



## AGENDA

### CALGARY PLANNING COMMISSION

November 29, 2018, 1:00 PM  
IN THE CALGARY POWER RECEPTION HALL  
Members

Director M.Tita, Chair  
Director R. Vanderputten, Vice-Chair  
Councillor G. Chahal  
Councillor E. Woolley  
Commissioner M. Foht  
Commissioner P. Gedye  
Commissioner L. Juan  
Commissioner A. Palmiere  
Commissioner K. Schmalz  
Commissioner J. Scott  
Mayor N. Nenshi

1. CALL TO ORDER
2. OPENING REMARKS
3. CONFIRMATION OF AGENDA
4. CONFIRMATION OF MINUTES
  - 4.1 Minutes of the Regular Meeting of the Calgary Planning Commission, 218 November 15
5. CONSENT AGENDA
  - 5.1 Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 – 35 Avenue SW, LOC2018-0187, CPC2018-1342
  - 5.2 Land Use Amendment in West Hillhurst (Ward 7) at 2103 - 5 Avenue NW, LOC2018-0202, CPC2018-1332
  - 5.3 Policy Amendment and Land Use Amendment in Bankview (Ward 8) at 2133 and 2135 – 18 Street SW, LOC2018-0214, CPC2018-1326

- 5.4 Policy Amendment (City Initiated) – Banff Trail Area Redevelopment Plan (Ward 7), CPC2018-1336

6. POSTPONED REPORTS  
*(including related/ supplemental reports)*

*None*

7. ITEMS FROM OFFICER, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS

- 7.1.1 Development Permit for Multi-Residential Development on 14 Avenue SW east of 14 Street SW in the Beltline (Ward 8), DP2018-2882, CPC2018-1349
- 7.1.2 Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891, CPC2018-1324

7.2 PLANNING ITEMS

- 7.2.1 Land Use Amendment in Greenview Industrial Park (Ward 4) at 336 and 344 – 41 Avenue NE, LOC2018-0129, CPC2018-1293
- 7.2.2 Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 4120 - 67 Avenue NE, LOC2018-0180, CPC2018-1352
- 7.2.3 Land Use Amendment in Stoney 2 (Ward 3) at 2011 – 100 Avenue NE, LOC2018-0191, CPC2018-1255
- 7.2.4 Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 – 37 Street SW, LOC2017-0308, CPC2018-1359
- 7.2.5 Outline Plan in Residual Sub-Area 13D (Ward 13) at 15113 – 37 Street SW, LOC2017-0308 (OP), CPC2018-1360
- 7.2.6 Land Use Amendment in Royal Vista (Ward 1) at 8 and 14 Royal Vista Link NW, LOC2018-0004, CPC2018-1365
- 7.2.7 Land Use Amendment in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104, CPC2018-1362
- 7.2.8 Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104, CPC2018-1361
- 7.2.9 Policy Amendment and Land Use Amendment in Sunalta (Ward 8) at 2100 and 2206 – 10 Avenue SW, LOC2018-0165, CPC2018-1358
- 7.2.10 Land Use Amendment in Downtown Commercial Core (Ward 8) at 131 9 Avenue SW, LOC2018-0200, CPC2018-1303



- 7.2.11 Land Use Amendment in Bridlewood at 249 Bridlerange Place SW (Ward 13), LOC2018-0203, CPC2018-1341
- 7.2.12 Land Use Amendment in Walden (Ward 14) at 19605 Walden Boulevard SE, LOC2018-0185, CPC2018-1345
- 7.2.13 Land Use Amendment in East Fairview Industrial (Ward 11) at 7929 - 11 Street SE, LOC2018-0197, CPC2018-1348
- 7.2.14 Land Use Amendment in Mahogany (Ward 14) at Multiple Addresses, LOC2018-0216, CPC2018-1344

7.3 MISCELLANEOUS ITEMS  
None

8. URGENT BUSINESS

9. ADJOURNMENT





## INDEX FOR THE 2018 NOVEMBER 29 REGULAR MEETING OF CALGARY PLANNING COMMISSION

NOTE:  
PLANS SUBMITTED TO THE COMMISSION, AS PART OF THE DEPARTMENTAL REPORTS,  
ARE INCLUDED FOR THE SOLE PURPOSE OF ASSISTING THE COMMISSION IN MAKING  
A DECISION AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

ISC: Unrestricted



CALGARY  
**PLANNING  
COMMISSION**  
CENTENNIAL

A CENTURY OF VISION 1911 - 2011

## CONSENT AGENDA

### ITEM NO.: 5.1

Derek Pomreinke

**COMMUNITY:**

Altadore (Ward 8)

**FILE NUMBER:**

LOC2018-0187 (CPC2018-1342)

**PROPOSED REDESIGNATION:**

From: Residential – Contextual One / Two Dwelling  
(R-C2) District and Multi-Residential –  
Contextual Low Profile (M-C1) District

To: Residential – Grade-Oriented Infill (R-CG)  
District

**MUNICIPAL ADDRESS:**

2035 and 2039 – 35 Avenue SW

**APPLICANT:**

Global Raymac Surveys

**OWNER:**

Phillippe St. Louis  
Christina St. Louis  
Green Mamba Ltd

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

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### ITEM NO.: 5.2

Brad Bevill

**COMMUNITY:**

West Hillhurst (Ward 7)

**FILE NUMBER:**

LOC2018-0202 (CPC2018-1332)

**PROPOSED REDESIGNATION:**

From: Residential – Contextual One / Two Dwelling  
(R-C2) District

To: Residential – Contextual Grade - Oriented Infill  
(R-CG) District

**MUNICIPAL ADDRESS:**

2103 - 5 Avenue NW

**APPLICANT:**

Sinclair Signature Homes

**OWNER:**

Michelle Cheyne  
Spencer Cheyne

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

**ITEM NO.: 5.3**

Adam Sheahan

**COMMUNITY:**

Bankview (Ward 8)

**FILE NUMBER:**

LOC2018-0214 (CPC2018-1326)

**PROPOSED POLICY AMENDMENT:**

Amendment to the Bankview Area Redevelopment Plan

**PROPOSED REDESIGNATION:**

From: Residential – Contextual One / Two Dwelling  
(R-C2) District

To: Residential – Grade-Oriented Infill (R-CG)  
District

**MUNICIPAL ADDRESS:**

2133 and 2135 - 18 Street SW

**APPLICANT:**

Daniel Alejandro Quiroga-Rivera

**OWNER:**

Daniel Alejandro Quiroga-Rivera a

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

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**ITEM NO.: 5.4**

Steve Jones

**COMMUNITY:**

Banff Trail (Ward 7)

**FILE NUMBER:**

CPC2018-1336

**PROPOSED POLICY AMENDMENT:**

Amendments to the Banff Trail Area Redevelopment  
Plan

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

## DEVELOPMENT ITEMS

### ITEM NO.: 7.1.1

Desmond Bliet

**COMMUNITY:**

Beltline (Ward 8)

**FILE NUMBER:**

DP2018-2882 (CPC2018-1349)

**PROPOSED DEVELOPMENT:**

New Multi-Residential Development

**MUNICIPAL ADDRESS:**

1315, 1317, 1319, 1321, and 1323 - 14 Avenue SW

**APPLICANT:**

Battistella Developments

**OWNER:**

Ernest Shymka

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

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### ITEM NO.: 7.1.2

Stephanie Loria/Jihad Bitar

**COMMUNITY:**

Ramsay (Ward 9)

**FILE NUMBER:**

DP2017-4891 (CPC2018-1324)

**PROPOSED DEVELOPMENT:**

New: Multi-Residential Development, Retail and Consumer Service

**MUNICIPAL ADDRESS:**

1802 – 11 Street SE

**APPLICANT:**

S2 Architecture

**OWNER:**

11-Street Developments Ltd

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

## PLANNING ITEMS

### ITEM NO.: 7.2.1

Matthew Atkinson

**COMMUNITY:**

Greenview Industrial Park (Ward 4)

**FILE NUMBER:**

LOC2018-0129 (CPC2018-1293)

**PROPOSED REDESIGNATION:**

From: Industrial – Redevelopment (I-R) District

To: Industrial – Commercial (I-C) District

**MUNICIPAL ADDRESS:**

336 and 344 - 41 Avenue NE

**APPLICANT:**

Rick Balbi Architect

**OWNER:**

Ocean Investment Ltd

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

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### ITEM NO.: 7.2.2

Matthew Atkinson

**COMMUNITY:**

Saddle Ridge Industrial (Ward 5)

**FILE NUMBER:**

LOC2018-0180 (CPC2018-1352)

**PROPOSED REDESIGNATION:**

From: Special Purpose – Future Urban Development (S-FUD) District

To: DC Direct Control District based on the Industrial – Outdoor (I-O) District to accommodate the additional use of Seasonal Sales Area

**MUNICIPAL ADDRESS:**

4120 - 67 Avenue NE

**APPLICANT:**

IBI Group

**OWNER:**

2045478 Alberta Ltd (Sandhu, Parminder)

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

**ITEM NO.: 7.2.3**

Michael Davis

**COMMUNITY:** Stoney 2 (Ward 3)

**FILE NUMBER:** LOC2018-0191 (CPC2018-1255)

**PROPOSED REDESIGNATION:** From: Industrial – Commercial (I-C) District  
To: Commercial – Corridor 3 f1.0h12  
(C-COR3 f1.0h12) District

**MUNICIPAL ADDRESS:** 2011 – 100 Avenue NE

**APPLICANT:** Kumlin Sullivan Architecture Studio

**OWNER:** Condominium Corporation No. 1110612

**ADMINISTRATION RECOMMENDATION:** **APPROVAL**

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**ITEM NO.: 7.2.4**

Brendyn Seymour  
(related to Item 7.2.5)

**COMMUNITY:** Residual Sub-Area 13D (Ward 13)

**FILE NUMBER:** LOC2017-0308 (CPC2018-1359)

**PROPOSED POLICY AMENDMENTS:** Amendments to the Providence Area Structure Plan

**PROPOSED REDESIGNATION:** From: Special Purpose – Future Urban Development  
(S-FUD) District  
To: Multi-Residential – High Density Low Rise (M-H1) District, Multi-Residential – Medium Profile (M-2) District, District, Residential – Low Density Mixed Housing (R-G) District, Special Purpose – Community Service (S-CRI) District, Special Purpose – School, Park and Community Reserve (S-SPR) District Direct Control / Residential – Low Density Mixed Housing and DC Direct Control District to accommodate low density mixed use housing

**MUNICIPAL ADDRESS:** 15113 – 37 Street SW

**APPLICANT:** Stantec Consulting

**OWNER:** Dream Asset Management Corporation

**ADMINISTRATION RECOMMENDATION:** **APPROVAL**



**ITEM NO.: 7.2.5**

Brendyn Seymour  
(related to Item 7.2.4)

**COMMUNITY:** Residual Sub-Area 13D (Ward 13)

**FILE NUMBER:** LOC2017-0308(OP) (CPC2018-1360)

**PROPOSED OUTLINE PLAN:** Subdivision of 56.38 hectares  $\pm$  (139.32 acres  $\pm$ )

**MUNICIPAL ADDRESS:** 15113 – 37 Street SW

**APPLICANT:** Stantec Consulting

**OWNER:** Dream Asset Management Corporation

**ADMINISTRATION RECOMMENDATION:** **APPROVAL**

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**ITEM NO.: 7.2.6**

Giyan Brenkman

**COMMUNITY:** Royal Vista (Ward 1)

**FILE NUMBER:** LOC2018-0004 (CPC2018-1365)

**PROPOSED REDESIGNATION:**

From: DC Direct Control District and Industrial-Business (I-B) District

To: DC Direct Control District to accommodate a private school and child care services

**MUNICIPAL ADDRESS:** 8 and 14 Royal Vista Link NW

**APPLICANT:** Sha-Lou Enterprises

**OWNER:** LTCM Incorporated

**ADMINISTRATION RECOMMENDATION:** **APPROVAL**

**ITEM NO.: 7.2.7**

Coleen Auld  
(Related to Item 7.2.8)

**COMMUNITY:**

Royal Oak (Ward 1)

**FILE NUMBER:**

LOC2018-0104 (CPC2018-1362)

**PROPOSED REDESIGNATION:**

From: Residential – Contextual One Dwelling (R-C1)  
District and Special Purpose – City and Regional  
Infrastructure (S-CRI) District

To: Residential – Contextual One / Two Dwelling  
(R-C2) District and Special Purpose – Urban  
Nature (S-UN) District

**MUNICIPAL ADDRESS:**

96 Royal Birch Point NW

**APPLICANT:**

B&A Planning Group

**OWNER:**

VWR Capital Corp

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

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**ITEM NO.: 7.2.8**

Coleen Auld  
(Related to Item 7.2.7)

**COMMUNITY:**

Royal Oak (Ward 1)

**FILE NUMBER:**

LOC2018-0104(OP) (CPC2018-1361)

**PROPOSED OUTLINE PLAN:**

Subdivision of 2.25 hectares  $\pm$  (5.56 acres  $\pm$ )

**MUNICIPAL ADDRESS:**

96 Royal Birch Point NW

**APPLICANT:**

B&A Planning Group

**OWNER:**

VWR Capital Corp

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

**ITEM NO.: 7.2.9**

Jennifer Duff

**COMMUNITY:**

Sunalta (Ward 8)

**FILE NUMBER:**

LOC2018-0165 (CPC2018-1358)

**PROPOSED POLICY AMENDMENTS:**

Amendments to the Sunalta Area Redevelopment Plan

**PROPOSED REDESIGNATION:**

From: Commercial – Corridor 2 f3.0h27  
(C-COR2f3.0h27) District

To: DC Direct Control District to accommodate the  
additional use of Self Storage Facility and a  
revised FAR

**MUNICIPAL ADDRESS:**

2100 and 2206 – 10 Avenue SW

**APPLICANT:**

Citytrend

**OWNER:**

Gunther's Building Centre Ltd  
Gunther's Building Supplies Limited

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

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**ITEM NO.: 7.2.10**

Adam Sheahan

**COMMUNITY:**

Downtown Commercial Core (Ward 8)

**FILE NUMBER:**

LOC2018-0200 (CPC2018-1303)

**PROPOSED REDESIGNATION:**

From: DC Direct Control District

To: DC Direct Control District to accommodate the  
additional use of Kennel-Urban and to update  
the base district

**MUNICIPAL ADDRESS:**

131 – 9 Avenue SW

**APPLICANT:**

Palliser Square Properties Ltd

**OWNER:**

Palliser Square Properties Ltd

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

**ITEM NO.: 7.2.11**

Desmond Blik

**COMMUNITY:**

Bridlewood (Ward 14)

**FILE NUMBER:**

LOC2018-0203 (CPC2018-1341)

**PROPOSED REDESIGNATION:**

From: Special Purpose – School, Park and Community Reserve (S-SPR) District

To: Special Purpose – Community Institution (S-CI) District

**MUNICIPAL ADDRESS:**

249 Bridlerange Place SW

**APPLICANT:**

Maidment Land Surveys

**OWNER:**

The City of Calgary

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

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**ITEM NO.: 7.2.12**

Kate van Fraassen

**COMMUNITY:**

Walden (Ward 14)

**FILE NUMBER:**

LOC2018-0185 (CPC2018-1345)

**PROPOSED REDESIGNATION:**

From: DC Direct Control District

To: Commercial – Corridor 2 f0.5h12 (C-COR2f0.5h12) District

**MUNICIPAL ADDRESS:**

19605 Walden Boulevard SE

**APPLICANT:**

Carol McClary Planning Solutions

**OWNER:**

Genco (Walden) Ltd  
DWG Holdings Corp

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

**ITEM NO.: 7.2.13**

Fraser McLeod

**COMMUNITY:**

East Fairview Industrial (Ward 11)

**FILE NUMBER:**

LOC2018-0197 (CPC2018-1348)

**PROPOSED REDESIGNATION:**

From: DC Direct Control District

To: Commercial – Corridor 2 f0.3h11 (C-COR2  
f0.3h11) District

**MUNICIPAL ADDRESS:**

7929 - 11 Street SE

**APPLICANT:**

Royop (Deerfoot) Development Ltd

**OWNER:**

Royop (Deerfoot) Development Ltd

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**

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**ITEM NO.: 7.2.14**

Ezra Wasser

**COMMUNITY:**

Mahogany (Ward 14)

**FILE NUMBER:**

LOC2018-0216 (CPC2018-1344)

**PROPOSED REDESIGNATION:**

From: DC Direct Control District

To: DC Direct Control District to allow for Cannabis  
Counselling and Cannabis Store uses

**MUNICIPAL ADDRESS:**

11 Mahogany Circle SE, 226 Mahogany Garden SE and  
2231 and 2255 Mahogany Boulevard SE

**APPLICANT:**

Village Cannabis

**OWNER:**

Westman Village Lyric Inc  
Westman Village Calligraphy Inc

**ADMINISTRATION RECOMMENDATION:**

**APPROVAL**





## MINUTES

### CALGARY PLANNING COMMISSION

**November 15, 2018, 1:00 PM  
IN THE COUNCIL CHAMBER**

**PRESENT:**

Director M. Tita, Chair  
Director R. Vanderputten, Vice-Chair  
Councillor G. Chahal  
Councillor E. Woolley  
Commissioner M. Foht  
Commissioner L. Juan  
Commissioner A. Palmiere  
Commissioner K. Schmalz  
Commissioner J. Scott

**ALSO PRESENT:**

Principal Planner J. Cope  
Senior Planner K. Melanson  
Legislative Assistant L. McDougall  
Legislative Assistant J. Palaschuk

**1. CALL TO ORDER**

Director Tita called the meeting to order at 1:01 p.m..

**2. OPENING REMARKS**

Director Tita provided opening remarks at today's Meeting.

**3. CONFIRMATION OF AGENDA**

**Moved by** Councillor Chahal

That the Agenda for the 2018 November 15 Regular Meeting of the Calgary Planning Commission be confirmed.

**MOTION CARRIED**

**4. CONFIRMATION OF MINUTES**

4.1 Minutes of the Regular Meeting of the Calgary Planning Commission, 2018 November 01

**Moved by** Commissioner Juan

That the Minutes of the Regular Meeting of the Calgary Planning Commission, held 2018 November 01, be confirmed.

**MOTION CARRIED**

5. CONSENT AGENDA

- 5.1 Proposed Street Name(s) for SW Macleod Centre in Legacy (Ward 14) at 1411 and 1555 - 210 Avenue SE, SN2018-0009, CPC2018-1237

Commissioner Foht declared a conflict, and abstained from discussion and voting, with respect to Report CPC2018-1237.

Commissioner Foht left the Council Chamber at 1:10 p.m. and returned at 1:12 p.m., after the vote on Report CPC2018-1237 was declared.

**Moved by** Councillor Woolley

That with respect to Report CPC2018-1237, the following be approved:  
That the Calgary Planning Commissions recommends that Council:

1. Adopt, by Resolution, the proposed street names of "Aldersyde", "Cayley", "Hartell", "Longview", and "Naphtha", and
2. Request the item be heard at the 2018 December 10 Public Hearing of Council.

**MOTION CARRIED**

6. POSTPONED REPORTS

7. ITEMS FROM OFFICER, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS

- 7.1.1 Development Permit in East Shepard Industrial (Ward 12) at 6202 – 106 Avenue SE, DP2018-3439, CPC2018-1286

An additional report for Attachment 3, an odour assessment, with respect to Report CPC2018-1286 was distributed.

**Moved by** Commissioner Juan

That with respect to Report CPC2018-1286, the following be approved:  
That the Calgary Planning Commission:

1. Approve the proposed development permit DP2018-3439 of a New: Slaughter House, Sign – Class C (Freestanding Sign) at 6202 – 106 Avenue SE (Plan 1710868; Block 5; Lot 4), with conditions (Attachment 2).

**MOTION CARRIED**

**Moved by** Councillor Woolley

That pursuant to Section 17(2) of the Procedure Bylaw 35M3017, as amended, the Calgary Planning Commission change the location of the 2018 November 29 Regular Meeting of the Calgary Planning Commission scheduled to take place in the Council Chamber at 1:00 p.m. to the Calgary Power Reception Hall at 1:00 p.m.



**MOTION CARRIED**

7.2 PLANNING ITEMS

7.2.1 Land Use Amendment in Varsity (Ward 1) at 3625 Shaganappi Trail NW, LOC2018-0137, CPC2018-1297

The following clerical correction was noted with respect to Report CPC2018-1297:

- On page 1 of 7 of the Cover Report in the Executive Summary section, by deleting the word 'District' which follows the words Land Use Bylaw 1P2007.

**Moved by** Commissioner Palmiere

That with respect to Report CPC2018-1237, the following be approved, **after amendment**:

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed redesignation of 22.69 hectares  $\pm$  (56.02 acres $\pm$ ) located at 3625 Shaganappi Trail NW (Plan 0211955, Block 1, Lot 1) from a Direct Control District to DC Direct Control District to accommodate commercial development with guidelines; and
3. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

7.2.2 Land Use Amendment in Hounsfield Heights/Briar Hill (Ward 7) at 1614 - 8 Avenue NW, LOC2018-0168, CPC2018-1304

The following clerical correction was noted with respect to Report CPC2018-1304:

- On page 3 of 5 of the Cover Report in the Transportation Networks section, by replacing the sentence 'Access to the parcel will be from the lane.' with 'Access to the parcel will be from 8 Avenue NW only'.

Paige Barlow addressed Commission with respect to Report CPC2018-1304

This item was postponed to the Call of the Chair, by general consent.

**Moved by** Councillor Chahal

That with respect to Report CPC2018-1304, the following be approved, **after amendment**:

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed redesignation of 0.09 hectares  $\pm$  (0.21 acres $\pm$ ) located at 1614 - 8 Avenue NW (Plan 4879L, Lot 5) from

- Multi-Residential – Contextual Low Profile (M-C1) District to a Direct Control District to accommodate limited commercial uses; and
3. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

7.2.3 Policy Amendment and Land Use Amendment in Winston Heights/Mountview (Ward 7) at 407 - 27 Avenue NW, LOC2018-0172, CPC2018-1301

The following clerical correction was noted with respect to Report CPC2018-1301:

- In the header of the Cover Report, on each page, by changing the address from 407-27 Ave 'NW' to 407-27 Ave 'NE'.

Kevin Hamilton addressed Commission with respect to Report CPC2018-1301

**Moved by** Councillor Woolley

That with respect to Report CPC2018-1301, the following be approved, **after amendment**:

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed amendments to the Winston Heights/Mountview Area Redevelopment Plan (Attachment 2);
3. Give three readings to the proposed Bylaw;
4. Adopt, by Bylaw, the proposed redesignation of 0.17 hectares  $\pm$  (0.42 acres $\pm$ ) located at 407 - 27 Avenue NE (Plan 3430JK, Block 7A, Lots 1 and 2) from Multi-Residential – Contextual Low Profile (M-C1) District to Mixed Use – Active Frontage (MU-2h24) District; and
5. Give three readings to the proposed Bylaw.

Against: Commissioner Foht

**MOTION CARRIED**

7.2.4 Land Use Amendment in West Hillhurst (Ward 7) at 2340 – 1 Avenue NW, LOC2018-0217, CPC2018-1295

**Moved by** Commissioner Foht

That with respect to Report CPC2018-1295, the following be approved, **after amendment**:

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed redesignation of 0.09 hectares  $\pm$  (0.22 acres  $\pm$ ) located at 2340 – 1 Avenue NW (Plan 371O, Block 32, Lots 38 to 40) from DC Direct Control District to DC Direct Control District

based on the Residential – Contextual One / Two Dwelling (R-C2) District to accommodate an Office, with guidelines (Attachment 2); and

3. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

- 7.2.5 Policy Amendment and Land Use Amendment in Tuxedo Park (Ward 7) at 2620 Centre Street NE, LOC2018-0039, CPC2018-0486

**Moved by** Commissioner Scott

That with respect to Report CPC2018-0486, the following be approved,  
**after amendment:**

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed amendment to the North Hill Area Redevelopment Plan (Attachment 2);
3. Give three readings to the proposed Bylaw;
4. Adopt, by Bylaw, the proposed redesignation of 0.10 hectares  $\pm$  (0.25 acres  $\pm$ ) located at 2620 Centre Street NE (Plan 2617AG, Block 12, Lots 23 to 26) from Mixed Use – Active Frontage (MU-2f3.0h20) District to Mixed Use – Active Frontage (MU-2f3.7h26) District; and
5. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

- 7.2.6 Land Use Amendment in Highland Park (Ward 4) at 202 - 32 Avenue NE, LOC2018-0171, CPC2018-1292

**Moved by** Commissioner Juan

That with respect to Report CPC2018-1292, the following be approved,  
**after amendment:**

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed redesignation of 0.05 hectares  $\pm$  (0.13 acres  $\pm$ ) located at 202 - 32 Avenue NE (Plan 5942AD, Block 4, Lots 19 and 20) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District; and
3. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

- 7.2.7 Land Use Amendment in Stonegate Landing (Ward 5) at 12210 Barlow Trail NE, LOC2018-0178, CPC2018-1244

**Moved by** Councillor Chahal

That with respect to Report CPC2018-1244, the following be approved,  
**after amendment:**

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed redesignation of 9.74 hectares  $\pm$  (24.07 acres  $\pm$ ) located at 12210 Barlow Trail NE (Portion of NW1/4 Section 28-25-29-4) from Industrial – Business f0.5h27 (I-B f0.5h27) District to Industrial – General (I-G) District; and
3. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

- 7.2.8 Policy Amendment and Land Use Amendment in Silverado and Residual Sub-Area 13K (Ward 13) at multiple properties, LOC2018-0115, CPC2018-1235

Speakers that addressed Commission with respect to Report CPC2018-1235:

- Neil MacKimmie; and
- Chris Andrew

**Moved by** Commissioner Scott

That with respect to Report CPC2018-1235, the following be approved, **after amendment**.

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed amendments to the Southwest Community 'A' and Employment Centre / Mixed-Use Area Structure Plan (Attachment 2);
3. Give three readings to the proposed Bylaw;
4. Adopt, by Bylaw, the proposed redesignation of 18.48 hectares  $\pm$  (45.66 acres  $\pm$ ) located at 200 and 500 – 194 Avenue SE and 12 and 35 – 190 Avenue SE (portion of Plan 1211390, Block 1, Lots 1 and 2; portion of Plan 7510858, Blocks 11 and 12), from Special Purpose – Community Service (S-CS) District, Residential – Narrow Parcel One Dwelling (R-1N) District, and Residential – Low Density Mixed Housing (R-G) District to Residential – Medium Profile (M-2) District, and Residential – Low Density Mixed Housing (R-G) (R-Gm) District; and
5. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

- 7.2.9 Land Use Amendment in Springbank Hill (Ward 6), at 36 Elmont Drive SW, LOC2018-0169, CPC2018-1313

A document entitled "Attachment 3 Outline Plan" was distributed with respect to Report CPC2018-1313.

**Moved by** Commissioner Foht

That with respect to Report CPC2018-1313, the following be approved,  
**after amendment:**

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
  2. Adopt, by Bylaw, the proposed redesignation of 0.59 hectares  $\pm$  (1.46 acres  $\pm$ ) located at 36 Elmont Drive SW (Plan 9111797; Lot 16) from DC Direct Control District to Residential – One Dwelling (R-1s) District; and
  3. Give three readings to the proposed redesignation Bylaw.
- And further that the distribution provided today be included as Attachment 3 prior to the Report being forwarded to Council.

Against: Commissioner Palmiere

**MOTION CARRIED**

7.2.10 Outline Plan in Springbank Hill (Ward 6) at 36 Elmont Drive SW,  
LOC2018-0169, CPC2018-1314

**Moved by** Commissioner Foht

That with respect to Report CPC2018-1314, the following be approved:  
That the Calgary Planning Commission:

1. Approve the proposed outline plan located at 36 Elmont Drive SW (Plan 9111797; Lot 16) to subdivide 0.59 hectares  $\pm$  (1.46 acres $\pm$ ), with conditions (Attachment 2).

Against: Commissioner Palmiere

**MOTION CARRIED**

7.2.11 Policy Amendment and Land Use Amendment in Killarney/Glengarry  
(Ward 8) at 3235 Kinsale Road SW, LOC2018-0181, CPC2018-1299

A revised page 2 of 6 of the Cover Report with respect to Report  
CPC2018-1299 was distributed

The Commission recessed at 3:19 p.m. and returned at 3:35 p.m. with  
Director Tita in the Chair.

Jeremy Paylor addressed Commission with respect to Report CPC2018-  
1299.

**Moved by** Commissioner Juan

That with respect to Report CPC2018-1299, the following be approved,  
**after amendment:**

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**

2. Adopt, by Bylaw, the proposed amendments to the Killarney/Glengarry Area Redevelopment Plan (Attachment 3);
3. Give three readings to the proposed Bylaw;
4. Adopt, by Bylaw, the proposed redesignation of 0.06 hectares  $\pm$  (0.14 acres  $\pm$ ) located at 3235 Kinsale Road SW (Plan 732GN, Block 2, Lot 1) from DC Direct Control District to Residential – Grade-Oriented Infill (R-CG) District; and
5. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

7.2.12 Land Use Amendment in Southwood (Ward 11) at 10119 and 10233 Elbow Drive SW, LOC2017-0255, CPC2018-1229

Commissioner Foht declared a conflict, and abstained from discussion and voting, with respect to Report CPC2018-1229.

Commissioner Foht left the Council Chamber at 3:44 p.m. and returned at 4:12 p.m., after the vote on Report CPC2018-1229 was declared.

A letter from the Southwood Community Association, dated 2018 March 17, with respect to Report CPC2018-1229 was distributed.

**Moved by** Commissioner Scott

That the Calgary Planning Commission accept the letter received from the Southwood Community Association.

**MOTION CARRIED**

**Moved by** Councillor Chahal

That the Calgary Planning Commission accept the letter submitted by a Southwood Community homeowners group.

**ROLL CALL VOTE**

Against: (7): Director Vanderputten, Councillor Chahal, Councillor Woolley, Commissioner Juan, Commissioner Palmiere, Commissioner Schmalz, and Commissioner Scott

**MOTION DEFEATED**

**Moved by** Commissioner Scott

That with respect to Report CPC2018-1299, the following be approved, **after amendment:**

That the Calgary Planning Commission recommends that Council:

1. **Hold a Public Hearing during a future Public Hearing of Council;**
2. Adopt, by Bylaw, the proposed redesignation of 3.49 hectares  $\pm$  located at 10119 and 10233 Elbow Drive SW (Plan 2601HR, Block 2, Lot 14) from Commercial – Community 2 f0.32h15 (C-C2 f0.32h15)

- District to Commercial – Community 2 f2.0h15 (C-C2 f2.0h15) District and Commercial – Community 2 f2.0h24 (C-C2 f2.0h24) District; and
3. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

**Moved by** Commissioner Scott

That the letter distributed with respect to Report CPC2018-1229 be forwarded onto Council as an attachment of the report.

**MOTION CARRIED**

- 7.2.13 Policy Amendment and Land Use Amendment in Altadore (Ward 8) at 5034 and 5036 – 22 Street SW, LOC2018-0146, CPC2018-1306

**Moved by** Commissioner Palmiere

That with respect to Report CPC2018-1306, the following be approved, **after amendment**:

That the Calgary Planning Commission recommends that Council:

1. Hold a Public Hearing during a future Public Hearing of Council;
2. Adopt, by Bylaw, the proposed amendments to the South Calgary/Altadore Area Redevelopment Plan;
3. Give three readings to the proposed Bylaw;
4. Adopt, by Bylaw, the proposed redesignation of 0.04 hectares  $\pm$  (0.11 acres  $\pm$ ) located at 5034 and 5036 - 22 Street SW (Plan 1410714, Block 20, Lot 33 and 34) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District; and
5. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

- 7.2.14 Land Use Amendment in Fairview Industrial (Ward 9) at 134 Forge Road SE, LOC2018-0166, CPC2018-1294

Speakers that addressed Commission with respect to Report CPC2018-1294:

- Robert Moskovitz; and
- Rabbi Menachem Matusof

**Moved by** Councillor Woolley

That with respect to Report CPC2018-1294, the following be approved:  
That the Calgary Planning Commission recommends that Council:

1. File the administrations recommendations contained in Report CPC2018-1294
2. Hold a Public Hearing during a future Public Hearing of Council;

3. Adopt, by Bylaw, the proposed redesignation of 0.78 hectares  $\pm$  (1.93 acres  $\pm$ ) located at 134 Forge Road SE (Plan 1543JK; Block 2; Lots 1 and 2) from Industrial – General (I-G) District to Commercial – Corridor 2 (C-COR2 f2.0h24) District; and
4. Give three readings to the proposed Bylaw.

And further that comments provided by Commissioner Juan be included as an attachment to the report prior to being forwarded on to Council.

Against: Director Vanderputten

**MOTION CARRIED**

7.2.15 Land Use Amendment in Highfield (Ward 9) at 5101-11 Street SE, LOC2018-0206, CPC2018-1259

**Moved by** Commissioner Foht

That with respect to Report CPC2018-1259, the following be approved, **after amendment**:

That the Calgary Planning Commission recommends that Council:

1. Hold a Public Hearing during a future Public Hearing of Council;
2. Adopt, by Bylaw, the proposed redesignation of 1.09 hectares  $\pm$  (2.69 acres  $\pm$ ) located at 5101 – 11 Street SE (Plan 7410362; Block A) from DC Direct Control District to Industrial – Commercial (I-C) District; and
3. Give three readings to the proposed Bylaw.

**MOTION CARRIED**

### 7.3 MISCELLANEOUS ITEMS

#### 8. URGENT BUSINESS

#### 9. ADJOURNMENT

**Moved by** Director Vanderputten

That this Meeting adjourn at 5:13 p.m.

**MOTION CARRIED**

THE FOLLOWING ITEM HAVE BEEN FORWARDED TO THE 2018 DECEMBER 10 REGULAR PUBLIC MEETING OF COUNCIL:

Proposed Street Name(s) for SW Macleod Centre in Legacy (Ward 14) at 1411 and 1555 - 210 Avenue SE, SN2018-0009, CPC2018-1237

THE FOLLOWING ITEMS HAVE BEEN FORWARDED TO THE 2019 JANUARY 14 REGULAR PUBLIC MEETING OF COUNCIL:

Land Use Amendment in Varsity (Ward 1) at 3625 Shaganappi Trail NW, LOC2018-0137, CPC2018-1297



Land Use Amendment in Hounsfield Heights/Briar Hill (Ward 7) at 1614 - 8 Avenue NW, LOC2018-0168, CPC2018-1304

Policy Amendment and Land Use Amendment in Winston Heights/Mountview (Ward 7) at 407 - 27 Avenue NW, LOC2018-0172, CPC2018-1301

Land Use Amendment in West Hillhurst (Ward 7) at 2340 – 1 Avenue NW, LOC2018-0217, CPC2018-1295

Policy Amendment and Land Use Amendment in Tuxedo Park (Ward 7) at 2620 Centre Street NE, LOC2018-0039, CPC2018-0486

Land Use Amendment in Highland Park (Ward 4) at 202 - 32 Avenue NE, LOC2018-0171, CPC2018-1292

Land Use Amendment in Stonegate Landing (Ward 5) at 12210 Barlow Trail NE, LOC2018-0178, CPC2018-1244

Policy Amendment and Land Use Amendment in Silverado and Residual Sub-Area 13K (Ward 13) at multiple properties, LOC2018-0115, CPC2018-1235

Land Use Amendment in Springbank Hill (Ward 6), at 36 Elmont Drive SW, LOC2018-0169, CPC2018-1313

Policy Amendment and Land Use Amendment in Killarney/Glengarry (Ward 8) at 3235 Kinsale Road SW, LOC2018-0181, CPC2018-1299

Land Use Amendment in Southwood (Ward 11) at 10119 and 10233 Elbow Drive SW, LOC2017-0255, CPC2018-1229

Policy Amendment and Land Use Amendment in Altadore (Ward 8) at 5034 and 5036 – 22 Street SW, LOC2018-0146, CPC2018-1306

Land Use Amendment in Fairview Industrial (Ward 9) at 134 Forge Road SE, LOC2018-0166, CPC2018-1294

Land Use Amendment in Highfield (Ward 9) at 5101-11 Street SE, LOC2018-0206, CPC2018-1259

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CHAIR

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ACTING CPC SECRETARY



## Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 – 35 Avenue SW, LOC2018-0187

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### EXECUTIVE SUMMARY

This land use redesignation was submitted by Global Raymac Surveys on 2018 August 17 on behalf of the landowners, Phillippe and Christina St. Louis and Green Mamba Ltd, for two adjacent properties in the community of Altadore. The application proposes to change the designation of these properties to allow for:

- rowhouses in addition to the uses already allowed (e.g. single detached, semi-detached, and duplex homes);
- greater flexibility in parcel dimensions and a large rear setback;
- a proposed subdivision to move the property line; and
- the uses listed in the R-CG district.

The application is intended to accommodate an already-approved semi-detached dwelling on one property and to allow for rowhouse development on the other. It has been amended from its initial state in response to concerns from the neighbours and Community Association.

The proposal conforms to relevant policies of the *South Calgary/Altadore Area Redevelopment Plan* and *Municipal Development Plan* and is supported by Administration.

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 0.08 hectares ± (0.20 acres ±) located at 2035 and 2039 – 35 Avenue SW (Plan 4530AC, Block 4, Lots 17-20) from Residential – Contextual One / Two Dwelling (R-C2) District and Multi-Residential – Contextual Low Profile (M-C1) District **to** Residential – Grade-Oriented Infill (R-CG) District; and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

None.

### BACKGROUND

Both properties are owned by the same landowners. A new semi-detached dwelling, approved through DP2018-0536 on 2018 June 13, is nearing completion on the eastern property. The building was designed with a generous side setback to allow for future movement of the property line.

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**Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 - 35 Avenue SW,  
LOC2018-0187**

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On 2018 April 09, the applicant submitted subdivision application SB2018-0160 to move the property line 1.79 metres east. Administration has determined that the proposed subdivision would shrink the parcel smaller than the minimum required size under the current Residential – Contextual One / Two Dwelling (R-C2) District. A redesignation to Residential – Grade-Oriented Infill (R-CG) District was recommended in order to allow the subdivision to proceed.

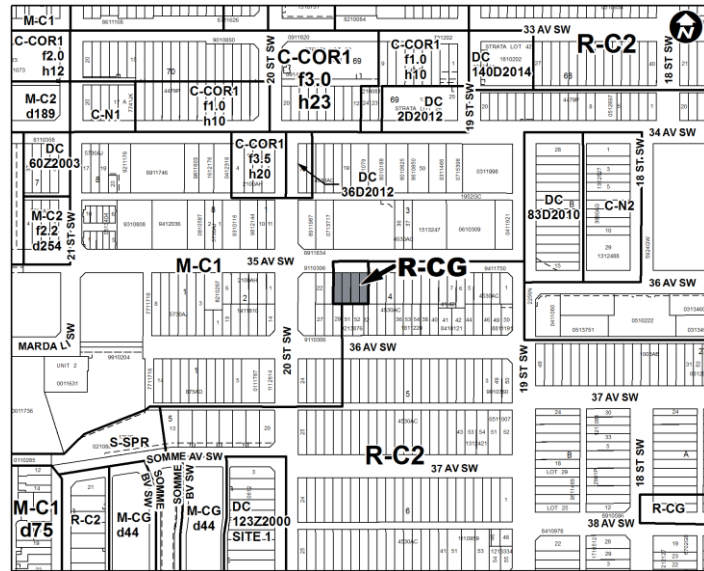
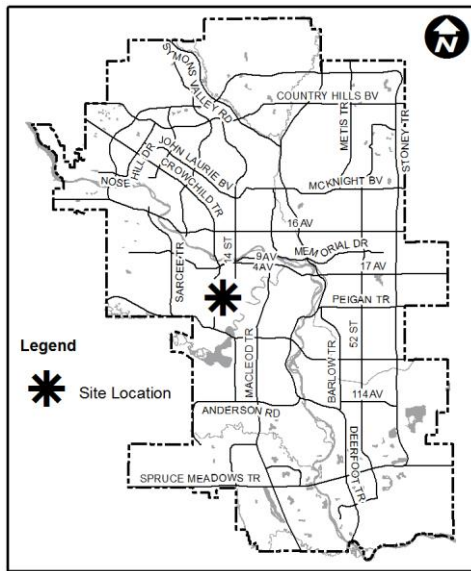
The western parcel is split between R-C2 District and Multi-Residential – Contextual Low Profile (M-C1) District. The applicant intends to redesignate the entire property to R-CG for the purpose of a three-unit rowhouse. The application to redesignate both properties was submitted on 2018 August 17.

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**Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 - 35 Avenue SW,  
LOC2018-0187**

**Location Maps**



## Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 - 35 Avenue SW, LOC2018-0187

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### Site Context

The subject site is located in the community of Altadore along 35 Avenue SW, east of 20 Street SW. Surrounding development is a broad mix of grade-oriented housing: two single detached houses, two semi-detached buildings and a four-plex all share property lines with the site. Predominant land use districts in the area are R-C2 and M-C1. The commercial land use districts of Marda Loop begin one block north of the subject site.

The site consists of two parcels, each approximately 15 metres wide by 27 metres deep (50 by 90 feet) with an area of 410 square metres (for a total site area of 820 square metres). Proposed subdivision SB2018-0160 would transfer approximately 50 square metres from the eastern property to the western property.

The eastern property is being redeveloped with a three-storey semi-detached dwelling, while the western property currently features a one-storey single detached dwelling built in 1950. This block does not have a rear lane, requiring all vehicular access to come from 35 Avenue SW. As identified in *Figure 1*, the communities of Altadore and Garrison Woods have reached a new peak population as of 2018.

*Figure 1: Community Peak Population*

<b>Altadore/Garrison Woods</b>	
Peak Population Year	2018
Peak Population	10,015
2018 Current Population	10,015
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2018 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Altadore](#) community profile.

### INVESTIGATION: ALTERNATIVES AND ANALYSIS

Several meetings were held with the landowner and affected neighbours to determine which land use district would most appropriately facilitate redevelopment in a sensitive manner. The proposed R-CG District allows for a range of building types that can be compatible with the established building form of the existing neighbourhood.

### Planning Considerations

#### *Land Use*

The existing R-C2 District is a low-density residential district that is primarily for single detached, semi-detached and duplex homes. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units, not including secondary suites. The district requires a rear setback of at least 7.5 metres.

**Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 - 35 Avenue SW,  
LOC2018-0187**

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The existing M-C1 District is a medium-density multi-residential district that is primarily for townhouses and low-rise apartment buildings. The M-C1 District allows for a maximum building height of 12 metres and up to 111 units per hectare. Critically, when there is no rear lane the district allows for development within 1.2 metres from the rear property line.

The proposed R-CG District allows for two to three-storey (up to 11 metres) rowhouse development where one façade of each dwelling unit must directly face a public street. The R-CG District also enables more flexible development of other low-density housing forms by allowing for smaller parcel dimensions and setbacks. The district provides a maximum density of 75 units per hectare, which would allow up to three dwelling units on the western property.

***Development and Site Design***

Because the site has no lane, the rear interface with adjacent properties is of particular concern. Originally, the applicant proposed to redesignate the western property entirely to M-C1, however the minimum setback of 1.2 metres from the rear property line was deemed inappropriate. M-CG was also ruled out as it would allow the same rear setback.

The R-CG District provides the best fit of land use district to development intent. The applicant has indicated that they may request a minor relaxation to maximum height (11 metres) at the development permit stage. The relatively shallow depth of the property and requirement for 6.0-metre driveway force the building back toward the rear of the parcel. This may also necessitate a relaxation to the maximum parcel depth of 65 percent, which could be exceeded without encroaching on the required 7.5-metre rear setback or being out of character with adjacent development.

***Environmental***

There are no environmental concerns associated with the site or with this proposal.

***Transportation***

Pedestrian and vehicular access to the site is available from 35 Avenue SW. The area is well-served by Calgary Transit bus service. North and southbound local service via Route 7 is available within 200 metres walking distance. South cross-town service via the MAX Teal Bus Rapid Transit Line is available approximately 800 metres west at Crowchild Trail SW, where connections to the southwest Bus Rapid Transit will also be available in the future.

***Utilities and Servicing***

Water, sanitary and storm sewer mains are available and can accommodate the potential redevelopment of the subject site without the need for off-site improvements at this time. Individual servicing connections, as well as appropriate stormwater management, will be considered and reviewed at the development permit stage.

## Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 - 35 Avenue SW, LOC2018-0187

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### Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

Administration received a letter of opposition from the Marda Loop Communities Association, citing concerns over setting a precedent for mid-block R-CG in the community (Attachment 2).

In addition, Administration received four letters from adjacent residents in opposition to the original application due to the rear setback. Administration considered the feedback and agreed that a 1.2 metre rear setback was inappropriate. Further work with the applicant resulted in an amended application that did not include M-C1 on the western property, and therefore resolving the rear setback concern.

The residents who had objected to the original application have no objection to the amended application seeking R-CG. However, additional concerns remain over spot zoning in lieu of an overhaul to the local area plan.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

### Strategic Alignment

#### ***South Saskatchewan Regional Plan (Statutory – 2014)***

The site is located within the City, Town area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

#### ***Municipal Development Plan (Statutory – 2009)***

The subject site is located within the Residential - Developed - Inner City area as identified on Map 1: Urban Structure in the *Municipal Development Plan* (MDP). The applicable MDP policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development. The MDP also calls for modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit.

The proposal is aligned with relevant MDP policies. The rules of the R-CG District provide for development that can be sensitive to nearby properties in terms of height, built form and density.



**Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 - 35 Avenue SW,  
LOC2018-0187**

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***South Calgary/Altadore Area Redevelopment Plan (Statutory – 1986)***

The site is located on the boundary of Residential Conservation and Residential Medium Density land use areas as identified on Map 2: Land Use Policy in the *South Calgary/Altadore Area Redevelopment Plan* (ARP). The Residential Conservation area aims for preservation of the existing urban fabric, though infill at similar scales and densities is supported. The Residential Medium Density area supports low-density multi-residential development that is sensitive to nearby low-density development. The plan supports using an intermediate land use designation to create a transition between the two land use policy areas.

As the exact boundaries of the land use areas are conceptual and the density of the built form transitions between the two across this site, Administration did not require a map amendment for this redesignation.

**Social, Environmental, Economic (External)**

The recommended land use district allows for a range of housing types that is wider than the existing R-C2 District and more contextually sensitive than the M-C1 District. The proposed amendment may accommodate the housing needs of different age groups, lifestyles, and demographics without sacrificing quality of life or property values for existing neighbours.

Redesignation of the eastern property will allow for completion and occupancy of an already-approved semi-detached dwelling.

**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal.

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**Land Use Amendment in Altadore (Ward 8) at 2035 and 2039 - 35 Avenue SW,  
LOC2018-0187**

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**REASONS FOR RECOMMENDATIONS:**

The proposal is in keeping with applicable policies of the *Municipal Development Plan* and *South Calgary/Altadore Area Redevelopment Plan*. The proposed R-CG District is designed to be implemented in close proximity or directly adjacent to low-density residential development, and in this case allows for a transition from M-C1 to R-C2. The proposal allows for modest densification of an inner-city parcel of land in a form that is compatible with the existing character of the neighbourhood.

**ATTACHMENTS**

1. Applicant's Submission
2. Community Association Letter

## Applicant's Submission



## Applicant's Submission

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. These comments are included in a report which is presented to the Calgary Planning Commission and a Public Hearing of City Council. Your comments **must** be limited to the area designated on this form to ensure it will fit the space requirements of the report. Supplementary information can be provided separately in your application if required.

Upon review of surrounding land uses, and to address neighbours concerns regarding rear setbacks, we are seeking to have all the lands redesignated as R-CG. Due to the size of the parcels and with no lane access the R-CG zoning provides the necessary designation to meet Land Use requirements for proposed Semi-detached and Row house development.

Furthermore, R-CG land use is required in order to complete the subdivision of 2035 35 Avenue SW (SB2018-0160) in order to reduce the Westerly side yard setback to 1.2m and provide the necessary additional land for future tri-plex/four-plex development at 2039 35 Avenue SW.



## Marda Loop Community Association Letter



3130 16 Street SW  
Calgary, AB, T2T 4G7

September 28, 2018

Circulation Control  
Planning & Development #8201  
PO Box 2100 Station M  
Calgary, AB, T2P 2M5  
Email: [CPAG.Circ@calgary.ca](mailto:CPAG.Circ@calgary.ca)

Attn: Derek Pomreinke, [derek.pomreinke@calgary.ca](mailto:derek.pomreinke@calgary.ca)

### **SENT BY EMAIL**

Dear Mr. Pomreinke;

### **RE: Community Association Feedback for LOC2018-0187**

Thank you for providing us the opportunity to offer feedback on this application that reflects the vision of the Marda Loop Communities Association (MLCA). The following comments have been written with consideration towards what is best for our communities and our city.

The MLCA Planning & Development Committee continues to encourage developers to engage with us and neighbours of proposed developments. The applicant proactively contacted the MLCA and attended the committee meeting on June 18, 2018. The committee recommended the applicant directly engage with the adjacent neighbours. To date, five residents have submitted comments opposing this application to the MLCA. The committee has requested a meeting on behalf of the adjacent land owners with The City, the applicant, and Ward 8 office to discuss this application and is currently waiting for confirmation on whether it will proceed.

The committee opposes this application for the following reasons:

- approval of this application would set precedent for midblock R-CG in the community of Altadore
- extending the M-C1 district at this location where there is no back lane would allow for minimum setbacks and maximum heights that could very negatively impact the R-C2 properties directly abutting the property line to the south.

Marda Loop Communities Association Vision:  
An evolving, vibrant, urban community that is engaged, connected, and desirable.

## Marda Loop Community Association Letter

Community Association Feedback for LOC2018-0187  
Page 2 of 2

If you have any questions regarding these comments, please contact Lauren Makar at your convenience.  
Thank you in advance for considering these comments when assessing the merits of this application.

Regards,



Lauren Makar  
Director - Planning & Development  
Marda Loop Communities Association  
[development@mardaloop.com](mailto:development@mardaloop.com)



Doug Fraser  
President  
Marda Loop Communities Association  
[president@mardaloop.com](mailto:president@mardaloop.com)

cc: Evan Woolley, Ward 8 Councillor, The City of Calgary [evan.woolley@calgary.ca](mailto:evan.woolley@calgary.ca)

Marda Loop Communities Association Vision:

An evolving, vibrant, urban community that is engaged, connected, and desirable.

**Land Use Amendment in West Hillhurst (Ward 7) at 2103 - 5 Avenue NW,  
LOC2018-0202**

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**EXECUTIVE SUMMARY**

This application was submitted by Sinclair Signature Homes on 2018 September 10 on behalf of the landowners Michelle and Spencer Cheyne. The application proposes to redesignate one corner parcel from Residential - Contextual One / Two Dwelling (R-C2) District to Residential - Grade Oriented Infill (R-CG) District to allow for:

- A rowhouse in addition to building types already allowed (e.g. single detached homes, semi-detached and duplex homes, and suites);
- A maximum of 4 dwelling units (an increase from the current maximum of 2 dwelling units);
- A maximum building height of 11 metres (an increase from the current maximum of 10 metres); and
- The uses listed in the proposed R-CG designation.

The proposal is in keeping with applicable policies of the *Municipal Development Plan*. No development permit application has been submitted at this time.

**ADMINISTRATION RECOMMENDATION:**

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT** by bylaw, the proposed redesignation of 0.06 hectares  $\pm$  (0.15 acres  $\pm$ ) located at 2103 - 5 Avenue NW (Plan 710N, Block 17, Lots 19 and 20) from Residential - Contextual One / Two Dwelling (R-C2) District **to** Residential - Contextual Grade - Oriented Infill (R-CG) District; and
2. Give three readings to the proposed bylaw.

**BACKGROUND**

The subject site is located in the community of West Hillhurst south of 5 Avenue NW and west of 20 Street NW. West Hillhurst does not have a local area plan and therefore future redevelopment of the community is subject to the policies in the *Municipal Development Plan*.

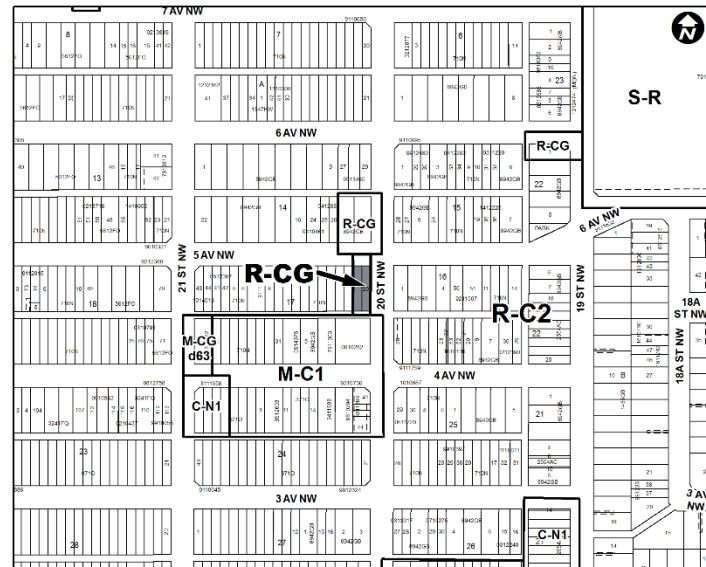
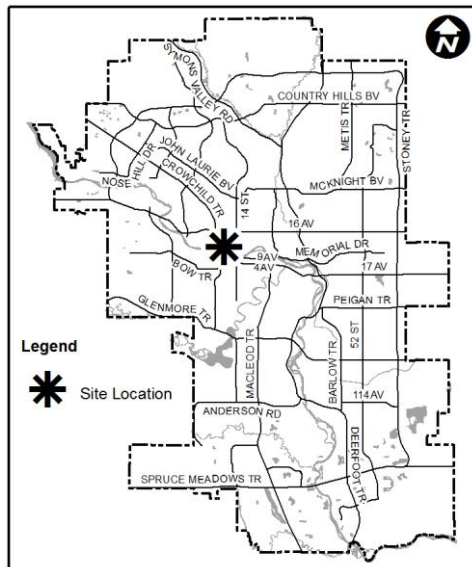
As indicated in the previous section, this application was submitted to The City of Calgary by Sinclair Signature Homes on 2018 September 10. Although a development permit has not been submitted at this time, as stated in the Applicant's Submission (Attachment 1) the intent of the land use amendment application is to enable the development of a four-unit row house building.

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Calgary Planning Commission  
2018 November 29**

**ISC: UNRESTRICTED  
CPC2018-1332  
Page 2 of 6**

**Land Use Amendment in West Hillhurst (Ward 7) at 2103 - 5 Avenue NW,  
LOC2018-0202**

**Location Maps**





## Land Use Amendment in West Hillhurst (Ward 7) at 2103 - 5 Avenue NW, LOC2018-0202

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### Site Context

Located at the intersection of 5 Avenue NW and 20 Avenue NW, this corner site is approximately 0.06 hectares in size with approximate dimensions of 18 metres by 38 metres. A rear lane exists to the south of the site. The property is currently developed with a one storey single detached dwelling and an accompanying three car garage accessed from 20 Street NW. There are no obstructions in the lane preventing access from the lane rather than 20 Street NW.

Surrounding developments are characterized by a mix of single and semi-detached homes, with a row of multi-residential development lining 20 Street NW on the west side to the south until 3 Avenue NW. The predominant land use in this area is Residential - Contextual One/Two Dwelling (R-C2) District. Earlier this year, Council approved a redesignation application from R-C2 to R-CG directly to the north of the subject site (LOC2017-0356). Lands designated for multi-residential uses (i.e. M-C1, M-CG) and commercial uses (C-N1) are located directly to the south.

Over time, 20 Street NW has redeveloped with row houses fronting onto it. Currently, there are row houses constructed along 20 Street NW from north of the lane between 3 Avenue NW and 4 Avenue NW to the parcel directly south of the subject site. There are row houses approved for the parcel directly to the north of this parcel. This parcel is a missing link in an otherwise contiguous row house frontage along 20 Street NW for four connecting parcels, or two full blocks.

As identified in *Figure 1*, the community of West Hillhurst has seen a population decline over the last forty years, reaching its population peak in 1968.

*Figure 1*

<b>West Hillhurst</b>	
Peak Population Year	1968
Peak Population	6,871
2017 Current Population	6,338
Difference in Population (Number)	-533
Difference in Population (Percent)	-8%

*Source: The City of Calgary 2017 Civic Census*

### INVESTIGATION: ALTERNATIVES AND ANALYSIS

The proposal allows for a range of building types that have the ability to be compatible with the established building form of the existing neighbourhood.

**Land Use Amendment in West Hillhurst (Ward 7) at 2103 - 5 Avenue NW,  
LOC2018-0202**

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**Planning Considerations**

***Land Use***

The existing Residential - Contextual One / Two Dwelling (R-C2) District is a residential designation in developed areas that is primarily for single detached, semi-detached and duplex homes. Single detached homes may include a secondary suite. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units per parcel.

The proposed Residential - Grade-Oriented Infill (R-CG) District is a residential designation that allows up to two to three storey (11 metres maximum) row house developments where one facade of each dwelling unit must directly face a public street. The maximum density of 75 units per hectare would allow for up to four (4) dwelling units on the subject site. The R-CG District also allows for a range of other low-density housing forms such as single detached, semi-detached, duplex dwellings and secondary suites.

***Development and Site Design***

As noted, the proposed redesignation is intended to accommodate a redevelopment of the site with four row houses. There is not an active development permit on this site, although the typical redevelopment scheme for parcels such as this would have one unit facing 5 Avenue NW and 3 units facing 20 Street NW. The rules of the proposed R-CG District will provide guidance for the development of the site including the height and building massing, landscaping and parking. Within The R-CG District, row houses are considered a permitted use if they meet all the rules outlined in the Land Use Bylaw, and discretionary if they do not. Given the specific context of this development, items that are being carefully considered through the development permit process include, but are not limited to:

- ensuring an engaging built interface along both street frontages;
- ensuring a sensitive building form and transition with respect to the adjacent street and existing development;
- emphasizing individual at-grade entrances; Access + rehab of sidewalk along 20 Avenue NW; and
- ensuring functional treatment and operation of waste, recycling and composting facilities.

***Environmental***

An environmental site assessment was not required for this application.

***Transportation Networks***

The subject site is located approximately 200 metres from transit stops for several bus routes on 19 Street NW with an additional transit stop located across 5 Avenue NW. Fifth Avenue NW is classified as a Collector Road in the Calgary Transportation Plan. Vehicular access is available from the existing rear lane. A traffic impact assessment was not required as a part of this application.

**Land Use Amendment in West Hillhurst (Ward 7) at 2103 - 5 Avenue NW,  
LOC2018-0202**

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***Utilities and Servicing***

Water, sanitary and storm sewer mains are available and can accommodate the potential redevelopment of the subject site without the need for off-site improvements at this time. Individual servicing connections as well as appropriate stormwater management will be considered and reviewed at development permit stage.

**Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent land owners and the application was advertised online.

The West Hillhurst Community Association was circulated, and provided a letter stating they had no comments on the application (Attachment 2).

Two letters were submitted from nearby residents on this application. One letter was in support and one letter was opposed citing an increase in density will cause an issue with parking and enjoyment of their property.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, Commission's recommendation, the date of Public Hearing will be advertised.

**Strategic Alignment**

***South Saskatchewan Regional Plan (Statutory - 2014)***

The site is located within the 'City, Town' area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

***Municipal Development Plan (Statutory - 2009)***

The subject parcel is located within the 'Residential - Developed - Inner City' area of the *Municipal Development Plan* (MDP). The applicable MDP policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The MDP also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit.

The proposal is in keeping with relevant MDP policies as the rules of the R-CG District provide for a development form that is sensitive to existing residential development in terms of height, built form and density.

**Land Use Amendment in West Hillhurst (Ward 7) at 2103 - 5 Avenue NW,  
LOC2018-0202**

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Moderate intensification in this location has a minimal impact on adjacent properties, and is therefore considered appropriate.

There is no local area plan for West Hillhurst.

**Social, Environmental, Economic (External)**

The recommended land use allows for a wider range of housing types within the existing established inner city community and as such, the proposed change may better accommodate the housing needs of different age groups, lifestyles and demographics.

**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposal conforms with applicable policies of the *Municipal Development Plan*. The proposed R-CG District is intended for parcels located near or directly adjacent to low density residential development. The proposal allows for a range of buildings types that have the ability to be compatible with the established building form of the existing neighbourhood and can better accommodate the housing needs of different age groups, lifestyles and demographics.

**ATTACHMENT(S)**

1. Applicant's Submission
2. West Hillhurst Community Association Letter

## Applicant's Submission



We are pleased to present this application for Land Use redesignation on the property at 2103 5ave NW from RC-2 to RC-G.

2103 5 ave NW is an excellent location for the RC-G zoning in the popular community of West Hillhurst and consistent with the city's goal of increasing urban density in established communities with direct easy access to transit, shopping, schools and other amenities. Consistent with other corner lot redesignation approvals on the street (2102 5 ave NW) we intend to submit a 4 unit rowhouse application with front doors facing 5 ave and 20<sup>th</sup> Street. These 3 bedroom townhomes are a perfect match for families seeking affordability in an established community.

The site is: - a corner lot

- direct lane access to garages
- within 500m of Kensington Rd NW, a Neighborhood Main Street.
- in front of a transit stop (route 104/404)
- close proximity to Riley Park, West Hillhurst Community Centre & West Hillhurst Park
- close proximity to the farmers market
- close proximity to RC-G rowhouse approvals on adjacent corner of 5ave NW
- 2 schools within a 5 block radius
- 2 churches within a 5 block radius

Sinclair Signature Homes



**West Hillhurst Community Association Letter**

Hello Brad,

The WHCA Planning Committee has no comment on LOC2018-0202.

Thank you,

Karen Dahl  
[Planning Committee Coordinator](#)  
[West Hillhurst Community Association](#)  
[planning@westhillhurst.com](mailto:planning@westhillhurst.com)





## Policy Amendment and Land Use Amendment in Bankview (Ward 8) at 2133 and 2135 – 18 Street SW, LOC2018-0214

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### EXECUTIVE SUMMARY

This application was submitted by the landowner Daniel Alejandro Quiroga-Rivera on 2018 September 21. The application proposes to change the designation of this property from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District to allow for:

- rowhouses in addition to the uses already allowed (e.g. single detached, semi-detached, and duplex homes and secondary suites);
- a maximum building height of 11 metres (an increase from the current maximum of 10 metres);
- a maximum of 5 dwelling units (an increase from the current maximum of 3 dwelling units); and
- the uses listed in the proposed R-CG designation.

A minor map amendment to the *Bankview Area Redevelopment Plan* (ARP) is required to accommodate the proposed land use redesignation. The proposal conforms to the ARP as amended and is in keeping with applicable policies of the Municipal Development Plan.

No development permit application has been submitted at this time.

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed amendment to the Bankview Area Redevelopment Plan (Attachment 3); and
2. Give three readings to the proposed bylaw.
3. **ADOPT**, by bylaw, the proposed redesignation of 0.08 hectares  $\pm$  (0.19 acres  $\pm$ ) located at 2133 and 2135 – 18 Street SW (Plan 3076AB, Block 6, Lots 14 to 16) from Residential – Contextual One/Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District; and
4. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

None.

Planning & Development Report to  
Calgary Planning Commission  
2018 November 29

ISC: UNRESTRICTED  
CPC2018-1326  
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**Policy Amendment and Land Use Amendment in Bankview (Ward 8) at 2133 and  
2135 - 18 Street SW, LOC2018-0214**

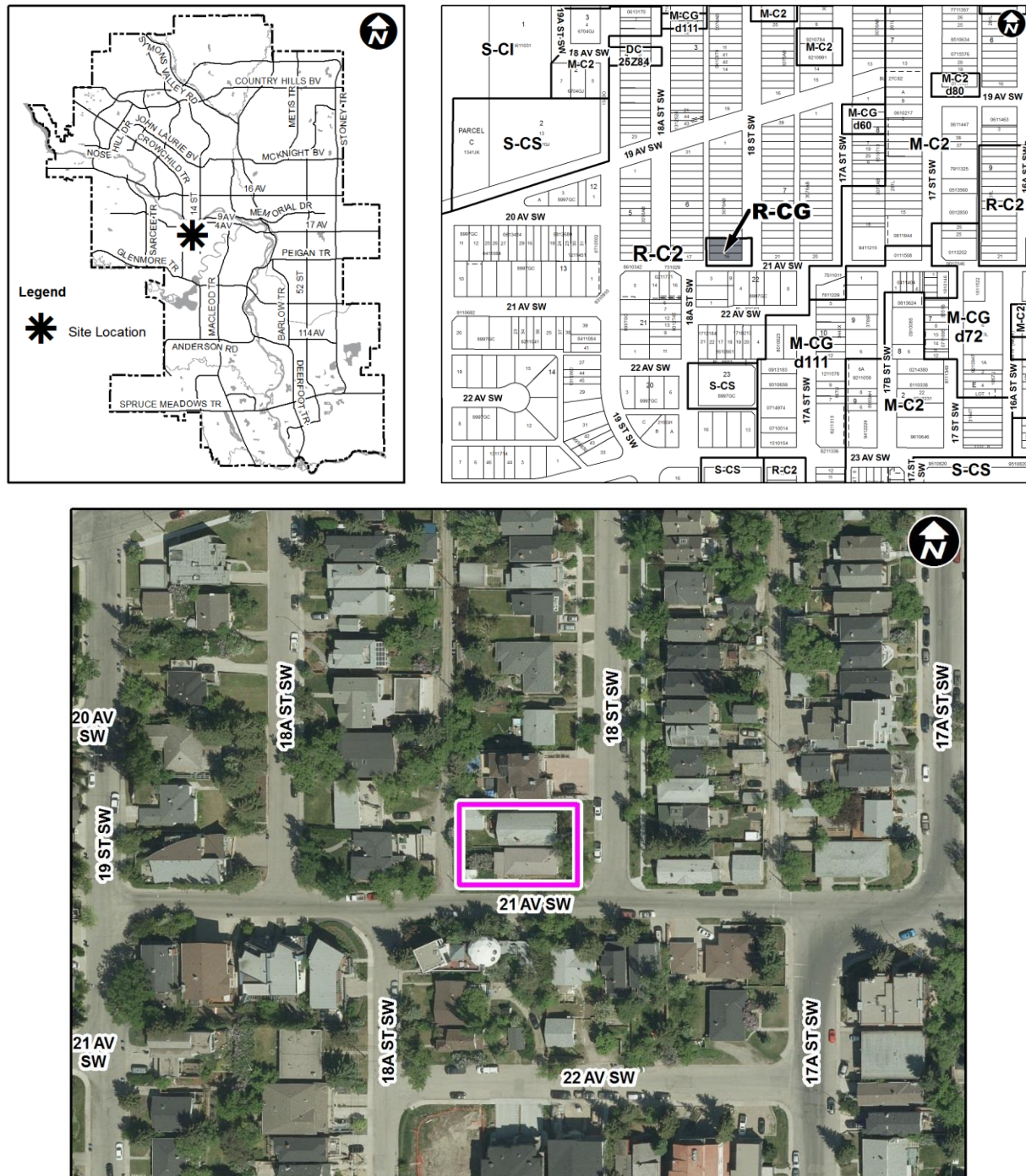
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**BACKGROUND**

This application was submitted by the landowner Daniel Quiroga-Rivera on 2018 September 21. No development permit application has been submitted at this time. However, as noted in the Applicant's Submission (Attachment 1), the applicant intends to develop three to four rowhouse dwelling units.

**Policy Amendment and Land Use Amendment in Bankview (Ward 8) at 2133 and  
2135 - 18 Street SW, LOC2018-0214**

**Location Maps**



## Policy Amendment and Land Use Amendment in Bankview (Ward 8) at 2133 and 2135 - 18 Street SW, LOC2018-0214

### Site Context

The subject site is located in the community of Bankview at the southwest corner of 21 Avenue SW and 18 Street SW. Surrounding development is characterized by a mix of single and semi-detached homes. The predominant land use in the immediate area is Residential – Contextual One / Two Dwelling (R-C2) District.

The site is approximately 0.08 hectares in size with approximate dimensions of 23 metres by 34 metres. The site slopes down from the southwest corner towards the northeast corner of the site. A rear lane exists along the west edge of the site. The property is currently developed with two one-storey single detached dwellings and a detached garage accessed from the lane.

As identified in *Figure 1*, the community of Bankview has seen a slight decline in population since 1981.

*Figure 1: Community Peak Population*

<b>Bankview</b>	
Peak Population Year	1981
Peak Population	5,590
2017 Current Population	5,090
Difference in Population (Number)	-500
Difference in Population (Percent)	-8.9%

Source: *The City of Calgary 2017 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Bankview](#) community profile.

### INVESTIGATION: ALTERNATIVES AND ANALYSIS

The proposal allows for a range of building types that have the ability to be compatible with the established building form of the existing neighbourhood. Subject to the minor amendment to the ARP proposed in this report, the proposal generally meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

### Planning Considerations

#### *Land Use*

The existing Residential – Contextual One / Two Dwelling (R-C2) District is a residential designation in developed areas that is primarily for single detached, semi-detached and duplex homes. Single detached homes may include a secondary suite. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units.

## **Policy Amendment and Land Use Amendment in Bankview (Ward 8) at 2133 and 2135 - 18 Street SW, LOC2018-0214**

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The proposed Residential – Grade-Oriented Infill (R-CG) District allows for two to three storey (11 metres maximum height) rowhouse developments where one façade of each dwelling unit must directly face a public street. The district provides for a maximum density of 75 units per hectare which would enable up to five dwelling units on the subject site. The R-CG District also allows for a range of other low-density housing forms such as single detached, semi-detached, duplex dwellings and secondary suites.

The R-CG District also allows for a range of other low-density housing forms such as single detached, semi-detached and duplex dwellings. Secondary suites (one backyard suite or secondary suite per unit) are also allowable in R-CG developments. Secondary suites do not count against allowable density and do not require motor vehicle parking stalls in the R-CG district provided the suites are below 45 square metres in size, are located within 600 meters of frequent transit, and storage is provided for bikes, strollers or similar.

### ***Development and Site Design***

The rules of the proposed R-CG District provide basic guidance for the future site development including appropriate uses, height and building massing, landscaping and parking.

### ***Environmental***

There are no environmental concerns associated with the site or this proposal.

### ***Transportation***

Pedestrian and vehicular access to the site is available from 21 Avenue SW, 18 Street SW and the rear lane. The area is served by Calgary Transit bus service with stops located within 100 metres of the site on 17a Street SW and providing service to Westbrook LRT and downtown. The site is also within 200 metres of the Primary Transit Network along 17 Avenue SW. On-street parking is non-restricted on 18 Street SW and no parking is permitted on the north side of 21 Avenue SW. A Transportation Impact Assessment was not required as part of this application.

### ***Utilities and Servicing***

Water, sanitary and storm sewer mains are available and can accommodate the potential redevelopment of the subject site without the need for off-site improvements at this time. Individual servicing connections as well as appropriate stormwater management will be considered and reviewed at development permit stage.

### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

## **Policy Amendment and Land Use Amendment in Bankview (Ward 8) at 2133 and 2135 - 18 Street SW, LOC2018-0214**

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Administration received a letter of no objection to the application from the Bankview Community Association (Attachment 2).

Administration received four letters in support and two letters in opposition to the application. Reasons stated for opposition are summarized below:

- Increase in traffic, and parking issues; and
- Reduced privacy on neighbouring property.

Administration considered the relevant planning issues specific to the proposed redesignation and has determined the proposal to be appropriate. The design compatibility of discretionary uses with respect to the surrounding neighbourhood and parking requirements will be reviewed at the development permit stage.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory – 2014)***

The site is located within the City, Town area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

#### ***Municipal Development Plan (Statutory – 2009)***

The subject parcel is located within the Residential - Developed - Inner City area as identified on Map 1: Urban Structure in the *Municipal Development Plan* (MDP). The applicable MDP policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and rowhousing. The MDP also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit.

The proposal is in keeping with relevant MDP policies as the rules of the R-CG District provide for a development form that may be sensitive to existing residential development in terms of height, built form and density.

#### ***Bankview Area Redevelopment Plan (Statutory – 1986)***

The subject parcel is located within the Conservation area as identified on Figure 2: Land Use Policy in the ARP. The Land Use Policy area is intended for low-density developments in the form of single detached, semi-detached, and duplex dwellings. To accommodate the proposed R-CG District, a minor amendment to Figure 2 is required to change the land use category of the subject site to Conservation and Infill (Attachment 3).

**Policy Amendment and Land Use Amendment in Bankview (Ward 8) at 2133 and 2135 - 18 Street SW, LOC2018-0214**

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**Social, Environmental, Economic (External)**

The recommended land use allows for a wider range of housing types than the existing R-C2 District and as such, the proposed change may better accommodate the housing needs of different age groups, lifestyles and demographics.

**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposal is in keeping with applicable policies of the *Municipal Development Plan*. The proposed R-CG District was designed to be implemented in proximity to or directly adjacent to low-density residential development. The proposal represents a modest density increase of an inner-city parcel of land and allows for development that has the ability to be compatible with the character of the existing neighbourhood.

**ATTACHMENT(S)**

1. Applicant's Submission
2. Community Association Letter
3. Proposed Amendment to the Bankview Area Redevelopment Plan





## Applicant's Submission

Page 1 of 2

Land Use Re-Designation – Reasons for applying

**Daniel Quiroga** April 15, 2018

2133 18TH Street  
Calgary, AB  
T2T 4T3  
PH. 587-998-6781

**RE: Land Use Re-designation of 2133 and 2135 18Th Street SW from R-C2 to R-CG**

To whom it may concern,

Five years ago me and my wife purchased our home in Bankview with the dream of establishing in an inner city neighborhood of a thriving city like Calgary. Shortly after we moved in we discovered severe issues with the foundation of our house when our basement flooded as a result of the heavy rains the city experienced during the summer of 2013. It was then when we started looking for alternatives to improve and develop our property.

I am applying to the R-CG zoning because I noticed there is a gap in the step-up of zoning in our neighborhood. In Bankview we can find RC1 (one house per lot), RC2 (two units per lot) and M-CG (apartment buildings) however, there are barely any row house building units. This type of housing is slightly more affordable than other infill inner-city housing and gives the possibility to young families like mine to live in a great community, with good schools and with close proximity to the downtown core. Finally, this project is also in line with the 'City of Calgary' Municipal Development Plan to have a better urban compact form, increase density in inner city communities and fill the gap between RC2 and MC1 and at the same time providing more affordable housing.

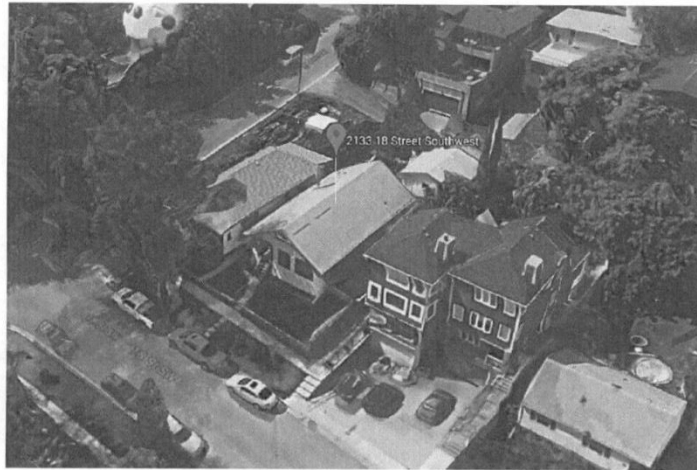
I would like to develop a beautiful 3(4) unit row house building with landscaping, vegetation and parking off the laneway. We love the Bankview area and plan to live in one of the units once complete and therefore I am motivated to make the impact on the neighborhood a positive attribute for many years to come. I am the owner of both of these adjacent properties and currently live at 2133 18th street. The two houses currently located on the properties are severely deteriorated and unattractive. Also note that the neighbor to the north has already built a semi-detached set of houses.

I realize that the grade is sloping in the surrounding area and so I plan to have a proper ground water drainage plan as part of my development permit. See image below of the two properties next to the corner where I want to build the row houses.

Daniel Quiroga,

## Applicant's Submission

Page 2 of 2



## Community Association Letter

To whom it may concern,

The Bankview Development Committee has reviewed the Land Use Amendment from R-C2 to R-CG proposed at 2133 18 St SW. Upon review the committee has no objection to the proposed re-designation. However we do have suggestions that should be taken into consideration as this development moves forward:

- Would like to see an accompanying Development Permit Application
- There is concern regarding parking access and the committee thinks it should be from the lane not from the street.

Sincerely,

Development Committee  
**Bankview Community Association**



## Proposed Amendment to the Bankview Area Redevelopment Plan

**WHEREAS** it is desirable to amend the Bankview Area Redevelopment Plan Bylaw 13P81, as amended;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the *Municipal Government Act*, R.S.A. 2000, c.M-26, as amended:

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

1. The Bankview Area Redevelopment Plan attached to and forming part of Bylaw 13P81, as amended, is hereby further amended as follows:
  - (a) Amend Figure 2 entitled 'Land Use Policy' by changing 0.08 hectares  $\pm$  (0.19 acres  $\pm$ ) located at 2133 and 2135 – 18 Street SW (Plan 3076AB, Block 6, Lots 14-16) from 'Conservation' to 'Conservation and Infill', as generally illustrated in the sketch below:

### Bankview Area Redevelopment Plan

Fig. 2

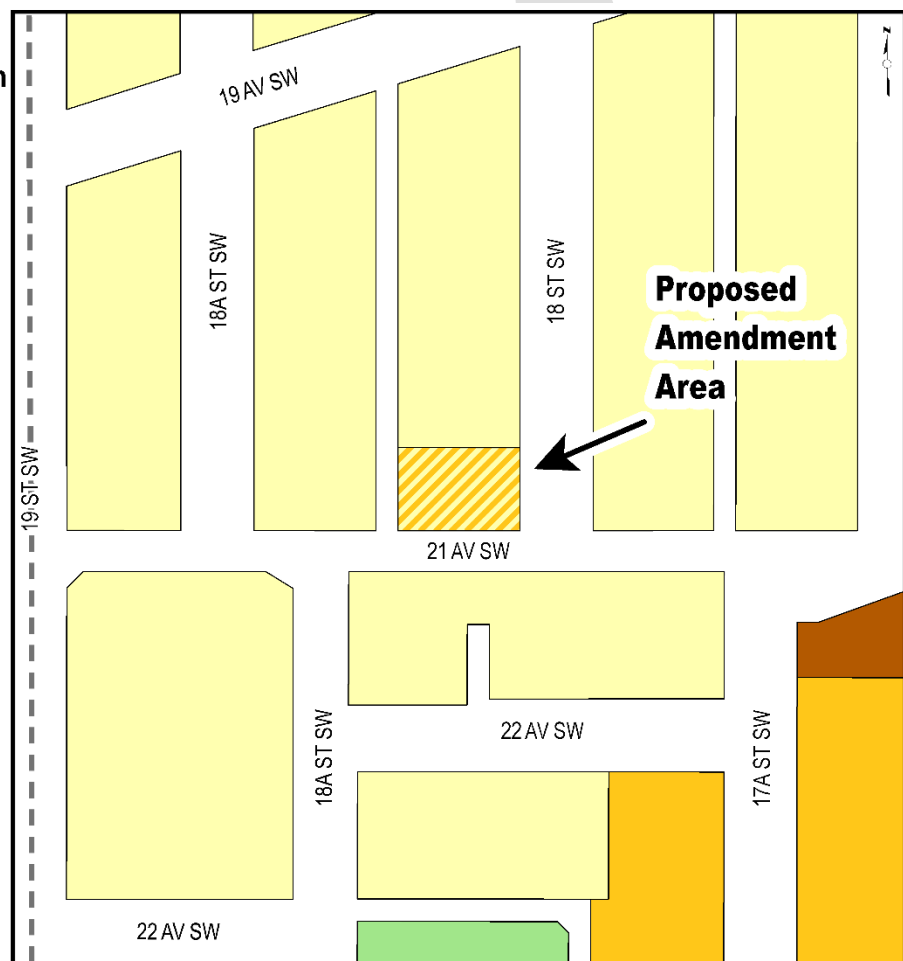
#### Land Use Policy

##### Legend

- Study Area Boundary
- Conservation
- Conservation and Infill
- Medium Low Density
- Medium Density
- Park School and Recreation

0 50  
Metres

This map is conceptual only. No measurements of distances or areas should be taken from this map.





## Policy Amendment (City Initiated) – Banff Trail Area Redevelopment Plan (Ward 7)

### EXECUTIVE SUMMARY

The *Banff Trail Area Redevelopment Plan* (ARP) currently contains policy to preserve a number of blocks of land adjacent to the Crowchild Trail and 24 Avenue NW intersection for potential future improvements to Crowchild Trail. The Crowchild Trail Study ultimately determined that these additional lands will not be required and, as such, Council directed Administration to update affected ARPs. This report proposes Administration-initiated housekeeping amendments to the Banff Trail ARP to:

- remove the ‘Special Study Area’ from the Land Use Plan map in the ARP; and
- remove the policy referring to this ‘Special Study Area’ from the ARP.

The ARP amendment was initiated by Administration in response to direction from Council through the Crowchild Trail Study recommendations.

#### **ADMINISTRATION RECOMMENDATION:**

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed amendments to the Banff Trail Area Redevelopment Plan (Attachment 1); and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

At its meeting on 2017 May 08, Council adopted the recommendations in the Crowchild Trail Study – Final Report, TT2017-0329, including the following recommendation:

4. Direct Administration to bring updates to affected Area Redevelopment Plans (ARPs) to align with the Crowchild Trail Study;

### BACKGROUND

On 2016 October 05, Council approved amendments to the *Banff Trail Area Redevelopment Plan* to identify areas which would be appropriate for modest redevelopment and to update relevant ARP policy to allow for this redevelopment. The amendments also included the provision of a Special Study Area that was intended to recognize the work that was being undertaken as part of the Crowchild Trail Study and preclude changes to land use within this area until the completion of the Study.

On 2017 May 08, Council approved the recommendations of the Crowchild Trail Study Final Report (TT2017-0329). These recommendations included direction for Administration to bring updates to affected Area Redevelopment Plans so that they would align with the results of the Study.

**Planning & Development Report to  
Calgary Planning Commission  
2018 November 29**

**ISC: UNRESTRICTED  
CPC2018-1336  
Page 2 of 5**

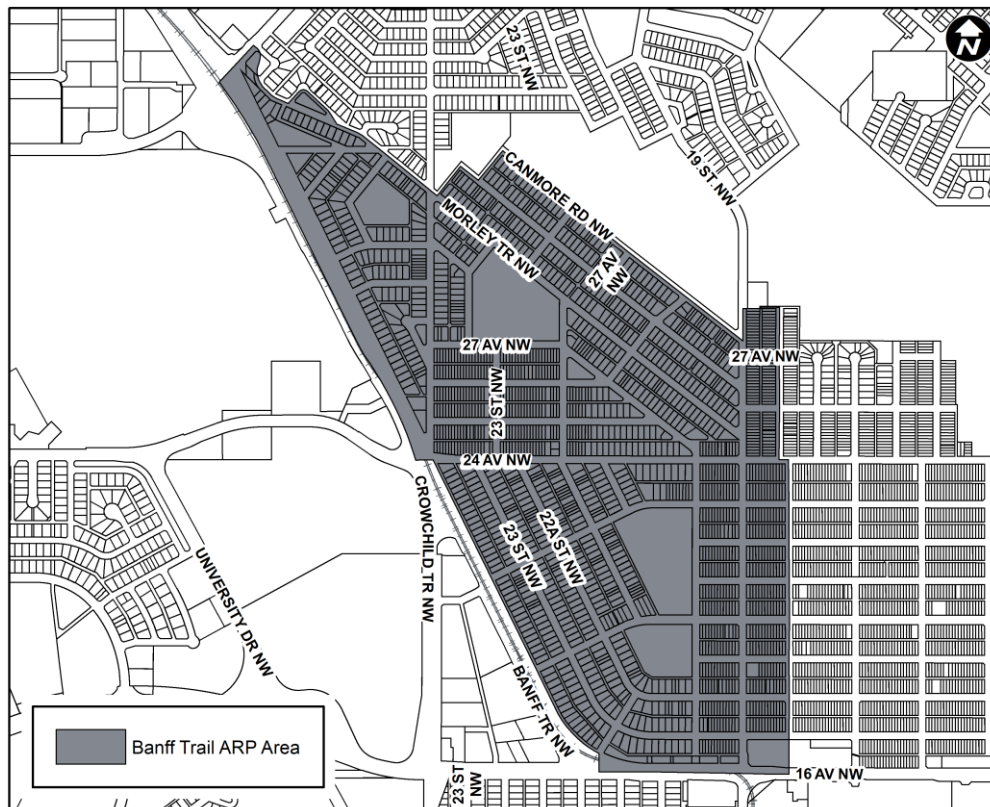
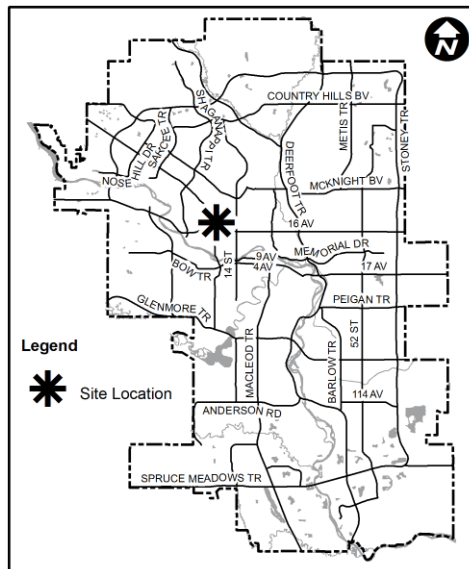
**Policy Amendment (City Initiated) - Banff Trail Area Redevelopment Plan (Ward 7)**

Administration has reviewed all the affected ARPs and determined that only the Banff Trail ARP requires amendments at this time in order to ensure alignment with the results of the Crowchild Trail Study.



## Policy Amendment (City Initiated) - Banff Trail Area Redevelopment Plan (Ward 7)

### Location Maps



## **Policy Amendment (City Initiated) - Banff Trail Area Redevelopment Plan (Ward 7)**

### **Site Context**

The community of Banff Trail is located in the northwest quadrant of the City, just east of the LRT right-of-way and Crowchild Trail NW and north of 16 Avenue NW. The Special Study Area is focused around the intersection of Crowchild Trail NW and 24 Avenue NW as this area had the potential to be impacted by any infrastructure improvements.

### **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

The proposed amendments will respond to Council direction and allow for redevelopment to take place in alignment with the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

### **Stakeholder Engagement, Research and Communication**

Administration notified the Banff Trail Community Association of the proposed amendments. No comments were provided on the amendments.

Following Calgary Planning Commission, notification for the date of the Public Hearing will be advertised.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory, 2014)***

This area is located within the 'City, Town' area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan (SSRP)*. While the SSRP makes no specific reference to this area, the amendments are consistent with policies on Land Use Patterns.

#### ***Municipal Development Plan (Statutory, 2009)***

The community of Banff Trail is largely located within the Developed Residential – Inner City Area as identified on Map 1 Urban Structure, of the Municipal Development Plan (MDP).

The proposed housekeeping amendments to the ARP are in keeping with MDP policies.

#### ***Banff Trail Area Redevelopment Plan (Statutory, 1986)***

The *Banff Trail Area Redevelopment Plan (ARP)* was adopted in 1986 and has been amended over the years including the Council directed amendments in 2016. The purpose of the 2016 amendments was to identify areas which would be appropriate for modest redevelopment and to update relevant ARP policy to allow for this redevelopment. As part of the same amendments a Special Study Area was identified around the intersection of 24 Avenue NW and Crowchild Trail NW to recognize the work that was being undertaken as part of the Crowchild Trail Study. While the ARP amendments supported more intensive development around this intersection, it was recognized that the Crowchild Trail Study could impact roads and adjacent properties in the

### **Policy Amendment (City Initiated) - Banff Trail Area Redevelopment Plan (Ward 7)**

area. The Special Study Area policy recommended that no changes to land use take place within this area until the completion of the Crowchild Trail Study.

With the completion of The Crowchild Trail Study it was determined that these additional lands will not be required and that the Special Study Area could be removed.

#### **Social, Environmental, Economic (External)**

The proposed amendments would allow more intensive redevelopment for those parcels affected by the Special Study Area and as such, this area may better accommodate the housing needs of different age groups, lifestyles and demographics within walking distance of an LRT Station.

#### **Financial Capacity**

##### ***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

##### ***Current and Future Capital Budget:***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

#### **Risk Assessment**

There are no significant risks associated with this proposal.

#### **REASON(S) FOR RECOMMENDATION(S):**

The proposed amendments to the *Banff Trail Area Redevelopment Plan* remove the Special Study Area that is no longer required and allows for development of the affected lands in alignment with the Area Redevelopment Plan policies and the *Municipal Development Plan*.

#### **ATTACHMENT(S)**

1. Proposed Amendments to the Banff Trail Area Redevelopment Plan



**Proposed Amendment to the Banff Trail Area Redevelopment Plan**

**WHEREAS** it is desirable to amend the Banff Trail Area Redevelopment Plan Bylaw 7P86, as amended;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the *Municipal Government Act, R.S.A. 2000, c.M-26*, as amended:

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

1. The Banff Trail Area Redevelopment Plan attached to and forming part of Bylaw 7P86, as amended, is hereby further amended as follows:
  - (a) Amend Figure 2 entitled 'Land Use Plan', by removing the 'Special Study Area' from the map and the legend.
  - (b) Under Section 2.1.3 Land Use, delete the subsection entitled 'Special Study Area' in its entirety.



**Planning & Development Report to  
Calgary Planning Commission  
2018 November 29**

**ISC: UNRESTRICTED  
CPC2018-1349  
Page 1 of 9**

## **Development Permit for Multi-Residential Development on 14 Avenue SW east of 14 Street SW in the Beltline (Ward 8), DP2018-2882**

### **EXECUTIVE SUMMARY**

This development permit application was submitted by Battistella Developments on 2018 June 15, on behalf of the landowner Ernest Shymka. The application is for an 18-storey, 177-unit multi-residential tower, located on 14 Avenue SW between 12 Street SW and 14 Street SW, in the Beltline.

The proposed density is achieved through a transfer of heritage density from a proposed Municipal Historic Resource and other bonusing options. The transfer of heritage density (LOC2018-0204) was recommended for approval by the Calgary Planning Commission on 2018 November 01 and is scheduled to be heard by Council on 2019 January 14.

### **ADMINISTRATION RECOMMENDATION:**

That Calgary Planning Commission:

1. **RECEIVE AND ACCEPT** this report and attachments for information; and
2. Recommend the Development Authority, without having to return to Calgary Planning Commission, **APPROVE** Development Permit DP2018-2882 of a New Multi-Residential Development at 1315, 1317, 1319, 1321, and 1323 - 14 Avenue SW (Plan A1, Block 98, Lots 15 to 19), subject to the approval of the bylaw amendment associated with LOC2018-0204 by Council.

### **PREVIOUS COUNCIL DIRECTION / POLICY**

None.

### **BACKGROUND**

This application, submitted by Battistella Developments on 2018 June 15, on behalf of the landowner Ernest Shymka, proposes an 18 storey multi-residential tower with 177 units on the south side of 14 Avenue SW between 12 and 14 Streets SW. The site is also the receiver site in a transfer of heritage density (LOC2018-0204), which the Calgary Planning Commission recommended for approval on 2018 November 1. Details of the proposed design can be found in Attachment 1.

The source site for the transfer of heritage density is the Riviera Apartments (located at the southeast corner of 13 Avenue SW at 9 Street SW) which is recommended to be designated a Municipal Historic Resource subject to Council approval of PUD2018-1311, which will be presented to the Standing Policy Committee on Planning and Urban Development on 2018 December 03 and Council 2018 December 10.

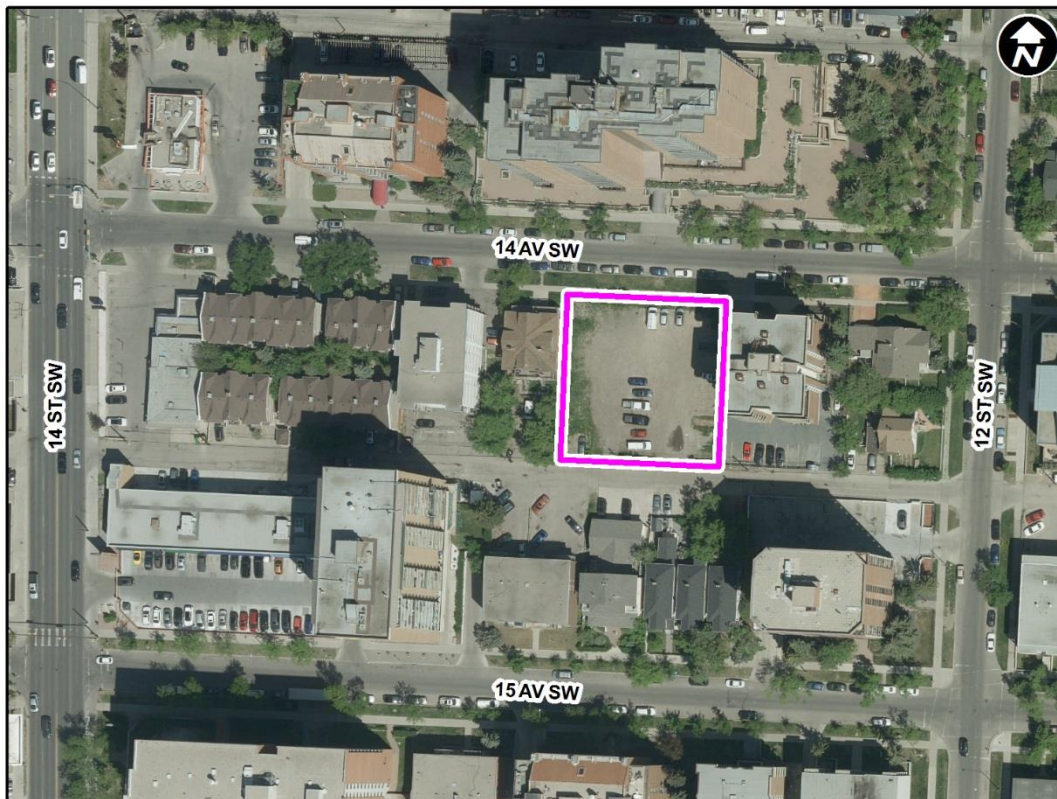
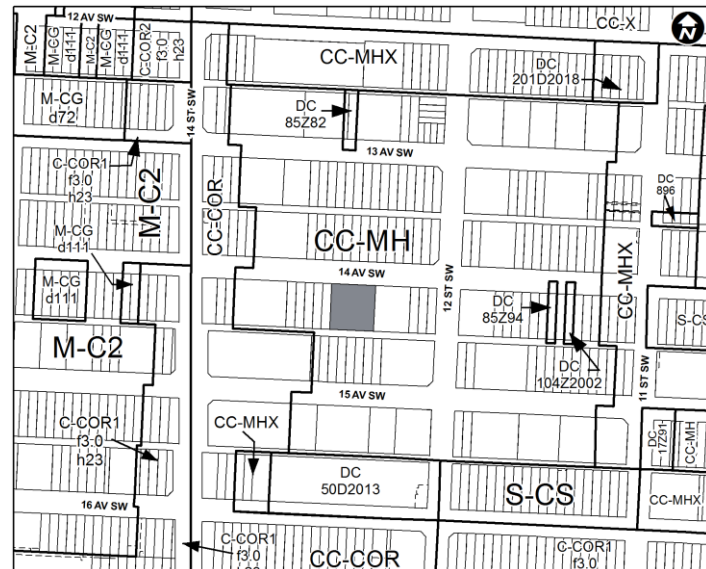
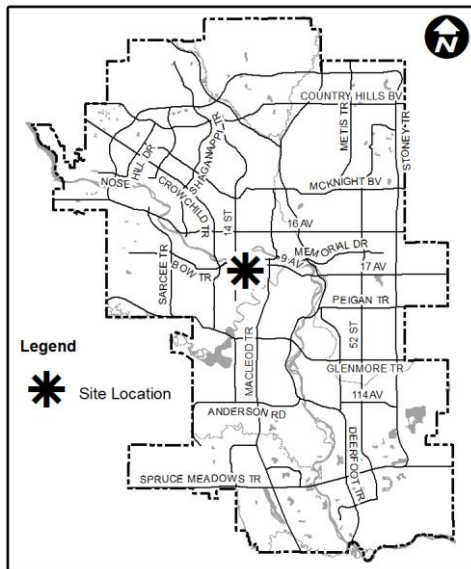
The proposed DC Direct Control guidelines for that heritage density transfer can be found in Attachment 2.

**Planning & Development Report to  
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2018 November 29**

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CPC2018-1349  
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**Development Permit for Multi-Residential Development on 14 Avenue SW east of  
14 Street SW in the Beltline (Ward 8), DP2018-2882**

**Location Maps**





## **Development Permit for Multi-Residential Development on 14 Avenue SW east of 14 Street SW in the Beltline (Ward 8), DP2018-2882**

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### **Site context**

The subject site consists of five vacant parcels currently used as surface parking, located on the south side of 14 Avenue SW, mid-block between 14 and 12 Streets SW. To the east is a nine storey, 34 home multi-residential development (Monticello Estates, circa 1979) with very limited glazing on the west elevation which is 5.5 metres from the property line shared with the subject site; to the west is a semi-detached dwelling (circa 1913) and a six storey, 25 home multi-residential development (Tri Alta Towers, circa 1968); to the south (across the alley), are a multi-residential development (four storeys, 16 homes, circa 1967), a semi-detached dwelling (three storeys, circa 1994), and three subdivided single-detached houses (circa 1911); to the north, across 14 Avenue SW is a 17 storey, 180 home multi-residential development (Chelsea Estates, circa 1980).

## **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

### **Application Review**

#### ***Site and Building Design***

The project, designed by S2 Architecture, includes a single 18 storey tower with 177 units, built above a three level, 110 stall underground parking structure. The 14 Avenue SW frontage includes four ground-oriented mezzanine homes with private, street-oriented amenity spaces, and a larger landscaped setback that leads to the principal entrance. Three additional ground-oriented mezzanine homes front a linear courtyard along the west side of the site. Vehicular access as well as loading, waste, and recycling, are handled from the alley between 14 and 15 Avenues SW.

The principal mass of the building (levels 2-17) consists of an interplay between darker solid and lighter spandrel cladding and glazing, with projecting balconies for all homes. The top of the building is marked by a lighting and art feature and includes a rooftop amenity space with additional landscaped areas. Mechanical spaces on the rooftop are designed to appear as a continuation of the overall building volume.

Details of the proposed design can be found in Attachment 1.

#### ***Urban Design Review***

In addition to review by City Wide Urban Design, the proposal was considered by the Urban Design Review Panel (UDRP). UDRP comments and the applicant's response are available in Attachment 3. The UDRP was generally supportive, however some minor adjustments were made to the design as a result of this review, including:

- Increased podium height and added vertical elements and canopies to give greater distinction to the ground-oriented homes fronting 14 Avenue SW;

## **Development Permit for Multi-Residential Development on 14 Avenue SW east of 14 Street SW in the Beltline (Ward 8), DP2018-2882**

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- Changes to the landscape design to give greater privacy to the amenity spaces along 14 Avenue SW; and
- A larger and more prominent principal entrance.

### ***Transportation Networks***

The proposed development is well-situated in terms of walking, cycling, and transit infrastructure and service. The site's Walk Score (a third party quantitative measure of proximity to services and amenities) is 94 ("walker's paradise"), with virtually all services and southern Alberta's largest employment centre within walking distance.

The site is an 850 metre ( $\pm$  12 minute) walk from the Sunalta LRT station and a 1 kilometre ( $\pm$  13 minute) walk from the Downtown West – Kerby LRT station (in the free fare zone) and the western edge of downtown. The site is within 150 metre of the Primary Transit Network serviced by bus routes on 14 Street SW and 17 Avenue SW.

The application includes 101 resident vehicle parking spaces (133 required) and 18 visitor vehicle parking spaces (18 required). The proposed design provides 178 secure bicycle parking stalls, double the requirement of 89.

A parking study was conducted by a third party professional engineer and the proposed relaxation of the resident parking stall requirement was found to be warranted on the basis of the site's location relative to amenities, services, employment, and transit stations. Although on-street parking on 14 and 15 Avenues SW near the site is currently unmanaged, most other areas of the Beltline and nearby Sunalta have on-street parking managed by pricing, permit, or time limit.

In addition, in order to encourage non-vehicle mobility choices and habits, the applicant will be required to provide a \$250.00 credit for car share, ride share, or taxi and a year's worth of monthly Calgary Transit passes (approximately \$1,260 value) for 32 of the dwelling units that do not have a dedicated vehicle parking stall and were originally required to provide one. Access to the underground parkade, loading, and waste/recycling staging areas are via the alley between 14 and 15 Avenues SW.

### ***Utilities and Servicing***

All utilities and services are available to the subject site. Detailed servicing arrangements are to be confirmed through the Development and Site Servicing Plan (DSSP) process.

### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. The application has been advertised online.

## **Development Permit for Multi-Residential Development on 14 Avenue SW east of 14 Street SW in the Beltline (Ward 8), DP2018-2882**

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The decision made by the Development Authority will be advertised in accordance with the *Municipal Government Act*. As this development permit is for a discretionary use, an appeal may be filed based on the decision on the entire permit, the decision to grant a relaxation (see *Land Use Bylaw 1P2007* section, below), or any of the conditions placed on an approval (Attachment 4).

