



AGENDA

CALGARY PLANNING COMMISSION

October 31, 2024, 1:00 PM
IN THE COUNCIL CHAMBER

Members

Director T. Goldstein, Chair
Director T. Mahler, Vice-Chair
Councillor G-C. Carra
Councillor R. Dhaliwal
Commissioner L. Campbell-Walters
Commissioner J. Gordon
Commissioner N. Hawryluk
Commissioner C. Pollen
Commissioner S. Small
Commissioner J. Weber
Mayor J. Gondek, Ex-Officio

SPECIAL NOTES:

Public are encouraged to follow Council and Committee meetings using the live stream [Calgary.ca/WatchLive](https://calgary.ca/WatchLive)

Members may be participating remotely.

1. CALL TO ORDER

2. OPENING REMARKS

3. CONFIRMATION OF AGENDA

3.1 DECLARATIONS - CONFLICT OF INTEREST

4. CONFIRMATION OF MINUTES

4.1 Minutes of the Regular Meeting of the Calgary Planning Commission, 2024 October 17

5. CONSENT AGENDA

5.1 DEFERRALS AND PROCEDURAL REQUESTS
None

- 5.2 Land Use Amendment in Killarney/Glengarry (Ward 8) at 2627 – 31 Street SW, LOC2024-0206, CPC2024-1151
- 5.3 Land Use Amendment in Taradale (Ward 5) at 31 Tararidge Drive NE, LOC2024-0151, CPC2024-1161
- 5.4 Land Use Amendment in Highland Park (Ward 4) at 448 – 36 Avenue NW, LOC2024-0216, CPC2024-1177
- 5.5 Street Names in Ricardo Ranch (Ward 12), SN2024-0003, CPC2024-1186

6. POSTPONED REPORTS
(including related/ supplemental reports)
None

7. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS

- 7.1.1 Development Permit in Downtown Commercial Core (Ward 7) at 222 – 8 Avenue SE, DP2024-02789, CPC2024-1163
- 7.1.2 Development Permit in Sunnyside (Ward 7) at 810 – 9A Street NW, DP2024-01591, CPC2024-1168

7.2 PLANNING ITEMS

- 7.2.1 Land Use Amendment in Manchester Industrial (Ward 9) at 423 – 58 Avenue SE, LOC2024-0105, CPC2024-1143
- 7.2.2 Policy and Land Use Amendment in Cliff Bungalow (Ward 8) at 537 – 20 Avenue SW, LOC2024-0041, CPC2024-1108
- 7.2.3 Land Use Amendment in Banff Trail (Ward 7) at 2371 – 20 Avenue NW, LOC2024-0188, CPC2024-1158

7.3 MISCELLANEOUS ITEMS
None

8. URGENT BUSINESS

9. CONFIDENTIAL ITEMS

- 9.1 ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES
None
- 9.2 URGENT BUSINESS

10. BRIEFINGS
None

11. ADJOURNMENT



MINUTES

CALGARY PLANNING COMMISSION

**October 17, 2024, 1:00 PM
IN THE COUNCIL CHAMBER**

PRESENT:

Director T. Goldstein, Chair
Director T. Mahler, Vice-Chair
Councillor G-C. Carra (Partial Remote Participation)
Councillor R. Dhaliwal (Partial Remote Participation)
Commissioner L. Campbell-Walters
Commissioner J. Gordon
Commissioner N. Hawryluk
Commissioner S. Small

ABSENT:

Commissioner C. Pollen
Commissioner J. Weber

ALSO PRESENT:

A/Principal Planner S. Jones
Legislative Advisor C. Doi
Legislative Advisor A. Lennox

1. CALL TO ORDER

Chair Goldstein called the meeting to order at 1:00 p.m.

ROLL CALL

Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, Commissioner Small, and Director Goldstein

Absent from Roll Call: Commissioner Pollen and Commissioner Weber

2. OPENING REMARKS

Chair Goldstein provided opening remarks and a traditional land acknowledgment.

3. CONFIRMATION OF AGENDA

Moved by Director Mahler

That the Agenda for today's meeting be amended by adding Item 8.1, Procedural Request - Schedule a Calgary Planning Commission meeting on 2024 November 7 in

the Engineering Traditions Boardroom, CPC2024-1185, as an Item of Urgent Business to be dealt with following the Confirmation of Minutes.

MOTION CARRIED

Moved by Commissioner Hawryluk

That the Agenda for today's meeting be amended by moving Items 7.2.4, Policy and Land Use Amendment in Bankview (Ward 8) at 2303 – 16A Street SW, LOC2024-0111, CPC2024-0991 and 7.2.9, Land Use Amendment in Southview (Ward 9) at 2715 – 19 Avenue SE, LOC2024-0180, CPC2024-1100 onto the Consent Agenda.

MOTION CARRIED

Moved by Director Mahler

That the Agenda for the 2024 October 17 Regular Meeting of the Calgary Planning Commission be confirmed, **as amended**.

MOTION CARRIED

3.1 DECLARATIONS - CONFLICT OF INTEREST

Commissioner Small declared a conflict of interest with respect to Item 7.2.2.

4. CONFIRMATION OF MINUTES

4.1 Minutes of the Regular Meeting of the Calgary Planning Commission, 2024 October 03

Moved by Commissioner Campbell-Walters

That the Minutes of the 2024 October 3 Regular Meeting of the Calgary Planning Commission be confirmed.

MOTION CARRIED

Commission then dealt with Item 8.1.

5. CONSENT AGENDA

This Item was dealt with following Item 8.1.

Moved by Commissioner Gordon

That the Consent Agenda be approved, **as corrected**:

5.1 DEFERRALS AND PROCEDURAL REQUESTS

None

5.2 Land Use Amendment in Shaganappi (Ward 8) at 3011 – 12 Avenue SW, LOC2024-0189, CPC2024-1084

7.2.4 Policy and Land Use Amendment in Bankview (Ward 8) at 2303 – 16A Street SW, LOC2024-0111, CPC2024-0991

7.2.9 Land Use Amendment in Southview (Ward 9) at 2715 – 19 Avenue SE, LOC2024-0180, CPC2024-1100

A Revised Attachment 1 was distributed with respect to Report CPC2024-1100.

MOTION CARRIED

5.3 Road Closure and Land Use Amendment in Christie Park (Ward 6) adjacent to 5615 – 14 Ave SW, LOC2023-0210, CPC2024-1099

Moved by Commissioner Small

That with respect to Report CPC2024-1099, the following amendment be approved:

That Attachment 2 be amended to delete Conditions 4 and 5 in their entirety.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

Moved by Councillor Carra

That with respect to Report CPC2024-1099, the following be approved, **after amendment**:

That the Calgary Planning Commission recommend that Council:

1. Give three readings to the proposed closure of 0.13 hectares \pm (0.32 acres \pm) of road (Plan 2410162, Area "A"), adjacent to 5615 – 14 Avenue SW, with conditions (**Amended** Attachment 2); and
2. Give three readings to the proposed bylaw for the redesignation of 0.13 hectares \pm (0.32 acres \pm) of closed road (Plan 2410162, Area "A") from Undesignated Road Right-of-Way to Special Purpose – Community Institution (S-CI) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

6. POSTPONED REPORTS

None

7. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS

None

7.2 PLANNING ITEMS

7.2.1 Policy and Land Use Amendment in Copperfield (Ward 12) at 30 Copperpond Passage SE, LOC2024-0112, CPC2024-1062

A presentation entitled "LOC2024-0112 /CPC2024-1062 Policy and Land Use Amendment" was distributed with respect to Report CPC2024-1062.

Moved by Commissioner Small

That with respect to Report CPC2024-1062, the following be approved:

That the Calgary Planning Commission recommend that Council:

1. Give three readings to the proposed bylaw for the amendment to the Revised East McKenzie Area Structure Plan (Attachment 2); and
2. Give three readings to the proposed bylaw for the redesignation of 0.79 hectares \pm (1.95 acres \pm) located at 30 Copperpond Passage SE (Condominium Plan 2011698, Unit 1) from Direct Control (DC) District to Multi-Residential - Low Profile (M-1) District.

For: (5): Director Mahler, Councillor Carra, Commissioner Campbell-Walters, Commissioner Hawryluk, and Commissioner Small

Against: (2): Councillor Dhaliwal, and Commissioner Gordon

MOTION CARRIED

7.2.2 Policy and Land Use Amendment in Springbank Hill (Ward 6) at 7755 – 17 Avenue SW, LOC2023-0127, CPC2024-0615

Commissioner Small declared a conflict of interest and abstained from discussion and voting with respect to Report CPC2024-0615.

Commissioner Small left the meeting at 1:54 p.m. and returned at 2:06 p.m. after the vote was declared.

A presentation entitled "LOC2023-0127 / CPC2024-0615 Policy and Land Use Amendment" was distributed with respect to Report CPC2024-0615.

Moved by Commissioner Hawryluk

That with respect to Report CPC2024-0615, the following be approved:

That the Calgary Planning Commission recommend that Council:

1. Give three readings to the proposed bylaw for the amendments to the Springbank Hill Area Structure Plan (Attachment 2); and

2. Give three reading to the proposed bylaw for the redesignation of 1.91 hectares \pm (4.72 acres \pm) at 7755 – 17 Avenue SW (Plan 2420AK, portions of Blocks 25 and 26) from Direct Control (DC) District to Special Purpose – City and Regional Infrastructure (S-CRI) District and Direct Control (DC) District to accommodate mixed use development, with guidelines (Attachment 3).

For: (6): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, and Commissioner Hawryluk

MOTION CARRIED

- 7.2.3 Land Use Amendment in Riverbend (Ward 11) at Multiple Addresses, LOC2024-0178, CPC2024-1112

A presentation entitled " LOC2024-0178 / CPC2024-0112 Land Use Amendment" was distributed with respect to Report CPC2024-1112.

Moved by Commissioner Gordon

That with respect to Report CPC2024-1112, the following be approved:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 3.12 hectares \pm (7.70 acres \pm) located at 9358, 9372, 9468, 9580 – 23 Street SE and 2456 – 96 Avenue SE (Plan 0612718, Block 40, Lots 3 to 7) from Direct Control (DC) District to Direct Control (DC) District to accommodate medical services, with guidelines (Attachment 2).

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

- 7.2.4 Policy and Land Use Amendment in Bankview (Ward 8) at 2303 – 16A Street SW, LOC2024-0111, CPC2024-0991

This Item was dealt with on the Consent Agenda.

- 7.2.5 Land Use Amendment in Glendale (Ward 6) at 3939 – 17 Avenue SW, LOC2023-0297, CPC2024-1086

The following documents were distributed with respect to Report CPC2024-1086:

- Revised Attachment 2; and
- A presentation entitled "LOC2023-0297 / CPC2024-1086 Land Use Amendment".

Moved by Commissioner Campbell-Walters

That with respect to Report CPC2024-1086, the following be approved,
after amendment:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 1.73 hectares \pm (4.27 acres \pm) located at 3939 – 17 Avenue SW (Plan 9010708, Block 7, Lot 1) from Commercial – Corridor 1 f5.0h26 (C-COR1f5.0h26) District to Direct Control (DC) District to accommodate a Digital Sign with Electric Vehicle Charging Facility, with guidelines (**Revised** Attachment 2).

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.6 Land Use Amendment in Oakridge (Ward 11) at 2515 – 90 Avenue SW, LOC2023-0296, CPC2024-1079

Moved by Commissioner Gordon

That with respect to Report CPC2024-1079, the following be approved:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 1.68 hectares \pm (4.16 acres \pm) located at 2515 – 90 Avenue SW (Plan 440LK, Block G) from Commercial – Community 1 (C-C1) District to Direct Control (DC) District to accommodate a Digital Sign with Electric Vehicle Charging Facility, with guidelines (Attachment 2).

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.7 Land Use Amendment in Parkhill (Ward 8) at 4337 Macleod Trail SW, LOC2023-0298, CPC2024-1087

Moved by Commissioner Small

That with respect to Report CPC2024-1087, the following be approved:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 0.33 hectares \pm (0.82 acres \pm) located at 4337 Macleod Trail SW (Plan 3550AJ, Block 4, portions of Lots 8 to 19) from Commercial – Corridor 2 f3.0h30 (C-COR2 f3.0h30) District to Direct Control (DC) District to accommodate a Digital Sign with Electric Vehicle Charging Facility, with guidelines (Attachment 2).

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

- 7.2.8 Land Use Amendment in Beltline (Ward 8) at multiple addresses, LOC2023-0295, CPC2024-1047

Moved by Commissioner Hawryluk

That with respect to Report CPC2024-1047, the following be approved:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 0.08 hectares \pm (0.20 acres \pm) located at 1116, 1120, and 1124 – 17 Avenue SW (Plan A1, Block 118, Lots 10 to 12) from Commercial – Corridor 1 f3.0h23 (C-COR1f3.0h23) District to Direct Control (DC) District to accommodate a Digital Sign with Electric Vehicle Charging Facility, with guidelines (Attachment 2).

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

- 7.2.9 Land Use Amendment in Southview (Ward 9) at 2715 – 19 Avenue SE, LOC2024-0180, CPC2024-1100

This Item was dealt with on the Consent Agenda.

- 7.2.10 Land Use Amendment in Tuxedo Park (Ward 7) at 115 and 121 – 21 Avenue NE, LOC2024-0135, CPC2024-1101

A presentation entitled "LOC2024-0135 / CPC2024-1101 Land Use Amendment" was distributed with respect to Report CPC2024-1101.

Moved by Commissioner Hawryluk

That with respect to Report CPC2024-1101, the following be approved:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 0.20 hectares \pm (0.50 acres \pm) located at 115 and 121 – 21 Avenue NE (Plan 2129O, Block 19, Lots 16 to 22) from Multi-Residential – Contextual Low Profile (M-C1) District to Multi-Residential – Contextual Medium Profile (M-C2d296) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.11 Land Use Amendment in Tuxedo Park (Ward 7) at 111 – 28 Avenue NW, LOC2024-0109, CPC2024-1136

A presentation entitled "LOC2024-0109 / CPC2024-1136 Land Use Amendment" was distributed with respect to Report CPC2024-1136.

Moved by Commissioner Campbell-Walters

That with respect to Report CPC2024-1136, the following be approved:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 0.06 hectares \pm (0.14 acres \pm) located at 111 – 28 Avenue NW (Plan 2617AG, Block 28, Lots 11 and 12) from Multi-Residential – Contextual Low Profile (M-C1) District to Direct Control (DC) District to accommodate an Office, with guidelines (Attachment 2).

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.12 Land Use Amendment in Bowness (Ward 1) at 6623 Bowness Road NW, LOC2024-0196, CPC2024-1120

The following documents were distributed with respect to Report CPC2024-1120:

- Revised Cover Report; and
- A presentation entitled "LOC2024-0196 / CPC2024-1120 Land Use Amendment".

Jeff Dyer and Lori Van Rooijen (applicants) answered questions of Commission with respect to Report CPC2024-1120.

Moved by Commissioner Campbell-Walters

That with respect to **Revised** Report CPC2024-1120, the following be approved, **after amendment**:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 0.20 hectares \pm (0.50 acres \pm) located at 6623 Bowness Road NW (Plan 4610AJ, Block 23, Lots 5 and 6) from Residential – Grade-Oriented Infill (R-CG) District to Mixed Use – General (MU-1f3.0h20.5) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

Commission recessed at 3:12 p.m. and reconvened at 3:45 p.m. with Chair Goldstein in the Chair.

ROLL CALL

Director Mahler, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, Commissioner Small, and Director Goldstein

Absent from Roll Call: Councillor Carra, Councillor Dhaliwal, Commissioner Pollen, and Commissioner Weber

7.2.13 Land Use Amendment and Outline Plan in Huxley (Ward 9) at 500 – 84 Street SE, LOC2024-0016, CPC2024-1078

The following documents were distributed with respect to Report CPC2024-1078:

- Revised Attachment 2; and
- A presentation entitled "LOC2024-0016 / CPC2024-1078 Land Use Amendment and Outline Plan".

Councillor Carra (Remote Member) joined the meeting at 3:47 p.m.

Councillor Dhaliwal (Remote Member) joined the meeting at 4:01 p.m.

Moved by Commissioner Small

That with respect to Report CPC2024-1078, the following amendment be approved:

That Attachment 2 be amended by deleting Condition of Approval 48 in its entirety and replacing with the following:

"48. A **restrictive covenant** shall be registered against the specific lot(s) identified by the Manager, Development Engineering, concurrent with the legal plan of subdivision prohibiting the construction of front driveway access to Belvedere Boulevard SE. Access to these properties will be permitted from the adjacent lanes only if provided or from the other adjacent street if a lane is not provided."

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

Moved by Commissioner Gordon

That with respect to Report CPC2024-1078, the following be approved,
after amendment:

That the Calgary Planning Commission:

1. As the Council-designated Approving Authority, approve the proposed outline plan located at 500 – 84 Street SE (Portion of NW1/4 Section 18-24-28-4) to subdivide 15.61 hectares \pm (38.58 acres \pm) with conditions (**Amended** Attachment 2).

That the Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the redesignation of 15.61 hectares \pm (38.58 acres \pm) located at 500 – 84 Street SE (Portion of NW1/4 Section 18-24-28-4) from Special Purpose – Future Urban Development (S-FUD) District to Residential – Low Density Mixed Housing (R-G) District, Residential – Low Density Mixed Housing (R-Gm) District, Multi-Residential – Low Profile (M-1) District, and Special Purpose – School, Park and Community Reserve (S-SPR) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.14 Land Use Amendment in Crescent Heights (Ward 7) at 330 – 4 Avenue NE, LOC2024-0159, CPC2024-1133

A presentation entitled "LOC2024-0159 Land Use Amendment" was distributed with respect to Report CPC2024-1133.

Councillor Carra (Remote Member) left the meeting at 4:11 p.m.

Moved by Commissioner Small

That with respect to Report CPC2024-1133, the following be approved:

That Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 0.06 hectares \pm (0.14 acres \pm) located at 330 – 4 Avenue NE (Plan 1332N, Block 8, Lots 13 and 14) from Multi-Residential – Contextual Grade-Oriented (M-CGd72) District to Multi-Residential – Contextual Medium Profile (M-C2) District.

For: (6): Director Mahler, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.15 Land Use Amendment in Stoney 3 (Ward 5) at 4220 – 108 Avenue NE,
LOC2023-0215, CPC2024-1115

A presentation entitled "LOC2023-0215 / CPC2024-1115 Land Use Amendment" was distributed with respect to CPC2024-1115.

By General Consent, this Item was postponed to the Call of the Chair.

Commission then dealt with Item 7.2.16.

Commission returned to this Item following Item 7.2.16.

Moved by Commissioner Gordon

That with respect to Report CPC2024-1115, the following amendment be approved:

That Attachment 2 be amended as follows:

1. Amend Section 4, Permitted Uses, to read as follows:

"Permitted Uses

4 (1) The **permitted uses** of the Industrial – General (I-G) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

(2) The following uses are permitted uses if they are located within existing approved **buildings**:

- (a) **Artist's Studio;**
- (b) **Financial Institution;**
- (c) **Fitness Centre;**
- (d) **Health Care Service;**
- (e) **Indoor Recreation Facility;**
- (f) **Information and Service Provider;**
- (g) **Pawn Shop;**
- (h) **Radio and Television Studio; and**
- (i) **Retail and Consumer Service."**

2. Amend Section 5, Discretionary Uses, to read as follows:

"Discretionary Uses

5 (1) Uses listed in Section 4(2) are **discretionary uses** if they are located in new proposed **buildings** or proposed additions to existing **buildings**.

(2) The **discretionary uses** of the Industrial – General (I-G) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the addition of:

- (a) **Cannabis Store;**
- (b) **Drinking Establishment – Small;**
- (c) **Liquor Store;** and
- (d) **Payday Loan."**

For: (6): Director Mahler, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

Moved by Director Mahler

That with respect to Report CPC2024-1115, the following be approved, **after amendment**:

That the Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 0.93 hectares \pm (2.30 acres \pm) located at 4220 – 108 Avenue NE (Plan 1811550, Block 6, Lot 5) from Industrial – General (I-G) District to Direct Control (DC) District to accommodate additional commercial uses, with guidelines (**Amended** Attachment 2).

For: (6): Director Mahler, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

Commission then dealt with Item 11.

7.2.16 Policy and Land Use Amendment in Albert Park/Radisson Heights (Ward 9) at 2734 Radcliffe Drive SE, LOC2024-0155, CPC2024-1063

This Item was dealt with following the postponement of Item 7.2.15.

The following documents were distributed with respect to Report CPC2024-1063:

- Revised Attachment 2; and
- A presentation entitled "LOC2024-0155 / CPC2024-1063 Policy and Land Use Amendment".

Chris Andrew and David Couroux (applicants) answered questions of Commission with respect to Report CPC2024-1063.

Moved by Commissioner Small

That with respect to Report CPC2024-1063, the following be approved,
after amendment:

That the Calgary Planning Commission:

1. Forward this report (CPC2024-1063) to the 2024 November 12 Public Hearing Meeting of Council; and

That the Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the amendments to the Albert Park/Radisson Heights Area Redevelopment Plan (**Revised** Attachment 2); and
3. Give three readings to the proposed bylaw for the redesignation of 2.03 hectares \pm (5.01 acres \pm) located at 2734 Radcliffe Drive SE (Plan 8510947, Block 1, Lot 1) from Special Purpose – City and Regional Infrastructure (S-CRI) District to Mixed Use – General (MU-1h90) District.

For: (6): Director Mahler, Councillor Dhalliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

Commission then returned to Item 7.2.15.

7.3 MISCELLANEOUS ITEMS

None

8. URGENT BUSINESS

- 8.1 Procedural Request - Schedule a Calgary Planning Commission Meeting on 2024 November 7 in the Engineering Traditions Boardroom, CPC2024-1185

This Item was dealt with following Confirmation of Minutes.

Moved by Director Mahler

That the Calgary Planning Commission schedule a Calgary Planning Commission Meeting on 2024 November 7 in the Engineering Traditions Committee Room.

MOTION CARRIED

Commission then dealt with the Consent Agenda.

9. CONFIDENTIAL ITEMS

- 9.1 ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

None

- 9.2 URGENT BUSINESS

None

10. BRIEFINGS

None

11. ADJOURNMENT

This Item was dealt with following Item 7.2.15.

Moved by Director Mahler

That this meeting adjourn at 5:23 p.m.

MOTION CARRIED

The following Item has been forwarded to the 2024 November 12 Public Hearing Meeting of Council:

PLANNING MATTERS FOR PUBLIC HEARING

CALGARY PLANNING COMMISSION REPORTS

- Policy and Land Use Amendment in Albert Park/Radisson Heights (Ward 9) at 2734 Radcliffe Drive SE, LOC2024-0155, CPC2024-1063

The following Items have been forwarded to the 2024 December 3 Public Hearing Meeting of Council:

PLANNING MATTERS FOR PUBLIC HEARING

CALGARY PLANNING COMMISSION REPORTS

- Land Use Amendment in Shaganappi (Ward 8) at 3011 – 12 Avenue SW, LOC2024-0189, CPC2024-1084
- Road Closure and Land Use Amendment in Christie Park (Ward 6) adjacent to 5615 – 14 Ave SW, LOC2023-0210, CPC2024-1099
- Policy and Land Use Amendment in Copperfield (Ward 12) at 30 Copperpond Passage SE, LOC2024-0112, CPC2024-1062
- Policy and Land Use Amendment in Springbank Hill (Ward 6) at 7755 – 17 Avenue SW, LOC2023-0127, CPC2024-0615
- Land Use Amendment in Riverbend (Ward 11) at Multiple Addresses, LOC2024-0178, CPC2024-1112
- Policy and Land Use Amendment in Bankview (Ward 8) at 2303 – 16A Street SW, LOC2024-0111, CPC2024-0991
- Land Use Amendment in Glendale (Ward 6) at 3939 – 17 Avenue SW, LOC2023-0297, CPC2024-1086
- Land Use Amendment in Oakridge (Ward 11) at 2515 – 90 Avenue SW, LOC2023-0296, CPC2024-1079

- Land Use Amendment in Parkhill (Ward 8) at 4337 Macleod Trail SW, LOC2023-0298, CPC2024-1087
- Land Use Amendment in Beltline (Ward 8) at multiple addresses, LOC2023-0295, CPC2024-1047
- Land Use Amendment in Southview (Ward 9) at 2715 – 19 Avenue SE, LOC2024-0180, CPC2024-1100
- Land Use Amendment in Tuxedo Park (Ward 7) at 115 and 121 – 21 Avenue NE, LOC2024-0135, CPC2024-1101
- Land Use Amendment in Tuxedo Park (Ward 7) at 111 – 28 Avenue NW, LOC2024-0109, CPC2024-1136
- Land Use Amendment in Bowness (Ward 1) at 6623 Bowness Road NW, LOC2024-0196, CPC2024-1120
- Land Use Amendment and Outline Plan in Huxley (Ward 9) at 500 – 84 Street SE, LOC2024-0016, CPC2024-1078
- Land Use Amendment in Crescent Heights (Ward 7) at 330 – 4 Avenue NE, LOC2024-0159, CPC2024-1133
- Land Use Amendment in Stoney 3 (Ward 5) at 4220 – 108 Avenue NE, LOC2023-0215, CPC2024-1115

The next Regular Meeting of the Calgary Planning Commission is scheduled to be held on 2024 October 31 at 1:00 p.m.

CONFIRMED BY COMMISSION ON

CHAIR

CITY CLERK

**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2627 – 31 Street SW,
LOC2024-0206**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.06 hectares \pm (0.14 acres \pm) located at 2627 – 31 Street SW (Plan 1855W, Block 3B, Lots 7 and 8) from Direct Control (DC) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for secondary suites, backyard suites, rowhouses and townhouses in addition to the building types already listed in the existing district (e.g., single detached, semi-detached, and duplex dwellings).
- The proposal represents an appropriate density increase of a residential site, allows development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Westbrook Communities Local Area Plan* (LAP).
- What does this mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- A development permit for a Single Detached Dwelling, Secondary Suite, Accessory Residential Building and Backyard Suite has been submitted and is under review.
- There is no previous Council direction related to this proposal.

DISCUSSION

This land use amendment application in the southwest community of Killarney/Glengarry was submitted by Andison Residential Design on behalf of the landowners, Jason Hastie and Gina Thornton, on 2024 August 16. A development permit (DP2024-05301) to add a secondary suite in the basement and a backyard suite attached to a garage was submitted on 2024 July 18 and is under review.

The 0.06 hectare (0.14 acre) mid-block parcel is located on 31 Street SW, five blocks east of the Glenbrook Shopping Centre. Surrounding development includes two-storey semi-detached development immediately to the north, and single detached bungalows to the east, west and south.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2627 - 31 Street SW,
 LOC2024-0206**

ENGAGEMENT AND COMMUNICATION

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant reached out to the Killarney-Glengarry Community Association (CA) and neighbouring property owners. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received one letter of opposition and two letters of support from the public. The letter of opposition included concerns regarding the list of allowable uses in the R-CG District, such as rowhouses and townhouses, given the applicant's stated intent to develop a single-detached dwelling with a secondary suite and a detached garage with a backyard suite.

The letters of support noted general support for the change in land use for the intention of developing a backyard suite and secondary suite on the subject site.

The CA did not provide any comments. Administration followed up with the Community Association and no response was received.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The building and site design, number of units and on-site parking is currently being reviewed at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed R-CG District would support a wider range of housing types than the existing Direct Control (DC) District (Bylaw 28D91), and better accommodate the housing needs of different age groups, lifestyles, and demographics.

Environmental

The application does not include any actions that specifically address the objectives of the *Climate Resilience Strategy – Pathways to 2050*. Further opportunities to align future

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CPC2024-1151
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**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2627 - 31 Street SW,
LOC2024-0206**

development on this site with applicable climate strategies are being explored and encouraged through the development permit review.

Economic

The application would allow development up to four dwelling units with the option to include secondary suites and/or backyard suites which may result in a more efficient use of land, existing infrastructure, and services.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject parcel is located in the southwest community of Killarney/Glengarry along 31 Street SW. The parcel is approximately 0.06 hectares (0.14 acres) in size measuring approximately 15 metres wide and 36 metres deep. The laned parcel is located mid-block and is currently developed with a single detached dwelling and a detached garage.

Surrounding development is primarily characterized by a mix of single and semi-detached residential buildings of one to two storeys with some rowhouse and multi-family developments in the area. Directly north is a semi-detached dwelling. Within 200 metres (a three-minute walk) southwest of the subject site is a commercial development located on a parcel designated as Commercial – Neighbourhood 1 (C-N1) District. The subject site is located within 250 metres (a three-minute walk) from Killarney School (Grades K-6), and within 600 metres (about a seven-minute walk) from Holy Name School (Grades K-6) and the Glendale and Glenbrook Shopping Centres.

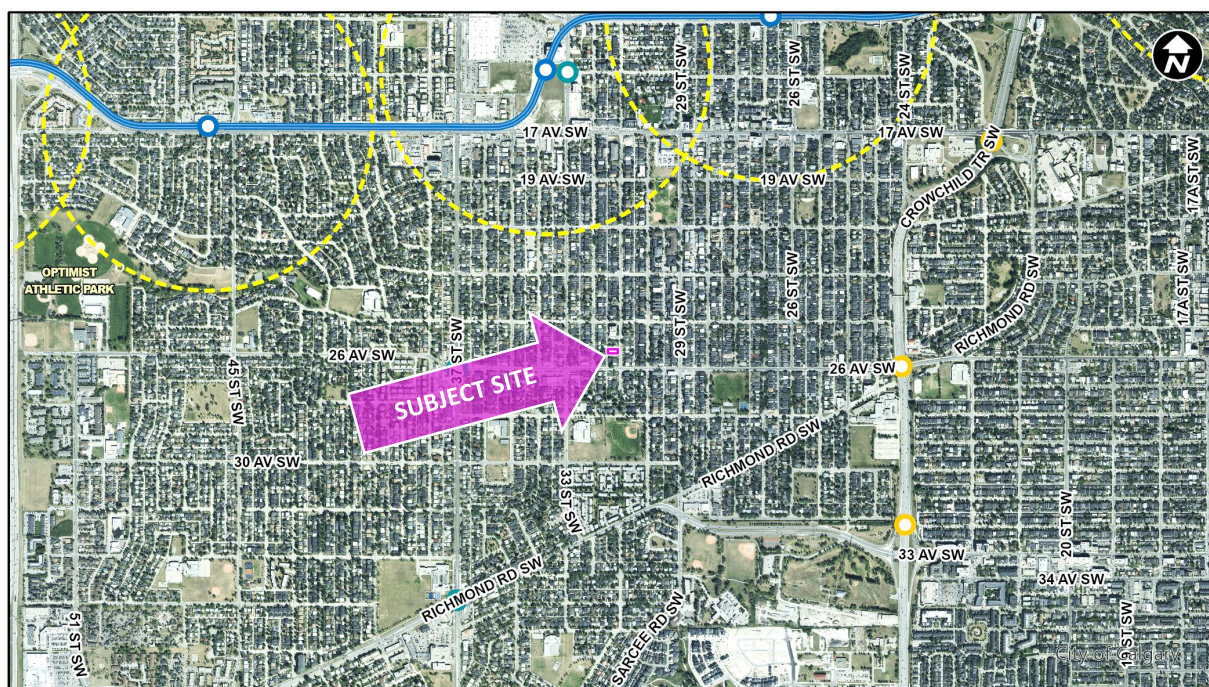
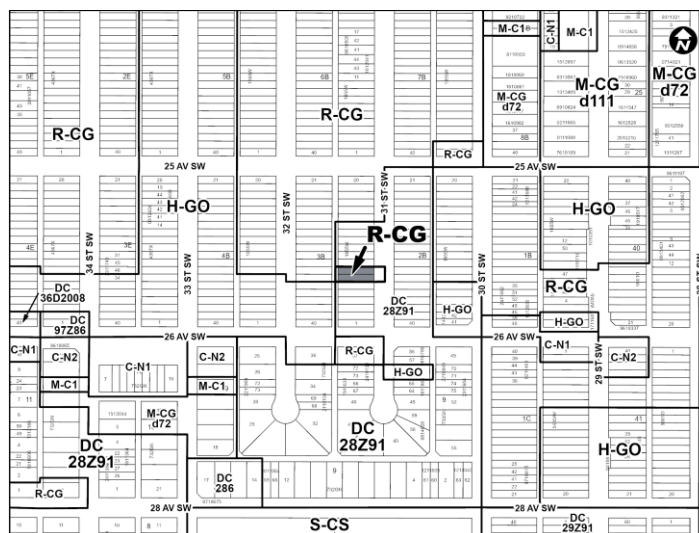
Community Peak Population Table

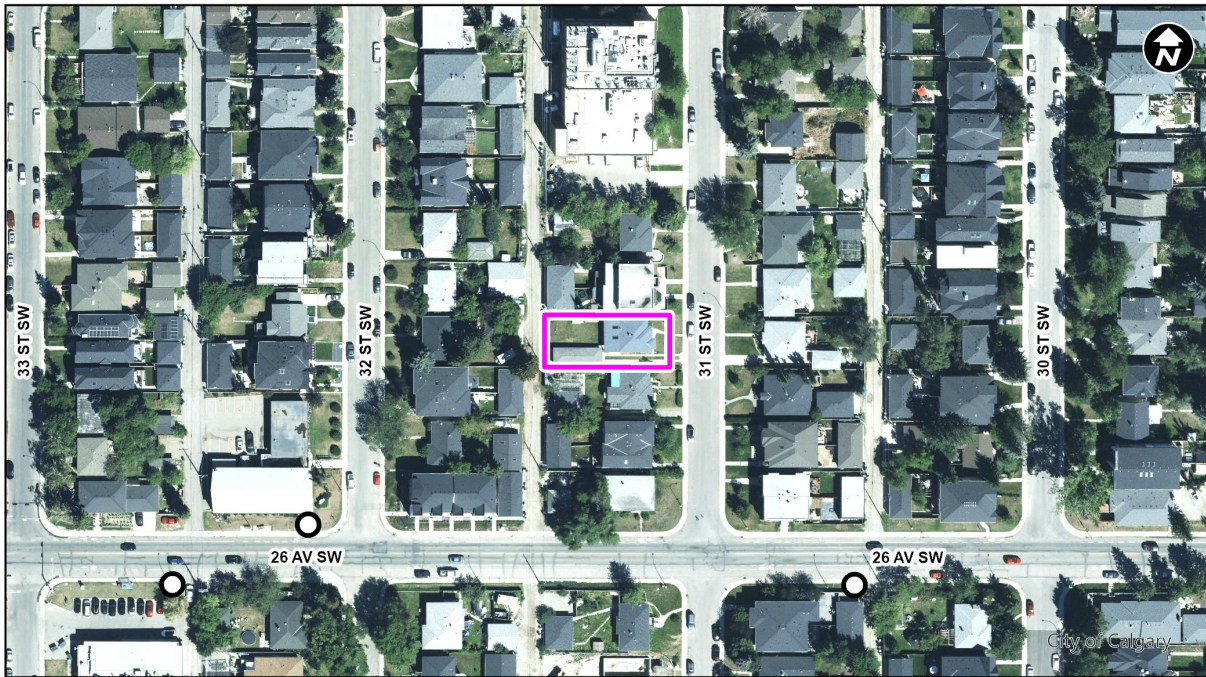
As identified below, the community of Killarney/Glengarry reached its peak population in 2019.

Killarney/Glengarry	
Peak Population Year	2019
Peak Population	7,685
2019 Current Population	7,685
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Killarney/Glengarry Community Profile](#)





Previous Council Direction

None.

Planning Evaluation

Land Use

The subject parcel is currently designated as a Direct Control (DC) District ([Bylaw 28Z91](#)), which is based on the R-2 Residential Low Density District of Land Use Bylaw 2P80. This DC accommodates low density development in the form of single detached, semi-detached and duplex dwellings. With this current designation, the subject parcel can accommodate a maximum building height of 10 meters and a maximum density of two dwelling units. Secondary suites and backyard suites are not listed uses within the Direct Control District as these uses were not included in the 2P80 Land Use Bylaw.

The proposed Residential – Grade-Oriented Infill (R-CG) District allows for a broader range of low-density housing forms such as single detached, semi-detached, duplex dwellings, townhouses and rowhouses. The R-CG District allows for a maximum height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the parcel area of the subject site, this would allow for up to four dwelling units.

Secondary suites (one backyard suite and one secondary suite per dwelling unit) are also allowed in the R-CG District and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the development of the site, including appropriate uses, building height and massing, landscaping, parcel coverage and parking. Other key factors that are being considered during the review of the development permit application include the following:

- interface with the lane;
- building massing and relationship with the adjacent residential parcels to the east; and
- mitigating shadowing, overlooking and privacy concerns

Transportation

The subject site is located along 31 Street SW, which is classified as a Residential Street, and in close proximity to 26 Avenue SW, which is classified as a Collector Road.

Pedestrian connectivity in the neighborhood is provided through the existing sidewalks on 31 Street SW, and on 26 Avenue SW, which provides access to the greater area.

The site is served by the cycling infrastructure of the Always Available for All Ages & Abilities (5A) Network, with an existing on-street bikeway along 26 Avenue SW, which connects west to the 37 Street SW pathway and the greater 5A Network. On-street improvements are taking place along 26 Avenue SW for all users, including cycling and pedestrian, through the 26 Avenue Mobility Improvement Project.

The proposed development is located within close proximity to transit service with the east/westbound Route 6 (Killarney/26 Av SW) transit stops located within 175 metres of the site (about a three-minute walk) on 26 Avenue SW. The northbound MAX Teal transit stop is located within 600 metres (a seven-minute walk) on 37 Street SW.

Vehicular access to the subject site is anticipated to be provided from the rear lane. On-street parking is available on 31 Street SW with no current parking restrictions.

Environmental Site Considerations

No environmental concerns were noted and no reports were required for this land use application.

Utilities and Servicing

Water and sanitary servicing are available for connection adjacent to the subject site from 31 Street SW. Storm connection is not available adjacent to the subject site.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Developed – Residential – Inner City area as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of established communities to make more efficient use of existing infrastructure, public amenities, and transit. Such development is intended to occur in a form and nature that respects the scale and character of the neighbourhood context. The proposal is in keeping with relevant MDP policies as the R-CG District provides development that is sensitive to existing residential development in terms of height, scale and massing.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies are being explored and encouraged through the development permit review.

Westbrook Communities Local Area Plan (Statutory – 2023):

The [Westbrook Communities Local Area Plan](#) (LAP) identifies the subject site as being part of the Neighbourhood Local urban form category (Map 3: Urban Form) with a Limited building scale modifier (Map 4: Building Scale), which allows for up to three storeys. Neighbourhood Local areas are characterized by a range of housing types and home-based businesses. The Limited building scale modifier includes a broad range of ground-oriented building forms, including single-detached, semi-detached, rowhouses, townhomes, stacked townhomes, mixed-use buildings, commercial and some industrial buildings. The proposed land use amendment is in alignment with the applicable policies of the LAP.

