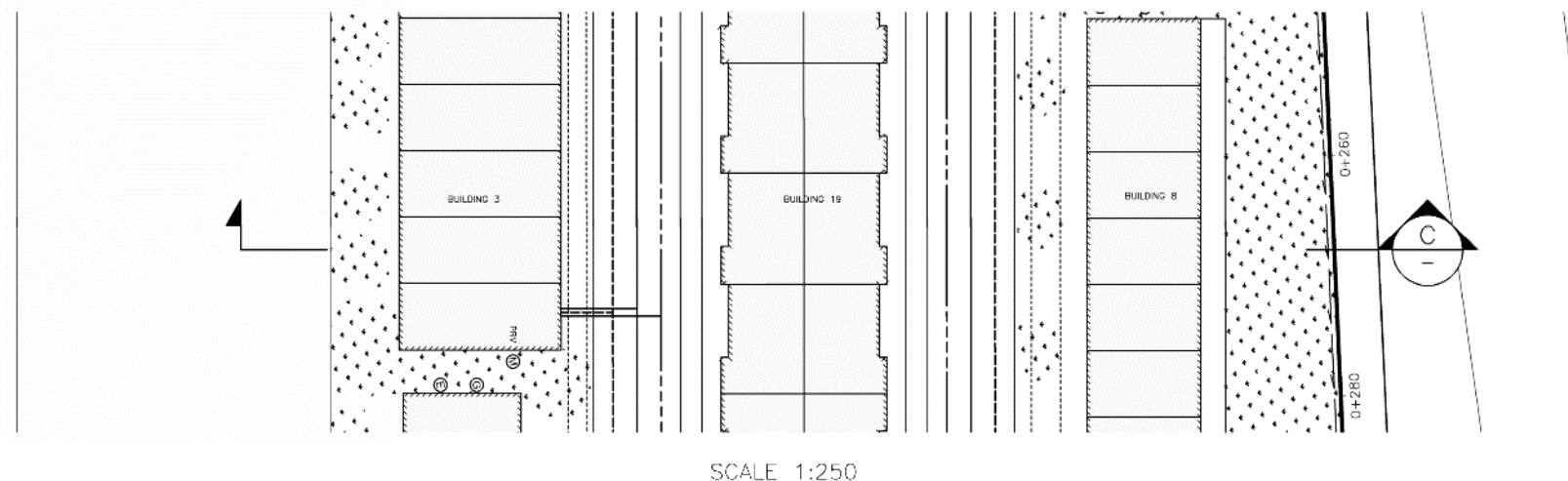
- NOTES:
1. ALL ELEVATIONS ARE GEODETIC AND REFERENCED TO 1100.00 IN ELEVATION
 2. ALL TOP OF FENCE (TF) ELEVATIONS ARE TO BE CONFIRMED BY SOUND ENGINEER
 3. RETAINING WALL TO BE DESIGNED BY OTHERS

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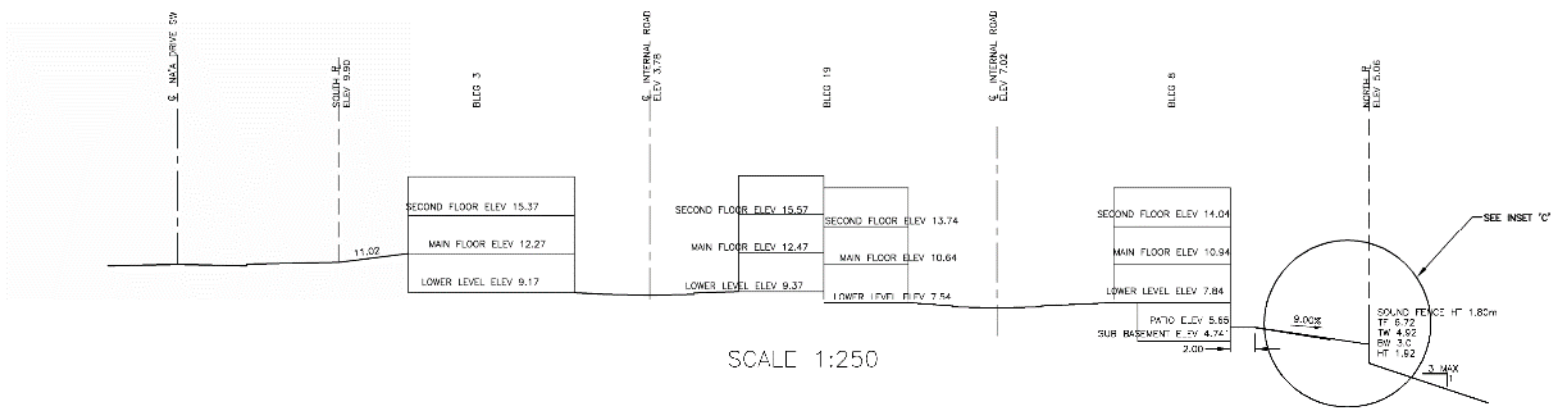
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|--|---------------|--------|
| Client/Project | | |
| METROPIA THE VILLAGE AT MEDICINE HILLS | | |
| Scale | Revision Date | Figure |
| AS SHOWN | 2019-06-12 | 3 |
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Development Permit Plans