The applicant met with the Beltline Neighbourhoods Association in December 2017 prior to design and again in November 2018 to review design outcomes.

Ten comments were received from nearby residents; four expressed support for the proposed transfer of heritage density, while six expressed concerns that additional development, particularly with reduced on-site parking, may increase competition for on-street parking and could, through increased housing supply, reduce resale prices for existing homes. The proposed relaxation of the resident parking stall requirement was found to be warranted on the basis of the site's location relative to amenities, services, employment, and transit stations.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory - 2014)***

The recommendation by Administration in this report has considered and is aligned with the policy direction of the *South Saskatchewan Regional Plan (SSRP)* which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

#### ***Municipal Development Plan (Statutory - 2009)***

The subject site falls within the Centre City area as identified on Map 1 of the *Municipal Development Plan (MDP)*. The applicable MDP policies encourage development which is mixed use, high density and employment intensive. The goals for the Centre City are to allow for a vibrant, mixed-use area with neighborhoods that transition from Downtown and development that reflects the scale of the area.

#### ***Centre City Plan (Non-Statutory – 2007)***

The subject site is in the West Connaught neighbourhood and aligns with the policies of section 4.2.8 of the *Centre City Plan*.

#### ***Beltline Area Redevelopment Plan (Statutory – 2007)***

The subject site is considered as primarily residential in the *Beltline Area Redevelopment Plan (ARP)*. The proposal aligns with the intent, objectives, and policies of the *Beltline ARP*. Located in density area A, the proposed development makes use of heritage density transferred from the Riviera Apartments at 13 Avenue SW at 9 Street SW and a \$187,494.88 contribution to the Beltline Community Investment Fund (BCIF). The proposed base density, heritage density transfer, and other bonusing options (BCIF) are summarized in Table 1 below.

**Development Permit for Multi-Residential Development on 14 Avenue SW east of 14 Street SW in the Beltline (Ward 8), DP2018-2882**

**Table 1: Proposed Density**

Category	Density
Base density	5.0 FAR
Heritage density transfer	1.98 FAR
Other bonusing options (BCIF)	0.46 FAR
Total density	7.44 FAR

The proposed interface and landscape along 14 Avenue SW are in line with the Beltline ARP's expectations for a residential street and provide a mix of street-oriented homes and a contextual landscaped setback. The proposed development generally conforms with the building design policies set out in section 6.3. The proposed parking and transportation demand management strategies align with the policies set out in section 7.6.

***Land Use Bylaw 1P2007 (Statutory - 2007)***

The subject parcel is proposed to be a DC Direct Control District based on the Centre City Multi-Residential High Rise District (CC-MH). The proposed development permit application was reviewed against the proposed DC Direct Control District.

Administration identified the following relaxations to the Land Use Bylaw and after review Administration considers each relaxation acceptable. Conditions of Approval can be found in Attachment 4.

<b>Bylaw Relaxations</b>		
<b>Regulation</b>	<b>Standard</b>	<b>Provided</b>
1128 Building Setbacks	(1) The building setback from a property line shared with a street is a minimum of 3.0 metres and a maximum of 6.0 metres	Plans indicate portions of the building are setback 8.08m (+2.08m) from the North property line.  <i>Relaxation granted: proposed landscape and ground floor design achieves a balance between street-oriented rowhouses with usable outdoor space forming appropriate public-private transition as well as creating a more landscaped setback area to align with previous eras of Beltline development.</i>
1126 F.A.R (max.)	(1) The maximum floor area ratio is 5.0	Plans indicate the proposed floor area ratio is 7.73 (+2.73) or 11676.56m <sup>2</sup> (+4126.56m <sup>2</sup> ).  <i>Note: Bonus floor area ratio has not been counted as not enough details have been provided on the plans.</i>

**Development Permit for Multi-Residential Development on 14 Avenue SW east of 14 Street SW in the Beltline (Ward 8), DP2018-2882**

		FAR resolved at 7.44 to include mezzanine floor area and L19 amenity space. Base density is 6.98 FAR based on anticipated approval of LOC2018-0204. Bonus density of 0.46 FAR will be achieved through BCIF contribution.
	(3) The maximum floor area ratio referenced in (1) may be increased in accordance with the bonus provisions contained in Part 11, Division 7	<p>Unable to determine if applicable as not enough details have been provided on the plans.</p> <p><i>Note: Current proposed floor area ratio is 7.73, the maximum allowed with bonus items is 7.0.</i></p> <p>FAR resolved at 7.44 to include mezzanine floor area and L19 amenity space. Base density is 6.98 FAR based on anticipated approval of LOC2018-0204. Bonus density of 0.46 FAR will be achieved through BCIF contribution.</p>
1129 Floor Plate Restrictions	<p>Each floor located partially or wholly above 25.0 metres above grade has a maximum:</p> <p>(b) horizontal dimension of 37.0 metres.</p>	<p>Plans indicate the largest horizontal dimensions for floors located wholly above 25.0 metres is 37.31m (+0.31m).</p> <p>Relaxation granted due to minor nature of variance.</p>
1101 Specific Rules for Landscaped Areas	(2) The maximum hard surfaced landscaped area is 50.0 percent of the required landscaped area.	<p>Plans indicate 61.79% (+11.79%) or 298.59m<sup>2</sup> (+56.99m<sup>2</sup>) of hard surfaced landscaped area provided.</p> <p>Relaxation granted: proposed landscape and ground floor design achieves a balance between street-oriented rowhouses with usable outdoor space forming an appropriate public-private transition.</p>
Parking Stalls (min.)	Requires 133 motor vehicle parking stalls for residents	<p>Plans indicate 97 (-36) motor vehicle parking stalls for residents provided.</p> <p>Relaxation granted due to location and TDM measures including extra bicycle parking, credit for carshare, rideshare, or taxi, and provision of Calgary Transit passes for dwelling units without parking</p>
	Requires 18 visitor parking stalls	Plans indicate 9 (-9) visitor parking stalls provided.

**Development Permit for Multi-Residential Development on 14 Avenue SW east of 14 Street SW in the Beltline (Ward 8), DP2018-2882**

		Relaxation granted due to location and TDM measures including extra bicycle parking, credit for carshare, rideshare, or taxi, and provision of Calgary Transit passes for dwelling units without parking.
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**Social, Environmental, Economic (External)**

The proposed development will allow more Calgarians to choose to live in a location well served by existing infrastructure and close to services, employment, community amenities and transit. Increased development of the subject receiving parcels has the potential to allow for population growth that will support local services and contribute to a livable, diverse and high density urban community.

The use of density transferred from a Municipal Historic Resource contributes to The City's objectives with respect to heritage conservation in the Beltline, through the designation of the Riviera Apartments as a Municipal Historic Resource.

**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed application does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

Subject to the conditions listed, and considering the minor relaxations noted, the application is in alignment with relevant statutory and non-statutory planning policy contained in the *Municipal Development Plan*, *Centre City Plan*, *Beltline Area Redevelopment Plan*, and Land Use Bylaw 1P2007.

The proposed development supports the continued growth of Calgary's Centre City in general and the Beltline communities in particular, allowing more Calgarians the freedom to choose to live in a location well served by existing infrastructure and close to services, employment, community amenities and transit.

**ATTACHMENT(S)**

1. Development Permit Plans
2. Proposed DC Guidelines for LOC2018-0204
3. UDRP Response

**Planning & Development Report to  
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2018 November 29**

**ISC: UNRESTRICTED  
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**Development Permit for Multi-Residential Development on 14 Avenue SW east of  
14 Street SW in the Beltline (Ward 8), DP2018-2882**

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4. Conditions of Approval





## Developments Permit Plans

C A L G A R Y   P L A N I N G   C O M M I S S I O N   -   2 0 1 8 - 1 1 - 2 9



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COVER PAGE

1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB

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1. Development Permit Application	201
2. DTR 01 Response	201
3. CPC Submission	201
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## Design Team

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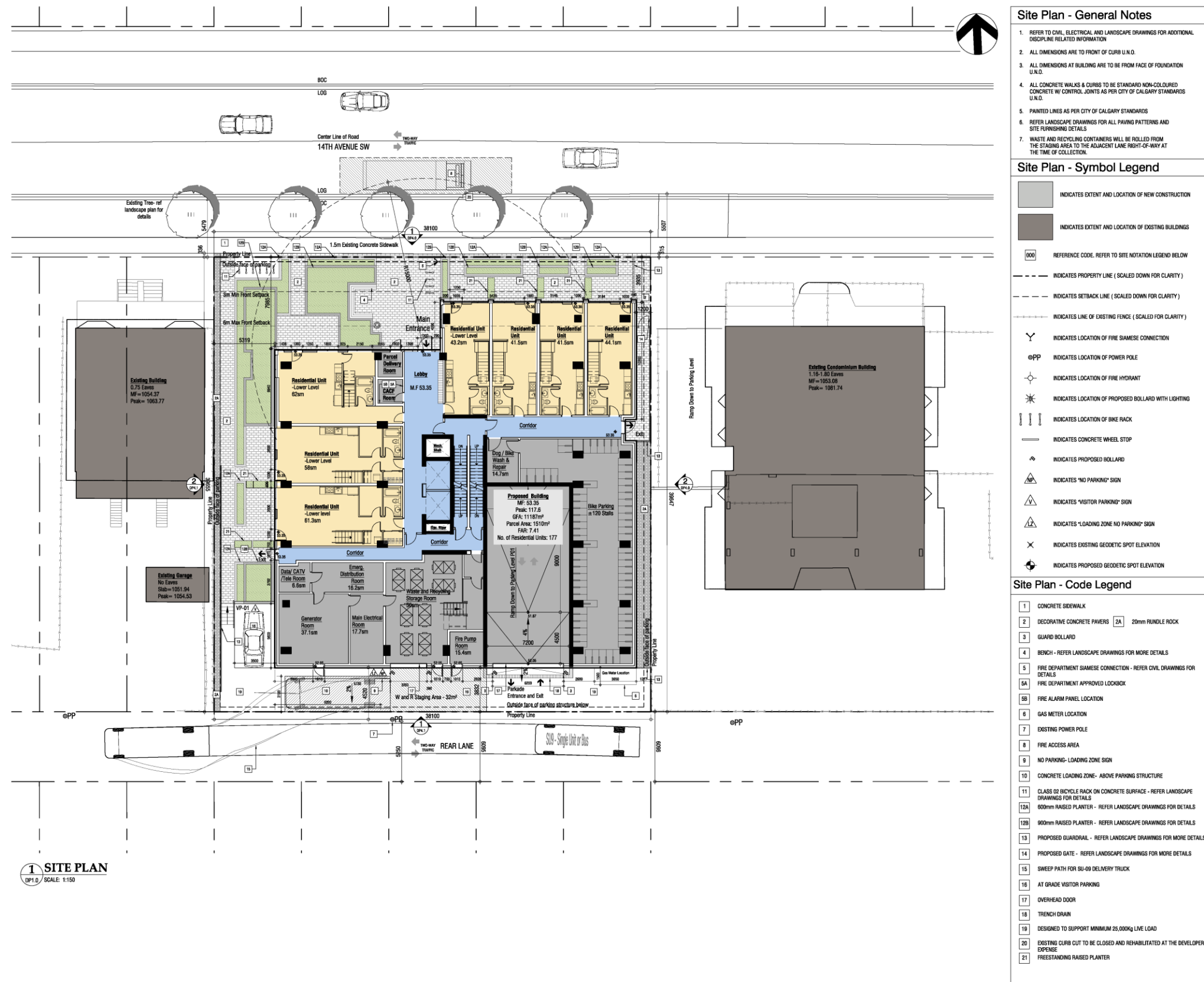
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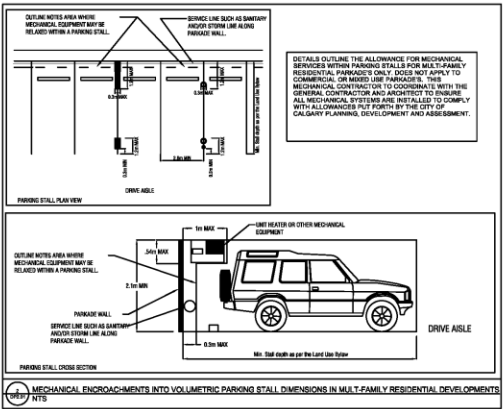
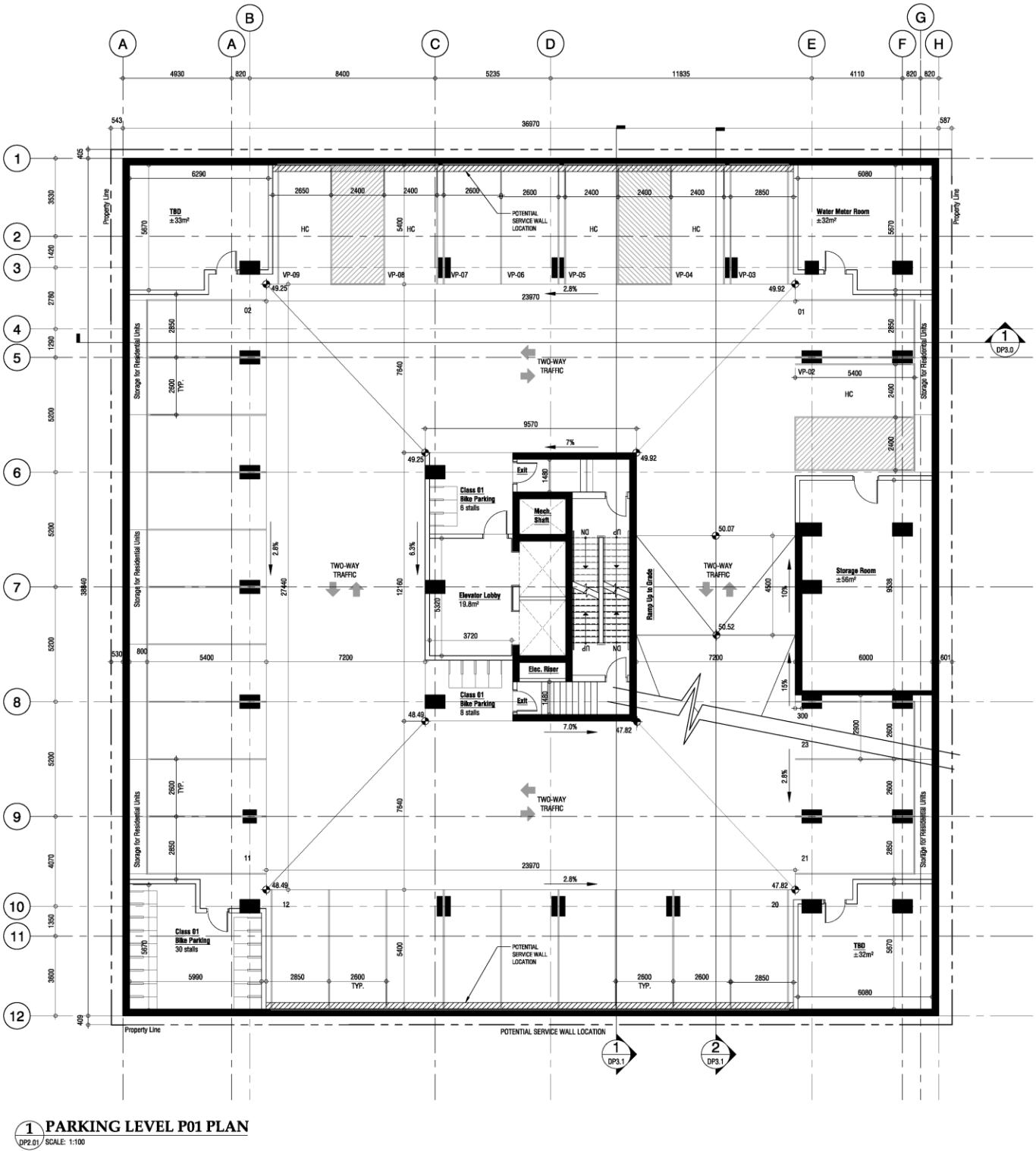
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DP 2.02	PARKING LEVEL P02 PLAN	L2.0	LANDSCAPE PLAN- ROOFTOP AMENITY LEVEL
DP 2.03	PARKING LEVEL P03 PLAN	L3.0	LANDSCAPE PLAN- LEVEL 02
DP 2.1	MAIN FLOOR / LEVEL 01 PLAN	L4.0	LANDSCAPE DETAILS
DP 2.2	LEVEL 02 PLAN		
DP 2.3	TYPICAL LEVEL FLOOR PLAN- LEVEL 03 TO 18		
DP 2.4	MECHANICAL PENTHOUSE & AMENITY LEVEL PLAN		
DP 2.5	ROOF PLAN		
DP 4.0	BUILDING ELEVATIONS		
DP 4.1	BUILDING ELEVATIONS		
DP 6.0	3D IMAGES		
DP 6.1	3D IMAGES		
DP 6.2	3D IMAGES		
DP 6.3	3D IMAGES		

## Developments Permit Plans





Developments Permit Plans





14th Avenue SW Multi-Residential Tower  
Battistella  
217108

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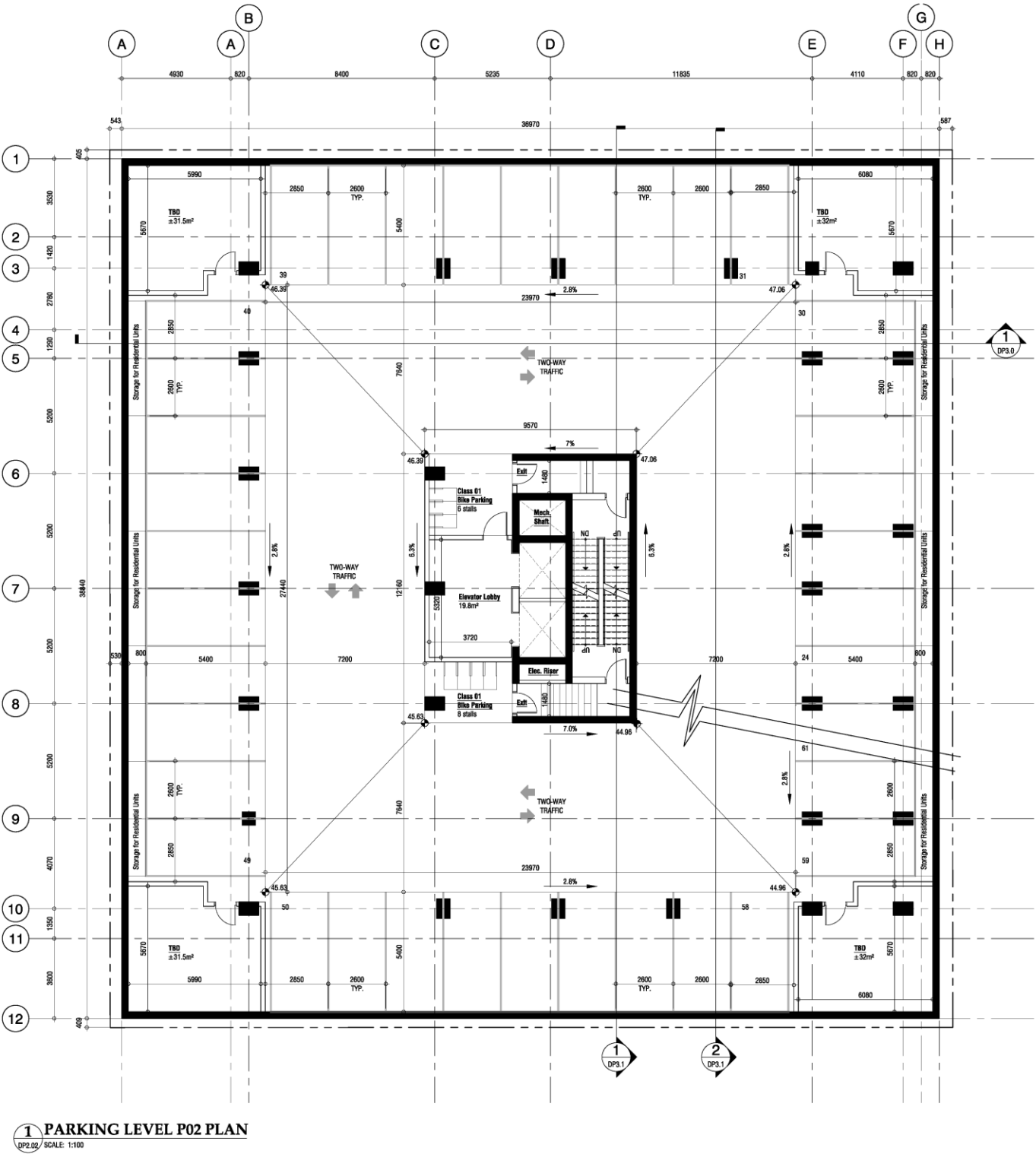
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2. DTR 01 Response	2018-10-10
3. CPC Submission	2018-11-14
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PARKING LEVEL P02 PLAN

1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB

**14th Avenue SW Multi-Residential Tower**

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217186

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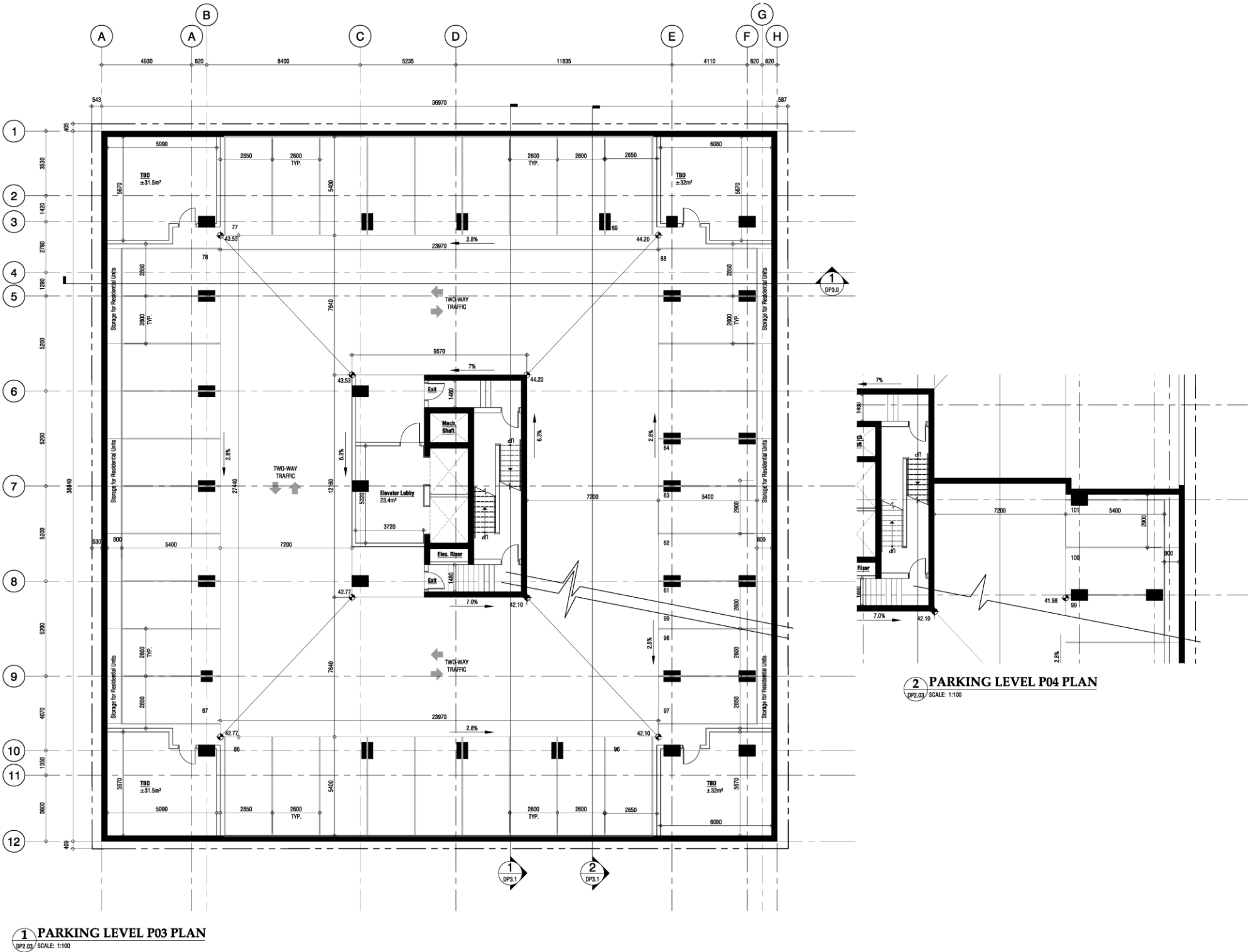
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PARKING LEVEL P03 PLAN

1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB

14th Avenue SW Multi-Residential Tower

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3. CPC Submission	2018-11-14
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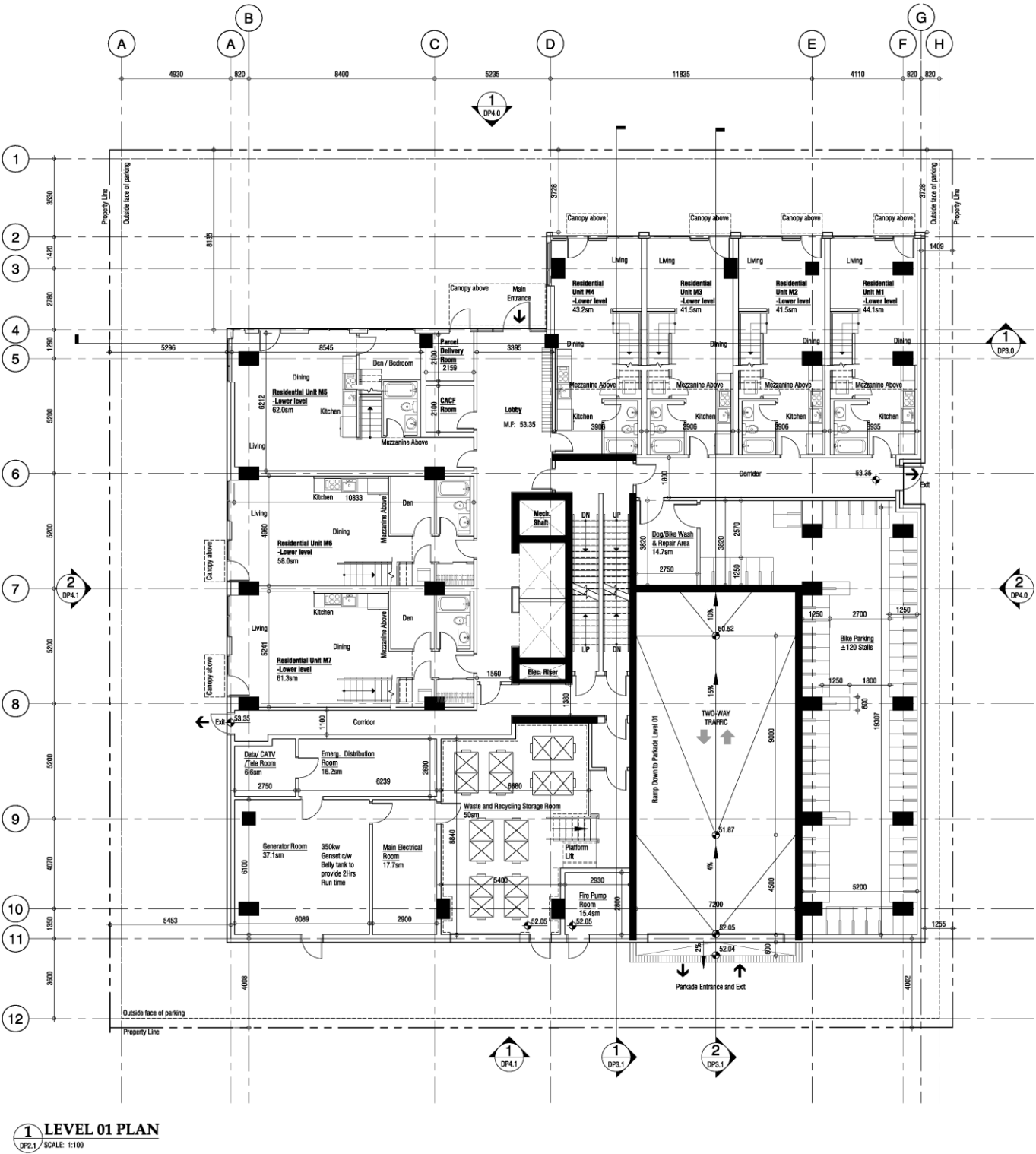
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Developments Permit Plans





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LEVEL 01 PLAN

1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB

14th Avenue SW Multi-Residential Tower

Battistella  
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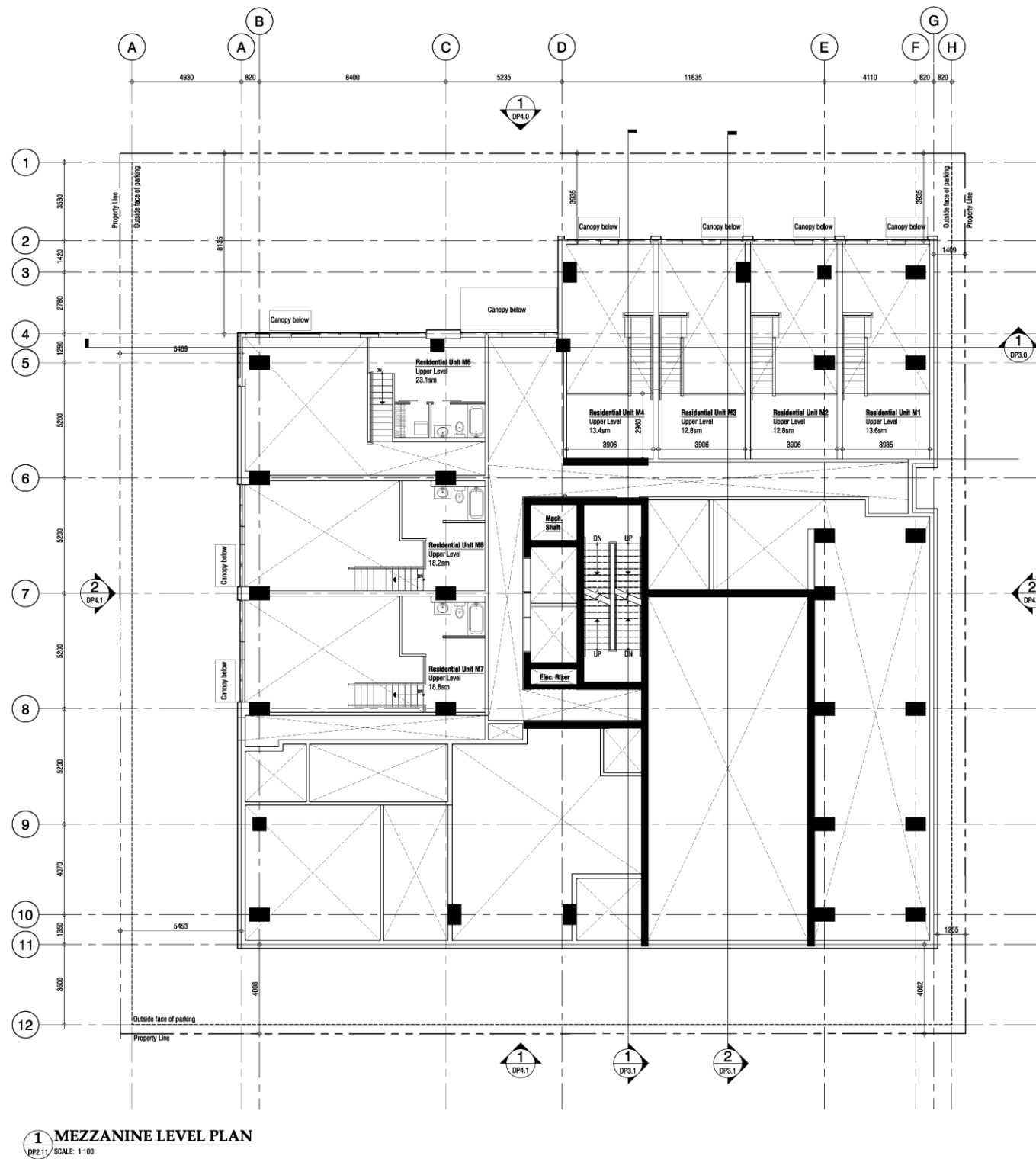
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## Developments Permit Plans



MEZZANINE LEVEL PLAN

1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB

**Battistella**  
217186

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3. CPC Submission	2018-11

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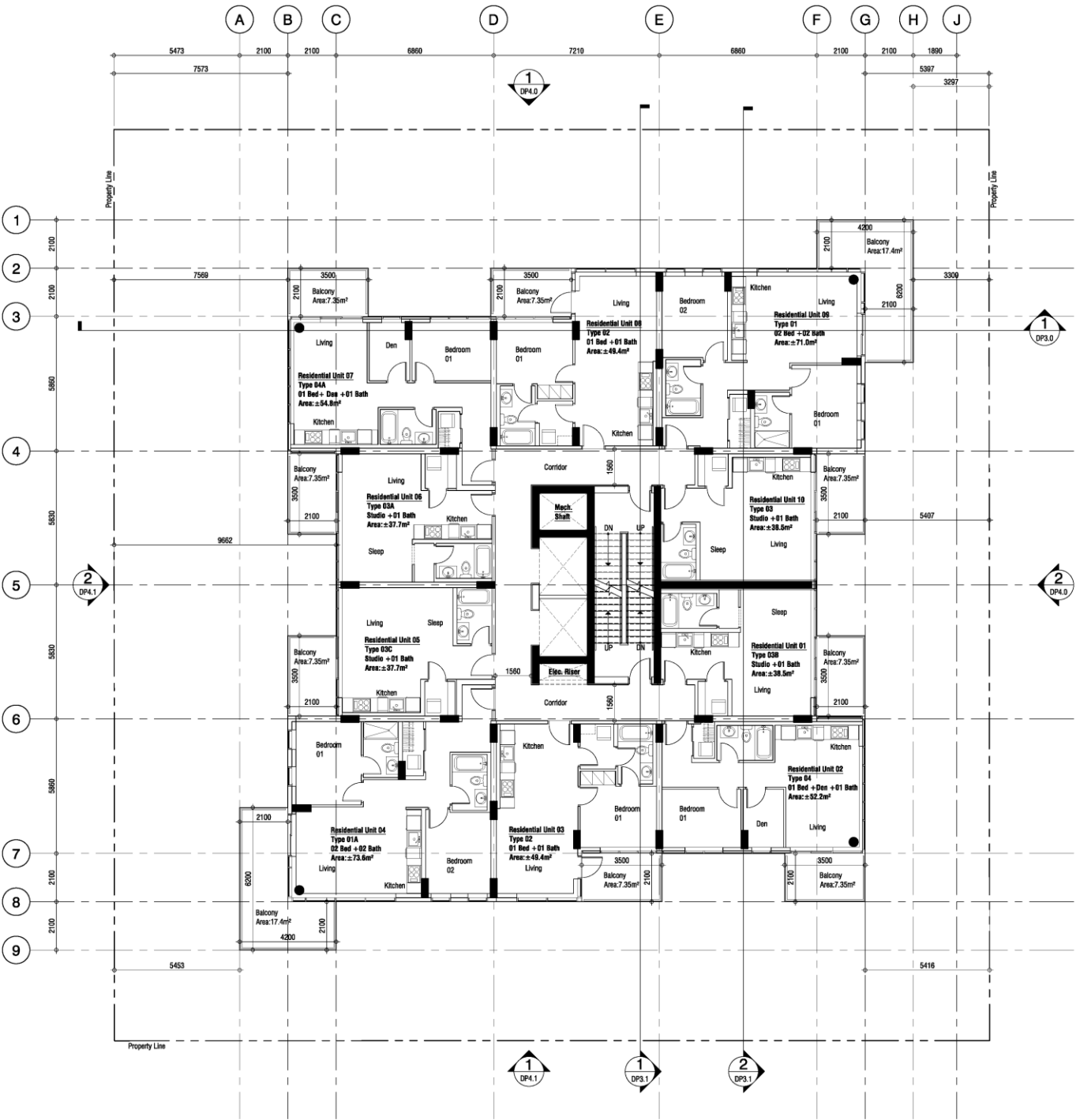
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Developments Permit Plans



**1 LEVEL 3-17 TYPICAL FLOOR PLAN**  
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LEVEL 03-17 TYPICAL FLOOR PLAN

1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB  
**14th Avenue SW Multi-Residential Tower**  
Battistella  
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REVISIONS	DATE
1. Development Permit Application	2018-06-16
2. DTR 01 Response	2018-10-10
3. CPC Submission	2018-11-14
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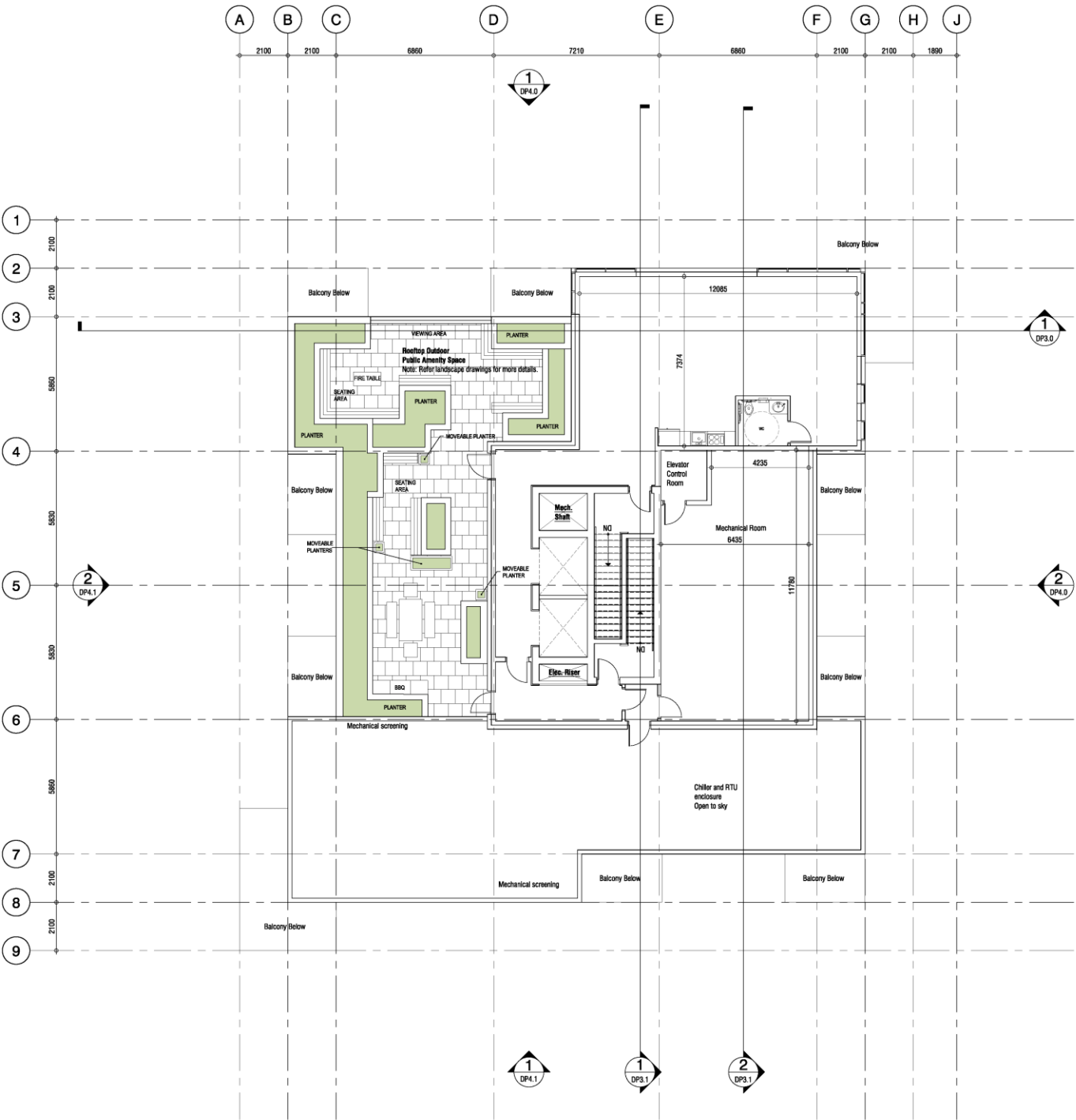
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**DP 2.3**

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Developments Permit Plans



**1 MECH. PENTHOUSE / AMENITY LEVEL PLAN**  
DP2.4 SCALE: 1:100



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MECHANICAL PENTHOUSE / AMENITY LEVEL PLAN

1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB

**14th Avenue SW Multi-Residential Tower**

Battistella  
217108

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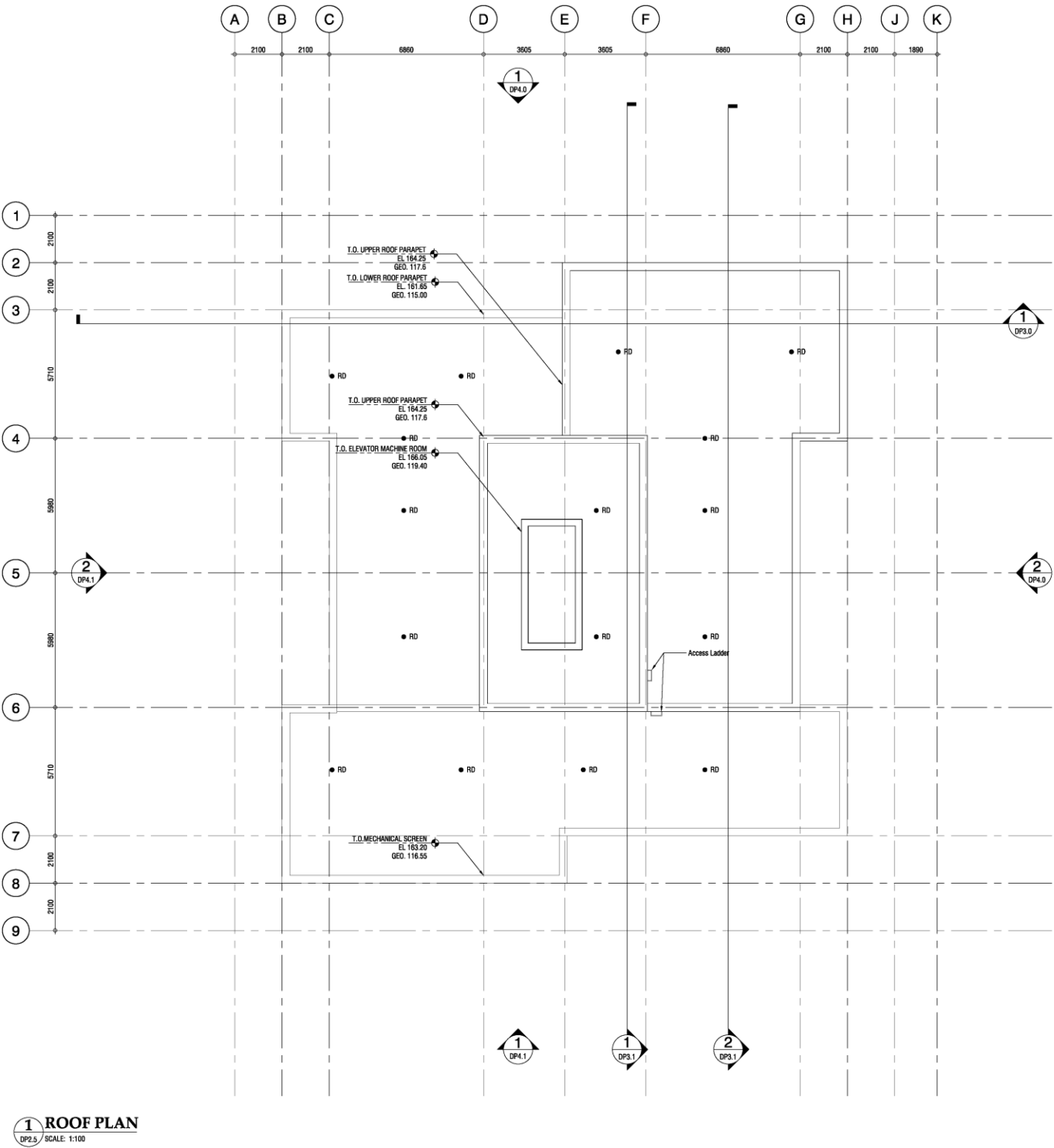
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Developments Permit Plans



1 ROOF PLAN  
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ROOF PLAN

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14th Avenue SW Multi-Residential Tower

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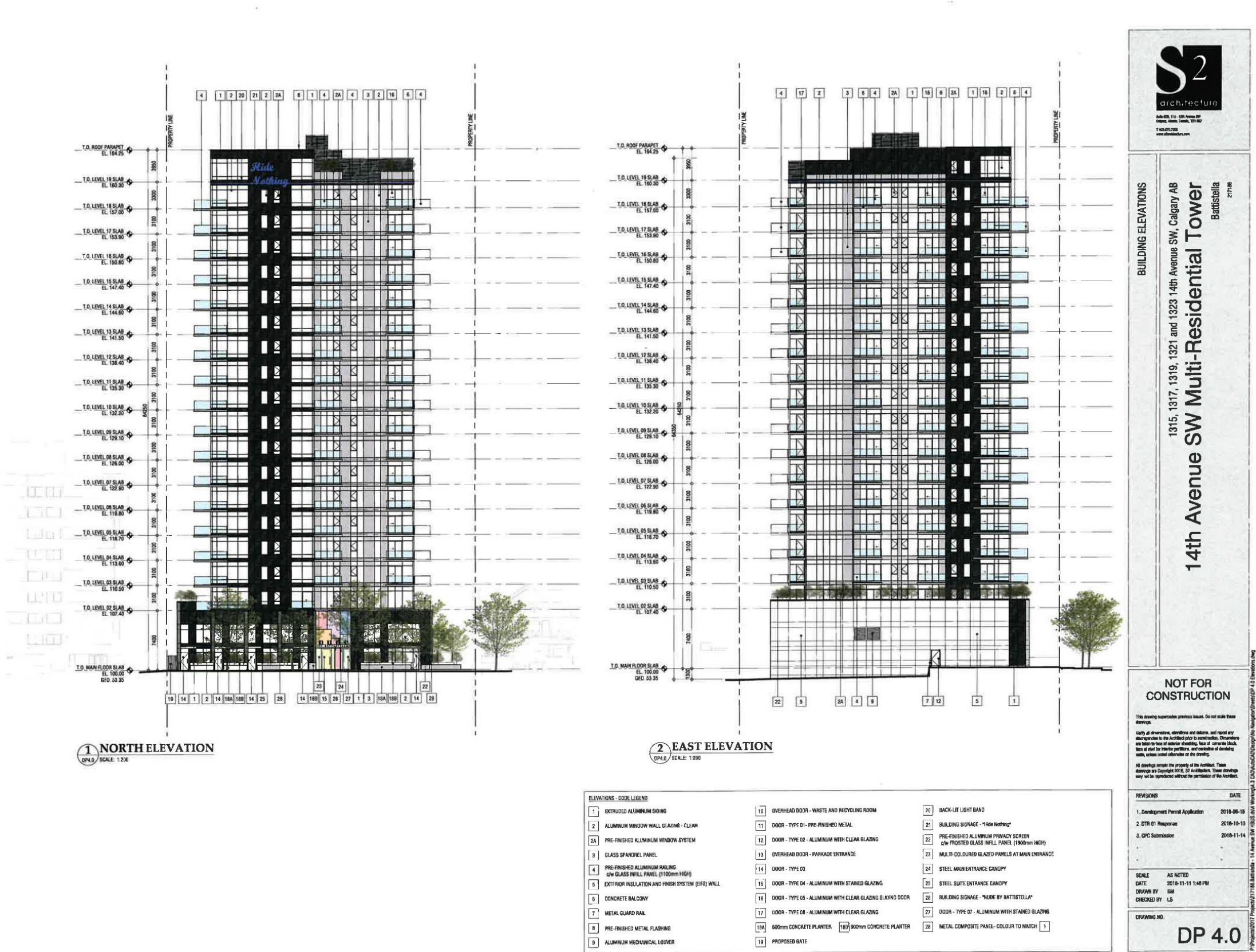
REVISIONS	DATE
1. Development Permit Application	2018-06-15
2. DTR 01 Response	2018-10-10
3. CPC Submission	2018-11-14
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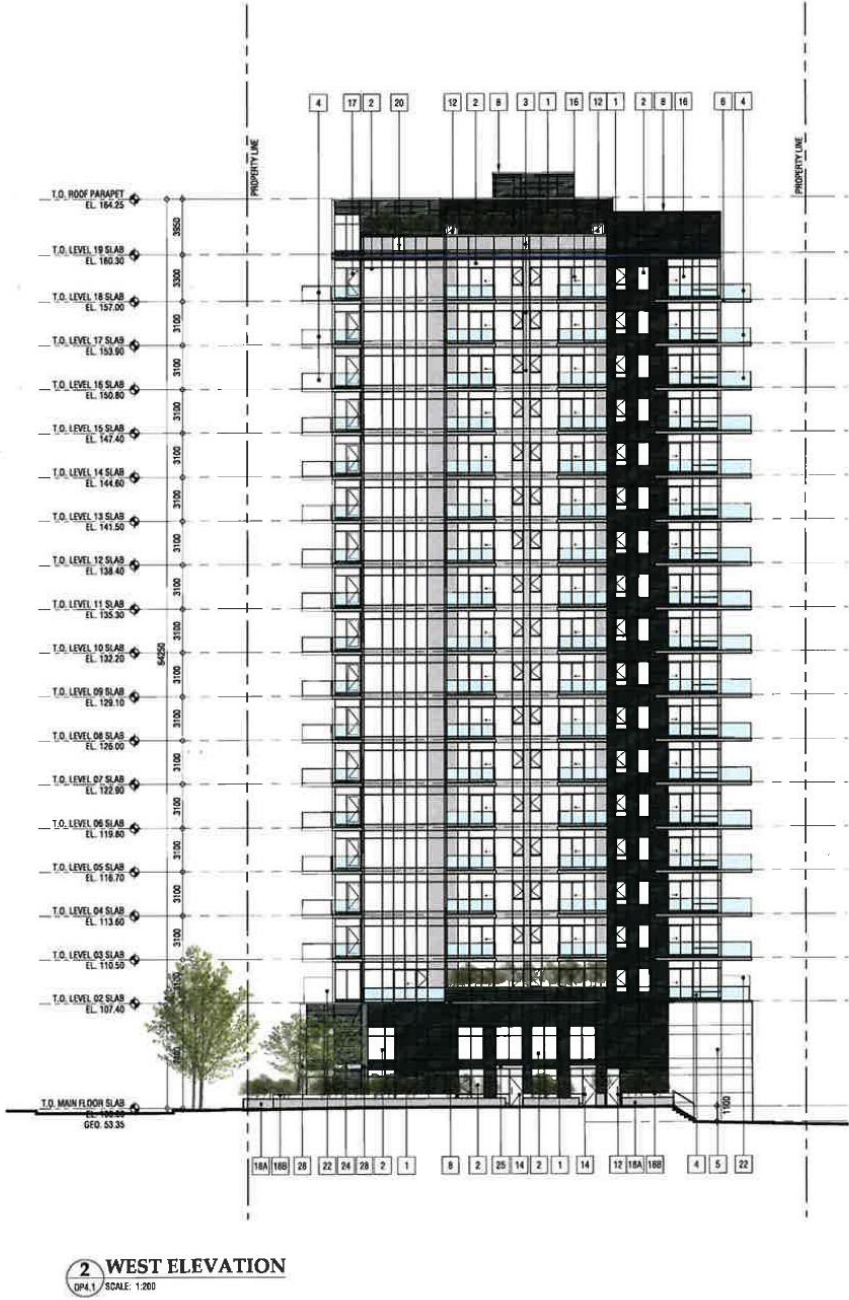
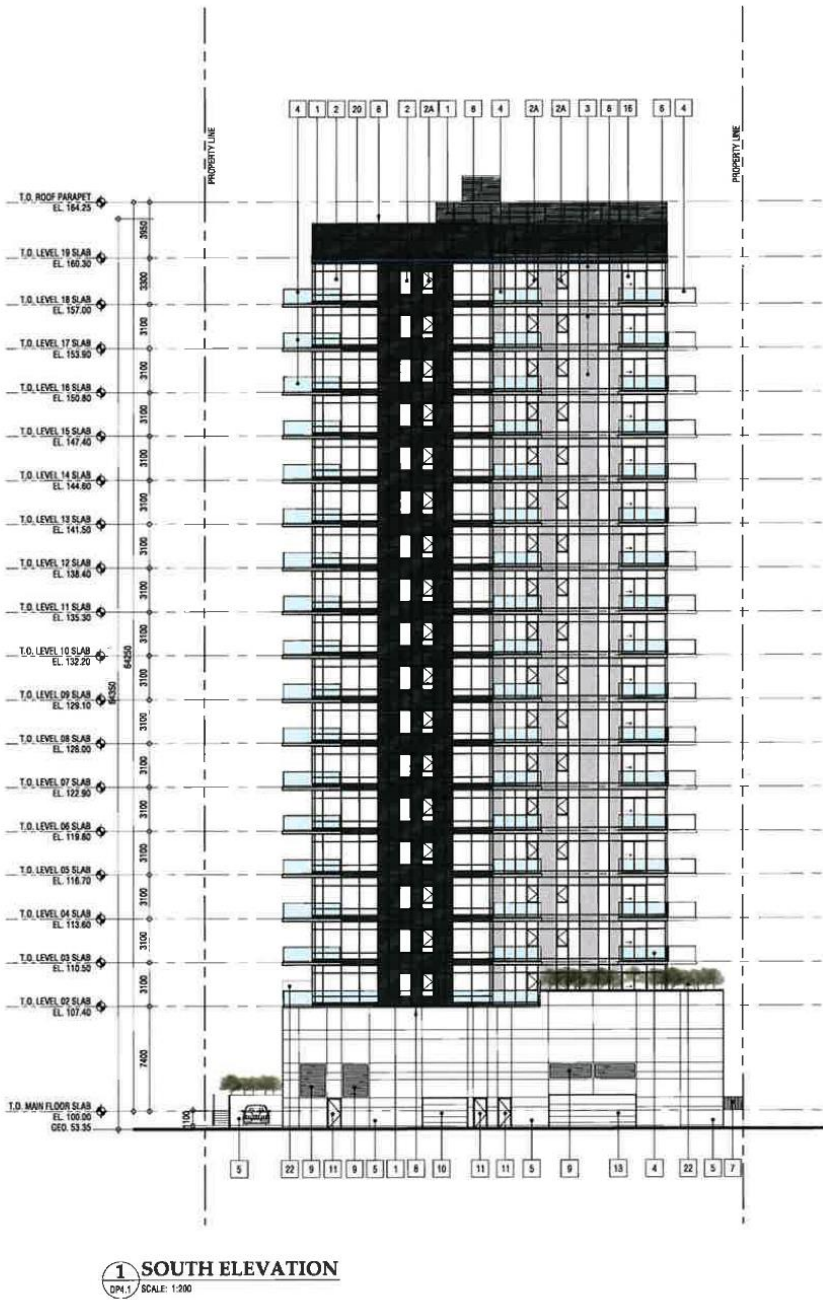
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Developments Permit Plans





Developments Permit Plans



ELEVATIONS - CODE LEGEND					
1	EXTRUDED ALUMINUM SIDING	10	OVERHEAD DOOR - WASTE AND RECYCLING ROOM	20	BACK-LIT LIGHT BAND
2	ALUMINUM WINDOW WALL GLAZING - CLEAR	11	DOOR - TYPE 01- PRE-FINISHED METAL	21	BUILDING SIGNAGE - "Hide Nothing"
2A	PRE-FINISHED ALUMINUM WINDOW SYSTEM	12	DOOR - TYPE 02 - ALUMINUM WITH CLEAR GLAZING	22	PRE-FINISHED ALUMINUM PRIVACY SCREEN c/w FROSTED GLASS INFILL PANEL (1800mm HIGH)
3	GLASS SPANDREL PANEL	13	OVERHEAD DOOR - PARKADE ENTRANCE	23	MULTI-COLOURED GLAZED PANELS AT MAIN ENTRANCE
4	PRE-FINISHED ALUMINUM RAILING c/w GLASS INFILL PANEL (1100mm HIGH)	14	DOOR - TYPE 03	24	STEEL MAIN ENTRANCE CANOPY
5	EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) WALL	15	DOOR - TYPE 04 - ALUMINUM WITH STAINED GLAZING	25	STEEL SUITE ENTRANCE CANOPY
6	CONCRETE BALCONY	16	DOOR - TYPE 05 - ALUMINUM WITH CLEAR GLAZING SLIDING DOOR	26	BUILDING SIGNAGE - "HIDE BY BATTISTELLA"
7	METAL GUARD RAIL	17	DOOR - TYPE 06 - ALUMINUM WITH CLEAR GLAZING	27	DOOR - TYPE 07 - ALUMINUM WITH STAINED GLAZING
8	PRE-FINISHED METAL FLASHING	18A	600mm CONCRETE PLANTER	28	METAL COMPOSITE PANEL - COLOUR TO MATCH 1
9	ALUMINUM MECHANICAL LOUVER	18B	800mm CONCRETE PLANTER		
		19	PROPOSED GATE		



14th Avenue SW Multi-Residential Tower  
Battistella  
217106

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REVISIONS	DATE
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2. DTR 01 Responses	2018-10-10
3. CPC Submittal	2018-11-14


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CALGARY SKYLINE

1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB

**14th Avenue SW Multi-Residential Tower**

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REVISIONS	DATE
1. Development Permit Application	2018-06-15
2. DTR #1 Response	2018-10-10
3. CPC Submission	2018-11-14
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**DP 6.00**

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1315, 1317, 1319, 1321 and 1323 14th Avenue SW, Calgary AB  
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MAIN ENTRANCE

14th Avenue SW Multi-Residential Tower

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REVISIONS	DATE
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2. DTR 61 Response	2018-10-10
3. CPC Submission	2018-11-14
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**14th Avenue SW Multi-Residential Tower**  
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3. CPC Submission	2018-11-14
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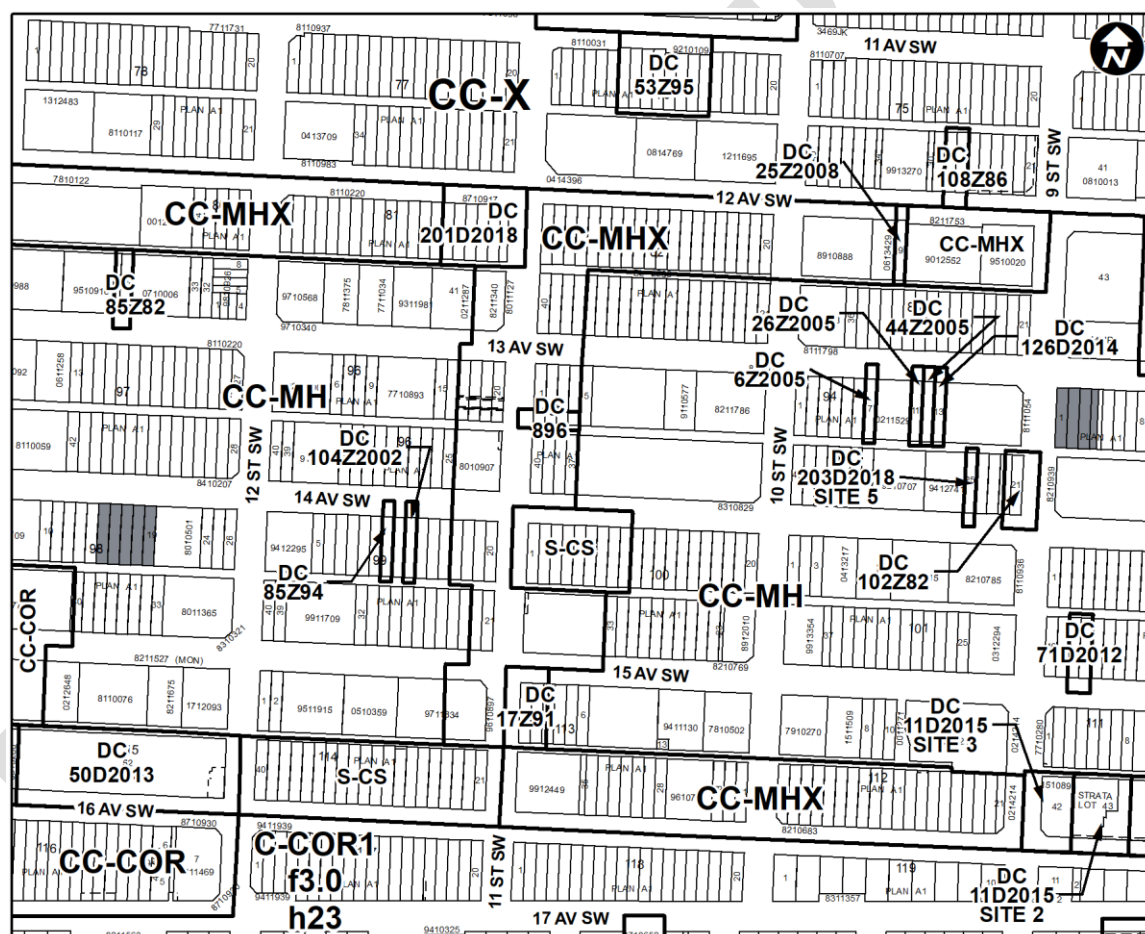




**WHEREAS** it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

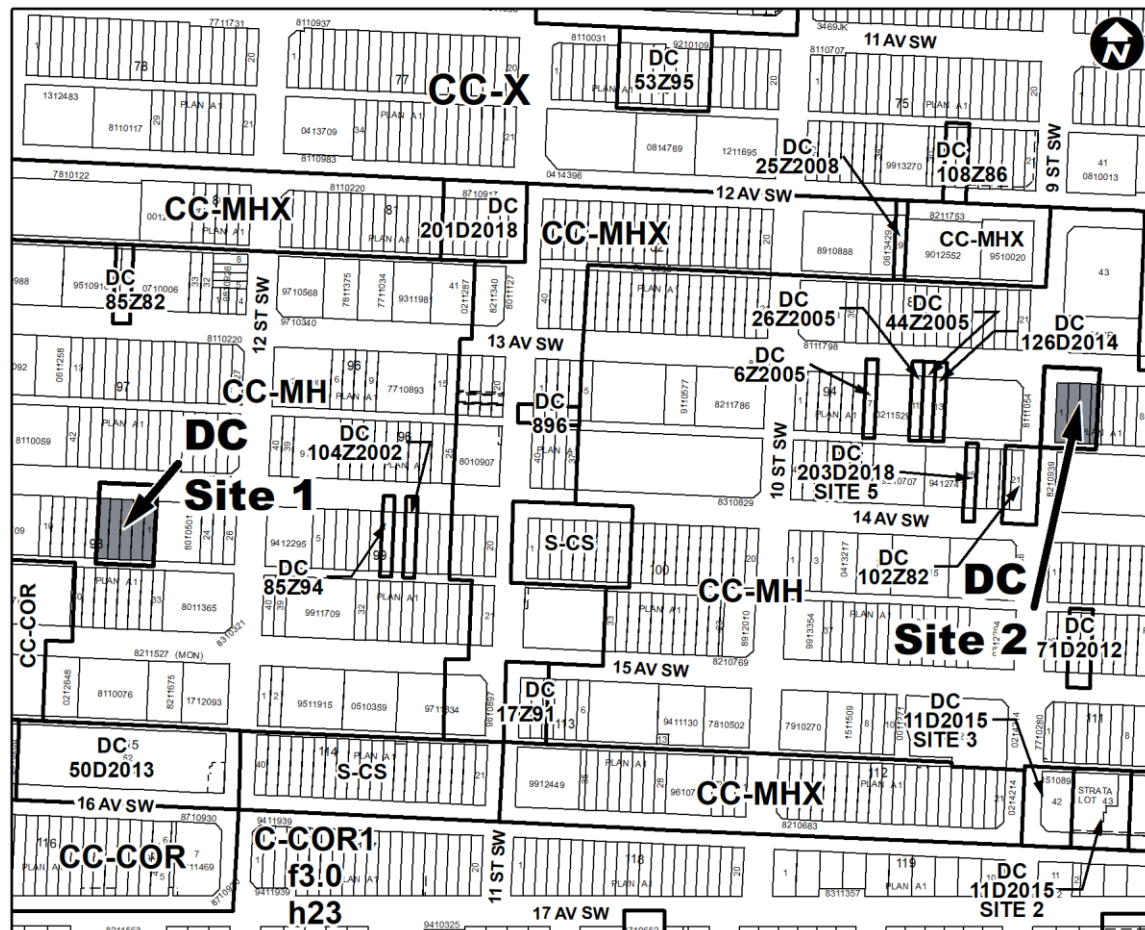
**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

- ## SCHEDULE A





## Proposed Direct Control Guidelines (LOC2018-0204)

SCHEDULE B

## DIRECT CONTROL DISTRICT

**Purpose**

1 This Direct Control District is intended to:

- (a) give effect to a Heritage Density Transfer to **DC receiving parcels** (Site 1) from **DC source parcel** (Site 2), as allowed by Part 11, Division 7, of Land Use Bylaw 1P2007.

**Compliance with Bylaw 1P2007**

2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

**Reference to Bylaw 1P2007**

3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

## Proposed Direct Control Guidelines (LOC2018-0204)

### General Definitions

4 In this Direct Control District:

- (a) “**DC receiving parcels**” means Site 1, the **parcels** legally described as Lots 15-19, Block 98, Plan A1 with the municipal addresses, 1315, 1317, 1319, 1321, and 1323 – 14 Avenue SW, which are the **parcels** receiving an increase in **density** of 2,988 square metres from the **DC source parcel** (Site 2);
- (b) “**DC source parcel**” means Site 3, the **parcels** legally described as Lots 1-4, Block 93, Plan A1 with the municipal address 1310 – 9 Street SW, which are the **parcels** from which 2,988 square metres of **density** is being transferred to **DC receiving parcel 1** (Site 1);

### Site 1

0.15 hectares (± 0.37 acres)

### Application

5 The provisions in sections 6 through 9 apply only to Site 1.

### Permitted Uses

6 The **permitted uses** of the Centre City Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

### Discretionary Uses

7 The **discretionary uses** of the Centre City Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

### Bylaw 1P2007 District Rules

8 Unless otherwise specified, the rules of the Centre City Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 apply in this Direct Control District.

### Floor Area Ratio

9 The maximum **floor area ratio** is 6.98 inclusive of the 2,988 square metres of heritage **density** that has been transferred from the **DC source parcel** (Site 2).

### Site 2

0.11 hectares (± 0.27 acres)

### Application

10 The provisions in sections 11 through 14 apply only to Site 2.

### Permitted Uses

11 The **permitted uses** of the Centre City Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

### Discretionary Uses

12 The **discretionary uses** of the Centre City Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

**Proposed Direct Control Guidelines (LOC2018-0204)**

**Bylaw 1P2007 District Rules**

- 13** Unless otherwise specified, the rules of the Centre City Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 apply in this Direct Control District.

**Floor Area Ratio**

- 14** (1) The maximum *floor area ratio* is 4.26.
- (2) The bonus provisions contained in Section 1203 (a)-(c) and (e)-(h), Part 11, Division 7 of Bylaw 1P2007 do not apply to Site 2.

TEXT FOR DISCUSSION ONLY

## UDRP Response

### Urban Design Review Panel Comments

<b>Date:</b>	July 25, 2018	
<b>Time:</b>	1:00 pm	
<b>Panel Members:</b>	<b>Present:</b>	<b>Absent:</b>
	Terry Klassen (Chair)	Janice Liebe (chair)
	Robert LeBlond	Chad Russill (co-chair)
	Glen Pardoe	Bruce Nelligan
		Jack Vanstone
		Gary Mundy
		Eric Toker
		Amelia Hollingshurst
		Ben Bailey
		Yogeshwar Navagrah
		Chris Hardwicke
<b>Advisor:</b>	David Down, Chief Urban Designer	
<b>Application number:</b>	<b>DP2018-2882</b>	
<b>Municipal address:</b>	1315, 1317, 1319, 1321, 1323 14 Av SW	
<b>Community:</b>	Beltline	
<b>Project description:</b>	New: Multi-Residential Development (1 building)	
<b>Review:</b>	first	
<b>File Manager:</b>	Desmond Bliek	
<b>City Wide Urban Design:</b>	Xia Zhang	
<b>Applicant:</b>	Battistella Developments	
<b>Architect:</b>		
<b>Owner:</b>		
<b>Ranking:</b>	<b>Further Review Recommended</b>	

### Summary

Indicative of the project brand, UDRP understands from the Applicant's description, Nude is intentionally a simple, paired back, streamlined, minimalistic design (thus the name). The eighteen (18) storey residential tower is just outside of the T.O.D. distance, with parking title separate from the unit, and bike-share in Calgary on the horizon.

Regarding accessibility, separation and setback, UDRP understands – accessibility has been addressed from front street to back lane; tower separation is slightly less than what is required to the east; and the podium interface has been brought forward.

In reviewing this application, the Panel's comments are focused on the street level public realm, in the context of balancing minimalization with distinctive outcomes. Two primary areas of UDRP's interest come to the forefront – first, the podium interface with the semi-public landscape and second, the landscape contribution to the neighbourhood setting.

UDRP feels the entrance experiences are like interfacing outdoor and indoor rooms that have not fully realized their potential. Imagine these minimalistic Nude moments contributing to the streetscape – like a light breeze refreshing the location with distinction. Arriving and leaving these entrance rooms will be an every day occurrence – they should be prodigious threshold moments. There is no pretending that the thoughtfulness demonstrated in the scale and setting of the entryways will either cause a swell of respect or leave a flat impression. The Panel's perception so stated, for entry to the main building and for the individual street level loft units, currently leaves a flat impression. The scale and the setting of the main and loft unit entries should better respond to the scale of the inside and outside volume of space. For example, they could animate a family of Nude branded entrances that are say a combination of – tall, short, wide, narrow. Humour aside, the position and playful details of their shape and the body of their spaces can and should expose placemaking in all its dimensions.

## UDRP Response

### Applicant Response

October 4, 2018

#### Citywide Urban Design comments

1. Consider providing a more desirable podium height of min. 2 storeys (9.0 metres) and max. 6 storeys to formulate a podium height to street right-of-way width ratio of 1:1-1:2. Consider stepping back the street wall by a min. 2.5m at the upper levels of the building.

2.

Podium increased 1.2 m, 2 storeys

3. A portion of the building frontage along 14 Avenue SW sets back beyond 6.0 m max. front setback line. If the intent is to provide an at-grade common amenity space, this north-facing space should be designed to be comfortable and conducive to pedestrian use with a variety of design treatments (such as seating, landscaping, public art, lighting, and natural surveillance, etc.). The privacy of the adjacent ground level residential unit should be respected.

Orienting 3 units to the side yard creates a mews and activates what is typically dead side yard space on these types of developments. It provides for more articulation at the main floor rather than a flat façade property line to property line, which in turn highlights to a higher degree the buildings main entrance than would typically be the case.

4. Amend the landscape plan to show potential boulevard trees along 14 Avenue SW to enhance the existing residential streetscape character. If utility line assignments preclude this, trees should be provided back of the sidewalk, integrated into the overall landscape plan.

Boulevard trees to be added where line assignments will allow. Need DSSP to know where pipes will enter the building.

5. Clarify if the ground-level units are designed to be accessible units. Provide a desirable grade separation between the ground floor level of residential units and public sidewalks, to offer privacy for residents. The optimal range of grade separation is 0.5m to 0.9m (3-6 steps) to balance accessibility and privacy. If no grade separation is provided, indicate the alternative strategy for achieving residential privacy.

Main floor units are at grade

6. Accentuate the design of the main building entrance, for example, using a visually light canopy, and/or architectural articulations such as continuous recesses or projections running vertically up the building façade of the upper building levels.

New entrance canopy created to accentuate building entrance.

7. Consider using a variety of articulations in the building facades (including colour and material contrast, projection bays, emphasis of building corners, site and building lighting, etc.) to distinguish and reinforce the building design.

Podium provides significant articulation at NW corner. Tower provides through entire floor plate. The NE and SW corners are also differentiated by materials (corrugated metal).

8. Consider stepping back some of the upper level units so that the building separation requirement is met, the building top is better expressed and an interesting skyline is created.

Design interest is created by building articulation, change in materials and at the roof with an amenity room and roof top garden. In addition an LED blue band at the top with "Hide Nothing" will create visual interest at the top especially at night.



## UDRP Response

Urban Vitality			
	Topic	Best Practice	Ranking
1	<b>Retail street diversity</b>	Retail streets encourage pedestrians along sidewalk with a mix and diversity of smaller retail uses. Retail wraps corners of streets. Space for patios and cafe seating is provided.	Further review recommended
	UDRP Commentary		
	While the Applicant's desire for uniformity and simplicity is noted, the concern of the Panel is that the podium looks like it could be residential or commercial and does not exude sufficient residential characteristics. The Applicant's discussion with the Panel did indicate the loft units are adaptable to evolving into commercial uses, should the neighbourhood so redevelop.		
	Applicant Response		
	<i>Townhome entrances redesigned to provide clear individual identity by material changes in the elevation, adding canopies and creating individual outdoor courtyards.</i>		
2	<b>Retail street transparency, porosity</b>	Retail street maximizes glazing - 70% and more. Maintains view into and out of retail, avoids display-only windows.	
	UDRP Commentary		
	N/A		
	Applicant Response		
3	<b>Pedestrian-first design</b>	Sidewalks are continuous on all relevant edges. Materials span driveway entries and parking access points. No drop offs or lay-bys in the pedestrian realm. Street furnishings support the pedestrian experience.	Further review recommended
	UDRP Commentary		
	A simple, minimalist seating ledge, along the continuous planter wall for example, connecting streetscape to main entrance would better support the pedestrian experience. The passage way to the lane should include wrap-around landscape with at least one tree or wall-climbing vine or simple, understated curb planter at foundation – something that can sustainably green the lane.		
	Applicant response		
	<b>Planters raised to provide for possible seating ledge on avenue. The mews area from the street to the lane is landscaped.</b>		
4	<b>Entry definition / legibility</b>	Entry points are clear and legible	
	UDRP Commentary		
	As noted in Summary, the main building entrance could be more legible and engaging from the street. Perhaps a larger or oversized door. Also, doors to individual street level lofts are all flush with the building face. It might be good to break up the face with some different insets or push-outs for doorways or uniquely differentiating qualities in the doors themselves. Street face is difficult to identify as being residential in nature. Based on the information provided, it could just as easily be commercial, which may or may not be a desirable appearance at this location.		
	Applicant Response		
	<b>Main entry door enlarged, and canopy with signage added to clearly identify main entry. As per #1 townhome entries re-designed.</b>		
5	<b>Residential multi-level units at grade</b>	Inclusion of two or three storey units are encouraged, particularly at street level. Private outdoor patios with access to the sidewalk are ideal. Patios are large enough to permit furnishing and active use.	
	UDRP Commentary		
	Patios are proposed, but the relationship of the street level residential to the street are very uniform and could perhaps benefit from delineation along the building face with unique characterizations.		
	Applicant Response		
	<b>Landscaped courtyards redesigned</b>		

## UDRP Response

6	<b>At grade parking</b>	At grade parking is concealed behind building frontages along public streets.	
	UDRP Commentary		
	N/A		
	Applicant Response		
7	<b>Parking entrances</b>	Ramps are concealed as much as possible. Entrances to parking are located in discrete locations. Driveways to garage entries are minimized, place pedestrian environment and safety first.	Support
	UDRP Commentary		
	Adequate as proposed.		
	Applicant Response		
8	<b>Landscape</b>		Further review recommended
	UDRP Commentary		
	The second item of note related to landscape architecture and the apparent landscape deficiency. The issue of soil depth above the underground parking structure is noted and should be addressed with appropriate plant material selections. The Panel commented on seeking a more layered landscape design with enhanced small tree planting appropriate to cold-climate planters. The Panel encourages the Applicant to diversify the characteristics and qualities of the landscape street edge and the approaches to building entries.		
	The deficiency of trees and complementary landscape are evident in the plan views and sketch up renderings at street level, in the boulevard and for rooftop amenity area(s). UDRP suggests that the Applicant provide more trees back of sidewalk to interface with the podium and the building as whole. More trees back of sidewalk should interface and/or pair with an unconfirmed boulevard tree line assignment.		
	Applicant Response		
	Landscape at main level and roof top re-designed. Boulevard trees to be added once line assignments identified.		
<b>Urban Connectivity</b> <i>Provide visual and functional connectivity between buildings and places, ensure connection to existing and future networks. Promote walkability, cycle networks, transit use, pedestrian-first environments.</i>			
	<b>Topic</b>	<b>Best Practice</b>	<b>Ranking</b>
9	<b>LRT station connections</b>	Supports LRT use via legible, dedicated pedestrian pathways to stations with direct routes. Avoids desire lines / shortcutting through parking areas.	
	UDRP Commentary		
	N/A		
	Applicant Response		
10	<b>Regional pathway connections</b>	Supports walkability via intentional urban design connections to pathway systems.	
	UDRP Commentary		
	N/A		
	Applicant Response		
11	<b>Cycle path connections</b>	Supports cycling via intentional, safe urban design connections to pathway systems and ease of access to bicycle storage at grade.	
	UDRP Commentary		
	N/A		

## UDRP Response

Applicant Response			
12	<b>Walkability - connection to adjacent neighbourhoods / districts / key urban features</b>	Extend existing and provide continuous pedestrian pathways. Extend pedestrian pathway materials across driveways and lanes to emphasize pedestrian use.	Support
UDRP Commentary			
Adequate as proposed.			
Applicant Response			
13	<b>Pathways through site</b>	Provide pathways through the site along desire lines to connect amenities within and beyond the site boundaries.	
UDRP Commentary			
N/A			
Applicant Response			
14	<b>Open space networks and park systems</b>	Connects and extends existing systems and patterns.	
UDRP Commentary			
N/A			
Applicant Response			
15	<b>Views and vistas</b>	Designed to enhance views to natural areas and urban landmarks.	Support
UDRP Commentary			
Adequate as proposed.			
Applicant Response			
16	<b>Vehicular interface</b>		Further review recommended
UDRP Commentary			
Parking supply is relaxed for tenants as well as for visitor. Might be worthwhile to try and reduce the variance for visitor parking, perhaps even at the expense of tenant parking.			
Applicant Response			
<i>Parking study being submitted to Transportation</i>			
17	<b>Other</b>		
Applicant Response			
<b>Contextual Response</b> <i>Optimize built form with respect to mass, spacing and placement on site in consideration to adjacent uses, heights and densities</i>			
<b>Topic</b>		<b>Best Practice</b>	<b>Ranking</b>
18	<b>Massing relationship to context</b>	Relationship to adjacent properties is sympathetic	Support
UDRP Commentary			
Tower separation is less than by-law, but appropriate given the limitations.			
Applicant Response			
19	<b>Massing impacts on sun shade</b>	Sun shade impacts minimized on public realm and adjacent sites	Further review recommended
UDRP Commentary			
Shade study required as part of DTR. Not provided for UDRP review.			

## UDRP Response

Applicant Response		
<i>Sun shadow study completed for DTR 1 re-submission</i>		
20	<b>Massing orientation to street edges</b>	Building form relates / is oriented to the streets on which it fronts.
UDRP Commentary		
Podium contains loft residential units. Building face is flat and not broken up by delineation or inset/push-outs of doors or walls. Very sterile and perhaps in need of some additional attention. Planters are large and should perhaps be considered as part of a larger scale layered landscape design that as shown appears deficient. The need to deal with the underground parkade vis a vis soil depth is noted.		
Applicant Response		
<i>Main floor lofts' entrances and landscaped area re-designed.</i>		
21	<b>Massing distribution on site</b>	
UDRP Commentary		
Applicant Response		
22	<b>Massing contribution to public realm at grade</b>	Building form contributes to a comfortable pedestrian realm at grade
UDRP Commentary		
Applicant Response		
23	<b>Other</b>	
Applicant Response		
<b>Safety and Diversity</b> <i>Promote design that accommodates the broadest range of users and uses. Achieve a sense of comfort and security at all times.</i>		
<b>Topic</b>	<b>Best Practice</b>	<b>Ranking</b>
24	<b>Safety and security</b>	CPTED principles are to be employed - good overlook, appropriate lighting, good view lines, glazing in lobbies and entrances.
UDRP Commentary		
Adequate as proposed.		
Applicant Response		
25	<b>Pedestrian level comfort – wind</b>	Incorporate strategies to block wind, particularly prevailing wind and downdrafts. Test assumptions and responses via Pedestrian Level Wind Analysis. Particular attention to winter conditions.
UDRP Commentary		
Applicant Response		
26	<b>Pedestrian level comfort – snow</b>	Incorporate strategies to prevent snow drifting. Test assumptions and responses via Snow Drifting Analysis. Particular attention to winter conditions.
UDRP Commentary		
Applicant Response		

## UDRP Response

27	Weather protection	Weather protection is encouraged at principal entrances. Continuous weather protection is encouraged along retail / mixed used frontages.	
	UDRP Commentary		
	Applicant Response		
28	Night time design		Further review recommended
	UDRP Commentary		
	Lighting design mentioned by Applicant, however, no detail or illustrated rendering provided for UDRP review. Indenting doors and oversizing doors into window wall of podium and illumination of window wall should be considered.		
	Applicant Response		
	Night time rendering completed		
29	Barrier free design	Site access to be equal for able and disabled individuals. Provide sloped surfaces 5% grade or less vs ramps.	Support
	UDRP Commentary		
	Adequate as proposed.		
	Applicant Response		
30	Winter city	Maximize exposure to sunshine for public areas through orientation, massing. Design public realm that supports winter activity.	
	UDRP Commentary		
	Applicant Response		
31	Other		
	Applicant Response		
Service / Utility Design Promote design that accommodates service uses in functional and unobtrusive manner. Place service uses away from and out of sight of pedestrian areas where possible. Screening elements to be substantive and sympathetic to the building architecture.			
Topic		Commentary	Ranking
32	(specify)		TBD



## Conditions of Approval

### Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

#### Planning:

1. Submit a total of six (6) complete sets of Amended Plans (file folded and collated) to the Planning Generalist that comprehensively address the Prior To Release conditions of all Departments as specified below.

In order to expedite the review of the Amended Plans, please include the following in your submission:

- a. Four (4) of the plan set(s) shall highlight all of the amendments.
- b. Four (4) detailed written response(s) to the Conditions of Approval document that provides a point by point explanation as to how each of the Prior to Release conditions were addressed and/or resolved.

Please ensure that all plans affected by the revisions are amended accordingly.

2. Payment in the amount of \$187,494.88 to the Beltline Community Investment Fund (BCIF) in the form of a certified cheque payable to the City of Calgary, based on Council approval of the proposed heritage density transfer through LOC2018-0204.

#### Development Engineering:

3. Consolidate the subject parcels. Submit a copy of the registered plan and certificate of title, confirming the consolidation of subject parcels onto a single titled parcel, to the Development Engineering Generalist.
4. Submit three (3) sets of the Development Site Servicing Plan details to Development Servicing, Inspections and Permits, for review and acceptance from Water Resources, as required by Section 5 (2) of the *Utility Site Servicing Bylaw 33M2005*. Contact [developmentservicing2@calgary.ca](mailto:developmentservicing2@calgary.ca) for additional details.

For further information, refer to the following:

#### Design Guidelines for Development Site Servicing Plans

[http://www.calgary.ca/PDA/pd/Documents/urban\\_development/publications/DSSP2015.pdf](http://www.calgary.ca/PDA/pd/Documents/urban_development/publications/DSSP2015.pdf)

#### Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Documents/development/development-site-servicing-plan.pdf>

***NOTE: The trapped low in the rear lane appears to spill through this property provide modeling showing rear lane ponding that demonstrates that no additional stormwater will spill to neighboring properties***

## Conditions of Approval

5. **After the Development Permit is approved but prior to its release**, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 2M2016.

As per the **current** application (34 - 2 bedroom units and 143 - 1 bedroom units) and based on **2018** rates, the **preliminary estimate** for this application is **\$92,998.64**. (as the project qualifies for the density incentive program)

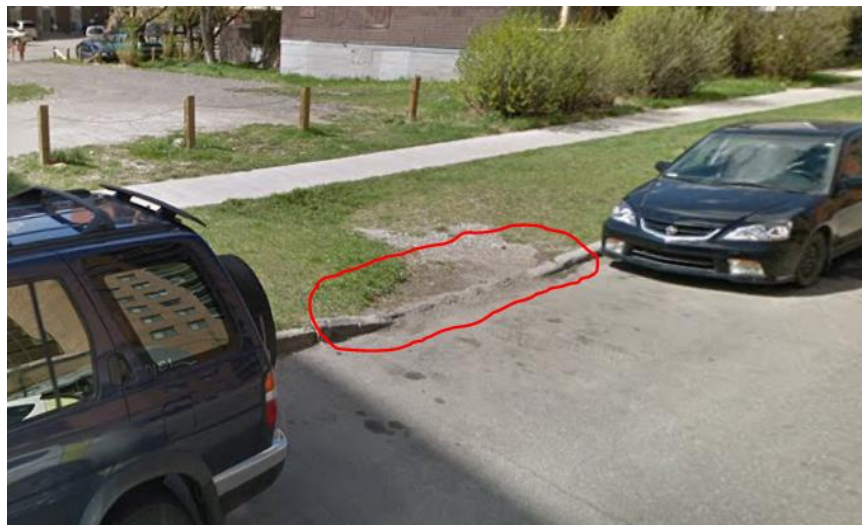
**Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.**

To obtain the off-site levy agreement, contact the Calgary Approvals Coordination, Infrastructure Strategist at 403-268-5782 or email [jill.a.thomson@calgary.ca](mailto:jill.a.thomson@calgary.ca).

6. Remit payment (certified cheque) for the infrastructure upgrades for the Centre City communities, in the amount of \$83, 210.40 to Development Engineering. This levy includes the Centre City Utility approved under the Centre City Utility Levy Bylaw 38M2009. The amount identified above is determined using \$2184 per metre of site frontage (on avenues only) for the proposed development (14 Avenue SW – 38.10 m frontage).

### Transportation:

7. Amend the plans to clearly note that residents will be able to use the elevators to gain access to the class #1 bike facilities on the P1 and P2 to bring them up to the lobby. Be aware that this will be a permanent condition of this development.
8. Amend plans to show the existing curb cut on 14 Avenue S.W., and note that it is to be "closed and rehabilitated at the Developers expense" (See image below).



**NOTE:** Although a note has been added to the site plan, amend the plans to clearly show the location of the existing curb cut, and add a note and arrow pointing the area out more clearly.



## Conditions of Approval

9. Remit a performance security deposit (certified cheque, bank draft, letter of credit) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Unit. The amount of the deposit is calculated by Roads and is based on 100% of the estimated cost of construction.

The developer is responsible to arrange for the construction of the infrastructure with their own forces and to enter into an Indemnification Agreement with Roads at the time of construction (the security deposit will be used to secure the work).

### Roads

- a. Closure and removal of existing driveway crossings on 14 Avenue S.W.,
  - b. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc., should it be deemed necessary through a site inspection by Roads personnel.
10. Remit payment (certified cheque, bank draft) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Units. The amount is calculated by the respective Business Unit and is based on 100% of the estimated cost of construction.

The developer is responsible to coordinate the timing of the construction by City forces. The payment is non-refundable.

### Roads

- a. Street lighting upgrading adjacent to site frontage (If required).
11. Provide the City with a letter of agreement on corporate letterhead indicating that for each dwelling unit that does not have a vehicle parking stall (32 dwelling units), the developer shall provide at occupancy:
- a. \$250 in credit with a vehicle sharing (eg car2go), rideshare (eg uber, lyft), and/or taxi (eg Mayfair, Yellow) service; and
  - b. One year of Calgary Transit adult passes (12 monthly passes) or equivalent credit with Calgary Transit.

### **Parks:**

12. Amend Site and Landscape plans (DP1.00 and L1.0) to indicate an existing public tree within 6.0m of the development site. It is located near the NW corner of the site (also refer to DP0.3). As per the Tree Protection Bylaw, provide the following information:
- a. Tree species Trembling aspen
  - b. Caliper of tree trunk (dbh) 3cm
  - c. Height of tree 2m
  - e. Scaled outline of the tree canopy drip line 1m
  - f. **Indicate whether the tree is to remain or to be removed**

Note: This existing public tree is dead. There are no immediate plans for its removal/replacement so Urban Forestry has no issues with this development.

## Conditions of Approval



13. Amend L1.0:
- a) Indicate the curb (LOG and BOC), grass boulevard, and existing sidewalk clearly.
  - b) Indicate the proposed boulevard tree species and size on L1.0. Parks prefers street tree species are American Elm, Green Ash, Prairie Spire Green Ash, Bur Oak, or Dropmore Linden and the tree size should be between 60mm to 80 mm.
  - c) Indicate the setbacks between proposed boulevard trees and the existing or proposed utilities/servicing connections. This is to ensure no conflicts exist between the proposed boulevard trees and servicing connection. It appears two proposed boulevard trees may be too close to proposed servicing connections (see Site Servicing Plan SP1).
  - d) Clarify if there will be a walkway from the main entrance to the curb. If yes, indicate the setbacks between proposed boulevard trees and the proposed walkway.

## Conditions of Approval

Provide the minimum setback requirements as identified in Section 4.1.2 and Section 4.1.3 of Parks "Development Guidelines and Standard Specifications: Landscape Construction (current edition)":

[http://www.calgary.ca/PDA/pd/Documents/urban\\_development/publications/Landscape2018.pdf](http://www.calgary.ca/PDA/pd/Documents/urban_development/publications/Landscape2018.pdf)

## Permanent Conditions

The following permanent conditions shall apply:

### Planning:

14. The development shall be completed in its entirety, in accordance with the approved plans and conditions.
15. No changes to the approved plans shall take place unless authorized by the Development Authority.
16. A Development Completion Permit shall be issued for the development; **before the use is commenced or the development occupied**. A Development Completion Permit is independent from the requirements of Building Permit occupancy. Call Development Inspection Services at 403-268-5311 to request a site inspection for the Development Completion Permit.
17. The development shall be completed in its entirety, in accordance with the approved plans and conditions.
18. No changes to the approved plans shall take place unless authorized by the Development Authority.
19. A Development Completion Permit shall be issued for the development; **before the use is commenced or the development occupied**. A Development Completion Permit is independent from the requirements of Building Permit occupancy. Call Development Inspection Services at 403-268-5311 to request a site inspection for the Development Completion Permit.
20. The grades indicated on the approved Development Permit plans must match the grades on the Development Site Servicing Plan for the subject site as per the Lot Grading Bylaw.

### Development Engineering:

21. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
  - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
  - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).

## Conditions of Approval

22. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: [www.calgary.ca/ud](http://www.calgary.ca/ud) (under publications).

For **all soil disturbing projects**, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.

23. Stormwater runoff must be contained and managed in accordance with the "Stormwater Management & Design Manual" all to the satisfaction of the Director of Water Resources.
24. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
25. Pursuant to Bylaw 2M2016, off-site levies are applicable.
26. **Prior to issuance of a Development Completion Permit or any occupancy of the building**, payment shall be made for off-site levies pursuant to Bylaw 2M2016. **To obtain a final estimate**, contact the Calgary Approvals Coordination, Infrastructure Strategist at 403-268-5138 or email [rob.hirber@shaw.ca](mailto:rob.hirber@shaw.ca) or [offsitelevy@calgary.ca](mailto:offsitelevy@calgary.ca).

### Transportation:

27. Residents shall be able to use the elevators to transport their bicycles from the class #1 bike facilities on the P1 and P2 level, to bring them up to the Lobby for the life of this development.

### Conditions of Approval

28. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Transportation Planning. All work performed on public property shall be done in accordance with City standards.
29. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager of Transportation Planning, at the applicant's expense, upon completion of the foundation. **Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at 403-268-3505.**

#### **Parks:**

30. Public trees located on the boulevard adjacent to the development site shall be retained and protected unless otherwise authorized by Urban Forestry or removed by Urban Forestry Operations.
31. As per the City of Calgary Tree Protection By-law, a letter of authorization to remove public trees is required from Parks Urban Forestry. The applicant is to contact Urban Forestry at 311 or email [tree.protection@calgary.ca](mailto:tree.protection@calgary.ca) to make arrangements for the letter.
32. Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications – Landscape Construction (current edition). Applicant is to contact the Parks Development Inspector (at 403-620-3216 or at 403-268-5204) to arrange an inspection.

#### **Parks:**

33. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at [www.calgary.ca](http://www.calgary.ca). Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
34. The applicant will be required to provide compensation to the City of Calgary for any Public Trees that are removed or damaged. The Public Tree(s) adjacent to this development is/are valued at \$NIL. Applicants that are unfamiliar with tree protection or tree appraisal are advised to consult an arborist. Arborists are found in the telephone directory under "Tree Service".
35. Tree plantings within City of Calgary boulevards and/or right of ways are subject to approval from Utility Line Assignment and Parks.
36. No stockpiling or dumping of construction materials is permitted on the adjacent boulevard.



## **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

### **EXECUTIVE SUMMARY**

This application was submitted by S2 Architecture on 2017 October 24 on behalf of Torode Realty Advisors, with authorization from the landowner 11-Street Developments Ltd. The application proposes a new transit supportive mixed-use development that comprises:

- a total of 144 residential units (98 one-bedroom units, 46 two-bedroom units);
- commercial retail units at-grade along 11 Street SE, covering approximately 1,164 square metres (12,533 square feet) of commercial space;
- eight storeys, or 26.65 metre building height; and
- a communal amenity space at the rear with access to adjoining City land.

The proposed development is in keeping with applicable City policies including those of the *Municipal Development Plan* (MDP), the *Ramsay Area Redevelopment Plan* (ARP) and the *Transit Oriented Development Policy Guidelines* (TOD Guidelines). The proposal also aligns with the Land Use Bylaw 1P2007, specifically the rules for the Multi-Residential – High Density Low Rise (M-H1) District.

#### **ADMINISTRATION'S RECOMMENDATION:**

That Calgary Planning Commission **APPROVE** the proposed development permit DP2017-4891 of a New: Multi-Residential Development, Retail and Consumer Service at 1802 – 11 Street SE (Plan 1594F, Block R) with the conditions in Attachment 2.

### **PREVIOUS COUNCIL DIRECTION / POLICY**

None.

### **BACKGROUND**

On 2014 October 02, a land use amendment for the subject site (LOC2014-0150) was submitted to Administration with an intended redesignation from Commercial – Corridor 3f2h16 (C-COR3f2h16) to M-H1. On 2015 September 14, Calgary Planning Commission (CPC) recommended approval of LOC2014-0150, stipulating that CPC be the development authority for the development permit application. The land use redesignation was approved by Council on 2016 January 11.

During the application review, Administration met with the applicant to discuss different elements of the proposed design, emphasising the significance of the site and that the proposed development will be a catalyst for Ramsay. Administration encouraged high quality development, representative of the site's significance.

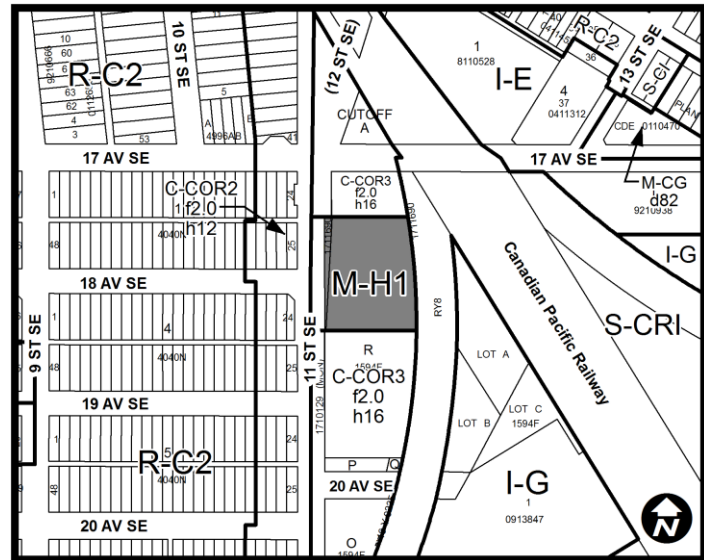
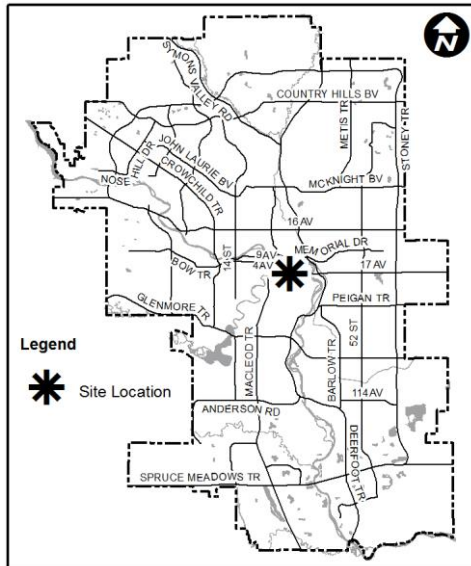


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**Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

**Location Maps**





## **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

### **Site Context**

The site is centrally located in the inner city community of Ramsay, approximately 1.5 kilometres southeast of Calgary's downtown core, 1.1 kilometres southeast of the East Village, and 430 metres southwest of 9 Avenue SE, Inglewood's main street. The parcel is located on the eastern perimeter of the community of Ramsay abutting the following:

<b>NORTH</b>	Immediate	1,770.0 square metres of land owned by The City of Calgary
	Surrounding	The site of the future Inglewood/Ramsay LRT Station
<b>SOUTH</b>	Immediate	Land designated C-COR3 that comprises the Ramsay Design Centre, an iconic building in the community that was constructed in 1926
	Surrounding	Land designated as I-G and comprising industrial offices.
<b>EAST</b>	Immediate	Land owned by Calgary and Edmonton Railway Company (freight railway line)
	Surrounding	Canadian Pacific Railway Lines
<b>WEST</b>	Immediate	Land designated C-COR2 that is presently used for Auto Service - Major
	Surrounding	Land designated as C-COR2 but generally comprising Low Density Residential uses with the predominant form of houses.

The following figure identifies the historic peak and current population of Ramsay. The community's current population is thirty percent lower than in 1969, Ramsay's peak population year.

*Figure 1: Community Peak Population*

<b>Ramsay</b>	
Peak Population Year	1969
Peak Population	3,005
2017 Current Population	2,110
Difference in Population (Number)	-895
Difference in Population (Percent)	-30%

Source: The City of Calgary 2017 Civic Census

Additional demographic and socio-economic information may be obtained on [Ramsay - Community Profile](#) online page.

## **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

### **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

#### **Planning Considerations**

The application considered the proposed building design and site layout against all applicable policies, as well as the unique location of the site, in proximity to Calgary's downtown core, Inglewood's main street and at the doorstep of the proposed Inglewood/Ramsay LRT Station plaza.

#### ***Location***

The site is located in close proximity to transit, community services, recreational facilities and retail destinations. Further, the site represents an entryway into the communities of Ramsay and Inglewood, with any future development likely to function as a landmark. In light of this, the building design, orientation and street presence will have a significant impact on the future user experience of the area.

The site is also located adjacent to the freight rail corridor. At the time that the application was submitted on 2017 October 24, a site specific risk assessment was required for development proposed within 30 metres of the freight rail corridor. This was explained to the applicant at the pre-application stage and again upon application submission. Despite encouragement from Administration to explore other siting and design options through greater use of the site, the applicant elected to avoid developing within the setback, circumventing the requirement for a risk assessment. Notwithstanding, on 2018 July 23, Council approved the *Development Next to Freight Rail Corridors Policy*, which allowed the proposed development to enter into the 30 metre setback without the need for a site specific risk assessment. Nevertheless, the applicant chose to retain the site design and building placement.

#### ***Site and Building Design***

The proposed development represents an eight storey, 26.65 metre high mixed-use building that provides commercial retail units at grade, fronting 11 Street SE, and seven residential floors offering one and two bedroom units with a range of floor areas. Residential parking is provided below grade, with commercial and visitor parking located at the rear of the site at grade.

The commercial units are located within a podium that has a height of 5.65 metres in order to accommodate a vertical vehicular clearance of five metres through to the rear of the site. The podium utilizes stacked red masonry brick in respect of the historic community context, with large glass storefronts that provide transparency into the commercial spaces, articulated with black aluminum framing. A dark gray canopy shelters and emphasises pedestrian entries, while also accommodating proposed signage above. The pedestrian realm includes both public and private space, providing opportunities to animate the street with break out spaces for retail and café style seating. The commercial units range in size from approximately 85 square metres to 188 square metres, allowing for flexibility and variety of future tenants. Access to the retail units from the rear commercial parking area is via the sidewalk and driveway along the southern edge of the building. Administration requested that access be provided more directly from the parking area, and that the commercial entries be accessible from within the residential lobby, creating a

### **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

public/private corridor, however the applicant felt that this could create safety concerns for residential tenants and did not pursue Administration's request.