Applicant Submission

Company Name (if applicable):

Andison Residential Design

LOC Number (office use only):

Applicant's Name:

Brian Kehoe

Date:

08/31/2024

The parcel is on a Direct Control under by-law R-2 2P80. The purpose of our request is to re-zone the parcel as per the current by-law and the to match the current city re-zoning to R-CG. The proposed development is a renovation/addition to the existing property. The existing is to be stripped down to its foundation with a new main floor and a second floor to be added to fit the developing look of the community. A proposed garage with backyard suite to be added to the rear of the parcel with access from the lane to help with the current housing crises.

If you have any questions please feel free to contact me.

Applicant Outreach Summary

2024 September 11



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: Jason and Gina house on 31 St - LOC2024-0206

Did you conduct community outreach on your application? ☒ YES or ☐ NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

We love our neighbourhood and our neighbours and we wanted to inform them of what we are doing. Our strategy was to talk to neighbours, put information in their mailboxes (if we weren't able to reach them), as well as talk to the Killarney-Glengarry Community Association and board (including the development committee) to let them know what we were doing.

Locations where we chatted with neighbours and put information were primarily on our street as well as on 32nd Street, as that is the street that backs our house and where we share a common alley.

We explained that our intention is to add on to the existing house and to build a garage with a laneway house. We also showed pictures of drawings. Dates were Sept 1-9.

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with. (Please do not include individual names)

We connected with our neighbours, talked with many of them in-person, as well as our local community association (Killarney-Glengarry). I also attended the "Meet the Board" event with the community association on September 9th and chatted with the board members as well as others in the community who had come to the event.

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

We heard our neighbours concerns about, in general, what is happening in the city. We showed them our building plans with our house and laneway house above the garage. In relation to parking, we will have two separate garage units to park (double-car and single-car) and we are fortunate on our property that there is also a front drive-way if we want to park another car off the street.

Our neighbours love the idea that we are staying in the community with our growing family and they liked that we will be renovating the 'oldest house on the block' instead of tearing it down and putting an 8-unit structure. We are very excited to have a 50 foot lot but with a responsible way of having a laneway house to assist with the housing problem facing Calgary and Canadians.

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We already had an idea of what we wanted to do and we were aware of neighbours in our area (as well as what we've seen in the city) who are concerned about very dense buildings going in. Our idea was to try and utilize our 50-foot lot the best way possible by adding in the laneway house and having a legal basement suite as well for our aging parents. We worked at coming up with a way to help address the housing issues Calgary is facing while still maintaining the beauty of our awesome neighbourhood which we have lived in for 20 years.

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

We shared our building plans with our neighbours and also attended the Killarney-Glengarry event as mentioned above. We did not ask our neighbours to provide letters (we know everyone is busy) but if needed, we could provide letters of support for our property development if needed!

calgary.ca/planningoutreach

**Land Use Amendment in Taradale (Ward 5) at 31 Tararidge Drive NE,
LOC2024-0151**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.04 hectares \pm (0.09 acres \pm) located at 31 Tararidge Drive NE (Plan 8310469, Block 3, Lot 102) from Residential – Low Density Mixed Housing (R-G) District to Direct Control (DC) District to accommodate a Child Care Service, with guidelines (Attachment 2).

HIGHLIGHTS

- This application proposes to redesignate the parcel to a Direct Control (DC) District to allow for the additional discretionary use of Child Care Service in addition to the uses already allowed (e.g. rowhouse and townhouse buildings, duplex and semi-detached dwellings, single-detached dwellings and secondary suites).
- The proposal allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Saddle Ridge Area Structure Plan* (ASP).
- What does this mean to Calgarians? The proposed DC District would allow for an additional use that is an essential service and a community amenity.
- Why does this matter? Child care services being integrated into communities leads to more convenient lives for Calgarians and supports positive social and economic outcomes.
- A development permit for a child care service facility has been submitted and is under review.
- There is no previous Council direction related to this proposal.

DISCUSSION

This application, in the northeast community of Taradale was submitted by SAAD Day Home on behalf of the landowners, Mobi Ahmad Ali and Nabiha Sadiq on 2024 June 3. A development permit (DP2024-03922) for a child care service for 33 children was also submitted on 2024 June 3 and is currently under review. As noted in the Applicant Submission (Attachment 3).

The approximately 0.03 hectare (0.09 acre) parcel is located at 31 Tararidge Drive NE. The site is currently developed with a single detached dwelling and a detached garage accessed from the rear laneway. The proposed DC District would allow for a child care service within the building as an additional discretionary use. The subject site is within walking distance of several community park spaces to the north and east. The site is well serviced by Calgary Transit with Route 303 (MAX Orange Brentwood/Saddleridge) and Route 23 (52 St E) located within 500 metres (an eight-minute walk) west of the subject site.

A detailed planning evaluation of the application, including location maps and site context is provided in the Background and Planning Evaluation (Attachment 1).

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ISC: UNRESTRICTED
CPC2024-1161
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**Land Use Amendment in Taradale (Ward 5) at 31 Tararidge Drive NE,
LOC2024-0151**

ENGAGEMENT AND COMMUNICATION

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant contacted their immediate neighbours and introduced their proposal. The applicant provided details included in the Applicant Outreach Summary (Attachment 4).

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

No public comments were received at this time of writing this report.

No comments from the Taradale Community Association were received. Administration contacted the Community Association to follow up and no response was received.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed land use would allow for a child care service to be located within a residential community at a scale that fits with the neighbourhood. Child care is essential to creating complete communities and accommodating the needs of parents and caregivers.

Environmental

This application does not include any specific actions that address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Opportunities to align future development on this site with applicable climate resilience strategies will be explored and encouraged through the development permit.

Economic

The proposed land use amendment would allow for a child care service within the residential community of Taradale. Child care is an essential service that allows parents and caregivers to more effectively participate in the labour force and provides employment opportunities for staff of the business.

Planning and Development Services Report to
Calgary Planning Commission
2024 October 31

ISC: UNRESTRICTED
CPC2024-1161
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**Land Use Amendment in Taradale (Ward 5) at 31 Tararidge Drive NE,
LOC2024-0151**

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Direct Control District
3. Applicant Submission
4. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the northeast of community of Taradale on the corner of Tararidge Drive NE and Tararidge Place NE. The parcel is approximately 0.04 hectares (0.09 acres) and approximately 11 metres wide and 33 metres deep. The subject parcel is currently developed with a single detached dwelling and a detached garage accessed from the rear lane.

Surrounding development is characterized by single detached dwellings, designated Residential – Low Density Mixed Housing (R-G) District. Parcels designated Residential – Low Density Multiple Dwelling (R-2M) District are located southwest of the subject site and a commercial area designated as Commercial – Community 1 (C-C1) District is located neighboring the R-2M parcels. Multiple parcels designated Special Purpose – School, Park and Community Reserve (S-SPR) District are within 500 metres (an eight-minute walk) of the site.

The subject site is 600 metres (an eight-minute walk) south of Our Lady of Fatima School, a Kindergarten to Grade 6 Calgary Catholic School. The subject site is 1.2 kilometres (a 16-minute walk) southwest from Ted Harrison School, a Grade 7 – 9 Calgary Board of Education School. Taralea Playground is located 500 metres (a seven-minute walk) north of the subject site and Falconridge Boulevard NE is located 600 metres (an eight-minute walk) west of the subject site.

Community Peak Population Table

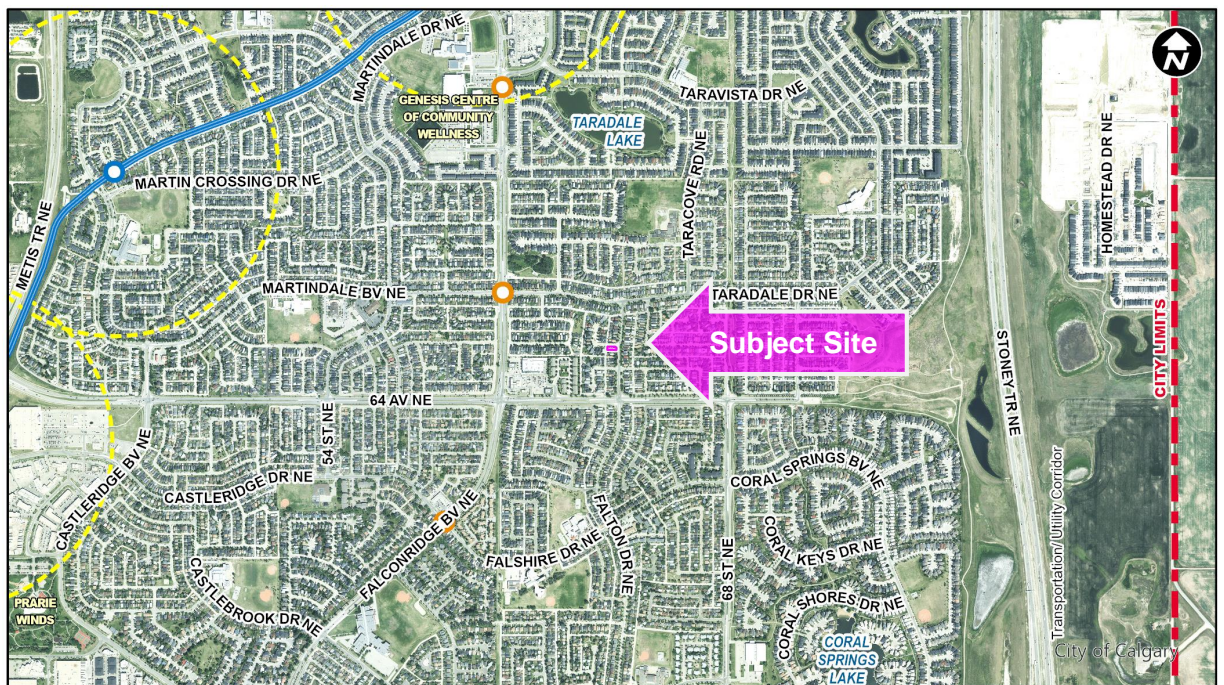
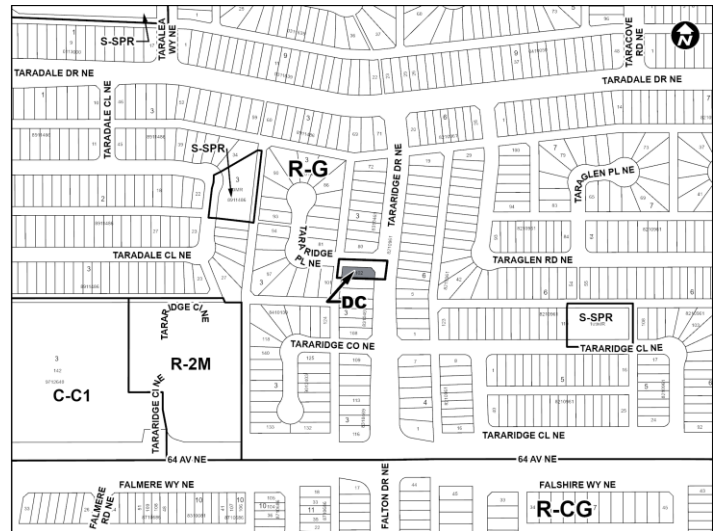
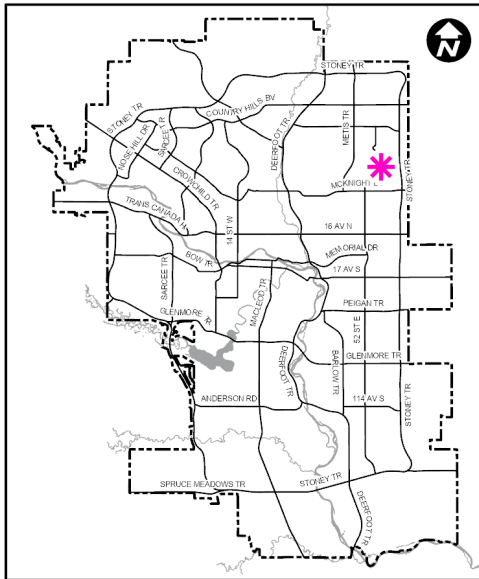
As identified below, the community of Taradale reached its peak population in 2015.

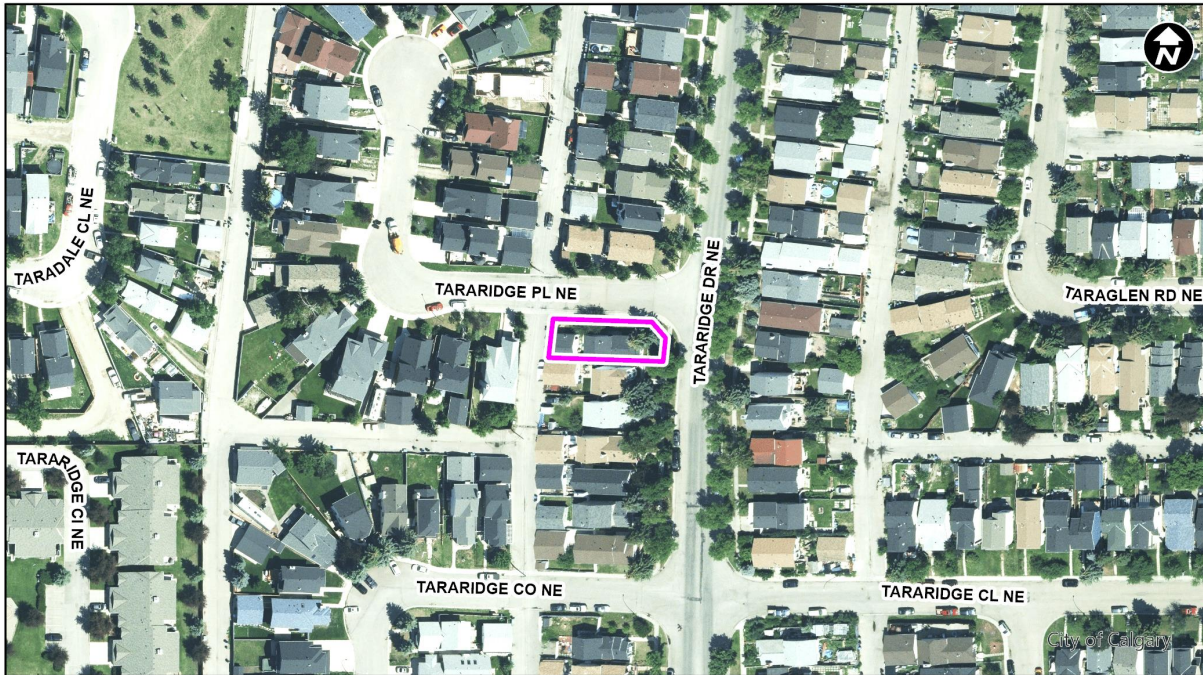
Taradale	
Peak Population Year	2015
Peak Population	19,223
2019 Current Population	19,026
Difference in Population (Number)	-197
Difference in Population (Percent)	-1.02%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Taradale Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-G District is primarily for single-detached, semi-detached, duplex dwellings and rowhouse buildings. The R-G District allows for a maximum height of 12 metres. Secondary suites are permitted uses within the R-G District.

The proposed Direct Control (DC) District is based on the existing Residential – Low Density Mixed Housing (R-G) District with the additional discretionary use of Child Care Service. The R-G District allows for a maximum building height of 12 metres and a variety of housing forms including Cottage Housing Clusters, Duplex Dwellings and Rowhouse Buildings. Secondary Suite is a permitted use in the R-G District.

The proposed DC District would allow for residential uses consistent with surrounding development if the Child Care Service use is not commenced or is discontinued in the future. The DC District does not limit the maximum number of allowable children. The number of children allowed in a Child Care Service is determined at the development permit stage along with the Provincial licensing requirements.

The Child Care Service use requires one parking stall for pick-up and drop-off for every ten children. No specific rate of staff parking is included in the use rules and would be evaluated as part of the development permit.

Pursuant to Section 20 of the Land Use Bylaw 1P2007, this application for a DC District has been reviewed by Administration, and the use of a Direct Control District is necessary to provide for the applicant's proposed development due to the unique characteristics of the Child Care Service use within the residential context. This proposal allows for a commercial Child Care Service to operate while maintaining the R-CG District base. The same result could not be achieved through the use of a standard land use district in the Land Use Bylaw 1P2007.

The proposed DC District includes a rule that would allow the Development Authority to relax Section 6 of the DC District Bylaw. Section 6 incorporates the rules of the base district in Bylaw 1P2007 where the DC District does not provide for specific regulation. In a standard district, many of these rules can be relaxed if they meet the test of relaxation of Bylaw 1P2007 that regulate aspects of development that are not specifically regulated in this DC District can also be relaxed in the same way that they would be in a standard district.

Development and Site Design

If approved by Council, the rules of the proposed DC District and the [Child Care Service Policy and Development Guidelines](#) would provide guidance for future redevelopment of the site.

A discretionary use development permit is required to enable a Child Care Service for more than six children. Facilities that provide the temporary care or supervision of six children or less would be considered a Home Based Child Care – Class 1, a permitted use in all low density residential districts. The number of children, on-site parking stalls, location of pick-up and drop-off stalls and outdoor play areas would be confirmed through the development permit process. The maximum number of children will be managed by balancing provincial licensing requirements for staff and outdoor play space, and visitor pick-up and drop-off stalls.

Other specific issues to be addressed at the development permit stage include screening for any outdoor play areas, restrictions on signage in a residential area and privacy issues with the adjacent residential dwellings.

The child care service operators will require provincial licensing and will be evaluated under Alberta's [Early Learning and Child Care Act](#).

Transportation

Pedestrian access to the site is available along Tararidge Drive NE and Tararidge Place NE.

The subject site is well serviced by Calgary Transit. The subject site is 270 metres (a four-minute walk) from Taradale Drive NE where Route 61 (Martindale) and Route 71 (Taradale) are located. Route 303 (MAX Orange Brentwood/Saddletowne), Route 23 (52 St E) and Route 68 (68 St E) are located along Falconridge Boulevard NE.

A Transportation Impact Assessment was not required in support of this application.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water, sanitary and stormwater sewer lines are available to serve future development on the site. Details of site servicing, as well as appropriate stormwater management will be considered and reviewed as part of any future development permit application.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Developing Residential – Planning Greenfield with Area Structure Plan area, as identified on Map 1 Urban Structure in the [Municipal Development Plan](#) (MDP). Planned Greenfield are characterized as relatively low-density residential neighbourhoods containing single-family housing, smaller pockets of multi-family and locally oriented retail in the form of strip developments located at the edges of communities.

The proposal is in keeping with relevant MDP policies. The proposed DC District allows for a building form that is sensitive to the existing residential development in terms of height, scale and massing while also encouraging complete communities by allowing for child care services within a residential area.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged through the development permit review

Saddle Ridge Area Structure Plan (Statutory – 1986)

The subject site is located within the Residential area, as identified on Map 6 Land Use Plan in the [Saddle Ridge Area Structure Plan](#) (ASP). The ASP identifies that a number of northeast residential communities have served a significant portion of the starter home market which results in a higher proportion of children than in other parts of the city, thereby increasing the need for the type of development proposed by this application. The proposal is in keeping with the relevant policies of the ASP.

Child Care Service Policy and Development Guidelines (Non-Statutory – 2009)

The assessment of this application has been reviewed in accordance with the [Child Care Service Policy and Development Guidelines](#), a non-statutory framework designed to guide the development of Child Care Services. The primary objective of this policy is to effectively manage the impacts of Child Care Services in low-density residential districts.

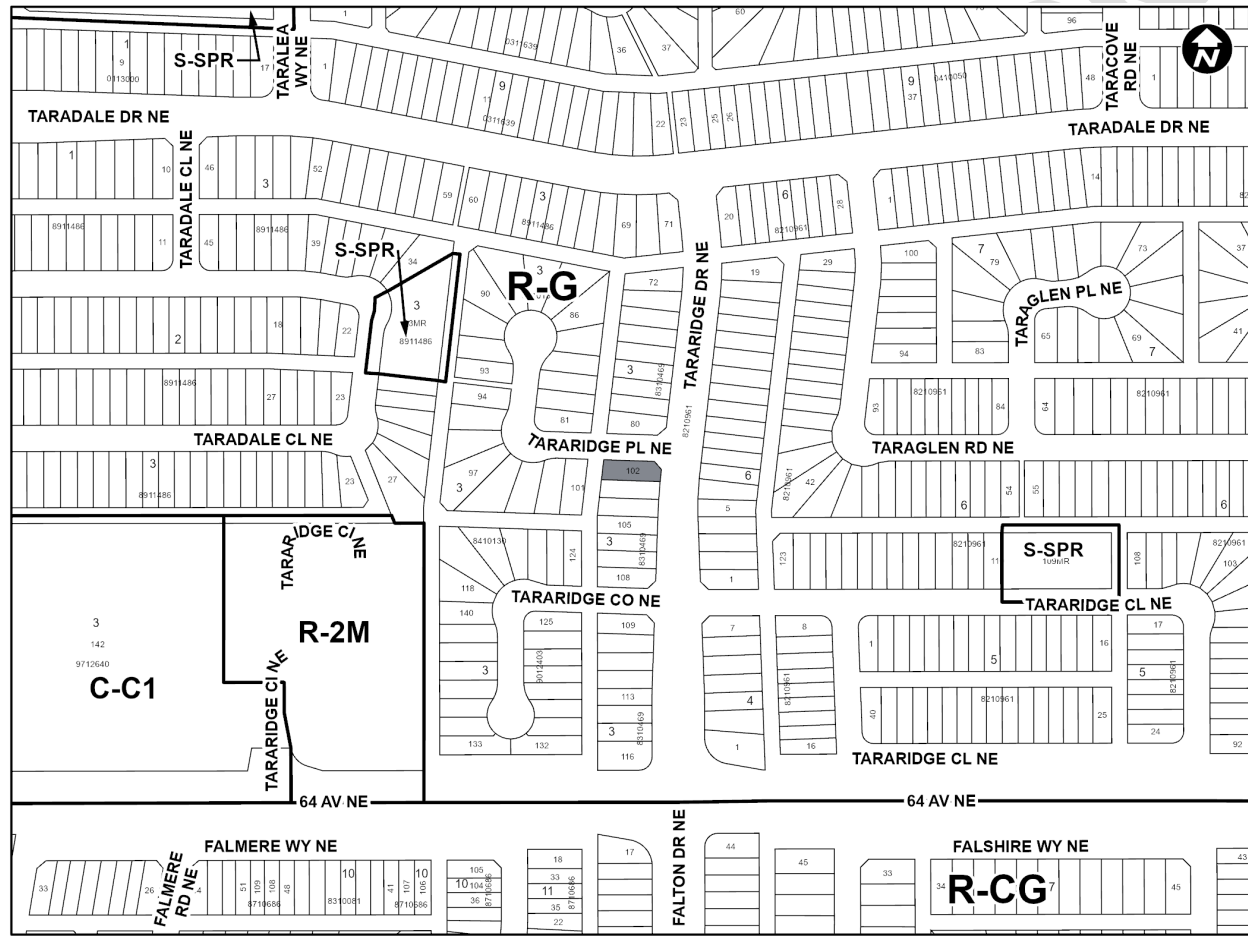
Land use amendments with the proposed use of Child Care Service are reviewed against the site selection criteria and development guidelines. The subject parcel, along with this proposed DC District, aligns with the applicable site selection criteria as identified in the guidelines.

The development guidelines are intended to inform more specific site and building design details at the development permit review stage. This includes parking, orientation of access/activities within the parcel and building, window placement and privacy considerations, orientation and enclosure of any outdoor play areas, and signage. A preliminary review indicates the site's characteristics would allow for these development guidelines to be applied as intended.

Proposed Direct Control District

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

SCHEDULE A



Purpose

- 1 This Direct Control District Bylaw is intended to accommodate the additional use of child care service.

2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

4 The **permitted uses** of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

Discretionary Uses

- 5 The **discretionary uses** of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the addition of:

(a) **Child Care Service.**

Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 apply in this Direct Control District.

Relaxations

- 7 The **Development Authority** may relax the rules contained in Section 6 of this Direct Control District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.

TEXT FOR DISCUSSION

Applicant Submission

Company Name (if applicable):

LOC Number (office use only):

Applicant's Name:

Imran Sadiq

Date:

2024 09 13

References the Child Care Service Policy and Development Guidelines:

A3 - Site meets the site selection criteria and development guidelines contained within this policy.

B3 - Site can provide sufficient staff parking and pick-up and drop-off parking.

B4 - Site is large enough to accommodate outdoor play areas.

B7 - Site is located on corner parcel.

B9 - Motor vehicle parking and pick-up and drop-off stalls are provided as set out in Lnd Use Bylaw 1P2007.

B10 - provision of pick-up and drop-off parking stalls are on-site, as well as on a designated area of an adjoining street subject to the approval of the Development Authority.

B12 - Ingress or egress do not occur in a side setback area.

B14 - outdoor play area is provided on the same site as the *child care service*, it is appropriately enclosed by a fence, and it complies with the maximum heights for fences.

C3 -Site have adequate pick up and drop-off parking.

Importance of child care in the community of Taradale:

We realized that there is high demand for daycare in this community because there is no commercial daycare in the whole Area. Many parents go to Neighborhood daycare to drop their kids which becomes cumbersome for them. So converting this place into daycare will provide great comfort to such families.

Applicant Outreach Summary

2024 September 20



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: kiddie care innovation

Did you conduct community outreach on your application? ☒ YES or ☐ NO

If no, please provide your rationale for why you did not conduct outreach.

NA

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

I contacted my neighbors and people with daycare needs, and spoke to them in person and listened to their opinions and concerns. Below are the dates and specific location and numbers of each participant.

15, June, 64 Ave NE Tararidge Drive - 4 participants
18, June - Tararidge Close - 7 participants
19, June - Taradale Drive - 3 participants

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with.
(Please do not include individual names)

I had spoken to the people living in the surrounding residence and the city council office about the construction and making of a daycare, they are supportive and happily welcome the existence of a daycare. They didn't object to opening a daycare, as there was a dayhome for the past year and a half, which raised no objections, or concerns. They are familiar with the childcare service, which makes them even more welcoming to the birth of new and improved childcare services that will be provided. They expressed how helpful and convenient it will be to other parents within the neighborhood.

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The lot was already a daycare for a year and half, before the decision to make it into a daycare that will be built. The other residences and neighbors are quite aware of the operation of a daycare and trust my ability. There weren't many concerns raised about the construction of the daycare. One concern was the car traffic during drop-off and pick-up time.

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

I will implement and make sure every parent and guardian is informed to drive safely and with caution. This is a corner lot which makes it so there is more space for the parent to park, then a lot within a lane.

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

I spoke with the neighbors and people mentioning what will be implemented to make the daycare more appealing, comfortable and convenient for them as possible, based on their concerns and suggestions. I will work to assure that their concerns are solved and peace of mind, that the opening goes smoothly, before and after opening.

calgary.ca/planningoutreach

**Land Use Amendment in Highland Park (Ward 4) at 448 – 36 Avenue NW,
LOC2024-0216**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.08 hectares \pm (0.19 acres \pm) located at 448 – 36 Avenue NW (Plan 3674S Block 23 Lots 5 to 7) from Special Purpose – Community Service (S-CS) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to single detached, semi-detached, duplex dwellings and secondary suites.
- The proposal allows for development that is compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *North Hill Communities Local Area Plan* (LAP).
- What does this mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This application, located in the northwest community of Highland Park, was submitted by Patrick Churchman on behalf of the landowner, George Kamasinsky, on 2024 August 27. No development permit application has been submitted at this time. As indicated in the Applicant Submission (Attachment 2), the proposed R-CG District is intended to bring the site into alignment with a land use district that reflects its current and historic use. This land use amendment will also bring the site into alignment with the LAP as well as other neighbouring parcels that were redesignated R-CG as part of the citywide rezoning that went into effect on 2024 August 06.

The approximately 0.08 hectare (0.19 acre) site is located along 36 Avenue NW with no rear lane access. The site is currently developed with a single detached dwelling and a garage with front driveway access off of 36 Avenue NW. The subject site is situated approximately 40 metres (one-minute walk) east of 4 Street NW, and approximately 575 metres (a 10-minute walk) west of Centre Street N.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

**Planning and Development Services Report to
Calgary Planning Commission
2024 October 31**

**ISC: UNRESTRICTED
CPC2024-1177
Page 2 of 3**

**Land Use Amendment in Highland Park (Ward 4) at 448 - 36 Avenue NW,
LOC2024-0216**

ENGAGEMENT AND COMMUNICATION

- ☐ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and the respective community association was appropriate. They determined that as the application is intended to redesignate the parcel to a district that more accurately aligns with the current use of the parcel, no outreach would be undertaken. More details can be found in the Applicant Outreach Summary (Attachment 3).

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

No public comments were received at the time of writing this report. The Highland Park Community Association provided their comments indicating support for the proposal on 2024 September 6 (Attachment 4).

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed R-CG District would allow for a wider range of housing types than the existing land use district and may better accommodate the housing needs of different age groups, lifestyles and demographics.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at any future development stages.

Economic

The proposed land use would allow for a more efficient use of land, existing infrastructure and services, and provide more compact housing in the community.

Service and Financial Implications

No anticipated financial impact.

Planning and Development Services Report to
Calgary Planning Commission
2024 October 31

ISC: UNRESTRICTED
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**Land Use Amendment in Highland Park (Ward 4) at 448 - 36 Avenue NW,
LOC2024-0216**

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary
4. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the northwest community of Highland Park, on the north side of 36 Avenue NW between 4 Street NW and 3 Street NW. The site is approximately 0.08 hectares (0.19 acres) in size and is approximately 23 metres wide by 34 metres deep. The site is currently developed with a single detached dwelling and a garage with front driveway access on 36 Avenue NW.

Surrounding development is characterized primarily by single detached and semi-detached dwellings on parcels designated as Residential – Grade-Oriented Infill (R-CG) District. James Fowler High School abuts the subject parcel to the west and the north.

Recreation facilities and park spaces in close proximity to the site are as follows:

- Confederation Park is approximately 100 metres (a two-minute walk) to the west;
- Highland Park (Seasonal) Outdoor Rink is 400 metres (a six-minute walk) to the east; and
- Highland Park Community Centre is 350 metres (a six-minute walk) to the east.

There are two schools in close proximity to the site:

- James Fowler High School is located to the west and shares property lines to the west and north with the subject parcel; and
- Buchanan School is 650 metres (a 11-minute walk) to the east.

The site is located approximately 50 metres (a one-minute walk) from a transit stop on 4 Street NW. Centre Street N, an Urban Main Street on the City's Primary Transit Network, is located approximately 600 metres (a 10-minute walk) east of the site.

Although the site has been and is currently used for residential purposes, this parcel was unaffected by the citywide rezoning as that did not apply to properties designated as special purpose districts.

Community Peak Population Table

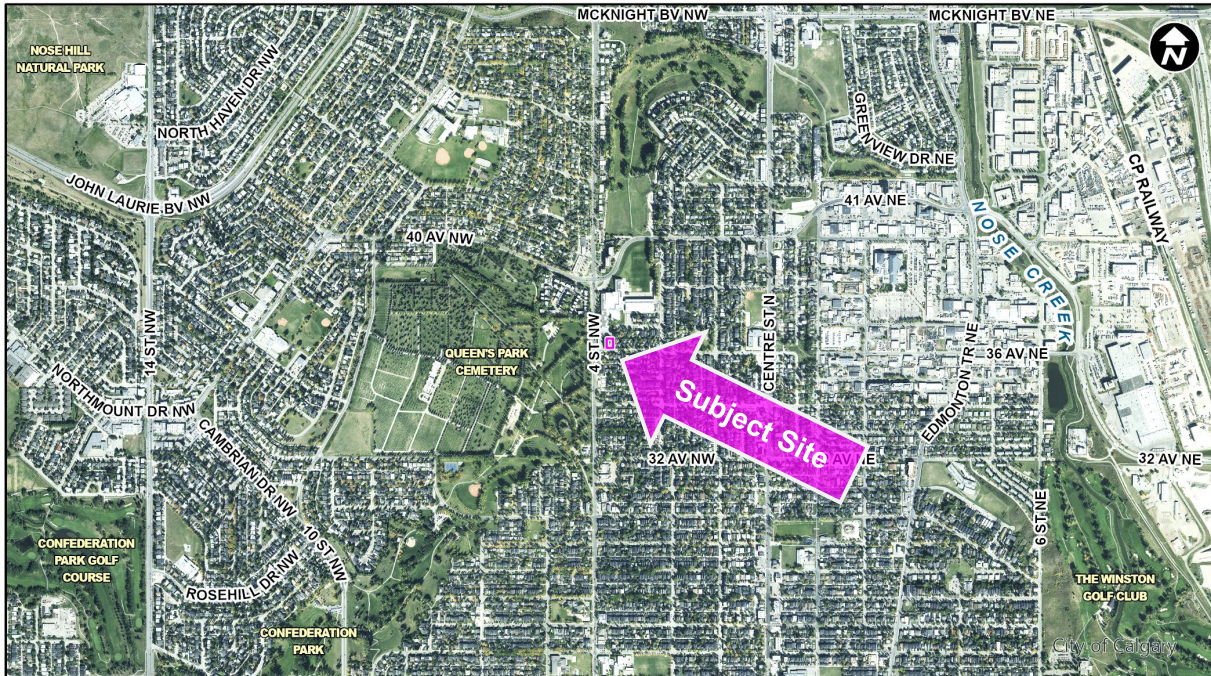
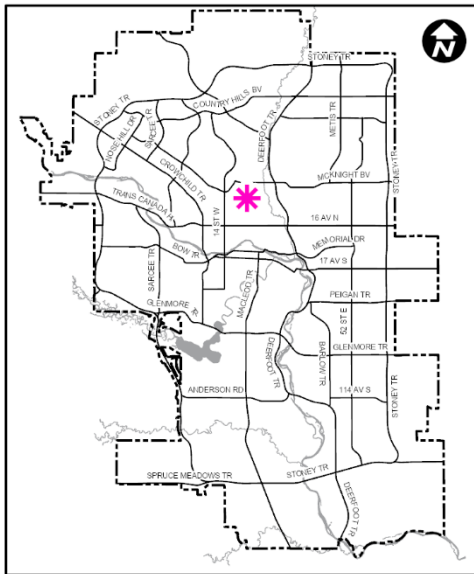
As identified below, the community of Highland Park reached its peak population in 1969.

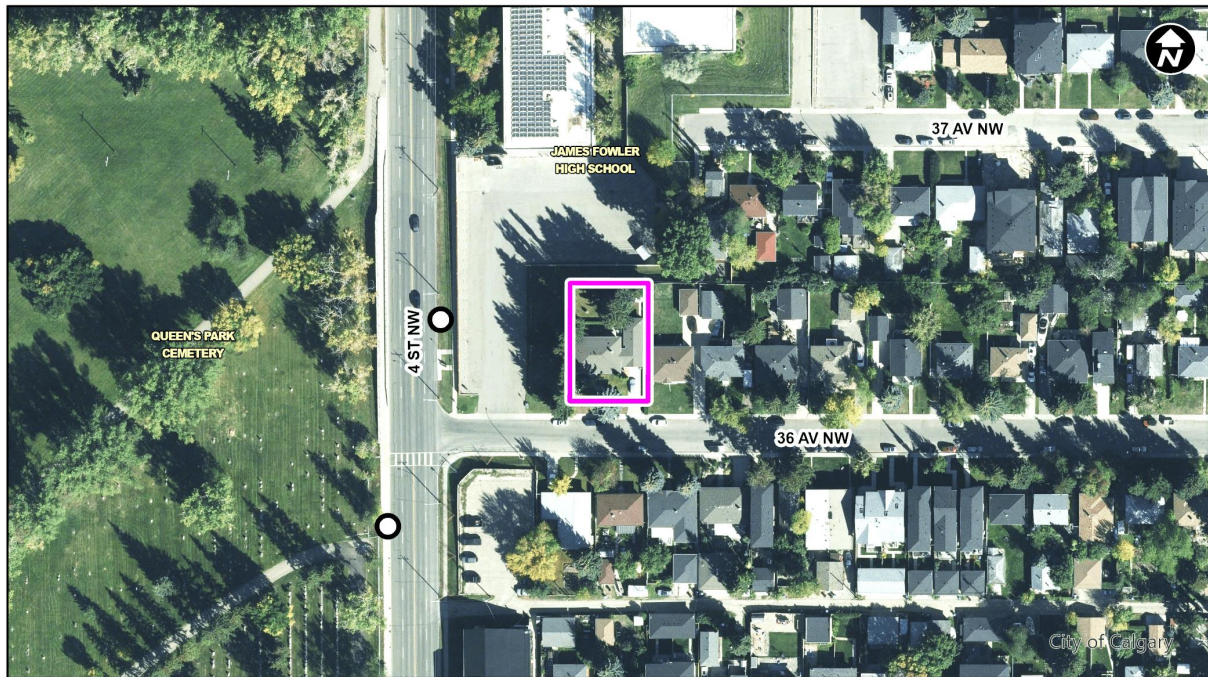
Highland Park	
Peak Population Year	1969
Peak Population	4,875
2019 Current Population	3,838
Difference in Population (Number)	-1,037
Difference in Population (Percent)	-21.27%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Highland Park Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing S-CS District is primarily for education and community uses including a limited range of small scale public recreation facilities. This district is intended to have limited application to parcels that are not designated reserve pursuant to the *Municipal Government Act*.

The proposed R-CG District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, townhouses and rowhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the site area, this would allow a maximum of five dwelling units on the subject parcel.

Secondary suites are also allowed in the R-CG District and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

Development and Site Design

If approved by Council, the rules of the proposed R-CG District would provide guidance for the future redevelopment of the site including appropriate uses, building height and massing, landscaping and parking.

No development permit application has been submitted at this time. The primary reason to submit the application was to establish the correct land use for the site; however, this could also lead to a future development permit for redevelopment purposes.

Transportation

Pedestrian access to the site is available from existing sidewalks on 36 Avenue NW, which is identified as a Residential Street in the Calgary Transportation Plan.

An existing on-street bike route, signed and part of the current Always Available for All Ages and Abilities (5A) Network, is located along 3 Street NW, less than a block east of the site. In addition, both 4 Street NW and 36 Avenue NW are recommended on-street bikeway routes and part of the future 5A Network, supporting access to and from the site by alternative transportation modes.

The area is well served by Calgary Transit. A bus stop for Route 2 (Mount Pleasant/Killarney 17 Avenue SW) is located 50 metres (a one-minute walk) west of the parcel on 4 Street NW. Route 2 provides transit service every 20 minutes during the peak hours. The site is also 600 metres (a 10-minute walk) west of Centre Street N and 250 metres (a four-minute walk) south of 40 Avenue NW which are within the Primary Transit Network.