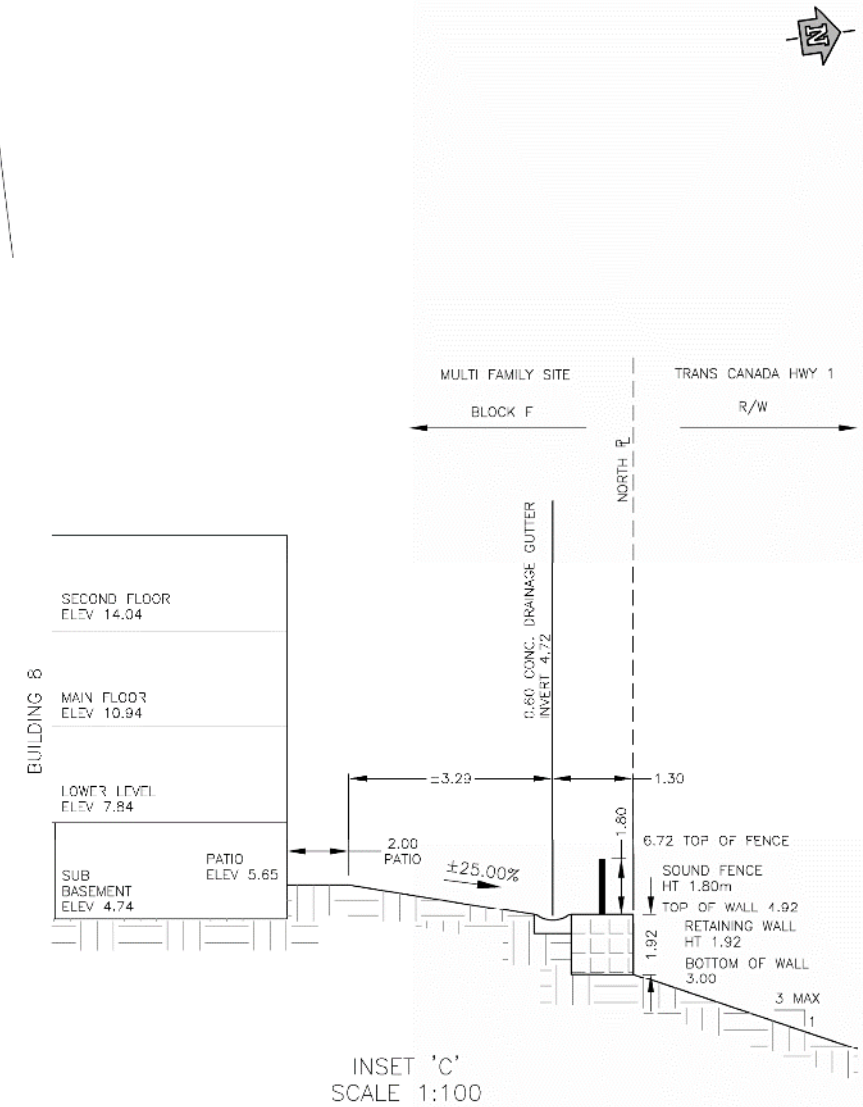
THE VILLAGE AT MEDICINE HILLS - BLOCK F



SCALE 1:250



SCALE 1:250



INSET 'C'
SCALE 1:100



- NOTES:
1. ALL ELEVATIONS ARE GEODETIC AND REFERENCED TO 1100.00 IN ELEVATION
 2. ALL TOP OF FENCE (TF) ELEVATIONS ARE TO BE CONFIRMED BY SOUND ENGINEER
 3. RETAINING WALL TO BE DESIGNED BY OTHERS