The residential component of the building is setback from the façade of the podium, with private balconies spanning the width of the building frontage, creating opportunities for interaction with the public realm. Residential units take the form of one and two bedroom units, ranging in size from 48.7 square metres to 93.0 square metres, with 144 units provided overall. The residential built form is articulated into four smaller components to reduce the overall scale of the building. This articulation is achieved through the use of a variety of materials and colours. Dark metal wrapping projects above the penthouse units, creating visual interest and variation along the top of the building.

At the rear of the building, the interface with the future LRT line involves rear entries to two dual frontage commercial units, as well as the common amenity space, landscaping and commercial and visitor parking.

#### ***Site Access and Parking***

The site is accessed via a driveway from 11 Street SE along the southern boundary of the site. Administration saw an opportunity to minimize disturbance to the pedestrian realm by creating a mutual access agreement with the owners of the adjoining owners to the south, the Ramsay Design Centre, however the applicant did not wish to pursue this. The driveway, which runs along the southern edge of the building, provides in/out access to the rear surface parking lot and the underground parkade, also accessed from the rear. The surface parking lot is specifically for residential visitor and commercial parking, with all resident parking provided within the one level underground parkade. The driveway has been designed using mono coloured broom finished concrete with a linear design.

The proposed development comprises 72 bicycle parking stalls – Class 1, in accordance with Bylaw requirements. These stalls are secured within 53 bike lockers located in the underground parkade and 19 bike lockers located on the main floor. Twenty bicycle parking stalls – Class 2 are located at grade at both the front and rear of the parcel, exceeding the bylaw requirement by five stalls.

#### ***Landscaping and the Public Realm***

The proposed landscaping responds to the urban nature of the development, which involves an underground parkade spanning the full area of the site. As a result of this, on-site planting along the frontage of the building is limited to two raised planters bearing perennials. This on-site landscaping is supplemented by nine trees, located along the boulevard. Landscaping along the southern edge of the site, abutting the driveway entrance to the site and the Calgary Design Centre, comprises a variety of trees and shrubs.

Landscaping at the rear of the site is generous, in order to create a pleasant interface with users of the future Green Line LRT station. Landscaping within the parking area is proposed within planters and also at grade with planting beds, and includes a range of trees and shrubs.

### **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

The large communal outdoor amenity space, located in the northeastern corner of the site, is a positive addition to the development. The outdoor amenity space comprises an area of 219 square metres, exceeding the minimum bylaw requirements for common amenity space by 159 square metres. The space includes a lounging green, trellis, barbecue, benches and tables and chairs. The development includes a gate between the common amenity space and the adjoining parcel to the north, owned by The City and adjoining the future LRT station area.

#### ***Citywide Urban Design***

The application was circulated to the Citywide Urban Design team, who provided comments regarding the fact that this is the first development within the Ramsay community along 11 Street SE, a community activity hub, and within 100 metres of the future Inglewood/Ramsay LRT Station. The comments and design responses are summarized below:

<b>CITYWIDE URBAN DESIGN</b>	<b>DESIGN RESPONSES</b>
The back of the proposed development requires more creativity to appeal to the general public and future green line users.	Surface parking at rear refined, with an outdoor amenity space for resident and more improved landscaping.
The proposed design does not consider the eclectic character and context of the community.	Building materials amended to include corrugated metal panels. No appetite from applicant to utilize colour/public art/varying materials.
Patrons to the retail units will park at the rear and need to walk through the entry driveway along the south edge of the site to access storefronts.	No change.
The proposed development is not integrated with adjoining sites. To the south, the aesthetic integration with the Calgary Design Centre is not visible, and to the north, there is no connection to the vacant city land that adjoins the future station.	Corrugated metal panels utilized on the south elevation, representing the industrial history of the area. An access gate has been added to the outdoor amenity space, providing access to the adjoining city owned land.
The main entry of the building is not obvious.	Inclusion of a plaza and a wider entry to the residential lobby.
There is little pedestrian comfort in the way of outdoor seating (for retail).	Log benches added to front of retail units.
The plans lack details of lighting on the building façade as well as wayfinding signage.	Lighting plan provided. Applicant advised that a wayfinding consultant will be brought on at a later stage.

#### ***Urban Design Review Panel***

Urban Design Review Panel (UDRP) reviewed the proposed development permit application on 2017 October 25 and endorsed the project with comments. UDRP comments are contained in their entirety in Attachment 3, together with the applicant's response. Administration believes that the proposal has effectively addressed the majority of the panel's comments.

## **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

### ***Transportation Networks***

Access to and from the subject parcel will be via 11 Street SE. The single all turns access point will accommodate residential, commercial and loading vehicles. As per the *Calgary Transportation Plan*, 11 Street SE is classified as an Arterial Street.

The site is located adjacent to the future Inglewood/Ramsay Green Line LRT Station and a vacant City-owned parcel that will be used for Green Line infrastructure. There is also a future Calgary Transit bus layby planned directly in front of the site that is to be constructed as part of the Green Line enabling works. The subject site is part of the Inglewood/Ramsay transit oriented development area and TOD principals were incorporated into the development.

A Transportation Impact Assessment (TIA) and Parking Study were submitted in support of the development. The TIA identified that no-offsite improvements were required to facilitate the development and that the vehicular impacts of the development on the surrounding road network were minimal. The Parking Study provided direction on the commercial and visitor parking demand. Commercial and visitor parking were supplied in accordance with the recommendations of the Parking Study.

### ***Utilities and Servicing***

Sanitary sewers are presently available to service the development. A Sanitary Servicing Study for the proposed development has been submitted by the applicant, and approved by Water Resources. No off-site upgrades are required.

Water mains are presently available to service the development and can accommodate the potential redevelopment of the subject site without the need for off-site improvements as indicated in the provided Fire Flow calculation letter.

Storm sewers are presently available to service the proposed development.

### ***Environmental***

As a condition of the development permit, the applicant submitted a Risk Management Plan documenting how residual hydrocarbon impacts in soil will be addressed at the construction stage. The report has been accepted by The City's Environmental & Safety Management business unit.

### ***Strategic Alignment***

#### ***South Saskatchewan Regional Plan (Statutory, 2014)***

The recommendation by Administration in this report has considered and is aligned with the policy direction of the *South Saskatchewan Regional Plan (SSRP)* which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

## **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

### ***Municipal Development Plan (Statutory, 2009)***

In accordance with the Urban Structure Map (Map 1) of the *Municipal Development Plan* (MDP), the subject site is identified as being located within the Developed Residential Area – Inner City Area. The land use policies in section 3.5.2 state that Inner City areas should maintain and expand, where warranted by increased population, local commercial development that provides retail and service uses in close proximity to residents, especially in the highest density locations. Buildings should maximize front door access to the street and principle areas to encourage pedestrian activity.

The MDP's City-wide policies, Section 2 and specifically Section 2.2 Shaping a More Compact Urban Form provide directions to encourage transit use, make optimal use of transit infrastructure, and improve the quality of the environment in communities. The intent of these policies is to direct future growth of the city in a way that fosters a more compact and efficient use of land, creates complete communities, allows for greater mobility choices and enhances vitality and character in local neighbourhoods.

The subject site is located within 100 metres of the future Inglewood/Ramsay LRT Station. The proposed development achieves a density of 274 units per hectare and proposes additional commercial uses in the community that are transit-oriented and in keeping with the above MDP policies.

### ***Ramsay Area Redevelopment Plan (Statutory, 1988)***

The site is identified within the Ramsay Area Redevelopment Plan (ARP) as Commercial, and within the "Study Area" sub area, in accordance with Map 4: Residential Sub-Areas and Sites Under Policy Review. The ARP states that the site is appropriate for commercial development, as well as residential development where land is deemed safe from an environmental perspective, and the design of buildings mitigate noise and other concerns related to the adjacent rail lines.

The ARP provides a number of policies specific to the east side of 11 Street SE. The intent of the policies is to provide for a full range of commercial and mixed-use/residential uses.

The proposed development represents mixed-use transit-oriented development, complying with the ARP.

It is highlighted that the proposed development is aligned with the Draft of the Historic East Calgary Area Redevelopment Plan, which presently identifies the site as Community – Centre, which anticipates six to 10 storey mixed-use development.

### ***Land Use Bylaw 1P2007 (Statutory, 2007)***

The proposed development complies with Land Use Bylaw 1P2007, with the exception of a few relaxations. These Bylaw relaxations are identified in the table below and are supported by Administration as the proposed relaxations would not unduly interfere with the amenities of the community or materially interfere with the or affect the use, enjoyment or value of neighbouring properties. In compliance with the "test for a relaxation" set out in Section 36 of the Land Use

**Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

Bylaw, the proposed development conforms to the definitions of the uses Multi-Residential Development and Retail and Consumer Service. The application relaxations have been further reviewed under Section 35 of the Land Use Bylaw 1P2007 and warrant approval. Rationale for these approvals are found below the table.

<b>Bylaw Relaxations</b>		
<b>Regulation</b>	<b>Standard</b>	<b>Provided</b>
644,13 Building Height (max.)	(1) Unless otherwise referenced in subsections (2), (3), (4) and (5), the maximum building height is 26.0 metres.	Plans indicate the following building heights: North – 26.65m (+0.65m); East – 26.50m (+0.50m); South - 26.50m (+0.50m); and West - 26.50m (+0.50m).
557 Amenity Space	(8) Private amenity space must: (b) have no minimum dimensions of less than 2.0 metres.	Plans indicate multiple balconies with a depth of less than 2.0m, the narrowest being 1.39m (-0.61m).
99 Rules for canopy Signs	(1) The copy area on a canopy sign must not exceed 50% of the total area of the canopy which will be measured by the vertical height of the canopy multiplied by the length of the canopy or awning	Plans indicate the copy area of multiple canopy signs exceed 50% of the total area of the canopy.
Motor Vehicle Parking Stalls	21 commercial parking stalls required.	Plans indicate 14 (-7) commercial stalls.
	22 visitor parking stalls required.	Plans indicate 16 (-6) visitor stalls.

**Building Height**

The proposed Multi-Residential Development comprises a maximum height of 26.65 metres, 0.65 metres higher than the *Land Use Bylaw* allows within the M-H1 District. While the principal elevation of the building has been designed to align with the required 26.0 metre height plane, the dark metal wrapping feature projects above the height plane as noted. This wrapping feature has been lifted above the height of the primary roof line to create visual interest and variation along the top of the building.

The applicant attempted lowering the building height to achieve bylaw height compliance, however was unable to reduce the height of the residential floors. The second floor level has a height of 5.65m, which is higher than the typical 4.5m, in order to achieve the required 5.0m vertical clearance at the drive aisle for waste and recycling vehicles. This main floor height increase has resulted in the reduction of the typical floor to floor height, resulting in no possible further reductions.

The proposed relaxation represents a relaxation to the rule by 2.5 percent, and is supported by Administration.

## **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

### **Amenity Space**

The proposed development includes 12 balconies on the north and south sides of the building that comprise areas that are smaller than the Bylaw permits. To accommodate these residences, in addition to the smaller balconies, the development includes a public amenity space along the north-east corner of the property with an area of 219 square metres, with a barbeque, seating, trellis and access through to the future LRT site. Administration supports the proposed relaxation.

### **Canopy Signs**

Signage has been provided in response to the size of the proposed retail units as well as pedestrian viewing distances. The proposed development provides narrow metal canopies rather than high fabric canopies more commonly found with canopy signage. In accordance with bylaw rules, the proposed signage would be limited to six inches in height in order to be compliant.

Administration considers the proposed signage size to be appropriate given the nature of the development.

### **Motor Vehicle Parking Stalls**

The proposal provides 14 commercial parking stalls and 16 visitor stalls, requiring a relaxation of seven commercial stalls and six visitor stalls. The proposed underground parkade extends the full area of the site. Administration worked with the applicant to create a situation where relaxations to parking stalls were only for commercial and visitor stalls, maintaining bylaw requirements for resident parking stalls. Given the location of the site within 100 metres of the future Inglewood/Ramsay LRT station, as well as the site's proximity to employment, services and main streets, the proposed relaxations are supported by Administration.

## **Stakeholder Engagement, Research and Communication**

### ***Communications***

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. The application has been advertised at [www.calgary.ca/development](http://www.calgary.ca/development).

The decision made by Calgary Planning Commission will be advertised in accordance with the *Municipal Government Act*. As this development permit is for a discretionary use, an appeal may be filed based on the decision on the entire permit, the decision to grant a relaxation, or any of the conditions placed on an approval.

### ***Applicant-led engagement***

The applicant met with the planning representative of the Ramsay Community Association on 2018 May 03 in order to go over the Community Association's comments on the proposed development. As a result, updated comments were received by Administration, largely



### **Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

identifying satisfaction with the changes made to the plans, and providing support of the proposed development overall (Attachment 4).

#### ***City-led engagement***

Administration assessed the application and it was deemed that additional City-led engagement was not required.

In keeping with Administration's standard practices, stakeholders were given the opportunity to comment online through the Planning and Development Map or by contacting the planner directly by mail, phone, or email.

The Ramsay Community Association reviewed the application at different stages of the design and provided comments on 2017 September 06 and again on 2017 November 09 (Attachment 4). Comments from September indicated general support for the proposed development, with requests for specific changes to the building design. Comments from November 09 were supportive of the changes made through amended plans. The comments received and resulting changes to the plans are summarized in the table overleaf.

#### ***What we heard / what we did***

THEME	WHAT WE HEARD (ISSUE OR OPPORTUNITY IDENTIFIED)	WHAT CHANGES WERE MADE AND/OR RESPONSE TO THE ISSUE IDENTIFIED
<b>PEDESTRIAN STREETSCAPE</b>	Require more articulation to break up the repetitious design of storefronts.	Articulation and a greater variety of materials used for the store fronts.
	The building corners need more attention.	Additional glazing was added to the south building wall, however further attention would be appreciated by both the Community Association and Administration.
	South elevation is very visible without enough architectural attention.	Change in materials to provide more visual interest and connection to Ramsay's character. Further changes would be appreciated by both the Community Association and Administration.
<b>CIRCULATION</b>	There is an opportunity to connect the rear parking area with the retail uses through the residential lobby.	No change.
<b>DESIGN</b>	Lobby entrance lacks visual interest.	Lobby entrance was brought forward with additional landscaping and signage.
	Request a larger variety of materiality, variation in building height, and more articulation in the commercial facade.	A greater variety of materials was proposed, including red brick, supported by the Ramsay Community Association.

**Development Permit in Ramsay (Ward 9) at 1802 - 11 Street SE, DP2017-4891**

**Social, Environmental, Economic (External)**

The proposed development utilizes existing infrastructure to provide an additional 144 units within 100 metres of the future Inglewood/Ramsay LRT station. Further, the development will provide for additional commercial and employment opportunities on the site and for the community.

**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to current or future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed development does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal.

**REASONS FOR RECOMMENDATION:**

The application proposes to develop a vacant site with a new transit-supportive mixed-use development comprising 144 units, making use of existing infrastructure as well as investment into transit in the near future. The proposal is aligned with relevant City policies and is generally aligned with the Land Use Bylaw.

**ATTACHMENTS**

1. Development Permit Plans
2. Conditions of Approval
3. UDRP Comments / Responses
4. Community Association Comments

Development Permit Plans



COVER PAGE

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REVISIONS	DATE
DP SUBMISSION	OCTOBER 25, 2017
DTA #1 COMMENTS	JULY 5, 2018
DTA #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 15, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MHN  
CHECKED BY: GZ

DRAWING NO.  
**DP-0.0**

**RAMSAY MIXED USE**  
**ISSUED FOR CPC**

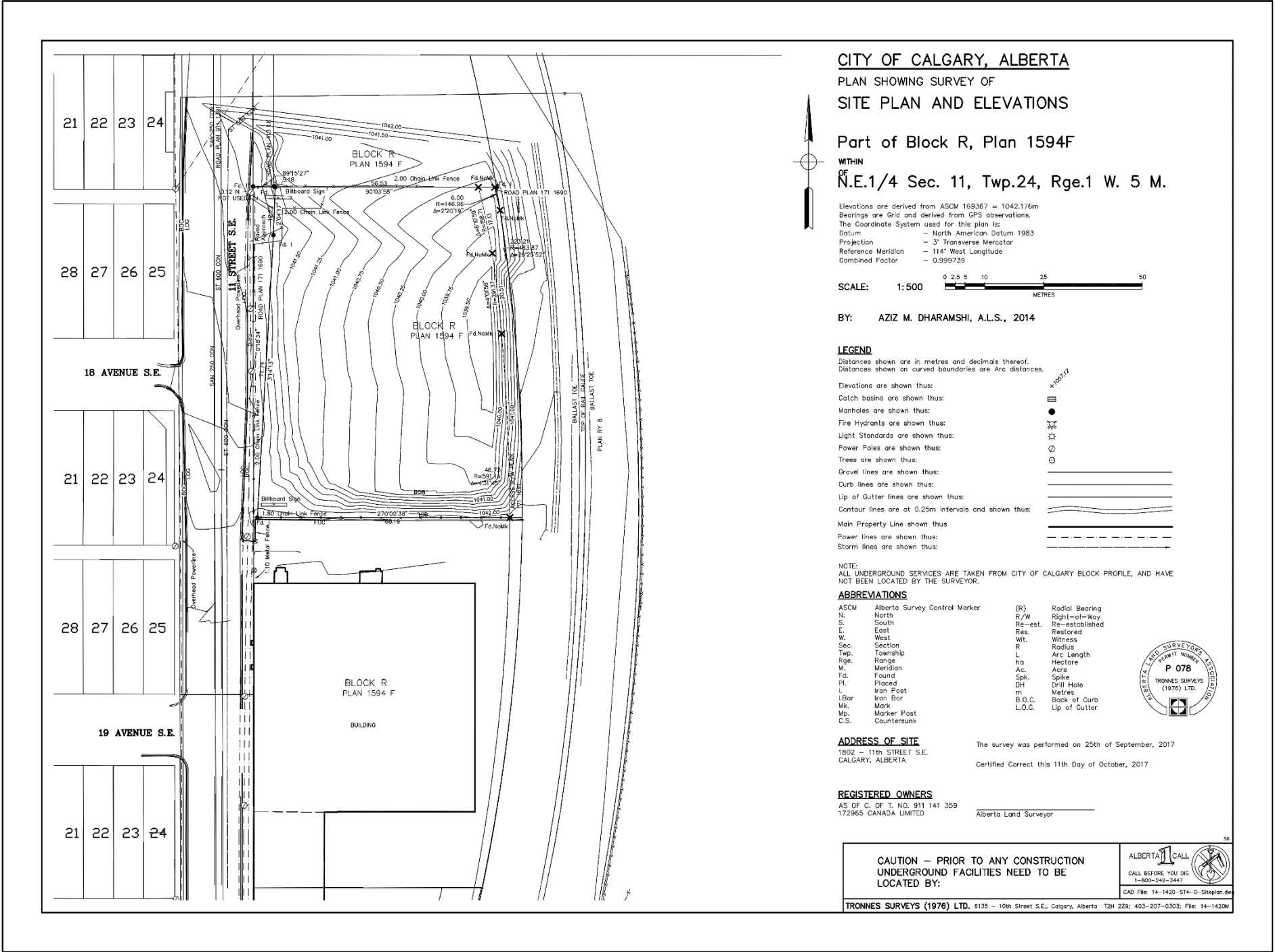
Design Team							
<b>ARCHITECT</b>	<b>MECHANICAL</b>	<b>ELECTRICAL</b>	<b>STRUCTURAL</b>	<b>CIVIL</b>	<b>LANDSCAPE</b>		
COMPANY: S2 Architecture	COMPANY: Remedy Engineering	COMPANY: Design Core	COMPANY: TRL & associates	COMPANY: Jubilee Engineering Consultants Ltd.	COMPANY: Navagrah LA + UD		
CONTACT: Chad Zyla	CONTACT: Jeff Swart	CONTACT: Rick Robertson	CONTACT: Brian Tomecek	CONTACT: Hamid Mohamed	CONTACT: Yogeshwar Navagrah		
ADDRESS: 900, 110 12 Ave SW CALGARY	ADDRESS: #200, 1422 Kensington Rd NW CALGARY	ADDRESS: #100, 4723 1st Street SW CALGARY	ADDRESS: #100, 1615 10th Ave SW, Calgary	ADDRESS: 3702 Edmonton Trail NE, Calgary	ADDRESS: #204, 337 - 17th Ave SW, CALGARY		
OFFICE: 403-670-7000	OFFICE: 403-984-6960	OFFICE: 403-269-2125	OFFICE: 403-244-4944	OFFICE: 403-276-1001	OFFICE: 403-708-8778		
EMAIL: c.zyla@s2architecture.com	EMAIL: jeff.swart@remedyeng.com	EMAIL: rrobertson@designcore.ca	EMAIL: brian@trle.ca	EMAIL: hamid@jubileeengineering.com	EMAIL: ynavagrah@navagrah.ca		




## Development Permit Plans

[illegible]

Development Permit Plans



1 SURVEY PLAN  
SCALE: NTS



S2  
architecture

Suite 103, 110 - 12th Avenue S.E.  
Calgary, Alberta, T2C 1S7  
T 403.875.7028  
www.s2architects.com

SURVEY PLAN

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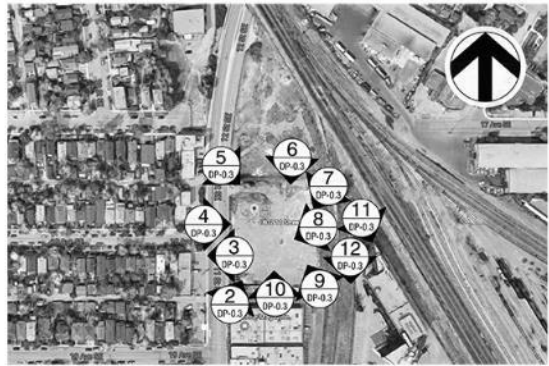
REVISIONS	DATE
1 DP SUBMISSION	OCTOBER 23, 2017
2 DTR #1 COMMENTS	JULY 3, 2018
3 DTR #2 COMMENTS	SEPT. 24, 2018
4 ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING NO.  
**DP-0.2**



Development Permit Plans



1 SITE PLAN  
DP-0.3 / SCALE: NTS



5 VIEW SOUTH EAST FROM NW CORNER OF SITE  
DP-0.3 / SCALE: NTS



9 VIEW NORTH WEST FROM SE CORNER OF SITE  
DP-0.3 / SCALE: NTS



2 VIEW NORTH FROM SW CORNER OF SITE  
DP-0.3 / SCALE: NTS



6 VIEW SOUTH FROM NE CORNER OF SITE  
DP-0.3 / SCALE: NTS



10 VIEW NORTH FROM SOUTH EDGE OF SITE  
DP-0.3 / SCALE: NTS



3 VIEW WEST FROM SW CORNER OF SITE  
DP-0.3 / SCALE: NTS



7 VIEW SOUTH WEST FROM NE CORNER OF SITE  
DP-0.3 / SCALE: NTS



11 VIEW SOUTH EAST FROM NE CORNER OF SITE  
DP-0.3 / SCALE: NTS



4 VIEW EAST FROM WEST BOUNDARY TOWARDS THE SITE  
DP-0.3 / SCALE: NTS



8 VIEW WEST FROM EAST BOUNDARY TOWARDS THE SITE  
DP-0.3 / SCALE: NTS



12 VIEW SOUTH FROM EAST EDGE OF SITE  
DP-0.3 / SCALE: NTS



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SITE PHOTOS

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DTR #1 COMMENTS	JULY 9, 2018
DTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

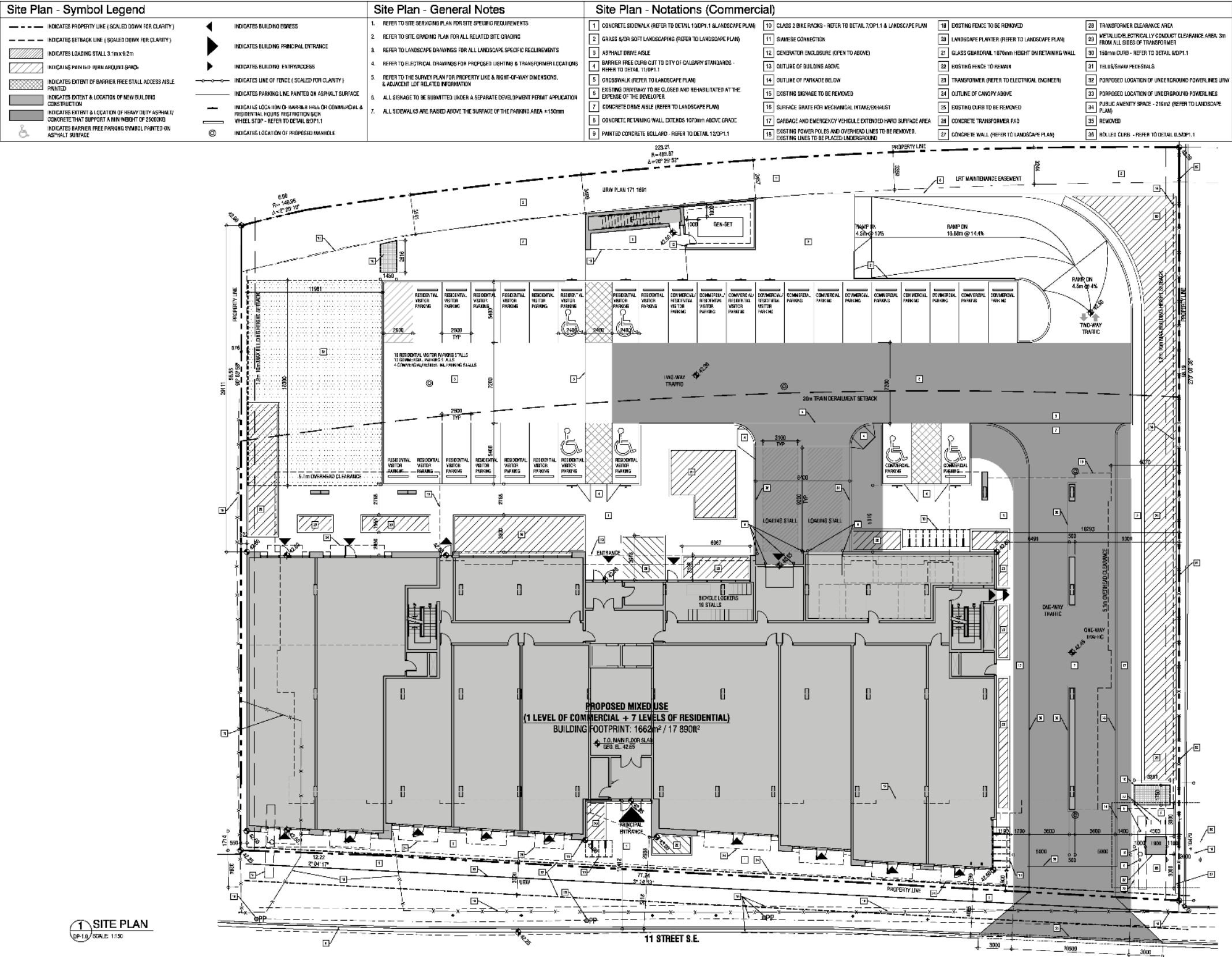
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DATE November 13, 2018  
DRAWN BY MEH  
CHECKED BY CZ

DRAWING NO.

DP-0.3

P:\Projects\2017 Projects\217071 Torode Realty Advisors Inc - Ramsay Residential and Workshop\3 CAD\Architectural\Drawings\3 SITE PHOTOS.dwg

Development Permit Plans



**SITE PLAN**

**RAMSAY MIXED USE**

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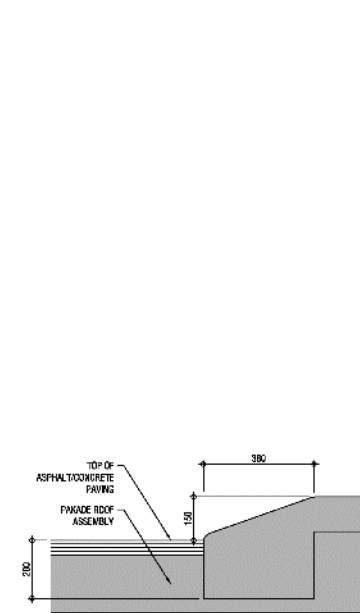
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DP #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

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CHECKED BY: GZ

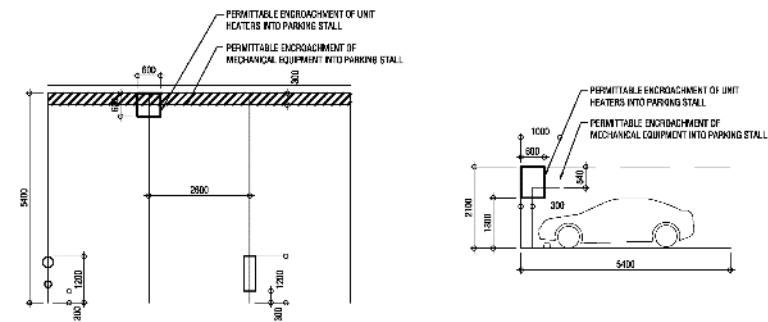
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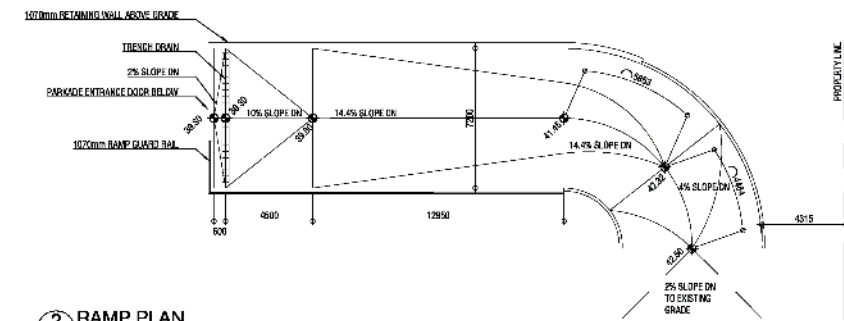
## Development Permit Plans



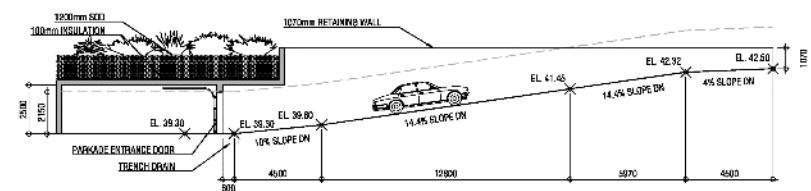
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CP1.1 SCALE: 1:10



1 TYPICAL DETAIL - PARKING ENCROACHMENT  
DPL SCALE 1:75



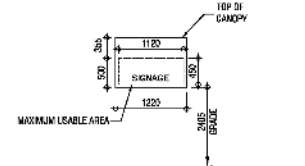
**2 RAMP PLAN**  
DP1.1 SCALE: 1:150



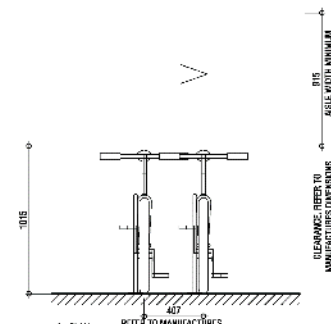
**3 RAMP SECTION**  
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**4 TYPICAL RETAIL SIGNAGE**  
DP1.1 SCALE: 1:50



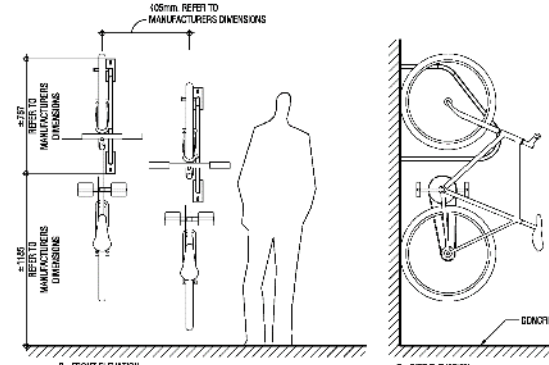
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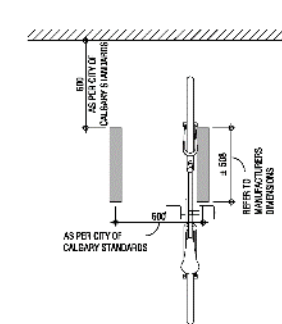
**6 CLASS 1 BIKE RACKS**  
DPI.1 SCALE: 1:80



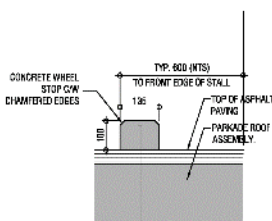
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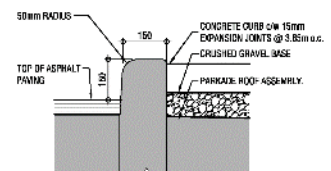
C - FRONT ELEVATION



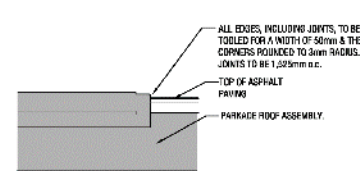
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DP.1.3 GC4Lb: 1.20



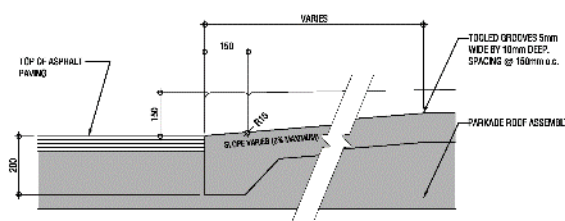
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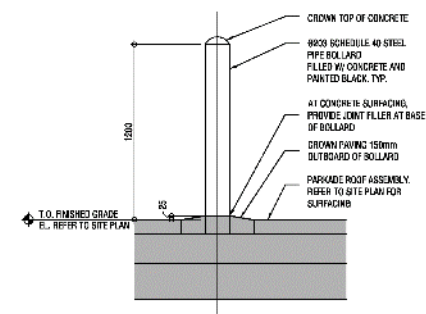
**9 DEEP CURB DETAIL**  
OP.1 SCALE: 1:10



**10 SIDEWALK DETAIL**  
DP1.1 SCALE: 1:10



**11 TYP. BARRIER FREE CURB CUT DETAIL**  
DP1.1 SCALE: 1:10



12 TYP. BOLLARD  
DP1.1 SCALE: 1/20



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REVISIONS	DATE
1	

1 UP SUBMISSION OCTOBER 23, 20

2	UTR #1 COMMENTS	JULY 9, 20
3	UTR #2 COMMENTS	SEPT. 24, 20

3 3TH & 2 COMMENTS SEP 17, 24, 25  
4 ISSUED FOR CPC NOVEMBER 13, 20

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SCALE	AS NOTED
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DATE November 13, 2018  
DRAWN BY MEH

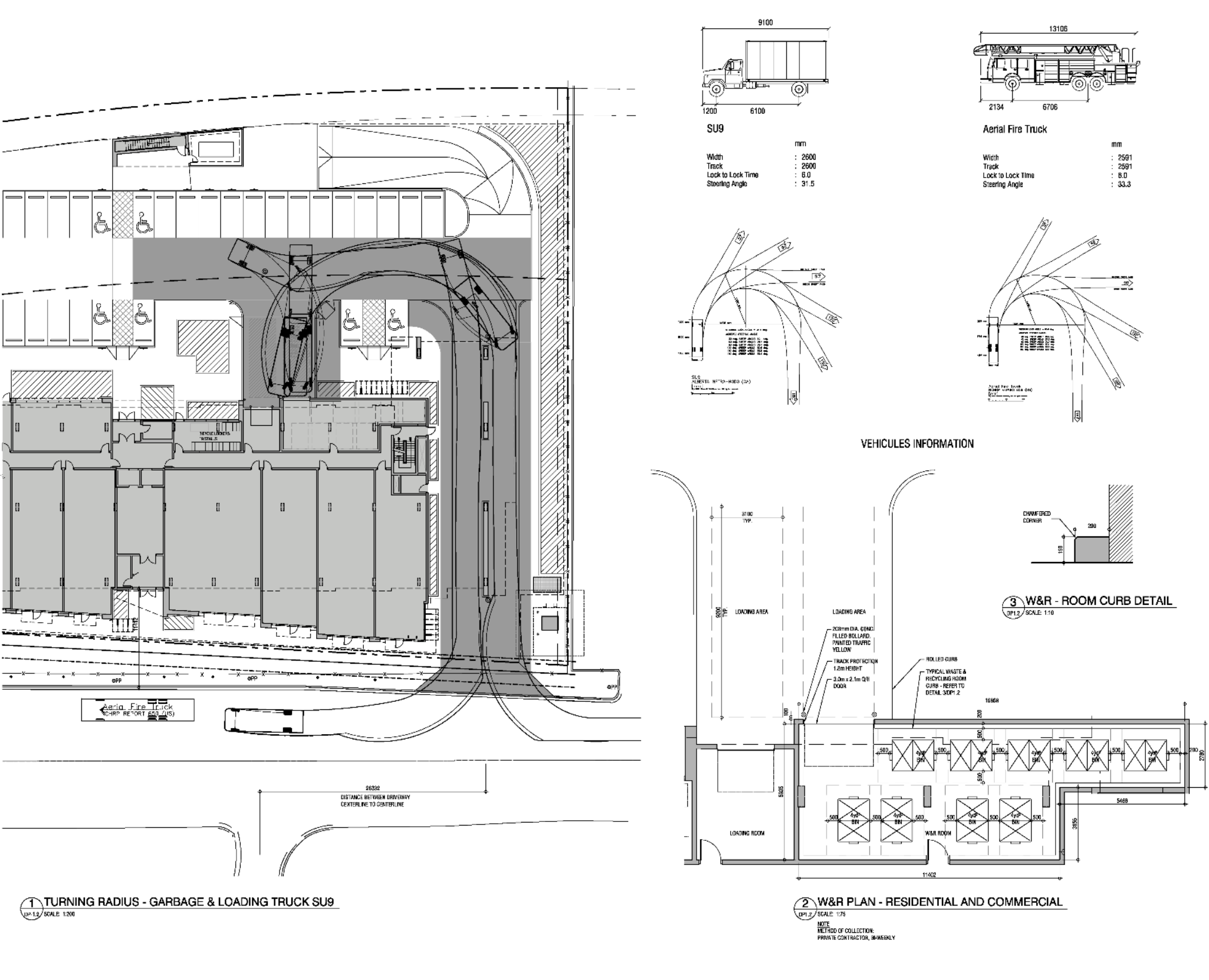
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DP-1.1



Development Permit Plans



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WASTE AND RECYCLING MANAGEMENT

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REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
DP #1 COMMENTS	JULY 16, 2018
DP #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

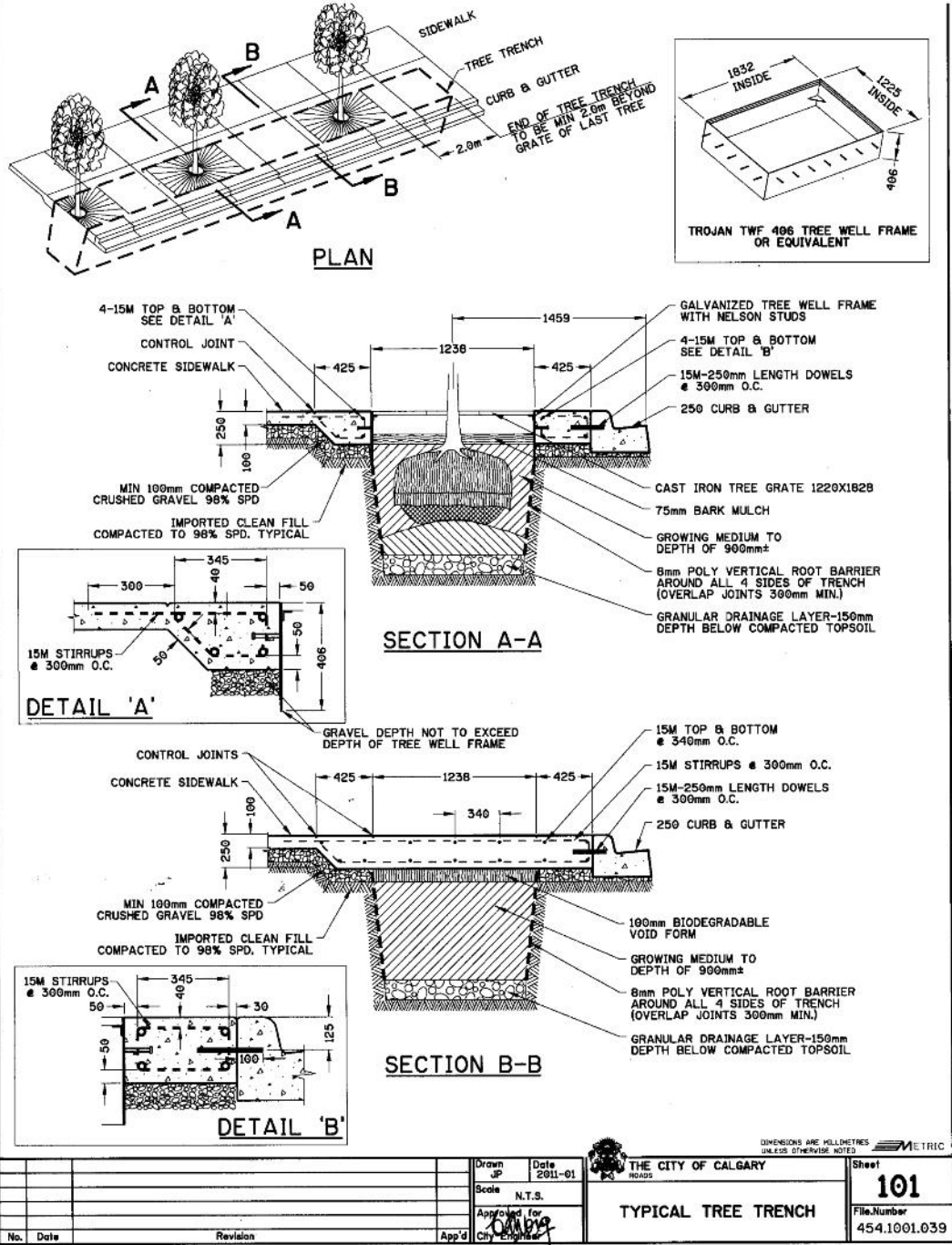
DRAWING NO.: **DP-1.2**





Development Permit Plans

CITY OF CALGARY STANDARD TREE TRENCH DETAIL



BIKE RACK



TRIO BIKE RACK  
FINISH: POWDERCOAT 'ALUMINUM  
TEXTURE'  
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LANDSCAPE DETAILS

**RAMSAY MIXED USE**

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A. Ramsay Mixed Use is a project of the City of Calgary. The drawings are for informational purposes only. They are not to be used for construction.

NO.	DATE	REVISION	APPROVED
1	2018-01-10	ISSUED FOR PERMIT	[Signature]

13C - UNRESTRICTED

101

454.1001.039

SCALE: 1:200

DATE: MAY 2018

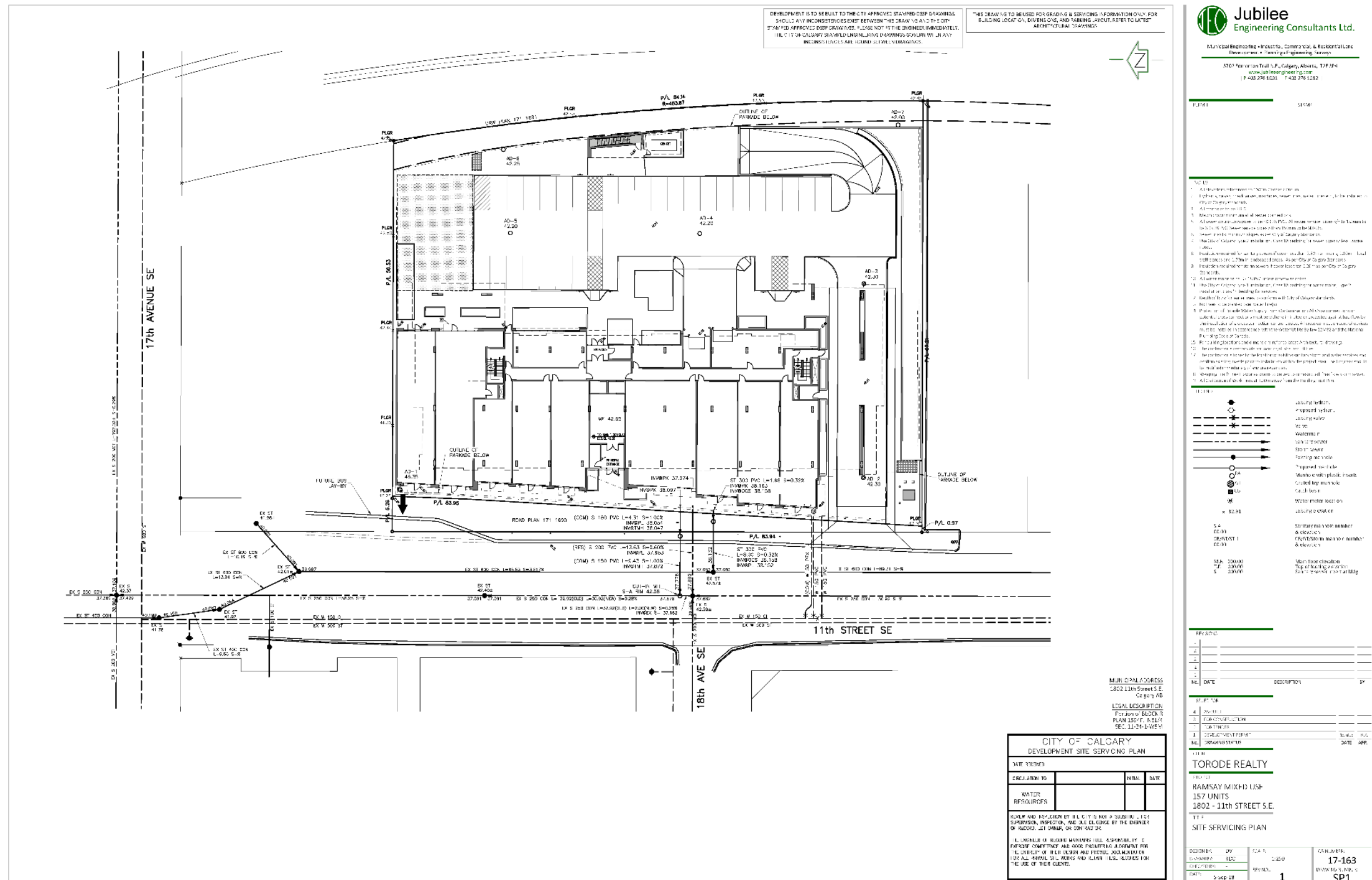
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CHECKED BY: [Name]

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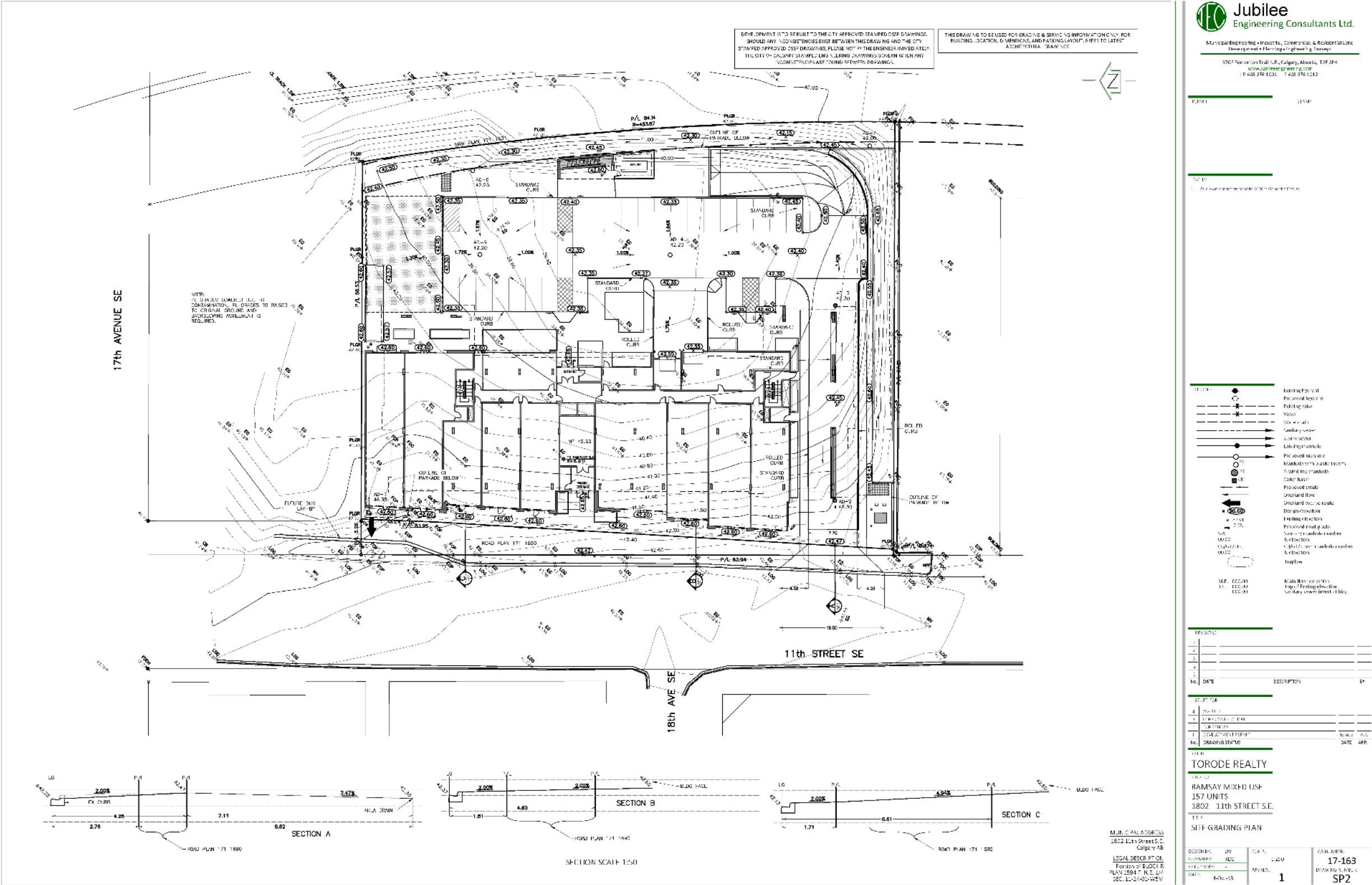
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## Development Permit Plans

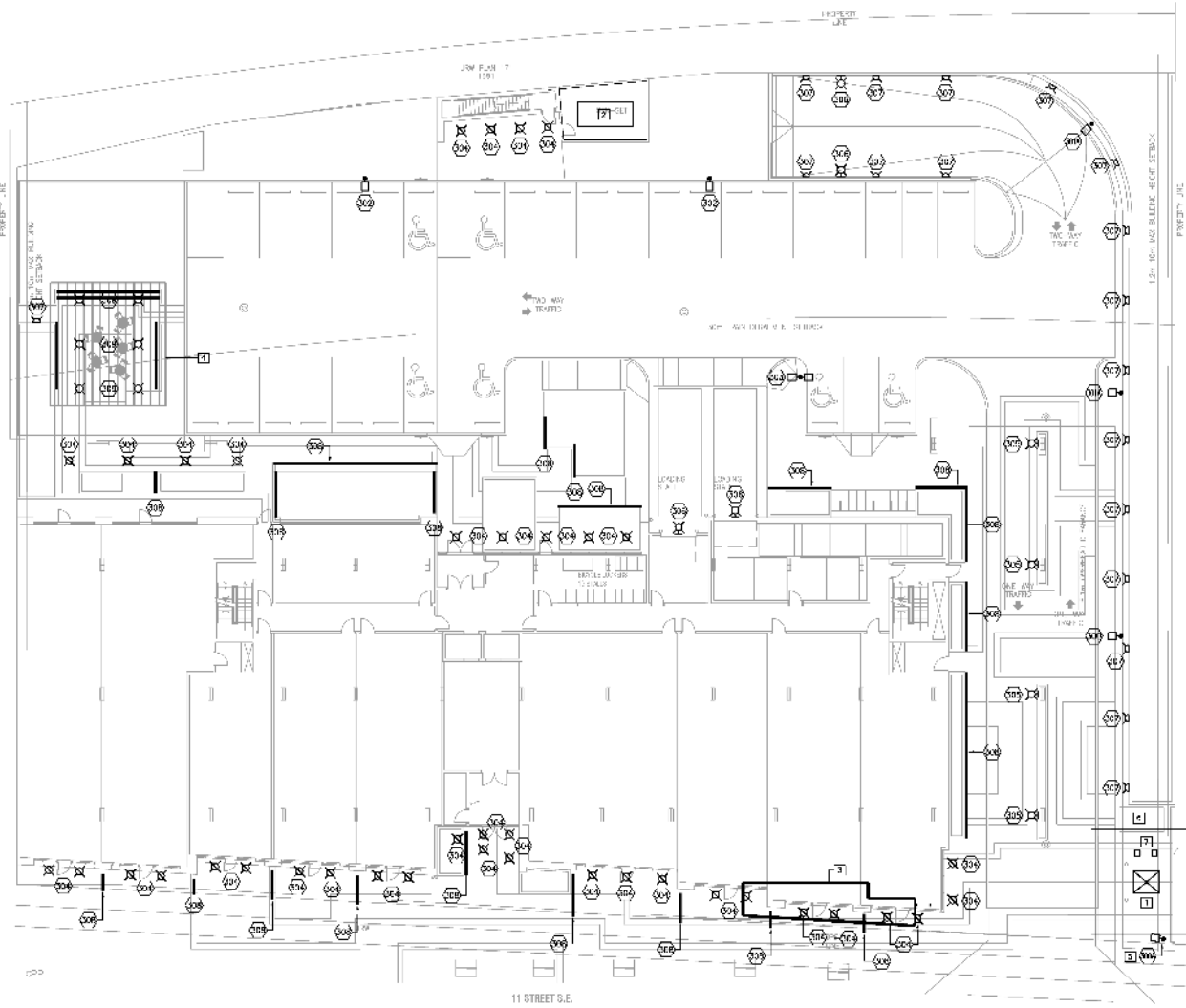




Development Permit Plans



## Development Permit Plans



1 DP ELECTRICAL SITE PLAN  
DP-11.0 SCALE: 1/2"=1'-0"

LEGEND OF SYMBOLS			
LIGHTING			
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LUMINAIRE SCHEDULE				
TYPE	DESCRIPTION	LAMPS	MTG	REMARKS
300	LED POLE LUMINAIRE	LED 4000K	POLE	12' POLE COMPLETE WITH HOUSE SIDE BUILDING
300A	LED POLE LUMINAIRE	LED 4000K	POLE	12' POLE WITH 150' SPILL LIGHT 2 LUMINAIRES IT
301	LED POLE LUMINAIRE	LED 4000K	POLE	12' POLE
301A	LED POLE LUMINAIRE	LED 4000K	POLE	12' POLE COMPLETE WITH HOUSE SIDE BUILDING
305	LED POLE LUMINAIRE	LED 4000K	POLE	20' POLE COMPLETE WITH HOUSE AND SIDE BUILDING
303	LED POLE LUMINAIRE - DOUBLE HEAD	LED 4000K	POLE	12' POLE
304	LED DOWN LIGHT SURFACE	LED 4000K	SURFACE	COMPL FTF WITH 156 CASEP KIT
305	LED UNDER GLASS WALL MOUNTED DOWN LIGHTS	LED 4000K	SURFACE/WALL	COMPLETE WITH 90' FILL SHIMMING ON 1" GLASS
308	LED WALL PACK	LED 4000K	SURFACE/WALL	
307	LED RECESSED RECESSED WALL LUMINAIRE	LED 4000K	RECESSED WALL	
303	LED BINGE PLANTER STRIP LIGHT	LED 4000K	SURFACE	MOUNTED UNDERSIDE OF THE BENCH AND UNDER GLASS OF PLANTER GROOVE COMPLETE WITH SHIMMED GLASS FOR 25 PPM/HR PROTECTION
309	OUTDOOR RATED TRELIS LUMINAIRE	LED 4000K	SURFACE	

NOTES:

GENERAL NOTES:

- A) ELECTRICAL CONDUITING TO USE LIGHTING POLE HEIGHTS AS NOTED ON ELECTRICAL SCHEMATIC, MOUNTED ON CONCRETE PILES.
- B) COORDINATE INSTALLATION OF 4 LINEPINS UNDER PILEHEADS TO MAINTAIN A MINIMUM CLEARANCE OF 3000MM FROM UNDER THE MAIN WINDAGE TO PREVENTS AND MINIMIZE THE RISK OF FIRE. USE 100MM DIA. STEEL PIPES TO MAINTAIN 3000MM CLEARANCE FROM UNDER THE MAIN WINDAGE TO PREVENTS AND MINIMIZE THE RISK OF FIRE.
- C) 10KV SWAROV, SWIM AND WATER JETS ARE ON PARALLEL TO JAYS FLEETED.
- D) 10KV SWAROV LIGHT PILEHEADS WITH LOWER, JAYS AND SWIM.
- E) ALL PILE LIGHT FLEETED TO BE INSTALLED 1000MM BELOW WINDAGE.
- F) ALL LIGHT PILEHEADS SHALL BE HULL ON 4 AND 10KV ALL JAYS SWAROV TO ELIMINATE THE RISK OF FIRE. USE 100MM DIA. STEEL PIPES TO MAINTAIN 3000MM CLEARANCE FROM UNDER THE MAIN WINDAGE TO PREVENTS AND MINIMIZE THE RISK OF FIRE.
- G) 10KV SWAROV, SWIM AND WATER JETS ARE ON PARALLEL TO JAYS FLEETED.
- H) 10KV SWAROV LIGHT PILEHEADS WITH LOWER, JAYS AND SWIM.
- I) ALL PILE LIGHT FLEETED TO BE INSTALLED 1000MM BELOW WINDAGE.
- J) ALL LIGHT PILEHEADS SHALL BE HULL ON 4 AND 10KV ALL JAYS SWAROV TO ELIMINATE THE RISK OF FIRE. USE 100MM DIA. STEEL PIPES TO MAINTAIN 3000MM CLEARANCE FROM UNDER THE MAIN WINDAGE TO PREVENTS AND MINIMIZE THE RISK OF FIRE.
- K) 10KV SWAROV, SWIM AND WATER JETS ARE ON PARALLEL TO JAYS FLEETED.
- L) 10KV SWAROV LIGHT PILEHEADS WITH LOWER, JAYS AND SWIM.
- M) ALL PILE LIGHT FLEETED TO BE INSTALLED 1000MM BELOW WINDAGE.
- N) ALL LIGHT PILEHEADS SHALL BE HULL ON 4 AND 10KV ALL JAYS SWAROV TO ELIMINATE THE RISK OF FIRE. USE 100MM DIA. STEEL PIPES TO MAINTAIN 3000MM CLEARANCE FROM UNDER THE MAIN WINDAGE TO PREVENTS AND MINIMIZE THE RISK OF FIRE.
- O) 10KV SWAROV, SWIM AND WATER JETS ARE ON PARALLEL TO JAYS FLEETED.
- P) 10KV SWAROV LIGHT PILEHEADS WITH LOWER, JAYS AND SWIM.
- Q) ALL PILE LIGHT FLEETED TO BE INSTALLED 1000MM BELOW WINDAGE.
- R) ALL LIGHT PILEHEADS SHALL BE HULL ON 4 AND 10KV ALL JAYS SWAROV TO ELIMINATE THE RISK OF FIRE. USE 100MM DIA. STEEL PIPES TO MAINTAIN 3000MM CLEARANCE FROM UNDER THE MAIN WINDAGE TO PREVENTS AND MINIMIZE THE RISK OF FIRE.
- S) 10KV SWAROV, SWIM AND WATER JETS ARE ON PARALLEL TO JAYS FLEETED.
- T) 10KV SWAROV LIGHT PILEHEADS WITH LOWER, JAYS AND SWIM.
- U) ALL PILE LIGHT FLEETED TO BE INSTALLED 1000MM BELOW WINDAGE.
- V) ALL LIGHT PILEHEADS SHALL BE HULL ON 4 AND 10KV ALL JAYS SWAROV TO ELIMINATE THE RISK OF FIRE. USE 100MM DIA. STEEL PIPES TO MAINTAIN 3000MM CLEARANCE FROM UNDER THE MAIN WINDAGE TO PREVENTS AND MINIMIZE THE RISK OF FIRE.
- W) 10KV SWAROV, SWIM AND WATER JETS ARE ON PARALLEL TO JAYS FLEETED.
- X) 10KV SWAROV LIGHT PILEHEADS WITH LOWER, JAYS AND SWIM.
- Y) ALL PILE LIGHT FLEETED TO BE INSTALLED 1000MM BELOW WINDAGE.
- Z) ALL LIGHT PILEHEADS SHALL BE HULL ON 4 AND 10KV ALL JAYS SWAROV TO ELIMINATE THE RISK OF FIRE. USE 100MM DIA. STEEL PIPES TO MAINTAIN 3000MM CLEARANCE FROM UNDER THE MAIN WINDAGE TO PREVENTS AND MINIMIZE THE RISK OF FIRE.

REFERRAL NOTES:

- 7) EMERGENCY TRANSFORMER.
- 8) APPROXIMATE LOCATION OF EMERGENCY GENERATOR.
- 9) APPROXIMATE LOCATION OF MAIN ELECTRICAL ROOM ON MANHOLE LEVEL BELOW.
- 10) APPROXIMATE LOCATION OF THE L.I.S. REFER TO LANDSCAPE DRAWINGS FOR TREES, DETAILS AND LIGHT LOCATIONS.
- 11) USEH GOAL TO BE INSTALLED TO SERVE THE LAMPS. ILLUMINATION/ELECTRICITY CONDUCT OF 0.75 WATT/AREA AND CLEAR OF UNDESIRABLE FOREFRONT VIEW.
- 12) INFORMATION IN THE/PLANT GRATE TO BE PROVIDED BY LAMP CONDUCTIVE TO MEET MINIMUM CONDUCTING CLEARANCE OF 3.0 M.L.S. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
- 13) TREES AND SHAW PROFILES.



TYPICAL J-FLIGHT LUMINANCE (BELOW OVERHANG)



TYPICAL MAX PACK LENGTH



TYPICAL BLEND & FLAYER S RFL-254 LUMINANCE



TYPICAL PERIMETER RECESSED LUMINARE:



DP ELECTRICAL SITEPLAN

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB

TORODE REALTY ADVISORS, CALGARY, AB  
17137

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CONSTRUCTION

If it doesn't, it's not a good idea. Do not use it. It's not a good idea.

[illegible]

All other pages of the manuscript have been checked and are  
 a verbatim copy of the original manuscript. There are no  
 corrections or deletions in the manuscript.

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ISSUED FOR DP 2017-10-2  
ISSUED FOR DISSEMINATION 2018-05-2

4-ESL-F-CP DP	2014-04-01
SQUAD DER D2 - REVIEW	2015-09-1

2016-00-0	2016-00-0
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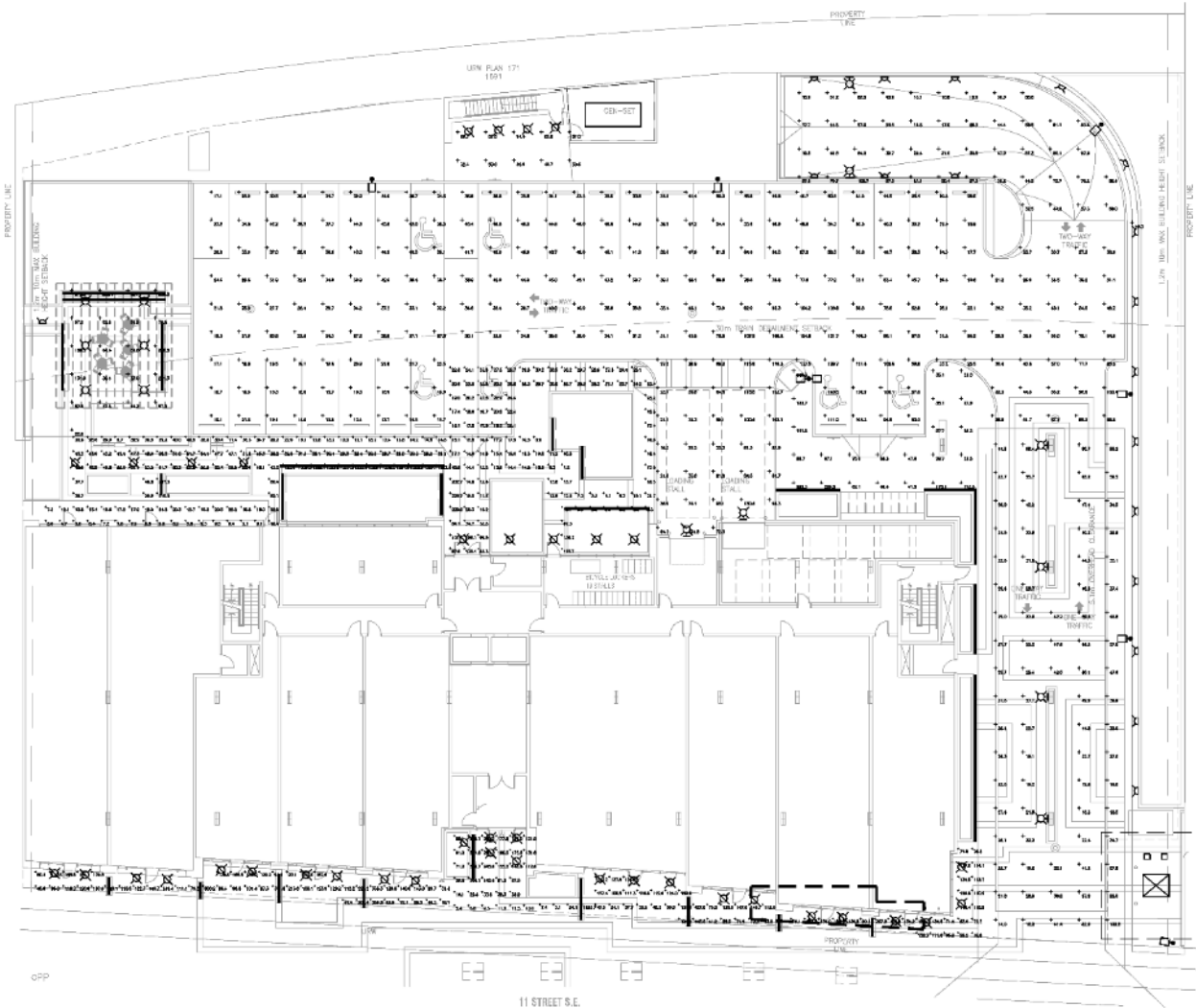
SCALE ADJUSTED  
DATE: 11/19/83  
ORGANIZATION: PS

1111-1121

DPE1.0

D1 E1.0

Development Permit Plans



11 STREET S.E.  
1 SITE LIGHTING LEVELS  
DPE1.1  
SCALE: 1:200

STATISTICS					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN
SOUTH PROPERTY	+	38.5 LUX	120.5 LUX	14.2 LUX	2.6 : 1
PARKING LOT	+	48.7 LUX	154.8 LUX	13.2 LUX	3.7 : 1
PARKADE RAMP	+	47.6 LUX	102.7 LUX	10.9 LUX	4.4 : 1
SIDEWALK SOUTH EAST	+	82.6 LUX	205.4 LUX	26.3 LUX	3.2 : 1
SIDEWALK NORTH EAST	+	96.6 LUX	1338.2 LUX	0.9 LUX	106.4 : 1
SIDEWALK NORTH WEST	+	148.3 LUX	680.2 LUX	19.7 LUX	7.5 : 1
SIDEWALK SOUTH WEST	+	126.8 LUX	1283.4 LUX	3.1 LUX	41.9 : 1
PRINCIPAL ENTRANCE	+	133.3 LUX	531.6 LUX	5.4 LUX	24.7 : 1



SITE LIGHTING LEVEL

RAMSAY MIXED USE  
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11701



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REVISIONS	DATE
ISSUED FOR DP	2017-10-21
ISSUED FOR COORDINATION	2018-08-21
ISSUED FOR DP	2018-07-05
ISSUED FOR DP - REVIEW	2018-08-10
DIRT #2 COMMENTS	2018-10-09

SCALE: AS NOTED  
DATE: October 5, 2018  
DRAWN BY: PS  
CHECKED BY: BC

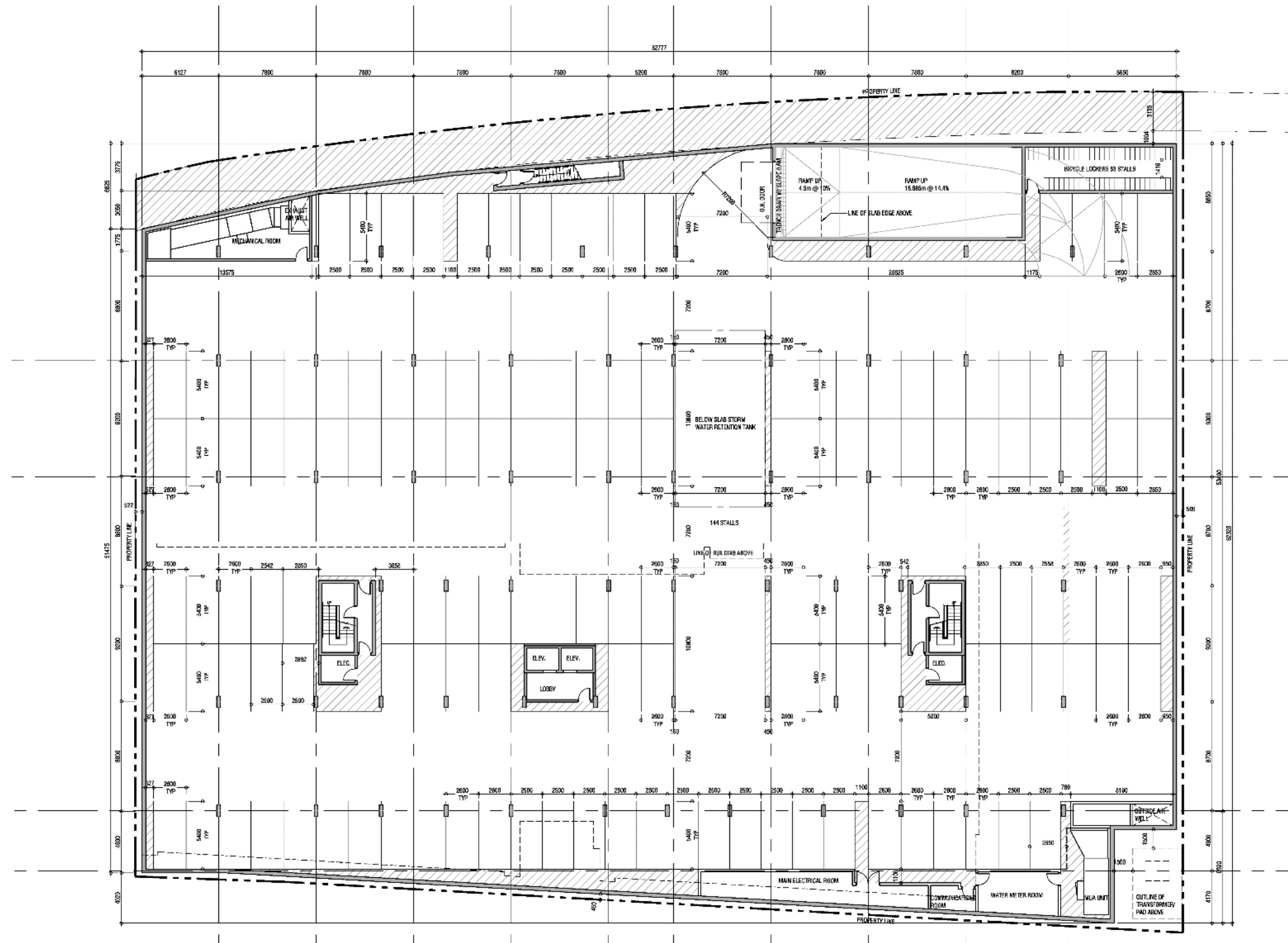
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DPE1.1

20171021 Torode Realty Advisors Inc. 11701 Ramsay Mixed Use Development - SITE LIGHTING LEVEL.dwg

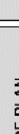


## Development Permit Plans



**NOTE:**  
LIGHT FIXTURES IN THE PARKADE TO BE POSITIONED OVER THE PARKING STALLS,  
NOT THE DRIVE AISLE.  
WALLS, PILLARS, AND CEILING OF THE PARKADE TO BE PAINTED WHITE.

**1 PARKADE PLAN**  
DP-20 SCALE: 1:150



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Calgary, Alberta, Canada, T2T 0G7  
T 403.243.7868  
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# RAMSAY MIXED USE

TORODE REALTY ADVISORS, CALGARY, AB  
2/2021

## PARKADE PLAN

# RAMSAY MIXED USE

TORODE REALTY ADVISORS, CALGARY, AB  
2/2021







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REVISIONS	DATE
 UP SUBMISSION	OCTOBER 23, 2017
 DTR #1 COMMENTS	JULY 9, 2018
 DTR #2 COMMENTS	SEPT. 24, 2018
 ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE AS NOTED

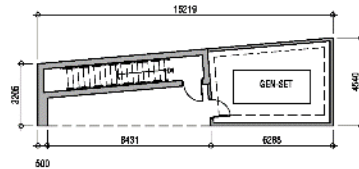
DATE November 13, 2016

DRAWING BY KEN

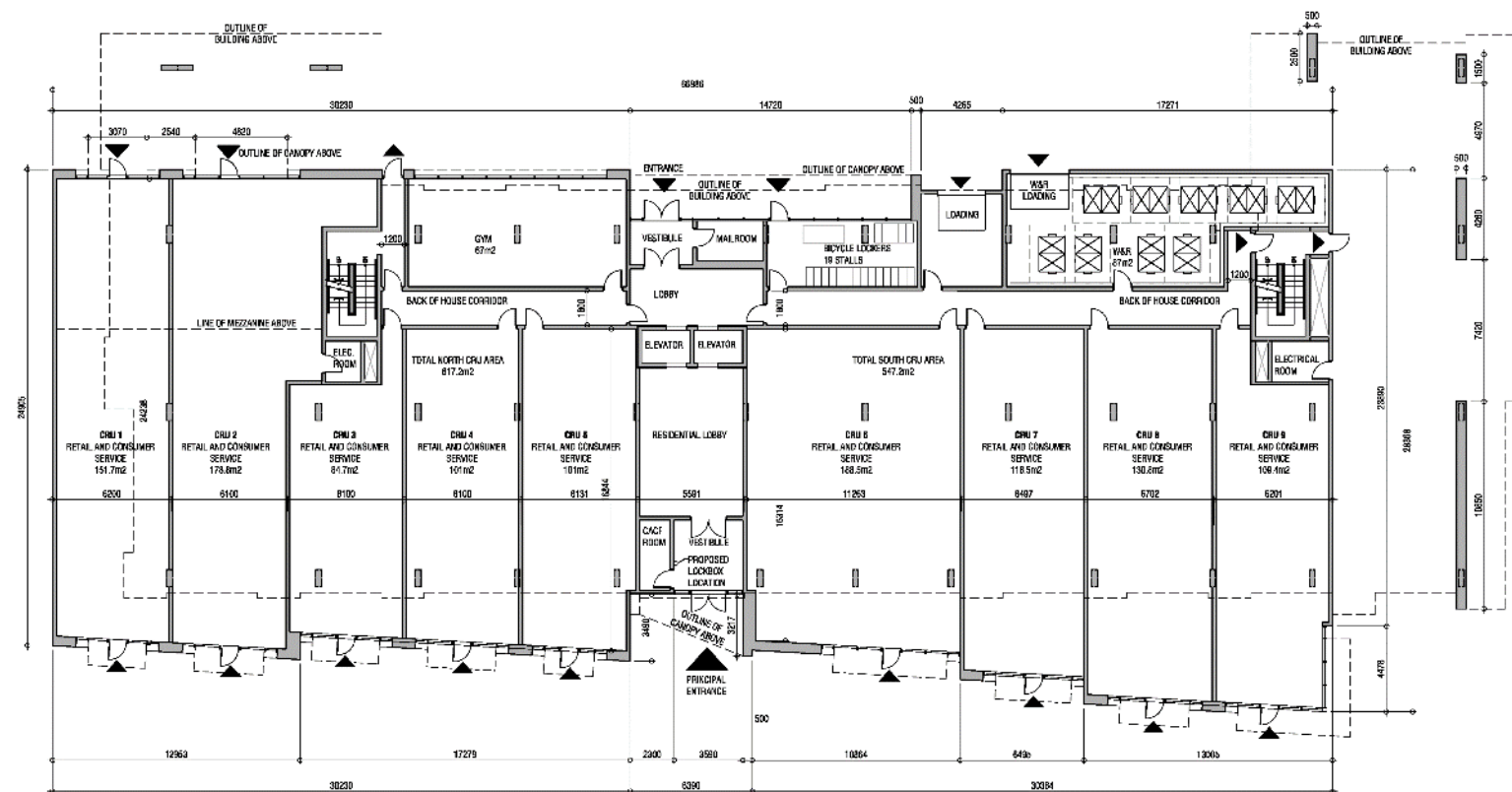
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# DP-2.0

## Development Permit Plans








1 PARKADE EGRESS STAIR MAIN FLOOR PLAN  
DP-21 SCALE: 1:150



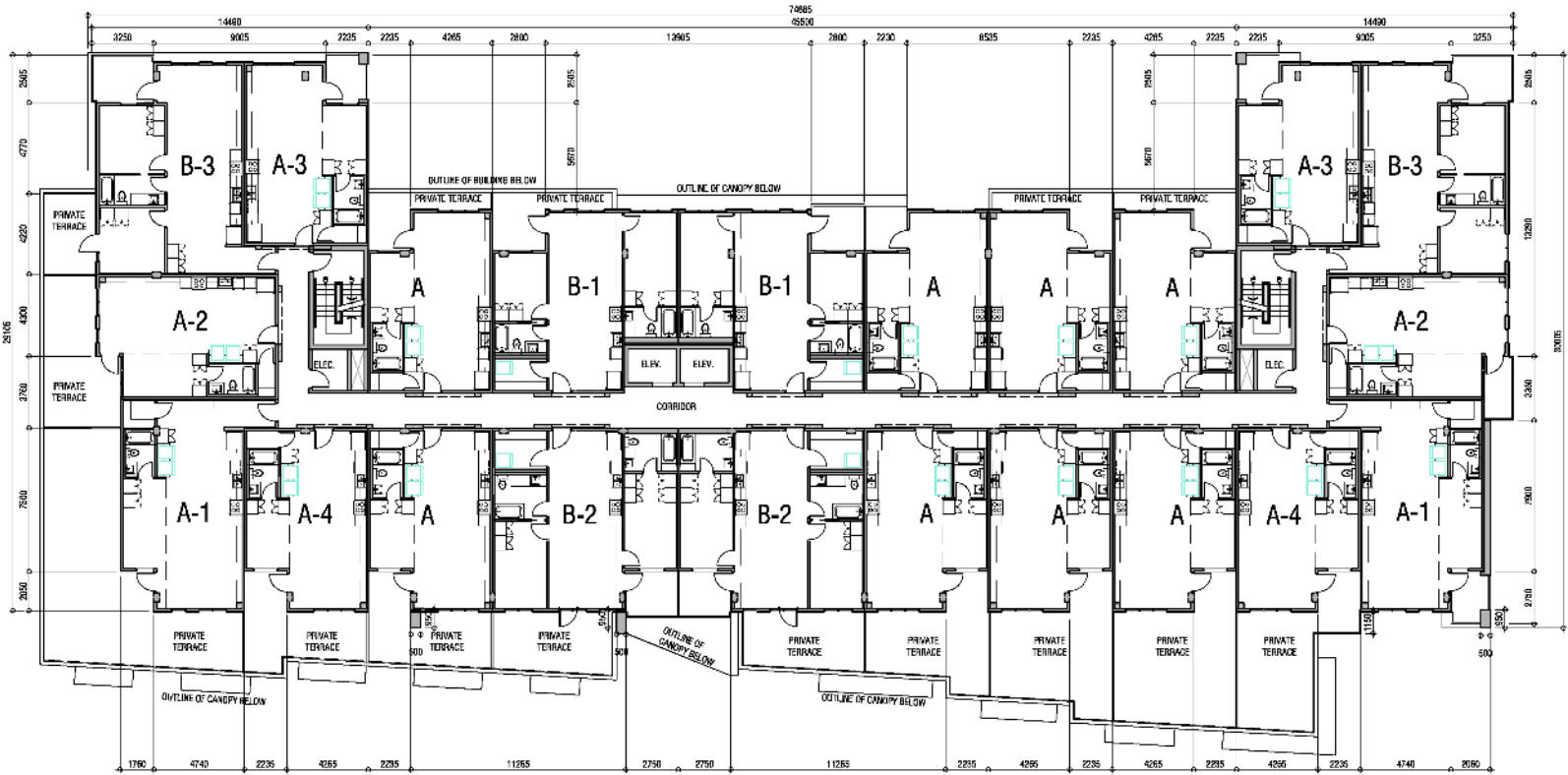
**2 MAIN FLOOR PLAN**  
DP-21 SCALE: 1:50

NOTE:  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH  
TRANSPARENT PANELS FOR VISIBILITY

 <p><b>S<sup>2</sup></b> architecture</p> <p>July 1991 - 111 - 126 Avenue SW Calgary, Alberta, Canada T2T 0Z7 Tel 403-243-7888 www.s2architect.com</p>	<p><b>MAIN FLOOR PLAN</b></p> <p style="font-size: 2em; font-weight: bold; text-align: center;">RAMSAY MIXED USE</p> <p style="text-align: right;"><b>TORODE REALTY ADVISORS, CALGARY, AB</b></p> <p style="text-align: right;">210791</p>
<h2 style="margin: 0;">NOT FOR CONSTRUCTION</h2> <p>The drawing's coordinates positions houses. Do not scale these drawings.</p> <p>Verify all dimensions, elevations and volumes, and report any discrepancies to the architect prior to construction. This is a preliminary review to help coordinate quantity, size or concrete block, type of steel formwork partitions, and post-tensioning elements walls, and/or related construction of this building.</p> <p>All drawings remain the property of the Architect. These drawings are dated April 2018. SS and BS include. These drawings may not be reproduced without the permission of the Architect.</p>	
<b>REVISIONS</b>	<b>DATE</b>
 DP SUBMISSION	OCTOBER 23, 2017
 DTR #1 COMMENTS	JULY 5, 2018
 DTR #2 COMMENTS	SEPT. 24, 2018
 ISSUED FOR CPC	NOVEMBER 13, 2018
<b>SCALE:</b> AS NOTED	
<b>DATE:</b> November 13, 2018	
<b>DRAWN BY:</b> MEH	
<b>CHECKED BY:</b> GZ	
<p><b>DRAWING NO.</b></p> <h1 style="margin: 0; text-align: center;">DP-2.1</h1>	




Development Permit Plans



NOTE:  
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1 SECOND FLOOR PLAN  
DP-2.3 / SCALE: 1:150



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SECOND FLOOR PLAN

**RAMSAY MIXED USE**  
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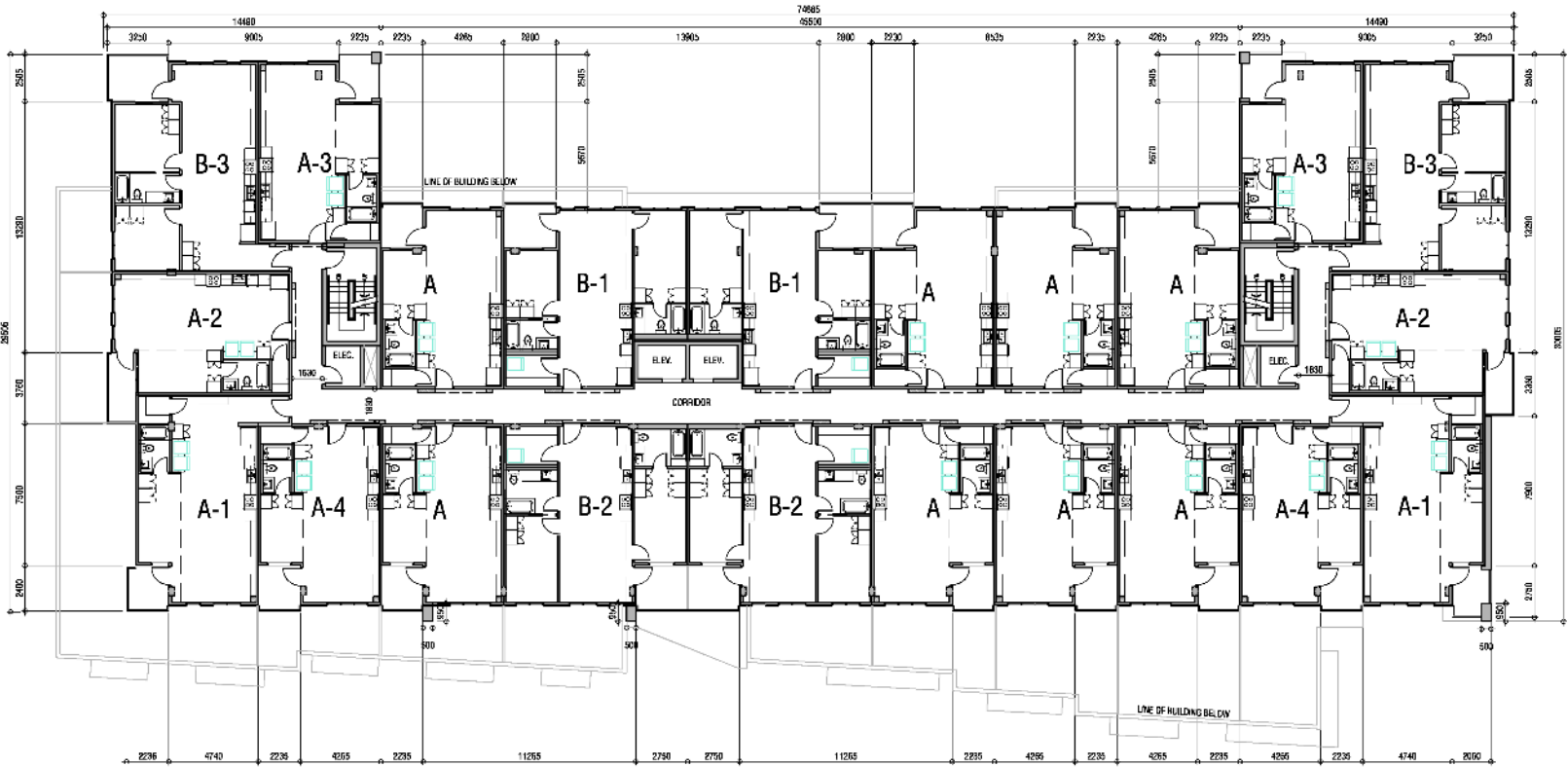
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REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
OTR #1 COMMENTS	JULY 6, 2018
OTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING TAG:  
**DP-2.3**

Development Permit Plans



1 TYPICAL RESIDENTIAL FLOOR PLAN - LEVELS 3-6  
DP-2.4 / SCALE: 1:150

NOTE:  
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TYPICAL RESIDENTIAL FLOOR PLAN (LEVELS 3-6)

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Verify all dimensions, elevations and materials, and report any discrepancies to the architect prior to construction. Dimensions are given to face of exterior sheathing, face of concrete floor, face of wall for core for partitions, and face of wall of building walls, unless otherwise indicated.

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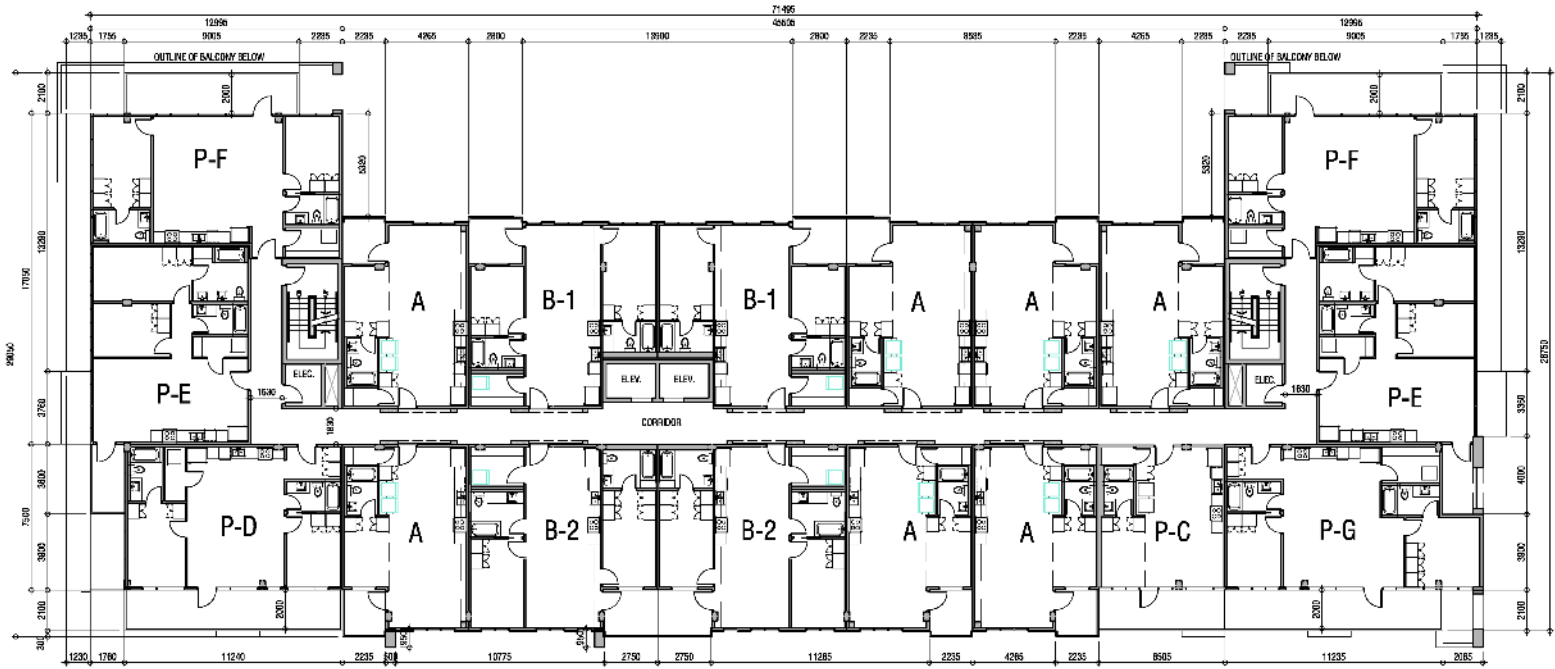
REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
OTR #1 COMMENTS	JULY 6, 2018
OTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING TAG:  
**DP-2.4**




Development Permit Plans



1 SUB PENTHOUSE FLOOR PLAN - LEVEL 7  
DP-2.5 SCALE: 1:150

NOTE:  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH  
TRANSPARENT PANELS FOR VISIBILITY



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T 403.278.7800  
www.s2architects.com

SUBPENTHOUSE FLOOR PLAN (LEVEL 7)

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
210701

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The drawing is a preliminary plan. Do not use for construction.

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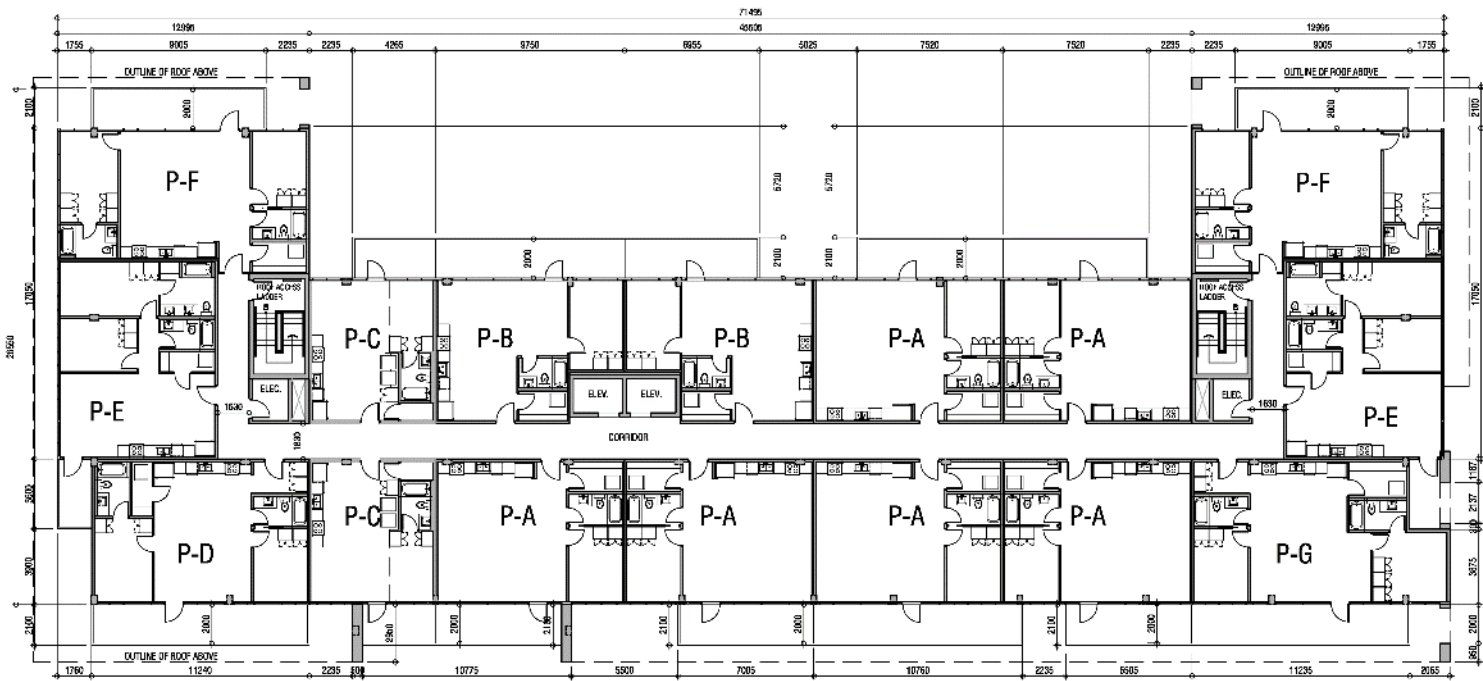
REVISIONS	DATE
DP SUBMISSION	OCTOBER 23, 2017
OTR #1 COMMENTS	JULY 6, 2018
OTR #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEH  
CHECKED BY: GZ

DRAWING TAG:  
**DP-2.5**




Development Permit Plans



1 PENTHOUSE FLOOR PLAN - LEVEL 8  
DP-2.6 / SCALE: 1:50

NOTE:  
ALL STAIRWELL DOORS AND ELEVATOR ACCESS AREAS ARE TO BE INSTALLED WITH  
TRANSPARENT PANELS FOR VISIBILITY




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PENTHOUSE FLOOR PLAN (LEVEL 8)

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
210701



**NOT FOR CONSTRUCTION**

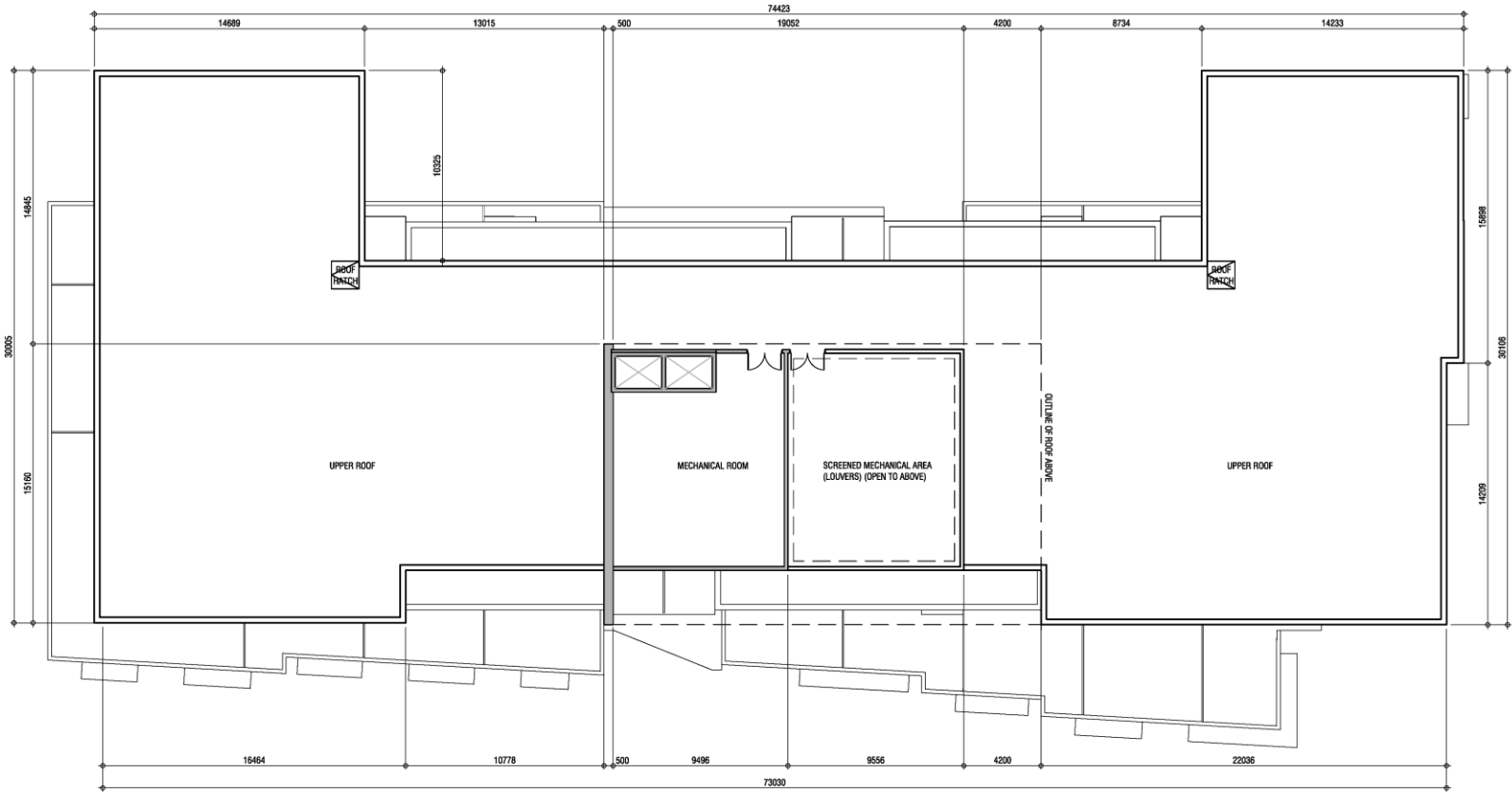
This drawing is intended for planning purposes only. It is not to be used for construction. The drawing is subject to change without notice. The drawing is not to be used for any other purpose without the written consent of the architect.