Bus Rapid Transit (BRT) service is available approximately 600 metres (a 10-minute walk) east of the site via Route 300 (BRT Airport/City Centre) and Route 301 (BRT North/City Centre) on Centre Street N. Unrestricted on-street residential parking is available along 36 Avenue NW.

A Transportation Impact Assessment was not required as part of this application.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water and sanitary sewer are available to service the site from 36 Avenue NW. Storm sewer is not currently located adjacent to the site and a main extension at the developer's expense may be required. Details of site servicing and stormwater management will be reviewed in further details at the development permit stage.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Developed Residential, Established area, as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage modest redevelopment with appropriate densities, a mix of land uses and a pedestrian-friendly environment to support an enhanced Base or Primary Transit Network. The proposal is in keeping with relevant MDP policies as the R-CG District is a low-density residential district that provides for modest increase in density in a form that is sensitive to existing residential development in terms of height, scale, and massing.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at any future development stages.

North Hill Communities Local Area Plan (Statutory– 2021)

The [North Hill Communities Local Area Plan](#) (LAP) identifies the subject site as being part of the Neighbourhood Local category (Map 3: Urban Form) with a Limited building scale modifier (Map 4: Building Scale), which allows for up to three storeys. The LAP speaks to primarily residential uses in the area and encourages a range of housing types. The Limited building scale policies within the Neighbourhood Local category notes that building forms containing three or more units are supported on parcels near an activity centre, on higher activity streets and where the parcel has a rear lane and can accommodate parking on the site.

The proposed land use amendment is in alignment with applicable policies of the LAP.

Applicant Submission

Company Name (if applicable):

N/A

Applicant's Name:

Patrick Churchman

Date:

27 August 2024

LOC Number (office use only):

Background and site context

The subject site is located in the community of Highland Park at the west end of 36th Ave on the North side of the Avenue adjacent to the James Fowler High School parking lot. The site has a total area of .0787 hectares (.193 acres+/-) with a frontage of 22.86 meters and a lot depth of 34.44 meters. The site is currently developed with a single detached dwelling with a tandem attached garage accessed from 36th Avenue NW.

Surrounding development consists of James Fowler High School to the North and West, a church with a parking lot, H-GO development to the South on 4 Street NW, and single detached dwellings to the South on 4th Street and to the East on 36th Ave NW. Land uses respectively are S-CS, R-C2, and H-GO all accessing 35th and 36th Avenues NW.

The subject site is 590 meters from the future Centre Street/40 Avenue North LRT station, 185 meters from primary transit service on 40th Avenue NW (Neighbourhood Connector), 550 metres from North-Central BRT on Centre Street North. The site is immediately adjacent to James Fowler High School (0 meters).

Land Use

The proposed residential R-CG is a low density residential designation that is applied to developed areas that allow for a range of built forms such as single-detached, semi-detached, duplex dwellings, town houses, and row houses. The R-CG district allows for a maximum building height of 11 meters and a maximum density of 75 units per hectare. Based on the subject site parcel area, would allow for up to 5 dwelling units. Secondary suites are also allowed in each dwelling unit. The parcel would require the provision of parking in the amount of .5 stalls per dwelling unit or secondary suite provided. The Residential Contextual Grade Oriented use is supported in the North Hill Communities Local Area Plan.

Development and Site Design

The proposed Residential Contextual Grade Oriented rules would provide guidance for the future development of the site including appropriate uses, building setbacks, building height and massing, landscaping, and parking. Given the specific context, surrounded on three sides by roads and a parking lots, the impacts of developments are significantly reduced.

Transportation

Pedestrian access is from 36th Avenue NW. As previously stated, transit is readily available in many forms.

Utilities and Servicing

Utilities and services are available from 36th Avenue NW and the utility right-of-way located to the north of the site.

Summary of Planning Document Parallels

The proposal conforms to the South Saskatchewan Regional Plan (2014), Growth Plan (2022), the Municipal Development Plan (2009), Calgary Climate Strategy (2022), the North Hill Communities Local Area Plan (2021), and many other smaller plans and strategies included in planning and development documents as well as energy efficiencies and climate objectives.

Applicant Outreach Summary

2024 August 27



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 448 36 Avenue NW

Did you conduct community outreach on your application? ☐ YES or ☒ NO

If no, please provide your rationale for why you did not conduct outreach.

The application is for a land use that will bring the site into compliance with the rest of the community. The recent change of land use to R-CG from R-C2, community wide, left out this parcel as it was incorrectly designated as S-CS although it was developed as a Dwelling Unit with the rest of the community in 1953. The site should have been designated R-C2 and it would have been transitioned to R-CG with the rest of the

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

None

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with.
(Please do not include individual names)

None

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

N/A

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

N/A

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

N/A

calgary.ca/planningoutreach

Community Association Response

2024 September 6

Considering that the house on this property was built 71 years ago in 1953, then it makes perfect sense to change the land use designation to a residential land use (R-CG).

It is noted on land use map 34c that the change will affect Lots 5,6, and 7 in Plan3674S, Block 23. This change still leaves Lots 8 and 9 next door with a land use designation of S-CS. This creates a peculiar anomaly. The house on these two lots was built in 1952. Can the City simply proceed with a land use change to R-CG on these two lots without an application being made by the property owner?

Considering that the City recently rezoned all R-C2 to R-CG, then one would think it should be possible to simply fix this anomaly.

Signed - D. Jeanne Kimber, Development Director, Highland Park Community Association

Street Names in Ricardo Ranch (Ward 12), SN2024-0003

RECOMMENDATIONS:

That Calgary Planning Commission:

1. Forward this report (CPC2024-1186) to the 2024 November 12 Public Hearing Meeting of Council; and

That Calgary Planning Commission recommend that Council:

2. Adopt, by resolution, the proposed street names: Argyle, Augusta, Biltmore, Bleecker, Bloomfield, Bond, Brick, Broad, Camden, Chambers, Church, Cork, Dauphin, Devon, Essex, Fitzroy, Flagler, Frith, Glebe, Hannepin, Henrietta, Little, Long, Moonlight, Nostalgia, Olvera, Orchard, Oxford, Princelet, Quincy, Roslyn, Saint Laurent, Saltmarket, Shambles, Stone, Swann, Tib, and Unionville.

HIGHLIGHTS

- This application proposes 38 new street names in the southeast community of Ricardo Ranch.
- Administration recommends approval of the proposal as it complies with the *Municipal Naming, Sponsorship and Naming Rights Policy*.
- What does this mean to Calgarians? Municipal naming of communities and streets plays an important role in simple and unambiguous identification for location and navigation within Calgary.
- Why does this matter? The proposal will assist citizens and emergency services operators with navigation to and within the developing community of Ricardo Ranch by allowing for unique street names in the community.
- The application is associated with an approved land use and outline plan application LOC2023-0207 and an approved community and street name application SN2023-0005.
- There is no previous Council direction regarding this proposal.

DISCUSSION

This application, in the southeast community of Ricardo Ranch, was submitted by B&A Studios on behalf of Jayman Living and Telsec. The subject land is located in southeast Calgary, north of the Bow River, east of Deerfoot Trail, south of 112 Avenue SE and west of 88 Street SE. Location Maps are provided in Attachment 1.

A land use amendment and outline plan application (LOC2023-0207) for the subject area was approved by Council at the 2024 September 10 Public Hearing. The associated outline plan is provided in Attachment 2.

There are 38 street names being proposed. The developer intends to market the area as Nostalgia Townlet in the community of Ricardo Ranch. In keeping with new urbanist and traditional neighbourhood design principles, the proposed street names are to reflect traditional streets from around the world. The Applicant Submission is provided in Attachment 3.

Street Names in Ricardo Ranch (Ward 12), SN2024-0003

The proposed street names Argyle, Augusta, Biltmore, Bleecker, Bloomfield, Bond, Brick, Broad, Camden, Chambers, Church, Cork, Dauphin, Devon, Essex, Fitzroy, Flagler, Frith, Glebe, Hannepin, Henrietta, Little, Long, Moonlight, Nostalgia, Olvera, Orchard, Oxford, Princelet, Quincy, Roslyn, Saint Laurent, Saltmarket, Shambles, Stone, Swann, Tib, and Unionville are all compliant with the *Municipal Naming, Sponsorship and Naming Rights Policy*, as they are all connected to the naming theme of nostalgic and traditional streets from around the world.

Administration has considered the relevant planning issues feedback specific to the application and had determined the above proposal to be appropriate.

ENGAGEMENT AND COMMUNICATION

- ☐ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the application, the applicant was encouraged to use [the Applicant Outreach Toolkit](#) to assess which level of outreach with relevant public groups was appropriate. Applicant-led outreach was not required for this application.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to relevant public/interested parties.

Comments were received from Emergency Services, Addressing, Heritage and the Municipal Naming Policy Steward. Administration provided the following restrictions, regarding street "types" to be used with some of the following street names:

- Camden: street types Drive and Lane shall not be used, as they conflict with names currently used in Rocky View County.
- Broad: street type View shall not be used, as it sounds like Broadview Road, which is a street name in West Hillhurst.

There is no community association for the subject area.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. Following Calgary Planning Commission, this application will be scheduled for decision at a future meeting of Council.

IMPLICATIONS

Social

As per the *Municipal Naming, Sponsorship and Naming Rights Policy*, municipal naming plays an important role in simple and unambiguous identification of location and navigation in the city of Calgary.

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Page 3 of 3

Street Names in Ricardo Ranch (Ward 12), SN2024-0003

Environmental

There are no concerns associated with this application.

Economic

There are no concerns associated with this application.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no risks associated with this application.

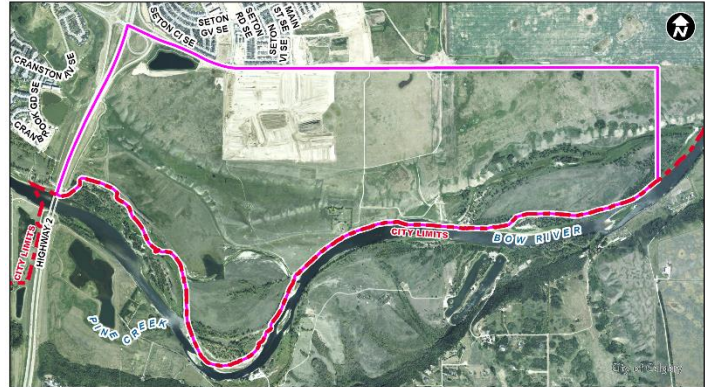
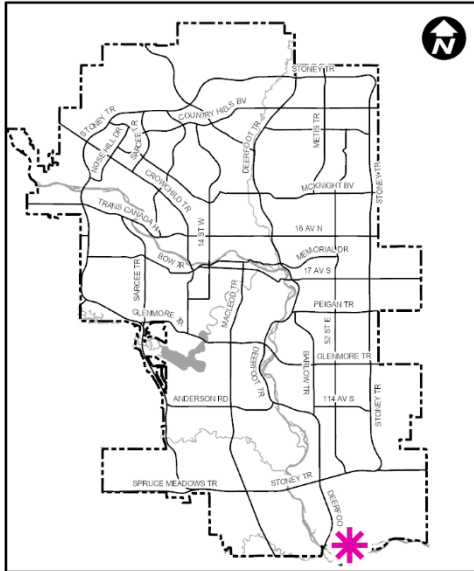
ATTACHMENTS

1. Location Maps
2. Associated Outline Plan (LOC2023-0207)
3. Applicant Submission

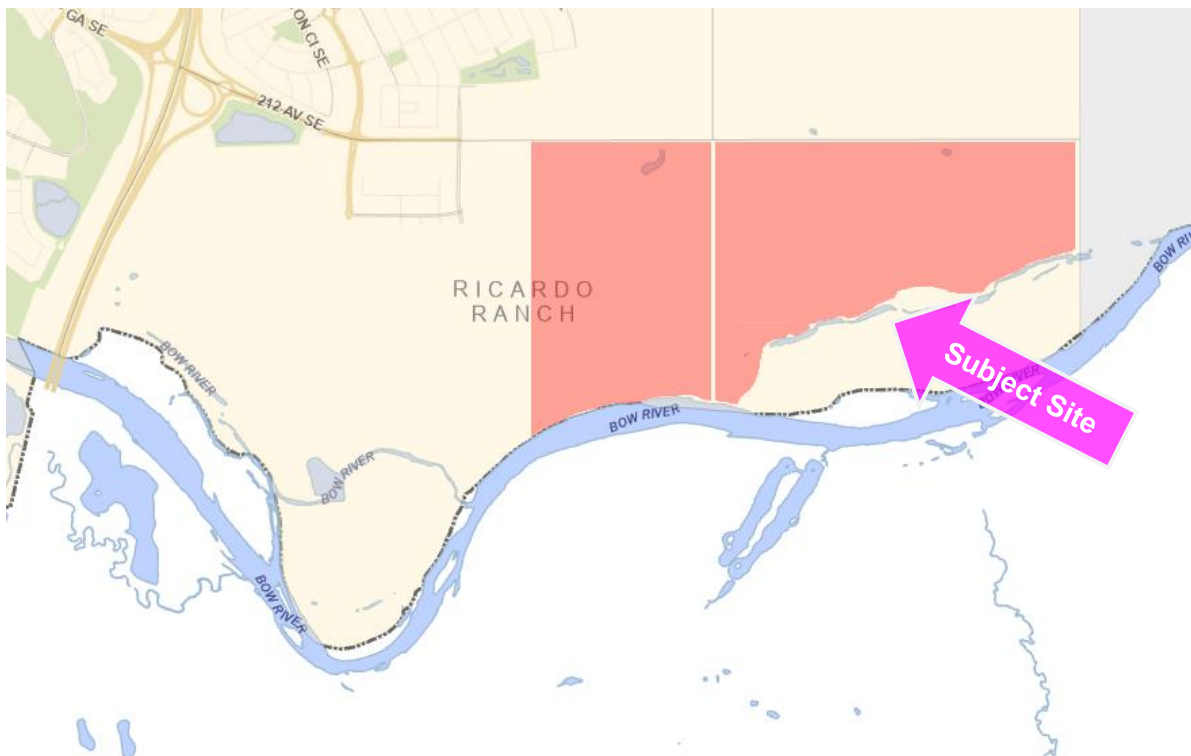
Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

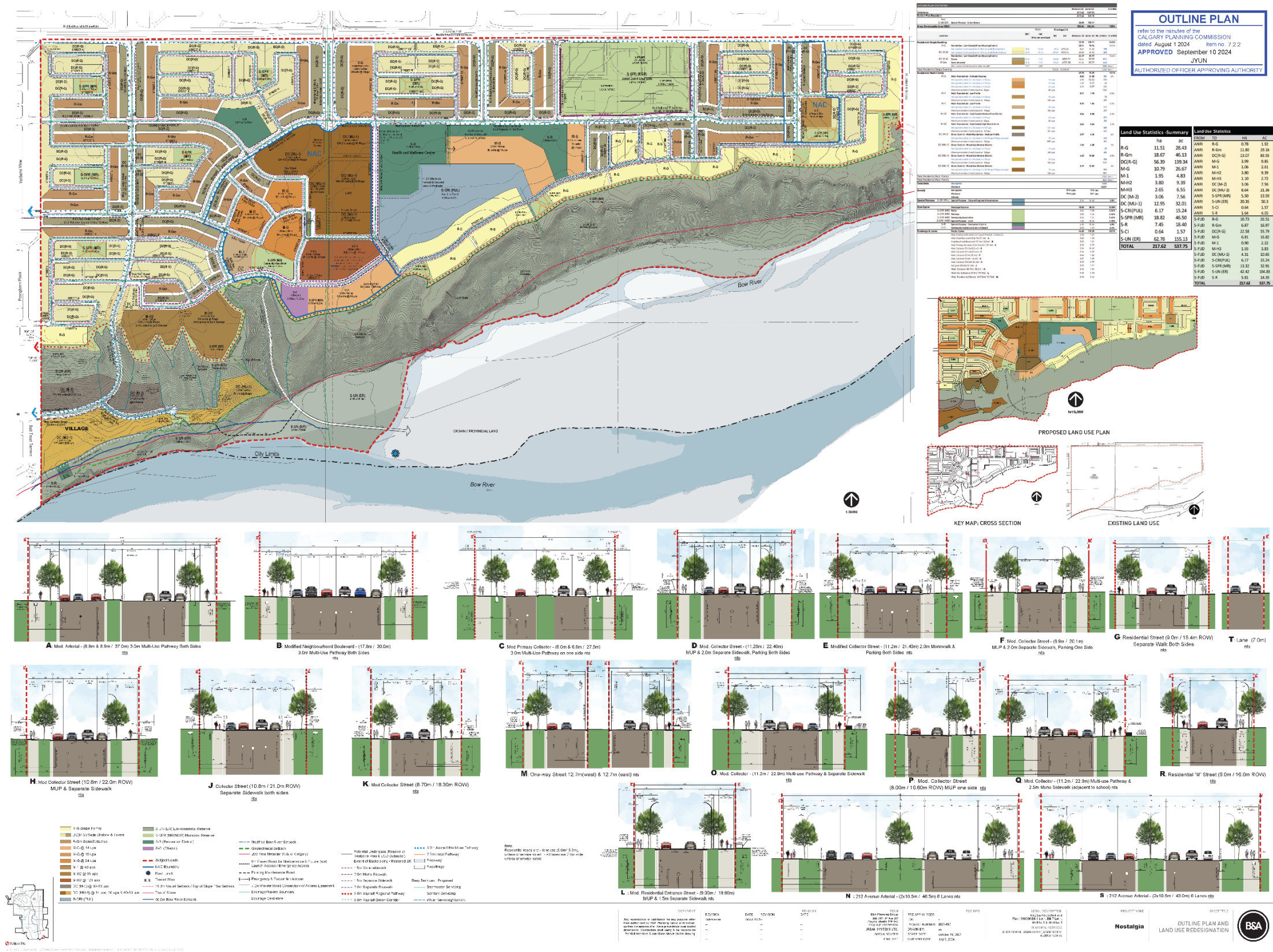
Location Maps



Street naming applies to area shown in red



Associated Outline Plan (LOC2023-0207)



Applicant Submission



Original Submission: July 29, 2024
Revised Submission: October 3, 2024

City of Calgary
Corporate Planning Applications Group
800 Macleod Trail SE
Calgary AB T2P 2M5

Re: Proposed Street Names within the Ricardo Ranch Community

On behalf of Jayman Living and Telsec, B&A submits the following street name rationale for consideration within the Ricardo Ranch community.

The vision for Nostalgia Townlet, as a neighbourhood within the Ricardo Ranch community, is rooted in New Urbanism and bolstered by innovative building and development practices, embodied by Jayman and Telsec. Nostalgia Townlet will be a sustainable node for the southeast, balancing innovation and tradition to establish a place where people want to live. A significant feature of the neighbourhood is the innovative street network that is based on new urbanist and traditional neighbourhood design principles. As such, Jayman Living proposes a set of street names that reflect traditional and high-profile streets from around the world. These streets informed the new urbanist movement and link the present to the past.

As part of the visioning process, Jayman and Telsec toured the North America to review successful master-planned communities that have implemented sustainable building practices and integrated natural features as community amenities that also honour new urbanist principles and street designs. Nostalgia Townlet incorporates design elements from successful developments including Seaside, FL; Rosemary Beach, FL; Alys Beach, FL; Glenwood Park, GA; Serenbe, GA; Trilith, GA; Woodstock, GA; Aria, GA; Daybreak, UT; Northwest Crossing, OR; and Markham, ON. All of these places include streets that have been modelled after quality designed streets around the world. The intent is to incorporate famous streets that have influenced the new urbanist movement or existing in a new urbanist setting.

Nostalgia Townlet proposes a conceptual street naming convention that aligns with the overarching guiding principles. The conceptual street names align with the neighbourhood's name Nostalgia which is "a sentimental longing or wistful affection for a place with happy personal associations," and evokes feelings of something fondly remembered, but not immediately tangible. As a neighbourhood inspired by historically successful planning principles, the sense of place future residents can look forward to is one that is both memorable and aspirational. Street names have been selected from historical and admired neighbourhoods

from around the world, with major streets referenced from Toronto, London, Los Angeles, New York, Edinburgh, Manchester, Chicago, Lisbon, and Florida.

After considerable research and development tours Jayman Living plans to market their neighbourhood as Nostalgia and they wish to provide the following rationale to support the street names that will fall under this neighbourhood name. As such the following street names are proposed. The suffix will be edited in alignment with the street naming policy, corresponding with the street network proposed in Nostalgia.

Proposed Names List	Rationale
Nostalgia	Street name referencing the name of the neighbourhood, unique to anywhere in the world.
Stone Street	Manhattan, NY - First paved street in Manhattan and NYC's first nightlife district, beginning in the 1600's with some of the cities first breweries. It is a pedestrian-only cobblestone street with many landmarks registered as National Historic Places.
Roslyn Street	Roslyn, New York - Roslyn's Main Street and one of the areas key arterial roads that runs North/South between the 495 and the 25B Highways.
Olvera Street	Chinatown, Los Angeles - Historic pedestrian street in the historic centre of LA with the oldest plaza in California. The Street is also known as "El Pueblo", as it served as a centre for Mexican city life, with some of the oldest buildings in LA. It is now one of the most popular tourist destinations in LA with a Mexican marketplace that opened in 1930.
Flagler Street	Miami, Florida - 20km main street that runs east-west. It serves as the latitudinal baseline for the Miami-Dade County grid plan
Broad Street	Philadelphia, Pennsylvania - Broad Street goes past stores, churches, synagogues, museums, funeral parlors, fast food places, gas stations, apartment houses, and rows and rows of row houses. After driving the entire length of the street, Washington-based poet Stanley Plumly once said, "What I love is the immediate juxtaposition of neighborhoods. I don't think there's a street that represents America more totally in the full spectrum and range of humanity than Broad Street in Philadelphia."
Hennepin Avenue	Minneapolis, MN - One of the oldest streets in the city and the first to cross the Mississippi River. It is a major entertainment district with many architecturally significant theatres.

Frith Street	Soho, London, England - Mixed-use street that runs from Soho Square Gardens to Shaftesbury Avenue and is where Mozart lived in 1764.
Tib Street	Manchester, England - Spans from Hilton Street to Market Street one-way from east to west with a variety of eateries and shops.
Argyle Street	Halifax, Nova Scotia - commercial main street the closes for street festivals. Known for it's innovate design as a shared street.
Bleecker	Greenwich Village, NYC - one-way street street that runs east-to-west with a cycle lane. Well-known as the nightclub district in Manhattan.
Little Green Street	London, UK - Short cobblestone street with only 8 residences off of main arterial Highgate Road. Shortened to Little Green to avoid two street types (Green and Street)
Princelet Street	Spitalfields, London, England - Street with Georgian-era houses that was once well known as the silk-weaving industry district.
Shambles Street	York, England - Street with preserved medieval buildings from the 14th century.
Chambers Street	Edinburgh, UK - Main Street in the Old Town that is composed of University of Edinburgh buildings and museums. Manhattan, NYC - Street that runs from Battery Park to NY City Hall
Saltmarket Street	Glasgow, Scotland - Also known as A8, is a continuation of the High Street and is where the Justiciary Buildings are located.
Henrietta Street	Dublin, UK - Street with the most intact mid-18th century houses in Ireland.
Cork Street	London, UK - Street with many contemporary art galleries and was once a key spot for tailoring in London.
Oxford Church Street	London, UK - Known as Europe's busiest shopping street. Toronto, ON - Also known as the Village, which is the historic home of Toronto's LGBTQ+ communities.
Orchard Street	Manhattan, NY - Centre of Lower East Side and primarily has low-rise buildings and fire escapes. Every Sunday it is closed to vehicle traffic. Singapore - Retail centre and a one-way street that is known for underground infrastructure.
Bond Street	London, UK - Luxury shopping street since the 18th Century that links the centres of Piccadilly and Oxford. Toronto, ON - Provides connection from Toronto Metropolitan University to Queen Street E.

Brick Street	London, UK - Named this in 1666 during the Great Fire of London as it was an area rich in clay for the manufacture of bricks. Now home to diverse restaurants/shops and the Brick Lane Market.
Long Street	Cape Town, South Africa - A major Main Street that spans more than 20 blocks and was once the centre of Cape Town. It is a vibrant street with diverse restaurants and shops. Traffic is one-way headed southwest.
Camden	Camden High Street, London, UK - Famous shopping road/district with eateries and entertainment. Direct connection to Camden Town Tube Station.
Devon Avenue	Chicago, IL - Main street in Chicago and "little India" cultural hub with shops, restaurants and cultural landmarks.
Augusta Road	Lisbon, Portugal - pedestrian shopping main street that links the cities two main squares, Rossio and Praça do Comercio.
Saint Laurent Street	Montreal, QC - one of the oldest streets in Montreal within the National Heritage District and serves as a key commercial artery as it crosses the entirety of Montreal.
Biltmore Avenue	Asheville, NC - Main Street that runs north/south named after George W. Vanderbilt's iconic French Renaissance château in Asheville.
Bloomfield Avenue	Montclair, NJ - Main Street that runs east/west.
Dauphin Street	Mobile, Alabama - Located in the Lower Dauphin Street Historic District and is one of the oldest pedestrian friendly commercial districts. The street is celebrated for its range of architectural styles.
Unionville Street	Markham, Ontario - Main Street in Unionville that connects Enterprise Blvd to Highway 3 north-south. Character homes along a tree-lined street with sidewalks on both sides.
Quincy Circle	Seaside, Florida - brick multi-user road (vehicles, pedestrians, active modes) that connects to Seaside local residential, hotels, and theatres off of East County Highway 30A
Moonlight Lane	Alys Beach, Florida - brick road with zero-lot line cottages, each with a front yard driveway and no pedestrian sidewalks
Swann Street	Washington, DC - Swann Street features traditional DC rowhouses and many mature trees that provide a canopy of green. Swann Street residents enjoy a short stroll to the vibrant Dupont, Logan and U Street hot spots.

Bleecker Street	New York , popular street in new York with commercial and mixed use activity. The street connects a neighborhood popular today for music venues and comedy as well as an important center of LGBT history and culture and bohemian tradition.
Essex Street	London, UK - Dead end Street across from the Royal Courts of Justice with a variety of barrister chambers.
Fitzroy Street	Melbourne, Aus. Active Mainstreet in one Melbourne's most eclectic and mixed use neighbourhoods.
Glebe Street	Sydney, Aus. Beautiful tree lined residential street in Glebe. Glebe is a central district with a laid-back, intellectual feel and atmospheric heritage buildings.

This is an innovative and fresh approach to street naming and one that creates a unique sense of place in the city. It is different than the norm, but is something that makes places stand out from the rest.

CHRIS ANDREW
RPP, MCIP
Partner, Urban Planner

Development Permit in Downtown Commercial Core (Ward 7) at 222 – 8 Avenue SE, DP2024-02789

RECOMMENDATION:

That Calgary Planning Commission APPROVE Development Permit DP2024-02789 for a New: Performing Arts Centre, Conference and Event Facility and Restaurant: Licensed at 222 – 8 Avenue SE (Plan A, Block 52, Lots 1 to 38), with conditions (Attachment 2).

HIGHLIGHTS

- This development permit application proposes a new performing arts centre, conference and event facility and café uses as part of the Arts Commons Transformation (ACT) project in the Downtown Core, directly adjacent to what will be the remaining portion of Olympic Plaza. This application is solely for the building itself, and the facilities required for the functioning of it, and does not include the public realm areas that surround the building, as these areas will be included in the Olympic Plaza Transformation (OPT) project. However, this application does include, both the relocation of the Women are Persons! Monument and the removal of the trees from the entire Olympic Plaza site, as addressing tree valuation and removal comprehensively for all of Olympic Plaza was determined to be more appropriate than having two separate applications.
- The development permit complies with the relevant planning policies of the *Municipal Development Plan* (MDP) for the Greater Downtown Activity Centre.
- What does this mean to Calgarians? This application facilitates the development of a new performing arts centre and conference/event facility that will strengthen this eastern edge of the downtown core as a cultural hub and a destination for residents and visitors alike.
- Why does this matter? New cultural spaces add additional opportunities for entertainment venues and will strengthen this cultural hub in the downtown.
- There is no previous Council Direction regarding this proposal.

DISCUSSION

This application, in the southeast quadrant of the Downtown Core, was submitted by Hindle Architects on behalf of the landowner, The City of Calgary, on 2024 April 21. The subject site is on 7 Avenue SE, between 1 Street SE and Macleod Trail SE and it is currently occupied by Olympic Plaza. The proposed performing arts centre will be located on the western half of Olympic Plaza, directly adjacent to the Dominion Bank Building, a designated Municipal and Provincial Historic Resource, currently occupied by Teatro Ristorante. The facility will include a 1,000 seat multi-purpose theatre and a smaller, 200 seat studio theatre, along with supporting café space and an event facility. More information can be found in the Development Permit Plans (Attachment 3) and Applicant Submission (Attachment 4). The proposal aligns with the relevant policies of the MDP.

This development permit application for this new build, referred to as the ACT Expansion, forms the first part of the overall ACT project. The second part of ACT is the OPT project which is the redesign of the remaining area of Olympic Plaza. The third part of ACT is the ACT Modernization which is the redesign of the current Arts Commons building. There were two separate Development Management Agreements (DMA) initiated between The City of Calgary,

Development Permit in Downtown Commercial Core (Ward 7) at 222 – 8 Avenue SE, DP2024-02789

Arts Commons and Calgary Municipal Land Corporation (CMLC), one for the ACT Expansion and one for OPT. However, approval of the DMA and funding for the ACT Expansion was completed in 2020, with design work beginning in 2021, but the DMA for OPT was not approved and the project not fully funded until mid-2023. Therefore, the ACT Expansion is moving in advance of the OPT project. However, the anticipated timeline for completion of both the ACT Expansion and OPT is 2028. The ACT Modernization project will proceed once a separate DMA for that part of ACT has been approved and funded.

As part of the review process, this application was reviewed at the pre-application stage by the Urban Design Review Panel (UDRP) on 2024 January 24. There were a number of concerns identified by UDRP. Administration worked with the applicant to make adjustments to the proposal as much as was feasible to address UDRP's concerns. Administration is ultimately supportive of the proposal. Comments from UDRP are included as Attachment 5.

A detailed planning evaluation of this application, including location maps, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed development permit application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with relevant public groups and the community association was appropriate. Although there was no outreach conducted specifically in relation to this development permit, there was significant outreach undertaken in 2021 when the vision for the ACT project was first being considered. At that time, there were virtual, roundtable sessions held with impacted groups, meetings with the organizations affiliated with Arts Commons and an online public survey conducted. Please refer to the Applicant Outreach Summary (Attachment 6) for further details on the outreach conducted.

City-Led Outreach

In keeping with Administration's standard practices, this application was circulated to relevant public groups, notice posted on-site and published [online](#).

Administration received thirty letters in opposition from the public. Many of the concerns expressed were not directly related to this application and were focused on aspects of the OPT project instead. However, the comments that were directly related to this application included the following areas of concern:

- loss of green space and removal of trees;
- the reduction in size of the current Olympic Plaza area; and
- impacts of construction on the use and enjoyment of Olympic Plaza.

**Development Permit in Downtown Commercial Core (Ward 7) at 222 – 8 Avenue
SE, DP2024-02789**

No comments from the Calgary Downtown Association were received. Administration subsequently contacted the Calgary Downtown Association, and they confirmed that they have no comments at this time about this proposed development.

Administration considered the relevant planning issues specific to the proposed development and has determined the proposal to be appropriate. Following Calgary Planning Commission, Commission's decision will be advertised in accordance with the *Municipal Government Act*.

IMPLICATIONS

Social

This proposed development will enhance an area of Calgary that is already an important part of the city's arts and cultural landscape. This would help Calgarians and visitors alike maintain a high quality of life by having additional opportunities for participating in cultural and special events. This would also further Calgary's reputation as an active city by providing an additional facility that enables multi-purpose uses and a wide range of performances.

Environmental

The *Calgary Climate Strategy – Pathways to 2050* identifies programs and actions intended to reduce Calgary's greenhouse gas emissions and mitigate climate risks. This development permit application specifically addresses Program Pathway D: Renewable Energy – Implement neighbourhood-scale renewable energy projects, as district energy is being proposed as part of this project.

Economic

The development of this new performing arts centre is an investment in the future of this part of the Downtown Core and forms an integral part of the overall transformation of Olympic Plaza, one of the City's primary public gathering spaces. This would also further Calgary's reputation as a vibrant city with a strong sense of place and be a destination for visitors and Calgarians alike.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Conditions of Approval
3. Development Permit Plans
4. Applicant Submission
5. Urban Design Review Panel Comments
6. Applicant Outreach Summary

**Planning and Development Services Report to
Calgary Planning Commission
2024 October 31**

**ISC: UNRESTRICTED
CPC2024-1163
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**Development Permit in Downtown Commercial Core (Ward 7) at 222 – 8 Avenue
SE, DP2024-02789**

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject parcel for this proposed development is located in the downtown core along 7 Avenue SE, between Macleod Trail SE and 1 Street SE. The subject parcel is approximately 1.23 hectares (3.04 acres) in size and approximately 153 metres wide by 85 metres deep. The site is currently occupied by Olympic Plaza, one of the downtown core's primary open spaces.

The subject site is surrounded by a concentration of institutional, civic and cultural uses. Directly to the west of the site is the Telus Convention Centre. To the south of the subject site, directly across Stephen Avenue is Arts Commons, a multi-venue arts centre. To the east of the site is the City of Calgary's Municipal Building and to the north of the site, across the LRT tracks for the Red and Blue LRT lines, is the Cathedral Church of the Redeemer and a 15-storey office building.

The subject site is in very close proximity to the commercial development along Stephen Avenue Mall and close to the commercial uses located in East Village, approximately 300 metres to the northeast of the subject site (a three-minute walk). The subject site itself is one of the primary public open spaces in Calgary's downtown core. However, it is also in relatively close proximity to both the Bow and Elbow River pathways. The Bow River pathway is 450 metres to the north of the subject site (a five-minute walk) and the Elbow River pathway is 900 metres to the east of the subject site (a 10-minute walk).

Community Peak Population Table

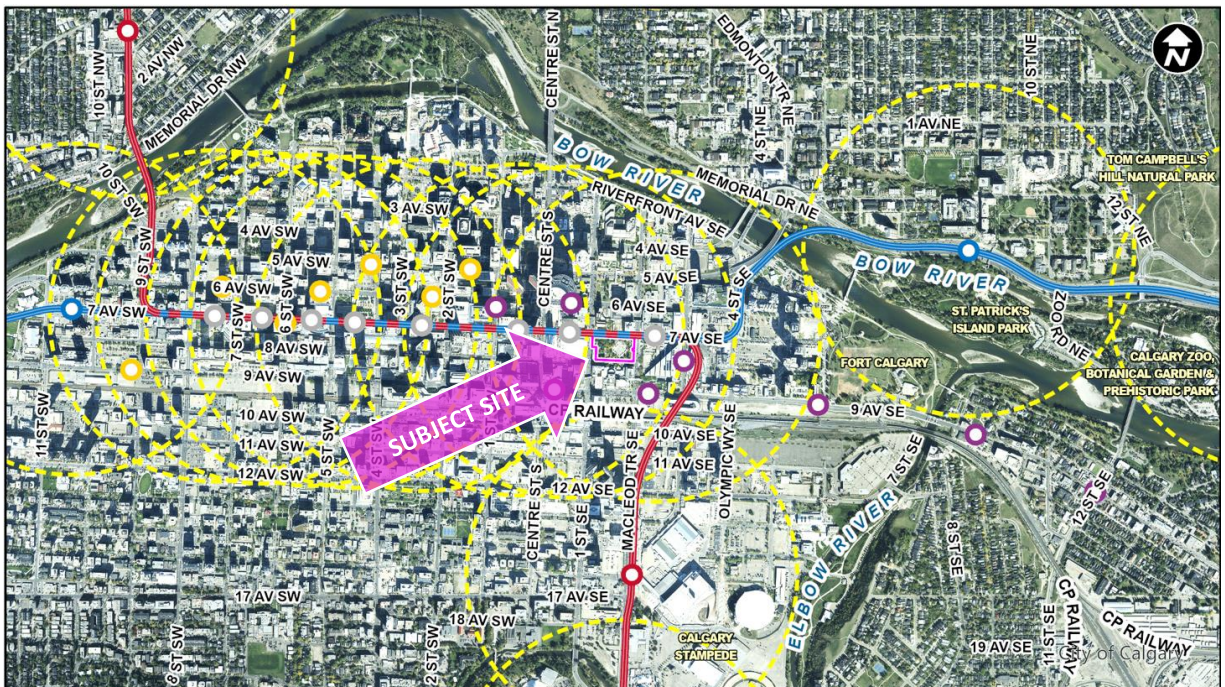
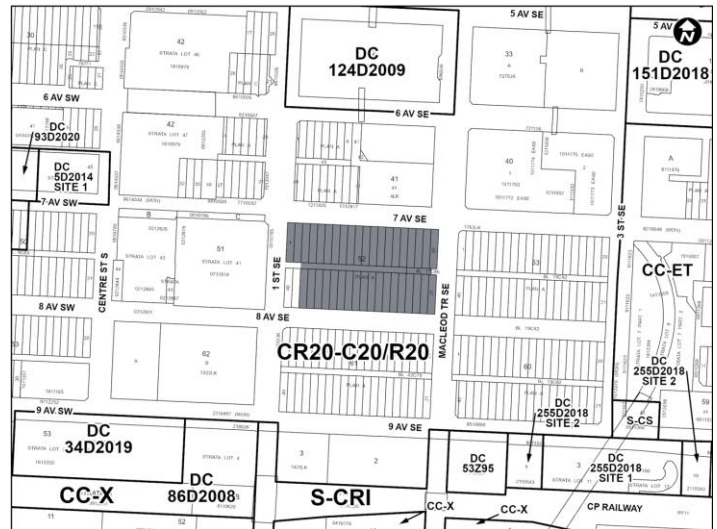
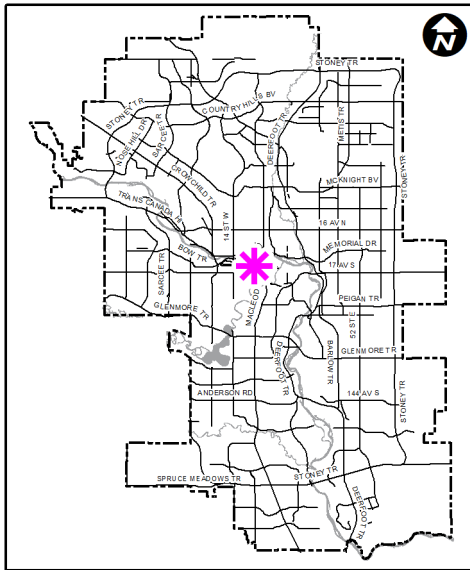
As identified below, the Downtown Commercial Core reached its peak population in 2015.