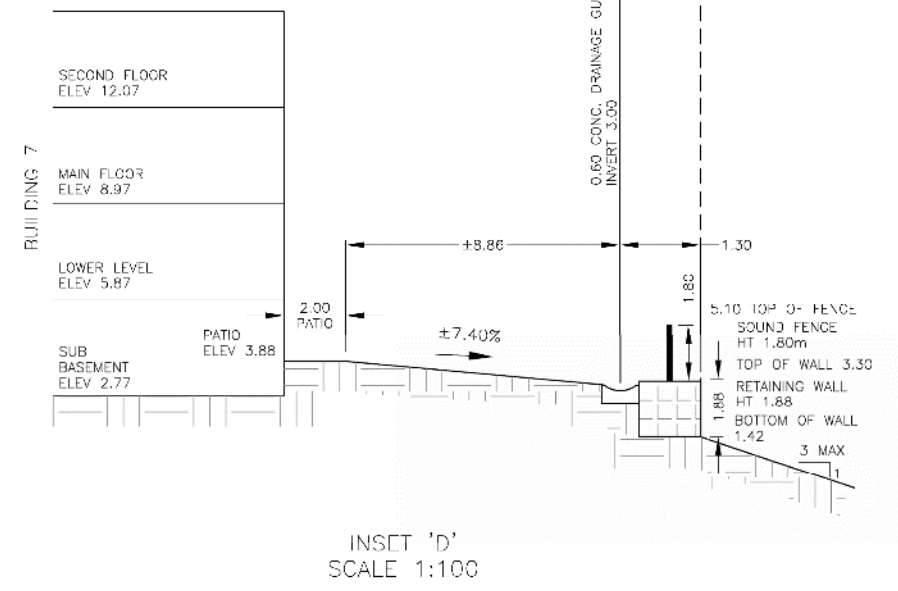
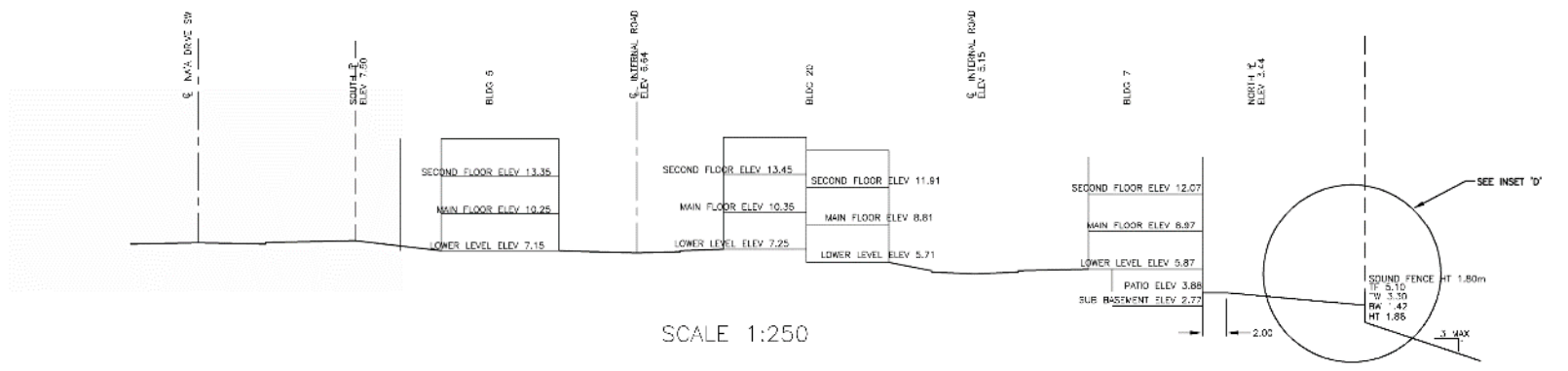
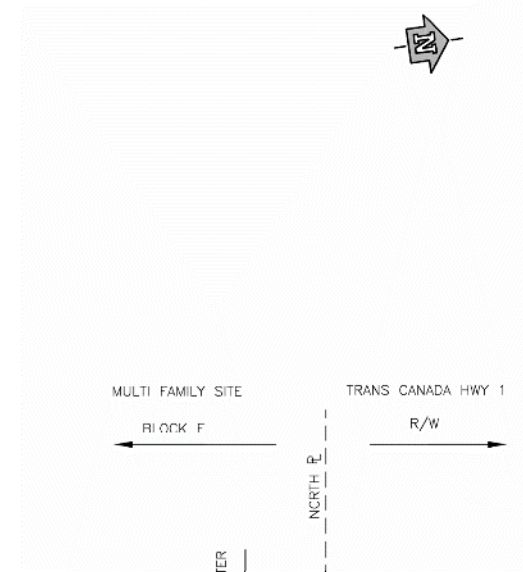
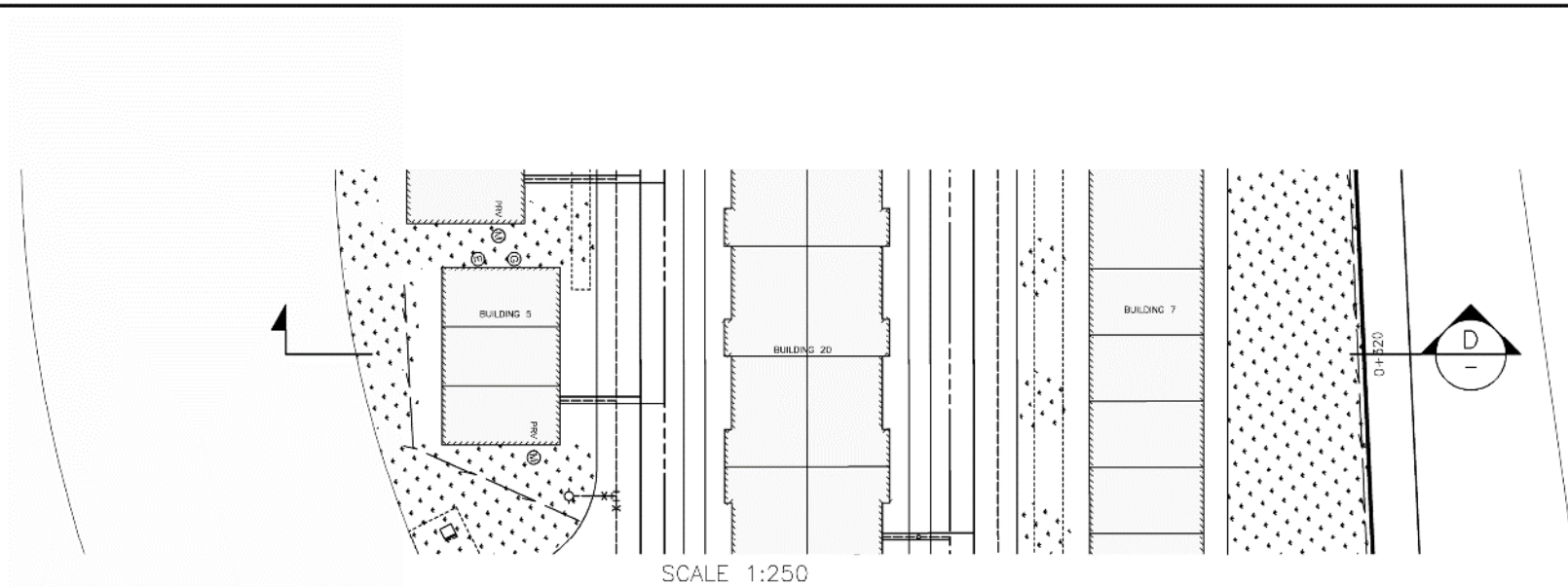
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| | | |
|---|---------------|--------|
| Client/Project | | |
| METROPIA THE VILLAGE AT MEDICINE HILLS | | |
| Scale | Revision Date | Figure |
| AS SHOWN | 2019-06-12 | 4 |
| 4315.0002.01 | Title | |