REVISIONS	DATE
01P SUBMISSION	OCTOBER 20, 2017
01R #1 COMMENTS	JULY 6, 2018
01R #2 COMMENTS	SEPT. 24, 2018
ISSUED FOR CPC	NOVEMBER 13, 2018


SCALE	AS NOTED
DATE	November 13, 2018
DRAWN BY	MEI
CHECKED BY	CZ

DRAWING NO.  
**DP-2.6**

Development Permit Plans



1 ROOF PLAN  
DP-2.7 SCALE: 1:150



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ROOF PLAN

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
217071



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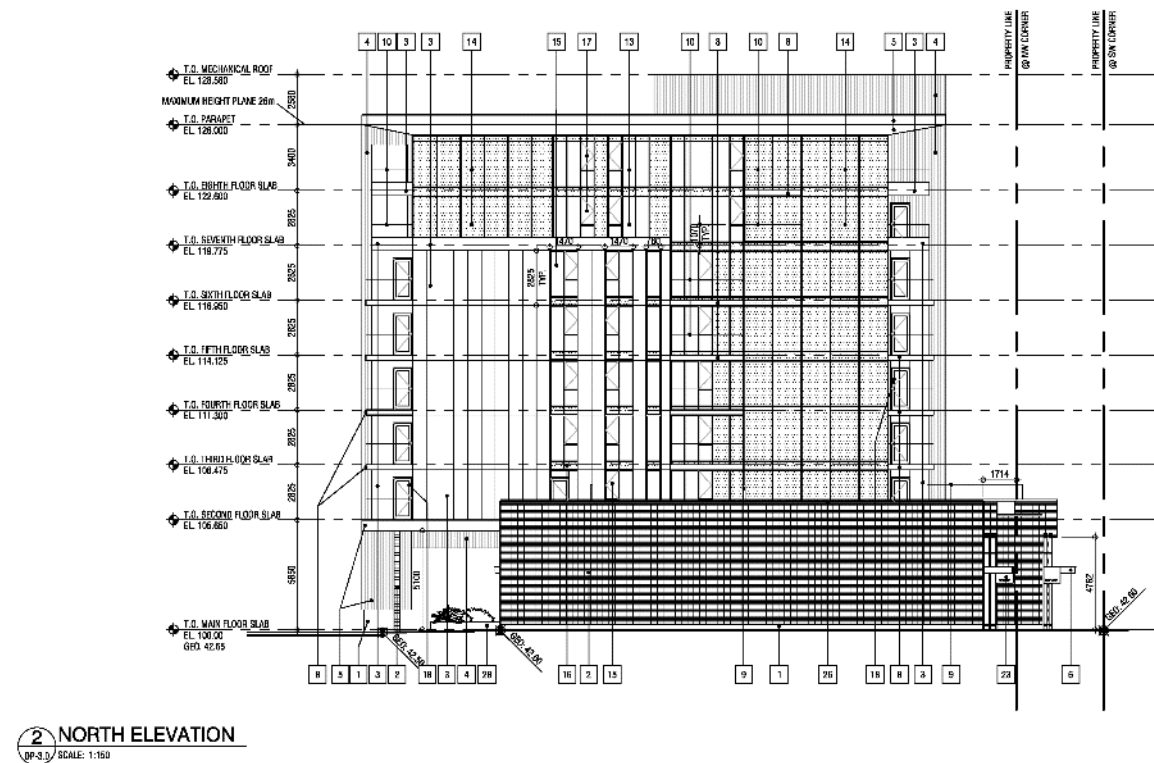
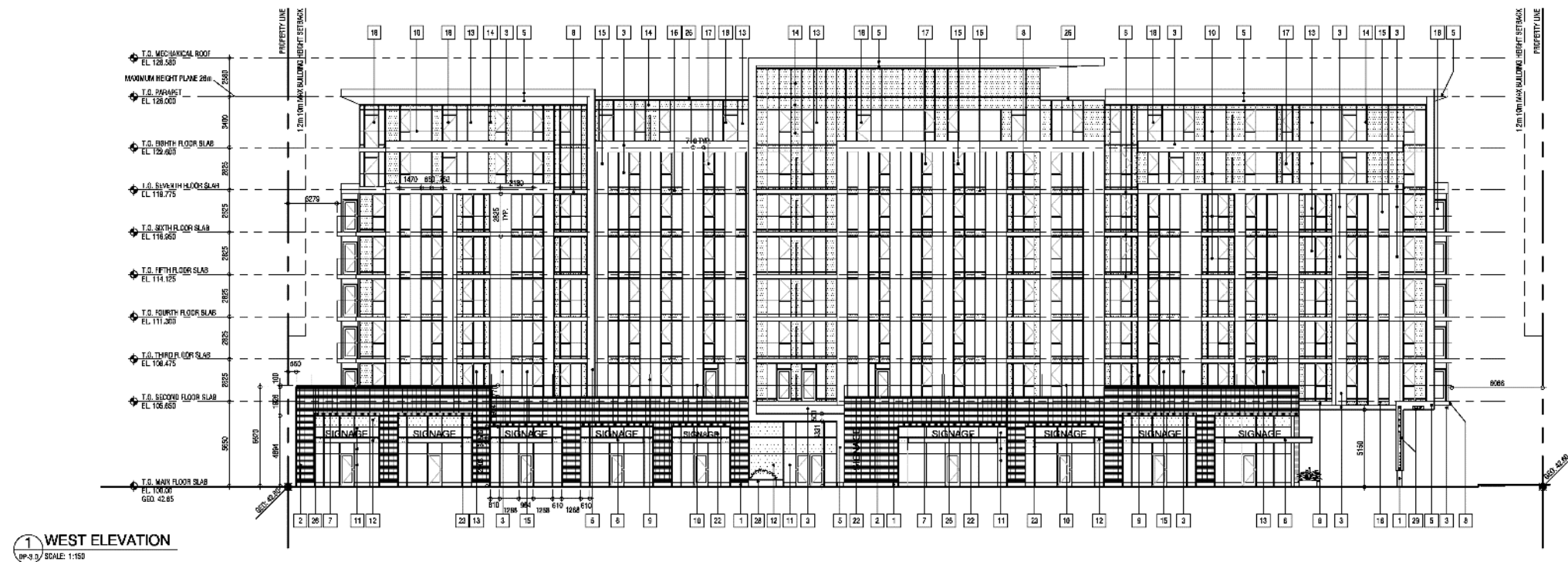
REVISIONS	DATE
 DP SUBMISSION	OCTOBER 23, 2017
 DTR #1 COMMENTS	JULY 9, 2018
 DTR #2 COMMENTS	SEPT. 24, 2018
 ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE AS NOTED  
DATE November 13, 2018  
DRAWN BY MEH  
CHECKED BY CZ

DRAWING NO.  
**DP-2.7**

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## Development Permit Plans

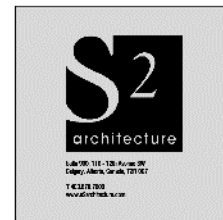


## Elevation - General Notes

1. ALL ALUMINUM SUFF. EAVES & RAINWATER COLOR TO MATCH ADJACENT FACSA
2. ALL PREFINISHED METAL FLASHING TO MATCH ADJACENT FINISH

## Elevation - Code Legend

1	CONCRETE BASE
2	MASONRY BRICK - STACKED - RED
3	METAL PANEL - LIGHT GREY
4	METAL, MIDDLE PANEL - DARK GREY
5	METAL PANEL - DARK GREY
6	METAL PANEL, CANYON - DARK GREY
7	MASONRY BRICK - SOLDIER - RED
8	CONCRETE BALCONY
9	FRIGSTED GLASS DIMCOR
10	GLASS GUARDRAIL
11	BLACK ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLAZING
12	BLACK ALUMINUM STOREFRONT GLAZING SYSTEM - SPANDREL
13	BLACK ALUMINUM GLAZING SYSTEM - CLEAR GLAZING
14	BLACK ALUMINUM GLAZING SYSTEM - SPANDREL
15	LIGHT GREY ALUMINUM WINDOW WALL SYSTEM - CLEAR GLAZING
16	LIGHT GREY ALUMINUM WINDOW WALL SYSTEM - SPANDREL
17	ONE-WALL WINDOW - CLEAR GLAZING
18	GLASS DOOR
19	METAL, DOOR & FRAME - BLACK
20	METAL OVERHEAD DOOR & FRAME - BLACK
21	METAL OVERHEAD DOOR & FRAME - LIGHT GREY
22	POTENTIAL SIGNAGE LOCATION (FUTURE). REFER TO DETAIL 00P.1
23	PEDESTRIAN SIGNAGE LOCATION (FUTURE). REFER TO DETAIL 00P.1
24	LOUNGE - BLACK
25	LIGHT - REFER TO ELECTRICAL DRAWINGS
26	FLASHING - BLACK
27	FLASHING - DARK GREY
28	CONCRETE RETAINING WALL FOR PLANNING. REFER TO LANDSCAPE PLAN
29	VEHICLE HEIGHT AND WEIGHT RESTRICTING BAR



WEST AND NORTH ELEVATIONS

**RAMSAY MIXED USE**  
TORODE REALTY ADVISORS, CALGARY, AB  
213071

213071

NOT FOR  
CONSTRUCTION

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REVISIONS	DATE
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	STD 14 CONTINUED	NUMO 200

2 UTA #1 COMMENTS JULY 9, 2011

UTR #2 COMMENTS SEPTEMBER, 2011  
 POWER 000-000 NOVEMBER 10, 2011

ISSUED FOR GPC NOVEMBER 13, 2011

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SCALE	AS NOTED
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DATE November 13, 2018  
DRAWN BY MEH

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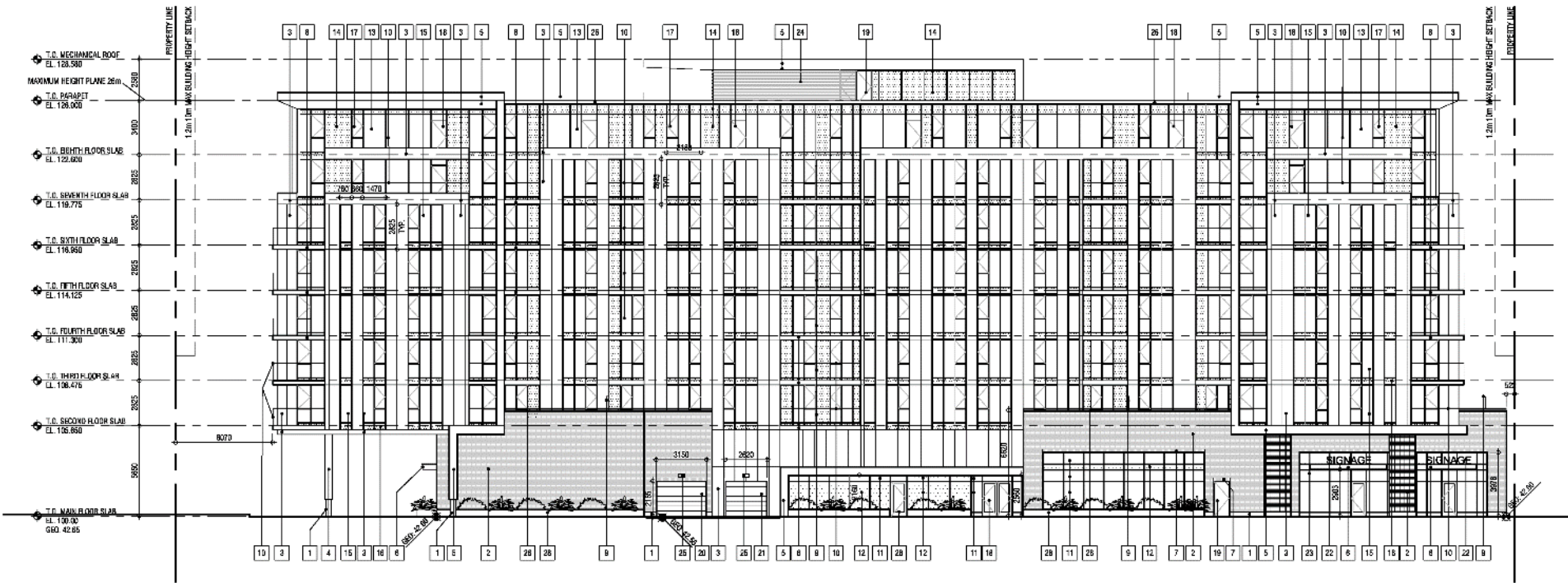
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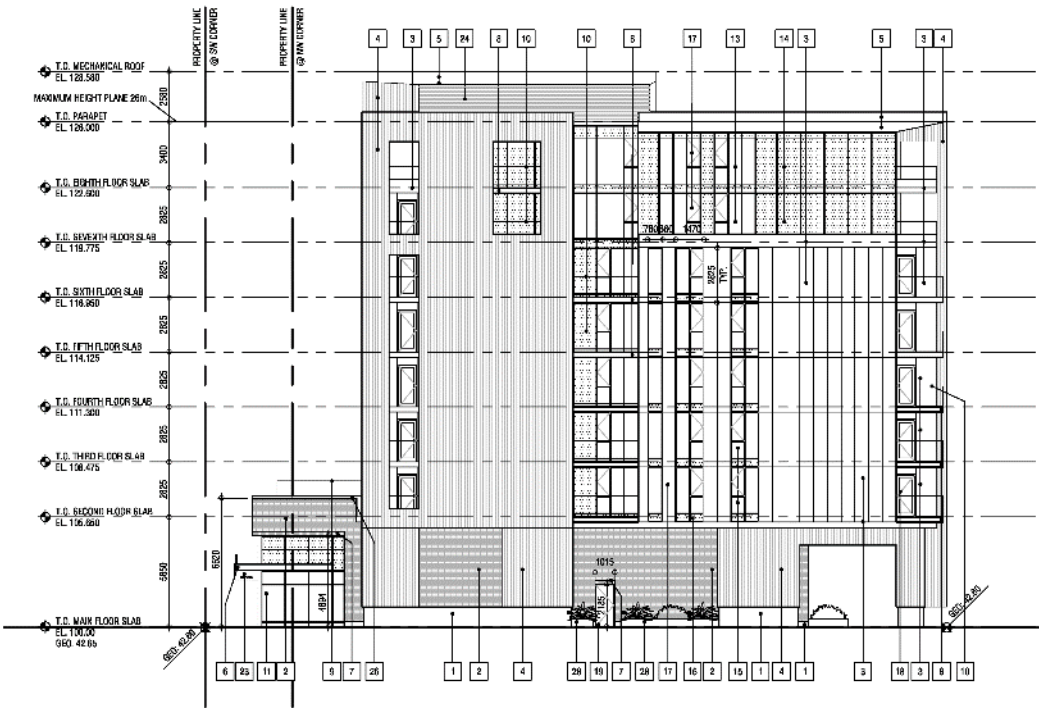
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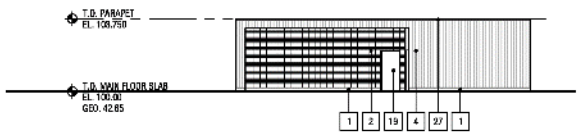
Development Permit Plans



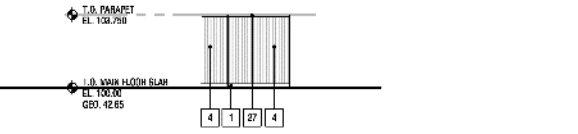
1 EAST ELEVATION  
DP-3.1 SCALE: 1:150



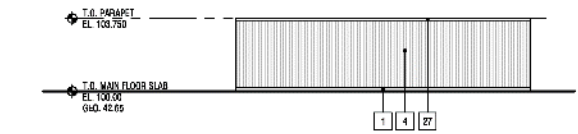
2 SOUTH ELEVATION  
DP-3.1 SCALE: 1:150



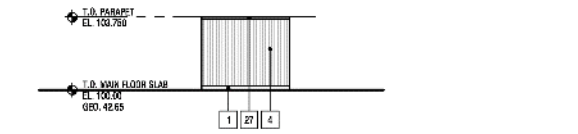
3 GENERATOR ENCLOSURE - WEST ELEVATION  
DP-3.1 SCALE: 1:150



4 GENERATOR ENCLOSURE - NORTH ELEVATION  
DP-3.1 SCALE: 1:150



5 GENERATOR ENCLOSURE - EAST ELEVATION  
DP-3.1 SCALE: 1:150



6 GENERATOR ENCLOSURE - SOUTH ELEVATION  
DP-3.1 SCALE: 1:150

Elevation - General Notes

1. ALL ALUMINUM SCFFTS, EAVES & RAINFALL COLOR TO MATCH ADJACENT FASCIA
2. ALL PERMANENT METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Code Legend

- |    |                                                               |
|----|---------------------------------------------------------------|
| 1  | CONCRETE BASE                                                 |
| 2  | MASONRY BRICK - STACKED - RED                                 |
| 3  | METAL PANEL - LIGHT GREY                                      |
| 4  | METAL PANEL - DARK GREY                                       |
| 5  | METAL PANEL - DARK GREY                                       |
| 6  | METAL PANEL CANOPY - DARK GREY                                |
| 7  | MASONRY BRICK - SOLDIER - RED                                 |
| 8  | CONCRETE BALCONY                                              |
| 9  | FROSTED GLASS DIVIDOR                                         |
| 10 | GLASS GUARD RAIL                                              |
| 11 | BLACK ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLAZING      |
| 12 | BLACK ALUMINUM STOREFRONT GLAZING SYSTEM - SPANDREL           |
| 13 | BLACK ALUMINUM GLAZING SYSTEM - CLEAR GLAZING                 |
| 14 | BLACK ALUMINUM GLAZING SYSTEM - SPANDREL                      |
| 15 | LIGHT GREY ALUMINUM WINDOW WALL SYSTEM - CLEAR GLAZING        |
| 16 | LIGHT GREY ALUMINUM WINDOW WALL SYSTEM - SPANDREL             |
| 17 | DRYABLE WINDOW - CLEAR GLAZING                                |
| 18 | GLASS DOOR                                                    |
| 19 | METAL DOOR & FRAME - BLACK                                    |
| 20 | METAL OVERHEAD DOOR & FRAME - BLACK                           |
| 21 | METAL OVERHEAD DOOR & FRAME - LIGHT GREY                      |
| 22 | POTENTIAL SIGNAGE LOCATION (FUTURE). REFER TO DETAIL SDP.1    |
| 23 | POTENTIAL SIGNAGE LOCATION (FUTURE). REFER TO DETAIL SDP.1    |
| 24 | LOWWALLS - BLACK                                              |
| 25 | LIGHT REFER TO ELECTRICAL DRAWINGS                            |
| 26 | FLASHING - BLACK                                              |
| 27 | FLASHING - DARK GREY                                          |
| 28 | CONCRETE RETAINING WALL FOR PLANTING. REFER TO LANDSCAPE PLAN |
| 29 | VEHICLE HEIGHT AND WEIGHT RESTRICTING BAR                     |



EAST AND SOUTH ELEVATIONS

**RAMSAY MIXED USE**

TORODE REALTY ADVISORS, CALGARY, AB

21071

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All drawings remain the property of the architect. These drawings are dated 2017. All work must be completed by the architect.

REVISIONS	DATE
1. SUBMITTAL	OCTOBER 20, 2017
2. DTR #1 COMMENTS	JULY 6, 2018
3. DTR #2 COMMENTS	SEPT. 24, 2018
4. ISSUED FOR CPC	NOVEMBER 13, 2018

SCALE: AS NOTED  
DATE: November 13, 2018  
DRAWN BY: MEI  
CHECKED BY: GZ

DRAWING NO.

DP-3.1











## Conditions of Approval

### Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

#### Planning:

1. Submit a total of five (5) complete sets of Amended Plans (file folded and collated) to the Planning Generalist that comprehensively address the Prior To Release conditions of all Departments as specified below.

In order to expedite the review of the Amended Plans, please include the following in your submission:

- a. Three (3) of the plan set(s) shall highlight all of the amendments.
- b. Three (3) detailed written response(s) to the Conditions of Approval document that provides a point by point explanation as to how each of the Prior to Release conditions were addressed and/or resolved.

Please ensure that all plans affected by the revisions are amended accordingly.

2. Amend the signage details on DP1.1 to indicate that all signage will be indirectly illuminated, in accordance with the Land Use Bylaw. Provide additional details of the fascia signage.
3. The applicant shall submit a report prepared by Coordinating Registered Professional (the "Coordinating Report") that identifies the mitigation design elements that will be included in the development as outlined in the Noise Study.

The Development Permit drawings will be amended to include mitigation design elements identified in the Coordinating Report.

#### Development Engineering:

4. Submit three (3) sets of the Development Site Servicing Plan details to Development Servicing, Inspections and Permits, for review and acceptance from Water Resources, as required by Section 5 (2) of the *Utility Site Servicing Bylaw 33M2005*. Contact [developmentservicing2@calgary.ca](mailto:developmentservicing2@calgary.ca) for additional details.

For further information, refer to the following:

#### Design Guidelines for Development Site Servicing Plans

[http://www.calgary.ca/PDA/pd/Documents/urban\\_development/publications/DSSP2015.pdf](http://www.calgary.ca/PDA/pd/Documents/urban_development/publications/DSSP2015.pdf)

## Conditions of Approval

### Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Documents/development/development-site-servicing-plan.pdf>

5. Follow the submission requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control (Erosion and Sediment Control Reports and Drawings: Technical Requirements) and either submit the required (2) copies of an Erosion and Sediment Control (ESC) Report and Drawings or the required (2) copies of a Written Notice to Development Engineering, for review and acceptance by Water Resources. The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: [www.calgary.ca/ud](http://www.calgary.ca/ud) (under publications).

Documents submitted shall conform to the requirements detailed in the current edition of The City of Calgary *Guidelines for Erosion and Sediment Control* and shall be prepared, signed and stamped by a qualified consultant specializing in erosion and sediment control, and holding current professional accreditation as a Professional Engineer (P. Eng.), Professional Licensee (P.L. Eng), Professional Agrologist (P. Ag.) or Certified Professional in Erosion and Sediment Control (CPESC). For each stage of work where soil is disturbed or exposed, documents must clearly specify the location, installation, inspection and maintenance details and requirements for all temporary and permanent controls and practices.

If you have any questions, contact 3-1-1. A Service Request (SR) will be created for the Erosion Control Team in Water Resources.

6. **After the Development Permit is approved but prior to its release**, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 2M2016.

**Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.**

To obtain the off-site levy agreement, contact the Public Infrastructure Coordinator, Calgary Approvals Coordination at 403-268-6739 or email [offsitelevy@calgary.ca](mailto:offsitelevy@calgary.ca).

### Transportation:

7. Amend the plans to:

#### Roads

- a. Provide a detailed driveway cross-section complete with ramp grades and elevations at face of curb, back of sidewalk, property line, and driveway ramp on private property as per Roads Specification 454.1010.003.

#### Grades

- b. Indicate that all adjacent boulevards are graded at 2% up from the top of curb to the existing or ultimate property line.
- c. Provide two (2) boulevard cross sections along 11 Street SE. Indicate the existing and proposed elevations at the top of curb, property line and the main floor. A maximum 2% grade is permitted in the boulevard.

## Conditions of Approval

8. Remit a performance security deposit (certified cheque, bank draft, letter of credit) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Unit. The amount of the deposit is calculated by Roads and is based on 100% of the estimated cost of construction.  
The developer is responsible to arrange for the construction of the infrastructure with their own forces and to enter into an Indemnification Agreement with Roads at the time of construction (the security deposit will be used to secure the work).

### Roads

- a. Construction of new driveway crossing
  - b. Closure and removal of existing driveway crossing
  - c. Construction of new sidewalk
  - d. Construction of Two new wheelchair ramp
  - g. Construction of Tree Trenches to City standards
  - h. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc., should it be deemed necessary through a site inspection by Roads personnel
9. Remit payment (certified cheque, bank draft) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Units. The amount is calculated by the respective Business Unit and is based on 100% of the estimated cost of construction.

The developer is responsible to coordinate the timing of the construction by City forces. The payment is non-refundable.

### Roads

- a. Street lighting upgrading adjacent to 11 Street SE

## Parks:

No comments.

## Permanent Conditions

The following permanent conditions shall apply:

### Planning:

- 10. The development shall be completed in its entirety, in accordance with the approved plans and conditions.
- 11. No changes to the approved plans shall take place unless authorized by the Development Authority.
- 12. A Development Completion Permit shall be issued for the development; **before the use is commenced or the development occupied.** A Development Completion Permit is independent from the requirements of Building Permit occupancy. Call Development Inspection Services at 403-268-5311 to request a site inspection for the Development Completion Permit.

### Conditions of Approval

13. All roof top mechanical equipment shall be screened from views from the street as per the approved plans.
14. Upon completion of the main floor (storey) subfloor of apartment building proof of the geodetic elevation of the constructed main floor (storey) subfloor must be submitted to and approved by the Development Authority prior to any further construction proceeding. Fax confirmation to 403-268-8178 to the attention of 'Bylaw Checker - Geodetics'.
15. All areas of soft landscaping shall be provided with an underground sprinkler irrigation system as identified on the approved plans.
16. All trees located within the subject property and shown on the approved plans, which cannot be retained during development, must be replaced by a tree of a species and size which is acceptable to the Development Authority within twelve months of the issuance of the development completion permit.
17. Parking and landscaping areas shall be separated by a 150mm (6 inch) continuous, poured in place, concrete curb or equivalent material to the satisfaction of the Development Authority, where the height of the curb is measured from the finished hard surface.
18. Each surface parking stall, as shown on the approved plans, shall have a properly anchored concrete wheel stop or equivalent material to the satisfaction of the Development Authority (100mm in height and 600mm from the front of the parking stall).
19. Barrier Free parking stalls shall be clearly designated, signed and located close to the entrance of the building with barrier-free accessibility.
20. The walls, pillars and ceiling of the underground parkade shall be painted white or a comparable light colour.
21. The light fixtures in the parkade shall be positioned over the parking stalls (not the drive aisles).
22. All stairwell doors and elevator access areas shall be installed with a transparent panel for visibility.
23. The waste and recycling room shall be kept in a good state of repair at all times.
24. The approval of this Development Permit includes Comprehensive Signage.
25. Fascia signage shall be placed only in the designated sign area as indicated on the approved plans. Any damage to the building face, as a result of the sign installation or removal, shall be repaired to the satisfaction of the Development Authority.
26. Loading and delivery shall take place in the designated loading stalls as shown on the approved plans and shall, at no time, impede the safety of pedestrian movements and use of the parking lot.

## Conditions of Approval

27. Prior to the issuance of the Development Completion Permit (DCP), the applicant shall submit a Final Summary Report prepared by a qualified professional identifying that the mitigation requirements previously identified in the Coordinating Report have been incorporated into the development. Such mitigation design elements shall be retained throughout the life of the development.

### Development Engineering:

28. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
- a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
  - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
29. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: [www.calgary.ca/ud](http://www.calgary.ca/ud) (under publications).

For **all soil disturbing projects**, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.

30. Contact the Erosion Control Inspector, Water Resources, with at least two business day's notice, to set up a pre-construction meeting prior to commencement of stripping and grading. Locations north of 17 Avenue S should contact 403-268-5271. Sites south of 17 Avenue S should contact 403-268-1847.



### Conditions of Approval

31. Stormwater runoff must be contained and managed in accordance with the "Stormwater Management & Design Manual" all to the satisfaction of the Director of Water Resources.
32. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
33. Pursuant to Bylaw 2M2016, off-site levies are applicable.
34. **Prior to issuance of a Development Completion Permit or any occupancy of the building**, payment shall be made for off-site levies pursuant to Bylaw 2M2016. **To obtain a final estimate**, contact the **Public Infrastructure** Coordinator, Calgary Approvals Coordination at 403-268-6739 or email [offsitelevy@calgary.ca](mailto:offsitelevy@calgary.ca)

### Transportation:

35. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Transportation Planning. All work performed on public property shall be done in accordance with City standards.
36. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager of Transportation Planning, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at 403-268-3505.
37. The approved driveway(s) required for this development must be constructed to the ramp grades as shown on the approved Development Permit plans. Negative sloping of the driveway within the City boulevard is not acceptable. If actual grades do not match the approved grades, the developer/owner shall be responsible for all costs to remove and reconstruct the entire driveway ramp in accordance with approved grades.
38. Sound attenuation measures as required will be provided by the developer and solely at their expense in accordance with the Specialist recommendations.

### Parks:

39. Any tree planting in the City boulevard shall be performed and inspected in accordance with *Parks Development Guidelines and Standard Specifications – Landscape Construction (current edition)*. Applicant is to contact the Parks Development Inspector at (403) 268-5325 to arrange an inspection.

## Urban Design Review Panel Comments/Responses

### Urban Design Review Panel Comments

Date:	June 25, 2018	
Time:		
Attendance:		
Panel Members:	<b>Present:</b> Brian Horton (vice-chair) Robert LeBlond Yogeshwar Navagrah Terry Klassen	<b>Absent:</b> Janice Liebe (chair) Chad Russill Bruce Nelligan Philip Vandermey
Advisor:	David Down, Chief Urban Designer	
Application number:	PE2016-01557 / DP2017-4891	
Municipal address:	1802 11 St SE	
Community:	Ramsay	
Project description:	New: Multi-Residential Development, Retail and Consumer Service (1 building, 144 units)	
Review:	First	
File Manager:	Jihad Bitar	
City Wide Urban Design:	Afra Rayes	
Applicant:	S2 Architecture	
Architect:	S2 Architecture	
Owner:	11-Street Developments	
Ranking:		

### Summary

As the first major development adjacent to the future LRT station, this project is an ambitious and pioneering project for Ramsay. Although UDRP appreciates the at-grade retail and upper floor residential mix of uses this project proposes, UDRP believes that there has been a missed opportunity to create a development that contributes to the unique character and identity of Ramsay. UDRP feels that the design of the project is generic and would benefit and would be improved by responding to the local architectural style and eclectic mix of uses present in the neighbourhood. UDRP is particularly concerned with the lack of character of the at-grade retail, as the monotonous design of the long expanse of frontage along 11 street does not result in a fine-grained retail character along the street. UDRP suggests that by varying the height of the podium and materials along the retail façade, this condition would be improved. UDRP also believes that the area between the building rail ROW could be activated by ground floor uses that are oriented towards the tracks. This area presents an opportunity to introduce light industrial or artist uses that are frequent in Ramsay.

Although the applicant provided a thorough analysis of the existing context and renderings were provided with the presentation package, UDRP would have appreciated additional renderings that illustrated the building in the context of the neighbourhood. Particularly, UDRP would like to understand how the proposed building relates to its immediate neighbour, the Ramsay Design Centre building.

## Urban Design Review Panel Comments/Responses

Urban Vitality			
	Topic	Best Practice	Ranking
1	Retail street diversity	Retail streets encourage pedestrians along sidewalk with a mix and diversity of smaller retail uses. Retail wraps corners of streets. Space for patios and cafe seating is provided.	Further review required
	<b>UDRP Commentary</b>		
	Please see comment above regarding improving the retail street diversity. UDRP is concerned with the monotony and generic design of the at-grade retail.		
	<b>Applicant Response</b>		
	<i>The treatment of the podium at street level has been reviewed and adjusted as per the UDRP comments. The contemporary continuously glazed podium has been divided into 9 smaller bays by bring the podium brickwork down to grade in between the individual CRUs. Further, several bays on either side of the principal residential entrance have been stepped back to create a larger plaza space that offers opportunities for retailers to bring product and café seating into the public realm. Corner of the podium have been articulated with increased massing height and taller areas of glazing to provided varied vertical expression.</i>		
2	Retail street transparency, porosity	Retail street maximizes glazing - 70% and more. Maintains view into and out of retail, avoids display-only windows.	Support with comment
	<b>UDRP Commentary</b>		
	UDRP recommends relocating the proposed bicycle racks that are situated in front of the southern retail bay as these will inhibit views into the retail bay.		
	<b>Applicant Response</b>		
	<i>We have reviewed the location of bicycle racks throughout the development and relocated them to improve pedestrian circulation and to provide convenient bicycle storage locations close to entrances. As bicycles are well utilized in the Ramsay area we are also proposing additional bicycle rack locations along the fairly wide City Sidewalk.</i>		
3	Pedestrian-first design	Sidewalks are continuous on all relevant edges. Materials span driveway entries and parking access points. No drop offs or lay-bys in the pedestrian realm. Street furnishings support the pedestrian experience.	Support with comment
	<b>UDRP Commentary</b>		
	UDRP would prefer that the vehicle access be combined with the neighbouring property, but we understand that this was investigated and deemed not feasible.		
	<b>Applicant response</b>		
	<i>This was our preference as well, but is not an option.</i>		
4	Entry definition / legibility	Entry points are clear and legible	Further review required
	<b>UDRP Commentary</b>		
	The residential lobby entrance requires improved definition.		
	<b>Applicant Response</b>		
	<i>Through the development of the podium, the bays on either side of the principal residential entrance have been stepped back in order to create public gathering space. This gesture also serves to provide emphasis on the residential entrance spatially. The stepped back podium to the south of the residential entrance further highlights the form of the entry canopy that is now visible at grade when approached from the south. Further, vertical signage has been added to the south of the residential entry.</i>		
5	Residential multi-level units at grade	Inclusion of two or three storey units are encouraged, particularly at street level. Private outdoor patios with access to the sidewalk are ideal. Patios are large enough to permit furnishing and active use.	N/A
	<b>UDRP Commentary</b>		
	<b>Applicant Response</b>		

## Urban Design Review Panel Comments/Responses

6	<b>At grade parking</b>	At grade parking is concealed behind building frontages along public streets.	Support with comment
<b>Commentary</b>			
UDRP supports the placement of parking between the building and tracks, but suggests that this space could be better animated with uses that front this parking area.			
<b>Applicant Response</b>			
<i>We have reviewed multiple use options for this area that have ranged from commercial to varying types of residential. Market driven feedback that has been provided by our client has assisted in the development of our revised solution. Architecturally we developed the two bays at the north end of the site to have storefront access on both the principal west elevation and along the rear east elevation. In response to the provided UDRP feedback, we have worked with our landscape architect to improve the public space offering at the back of the project and to improve the exterior link from the parking area to the retail spaces along the west elevation. Further, we have removed 7 parking spaces along the east side of the site and redefined this area as a public amenity space for the residents. The proposal for this area now shows planters, grassed space, and hard surfaced seating areas with a trellis.</i>			
7	<b>Parking entrances</b>	Ramps are concealed as much as possible. Entrances to parking are located in discrete locations. Driveways to garage entries are minimized, place pedestrian environment and safety first.	Support
<b>UDRP Commentary</b>			
<b>Applicant Response</b>			
8	<b>Other</b>		
<b>Applicant Response</b>			
<b>Urban Connectivity</b> <i>Provide visual and functional connectivity between buildings and places, ensure connection to existing and future networks. Promote walkability, cycle networks, transit use, pedestrian-first environments.</i>			
	<b>Topic</b>	<b>Best Practice</b>	<b>Ranking</b>
9	<b>LRT station connections</b>	Supports LRT use via legible, dedicated pedestrian pathways to stations with direct routes. Avoids desire lines / shortcutting through parking areas.	Support with comment
<b>UDRP Commentary</b>			
UDRP recommends that the applicant work with the City team to ensure that pedestrian connections to the LRT station are legible.			
<b>Applicant Response</b>			
<i>Through discussion with the planning department, transportation, and the green line we have adjusted the proposed development for the west side of our site. There is now a clear 3m+ side walk that links the future LRT station to the north of our site with the commercial street to the south of our site. We have shown how this generous sidewalk area will work with the future bus layby at the north end of our site and have further proposed an array of City trees.</i>			
10	<b>Regional pathway connections</b>	Supports LRT use via legible, dedicated pedestrian pathways to stations with direct routes. Avoids desire lines / shortcutting through parking areas.	
<b>UDRP Commentary</b>			
<b>Applicant Response</b>			
<i>We are proposing a direct and dedicated connection across our site that links the future LRT station to the north to the commercial street to the south.</i>			
11	<b>Cycle path connections</b>	Supports cycling via intentional, safe urban design connections to pathway systems and ease of access to	N/A

## Urban Design Review Panel Comments/Responses

	bicycle storage at grade.	
	<b>UDRP Commentary</b>	
	<b>Applicant Response</b>	
	<i>We have provided for discrete and convenient bicycle parking between city trees along the front elevation. We have provided additional class 2 and class 1 parking spaces at grade along the east (rear) side of the site.</i>	
12	<b>Walkability - connection to adjacent neighbourhoods / districts / key urban features</b>	Extend existing and provide continuous pedestrian pathways. Extend pedestrian pathway materials across driveways and lanes to emphasize pedestrian use.
	<b>UDRP Commentary</b>	
	<b>Applicant Response</b>	
13	<b>Pathways through site</b>	Provide pathways through the site along desire lines to connect amenities within and beyond the site boundaries.
	<b>UDRP Commentary</b>	
	UDRP suggests that a pedestrian connection between the parking located at the rear of the building and the retail be created through the building lobby.	
	<b>Applicant Response</b>	
	<i>We have reviewed this item at length with the City's Urban Design department. In response to concerns for the safety of the residential owners of the building we have opted not to extend the use of this space to commercial patrons. We have also acknowledge that with the increase scale of the amenity space along the east side of the property there are now only 10 dedicated commercial parking spaces. The remainder of the at grade parking spaces are dedicated for residential guests which have convenient access to the elevator lobby via the rear secured residential entry.</i>	
	<i>The commercial patrons have been provided a pass through the building available to them through the two northern most commercial bays which have entrances located along both the west and east sides of the building. In addition, the exterior connection along the south side of the building has been further developed with curbs and lighting to better define and protect the pedestrian access route. Further, to reduce the distance of travel for commercial patrons the dedicated commercial stalls have been relocated to the southern portion of the parking area.</i>	
14	<b>Open space networks and park systems</b>	Connects and extends existing systems and patterns.
	<b>UDRP Commentary</b>	
	<b>Applicant Response</b>	
15	<b>Views and vistas</b>	Designed to enhance views to natural areas and urban landmarks.
	<b>UDRP Commentary</b>	
	<b>Applicant Response</b>	
16	<b>Vehicular interface</b>	
	<b>UDRP Commentary</b>	



## Urban Design Review Panel Comments/Responses

<b>Applicant Response</b>		
17	Other	
<i>Applicant Response</i>		
<b>Contextual Response</b> Optimize built form with respect to mass, spacing and placement on site in consideration to adjacent uses, heights and densities		
<b>Topic</b>	<b>Best Practice</b>	<b>Ranking</b>
18	<b>Massing relationship to context</b>	Relationship to adjacent properties is sympathetic
		Support with comment
<b>UDRP Commentary</b>		
This is the first development project in this area so will be out of scale with the context in short term, but UDRP believes this is the appropriate massing for this location.		
<b>Applicant Response</b>		
<i>The massing and scale of this project has been developed in response to the approved new landuse.</i>		
19	<b>Massing impacts on sun shade</b>	Sun shade impacts minimized on public realm and adjacent sites
		Support.
<b>UDRP Commentary</b>		
<b>Applicant Response</b>		
20	<b>Massing orientation to street edges</b>	Building form relates / is oriented to the streets on which it fronts.
		Further review required
<b>UDRP Commentary</b>		
As noted above, UDRP recommends varying the podium height along the retail street.		
<b>Applicant Response</b>		
<i>In response to UDRP's comments we have adjusted the podium in plan and in section to create a varied and animated streetscape. As noted previously, the podium has been articulated by stepping it in towards the building to create a plaza space central to the principal residential entry. The height of the podium has been lifted along the north and south end to create strong anchor points for the development. The southernmost corner of the podium has been further articulated with glazing that wraps along the south elevation in response to the indent in the buildings massing.</i>		
21	<b>Massing distribution on site</b>	
		Support
<b>UDRP Commentary</b>		
<b>Applicant Response</b>		
22	<b>Massing contribution to public realm at grade</b>	Building form contributes to a comfortable pedestrian realm at grade
		Further review required
<b>UDRP Commentary</b>		
As noted above, UDRP recommends varying the podium height along the retail street.		
<b>Applicant Response</b>		
<i>Please refer to response to comment 20.</i>		
23	Other	
<b>Applicant Response</b>		
<b>Safety and Diversity</b> Promote design that accommodates the broadest range of users and uses.		



## Urban Design Review Panel Comments/Responses

Achieve a sense of comfort and security at all times.			
Topic	Best Practice	Ranking	
24	Safety and security	CPTED principles are to be employed - good overlook, appropriate lighting, good view lines, glazing in lobbies and entrances.	N/A
UDRP Commentary			
Applicant Response			
25	Pedestrian level comfort - wind	Incorporate strategies to block wind, particularly prevailing wind and downdrafts. Test assumptions and responses via Pedestrian Level Wind Analysis. Particular attention to winter conditions.	N/A
UDRP Commentary			
Applicant Response			
26	Pedestrian level comfort - snow	Incorporate strategies to prevent snow drifting. Test assumptions and responses via Snow Drifting Analysis. Particular attention to winter conditions.	N/A
UDRP Commentary			
Applicant Response			
27	Weather protection	Weather protection is encouraged at principal entrances. Continuous weather protection is encouraged along retail / mixed used frontages.	Support
UDRP Commentary			
Applicant Response			
28	Night time design		Support with comment
UDRP Commentary			
UDRP suggests that the upper level soffits could be up-light.			
Applicant Response			
<i>We have reviewed lighting opportunities for the wrapping elements on the building including the upper soffit portion. Our analysis has revealed that all of these areas are directly adjacent to residential units and we have therefore concluded that lighting these elements would have a negative impact on the end users.</i>			
29	Barrier free design	Site access to be equal for able and disabled individuals. Provide sloped surfaces 5% grade or less vs ramps.	Support
UDRP Commentary			
Applicant Response			
30	Winter city	Maximize exposure to sunshine for public areas through orientation, massing. Design public realm that supports winter activity.	
UDRP Commentary			
Applicant Response			
31	Other		
Applicant Response			

## Urban Design Review Panel Comments/Responses

<b>Service / Utility Design</b> Promote design that accommodates service uses in functional and unobtrusive manner. Place service uses away from and out of sight of pedestrian areas where possible. Screening elements to be substantive and sympathetic to the building architecture.		
Topic	Commentary	Ranking
32 Waste / recycling		TBD
33 Enmax (Power) / Atco (Gas)		TBD
34 Transformer / switchgear	UDRP recommends that the applicant investigate an alternative location for the transformer, rather than next to the Ramsay Design Centre.	Further review required
<i>We have reviewed alternate locations for the transformer at length. Any location along the east, south, or north portions of the site would require a dedicated utility easement from the roadway and thus would further reduce the available developable area of the site. One of the primary concerns this raises is the reduction in the size of the below grade parking area. Cable lengths and associated costs would also increase. The selected location has been chosen for numerous reasons including reduced cable length, separation from CRU access points, and separation from residential units.</i>		
35 Exhaust / intake		TBD
36 Electrical vaults		TBD
37 Loading		Further review recommended
38 Fire truck access		Endorse
39 Other		

### Urban Design Review Panel – Policy Conflicts

#### FOR INTERNAL USE ONLY

Date:	
Time:	

Address:	
Application number:	
Description:	
Review:	
Architect:	
Planner:	
Urban Designer:	

#### Description of Conflict

Best practice recommendation:

Conflicting policy:

Suggested resolution:



## Community Association Comments/Responses



December 11, 2017

Jihad Bitar  
Planning, Community Planning #8073  
P.O. Box 2100, Station M  
Calgary AB  
T2P 2M5

### Community Response

**RE: DP2017-4891; 1802 11 Street SE**

The Civic Affairs Committee has reviewed the available development plans for this application.

Overall the proposed development looks like it will be a great addition to 11th Street SE. The community is pleased with the design of the residential portion of the building, however the commercial podium lacks character, and needs to better address the pedestrian streetscape. Currently the first floor commercial development is all one height and one depth. We are looking for more architectural articulation to break up the repetitious design of the storefronts, and provide more visual interest and character to the commercial facade. Particularly we would like to see better design of the corners, with increased building height, increased setback, and wrapping windows on the end cap commercial units. Also, the south elevation of the development will be very visible to the community and this elevation does not appear to have been given enough architectural attention.

We also feel like there is an opportunity to create a connection from the rear of the building to the front through the lobby area. Customers arriving by vehicle will need a way to get from the parking lot to the commercial storefronts, and there does not appear to be very safe or thoughtful pedestrian links proposed around the sides of the building. Also, the urban realm at the lobby entrance is lacking in terms of urban

## Community Association Comments/Responses

design and visual interest.

The proposed commercial base of the building looks very "industrial" in style, and the design is monotonous. This does not align with the community vision to transform 11th Street into a vibrant pedestrian oriented "main street" of the community, as redevelopment around the new Green Line LRT stations occur. We would like to see a larger variety of materiality, variation in building height, and more "bumps" in the commercial facade. This building will be setting a precedent on the street for what is to come, and we do not feel like the current plans are proposing a streetscape that fits in with the creative, artistic, active, and unique Character of the neighbourhood of Ramsay.

Respectfully,  
Erin Joslin

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Name of Planning Representative/s who wrote the letter:

**Erin Joslin, M.Arch,**  
**Vice President External**  
**Chair Civic Affairs Committee.**

**Community Association: Ramsay Community Association**

**Date: December 11, 2017**

## Community Association Comments/Responses



May 22, 2018

Jihad Bitar  
Planning, Community Planning #8073  
P.O. Box 2100, Station M  
Calgary AB  
T2P 2M5

### Community Response

**RE: DP2017-4891; 1802 11 Street SE**

This is a subsequent response following the opportunity to meet with both the Architect and Landscape Architect for this project. This development will be a key building in the revisioning of 11<sup>th</sup> street and the community appreciates finally having a meeting to discuss our concerns outlined in the pervious community response. The meeting took place May 3, 2018.

After a review of the proposed revised design, these are our comments.

- **Materials** - The material changes on the building have created more visual interest. The proposed red brick is much more in alignment with the street's character, and better reflects the long standing heritage of 11<sup>th</sup> Street. It is a nice contrast to the more modern material choices used in the residences above.
- **Articulation** – The building has taken on greater articulation at the street level, and has developed a much more welcoming pedestrian realm. This is in alignment with the desire to see 11<sup>th</sup> Street as a pedestrian focused street. We also discussed the opportunity to provide more bicycle parking in the space created by the articulation.
- **Corners** – Both corner situations were addressed in our discussion. Although we would love to see more glazing, we understand the reality of the constraints as well. The adjacent lot to the North is currently zoned for commercial development, and by not glazing the corner, we understand we can maintain the



## Community Association Comments/Responses

opportunity to create a connected streetscape. The corner on the south, has been given additional glazing, and the pedestrian realm is being address to enhance the long blank wall. Although more glazing would be appreciate on the South, additional glazing might also limit development of the CRU. The current design is satisfactory.

- **Connections** – The connection of the parking lot to the commercial front was through the lobby was discussed, and understanding the constraints and desires of the developer, we are okay with the current proposed layout.
- **Landscaping** – It sounds like there are plans for some exciting landscape elements. We also appreciate the graphic driveway treatment, which is very visual, and feels very Ramsay. It is design and public art where it isn't necessarily expected.

This building will be setting a precedent on the street for what is to come. The newly proposed building and material choices are a better fit for the vision of the community for the redevelopment of 11<sup>th</sup> Street and the character of Ramsay.

Respectfully, Erin Joslin

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Name of Planning Representative/s who wrote the letter:

Erin Joslin, M.Arch,  
Vice President External  
Chair Civic Affairs Committee.

Community Association: Ramsay Community Association

Date: May 22, 2018

Planning & Development Report to  
Calgary Planning Commission  
2018 November 29

ISC: UNRESTRICTED  
CPC2018-1293  
Page 1 of 5

## Land Use Amendment in Greenview Industrial Park (Ward 4) at 336 and 344 – 41 Avenue NE, LOC2018-0129

### EXECUTIVE SUMMARY

This application was submitted by Rick Balbi Architect on 2018 June 06 on behalf of the landowner, Ocean Investment Ltd. This application proposes to redesignate the subject site from Industrial - Redevelopment (I-R) District to Industrial – Commercial (I-C) District to allow for:

- industrial developments with support commercial uses (e.g. warehouses with commercial storefronts, restaurants, retail stores, industrial buildings with offices and retail stores);
- a maximum building height of 12 metres (a decrease from the current maximum of 16 metres); and
- the uses listed in the proposed I-C designation.

The proposal is in conformance with the applicable policies of the *Municipal Development Plan*.

No development permit application has been received at this time.

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 0.25 hectares ± (0.61 acres ±) located at 336 and 344 - 41 Avenue NE (Plan 1351IB, Block 8, Lots 20 and 21; Plan 1532JK, Block 8, Lot A) from Industrial – Redevelopment (I-R) District to Industrial – Commercial (I-C) District; and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

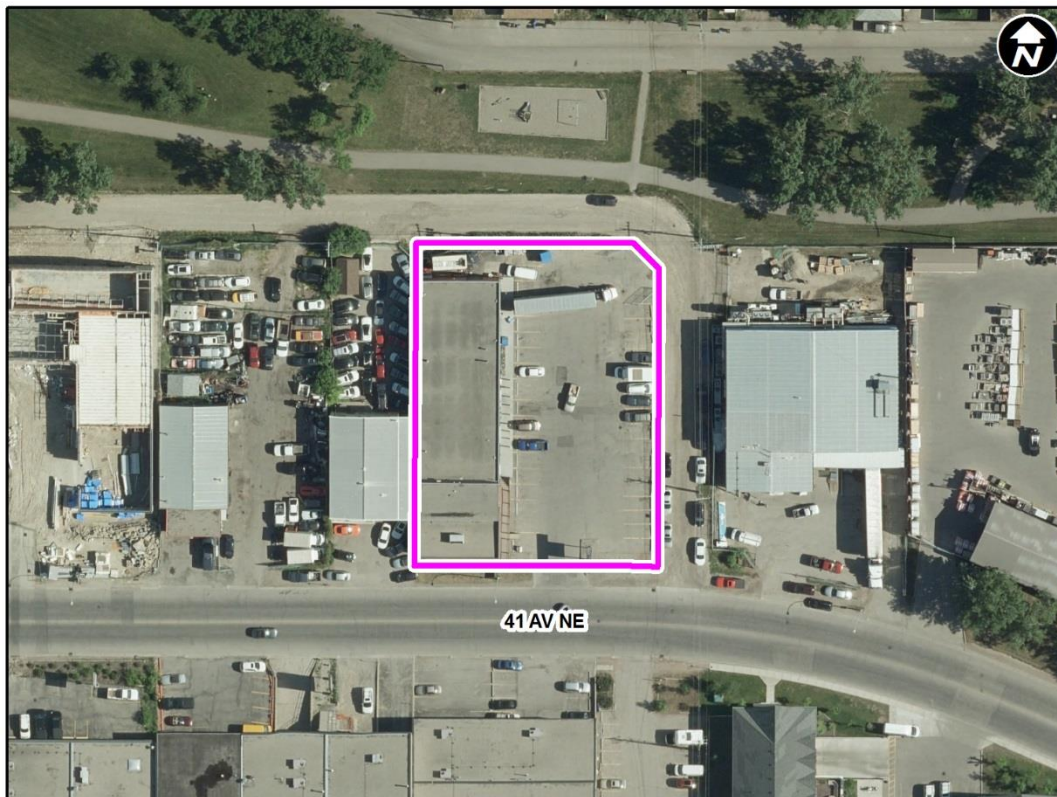
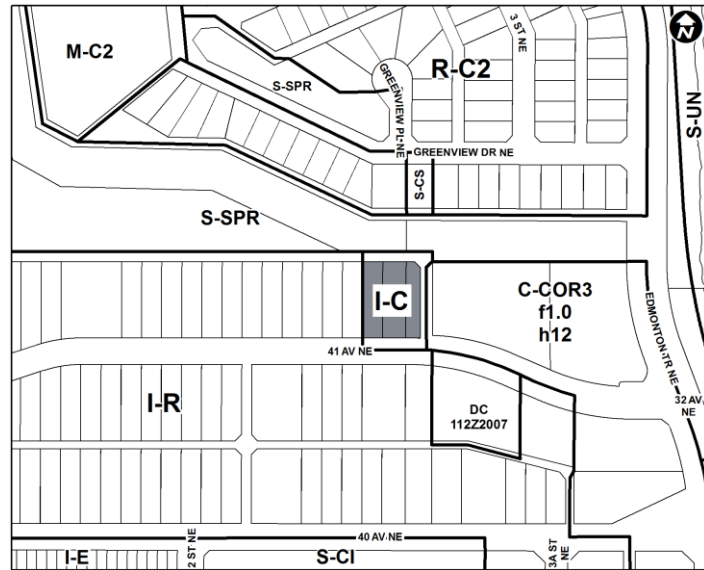
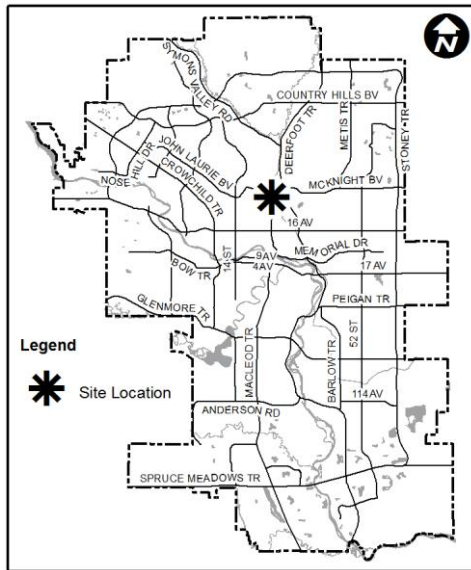
None.

### BACKGROUND

This land use amendment application was submitted by Rick Balbi Architect on behalf of the landowners, Ocean Investment Ltd, on 2018 June 06. No development permit application has been submitted at this time. However, as noted in the Applicant's Submission (Attachment 1), the applicant is intending to accommodate a broader range of support commercial uses. A beverage container drop off utilizes a portion of the existing building which was originally constructed in 1971 and is designed with a large bay in the rear and an office or retail space in the front of the parcel.

**Land Use Amendment in Greenview Industrial Park (Ward 4) at 336 and 344 - 41 Avenue NE, LOC2018-0129**

**Location Maps**



## **Land Use Amendment in Greenview Industrial Park (Ward 4) at 336 and 344 - 41 Avenue NE, LOC2018-0129**

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### **Site Context**

The subject site is located on the between Edmonton Trail NE and Centre Street N along 41 Avenue NE. The site is approximately 550 metres from the future Green Line LRT Station at 40 Avenue and Centre Street N and 600 metres from existing high frequency transit service. Small scale industrial and commercial developments are located to the west, east and south of the site, designated mix of Industrial – Redevelopment (I-R) District and Commercial – Corridor 3 (C-COR3 f1.0h12) District. Several residential dwellings are located north of the site buffered by a green space and a lane. The site has a total area of approximately 0.25 hectares  $\pm$  (0.63 acres  $\pm$ ), and is developed with a building that varies in height between one and two storey. A bottle depot operates within a portion of the existing building.

### **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

The proposed redesignation would maintain the planned function of this parcel with minor changes to the permitted and discretionary uses. Further analysis on how this proposal aligns with applicable City policies is provided in the following *Strategic Alignment* section of this report.

### **Planning Considerations**

The following sections highlight the scope of technical planning analysis conducted by Administration.

#### ***Land Use***

This application is to redesignate the site from the existing Industrial – Redevelopment (I-R) District to an Industrial – Commercial (I-C) District. The I-R district is intended for older industrial areas that were developed before current land use standards were introduced. Properties in these areas often have significant development constraints that affect matters such as parking, access and landscaping. The I-C District is intended for light industrial and small scale commercial uses that are compatible with and complement light industrial uses. The I-C District is intended for locations on the perimeter of industrial areas, along major streets or expressways and parcels located within 200 metres of a major street or expressway. The intent of this application is to allow for flexibility of use in order to better utilize the existing building while maintaining the industrial nature of the site. The I-C district differs from the I-R district as it allows for a broader range of support commercial uses. Based on this analysis, the I-C District is determined to be appropriate for this property.

#### ***Development and Site Design***

A development permit application has not been submitted at this time. Considerations to be evaluated at the development permit stage include site layout, building designs, outside storage and appropriate interface with lower density residential uses to the north.

## **Land Use Amendment in Greenview Industrial Park (Ward 4) at 336 and 344 - 41 Avenue NE, LOC2018-0129**

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### ***Environmental***

There are no noteworthy environmental features on this site, and an Environmental Site Assessment was not required for this application.

### ***Transportation Networks***

The site is located along 41 Avenue NE between Centre Street N and Edmonton Trail NE, approximately 550 metres from the future 40 Avenue North Green Line Light Rail Transit station. Currently, Bus Rapid Transit services the area and is within walking distance (600 metres) of the site. Due to the minor changes in uses, the application does not trigger improvements to the street network.

### ***Utilities and Servicing***

Water, sanitary and storm sewer mains are available to service the site and are being used by the existing building on site. If redevelopment occurs in the future, the specific servicing arrangements will be discussed and reviewed in detail through the development permit process.

### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. In addition, notification letters were sent to adjacent land owners and the application was advertised online. No public meetings were held by the Applicant or Administration. No comments were received from the public by the CPC Report submission date. There is no community association in this area. The adjacent Thorncliffe Greenview Community Association was notified of the proposal and sent a letter of support (Attachment 2).

Following this Calgary Planning Commission meeting, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. The Commission's recommendation, date of the Public Hearing and options for providing feedback will be advertised.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory, 2014)***

The site is located within the 'City, Town' area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan (SSRP)*. While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

**Land Use Amendment in Greenview Industrial Park (Ward 4) at 336 and 344 - 41 Avenue NE, LOC2018-0129**

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***Municipal Development Plan (Statutory, 2009)***

The subject site is located within the Industrial; Standard Industrial area, according to Urban Structure Map (Map 1) of the *Municipal Development Plan* (MDP). The Standard Industrial area is intended to contain a mix of industrial uses at varying intensities. These areas continue to offer a broad variety of industrial uses and as the area redevelops, the industrial character should be maintained. The listed uses of the I-C District include industrial uses and uses that complement industrial uses. While the MDP makes no specific reference to this site, the proposal is consistent with the applicable policies.

**Social, Environmental, Economic (External)**

The proposed land use district would help to implement the policy goals of providing a wide range of commercial and retail uses that cater to the day-to-day needs of area businesses and their employees, while maintaining the industrial character and function of the area.

**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposal is consistent with applicable policies of the Municipal Development Plan, and allows for flexibility of use to better utilize the existing building while maintaining the industrial nature of the site.

**ATTACHMENT(S)**

1. Applicant's Submission
2. Thorncliffe Greenview Community Association Response





## Applicant's Submission

0129



### Land Use Redesignation Applicant's Submission Not Including Secondary Suites

PL 1263 (R2017-09)

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. These comments are included in a report which is presented to the Calgary Planning Commission and a Public Hearing of City Council. Your comments **must** be limited to the area designated on this form to ensure it will fit the space requirements of the report. Supplementary information can be provided separately in your application if required.

The objective of this application is to redesignate the subject parcels from I-R (Industrial-Redevelopment) to I-C (Industrial-Commercial), in order to provide a greater range of commercial uses within an existing development. The existing building is ideally suited to accommodate small scale commercial and support industrial uses while the context and location of the parcel is very well aligned with the intent of the I-C district.

The subject site is located on the Northern Edge of the Greenview Industrial Area, which the Municipal Development Plan identifies as a Standard Industrial Area. However, this area has a very diverse light-industrial character, with a large church at the centre, low density residential in very close proximity and commercial districts along the eastern edge. The site is well connected to the City Centre by Centre Street to the West, and Edmonton Trail / 32nd Street and Deerfoot Trail to the East. The location of the parcel meets the intent of the proposed I-C district as it is located on the perimeter of an industrial area approximately 200 meters from a major street (Edmonton Trail).

Furthermore, the proposed I-C district is particularly appropriate for the surrounding context of the site. While the base industrial district is maintained, the I-C district provides a transition from the adjacent commercial district (C-COR3) on the East, to the I-R parcels to the West. A green belt separates the parcel from low density residential to the North, and a multi-residential development is corner to corner with this parcel to the Southeast. Changing the district to I-C will allow for uses and amenities that are compatible with both residential and industrial/commercial areas. As this district is still primarily industrial, uses such as General Industrial - light are permitted, but it also allows a greater variety of commercial/ industrial support uses such as retail, convenience stores, and financial institutions. The I-C district differs from the I-R district where it removes some of the outdoor industrial uses (such as General Industrial -Medium) and moves the auto-centric uses from permitted to discretionary.

Additionally, the proposed district will create more viability for the existing building. This building could be considered "street oriented" as it is set very close to the front property line and has a completely glass storefront. The street presence and pedestrian friendly interface created by the building is complimentary to small scale commercial and support industrial businesses. It also has ample parking to support a larger range of uses.

The proposed Land Use District of I-C (Industrial - Commercial) is a small step away from the current district of I-R (Industrial-Redevelopment), however it is a better fit for this parcel within the existing context. The proposed district is generally more suited to the existing building and will increase the flexibility and economic opportunities of the site for now and into the future.



### **Thorncliffe Greenview Community Association Response**

The Thorncliffe/Greenview Community Association fully supports application LOC2018-0129. This land use change we feel is the natural and desired evolution for this portion of the 41 Ave corridor and would be especially germane to this building & site in particular. We found the applicant's letter of submission compelling and agree with much of it's perspective. We would note as a matter of clarification that the multi-residential building mentioned to the SE of the subject site is actually the 50 bed Fresh Start addictions treatment centre. It however has the outward appearance of multi-residential and the housed clients obviously consider it there residence if albeit a temporary one. This should not in any way be considered a reason why the sought after land use should not be granted.

If possible we would email notification when this item goes to CPC/Council

thanks

Marvin Quashnick  
TGCA



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## Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 4120 - 67 Avenue NE, LOC2018-0180

### EXECUTIVE SUMMARY

This application was submitted by IBI Group on 2018 August 10 on behalf of the landowner, 2045478 Alberta Ltd (Sandhu, Parminder). This application proposes to redesignate the subject site from Special Purpose – Future Urban Development (S-FUD) District to a Direct Control District (Attachment 1) based on the Industrial – Outdoor (I-O) District to allow for:

- industrial developments that require limited or no municipal services (e.g. outdoor storage, salvage and equipment yard);
- a maximum building height of 10 metres;
- a maximum gross floor area of 1,600 square metres for all buildings on a parcel;
- a minimum parcel area of 1.6 hectares; and
- the uses listed in the I-O designation with the addition of Seasonal Sales Area.

The proposal conforms to the relevant policies of the *Municipal Development Plan* and is supported by the objectives of the *Saddle Ridge Area Structure Plan*.

A development permit for Vehicle Storage – Large has been submitted and is under review.

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 1.66 hectares ± (4.10 acres ±) located at 4120 - 67 Avenue NE (Plan 2474JK, Block 1, Lot 4) from Special Purpose – Future Urban Development (S-FUD) District to DC Direct Control District based on the Industrial – Outdoor (I-O) District to accommodate the additional use of Seasonal Sales Area; and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

None.

### BACKGROUND

This application was submitted by IBI Group on behalf of the landowner, 2045478 Alberta Ltd, on 2018 August 10. As noted in the Applicant's Submission (Attachment 2), the applicant is intending to accommodate a temporary vehicle storage development and create flexibility of use with the addition of a seasonal sales area. A development permit (DP2018-3830) for Vehicle Storage – Large has been submitted by IBI Group on 2018 August 10 and is under review (Attachment 3).

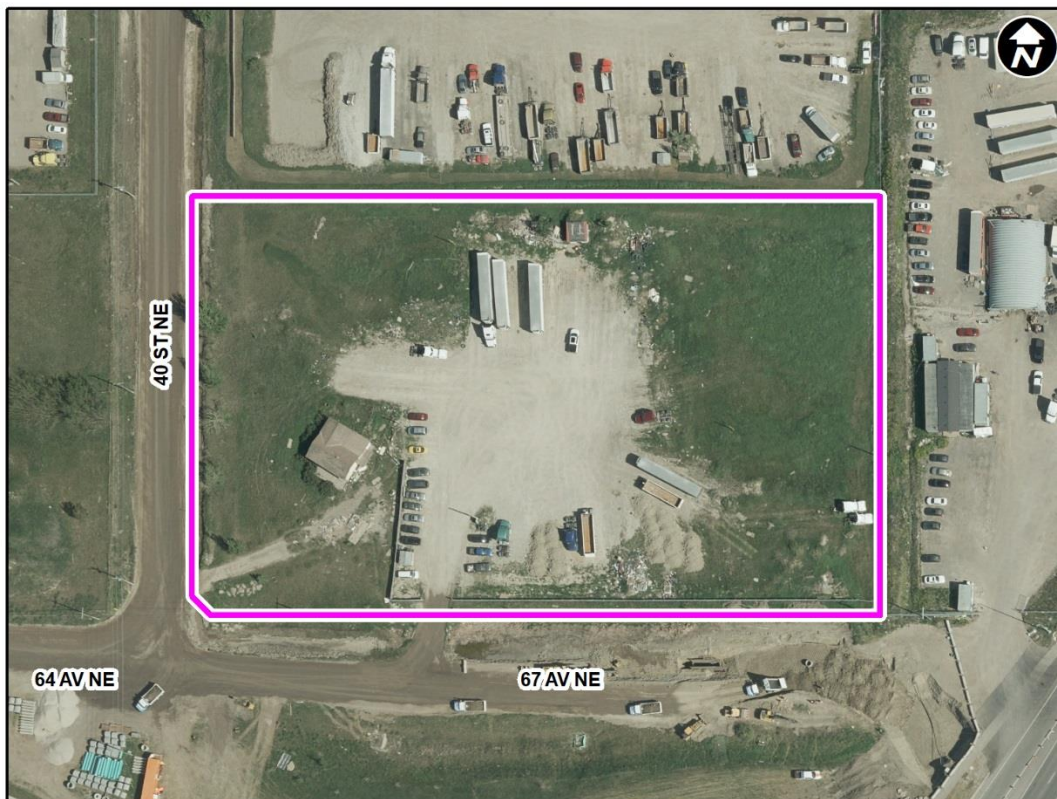
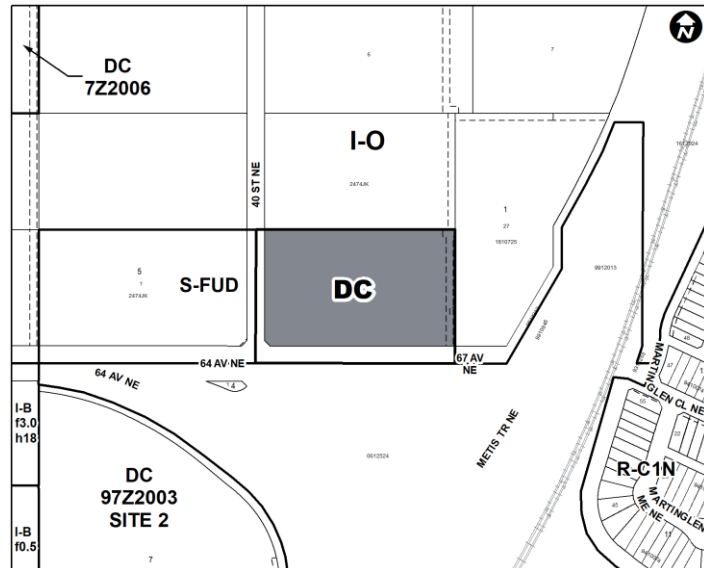
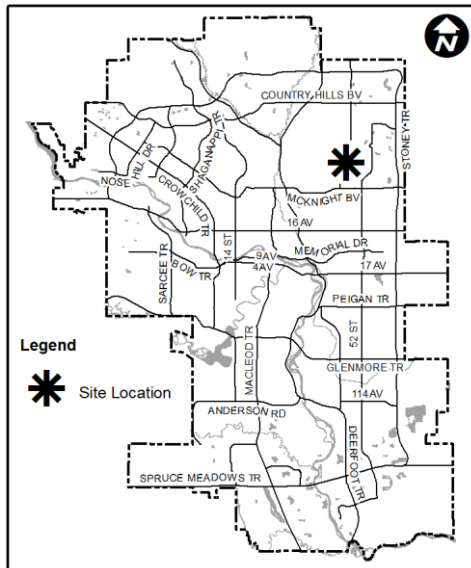


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**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 4120 - 67 Avenue NE,  
LOC2018-0180**

**Location Maps**



**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 4120 - 67 Avenue NE,  
LOC2018-0180**

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**Site Context**

The subject site is located north of 64 Avenue NE and west of Metis Trail NE in the Saddle Ridge Industrial Area, approximately 450 metres east of the Calgary International Airport. The site, approximately 1.66 hectares  $\pm$  (4.10 acres  $\pm$ ) in size, is developed with a single detached dwelling. Parcels to the north and east of the site are designated Industrial – Outdoor (I-O) District and are developed with storage and equipment yard uses. Directly to the west of the site is a parcel designated Special Purpose – Future Urban Development (S-FUD) District that is currently vacant.

The southern portion of the Saddle Ridge Industrial area contains mainly smaller, unserved industrial parcels that render future subdivision, redevelopment or retrofitting of municipal services more difficult due to the inherent ownership, financial and development constraints created. Given these constraints, the area continues to be utilized for interim land uses and further subdivision is limited until a comprehensive plan and a critical mass of land is assembled in order to justify necessary servicing improvements or extensions.

**INVESTIGATION: ALTERNATIVES AND ANALYSIS**

The proposal has been submitted to broaden the range of allowable uses and add the use of seasonal sales area while maintaining the minimum parcel area restrictions to prevent further at 4120 - 67 Avenue NE. The proposal meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

***Planning Considerations***

The following sections highlight the scope of technical planning analysis conducted by Administration.

***Land Use***

This application is to redesignate the site from the existing Special Purpose – Future Urban Development (S-FUD) District to a DC Direct Control District based on Industrial – Outdoor District with the additional use of Seasonal Sales Area. The existing S-FUD District is primarily for lands that are awaiting urban development and is largely limited to uses that can easily be removed to allow for future urban development. The S-FUD District does not accommodate the submitted development permit application and proposed uses as outlined in the Applicant Submission.

The I-O District, a base of the proposed Direct Control District, is intended primarily for interim uses such as outdoor storage, salvage and equipment yard in locations that have limited or no municipal services. The maximum gross floor area of all buildings on a parcel in the I-O District is 1,600 square metres and the minimum area of a parcel is 1.6 hectares which restricts further subdivision of this parcel. A Direct Control District is required to allow the additional use of Seasonal Sales Area, as the applicant has indicated the intent of developing a storage yard with the subordinate use of a sales area.

**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 4120 - 67 Avenue NE,  
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Additionally, as Seasonal Sales Area is not an allowable use within the I-O District and other stock districts were deemed to be inappropriate for the site at this time, the use of a Direct Control District is deemed to be appropriate.

***Development and Site Design***

As this site does not have full municipal services at this time, temporary uses should be considered. Access to the site should be designed from 40 Street NE to accommodate potential interchange changes to Metis Trail NE and 64 Avenue NE.

***Environmental***

No environmental issues have been identified at this time and an Environmental Site Assessment was not required for this application.

***Transportation Networks***

The subject site is located at the corner of 67 Avenue NE and 40 Street NE. The subject lands are considered to be auto-oriented. The network lacks appropriate pedestrian pathways and sidewalks that would otherwise facilitate alternative modes of transportation. Vehicular access is available from 40 Street NE. A Traffic Impact Assessment was not required as part of this application.

***Utilities and Servicing***

Public water and storm utilities are unavailable within the vicinity. Public sanitary utilities are available adjacent to the subject site. Typically, the Industrial – Outdoor District is intended for sites that do not have municipal servicing. Temporary uses can be accommodated until ultimate redevelopment, at which time, the subject site is required to be fully serviced. At the development permit stage, the applicant will be required to submit a Stormwater Management Report, as to adequately account for interim storm water management. At that time, the developer may be required to execute a Deferred Service Agreement, with the City of Calgary, for public infrastructure that would be required to be constructed in future.

**Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site for 21 days. In addition, notification letters were sent to adjacent land owners and the application was advertised online. No comments were received from members of the public by the CPC Report submission date. There is no community association in this area.

Following this Calgary Planning Commission meeting, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. The Commission's recommendation, date of the Public Hearing and options for providing feedback will be advertised.

**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 4120 - 67 Avenue NE,  
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**Strategic Alignment**

***South Saskatchewan Regional Plan (Statutory, 2014)***

The site is located within the 'City, Town' area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

***Municipal Development Plan (Statutory, 2009)***

The subject site is located within the "Standard Industrial" area as identified on Map 1: Urban Structure of the *Municipal Development Plan* (MDP). The Standard Industrial area is intended to contain a mix of industrial uses at varying intensities. These areas should continue to offer a broad variety of industrial uses and when redevelopment occurs, the industrial character should be maintained. The listed uses of the I-O District include temporary industrial uses. While the MDP makes no specific reference to this site, the proposal is consistent with the applicable policies.

***Saddle Ridge Area Structure Plan (Statutory, 2007)***

The subject site is located within Industrial area according to the Land Use Plan (Map 6) of the *Saddle Ridge Area Structure Plan*. The purpose of the industrial area is to provide for limited-service industrial activities that will likely predominate for many years to come. The Area Structure Plan outlines that industrial lands should only be redesignated or redeveloped for fully serviced industrial uses or temporary uses, provided that these temporary uses do not compromise future development or subdivision of the site. The proposed DC Direct Control District will allow for temporary development to occur and restrict future subdivision while the subject site remains unserved.

***Calgary International Airport Vicinity Protection Area Regulation (Statutory – 2009)***

The subject site is located within the 30-35 Noise Exposure Forecast contour of the Airport Vicinity Protection Area (AVPA) land use regulations. The recommended DC Direct Control District provides for a range of uses that are generally allowable within the 30-35 NEF contour area. However, future individual development permit applications will be circulated to YYC and reviewed in the context of applicable regulations to ensure compliance.

**Social, Environmental, Economic (External)**

The proposed land use district will allow for interim use of land that better utilizes the lands until services are available, while maintaining the industrial character and function off the area.

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**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 4120 - 67 Avenue NE,  
LOC2018-0180**

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**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal. However, if the proposed amendments are not adopted, the existing development permit application would not be able to proceed.

**REASON(S) FOR RECOMMENDATION(S):**

The proposal is consistent with applicable policies of the *Municipal Development Plan* and the *Saddle Ridge Area Structure Plan*, and allows to broaden the range of allowable uses while maintaining the restrictions on future subdivision.

**ATTACHMENT(S)**

1. Proposed Direct Control Guidelines
2. Applicant's Submission
3. Proposed Development (DP2018-3830) Summary

## Proposed Direct Control Guidelines

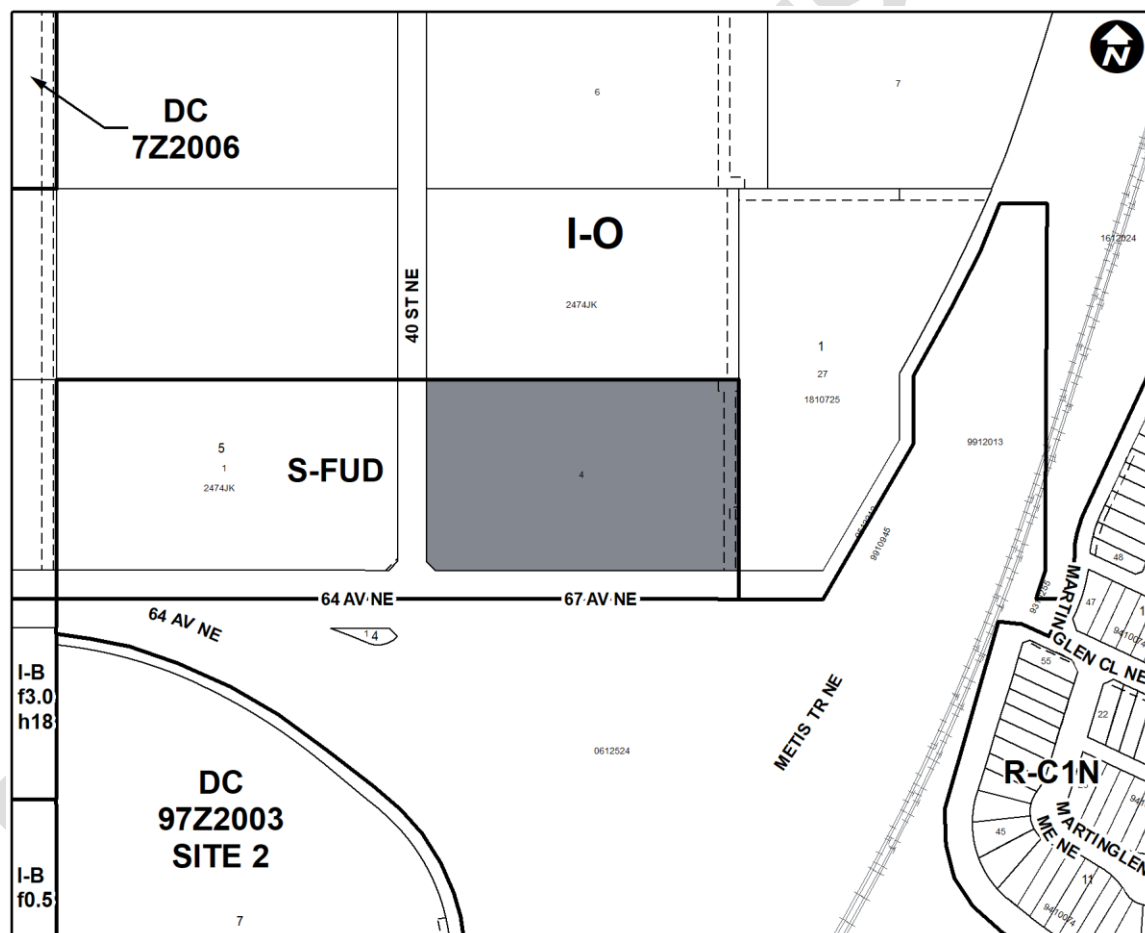
**WHEREAS** it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26 as amended;

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

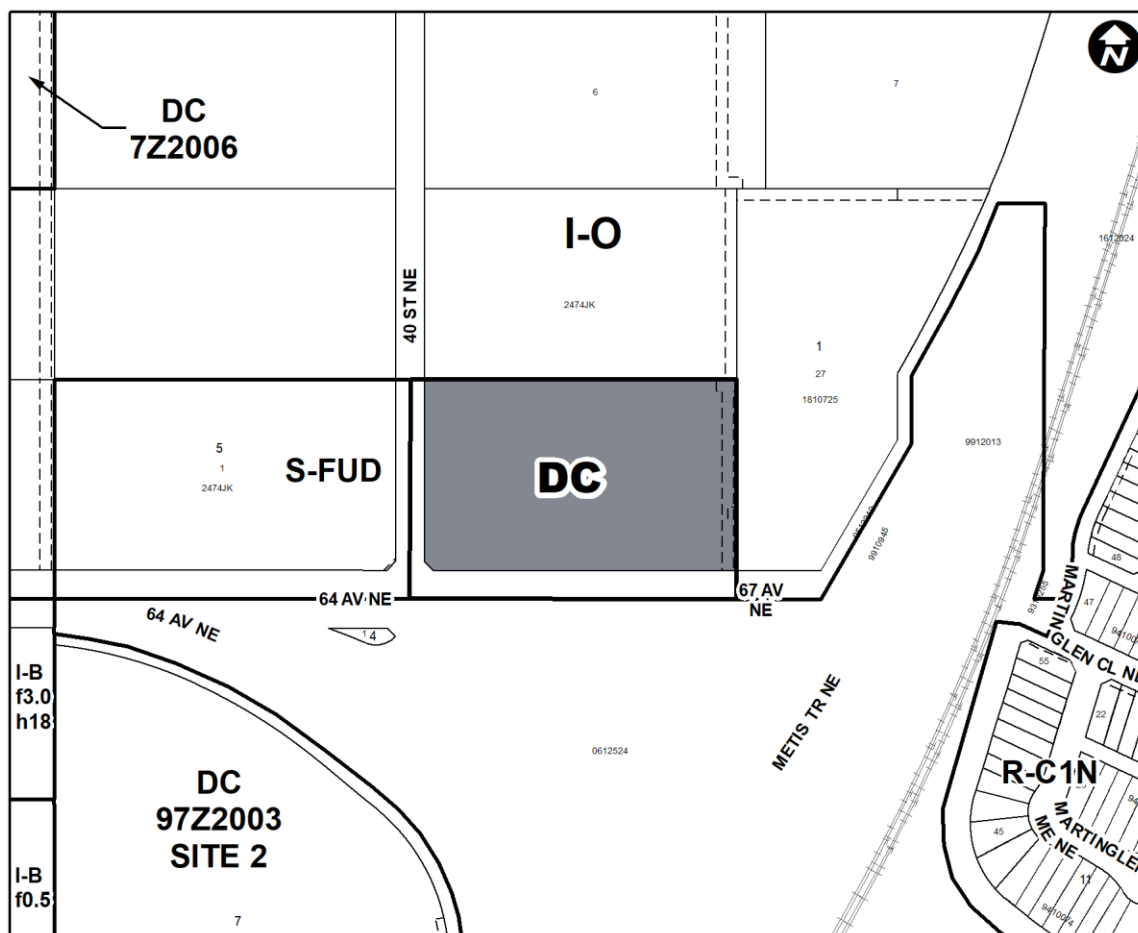
### SCHEDULE A





## Proposed Direct Control Guidelines

### SCHEDULE B



### DIRECT CONTROL DISTRICT

#### Purpose

1 This Direct Control District is intended to:

- (a) allow for the additional **use** of a **Seasonal Sales Area**.

#### Compliance with Bylaw 1P2007

2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

#### Reference to Bylaw 1P2007

3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

#### Permitted Uses

4 The **permitted uses** of the Industrial – Outdoor (I-O) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

## Proposed Direct Control Guidelines

### Discretionary Uses

**7** The ***discretionary uses*** of the Industrial – Outdoor (I-O) District of Bylaw 1P2007 are the ***discretionary uses*** in this Direct Control District with the addition of:

- (a) **Seasonal Sales Area.**

### Bylaw 1P2007 District Rules

**8** Unless otherwise specified, the rules of the Industrial – Outdoor (I-O) District of Bylaw 1P2007 apply in this Direct Control District.

TEXT FOR DISCUSSION ONLY



## Applicant's Submission



IBI GROUP  
500 – Meredith Block, 611 Meredith Road NE  
Calgary AB T2E 2W5 Canada  
tel 403 270 5600 fax 403 270 5610  
ibigroup.com

August 9, 2018

The City of Calgary  
Planning, Development & Assessment  
800 Macleod Trail SE  
P.O. Box 2100, Station M (#8108)  
Calgary, AB T2P 2M5

✓  
**APPLICANT SUBMISSION: SADDLERIDGE INDUSTRIAL  
4120 - 67TH AVENUE NE**

On behalf of Parminder Sandhu (2045478 Alberta Ltd.), IBI Group requests a making a land use application at 4120 67<sup>th</sup> Avenue NE. In support of this, an application fee will be paid, in person, to the City of Calgary in the amount of \$10,979.00.

As outlined in the Pre-application Requirement Checklist the following information is required for this submission:

<b>Applicant's Name:</b>	IBI Group Attn: Elvin Karpovich
<b>Applicant's Address:</b>	Suite 500, 611 Meredith Road NE Calgary, AB T2E 2W5
<b>Contact Information:</b>	Telephone: 403-270-5600 Mobile Number: 403-804-5350 Facsimile Number: 403-270-5610 Email Address: EKarpovich@IBIGroup.com
<b>Company Represented by IBI Group:</b>	2045478 Alberta Ltd.

Our client would like to amend the land use of approximately 1.66ha (4.10 ac) located in the community of Saddleridge Industrial. The subject site is situated on the north side of 67<sup>th</sup> Avenue N.E. and east of 40<sup>th</sup> Street NE. The Calgary airport is directly west of the site and it is easily accessible from 64<sup>th</sup> Avenue NE via Metis Trail.

The parcel is currently zoned S-FUD Future Urban Development and is adjacent to I-O Industrial-Outdoor District. The proposed land use for this site is DC (I-O) Industrial District with an intended interim use of a gravel parking & storage lot for transport trailers and/or recreational vehicles. The eventual permanent plan will be for a landscape construction equipment storage and bulk storage and sales. A subject site exhibit has been attached to this letter for reference.

In accordance with the ASP policy, lands south of 80 Avenue NE are only to be re-designated or redeveloped for: a) fully-serviced industrial uses; or temporary uses, provided that these temporary uses do not compromise future development or subdivision of the site. Within South Cell F, a limited range of interim land uses have been supported for many of the parcels in the

IBI Group Professional Services (Canada) Inc. is a member of the IBI Group of companies

## Applicant's Submission

IBI GROUP

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August 9, 2018

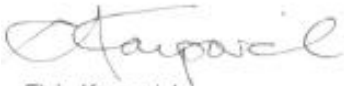
past. The proposed storage and bulk sales of landscaping materials (mulch, aggregate, etc.) would appear to meet the intent of the ASP regarding interim uses. Most of the parcels within Cell F are designated Industrial Outdoor (I-O) District which is intended to implement the general ASP direction that allows for interim land uses and prevents further subdivision or serviced uses until a comprehensive plan is assembled and a critical mass of land is assembled in order to justify necessary servicing improvements/extensions.

The proposed use would appear to align with the definition of "Storage Yard" which is allowable under I-O. The proposed retail sales component is more in keeping with "Seasonal Sales Area" associated with the storage yard use. Therefore a DC District based on the I-O is being requested in order to incorporate the sales component.

We are respectfully requesting a DC (I-O) land use district that with the only request being the added use of a "Storage Yard". We look forward to your comments regarding this application.

Respectfully,

IBI GROUP



Elvin Karpovich  
Director

cc: Parminder Sandhu, 2045478 Alberta Ltd.

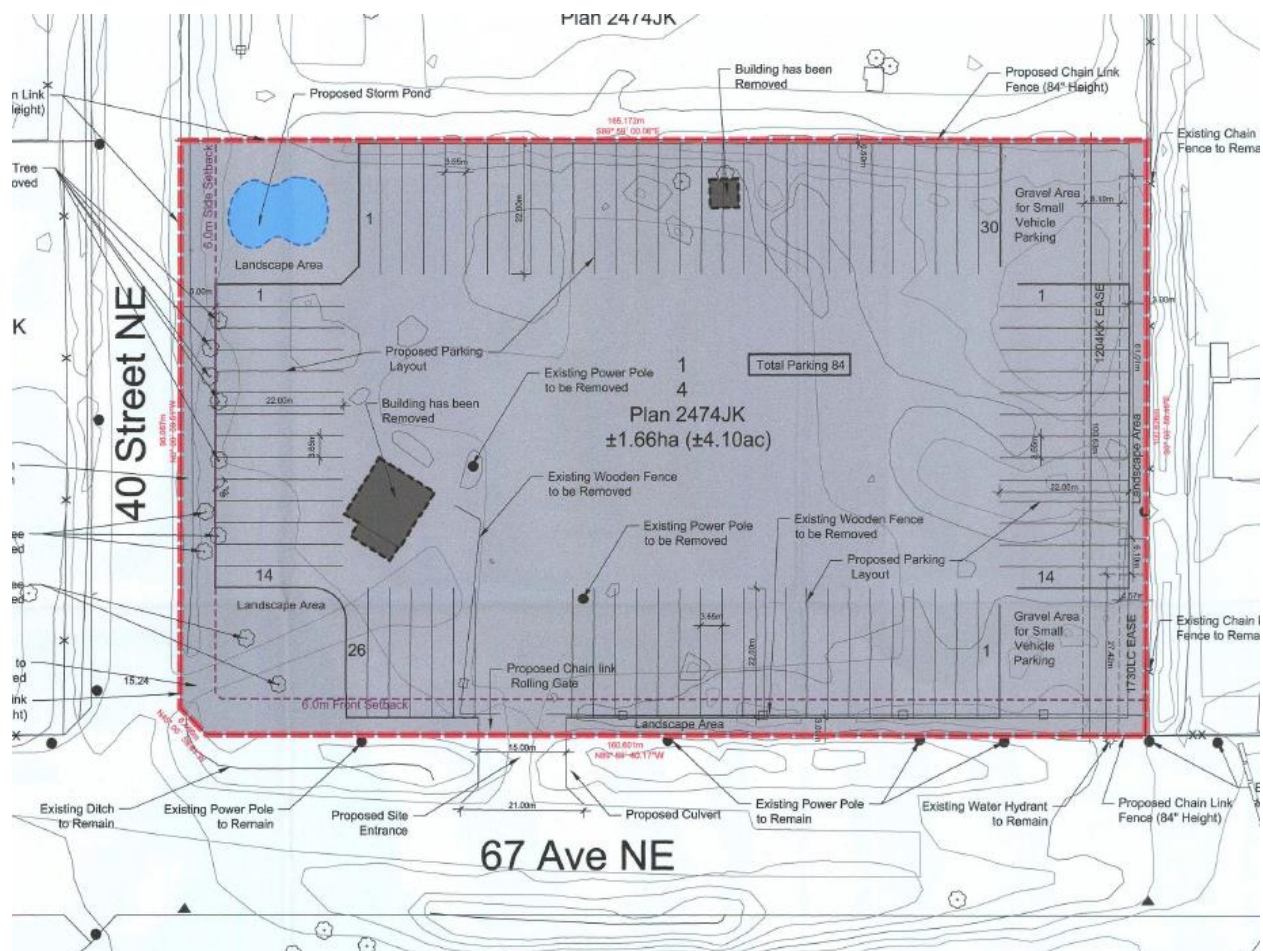
J:\117296\_SdRdgIndPk\5.4 Development Permit\Saddle Ridge Land Use Redesignation\PTL Applicant Submission\_2018-08-09.docx(2018-08-10)WP

## Proposed Development (DP2018-3830) Summary

A development permit application (2018-3830) has been submitted by IBI Group on 2018 August 10. The development permit application proposes temporary large vehicle storage with access from 67 Avenue NE. The following excerpts (Figure 1) from the development permit submission provide an overview of the proposal and are included for information purposes only.

Administration's review of the development permit will determine the ultimate site layout details such as storage area, landscaping, storm water management and site access. No decision will be made on the development permit application until council has made a decision on this land use redesignation.

Figure 1: Site Plan







## Land Use Amendment in Stoney 2 (Ward 3) at 2011 – 100 Avenue NE, LOC2018-0191

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### EXECUTIVE SUMMARY

This application was submitted by Kumlin Sullivan Architecture Studio on 2018 August 23 on behalf of the landowner Condominium Corporation No. 1110612. The application proposes to change the designation of the subject site from Industrial – Commercial (I-C) District to Commercial – Corridor 3 f1.0h12 (C-COR3 f1.0h12) District to allow for:

- medium-scale commercial developments (e.g. strip malls, 1 or 2 storey commercial buildings);
- a maximum building height of 12 metres (equal to the current maximum of 12 metres);
- a maximum floor area ratio of 1.0 (equal to the current maximum of 1.0 FAR); and,
- the uses listed in the C-COR3 f1.0h12 District.

This proposal conforms to the relevant policies of the *Municipal Development Plan* and is supported by the objectives of the *Revised Stoney Industrial Area Structure Plan*. As noted in the Applicant's Submission (Attachment 1), the applicant has identified an intent to pursue a development permit application for a Conference and Event Facility in the future.

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 0.18 hectares ± (0.44 acres ±) located at 2011 – 100 Avenue NE (Plan 1811200, Block 1, Lot 1) from Industrial – Commercial (I-C) District to Commercial – Corridor 3 f1.0h12 (C-COR3 f1.0h12) District; and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

None.

### BACKGROUND

This redesignation application was submitted by Kumlin Sullivan Architecture Studio on 2018 August 23 on behalf of the landowner Condominium Corporation No. 1110612. As noted in the Applicant's Submission (Attachment 1), the applicant has identified an intent to pursue a development permit application for a Conference and Event Facility on this parcel in the future. This application seeks a land use adjustment on a small portion of a comprehensive development site. The subject site is part of a registered bare land condominium plan (Plan 1110612; CS) wherein individual development/building sites are served by a common central parcel that contains required parking, landscaping and shared services/amenities.

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**Land Use Amendment in Stoney 2 (Ward 3) at 2011 - 100 Avenue NE, LOC2018-0191**

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In 2008 a development permit was approved for the eastern portion of the broader site which allowed for the construction of two hotel buildings. Supplementary concepts have envisioned the development of a conference and event facility and an additional hotel on the western portion of the site. To date, phase 1 which includes two hotel buildings and associated surface and underground parking has been completed.

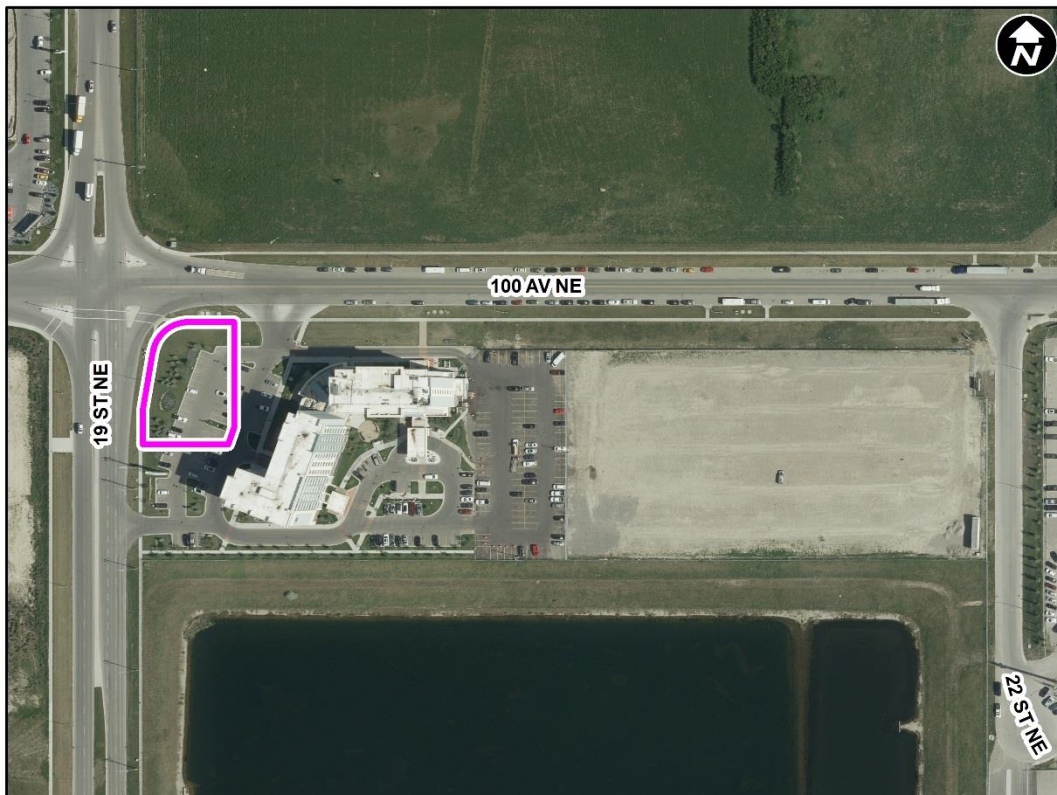
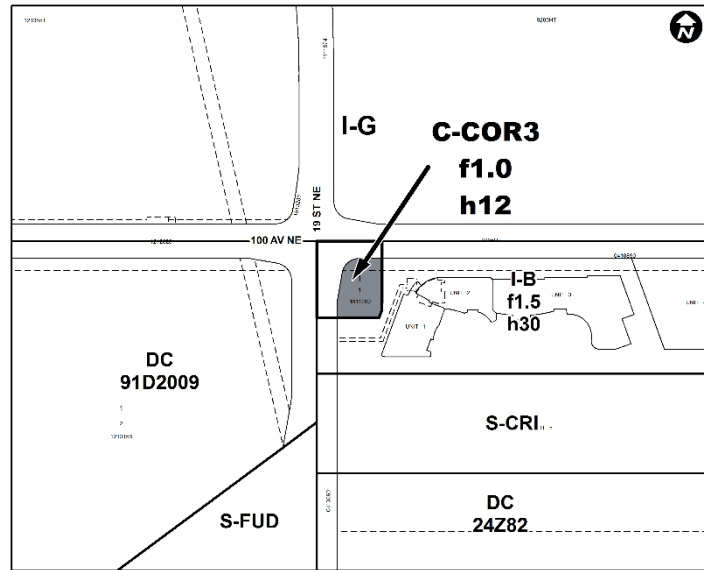
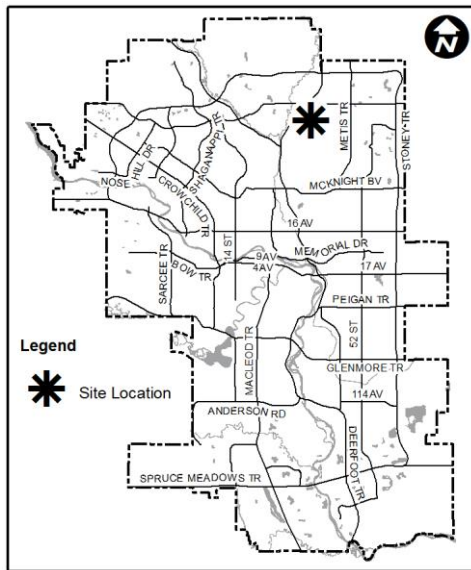
The site subject to this application was previously redesignated from Industrial – Business (I-Bf1.5h30) District to Industrial – Commercial (I-C) District in 2015 to accommodate a standalone restaurant. This portion of the comprehensive development site has yet to be developed (is being used as surface parking in the interim) and the C-COR3 f1.0h12 District is now being sought in order to enable an alternative range of uses on this portion.

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Land Use Amendment in Stoney 2 (Ward 3) at 2011 - 100 Avenue NE, LOC2018-0191

Location Maps



## **Land Use Amendment in Stoney 2 (Ward 3) at 2011 - 100 Avenue NE, LOC2018-0191**

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### **Site Context**

The subject site is located at the southeast corner of the intersection of 100 Avenue NE and 19 Street NE in the community of Stoney 2, approximately 900 metres north of the Calgary International Airport. The site is approximately 0.18 hectares and represents a small portion of a broader comprehensive development site which is registered as a bare land condominium.

The western portion of this broader comprehensive development site is currently developed with an existing hotel (2 buildings). This existing development is served by a combination of underground and surface parking. The portion of the site subject to this redesignation is currently used as surface parking. Vehicular access to this specific site is provided by way of a common parcel which provides access and parking for the various individual development/building sites that make up the comprehensive development site.

The surrounding land use pattern is largely driven by the presence and proximity of the airport. Development is comprised of commercial uses such as surface parking lots, car rental establishments, restaurants and hotels as well as a range of light industrial and logistics uses. The site is located in an actively developing area with many sites still awaiting commercial and industrial development.

### **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

This proposal involves the redesignation of a small portion of a comprehensive development site from Industrial – Commercial (I-C) District to Commercial – Corridor 3 f1.0h12 (C-COR3 f1.0h12) District in order to broaden the range of allowable commercial uses and provide for development that complements the existing hotel. The redesignation does not contemplate changes to the existing allowable height and intensity of development on this parcel. The following analysis considers the appropriateness of the new range of uses in the context of relevant policy and sound planning principles.

### **Planning Considerations**

Given the nature of this application and the existing plans for the site, the primary planning considerations relate to the range of uses allowable under the proposed Commercial – Corridor 3 f1.0h12 (C-COR3 f1.0h12) District and whether they support the long term vision for the area, complement the surrounding land uses and can be serviced by existing/planned infrastructure.

### **Land Use**

The existing Industrial – Commercial (I-C) District applicable to this site primarily provides for the development of light industrial uses of all scales and a limited range of small-scale commercial uses that are compatible with and complement light industrial uses. The district is typically applied at the perimeter of industrial areas, along major streets or expressways. The district allows for a maximum building height of 12 metres and a maximum floor area ratio of 1.0.

## **Land Use Amendment in Stoney 2 (Ward 3) at 2011 - 100 Avenue NE, LOC2018-0191**

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The proposed Commercial – Corridor 3 f1.0h12 (C-COR3 f1.0h12) District is primarily meant to accommodate mid-scale retail, and medium to large eating and drinking uses. The district is typically applied in industrial areas to enable commercial uses that support the function of the broader industrial areas. The C-COR3 f1.0h12 District utilizes site-specific modifiers to regulate building height and densities. In this case, the building height and floor area maximums have been designed to replicate the allowable maximums under the existing I-C district (i.e. no change).

### ***Development and Site Design***

The rules of the proposed Commercial – Corridor 3 f1.0h12 (C-COR3 f1.0h12) District will provide basic guidance for the future site development including appropriate uses, building height and massing, landscaping and parking requirements. Given the specific context of this corner site, additional items that will be considered through a future development permit process would include:

- the design and placement of vehicular and pedestrian access through the broader common parcel;
- the location and provision of appropriate vehicular parking which may occur, in whole or in part, on the broader common parcel;
- necessary modifications to the adjacent site design to accommodate a new building on this portion of the comprehensive development site;
- ensuring an engaging built interface along the adjacent street frontages; and,
- the siting and design of loading and waste facilities to minimize the impact on the adjacent public realm and the function of the other uses on the comprehensive site.

### ***Environmental***

No environmental issues have been identified through the consideration of this application. An environmental site assessment was not required for this application.

### ***Transportation***

Pedestrian and vehicular access to the site is available from 100 Avenue NE and 19 Street NE. Pedestrian access to the future development is likely to be provided directly from existing sidewalks along these right-of-ways while vehicular access is likely to be provided by way of the existing site accesses through the common parcel. Given the nature and scope of the application, a Transportation Impact Assessment was not required.

### ***Utilities and Servicing***

It is not anticipated that the proposed land use redesignation will increase the demand for water and sanitary services. Water and sanitary sewer mains are available adjacent to the site and can accommodate a development of the site without the need for off-site improvements. The specific servicing arrangements will be discussed and reviewed in detail through the development permit process.

## **Land Use Amendment in Stoney 2 (Ward 3) at 2011 - 100 Avenue NE, LOC2018-0191**

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### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant external stakeholders (e.g. YYC, Enmax, etc.) and notice was posted on-site. Notification letters were sent to adjacent land owners and the application was advertised online.

No citizens' comments were received by the report submission date. Given the industrial/commercial nature of the Stoney 2 area no community association exists.

Following this Calgary Planning Commission meeting, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, the Commission's recommendation and the date of the Public Hearing will be advertised. No public meetings were held by the Applicant or Administration.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory – 2014)***

The site is located within the 'City, Town' area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

#### ***Municipal Development Plan (Statutory – 2009)***

The subject site is located within the "Standard Industrial" area as identified on Map 1: Urban Structure of the *Municipal Development Plan* (MDP). In terms of guiding land use and development on the subject site, the Revised Stoney Industrial Area Structure Plan provides the most specific and relevant policy direction. However, the proposal is supported by the objectives of the Standard Industrial Area policies under Section 3.7.1 which encourage the development of commercial uses that support the overall function of industrial areas and the broad objectives of Part 2 – City-Wide Policies of MDP that seek to foster a more prosperous and diverse economy.

#### ***Revised Stoney Industrial Area Structure Plan (Statutory – 2006)***

The *Revised Stoney Industrial Area Structure Plan* identifies the site as part of a *Business Industrial Area*. The proposed redesignation will allow for a broader range of commercial uses on a small portion of a comprehensive development site which fit with the overall composition of uses expected to make up the business/industrial area. Of specific relevance to this application, Section 8.1.2(2) of the ASP provides policies around the siting of local commercial uses within the Business/Industrial Area. In this regard, the site is located at the intersection of two streets and, when combined with existing local commercial uses at this intersection, does not exceed the 1.6 hectare maximum aggregate site area for local commercial sites at a given intersection.