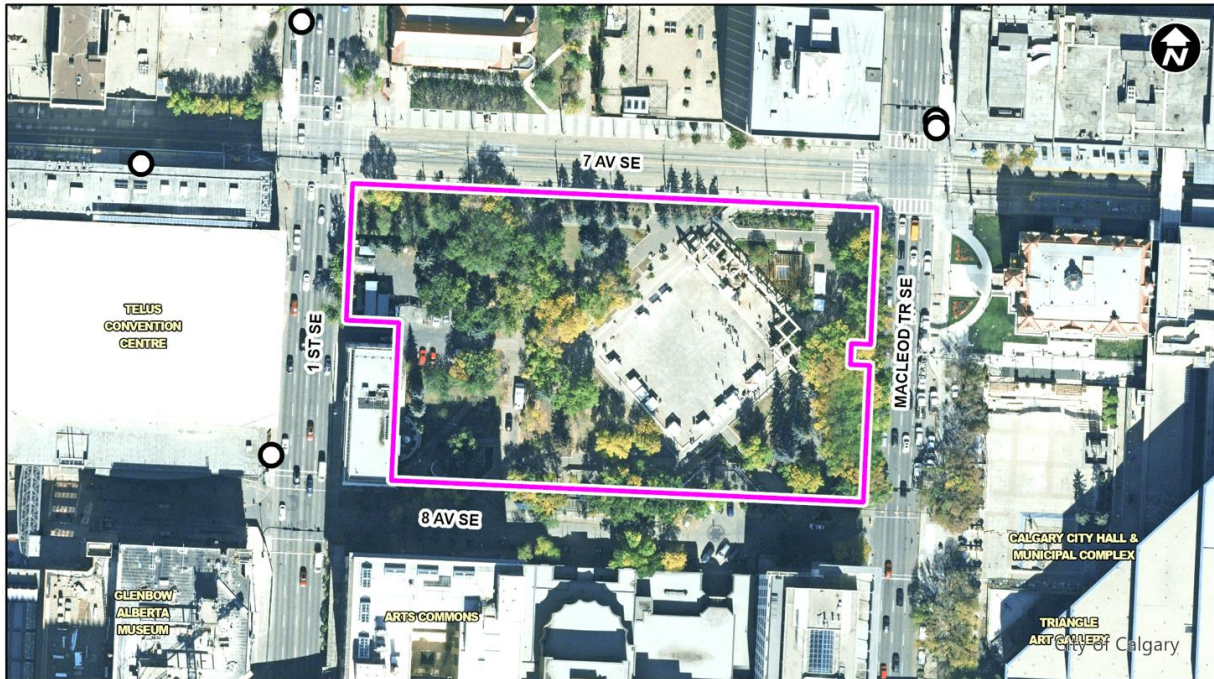
Downtown Commercial Core	
Peak Population Year	2015
Peak Population	9,083
2019 Current Population	8,683
Difference in Population (Number)	-400
Difference in Population (Percent)	-4.40%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Downtown Commercial Core Community Profile](#).

Location Maps





Previous Council Direction

None

Planning Evaluation

Land Use

The subject parcel is designated the Commercial Residential District (CR20 – C20/R20). This is the primary land use district within the downtown core and allows for a wide range of uses, with the possibility of up to a floor area ratio (FAR) of 20 in accordance with the bonusing provisions as found within Part 13, Division 3 of Land Use Bylaw 1P2007.

The proposed development aligns with the overall purpose of the CR20 – C20/R20 District, as this performing arts centre will add to the cultural uses that can be found within the downtown core and contributes to continuing the Downtown's role as the predominant destination for cultural activities in The City.

Density

The proposed FAR for this development is 1.40. Therefore, this development did not trigger any of the bonusing requirements of the CR20 – C20/R20 District which are required for any development over 3.0 FAR.

Development and Site Design

This application proposes a performing arts centre and conference facility with ancillary café uses. However, this development permit is only for the building itself, and the facilities needed to allow for the functioning of it and does not include any aspects of the public realm, landscaping,

etc. that would normally accompany a development permit application. This application includes the removal of the trees from Olympic Plaza and the relocation of the Women are Persons! Monument. All further additional detail for public realm, landscaping etc. will form part of a future application that will be submitted as part of the Olympic Plaza Transformation (OPT) project.

Approval and funding for the Arts Commons Transformation (ACT) Expansion portion of the overall ACT project occurred prior to approval and funding for the OPT portion of the project. Therefore, the timing of the ACT Expansion is ahead of the timing for OPT. Administration was comfortable with allowing for the submission and review of the development permit just for the building portion of the ACT Expansion project, as preliminary designs of OPT were shared with Administration and the OPT project will be presented to the Urban Design Review Panel as well, allowing for an opportunity to assess both projects at once. Therefore, the following section discusses only the building itself.

Site and Building Design

Building (At-grade Level)

The primary entrance to the performing arts centre is located on the south face of the building, directly off of 8 Avenue SE. This provides access to the primary theatre space, in the centre of the building, designed to seat 1,000 people. There is a secondary entrance along the east façade of the building, directly adjacent to Olympic Plaza, which allows for access closer to the smaller studio theatre, intended to seat 200 people, situated in the northeast portion of the building. There are two small café/bar areas located at the interior entrances to both of the theatres. The ground floor also includes all of the back-of-house functions for the theatre, such as the waste and recycling areas and the loading facilities needed for the theatre performances. Access to both the loading areas as well as the waste and recycling is off of 1 Street SE.

The north façade of the building along 7 Avenue SE will feature a public art installation as a means of engaging with the pedestrians walking past the building.

The west façade of the building is partially adjacent to the Dominion Bank building. The space proposed between the two buildings would allow for waste and recycling functions that would be accessed from 1 Street SE as mentioned previously. In addition, the stage door access would be located along the west façade, intended for performers and employees to access the back-of-stage portions of the theatre.

The exterior of the building is composed of dark green lapped metal panels and brown metal battens with brown metal trim. There is floor to ceiling glazing on the ground level of the east and south façades, allowing for permeability between the building and Olympic Plaza as well as 8 Avenue SE. The portion of the north façade closest to Olympic Plaza also incorporates this floor to ceiling glazing. The primary entrance to the theatre along 8 Avenue SE is articulated with a sweeping steel structured canopy that encircles the building at the first storey level and then culminates at the corner above the south entry-way.

Urban Design and Open Space (UDOS)

The proposed development was reviewed by the UDOS team, initially at the pre-application stage. There were a number of concerns identified, including the lack of a prominent main entrance along the south façade and CPTED concerns with the western façade adjacent to 1 Street SE. In addition, their comments included suggestions for changes to the somewhat blank north façade to improve its impact on the pedestrian experience, understanding that

the loading bays are behind this wall, so significant permeability of this façade is not possible. UDOS expressed the need to better animate this façade through the use of textured materials, extension of the public art feature further to the east or provision of additional landscaping elements to soften the interface between the building and the sidewalk.

This team also expressed concerns with the eastern edge of the building, adjacent to Olympic Plaza, highlighting the need for variation in articulation to provide more visual interest, more details on the lighting strategy to address CPTED concerns and better legibility and prominence for the one proposed entryway to help with wayfinding to the access points to the building.

Urban Design Review Panel (UDRP)

Administration brought the pre-application for this proposed development to UDRP on 2024 January 24. UDRP did have some concerns with the proposal as presented, and the comments from the Panel, as well as the applicant's response. One of the primary concerns expressed was the proposed interface with Olympic Plaza, as it was felt that the design did not provide an active interface and that the one point of entry with a non-prominent entry feature was insufficient. It was also noted that the interface was difficult to evaluate without having the details of the OPT project to review in conjunction with this application. The panel recommended that a comprehensive site planning process be undertaken between both projects to evaluate the public realm and edge conditions.

The panel also expressed some concerns with the north façade, commenting that this should be treated as a primary face of the project but at this point was a solid, impermeable wall. There was also some concern expressed about the west façade and the need for additional activation on this side of the building to make it feel more welcoming and inviting to visitors.

The panel also commented on the proposed design, suggesting that the current design was lacking a connection to the site and local culture of the city and that the building edges needed to better enhance the street character and public realm. They also suggested that due to the highly visible nature of the roof from the surrounding taller buildings, that the roof needs to be treated as a façade in itself and possibly consider the addition of a green roof. The panel also suggested that as this will be a Civic project, there could be additional environmental initiatives incorporated into it.

UDRP also commented on the need for additional uses within the building itself that could allow for a larger and more diverse demographic to make use of this facility.

In response to the comments from both the UDOS team and UDRP, Administration worked with the applicant to refine this development permit as much as was feasible to respond to the comments. However, given the complexity of this project, and the specific requirements of the program, not all aspects of the design were open to change and, therefore, not all concerns could be addressed. Changes were made to the north façade to wrap the glazing around the corner from the east façade as much as possible and the public art installation feature was added and expanded along the north façade as well. In addition, this project will be using District Energy for heating the building, addressing the request for additional green initiatives.

Transportation

Pedestrian access to the subject site is available from all sides of the development, other than the 7 Avenue SE frontage. Street frontages will be subject to surface improvements as part of the OPT project.

Vehicular access for all loading and unloading will be from 1 Street SE.

The site benefits from strong connectivity for all mobility modes. As the site is in the Downtown Core, the site is well served by a variety of transit routes, including the Red and Blue LRT lines with access to the City Hall/Bow Valley College LRT Station approximately 100 metres east (a two-minute walk) from the site. Bus transit stops include the MAX Purple with a stop 350 metres east (a five-minute walk) on 3 Street SE and 7 Avenue SE, and Route 101 with a stop 150 metres (a two-minute walk) north of the site on 6 Avenue SE and 1 Street SE.

The on-street bikeway, which forms part of the Always Available for All Ages and Abilities (5A) Network, on 8 Avenue SE is directly adjacent to the site, and connections to the east include MacLeod Trail SE and 9 Avenue SE.

The streets surrounding the development site, including 1 Street SE, MacLeod Trail SE and 8 Avenue SE, are all Urban Boulevards.

Bicycle Parking Facilities

There are 26 bicycle parking stall – class 1 that have been provided as part of this development permit application, and these are located on the main level of the development adjacent to the west façade entrance.

Environmental Site Considerations

No environmental concerns were noted for this site.

Utilities and Servicing

Public water, sanitary and storm sewer mains exist in the adjacent public rights-of-way for development servicing purposes. Development servicing will be determined at the Development Site Servicing Plan circulation stage.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendations aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is situated in the Centre City area as shown on [Map 1: Urban Structure](#) of the [Municipal Development Plan \(MDP\)](#). This application is in alignment with the policy direction in the MDP, as it will help to enhance the Downtown Core as a destination for arts, culture and celebration with the broadest variety of cultural activities.

Calgary Climate Strategy (2022)

Administration has reviewed this application in relation to the objectives of the [Calgary Climate Strategy – Pathways to 2050](#) programs and actions. This development permit application specifically addresses Program Pathway D: Renewable Energy – Implement neighbourhood-scale renewable energy projects, as this building will receive its heating energy from a District Energy System (DES) operated by Atlantica Sustainable Infrastructure. This building will join the network of existing buildings that uses DES, including Studio Bell, the Municipal Building and the new Central Library. DES is an approach to providing thermal energy more efficiently to networks of buildings than can be achieved by mechanical systems in individual buildings.

Greater Downtown Plan (Non-Statutory – 2021)

This application is supported by [Calgary's Greater Downtown Plan](#), as it will help to strengthen the importance of arts and culture within the Greater Downtown community, one of the goals of this plan. In addition, this application is one of the key parts to the transformation of Olympic Plaza which is highlighted in this plan, and it is part of the area that will continue to be the civic and cultural heart of the Greater Downtown.

Land Use Bylaw (2007)

Administration would highlight this development permit requires the following relaxations to the Land Use Bylaw. Administration has reviewed each relaxation individually and considers each relaxation to be acceptable for the reasons outlined below.

Public Realm Setbacks		
RD / ST / AV	Standard	Provided
8 AV SE	2.134m required	Plans indicate portions of the building are within the south ROW. -No concerns, this proposal aligns with the overall plan for Stephen Avenue.

Bylaw Relaxations		
Regulation	Standard	Provided
1303 Sunlight Protection Areas	Olympic Plaza must not be placed in greater shadow on September 21 from 12:00 p.m. to 2:00 p.m. Mountain Daylight Time than was already existing on the date the DP was applied for.	There is a small portion of additional shadow onto Olympic Plaza between these specified times. -No concerns. Administration feels that the additional shadowing is minor, as it is right adjacent to the building and does not extend significantly into the useable area of Olympic Plaza.

1315 Ground Floor Height	The minimum height of the ground floor of a building is 4.5m as measured vertically from the floor to the ceiling.	Plans indicate a ground floor height of between 2.44m to 4.06m measured from the floor to ceiling. -No concerns, Administration is supportive of this requested relaxation as the design of the ground floor was very intentional to fit with the overall proposed design of the building
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Conditions of Approval

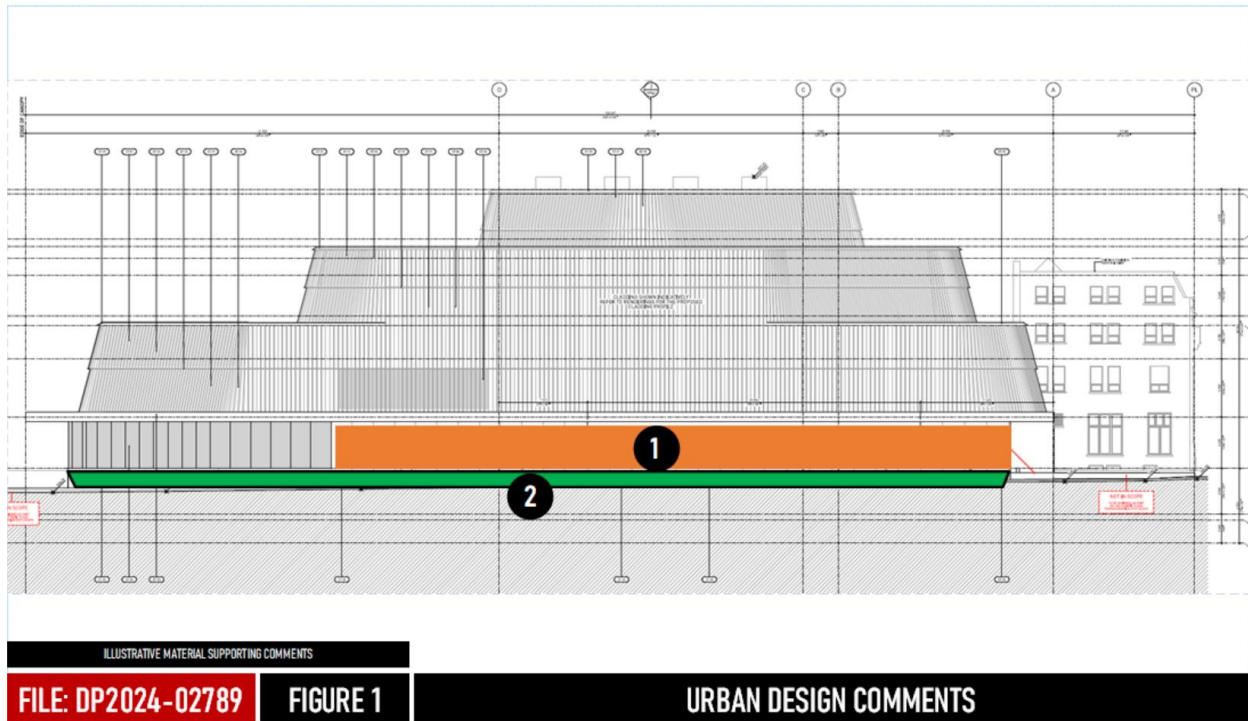
Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.
2. Amend the plans to remove the reference to provision of Class 2 bicycle stalls as indicated on Plan A-0100.0
3. Comments from City-Wide Urban Design -

7th AVENUE INTERFACE (North Elevation)
 - a. DP submission does not provide sufficient information about the intended public art façade treatment. Please elaborate design intent for blank wall between proposed public art feature and N-E Corner glass treatment.
 - b. We understand that public art will be part of the separate process in the future. Applicant to provide basic information on intended public art typology, scale, potential themes (e.g. Olympic legacy genius loci) and high-level guidelines for art integration with overall architectural design.
 - c. Provide ambient lighting strategy for all elevations, and especially for 7th Avenue elevation, including lighting guidelines for art feature.
 - d. 7th Ave SE Interface treatment of lower portion of the wall should include edge planters with landscape treatment. In addition to public art feature, this will contribute to softening of the new public realm hardscape treatment and mitigate loss of existing trees along 7th Avenue. (Figure 1-2)



Utility Engineering

4. Amend the plans to:

Fire - Primary Fire Access Road Design

- a. Indicate a minimum 6.0m wide fire access route.
- b. Indicate the fire access route is designed to support a 38,556kg/85,000 lbs load.
- c. Indicate all corners on the fire access route are designed to a 12.0m centreline of the roadway turning radius.
- d. Indicate the vehicle sweeps and turning movements (templating) on the fire access route.
- e. Indicate a minimum overhead clearance of not less than 5.0m on the primary fire access route.
- f. Revise the grade where aerial ladder trucks may set up master stream operations to a maximum of 8%.

NOTE: plans indicate access not in the scope of this DP. Access to site must be completed on initial phases, prior to the commencement of construction.

5. Submit a Sanitary Servicing Letter, for review and acceptance, prepared by a qualified professional engineer under seal and permit to practice stamp to the satisfaction of Development Engineering, Utility Specialists. The Sanitary Servicing Letter shall identify the type of the development, address of the development, existing and proposed peak sanitary flows. For further information, refer to the following:

Sanitary Servicing Study Guidelines

<http://www.calgary.ca/PDA/pd/Documents/development/west-memorial-sanitary-servicing-study-guidelines.pdf>

6. Remit payment (certified cheque) for the infrastructure upgrades for the Centre City communities, in the amount of \$689,732.40, to Development Engineering. This levy includes both the Centre City Utility Levy approved under the Centre City Utility Levy Bylaw 38M2009 and an amount approved by Council for community recreation, transportation, parks upgrading, and greenways. The amount identified above is determined by using \$ 4,710.00 per meter of site frontage (on avenues only) for the proposed development (146.44m).
7. Submit a Development Site Servicing Plan for review and acceptance from Water Resources, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005. Contact [Water Resources](#) for additional details. For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note: Sanitary service and test manhole should be relocated so test manhole is not in loading dock/driveway apron.

8. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024. The off-site levy is based on a 2024 development approval date and was based on the following:

Phase	Description	Unit(s)
1	222 8 AV SE	New Comm: 17031.13m2

Based on the information above, the preliminary estimate is \$849,512.76.

Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.

- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Calgary Approvals Coordination, Infrastructure Strategist (YUNPENG QIN at 587 215 6253 or <mailto:Yunpeng.qin@calgary.ca>) or offsitelevy@calgary.ca.

Mobility Engineering

9. Amend the plans to make reference to the "Loading Protocol - Traffic Accommodation Strategy" as per Bunt and Associates (include date).

Also, the applicant is to amend the protocol to indicate that the loading protocol restricts dock loading operations to hours between 9 PM and 5 AM as per email from the City on June 15, 2023 from Mobility Operations.

In addition, amend the loading protocol to:

- Reference the 9 PM to 5 AM time window for protocol activation earlier in the document, such as in the initial portions of Section 2. Currently, the time restrictions are only clear later in the document.
- Indicate that for the operation of the loading dock, the applicant must apply for a street use permit from the City on an annual basis. Additionally, indicate any amendments or modifications to the loading dock protocol must receive prior written approval from the Mobility Business Unit.
- Clarify on Page 2, Step 3A, how the dock communicates with the MOC (phone # 403-268-3699), as this is currently unclear.

Permanent Conditions

The following permanent conditions shall apply:

Planning

10. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
11. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
12. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
13. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
14. The facility must connect to, and use the thermal energy from, a district energy system, to the satisfaction of the Development Authority.

15. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used at the applicants expense. Please contact Urban Forestry at 311 for more information.
16. An Urban Forestry Technician must be on-site to mitigate possible root damage to adjacent public trees during excavation and grade changes near the trees to be protected. Prior to construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires minimum two business days notice prior to meeting onsite.
17. No stockpiling or dumping of construction materials is permitted on the adjacent boulevard.
18. Any damage to public parks, boulevards or trees resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact the Development Inspector at 403-620-3216 or 311 for an inspection.
19. Any landscape rehabilitation on public parks shall be performed and inspected in accordance with Parks' *Development Guidelines and Standard Specifications - Landscape Construction (current edition)*). Applicant is to contact the Parks Development Inspector at 403-620-3216 or 311.
20. The applicant is responsible for the Olympic Plaza decorative water feature/irrigation system and recirculation pumps during all required work on the system. If necessary, the applicant will be responsible for employing the services of a certified commercial irrigation consultant (Irrigation Association Certified). The applicant must ensure the consultant has team members who are Certified Irrigation Contractors and Certified Irrigation Designers. This includes, but is not limited to, preventative protection (tree, turf and infrastructure), restoration, deactivation and reactivation, installation of a new system, and installation and repair of parts of the current irrigation system.
21. In order to ensure the integrity of existing public trees to remain and to be protected, construction access is only permitted outside the drip lines (outer edges) of public trees.
22. Public trees located on the park / open space and boulevard adjacent to the development site shall be retained and protected unless otherwise authorized by Urban Forestry. Prior to construction, install a temporary fence around the extent of the branches ("drip line"). Ensure no construction materials are stored inside this fence.
23. In order to ensure the integrity of existing public trees to remain and to be protected, no grade changes are permitted within the drip lines (extent edges) of the trees.

24. The plans indicate 35 public trees are to remain and be protected. Tree protection information given as per the approved development permit does not constitute Tree Protection Plan approval. Prior to any construction activities, Tree Protection Plan approval must be obtained separately through Urban Forestry. Visit www.calgary.ca, call 311, or email tree.protection@calgary.ca for more information.
25. Urban Forestry met with the applicant/design team and it was determined the removal of most of the existing public trees is necessary. As per the City of Calgary Tree Protection By-law, a letter of authorization to remove public trees is required from Parks Urban Forestry. The applicant is to contact Urban Forestry at 311 or email tree.protection@calgary.ca to make arrangements for the letter and compensation.

Utility Engineering

26. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment and Protected Areas and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Climate and Environment (Contaminated Sites Section) must be immediately notified (311).
27. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions. The City of Calgary Guidelines for

Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

28. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Director of Water Resources.
29. The grades indicated on the approved Development Site Servicing Plan must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
30. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within the utility rights-of-way.
31. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024. To obtain a final estimate contact the Calgary Approvals Coordination, Infrastructure Strategist (YUNPENG QIN at 587 215 6253 or <mailto:Yunpeng.qin@calgary.ca>) or offsitelevy@calgary.ca.

- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

Mobility Engineering

32. An annual Street Use Permit is to be obtained by the applicant and waste collection company for loading operations and waste collection impacting the public right-of-way.
33. The applicant is responsible for communicating the need for any required amendments or modifications to the loading dock protocol and must receive prior written approval from the Mobility Business Unit for those amendments before starting operations under the newly amended protocol.

The protocol is to be updated/amended when/if changes to the public realm on 1ST SE are designed and implemented to confirm the loading operations can take place.

34. Contact the Traffic Engineer (trafficengineer@calgary.ca) ten (10) weeks prior to occupancy to arrange for signage to support the subject development. All costs will be at the applicants sole expense and invoiced at time of installation.

35. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.
36. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager, Development Engineering, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca

ARTS COMMONS TRANSFORMATION - PHASE 01 - EXPANSION

DRAWINGS

ARCHITECTURE

A-0000.0	COVER PAGE - R01
A-0100.0	CODE & BYLAW ANALYSIS - GENERAL NOTES - R01
A-1310.0	WINDOW SCHEDULE - R01
A-1320.0	DOOR SCHEDULE - R01
A-1400.0	MATERIALS - R01
A-1450.0	EQUIPMENT
A-1500.0	SITE PHOTOS
A-1510.0	SITE PHOTOS
A-1520.0	SITE PHOTOS
A-1560.0	SHADOW ANALYSIS - R01
A-1600.0	RENDERED PERSPECTIVE FROM SOUTH EAST - R01
A-1610.0	AERIAL RENDERED PERSPECTIVE FROM SOUTH EAST - R01
A-1620.0	RENDERED PERSPECTIVE FROM ENTRANCE TO LOBBY - R01
A-1630.0	RENDERED PERSPECTIVE OF GATHERING CIRCLE + FEATURE STAIR - R01
A-1640.0	RENDERED PERSPECTIVE OF LARGE HALL IN RAKED CONFIGURATON - R01
A-1650.0	RENDERED PERSPECTIVE OF LARGE HALL IN FLAT FLOOR CONFIGURATION - R01
A-1660.0	ISOMETRIC EXTERIOR VIEWS - R01
A-2000.0	CONTEXT PLAN - R01
A-2100.0	EXISTING SITE PLAN - R01
A-2110.0	EXISTING PUBLIC TREE INVENTORY PLAN - R01
A-2120.0	PROPOSED SITE PLAN - R01
A-2400.0	LOWER LEVEL PLAN - R01
A-2410.0	GROUND FLOOR PLAN - R01
A-2420.0	LEVEL 02 PLAN - R01
A-2430.0	LEVEL 03 PLAN - R01
A-2440.0	LEVEL 04 PLAN - R01
A-2450.0	ROOF PLAN - R01
A-3000.0	SECTIONS - R01
A-3010.0	SECTIONS - R01
A-4000.0	ELEVATIONS - R01
A-4010.0	ELEVATIONS - R01
A-5000.0	ENLARGED PLAN - SWEPT PATHS - LOADING DOCK ONE - R01 NEW
A-5001.0	ENLARGED PLAN - SWEPT PATHS - LOADING DOCK TWO - R01 NEW
A-5002.0	ENLARGED PLAN - SWEPT PATHS - LOADING DOCK THREE - R01 NEW
A-5003.0	ENLARGED PLAN - SWEPT PATHS - WASTE AND RECYCLING - R01 NEW
A-5010.0	ENLARGED PLAN AND SECTION - LOADING DOCK - R01
A-5050.0	ENLARGED PLAN - WASTE AND RECYLING - R01
A-9000.0	LIMITING DISTANCE - R01
A-9010.0	ENLARGED PLAN - FIRE ACCESS - R01 NEW
SHEET COUNT: 39	

CONSULTANTS

ARCHITECTURE

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CROSSEY ENGINEERING

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BUNT & ASSOCIATES ENGINEERING

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APPLICATION

PROJECT ADDRESS

ARTS COMMONS EXPANSION
206 8 AVENUE SE
CALGARY, ALBERTA
T2P 2M5

LOT 1-38
BLOCK 52
PLAN A

APPLICANT

HINDLE ARCHITECTS

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ELLIS DON

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PROJECT MANAGER

COLLIERS

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CAROLYN HADDOCK
PROJECT DIRECTOR
403 971 3870
carolyn.haddock@colliersprojectleaders.com

OWNER

CALGARY MUNICIPAL LAND CORPORATION

430 8 AVENUE SE
CALGARY, ALBERTA
T2G 0L7

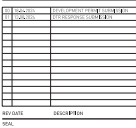
GEORGETTE MCGRATH-JUKIC
DIRECTOR, SPECIAL PROJECTS
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ISSUED TO

THE CITY OF CALGARY
DEVELOPMENT + BUILDING APPROVALS

P.O. BOX 2100 STATION M
800 MACLEOD TRAIL SE
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[illegible]



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403 971 4833

TAW
TAWIAW ARCHITECTURE COLLECTIVE
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CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT

8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE 1:50
PLOT DATE 2024-08-13

DETAILS

WINDOW SCHEDULE

A-1310.0

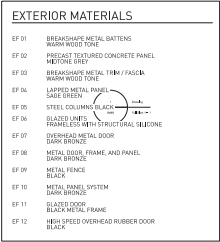
**KP
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CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

PROJECT NO. 5020
SCALE 1:50
PLOT DATE 2024-08-13

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ARCHITECTS

KP
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ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT
8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE NTS
PLOT DATE 2024-08-13

EXTERIOR MATERIALS
RENDERED PERSPECTIVE
FROM SOUTH EAST

A-1400.0

[illegible][illegible]

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT

8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE NTS
PLOT DATE 2024-08-13

DRAWING

EQUIPMENT

CONSENT OF THE ARCHITECT.
ANY VIOLATION OF THE BUILDING ACT OR ANY
OTHER ACT OR REGULATION BY THE ARCHITECT
OR THE ARCHITECT'S FIRM SHALL BE
CONSIDERED AS A BREACH OF THE BUILDING ACT.

THE ARCHITECT IS NOT LIABLE FOR ANY LOSS OR
DAMAGE TO PERSONS OR PROPERTY FROM
SUBSEQUENT RETENTION OF THE ORIGINAL DRAWINGS.

GENERAL NOTES:
1. DRAWINGS AND NOT TO SCALE. CONTRACTOR SHALL
VERIFY ALL DIMENSIONS AND MATERIALS
BEFORE TO PROCEED WITH THE WORK AND SHALL
OBTAIN APPROVAL FROM THE ARCHITECT.
2. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE
DESIGN AND CONSTRUCTION DOCUMENTS.
3. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE
DESIGN AND CONSTRUCTION DOCUMENTS.
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9. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE
DESIGN AND CONSTRUCTION DOCUMENTS.
10. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE
DESIGN AND CONSTRUCTION DOCUMENTS.
11. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE
DESIGN AND CONSTRUCTION DOCUMENTS.
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DESIGN AND CONSTRUCTION DOCUMENTS.
19. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE
DESIGN AND CONSTRUCTION DOCUMENTS.
20. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE
DESIGN AND CONSTRUCTION DOCUMENTS.



19 SITE PHOTO
VIEW OF DOMINION BANK BLDG FROM NORTH WEST NTS



18 SITE PHOTO
VIEW OF DOMINION BANK BLDG FROM WEST NTS



17 SITE PHOTO
VIEW OF DOMINION BANK BLDG FROM SOUTH NTS



16 SITE PHOTO
VIEW OF DOMINION BANK BLDG FROM SOUTH NTS



15 SITE PHOTO
VIEW OF SITE FROM SOUTH NTS



14 SITE PHOTO
VIEW LOOKING DOWN 8 AVENUE SE FROM WEST NTS



13 SITE PHOTO
VIEW OF TELUS CONVENTION CENTRE NTS



12 SITE PHOTO
VIEW OF TELUS CONVENTION CENTRE NTS



11 SITE PHOTO
VIEW OF TELUS CONVENTION CENTRE NTS



10 SITE PHOTO
VIEW OF DOMINION BANK BLDG FROM EAST NTS



9 SITE PHOTO
VIEW OF LANE AT REAR OF DOMINION BANK BLDG NTS



8 SITE PHOTO
VIEW OF SITE FROM NORTH NTS



7 SITE PHOTOS
VIEW OF ARTS COMMONS NTS



6 SITE PHOTO
VIEW OF ARTS COMMONS NTS



5 SITE PHOTO
VIEW OF CALGARY PUBLIC BLDG NTS



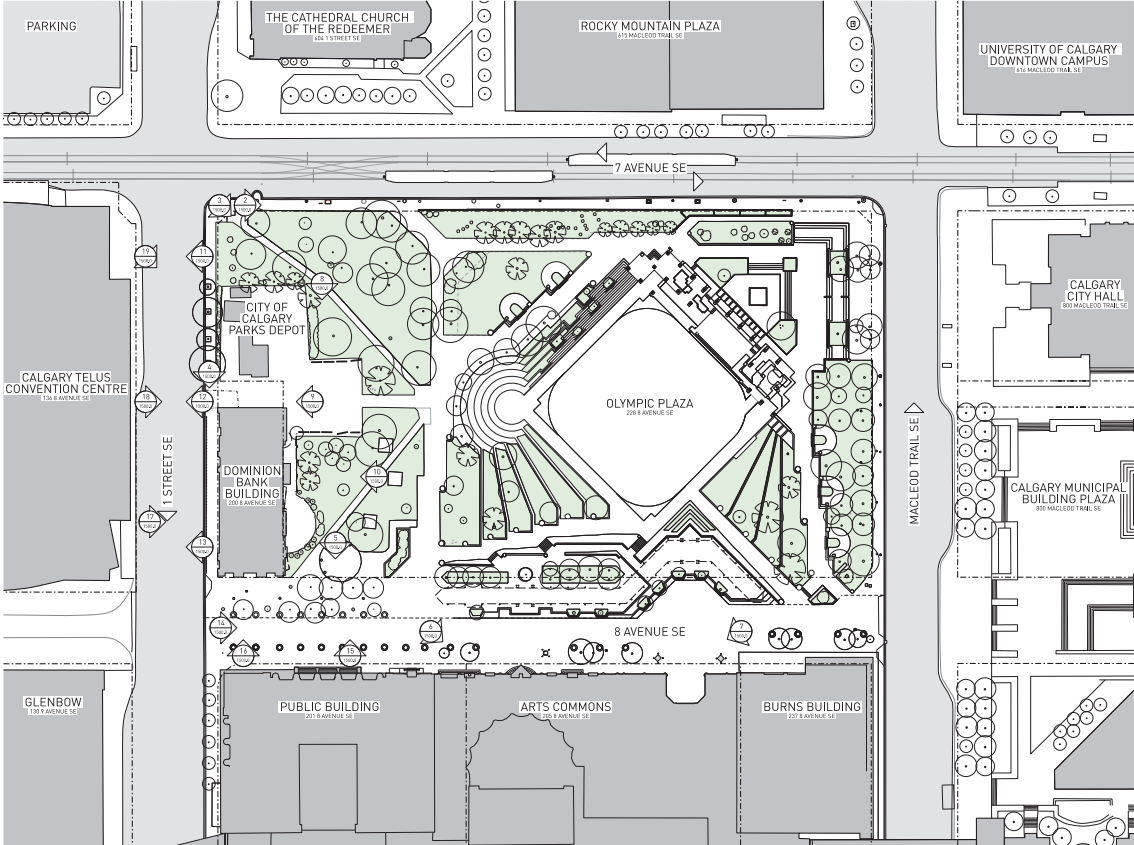
4 SITE PHOTO
VIEW OF 1 STREET SE FROM NORTH NTS



3 SITE PHOTO
VIEW OF SITE FROM NORTH WEST NTS



2 SITE PHOTO
EASTWARD VIEW LOOKING DOWN 7 AVENUE SE NTS



1 PHOTO LEGEND
KEY PLAN
1:2000

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2024-04-13

ARCHITECTS
KP MB
KPMB ARCHITECTS
SUITE 1200, 351 MIDLAND STREET EAST
TORONTO, ONTARIO, M5A 0L4
416-977-9104

ARCHITECTS
HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 227 8 AVENUE SE
CALGARY, ALBERTA, T2G 0C3
403-971-4533

ARCHITECTS
TAW
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SUITE 303, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
403-431-0294

ARCHITECTS
ACT
ACT ARCHITECTS
8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5520
SCALE AS NOTED
DATE 2024-04-13
DRAWN
SITE PHOTOS

[illegible]

**KP
MB**
KPMB ARCHITECTS
SUITE 1200, 351 KING STREET EAST
TORONTO, ONTARIO, M5A 0L6
416 977 5104

HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAIN ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT
8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE AS NOTED
PLOT DATE 2024-08-13

DERIVED

SITE PHOTOS

A-1510.0



Q#	Question	Answer
Q1	What is the purpose of the experiment?	To determine the effect of temperature on the rate of reaction.
Q2	What is the hypothesis?	The rate of reaction will increase with increasing temperature.
Q3	What are the variables?	Independent: Temperature; Dependent: Rate of reaction; Controlled: Concentration, Volume, etc.
Q4	What is the procedure?	1. Prepare solutions of known concentrations. 2. Measure the time taken for a color change to occur at different temperatures. 3. Calculate the rate of reaction from the time taken.
Q5	What are the results?	The rate of reaction increases as temperature increases.
Q6	What is the conclusion?	Temperature has a significant effect on the rate of reaction.