CONCEPTUAL GRADING PLAN BLOCK F
CROSS SECTION C STA 0+268.018 2019-0211

Development Permit Plans

THE VILLAGE AT MEDICINE HILLS - BLOCK F



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- NOTES:
1. ALL ELEVATIONS ARE GEODETIC AND REFERENCED TO 1100.00 IN ELEVATION
 2. ALL TOP OF FENCE (TF) ELEVATIONS ARE TO BE CONFIRMED BY SOUND ENGINEER
 3. RETAINING WALL TO BE DESIGNED BY OTHERS

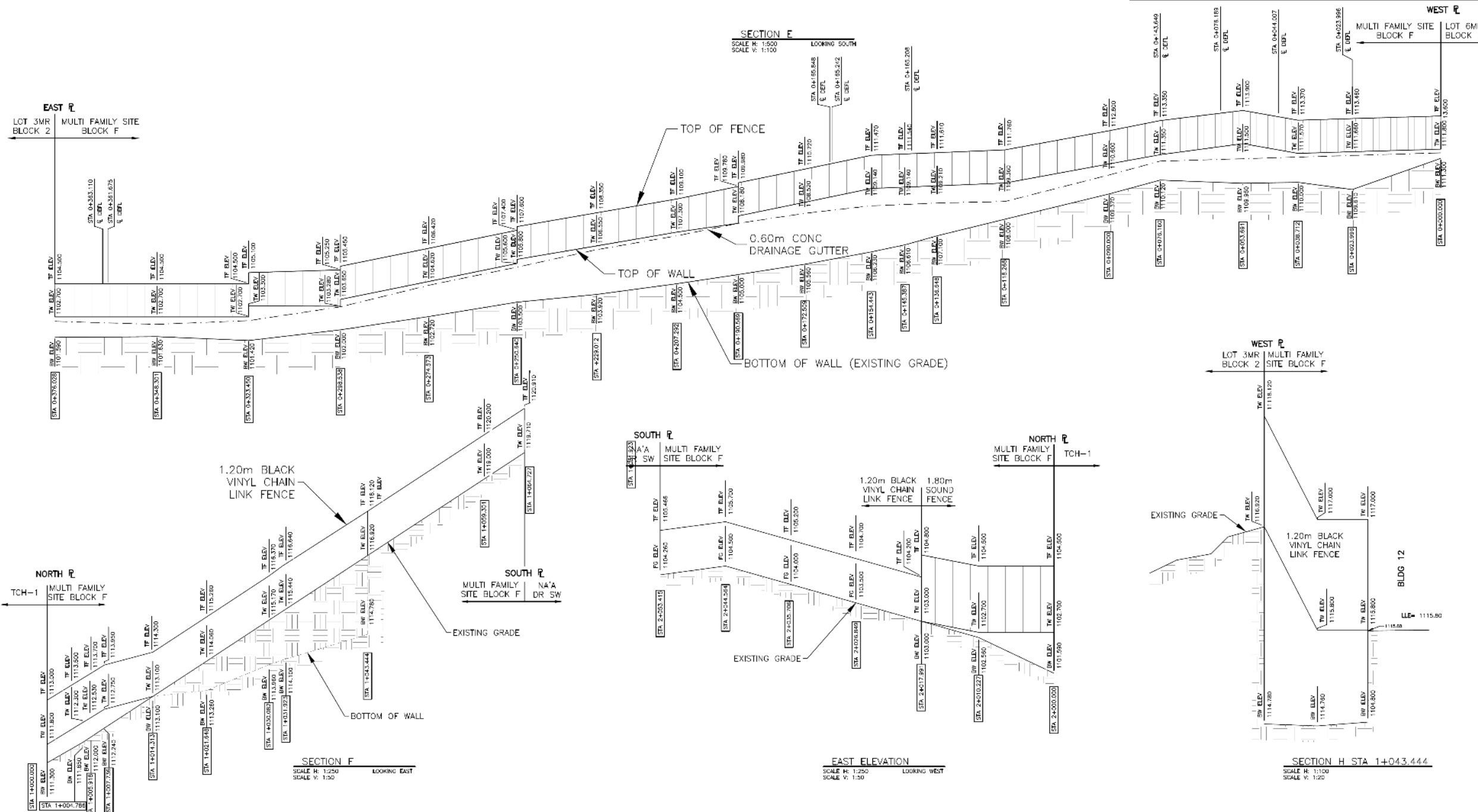
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JUNE 12 2019
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| Client/Project | | |
|---|---------------|--------|
| METROPIA THE VILLAGE AT MEDICINE HILLS | | |
| Scale | Revision Date | Figure |
| AS SHOWN | 2019-06-12 | 5 |
| 4315.0002.01 | | Title |

CONCEPTUAL GRADING PLAN BLOCK F
CROSS SECTION D STA 0+320.129 2019-0211

Development Permit Plans

THE VILLAGE AT MEDICINE HILLS - BLOCK F



- NOTES:
1. ALL ELEVATIONS ARE GEODETIC AND REFERENCED TO 1100.00 IN ELEVATION
 2. ALL TOP OF FENCE (TF) ELEVATIONS ARE TO BE CONFIRMED BY SOUND ENGINEER
 3. RETAINING WALL TO BE DESIGNED BY OTHERS

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REVISED DP
JUNE 12 2019
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| | | |
|--|---------------|--------|
| Client/Project | | |
| METROPIA THE VILLAGE AT MEDICINE HILLS - BLOCK F | | |
| Scale | Revision Date | Figure |
| AS SHOWN | 2019-06-06 | 6 |
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