## Land Use Amendment in Stoney 2 (Ward 3) at 2011 - 100 Avenue NE, LOC2018-0191

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### ***Calgary International Airport Vicinity Protection Area Regulation (Statutory – 2009)***

The subject site is located within the 35-40 Noise Exposure Forecast contour of the *Airport Vicinity Protection Area* (AVPA) land use regulations. The recommended Commercial – Corridor 3 f1.0h12 (C-COR3 f1.0h12) District provides for a range of uses that are generally allowable within the 35-40 NEF contour area. However, future individual development permit applications will be circulated to YYC and reviewed in the context of applicable regulations to ensure compliance.

### **Social, Environmental, Economic (External)**

The recommended land use allows for a broader range of commercial uses to be developed on this site which will serve to complement surrounding hospitality, industrial and employment uses and minimize vehicle trips. The provision of additional commercial uses will strengthen the attractiveness of the overall area and contribute to its economic vitality over the long term.

### **Financial Capacity**

#### ***Current and Future Operating Budget:***

There are no known impacts to current and future operating budgets that would result from the proposed land use amendment.

#### ***Current and Future Capital Budget:***

The proposed amendment does not trigger the need for capital infrastructure investment.

### **Risk Assessment**

There are no significant risks associated with this proposal.

### **REASON(S) FOR RECOMMENDATION(S):**

The proposal is in keeping with the applicable policies of the *Municipal Development Plan* and provides for a range and scale of uses that will support the vision for the future of the area outlined in the *Revised Stoney Industrial Area Structure Plan*. The recommended Commercial – Corridor 3 f1.0h12 (C-COR3 f1.0h12) District is intended to be applied within industrial areas and will allow for an appropriate range of uses to complement the existing hotel and conference facilities developed on and planned for the site as well as surrounding planned industrial and employment uses.

### **ATTACHMENT(S)**

1. Applicant's Submission



## Applicant's Submission



### Land Use Redesignation Applicant's Submission

#### Not Including Secondary Suites

PL 1263 (R2017-09)

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. These comments are included in a report which is presented to the Calgary Planning Commission and a Public Hearing of City Council. Your comments **must** be limited to the area designated on this form to ensure it will fit the space requirements of the report. Supplementary information can be provided separately in your application if required.

Attention: Mike Davis – Planner 2, Community Planning North

Re: Proposed Land Use Redesignation  
2011 100th Avenue N.E.  
[PE2018-00992]

Dear Mike,

Please find enclosed our application for a land use redesignation for 2011 100th Avenue N.E. (Lot 1, Block 1, Plan 111 0612), which sits at the southeast corner of 100th Avenue and 19th Street NE. The current zoning of the property is Industrial – Commercial District (I-C) and our wish is to pursue a Commercial – Corridor 3 District (C-COR 3).

The aim of the redesignation is to provide amenities for the adjacent hotel properties (I-B) in the form of a Conference and Event Facility and a Restaurant: Licensed – Medium or Restaurant: Food Service Only – Medium. As the current I-C zoning does not allow for a Conference and Event Facility, as either a Permitted or Discretionary use, we have chosen C-COR 3. The C-COR 3 zoning allows for both Restaurant: Licensed – Medium and Restaurant: Food Service Only – Medium within the Permitted uses and can accommodate a Conference and Event Facility as a Discretionary use. In addition, we are proposing a Floor Area Ratio of 1 and Height of 12m. We believe the FAR and height are both in line with other properties in the area and will allow us to provide a development that can best serve the surrounding hospitality community.

Although the lot is within the proposed Business/Industrial Area, as outlined in the Stoney Industrial Area Structure Plan, we feel our proposed uses and required zoning still fit within the aims outlined in the ASP. The ASP outlines a desire to allow for "secondary commercial, office, institutional, recreational and other land uses considered to be compatible and appropriate" [8.1.1]. Since the subject site is located at the intersection of two roads near an entranceway road (Airport Trail NE), we believe our proposed C-COR 3 is an appropriate use for the location based on the policies for "local commercial uses within the Business/Industrial Area" outlined in Section 8.1.2.2(a)(i-iii) of the ASP. The addition of a Conference and Event Facility with Restaurant will compliment the surrounding hotels and add an important amenity that caters to the needs of both airport and local hospitality customers.

The proposed site of 0.182 Hectares will sufficiently accommodate the proposed facility. Parking for this new building will be accommodated within the adjacent Hospitality site. As both sites are currently owned by the same ownership group, they are amenable to registering any required cross access or cross parking agreements on title as necessary.

We have included 25 sets of drawings, the required application documentation, and the application fee. Please do not hesitate to contact our office if you have any questions about our application.

Sincerely,

Kumlin Sullivan Architecture Studio Ltd.

Barry D. Sullivan, Architect  
AAA, AIBC, SAA, MRAIC  
Principal

ISC: Protected



**Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 – 37 Street SW, LOC2017-0308**

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**EXECUTIVE SUMMARY**

This land use amendment application was submitted by Stantec Consulting on behalf of Dream Asset Management Corporation on 18 October 2017. The land use redesignation consists of 54.16 hectares± (133.83 acres±) of undeveloped greenfield land in the southwest community of Residual Sub Area 13D. The proposed land use amendment area is located within the *Providence Area Structure Plan*.

The subject lands are currently designated Special Purpose – Future Urban Development (SFUD) District. The proposed redesignation is to allow for a residential development of 1261 units and includes the following:

- A minimum 493 dwelling units within medium and high density, low rise multi-residential developments comprising of townhouses and 4 to 6 storey apartment buildings (M-2 and M-H1);
- A minimum 165 dwelling units within low density residential development comprising of rowhouses on smaller than typical compact lots (DC/R-Gm);
- A minimum 197 dwelling units within low density residential development comprising of single and semi-detached dwellings on comprehensively planned green court blocks that have publicly accessible private open spaces throughout the block (DC/R-G);
- A minimum 406 dwelling units within low density residential development comprising of single and semi-detached dwellings (R-G);
- Approximately 5.64 hectares (13.93 acres) of Municipal Reserve (MR) and Municipal School Reserve (MSR) in the form of neighbourhood parks and a future elementary school site (S-SPR); and
- Approximately 4.30 hectares (10.63 acres) for a stormpond and supporting public infrastructure (S-CRI).

This application has been applied for with the support of a related outline plan application on today's agenda (CPC2018-1360) to provide the future subdivision layout for the subject site. Conditions have been incorporated in the outline plan to effectively address the site's development given the unique conditions and site constraints. The proposed land use amendment is in alignment with the policies of the *Municipal Development Plan* and the *Providence Area Structure Plan (ASP)* by implementing the efficient utilization of land and infrastructure through the outline plan. As part of this application, there are minor text amendments to the *Providence ASP* related to the subject site.

**Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

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**ADMINISTRATION RECOMMENDATION:**

That Calgary Planning Commission recommends that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed amendments to the Providence Area Structure Plan (Attachment 4); and
2. Give three readings to the proposed bylaw.
3. **ADOPT**, by bylaw, the proposed redesignation of 56.38 hectares  $\pm$  (139.32 acres) located at 15113 – 37 Street SW (Portions of NE1/4 Section 36-22-2-5 and SE1/4 Section 36-22-2-5) from Special Purpose – Future Urban Development (S-FUD) District **to** Multi-Residential – High Density Low Rise (M-H1) District, Multi-Residential – Medium Profile (M-2) District, Residential – Low Density Mixed Housing (R-G) District, Special Purpose – Community Service (S-CRI) District, Special Purpose – School, Park and Community Reserve (S-SPR) District and DC Direct Control District to accommodate low density mixed use housing, with guidelines (Attachment 2); and
4. Give three readings to the proposed bylaw.

**PREVIOUS COUNCIL DIRECTION / POLICY**

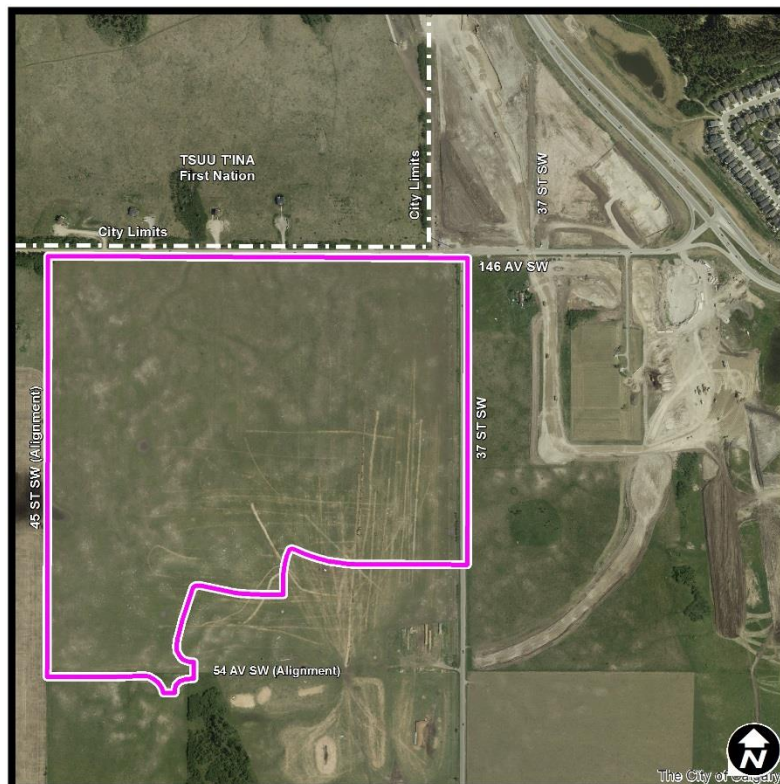
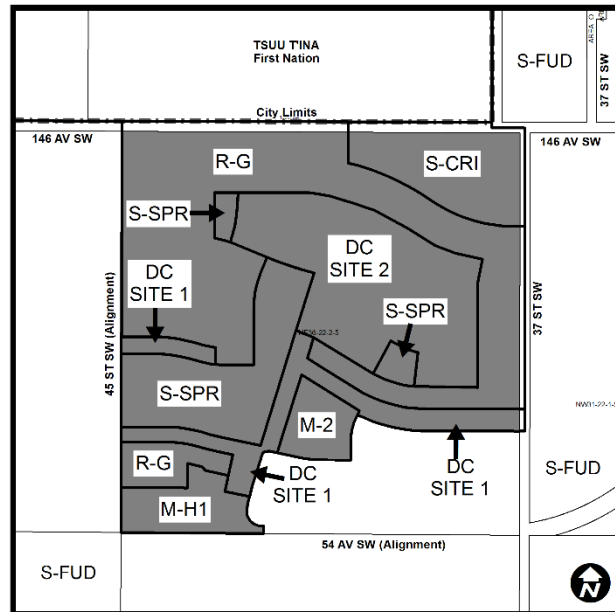
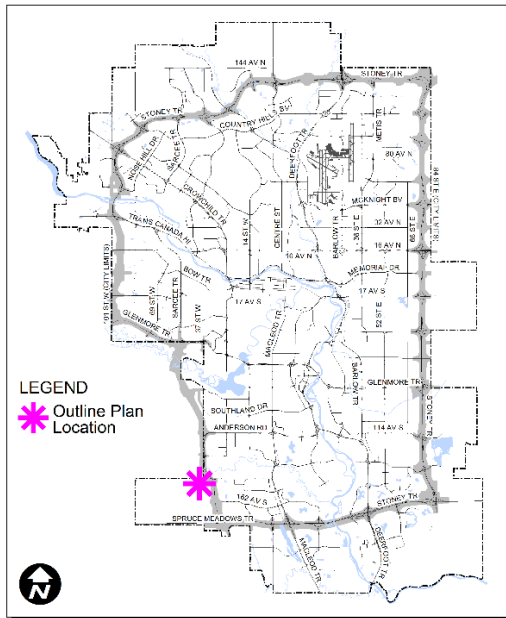
None.

**BACKGROUND**

In 2015, Council adopted the *Providence Area Structure Plan (ASP)*, in which a Growth Management Overlay (Overlay) was put in place on the subject site to indicate that the capital infrastructure required for development was neither in place nor approved in the capital budget for future years. On 2018 July 30, Council approved the removal of the Overlay for a portion of the *Providence ASP* area, which included the subject site. This is the first proposal for a planned neighbourhood within the *Providence ASP* area.

**Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

**Location Maps**





## **Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

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### **Site Context**

The subject site is located in the southwest quadrant of the city in Residual Sub-Area 13D. The land is bounded by 37 Street SW to the east and 146 Avenue SW to the north. Within close proximity are Tsuut'ina First Nation to the north across 146 Avenue SW and the Southwest Ring Road (under construction) which is approximately 200 metres to the east. The nearest existing community is Evergreen which is located to the east on the other side of the Southwest Ring Road.

The subject site is currently undeveloped and are used for agricultural purposes. There is a significant change in topography of approximately 30 metres from the highest point in the southwest corner of the subject site where it then slopes downhill to the northeast corner.

### **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

This land use amendment with Direct Control Guidelines (Attachment 2), outline plan application (Attachment 3) and minor Area Structure Plan textual amendment (Attachment 4) will facilitate the development of a residential neighbourhood with a strong mix of housing types, as well as parks and school uses that will contribute to the growth of this future new community as envisioned by the policies of the *Municipal Development Plan* (MDP) and the *Providence ASP*.

### **Planning Considerations**

As part of the review of this application, several key factors were considered by Administration including implementing the direction of the *Providence Area Structure Plan*, providing a condition framework that ensures key infrastructure is built and including the basic design elements that contribute to a complete neighbourhood.

### ***Subdivision Design***

The related outline plan informs a future proposed subdivision that is approximately 56.38 hectares (139.32 acres) in size. The application consists of predominantly residential development that is intended to tie into a future Neighbourhood Activity Centre (NAC) and Community Retail Centre (CRC). The NAC and CRC would be provided as part of a subsequent outline plan for Dream's future and subsequent phases of development immediately adjacent to the south of the subject site. In addition, the NAC and CRC will be within a five minute walk (400 metres) of the vast majority of the subject outline plan area.

A wide mix of dwelling unit types are proposed in the plan area including single and semi-detached homes, rowhouses, townhouses and apartments. Anticipated lot widths and sizes for the low density residential uses vary from 5.0 metres wide and 90 square metres lot area for rowhouse buildings in the Direct Control Residential – Low Density Mixed Housing (DC/R-Gm – Site 1) District to an average of 16 metres wide and 450 square metre lot area for single detached dwellings in the R-G residential area within the 200 metre Tsuut'ina Interface Area.

A unique and innovative product proposed by the applicant includes five green court blocks. The green court blocks (DC/R-G – Site 2) will consist of single and semi-detached homes that either

## **Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

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front onto the public street or onto a central inner green space area (“green court”) that would be privately owned and maintained by a homeowners association but remain accessible to the public. The green spaces and their pathways will provide a critical role in connecting the neighbourhood together.

Two multi-residential parcels are proposed for the development. The first parcel is designated Multi-Residential – High Density Low Rise (M-H1) District and proposes 371 units in townhouse and apartment building form with heights between 3 and 6 storeys. The second parcel is designated Multi-Residential – Medium Profile (M-2) District and proposes 122 units in townhouse and apartment building form with heights between 3 and 4 storeys.

Open space is provided through parks serving varying functions. A central park is located along a primary north south green spine which is envisaged to run the entire length of the subject site from 146 Avenue SW in the north, to 162 Avenue SW at the south. 2.34 hectares (5.77 acres) of Municipal Reserve (MR) will be dedicated within the Outline Plan Area. 3.30 hectares (8.15 acres) is dedicated as MSR – Municipal and School Reserve to facilitate a Calgary Board of Education (CBE) Elementary School Site. The MR/MSR dedication provides the 10 percent MR requirement.

### ***Land Use***

This land use amendment application proposes to redesignate the current site from Special Purpose – Future Urban Development (S-FUD) District and undesignated road right-of-way to the following:

- Residential – Low Density Mixed Housing (R-G) District;
- Direct Control / Low Density Mixed Housing (DC/R-Gm – Site 1) District;
- Direct Control / Low Density Mixed Housing (DC/R-G – Site 2) District;
- Multi-Residential – Medium Profile (M-2) District;
- Multi-Residential – High Density Low Rise (M-H1) District;
- Special Purpose – School, Park and Community Reserve (S-SPR) District; and
- Special Purpose – City and Regional Infrastructure (S-CRI) District.

### ***Density***

This land use amendment and associated outline plan provides for development that achieves both the *Municipal Development Plan* and the *Providence Area Structure Plan* minimum density and intensity targets (population and jobs). This will help to support the future transit and community amenities within the greater area.

## **Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

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The *Providence Area Structure Plan* requires that land within 200 metres of Tsuut'ina Nation be developed at a maximum density of 12 units per hectare (5 units per acre) and therefore this area is to be subtracted from the density and intensity calculations of the remainder of the plan area. The number of units proposed for the Tsuut'ina Nation Interface Area is 153 which equates to an anticipated residential density of 9.7 units per hectare (24.0 units per acre).

Overall, the application proposes to accommodate a residential unit range between 1261 and 1459 units. When the Tsuut'ina Nation Interface Area is subtracted from the calculations, the remainder of the plan area has a projection of 1109 units and 3059 total people and jobs. This equates to a minimum and anticipated residential density of 27.1 units per hectare (11.0 units per acre) and an intensity of 75.4 people and jobs per hectare. This anticipated density and intensity achieves the minimum residential density of 20 units per hectare (8 units per acre) and minimum intensity of 60 people and jobs per hectare required by the *Municipal Development Plan* and the *Providence ASP* for the neighbourhood.

### ***Environmental***

A Phase I Environmental Site Assessment (ESA) for the site was provided and was reviewed. No significant pre-development environmental risks were noted in the report.

There are a number of small Class I and Class II wetlands located on the subject lands, however none of them are Crown claimed and will be subject to Province of Alberta Water Act approval.

### ***Transportation Networks***

The proposed development is generally bounded by 146 Avenue SW to the north, 37 Street SW to the east, 154 Avenue SW to the south, and 45 Street SW to the west. Primary access to the subject lands is provided from Stoney Trail SW via 154 Avenue SW and 37 Street SW. Additional access from the south is available from Highway 22X via 53 Street SW.

Administration worked with the applicant to develop a transportation network that supports multi-modal connectivity for local and regional trips. The combination of limited block sizes, comprehensive development permit review for the large DC green court blocks, and planned pathways and park space that are adaptive to the existing topographic features provide additional opportunities for pedestrians and cyclists to enjoy good connectivity within and around the plan area.

Staging of the proposed development through to completion is planned to provide connectivity to the regional transportation network, with primary access to Stoney Trail SW. Opportunities for connections to the south into future development areas, including an additional connection to Stoney Trail SW via 162 Avenue SW are provided with the proposed plan.

## **Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

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The plan also provides the opportunity to introduce transit service to the area. Public transit will be introduced in phases over time and is expected to include several bus routes running through the *Providence Area Structure Plan* lands, providing local and regional service through and around the plan area. Transit service will be phased to support future Bus Rapid Transit stations along 162 Avenue SW connecting to the Somerset-Bridlewood LRT station.

A regional pathway system that establishes both strong east-west and north-south connections both within and adjacent to the plan area is provided.

The regional pathway aligns with the intent of the *Area Structure Plan* by providing pedestrian and cycling connections around and outside the plan area.

### ***Utilities and Servicing***

A capital-funded dual zone pump station (the Lower Sarcee Reservoir/Starlight Pump Station) will be required and designed to accommodate the ultimate servicing for the *Providence ASP*. Once complete, water servicing of the lands within the subject site will be achieved through a tie-in to the pump station.

Sanitary servicing of the lands within the subject site will be achieved via an extension of the 162 Avenue SW sanitary trunk from the stub at 24 Street SW in the community of Evergreen. Once complete, the plan area will tie-into the extended portion of the 162 Avenue SW sanitary trunk. It is noted that permissions will be required for the 162 Avenue SW sanitary trunk extension to cross the Transportation Utility Corridor.

The plan identifies that water will be directed to a single engineered stormwater management facility/pond in the northeast corner of the plan area. Future storm trunks are planned along the west side of the Southwest Ring Road (Transportation Utility Corridor) with an outfall to Fish Creek west of the Ring Road. The pond will discharge to the outfall at Fish Creek via a storm line under 146 Avenue SW. It is noted that permissions will be required from Alberta Transportation to allow the storm main to cross the Transportation Utility Corridor and thereby extend to the outfall at Fish Creek.

A Staged Master Drainage Plan (SMDP) was submitted by the applicant and was reviewed and approved by Water Resources. A Master Drainage Plan for the *Providence ASP* area is still under review. However, Administration has evaluated the risks and has no concerns with allowing the SMDP and Outline Plan approval prior to approval of the Master Drainage Plan. The Staged Master Drainage Plan for the subject lands demonstrates that this development area is fairly isolated with respect to drainage and that there are no major drainage systems that have any measurable impact on adjacent lands to the north or west, including the Tsuut'ina Nation. For this reason Administration is proposing an amendment to the *Providence ASP* to exempt them from the requirement that the Master Drainage Plan be complete prior to land use and outline plan approval. Each subsequent land use and outline plan application will have to be evaluated on its own merits with respect to the requirement for the Master Drainage Plan completion, prior to the review and approval of a Staged Master Drainage Plan. Approval of this application has been assessed to be low risk.

## **Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

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### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent land owners, including Tsuut'ina First Nation, and the application was advertised online. There is no Community Association for the subject area and no letters from adjacent landowners or the general public were received.

The applicant undertook extensive engagement with Tsuut'ina First Nation, including members of Tsuut'ina Administration, Elders and neighbouring residents. City Administration also participated in three meetings with Tsuut'ina that were led by the applicant. Overall, Tsuut'ina is generally supportive of the application. A summary of the engagement undertaken by the applicant with Tsuut'ina can be found in Attachment 5.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory – 2014)***

The recommendation by Administration in this report has considered and is aligned with the policy direction of the *South Saskatchewan Regional Plan (SSRP)*. The site is located within the "City, Town" area as identified on Schedule C: *South Saskatchewan Regional Plan Map* in the SSRP. While the SSRP makes no specific reference to this site, the supporting application is consistent with the SSRP policies including the Land Use Patterns strategies (subsection 8.14) within the Implementation Plan portion of the document through featuring innovative housing designs with a range of densities and housing types.

#### ***Municipal Development Plan (Statutory, 2009)***

The subject lands are identified as Planned Greenfield with Area Structure Plan (ASP) as per the MDP, Map 1 Urban Structure. The MDP provides overall guidance for development in new communities and the *Providence Area Structure Plan (ASP)* provides policy guidance for the planning and design of the neighbourhood. The proposed land use amendment application meets the MDP objectives by providing a diversity of housing types, efficient usage of land by locating higher density developments near transit stations, promoting grid-based street networks to improve connectivity within the neighborhood, incorporating multi-modal connectivity for all users, and protecting and integrating significant ecological sites into the plan.

#### ***Providence Area Structure Plan (Statutory, 2015)***

The subject lands are identified within a portion of "Neighbourhood 2" of "Community A" in the *Providence Area Structure Plan*. The ASP identifies this site primarily as a 'neighborhood area', with arterial and collector road connections, regional pathways and a joint use site. The ASP also identifies a Neighbourhood Activity Centre (NAC), a Community Association site and a Community Retail Centre, however each of these are located just outside the proposed plan area and will be provided as part of the applicant's second phase of development to the south. Considering the above, the proposed plan is in alignment with the ASP. A minor policy amendment is required under section 8.3 of the ASP to allow for the Outline Plan to be

**Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

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approved prior to Water Resources approval of the Master Drainage Plan (see Attachment 4) under section 8.3 of the ASP.

**Social, Environmental, Economic (External)**

The proposed outline plan enables development of a new neighbourhood that provides a future framework for a mix of housing types, various densities

**Financial Capacity**

***Current and Future Operating Budget:***

There is currently no impact to the current operating budget. As development proceeds, the provision of City services such as roads, transit, parks maintenance and waste and recycling would have an operating budget impact at such time as they are provided. The projected operating costs for this development during 2019-2022 have been included in the One Calgary service plans and budgets.

***Current and Future Capital Budget:***

There is no impact to the current capital budget as a result of this report. The capital investment required to construct and upgrade the required local infrastructure will be funded entirely by the developer. The proposed development will require City capital investment in utilities and has been included in the 2019-2022 budget cycle. This City infrastructure was added to the Off-site Levy Bylaw through report PFC2018-0973 and approved by Council on 2018 November 12. The utilities will be funded 100 per cent through off-site levies paid by developers. While the infrastructure is funded by developer levies, the initial monetary outlay for this infrastructure is paid for by The City and debt financed, with developers repaying this infrastructure outlay through levies as development progresses.

**Risk Assessment**

This project lies on the periphery of The City of Calgary in an area which is currently unserved and has a transportation network that is still developing. The associated outline plan conditions of approval (CPC2018-1360) adequately deal with the infrastructure costs associated with development of a new neighborhood in this area.

Planning & Development Report to  
Calgary Planning Commission  
2018 November 29

ISC: UNRESTRICTED  
CPC2018-1359  
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**Policy Amendment and Land Use Amendment in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308**

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**REASON(S) FOR RECOMMENDATION(S):**

The proposed land use amendment has been developed in accordance with the objectives of the *Municipal Development Plan*, and more specifically is in accordance with the policies specified in the *Providence Area Structure Plan*. The proposed land uses and their distribution facilitate the development of a strong mix of housing options, creating conditions to enable citizens from a wide economic spectrum to live within the neighbourhood. These land uses will be implemented through the supporting outline plan application that provides the subdivision layout and conditions to realize the site's development.

**ATTACHMENT(S)**

1. Applicant's Submission
2. Proposed Direct Control Guidelines
3. Proposed Outline Plan
4. Proposed Amendments to the Providence Area Structure Plan
5. Summary of Applicant's Indigenous Engagement



## Applicant's Submission

On behalf of Dream Development (Dream), Stantec Consulting Ltd. is pleased to submit the enclosed Outline Plan (OP) and Land Use Redesignation (LUR) for the lands legally described as NE 36-22-2-W5M; municipally addressed 15113 37th Street SW.

The plan area is in proximity to Highway 22X to the south, has direct access to the Southwest Ring Road (SWRR) on the east, and is across the SWRR from the existing residential community of Evergreen. The proposed OP layout aligns closely with the Area Structure Plan (ASP), including land use mix, intensity, and location.

In Providence, the central amenity is the community itself – its attributes, centered on walkability, progressive urban form, jobs, public space, daily amenities, and social connection, contribute to a quality of life that is unparalleled amongst new communities. The Providence ASP area offers a full array of housing choice, jobs, amenities, and services that benefit all of the surrounding neighbourhoods in southwest Calgary, providing a true city within the city.

Two unique housing choices of note proposed within the Outline Plan include shallow rowhomes with varying lot depths and widths, as well as, as well as five large green court blocks. The rowhomes provide unique and affordable housing options for Calgarians, incorporating a fine grain block with units accessed from the lane, specifically designed to enhance the streetscape and public realm, and located near open spaces and amenities reducing the need for every unit to provide large private outdoor space. The green court blocks include parks flanked by fee simple, park front homes that are accessed and address from an enhanced lane. These green court parks are publicly accessible private open spaces, owned and maintained through a Home Owners Association (HOA).

To accommodate the unique nature of the proposed housing typologies, a Direct Control (DC) District is proposed to account for the following bylaw considerations:

**Site 1:** nonstandard lot depths of rowhomes, and

**Site 2:** classify *Single-detached* and *Semi-detached Dwellings* as *discretionary uses* within the green courts to allow for Development Authority review on access and servicing.

As part of the Providence ASP requirements Dream began early and on-going engagement with the Tsuut'ina Nation. Through open dialogue between Dream and the Tsuut'ina Nation the OP, LUR, and future community naming application continues to provide an opportunity to share input, issues, and concerns, and explore new opportunities.



## Proposed Direct Control Guidelines

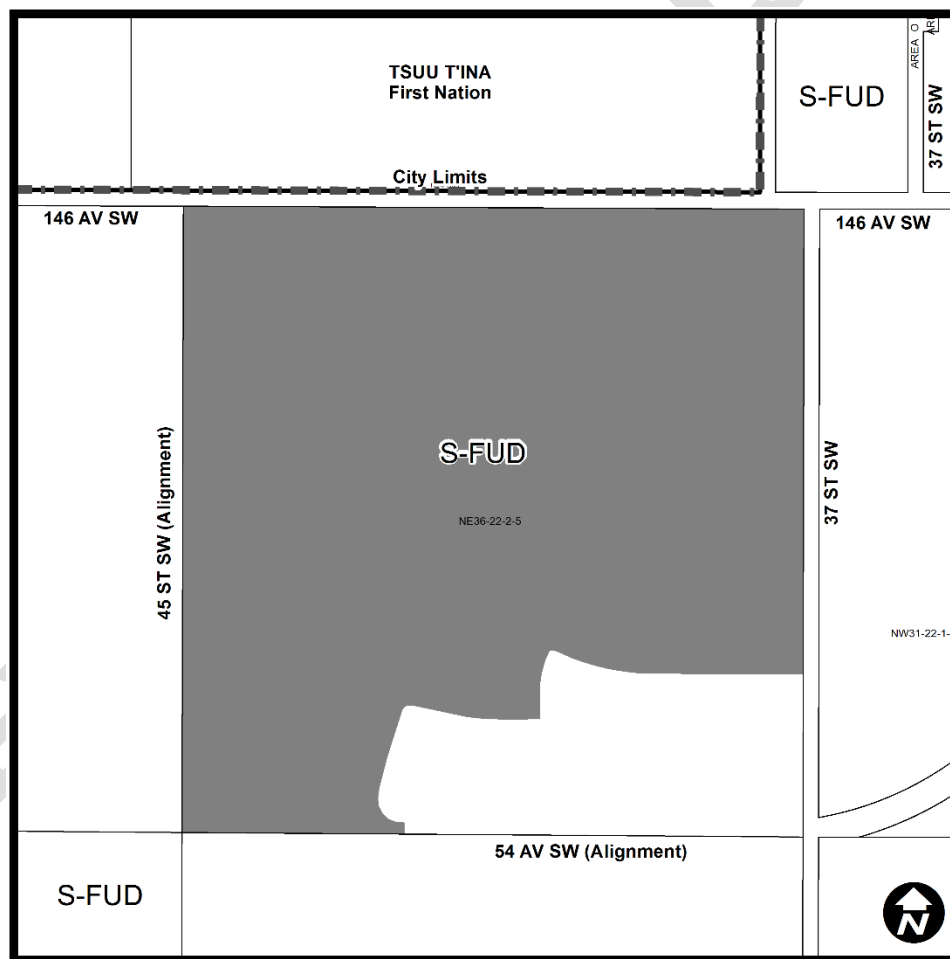
**WHEREAS** it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the *Municipal Government Act*, R.S.A. 2000, c.M-26 as amended;

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

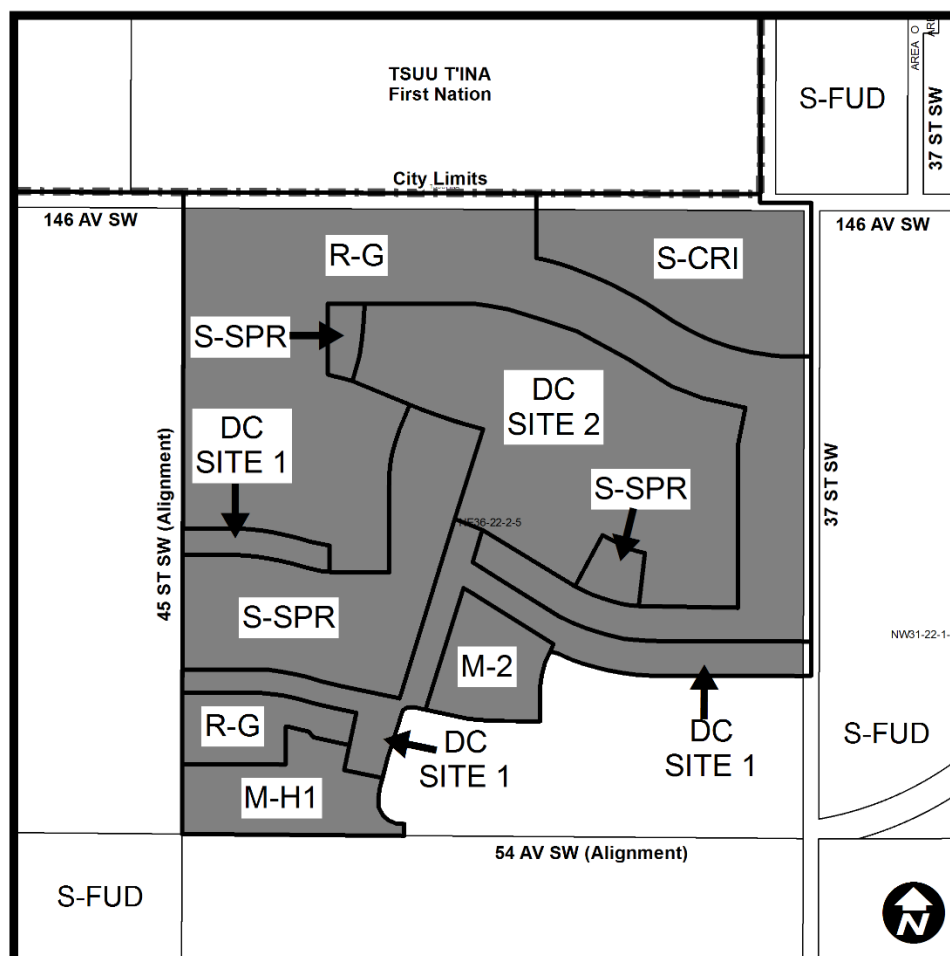
1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

### SCHEDULE A



## Proposed Direct Control Guidelines

### SCHEDULE B



### DIRECT CONTROL DISTRICT

#### Purpose

- 1 This Direct Control District is intended to:
  - (a) accommodate street-oriented residential **development** in the form of **Semi-detached Dwellings** and **Rowhouses** on small-scale lots with rear **lane** access and minimal **rear yard setbacks**; and
  - (b) classify **Single Detached Dwellings** and **Semi-detached Dwellings** as **discretionary uses** within **green court blocks** to facilitate comprehensive **development permit** requirements.

#### Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

## Proposed Direct Control Guidelines

### Reference to Bylaw 1P2007

- 3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

### General Definitions

- 4 In this Direct Control District,

- (a) **green court block** means a block of privately owned land that is predominantly bound by public **streets** on all sides and includes, but is not limited to, the following within the block:
- (i) **Dwelling Units** that may be provided on individual **parcels**;
  - (ii) **private condominium roadways**;
  - (iii) publicly accessible private open space and local pathways; and
  - (iv) private utility servicing.

### Site 1 (4.14 hectares ±)

### Application

- 5 The provisions in sections 6 through 11 apply only to Site 1.

### Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Residential – Low Density Mixed Housing (R-Gm) District of Bylaw 1P2007 apply to this Direct Control District.

### Permitted Uses

- 7 The **permitted uses** of the Residential – Low Density Mixed Housing (R-Gm) District of Bylaw 1P2007 are the **permitted uses** of this Direct Control District.

### Discretionary Uses

- 8 The **discretionary uses** of the Residential – Low Density Mixed Housing (R-Gm) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

### Parcel Area for a Rowhouse Building

- 9 The minimum area of a **parcel** for a **Rowhouse Building** is 90.0 square metres per **Dwelling Unit**.

### Building Setback from Rear Property Line

- 10 The minimum **building setback** from a **rear property line** for any portion of the **building** is 0.6 metres.

### Outdoor Private Amenity Space

- 11 (1) Each **Dwelling Unit** must have direct access to **private amenity space** that:
- (a) has a minimum total area of 15.0 square metres;
  - (b) has no dimension of less than 2.0 metres; and
  - (c) may be located at **grade**, or located above **grade** as part of the **main residential building**.

### Proposed Direct Control Guidelines

- (2) A **patio** may be located in the **front setback area** or in a **setback area** on the **street** side of a **corner parcel**.

#### Site 2 (11.87 hectares ±)

##### Application

- 12 The provisions in sections 13 through 16 apply only to Site 2.

##### Bylaw 1P2007 District Rules

- 13 Unless otherwise specified, the rules of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 apply to this Direct Control District.

##### Permitted Uses

- 14 The **permitted uses** of the Residential – Low Density Mixed Housing District (R-G) District of Bylaw 1P2007 are the **permitted uses** of this Direct Control District, with the exclusion of:

- (a) **Semi-detached Dwelling**; and
- (b) **Single Detached Dwelling**.

##### Discretionary Uses

- 15 The **discretionary uses** of the Residential – Low Density Mixed Housing District (R-G) District of Bylaw 1P2007 are the **discretionary uses** of this Direct Control District, with the addition of:

- (a) **Semi-detached Dwelling**; and
- (b) **Single Detached Dwelling**.

##### Development Permit Requirements

- 16 A comprehensive **development permit** is required for each **green court block** and must include all **Dwelling Units**, in addition to the requirements of Bylaw 1P2007.

## Proposed Outline Plan

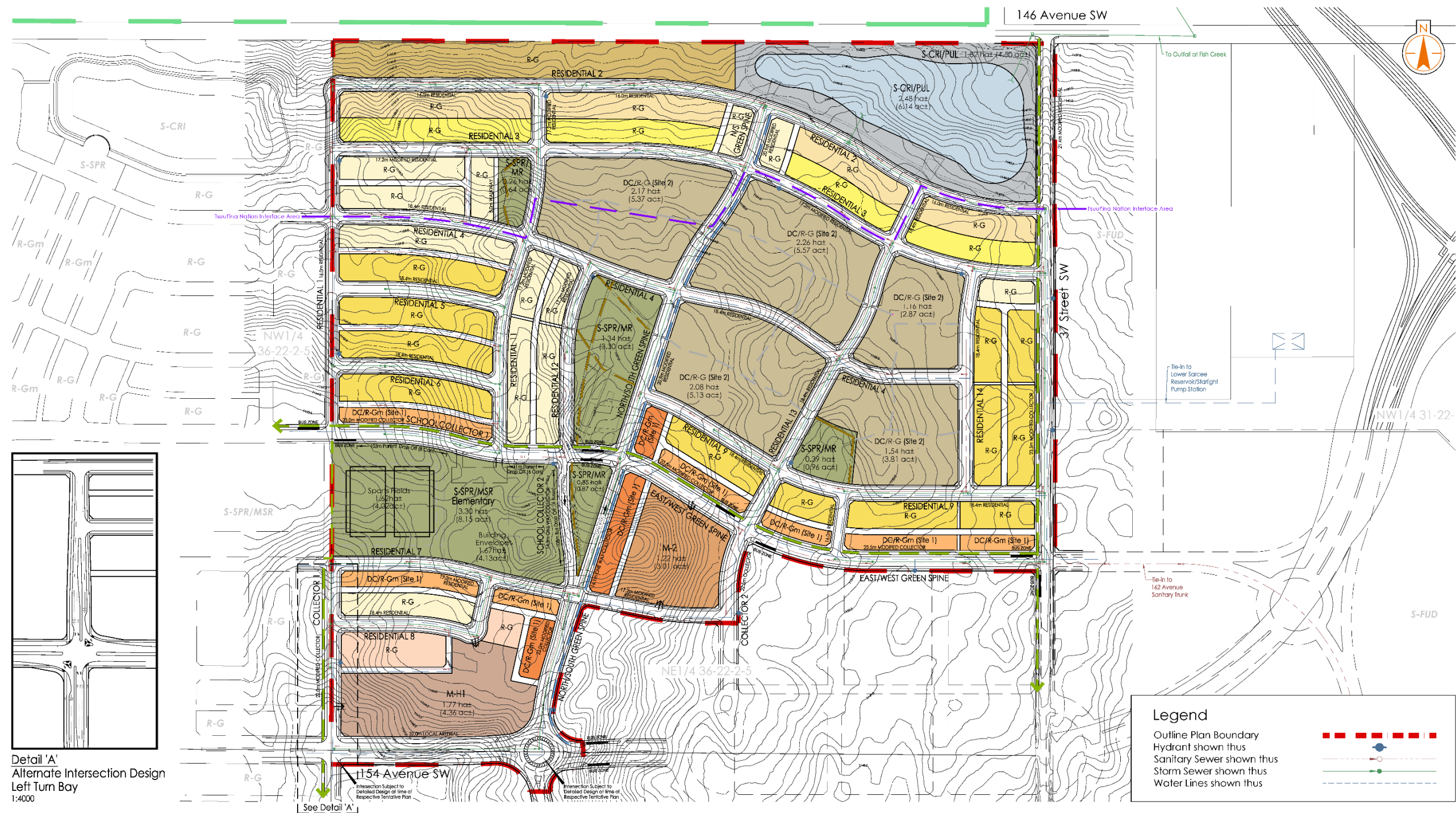


FIGURE 1.0 | PROVIDENCE

## Outline Plan

PREPARED FOR: DREAM DEVELOPMENTS

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**dream**  **Stantec**  
Design with community in mind  
**116500475**  
**November 13, 2018**






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Proposed Outline Plan











Total Area Outlined 56.38 ha± (139.31 ac±)

Residential Areas Within 200m Tsuut'ina Interface Area

	R-G (Country Wide - depth 42.0m) Approximate Frontage Ant. No. of Lots (18.5m)	1.97 ha± (4.87 ac±) 458 m± (1,502 ft±) ±24 Lots
	R-G (Vintage Wide - depth 30.0m) Approximate Frontage Ant. No. of Lots (16.0m)	1.68 ha± (4.16 ac±) 558 m± (1,830 ft±) ±34 Lots
	R-G (Vintage Wide - depth 26.0m) Approximate Frontage Ant. No. of Lots (16.0m)	1.23 ha± (3.05 ac±) 470 m± (1,542 ft±) ±29 Lots
	R-G (Vintage Wide - depth 27.0m) Approximate Frontage Ant. No. of Lots (16.0m) (*Based on Vintage Wide - 26m. Additional 1m added to account for 3.7m shallow utility easement)	1.48 ha± (3.66 ac±) 547 m± (1,794 ft±) ±34 Lots
	DC/R-G (Site 2)	1.22 ha± (3.02 ac±) ±32 Units

Anticipated Density 24+34+29+34+32=153  
15.79 ha± (39.02 ac±)  
=9.69 upha± (3.9 upac±)

Residential Areas Outside 200m Tsuut'ina Interface Area

	R-G (Carriage Way - depth 40.0m) Approximate Frontage Ant. No. of Lots (9.1m)	0.62 ha± (1.54 ac±) 158 m± (518 ft±) ±17 Lots
	R-G (Slim Laned - depth 31.0m) Approximate Frontage Ant. No. of Lots (7.5m)	4.71 ha± (11.64 ac±) 1,507 m± (4,944 ft±) ±200 Lots
	R-G (Vintage Wide - depth 30.0m) Approximate Frontage Ant. No. of Lots (16.0m)	0.40 ha± (1.00 ac±) 133 m± (436 ft±) ±8 Lots
	R-G (Vintage Wide - depth 26.0m) Approximate Frontage Ant. No. of Lots (16.0m)	2.19 ha± (5.40 ac±) 830 m± (2,723 ft±) ±51 Lots
	R-G (Vintage Wide - depth 27.0m) Approximate Frontage Ant. No. of Lots (16.0m) (*Based on Vintage Wide - 26m. Additional 1m added to account for 3.7m shallow utility easement)	0.40 ha± (0.98 ac±) 145 m± (475 ft±) ±9 Lots
	DC/R-Gm (Site 1) (Townhouse - depth 24.0m) Approximate Frontage Ant. No. of Lots (6.5)	0.65 ha± (1.60 ac±) 266 m± (872 ft±) ±40 Lots
	DC/R-Gm (Site 1) (Townhouse - depth 17.5m) Approximate Frontage Ant. No. of Lots (6.5)	1.43 ha± (3.52 ac±) 817 m± (2,680 ft±) ±125 Lots
	DC/R-G (Site 2)	7.98 ha± (19.72 ac±) ±165 Units
	M-H1 Ant. Avg. Density (210 upha)	1.77 ha± (4.36 ac±) ±371 Units
	M-2 Ant. Avg. Density (100 upha)	1.22 ha± (3.01 ac±) ±122 Units

Anticipated Density 17+200+8+51+9+40+125+165+371+122=1,108  
40.59 ha± (100.29 ac±)  
=27.30 upha± (11.0 upac±)

Areas of Public Dedication

Roads	17.49 ha± (43.22 ac±) (31.0%)
S-CRI	4.30 ha± (10.64 ac±) (7.6%)
Total Public Dedication	21.79 ha± (53.86 ac±) (38.6%)

Open Space Areas

S-SPR (MR)	2.34 ha± (5.77 ac±)
S-SPR (MSR)	3.30 ha± (8.15 ac±)
Total Open Space	5.64 ha± (13.92 ac±) (10.0%)

FIGURE 2.0 | PROVIDENCE

Outline Plan Statistics

PREPARED FOR: DREAM DEVELOPMENTS

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Proposed Outline Plan

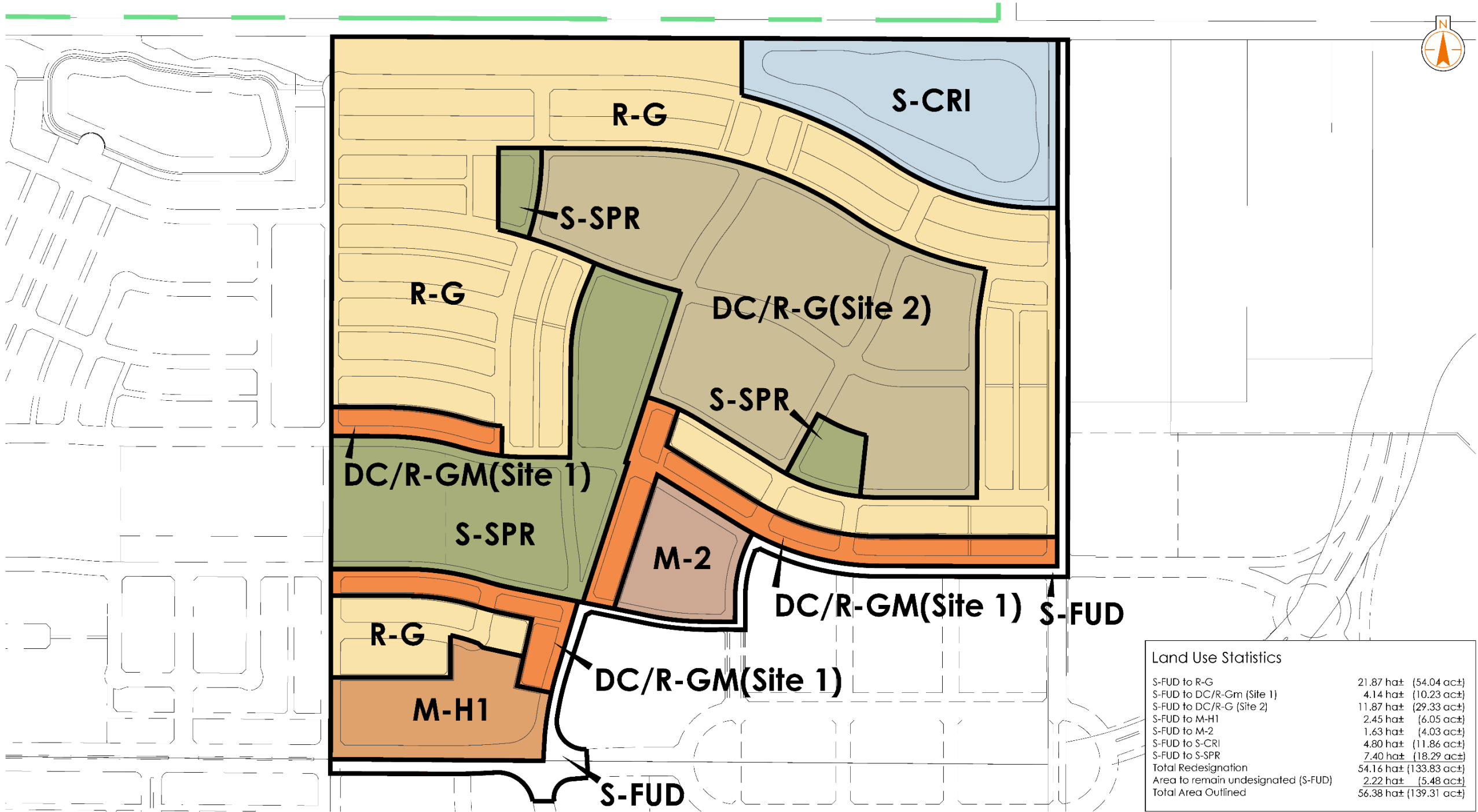


FIGURE 3.0 | PROVIDENCE  
**Proposed Land Use Redesignation**

PREPARED FOR: DREAM DEVELOPMENTS  
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# Proposed Outline Plan

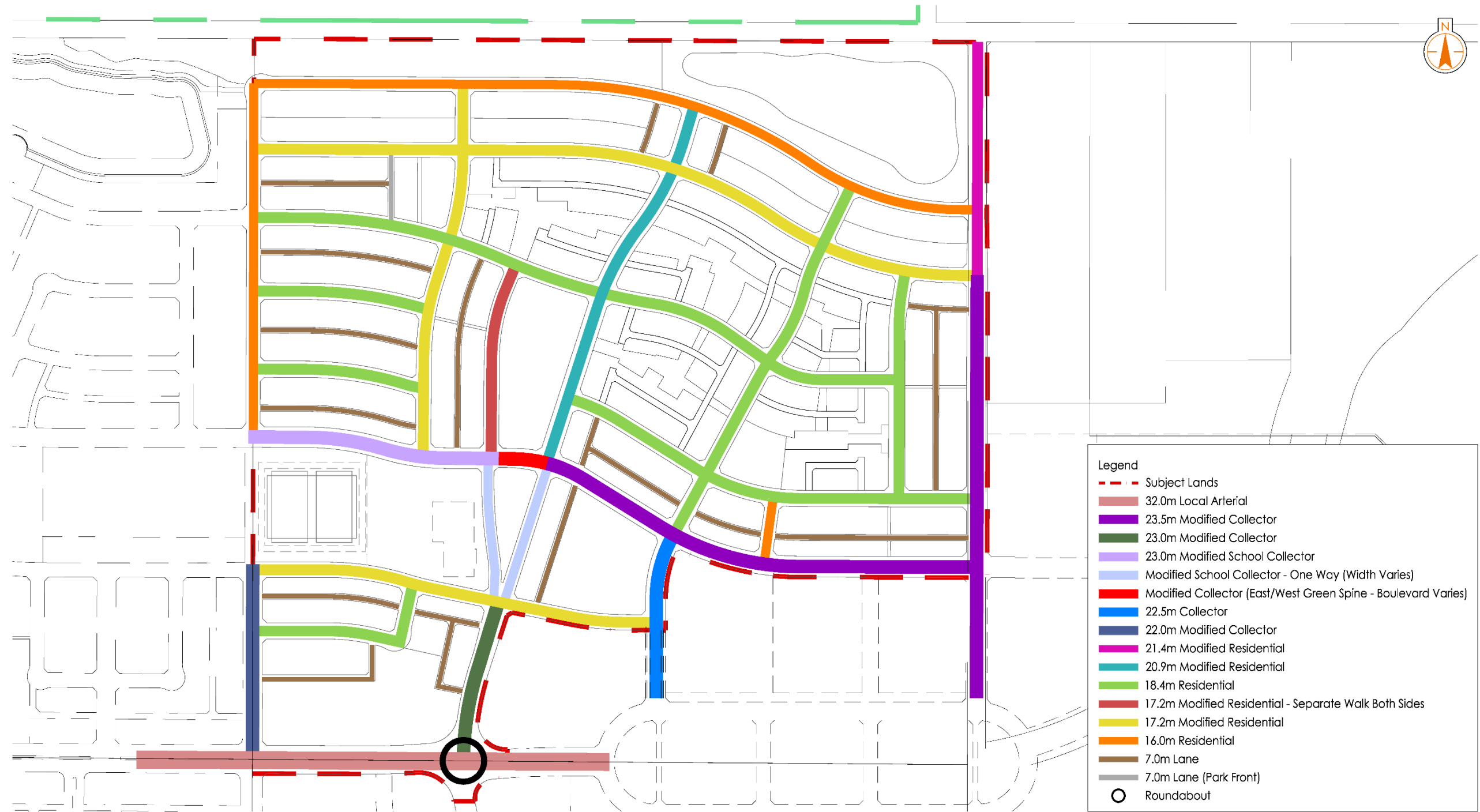


FIGURE 4.0 | PROVIDENCE

## Street Standard Key Map

PREPARED FOR: DREAM DEVELOPMENTS

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25 0 25 50 75 100 (m)  
1:4000

**dream** **Stantec**  
Design with community in mind

116500475

November 13, 2018

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Proposed Outline Plan

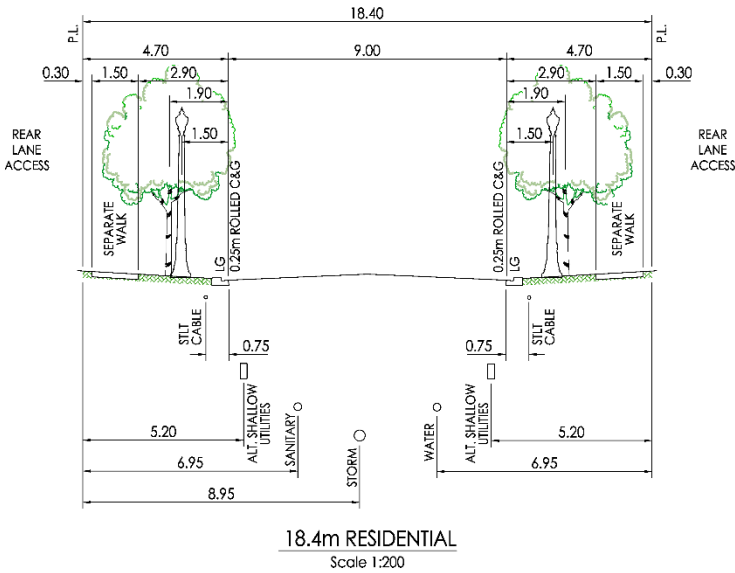
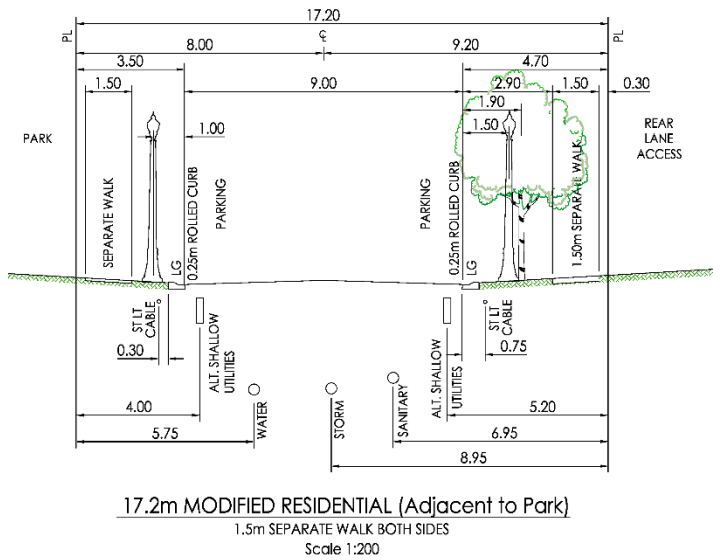
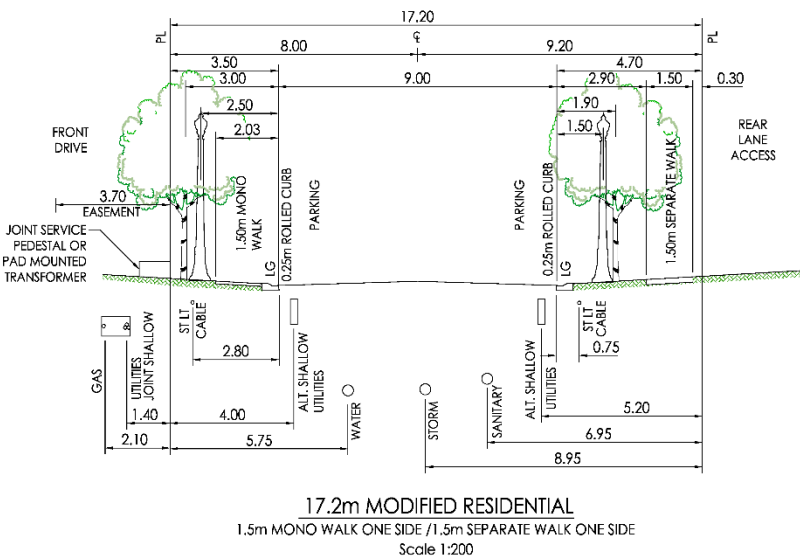
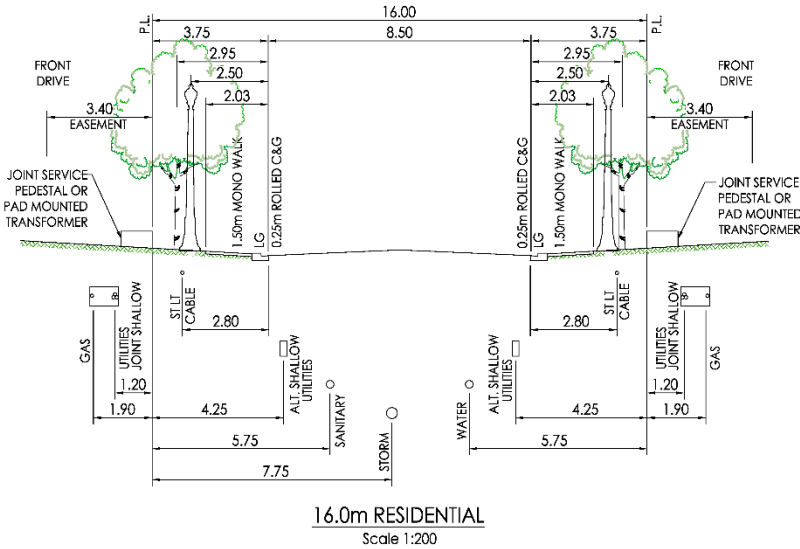
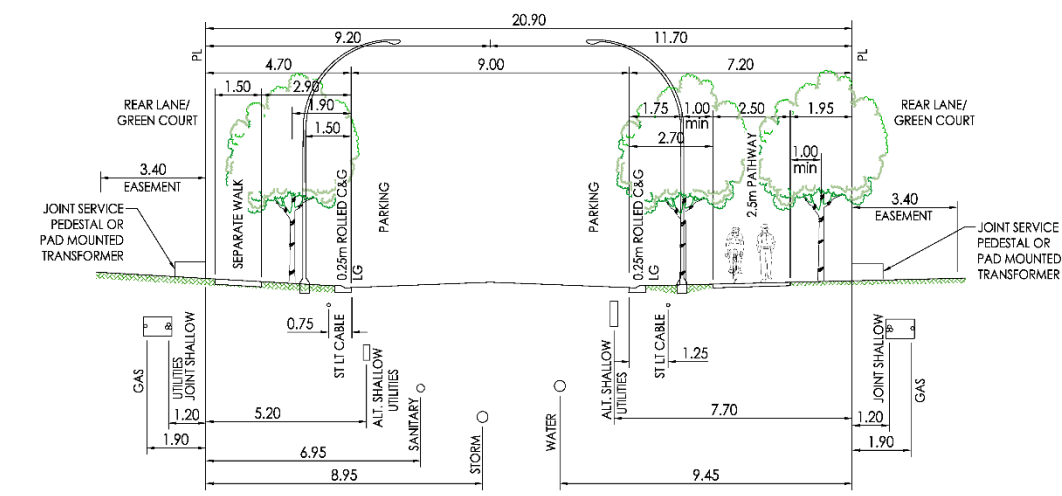


FIGURE 5.0 | PROVIDENCE  
**Street Cross Sections**

PREPARED FOR: DREAM DEVELOPMENTS

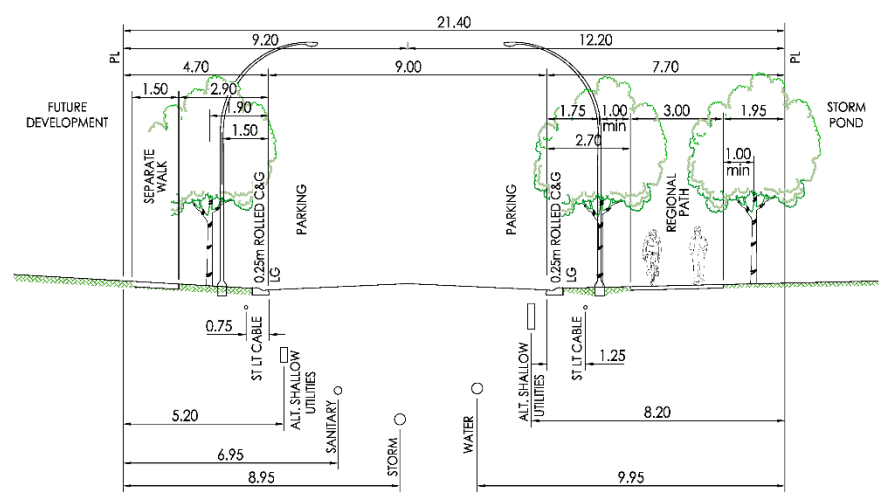
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Proposed Outline Plan

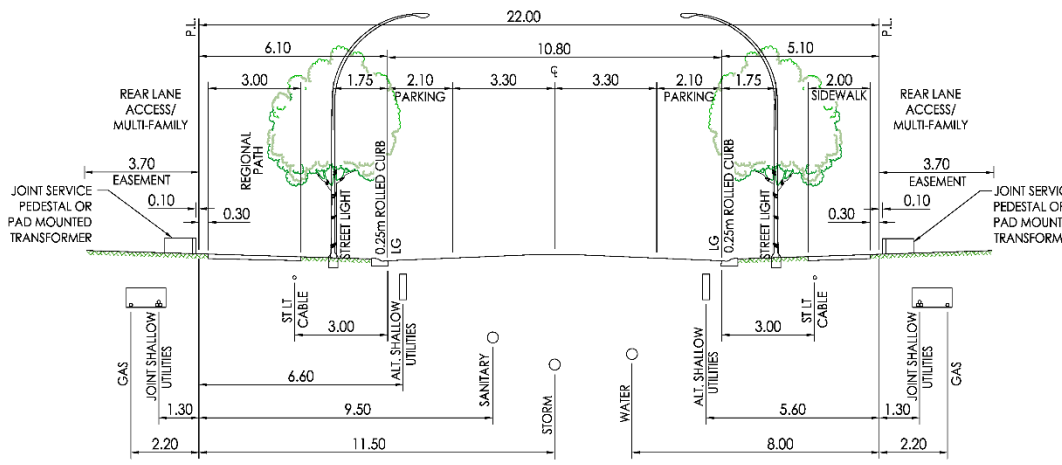


NOTE:  
JOINT SERVICE PEDESTALS/PAD MOUNTED TRANSFORMERS AND UTILITIES WILL NOT BE LOCATED WITHIN PUBLIC PARK (MR) PARCELS.

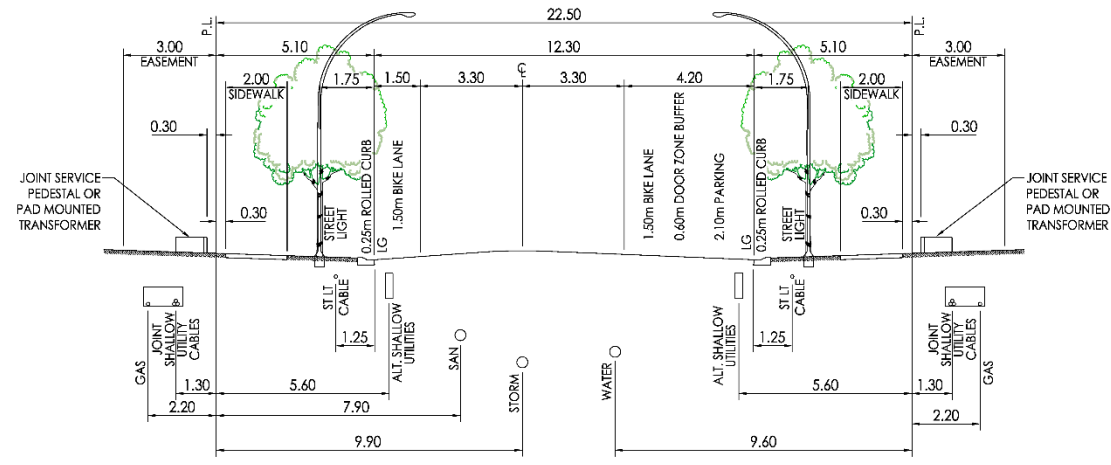
20.9m MODIFIED RESIDENTIAL  
1.5m SEPARATE WALK ONE SIDE / 2.5m LOCAL PATH ONE SIDE  
Scale 1:200



21.4m MODIFIED RESIDENTIAL  
1.5m SEPARATE WALK ONE SIDE / 3.0m REGIONAL PATH ONE SIDE  
Scale 1:200



22.0m MODIFIED COLLECTOR  
PARKING BOTH SIDES / 2.0m SEPARATE WALK ONE SIDE / 3.0m REGIONAL PATH ONE SIDE  
Scale 1:200



22.5m COLLECTOR  
PARKING ONE SIDE / 2.0m SEPARATE WALK BOTH SIDES / ON-STREET BIKE LANES  
Scale 1:200

FIGURE 6.0 | PROVIDENCE  
**Street Cross Sections**

PREPARED FOR: DREAM DEVELOPMENTS

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Proposed Outline Plan

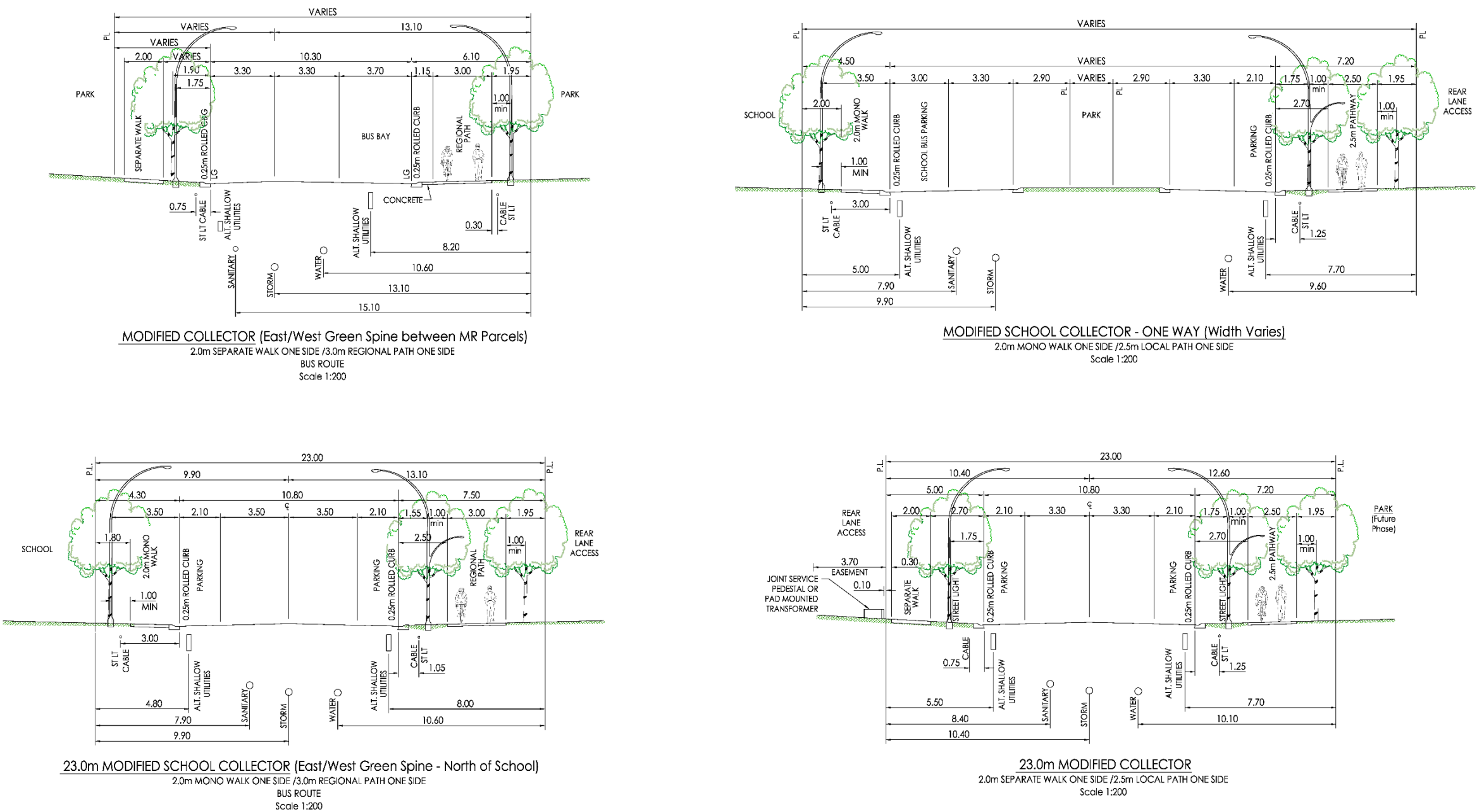


FIGURE 7.0 | PROVIDENCE  
**Street Cross Sections**

PREPARED FOR: DREAM DEVELOPMENTS

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Proposed Outline Plan

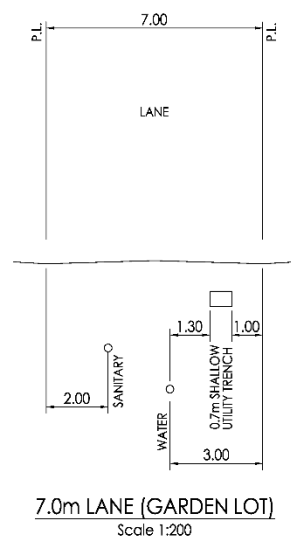
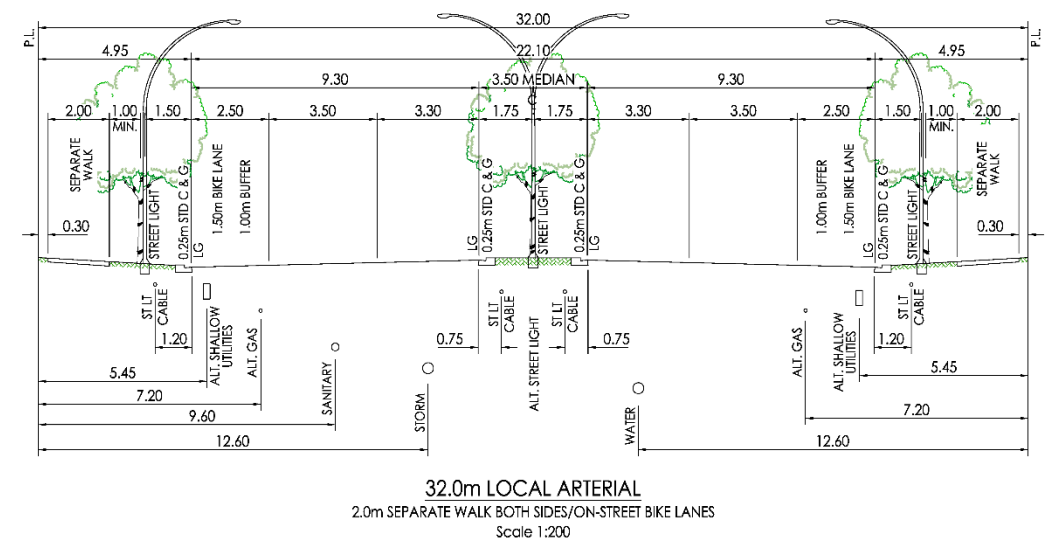
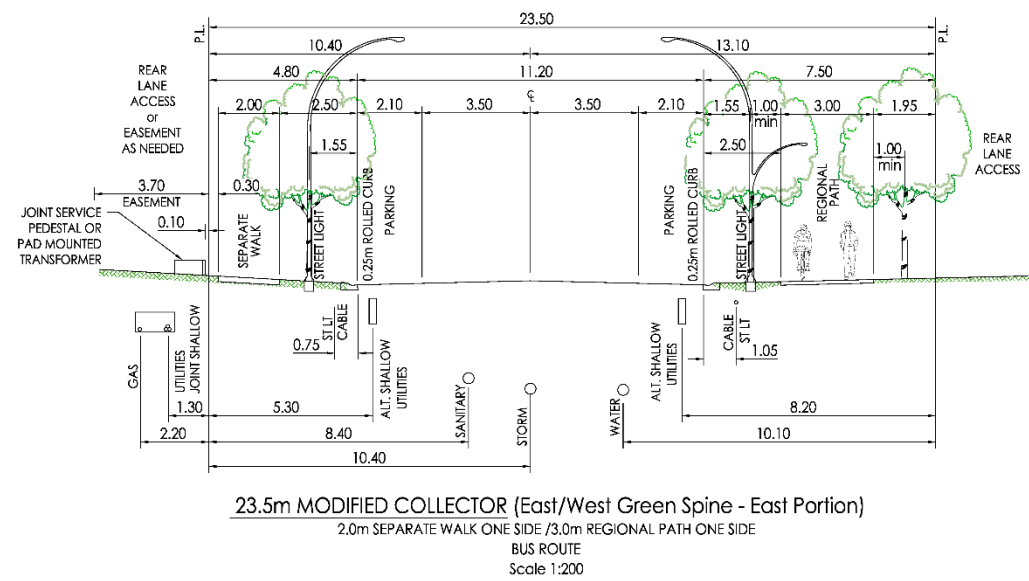


FIGURE 8.0 | PROVIDENCE  
**Street Cross Sections**

PREPARED FOR: DREAM DEVELOPMENTS

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Proposed Outline Plan

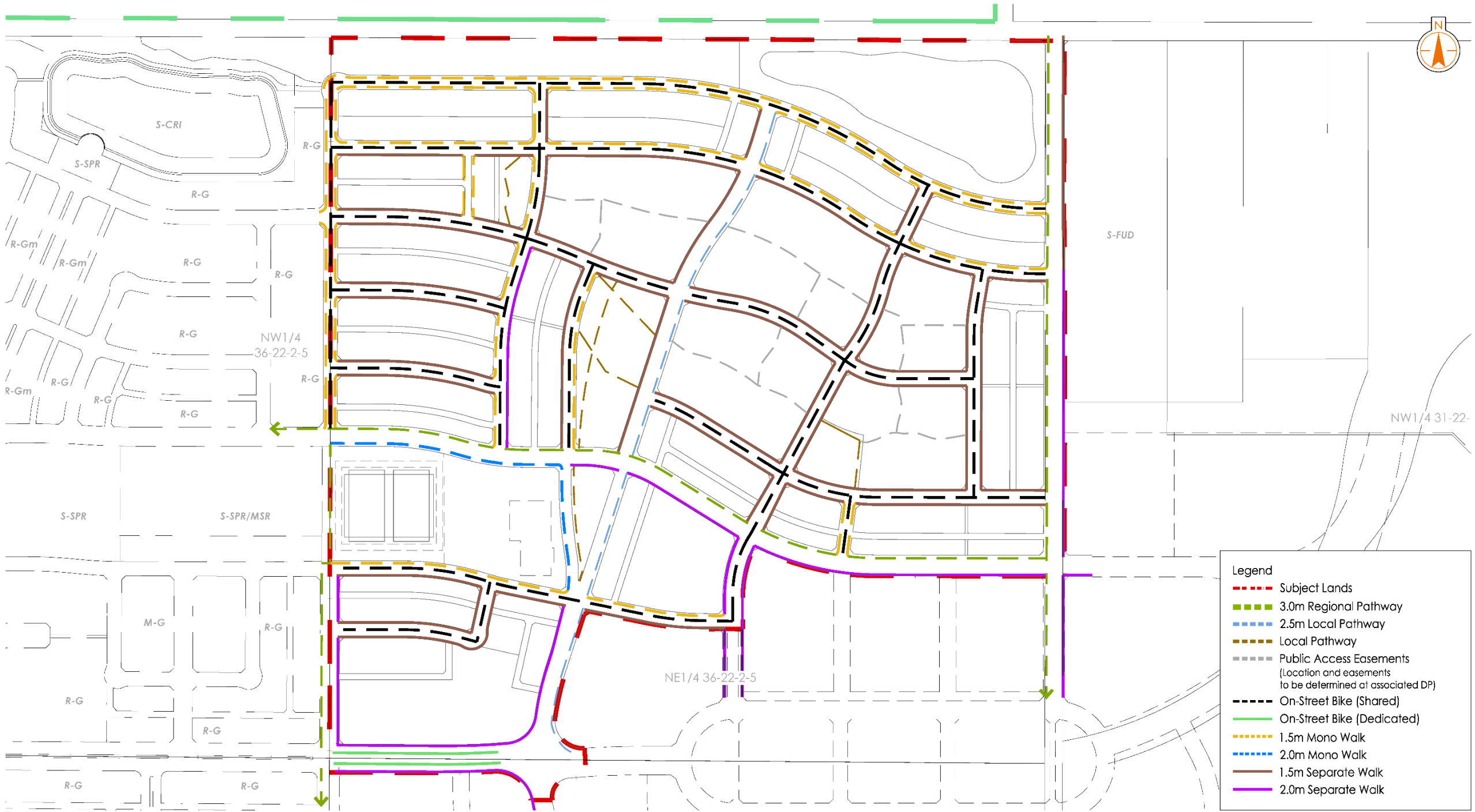


FIGURE 9.0 | PROVIDENCE

Active Modes Infrastructure

PREPARED FOR: DREAM DEVELOPMENTS

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25 0 25 50 75 100 (m)  
1:4000

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November 13, 2018  
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## **Proposed Amendments to the Providence Area Structure Plan**

**WHEREAS** it is desirable to amend the Providence Area Structure Plan Bylaw 48P2015, as amended;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26, as amended:

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

1. The Providence Area Structure Plan attached to and forming part of Bylaw 48P2015, as amended, is hereby further amended as follows:
  - (a) Delete section 8.3.1 and replace with section 8.3.1 and include the following:

“The Master Drainage Plan for the plan area must be approved by The City of Calgary’s Water Resources Department prior to Outline Plan/Land Use Amendment approval, except for the parcel legally described as NE36-22-2-W5.”
  - (b) Delete section 8.3.5 and replace with section 8.3.5 and include the following:

“A Staged Master Drainage Plan, referencing and remaining consistent with all relevant stormwater management policies at the time of application, must be submitted as part of an Outline Plan/Land Use Amendment application. A Staged Master Drainage Plan may be approved prior to the approval of the Master Drainage Plan for the parcel legally described as NE36-22-2-W5.”



## Summary of Applicant's Indigenous Engagement

### 1. BACKGROUND

On December 8, 2015, City Council approved the Providence Area Structure Plan (ASP), for the lands located south of Tsuut'ina Nation along 146 Avenue SW. In the approved ASP, two policies **5.1 Tsuut'ina Interface Area** and **9.3 Future Tsuut'ina Nation Engagement** were included to address privacy of Tsuut'ina citizens, access to 146 Avenue SW, protection of watercourses, trespassing on to Tsuut'ina lands and burial sites. Additionally, The City committed to work with land developers to develop an engagement process with Tsuut'ina Nation on future outline plan/land use amendment applications.

### 2. APPROACH

In July 2017, Dream/Qualico conducted early engagement with the Tsuut'ina Nation to discuss engagement preferences and explore how to establish a long-term relationship with the Tsuut'ina Nation and Tsuut'ina citizens.

Between July 2017 and September 2018, Dream/Qualico have participated in several conversations, meetings, events, and a site visit to understand issues, concerns, and associated opportunities related to the proposed developments.

In the attached **Table 1.0, ASP Identified Concerns and Policy Requirements** is a summary of how policy requirements were addressed through the design of the development of the engagement process and resolved through the dialogue with Tsuut'ina Nation. Attached in **Table 2.0, High-level Summary of Tsuut'ina Engagement Activities** is an overview of the engagement that has occurred to date.

### 3. NEXT STEPS

- Dream and Qualico are speaking with Tsuut'ina Nation in order for them to confirm if there are any objections to using any of the provided community names.
- Tsuut'ina Nation have committed to provide a Field Report from a site visit that was held on July 10, 2018. Once the report received, any of the discussed adjustments to design will be accommodated.
- Dream and Qualico have organized a Tsuut'ina Nation Community Neighbour Barbeque on the Dream site. Tsuut'ina residents along 146 Avenue SW and Chief and Council have been invited. The event will provide an opportunity to share an update on the project and discuss any issues, concerns, or opportunities. Additionally, this event will also support Dream's/Qualico's development of a long-term relationship with the Tsuut'ina Nation and Tsuut'ina residents.

### 4. CLOSURE

Dream/Qualico are committed to maintaining an ongoing dialogue with Tsuut'ina Nation and fostering a long-term relationship.

**Further Documentation:** Following is a list of the engagement with Tsuut'ina Nation by Dream and Qualico along with an overview of the topics discussed. Meeting notes can be found in the informational binder that was provided to The City on May 8, 2018.

## Summary of Applicant's Indigenous Engagement

**Table 1.0, ASP Identified Concerns and Policy Requirements**

5.1 Tsuut'ina Interface Areas	Dream/Qualico Response
<p><b>ASP Identified Concerns:</b></p> <p>During the engagement associated with the ASP in 2015, Tsuut'ina Nation identified the following concerns:</p> <ul style="list-style-type: none"> <li>a) Maintaining a sense of privacy and separation from the city</li> <li>b) Minimizing impact on Nation Citizens living adjacent to the plan area</li> <li>c) Protecting places of significance</li> <li>d) Protecting watercourses leading to and flowing through the Nation</li> <li>e) Maintaining road access along 146 Ave SW for Nation residents</li> <li>f) Clearly delineating the Nation's boundary during any construction and after development is completed</li> <li>g) Discouraging trespassing onto Nation land</li> </ul>	<p>In response to ASP identified concerns similar concerns were mentioned in the engagement regarding the proposed development. The following is a summary of how the concerns have been addressed:</p> <ul style="list-style-type: none"> <li>• Proposed development has been set back development from 146 Ave SW and neighbour Tsuut'ina citizens</li> <li>• No vehicle access to 146 Ave SW has been provided from proposed development, except for emergency vehicle access</li> <li>• Density of development along 146 Ave SW has also been reduced, to respect privacy and separation.</li> <li>• During a site visit with Tsuut'ina Nations field staff, one area between the Dream and Qualico developments was identified as important. Both developers have committed to work with Tsuut'ina to identify an appropriate way to address this area.</li> <li>• In discussions with Tsuut'ina citizens along 146 Ave SW, it was decided by that they preferred a combination of a fence and vegetation along the developer's property line to provide privacy and security from those trespassing on to Tsuut'ina Nation from the proposed development.</li> <li>• There is only one watercourse traveling between Qualico's land and Tsuut'ina Nation; during discussions with the Nation, Qualico committed to ensure that any existing flow of water to the Nation would be maintained as long as desired.</li> <li>• Dream/Qualico committed to Tsuut'ina Nation that during construction that Tsuut'ina Nation boundary between clearly delineated.</li> <li>• In response to trespassing, Dream/Qualico committed to address the concern of trespassing in new homeowner packages, making residents aware of the location of the Tsuut'ina Nation boundary and making them aware of that trespassing will not be tolerated by the Nation.</li> </ul>

## Summary of Applicant's Indigenous Engagement

<p><b>ASP Policies:</b></p> <ol style="list-style-type: none"> <li>1. The Tsuut'ina Nation Interface Area is shown conceptually on Map 4: Interface Areas and should apply to those lands within approximately 200 metres of The City of Calgary boundary.</li> <li>2. Development within the Tsuut'ina Nation Interface Area will be residential and will be developed to a maximum density of 12 units per hectare (5 units per acre). Land within this Interface Area will be subtracted from the density and intensity calculations for Community A and Neighbourhoods 1 and 2.</li> <li>3. Opportunities for wider lots and housing design that minimize overlook on Tsuut'ina Nation land should be explored at the Outline Plan/Land Use Amendment stage.</li> <li>4. The Tsuut'ina Nation boundary should be clearly delineated during construction and upon completion of development to discourage trespassing.</li> <li>5. The City will continue to provide access to 146 Avenue SW for Tsuut'ina Nation.</li> </ol>	<p>The 200m interface area has been address in the proposed development by:</p> <ul style="list-style-type: none"> <li>• Residential density along 146 Ave SW being reduced to a maximum of 12 units per hectare (5 units per acre).</li> <li>• To reduce overlook onto Tsuut'ina Nation wider lots and housing setback from 146 Ave SW has been proposed. Cross-sections of the interface area have been shown to Tsuut'ina Nation illustrating the distance between existing homes on Tsuut'ina Nation and the possible future homes. The proposed stormwater management ponds identified on both Dream an Qualico developments, helps to provide separation from the Tsuut'ina citizens along 146 Ave SW.</li> <li>• Dream/Qualico committed to Tsuut'ina Nation that during construction that Tsuut'ina Nation boundary between clearly delineated.</li> </ul>
<p><b>9.3 Future Tsuut'ina Nation Engagement</b></p>	<p><b>Dream/Qualico Response</b></p>
<p><b>ASP Policies:</b></p> <ol style="list-style-type: none"> <li>1. At the Outline Plan/Land Use Amendment stage, The City should work with applicants and the Tsuut'ina Nation to develop an engagement process during which adjacent Tsuut'ina Nation residents are informed</li> </ol>	<p>Since July 2017, Dream/Qualico have held early engagement with Tsuut'ina Nation, and work collaboratively with the Nation to identify meaningful engagement activities. During the engagement held between July 2017 and September 2018, Dream/Qualico:</p> <ul style="list-style-type: none"> <li>• Attended several meetings with Tsuut'ina Nation Consultation Department staff;</li> <li>• Facilitated a half-day workshop with the Tsuut'ina Elders Committee Meeting;</li> </ul>



## Summary of Applicant's Indigenous Engagement

<p>about the application and an opportunity for The City to solicit the Nation's adjacent residents' input is provided.</p> <p>2. Developers are strongly encouraged to work with the Tsuut'ina Nation to develop a process to respectfully manage any archaeological resources or burial sites that are found during the development process. The City may act as an intermediary in this process to facilitate an acceptable and timely outcome for both the applicant and the Nation, but has no jurisdictional authority or responsibility to manage any burial sites.</p>	<ul style="list-style-type: none"> <li>• Held a community dinner and workshop for Tsuut'ina citizens along 146 Ave SW;</li> <li>• Facilitated a half-day information session with the City of Calgary and Tsuut'ina Nation staff and Elders;</li> <li>• Facilitated a two-day information session with Tsuut'ina Nation staff, community members and Elders;</li> <li>• Commissioned a Tsuut'ina Nation Consultation Department Site Visit and Field Assessment; and,</li> <li>• Participated in the Grand Entry of the Tsuut'ina Nation Pow Wow and attended the Tsuut'ina Nation Rodeo.</li> </ul> <p>Although the formal engagement for this phase of the project is now complete, Dream/Qualico are committed to maintaining an on-going dialogue and building a long-term relationship with Tsuut'ina Nation and Tsuut'ina citizens.</p>
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**Table 2.0, High-level Summary of Tsuut'ina Engagement Activities**

Engagement Summary
<p><b>July 17, 2017 Meeting – Dream, Qualico, and Tsuut'ina</b></p> <ul style="list-style-type: none"> <li>• The purpose of the meeting was intended to commence early engagement with Tsuut'ina Nation and to help establish a long-term relationship</li> <li>• Dream and Qualico shared an overview and background package of the proposed development</li> <li>• The Nation provided the following: <ul style="list-style-type: none"> <li>○ No access from the future development to 146 Avenue SW should be provided</li> <li>○ There is an opportunity to have a Tsuut'ina names use for the community name</li> <li>○ Residents are concerned about the interface between the development and their homes along 146 Avenue SW</li> <li>○ Concern was expressed about potential burial sites on the future site and how sites would be handled</li> <li>○ The Nation is interested in learning more about procurement opportunities</li> <li>○ Early engagement was appreciated as it provides time to properly discuss the future development</li> </ul> </li> </ul>

## Summary of Applicant's Indigenous Engagement

### **August 24, 2017 Meeting - Dream, Qualico, and Tsuut'ina**

- Dream and Qualico committed to not access their developments via 146 Ave SW, with the exception of emergency access
- The Nation requested that mature trees along the boundary remain and that Dream/Qualico plant equivalent trees if any had to be removed
- Dream and Qualico will install signage and include information in the New Homeowner's packages to discourage trespassing on Tsuut'ina Nation
- The Nation's consultation team will meet with 146 Ave SW residents to discuss the project and report back findings to Dream and Qualico
- The Nation was concerned about wildlife corridors. Dream shared that there was a report that was completed recently that addressed wildlife corridors and that a copy of the report would be shared with Tsuut'ina.

### **September 5, 2017 Meeting - Dream, Qualico, and Tsuut'ina**

- Dream, Qualico, and Tsuut'ina Nation discussed setting up a booth in the administration building in concert with a Tsuut'ina planned community event
- Further to the request from the last meeting, a copy of the wildlife / biophysical impact report was provided to Tsuut'ina for review
- Chief Crowchild has requested a memo to learn more about the project and the engagement process to date

### **November 8, 2017 Meeting - Dream, Qualico, and Tsuut'ina**

- Dream and Qualico presented possible fencing options for 146 Ave SW and requested feedback from the Nation
- The Nation shared some questions they heard during engagement with 146 Ave SW residents, which included: concerns regarding trespassing, access to 146 Ave SW, fencing along 146 Ave SW, the name of the future community, procurement and employment opportunities, and general questions about the development and developers

### **November 29, 2017 - Dream, Qualico, and Tsuut'ina (including residents and Elder)**

- Dream and Qualico provided an overview of the project then opened up the floor for questions and discussion
- Some of the topics discussed included:
  - Trespassing, 146 Avenue, utility services, fencing options, development size and details
- Residents reviewed fencing options and decided on the one that appeared the most like natural vegetation to be their preferred choice

### **May 8, 2018 - Dream, Qualico, City of Calgary, and Tsuut'ina (including an Elder)**

- Dream and Qualico provided an overview of project, followed by question and answer discussion
- Some of the topics reviewed included:
  - A burial site on Tsuut'ina Nation near the project adjacent to the future development
  - Possibility of additional trespassing and criminal activity associated with the future development

## Summary of Applicant's Indigenous Engagement

<ul style="list-style-type: none"> <li>○ Future development access 146 Ave SW, Tsuut'ina doesn't want 146 Ave SW to become congested with traffic from the development</li> <li>○ Planned water and sewer services and whether Tsuut'ina Nation would be able to connect into these services in the future</li> <li>○ Employment and procurement opportunities are important to Tsuut'ina citizens</li> <li>• An Tsuut'ina elder shared that they felt comfortable and more confident in the project after this meeting</li> <li>• Tsuut'ina Nation expressed an interest in building long-term relationships and invited Dream, Qualico, and The City to take part in their Pow Wow and Rodeo</li> <li>• Tsuut'ina recommended that prior to development taking place a ceremony be held for both Dream and Qualico projects</li> </ul>
<p><b>July 4, 2018 – Tsuut'ina and AACI (on behalf of Dream and Qualico)</b></p> <ul style="list-style-type: none"> <li>• Tsuut'ina identified that July 16-17 would be the best dates for meeting with Nation Elders, Tsuut'ina Planning Committee, and Chief and Council members</li> <li>• Meeting logistics, agenda topics, and items were identified for the July 16-17 meeting</li> <li>• Early details regarding the Tsuut'ina Pow Wow and Rodeo were shared</li> </ul>
<p><b>July 10, 2018 – Dream, Qualico, and Tsuut'ina (Field Crew including an Elder)</b></p> <ul style="list-style-type: none"> <li>• Tsuut'ina Nation conducted a field visit of both the Dream and Qualico lands</li> <li>• One potential site was discovered <ul style="list-style-type: none"> <li>○ The site was documented and photographed, Tsuut'ina committed to follow up on how sensitive the site was and commented that they could potentially propose some possible mitigations</li> </ul> </li> <li>• Tsuut'ina will prepare a Field Assessment Report and will share it with Dream and Qualico</li> </ul>
<p><b>July 15, 2018 - Dream, Qualico, City of Calgary, and Tsuut'ina (including Elders)</b></p> <ul style="list-style-type: none"> <li>• Possible community names were presented and discussed</li> <li>• Dream and Qualico provided a list of potential names and Tsuut'ina review and comment on the potential community names</li> <li>• Concerns regarding the project were discussed and previous responses were provided by Dream and Qualico <ul style="list-style-type: none"> <li>○ Concerns included: issues of trespassing and crime in the area, whether transit service would be offered in the area, if water and sewage services could be extended to the Nation, whether a monitoring plan could be prepared, access from the development to 146 Ave SW, and procurement</li> </ul> </li> <li>• Details were provided regarding the upcoming Pow Wow and Rodeo, Dream and Qualico were invited to attend and take part in the Grand Entry</li> </ul>
<p><b>July 16, 2018 - Dream, Qualico, City of Calgary, and Tsuut'ina (including Elders)</b></p> <ul style="list-style-type: none"> <li>• Dream and Qualico provided an overview of the project and what is planned and how the plans will mitigate the concerns that have been raised already</li> <li>• Discussion of potential community names continued</li> <li>• An overview of the site visit that took place in July was shared</li> </ul>

### **Summary of Applicant's Indigenous Engagement**

- Elders requested to be able to collect medicines that are growing in the area before construction begins
- Tsuut'ina requested to monitor the excavation and watch for any artifacts or significant findings
- Procurement was reviewed
- Potential ways to build a long-term relationship with the community were explored and how that relationships could continue after construction was completed

#### **Tsuut'ina Nation Pow Wow and Rodeo, July 28-29, 2018 – Dream and Qualico**

- Dream and Qualico participated in the Pow Wow Grand Entry on July 28, 2018, and attended the Pow Wow and Rodeo.



## Outline Plan in Residual Sub-Area 13D (Ward 13) at 15113 – 37 Street SW, LOC2017-0308 (OP)

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### EXECUTIVE SUMMARY

This outline plan application was submitted by Stantec Consulting on behalf of Dream Asset Management Corporation on 18 October 2017. This application proposes a framework for the future subdivision and development of 56.38 hectares± (139.32 acres±) of undeveloped greenfield land in the southwest community of Residual Sub Area 13D. The subject area land is located within the *Providence Area Structure Plan*. The application provides for 1261 dwelling units and includes the following:

- A grid street network that will create rectangular city blocks;
- A minimum 493 dwelling units within medium and high density, low rise multi-residential developments comprising of townhouses and 4 to 6 storey apartment buildings (M-2 and M-H1);
- A minimum 165 dwelling units within low density residential development comprising of rowhouses on smaller than typical compact lots (DC/R-Gm);
- A minimum 197 dwelling units within low density residential development comprising of single and semi-detached dwellings on comprehensively planned green court blocks that have publicly accessible private open spaces throughout the block (DC/R-G);
- A minimum 406 dwelling units within low density residential development comprising of single and semi-detached dwellings (R-G);
- Approximately 5.64 hectares (13.93 acres) of Municipal Reserve (MR) and Municipal School Reserve (MSR) in the form of neighbourhood parks and a future elementary school site (S-SPR); and
- A stormwater pond, supporting public infrastructure (S-CRI) and the location of future local and major roadways, utilities and services.

The proposed outline plan serves to implement the policies of the *Municipal Development Plan* and the *Providence Area Structure Plan* supporting an effective use of land and infrastructure by providing a framework for the future subdivision of new residential districts and open space areas recommended in the associated land use and policy amendment application on today's agenda (CPC2018-1359).

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission **APPROVE** the proposed outline plan, located at 15113 – 37 Street SW (Portions of NE1/4 Section 36-22-2-5 and SE1/4 Section 36-22-2-5) to subdivide the 56.38 hectares ± (139.32 acres ±), with conditions (Attachment 1).

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**PREVIOUS COUNCIL DIRECTION / POLICY**

None.

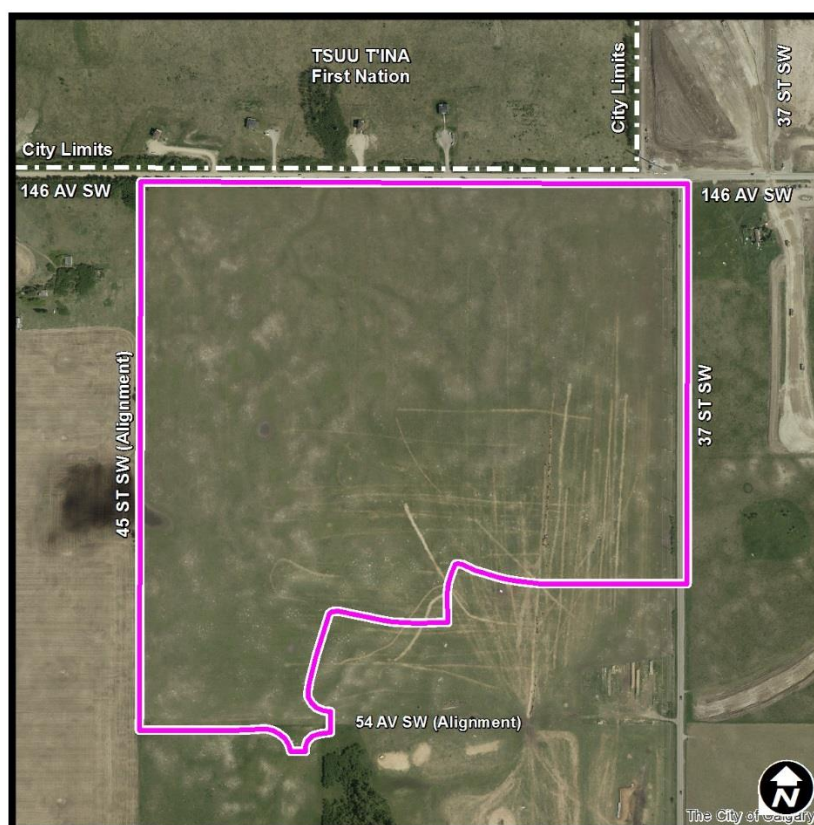
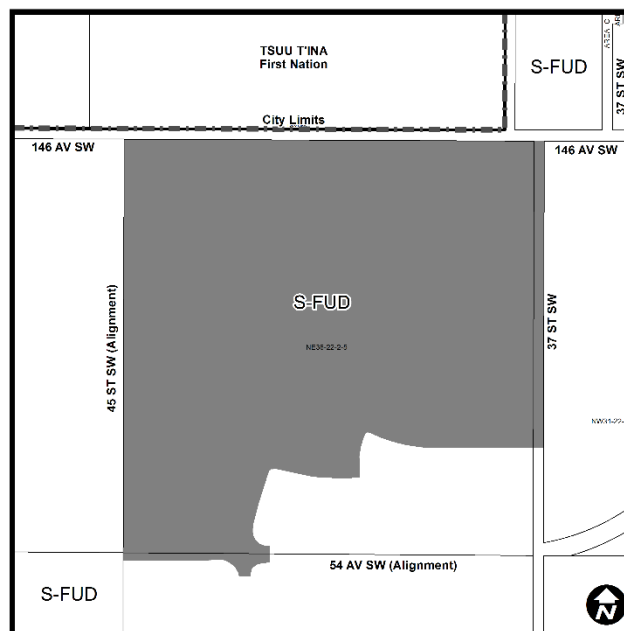
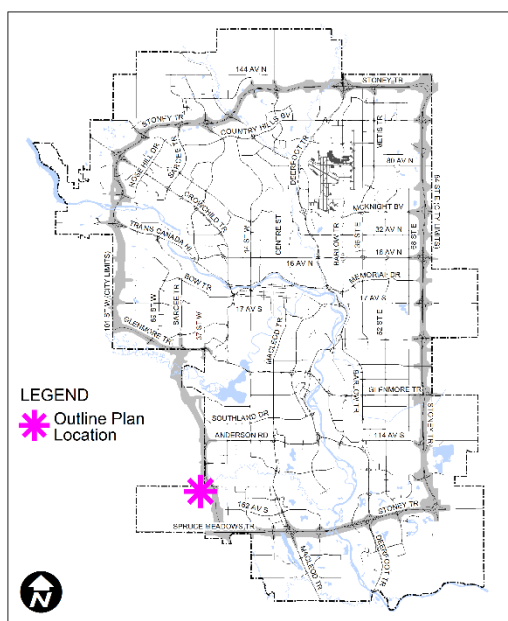
**BACKGROUND**

In 2015, Council adopted the *Providence Area Structure Plan (ASP)*, in which a Growth Management Overlay (Overlay) was put in place on the subject site to indicate that the capital infrastructure required for development was neither in place nor approved in the capital budget for future years. On 2018 July 30, Council approved the removal of the Overlay for a portion of the *Providence ASP* area, which included the subject site. This is the first proposal for a planned development within the *Providence ASP* area.



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**Location Maps**



## **Outline Plan in Residual Sub-Area 13D (Ward 13) at 15113 - 37 Street SW, LOC2017-0308 (OP)**

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### **Site Context**

The subject site is located in the southwest quadrant of the city in Residual Sub-Area 13D. The land is bounded by 37 Street SW to the east and 146 Avenue SW to the north. Within close proximity are Tsuut'ina First Nation to the north across 146 Avenue SW, and the Southwest Ring Road (under construction) which is approximately 200 metres to the east. The nearest existing community is Evergreen which is located to the east on the other side of the Southwest Ring Road.