**KP
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HINDLE ARCHITECTS
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CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAW ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT
8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE AS NOTED
PLOT DATE 2024-08-13

DRAWING

SITE PHOTOS

9 of 39



SEAL

HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2O 5C3
403 971 4833

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

8 AVENUE SE
CALGARY, ALBERTA

RENDERED PERSPECTIVE
FROM SOUTH EAST

A-1600.0





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NO.	DATE	DESCRIPTION
1	2024-01-15	Initial Design
2	2024-02-01	Revised Design
3	2024-02-15	Final Design
4	2024-03-01	Construction Documents
5	2024-03-15	Construction Documents
6	2024-03-30	Construction Documents
7	2024-04-15	Construction Documents
8	2024-04-30	Construction Documents
9	2024-05-15	Construction Documents
10	2024-05-30	Construction Documents

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2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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10. ALL DIMENSIONS ARE TO BE VERIFIED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

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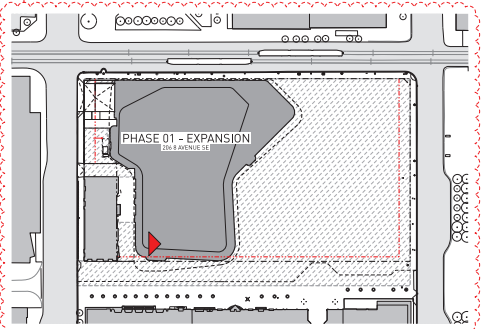
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CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION
ACT
8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5000
SCALE NTS
PLOT DATE 2024-06-13
RENDERED PERSPECTIVE
FROM ENTRANCE TO
LOBBY

A-1620.0





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NO.	DATE	DESCRIPTION
1	2024-01-15	ISSUED FOR PERMIT
2	2024-02-01	REVISED FOR COMMENTS
3	2024-02-15	REVISED FOR COMMENTS
4	2024-03-01	REVISED FOR COMMENTS
5	2024-03-15	REVISED FOR COMMENTS
6	2024-03-30	REVISED FOR COMMENTS
7	2024-04-15	REVISED FOR COMMENTS
8	2024-04-30	REVISED FOR COMMENTS
9	2024-05-15	REVISED FOR COMMENTS
10	2024-05-30	REVISED FOR COMMENTS

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416 977 5106

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HINDLE ARCHITECTS
SUITE 510, 227 8 AVENUE SE
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403 971 1823

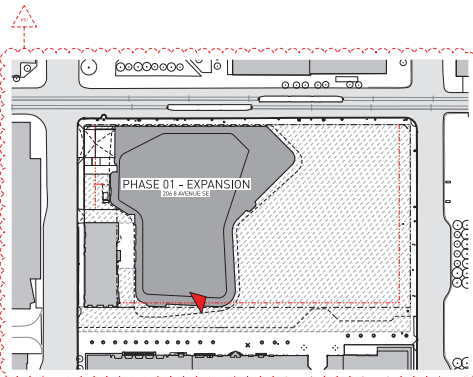
TAAW
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SUITE 202, 1218 9 AVENUE SE
CALGARY, AB T2C 0T1
403 431 0294

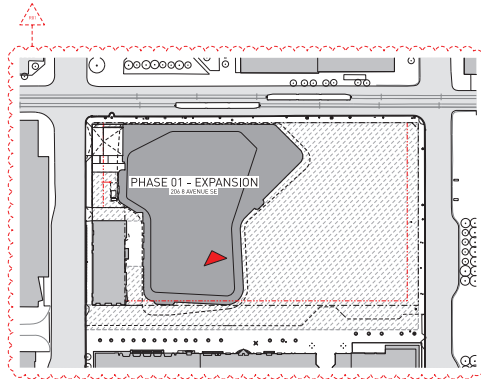
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PHASE 01 - EXPANSION
ACT
8 AVENUE SE
CALGARY, ALBERTA

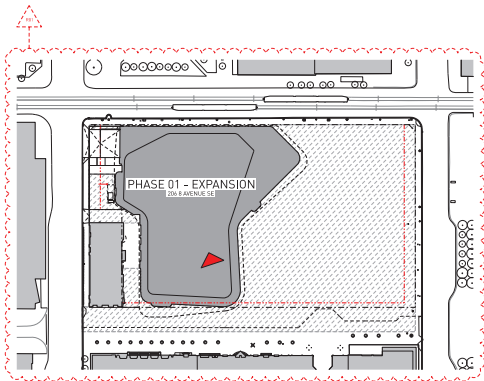
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SCALE 1/125
PLOT DATE 2024-05-13

RENDERED PERSPECTIVE
OF GATHERING CIRCLE +
FEATURE STAIR

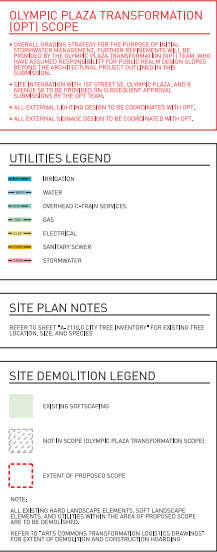
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416 977 5104

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SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
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CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT
8 AVENUE SE
CALGARY, ALBERTA

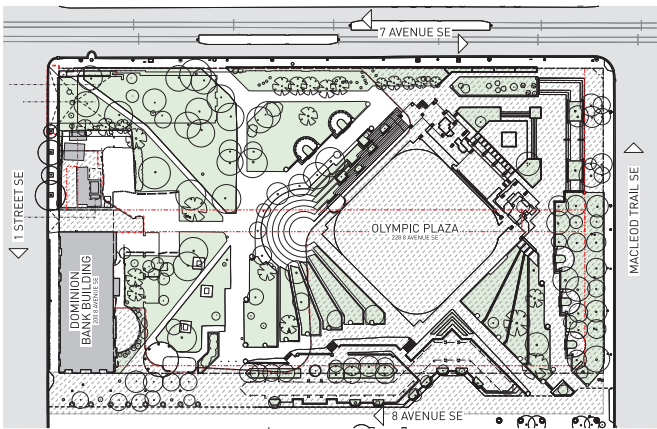


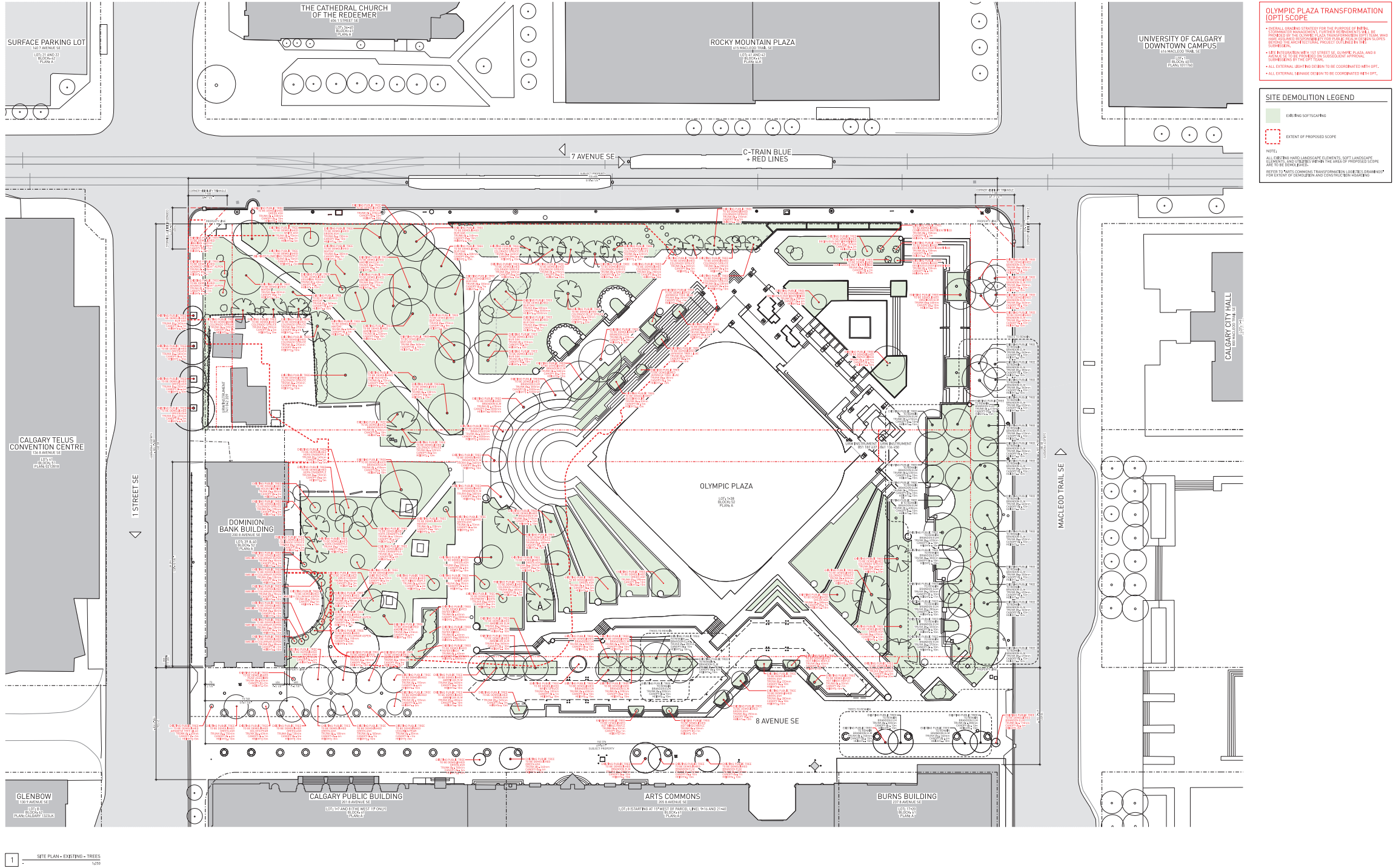
PROJECT NO. 5020
SCALE AS NOTED
PLOT DATE 2024-08-13

DRAWING

EXISTING SITE PLAN

A-2100.0





COMPARED TO THAT OF THE ARCHITECT, ANY VARIATION OF THE PROPOSED REPRESENTATION OF ANY LANDSCAPE ELEMENTS SHALL BE PROVIDED BY THE ARCHITECTURAL PROJECT COLLABORATION TEAM.

THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY LANDSCAPE ELEMENTS THAT ARE NOT IDENTIFIED IN THE PROPOSED REPRESENTATION OF THE PROPOSED DEVELOPMENT.

GENERAL NOTE:

LANDSCAPE DESIGN SHALL BE COORDINATED WITH THE ARCHITECTURAL PROJECT COLLABORATION TEAM. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY LANDSCAPE ELEMENTS THAT ARE NOT IDENTIFIED IN THE PROPOSED REPRESENTATION OF THE PROPOSED DEVELOPMENT.

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NO.	DESCRIPTION	DATE
1	EXISTING SOFTSCAPING	2024-08-13
2	EXTENT OF PROPOSED SCOPE	2024-08-13

KP MB

KPMB ARCHITECTS
SUITE 1200, 201 8 AVENUE SE
CALGARY, ALBERTA, T2C 0A4
416 977 9104

HINDLE ARCHITECTS

HINDLE ARCHITECTS
SUITE 510, 227 8 AVENUE SE
CALGARY, ALBERTA, T2C 0C3
403 971 4533

TAW

TAW ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2C 0T1
825 431 0294

CHLC

ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

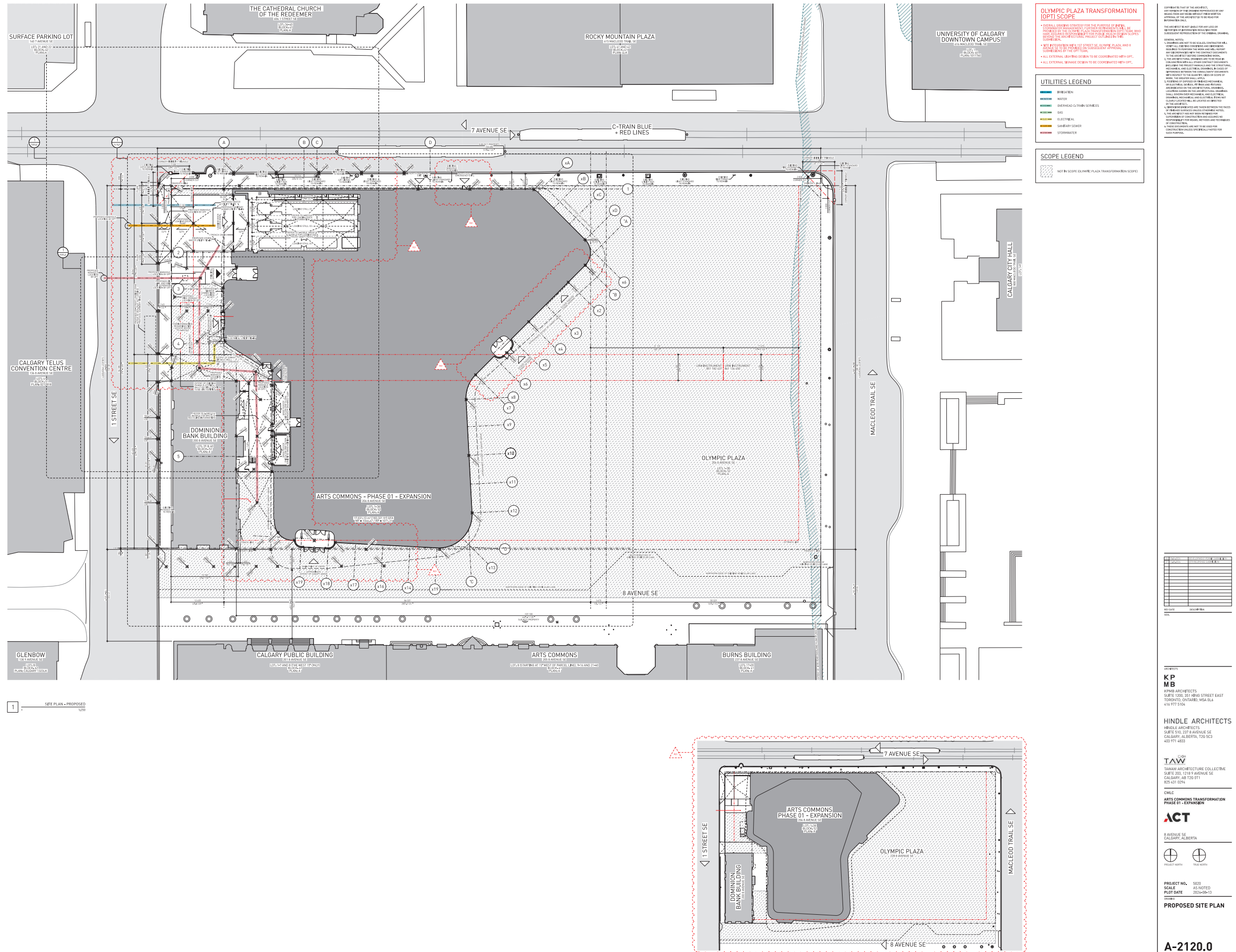
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8 AVENUE SE
CALGARY, ALBERTA

PROJECT NORTH
TRUE NORTH

PROJECT NO. 5030
SCALE AS NOTED
DATE 2024-08-13
DRAWN
EXISTING TREE INVENTORY PLAN

A-2110.0



[illegible]

ARCHITECTS

**KP
MB**

KPMB ARCHITECTS
SUITE 1200, 351 KING STREET EAST
TORONTO, ONTARIO, M5A 0L6
416 977 5104

HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 2378 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAY ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

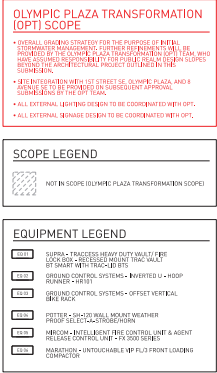
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8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE AS NOTED
PLOT DATE 2024-08-13

**PLAN
LOWER LEVEL**

A-2400.0

[illegible]

50A.

**KP
MB**
KPMB ARCHITECTS
SUITE 1200, 351 KING STREET EAST
TORONTO, ONTARIO, M5A 0L6
416 977 5106

HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAY ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2B 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

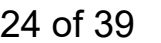


8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE 1:125
PLOT DATE 2024-08-13

PLAN
LEVEL 01

A-2410.0







OLYMPIC PLAZA TRANSFORMATION (OPT) SCOPE

- Overall, GRADING STRATEGY FOR THE PURPOSE OF INITIAL STORMWATER MANAGEMENT. FURTHER REFINEMENTS WILL BE PROVIDED BY THE OLYMPIC PLAZA TRANSFORMATION TEAM, WHO MUST ASSUME RESPONSIBILITY FOR PUBLIC REALIZATION SLOPES BEYOND THE ARCHITECTURAL PROJECT OUTLINED IN THIS SUBMITTAL.
- SITE INTEGRATION WITH WEST STREET SE, OLYMPIC PLAZA, AND 8 AVENUE SE TO BE PROVIDED ON SUBSEQUENT APPROVAL, SUBMITTED BY THE OPT TEAM.
- ALL EXTERNAL LIGHTING DESIGN TO BE COORDINATED WITH OPT.
- ALL EXTERNAL SIGNAGE DESIGN TO BE COORDINATED WITH OPT.

[illegible][illegible]

**KP
MB**
KPMB ARCHITECTS
SUITE 1200, 351 KING STREET EAST
TORONTO, ONTARIO, M5A 0L6
416 977 5106

HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAY ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT

8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE AS NOTED
PLOT DATE 2024-08-13

DRG 110

**PLAN
LEVEL 04**

A-2440.0



OLYMPIC PLAZA TRANSFORMATION (OPT) SCOPE

- OVERALL GRADING STRATEGY FOR THE PURPOSE OF INITIAL STORMWATER MANAGEMENT, FURTHER REQUIREMENTS WILL BE PROVIDED BY THE OLYMPIC PLAZA TRANSFORMATION (OPT) TEAM, WHO HAVE ASSIGNED RESPONSIBILITY FOR FURTHER REFINING DESIGN SLOPES BEYOND THE ARCHITECTURAL PROJECT OUTLINED IN THE SUBMISSION.
- SITE INTERSECTION WITH 1ST STREET SW, OLYMPIC PLAZA, AND 8 SWING WAY WILL BE THE SUBJECT OF SUBSEQUENT APPROVAL SUBMISSIONS BY THE OPT TEAM.
- ALL EXTERNAL LIGHTING DESIGN TO BE COORDINATED WITH OPT.
- ALL EXTERNAL SIGNAGE DESIGN TO BE COORDINATED WITH OPT.

[illegible][illegible]

ISSUE DATE	DESCRIPTION
1991	

**KP
MB**
MPMB ARCHITECTS
SUITE 1200, 351 KING STREET EAST
TORONTO, ONTARIO, M5A 0L6
416 977 5104

HINDLE ARCHITECTS
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SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAW ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
403.421.0294

ARTS COMMONS TRANSFORMATION PHASE 01 - EXPANSION

ACT

AVENUE SE
CALGARY, ALBERTA

PROJECT NORTH TRUE NORTH

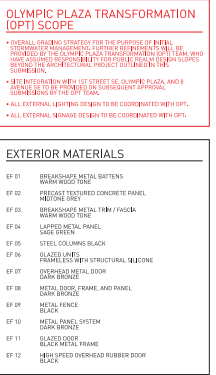
PROJECT NO.	5020
SCALE	AS NOTED
PLOT DATE	2024-08-13

PLAN
ROOF PLAN

A-2450.0



2


[illegible]

**KP
MB**
KPMB ARCHITECTS
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TORONTO, ONTARIO, M5A 0L6
416 977 5106

HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAY ARCHITECTURE COLLECTIVE
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CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

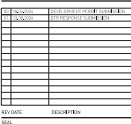


8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE AS NOTED
PLOT DATE 2024-08-13

ELEVATIONS

A-4000.0



**KP
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HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAY ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

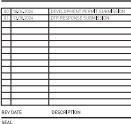


8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE
PLOT DATE 2024-08-13

ENLARGED PLAN
SWEPT PATHS
LOADING ZONE 01

A-5000.0



**KP
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KPMB ARCHITECTS
SUITE 1200, 351 KING STREET EAST
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HINDLE ARCHITECTS
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CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAN ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT

8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE
PLOT DATE 2024-08-13

**ENLARGED PLAN
SWEEP PATHS
LOADING ZONE 02**

A-5001.0



EQUIPMENT LEGEND

CD01	SUPRA - TRACKLESS HEAVY DUTY VULCAN FIRE LICK RIG - RECESSED MOUNT TRAC VULCAN BT SNAKE - MOUNT TRAC-CD SYSTEMS
CD02	GROUND CONTROL SYSTEMS - INVERTED U - HOOP REARVIEW - W/STREET
CD03	GROUND CONTROL SYSTEMS - OFFSET VERTICAL BIKE RACK
CD04	PITTER - SH-20 WALL MOUNT WEATHER PROF SELECT-A-STROR/HORN
CD05	INTELLIGENT FIRE CONTROL UNIT & AGENT RELEASE CONTROL UNIT - FX 3500 SERIES
CD06	MARKETABLE - UNTOUCHABLE VMP F35 FRONT LOADING COMPACTOR

ARCHITECTS

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TAWAY ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
825 431 0294



8 AVENUE SE
CALGARY, ALBERTA

PROJECT NORTH TRUE NORTH

PROJECT NO. 5020
SCALE
PLOT DATE 2024-08-13

WASTE AND RECYCLING
ENLARGED PLAN

A-5050.0

[illegible][illegible]

KPMB ARCHITECTS
KPMB ARCHITECTS
SUITE 1200, 351 KING STREET EAST
TORONTO, ONTARIO, M5A 0L6
416 977 5104

HINDLE ARCHITECTS
HINDLE ARCHITECTS
SUITE 510, 237 8 AVENUE SE
CALGARY, ALBERTA, T2G 5C3
403 971 4833

TAW
TAWAW ARCHITECTURE COLLECTIVE
SUITE 203, 1218 9 AVENUE SE
CALGARY, AB T2G 0T1
825 431 0294

CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

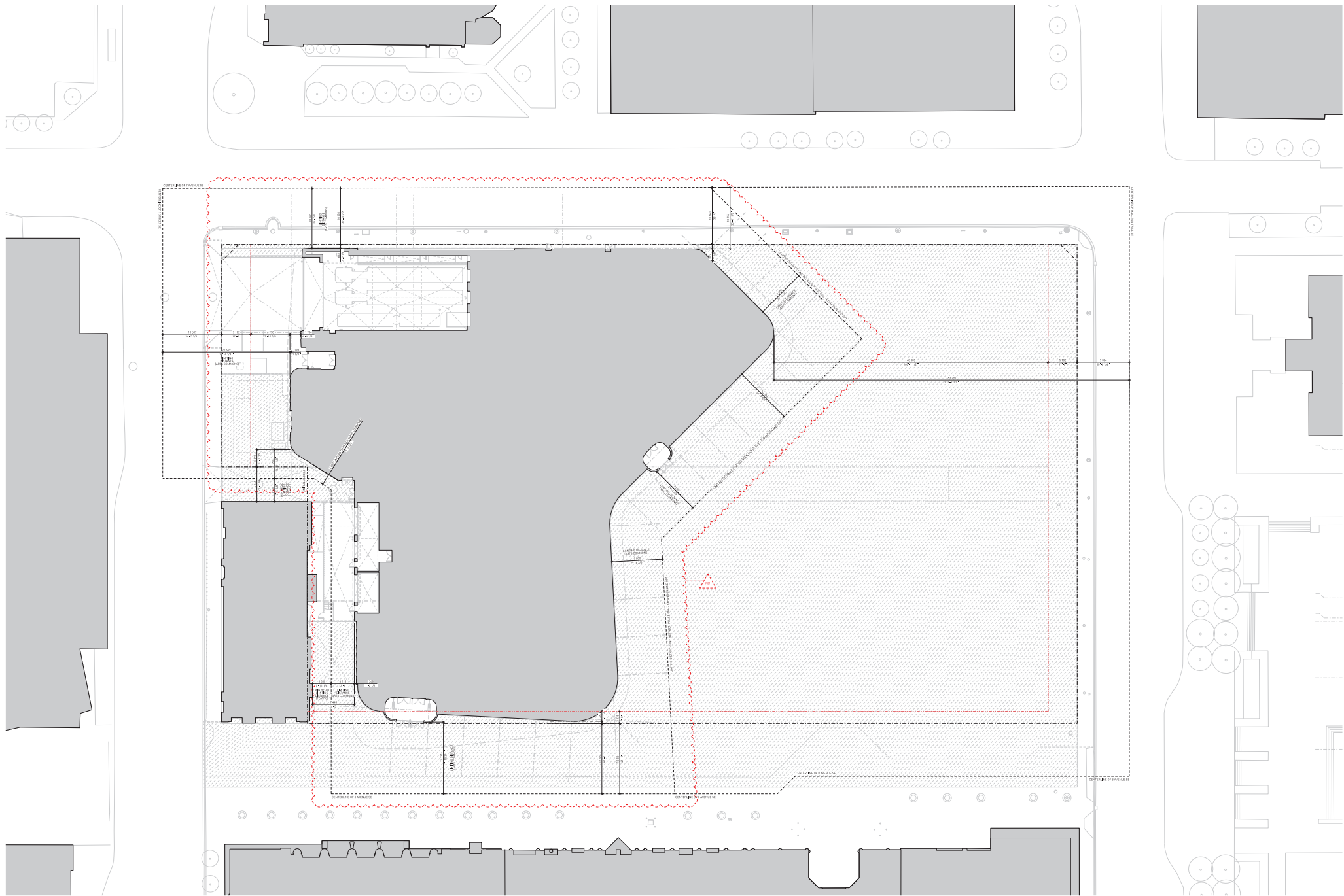
ACT
8 AVENUE SE
CALGARY, ALBERTA

PROJECT NORTH TRUE NORTH

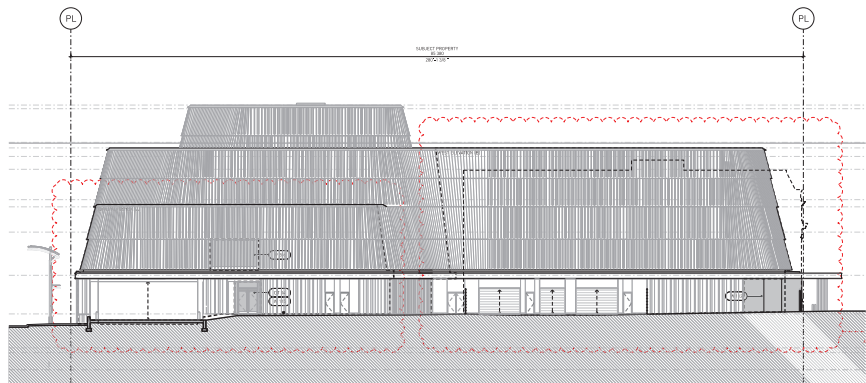
PROJECT NO.	5020
SCALE	AS NOTED
PLOT DATE	2024-08-13

SITE PLAN + ELEVATION LIMITING DISTANCE

A-9000.0

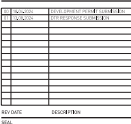


2 SITE PLAN
LIMITING DISTANCE 1/250



1 EXTERIOR ELEVATION
WEST ELEVATION - LIMITING DISTANCE 1:250

LIMITING DISTANCE - WEST ELEVATION													
DISTANCE/LENGTH		LIMITING DISTANCE		% ALLOWED		AREA - m ²		AREA - ft ²					
OVERALL		FR	35.0M	SUBTOTAL		100%	55.58	6.917					
SIZE OF ROUGH OPENING													
QTOL	1	4.27	72	1	4.77	73							
	1	1.38	248	1	2.79	248							
	1	23.04	248	1	21.04	248							
W20													
TOTAL OPENINGS PROVIDED													
					38.42	7.1%							
TOTAL ALLOWABLE					409.58	100.0%							
AMC REQD 3.2.3.1.0													
WEST ELEVATION III		LIMITING DISTANCE		% ALLOWED		AREA - m ²		AREA - ft ²					
OVERALL		FR	35.0M	SUBTOTAL		30%	746.24	8.125					
SIZE OF ROUGH OPENING													
W12	1	4.43	49		22.13	364							
					38.13	4.7%							
					229.77	30.9%							
TOTAL ALLOWABLE													
AMC REQD 3.2.3.1.0													



**KP
MB**
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CMLC
ARTS COMMONS TRANSFORMATION
PHASE 01 - EXPANSION

ACT

8 AVENUE SE
CALGARY, ALBERTA

PROJECT NO. 5020
SCALE
PLOT DATE 0001.00.00

ENLARGED PLAN FIRE ACCESS

A-9010.0

Applicant Submission

Arts Commons Transformation – Phase 01 Expansion

At the heart of the Arts Commons Transformation (ACT) is an intentional effort to create a performing arts space that is of Calgary – a place where everyone is welcome and comfortable. This concept guided the entire design process and laid the groundwork for a design philosophy centered around community, arts, and culture.

The design process began with one fundamental question: “How might a performing arts centre feel as open and inclusive as a park?” The answer is a purpose-built facility that reflects the spirit of the community it serves, is thoughtfully connected to its history and culture, and is developed with respect for its surrounding environment.

Deep research and focused engagement have led to the concept of a lodge as inspiration for the design of the building that includes a gently curved building form, the use of natural materials, and a design spirit that welcomes you in to share and hear stories. The lodge opens to embrace the adjacent public plaza and captures natural light from Alberta’s expansive sky, creating a performing arts space that will welcome Calgarians with open arms.

The three-storey, 190,000 ft² building sits near Olympic Plaza and comprises a 1,000-seat multi-purpose theatre and 200-seat theatre. The community, visitors, and show-goers will enter from two entrances: Olympic Plaza and Stephen Avenue. This new space envelopes the new theatre spaces and leads to ground floor cafes, bars, and an event space on an upper floor. Its exterior walls lean back, respecting the public spaces of the Plaza and adjacent heritage and contemporary buildings. The walls also serve as a shield against Calgary’s north and west winds, ensuring the building remains a pleasant public realm even in colder months.

Inside, a winding staircase is lit from above with a skylight leads to second and third balcony levels, offering visitors generous views of the city. Embraced by a continuous lobby, both theatres are envisioned as flexible spaces for storytelling, learning, and gathering.

ACT introduces a new building to the Arts Commons site, and it gives Arts Commons the space to foster an inclusive environment, offers Calgarians and visitors alike new ways to engage with their community and partake in the richness of the performing arts, and contributes to the redevelopment and revitalization of Calgary’s downtown core.

Urban Design Review Panel Comments

Urban Design Review Panel Comments

Date	January 24, 2024	
Time	2:00	
Panel Members	Present Jeff Lyness (chair) Boris Karn Noorullah Hussain Zada Maria Landry Beverly Sandalack Brendan Stevenson	Distribution Kathy Oberg (chair) Rasool Ghodoosi Dehnavi Rick Gendron Katherine Robinson Ryan Martinson Raphael Neurohr
Advisor	David Down, Chief Urban Designer	
Application number	PE2024-00022	
Municipal address	222 8 Av SE	
Community	Downtown Commercial Core	
Project description	New: development Arts Commons Transformation	
Review	First	
File Manager	Colleen Renee-Grivell	
Urban Design	Sonny Tomic	
Applicant	Hindle Architects	

*Based on the applicant's response to the Panel's comments, the Chief Urban Designer will determine if further review will include the Panel or be completed internally only by Urban Design.

Summary

The Panel understands the critical nature of this site within Calgary's Primary Activity Centre and the ambition for the ACT Expansion project to become a transformative, open and inclusive arts hub and the next great civic space for Calgarians. Given the important nature of this project, the Panel appreciates the opportunity to review the design in a pre-application stage. As outlined during the presentation, the Panel understands that the building design is responding to Olympic Plaza in its current form and has been designed in isolation from the new design that is being completed as part of the Olympic Plaza Transformation project.

The Panel appreciates the design progress and graphical representation provided in the package, however key challenges with the proposal remain and the Panel strongly recommends that further review be undertaken. The Panel's concerns in general are summarized below:

- Given that the project is not responding to the future Olympic Plaza Transformation project at this time, a comprehensive site planning process has not been undertaken (as presented).
 - This is required as the aspirational outcomes noted by the applicant can not be achieved without the integration of both scopes in a considered manner. Anything less does a dis-service to the projects themselves and ultimately the citizens of the City of Calgary.
- The public realm interface with Olympic Plaza (in its current or future state) is of critical importance. The current design does not provide an active interface and a single non-prominent vestibule entry is insufficient.
- The building elevation along 7th Avenue SE is a solid, impermeable wall with no bounding edge improvements. The Panel understands that loading occurs behind the wall and that porosity may not be possible; however, a considered treatment of this edge as a primary face of the project is critical and was not addressed in the presented materials.
- Further consideration should be given to the west edge, the Teatro interface and the viability of the "pocket park" as designed given multiple back-of-house operations conflicts (loading, W&R staging, etc).
- Given the scale and location of the building, the roof should be treated as an equally important façade, even if it is not planned to be an occupied roof.

Please refer to the Urban Design Elements section for more detailed commentary.

Applicant Response

(2024-10-15)

1. *The site planning process was integral to the concept design phase and was comprehensive. The process took just under two years and involved close consultation with CMLC, The City, the local Indigenous community, and a variety of theatre and engineering consultants..*
2. *The design team acknowledges the critical importance of the public realm interface with Olympic Plaza, and has since developed a major aperture to the studio theatre that can act as a two-way interface to the plaza. The east entrance has also been made more prominent (and vestibuled).*
3. *The design team has since developed this edge by reducing the amount of precast concrete via lowering of the canopy, and extension of the studio theatre glazing. More significantly the design team has engaged a consultant to lead a public art procurement process. The entire north wall is available for public art.*
4. *This area will be designed by the Olympic Plaza Transformation (OPT) project and brought to UDRP seperately.*
5. *Noted. The design team considers the roof a 'fifth elevation,' and are aware of its visibility form surrounding high rises. Venting and protrusions have been consolidated and similarly coloured. Outdoor mechanical equipment is consolidated north of the fly tower and is concealed by a cladding enclosure.*

Urban Design Element	
Place Recognize and enhance the unique and emerging identity of a place by responding to surrounding context, local policy, and community objectives through the contribution of innovative architecture and public realm.	
Site	Does the site planning show innovation in addressing site constraints and challenges?
	Does the design respect existing topography, landscape, and archaeology?
	Does the site design accommodate people of all abilities?
Architecture	Is the project visually interesting and unique?
	Does the architecture respond to landmark and gateway opportunities presented by the site?
	Does the design reflect any distinctive social, cultural or historical aspects of the site and community?
Public Realm	Does the project contribute to the creation of a high quality, connected public realm?
UDRP Commentary	<p>The design offers a simple and unique building form with a refined material palette that offers visual interest through a density of vertical slats that carry up the building. The Panel understands that the basis of design was inspired by Indigenous lodge typologies which provided shelter and acted as a place for storytelling; however, the current design is lacking the connection to site and local culture of the city. Sense of place is intrinsically linked to site climate, sun and urban context, all of which require further consideration. There is an opportunity to more clearly link the design inspiration to the diversity and vibrancy of Alberta's and Calgary's natural landscapes as alluded to in the Applicant package.</p> <p>The Panel understands that the current design is responding to Olympic Plaza in its current state; however, it is fundamental that a comprehensive site planning process be undertaken in concert with the future Olympic Plaza Transformation. The success of this project will ultimately depend on the public realm interface and edge conditions, therefore a holistic approach is critical. The Panel hopes that future stages of the ACT project may be able to incorporate, coordinate and build upon the ongoing design progress of the Olympic Plaza Transformation project.</p>
Applicant Response	<p><i>The site planning process for this project was both lengthy and thorough, allowing the design team to carefully consider how the building form and location would enhance the public realm, as well as meet programmatic and environmental needs. A key aspect of the siting strategy was to create a strong connection between the theatre spaces, 8th Avenue, and the plaza, establishing a symbolic gathering place while addressing the operational and infrastructural requirements of the performing arts theatres.</i></p> <p><i>Given that the OPT project was still in the planning stages, it was essential for the site design to be adaptable to the current plaza conditions while also accommodating future developments. With the OPT project now greenlit, the design team is collaborating closely with the OPT team to develop a cohesive campus strategy.</i></p> <p><i>At the building's at-grade edges, we have achieved a seamless connection to the plaza through floor-to-ceiling glazing, featuring two prominent entrances and a unique large aperture that facilitates a two-way connection to the studio theatre. In the north and west sides, where operational requirements limit transparent inside-outside activation, the landscape design by the OPT team, complemented by a large public artwork project, will create vibrant, visually engaging edges.</i></p>
Scale Ensure appropriate transitions between building masses and adjacent places and spaces; define street and open space edges and bring human scale through articulation, materials, details and landscaping.	
Site	Does the arrangement of buildings and spaces on the site address street edges well?
	Is the scale and placement of buildings and structures appropriate for the street and public space size and type?
	Are large service and surface parking areas modulated and screened by structures and landscaping?
Architecture	Are design strategies employed to reduce the impact of building height and bulk?
	Are street walls well defined and of appropriate height to street width and type?
	Are human scaled elements and details included to enhance street character?
Public Realm	Are public spaces well edged and framed by structures and/or landscaping?
	Does the design include detail which will enhance street character and encourage use of the public realm?