The subject lands are currently undeveloped and are used for agricultural purposes. There is a significant change in topography of approximately 30 metres from the highest point in the southwest corner of the subject site where it then slopes downhill to the northeast corner.

### **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

This outline plan (Attachment 3), along with the associated land use amendment and Area Structure Plan amendment application, will facilitate the development of a residential neighbourhood with a broad mix of housing forms, as well as parks and school uses that will contribute to the growth of this future new community as envisioned by the policies of the *Municipal Development Plan* (MDP) and the *Providence ASP*.

### **Planning Considerations**

#### ***Subdivision Design***

The outline plan informs a proposed subdivision that is approximately 56.38 hectares (139.32 acres) in size. The subdivision consists of predominantly residential development that is intended to tie into a future Neighbourhood Activity Centre (NAC) and Community Retail Centre (CRC). The NAC and CRC would be provided as part of a subsequent outline plan for Dream's future and subsequent phases of development immediately adjacent to the south of the subject site. In addition, the NAC and CRC will be within a five minute walk (400 metres) of the vast majority of the subject outline plan area.

The street network proposes a strong grid pattern with rectangular shaped blocks that allows for a variety of housing forms with predominantly laned product types. The street network, bike lanes, pathways and various public access easements provide connections within the community and to the future surrounding communities, with a central corridor and park system that runs north-south via the north-south green spine. Connected to the green spine will be an elementary school and associated playfield spaces.

A wide mix of dwelling unit types are proposed in the plan area including single and semi-detached homes, rowhouses, townhouses and apartments. Anticipated lot widths and sizes for the low density residential uses vary from 5.0 metres and 90 square metres for rowhouse buildings in the Direct Control Residential – Low Density Mixed Housing (DC/R-Gm – Site 1) District to an average of 16 metres and 450 metres for single detached dwellings in the R-G residential area within the 200 metre Tsuut'ina Interface Area.

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A unique and innovative product proposed by the applicant includes five green court blocks. The green court blocks (DC/R-G – Site 2) will consist of single and semi-detached homes that either front onto the public street or onto a central inner green space area that would be privately owned and maintained by a homeowners association but remain accessible to the public. The interior lots would be accessed by a private condominium roadway. The green spaces and their pathways will provide a critical role in connecting the neighbourhood together.

Two multi-residential parcels are proposed for the development. The first parcel is designated Multi-Residential – High Density Low Rise (M-H1) District and proposes 371 units in townhouse and apartment building form with heights between 3 and 6 storeys. The second parcel is designated Multi-Residential – Medium Profile (M-2) District and proposes 122 units in townhouse and apartment building form with heights between 3 and 4 storeys.

Open space is provided through parks of varying roles and functions. A central park is located along a primary north south green spine which is envisaged to run the entire length from 146 Avenue SW to 162 Avenue SW. 2.34 hectares (5.77 acres) of Municipal Reserve (MR) will be dedicated within the Outline Plan Area. 3.30 hectares (8.15 acres) is dedicated as MSR – Municipal and School Reserve to facilitate a Calgary Board of Education (CBE) Elementary School Site and combination major/minor soccer field. A shared baseball diamond will be located within the adjacent Outline Plan to the west (LOC2017-0378 – Qualico Developments). The MR/MSR dedication provides the 10% MR requirement.

The Central Park, which is made up of two pieces is the focal point of the community and provides both passive and active park uses in the form of integrated play spaces, native gardens, and open play areas. The remainder of the parks provide tree groves, picnic areas, boulder gardens, open lawn spaces, play follies, etc. There are nine follies which are structures that act as play and/or shade features located within the proposed park spaces. The parks are connected by the regional and local pathway system. The proposed MR in combination with the privately owned, publicly accessible green courts provide an enhanced and fully connected open spaces system.

***Land Use***

Concurrent with the outline plan is a land use amendment application on today's agenda that proposes to redesignate the current site from a Special Purpose – Future Urban Development (S-FUD) District and undesignated road right-of-way to the following:

- Residential – Low Density Mixed Housing (R-G) District;
- Direct Control / Low Density Mixed Housing (DC/R-Gm – Site 1) District;
- Direct Control / Low Density Mixed Housing (DC/R-G – Site 2) District;
- Multi-Residential – Medium Profile (M-2) District;
- Multi-Residential – High Density Low Rise (M-H1) District;
- Special Purpose – School, Park and Community Reserve (S-SPR) District; and
- Special Purpose – City and Regional Infrastructure (S-CRI) District.

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The outline plan provides the framework for community and infrastructure build out, to be implemented largely at the subdivision stage. The land uses are complimentary to this plan and provide more certainty on densities, and unit types and forms.

### ***Density***

The outline plan provides for development that achieves both the *Municipal Development Plan* and the *Providence Area Structure Plan* minimum density and intensity targets (population and jobs). This will help to support the future transit and community amenities within the greater area.

The *Providence Area Structure Plan* requires that land within 200 metres of Tsuut'ina Nation be developed at a maximum density of 12 units per hectare (5 units per acre) and therefore this area is to be subtracted from the density and intensity calculations of the remainder of the plan area. The number of units proposed for the Tsuut'ina Nation Interface Area is 153 which equates to an anticipated residential density of 9.7 units per hectare (24.0 units per acre).

Overall, the application proposes to accommodate a residential unit range between 1261 and 1459 units. When the Tsuut'ina Nation Interface Area is subtracted from the calculations, the remainder of the plan area has a projection of 1109 units and 3059 total people and jobs. This equates to a minimum/anticipated residential density of 27.1 units per hectare (11.0 units per acre) and an intensity of 75.4 people and jobs per hectare. This anticipated density and intensity achieves the minimum residential density of 20 units per hectare (8 units per acre) and minimum intensity of 60 units per hectare required by the *Municipal Development Plan* and the *Providence ASP* for the neighbourhood.

### ***Environmental***

A Phase I Environmental Site Assessment (ESA) for the site was provided and was reviewed. No significant pre-development environmental risks were noted in the report.

There are a number of small Class I and Class II wetlands located on the subject lands however none of them are Crown claimed and will be subject to Water Act approval.

### ***Transportation Networks***

The proposed development is generally bound by 146 Avenue SW to the north, 37 Street SW to the east, 154 Avenue SW to the south, and 45 Street SW to the west. The proposed road network within the Outline Plan boundary is planned as a grid pattern, respecting the contours and topography of the lands. Primary access to the subject lands is provided from Stoney Trail SW via 154 Avenue SW and 37 Street SW. Additional access from the south is available from Highway 22X via 53 Street SW.

Administration worked with the applicant to develop a transportation network that supports multi-modal connectivity for local and regional trips. The transportation network includes arterial, primary collector and collector streets that accommodate active modes, transit, and vehicular movement within the plan area, as well as connections to the regional transportation network.

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The combination of limited block sizes, comprehensive development permit review for the large DC green court blocks, planned pathways and park space that are adaptive to the existing topographic features, provides additional opportunities for pedestrians and cyclists to enjoy good connectivity within and around the plan area.

Staging of the proposed development through to completion is planned to provide connectivity to the regional transportation network, with primary access to Stoney Trail SW. Opportunities for connections to the south into future outline plan areas, including an additional connection to Stoney Trail SW via 162 Avenue SW are protected with the proposed plan.

To facilitate development of the subject lands and adjacent development lands, phasing of development has been discussed and will be reviewed at each tentative plan. This includes registering a Road Plan for 154 Avenue SW at the initial tentative plan which protects the future right of way for the regional arterial road connection that connects this plan area, and adjacent plan areas, directly to Stoney Trail SW.

The plan also provides the opportunity to introduce transit service to the area. Public transit will be introduced in phases over time and is expected to include several bus routes running through the *Providence Area Structure Plan* lands, providing local and regional service through and around the plan area. Transit service will be phased to support future Bus Rapid Transit stations along 162 Avenue SW connecting to the Somerset-Bridlewood LRT station.

A regional pathway system that establishes both strong east-west and north-south connections both within and adjacent to the plan area is provided.

The regional pathway aligns with the intent of the *Area Structure Plan* by providing pedestrian and cycling connections around and outside the plan area. The regional pathway within the plan area runs primarily along collector and higher standard roadways, taking advantage of views and park amenities to enjoy along the way. Local pathways strengthen the regional system and provide key linkages through the subject lands.

***Utilities and Servicing***

A capital-funded dual zone pump station (the Lower Sarcee Reservoir/Starlight Pump Station) will be required and designed to accommodate the ultimate servicing for the Providence ASP. Once complete, water servicing of the lands within the Plan Area will be achieved through a tie-in to the pump station.

Sanitary servicing of the lands within the Plan Area will be achieved via an extension of the 162 Avenue SW sanitary trunk from the stub at 24 Street SW in the community of Evergreen. Once complete, the plan area will tie-into extended portion of the 162 Avenue SW sanitary trunk. It is noted that permissions will be required from Alberta Transportation to allow the 162 Avenue SW sanitary trunk extension to cross the Transportation Utility Corridor.

The plan identifies that water will be directed to a single engineered stormwater management facility/pond in the northeast corner of the plan area. Future storm trunks are planned along the west side of the Southwest Ring Road (Transportation Utility Corridor) with an outfall to Fish

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Creek west of the Ring Road. The pond will discharge to the outfall at Fish Creek via a storm line under 146 Avenue SW. It is noted that permissions will be required from Alberta Transportation to allow the storm main to cross the Transportation Utility Corridor and thereby extend to the outfall at Fish Creek.

A Staged Master Drainage Plan (SMDP) was submitted by the applicant and was reviewed and approved by Water Resources. A Master Drainage Plan for the *Providence ASP* area is still under review. However, Administration has evaluated the risks and has no concerns with allowing SMDP and Outline Plan approval prior to approval of the Master Drainage Plan. The Staged Master Drainage Plan for the subject lands demonstrates that this development area is fairly isolated with respect to drainage and that there are no major drainage systems that have any measurable impact on adjacent lands to the north or west, including the Tsuut'ina Nation. For this reason, Administration is proposing an amendment to the *Providence ASP* to exempt them from the requirement that the Master Drainage Plan be complete prior to land use and outline plan approval. Each subsequent land use and outline plan application will have to be evaluated on its own merits with respect to the requirement for the Master Drainage Plan completion, prior to the review and approval of a Staged Master Drainage Plan. Approval of this application has been assessed to be low risk.

### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent land owners, including Tsuut'ina First Nation, and the application was advertised online. There is no Community Association for the subject area and no letters from adjacent landowners or the general public were received.

The applicant undertook extensive engagement with Tsuut'ina First Nation, including members of Tsuut'ina Administration, Elders and neighbouring residents. City Administration also participated in three meetings with Tsuut'ina that were led by the applicant. Overall, Tsuut'ina is generally supportive of the application. A summary of the engagement undertaken by the applicant with Tsuut'ina can be found in Attachment 6.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory – 2014)***

The recommendation by Administration in this report has considered and is aligned with the policy direction of the *South Saskatchewan Regional Plan (SSRP)*. The site is located within the "City, Town" area as identified on Schedule C: *South Saskatchewan Regional Plan Map* in the SSRP. While the SSRP makes no specific reference to this site, the supporting application is consistent with the SSRP policies including the Land Use Patterns strategies (subsection 8.14) within the Implementation Plan part of the document by featuring innovative housing designs with a range of densities and housing types.

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***Municipal Development Plan (Statutory, 2009)***

The subject lands are identified as Planned Greenfield with Area Structure Plan (ASP) as per the MDP, Map 1 Urban Structure. The MDP provides overall guidance for development in new communities and the *Providence ASP* provides policy guidance for the planning and design of the neighbourhood. The proposed outline plan application meets the MDP objectives by providing a diversity of housing types, efficient usage of land by locating higher density developments near transit stations, promoting grid-based street networks to improve connectivity within the neighborhood, incorporating multi-modal connectivity for all users, and protecting and integrating significant ecological sites into the plan.

***Providence Area Structure Plan (Statutory, 2015)***

The subject lands are identified within a portion of “Neighbourhood 2” of “Community A” in the *Providence Area Structure Plan*. The ASP identifies this site primarily as a ‘neighborhood area’, with arterial and collector road connections, regional pathways and a joint use site. The ASP also identifies a Neighbourhood Activity Centre (NAC), a Community Association site and a Community Retail Centre, however each of these are located just outside the proposed plan area and will be provided as part of the applicant’s second phase of development to the south. The proposed plan is in alignment with the ASP. A minor policy amendment is required under section 8.3 of the ASP to allow for the Outline Plan to be approved prior to Water Resources approval of the Master Drainage Plan.

**Social, Environmental, Economic (External)**

The proposed outline plan enables development of a new neighbourhood and community that provides a future framework for a mix of housing types, various densities

**Financial Capacity**

***Current and Future Operating Budget:***

There is currently no impact to the current operating budget. As development proceeds, the provision of City services such as roads, parks and waste and recycling would have an operating budget impact at such time as they are provided. The projected operating costs for this development during 2019-2022 have been included in the One Calgary service plans and budgets.

***Current and Future Capital Budget:***

There is no impact to the current capital budget as a result of this report. The capital investment required to construct and upgrade the required local infrastructure will be funded entirely by the developer. The proposed development will require City capital investment in utilities and has been included in the 2019-2022 budget cycle. This City infrastructure was added to the Off-site Levy Bylaw through report PFC2018-0973 and approved by Council on 2018 November 12. The utilities will be funded 100 percent through off-site levies paid by developers. While the



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infrastructure is funded by developer levies, the initial monetary outlay for this infrastructure is paid for by The City and debt financed.

**Risk Assessment**

This project lies on the periphery of The City of Calgary in an area which is currently unserved and has a transportation network that is still developing. The associated outline plan conditions of approval (Attachment 1) adequately deal with the infrastructure costs associated with development of a new neighborhood in this area.

**REASON(S) FOR RECOMMENDATION(S):**

The proposed outline plan has been developed in accordance with the objectives of the *Municipal Development Plan*, and more specifically is in accordance with the policies specified in the *Providence Area Structure Plan*. The proposed land uses and their distribution facilitate the development of a strong mix of housing options, creating conditions to enable citizens from a wide economic spectrum to live within the neighbourhood. These land uses will be implemented through the supporting outline plan application that provides the subdivision layout and conditions to realize the site's development.

**ATTACHMENT(S)**

1. Conditions of Approval
2. Applicant's Submission
3. Proposed Outline Plan
4. Subdivision Data Sheet
5. Proposed Land Use District Map
6. Summary of Applicant's Indigenous Engagement

## Conditions of Approval

The following Conditions of Approval shall apply:

### Planning:

1. The Standard City of Calgary Party Wall Agreement regarding the creation of separate parcels for semi-detached / townhouses / rowhouse units shall be executed and registered against the titles **concurrently with the registration of the final instrument**.
2. The existing buildings shall be removed prior to subdivision endorsement.
3. The Developer shall submit a density phasing plan with each Tentative Plan submission, showing the proposed phasing within the Outline Plan area and the projected number of dwelling units within each phase to demonstrate compliance with the minimum required densities of the Area Structure/Community Plan and Municipal Development Plan.
4. If the total area for Roads & Public Utility Lot dedication is over 30%, note that this is considered a voluntary over dedication and compensation in the order of \$1 for over dedication is deemed to be provided.
5. If the total area for Municipal Reserve dedication is over 10%, note that this is considered a voluntary Municipal Reserve contribution, and compensation in the order of \$1 for over dedication is deemed to be provided.
6. Prior to approval of any affected Tentative Plan, the proposed street names shall be submitted and approved, to the satisfaction of the Subdivision Authority. The new street names will need Council approval prior to endorsement of the legal plan.

### Development Engineering:

7. The parcels shall be developed in accordance with the development restriction recommendations outlined in the following report(s):
  - Preliminary Geotechnical Evaluation Providence Outline Land Use Plan, prepared by Tetra Tech EBA Inc (File No 704-ENG.CGEO03041-01), dated May 25, 2016.
  - Deep Fill Report, Providence Stage 1, Calgary, Alberta, prepared by EXP Services Inc. (File CGY-00047002-01), dated August 20, 2018.
8. Overall density of land use/outline plan area will exceed 600 units and will need to have a third primary access in place before such time as the development hits 600 units. **Prior to approval of the affected tentative plan/development permit**, provide details of the overall access for the outline plan/tentative plan area that triggers the 600 units in the community and the proposed third access.

**Note:** The condition is in reference to the overall plan area and is as per Fire Department Access Standards (Section Three, Access).

## Conditions of Approval

9. **Prior to endorsement of the initial tentative plan**, provide documentation from Alberta Transportation for approval to cross the Transportation Utility Corridor (TUC) for the sanitary main from the site to the existing stub that crosses the TUC.
10. **Prior to endorsement of the initial tentative plan**, provide documentation from Alberta Transportation for approval to cross the Transportation Utility Corridor (TUC) for the storm main from the site to the outfall at Fish Creek.
11. Servicing arrangements shall be to the satisfaction of the Manager Infrastructure Planning, Water Resources.
12. **Prior to approval of the initial tentative plan** provide preliminary water network hydrants design for review.
13. A capital-funded dual zone pump station will be required and designed to accommodate the ultimate servicing of the Providence ASP. The subject lands in this application require the first phase of this pump station to be in place to service the residential development portion of the proposed Outline Plan. As a result, the pump station is required to be operational **prior to endorsement of the initial tentative plan/prior to release of a development permit**.

Note that funding for the dual zone pump station has not yet been approved.

14. **Prior to endorsement of any Tentative Plan/prior to release of a Development Permit whichever is first/earliest**, execute a Development Agreement. Contact the Public Infrastructure Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email [urban@calgary.ca](mailto:urban@calgary.ca).
15. Off-site levies, charges and fees are applicable. Contact the Public Infrastructure Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email [urban@calgary.ca](mailto:urban@calgary.ca).
16. The developer, at its expense, but subject to normal oversize, endeavours to assist and boundary cost recoveries shall be required to enter into an agreement to:
  - a. Install the offsite sanitary sewers, storm sewers and water mains and construct the offsite temporary and permanent roads required to service the plan area. The developer will be required to obtain all rights, permissions, easements or rights-of-way that may be required to facilitate these offsite improvements.
  - b. Construct the underground utilities and surface improvements within the full width of 37 Street SW, along the east boundary of the plan area.
  - c. Construct the underground utilities and surface improvements within the full width of 154 Avenue SW, along the south boundary of the plan area.
  - d. Construct the underground utilities and surface improvements within and along the boundaries of the plan area. Note that construction of underground utilities and

## Conditions of Approval

surface improvements within and along 146<sup>th</sup> Avenue are excluded from this condition.

- e. Construct the onsite and offsite storm water management facilities (wet pond, wetlands, etc.) to service the plan area according to the most current City of Calgary Standard Specifications Sewer Construction, Stormwater Management and Design Manual and Design Guidelines for Subdivision Servicing.
  - f. Construct the MR/MSR within the plan area.
  - g. Construct the regional pathway within and along the boundaries of the plan area, to the satisfaction of the Director of Parks Development.
17. As part of the Development Agreement, make a deposit with the City of Calgary for 50% of the total estimated cost of construction of future surface improvements and underground infrastructure in the full width of 146<sup>th</sup> Avenue along the north boundary of the plan area.

Contact the Infrastructure Strategist, Calgary Approvals Coordination to request an estimate at 403-268-3232 or email [Taryn.Davis@calgary.ca](mailto:Taryn.Davis@calgary.ca).

18. **Concurrent with the registration of the final instrument**, execute and register on all parcels with double frontage lots that are adjacent to a collector road, a neighbourhood boulevard, an urban boulevard, an arterial road, a skeletal road, or a Transportation Utility Corridor, a Screening Fence Access Easement Agreement with the City of Calgary. The agreement and registerable access right of way plan shall be approved by the Manager, Infrastructure Planning and the City Solicitor **prior to endorsement of the final instrument**. A standard template for the agreement will be provided by the Development Engineering Generalist. Prepare and submit three (3) copies of the agreement for the City's signature.

### Transportation:

#### Transportation Network

19. **In conjunction with each Tentative Plan**, two connections from the affected tentative plan to the Regional Transportation Network must be constructed and open to the public and built to City standards. These connections are defined as:
- a. Connecting to Stoney Trail (TUC), east of the plan area
  - b. Connecting to Highway 22X, south of the plan area

Note the intent is that two accesses are available for each tentative plan. It is understood that construction sequencing between all land owners and developers in the area is not certain and the connections above may change at tentative plan.

20. **In conjunction with each applicable Tentative Plan** offsite requirements to connect roadways within the plan area to the transportation system is required.
21. **In conjunction with each applicable Tentative Plan**, the tentative plan shall demonstrate that it provides a contiguous extension of development within the outline

## Conditions of Approval

plan area. The intent is to ensure internal transportation connectivity for all modes (walking, cycling, transit, vehicles) and facilitate interim transit routing.

22. Construction and cost obligations for 146 Avenue SW adjacent to the outline plan area is to be confirmed with Transportation Planning **prior to the endorsement of the initial Tentative Plan**. The Developer shall enter into an agreement as required to the satisfaction of the Director, Transportation Planning.

For the proposed plan, it is anticipated the Developer shall contribute boundary cost obligations only for 146 Avenue SW. That is, there will be no construction obligations, excepting any work required at intersections from the plan area to 146 Avenue SW.

### Design and Construction Requirements

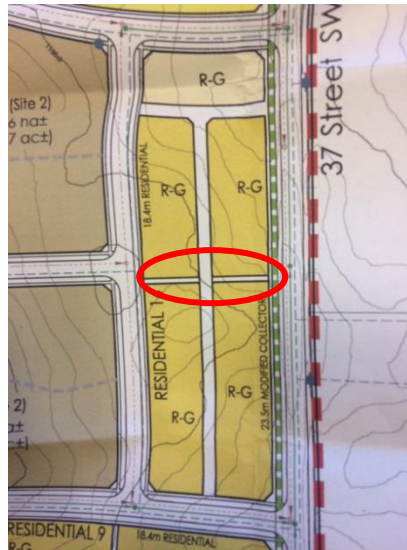
23. **In conjunction with the applicable Tentative Plan**, detailed engineering drawings and turning templates shall be submitted and approved to the satisfaction of the Director, Transportation Planning for:
- a. 154 Avenue SW as a 4-lane divided Arterial-standard cross section.
  - b. Roundabout located at 154 Avenue SW and North/South Green Spine.
  - c. All remaining intersections and roads within the Plan area and boundary roads where appropriate.

All intersections on 154 Avenue SW shall be designed to City standards, complete with appropriate corner cuts, channelization, tapers, etc. to the satisfaction of the Director, Transportation Planning.

24. **In conjunction with the initial Tentative Plan**, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for 154 AV SW that is a logical extension of the proposed 154 AV SW alignment from the west plan boundary to 37 ST SW (ties into the interchange connection provided by the Southwest Ring Road).
25. All roads, intersections, driveways and intersection spacing shall be designed and constructed at the Developer's sole expense and to the satisfaction of the Director, Transportation Planning.

This includes intersections of pedestrian/cyclist facilities with lanes (see picture below). Visibility of vulnerable users utilising these lane crossings is paramount and shall be resolved to the satisfaction of the Director, Transportation Planning. The Developer has proposed 1 m by 1 m corner cuts and the installation of staggered offset rails.

## Conditions of Approval



26. All roundabouts shall be designed and constructed to the satisfaction of the Director, Transportation Planning, as follows:
- All bus stops adjacent to roundabouts should be located outside the curb flares influence zone and along the curb lanes where there is on-street parking;
  - A sight lines analysis for roundabouts, as well as truck and transit sweep and fastest path analysis through all roundabouts shall be provided. Transit buses shall not be required to mount the central truck apron in order to navigate the roundabout;
  - In conjunction with the Tentative Plan**, all roundabouts in the plan area shall include bike ramps to facilitate cycling access through the roundabouts;
  - Turning movements should be provided as well for articulated buses;
  - Ensure the centre circle island has proper clear sight lines (i.e. no objects to block vehicle's sight lines), and chevron patterns shall be imbedded upon the concrete pad on the inner side of the roundabout; and
  - No driveway accesses are permitted within the functional area of roundabouts.

Note that the Land Use and Outline Plan boundaries may require adjustment to accommodate appropriate roundabout design at the discretion of the Director, Transportation Planning.

27. **Prior to approval of Construction Drawings and Permissions to Construct Surface Improvements:**
- The developer shall provide signed copies of backsloping agreements for any backsloping that is to take place on adjacent lands (whether owned privately or owned by the City).
  - Adjustments to the tentative plan boundary may be required to accommodate all necessary right-of-way requirements.
28. **In conjunction with the applicable Tentative Plan or Development Permit**, the Developer shall enter into a Construction Access Roads Agreement with Roads Maintenance.

### Conditions of Approval

29. **In conjunction with the applicable Tentative Plan**, the Developer shall build the full width of Collector 1 and Residential 1.
30. **In conjunction with the applicable Tentative Plan or Development Permit** for the staged construction of the road network, transit stops shall be provided to the satisfaction of the Director, Transportation Planning. All bus zones shall be located:
  - Where commercial areas are concentrated;
  - Where the grades and site lines are compatible to install bus zones; and
  - Where pedestrian walkways, pathways, and roadway crossing opportunities are provided.
31. **In conjunction with the applicable Tentative Plan**, the developer shall ensure that all pathways from MR lands have a direct pedestrian connection by sidewalk or pathway, to the desired crossing locations at intersections to the satisfaction of the Director, Transportation Planning.
32. **In conjunction with the applicable Tentative Plan or Development Permit**, all community entrance features must be located outside the public right-of-way.
33. **In conjunction with the applicable Tentative Plan**, the developer shall provide a Letter of Credit to the satisfaction of the Director, Transportation Planning, for pedestrian-actuated crossing signals that are required by the Director, Transportation Planning. Pedestrian-actuated crossing signals shall be considered to the satisfaction of the Director, Transportation Planning:
  - where regional pathways or multi-use pathways intersect with the street;
  - at mid-block crossings; and
  - at intersections or pedestrian crossings adjacent to Joint Use sites

The developer is responsible for any additional costs of signalization in excess of the letter of credit. The Developer shall also provide a letter, under Corporate Seal, indicating that they are responsible for any additional costs of signalization that could be in excess of the amount identified in the Letter of Credit, and is required to submit payment in support of the proposed Tentative Plan applications.
34. **In conjunction with the applicable Tentative Plan or Development Permit**, a noise attenuation study is required for the residential parcels adjacent to 154 Avenue SW, certified by a Professional Engineer with expertise in the subject of acoustics related to land use planning, to be submitted to Transportation Planning for approval.
35. All noise attenuation features (noise walls, berms, etc.) and ancillary facilities required in support of the development shall be constructed entirely within the development boundary (location of noise walls, berms, etc and associated ancillary works shall not infringe onto the road right-of-ways).
36. Temporary oil and gravel bus turnaround / cul-de-sac with a minimum radius of 15.25 meters is required at the terminus of each construction phase. Where the developer intends to fence the turnaround, the minimum radius shall be increased to 16.25 meters. If road construction and/or construction phasing affects the operations of transit service, the Developer is required to provide an interim transit route replacement, to the



## Conditions of Approval

satisfaction of the Director, Transportation Planning. Post and cable fence is required where the temporary turnaround is anticipated to be required for a period greater than 1 year.

37. For all streets where bus zones are identified (37<sup>th</sup> Street, East-West Green Spine, School Collector 1, Collector 1), curb extensions to accommodate bus stops are to be provided during detailed design for **the affected tentative plan**.

### Modified and Custom Cross Sections

38. This Outline Plan does not constitute approval of the proposed modified cross sections. Approval of the proposed custom or modified road cross sections is deferred to detailed design and prior to **approval of the initial Tentative Plan**.
- a. The Construction Drawing package (detailed design) will require a separate sheet for modified and custom cross-sections. This sheet will be updated through the review process (as needed) and will form the final approved cross sections upon acceptance of the detailed design.
  - b. 154 AV SW shall have off-street cycling facilities.
  - c. Collector 2 south of East-West Green Spine to provide on-street cycling lanes (due to higher volume of traffic forecast for this street).
  - d. A cross section for the proposed garden lots (MR fronting lots) will be utilised for addressing and a cross section shall be developed to the satisfaction of the Director, Transportation Planning at the timing indicated above.

It is noted that review of the latest proposed modified cross sections by Transportation did not indicate any red flag items. Detailed design review of the sections is intended to be a refinement of what has been shown and every effort will be made to facilitate solutions within the proposed ROW.

### Access, Easements and Covenants

39. **In conjunction with the applicable Tentative Plan or Development Permit**, accesses for all multi-family sites and commercial sites shall be designed and located to the satisfaction of the Director, Transportation Planning.
40. No direct vehicular access is permitted to or from 154 Avenue SW; restrictive covenants shall be registered against the subject lots **concurrent with registration** of the affected Tentative Plan. Exceptions may apply for accesses to pre-existing sites on an interim basis, if necessary and at the discretion of the Director, Transportation Planning.
41. Public Access Easements for the entirety of all DC/R-G (Site 2) parcels, as indicated on the Approved Outline Plan, shall be executed and registered on title **concurrent with the registration of the final instrument** for the affected Tentative Plan.

This condition is to ensure connectivity through the large parcels, which will be planned in detail at the Development Permit stage. It is understood that the Public Access Easement will be refined at the Development Permit stage to the satisfaction of the Director, Transportation Planning. The City will be a party to these easements.

### Conditions of Approval

42. No direct vehicular access to the adjacent street is permitted for residential parcels that are adjacent to a lane as access is to come from the lane, except as outlined in condition 43 below. A restrictive covenant shall be registered on the affected parcels to that effect, **concurrent with registration** of the affected tentative plan to the satisfaction of the Director, Transportation Planning.
43. A maximum of five (5) percent of residential parcels designated R-G that have an adjacent lane may have direct vehicular access to the adjacent street. These parcels will be identified as part of the **affected Tentative Plan** to the satisfaction of the Director, Transportation Planning and will not require the noted caveats in Condition 42.
44. A restrictive covenant shall be registered against the specific lot(s) identified by the Director, Transportation Planning, **concurrent with the final instrument** prohibiting the construction of front driveways or other vehicles accesses over the bus loading area(s).

### Miscellaneous

45. Future revisions, addendums, or submissions within the development area are subject to further Transportation review and analysis, at the discretion and satisfaction of the Director, Transportation Planning and in accordance with the Area Structure Plan policy.
46. The road and pedestrian network for future development in the area is subject to further review and analysis in conjunction with future outline plan revisions and Tentative Plan submissions.
47. **In conjunction with the applicable tentative plans** and prior to construction permission, the Developer shall provide signage within the road right-of-way or on city public land at the terminus of roads that are intended to continue with future planning areas. Signage shall be designed and located to the satisfaction of the Director of Transportation Planning. All work associated with the supply and installation of the signage will be at the Developer's expense.

Show homes and marketing information must contain maps identifying the proximity of the future road and shall be shown on the community land use signs containing affected lots.

### **Parks:**

48. Programming of the triangular MR park (0.35 ha/0.87 ac) is to be determined **prior to tentative plan approval** in consultation with the City of Calgary Parks Planning.
49. The developer will be required to enter into a Perpetual Maintenance Agreement or Optional Amenities Agreement for the triangular MR park (0.35 ha/0.87 ac) if it proposed as an Off-Leash Dog Park. Contact the Parks Landscape Construction Coordinator Mary Quinlan at (403) 542-1900 or [Mary.Quinlan@calgary.ca](mailto:Mary.Quinlan@calgary.ca) for details.
50. The developer will be required to enter into a Landscape Maintenance Agreement or Optional Amenities Agreement for the landscaping of the any Municipal Reserve parcels that contain elements above Park's standards. Construction Coordinator Mary Quinlan at (403) 542-1900 or [Mary.Quinlan@calgary.ca](mailto:Mary.Quinlan@calgary.ca) for details.

## Conditions of Approval

51. A Developer is responsible to construct in accordance with the minimum and maximum landscape development standards as identified in the *Development Guidelines and Standard Specifications: Landscape Construction 2017 – Calgary Parks*. If a Developer wished to develop parks beyond the maximum standards they are required to enter into a Maintenance Agreement for items such as: the geographic wall, sculpted rolling grass mounds, elevated landforms, iconic and play follies, water quality garden, boulder garden, etc.
52. The wetland(s) identified within the Outline Plan area are subject to The City of Calgary's *Calgary Wetland Conservation Plan (the "Plan")* and its "no net loss" policy.

All Class III and above wetland(s) (as defined by the *Stewart and Kantrud Wetland Classification System*) identified within the Outline Plan area qualify as Environmental Reserve ("ER") pursuant to the *Municipal Government Act (Alberta)* ("MGA") and are to be dedicated to The City of Calgary as ER, pursuant to the MGA. Pursuant to the Plan, the Subdivision Authority may permit an applicant to damage or destroy Class III and above wetland(s) provided that prior to the approval of the affected Tentative Plan and/or Development Permit, the applicant shall:

- a. Execute a *Wetland Compensation Agreement* to the satisfaction of The City of Calgary Parks department and The City of Calgary Law department, to provide compensation for the loss or alteration of the Class III and above wetland(s); and
- b. Strictly comply with the provisions of the *Wetland Compensation Agreement*. Each obligation therein shall constitute: (i) a condition of subdivision or development approval which shall be enforceable under the MGA and (ii) a condition of the Water Act approval which shall be enforceable under the *Water Act* (Alberta).

Note that the Plan can be viewed online at:

[http://www.calgary.ca/CSPS/Parks/Documents/Planning-and-Operations/Natural-Areas-and-Wetlands/wetland\\_conservation\\_plan.pdf](http://www.calgary.ca/CSPS/Parks/Documents/Planning-and-Operations/Natural-Areas-and-Wetlands/wetland_conservation_plan.pdf) or by searching 'Calgary Wetland Conservation Plan' on the City's official website ([www.calgary.ca](http://www.calgary.ca)).

53. Pursuant to Part 4 of the *Water Act* (Alberta), the applicant shall promptly provide Parks with a copy of the *Water Act* approval, issued by Alberta Environment, for the proposed wetland disturbance.
54. Until receipt of the *Water Act* approval by the applicant from Alberta Environment, the wetland(s) affected by the development boundaries shall not be developed or disturbed in anyway and shall be protected in place.
55. The developer shall submit detailed Engineering Construction Drawings and Landscape Construction Drawings for the proposed storm pond to both Water Resources and Parks for review.
56. **Prior to approval of the tentative plan**, provide a public access easement agreement for review to the CPAG Functional Generalists - City of Calgary Planning and Parks for the private green spaces (DC/R-G, Site 2) - green courts and pathways to ensure they will be publicly accessible with registration on all applicable titles prior to endorsement of the tentative plan. (REVISED)

### Conditions of Approval

57. **Prior to the approval of the affected Tentative Plan**, it shall be demonstrated through concepts and cross-sections that the local pathway around the stormwater pond is located outside of the high water line.
58. Construct all regional pathway routes within and along the boundaries of the plan area according to Parks' ***Development Guidelines and Standard Specifications – Landscape Construction*** (current version), including setback requirements, to the satisfaction of the Director, Parks.
59. Plant all public trees in compliance with the approved Public Landscaping Plan.
60. **Prior to the approval of the affected tentative plan**, finalized concept plans for all MR and MSR sites shall be submitted for Parks' review and approval.
61. **Prior to the approval of the affected tentative plan**, the developer shall confirm fencing requirements adjacent to MR, MSR and ER parcels to the satisfaction of the Director, Calgary Parks.
62. **Prior to approval of the first tentative plan or stripping and grading permit** (whichever comes first), it shall be confirmed that grading of the development site will match the existing grades of adjacent parks and open space (MR and/or ER), with all grading confined to the private property, unless otherwise approved by Parks. There shall be no point source or sheet drainage directed towards parks parcels (MR or MSR) sites. All drainage infrastructure including concrete swales shall be located on private property.

## **Applicant's Submission**

On behalf of Dream Development (Dream), Stantec Consulting Ltd. is pleased to submit the enclosed Outline Plan (OP) and Land Use Redesignation (LUR) for the lands legally described as NE 36-22-2-W5M; municipally addressed 15113 37th Street SW.

The plan area is in proximity to Highway 22X to the south, has direct access to the Southwest Ring Road (SWRR) on the east, and is across the SWRR from the existing residential community of Evergreen. The proposed OP layout aligns closely with the Area Structure Plan (ASP), including land use mix, intensity, and location.

In Providence, the central amenity is the community itself – its attributes, centered on walkability, progressive urban form, jobs, public space, daily amenities, and social connection, contribute to a quality of life that is unparalleled amongst new communities. The Providence ASP area offers a full array of housing choice, jobs, amenities, and services that benefit all of the surrounding neighbourhoods in southwest Calgary, providing a true city within the city.

Two unique housing choices of note proposed within the Outline Plan include shallow rowhomes with varying lot depths and widths, as well as, as well as five large green court blocks. The rowhomes provide unique and affordable housing options for Calgarians, incorporating a fine grain block with units accessed from the lane, specifically designed to enhance the streetscape and public realm, and located near open spaces and amenities reducing the need for every unit to provide large private outdoor space. The green court blocks include parks flanked by fee simple, park front homes that are accessed and address from an enhanced lane. These green court parks are publicly accessible private open spaces, owned and maintained through a Home Owners Association (HOA).

To accommodate the unique nature of the proposed housing typologies, a Direct Control (DC) District is proposed to account for the following bylaw considerations:

**Site 1:** nonstandard lot depths of rowhomes, and

**Site 2:** classify *Single-detached* and *Semi-detached Dwellings* as *discretionary uses* within the green courts to allow for Development Authority review on access and servicing.

As part of the Providence ASP requirements Dream began early and on-going engagement with the Tsuut'ina Nation. Through open dialogue between Dream and the Tsuut'ina Nation the OP, LUR, and future community naming application continues to provide an opportunity to share input, issues, and concerns, and explore new opportunities.





## Proposed Outline Plan

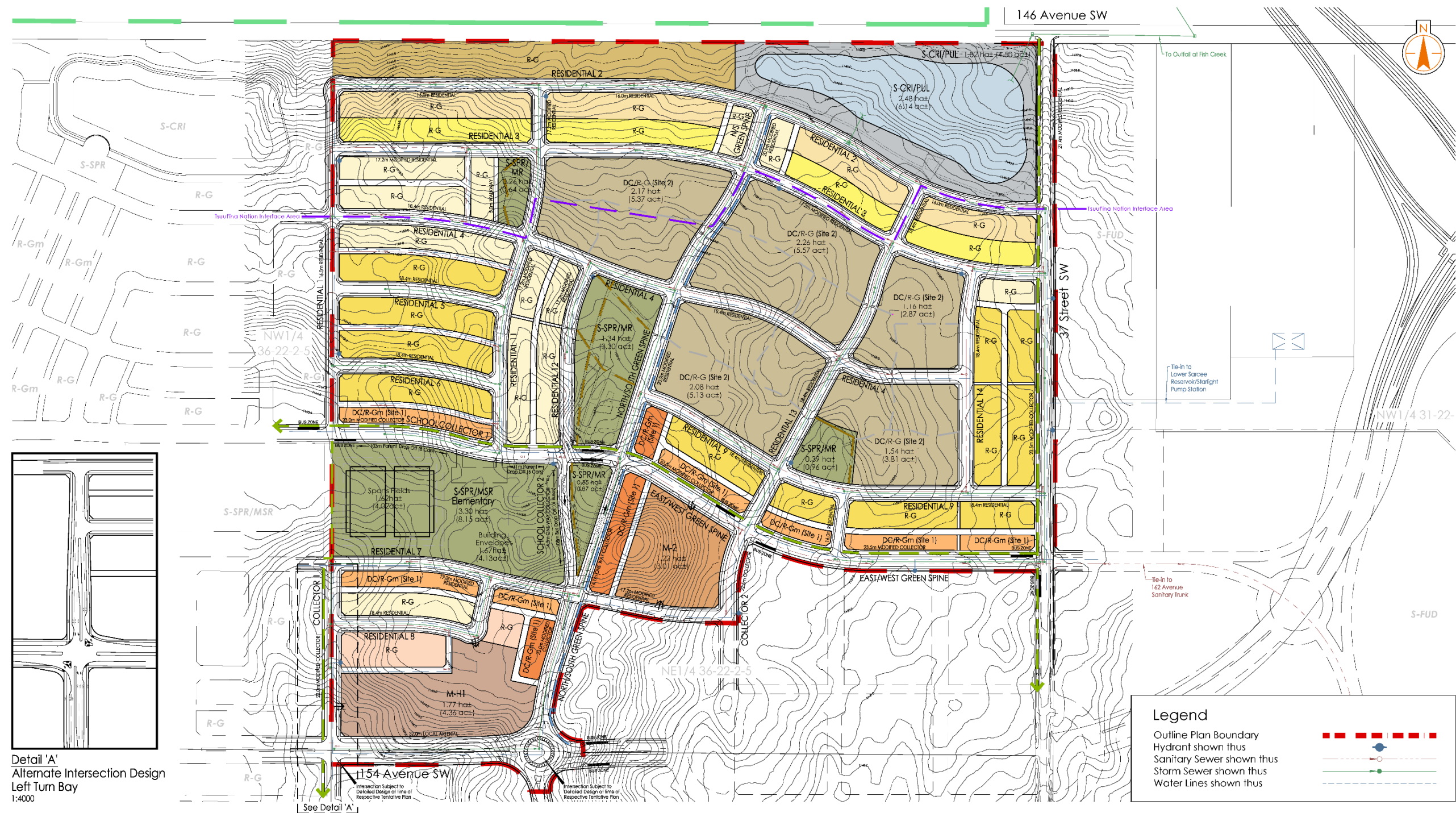


FIGURE 1.0 | PROVIDENCE

## Outline Plan

PREPARED FOR: DREAM DEVELOPMENTS

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**dream**  **Stantec**  
Design with community in mind

116500475  
November 13, 2018

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Proposed Outline Plan
















Total Area Outlined		56.38 ha± (139.31 ac±)	
Residential Areas Within 200m Tsuut'ina Interface Area			
	R-G (Country Wide - depth 42.0m) Approximate Frontage Ant. No. of Lots (18.5m)	1.97 ha± (4.87 ac±) 458 m± (1,502 ft±) ±24 Lots	
	R-G (Vintage Wide - depth 30.0m) Approximate Frontage Ant. No. of Lots (16.0m)	1.68 ha± (4.16 ac±) 558 m± (1,830 ft±) ±34 Lots	
	R-G (Vintage Wide - depth 26.0m) Approximate Frontage Ant. No. of Lots (16.0m)	1.23 ha± (3.05 ac±) 470 m± (1,542 ft±) ±29 Lots	
	R-G (Vintage Wide - depth 27.0m) Approximate Frontage Ant. No. of Lots (16.0m) (*Based on Vintage Wide - 26m. Additional 1m added to account for 3.7m shallow utility easement)	1.48 ha± (3.66 ac±) 547 m± (1,794 ft±) ±34 Lots	
	DC/R-G (Site 2)	1.22 ha± (3.02 ac±) ±32 Units	
Anticipated Density	$\frac{24+34+29+34+32=153}{15.79 \text{ ha} \pm (39.02 \text{ ac} \pm)}$ =9.69 upha± (3.9 upac±)		
Residential Areas Outside 200m Tsuut'ina Interface Area			
	R-G (Carriage Way - depth 40.0m) Approximate Frontage Ant. No. of Lots (9.1m)	0.62 ha± (1.54 ac±) 158 m± (518 ft±) ±17 Lots	
	R-G (Slim Laned - depth 31.0m) Approximate Frontage Ant. No. of Lots (7.5m)	4.71 ha± (11.64 ac±) 1,507 m± (4,944 ft±) ±200 Lots	
	R-G (Vintage Wide - depth 30.0m) Approximate Frontage Ant. No. of Lots (16.0m)	0.40 ha± (1.00 ac±) 133 m± (436 ft±) ±8 Lots	
	R-G (Vintage Wide - depth 26.0m) Approximate Frontage Ant. No. of Lots (16.0m)	2.19 ha± (5.40 ac±) 830 m± (2,723 ft±) ±51 Lots	
	R-G (Vintage Wide - depth 27.0m) Approximate Frontage Ant. No. of Lots (16.0m) (*Based on Vintage Wide - 26m. Additional 1m added to account for 3.7m shallow utility easement)	0.40 ha± (0.98 ac±) 145 m± (475 ft±) ±9 Lots	
	DC/R-Gm (Site 1) (Townhouse - depth 24.0m) Approximate Frontage Ant. No. of Lots (6.5)	0.65 ha± (1.60 ac±) 266 m± (872 ft±) ±40 Lots	
	DC/R-Gm (Site 1) (Townhouse - depth 17.5m) Approximate Frontage Ant. No. of Lots (6.5)	1.43 ha± (3.52 ac±) 817 m± (2,680 ft±) ±125 Lots	
	DC/R-G (Site 2)	7.98 ha± (19.72 ac±) ±165 Units	
	M-H1 Ant. Avg. Density (210 upha)	1.77 ha± (4.36 ac±) ±371 Units	
	M-2 Ant. Avg. Density (100 upha)	1.22 ha± (3.01 ac±) ±122 Units	
Anticipated Density	$\frac{17+200+8+51+9+40+125+165+371+122=1,108}{40.59 \text{ ha} \pm (100.29 \text{ ac} \pm)}$ =27.30 upha± (11.0 upac±)		
Areas of Public Dedication			
Roads		17.49 ha± (43.22 ac±) (31.0%)	
S-CRI		4.30 ha± (10.64 ac±) (7.6%)	
Total Public Dedication		21.79 ha± (53.86 ac±) (38.6%)	
Open Space Areas			
S-SPR (MR)		2.34 ha± (5.77 ac±)	
S-SPR (MSR)		3.30 ha± (8.15 ac±)	
Total Open Space		5.64 ha± (13.92 ac±) (10.0%)	

FIGURE 2.0 | PROVIDENCE  
Outline Plan Statistics

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Proposed Outline Plan

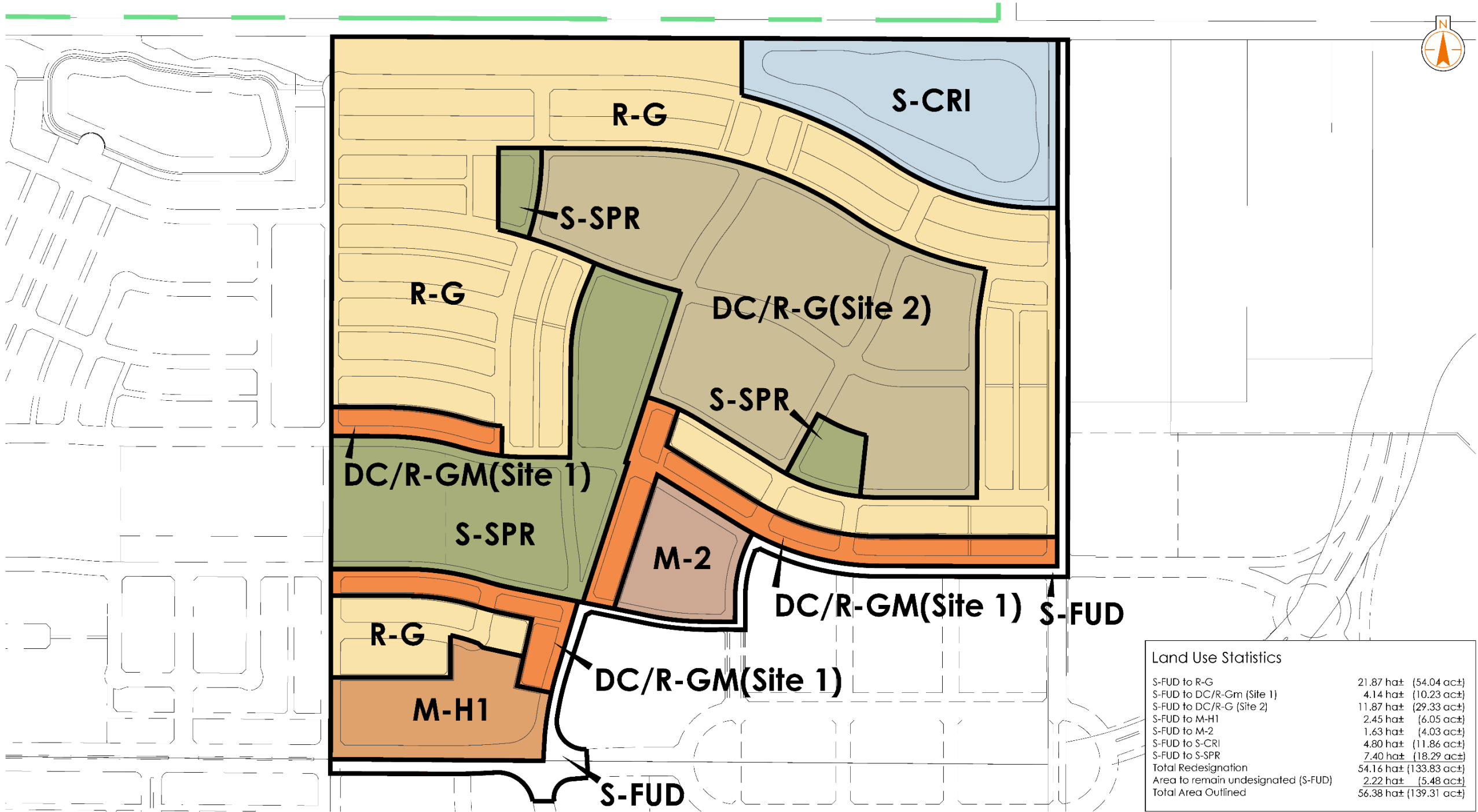


FIGURE 3.0 | PROVIDENCE  
**Proposed Land Use Redesignation**

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# Proposed Outline Plan

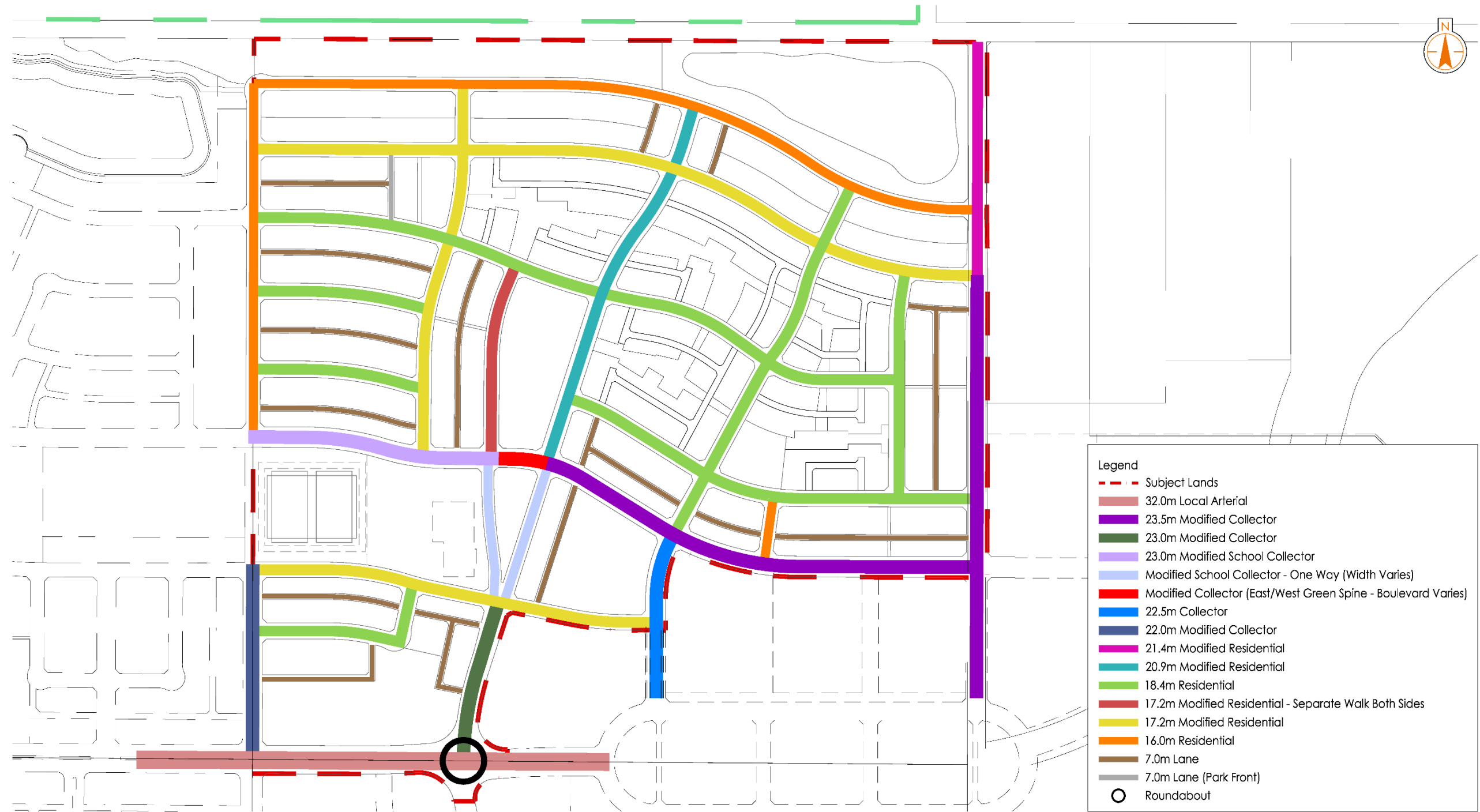


FIGURE 4.0 | PROVIDENCE

## Street Standard Key Map

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**dream** **Stantec**  
Design with community in mind

116500475

November 13, 2018

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Proposed Outline Plan

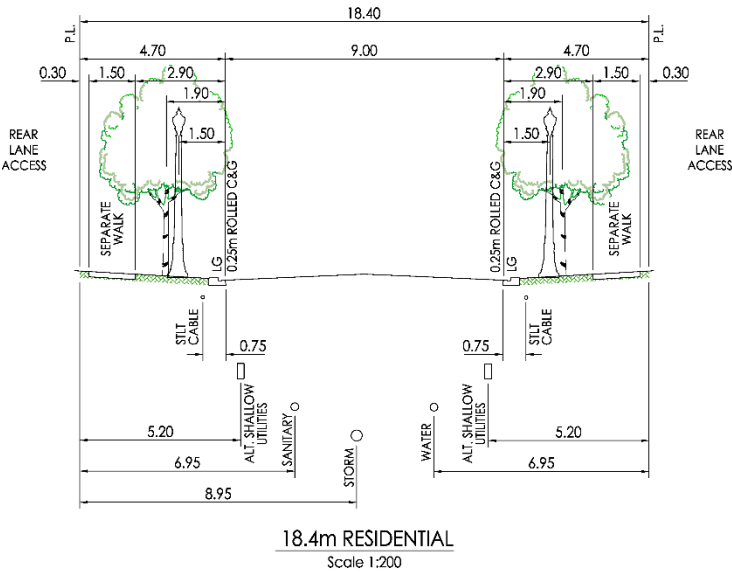
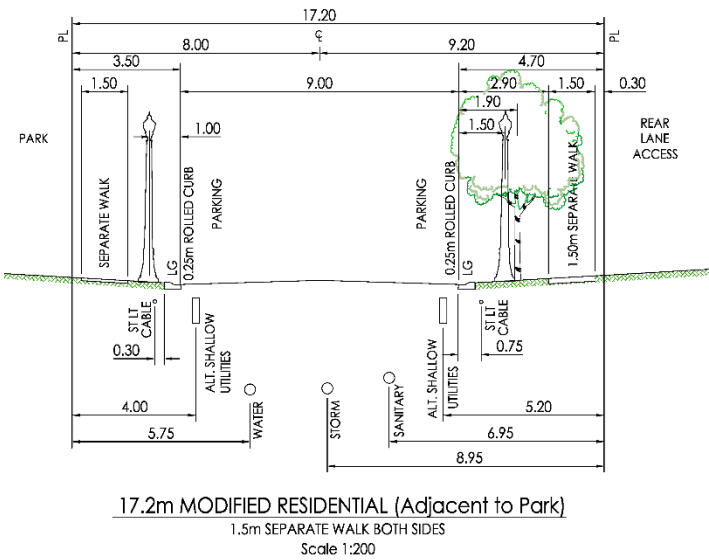
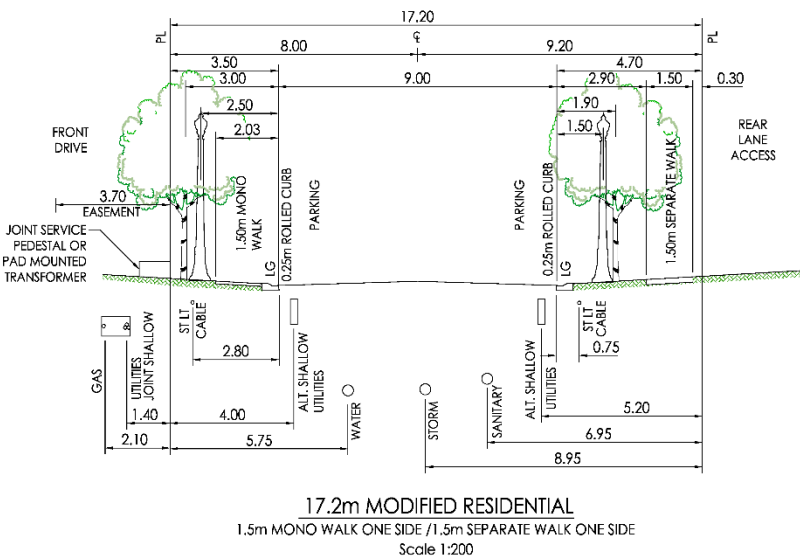
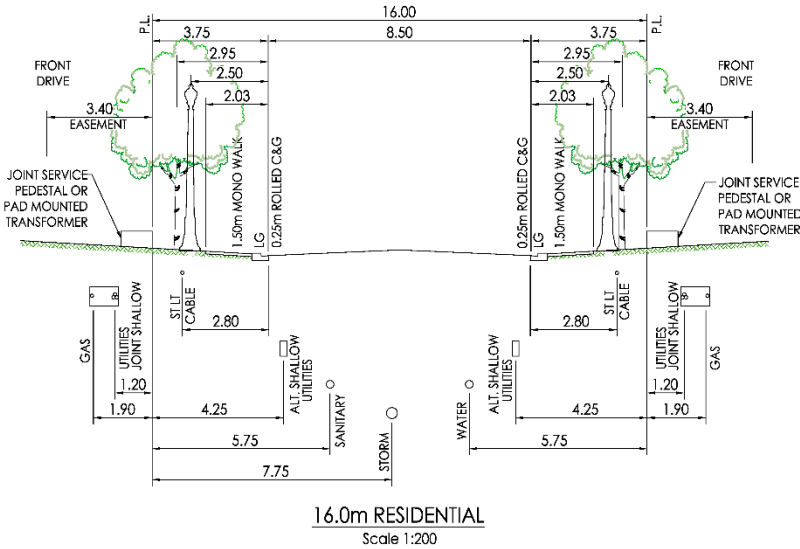


FIGURE 5.0 | PROVIDENCE  
**Street Cross Sections**

PREPARED FOR: DREAM DEVELOPMENTS

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Proposed Outline Plan

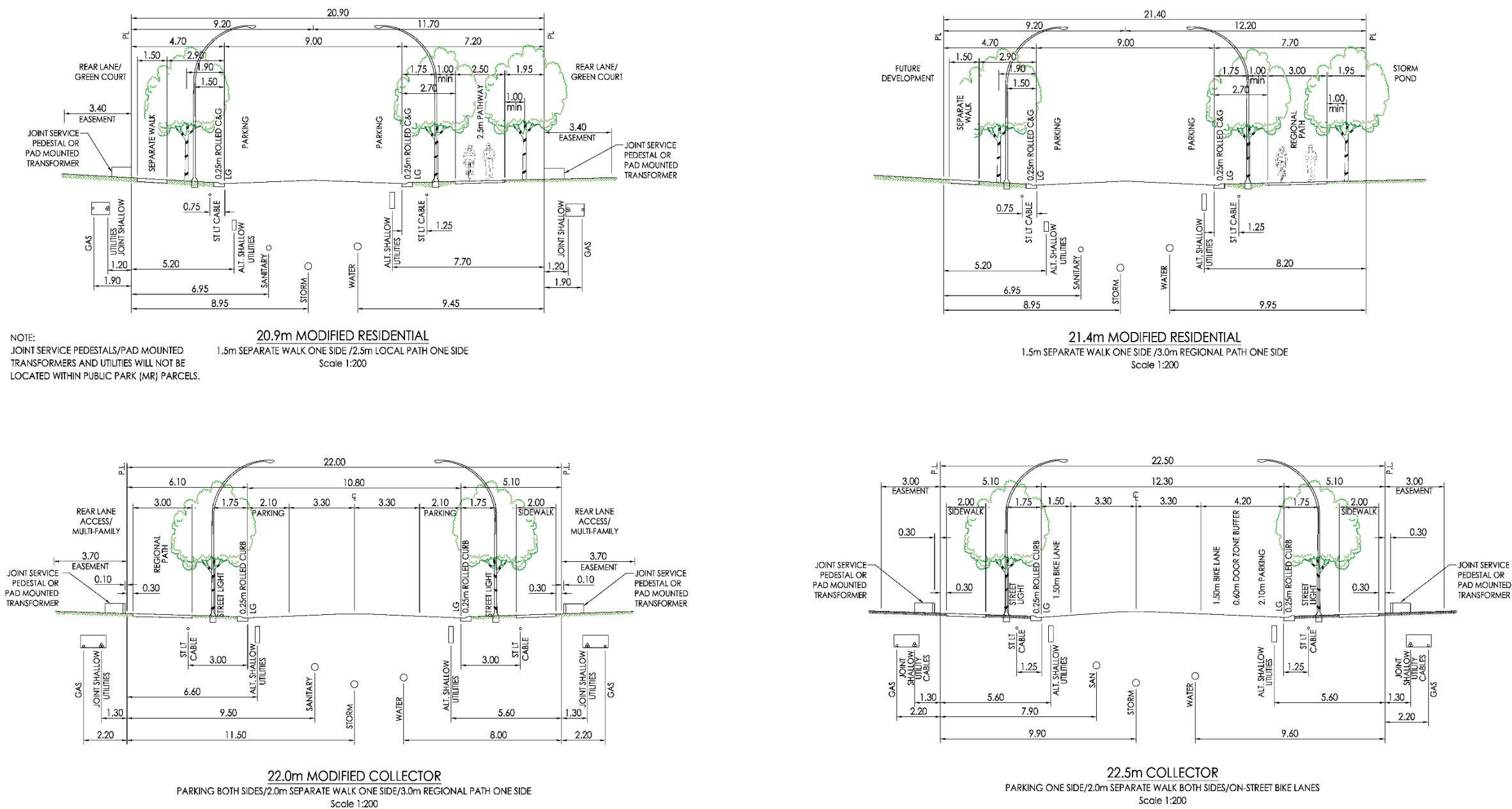


FIGURE 6.0 | PROVIDENCE  
**Street Cross Sections**

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Proposed Outline Plan

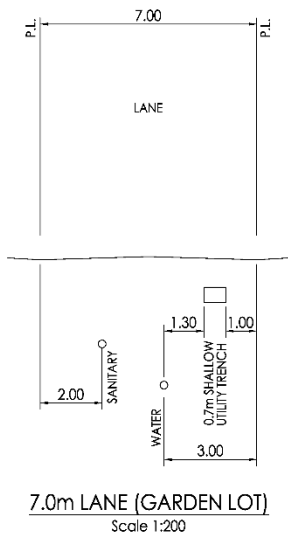
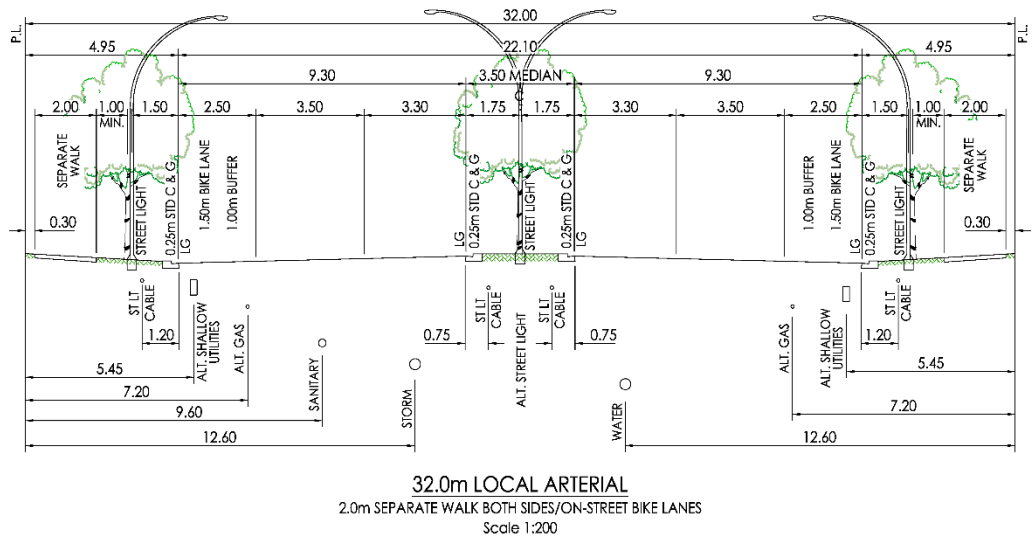
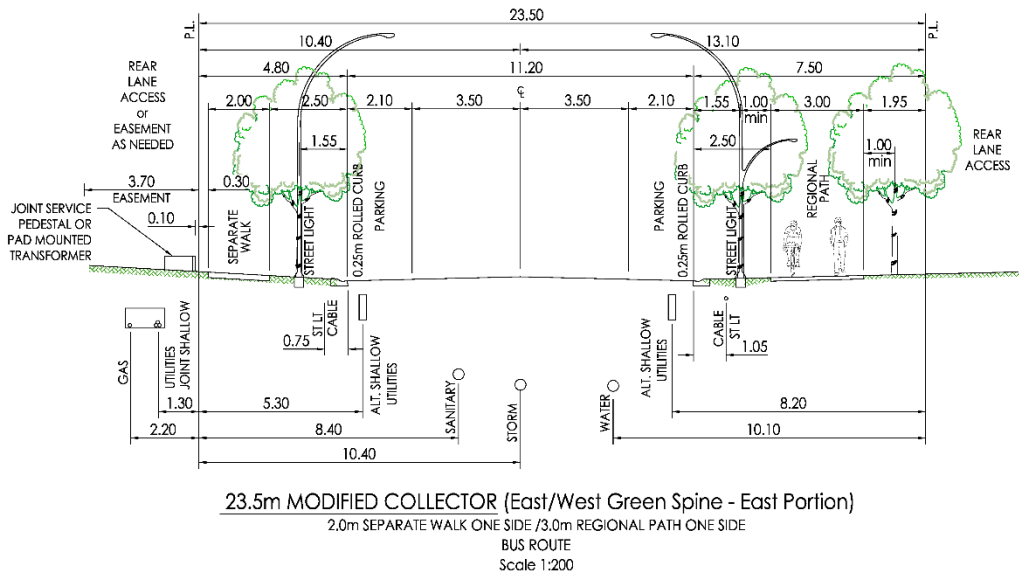


FIGURE 8.0 | PROVIDENCE  
**Street Cross Sections**

PREPARED FOR: DREAM DEVELOPMENTS

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Proposed Outline Plan

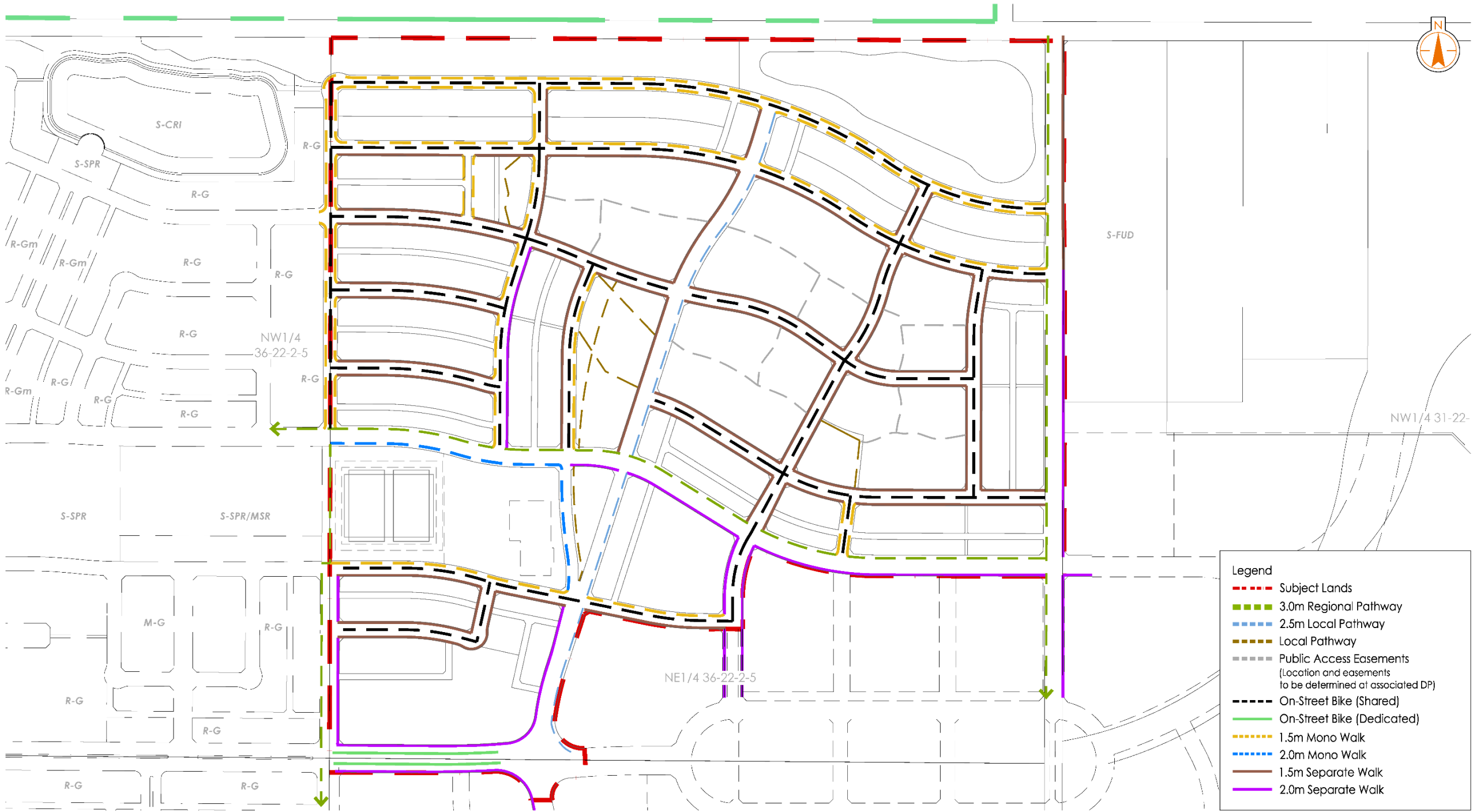


FIGURE 9.0 | PROVIDENCE  
**Active Modes Infrastructure**

PREPARED FOR: DREAM DEVELOPMENTS  
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### Subdivision Data Sheet

	HECTARES	ACRES
GROSS AREA OF PLAN	56.38	139.31
LESS: ENVIRONMENTAL RESERVE		
LESS: LAND PURCHASE AREA		
NET DEVELOPABLE AREA	56.38	139.31

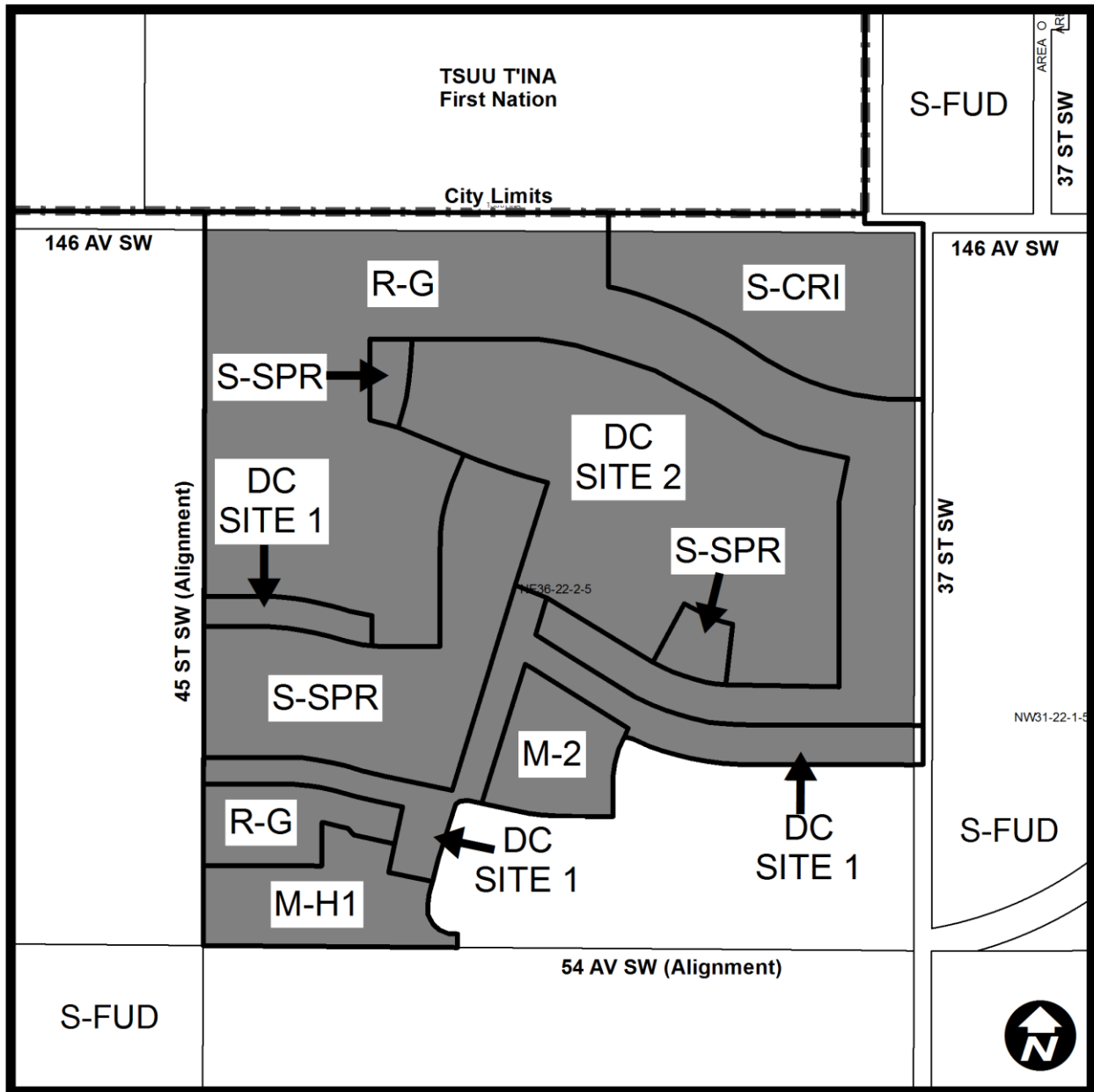
LAND USE (Residential)	HECTARES	ACRES	# OF LOTS	# OF UNITS (FOR MULTI RESIDENTIAL)
R-G	14.68	36.30	406	
DC/R-Gm (Site 1)	2.08	5.12	165	
DC/R-G (Site 2)	9.20	22.74	197	
M-H1	1.77	4.36	1	371
M-2	1.22	3.01	1	122
Total Residential	28.95	71.52	770	
(Non-Residential)	N/A			

	HECTARES	ACRES	% OF NET AREA
ROADS (CREDIT)	17.49	43.22	31.0
PUBLIC UTILITY LOT	4.30	10.64	7.6

RESERVES	HECTARES	ACRES	% OF NET AREA
MR	2.34	5.78	4.15
MSR	3.30	8.15	5.85
MR (NON-CREDIT)			



### Proposed Land Use District Map





## Summary of Applicant's Indigenous Engagement

### 1. BACKGROUND

On December 8, 2015, City Council approved the Providence Area Structure Plan (ASP), for the lands located south of Tsuut'ina Nation along 146 Avenue SW. In the approved ASP, two policies **5.1 Tsuut'ina Interface Area** and **9.3 Future Tsuut'ina Nation Engagement** were included to address privacy of Tsuut'ina citizens, access to 146 Avenue SW, protection of watercourses, trespassing on to Tsuut'ina lands and burial sites. Additionally, The City committed to work with land developers to develop an engagement process with Tsuut'ina Nation on future outline plan/land use amendment applications.

### 2. APPROACH

In July 2017, Dream/Qualico conducted early engagement with the Tsuut'ina Nation to discuss engagement preferences and explore how to establish a long-term relationship with the Tsuut'ina Nation and Tsuut'ina citizens.

Between July 2017 and September 2018, Dream/Qualico have participated in several conversations, meetings, events, and a site visit to understand issues, concerns, and associated opportunities related to the proposed developments.

In the attached **Table 1.0, ASP Identified Concerns and Policy Requirements** is a summary of how policy requirements were addressed through the design of the development of the engagement process and resolved through the dialogue with Tsuut'ina Nation. Attached in **Table 2.0, High-level Summary of Tsuut'ina Engagement Activities** is an overview of the engagement that has occurred to date.

### 3. NEXT STEPS

- Dream and Qualico are speaking with Tsuut'ina Nation in order for them to confirm if there are any objections to using any of the provided community names.
- Tsuut'ina Nation have committed to provide a Field Report from a site visit that was held on July 10, 2018. Once the report received, any of the discussed adjustments to design will be accommodated.
- Dream and Qualico have organized a Tsuut'ina Nation Community Neighbour Barbeque on the Dream site. Tsuut'ina residents along 146 Avenue SW and Chief and Council have been invited. The event will provide an opportunity to share an update on the project and discuss any issues, concerns, or opportunities. Additionally, this event will also support Dream's/Qualico's development of a long-term relationship with the Tsuut'ina Nation and Tsuut'ina residents.

### 4. CLOSURE

Dream/Qualico are committed to maintaining an ongoing dialogue with Tsuut'ina Nation and fostering a long-term relationship.

**Further Documentation:** Following is a list of the engagement with Tsuut'ina Nation by Dream and Qualico along with an overview of the topics discussed. Meeting notes can be found in the informational binder that was provided to The City on May 8, 2018.



## Summary of Applicant's Indigenous Engagement

**Table 1.0, ASP Identified Concerns and Policy Requirements**

5.1 Tsuut'ina Interface Areas	Dream/Qualico Response
<p><b>ASP Identified Concerns:</b></p> <p>During the engagement associated with the ASP in 2015, Tsuut'ina Nation identified the following concerns:</p> <ul style="list-style-type: none"> <li>a) Maintaining a sense of privacy and separation from the city</li> <li>b) Minimizing impact on Nation Citizens living adjacent to the plan area</li> <li>c) Protecting places of significance</li> <li>d) Protecting watercourses leading to and flowing through the Nation</li> <li>e) Maintaining road access along 146 Ave SW for Nation residents</li> <li>f) Clearly delineating the Nation's boundary during any construction and after development is completed</li> <li>g) Discouraging trespassing onto Nation land</li> </ul>	<p>In response to ASP identified concerns similar concerns were mentioned in the engagement regarding the proposed development. The following is a summary of how the concerns have been addressed:</p> <ul style="list-style-type: none"> <li>• Proposed development has been set back development from 146 Ave SW and neighbour Tsuut'ina citizens</li> <li>• No vehicle access to 146 Ave SW has been provided from proposed development, except for emergency vehicle access</li> <li>• Density of development along 146 Ave SW has also been reduced, to respect privacy and separation.</li> <li>• During a site visit with Tsuut'ina Nations field staff, one area between the Dream and Qualico developments was identified as important. Both developers have committed to work with Tsuut'ina to identify an appropriate way to address this area.</li> <li>• In discussions with Tsuut'ina citizens along 146 Ave SW, it was decided by that they preferred a combination of a fence and vegetation along the developer's property line to provide privacy and security from those trespassing on to Tsuut'ina Nation from the proposed development.</li> <li>• There is only one watercourse traveling between Qualico's land and Tsuut'ina Nation; during discussions with the Nation, Qualico committed to ensure that any existing flow of water to the Nation would be maintained as long as desired.</li> <li>• Dream/Qualico committed to Tsuut'ina Nation that during construction that Tsuut'ina Nation boundary between clearly delineated.</li> <li>• In response to trespassing, Dream/Qualico committed to address the concern of trespassing in new homeowner packages, making residents aware of the location of the Tsuut'ina Nation boundary and making them aware of that trespassing will not be tolerated by the Nation.</li> </ul>

## Summary of Applicant's Indigenous Engagement

<p><b>ASP Policies:</b></p> <ol style="list-style-type: none"> <li>1. The Tsuut'ina Nation Interface Area is shown conceptually on Map 4: Interface Areas and should apply to those lands within approximately 200 metres of The City of Calgary boundary.</li> <li>2. Development within the Tsuut'ina Nation Interface Area will be residential and will be developed to a maximum density of 12 units per hectare (5 units per acre). Land within this Interface Area will be subtracted from the density and intensity calculations for Community A and Neighbourhoods 1 and 2.</li> <li>3. Opportunities for wider lots and housing design that minimize overlook on Tsuut'ina Nation land should be explored at the Outline Plan/Land Use Amendment stage.</li> <li>4. The Tsuut'ina Nation boundary should be clearly delineated during construction and upon completion of development to discourage trespassing.</li> <li>5. The City will continue to provide access to 146 Avenue SW for Tsuut'ina Nation.</li> </ol>	<p>The 200m interface area has been address in the proposed development by:</p> <ul style="list-style-type: none"> <li>• Residential density along 146 Ave SW being reduced to a maximum of 12 units per hectare (5 units per acre).</li> <li>• To reduce overlook onto Tsuut'ina Nation wider lots and housing setback from 146 Ave SW has been proposed. Cross-sections of the interface area have been shown to Tsuut'ina Nation illustrating the distance between existing homes on Tsuut'ina Nation and the possible future homes. The proposed stormwater management ponds identified on both Dream an Qualico developments, helps to provide separation from the Tsuut'ina citizens along 146 Ave SW.</li> <li>• Dream/Qualico committed to Tsuut'ina Nation that during construction that Tsuut'ina Nation boundary between clearly delineated.</li> </ul>
<p><b>9.3 Future Tsuut'ina Nation Engagement</b></p>	<p><b>Dream/Qualico Response</b></p>
<p><b>ASP Policies:</b></p> <ol style="list-style-type: none"> <li>1. At the Outline Plan/Land Use Amendment stage, The City should work with applicants and the Tsuut'ina Nation to develop an engagement process during which adjacent Tsuut'ina Nation residents are informed</li> </ol>	<p>Since July 2017, Dream/Qualico have held early engagement with Tsuut'ina Nation, and work collaboratively with the Nation to identify meaningful engagement activities. During the engagement held between July 2017 and September 2018, Dream/Qualico:</p> <ul style="list-style-type: none"> <li>• Attended several meetings with Tsuut'ina Nation Consultation Department staff;</li> <li>• Facilitated a half-day workshop with the Tsuut'ina Elders Committee Meeting;</li> </ul>

## Summary of Applicant's Indigenous Engagement

<p>about the application and an opportunity for The City to solicit the Nation's adjacent residents' input is provided.</p> <p>2. Developers are strongly encouraged to work with the Tsuut'ina Nation to develop a process to respectfully manage any archaeological resources or burial sites that are found during the development process. The City may act as an intermediary in this process to facilitate an acceptable and timely outcome for both the applicant and the Nation, but has no jurisdictional authority or responsibility to manage any burial sites.</p>	<ul style="list-style-type: none"> <li>• Held a community dinner and workshop for Tsuut'ina citizens along 146 Ave SW;</li> <li>• Facilitated a half-day information session with the City of Calgary and Tsuut'ina Nation staff and Elders;</li> <li>• Facilitated a two-day information session with Tsuut'ina Nation staff, community members and Elders;</li> <li>• Commissioned a Tsuut'ina Nation Consultation Department Site Visit and Field Assessment; and,</li> <li>• Participated in the Grand Entry of the Tsuut'ina Nation Pow Wow and attended the Tsuut'ina Nation Rodeo.</li> </ul> <p>Although the formal engagement for this phase of the project is now complete, Dream/Qualico are committed to maintaining an on-going dialogue and building a long-term relationship with Tsuut'ina Nation and Tsuut'ina citizens.</p>
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**Table 2.0, High-level Summary of Tsuut'ina Engagement Activities**

Engagement Summary
<p><b>July 17, 2017 Meeting – Dream, Qualico, and Tsuut'ina</b></p> <ul style="list-style-type: none"> <li>• The purpose of the meeting was intended to commence early engagement with Tsuut'ina Nation and to help establish a long-term relationship</li> <li>• Dream and Qualico shared an overview and background package of the proposed development</li> <li>• The Nation provided the following: <ul style="list-style-type: none"> <li>○ No access from the future development to 146 Avenue SW should be provided</li> <li>○ There is an opportunity to have a Tsuut'ina names use for the community name</li> <li>○ Residents are concerned about the interface between the development and their homes along 146 Avenue SW</li> <li>○ Concern was expressed about potential burial sites on the future site and how sites would be handled</li> <li>○ The Nation is interested in learning more about procurement opportunities</li> <li>○ Early engagement was appreciated as it provides time to properly discuss the future development</li> </ul> </li> </ul>

## Summary of Applicant's Indigenous Engagement

### August 24, 2017 Meeting - Dream, Qualico, and Tsuut'ina

- Dream and Qualico committed to not access their developments via 146 Ave SW, with the exception of emergency access
- The Nation requested that mature trees along the boundary remain and that Dream/Qualico plant equivalent trees if any had to be removed
- Dream and Qualico will install signage and include information in the New Homeowner's packages to discourage trespassing on Tsuut'ina Nation
- The Nation's consultation team will meet with 146 Ave SW residents to discuss the project and report back findings to Dream and Qualico
- The Nation was concerned about wildlife corridors. Dream shared that there was a report that was completed recently that addressed wildlife corridors and that a copy of the report would be shared with Tsuut'ina.

### September 5, 2017 Meeting - Dream, Qualico, and Tsuut'ina

- Dream, Qualico, and Tsuut'ina Nation discussed setting up a booth in the administration building in concert with a Tsuut'ina planned community event
- Further to the request from the last meeting, a copy of the wildlife / biophysical impact report was provided to Tsuut'ina for review
- Chief Crowchild has requested a memo to learn more about the project and the engagement process to date

### November 8, 2017 Meeting - Dream, Qualico, and Tsuut'ina

- Dream and Qualico presented possible fencing options for 146 Ave SW and requested feedback from the Nation
- The Nation shared some questions they heard during engagement with 146 Ave SW residents, which included: concerns regarding trespassing, access to 146 Ave SW, fencing along 146 Ave SW, the name of the future community, procurement and employment opportunities, and general questions about the development and developers

### November 29, 2017 - Dream, Qualico, and Tsuut'ina (including residents and Elder)

- Dream and Qualico provided an overview of the project then opened up the floor for questions and discussion
- Some of the topics discussed included:
  - Trespassing, 146 Avenue, utility services, fencing options, development size and details
- Residents reviewed fencing options and decided on the one that appeared the most like natural vegetation to be their preferred choice

### May 8, 2018 - Dream, Qualico, City of Calgary, and Tsuut'ina (including an Elder)

- Dream and Qualico provided an overview of project, followed by question and answer discussion
- Some of the topics reviewed included:
  - A burial site on Tsuut'ina Nation near the project adjacent to the future development
  - Possibility of additional trespassing and criminal activity associated with the future development

## Summary of Applicant's Indigenous Engagement

<ul style="list-style-type: none"> <li>○ Future development access 146 Ave SW, Tsuut'ina doesn't want 146 Ave SW to become congested with traffic from the development</li> <li>○ Planned water and sewer services and whether Tsuut'ina Nation would be able to connect into these services in the future</li> <li>○ Employment and procurement opportunities are important to Tsuut'ina citizens</li> <li>• An Tsuut'ina elder shared that they felt comfortable and more confident in the project after this meeting</li> <li>• Tsuut'ina Nation expressed an interest in building long-term relationships and invited Dream, Qualico, and The City to take part in their Pow Wow and Rodeo</li> <li>• Tsuut'ina recommended that prior to development taking place a ceremony be held for both Dream and Qualico projects</li> </ul>
<p><b>July 4, 2018 – Tsuut'ina and AACI (on behalf of Dream and Qualico)</b></p> <ul style="list-style-type: none"> <li>• Tsuut'ina identified that July 16-17 would be the best dates for meeting with Nation Elders, Tsuut'ina Planning Committee, and Chief and Council members</li> <li>• Meeting logistics, agenda topics, and items were identified for the July 16-17 meeting</li> <li>• Early details regarding the Tsuut'ina Pow Wow and Rodeo were shared</li> </ul>
<p><b>July 10, 2018 – Dream, Qualico, and Tsuut'ina (Field Crew including an Elder)</b></p> <ul style="list-style-type: none"> <li>• Tsuut'ina Nation conducted a field visit of both the Dream and Qualico lands</li> <li>• One potential site was discovered <ul style="list-style-type: none"> <li>○ The site was documented and photographed, Tsuut'ina committed to follow up on how sensitive the site was and commented that they could potentially propose some possible mitigations</li> </ul> </li> <li>• Tsuut'ina will prepare a Field Assessment Report and will share it with Dream and Qualico</li> </ul>
<p><b>July 15, 2018 - Dream, Qualico, City of Calgary, and Tsuut'ina (including Elders)</b></p> <ul style="list-style-type: none"> <li>• Possible community names were presented and discussed</li> <li>• Dream and Qualico provided a list of potential names and Tsuut'ina review and comment on the potential community names</li> <li>• Concerns regarding the project were discussed and previous responses were provided by Dream and Qualico <ul style="list-style-type: none"> <li>○ Concerns included: issues of trespassing and crime in the area, whether transit service would be offered in the area, if water and sewage services could be extended to the Nation, whether a monitoring plan could be prepared, access from the development to 146 Ave SW, and procurement</li> </ul> </li> <li>• Details were provided regarding the upcoming Pow Wow and Rodeo, Dream and Qualico were invited to attend and take part in the Grand Entry</li> </ul>
<p><b>July 16, 2018 - Dream, Qualico, City of Calgary, and Tsuut'ina (including Elders)</b></p> <ul style="list-style-type: none"> <li>• Dream and Qualico provided an overview of the project and what is planned and how the plans will mitigate the concerns that have been raised already</li> <li>• Discussion of potential community names continued</li> <li>• An overview of the site visit that took place in July was shared</li> </ul>

### **Summary of Applicant's Indigenous Engagement**

- Elders requested to be able to collect medicines that are growing in the area before construction begins
- Tsuut'ina requested to monitor the excavation and watch for any artifacts or significant findings
- Procurement was reviewed
- Potential ways to build a long-term relationship with the community were explored and how that relationships could continue after construction was completed

#### **Tsuut'ina Nation Pow Wow and Rodeo, July 28-29, 2018 – Dream and Qualico**

- Dream and Qualico participated in the Pow Wow Grand Entry on July 28, 2018, and attended the Pow Wow and Rodeo.





Planning & Development Report to  
Calgary Planning Commission  
2018 November 29

ISC: UNRESTRICTED  
CPC2018-1365  
Page 1 of 6

## Land Use Amendment in Royal Vista (Ward 1) at 8 and 14 Royal Vista Link NW, LOC2018-0004

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### EXECUTIVE SUMMARY

This application was submitted by Sha-Lou Enterprises on 2018 January 05, on behalf of the landowner LTCM Incorporated (Aaron Renert). The application proposes to change the land use district of the subject site from DC Direct Control District and Industrial - Business (I-B) District to DC Direct Control District. The proposed DC District is based on the Industrial-Business (I-B) District. It is the intent of the application to:

- clean up the land use across the subject site and to retain the existing industrial uses of the Industrial - Business (I-B) District;
- allow the additional uses of School - Private and Child Care Service on both parcels of the subject site; and
- retain the existing floor area ratio (f1.0) and height (h16.0) with no changes from the current land use districts.

The proposal is in keeping with the applicable policies of the *Municipal Development Plan* (2009) and the *North Regional Context Study* (2010).

### ADMINISTRATION RECOMMENDATION:

That Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 2.13 hectares  $\pm$  (5.26 acres  $\pm$ ) located at 8 and 14 Royal Vista Link NW (Plan 1711692, Block 7, Lot 12; Plan 0813886, Block 7, Lot 7) from DC Direct Control District and Industrial - Business (I-B) District to DC Direct Control District based on the Industrial - Business (I-B) District to accommodate a private school and child care services, with guidelines (Attachment 2); and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

None.

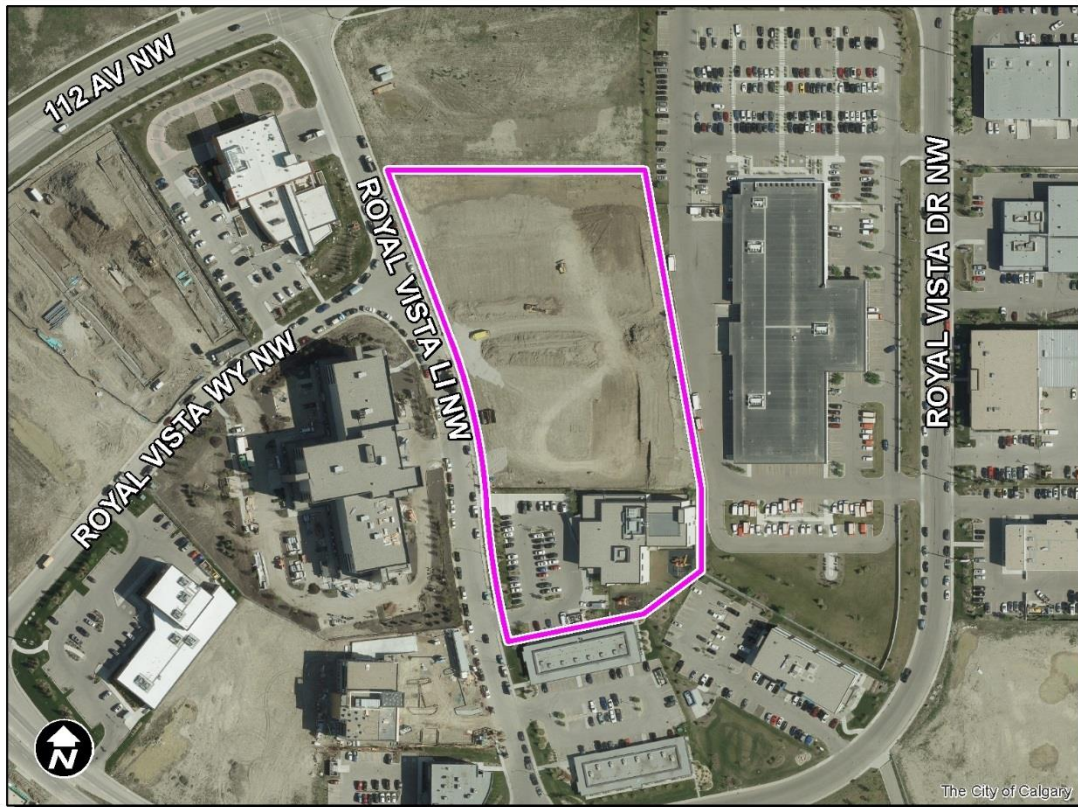
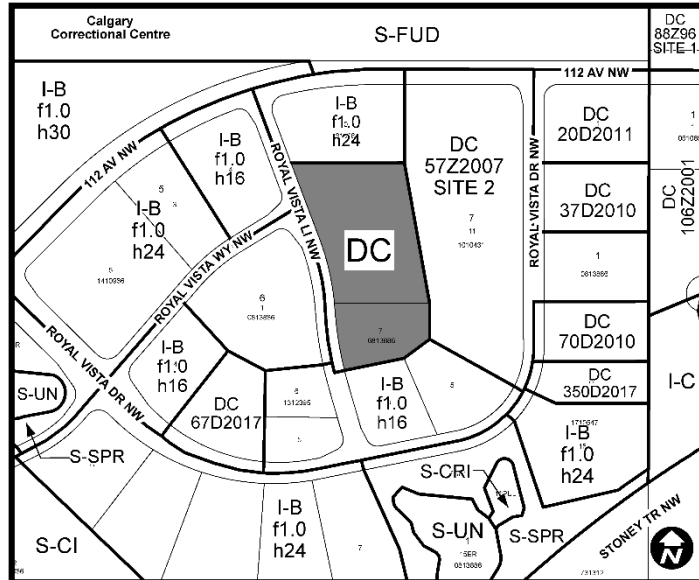
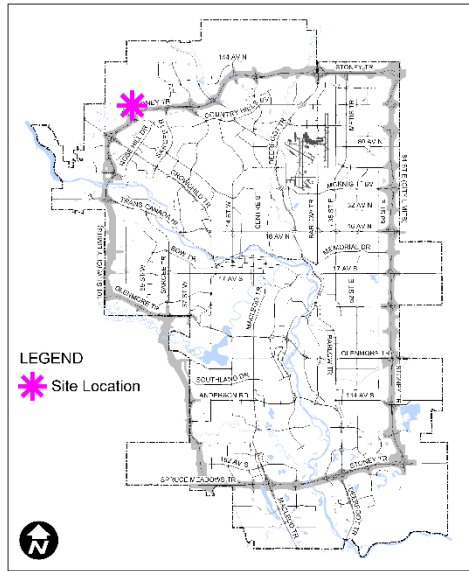
### BACKGROUND

On 2018 January 5, Sha-Lou Enterprises submitted a land use amendment application on behalf of the landowner LTCM Incorporated (Aaron Renert) to redesignate two parcels situated at 8 and 14 Royal Vista Link NW in the community of Royal Vista.

On 2013 January 14, Council approved a land use amendment (10D2013) on 14 Royal Vista Link NW to allow for a private school in conjunction with an instructional facility. A development permit (DP2013-1632) was approved subsequently for the development of the private school.

**Land Use Amendment in Royal Vista (Ward 1) at 8 and 14 Royal Vista Link NW,  
LOC2018-0004**

## Location Maps



**Land Use Amendment in Royal Vista (Ward 1) at 8 and 14 Royal Vista Link NW,  
LOC2018-0004**

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**Site Context**

The subject site is situated to the south-east of the intersection of Royal Vista Link NW with 112 Avenue NW and consists of two parcels with a total size of 2.13 hectares  $\pm$  (5.26 acres  $\pm$ ). The site is surrounded by a mix of industrial and commercial uses as well as instructional facilities.

Surrounding uses include the following:

- North – conference and event facilities as well as a fire station and multi-service facility;
- East – Canada Post Distribution Centre and auto-related uses;
- South – office, medical laboratories and vacant parcels; and
- West – office, self-storage, retail and medical uses.

Surrounding development consists of high quality Industrial - Business buildings.

**INVESTIGATION: ALTERNATIVES AND ANALYSIS**

This land use amendment proposal allows for the expansion of the existing private school on 14 Royal Vista Link NW onto the second parcel situated at 8 Royal Vista Link NW. It also allows for child care service to be added as an additional use and will clean up the land use districts over the subject site. The proposal is in keeping with applicable legislation as identified in the Strategic Alignment section of this report.

**Planning Considerations**

***Land Use***

The existing land use districts on the subject site is the following:

- 8 Royal Vista Link NW - Industrial-Business (I-B) District; and
- 14 Royal Vista Link NW - DC Direct Control District based on the I-B District with the additional use of School - Private, approved by Council in 2013.

The Industrial-Business (I-B) District allows for high quality manufacturing, research and office development. With the approval of the DC District by Council and the subsequent development permit, the Renert School was developed at 14 Royal Vista Link NW.

The proposed DC District in this land use amendment application is also based on the Industrial-Business (I-B) District and applies to both 8 and 14 Royal Vista Link NW. The following uses (permitted in existing approved buildings) are in addition to the I-B District:

- Child Care Service; and,
- School - Private.

The business industrial uses of the I-B District are protected in this DC District and development on the subject site can revert back to such uses at any time.

**Land Use Amendment in Royal Vista (Ward 1) at 8 and 14 Royal Vista Link NW,  
LOC2018-0004**

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***Development and Site Design***

A permitted use development permit application is required to enable the change of use to a new child care services in the existing approved building on 14 Royal Vista Link NW. New buildings on the second parcel, situated at 8 Royal Vista Link NW, require discretionary use development permit applications.

The existing and proposed buildings on the subject site are of high quality design and building materials.

***Environmental***

There are no existing environmental conditions on the subject parcel. An environmental site assessment was not required for this application.

***Transportation Networks***

The subject site is located on Royal Vista Link NW and intersects with 112 Avenue NW to the north. 112 Avenue NW is an arterial street but not part of the City's Primary Transit Network in the Calgary Transportation Plan (CTP). Vehicular and pedestrian access is gained from Royal Vista Link NW and parking is provided on the site.

The site has access to transit stops along 112 Avenue NW (Bus Route 115) with direct access to the Tuscany LRT Station and the future Sage Hill Transportation Hub.

A site specific Transportation Impact Assessment (TIA) was not required as part of this application. A TIA for the larger Royal Vista Business Park is currently being undertaken by Real Estate and Development Services (REDS) but the approval of this land use amendment application is not dependant on the outcome of that TIA.

***Utilities and Servicing***

Water, sanitary and sewer services are available to this site and can accommodate the proposed development. Further details for servicing and waste collection will be reviewed at the development permit stage.

***Stakeholder Engagement, Research and Communication***

In keeping with Administration's standard practises, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online (<https://developmentmap.calgary.ca>).

Administration received one letter of objection from an adjacent neighbour regarding traffic and parking concerns.

No public meetings were held by the Applicant or Administration.

## **Land Use Amendment in Royal Vista (Ward 1) at 8 and 14 Royal Vista Link NW, LOC2018-0004**

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Following Calgary Planning Commission, notification for the Public Hearing of Council (February 11) will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory, 2014)***

The site is located within the 'City / Town' area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

#### ***Municipal Development Plan (Statutory, 2009)***

The site is located within the 'Industrial - Employment Intensive' area as identified on Map 1 - Urban Structure in the *Municipal Development Plan* (MDP). While the MDP makes no specific reference to this site, the proposal is largely consistent with the MDP policies regarding development in employment intensive areas.

The number of jobs provided by the applicant, once development has been completed on the site, is expected to be a minimum of 140 jobs between the private school, child care service and the instructional facility. Not including the area for the future sports fields in the employment intensity calculations, the subject site at full build out complies with the MDP land use policy on intensity (100 jobs per gross developable hectare).

The MDP also calls for Employment – Intensive areas (such as Royal Vista Business Park) to be located on the Primary Transit Network. Royal Vista Business Park is not situated in close proximity to the Primary Transit Network. Administration will review the industrial typologies of the MDP as part of the Ten Year Review project to determine if Industrial - Intensive is still the appropriate typology for Royal Vista Business Park.

### ***Local Community and Area Plans***

There is no statutory local community plan applicable to Royal Vista.

#### ***North Regional Context Study (Non-Statutory, 2010)***

The *North Regional Context Study* (NRCS) applies the Industrial / Employment land use to the subject site as indicated on Map 3 – Land Use and Transportation. The NRCS states that in addition to industrial uses, institutional uses may also be considered where appropriate. This land use proposal is therefore in alignment with the general direction and policies of the *North Regional Context Study*.

**Land Use Amendment in Royal Vista (Ward 1) at 8 and 14 Royal Vista Link NW,  
LOC2018-0004**

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**Social, Environmental, Economic (External)**

This land use amendment will continue to provide for a variety of business industrial uses in addition to an existing and successful institutional development (private school and instructional facility) as well as to utilize existing infrastructure more efficiently and increase development intensity without significantly changing the character of the business park.

**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed land use amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no risks associated with this proposal and any operational risks that may be identified will be managed at the time of the development permit.

**REASONS FOR RECOMMENDATIONS:**

The proposed DC Direct Control District, which is based on the I-B District with two additional uses (School - Private and Child Care Service), is compatible with and complimentary to the established high quality office and business industrial character of Royal Vista Business Park.

The proposed DC Direct Control District provides flexibility to allow the site to continue operating in its current form as well as allow for contextual expansion of the private school. The proposed DC District keeps in place the existing Industrial - Business uses while allowing the site to adapt to changing market conditions. The site has historically been used for institutional purposes and has functioned well over time.

The proposal conforms to relevant policies of the *Municipal Development Plan* and will allow for development that can meet the intent of *Land Use Bylaw 1P2007*.

**ATTACHMENTS**

1. Applicant's Submission
2. Proposed DC Direct Control District

## **Applicants Submission**

# **Design Consult Plus**

703 – 519 Riverfront Ave SE  
Calgary, AB T2G 1K6  
Tel 403-440-9285

January 3, 2018

**City of Calgary**

**RE: Land Use Amendments for Lot 7, 8 and 9 in Royal Vista Business Park for  
Renert School and Community Enrichment Hub**

### **History**

The Renert School has been providing a new model in education since its conception back in September 2013. It has been an amazing accomplishment as the staff and students have elevated the school to become one of the top scholastic schools in Alberta in just four years. Along with success comes demand.

### **Need For Expansion**

It was a typical start for the new private school. The grades 1 through 7 were primarily full with grades 8 to 12 completing the original enrolment. The success of students and faculty brought a new excitement to education and resulted in an increasing demand for space. The Renert School in turn needed to develop a master plan for expansion and purchased the adjacent lot 8 for the expansion of the existing school. This was to provide added space for the growing populous and the need for a full sized gymnasium. Before construction began on the new school it became operant the additional space will be required for outdoor activities and lot 9 was was purchased for the city to allow this future expansion.

### **Expanding Programs**

One apparent need in the community was the development of Child Care Services. There were many families requesting this service. It would be a win win situation for the community. The parents could have one location that could meet the needs for their growing families. It would be a win win situation as it is convenient for the larger families and once a young member was enrolled in the program there becomes continuity in their education.

For this reason the Child Care Services will be added to the program in September 2018.



## **Applicants Submission**

### **Changing Demography**

Royal Vista Business Park is changing with the demands of the community. Some of the restriction originally adopted by the city have been relaxed to allow the integration of multiple uses. This created the perfect opportunity for the school to expand. The change in building height restriction has allowed the new school to build a 5 story tower connected to the existing school along with a full size multi use gymnasium. This leaves the newly acquired lot 9 for future expansion for outdoor activities for both the students and the community.

### **Community Building**

The Renert School has become a community hub and with its expanding facilities it will continue to support the local community in both scholastic and sports activities. The new facility will have a multi use gymnasium, Black Box Theatre and fully equipped dojo. The future development of the outdoor activities on lot 9 will be community oriented.

### **Employment**

The expanding enrolment in all the new programme will result in doubling the faculty formats existing size to over 100. This was our original goal and it will be achieved in the upcoming year.

### **Conclusion**

To meet the growing needs of the school and community we are applying for the following changes to the existing zoning:

1. Lot 7 is zoned IB with a DC added to allow the operation of a private school in conjunction with an instructional facility. We are applying to add Child Care Services as a permitted use on lot 7.
2. Lot 8 and 9: we are applying to add a DC to these lots that allows the operation of a Private School and Child Care Services as permitted uses.

This will bring continuity to the zoning of all the properties that will house the Renert School for Intelligent Learning

## Proposed Direct Control Guidelines

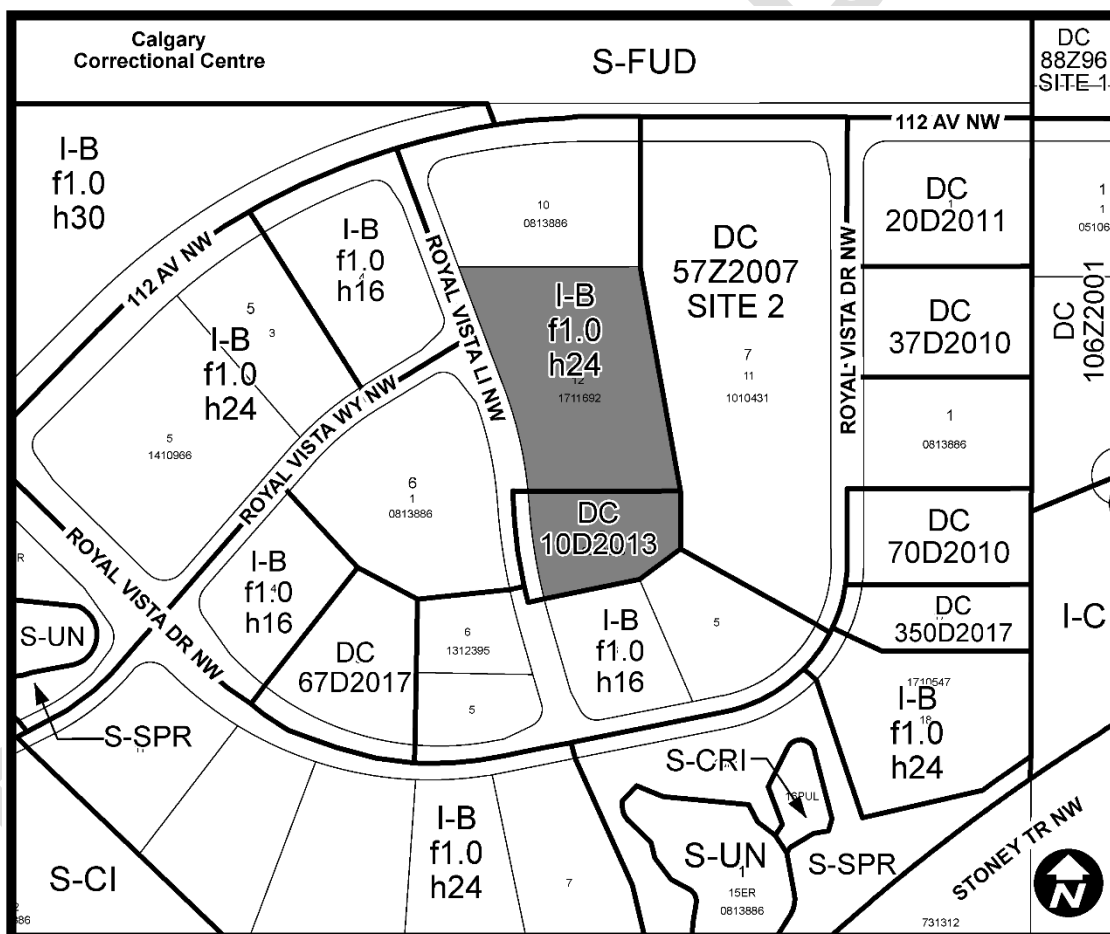
**WHEREAS** it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the *Municipal Government Act*, R.S.A. 2000, c.M-26 as amended;

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

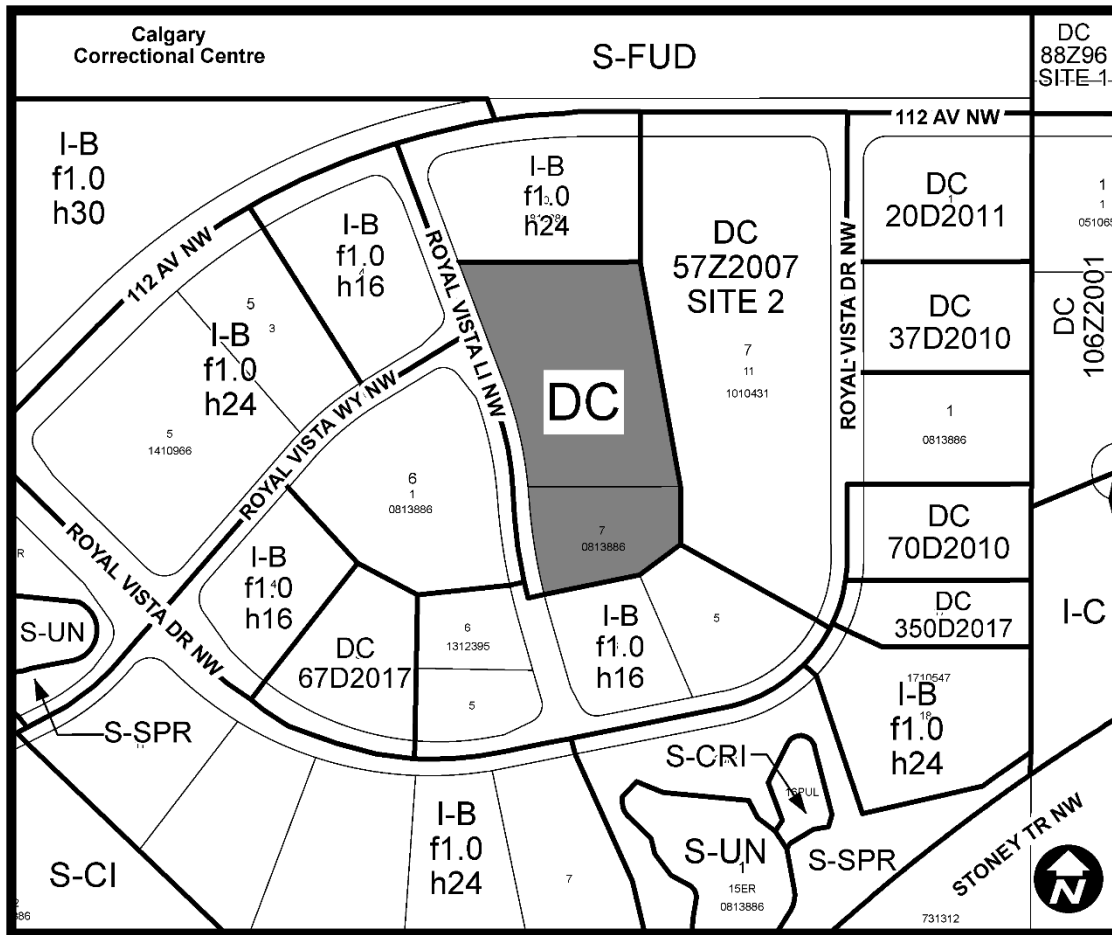
- The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

### SCHEDULE A



## Proposed Direct Control Guidelines

### SCHEDULE B



### DIRECT CONTROL DISTRICT

#### Purpose

1 This Direct Control District is intended to:

- (a) retain the industrial business **uses** of the Industrial – Business (I-B) District of Bylaw 1P2007 on the subject site; and
- (b) add **School – Private** and **Child Care Service** as additional **uses** to the district.

#### Compliance with Bylaw 1P2007

2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

#### Reference to Bylaw 1P2007

3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

## Proposed Direct Control Guidelines

### Permitted Uses

- 4 (1) The **permitted uses** of the Industrial – Business (I-B) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.
- (2) The following **uses** are **permitted uses** in this Direct Control District if they are located within existing approved **buildings**:
- (a) **Child Care Service**; and
  - (b) **School – Private**.

### Discretionary Uses

- 5 (1) The **discretionary uses** of the Industrial – Business (I-B) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.
- (2) **Uses** listed in subsection 4(2) are **discretionary uses** in this Direct Control District if they are located in proposed **buildings** or proposed additions to existing **buildings**.

### Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Industrial – Business (I-B) District of Bylaw 1P2007 apply in this Direct Control District.

### Floor Area Ratio

- 7 The maximum **floor area ratio** for **buildings** is 1.0.

### Building Height

- 8 The maximum **building height** is 16.0 metres.



## Land Use Amendment in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104

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### EXECUTIVE SUMMARY

This application was submitted on 2018 May 08 by B&A Planning Group on behalf of Madlee Development Ltd for lands owned by VWR Capital Corp. This land use redesignation application proposes to allow for the future subdivision and development of 2.25 hectares (5.56 acres) on an undeveloped site within the northwest community of Royal Oak. The application provides for:

- a maximum of 24 dwelling units to be accommodated within 12 semi-detached dwellings (R-C2);
- 1.43 hectares (3.53 acres) of public park and Environmental Reserve lands (S-UN); and
- the location of a local road, emergency access, utilities and services.

This application has been applied for with the support of a related outline plan application (CPC2018-1361) to provide the future subdivision layout for the site's development.

Together, this land use amendment and the outline plan application serve to implement the objectives of the *Rocky Ridge Area Structure Plan* and the *Municipal Development Plan* by providing a framework for the future development of the site that supports the efficient utilization of land and infrastructure, protects important environmental areas on the site, and contributes towards completion of the local pathway and park network.

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommends that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed designation of 2.25 hectares  $\pm$  (5.56 acres  $\pm$ ) located at 96 Royal Birch Point NW (Plan 1213721, Block 2, Lot 90) from Residential – Contextual One Dwelling (R-C1) District and Special Purpose – City and Regional Infrastructure (S-CRI) District to Residential – Contextual One / Two Dwelling (R-C2) District and Special Purpose – Urban Nature (S-UN) District; and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

None.

### BACKGROUND

This application was submitted to The City of Calgary by B&A Planning Group on behalf of Madlee Development Ltd for lands owned by VWR Capital Corp, on 2018 May 08. The subject lands are located in the northwest community of Royal Oak. The site was part of a larger 24.28 hectare outline plan which was approved in 1999 April 16 (SB1998-Y-2033/21NW) and at that

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time this site was designated R-1 Residential Single-Detached District and PE Public Park, School and Recreation District under the 2P80 Land Use Bylaw. Municipal Reserves were dedicated to the larger plan at that time within the adjacent ravine (Attachment 4). Subsequently, a revised outline plan was approved in 2002 August 19 (SB2000-Y-2003/21NW) which removed a previously proposed street connection across the neighbouring ravine through the subject site. To maintain connection with the park space in the ravine, a regional path along the north boundary of the site was provided (Attachment 5). A subdivision in accordance with the revised outline plan was approved and registered in 2012 (SB2012-0215) which created the subject parcel. Another subdivision plan was submitted in 2013 which proposed further subdivision of the site into ten single detached dwelling lots to the west of the engineered wetland; however, that application was cancelled. Since then, the site has remained in an undeveloped state while the surrounding area built up.

The current land use application approach is to provide a modification to these previous approvals and builds upon the decisions made during those reviews. This application is intended to fill out one of the last undeveloped pockets in this community.

West of the subject site, a housekeeping land use amendment is under review proposing to adjust an existing land use boundary between Environmental and municipal Reserve lands. (LOC2018-0118).

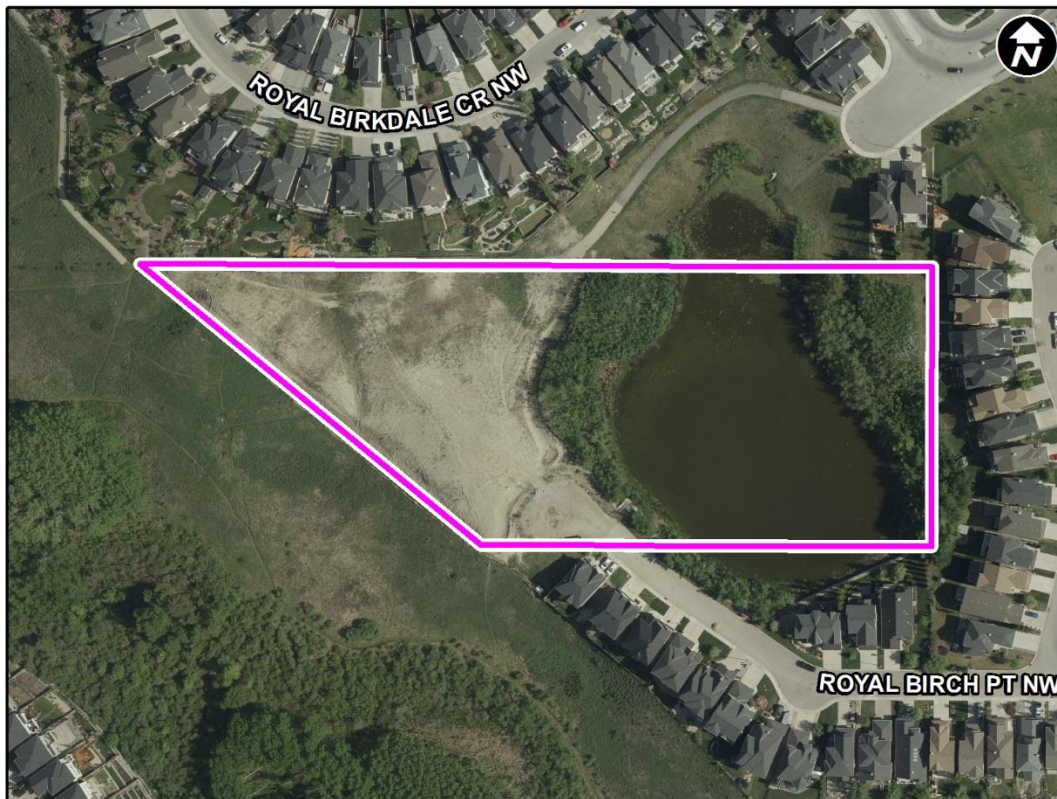
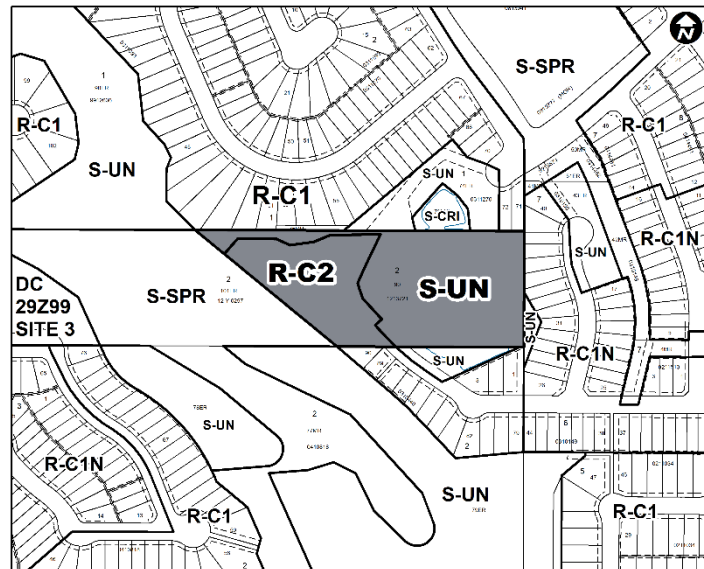
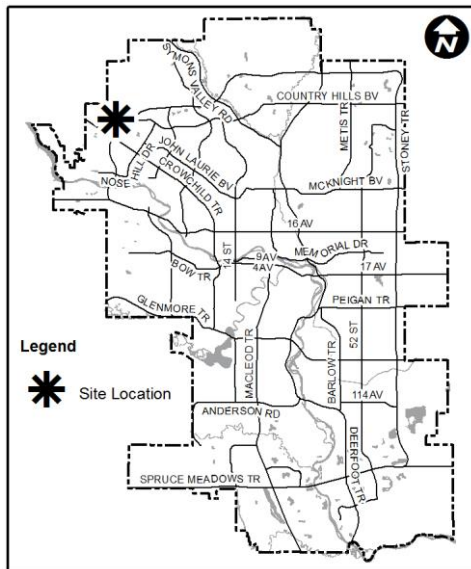


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**Location Maps**



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**Site Context**

The site's total area is approximately 2.25 hectares (5.56 acres) in size and is located in the community of Royal Oak. The eastern portion of the site contains an engineered wetland and surrounding vegetation. The western portion is currently vacant, although portions of it have been previously stripped and graded (DP2013-4081). Surrounding development is comprised of single detached dwellings which are located south and north of the site and natural areas to the east and west. The site itself is fairly sloped from north to south and along the west boundary, east to west, into the adjacent natural area. The north boundary of the site is bordered by retaining walls which support the rear yards of adjacent residential parcels. A regional pathway exists to the north connecting the subject site to Royal Birch Boulevard NW. Royal Oak School is located further north, along Royal Birch Boulevard NW.

*Figure 1: Community Peak Population*

<b>Royal Oak</b>	
Peak Population Year	2015
Peak Population	11,749
2017 Current Population	11,682
Difference in Population (Number)	-67
Difference in Population (Percent)	-1%

Source: The City of Calgary 2017 Civic Census

Additional demographic and socio-economic information may be obtained online through the [Royal Oak](#) community profile.

**INVESTIGATION: ALTERNATIVES AND ANALYSIS**

This land use amendment, along with the associated outline plan application (Attachment 3), will facilitate a contextually sensitive intensification of land use which will increase the diversity of housing types allowing residents to live and remain in their own neighbourhood as their housing needs change over their lifetime.

**Planning Considerations**

As part of the review of this application, several key factors were considered by Administration including the alignment with relevant policies, the appropriateness of the land use districts, and the technical merits of the proposed outline plan design. The following sections highlight the scope of technical planning analysis conducted by Administration.

***Subdivision Design***

The proposed outline plan area is approximately 2.25 hectares (5.56 acres) in size (Attachment 3). The existing engineered wetland and proposed regional path along the north boundary of the site comprise 1.43 hectares (3.53 acres) of the plan area. The regional path facilitates pedestrian connection into the adjacent natural areas located west of the parcel as well as a connection to the existing regional path leading to Royal Birch Boulevard NW just southwest of

**Land Use Amendment in Royal Oak (Ward 1) at 96 Royal Birch Point NW,  
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Royal Oak School. This link was previously approved in the 2002 outline plan (SB2000-Y-2003/21NW) and the proposed outline plan maintains this aspect (Attachment 5) by permanently securing public access to these areas by dedication of these lands as Environmental Reserve.

The remainder of the site is proposed to be subdivided as 17 to 24 semi-detached dwelling lots (nine to twelve buildings) along a private road which is accessed from the terminus of Royal Birch Point NW in a bareland condominium format.

A public access easement will be provided through the site so that a north-south pedestrian connection is maintained through the site, enabling access to the regional pathway and the public school to the northeast of the site. The specific design of the public access easement will be determined at the development permit stage.

This site is located at the end of Royal Birch Point NW which presents a cul-de-sac in excess of 120 metres. At this point a second access is needed, thus an emergency access is provided from the north and will be co-located with the regional path access from Royal Birch Boulevard NW. The detailed design of the emergency access and regional pathway will be confirmed through the Landscape Construction Drawing process at the time of subdivision.

An access right-of-way will be provided at the southwest corner of the plan area which allows access across a portion of this site to an undeveloped property located adjacent the plan area. The applicant was encouraged to work with the adjacent landowner to ensure the developability of that parcel is retained, however, an arrangement was not achieved at this time.

***Land Use***

The site is currently designated Residential – Contextual One Dwelling (R-C1) District and Special Purpose – City and Regional Infrastructure (S-CRI) District and is proposed to be redesignated to Residential – Contextual One/Two Dwelling (R-C2) District and Special Purpose – Urban Nature (S-UN) District.

The intent of the existing R-C1 District is to accommodate existing residential development and contextually sensitive redevelopment in the form of single detached dwellings.

The intent of the existing S-CRI District is to provide for infrastructure and utilities facilities and a variety of uses operated by the Federal, Provincial and Municipal levels of government. This site was designated PE Public Park, School and Recreation District under the 2P80 Land Use Bylaw and then transitioned to S-CRI during the 1P2007 bylaw implementation.

The proposed Special Purpose – Urban Nature (S-UN) District is intended to accommodate lands for the purpose of preserving natural landforms and vegetation. This district will preserve the existing engineered wetland and the regional path connection to the wider pathway network which were shown as Environment Reserve parcels in previous subdivision applications. The City of Calgary will take the Environmental Reserve when the subsequent subdivision is registered pursuant to its powers under the *Municipal Government Act*.

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The remaining portions of the site will be redesignated to Residential One/Two Dwelling (R-C2) District. The intent of the district is to accommodate contextually sensitive development in the form of duplex, semi-detached and single detached dwellings. The form of development is intended to be comprised of semi-detached dwellings. As explained within the Strategic Alignment section of the report, semi-detached dwellings are underrepresented in the Royal Oak community and this redesignation will facilitate the development of this housing form.

***Density***

As referenced in the Strategic Alignment section of this report, the Rocky Ridge Area Structure Plan requires an average residential density in the range of 9.9 to 14.8 units per gross residential hectare (4.0 to 6.0 units per acre). The proposed R-C2 District has the ability to meet and exceed the unit range identified in the Area Structure Plan. The associated outline plan application anticipates approximately 20.7 units per gross residential hectare (8.4 units per acre) or 17 units on this property. This projected density will support an increased variety of housing types within Royal Oak and will provide an efficient use of existing infrastructure and land area.

***Environmental***

A Phase I Environment Site Assessment was submitted and further investigations or assessments were not recommended.

A Biophysical Impact Assessment was not requested for this application as this aspect has been reviewed in the previous applications for this site.

***Transportation***

A public access easement, as shown on the outline plan (Attachment 3), will be provided through the plan area to enable pedestrian connections from Royal Birch Point to the regional path along the north boundary of the site.

The plan area is accessed from Royal Birch Point NW. A minor extension of Royal Birch Point NW will be required including a cul-de-sac turnaround bulb. The specific radii and dimensions of the cul-de-sac will be finalized at the time of subdivision. A private road is proposed to service the R-C2 lands, connecting to Royal Birch Point NW.

The site is not well served by transit. The nearest bus stop is located on Royal Oak Drive NW which is over 800 metres walking distance from the subject site.

An emergency access is being provided to the site which will be co-located with the regional path accessed by Royal Birch Boulevard NW. This is required as Royal Birch Point NW exceeds a length of 120 metres which triggers the need for a second access point.

A Transportation Impact Assessment was not required specifically as part of this application. However, transportation analysis was provided in conjunction with other development sites through a pre-application file (Attachment 6). This analysis supported the proposed application.

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***Utilities and Servicing***

Water, sanitary, and storm services are available for extension to the plan area from Royal Birch Point NW. An engineered wetland is also contained on this site.

**Stakeholder Engagement, Research and Communication**

In keeping with Administration's practices, this application was circulated to stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

The application was circulated to the Rocky Ridge/Royal Oak Community Association. They indicated that they have no objections to the proposed application.

Twelve letters of objection were received including the following concerns:

- the development's impact on drainage in the area;
- interrupting wildlife connectivity to the pond;
- concerns related to the size of the emergency access along the regional path;
- increased traffic in the area; and
- construction disturbance.

Administration considered the relevant planning issues specific to the proposed redesignation and has determined the proposal to be appropriate. Compliance with relevant policies, bylaws, access and environmental issues have been reviewed. Any further concerns can be mitigated at future subdivision and development permit stages.

In addition, the applicants held an invite only event at the Rocky Ridge Homeowners Association 2018 January 25. The purpose of this was to introduce and gather feedback from directly adjacent residents and landowners on the overall development concept for this area (see Attachment 6 for further information).

The invitation was hand-delivered to mail boxes of 1200 adjacent residents. According to the applicant, there were 120 attendees to this event.

Impacts to adjacent natural areas, loss of open space and increased traffic and parking challenges were the key concerns collected by the applicant at this event.

A follow-up engagement event was held by the applicant on 2018 November 15. Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

**Land Use Amendment in Royal Oak (Ward 1) at 96 Royal Birch Point NW,  
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**Strategic Alignment**

***South Saskatchewan Regional Plan (Statutory – 2014)***

The recommendation by Administration in this report has considered and is aligned with the policy direction of the *South Saskatchewan Regional Plan* which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

***Municipal Development Plan (Statutory – 2009)***

The site is identified on the *Municipal Development Plan* Urban Structures Map 1 as “Planned Greenfield with Area Structure Plan (ASP)” within the Developing Communities. The related policy states that the area structure plans for these areas, in existence prior to adoption of the *Municipal Development Plan*, are recognized as appropriate policies to provide specific direction for development of the local community.

The *Municipal Development Plan* supports providing a range of housing types, tenures and densities to create diverse neighbourhoods allowing residents access to choices that meet affordability, accessibility, life cycle and lifestyle needs.

***Rocky Ridge Area Structure Plan (Statutory – 1992)***

The *Rocky Ridge Area Structure Plan* provides that an average residential density in range of 9.9 to 14.8 units per gross residential hectare is to be achieved; however, densities above and below this can be considered where appropriate. The proposed density of this development is anticipated to be 20.7 units per gross residential hectare, which is in keeping with the area structure plan through its provision to allow increased density where considered appropriate by the approving authority.

The predominant housing form anticipated in the Rocky Ridge Area Structure Plan area is single detached dwellings. However, to achieve a mix of housing types in the area, the area structure plan encourages multi-residential housing in appropriate locations. The proposed development is intended for semi-detached housing which provides a different form of housing than most of this community (the Royal Oak Community Profile from the 2011 Census suggests that semi-detached (duplex) housing is less than 3 percent of the total housing types in this community, whereas single detached housing is 71 percent, and apartment and townhouses combined total 26 percent). The semi-detached form is considered low density with similar height and form to single detached housing and will complement the existing development form of the area.

**Social, Environmental, Economic (External)**

The proposed land use redesignation allows for a complementary residential form that will contribute to the diversity of housing types in Royal Oak. The proposal protects the existing engineered wetland and the associated outline plan provides regional path connections to the existing and future pathway network in the area.

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**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The land use amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposed land use amendment is in keeping with the applicable policies of the *Municipal Development Plan* and the *Rocky Ridge Area Structure Plan*. The proposal will help increase the diversity of housing types within an existing neighbourhood which can better accommodate the needs of different age groups, lifestyles and demographics and contributes to completion of the local park and pathway network by securing long term public access to these lands in the form of Environmental Reserve dedications.

**ATTACHMENT(S)**

1. Applicant Submission
2. Proposed Land Use District Map
3. Proposed Outline Plan
4. 1998 Outline Plan
5. 2000 Outline Plan
6. Adjacent Development Sites





## Applicant's Submission



### Land Use Redesignation Applicant's Submission Not Including Secondary Suites

PL 1263 (R2017-09)

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. These comments are included in a report which is presented to the Calgary Planning Commission and a Public Hearing of City Council. Your comments **must** be limited to the area designated on this form to ensure it will fit the space requirements of the report. Supplementary information can be provided separately in your application if required.

#### Introduction

96 Royal Birch Point NW is located in northwest Calgary in the community of Royal Oak and is 2.25 hectares (5.56 acres) in size. The subject site received outline plan approval in 1999 and 2002, was rezoned for development in 1999 and was approved for subdivision in 2014. The subject site has now been purchased by a new developer who has a modified vision for the development

#### Vision

The vision for the subject lands is a conservation design subdivision where a compact development site is established allowing for the majority of the land to be conserved as natural areas and open space. It is intended that the compact design is sensitive to the surrounding neighbourhood residents in terms of building form, height and separation while expanding the choice of housing in the area. The pathway and sidewalk system will be extended to connect the development with surrounding amenities and transit.

#### Proposed Development

The developable portion of the site is approximately 0.75 hectares (1.86 acres) in size and is envisioned to be developed for approximately 20 side-by-side bungalows of one store in height. The units will be situated along a private road that extends from Royal Birch Point NW. The units will face the surrounding open space. The existing pathway connecting the site from the northeast will be widened to 6 metre to accommodate an emergency access to the site. The site is proposed to be redesignated from Residential – Contextual One Dwelling (R-C1) to Residential – Contextual One/Two Dwelling (R-C2) to accommodate the proposed development.

#### Open Space

1.43 hectares (3.53 acres) or 63% of the subject site will be conserved as public open space in the form of Environmental Reserve. This open space area will conserve the existing wetlands, trees and grasslands. A pathway will be extended through the open space to offer access to this area to the public. The open space portion is proposed to be rezoned to Special Purpose - Urban Nature (S-UN) to recognize the Environment Reserve character of the land.

#### Policy Considerations

The subject sites fall under the Rocky Ridge Area Structure Plan (ASP) and this plan identifies the subject site to be within the Residential and Related Uses area. The ASP anticipates that the predominant form of housing in Rocky Ridge to be single-family but does encourage other housing types in appropriate locations to achieve a mix of housing types.

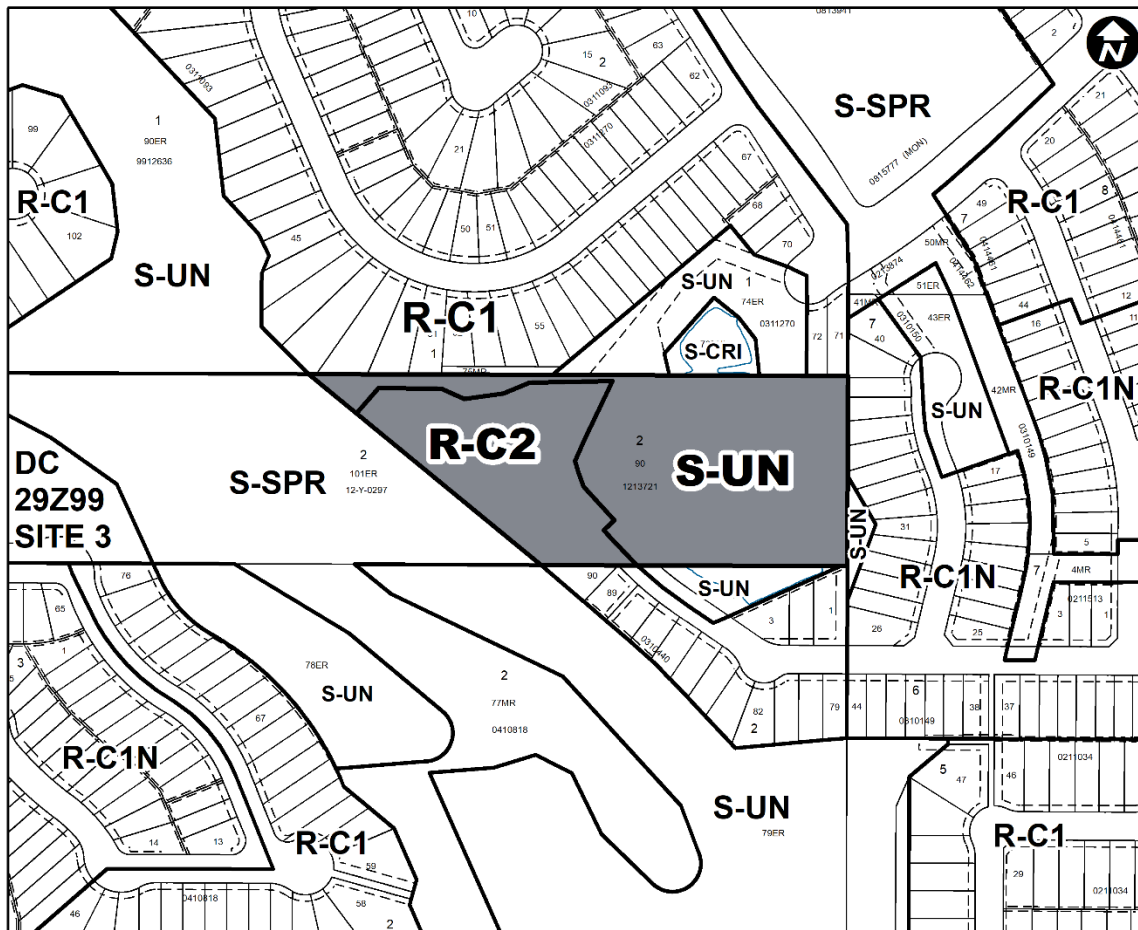
#### Summary

The vision for the proposed development is a conservation design subdivision where a compact development site allow for a majority of the subject site to be preserved for the use and enjoyment of the surrounding Royal Oak residents. The site is anticipated to be developed for side-by-side bungalows which, when constructed, will diversify the housing available within the community. In addition, a pathway and sidewalks are proposed to be extended to link the development with surrounding amenities and transit. To help achieve this vision, it is proposed that a portion of the subject site be rezoned R-C2 to allow side-by-side villa bungalows respectively. In addition, it is proposed that portions of the subject lands to be redesignated to S-UN to accommodate the dedication of Environmental Reserve. In consideration of these benefits, we respectfully request City Administration's, Calgary Planning Commission's and Council's support for this application.

ISC: Protected



## Proposed Land Use District Map







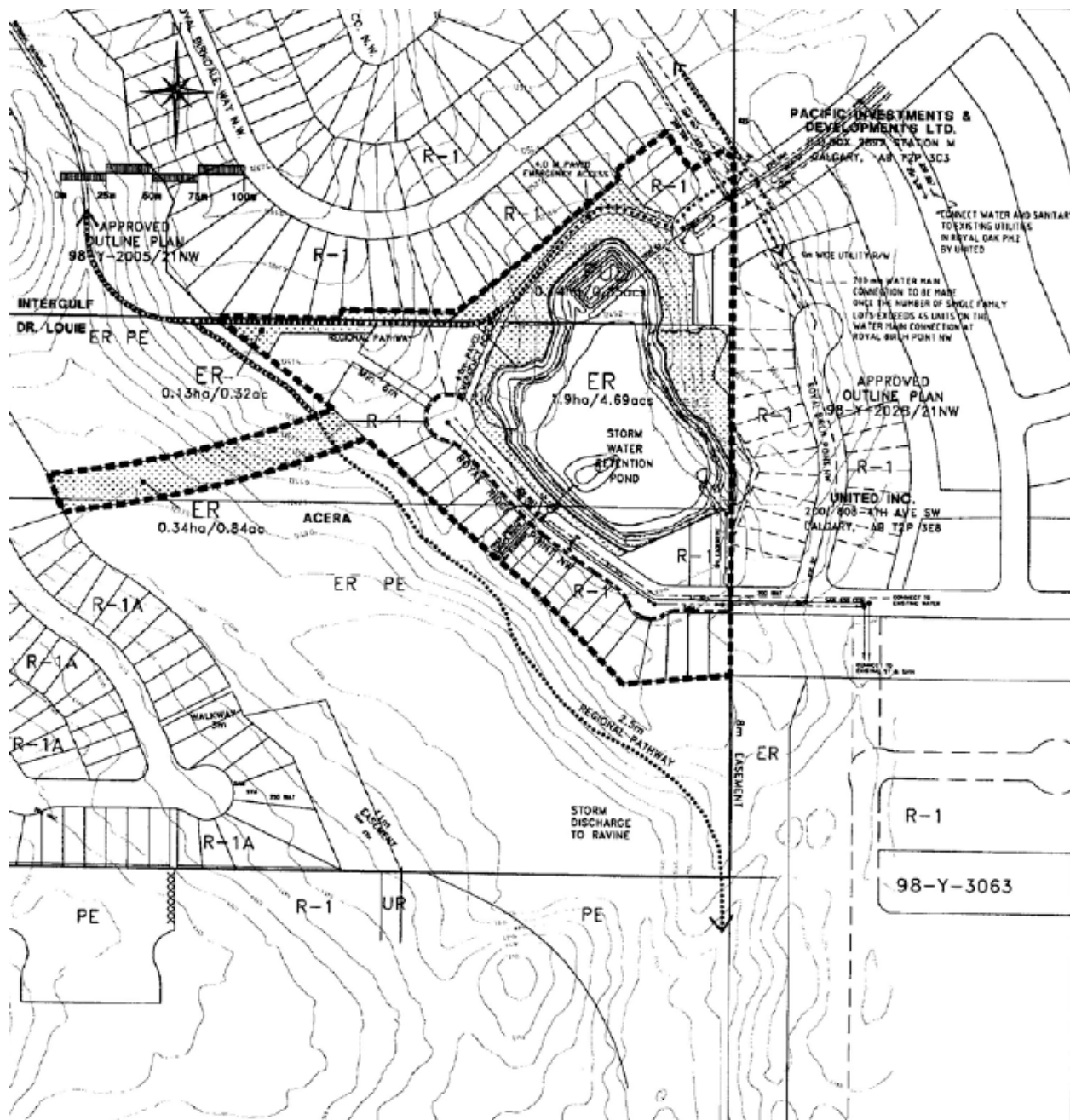




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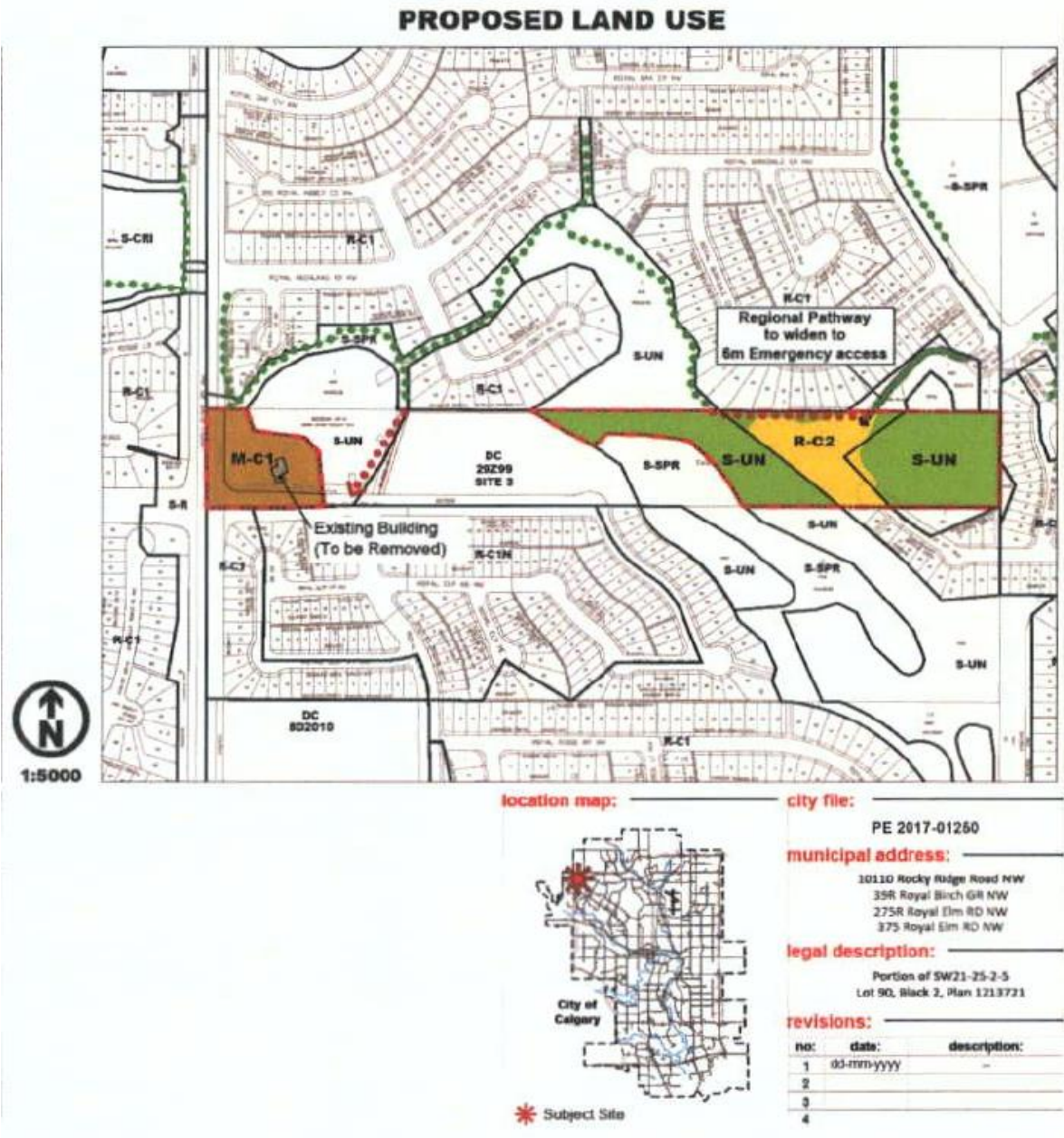
SB2000-Y-2003/21NW Outline Plan



SB2000-Y-2003/21NW approved CPC 2002 May 08



Adjacent Development Sites





## **Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104**

### **EXECUTIVE SUMMARY**

This application was submitted on 2018 May 08 by B&A Planning Group on behalf of Madlee Development Ltd for lands owned by VWR Capital Corp. This combined outline plan and redesignation application proposes an outline for the future subdivision and development of 2.25 hectares (5.56 acres) on an undeveloped site within the northwest community of Royal Oak. The application provides for:

- a maximum of 24 dwelling units to be accommodated within 12 semi-detached dwellings (R-C2);
- 1.43 hectares (3.53 acres) of public park and Environmental Reserve lands (S-UN); and
- the location of a local road, emergency access, utilities and services.

The proposed outline plan and the associated land use application (CPC2018-1362) serves to implement the objectives of the *Rocky Ridge Area Structure Plan* and the *Municipal Development Plan* by providing a framework for the future development of the site that supports the efficient utilization of land and infrastructure, protects important environmental areas on the site, and contributes towards completion of the local pathway and park network.

#### **ADMINISTRATION RECOMMENDATION:**

That Calgary Planning Commission **APPROVE** the proposed outline plan located at 96 Royal Birch Point NW (Plan 1213721, Block 2, Lot 90) to subdivide 2.25 hectares  $\pm$  (5.56 acres  $\pm$ ) with conditions (Attachment 1).

### **PREVIOUS COUNCIL DIRECTION / POLICY**

None.

### **BACKGROUND**

This application was submitted to The City of Calgary by B&A Planning Group on behalf of Madlee Development Ltd, for lands owned by VWR Capital Corp, on 2018 May 08. The subject lands are located in the northwest community of Royal Oak. The site was part of a larger 24.28 hectare outline plan which was approved in 1999 April 16 (SB1998-Y-2033/21NW) and at that time this site was designated R-1 Residential Single-Detached District and PE Public Park, School and Recreation District under the 2P80 Land Use Bylaw. Municipal Reserves were dedicated to the larger plan at that time within the adjacent ravine (Attachment 6). Subsequently, a revised outline plan was approved in 2002 August 19 (SB2000-Y-2003/21NW) which removed a previously proposed street connection across the neighbouring ravine through the subject site. To maintain connection with the park space in the ravine, a regional path along the north boundary of the site was provided (Attachment 7). A subdivision in accordance with the revised outline plan was approved and registered in 2012 (SB2012-0215) which created the subject parcel. Another subdivision plan was submitted in 2013 which proposed further subdivision of the site into ten single detached dwelling lots to the west of the engineered



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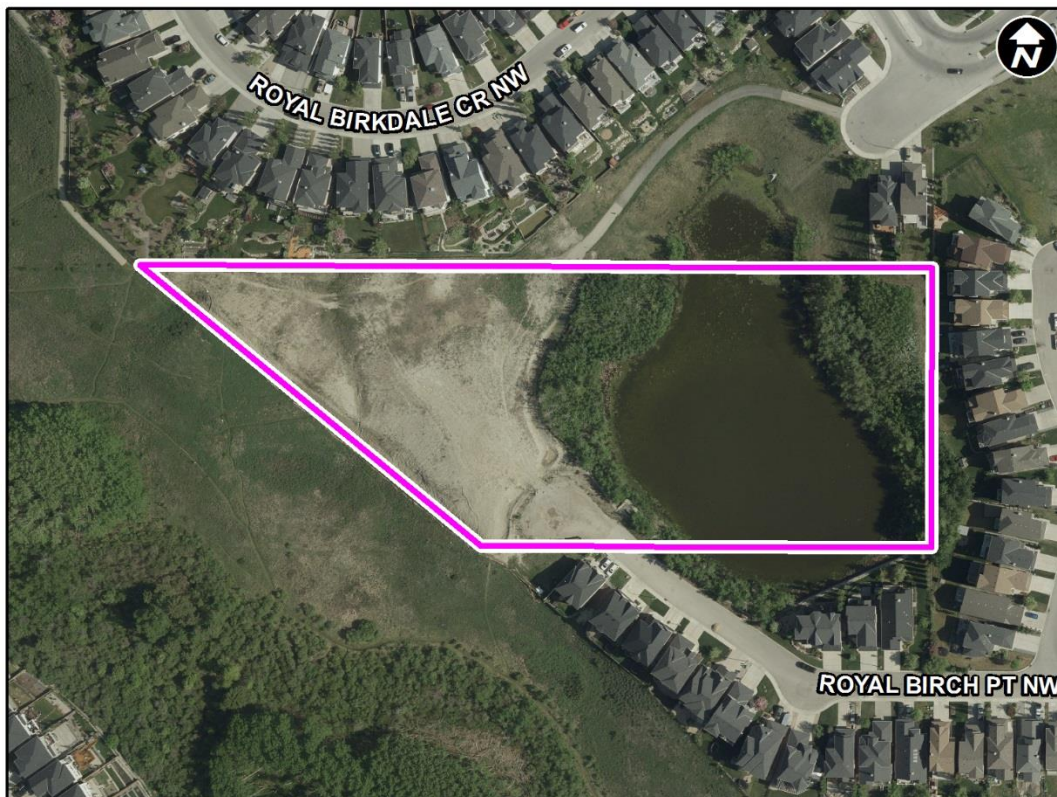
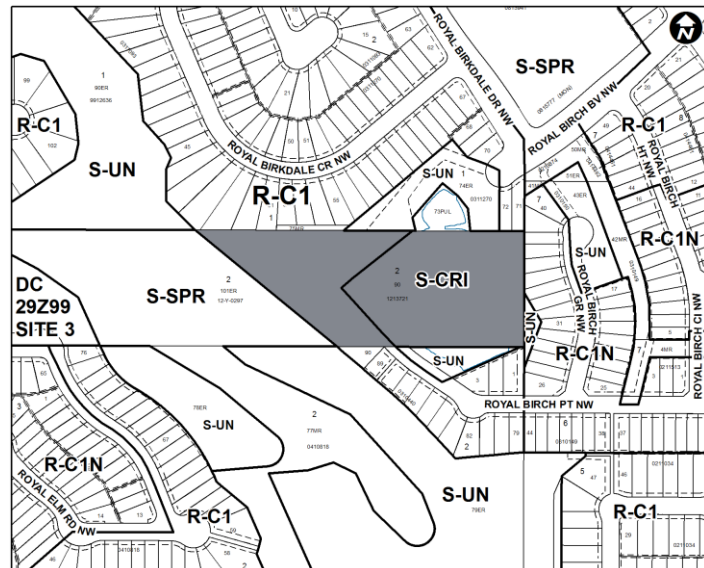
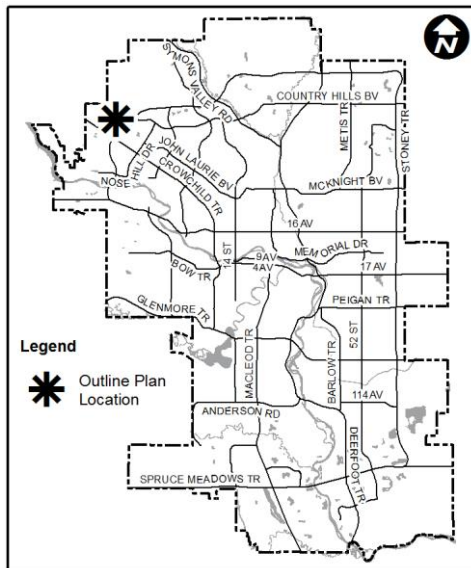
wetland; however, that application was cancelled. Since then, the site has remained in an undeveloped state while the surrounding area built up.

The current outline plan application approach is to provide a modification to these previous approvals and builds upon the decisions made during those reviews. This application is intended to fill out one of the remaining undeveloped pockets in this community.

West of the subject site, a housekeeping land use amendment is under review proposing to adjust the existing land use boundary between Environmental and Municipal Reserve lands (LOC2018-0118).

## Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104

### Location Maps



## Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104

### Site Context

The site's total area is approximately 2.25 hectares (5.56 acres) in size and is located in the community of Royal Oak. The eastern portion of the site contains an engineered wetland and surrounding vegetation. The western portion is currently vacant, although portions of it have been previously stripped and graded (DP2013-4081). Surrounding development is comprised of single-detached dwellings which are located south and north of the site and natural areas to the east and west. The site itself is fairly sloped from north to south and along the west boundary, east to west, into the adjacent natural area. The north boundary of the site is bordered by retaining walls which support the rear yards of adjacent residential parcels. A regional pathway exists to the northeast connecting the subject site to Royal Birch Boulevard NW. Royal Oak School is located further north, along Royal Birch Boulevard NW.

*Figure 1: Community Peak Population*

<b>Royal Oak</b>	
Peak Population Year	2015
Peak Population	11,749
2017 Current Population	11,682
Difference in Population (Number)	-67
Difference in Population (Percent)	-1%

Source: The City of Calgary 2017 Civic Census

Additional demographic and socio-economic information may be obtained online through the [Royal Oak](#) community profile.

### INVESTIGATION: ALTERNATIVES AND ANALYSIS

This outline plan (Attachment 3), along with the associated land use amendment application (Attachment 5), will facilitate a contextually sensitive intensification of land use which will increase the diversity of housing types allowing residents to live and remain in their own neighbourhood as their housing needs change over their lifetime.

### Planning Considerations

As part of the review of this application, several key factors were considered by Administration including the alignment with relevant policies, the appropriateness of the land use districts, and the technical merits of the proposed outline plan design. The following sections highlight the scope of technical planning analysis conducted by Administration.

### Subdivision Design

The proposed outline plan area is approximately 2.25 hectares (5.56 acres) in size. The existing engineered wetland and proposed regional path along the north boundary of the site comprise 1.43 hectares (3.53 acres) of the plan area. The regional path facilitates pedestrian connection into the adjacent natural areas located west of the parcel as well as a connection to the existing regional path leading to Royal Birch Boulevard NW just southwest of Royal Oak School. This link was previously approved in the 2002 outline plan (SB2000-Y-2003/21NW) and

### **Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104**

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the proposed outline plan maintains this aspect (Attachment 7) by permanently securing public access to these areas by dedication of these lands as Environmental Reserve.

The remainder of the site is proposed to be subdivided as 17 to 24 semi-detached dwelling lots (nine to twelve buildings) along a private road which is accessed from the terminus of Royal Birch Point NW in a bareland condominium format.

A public access easement will be provided through the site so that a north-south pedestrian connection is maintained through the site, enabling access to the regional pathway and the public school to the northeast of the site. The specific design of the public access easement will be determined at the development permit stage.

This site is located at the end of Royal Birch Point NW which presents a cul-de-sac in excess of 120 metres. At this point a second access is needed, thus an emergency access is provided from the north and will be co-located with the regional path access from Royal Birch Boulevard NW. The detailed design of the emergency access and regional pathway will be confirmed through the Landscape Construction Drawing process at the time of subdivision.

An access right-of-way will be provided at the southwest corner of the plan area which allows access across a portion of this site to an undeveloped property located adjacent the plan area. The applicant was encouraged to work with the adjacent landowner to ensure the developability of that parcel is retained, however, an arrangement was not achieved at this time.

A breakdown of the statistics for the subject outline plan can be found in the Subdivision Data Sheet (Attachment 4).

#### ***Land Use***

Concurrent with the outline plan is a land use amendment application (CPC2018-1362) that proposes to redesignate the current site from Residential – Contextual One Dwelling (R-C1) District and Special Purpose – City and Regional Infrastructure (S-CRI) District to Residential – Contextual One / Two Dwelling (R-C2) District and Special Purpose – Urban Nature (S-UN) District.

The intent of the existing R-C1 District is to accommodate existing residential development and contextually sensitive redevelopment in the form of single detached dwellings.

The intent of the existing S-CRI District is to provide for infrastructure and utility facilities and a variety of uses operated by the Federal, Provincial and Municipal levels of government. This site was designated PE Public Park, School and Recreation District under the 2P80 Land Use Bylaw and then transitioned to S-CRI during the 1P2007 bylaw implementation.

The proposed Special Purpose – Urban Nature (S-UN) District is intended is to accommodate lands for the purpose of preserving natural landforms and vegetation. This district will preserve the existing engineered wetland and the regional path connection to the wider pathway network which were shown as Environment Reserve parcels in previous subdivision applications. The City of Calgary will take the Environmental Reserve when the subsequent subdivision is registered pursuant to its powers under the *Municipal Government Act*.

### **Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104**

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The remaining portions of the site will be redesignated to Residential One / Two Dwelling (R-C2) District. The intent of the district is to accommodate contextually sensitive development in the form of duplex, semi-detached and single detached dwellings. The form of development is intended to be comprised of semi-detached dwellings. As explained within the Strategic Alignment section of the report, semi-detached dwellings are underrepresented in the Royal Oak community and this redesignation will facilitate an increase in the diversity of housing forms available.

#### ***Density***

As referenced in the Strategic Alignment section of this report, the Rocky Ridge Area Structure Plan requires an average residential density in the range of 9.9 to 14.8 units per gross residential hectare (4.0 to 6.0 units per acre). The proposed Residential –Contextual One / Two Dwelling (R-C2) District has the ability to meet and exceed the unit range identified in the Area Structure Plan. This outline plan application anticipates approximately 20.7 units per gross residential hectare (8.4 units per acre) or 17 units on this property. This projected density will support an increased variety of housing types within Royal Oak and will provide an efficient use of existing infrastructure and land area.

#### ***Environmental***

A Phase I Environment Site Assessment was submitted and further investigations or assessments were not recommended.

A Biophysical Impact Assessment was not requested for this application as this aspect has been reviewed in the previous applications for this site.

#### ***Transportation***

A public access easement, as shown on the outline plan (Attachment 3), will be provided through the plan area to enable pedestrian connections from Royal Birch Point to the regional path along the north boundary of the site.

The plan area is accessed from Royal Birch Point NW. A minor extension of Royal Birch Point NW will be required including a cul-de-sac turnaround bulb. Conditions of approval are provided which allow for the specific radii and dimensions of the cul-de-sac to be finalized at the time of subdivision. A private road is proposed to service the R-C2 lands, connecting to Royal Birch Point NW.

The site is not well served by transit. The nearest bus stop is located on Royal Oak Drive NW which is over 800 metres walking distance from the subject site.

An emergency access is being provided to the site which will be co-located with the regional path accessed by Royal Birch Boulevard NW. This is required as Royal Birch Point NW exceeds a length of 120 metres which triggers the need for a second access point.

A Transportation Impact Assessment was not required specifically as part of this application. However, transportation analysis was provided in conjunction with other development sites through a pre-application file (Attachment 8). This analysis supported the proposed application.

## **Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104**

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### ***Utilities and Servicing***

Water, sanitary, and storm services are available for extension to the plan area from Royal Birch Point NW. An engineered wetland is also contained on this site.

### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's practices, this application was circulated to stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

The application was circulated to the Rocky Ridge/Royal Oak Community Association. They indicated that they have no objections to the proposed application.

Twelve letters of objection were received including the following concerns:

- the development's impact on drainage in the area;
- interrupting wildlife connectivity to the pond;
- concerns related to the size of the emergency access along the regional path;
- increased traffic in the area; and
- construction disturbance.

Administration considered the relevant planning issues specific to the proposed redesignation and has determined the proposal to be appropriate. Compliance with relevant policies, bylaws, access and environmental issues have been reviewed. Any further concerns can be mitigated at future subdivision and development permit stages.

In addition, the applicants held an invite only event at the Rocky Ridge Homeowners Association 2018 January 25. The purpose of this was to introduce and gather feedback from directly adjacent residents and landowners on the overall development concept for this area (see Attachment 8 for further information).

The invitation was hand-delivered to mail boxes of 1200 adjacent residents. According to the applicant, there were 120 attendees to this event.

Impacts to adjacent natural areas, loss of open space and increased traffic and parking challenges were the key concerns collected by the applicant at this event.

A follow-up engagement event was held by the applicant on 2018 November 15.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

## **Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104**

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### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory – 2014)***

The recommendation by Administration in this report has considered and is aligned with the policy direction of the *South Saskatchewan Regional Plan* which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

#### ***Municipal Development Plan (Statutory – 2009)***

The site is identified on the *Municipal Development Plan* Urban Structures Map 1 as “Planned Greenfield with Area Structure Plan (ASP)” within the Developing Communities. The related policy states that the area structure plans for these areas, in existence prior to adoption of the *Municipal Development Plan*, are recognized as appropriate policies to provide specific direction for development of the local community.

The *Municipal Development Plan* supports providing a range of housing types, tenures and densities to create diverse neighbourhoods allowing residents access to choices that meet affordability, accessibility, life cycle and lifestyle needs.

#### ***Rocky Ridge Area Structure Plan (Statutory – 1992)***

The *Rocky Ridge Area Structure Plan* provides that an average residential density in range of 9.9 to 14.8 units per gross residential hectare is to be achieved; however, densities above and below this can be considered where appropriate. The proposed density of this development is anticipated to be 20.7 units per gross residential hectare which is in keeping with the area structure plan through its provision to allow increased density where considered appropriate by the approving authority.

The predominant housing form anticipated in the Rocky Ridge Area Structure Plan area is single detached dwellings. However, to achieve a mix of housing types in the area, the area structure plan encourages multi-residential housing in appropriate locations. The proposed development is intended for semi-detached housing which provides a different form of housing than most of this community (the Royal Oak Community Profile from the 2011 Census suggests that semi-detached (duplex) housing is less than 3 percent of the total housing types in this community, whereas single detached housing is 71 percent, and apartment and townhouses combined total 26 percent). The semi-detached form is considered low density with similar height and form to single detached housing and will complement the existing development form of the area.

### **Social, Environmental, Economic (External)**

This outline plan proposes a framework for developing a complementary residential form that will contribute to the diversity of housing types in Royal Oak. The plan protects the existing engineered wetland and provides regional path connections to the existing and future pathway network in the area.



**Outline Plan in Royal Oak (Ward 1) at 96 Royal Birch Point NW, LOC2018-0104**

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**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed outline plan does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposed outline plan serves to implement the objectives of the *Municipal Development Plan* and is in keeping with the applicable policies of the *Rocky Ridge Area Structure Plan*. This proposal allows for an efficient use of land and infrastructure and provides for a diversity of housing types and contributes to completion of the local park and pathway network by securing long term public access to these lands in the form of Environmental Reserve dedications. The Conditions of Approval (Attachment 1) effectively implements the technical aspects of the plan area's future development.

**ATTACHMENT(S)**

1. Conditions of Approval
2. Applicant's Submission
3. Proposed Outline Plan
4. Subdivision Data Sheet
5. Proposed Land Use District Map
6. 1998 Outline Plan
7. 2000 Outline Plan
8. Adjacent Application Sites



### Conditions of Approval

1. A 6m wide access easement shall be registered along the southerly portion of the site to provide access to the abutting property to the south (the northerly 330' of the southerly 1320' of the SW ¼ Section 21-25-2-5), concurrent with registration of the final instrument, to the satisfaction of the Subdivision Authority.
2. A public access easement providing access from Royal Birch Point NW to the regional path north of the property shall be provided at the time of development permit and/or registration of any subdivision affecting lot layout within the R-C2 parcel.
3. The parcels shall be developed in accordance with the development restriction recommendations outlined in the following report(s):
  - Slope Stability Report, prepared by Rangeland Conservation Service Ltd. (File No. 12-3377), dated October 2, 2018.
  - Deep Fills Report, prepared by Almor Testing Services Ltd. (File No. 042-03-12.18), dated October 16, 2018.
4. Servicing arrangements shall be to the satisfaction of the Manager Infrastructure Planning, Water Resources.
5. A dual watermain is required where the length of watermain is greater than 45 units from the secondary connection point.
6. Prior to endorsement of any Tentative Plan/prior to release of a Development Permit, execute a Development Agreement. Contact the Subdivision Development Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email [urban@calgary.ca](mailto:urban@calgary.ca).
7. Off-site levies, charges and fees are applicable. Contact the Subdivision Development Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email [urban@calgary.ca](mailto:urban@calgary.ca).
8. The developer shall make satisfactory cost sharing arrangements with Marquis Communities Inc. for portion of the cost, less payment for oversize, on a per hectare basis, of the existing storm sewer located within the TUC/Crowchild Trail NW right-of-way.
9. The Developer shall make satisfactory cost sharing arrangements with 535820 Alberta Inc., in compliance with the Servicing and Financing Agreement between Carma Developers Ltd. and the City of Calgary, on a per hectare basis for the assessable area located within the Development Area for the 93 Street N.W. Sanitary Sewer Assessment Trunk installed and financed by Carma Developers Ltd.

### Conditions of Approval

10. The Developer shall make satisfactory cost sharing arrangements with 535820 Alberta Inc., in compliance with the Servicing and Financing Agreement between Carma Developers Ltd. and the City of Calgary, on a flow percentage basis per hectare for the assessable area located within the Development Area for the 93 Street N.W. (North) Storm Sewer Assessment Trunk installed and financed by Carma Developers Ltd.
11. The Developer shall make satisfactory cost sharing arrangements with Intergulf-Cidex Development (IV) Corp. for a portion of the cost, on a per hectare basis, for the storm pond in (Lot 90 in Block 2) SW ¼ Section 21-25-02-5, that was constructed by Intergulf-Cidex under their Royal Oak, Phases 02 & 03 DA2002-0080 development agreement.
12. The developer shall make satisfactory cost sharing with Intergulf-Cidex Development (IV) Corp. for the underground infrastructure in Royal Birch Point NW which were installed under their Royal Oak, Phases 02 & 03 DA2002-0080 development agreement.
13. The developer, at its expense, but subject to normal oversize, endeavours to assist and boundary cost recoveries shall be required to enter into an agreement to:
  - a) Install the offsite sanitary sewers, storm sewers and water mains and construct the offsite temporary and permanent roads required to service the plan area. The developer will be required to obtain all rights, permissions, easements or rights-of-way that may be required to facilitate these offsite improvements. This includes the construction of the emergency access route. The emergency access route must be constructed to a 6.0m wide standard capable of handling an 85,000 lb load to accommodate emergency vehicles.
  - b) Construct the onsite and offsite storm water management facilities (wet pond, wetlands, etc) to service the plan area according to the most current City of Calgary Standard Specifications Sewer Construction, Stormwater Management and Design Manual and Design Guidelines for Subdivision Servicing.
  - c) Construct a wood screening fence, chain link fence, or sound attenuation fence, whichever may be required, inside the property line of the residential lots along the boundaries of the plan area.
  - d) Construct the regional pathway within and along the boundaries of the plan area, to the satisfaction of the Director of Parks Development.
  - e) Construct/rehabilitate the disturbed ER within and surrounding the plan area, to the satisfaction of the Director, Parks.

### Conditions of Approval

14. Royal Birch Pt NW, including the appropriate right of way, street lighting, surface and sub-surface elements shall be designed to current City standards. The cul-de-sac's radii and dimensions shall be finalised at the Tentative plan stage.
15. Costs associated with the re-construction and extension of Royal Birch PT NW shall be the responsibility of the Developer.
16. The developer shall submit detailed Landscaping Construction drawings for all reserve lands and pathways within and along boundaries of the plan area to Parks for review.

With the submission of Landscape Construction Drawings, the developer shall include a detailed Habitat Restoration Plan (following the City of Calgary Habitat Restoration Project Framework) including a maintenance schedule for each Environmental Reserve proposed to be affected by any construction. The restored area(s) shall be maintained by the developer until it is established and approved by Parks prior to Final Acceptance Certificate.

17. The developer is responsible for constructing all Reserve lands and pathways within and along the boundaries of the plan area in accordance with the Parks' Development Guidelines and Standard Specifications: Landscape Construction (current version).
18. Prior to endorsement of the affected tentative plan, the developer shall submit Landscape Construction drawings for all Reserve lands and pathways within and along the boundaries of the plan area OR provide finalized concept plans to Parks' review and approval.

Open Space Concept Plans shall follow the submission requirements outlined in Parks' Development Guidelines and Standard Specifications: Landscape Construction (Current Version), Chapter 2: General Guidelines, Section 2.1 Concept plan Requirements.

19. Prior to approval of the first tentative plan OR stripping and grading permit (whichever comes first), an onsite meeting shall be arranged to confirm that the surveyed boundaries of the Municipal Reserve and Environmental Reserve lands to Parks satisfaction. A plan illustrating the surveyed boundaries must be provided to Parks in advance of the onsite meeting.
20. Prior to endorsement of the first tentative plan OR stripping and grading permit (whichever comes first), protection fencing must be installed along the identified Environmental Reserve boundaries. Arrange for a site meeting with Parks Development Inspector to determine the location for the fencing. The protection fencing shall be maintained along the boundary of the Environmental Reserve until construction activity of the subject site has been completed. Contact the Parks Development Inspector at 403-268-1358.

## Conditions of Approval

If protection fencing has already been installed around the boundaries of the Environmental Reserve lands as part of past work conducted on the subject site, the existing fencing must be inspected again by Parks Development Inspectors to confirm the location and conditions of the fencing, to Parks satisfaction.

21. Prior to endorsement of the first tentative plan, an onsite meeting shall be arranged with Parks to determine and stake the alignment of the Regional Pathway within and along boundaries of the established scope of the Outline Plan. No existing trees or environmental site features shall be disturbed in anyway prior to this onsite meeting and approval of the corresponding Landscape Construction Drawings. Contact the Parks Generalist at 403-268-8074 for more information.
22. Prior to approval of the first tentative plan, the developer shall confirm fencing requirements adjacent to Environmental Reserve lands to the satisfaction of Parks. A minimum 1.2 m high chain link fence or Parks approved upgrade (preferred), shall remain on the property line along all shared boundaries with adjacent Environmental Reserve lands, unless advised otherwise by Parks. Fencing and all related components shall be installed completely within private property.
23. Prior to approval of the first tentative plan or stripping and grading permit (whichever comes first), it shall be confirmed that grading of the development site will match the existing grades of adjacent Reserve lands (MR and/or ER), with all grading confined to the private property, unless otherwise approved by Parks. Cross sections and/or grading plans shall be provided.
24. Prior to approval of the first tentative plan, all proposed disturbance within the Environmental Reserve lands, including that for roadways, utilities, and storm water management infrastructure, must be identified and approved by Parks.
25. Private property abutting all Environmental Reserve lands shall have a minimum 300mm depth of development topsoil applied.
26. The developer, at their sole expense, shall construct all regional pathway routes within and along the boundaries of the plan area according to Parks' Development Guidelines and Standard Specifications: Landscape Construction (current version), including setback requirements, to the satisfaction of Parks.
27. The width, surfacing, and alignment of all pathways within Reserve lands, shall be finalized at Landscape Construction Drawing stage, to the satisfaction of Parks.
28. All impacts to pathways including regional pathways required for project execution shall adhere to the Pathway Closure and Detour Guidelines.

## Conditions of Approval

Coordinate with Duane Sutherland (Parks Pathways Lead – duane.sutherland@calgary.ca or 403. 537-7504) prior to the start of construction regarding proposed changes and impacts to the existing pathway system in the area.

29. Development activities must ensure that suitable erosion and sedimentation controls are being implemented to protect our environment and drainage systems.

Please refer to The City of Calgary's Guidelines for Erosion and Sediment Control: <http://www.calgary.ca/UEP/Water/Documents/Water-Documents/escguidelines2001-02-12.pdf>

30. All proposed site fencing adjacent to or abutting Reserve lands, including footings and other components, shall be installed completely within private property.
31. Drainage from the development site onto the adjacent Environmental Reserve lands is not permitted, unless otherwise approved by Parks.
32. Construction access through Environmental Reserve lands is not permitted, unless otherwise approved by Parks.
33. Stockpiling or dumping of construction materials is not permitted Environmental Reserve lands, unless otherwise approved by Parks.
34. Retaining walls within Environmental Reserve lands is not permitted, unless otherwise approved by Parks.
35. Backsloping into Environmental Reserve lands is not permitted, unless otherwise approved by Parks.
36. Any damage to public parks, pathways, boulevards or trees resulting from development activity, construction staging, materials storage, or construction access will require restoration at the developer's expense. All landscape rehabilitation on the Parks assets shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications: Landscape Construction (current edition). The disturbed area shall be maintained until establishment and approved by the Parks Development Inspector. Contact the Development Inspector at 403-268-1358 for an inspection.
37. The developer shall restore, to a natural state, any portions of the Environmental Reserve lands that are damaged in any way as a result of this development. The restored area is to be maintained until established and approved by the Park Development Inspector.



### **Conditions of Approval**

38. Only native planting species shall be used within this development site given the proximity to Environmental Reserve.
39. Planting species listed on the Alberta Invasive Species Council List are not permitted.
40. Tree plantings within City of Calgary boulevards and/or right of ways are subject to approval from Utility Line Assignment and Parks. No person shall plant trees or shrubbery on City Lands without prior written authorization from the Director, Parks and in the case of walkways, medians, boulevards, and road rights of way, without additional prior written authorization from the Director, Development Engineering.
41. Plant all public trees in compliance with the approved Public Landscaping Plan.
42. Any tree planting in the City of Calgary boulevard shall be performed and inspected in accordance with Parks' Development Guidelines and Standard Specifications: Landscape Construction (current edition).
43. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks.
44. Compensation for dedication of reserves in excess of 10% is deemed to be \$1.00.

## Applicant's Submission



### Land Use Redesignation Applicant's Submission Not Including Secondary Suites

PL 1263 (R2017-09)

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. These comments are included in a report which is presented to the Calgary Planning Commission and a Public Hearing of City Council. Your comments **must** be limited to the area designated on this form to ensure it will fit the space requirements of the report. Supplementary information can be provided separately in your application if required.

#### Introduction

96 Royal Birch Point NW is located in northwest Calgary in the community of Royal Oak and is 2.25 hectares (5.56 acres) in size. The subject site received outline plan approval in 1999 and 2002, was rezoned for development in 1999 and was approved for subdivision in 2014. The subject site has now been purchased by a new developer who has a modified vision for the development

#### Vision

The vision for the subject lands is a conservation design subdivision where a compact development site is established allowing for the majority of the land to be conserved as natural areas and open space. It is intended that the compact design is sensitive to the surrounding neighbourhood residents in terms of building form, height and separation while expanding the choice of housing in the area. The pathway and sidewalk system will be extended to connect the development with surrounding amenities and transit.

#### Proposed Development

The developable portion of the site is approximately 0.75 hectares (1.86 acres) in size and is envisioned to be developed for approximately 20 side-by-side bungalows of one store in height. The units will be situated along a private road that extends from Royal Birch Point NW. The units will face the surrounding open space. The existing pathway connecting the site from the northeast will be widened to 6 metre to accommodate an emergency access to the site. The site is proposed to be redesignated from Residential – Contextual One Dwelling (R-C1) to Residential – Contextual One/Two Dwelling (R-C2) to accommodate the proposed development.

#### Open Space

1.43 hectares (3.53 acres) or 63% of the subject site will be conserved as public open space in the form of Environmental Reserve. This open space area will conserve the existing wetlands, trees and grasslands. A pathway will be extended through the open space to offer access to this area to the public. The open space portion is proposed to be rezoned to Special Purpose - Urban Nature (S-UN) to recognize the Environment Reserve character of the land.

#### Policy Considerations

The subject sites fall under the Rocky Ridge Area Structure Plan (ASP) and this plan identifies the subject site to be within the Residential and Related Uses area. The ASP anticipates that the predominant form of housing in Rocky Ridge to be single-family but does encourage other housing types in appropriate locations to achieve a mix of housing types.

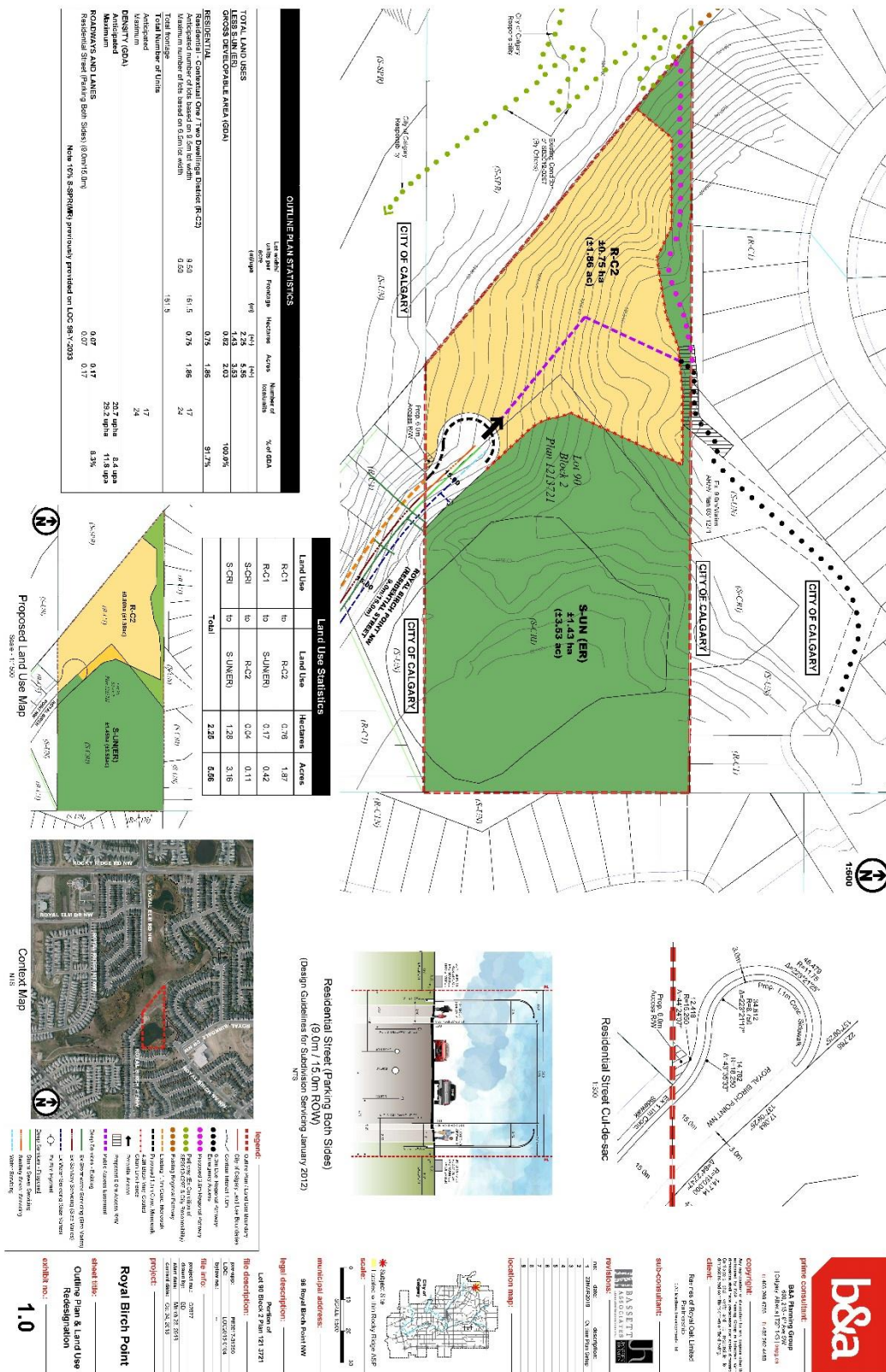
#### Summary

The vision for the proposed development is a conservation design subdivision where a compact development site allow for a majority of the subject site to be preserved for the use and enjoyment of the surrounding Royal Oak residents. The site is anticipated to be developed for side-by-side bungalows which, when constructed, will diversify the housing available within the community. In addition, a pathway and sidewalks are proposed to be extended to link the development with surrounding amenities and transit. To help achieve this vision, it is proposed that a portion of the subject site be rezoned R-C2 to allow side-by-side villa bungalows respectively. In addition, it is proposed that portions of the subject lands to be redesignated to S-UN to accommodate the dedication of Environmental Reserve. In consideration of these benefits, we respectfully request City Administration's, Calgary Planning Commission's and Council's support for this application.

ISC: Protected



## Proposed Outline Plan





### Subdivision Data Sheet

	HECTARES	ACRES
GROSS AREA OF PLAN	2.25	5.56
LESS: ENVIRONMENTAL RESERVE	1.43	3.53
LESS: LAND PURCHASE AREA		
NET DEVELOPABLE AREA	0.82	2.03

LAND USE (Residential)	HECTARES	ACRES	# OF LOTS	# OF UNITS (FOR MULTI RESIDENTIAL)
R-C2	0.75	1.86	17	
Total Residential	0.75	1.86	17	
(Non-Residential)				

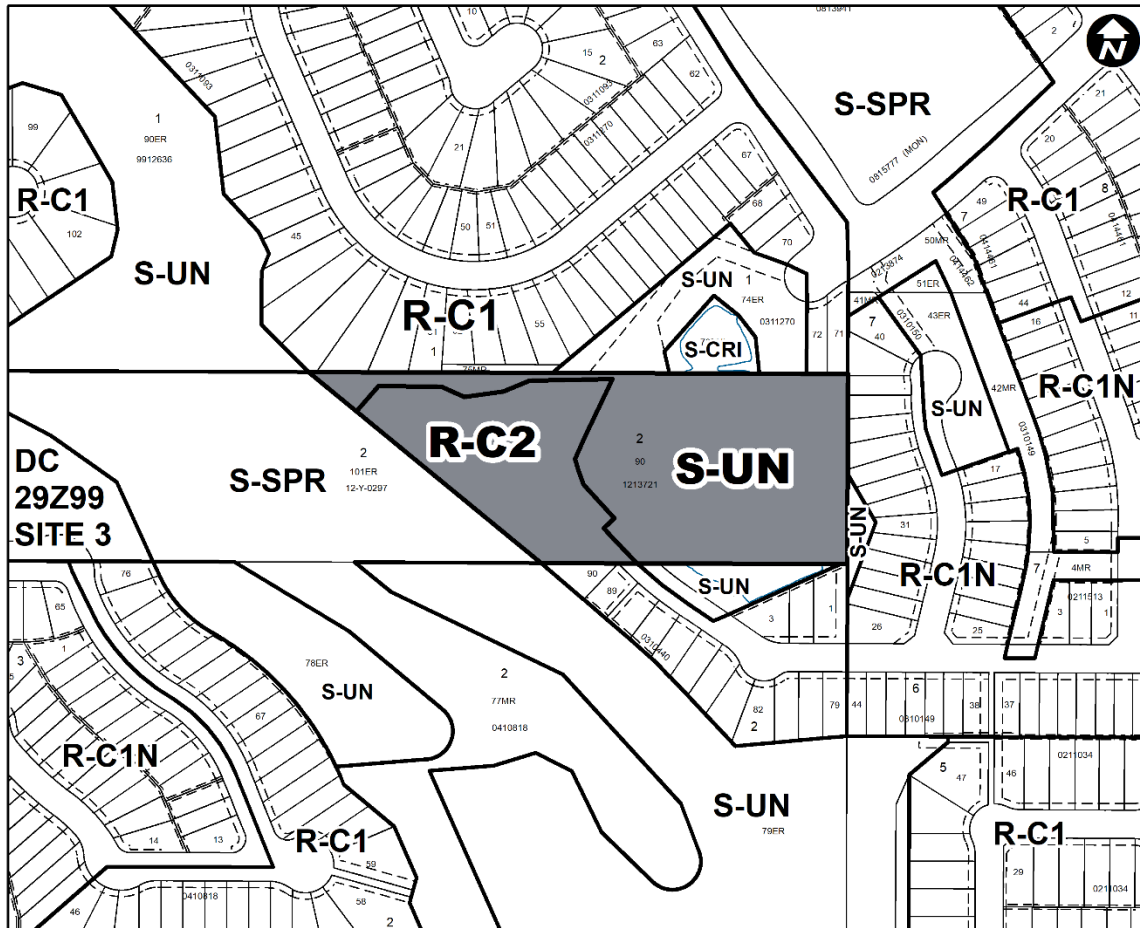
	HECTARES	ACRES	% OF NET AREA
ROADS (CREDIT)	0.07	0.17	9.33
PUBLIC UTILITY LOT			

RESERVES	HECTARES	ACRES	% OF NET AREA
MR			
MSR			
MR (NON-CREDIT)			





### Proposed Land Use District Map

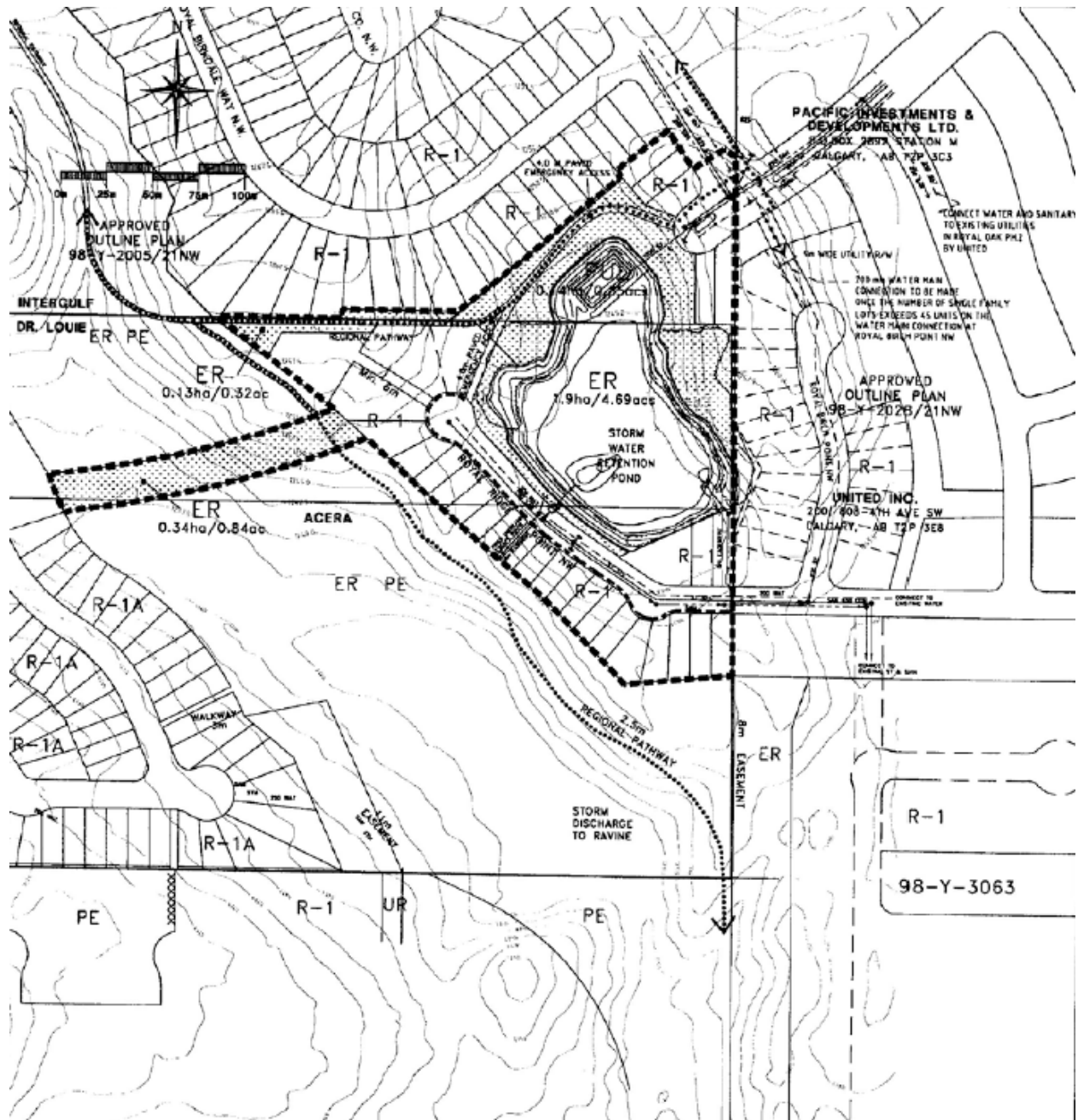








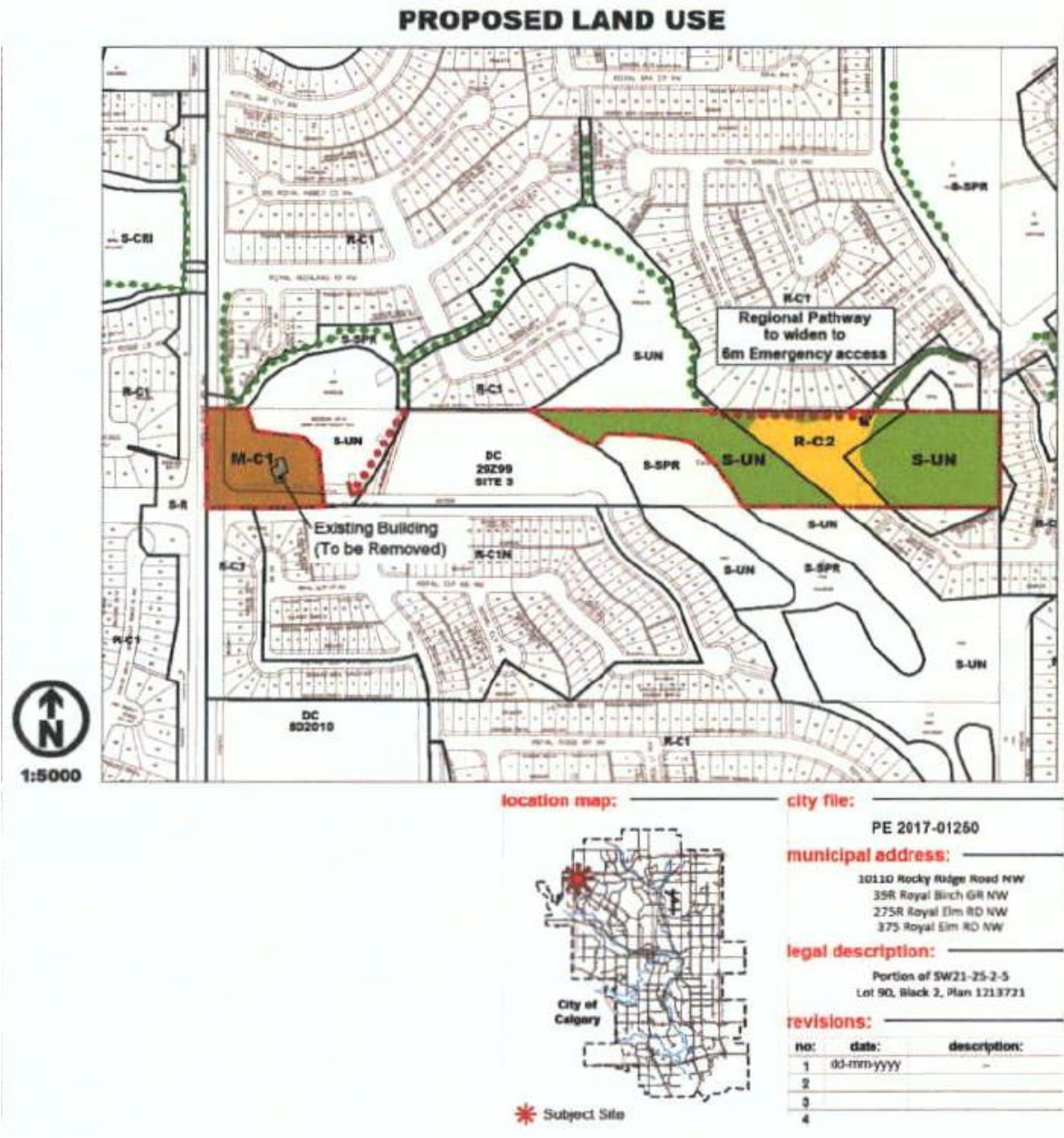
SB2000-Y-2003/21NW Outline Plan



SB2000-Y-2003/21NW approved CPC 2002 May 08



Adjacent Development Sites







Planning & Development Report to  
Calgary Planning Commission  
2018 November 29

ISC: UNRESTRICTED  
CPC2018-1358  
Page 1 of 6

## **Policy Amendment and Land Use Amendment in Sunalta (Ward 8) at 2100 and 2206 – 10 Avenue SW, LOC2018-0165**

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### **EXECUTIVE SUMMARY**

This application was submitted by Citytrend on 2018 July 16 on behalf of the landowner, Gunther's Building Centre Ltd and Gunther's Building Supplies Limited. The application proposes to change the designation of this property from Commercial – Corridor 2 f3.0h27 (C-COR2 f3.0h27) District to a Direct Control District to allow for:

- Self Storage Facility, in addition to the uses already allowed;
- A maximum building height of 27 metres (same as the existing maximum);
- A maximum floor area ratio of 4.5 (an increase from the existing maximum of 3.0); and
- The uses listed in the C-COR2 district.

A minor text amendment to the *Sunalta Area Redevelopment Plan* (ARP) is required to accommodate the proposed land use redesignation. The proposal conforms to the ARP, as amended and is in keeping with applicable policies of the *Municipal Development Plan*.

No development permit application has been submitted at this time.

### **ADMINISTRATION RECOMMENDATION:**

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed amendments to the Sunalta Area Redevelopment Plan (Attachment 3); and
2. Give three readings to the proposed bylaw.
3. **ADOPT**, by bylaw, the proposed redesignation of 0.84 hectares  $\pm$  (2.08 acres  $\pm$ ) located at 2100 and 2206 – 10 Avenue SW (Plan 8610141, Block 1, Lots 1 and 2) from Commercial – Corridor 2 f3.0h27 (C-COR2 f3.0h27) District **to** DC Direct Control District to accommodate the additional use of Self Storage Facility and a revised FAR, with guidelines (Attachment 2); and
4. Give three readings to the proposed bylaw.

### **PREVIOUS COUNCIL DIRECTION / POLICY**

None.

Approval(s): S. Lockwood concurs with this report. Author: J. Duff

## **Policy Amendment and Land Use Amendment in Sunalta (Ward 8) at 2100 and 2206 - 10 Avenue SW, LOC2018-0165**

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### **Site Context**

The subject site consists of two parcels of land located in the community of Sunalta. 10 Avenue SW is located along the south and west sides of the site. The Canadian Pacific Railway tracks are to the north of the site and C-COR2 f3.0h27 sites are to the east. An elevated portion of Bow Trail SW is located on the other side of 10 Avenue SW to the south and a Crowchild Trail SW overpass crosses over 10 Avenue SW just west of the site. The surrounding elevated arterial street and skeletal road combined with the railway corridor to the north make the surrounding context unique and the site unsuitable for many types of commercial redevelopment.

Traditionally, self storage facilities are located in industrial areas which pushes these types of facilities outside of the communities that use them. This application proposes a land use that aims to successfully integrate this type of use into an inner city commercial area to provide a convenient self storage solution for the residents of this community as well as surrounding communities.

The site is currently developed with a building supply warehouse and store. No development permit has been submitted at this time but the land owner intends to build a 6 storey self storage facility on the west parcel and repurpose the existing buildings on the east parcel.

### **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

#### **Planning Considerations**

##### ***Land Use***

The proposed land use is a DC Direct Control District (Attachment 2) based on the existing Commercial – Corridor 2 district with the additional use of Self Storage Facility and an increase to the floor area ratio to 4.5. Administration recognizes that direct control districts must only be used for the purpose of providing for development that, due to their unique characteristics, innovative ideas or unusual site constraints, required specific regulation unavailable in other land use districts; and further, must not be used in substitution of any other land use district in the Bylaw that could be used to achieve the same result either with or without relaxations; or to regulate matters that are regulated by subdivision or development permit approval conditions.

The only standard districts in the Land Use Bylaw that allow for a Self Storage Facility are industrial districts. These districts allow for a wide range of industrial uses in addition to Self Storage Facility which would be considered inappropriate for this site given the policies of the *Sunalta Area Redevelopment Plan*. A specific rule for a Self Storage Facility has been incorporated into the DC where each storage compartment must be accessed through the internal hallways. This rule has been designed specifically for a commercial context and, as such, meets the intent to be considered a commercial use. An increase to the floor area ratio will allow for greater density upon redevelopment of the site while maintaining the existing height maximum.

**Policy Amendment and Land Use Amendment in Sunalta (Ward 8) at 2100 and 2206 - 10 Avenue SW, LOC2018-0165**

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***Development and Site Design***

The proposed redesignation provides guidance for site development including appropriate uses, height and building floor area, landscaping and parking. In addition, a specific rule has been created in the Direct Control District to ensure that future redevelopment of a Self Storage Facility is developed in a manner suitable for a commercial inner-city context, by the requirement that all storage compartments must be accessed internally. This approach would exclude the traditional self storage facility that provides for direct vehicular access to each unit.

***Environmental***

A Phase I Environmental Site Assessment was submitted with the application. Based on the information reviewed within this report, this site is classified as having a low environmental hazard potential and no further investigation of the site is recommended.

***Transportation***

Pedestrian and vehicular access to the site is available from 10 Avenue SW. The subject site is approximately 760 metres away from the Sunalta LRT station, which is a Primary Transit route. A Transportation Impact Assessment was not required as part of this application.

***Utilities and Servicing***

Water, sanitary and storm mains are available to this site. Further details for servicing will be reviewed at the development permit stage.

**Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to the Community Association and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

Following Calgary Planning Commission, notification for Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

No public meetings were held for this application, but the applicant did meet with the Sunalta Community Association prior to submitting the application.

Administration received a response of "no objection" to the proposed land use redesignation from the Sunalta Community Association.

Administration received one letter of objection to the application from a citizen and one letter of "no objection" from the Canadian Pacific Railway. The letter of objection expressed concerns with an increase in building height.

## **Policy Amendment and Land Use Amendment in Sunalta (Ward 8) at 2100 and 2206 - 10 Avenue SW, LOC2018-0165**

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Administration responded to the letter of objection by informing the citizen that the maximum allowable building height is not increasing. No further comments were received following that response.

### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory – 2014)***

The recommendation by Administration in this report has considered and is aligned with the policy direction of the South Saskatchewan Regional Plan.

#### ***Municipal Development Plan (Statutory – 2009)***

The subject site is located within the Developed – Inner City area as identified on Map 1: Urban Structure in the *Municipal Development Plan (MDP)*. The applicable MDP policies encourage redevelopment of inner-city communities and to provide more choice within complete communities.

The addition of a self storage facility in this location will help to support the needs of local residents to give them more choice in their community.

#### ***Sunalta Area Redevelopment Plan (Statutory – 1982)***

The subject site is located within the Office Commercial area as identified on Map 2: Land Use Policies in the *Sunalta Area Redevelopment Plan (ARP)*. Although the self storage use is traditionally considered under Schedule A – Storage Group and is included in the industrial districts of The City's Land Use Bylaw (1P2007), the additional rules on building form ensure redevelopment will be in a commercial form to meet the intent of the policies of the ARP. The ARP provides direction on the specific land use for this area, and therefore a minor text amendment to the ARP is required in support of this application (Attachment 3).

### **Social, Environmental, Economic (External)**

The recommended land use contributes to a complete community by allowing for an additional use that provides nearby residents with an additional service.

### **Financial Capacity**

#### ***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

#### ***Current and Future Capital Budget:***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

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**Policy Amendment and Land Use Amendment in Sunalta (Ward 8) at 2100 and  
2206 - 10 Avenue SW, LOC2018-0165**

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**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposal is in keeping with applicable policies of the *Municipal Development Plan* and *Sunalta Area Redevelopment Plan*. The proposed Direct Control District is in keeping with the existing land use district and provides for additional density and an additional use with rules to ensure future redevelopment is compatible in a commercial context.