UDRP Commentary	<p>The Panel appreciates the proposed massing strategy and building scale, including that it intentionally slopes away from the street, creating a less imposing building interface for pedestrians while also resulting in unique and voluminous interior spaces. However, the treatment of the surrounding building edges is lacking in its capacity to enhance the street character and public realm.</p> <p>Within its context, the building as presented is not a tall structure — as such, the Applicant could explore removing the facade detailing that visually indicates storeys or floors in favour of a more uniform façade treatment that would allow the building to more closely resemble the Indigenous building typologies it references.</p> <p>The building's elevation along 7th Avenue SE shows a solid, impermeable wall that screens the building's significant loading dock and back-of-house area. The sheer length and uniform treatment of this façade emphasizes this effect. The Panel is concerned this design approach will exacerbate an already unsafe and uninviting condition along 7th Avenue and urges the Applicant to reconsider alternative design strategies or treatments for this key edge given that it will be experienced by both passing and arriving pedestrians and CTrain users. There is a significant opportunity to turn this functional edge into a "billboard" for ACT or a public art display.</p>
Applicant Response	<p><i>The design team has made significant strides in refining the building edges to enhance the adjacent public realm. By closely coordinating with the OPT team, we aim to create a seamless integration that invites community interaction. Our ongoing iterations of the facade design reflect a commitment to aesthetic and conceptual values, particularly through the use of horizontal detailing. This design choice not only resonates with the natural striations found in indigenous construction but also evokes the landscape formations of the prairie coolee.</i></p> <p><i>In our recent design developments, the team has prioritized creating a more inviting and activated building interface. We've extended the glazing around the Studio Theatre's NE corner, fostering transparency and establishing a welcoming entrance to the plaza. Additionally, we've introduced a large opening for the Level 02 green room, enhancing visibility and connectivity. These adjustments, along with the pull-in of the second-tier massing, significantly reduce the building's visual weight on the north LRT corridor.</i></p> <p><i>Our approach to the building's design has focused creating an engaging, activated edge to the public realm and visual harmony. The design team has collaborated with a public art consultant to explore options for the at-grade north wall, ensuring it becomes a vibrant part of the public realm. Furthermore, we've made thoughtful changes, such as lowering the canopy at the NW corner, to achieve a consistent human scale along the corridor. These modifications not only enhance the building's presence but also enhance the surrounding environment.</i></p>
Amenity Ensure that public sidewalks and gathering spaces are generously proportioned, comfortable, safe, fully accessible, and framed by permeable facades which allow for activation throughout the year.	
Site	Are equitable, inviting access and varied movement options provided for all ages and abilities?
	Does the design work with sun orientation and seasonal climate variation?
	Does the site plan safely accommodate all travel modes?
	Are service and utility requirements located appropriately to lessen visual impact?
Architecture	Does the building(s) meet or exceed expectations for universal access design?
	Does the architecture create a pleasant street edge which feels safe to users?
Public Realm	Does the public realm design prioritize pedestrians and cyclists over vehicle access?
	Is the public realm visually interesting, comfortable, and safe during all seasons?
	Are the public spaces designed for people of all abilities and ages?
	Do the public spaces meet or exceed expectations for universal access design?
UDRP Commentary	<p>The public realm of this project is intimately tied to the future Olympic Plaza Transformation design which has not been presented as part of this package. The Panel understands that the Olympic Plaza Transformation is part of a separate project and will be presented at a later date. Therefore, the Panel will reserve its comments to amenity spaces that have been shown as part of this package. That said, the Applicant and the City are strongly encouraged to pursue an integrated approach to both the Arts Commons and Olympic Plaza. The question</p>

	<p>remains: if the projects were to have advanced in concert, would the building form and program placement be different?</p> <p>A pocket park has been shown on the west face of the building, adjacent to the loading area. This park space feels more like leftover space that connects the waste and recycling area to the loading behind an elevator core. Further design consideration is required in order to make this a successful amenity. Alternatively, the Applicant may consider re-allocating the space to building program to the benefit of other key edges or functional requirements if a pocket park proves unfeasible.</p>
Applicant Response	<p><i>Following the launch of the OPT project, the design teams collaborated closely to ensure an integrated approach. While adding additional programming to the pocket park was deemed unfeasible due to budget constraints, both the OPT and ACT design teams believe that this area will provide essential activation and landscape relief to an otherwise austere downtown corridor.</i></p>
<p>Legibility Create logical, permeable networks of streets and pathways that connect within and between neighbourhoods and public places; design well-defined community and building entrances with distinctive, memorable attributes.</p>	
Site	<p>Does the project provide a permeable, fine-grained and functional urban structure of blocks and streets?</p> <p>Does the project provide legible, accessible, continuous walking and cycling connections within the site that connect to adjacent systems and destinations?</p> <p>Does the proposed network consider future expansion into surrounding areas?</p> <p>Are large parking areas designed with clear, safe, direct pedestrian connections?</p>
Architecture	<p>Are buildings designed with clearly marked and differentiated entries to facilitate wayfinding?</p>
Public Realm	<p>Are the public routes and spaces configured to facilitate easy and safe navigation with clear paths and appropriately placed wayfinding elements?</p>
UDRP Commentary	<p>The building entries are not legible enough to bring people into the building nor celebrate it for what it is. It is of particular concern that there is only one entry on the building face that fronts Olympic Plaza. As a result, the primary building face fronting Olympic Plaza feels impermeable and results in a lack of clarity for people wanting to enter the building.</p> <p>The Panel understands loading and back-of-house considerations as key program and design drivers. It is unfortunate that this building needs to be designed to accommodate the loading movements of the largest possible vehicle classes for performance spaces that are understood to be more modest in size and capacity. The Panel appreciates the level of consideration and analysis required to accommodate the necessary large vehicle movements on a major one-way corridor. It will be imperative to ensure that loading activities requiring lane closures on 1st Street SE occur outside of the AM and PM peak periods of traffic.</p> <p>Although the Panel understands that loading will need to occur on the west edge of the building, there are several items that require further consideration along this face. With visitors via the CTrain and taxi/Uber likely arriving from the west side, additional activation along this frontage would provide a more welcoming and inviting feel. The project's interface with The Dominion Building / Teatro appears to isolate this building rather than embrace it as part of the larger design.</p>
Applicant Response	<p><i>The entries have been further developed to be more pronounced, featuring fully glazed vestibules that extend beyond the standard glazing line. Additionally, under-canopy lighting will highlight the entrance locations, complementing the future plaza design that will integrate with these entrances. A large opening into the studio theatre will facilitate a performance connection with the plaza.</i></p> <p><i>The loading bay is essential for the building's operations. A loading protocol, created in collaboration with Bunt and Associates and approved by The City's Mobility Engineering department, was included in the original permit package.</i></p> <p><i>The design team is also working with the OPT team to create a vibrant, inviting edge on the west side of the building. Locating the building immediately adjacent to the Dominion Building was not feasible, as it would require extensive renovations to its critical mechanical and operational infrastructure.</i></p>

Vibrancy Ensure that new developments are configured and designed to animate streets and public spaces with varied sizes and types of grade-oriented uses.	
Site	Will the building placement and orientation together with the arrangement and variety of uses activate the adjacent streets and public spaces?
	Will the project contribute to creating greater economic, employment and/or residential diversity in the neighbourhood?
Architecture	Does the building articulation, materials and details contribute to the vibrancy of the streets and public spaces?
	Is there a variety of residential and/or commercial unit types and sizes?
Public Realm	Do outdoor spaces provide varied experiences and accommodate people with diverse abilities?
UDRP Commentary	<p>Through discussions on the programming, the Panel feels that there is a need for more active uses within the building that could be used by a larger and more diverse demographic. There does not appear to be sufficient public programming contemplated to allow the ACT project to becoming a successful civic space and central hub.</p> <p>The design offers a visually interesting building treatment and simplicity of materials with the varying density of vertical battens, although with blank walls and a poor interface with the public realm. However, the Panel would like to see the roof treated as an equally important façade. Given the lower scale of the project, the roof will be highly visible by the surrounding higher buildings. The theme relating to emphasis on the environment should be considered all the way through, and an alternate treatment on the roof (such as green roof or plantings such as sedums) should be considered.</p>
Applicant Response	<p><i>The new building will offer a diverse range of inclusive public programming throughout the day, extending beyond the theatre's scheduled activities. The development of the studio theatre opening, along with ongoing collaboration with the OPT team, will enable the building to actively participate in civic events on the plaza.</i></p> <p><i>The roof is being considered as an important "fifth" elevation, given its visibility from surrounding high-rise buildings. Our goal is to ensure it is visually clean and presents an elegant, cohesive appearance from above. While the design team explored the possibility of a green roof, this option has been set aside due to cost and technical challenges associated with theatre construction.</i></p>
Resilience Ensure that projects provide opportunities, through their site layout, spatial configuration, materials, and sustainable design features for responsible operation and continuous adaptation to change over time.	
Site	Is the project designed to respond to change (economic, social, demographic or other) over time?
	Does the plan meet/exceed climate resilience/sustainable design expectations?
	Are active travel modes prioritized, and active lifestyle choices encouraged?
Architecture	Does the building show indication of sustainable design practices and materials?
	Is a range of uses accommodated; does the design anticipate future change?
	Is the building designed to endure over time with reasonable maintenance?
Public Realm	Are public spaces adaptable for multiple uses over short and medium term?
	Does the public realm design respond to climate resilience / sustainability expectations?
UDRP Commentary	The project is targeting LEED Silver and the Applicant is currently considering the possibility of putting PV panels on the roof. Given the public and civic nature of the building, the Panel would like to see the Applicant target more robust energy initiatives. To ignore the building performance and sustainability does not align with project concepts and values, especially given the necessary impact to the existing mature urban tree canopy required to realize the project. For example, the Applicant could consider targeting a certain percentage beyond NECB minimum requirements, or providing data regarding carbon savings with mass timber construction. The Panel would like to see more information on this topic at future stages of the project.

Applicant Response	<p><i>The design team has focused on maximizing the building's energy performance and sustainability within the established economic and programmatic realities.</i></p> <p><i>To achieve a lower Thermal Energy Demand Intensity (TEDI), the building will incorporate a high-performance envelope. It will also source heating energy from the District Energy System (DES) operated by Atlantica, which has indicated an average delivered heating efficiency of 145%, including associated pumping energy. Additionally, the building features a hybrid structure, utilizing mass timber for the lobby's primary framework, while the exterior cladding will consist of aluminum with high recycled content.</i></p>

Applicant Outreach Summary



Community Outreach for Planning & Development Applicant-led Outreach Summary

Project name: Arts Commons Transformation (ACT) Expansion

Did you conduct community outreach on your application? ☒ YES or ☐ NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

As ACT development manager, Calgary Municipal Land Corporation led an engagement program—seeking and collecting input from area stakeholders, the arts community and the public at large on the most important features and considerations for ACT. Between January 26 and May 31, 2021, CMLC engaged virtually with thousands of people who shared their ideas and aspirations for a future Arts Commons. Engagement was conducted virtually due to COVID-19 health and safety considerations at the time.

Two dozen stakeholder representatives attended a series of virtual roundtable sessions, and nearly 2,000 people completed an online public survey. These two components were conducted in different formats (interactive vs one-way responses) with different groups of people (an invited pool of community members and arts stakeholders vs the public at large); however, notably, the feedback from all interested parties landed on the same broad themes and, at times, on the exact same details.

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with.
(Please do not include individual names)

In collaboration with the rest of the ACT team, CMLC engaged with key stakeholders and user groups through four distinct events between January and May 2021.

1 January 26–29: Resident company engagement — one-on-one meetings with each of seven Arts Commons resident companies.

2 March 19–30: Stakeholder virtual roundtable sessions (three sessions: 24 individuals representing civic partners, advocacy groups, arts and culture organizations, community associations/BIAs, educational

institutions, entertainment promoters, theatre companies and festival organizers, arts and performance venues.

3 April 16–May 31: Public online survey (1,910 responses)

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

Broadly, engagement underscored the following themes:

- Building comforts and access: the importance of washrooms, parking, more comfortable seats, improved wayfinding, improved accessibility.
- Amenities that enhance experience: the significance of an arts destination that creates an experience, with amenities for gathering, eating and drinking.
- Flow of indoor and outdoor spaces: integrating Arts Commons with adjacent Olympic Plaza to create spaces for sitting, socializing and passing through.
- Programming: more variety and diversity in the offered programming.
- Sense of arrival: create a strong first impression with improved pick-up/drop-off areas, accessibility and common spaces for gathering before/after shows.
- Sense of belonging: removing barriers to access and making the building and its programming more accessible, affordable and inclusive.

See the full What We Heard Report here:

<https://www.calgarymlc.ca/resources/arts-commons-transformation-engagement>

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

The themes heard through the interested party and public engagement are reflected in the programmatic and architectural design of the ACT expansion in a number of ways, including, among others:

- Supported by an accessibility consultant, the expansion's design includes at-grade entry points at street-level and universal access to all levels of the building and all theatres and gathering spaces.
- The expansion's mix of venues and gathering spaces enable Arts Commons to accommodate more and more diverse programming and events that promote inclusivity and remove barriers to entry.
- The expansion is integrated with the adjacent Olympic Plaza to facilitate flow between indoor and outdoor spaces, and promotes connectivity between the ACT expansion and the surrounding public realm, retailers and cultural destinations.

- The expansion provides a variety of gathering places, including a striking Gathering Circle in the southwest corner of the main floor lobby, which facilitates a range of programming and gathering, and a lobby bar that enables food and beverage offerings.

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

Following engagement, CMLC shared the findings of engagement through a comprehensive What We Heard report that was shared with engaged interested parties and, through an integrated marketing and communications program, with Calgarians at large.

See the full What We Heard Report here:

<https://www.calgarymlc.ca/resources/arts-commons-transformation-engagement>

Development Permit in Sunnyside (Ward 7) at 810 – 9A Street NW, DP2024-01591

RECOMMENDATION:

That Calgary Planning Commission APPROVE Development Permit DP2024-01591 for a New: Multi-Residential Development (2 buildings) at 810 – 9A Street NW (Plan 2448O, Block 6, Lot 2 and a portion of Lot 3), with conditions (Attachment 2).

HIGHLIGHTS

- This application proposes a new multi-residential development consisting of two buildings and a total of eight dwelling units. The proposed floor area ratio (FAR) is approximately 1.59, requiring 364.74 square metres of bonus density and a corresponding cash contribution to the Hillhurst/Sunnyside Community Amenity Fund as per Direct Control (DC) District (Bylaw 83D2019).
- The proposed development aligns with the goals and policies of the *Municipal Development Plan* (MDP) and the *Hillhurst/Sunnyside Area Redevelopment Plan* (ARP), including supporting increased residential densities in areas that are well-served by existing infrastructure, amenities and transit.
- What does this mean to Calgarians? The proposed development would provide for additional housing options in close proximity to primary transit and a Neighbourhood Main Street.
- Why does this matter? By providing more housing choice within developed areas, Calgary will have a more diverse population living in close proximity to transit and existing services.
- The proposal is in general alignment with the discretionary use rules of Land Use Bylaw 1P2007 and the DC District, subject to one relaxation.
- There is no previous Council direction regarding this proposal.

DISCUSSION

This development permit application, located in the northwest community of Sunnyside, was submitted by Studio North on behalf of the landowner, Part + Parcel Developments Ltd., on 2024 March 07. The approximately 0.04 hectare (0.1 acre) parcel is located on 9A Street NW, directly north of 5 Avenue NW. The subject site is located one block east of the 10 Street NW Neighbourhood Main Street and approximately 200 metres (a three-minute walk) north of the Sunnyside LRT Station.

The development permit proposes a total of eight dwelling units in two buildings, with four units in each. Both buildings share the same height at three storeys (12 metres) and the same internal unit structure with one-bedroom units occupying the level at grade and two-bedroom units occupying levels two and three. Refer to the Development Permit Plans (Attachment 3) and the Applicant Submission (Attachment 4) for further information.

As part of the review process, the application was reviewed by Administration's Urban Design and Open Space team; however, it was not referred to the Urban Design Review Panel due to the small scale of the proposal. The proposed floor area of approximately 666.16 square metres represents an additional 364.74 or 0.87 FAR above the base density of 0.72 FAR.

Development Permit in Sunnyside (Ward 7) at 810 - 9A Street NW, DP2024-01591

A detailed planning evaluation of this application, including location maps, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed development permit application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with relevant public groups and the community association was appropriate. In response, the applicant held a virtual meeting with the Hillhurst Sunnyside Community Association on 2024 March 07 and connected with the Sunnyside Brightening Committee and neighbouring landowner throughout the application process. The Applicant Outreach Summary can be found in Attachment 5.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to relevant public groups, notice posted on site and published [online](#).

Administration received two letters in opposition from the public, noting the following areas of concern:

- building height and setbacks are inconsistent with other buildings on the street;
- finish materials do not reflect the surrounding neighbourhood context;
- absence of vehicle stalls may lead to increased parking and traffic congestion;
- drainage issues as a result of hard surfaced landscaped area; and
- privacy and shadowing impacts on neighbouring properties.

No comments from the Hillhurst Sunnyside Community Association (CA) were received. Administration contacted the CA to follow up, and no response was received.

Administration considered the relevant planning issues specific to the proposed development and has determined the proposal to be appropriate. The proposal is well-aligned with relevant planning policies and complies with all building height, setback and landscaping requirements established through the Direct Control (DC) District. Following Calgary Planning Commission, Commission's decision will be advertised in accordance with the *Municipal Government Act*.

IMPLICATIONS

Social

The proposed development would provide additional housing options in a location well served by existing infrastructure and in close proximity to services and transit.

**Planning and Development Services Report to
Calgary Planning Commission
2024 October 31**

**ISC: UNRESTRICTED
CPC2024-1168
Page 3 of 3**

Development Permit in Sunnyside (Ward 7) at 810 - 9A Street NW, DP2024-01591

Environmental

The applicant has indicated that they plan to pursue specific measures as part of this development permit to support Program D of the *Calgary Climate Strategy – Pathways to 2050*. Additional details are provided in Attachment 1.

Economic

The proposed development represents an efficient use of the site by adding density, which supports local businesses in the Kensington Business Improvement Area. The proposal also provides for transit accessible housing in close proximity to downtown and other employment areas along the LRT network.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Conditions of Approval
3. Development Permit Plans
4. Applicant Submission
5. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the inner-city community of Sunnyside on the east side of 9A Street NW, north of 5 Avenue NW. The site is a single midblock parcel approximately 0.04 hectares (0.1 acres) in size and approximately 11 metres wide by 37 metres deep. The site is currently developed with a single detached dwelling and has rear lane access on the east property line.

Land use in the area is predominantly the Multi-Residential – Contextual Grade-Oriented (M-CGd72) District, with surrounding development ranging from single detached dwellings to low-rise multi-residential buildings. Lands to the south between 9A Street NW and 10 Street NW contain a mix of commercial, multi-residential and Direct Control (DC) Districts that have facilitated neighbourhood growth through a number of larger mixed-use and multi-residential projects.

The site is approximately 200 metres (a three-minute walk) north of the Sunnyside LRT Station. The 10 Street NW Neighbourhood Main Street is located approximately 180 metres (a three-minute walk) to the west and the Kensington Road Neighbourhood Main Street is located approximately 760 metres (a 12-minute walk) to the south, providing a wide range of retail, service and restaurant uses, including a supermarket within 375 metres (a six-minute walk) of the site. The site has good access to parks and open space. McHugh Bluff is located immediately east of the site across the lane and includes a playground, pathways and an off-leash dog area. The Bow to Bluff corridor runs along 9A Street NW from the subject site to Memorial Drive NW and provides recreational spaces as well as pedestrian and bicycle connections to the Bow River pathway system. Riley Park is located approximately 370 metres (a six-minute walk) to the west of the site.

Community Peak Population Table

As identified below, the community of Sunnyside reached its peak population in 2019.

Sunnyside	
Peak Population Year	2019
Peak Population	4,230
2019 Current Population	4,230
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Sunnyside Community Profile](#).



Previous Council Direction

None.

Planning Evaluation

Land Use

The subject site is designated as a DC District ([Bylaw 83D2019](#)) based on the Multi-Residential – Contextual Medium Profile (M-C2) District. The DC District is intended to accommodate multi-residential development of medium height and density, and to implement the bonus density provisions of the *Hillhurst/Sunnyside Area Redevelopment Plan* (ARP).

The DC allows for a maximum base floor area ratio (FAR) of 0.72, with the opportunity to increase to a maximum of 2.5 through a contribution to the Hillhurst/Sunnyside Community Amenity Fund, which is included in the conditions of approval. The current bonusing rate is \$21.46 per square metre for proposed floor area exceeding the base FAR. This application proposes approximately 666.16 square metres of gross floor area, which includes 364.74 square metres of bonus density. This equates to a 1.59 FAR, or 0.87 FAR above the base, which results in a required contribution of \$7827.32. The cash contribution rates are adjusted annually on January 1 by the Development Authority, based on the Statistics Canada Consumer Price Index for Calgary.

The DC District has a maximum height of 16.0 metres but differs from the base M-C2 District by allowing for reduced building setback areas and specific rules for landscaped areas.

Development and Site Design

Site and Building Design

The proposed multi-residential development is comprised of two buildings, each three storeys (12 metres) in height, and includes a total of eight dwelling units. The front building is oriented toward 9A Street NW, and the rear building is oriented toward the lane and adjacent park. Each building contains four dwelling units, with two ground-level units and two larger stacked units above, accessed from the second level. Private amenity areas are located near each entrance in the form of patios and balconies, with additional balcony space provided for the upper units at the interior of the site. The four metres of space between the two buildings at grade is proposed to store eight bicycle stalls – class 1 and half of the waste carts, with the other half stored within an enclosure at the lane. Four bicycle stalls – class 2 are proposed, with two at the front of the parcel and two at the rear.

Urban Design Review

The proposed development was reviewed by Urban Design and Open Space (UDOS) throughout the Development Application Review Team circulation process. Due to the small scale of the proposed development in terms of size and dwelling units, the application was not referred to the Urban Design Review Panel for additional design input.

The UDOS review of the application identified several areas for improvement, highlighting the following concerns with the original design:

- upper units were accessed by common stairs in the courtyard and primary entrances were not visible from the public realm;
- amenity spaces were located in the courtyard, leaving at-grade patios covered by balconies and an overhead walkway connecting the upper units to the stairs; and
- building elevations were lacking adequate articulation.

In response to Administration's detailed review of the application, the applicant amended the building design to relocate unit entrances and amenity spaces to the front and rear of the site, and instead utilized the courtyard space for bicycle parking and waste storage. The building elevations were also improved, in particular the north elevation, which could not contain any glazing with its original proposed placement on the north property line.

Transportation

Pedestrian access to the site is available from the existing sidewalk on 9A Street NW. As part of the Always Available for All Ages and Abilities (5A) Network, existing on-street bikeways are located on 5 Avenue NW, 3 Avenue NW, 10 Street NW and 9A Street NW providing active transportation connections to downtown, SAIT and the Bow River pathway system.

The site is well served by Calgary Transit bus and LRT service. The site is located within 200 metres (a three-minute walk) of the Sunnyside LRT Station and within 370 metres (a six-minute walk) of bus service on 10 Street NW including Routes 4 (Huntington), 5 (North Haven) and 104 (Sunnyside/University of Calgary).

The site falls within Residential Parking Permit (RPP) Zone 'L' and on-street parking is available on the east side of 9A Street NW. Parking is restricted to permit holders on weekdays between 8:00 a.m. and 6:00 p.m.

A paved lane is available at the rear; however, the proposed development does not include vehicle access to the site, and the applicant has provided a parking study in support of the proposed zero parking. Administration accepts the findings of the study and considers the proposal appropriate without the need for transportation demand management measures beyond the required bicycle parking.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water and sanitary services are available to the subject site. Redevelopment of the site will require a storm sewer main extension. Servicing requirements will be reviewed by Water Resources as part of the Development Site Servicing Plan (DSSP) application.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed development permit builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Neighbourhood Main Street land use typology as identified on Map 1: Urban Structure of the [Municipal Development Plan](#) (MDP). Neighbourhood Main Street policies encourage ground-oriented housing, low-scale apartments and mixed-use buildings with appropriate transitions from the higher activity main street to adjacent low density areas. The proposal is in keeping with relevant MDP policies as the development would provide for greater housing choice and increased density in an area with good access to amenities and the Primary Transit Network.

Calgary Climate Strategy (2022)

Administration has reviewed this application in relation to the objectives of the [Calgary Climate Strategy – Pathways to 2050](#) programs and actions. The applicant has committed to providing conduits to allow for the future installation of solar photovoltaic panels for electricity generation, supporting Program D: Renewable energy – Implement neighbourhood-scale renewable energy projects of the *Climate Strategy*.

Hillhurst Sunnyside Area Redevelopment Plan (Statutory – 1988)

The subject site falls within the Transit Oriented Development (TOD) Area of the [Hillhurst/Sunnyside Area Redevelopment Plan](#) (ARP) and is subject to the policies within Part II of the plan. The site is located within the Medium Density land use policy area as identified on Map 3.1: Land Use Policy Areas, which is intended to accommodate a modest increase in density and offer a broader range of housing choice. The maximum building height in the ARP for the site is 16 metres (Map 3.3: Building Heights). Section 3.1.5 of the ARP includes

provisions for bonus density, with the opportunity to increase the development site base floor area ratio (FAR) from 0.72 to a maximum of 2.5.

The proposed development aligns with relevant ARP policies, as it would provide for medium density infill development and includes a contribution to the Hillhurst/Sunnyside Community Amenity Fund in exchange for additional floor area.

Riley Communities Local Area Plan (Proposed)

Administration presented the proposed [Riley Communities Local Area Plan](#) (LAP), which includes Sunnyside and surrounding communities, to the Infrastructure and Planning Committee on 2024 October 16. The proposed LAP will be presented to Council on 2024 December 03 with a recommendation for approval. The proposed development is in alignment with the applicable urban form category and building scale modifier for the subject site in the proposed LAP. Development applications are being accepted for processing while the project is in progress; however, applications are reviewed using existing legislation and Council approved policy only, including the existing ARP.

Land Use Bylaw 1P2007 and Direct Control District (83D2019)

Administration highlights one proposed relaxation to the Land Use Bylaw 1P2007 in the table below. Administration has reviewed the relaxation and considers it to be acceptable for the reasons outlined in the table below.

Bylaw Relaxations			
Regulation	Standard	Provided	Administration Rationale Supporting a Relaxation
558 Motor Vehicle Parking Stalls	(a) 0.625 stalls per Dwelling Unit (4 stalls*)	0	The site's location within a TOD area and near a Main Street reflects a reduced demand for vehicle ownership compared to most areas. The relaxation allows for the development to front onto the adjacent park space, improving the interface between the private and public realm, which is supported by ARP policy. A relaxation of the required 4 parking stalls would not unduly interfere with the amenities of the neighbourhood or affect the use, enjoyment, or value of neighbouring properties.

**The subject site qualifies for a 25.0 percent reduction of motor vehicle stalls as per Section 560.*

Conditions of Approval

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.
2. Remit payment (certified cheque, bank draft) for contribution to the Hillhurst/Sunnyside Community Amenity Fund as per DC Direct Control District (83D2019) in the amount of \$7,827.32

Contribution amount is based on the following:

\$21.46 per square metre x 364.74 square metres = \$7,827.32

Utility Engineering

3. Submit a fire flow letter, prepared by a qualified professional engineer under seal and permit to practice stamp to the satisfaction of Development Approvals Team Leader, Utility Specialists. The fire flow letter shall identify the type of the development, address of the development, DP application number and the fire flow required for the developing property. The Letter is to reference the Fire Underwriters Survey. If the City watermain does not have the flows available to meet the fire flow requirements of the developing property, the City main must be upgraded at the cost of the developer. Letters required to be submitted via email to: WA-ResourcesDevelopmentApprovals@calgary.ca for approval.

The available fire flow available in the adjacent City watermain is 10,000 LPM (2 Hydrant flow) with 15m residual pressure under normal operating conditions.

4. Submit a Development Site Servicing Plan for review and acceptance from Water Resources, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005. Contact [Water Resources](#) for additional details. For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

5. The subject property requires a storm sewer connection (main extension) and is within the storm redevelopment levy area. As the parcel is smaller than 700m², the applicant may:
 - a. Provide a drywell design at the Development Site Servicing Plan (DSSP) stage sized to store the 1:100 year 24-hour storm event in the gravel drainage rock;
 - b. Submit payment for the storm redevelopment fee (\$84 / m frontage) at the DSSP stage; and
 - c. Provide block profiles that conform to the Standard Block Profile Specifications for CAD and Manual Formats for the proposed storm sewer extension as a part of the DSSP submission for approval by Water Resources. Onsite storm service must be stubbed by the Developer to the property line adjacent to the proposed main extension. The main extension and service to the stub will be done by the City of Calgary.

If the applicant would like to pursue a main extension at their expense, they must enter into an indemnification agreement for work within the City Right-of-way. This must be completed prior to the DSSP application.

6. Amend the plans to:

Utility Engineering - Water Servicing

- a. Indicate an adequate water meter area where the services (50mm and smaller) enter the building.

Note: Label the meters on the main floor plan inside the mechanical room, as they need to be inside the building.

7. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024. The off-site levy is based on a 2024 development approval date and was based on the following:

Phase	Description	Unit(s)
1	810 9A ST NW	Existing Single: 1/New Grade: 8

Based on the information above, the preliminary estimate is \$33,856.00.

Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.

- Include the completed Payment Submission Form, which was emailed to the applicant.

- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Development Commitments, Infrastructure Strategist (DANIELA PAUL-GUTIERREZ at 5872156525 or daniela.paul-gutierrez@calgary.ca) or offsitelevy@calgary.ca.

Permanent Conditions

The following permanent conditions shall apply:

Planning

8. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
9. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
10. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
11. All areas of soft landscaping must be irrigated with an underground irrigation system, as identified on the approved plans.
12. When the main floor of each building is constructed, submit the geodetic elevation to Geodetic.Review@Calgary.ca.
13. A letter of confirmation from a certified electrical engineer shall be provided to the Development Authority, prior to the issuance of the Development Completion Permit, that the buildings have been constructed to be 'solar ready' and able to accommodate solar photovoltaic (PV) panels for the purpose of electricity generation. For solar PV, at least 2.5 cm (1") nominal diameter constructed of rigid or flexible metal conduit, rigid PVC conduit, liquid tight flexible conduit or electrical metallic tubing (as per Section 12 of the Canadian Electrical Code Part 1 concerning "raceways") should be installed.
14. Any damage to public parks, boulevards or trees resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact the Development Inspector Jackie Swartz at 403-620-3216 for an inspection.

15. No stockpiling or dumping of construction materials is permitted on the adjacent park or boulevard.
16. There shall be no construction access through the adjacent boulevard lands.
17. There shall be no construction access through the adjacent park across the rear lane - McHugh Bluff Playground.
18. In order to ensure the integrity of existing public boulevard and preserve the area for future public trees, construction access is only permitted through the rear lane.
19. In order to ensure the integrity of existing public boulevard, no grade changes are permitted in the boulevard.

Utility Engineering

20. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment and Protected Areas and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Climate and Environment (Contaminated Sites Section) must be immediately notified (311).
21. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a

minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions. The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

22. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Director of Water Resources.
23. The grades indicated on the approved Development Site Servicing Plan must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
24. Prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.
25. Pursuant to Bylaw 1H2024, off-site levies are applicable.

Mobility Engineering

26. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.
27. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager of Transportation Planning, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca

Development Permit Plans



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Cover

Scale
As Noted

Drawing No.

A0

Data and Statistics

Proposed Site Density

418.25 m² Site Area
223 m² Building Site Coverage (111.5 m² per Building)
605.4 m² GFA*
1.45 Total Site FAR
8 Dwellings
191 Dwellings/HA

*Site density bonus to be achieved via contribution to Hillhurst/Sunnyside Community Amenity Fund

Proposed Building Height

12.25m Proposed Building Height

Amenities and Landscaping

7m² Private Amenity Space Per Dwelling (Min.)
32.8m² Shared Amenity Space
42.75m² Landscaped Area

Exterior Lighting Specifications

A Flush Mounted Wall Sconce. Mounted 5'-10" AFF. 60W Maximum Wattage

B LED Strip Lighting Under Facade Flashing. Mounted 9'-0" AFF. 2.2W Per Foot @ 168 Feet Total

C LED Strip Lighting Under Canopies and on Deck Undersides. 1W Per Foot @ 96 Feet Total

Waste Facilities Calculation

8 Dwellings x .24 m³
= 1.92 m³ / 1,920 L
8 Garbage Bins Provided [Stored in Center Courtyard]
4 Recycling Bins Provided [Stored in Rear Enclosure]
4 Organics Bins Provided [Stored in Rear Enclosure]

Bike Parking Requirements

8 Dwellings x 1 Stall Per Dwelling
= 8 Bike Parking Stalls Required
8 Class 1 Parking Stalls Provided

Climate Adaptation Measures

Buildings will be 'solar ready' and able to accommodate solar photovoltaic [PV] panels for the purpose of electricity generation.



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot 3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Data and Statistics

Scale
As Noted

Drawing No.

A001



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:



SW Site Corner



NE Site Corner



East Site Context



Aerial Site Plan



Macro Site Context



Rear View from Bluff to East

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Site Photographs

Scale
As Noted

Drawing No.

A002



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

All Existing Trees and Bushes On Site
to be Removed

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

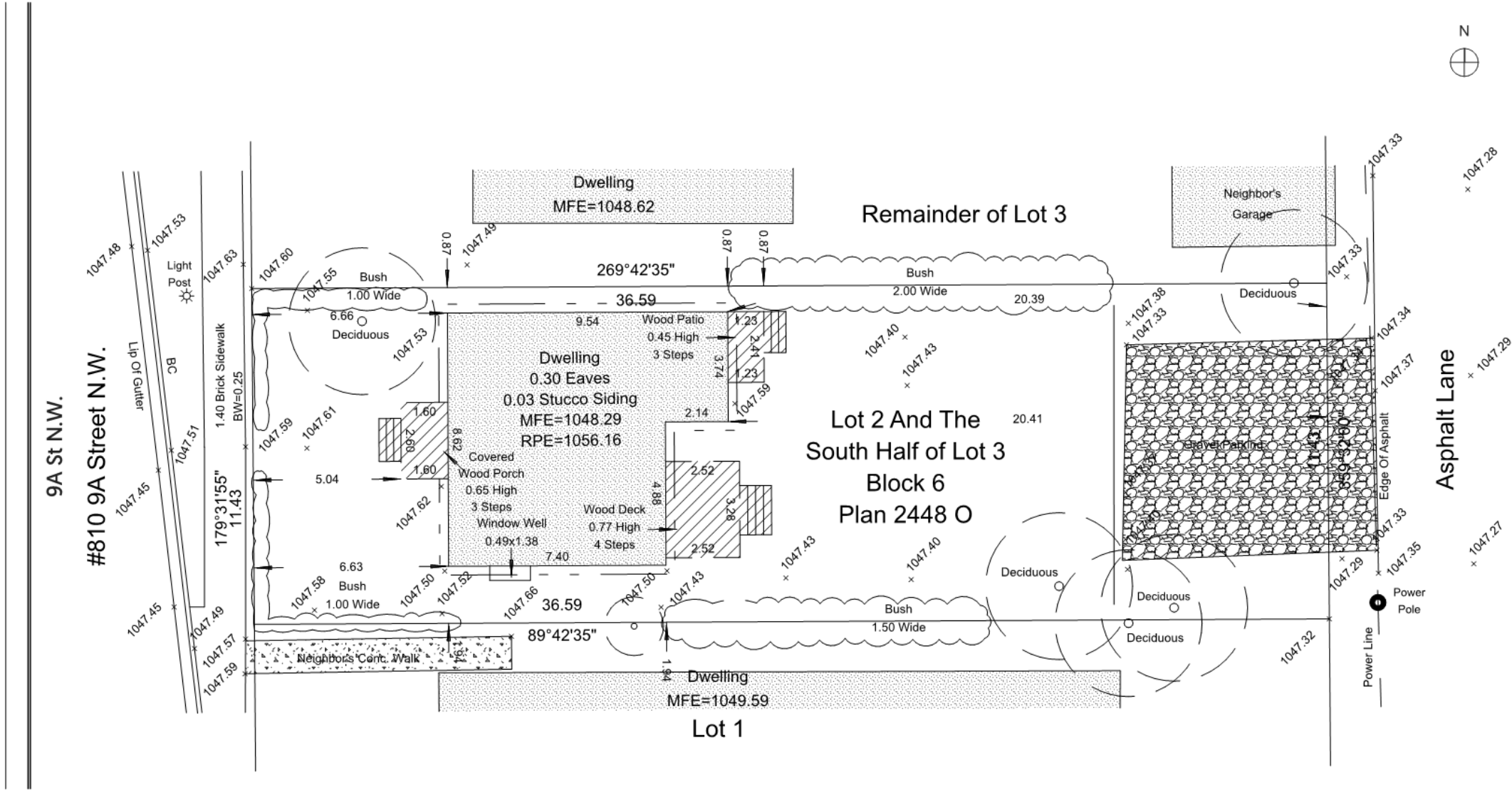
Date
10/9/2024

Drawing Title
Site Plan - Existing

Scale
As Noted

Drawing No.

A101



1 Site Plan - Existing
A101 SCALE: 1:150

Primary Locate Report

Alberta One-Call Ticket #: 20240204385

Large Project Ticket Type valid for 60 days,
all other Ticket Types are valid for 30 days!

Locatorbase.net Ticket
Alberta One Call
Ticket No.: 20240204385
Locate to be Completed by : Jan 16, 24
Contractor : Studio North
Contact :
Alt. Contact:
Caller Email:
City: Calgary Prov: Alberta
Address: 810 9a street nw
Nearest Intersection: 5 ave nw
Additional Info: locates for construction of multifamily development//Building addition//Mechanical Excavation
EMAXSCH AGSCLGNW CLGYCITY ENMAXOH CLC EMAXDU
Area Marked: N
SW-21-24-01-W5
User Reference: 118
Type of Work: Construction
Depth: 1-3 m Exc. Size: 520 sq m
Type of Property: Urban, Pvt.
Work Being Done For: Private, Contractor (Subcontractor only)
SW,S21,T24,R1,M5
Station Codes: CLC
District Codes: CLC
Transmit Date: Jan 09, 24 Time: 3:06 PM Op: BYDP Web

LOCATE MARKS ARE APPROXIMATE ONLY. HAND EXCAVATION IS REQUIRED WITHIN ONE (1) METER OF LOCATION MARKS. LOCATE SLIP MUST REMAIN WITH MACHINE OPERATOR (EXCAVATOR) DURING OPERATION ON THE JOB SITE AT ALL TIMES.

of Parties Located 01 02 03 04 05 06

ENMAX (RED)
☐ PRIMARY CABLES
☐ SECONDARY CABLES
☐ DIRECT BURIED
☐ CABLES IN DUCT
☐ EL COMM
☐ EMPTY DUCT
☒ NO LOCATE

ATCO GAS (YELLOW)
☒ SERVICE MAIN
☐ MANHOLES / CB
☐ ABANDON
☐ PVC *
☐ NO LOCATE

ATCO PIPELINE (YELLOW)
☐ HP FACILITIES
☒ NO LOCATE
☐ LOCATED VIA. GPS

TELUS (ORANGE)
☐ DIRECT BURIED
☐ CABLES IN DUCT
☐ EMPTY DUCT
☐ FIBRE (F.O.T.S.)*
☒ ABANDONED
☐ NO LOCATE

CITY OF CALGARY (RED/ORANGE)
☒ STREET LIGHT
☐ TRAFFIC CONTROL
☐ LRT RIGHT OF WAY
☐ CITY I.T. FIBRE *
☐ EL COMM. SAFETY
☐ CAMERA *
☐ SECONDARY CABLES
☐ NO LOCATE

CITY OF CALGARY WATER SERVICES (BLUE/GREEN)
☐ WATER VALVE / MH / CB
☐ WATER / SAN / STM MAIN
☒ NO LOCATE
☐ LOCATED VIA. GPS

Locator's Name : (Please Print)

Date : Jan 16 2024

Arrival : 4:45 PM

Departure : 5:30 PM

Company : Studio North

Accepted By :

* HIGH PROFILE FACILITY PROCEDURES * (SEE STICKER)

Field sketch and Located Area shown on Primary Locate Report(s)

☐ Work Area has been REDUCED as per :

SKETCH LEGEND :

TELUS / Comm
CITY I.T.
FOTS / Fibre
Duct / Conduit
Elec / Power
Pwr / Tel Comm
IP Gas
MP Gas
HP Gas
Water
Sewer
Fence
Guardrail

Building Line
Road Edge
Property Line
Lot Line
Curb
Railway
Measurement
Tree
Work Area
North Direction
Pedestal
Gas Valve
Water Valve

Vault
Transformer
Manhole
Catch Basin
Pole
Streetlight
Gas Stub
Hand Hole
Hydrant
Switch Cubicle
Pull Box
Streetlight with Pedestal
Anchor

Water Curb Cock
Power Vault
Electrical Apparatus
CONFLICT - MUST HAND EXPOSE
Power Streetlight
Power Secondary
Power Primary
Traffic Controller Box
Traffic Detector
Traffic Line Work
Traffic Line ABND

TELUS Fibre
FOTS
CITY I.T.
HIGH PRESSURE GAS
HP

IF THERE ARE ANY CONCERNS WITH THIS LOCATE, PLEASE CONTACT
THE CALGARY LOCATE REPORTING SERVICE AT: 403-245-7252 MONDAY - FRIDAY 7:30AM - 4:00PM

Auxiliary Locate Report

AB One-Call Ticket #: 20240204385

Address : 810 9a street nw

Located By :

9a street nw

SL 0.1m UNDER FOW

WALK

LL

LL

810

GAS SVC

0.3m

PL

CONFLICT

TWA 520 sq m

WARNING

ATCO Natural Gas Distribution Facilities have been identified in your dig area. All ATCO Natural Gas Distribution Facilities must be exposed by hand or hydrovac prior to mechanical excavation!

Primary, Auxiliary, and Supplemental Locate Report(s) must be on site and in the hands of the machine operator during work operations. Should sketch and markings not coincide, a new locate MUST be obtained.

Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

All Existing Trees and Bushes On Site
to be Removed

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Site Plan - Existing Utilities

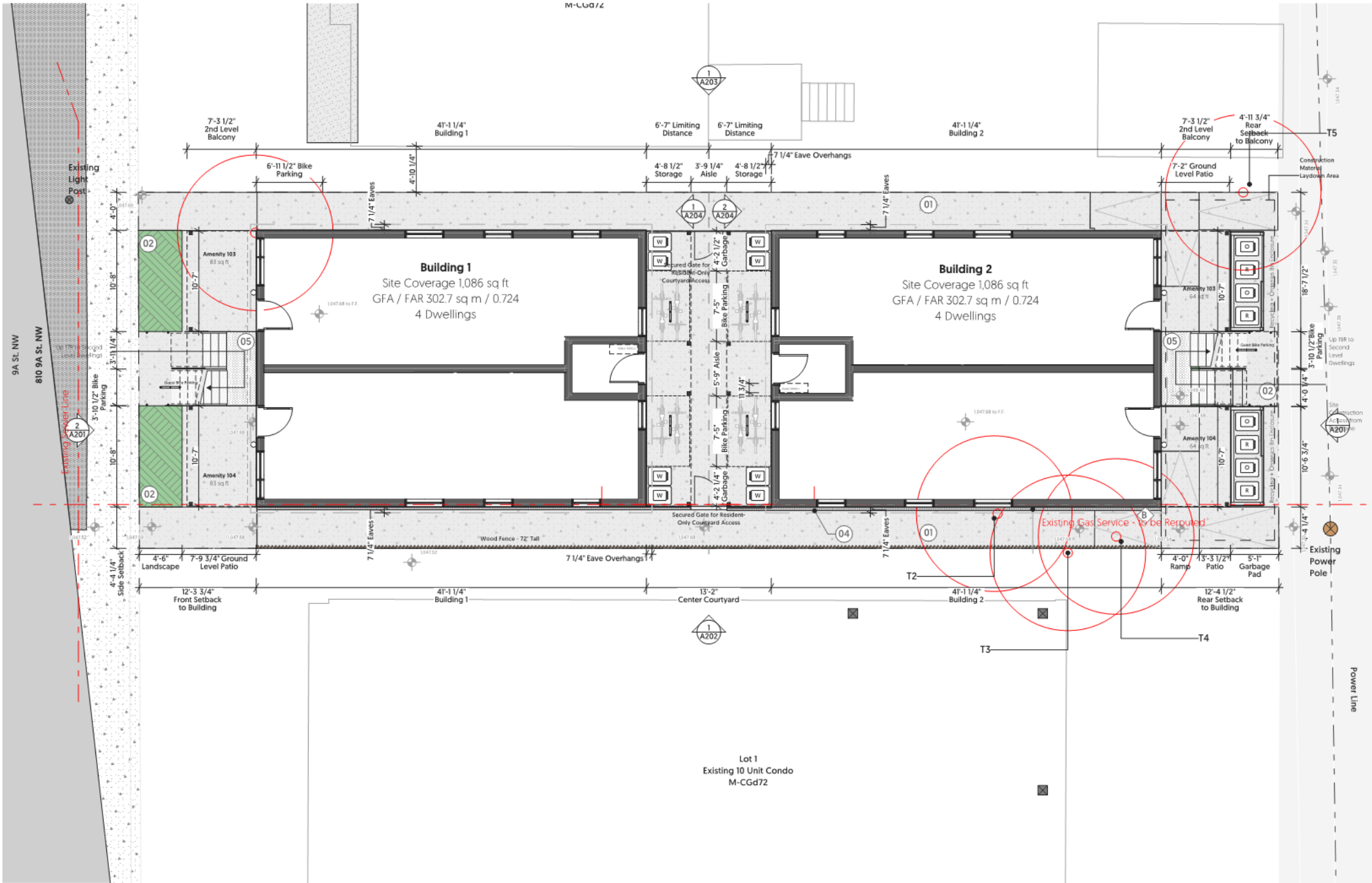
Scale
As Noted

Drawing No.

A102

CPC2024-1168 Attachment 3
ISC:UNRESTRICTED

Page 5 of 22



1 Site Plan - Proposed
A103 SCALE: 3/32" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Concrete Paving
- 02 Mulch Landscaping w/Planting
Beds are irrigated with
underground irrigation system
- 03 Non-Slip Rubber Decking Surface
- 04 Drainage Channel w/ Grate Cover
- 05 Metal Grate Walkway

Waste and Recycling to be Serviced via
Private Collection.

All Existing Trees and Bushes to be
Removed.

All Elements Proposed Unless Otherwise
Indicated

Site Construction Access to be Only From
Rear Lane.

Buildings will be 'solar ready' and able to
accommodate solar photovoltaic (PV)
panels for the purpose of electricity
generation.

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

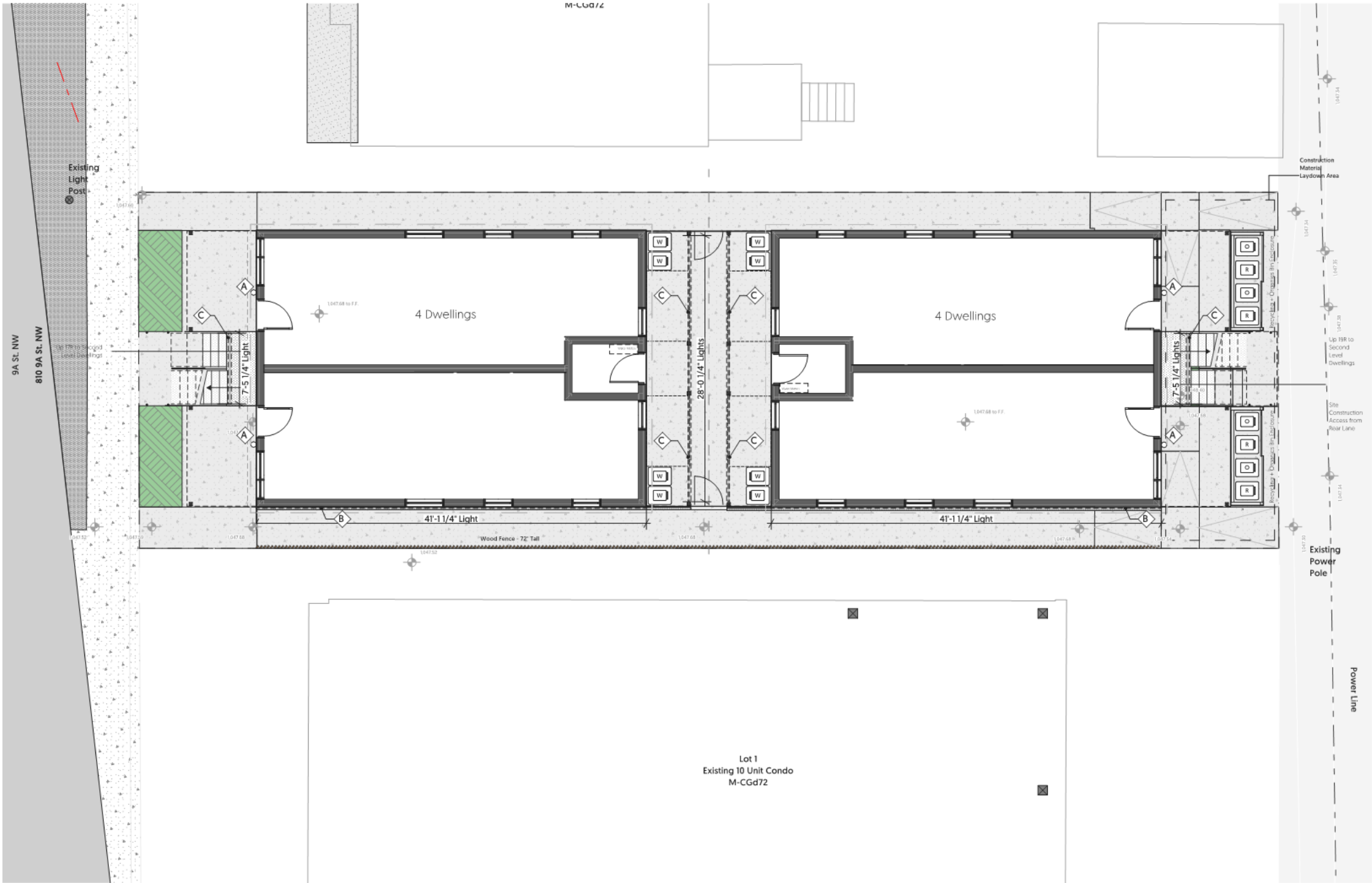
Date
10/9/2024

Drawing Title
Site Plan - Proposed

Scale
As Noted

Drawing No.

A103



1 Site Plan - Proposed Lighting
A104 SCALE: 3/32" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Lighting Legend

A Flush Mounted Wall Sconce, Mounted 5'-10" AFF, 60W Maximum Wattage
B LED Strip Lighting Under Facade Flashing, Mounted 9'-0" AFF, 2.2W Per Foot @ 168 Feet Total
C LED String Lighting Under Canopies and on Deck Undersides, 1W Per Foot @ 96 Feet Total

Waste and Recycling to be Serviced via Private Collection.

All Existing Trees and Bushes to be Removed.

All Elements Proposed Unless Otherwise Indicated

Site Construction Access to be Only From Rear Lane.

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot 3, Block 6, Plan 2448 O

Drawn By
HP

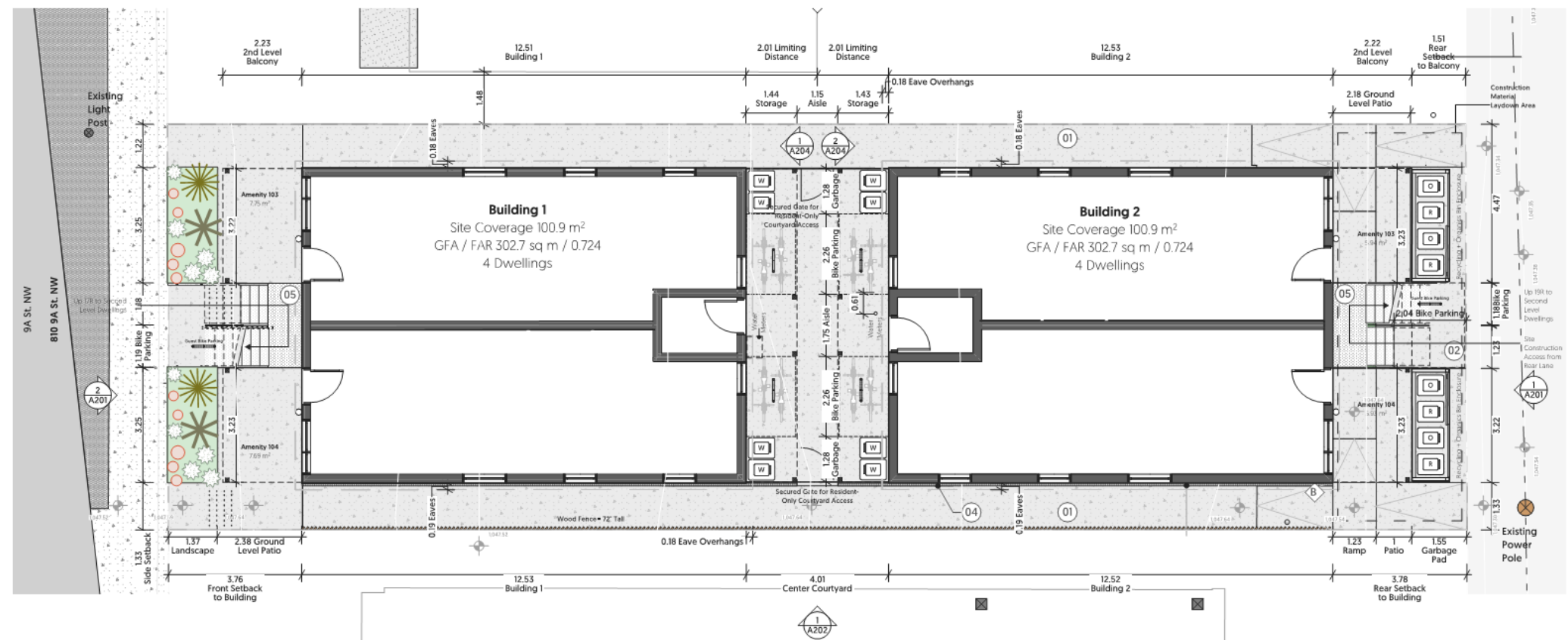
Date
10/9/2024

Drawing Title
Site Plan - Proposed Lighting

Scale
As Noted

Drawing No.

A104



1 Site Plan - Proposed Landscape
A105 SCALE: 3/32" = 1'-0"

Trees	Botanical / Common Name	Caliper	Height	Quantity
	Populus tremula 'Erecta' / Swedish Columnar Aspen	75mm	--	2
	Picea glauca 'Columnaris' / Columnar White Spruce	--	3m	2
Shrubs				
	Arctostaphylos uva-ursi / Bearberry	--	30 cm	10
	Symphoricarpos albus / Snowberry	--	60 cm	10
*Beds are irrigated by an underground irrigation system				



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Concrete Paving
- 02 Mulch Landscaping w/Planting
Beds are irrigated with
underground irrigation system
- 03 Non-Slip Rubber Decking Surface
- 04 Drainage Channel w/ Grate Cover
- 05 Metal Grate Walkway

All Existing Trees and Bushes to be
Removed

All Elements Are Proposed Unless
Otherwise Indicated

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

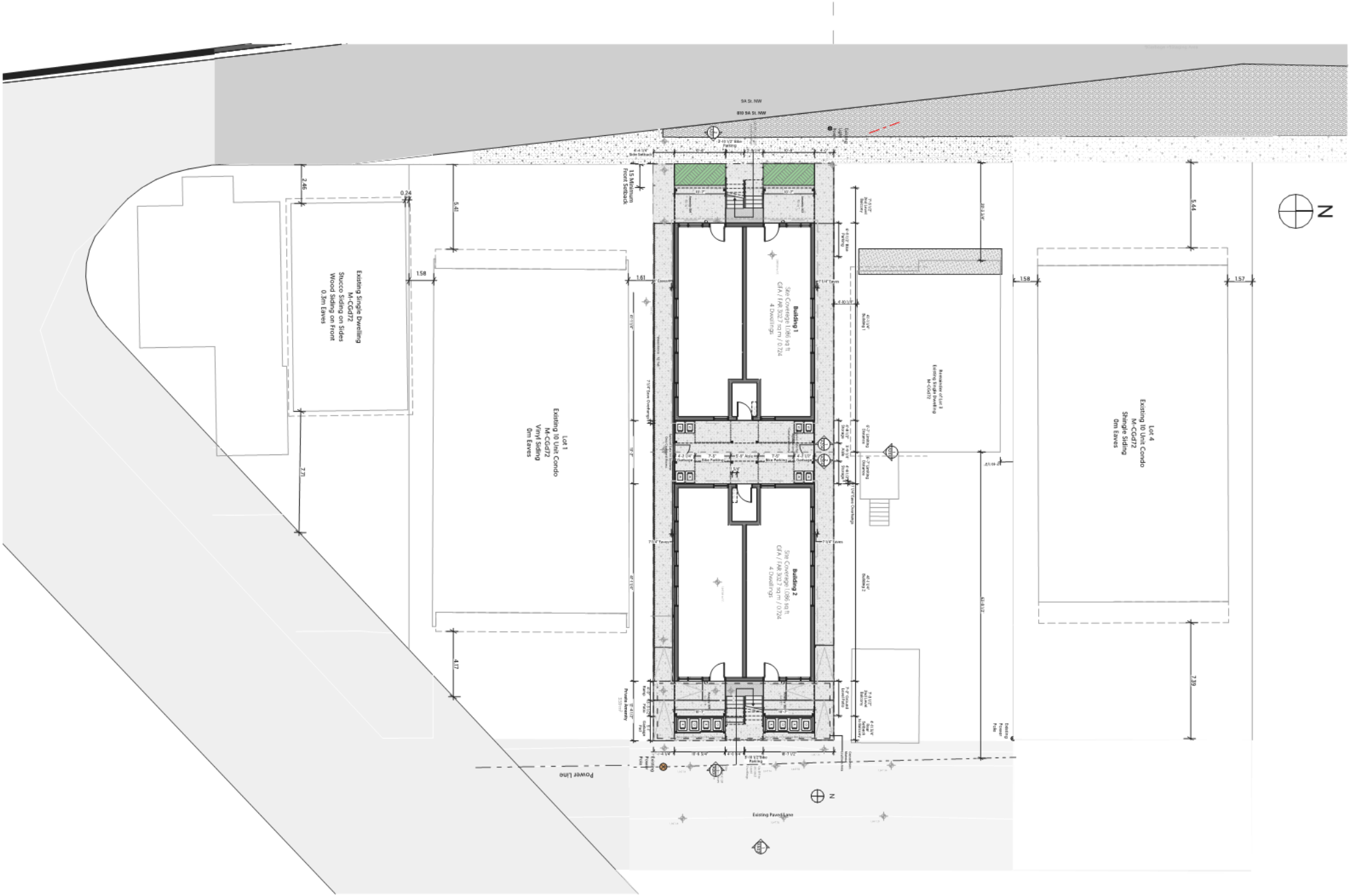
Date
10/9/2024

Drawing Title
Site Plan - Proposed Landscape

Scale
As Noted

Drawing No.

A105



1 Block Plan - Proposed
A105 SCALE: 1:250



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Concrete Paving
- 02 Mulch Landscaping w/Planting
Beds are irrigated with
underground irrigation system
- 03 Non-Slip Rubber Decking Surface
- 04 Drainage Channel w/ Grate Cover
- 05 Metal Grate Walkway

All Existing Trees and Bushes to be
Removed

All Elements Are Proposed Unless
Otherwise Indicated

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Block Plan - Proposed

Scale
As Noted

Drawing No.

A106



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

All Elements Are Proposed Unless
Otherwise Indicated

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

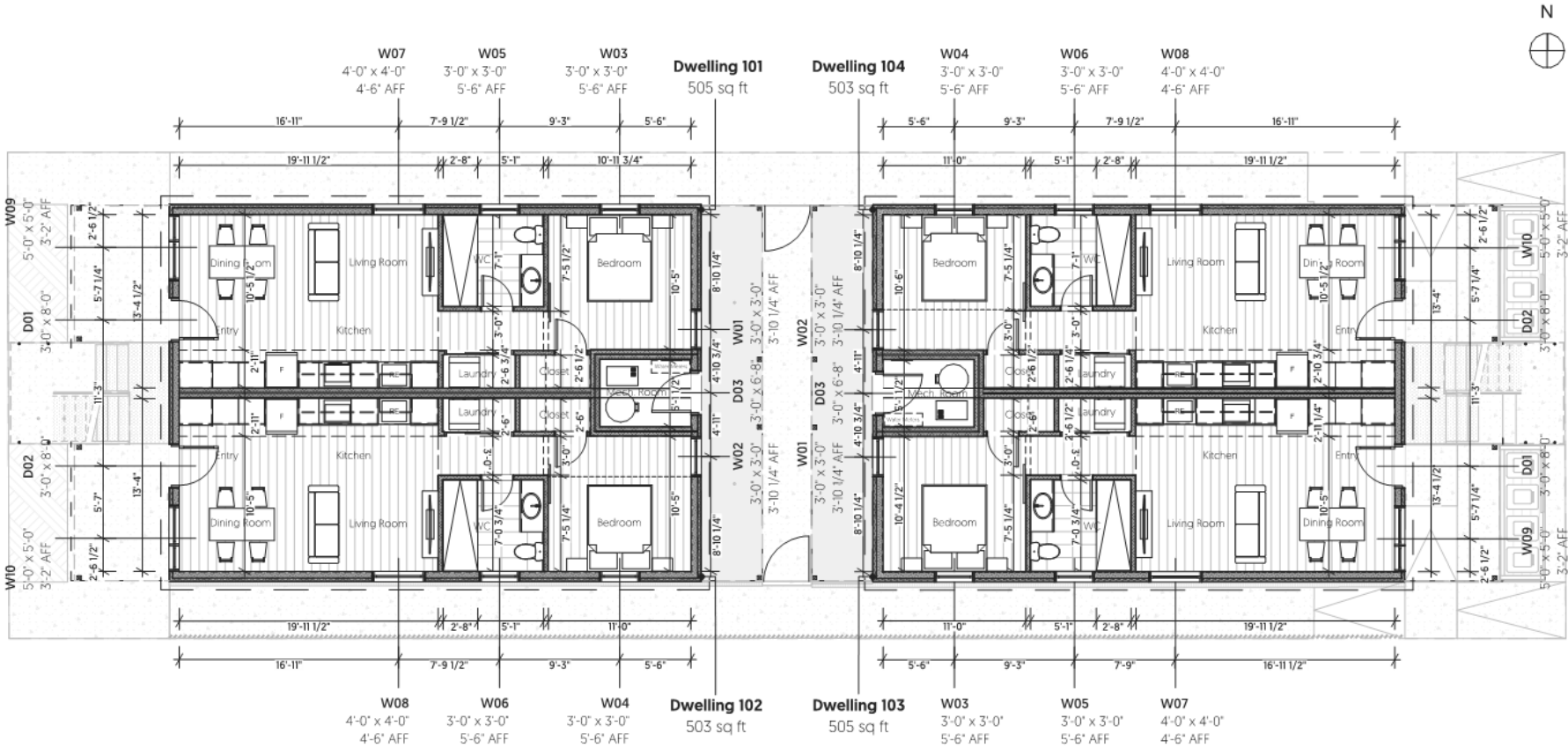
Date
10/9/2024

Drawing Title
Main Floor Plan

Scale
As Noted

Drawing No.

A107



1
A107

Main Floor - 100 Level

SCALE: 3/32" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Concrete Paving
- 02 Mulch Landscaping w/Planting
Beds are irrigated with
underground irrigation system
- 03 Non-Slip Rubber Decking Surface
- 04 Drainage Channel w/ Grate Cover
- 05 Metal Grate Walkway

All Elements Are Proposed Unless
Otherwise Indicated

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

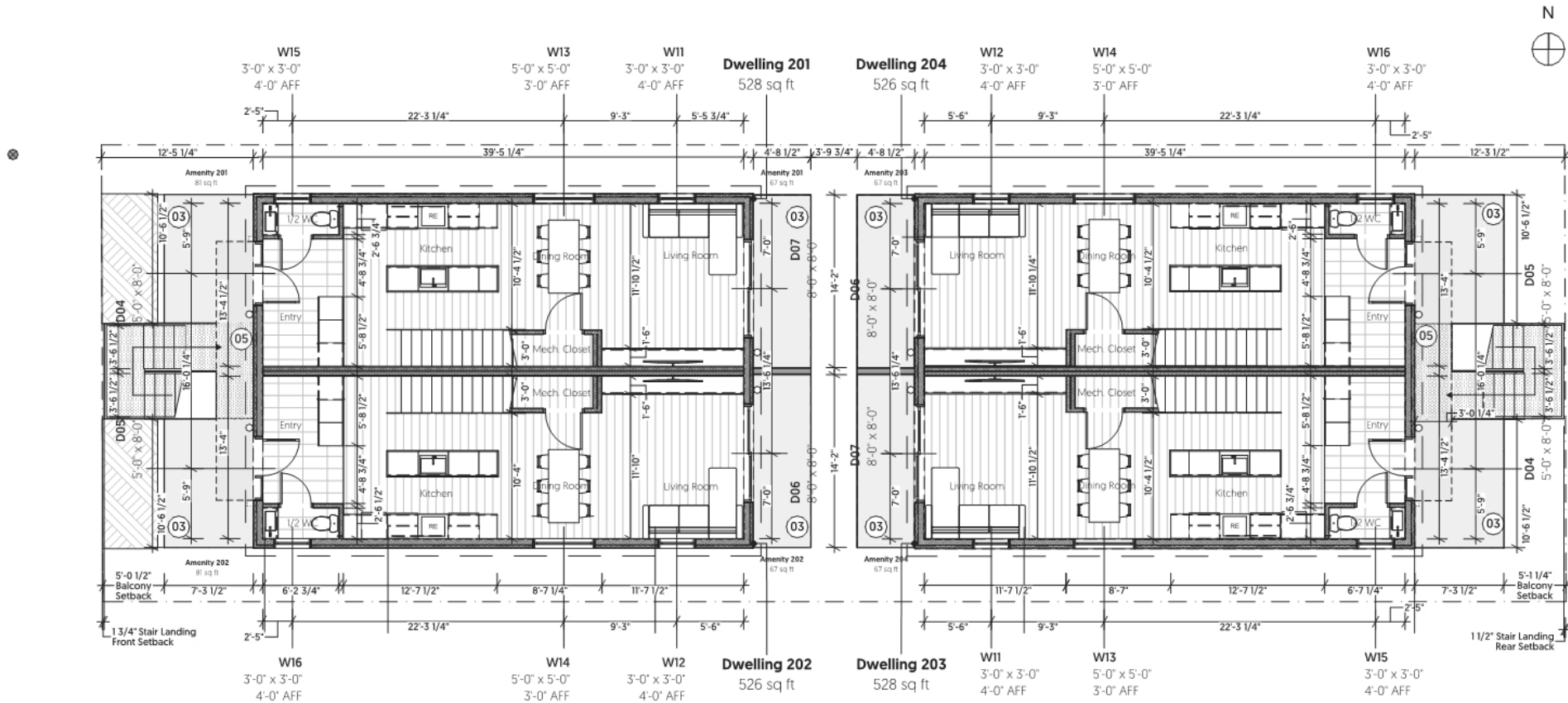
Date
10/11/2024

Drawing Title
Second Floor Plan

Scale
As Noted

Drawing No.

A108



1
A108
Second Floor - 200 Level
SCALE: 3/32" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

All Elements Are Proposed Unless
Otherwise Indicated

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

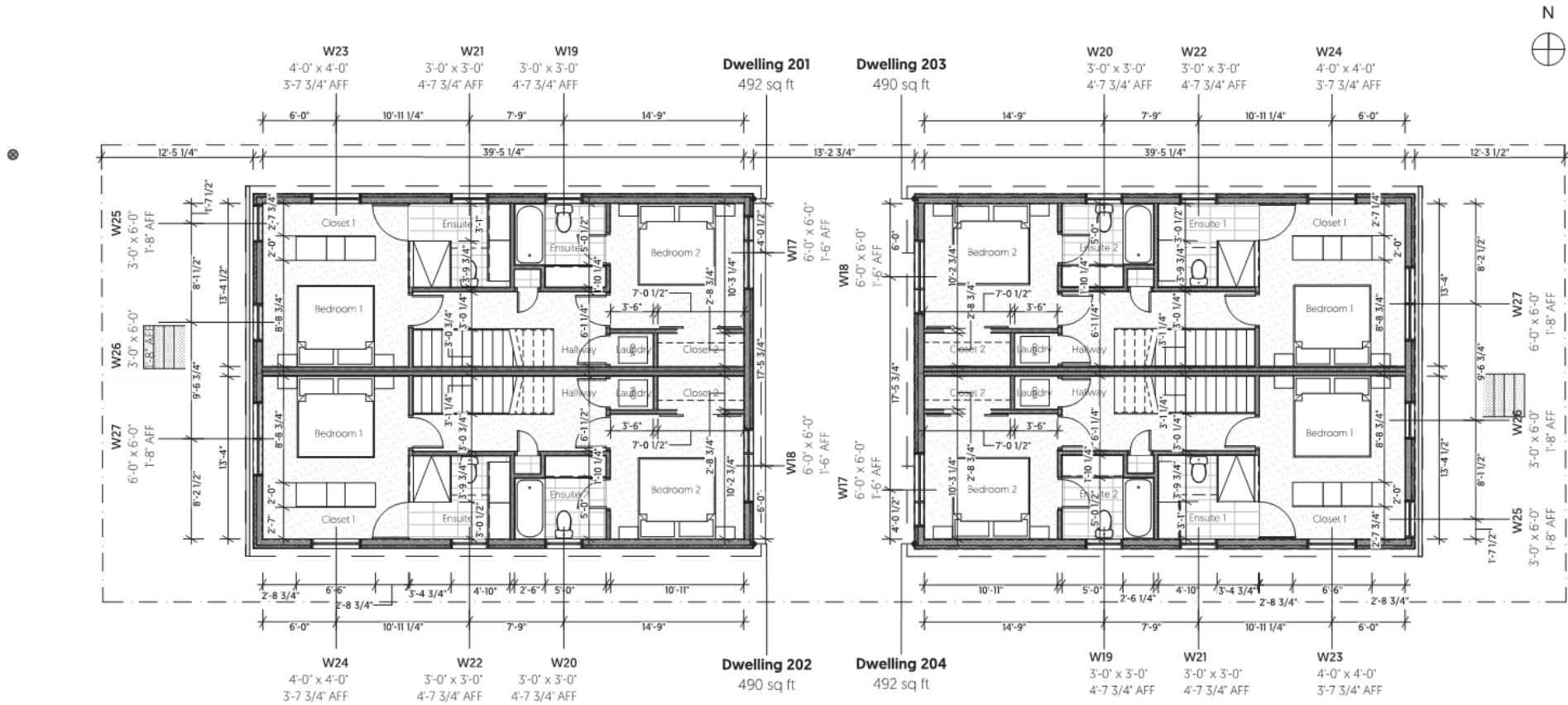
Date
10/9/2024

Drawing Title
Third Floor Plan

Scale
As Noted

Drawing No.

A109



1
A109
Third Floor - 200 Level
SCALE: 3/32" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Horizontal Wood, Natural Stain
- 02 White Cementitious Panel w/ Mural Art
- 03 White Metal
- 04 Gray Asphalt Shingle Roof
- 05 Vertical White Corrugated Metal Siding
- 06 Coloured Cementitious Panel
- 07 Coloured Metal
- 08 Coloured Perforated Metal
- 09 Vertical White Corrugated Siding
- 10 White Cementitious Panel

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Short Elevations to Street + Lane

Scale
As Noted

Drawing No.

A201



1 Building 2 East Elevation
A201 SCALE: 1/8" = 1'-0"



2 Building 1 West Elevation
A201 SCALE: 1/8" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Horizontal Wood, Natural Stain
- 02 White Cementitious Panel w/ Mural Art
- 03 White Metal
- 04 Gray Asphalt Shingle Roof
- 05 Vertical White Corrugated Metal Siding
- 06 Coloured Cementitious Panel
- 07 Coloured Metal
- 08 Coloured Perforated Metal
- 09 Vertical White Corrugated Siding
- 10 White Cementitious Panel

Project Name

Goodweather Multifamily

Project No.

118

Civic Address

810 9A St NW Calgary, AB

Legal Description

Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By

HP

Date _____

10/9/2024

Drawing Title

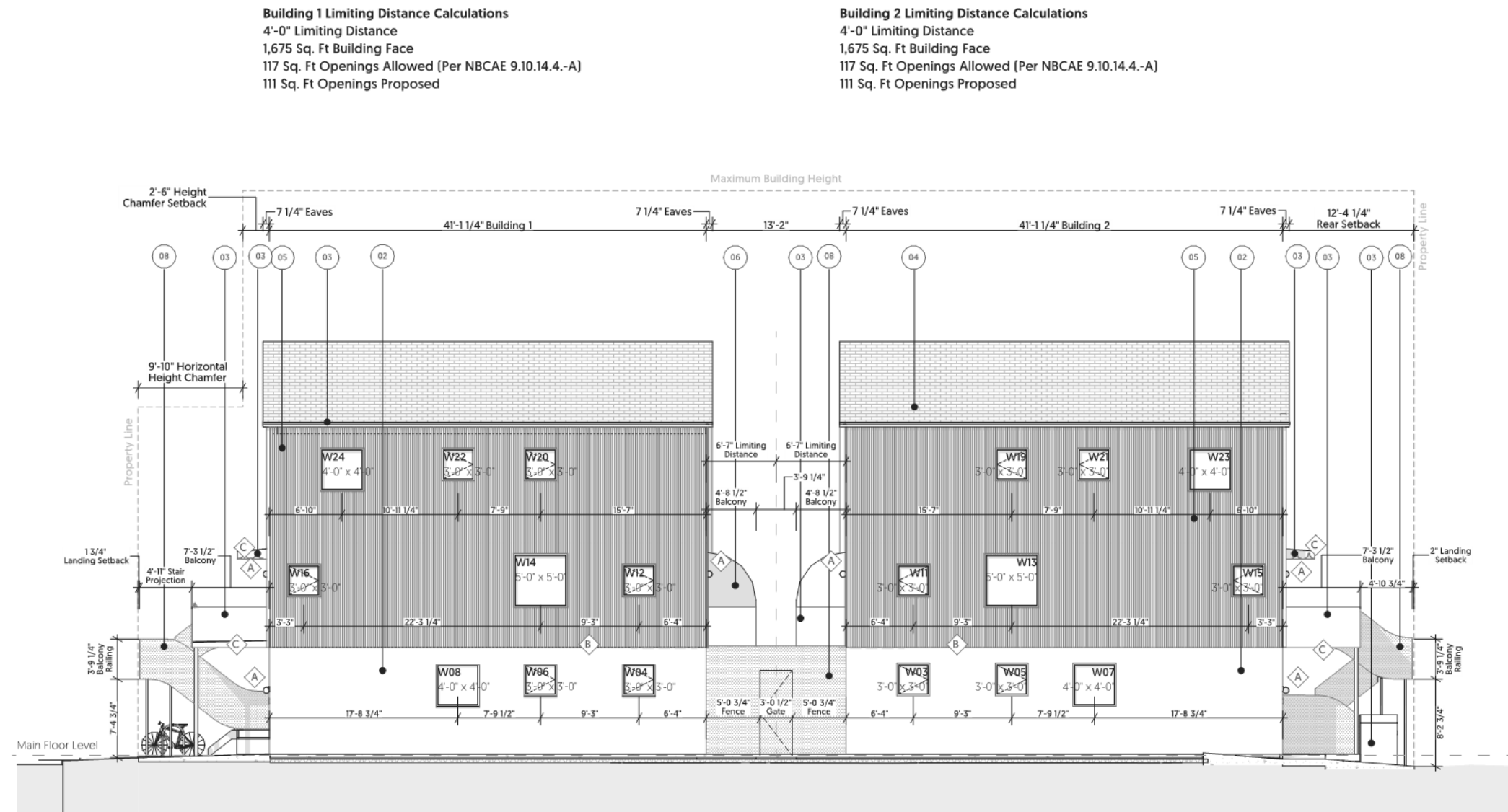
South Elevation

Scale

As Noted

Drawing No.

A202



1 South Elevation
A202 SCALE: 3/32" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Horizontal Wood, Natural Stain
- 02 White Cementitious Panel w/ Mural Art
- 03 White Metal
- 04 Gray Asphalt Shingle Roof
- 05 Vertical White Corrugated Metal Siding
- 06 Coloured Cementitious Panel
- 07 Coloured Metal
- 08 Coloured Perforated Metal
- 09 Vertical White Corrugated Siding
- 10 White Cementitious Panel

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
North Elevation

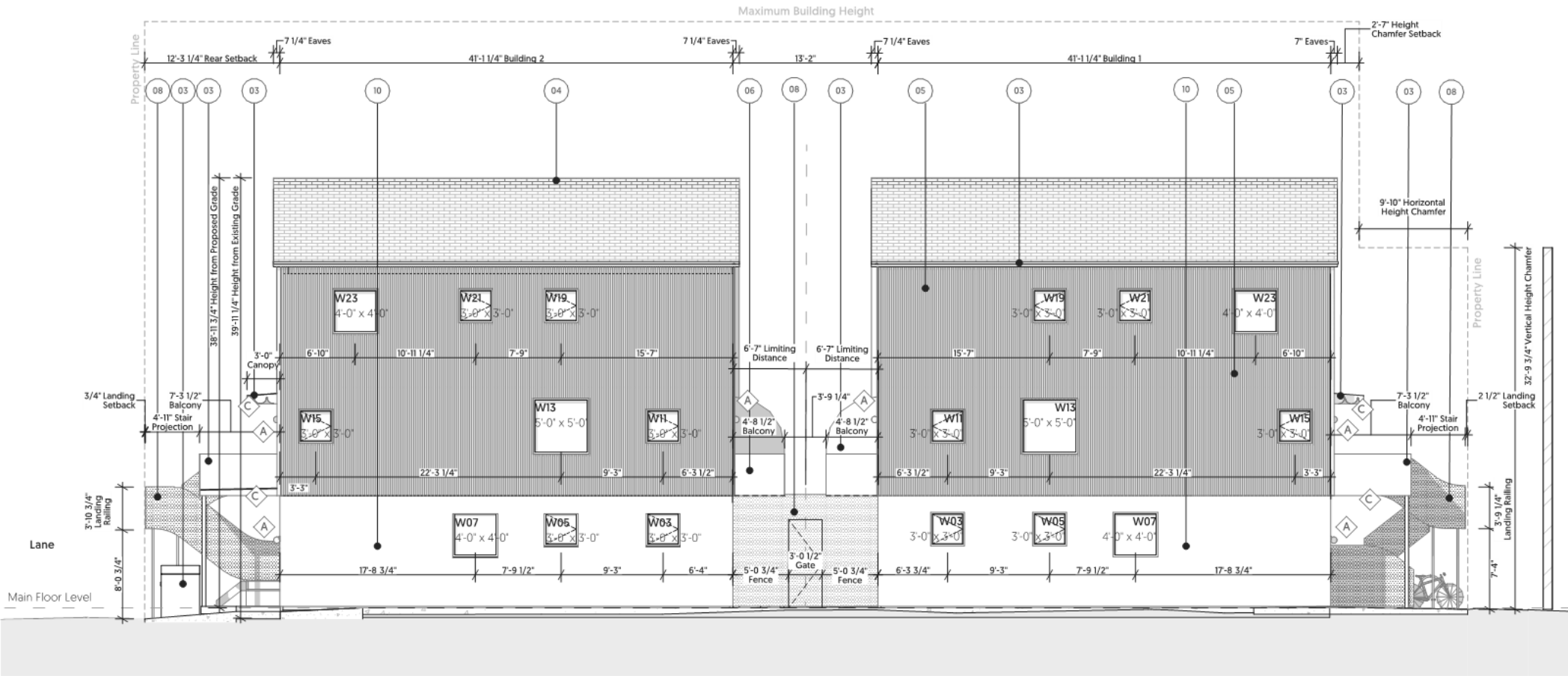
Scale
As Noted

Drawing No.