**ATTACHMENT(S)**

1. Applicant's Submission
2. Proposed Direct Control District
3. Proposed Amendment to the Sunalta Area Redevelopment Plan



## **Applicant's Submission**

Through this application we are seeking to redesignate the subject sites located at 2206 and 2100 10 Avenue SW from C-COR2f3.0h27 to a Direct Control District based in C-COR 2 to accommodate a Self Storage Facility. The Direct Control District allows the addition of the Self Storage Facility use with rules specifically designed to fit the Inner City context of the site and maintain the commercial rules and policies set out in the Sunalta Area Redevelopment Plan.

The subject site is located in the community of Sunalta in the city's southwest quadrant. While the subject site is located in Sunalta, the physical context with Bow Trail to the east, Crowchild Trail to the west and the CPR tracks to the north makes the site conditions unique and severs the site from the surrounding community.

Real Storage Group, a self-storage provider with over 35 locations across the country, is proposing to redevelop the subject site. The first phase of development will occur on the west lot (municipal address 2206 10 Avenue SW) and will accommodate a multi-storey storage facility while some existing buildings on the balance of the site will be reconditioned to allow commercial uses.

Self Storage Facility is not listed as permitted or discretionary uses in the C-COR 2 District. In order to accommodate the proposed development a Land Use Redesignation is required. Traditionally, the City of Calgary and the Land Use Bylaw have characterized Self Storage Facilities as an industrial use. Over the years, the need for accessible self-storage facilities has increased with the development of residential condominiums. The traditional view of self-storage has forced the consumer to find storage solution outside of their communities in the industrial areas of the city. We believe that self-storage can be successfully integrated in the urban fabric. Our application proposes the use of a Direct Control District to include specific rules for self-storage that better fit the urban context.

We are proposing that the Self Storage Facility be considered a commercial use for several reasons. Self Storage Facilities are typically characterized by roll up doors with direct vehicular access to the exterior. This would not be allowed for new buildings under the proposed Direct Control District. Individual access to storage units have to occur from the inside of the building. Eliminating exterior doors and vehicle circulation throughout the site makes this proposed storage facility consistent to a commercial use and compatible to an urban context.

Further, the Self Storage Facility is proposed to be multi-storey and will appear more as an office building than traditional self-storage development. Windows will be present throughout the building to offer transparency and visual interest which is not typically present in industrial buildings.

The applicant and representatives of Real Storage held a pre-application meeting (PE2017-01395), met with Community Association representatives and met with Councillor Woolley prior to the preparation of this application package. We will continue to engage the Councillor's office, Community Association and adjacent neighbours on the application as it progresses.



## Proposed Direct Control Guidelines

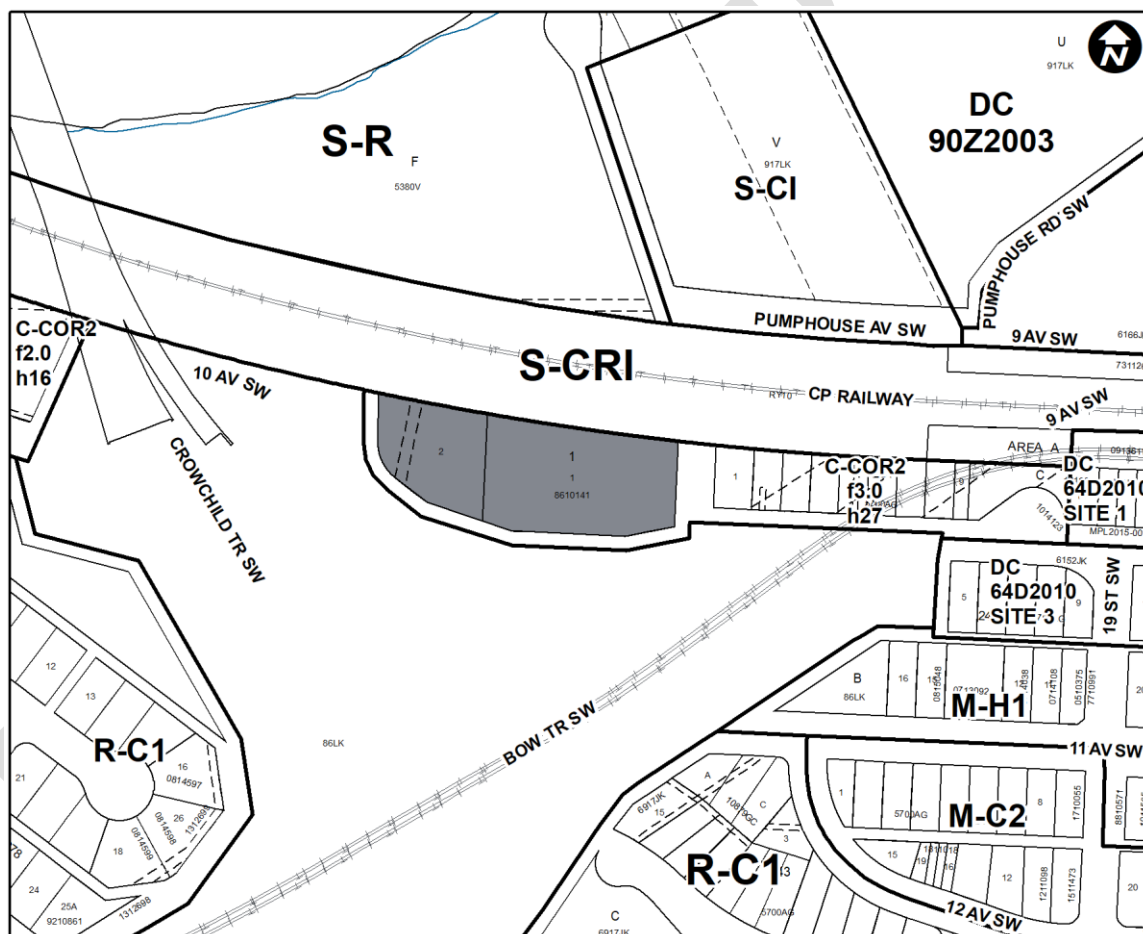
**WHEREAS** it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the *Municipal Government Act*, R.S.A. 2000, c.M-26 as amended;

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

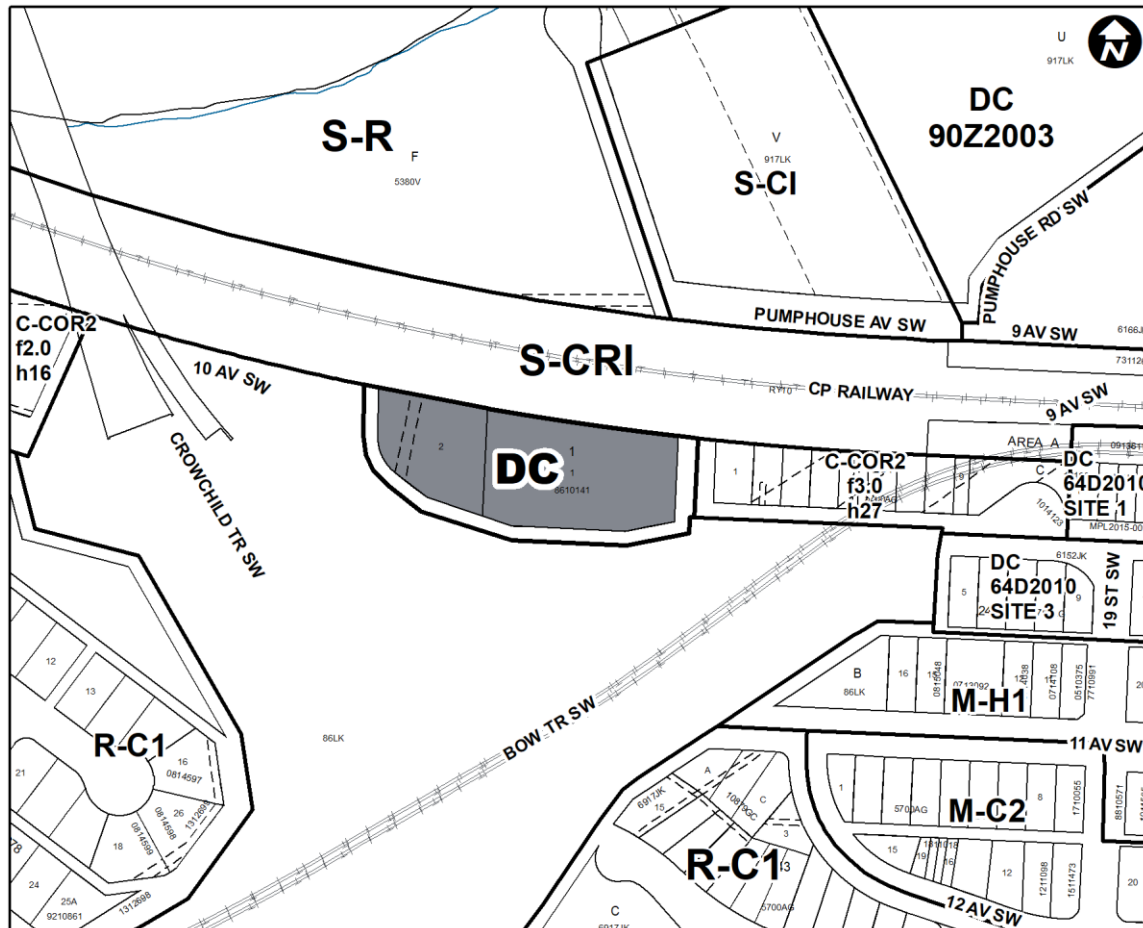
1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

### SCHEDULE A



## Proposed Direct Control Guidelines

### SCHEDULE B



### DIRECT CONTROL DISTRICT

#### Purpose

1 This Direct Control District is intended to:

- (a) allow for the additional **use** of a **Self Storage Facility** with additional rules for an urban commercial context.

#### Compliance with Bylaw 1P2007

2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

#### Reference to Bylaw 1P2007

3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

#### Permitted Uses

4 The **permitted uses** of the Commercial – Corridor 2 (C-COR2) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

## Proposed Direct Control Guidelines

### Discretionary Uses

- 5 The **discretionary uses** of the Commercial – Corridor 2 (C-COR2) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the addition of:

- (a) **Self Storage Facility.**

### Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Commercial – Corridor 2 (C-COR2) District of Bylaw 1P2007 apply in this Direct Control District.

### Rules for Self Storage Facility

- 7 The individual access to each compartment must be entirely internal to a **building**, with the exception of **buildings** existing on the date of passage of this Direct Control District.

### Floor Area Ratio

- 8 The maximum **floor area ratio** is 4.5.

### Building Height

- 9 The maximum **building height** is 27.0 metres.

TEXT FOR DISCUSSION ONLY



**Proposed Amendments to the Sunalta Area Redevelopment Plan**

**WHEREAS** it is desirable to amend the Sunalta Area Redevelopment Plan Bylaw 13P82, as amended;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26, as amended:

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

1. The Sunalta Area Redevelopment Plan attached to and forming part of Bylaw 13P82, as amended, is hereby further amended as follows:
  - (a) Under Section 3.2.5, delete the text under Land Use Districts and replace with the following:

“The C-COR2 f3.0h27 land use district applies to areas along 10th Avenue between Bow Trail and Crowchild Trail with the exception of 2100 and 2206 - 10 Avenue SW which are designated as a Direct Control District.”





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## **Land Use Amendment in Downtown Commercial Core (Ward 8) at 131 9 Avenue SW, LOC2018-0200**

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### **EXECUTIVE SUMMARY**

This land use redesignation application was submitted by the landowner Palliser Square Properties Ltd on 2018 August 31. The application proposes to change the designation of this property from Direct Control District to Direct Control District to:

- accommodate the additional use of Kennel – Urban with guidelines; and
- update the base district of the existing Direct Control District from CM-2 Downtown Business District to Commercial Residential District (CR20-C20/R20).

Under the current Centre City Enterprise Area initiative, a development permit is not required for a future change of use if the subject land use redesignation is adopted by Council.

### **ADMINISTRATION RECOMMENDATION:**

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 0.97 hectares ± (2.39 acres ±) located at 131 – 9 Avenue SW (Plan 1612253, Block 53, Lot 3) from DC Direct Control District to DC Direct Control District to accommodate the additional use of Kennel-Urban and to update the base district (Attachment 2); and
2. Give three readings to the proposed bylaw.

### **PREVIOUS COUNCIL DIRECTION / POLICY**

None.

### **BACKGROUND**

At the 2008 December 15 Combined Meeting of Council, Council adopted Bylaw 86D2008, a City initiated land use redesignation to ensure that the parking regulations contained within the Downtown Restricted Parking Area applied to existing Direct Control sites throughout the downtown. See CPC2018-114 (LOC2008-0056) for further details.

At the 2017 June 12 Combined Meeting of Council, Council adopted Bylaw 30P2017, an amendment to Land Use Bylaw 1P2007 that established the Centre City Enterprise Area (CCEA). The amendment suspended the requirement for development permits for changes of use, exterior alterations and small additions for a period of three years within a specific area. The subject use would

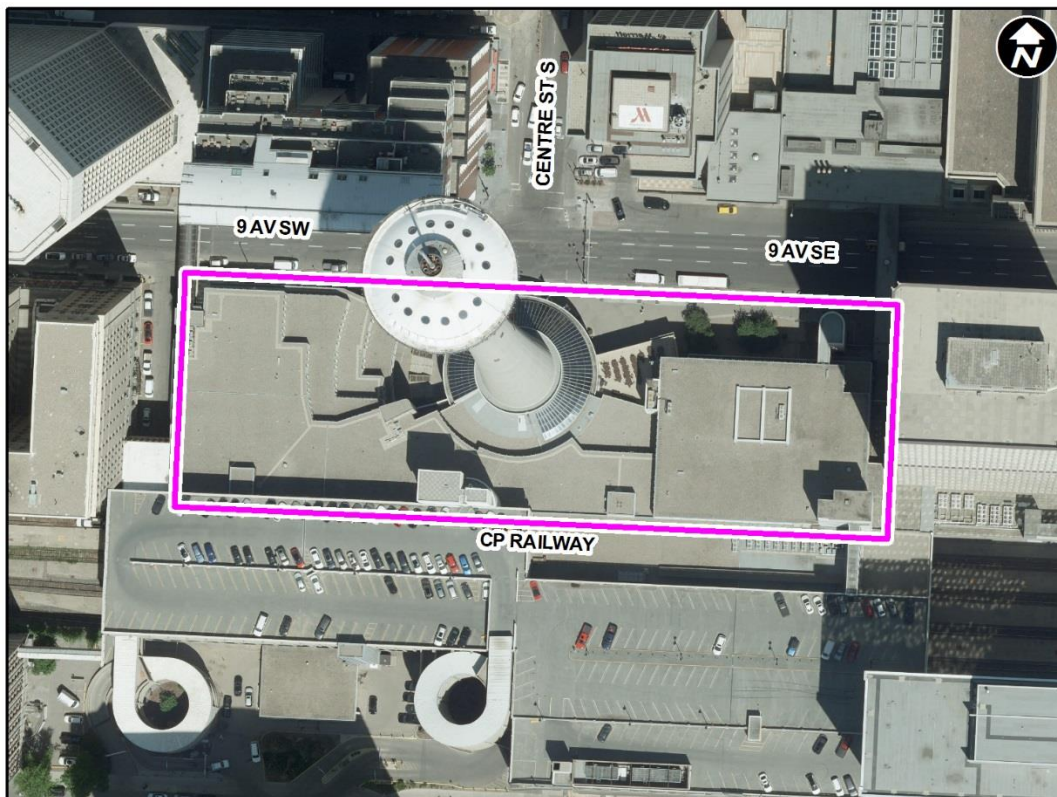
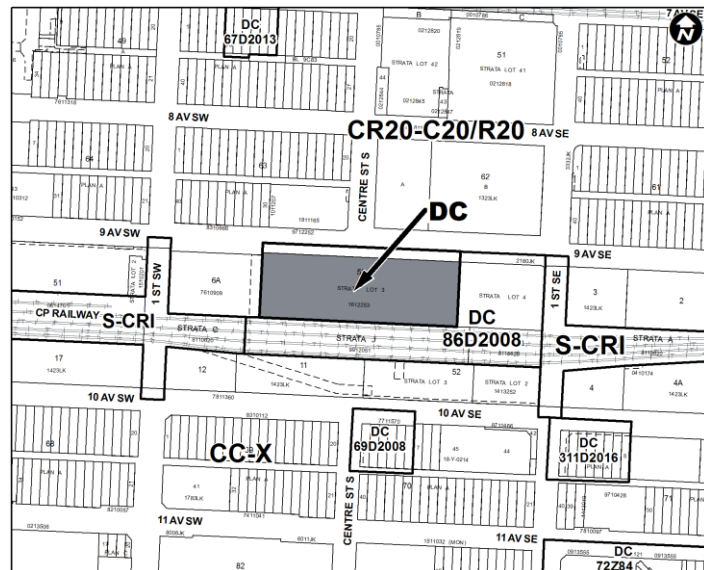
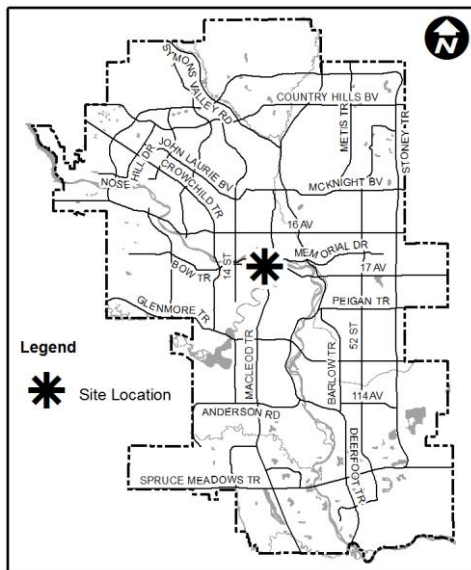
At the 2018 January 22 Regular meeting of Council, Council approved Bylaw 52P2018, an amendment to Land Use Bylaw 1P2007 that exempted change of use development permits for buildings on the Inventory of Evaluated Historic Resources within the CCEA.

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**Land Use Amendment in Downtown Commercial Core (Ward 8) at 131 9 Avenue  
SW, LOC2018-0200**

**Location Maps**



## **Land Use Amendment in Downtown Commercial Core (Ward 8) at 131 9 Avenue SW, LOC2018-0200**

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### **Site Context**

The site currently includes the Calgary Tower and Palliser Square. According to The City's Inventory of Evaluated Historic Resources, the Calgary Tower is significant as a pre-eminent landmark in Calgary and holds design significance within the national and international contexts, as one of the first towers of its type to be built anywhere. Palliser Square is tremendously valued as a symbol of the 'New Heart of Downtown Calgary', and was a direct result of urban renewal initiatives to redevelop the downtown core in the 1960s. Additional information about the Calgary Tower and Palliser Square may be obtained online through the City's [Inventory of Historic Resources](#) database.

The subject site is located in the Downtown Commercial Core on the south side of 9 Avenue SW at the intersection of Centre Street. The immediate area is characterized by a mix of restaurants, entertainment, office, hotel and residential development. The predominant land use in this area is the Commercial Residential District (CR20-C20/R20).

### **INVESTIGATION: ALTERNATIVES AND ANALYSIS**

The proposal allows for the additional use of Kennel – Urban and a range of building types that are consistent with the established building form in Calgary's downtown. The proposal generally meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

### **Planning Considerations**

#### ***Land Use:***

The existing Direct Control District (Bylaw 86D2008) is based on the former CM-2 Downtown Business District, which was intended to accommodate commercial development as well as allowing a wide range of institutional and residential uses.

The proposed Direct Control District updates the base district of the existing Direct Control District to the Commercial Residential District (CR20-C20/R20), which is intended to accommodate a mix of commercial, residential and cultural uses within the Downtown. The CR20-C20/R20 district is consistent with the existing land use in the downtown.

The proposed Direct Control District also adds the additional use of Kennel – Urban, which will accommodate the boarding of domestic animals (domesticated bird, reptile, amphibian or mammal) for period greater than 24 hours. The Direct Control District also contains the following guidelines to mitigate potential nuisance concerns and ensure the suitability of the use in the urban context.

#### **Kennel – Urban:**

- must be located on the ground floor of a building
- must not have any outdoor enclosures, pens, runs or exercise areas; and

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## **Land Use Amendment in Downtown Commercial Core (Ward 8) at 131 9 Avenue SW, LOC2018-0200**

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- must not have any indoor enclosures, pens, runs or exercise areas located in a room that shares an interior demising wall with an adjacent use.

### ***Development and Site Design***

The rules of the proposed Direct Control District will provide basic guidance for any future site redevelopment including appropriate uses, height and building massing, landscaping and parking.

The subject site is within the boundaries of the CCEA and would qualify for a change of use development permit exemption if this land use redesignation is adopted by Council.

### ***Environmental***

There are no environmental concerns associated with the site or this proposal.

### ***Transportation***

The subject site is located approximately 200 metres from LRT stops on 7 Avenue SW, adjacent to several bus routes and Bus Rapid Transit stops along 9 Street SW. A traffic impact assessment was not required as part of this application.

### ***Utilities and Servicing***

Water, storm sewer and sanitary mains are available from 9 Avenue SW and can accommodate the potential redevelopment of the subject site without the need for off-site improvements at this time.

### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

Administration received a response of no objection from the Calgary Downtown Association. Administration did not receive any responses from the public. Administration considered the relevant planning issues specific to the proposed redesignation and has determined the proposal to be appropriate.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

## **Land Use Amendment in Downtown Commercial Core (Ward 8) at 131 9 Avenue SW, LOC2018-0200**

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### **Strategic Alignment**

#### ***South Saskatchewan Regional Plan (Statutory – 2014)***

The site is located within the City, Town area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

#### ***Municipal Development Plan (Statutory – 2009)***

The subject parcel is located within the Centre City area as identified on Map 1: Urban Structure in the *Municipal Development Plan* (MDP). The applicable MDP policies identify the Centre City as the focus of business, employment, cultural, recreation, retail and high-density housing within Calgary. Accommodating additional services in the Centre City supports these policies by providing additional services that will attract both resident and businesses to the downtown core.

#### ***Centre City Plan (Non-Statutory 2007)***

The Centre City Plan provides the policy framework for the downtown and provides overall guidance and direction for development. The plan recognizes that the downtown will remain the foundation of the Centre City because of the economic role that it plays for Calgary as a whole and that it has the potential to evolve substantially and contribute to the Centre City's overall vitality and livability.

### **Social, Environmental, Economic (External)**

Development enabled by this application has the potential to allow more Calgarians to choose to live in a location well served by existing infrastructure and in close proximity to services, employment, community amenities and transit.

Further analysis of any on-site sustainability initiatives proposed in conjunction with any future development permit applications will be undertaken as part of the development permit review process. No environmental issues were identified through the proposed application.

### **Financial Capacity**

#### ***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

#### ***Current and Future Capital Budget:***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

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**Land Use Amendment in Downtown Commercial Core (Ward 8) at 131 9 Avenue  
SW, LOC2018-0200**

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**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposed Direct Control District base district (CR20-C20/R20) is consistent with the existing surrounding land use and the established building form in Calgary's downtown core. Accommodating the additional use of Kennel – Urban is in keeping with applicable policies of the Municipal Development Plan and Centre City Plan by providing additional services that will attract both resident and businesses to the downtown core and contribute to the Centre City's overall vitality and livability.

**ATTACHMENT(S)**

1. Applicant's Submission
2. Proposed DC Direct Control District Guidelines



## Applicant's Submission

0200



### Land Use Redesignation Applicant's Submission

#### Not Including Secondary Suites

PL 1263 (R2017-09)

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. These comments are included in a report which is presented to the Calgary Planning Commission and a Public Hearing of City Council. Your comments **must** be limited to the area designated on this form to ensure it will fit the space requirements of the report. Supplementary information can be provided separately in your application if required.

This Land Use amendment application is to redesignate the subject property located at 131 9th Ave SW, from Direct Control (DC) District CR20-C20/R20 to DC District to allow for the additional use of Pet Care and Boarding Services. The use would allow for overnight care of pets without outdoor enclosures so that there is no noise or smell impact beyond the walls of the building. As the tenant space will include a pet indoor play area there is no need for an outdoor dog run typically associated with kennels in industrial areas.

The amendment is proposed in order to provide additional services to pet owners who work downtown and downtown residents who want their pet cared for while they are at work or away from home. It can also provide pet care services to visitors of downtown hotels.

The only land use districts that allow for the overnight care of pets are the I-G (Industrial - General) or I-R (Industrial - Redevelopment) Districts which would be inappropriate land use for the downtown core. The addition of the proposed use fills an urban context need and doesn't force pet owners to travel long distances to industrial areas or to kennels in Rocky View County to accommodate their overnight pet care needs. This is of particular importance to downtown residents who do not have a vehicle.

The use would occupy space within a concrete building that houses an office tower. The concrete structure will provide noise abatement to tenants of adjoining floors. Noise abatement wall materials and air filtration equipment will be installed to prevent nuisance to adjoining office tenants. As the landlord, Palliser Square Properties Ltd. intends to lease out adjacent office space and do not wish to jeopardize future tenants with a use that creates noise or odor issues.

All activities for dogs are provided in indoor exercise rooms with separate space used to wash, cut and groom dogs. Pets staying the night will be placed in separate crates with supervised 24/7 care. As well, a veterinarian will be on call 24 hours a day.

The business would be required to comply with all Alberta Health and Animal Services requirements. All staff will be required to pass police checks, be insured as well as be trained and certified in pet first aid.

Pet stores are an allowable use within the existing land use district. Within retail pet stores, pets for adoption are already cared for overnight. This additional use would allow for overnight care for pet owners as well.

We feel that the addition of Pet Care and Boarding Services use will create a more positive and dynamic downtown, by providing additional services that will attract both residents and businesses back to the downtown core and provide convenience to pet owners already residing downtown.

ISC: Protected

## Applicant's Submission

PL 1263 (R2017-09)

### Business Operation:

- The Pet Care and Boarding Services will be able to accommodate 80-100 dogs and cats per day across all service offerings.
- Pet care will be administered at a staff-to-dog ratio of 1:20. Additional staff will be scheduled for business administration.
- The Pet Care and Boarding Services is a 24 hour operation with staff on site at all times, including statutory holidays. Overnight staff will deep clean the facility and supervise the health and comfort of guests in their care.
- The Pet Care and Boarding Services is a self-contained, indoor only facility. Individual, on leash walks will be offered only for clients who request them and sign an additional liability waiver acknowledging that their pet is leaving the property.

In this space specifically, the Pet Care and Boarding Services will provide care for dogs in spaces that do not share any common walls with neighboring tenants to mitigate any potential for disruption. All of the boarding kennels and play rooms are located along exterior, cinder block walls that are at least 12" thick, with a concrete pad floor and drop ceiling. There are multiple offices and hallways between the boarding kennels, playrooms and the general public/neighboring tenants.

For clarity, to the west is an ally way. To the north is 9th Avenue. To the south is a parking structure. To the east is a hallway. There are no adjacent neighbours in any direction.

We respectfully request Administration and Council's support of our proposed application.

**NOTE:** Applications must be submitted without personal information on any plans. Omitting this information will protect builders and tenants by reducing the risk of any personal information being wrongfully displayed, while also following the Province of Alberta's FOIP Act. If you consider the information to be personal, do not put it on the plans.

ISC: Protected

## Proposed Direct Control Guidelines

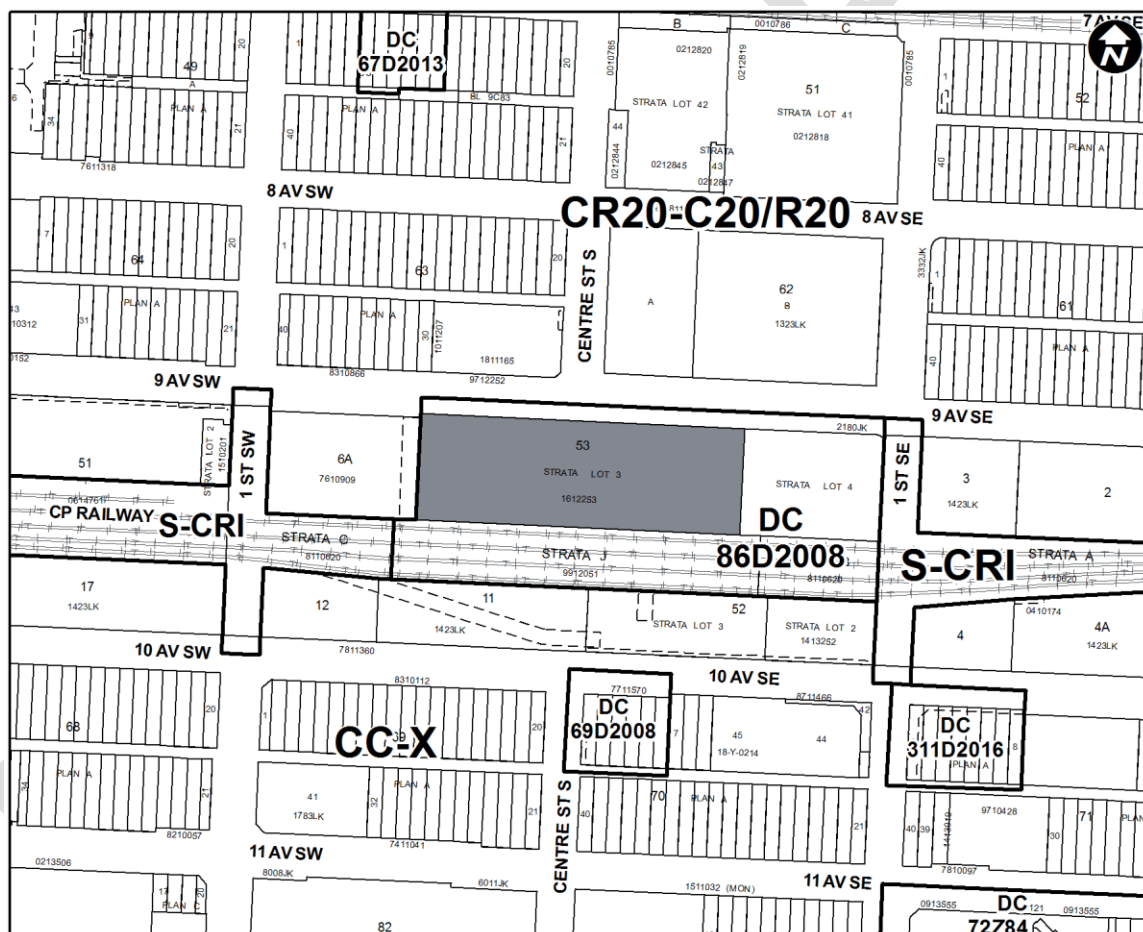
**WHEREAS** it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the *Municipal Government Act*, R.S.A. 2000, c.M-26 as amended;

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

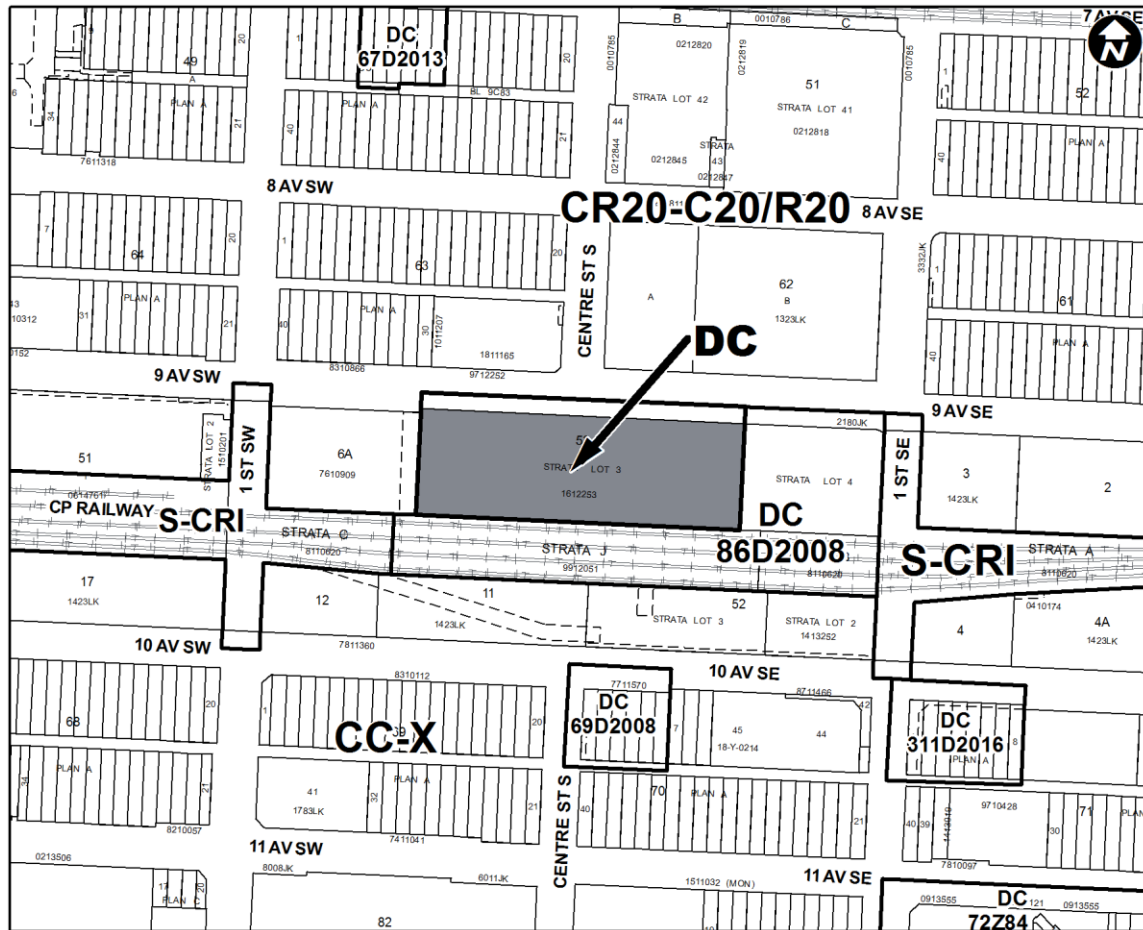
1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

### SCHEDULE A



## Proposed Direct Control Guidelines

### SCHEDULE B



### DIRECT CONTROL DISTRICT

#### Purpose

- 1 This Direct Control District is intended to:
  - (a) accommodate a **Kenel – Urban** with guidelines.

#### Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3, and 4 of Bylaw 1P2007 apply to this Direct Control District.

#### Reference to Bylaw 1P2007

- 3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

## Proposed Direct Control Guidelines

### General Definitions

4 In this Direct Control District;

- (a) “**Kennel - Urban**” means a **use**:
  - (i) where domestic animals are boarded overnight or for periods greater than 24 hours;
  - (ii) that may provide for the incidental sale of products relating to the services provided by the **use**; and
  - (iii) that includes animal enclosures, pens, runs or exercise areas.

### Permitted Uses

5 The **permitted uses** of the Commercial Residential District (CR20-C20/R20) of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

### Discretionary Uses

6 The **discretionary uses** of the Commercial Residential District (CR20-C20/R20) of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the addition of:

- (a) **Kennel – Urban.**

### Bylaw 1P2007 District Rules

7 Unless otherwise specified, the rules of the Commercial Residential District (CR20-C20/R20) district of Bylaw 1P2007 apply in this Direct Control District.

### Kennel – Urban Rules

8 **Kennel – Urban:**

- (a) must be located on the ground floor of a **building**;
- (b) must not have any outdoor enclosures, pens, runs or exercise areas; and
- (c) must not have any indoor enclosures, pens, runs or exercise areas located in a room that shares an interior demising wall with an adjacent **use**.

### Required Motor Vehicle Parking Stalls for Kennel - Urban

9 There is no requirement for **motor vehicle parking stalls** for **Kennel – Urban**.

### Required Bicycle Parking Stalls for Kennel - Urban

- 10 (1) **Kennel – Urban** requires a minimum of 1.0 **bicycle parking stalls – class 1** per 250.0 square metres of **gross usable floor area**.
- (2) **Kennel – Urban** requires a minimum of 1.0 **bicycle parking stalls – class 2** per 250.0 square metres of **gross usable floor area**.

### Relaxations

11 The **Development Authority** may relax the rules contained in Sections 8 and 10 of this Direct Control District provided the test for relaxation in Bylaw 1P2007 is met.



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**Land Use Amendment in Bridlewood at 249 Bridlerange Place SW (Ward 13),  
LOC2018-0203**

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**EXECUTIVE SUMMARY**

This land use amendment application was submitted on 2018 September 11 by Maidment Land Surveys on behalf of the Glenmore Christian Academy Educational Society, for lands owned by The City of Calgary.

The application proposes to redesignate the subject site, located in the community of Bridlewood, from the Special Purpose – School, Park and Community Reserve (S-SPR) District to the Special Purpose – Community Institution (S-CI) District for the purposes of consolidating the site with the adjacent private school.

**ADMINISTRATION RECOMMENDATION:**

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 0.81 hectares  $\pm$  (2.01 acres  $\pm$ ) located at 249 Bridlerange Place SW (Plan 0815756, Block 4, Lot 13MR) from Special Purpose – School, Park and Community Reserve (S-SPR) District to Special Purpose – Community Institution (S-CI) District; and
2. Give three readings to the proposed bylaw.

**PREVIOUS COUNCIL DIRECTION / POLICY**

None.

**BACKGROUND**

This land use amendment application was submitted to The City of Calgary on 2018 September 11 by Maidment Land Surveys on behalf of the Glenmore Christian Academy Educational Society (GCA), for lands owned by The City of Calgary.

Council has authorized negotiation of sale (UCS2018-0741) of the subject site by the City to the Glenmore Christian Academy Educational Society. As the property has a Municipal Reserve (MR) designation, disposition must occur prior to transfer of the property to Glenmore Christian Academy. The property is also to be consolidated with the adjacent GCA lands and be subject to a restrictive covenant for the benefit of the three surrounding MR properties that restricts any building, structure, or improvement from being constructed or permitted on the site unless it is for recreation purposes and falls within the definitions of “Outdoor Recreation Area” and “Park” under the Land Use Bylaw 1P2007.

Negotiation of sale, disposition of MR and consolidation were deemed acceptable by the Joint Use Coordinating Committee (JUCC) on 2018 May 9 and by Council 2018 June 27 and are in progress through related subdivision application SB2018-0304.

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This land use amendment is to ensure consistency between the land use designations across the entirety of the future GCA lands and to allow for the subject site's continued use for outdoor recreation and athletics.

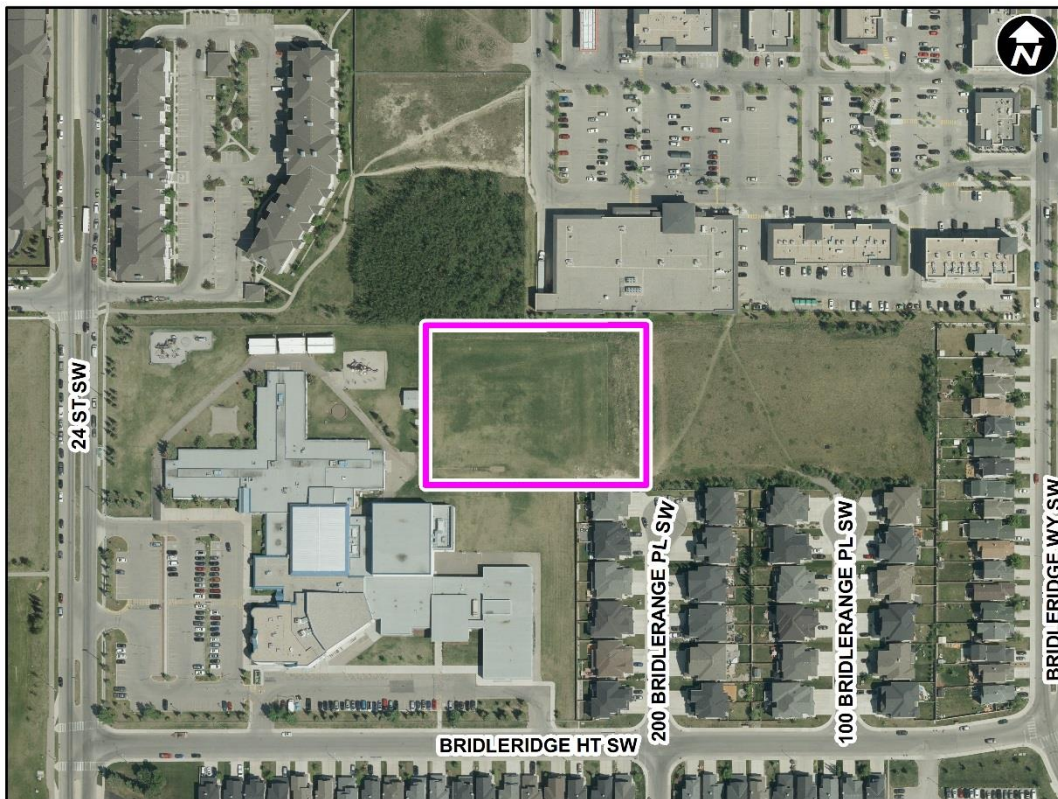
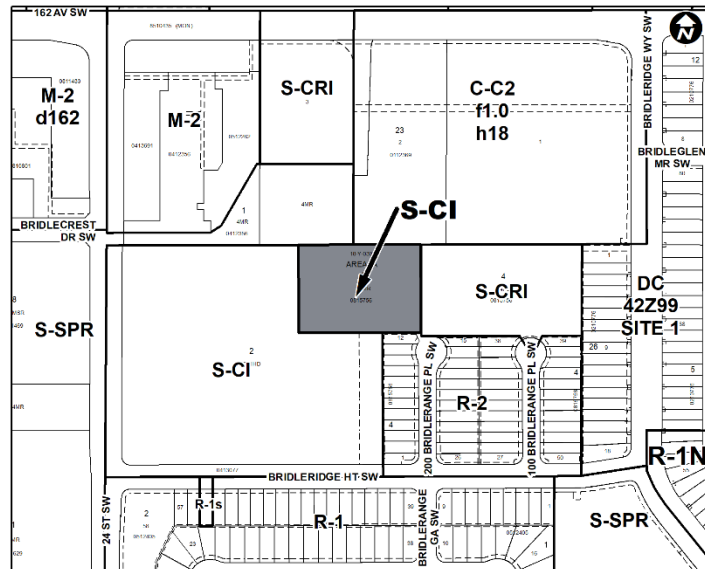
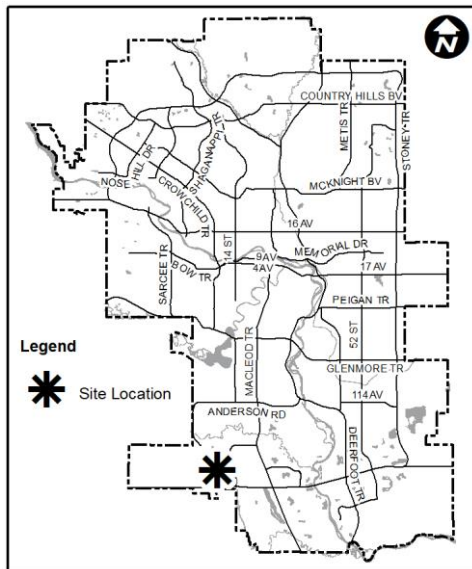


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Land Use Amendment in Bridlewood at 249 Bridlerange Place SW (Ward 13),  
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Location Maps



**Land Use Amendment in Bridlewood at 249 Bridlerange Place SW (Ward 13),  
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**INVESTIGATION: ALTERNATIVES AND ANALYSIS**

**Site Context**

The subject site is located at the north end of Bridlerange Place SW in the community of Bridlewood. To the west is the Glenmore Christian Academy (designated Special Purpose – Community Institution S-CI); to the south are semi-detached homes on Bridlerange Place SW (designated Residential – One / Two Dwelling (R-2) District); to the east is an open space and stormwater retention facility (designated Special Purpose – City and Regional Infrastructure (S-CRI) District); and to the north is a wooded open space (designated Special Purpose – School, Park and Community Reserve (S-SPR) District) and a grocery store anchoring a local-serving retail commercial area (designated Commercial – Community 2 (C-C2f1h18) District).

**Planning Considerations**

***Land Use***

The proposed land use aligns with that of the Glenmore Christian Academy (S-CI) and continues the current use of the site for recreation and open space. The proposed land use designation supports future plans by Glenmore Christian Academy to develop athletic facilities including a running track and support facilities such as restrooms.

***Transportation Networks***

Transportation impacts of the proposed running track and support facilities will be evaluated through the development permit process.

***Utilities and Servicing***

Water, sanitary and storm sewer mains are available, however suitability of servicing will be evaluated through the development permit process.

**Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and a large notice sign was posted on-site. Notification letters were sent to adjacent land owners and the application was advertised online. No public events or meetings were held for this application. No comments were received from the public.

**Strategic Alignment**

***South Saskatchewan Regional Plan (Statutory – 2014)***

The site is located within the 'City, Town' area as identified on Schedule C: South Saskatchewan Regional Plan Map in the South Saskatchewan Regional Plan (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with applicable policies.

**Land Use Amendment in Bridlewood at 249 Bridlerange Place SW (Ward 13),  
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***Municipal Development Plan (Statutory – 2009)***

As the proposed redesignation retains the use of the site as open space and supports adjacent community uses (the Glenmore Christian Academy), the application is found to align with MDP policy regarding open space and community amenities.

***Midnapore III Community Plan (Non-Statutory – 1997)***

The subject site falls within the 'Neighbourhood Area' category in the Midnapore III Community Plan. There is no specific guidance relative to the use of this site (it is not an identified Joint Use Site), however the proposed redesignation maintains open space in proximity to a neighbourhood node, specifically the multi-residential and commercial uses in proximity to the future 162 Avenue SW transit corridor.

**Social, Environmental, Economic (External)**

**Financial Capacity**

***Current and Future Operating Budget:***

Separate from land use, disposition and sale of this site will remove these lands from The City's inventory and reduce City operations and maintenance obligations.

***Current and Future Capital Budget:***

Separate from land use, disposition and sale of this site will result in revenue to The City.

**Risk Assessment**

As Municipal Reserve and established open space, there may be a community expectation that the site remains open and available for public access and recreation. The proposed land use district and anticipated development of athletic facilities including a running track and support facilities provide for this, but linking the site more closely with the adjacent school may result in more limited public access than currently exists. As Bridlewood has an open space provision of greater than ten per cent, the proposed land use redesignation should not unduly impact overall open space in the community.

**REASON(S) FOR RECOMMENDATION(S):**

The proposed land use redesignation aligns with applicable policy for the site, integrates well with the adjacent school, is accompanied by restrictions on future development that would prevent the loss of open space, and has a positive impact on future operating and capital budgets.

**ATTACHMENT(S)**

1. Applicant's Submission



## Applicant's Submission

0203



### Land Use Redesignation Applicant's Submission Not Including Secondary Suites

PL 1263 (R2017-09)

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. These comments are included in a report which is presented to the Calgary Planning Commission and a Public Hearing of City Council. Your comments **must** be limited to the area designated on this form to ensure it will fit the space requirements of the report. Supplementary information can be provided separately in your application if required.

Further to a presentation to the Joint Use Coordinating Committee on May 9, 2018 and land acquisition approval by Council on June 27, 2018, GCA Educational Society and the City of Calgary, Real Estate & Development Services have commenced proceedings related to the purchase and sale of Lot 13MR, Block 4, Plan 081 5756 (0.812ha.) within the community of Bridlewood. GCA wishes to purchase and consolidate these lands into adjacent lands which it owns (ie: Block 2, Plan 4771HD).

Further to Part 17 of the Municipal Government Act, subdivision application SB2018-0304 has been made in accordance with current city policy for the purpose of disposal of reserve requirements. In addition, this land use application is being made to redesignate the affected lands from S-SPR to S-CI to match the land use of the lands under consolidation.



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## Land Use Amendment in Walden (Ward 14) at 19605 Walden Boulevard SE, LOC2018-0185

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### EXECUTIVE SUMMARY

This land use amendment application was submitted 2018 August 16 by Carol McClary Planning Solutions on behalf of the landowner Genco (Walden) Ltd and DWG Holdings Corp. The application proposes to change the designation of the subject parcel from DC Direct Control District to Commercial – Corridor 2 f0.5h12 (C-COR2 f0.5h12) District to allow for:

- commercial development;
- a maximum building area of approximately 5,173.2 square meters based on a floor to parcel area ratio (FAR) of 0.5;
- a maximum building height of 12.0 metres; and
- a broader range of uses than what is available under the existing DC District.

The proposal is in keeping with applicable policies of the *Municipal Development Plan* and the *East Macleod Trail Area Structure Plan*.

A development permit for a Cannabis Store within one of the existing buildings was submitted by Puneet Nagpal on 2018 April 24 and was refused on 2018 August 07. An appeal to the Subdivision and Development Appeal Board was submitted 2018 August 21 and a hearing is scheduled for 2019 January 08.

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw the proposed redesignation of 1.03 hectares  $\pm$  (2.55 acres  $\pm$ ) located at 19605 Walden Boulevard SE (Condominium Plan 1711606) from DC Direct Control District **to** Commercial – Corridor 2 f0.5h12 (C-COR2 f0.5h12) District; and
2. Give three reading to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

None.

### BACKGROUND

This land use amendment application was submitted 2018 August 16 by Carol McClary Planning Solutions on behalf of the landowner Genco (Walden) Ltd and DWG Holdings Corp. As indicated in the Applicant's Submission (Attachment 1), the application proposes to change the existing DC District to the standard C-COR2 District, which will allow for commercial development with a broader range of uses that are compatible with existing development on site and the surrounding area. The site is within a landfill setback area and any prohibited uses will require a variance to the Provincial *Subdivision and Development Regulation* at the development permit stage. A development permit for a Cannabis Store within an existing

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**Land Use Amendment in Walden (Ward 14) at 19605 Walden Boulevard SE,  
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building was submitted by Puneet Nagpal on 2018 April 24 and was refused on 2018 August 07. An appeal to the Subdivision and Development Appeal Board was submitted 2018 August 21 and a hearing is scheduled for 2019 January 08.

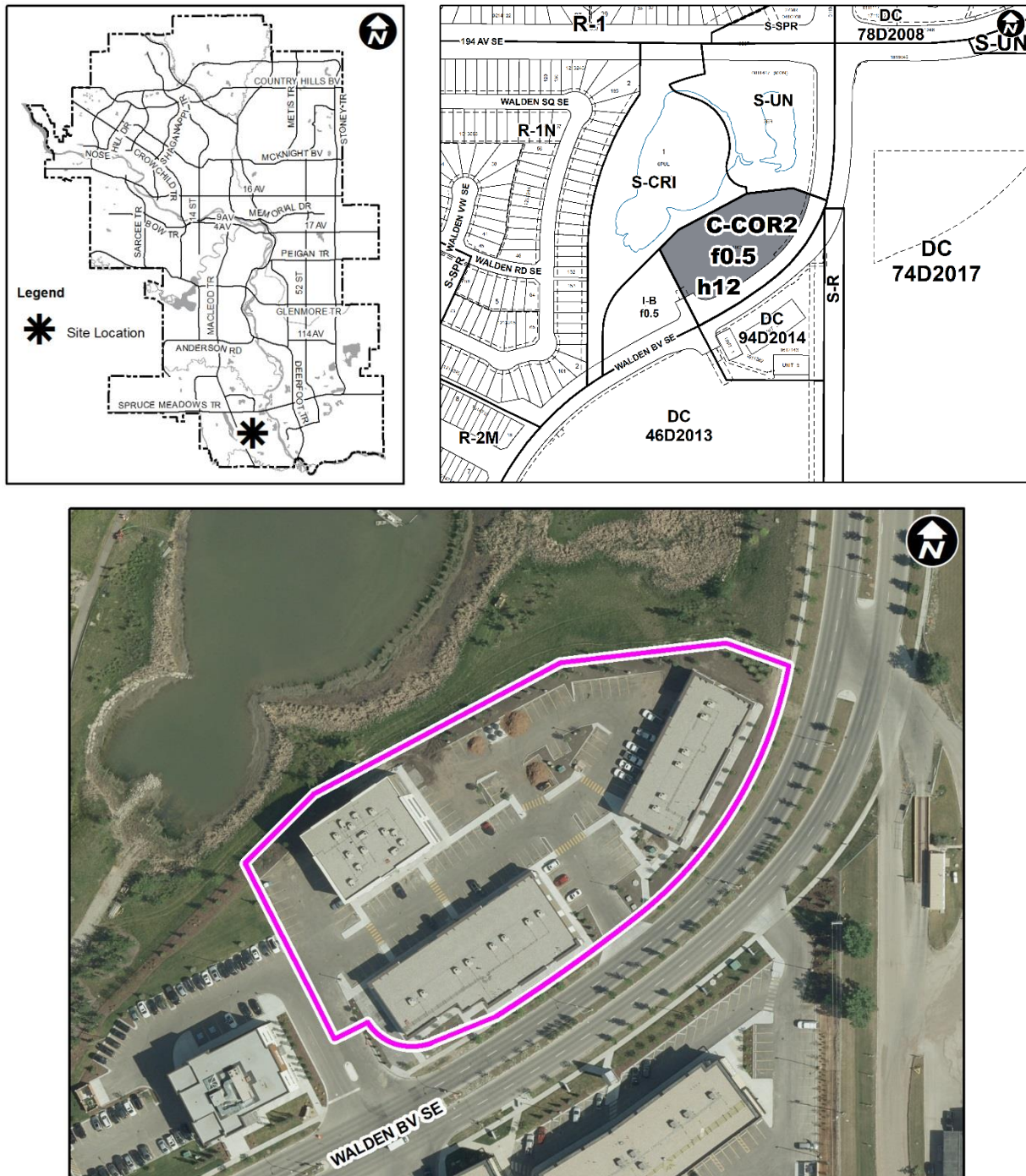


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Land Use Amendment in Walden (Ward 14) at 19605 Walden Boulevard SE,  
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Location Maps



**Land Use Amendment in Walden (Ward 14) at 19605 Walden Boulevard SE,  
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**Site Context**

The subject site is located in the community of Walden along Walden Boulevard SE. The site and surrounding parcels are developed with a number of commercial uses including medical clinics, offices, fitness centres, retail and consumer service and instructional facilities. An urban natural area and stormwater pond are located north of the site. An office development is located adjacent to the site to west, and a commercial development with a beverage container drop-off depot and retail and consumer services are located south of the site.

A landfill site is located to the east of the site across Walden Boulevard SE. The landfill has an existing Provincial approval held by Waste Connections of Canada Inc, and is owned and managed by Progressive, formally known as Browning Ferrie Industries (BFI). The Provincial approval for the landfill expires on 2019 July 31, and to Administration's knowledge the site is not currently accepting new waste. The latest development permit for a landfill expired in 2013 July.

The site is approximately 1.03 hectares in size and is developed with two one-storey buildings and one two-storey building.

**INVESTIGATION: ALTERNATIVES AND ANALYSIS**

**Planning Considerations**

The proposed land use redesignation, if approved, would allow for commercial development with a broader range of uses than what is available under the existing DC District. The proposal meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

**Land Use**

The existing DC District (Bylaw 184D2015) is based on the Industrial-Business (I-B) District with the additional discretionary use of Liquor Store. The DC District is intended for high quality manufacturing, research and office development and includes a number of discretionary commercial uses. The original proposal was for a new DC District based on the I-B district with both Liquor Store and Cannabis Store as additional discretionary uses, however the existing development contains commercial uses and does not have the characteristics of an industrial development.

The proposed Commercial – Corridor 2 (C-COR2) District would allow for a broader range of commercial uses than what is allowed for under the existing DC District. Other commercial districts and the Industrial – Commercial (I-C) District were considered in the review of the proposal. C-COR2 was selected because it does not include uses outside the building and only allows for limited automotive uses. The proposed district includes uses that can serve the surrounding neighbourhood, and the proposed height and density modifier limit the potential for future development to have adverse impacts on the neighbourhood nodes and gateway commercial areas identified within the *East Macleod Trail Area Structure Plan (ASP)*. The proposed density modifier of 0.5 FAR is consistent with the existing DC District, and the

**Land Use Amendment in Walden (Ward 14) at 19605 Walden Boulevard SE,  
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proposed height modifier of 12.0 metres allows for moderate intensification of the site in the future.

A variance to the *Subdivision and Development Regulation* for prohibited uses will still be required at the development permit stage. While the proposed C-COR2 District would expand the number of prohibited uses from what is included in the existing DC District, residential and significant intensification of commercial uses are restricted with the proposed height (12 metres) and density modifiers (0.5 FAR).

### **Development and Site Design**

Any proposed prohibited uses under the *Subdivision and Development Regulation* will be required to follow The City's *Waste Management Facilities: Setback Variance Protocol*. While a variance has been approved for a Liquor Store on the site (DP2016-1027), this does not mean that all prohibited uses will necessarily be granted a variance in the future. Cannabis Store is considered a prohibited use and specific mitigation measures may be identified at the development permit stage for the development of a Cannabis Store on this site.

Redevelopment of the site is not anticipated in the short or medium term given that the existing development was approved in 2016 January. At the time of future redevelopment, the rules of the proposed C-COR2 District will provide basic guidance for development including pedestrian and vehicular access, site design and building massing.

### **Environmental**

The site is within a landfill setback area and is subject to the *Subdivision and Development Regulation*.

### **Transportation**

Vehicular and pedestrian access to the site is from the existing driveways adjacent to Walden Boulevard SE. The area is well served by Transit with bus stops located within 200 metres of the site on Walden Boulevard SE. A Transportation Impact Assessment (TIA) and Parking Study was not required in support of this land use amendment application.

### **Utilities and Servicing**

The site is developed with water, sanitary, and storm services. The existing site services are adequate to support the proposed land use amendment.

### **Stakeholder Engagement, Research and Communication**

In keeping with Administration's practices, this application was circulated to stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online. No public meetings were held by Administration or the applicant.

**Land Use Amendment in Walden (Ward 14) at 19605 Walden Boulevard SE,  
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Administration received one inquiry but did not receive any letters regarding the application.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

**Strategic Alignment**

***South Saskatchewan Regional Plan (Statutory, 2014)***

The recommendation by Administration in this report has considered and is aligned with the policy direction of the *South Saskatchewan Regional Plan (SSRP)* which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

***Municipal Development Plan (Statutory, 2009)***

The site is located within a '*Residential; Developing; Planned Greenfield with Area Structure Plan (ASP)*' area as identified on the Urban Structure Map (Map 1) in the *Municipal Development Plan (MDP)*. While the MDP makes no specific reference to this site, this land use proposal is consistent with MDP policies including the complete communities policies found in subsection 2.2.4.

The proposed redesignation to C-COR2 would allow for commercial development that can provide services that are within walking distance to surrounding residential development and meet the day-to-day needs of residents, in keeping with the above MDP policy.

***East Macleod Trail Area Structure Plan (Statutory, 2007)***

The site is located within Neighbourhood A of the *East Macleod Trail Area Structure Plan (ASP)* and identified as within the '*Landfill Restricted Area*' on the Land Use Concept Map (Map 3). The purpose of the '*Landfill Restricted Area*' is to provide for the protection of the landfill site, formally known as the BFI Landfill, from encroachment of incompatible uses (section 6.10.1).

The proposed redesignation to C-COR2 does not limit the requirement for future development to meet the Provincial *Subdivision and Development Regulation* that governs landfill operations and landfill setbacks.

**Social, Environmental, Economic (External)**

The recommended land use district will help to implement policy goals of providing more compete communities with a variety of shops and services that meet daily needs of residents. The district also allows for a broader range of uses than the existing DC District, thereby increasing the overall market viability of the development.

The *Subdivision and Development Regulation* and the *Waste Management Facilities: Setback Variance Protocol* require analysis of proposed future development of prohibited uses within the landfill setback for any potential environmental and health risks.

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**Financial Capacity**

***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

***Current and Future Capital Budget:***

The proposed land use amendment does not trigger capital infrastructure investment and therefore, there are no growth management concerns at this time.

**Risk Assessment**

The proposed C-COR2 District includes a larger number of uses that are prohibited under the *Subdivision and Development Regulation* than the existing DC District. There is the possibility that uses may be proposed with future development permits that cannot be accommodated under the *Waste Management Facilities: Setback Variance Protocol*. The landowner acknowledges that the regulation may limit certain uses included in the proposed district, please see Attachment 2 for the letter submitted by the landowner.

**REASON(S) FOR RECOMMENDATION(S):**

The proposal is consistent with the applicable policies of the *Municipal Development Plan* and the *East Macleod Trail Area Structure Plan*.

**ATTACHMENT(S)**

1. Applicant's Submission
2. Landowner Letter



## Applicant's Submission

### Applicant's Submission

This land use amendment application, submitted by Genco (Walden) Ltd., requests to redesignate the parcel located at 19605 Walden Boulevard SE to Commercial Corridor – 2 f0.5 h12 which will reflect the desired form of development and expand the list of uses currently available. The current DC land use district (DC184D2015) is basically the I-B Industrial – Business District with the additional use of liquor store and a maximum floor area ratio (FAR) of 0.5.

The subject parcel is located at 19605 Walden BV SE, Condo Plan 1711606, Units 1 to 7.

The subject parcel is located on the northwestern edge of the Walden community, just west of the former BFI landfill site, near the intersection of Walden Boulevard and 194<sup>th</sup> Avenue SE. The community of Chaparral is located north of 194<sup>th</sup> Avenue SE.

The parcel is 1.03 ha (2.49 acres) in area. The property has one two-storey building and two single storey buildings which contain medical offices, a pharmacy, a liquor store, personal grooming services (specializing in hair and nails), a dance studio, and a fitness centre.

Access is from Walden Boulevard SE, a four-lane divided road with a median. Adjacent uses are:

- o To the east (across Walden Boulevard SE): the lands of the former BFI landfill site
- o To the southeast (across Walden Boulevard SE): medical, dental and veterinary clinics, a pharmacy, a dance gym and a beverage container drop-off depot.
- o To the south: a three storey office building designated I-B Industrial-Business and, further to the south, and across Walden Boulevard, a place of worship (Southview Alliance Church)
- o To the north: a natural area wet pond with a pedestrian pathway
- o To the west: a dry pond (part of surface drainage infrastructure)

The former landfill site to the east, is owned and managed by Progressive, formerly known as Browning Ferrie Industries or BFI. It now appears as a large grassed hill. Because the subject property is within 300 metres of a former landfill site, the Subdivision and Development Regulation prohibits residential, school, hospital and food handling uses on the subject property and on certain neighbouring properties.

The East Macleod Area Structure Plan acknowledges the constraints imposed by the Subdivision and Development Regulation. The subject parcel and the neighbouring parcels to the south and southeast were subsequently designated Industrial Business (I-B), in alignment with the provisions of the Subdivision and Development Regulation. Since these initial land use designations, the subject parcel and the parcel to the southeast were redesignated to Direct Control to provide for certain additional uses. By redesignating these lands to Commercial Corridor – 2 f0.5 h12 land use district, the listed uses are still restricted by the Subdivision and Development Regulation.



## Applicant's Submission

The direction found in the Land Use Bylaw is to use the standard land use districts when possible while maintaining the policy direction. The proposed redesignation would be in keeping with the Community Planning Department's policy to minimize Direct Control Districts where ever possible, therefore, the most appropriate commercial land use district was chosen.

The land use district Commercial Corridor – 2 f0.5 h12, ensures the intend of the Land Use Bylaw is being followed while directing any future development to a high standard of building design, limiting building height and mass, directing building siting, and implementing the policy direction for restricted uses located within buildings. The list of uses has expanded slightly from those of the current DC Bylaw but the overarching restrictions of the Subdivision and Development Regulations still prevail.

The subject parcel serves the nearby residential area of the Walden community and nearby businesses with a range of medical and dental services, small personal service and local fitness centres. These types of uses are not typically located in the community's core commercial area to the west. The proposed redesignation to Commercial Corridor – 2 would expand the list of uses to those with a commercial characteristic which allow for a limited retail, consumer service, offices, and medical uses all of which occur inside a building and do not allow any outside storage of goods.

The Commercial Corridor – 2 land use district lists cannabis store as a discretionary use and would be a commercial use compatible with the existing uses on the property and adjacent properties, in a manner that is consistent with the general locational criteria for this use. The proposed use will respect the minimum separation distances specified in the Land Use Bylaw. The proposed cannabis store will be located within a physical context of office, medical, retail, personal service and other business uses. The subject site is not adjacent to residential properties. In fact, the subject property is oriented away from the residential area, it takes access from a four-lane divided road to the east and to the west, the large wet pond is at minimum 3 metres lower in elevation than the site and there is no direct connection to the wet pond area or to the nearby residential area. There is adequate onsite parking for all the uses on the parcel

The current Land Use Bylaw has many rules for cannabis stores and restrictions on their location. A proposed cannabis store located on the subject parcel would comply with all of the current rules.

Genco (Walden) Ltd. respectfully requests approval of the redesignation of the subject parcel to Commercial Corridor – 2 f0.5 h12 land use district as it is the most appropriate land use district to direct any future development that follows the planning policy for the community.



## Landowner Letter



**GENCO DEVELOPMENT CORPORATION**

Suite #1100, 634 - 6th Ave SW  
Calgary, AB, T2P 0S4  
[www.gencodevelopments.com](http://www.gencodevelopments.com)

Dated: October 15, 2018

City of Calgary  
Planning and Development  
3rd floor, Municipal building  
800 Macleod Trail SE  
Calgary, AB

Dear Sir/madam

**Re: 19605 Walden Blvd, SE, Calgary**

I am the owner of the parcel located at 19605 Walden BV SE, and I am aware of the restrictions surrounding landfill parcels as noted in the Subdivision and Development Regulation. I am prepared to follow all procedures required to obtain a development permit application for any of the prohibited uses noted in the Regulation.

Regards,  
Pali Bedi

---

Genco (Walden) Ltd.  
[Pali.bedi@avisonyoung.com](mailto:Pali.bedi@avisonyoung.com)  
Cell: 403.888.5388



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CPC2018-1348  
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## Land Use Amendment in East Fairview Industrial (Ward 11) at 7929 - 11 Street SE, LOC2018-0197

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### EXECUTIVE SUMMARY

This land use amendment application was submitted by the landowner, Royop (Deerfoot) Development Ltd. on 2018 August 29. This application proposes to change the designation of this property from DC Direct Control District to Commercial – Corridor 2 f0.3h11 (C-COR2 f0.3h11) District to allow for:

- commercial and mixed use developments (e.g. commercial strip mall, commercial storefronts with apartments or offices above);
- a maximum building height of 11.0 metres;
- a maximum floor area ratio (FAR) of 0.3; and
- the uses listed in the proposed C-COR2 designation.

The proposal is in keeping with applicable policies of the *Municipal Development Plan*. There is no local area plan. A change of use development permit application (DP2018-1822) for a Cannabis Store use was submitted on 2018 April 24, and was refused on 2018 August 7.

### ADMINISTRATION'S RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 0.40 hectares  $\pm$  (0.99 acres  $\pm$ ) located at 7929 - 11 Street SE (Condominium Plan 1310049, Unit 24) from DC Direct Control District **to** Commercial – Corridor 2 f0.3h11 (C-COR2 f0.3h11) District; and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

None.

### BACKGROUND

This land use amendment application has been submitted by the landowner, Royop (Deerfoot) Development Ltd. on 2018 August 29. As noted in the applicant's submission (Attachment 1), the applicant is intending to accommodate a range of uses, including the Cannabis Store use. At this time, the applicant is not considering demolition and a comprehensive redevelopment of the site, but rather the allowable uses within the proposed land use district.

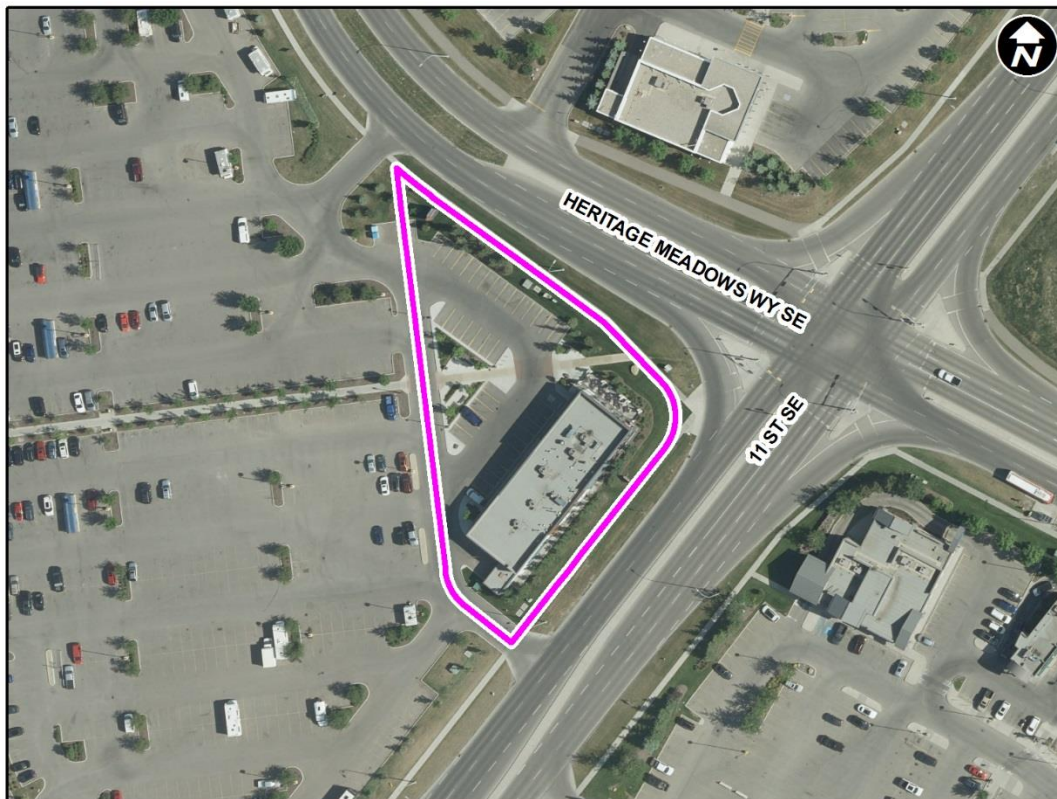
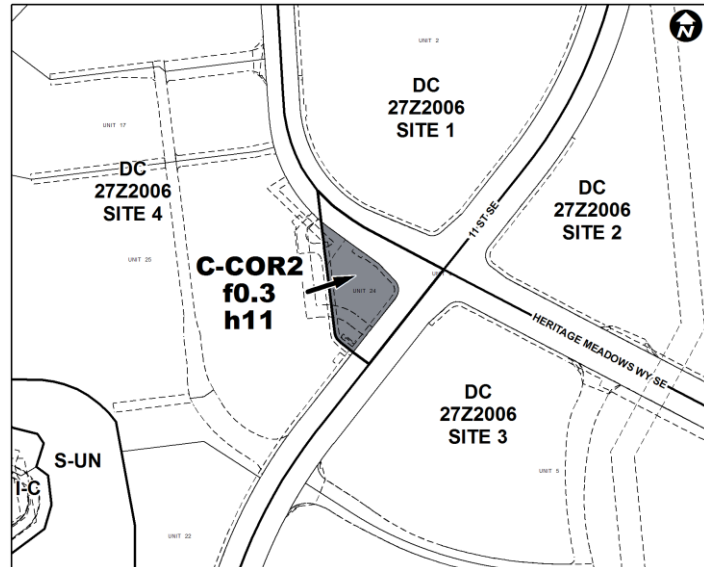
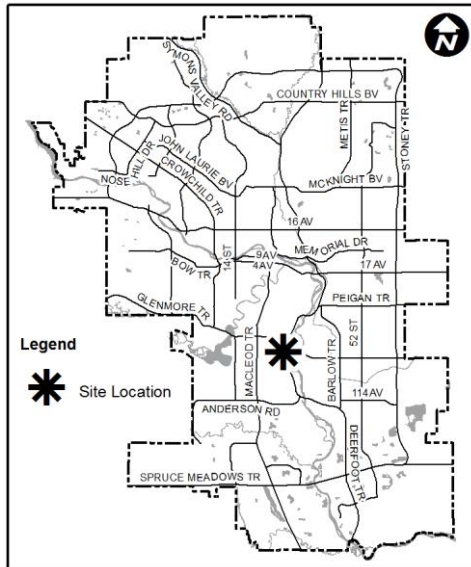
A change of use development permit application (DP2018-1822) was submitted on 2018 April 24, to propose a Cannabis Store use within an existing commercial building, and was refused on 2018 August 07. This application was refused as the Cannabis Store use is not a permitted or discretionary use in the existing Direct Control District (Bylaw 27Z2006).

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Land Use Amendment in East Fairview Industrial (Ward 11) at 7929 - 11 Street SE,  
LOC2018-0197

Location Maps



**Land Use Amendment in East Fairview Industrial (Ward 11) at 7929 - 11 Street SE,  
LOC2018-0197**

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**Site Context**

The subject site is located in the community of East Fairview Industrial at the southwest corner of Heritage Meadows Way SE and 11 Street SE. Lands to the north, east, south and west are subject to the same existing DC Direct Control District as the subject site and are comprised largely of commercial developments with the exception of lands to the east, which are vacant and undeveloped.

The subject site was subdivided from a larger parcel on 2013 January 07 as part of a subdivision application (SB2012-0143). The total area of the subject site is approximately 0.40 hectares  $\pm$  (0.99 acres  $\pm$ ). The site is developed with a single-storey commercial building and surface parking areas. On-site surface parking is accessed via 11 Street SE and Heritage Meadows Way SE.

**INVESTIGATION: ALTERNATIVES AND ANALYSIS**

This proposal allows for a wider range of uses. The proposal meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

**Planning Considerations**

The following sections highlight the scope of technical planning analysis conducted by Administration.

***Land Use***

This application is to redesignate the site from the existing DC Direct Control District (Bylaw 27Z2006), based on the C-5/.5 Shopping Centre District of *Land Use Bylaw 2P80* to Commercial – Corridor 2 (C-COR2 f0.3h11) District of *Land Use Bylaw 1P2007*. The subject site is identified as a site within 'Site 4' of the existing DC District. The existing DC District from 2006 has specific development requirements, including limiting all automotive sales and rental development across Sites 1 to 4 to a maximum site area of 6.0 hectares and requiring that all building have a minimum setback of 6.0 metres from any property line, except for any buildings abutting Deerfoot Trail. The DC District also allows for a maximum building height of 28.0 metres not including architectural features. Sites 1 to 4 have a maximum gross floor area of 176,516 square metres (1,900,000 square feet) cumulatively across all sites. Additional site restrictions are registered on title, and although not binding on development decisions, they may further limit the maximum building area and height that can be developed across individual sites and condominium units within Site 1 to 4.

The proposed C-COR2 f0.3h11 District is intended to accommodate commercial development on both sides of the street with buildings located varying distances from the street, limited automotive uses, and opportunities for residential and office uses to be in the same building. The proposed district allows for a range of uses, a maximum height of 11.0 metres, and a maximum floor area ratio of 0.3, which aligns with the existing built form and parcel size. The proposed C-COR2 f0.3h11 District also aligns with the relevant policies, while broadening the

**Land Use Amendment in East Fairview Industrial (Ward 11) at 7929 - 11 Street SE,  
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range of uses and allowing flexibility to support future redevelopment and upgrades to the existing one-storey building.

***Development and Site Design***

The intent of this application is to allow for a wider range of commercial uses on the site. The site is developed with one building and a surface parking area, and no comprehensive redevelopment of the site is being contemplated at this time. Should the site be redeveloped in the future, direct vehicle access to the site will continue to occur from shared accesses off of Heritage Meadows Way SE and 11 Street SE. Any future development permit application would be reviewed for compliance with the rules for the specific use and the proposed C-COR2 f0.3h11 District.

***Environmental***

No environmental issues have been identified at this time. An Environmental Site Assessment was not required for this application.

***Transportation Networks***

A Transportation Impact Assessment (TIA) and parking study was not required for the proposed land use. Vehicular access to the parcel is available and anticipated from the existing driveways adjacent to 11 Street SE. and Heritage Meadows Way SE. The area is well served by Transit via routes 43 and 72, located within 150 metres of the subject site. At the time of redevelopment, access and parking will be reviewed to ensure it is adequate to accommodate the proposed and existing uses on-site.

***Utilities and Servicing***

Water, sanitary, and storm sewer mains are available and can accommodate the potential redevelopment of the subject site without the need for off-site improvements at this time.

**Stakeholder Engagement, Research and Communication**

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online. No public meetings were held by the applicant or Administration in association with this application. There is no community association for this area.

Administration did not receive any comments in response to the circulation.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

**Land Use Amendment in East Fairview Industrial (Ward 11) at 7929 - 11 Street SE,  
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**Strategic Alignment**

***South Saskatchewan Regional Plan (Statutory, 2014)***

The site is located within the 'City, Town' area as identified on Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

***Municipal Development Plan (Statutory, 2009)***

The site is located within a 'Community Activity Centre' as identified on Map 1: Urban Structure Map in the *Municipal Development Plan* (MDP). Community Activity Centres (CACs) provide a concentration of jobs and population in strategic locations throughout the city and represent a local destination for multiple communities. They provide an opportunity to accommodate significant numbers of workers and residents in centres that are well served by public transit. As most CACs are existing commercial developments, they should continue to provide a significant level of commercial and retail service.

While the MDP makes no specific reference to this site, the proposal is consistent with the applicable policies. The proposed C-COR2 f0.3h11 District allows the existing one-storey commercial development on-site to continue to function, while supporting its viability through the introduction of new uses. At this time, no demolition or a comprehensive redevelopment is being contemplated, and the proposed land use district supports the provision of a greater range of uses that are within a short walking distance of and have direct pedestrian connections to transit and adjacent commercial developments.

***Local Area Plan***

There is no local area plan.

**Social, Environmental, Economic (External)**

The proposed land use district supports the provision of a wider range of uses that are within a short walking distance of and have direct pedestrian connections to transit and adjacent commercial developments. The district also increases the market viability of existing commercial developments on-site, and may encourage future redevelopment of the site.

**Financial Capacity**

***Current and Future Operating Budget***

There are no known impacts to the current and future operating budgets at this time.

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**Land Use Amendment in East Fairview Industrial (Ward 11) at 7929 - 11 Street SE,  
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***Current and Future Capital Budget***

The proposed land use amendment does not trigger capital infrastructure investment and therefore, there are no growth management concerns at this time.

**Risk Assessment**

There are no known risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposal is consistent with the applicable policies of the *Municipal Development Plan*. The proposal supports a greater range of uses that support the viability of the existing commercial development on-site.

**ATTACHMENT(S)**

1. Applicant's Submission



## Applicant's Submission



October 22, 2018

The City of Calgary  
900 Macleod Trail SE  
Calgary, AB T2P 2M5

### RE: Applicant's Submission

Royop Development Corporation is proposing this land use amendment to redesignate the parcel located at 7929 11 Street SE in the community of East Fairview Industrial (specifically in the Deerfoot Meadows shopping area) from a Direct Control District 27Z2006 Site 4, to C-COR2 f0.3h11. This redesignation will allow for the development of a Cannabis Store within an existing commercial development.

The existing property is a single storey retail commercial building including two restaurants and a barber shop. The south end unit was vacated by the previous tenant and the Owner has a tentative deal with a Cannabis Store retailer to open their business in this space. The existing land use is a direct control district created under the old 2P80 land use bylaw, therefore there are no provisions for the Cannabis Store use to be updated without undertaking a land use amendment. For additional context a chart describing the proposed uses in the centre and their respective floor areas has been included below.

**Deerfoot Meadows  
Areas Table**

Unit Number	Business Name	Gross Floor Area (sq. ft.)	Public Area (sq. ft.)	Suggested Defined Use Description
2	Via Cibo	3,044	846	Restaurant: Licensed - Medium (between 807.29 sf & 3,229 sf public area)
8	Edo Japan	1,296	340	Restaurant: Food Service Only - Small (under 807.29 sf public area)
10	Tommy Guns	995	N/A	Retail and Consumer Service (barber)
12	Vacant	2,031	N/A	Cannabis Store
<b>Totals</b>		<b>7,366</b>		

Accordingly, please refer to the below planning rationale for the selection of the proposed C-COR2 land use.

### Planning Rationale

The subject site is located within the Deerfoot Meadows regional commercial node. Adjacent land users include; Walmart Supercentre to the west, Real Canadian Superstore to the north, Deerfoot Meadows mall to the east with multiple regional retailers, and Shark Club/Sandman Hotel to the south, all of which are contained within the same direct control district as the subject site.

The permitted and discretionary uses for Site 4 in 27Z2006 include a wide variety of regional commercial uses that has facilitated the development of Deerfoot Meadows over the past decade. Retail stores, restaurants, liquor stores, personal service businesses, and retail food stores make up the majority of uses in the area.

In addition to regulating retail uses, the existing direct control district contains a density provision that is managed via restrictive covenants on title and a height restriction of 28 metres. Current registrations on title to the parcel limit the maximum building area to 929 square metres. As the site itself is 0.403 ha (4,030 square metres) these registrations limit development density to an FAR of 0.23. Further registrations by the

## Applicant's Submission



adjacent Walmart restrict the maximum building height on the parcel to 11 metres. There are no other existing conditions of note in the existing direct control district.

In selecting a new land use district for this site, the preference was to pursue an existing land use district from bylaw 1P2007 rather than a new direct control district. This approach provides both the City and the Owner confidence that future changes similar to the addition of Cannabis Stores or a new City-wide land use bylaw can be implemented as a matter of course rather than on an exception. When evaluating the available land uses in 1P2007 one of the Commercial – Regional (C-R#) land uses would seem to be the most applicable, however the subject site itself is only 0.403 ha with a multi-tenant 681 square metre building. The purpose of the C-R1 district for example is for large scale retail users, which would not apply in this scenario as the largest tenant is 283 square metres. Therefore a Commercial – Regional land use was not selected.

A similar analysis was completed in evaluating the Commercial – Neighbourhood (C-N#) and Commercial – Community (C-C#) land uses. The C-N# land uses are intended for small scale neighbourhood centres and similarly C-C1 is intended for more local commercial sites. C-C2 could apply, however it is intended for sites between 3.2 ha and 12 ha in size that are located near residential districts, which does not correspond with the subject site's context.

In evaluating the balance of the commercial land uses available it appeared that a Commercial – Corridor (C-COR#) designation would be the best fit. C-COR2 in particular was selected as it is the most applicable to the subject site's existing context. There is commercial development on both sides of the street, buildings located varying distances from the street, no automotive uses and, parking may be located along all sides of the buildings. The f# and h# modifiers were selected based on the existing restrictions on the site for density and height.

In closing, Royop Development Corporation on behalf of the Owner, requests the City approves this land use amendment application to facilitate the proposed Cannabis Store use.

Royop (Deerfoot) Development Ltd.  
c/o Royop Development Corporation

A handwritten signature in blue ink, appearing to read 'J. Weber', is positioned above the printed name of the signatory.

Jacob Weber  
Director of Development

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## Land Use Amendment in Mahogany (Ward 14) at Multiple Addresses, LOC2018-0216

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### EXECUTIVE SUMMARY

This land use amendment application was submitted to The City of Calgary by Village Cannabis on behalf of the landowners, Westman Village Lyric Inc and Westman Village Calligraphy Inc (Jayman BUILT) on 2018 September 26. This application proposes to redesignate the subject parcel from a DC Direct Control District (Bylaw 102D2018) to a DC Direct Control District with the same rules and uses as the existing DC Direct Control District, with the additional uses of:

- Cannabis Counselling; and
- Cannabis Store.

The proposal is consistent with applicable policies of the *Municipal Development Plan* and the *Mahogany Community Plan*.

### ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 2.17 hectares  $\pm$  (5.36 acres  $\pm$ ) located at 11 Mahogany Circle SE, 226 Mahogany Garden SE and 2231 and 2255 Mahogany Boulevard SE (Condominium Plan 1811825, Unit A; Condominium Plan 1811825, Unit B; Plan 1811825, Condominium Units 1-457; Plan 1810748, Block 27, Strata Lot 5) from DC Direct Control District to DC Direct Control District to allow for Cannabis Counselling and Cannabis Store uses, with guidelines (Attachment 2); and
2. Give three readings to the proposed bylaw.

### PREVIOUS COUNCIL DIRECTION / POLICY

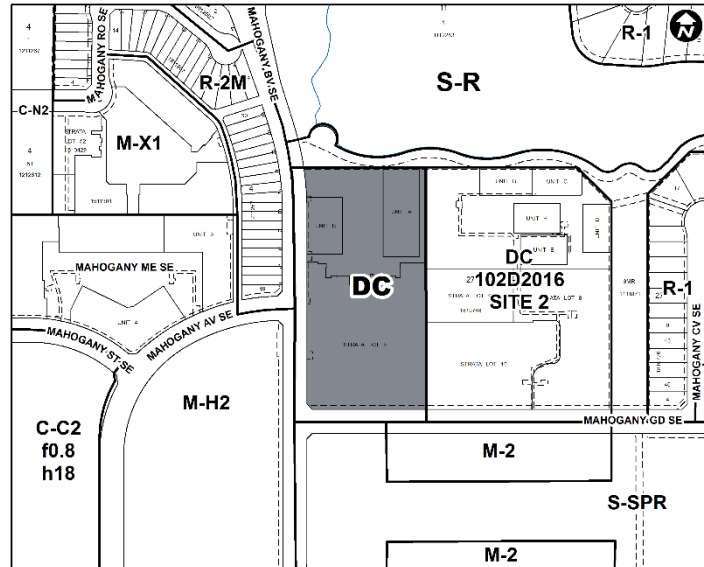
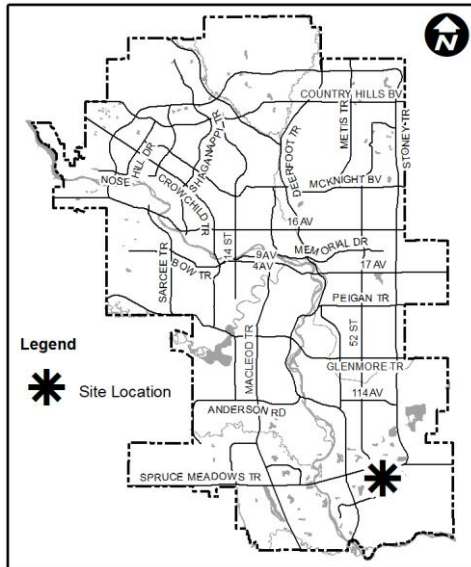
None.

### BACKGROUND

As noted in the Applicant's Submission (Attachment 1), the applicant is intending to accommodate a proposed Cannabis Store use. A change of use development permit application (DP2018-4101) for a Cannabis Store use was submitted on 2018 August 28, and is under review.

**Land Use Amendment in Mahogany (Ward 14) at Multiple Addresses, LOC2018-0216**

**Location Maps**



## Land Use Amendment in Mahogany (Ward 14) at Multiple Addresses, LOC2018-0216

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### Site Context

The subject site is located in the southeast community of Mahogany, at the corner of Mahogany Boulevard SE and Mahogany Gardens SE. The site is the western portion of a comprehensive development called Westman Village. Lands to the north and east of Westman Village are parks. To the east of the park is undeveloped low density residential designated land. To the south out Westman Village, there is undeveloped multi-residential designated land. To the west of Westman Village is a strip of developed low density designated land, multi-residential designated land, and commercial designated land.

The subject site's total area is approximately 2.17 hectares  $\pm$  (5.36 acres  $\pm$ ) of the 5.51 hectare  $\pm$  (13.61 acre  $\pm$ ) Westman Village site. The subject site is under construction, with six multi-residential buildings, a standalone restaurant, and a retail main street.

As identified in *Figure 1*, Mahogany's peak population was in 2017 with 8,444 residents.

*Figure 1: Community Peak Population*

<b>Mahogany</b>	
Peak Population Year	2017
Peak Population	8,444
2017 Current Population	8,444
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2017 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Mahogany](#) community profile.

### INVESTIGATION: ALTERNATIVES AND ANALYSIS

The proposal is to allow for the addition of two uses in a direct control based on a Multi-Residential District of *Land Use Bylaw 1P2007*, that would allow for Cannabis Counselling and Cannabis Store uses. The proposal is consistent with the applicable policies, as discussed in the Strategic Alignment section of this report.

### Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

#### **Land Use**

This application is to redesignate a portion of the Westman Village site from the existing DC Direct Control (Bylaw 102D2016), based on the Multi Residential – High Density Medium Rise (M-H2) District of *Land Use Bylaw 1P2007*. The eastern portion of the existing DC Direct Control (Bylaw 102D2016), based on the Multi Residential – High Density Low Rise (M-H1)

## **Land Use Amendment in Mahogany (Ward 14) at Multiple Addresses, LOC2018-0216**

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District of *Land Use Bylaw 1P2007*. The intent of Bylaw 102D2016 is to accommodate primarily multi-residential development with additional commercial, medical and recreational uses to serve local residents. Given that the proposed additional uses are commercial and medical and are intended to serve local residents, the proposed additional uses are consistent with the existing direct control district and allows the existing pattern of development to continue.

### ***Development and Site Design***

The built form of the Westman Village site is medium-rise, pedestrian-oriented development. Parking for the site is primarily located underground, with short-term, at-grade parking available for patrons of businesses on the retail main street.

### **Stakeholder Engagement, Research and Communication**

Four letters in opposition of the proposed land use redesignation were received from the public by the Calgary Planning Commission report submission date.

No comments were received from the Copperfield-Mahogany Community Association by the Calgary Planning Commission report submission date.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, Calgary Planning Commission's recommendation, the date of the Public Hearing and options for providing feedback will be advertised to the public.

### ***Environmental***

An environmental site assessment was not required for this land use redesignation application

### ***Transportation Networks***

Transportation impact assessments and parking studies were for this land use redesignation application.

Vehicular access to the site is available from Mahogany Boulevard SE and Mahogany Gardens SE.

The site is approximately 200 metres walking distance from a Calgary Transit bus stop location on Mahogany Boulevard SE that is served by route 468.

There are public pathways to the north and east of the site.

### ***Utilities and Servicing***

The site is developed and has access to with water, sanitary, and storm services. The existing site services are adequate to support this proposed land use amendment application.



## Land Use Amendment in Mahogany (Ward 14) at Multiple Addresses, LOC2018-0216

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### Stakeholder Engagement, Research and Communication

Consistent with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site for three weeks. Notification letters were sent to adjacent land owners and the application has been advertised online. No public meetings were held by the Applicant or Administration in association with this application.

### Strategic Alignment

#### ***South Saskatchewan Regional Plan (Statutory, 2014)***

The site is located within the City, Town area of the Schedule C: South Saskatchewan Regional Plan Map in the *South Saskatchewan Regional Plan* (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with policies on Land Use Patterns.

#### ***Municipal Development Plan (Statutory, 2009)***

The subject site is located within a "Residential; Developing; Planned Greenfield with Area Structure Plan (ASP) area, according to the Urban Structure Map (Map 1) of the *Municipal Development Plan* (MDP). Subsection 3.6.1.a. of the MDP states, "The ASPs for Planned Greenfield Areas, in existence prior to adoption of the MDP, are recognized as appropriate policies to provide specific direction for development of the local community..." While the MDP makes no specific reference to this site, the proposal is consistent with the applicable policies.

#### ***Mahogany Community Plan (Statutory, 2007)***

The site is within a "Residential Area" on Land Use Map (Map 3) of the *Mahogany Community Plan* (MCP). The "Residential Area" policies allow for neighbourhood commercial uses and other similar and accessory uses determined to be compatible and appropriate. Multi-residential development in the "Residential Area" is generally encouraged to be pedestrian-oriented. While the MCP makes no specific reference to this site, the proposal is consistent with the applicable policies.

### Social, Environmental, Economic (External)

No environmental studies were required for this land use redesignation application.

### Financial Capacity

#### ***Current and Future Operating Budget:***

There are no known impacts to the current and future operating budgets at this time.

#### ***Current and Future Capital Budget:***

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

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**Land Use Amendment in Mahogany (Ward 14) at Multiple Addresses, LOC2018-0216**

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**Risk Assessment**

There are no significant risks associated with this proposal.

**REASON(S) FOR RECOMMENDATION(S):**

The proposal is consistent with the applicable policies of the *Municipal Development Plan* and the *Mahogany Community Plan* and is consistent with the intent of the existing direct control district.

**ATTACHMENT(S)**

1. Applicant's Submission
2. Proposed Direct Control Guidelines



## Applicant's Submission



### Land Use Redesignation Applicant's Submission Not Including Secondary Suites

PL 1263 (R2017-09)

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. These comments are included in a report which is presented to the Calgary Planning Commission and a Public Hearing of City Council. Your comments **must** be limited to the area designated on this form to ensure it will fit the space requirements of the report. Supplementary information can be provided separately in your application if required.

This is an application to incorporate 'Cannabis Store' as a discretionary use into Direct Control District 102D2016 (the "DCD") also known as 'Westman Village'.

A pre-application consultation with respect to this application has occurred.

Westman Village was created on May 2, 2016, pursuant to bylaw amendment LOC2015-0126 (the "Bylaw"). The DCD is located in the southeast corner of the City of Calgary and is part of the community of Mahogany.

Westman Village offers a unique living experience. The residents of Westman Village range from; first time homebuyers to young families, to baby boomers that are downsizing, to independent retirees, to elderly individuals requiring some level of care to people requiring fulltime extended care.

The retail component of Westman Village has a pharmacy, dental office, high-end restaurant, quick serve restaurants, coffee shop and liquor store. Cannabis Store is an excellent complement to these uses and will service a need amongst residents.

The applicant desires to incorporate the Cannabis Store use into Site 1 as identified in the Bylaw. The current base zoning with respect to Site 1 is M-H2 Multi Residential – High Density Medium Rise. The current discretionary uses with respect to Site 1 are:

- a) Fitness Centre;
- b) Indoor Recreation Facility;
- c) Instructional Facility;
- d) Liquor Store;
- e) Medical Clinic;
- f) Restaurant: Food Service Only – Large;
- g) Restaurant: Food Service Only – Medium;
- h) Restaurant: Licensed – Large;
- i) Restaurant: Licensed – Medium; and
- j) Social Organization.

The developer did not incorporate Cannabis Store as a discretionary use when the DCD was originally created as the use was not currently contemplated within the City of Calgary Bylaw 1P2007, and the legalization of recreational cannabis within Canada was not a certainty at the time.

The owners of the applicant are originally from Calgary and grew up in southeast corridor. They are both well connected to the community and will be highly engaged in the business.

The owners support medicinal use of cannabis products as part of an overall treatment protocol and the recreational use of cannabis as an alternative to other substances. Both have first-hand experience with the benefits of cannabis products as an alternative form of treatment through friends and family members.

The retail concept behind Village Cannabis is to provide a safe and professional environment where individuals can feel comfortable purchasing leaf cannabis and other cannabis derived products. The applicants intend to invest significant capital in tenant improvements, furniture, fixtures and equipment. The retail store will have a boutique feel that caters to the local market.

ISC: Protected

## Applicant's Submission

PL 1263 (R2017-09)

The applicant believes that there is a strong demand for a Cannabis Store both at Westman Village and within the community as a whole. The applicant's retail location will provide a service to the residents of the local community.

Many of the customers that will use the Cannabis Store suffer from chronic pain, degenerative diseases such as multiple sclerosis or rare forms of cancer who use cannabis derived products as part of their overall treatment regime. The applicant's retail location will provide access to a product that is in demand within Westman Village and the surrounding area.

There currently only 2 approved licensees in the southeast corridor, both of which are a significant distance from Westman Village, further contributing to the need for the addition of a Cannabis Store within the DCD.

The applicant submits that there are no concerns with respect to proximity to other Cannabis Stores or issues with market saturation within the vicinity of the DCD.

The applicant further submits that the incorporation of its concept into Westman Village will add value, character and distinctiveness to the development.

The applicant hosted a 'Cannabis 101' speaker series event at the Westman Village on June 28, 2018. The event was attended by over 70 individuals, mostly residents of the Westman Village, all of whom expressed their support for a Cannabis Store at the development.

The applicant has also communicated with the Mahogany Home Owners Association, Copperfield Mahogany Community Association and Ward 12 City Councilor regarding this application. To date, the applicant has not received any negative feedback from the local community or stakeholders in relation to its intention to open a Cannabis Store at Westman Village.

The applicant looks forward to the opportunity to bring a vibrant business to the community.

All of which is respectfully submitted.

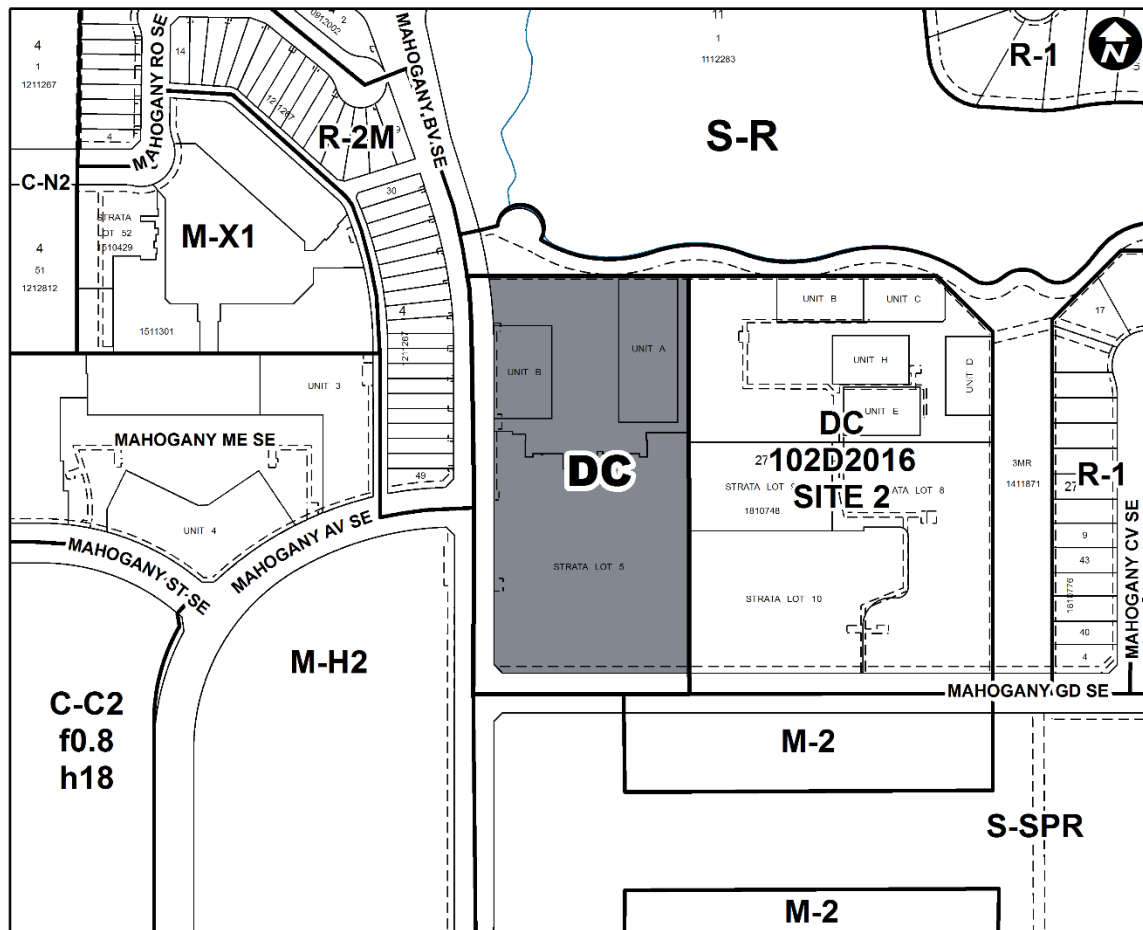
**NOTE:** Applications must be submitted without personal information on any plans. Omitting this information will protect builders and tenants by reducing the risk of any personal information being wrongfully displayed, while also following the Province of Alberta's FOIP Act. If you consider the information to be personal, do not put it on the plans.

ISC: Protected



## Proposed Direct Control Guidelines

### SCHEDULE B



### DIRECT CONTROL DISTRICT

#### Purpose

1 This Direct Control District is intended to:

- (a) accommodate primarily **Multi-Residential Development** with additional commercial, medical and recreational **uses** to serve local residents.

#### Compliance with Bylaw 1P2007

2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

#### Reference to Bylaw 1P2007

3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

#### Permitted Uses

4 The **permitted uses** of the Multi Residential – High Density Medium Rise (M-H2) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

## Proposed Direct Control Guidelines

### Discretionary Uses

**5** The ***discretionary uses*** of the Multi Residential – High Density Medium Rise (M-H2) District of Bylaw 1P2007 are the ***discretionary uses*** in this Direct Control District with the addition of:

- (a) **Cannabis Counselling;**
- (b) **Cannabis Store;**
- (c) **Fitness Centre;**
- (d) **Indoor Recreation Facility;**
- (e) **Instructional Facility;**
- (f) **Liquor Store;**
- (g) **Medical Clinic;**
- (h) **Restaurant: Food Service Only – Large;**
- (i) **Restaurant: Food Service Only – Medium;**
- (j) **Restaurant: Licensed – Large;**
- (k) **Restaurant: Licensed – Medium; and**
- (l) **Social Organization.**

### Bylaw 1P2007 District Rules

**6** Unless otherwise specified, the rules of the Multi Residential – High Density Medium Rise (M-H2) District of Bylaw 1P2007 apply in this Direct Control District.

TEXT FOR DISCUSSION ONLY