A203

Building 2 Limiting Distance Calculations
4'-0" Limiting Distance
1,675 Sq. Ft Building Face
117 Sq. Ft Openings Allowed (Per NBCAE 9.10.14.4.-A)
111 Sq. Ft Openings Proposed

Building 1 Limiting Distance Calculations
4'-0" Limiting Distance
1,675 Sq. Ft Building Face
117 Sq. Ft Openings Allowed (Per NBCAE 9.10.14.4.-A)
111 Sq. Ft Openings Proposed



1 North Elevation
A203 SCALE: 3/32" = 1'-0"

Building 1 Limiting Distance Calculations
2m Limiting Distance
1,070 sq ft Building Face Area
96.3 sq ft Openings Allowed (Per NBCAE 9.10.14.4.-A)
90 sq ft Openings Proposed



1 Building 1 East Elevation
A204 SCALE: 1/8" = 1'-0"

Building 2 Limiting Distance Calculations
2m Limiting Distance
1,070 sq ft Building Face Area
96.3 sq ft Openings Allowed (Per NBCAE 9.10.14.4.-A)
90 sq ft Openings Proposed



2 Building 2 West Elevation
A204 SCALE: 1/8" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Horizontal Wood, Natural Stain
- 02 White Cementitious Panel w/ Mural Art
- 03 White Metal
- 04 Gray Asphalt Shingle Roof
- 05 Vertical White Corrugated Metal Siding
- 06 Coloured Cementitious Panel
- 07 Coloured Metal
- 08 Coloured Perforated Metal
- 09 Vertical White Corrugated Siding
- 10 White Cementitious Panel

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

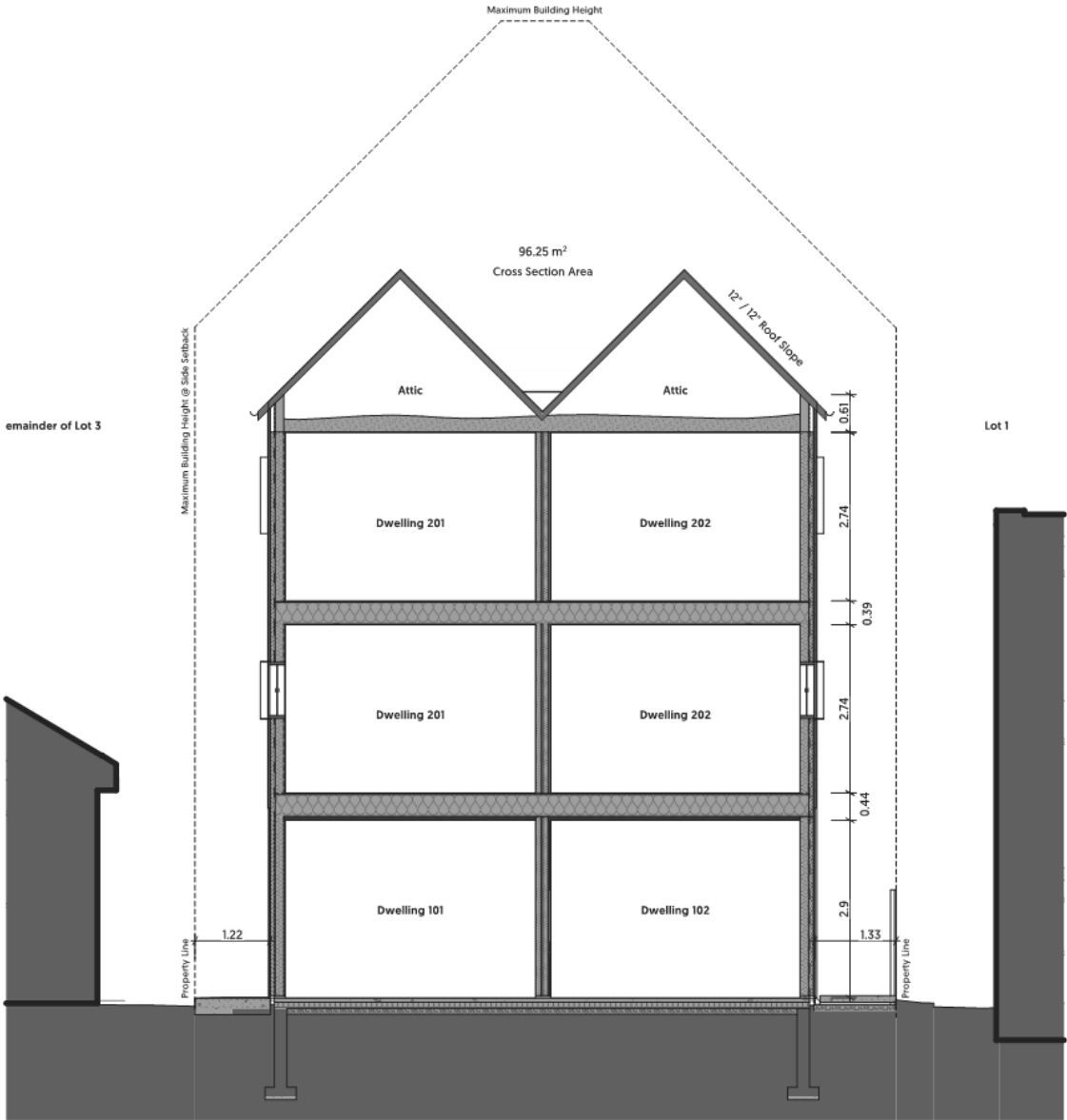
Date
10/9/2024

Drawing Title
Short Elevations to Courtyard

Scale
As Noted

Drawing No.

A204



1
A301

Short Section - Building East

SCALE: 1/8" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Short Sections

Scale
As Noted

Drawing No.

A301



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

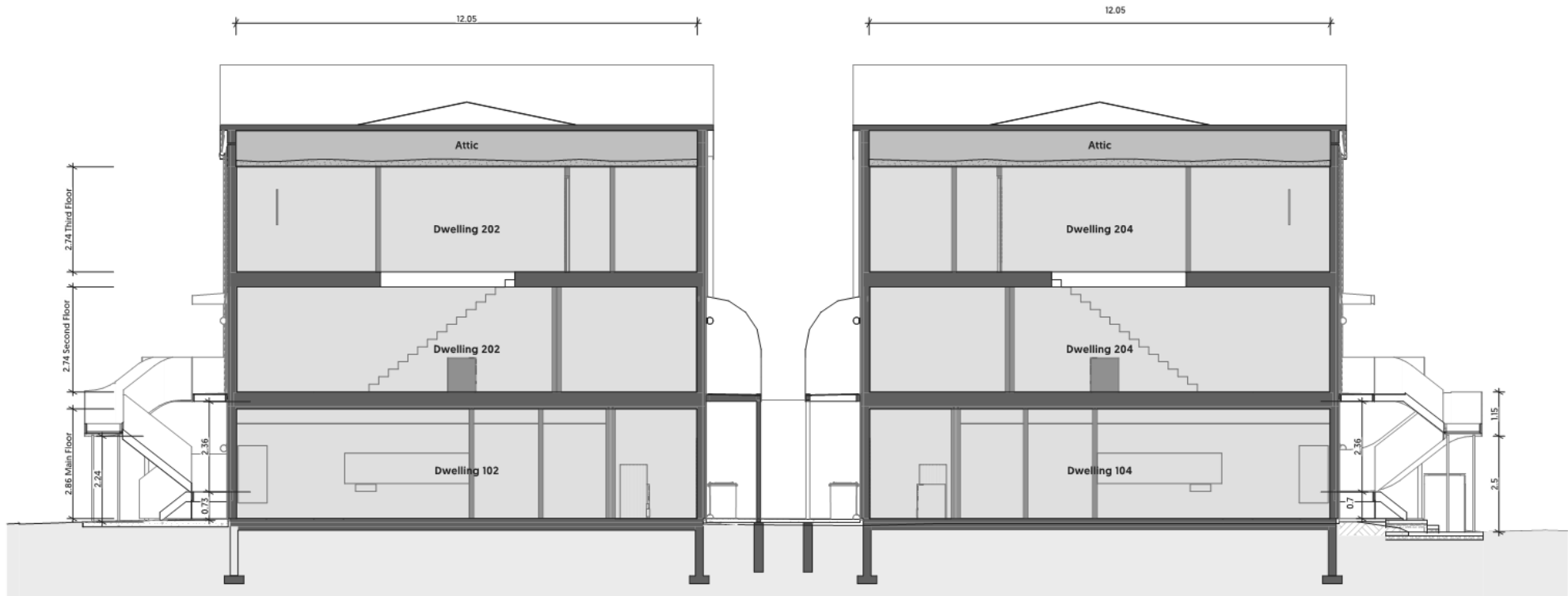
Date
10/9/2024

Drawing Title
Long Section

Scale
As Noted

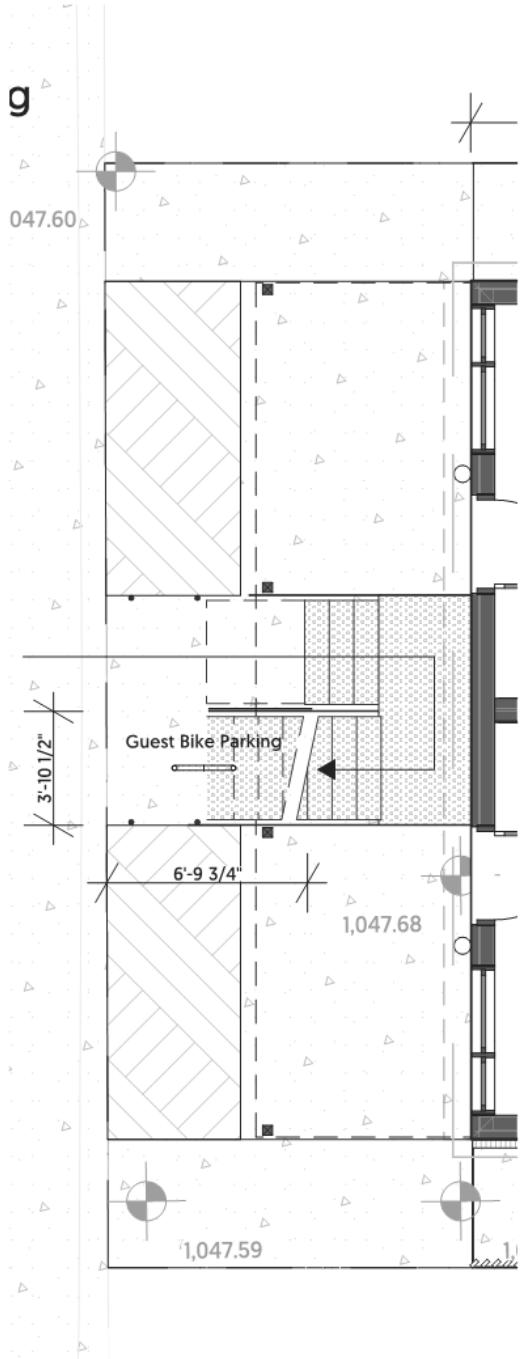
Drawing No.

A302

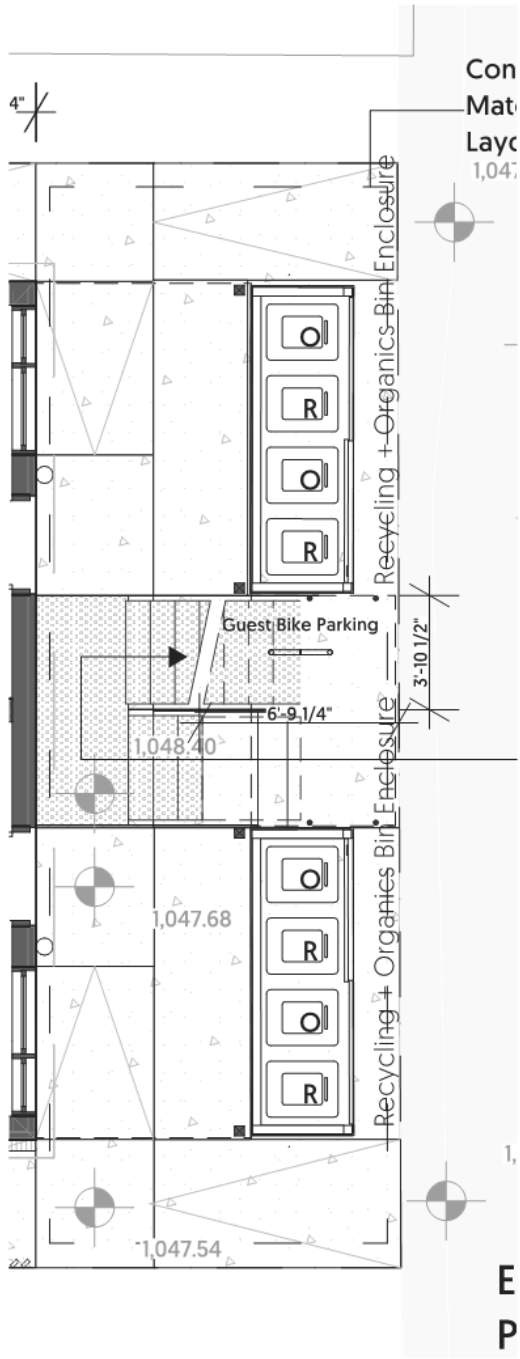


1
A302

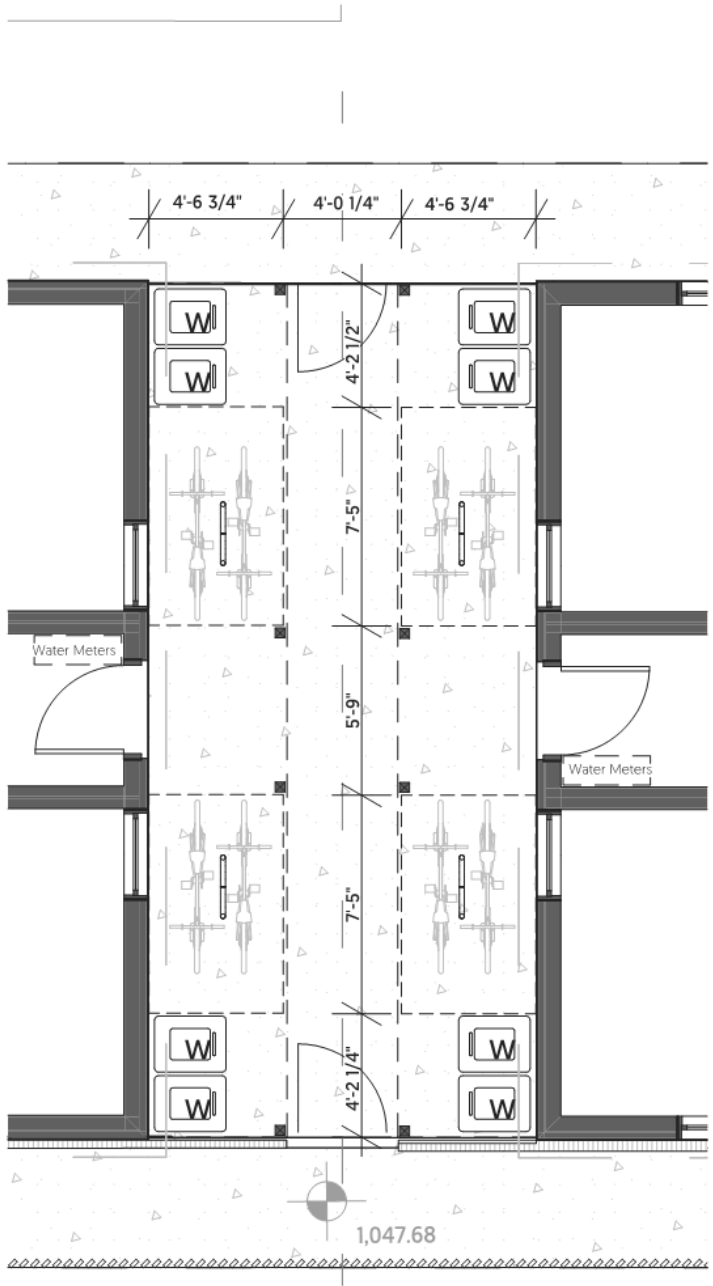
Building Long Section 01
SCALE: 3/32" = 1'-0"



1 Bike Storage - Front Yard
A501 SCALE: 3/16" = 1'-0"



3 Bike Storage - Rear Yard
A501 SCALE: 3/16" = 1'-0"



2 Bike Storage - Courtyard
A501 SCALE: 3/16" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

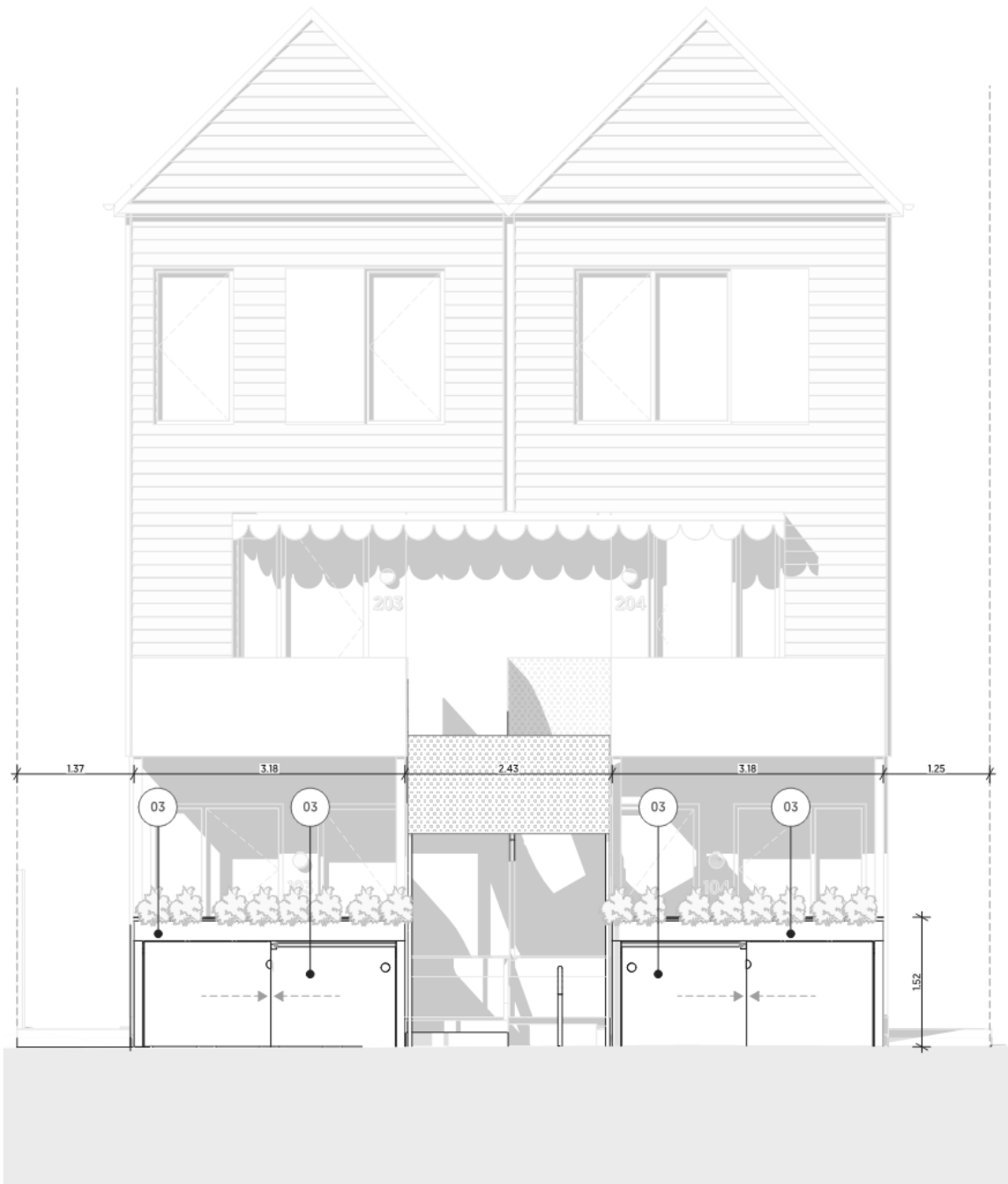
Date
10/9/2024

Drawing Title
Bike Storage Drawings

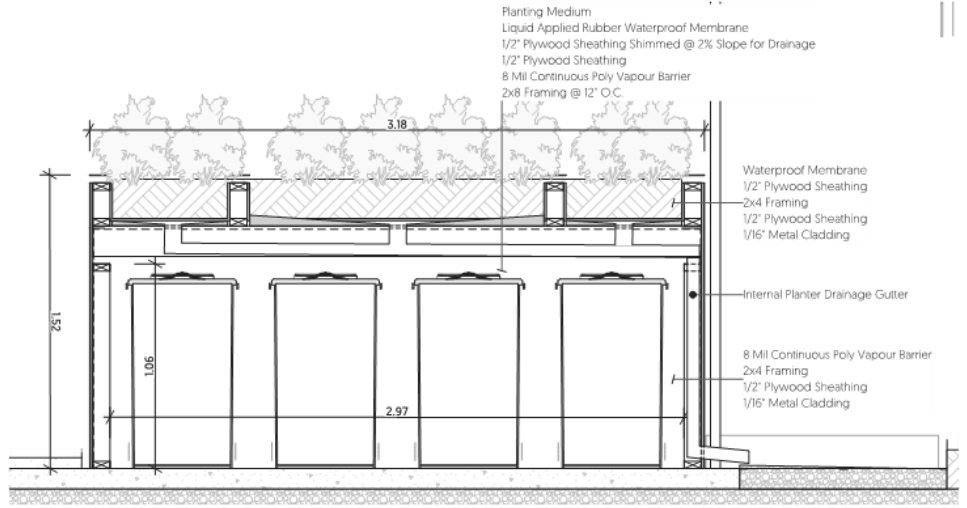
Scale
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Drawing No.

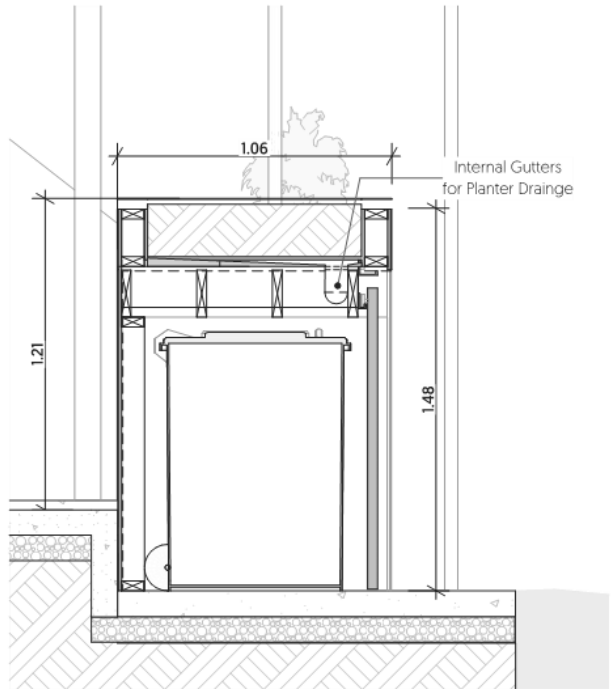
A501



1
A502
Bin Enclosure - East Elevation
SCALE: 3/16" = 1'-0"



2
A502
Bin Enclosure - Long Section
SCALE: 3/8" = 1'-0"



3
A502
Bin Enclosure - Short Section
SCALE: 1/2" = 1'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Exterior Material Legend

- 01 Horizontal Wood, Natural Stain
- 02 White Cementitious Panel w/ Mural Art
- 03 White Metal
- 04 Gray Asphalt Shingle Roof
- 05 Vertical White Corrugated Metal Siding
- 06 Coloured Cementitious Panel
- 07 Coloured Metal
- 08 Coloured Perforated Metal
- 09 Vertical White Corrugated Siding
- 10 White Cementitious Panel

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Bin Enclosure Drawings

Scale
As Noted

Drawing No.

A502

Building 1 Door Schedule

Location	Operation	Exterior Finish	Size
D01			
100 Level Entry	Inswing Door	White	3'-0"x8'-0"
D02			
100 Level Entry	Inswing Door	White	3'-0"x8'-0"
D03			
100 Level Mech. Room	Inswing Door	Custom Painted Accent Colour	3'-0"x6'-8"
D04			
200 Level Entry	Inswing Door	White	3'-0"x8'-0"
D05			
200 Level Entry	Inswing Door	White	3'-0"x8'-0"
D06			
200 Level Living Room	Sliding Door	White	8'-0"x8'-0"
D07			
200 Level Living Room	Sliding Door	White	8'-0"x8'-0"

Building 2 Door Schedule

Location	Operation	Exterior Finish	Size
D01			
100 Level Entry	Inswing Door	White	3'-0"x8'-0"
D02			
100 Level Entry	Inswing Door	White	3'-0"x8'-0"
D03			
100 Level Mech. Room	Inswing Door	Custom Painted Accent Colour	3'-0"x6'-8"
D04			
200 Level Entry	Inswing Door	White	3'-0"x8'-0"
D05			
200 Level Entry	Inswing Door	White	3'-0"x8'-0"
D06			
200 Level Living Room	Sliding Door	White	8'-0"x8'-0"
D07			
200 Level Living Room	Sliding Door	White	8'-0"x8'-0"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Door Schedules

Scale
As Noted

Drawing No.

A601

Building 1 Window Schedule

Location	Operation	Exterior Finish	Size	Sill Height
W01				
100 Level Bedroom	Sliding Window	White	3'-0"×3'-0"	3'-10 1/4"
W02				
100 Level Bedroom	Sliding Window	White	3'-0"×3'-0"	3'-10 1/4"
W03				
100 Level Bedroom	Casement	White	3'-0"×3'-0"	5'-6"
W04				
100 Level Bedroom	Casement	White	3'-0"×3'-0"	5'-6"
W05				
100 Level WC	Casement	White	3'-0"×3'-0"	5'-6"
W06				
100 Level WC	Casement	White	3'-0"×3'-0"	5'-6"
W07				
100 Level Living Room	Fixed	White	4'-0"×4'-0"	4'-6"
W08				
100 Level Living Room	Fixed	White	4'-0"×4'-0"	4'-6"
W09				
100 Level Dining Room	Casement	White	5'-0"×5'-0"	3'-2"
W10				
100 Level Dining Room	Casement	White	5'-0"×5'-0"	3'-2"
W11				
200 Level Living Room	Casement	White	3'-0"×3'-0"	4'-0"
W12				
200 Level Living Room	Casement	White	3'-0"×3'-0"	4'-0"
W13				
200 Level Dining Room	Fixed	White	5'-0"×5'-0"	3'-0"
W14				
200 Level Dining Room	Fixed	White	5'-0"×5'-0"	3'-0"
W15				
200 Level 1/2 WC	Casement	White	3'-0"×3'-0"	4'-0"
W16				
200 Level 1/2 WC	Casement	White	3'-0"×3'-0"	4'-0"
W17				
200 Level Bedroom 2	Casement	White	6'-0"×6'-0"	1'-6"
W18				
200 Level Bedroom 2	Casement	White	6'-0"×6'-0"	1'-6"
W19				
200 Level Ensuite 2	Casement	White	3'-0"×3'-0"	4'-7 3/4"
W20				
200 Level Ensuite 2	Casement	White	3'-0"×3'-0"	4'-7 3/4"
W21				
200 Level Ensuite 1	Casement	White	3'-0"×3'-0"	4'-7 3/4"
W22				
200 Level Ensuite 1	Casement	White	3'-0"×3'-0"	4'-7 3/4"
W23				
200 Level Closet 1	Casement	White	4'-0"×4'-0"	3'-7 3/4"
W24				
200 Level Closet 1	Casement	White	4'-0"×4'-0"	3'-7 3/4"
W25				
200 Level Closet 1	Casement	White	3'-0"×6'-0"	1'-8"
W26				
200 Level Bedroom 1	Casement	White	3'-0"×6'-0"	1'-8"
W27				
200 Level Bedroom 1	Casement	White	6'-0"×6'-0"	1'-8"

Building 2 Window Schedule

Location	Operation	Exterior Finish	Size	Sill Height
W01				
100 Level Bedroom	Sliding Window	White	3'-0"×3'-0"	3'-10 1/4"
W02				
100 Level Bedroom	Sliding Window	White	3'-0"×3'-0"	3'-10 1/4"
W03				
100 Level Bedroom	Casement	White	3'-0"×3'-0"	5'-6"
W04				
100 Level Bedroom	Casement	White	3'-0"×3'-0"	5'-6"
W05				
100 Level WC	Casement	White	3'-0"×3'-0"	5'-6"
W06				
100 Level WC	Casement	White	3'-0"×3'-0"	5'-6"
W07				
100 Level Living Room	Fixed	White	4'-0"×4'-0"	4'-6"
W08				
100 Level Living Room	Fixed	White	4'-0"×4'-0"	4'-6"
W09				
100 Level Dining Room	Casement	White	5'-0"×5'-0"	3'-2"
W10				
100 Level Dining Room	Casement	White	5'-0"×5'-0"	3'-2"
W11				
200 Level Living Room	Casement	White	3'-0"×3'-0"	4'-0"
W12				
200 Level Living Room	Casement	White	3'-0"×3'-0"	4'-0"
W13				
200 Level Dining Room	Fixed	White	5'-0"×5'-0"	3'-0"
W14				
200 Level Dining Room	Fixed	White	5'-0"×5'-0"	3'-0"
W15				
200 Level 1/2 WC	Casement	White	3'-0"×3'-0"	4'-0"
W16				
200 Level 1/2 WC	Casement	White	3'-0"×3'-0"	4'-0"
W17				
200 Level Bedroom 2	Casement	White	6'-0"×6'-0"	1'-6"
W18				
200 Level Bedroom 2	Casement	White	6'-0"×6'-0"	1'-6"
W19				
200 Level Ensuite 2	Casement	White	3'-0"×3'-0"	4'-7 3/4"
W20				
200 Level Ensuite 2	Casement	White	3'-0"×3'-0"	4'-7 3/4"
W21				
200 Level Ensuite 1	Casement	White	3'-0"×3'-0"	4'-7 3/4"
W22				
200 Level Ensuite 1	Casement	White	3'-0"×3'-0"	4'-7 3/4"
W23				
200 Level Closet 1	Casement	White	4'-0"×4'-0"	3'-7 3/4"
W24				
200 Level Closet 1	Casement	White	4'-0"×4'-0"	3'-7 3/4"
W25				
200 Level Closet 1	Casement	White	3'-0"×6'-0"	1'-8"
W26				
200 Level Bedroom 1	Casement	White	3'-0"×6'-0"	1'-8"
W27				
200 Level Bedroom 1	Casement	White	6'-0"×6'-0"	1'-8"



Studio North
915 9 Ave SE
Calgary, Alberta, T2G 0S5

Notes:

Project Name
Goodweather Multifamily

Project No.
118

Civic Address
810 9A St NW Calgary, AB

Legal Description
Lot 2 and the South Half of Lot
3, Block 6, Plan 2448 O

Drawn By
HP

Date
10/9/2024

Drawing Title
Window Schedules

Scale
As Noted

Drawing No.

A602

Applicant Submission

2024 October 09

810 9A St NW

Applicant Planning Analysis



810 9A St NW

Applicant Planning Analysis

Project Description

The Goodweather represents a groundbreaking and contextually sensitive approach to densification and transit-oriented design within Calgary's Sunnyside neighborhood. Distinguishing itself among the numerous new multifamily projects in the area, The Goodweather stands out in its respect for the neighborhood's architectural style while addressing the increasing demand for transit-oriented and accessible housing in the city.

Situated in close proximity to a central transit hub, the project forgoes on-site parking and instead provides each dwelling with bike storage facilities, encouraging residents to utilize public transit and active transportation over conventional transportation. The space otherwise intended for parking is repurposed into shared outdoor amenity areas that are productive and foster connections between neighbors.

Landscape Approach

The landscaped areas and outdoor amenities surrounding The Goodweather are configured to complement the surrounding context and to promote meeting and connection between neighbors. Setbacks in front of street-facing dwellings are strategically designed to accommodate canopy trees and layered landscaping, enhancing the project's visual appeal throughout the year. Raised planters in these setbacks create opportunities for neighbors to meet, socialize, and rest, promoting well being and social interaction between Goodweather residents and the wider community.

The central courtyard features wide, barrier-free pathways for residents to access to their secured and sheltered bike parking spaces, which also include chargers for E-Bikes. The upper courtyard balconies

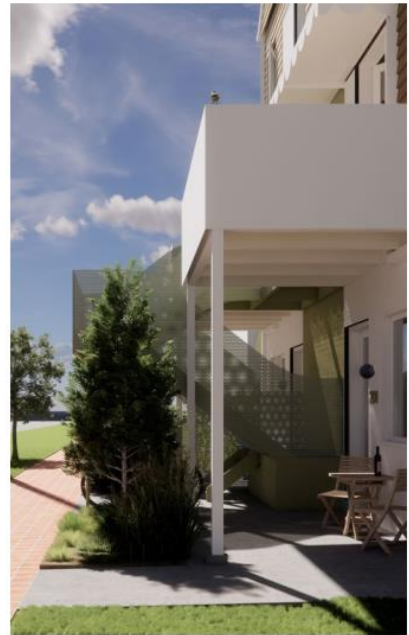
give upper level residents an extra, more private outdoor amenity space.

Incorporating green infrastructure through permeable landscaping, the project utilizes landscaped mulch beds that capture water for plants, reducing water usage and maintenance needs. This approach not only improves stormwater and snowmelt management but also contributes to the visual appeal and ecological productivity of the site.

Parking Policy Variation

Contrary to conventional parking requirements outlined in city policy, The Goodweather opts for a progressive strategy by providing extra bike parking for both residents and guests, foregoing traditional parking stalls. This is an international transit-oriented design decision that recognizes the project's proximity to a central transit hub.

Prioritizing outdoor amenity space over parking underscores The Goodweather's commitment to a socially productive and community-oriented multifamily housing model that embraces its urban context. Such innovative variations in the city's parking policy are crucial steps in advancing transit-oriented design, offering tangible evidence of its success in promoting alternative transit options and fostering a more sustainable and connected urban environment.



Above: A softscaped area planted with drought-tolerant and low maintenance species that acts as both a natural feature in the communal amenity space and as a buffer for the adjacent ground floor dwelling.

Applicant Outreach Summary

2024 October 09



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: DP2024-01591 - The Goodweather

Did you conduct community outreach on your application? ☒ YES or ☐ NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Our outreach strategy involved engaging with key community stakeholders to gather input, address concerns, and ensure the project aligns with local priorities.

Hillhurst Sunnyside Community Association (HSCA):

Date: March 7, 2024

Location: Virtual (Zoom)

Participants: HSCA planning committee members

Tactics: We conducted a 10-minute presentation followed by a 10-minute discussion to introduce our project's design. While no formal feedback was given during the meeting, the design was well received, and we were informed that detailed feedback would follow as part of the Development Permit (DP) process.

Sunnyside Brightening Committee (Basketball Court Concept):

Date: Ongoing discussions through August and September 2024

Location: Email exchanges and in-person meetings

Participants: Sunnyside Brightening Committee

Tactics: We discussed contributing to a neighbourhood park improvement project, including a basketball court. After exploring different options, it was determined that contributing to the HSCA amenity fund would be the most efficient way to support the community, rather than incorporating these improvements directly into the project's density bonusing.

Neighbouring Property (Goodweather/Application Project):

Date: June to August 2024

Location: Email and on-site discussions

Participants: Neighbouring property owner

Tactics: We addressed concerns about shared landscaping along the property line. We communicated our plans to trim bushes and install a fence, ensuring a collaborative approach that maintained good relations with the neighbouring property owner.

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with. (Please do not include individual names)

Hillhurst Sunnyside Community Association (HSCA)

Sunnyside Brightening Committee

Neighbouring Property Owner

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

From the Hillhurst Sunnyside Community Association (HSCA), the project's design was well received, with no major concerns raised during the meeting. We were informed that formal feedback would be provided later as part of the Development Permit (DP) process. We have still not received the feedback.

The Sunnyside Brightening Committee highlighted the community's desire for a basketball court and other park improvements. It was determined that contributing to the HSCA amenity fund would be a more efficient way to support these improvements rather than incorporating them into our project's density bonusing.

The neighbouring property owner raised concerns about shared landscaping along the property line. Specific issues included the management of trees and bushes between properties, which were resolved through collaborative discussions.

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

The positive reception from the Hillhurst Sunnyside Community Association (HSCA) reinforced our confidence in the project's design. No immediate changes were required based on the feedback, though we remain open to adjustments following the formal Development Permit (DP) review.

Input from the Sunnyside Brightening Committee influenced our decision to proceed with a cash contribution to the HSCA amenity fund, rather than incorporating park improvements, such as a basketball court, into the project's density bonusing. This allowed for more efficient community support while avoiding delays in the Development Permit process.

Concerns raised by the neighbouring property owner about shared landscaping led us to adjust our plans by trimming bushes on our side of the property and committing to the installation of a fence. These changes were made to maintain good relations and address the concerns raised.

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

We have maintained ongoing communication with all parties involved in our outreach.

For the Hillhurst Sunnyside Community Association (HSCA), we have followed up several times with the file manager to request the formal feedback promised during the meeting. We are still awaiting this feedback and have kept the HSCA updated on the project's progress.

With the Sunnyside Brightening Committee, we communicated our decision to contribute to the HSCA amenity fund instead of incorporating park improvements directly into the project. This decision was shared with the committee to ensure transparency and clarity regarding the best way to support neighbourhood improvements.

For the neighbouring property owner, we provided updates regarding the agreed-upon plan to trim bushes and install a fence. All changes were communicated clearly, ensuring their concerns were addressed and that our project decisions maintained good neighbourly relations.

calgary.ca/planningoutreach

**Land Use Amendment in Manchester Industrial (Ward 9) at 423 – 58 Avenue SE,
LOC2024-0105**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.57 hectares \pm (1.41 acres \pm) located at 423 – 58 Avenue SE (Plan 4494HB, a portion of Block 2) from Commercial – Corridor 3 f1.0h12 (C-COR3f1.0h12) District to Direct Control (DC) District to accommodate a Self Storage Facility, with guidelines (Attachment 2).

HIGHLIGHTS

- The proposed application seeks to redesignate the subject site to a Direct Control (DC) District based on the Industrial – Commercial (I-C) District to allow for development of a Self Storage Facility with at-grade commercial opportunities.
- The proposed land use district is compatible with adjacent land uses in the area and aligns with the applicable policies of the *Municipal Development Plan* (MDP).
- What does this mean to Calgarians? The additional use of Self Storage Facility with at-grade commercial opportunities would provide storage options for businesses and residential developments in the area to free up living and business space for more desirable uses.
- Why does it matter? Providing self storage and at-grade commercial opportunities close to an activity node may help respond to evolving household and business needs and support compact development of complete communities.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This land use amendment application, located in the southeast community of Manchester Industrial, was submitted on 2024 April 4 by CivicWorks on behalf of the landowner, Hampton Development LTD.

The approximately 0.57 hectares (1.41 acres) site is a mid-block parcel located on the south side of 58 Avenue SE between 3 Street SE and 4 Street SE. The surrounding context is primarily industrial with commercial uses such as shops, services, and amenities mainly located along 58 Avenue SE. A variety of residential, employment and retail uses are located in close proximity to CF Chinook Centre, southwest of the subject site. The subject site currently contains a two storey building with retail and consumer service.

As per the Applicant Submission Form (Attachment 3), the application seeks to develop a Self Storage Facility with commercial uses at grade level on the subject site. A DC District is proposed to modify the rules of the base I-C District and increase the maximum height to 18 metres and maximum floor area ratio (FAR) to 2.0.

During the review process, Administration explored other alternative land use districts including a DC District based on a C-COR3 District to accommodate the intended uses. Through the

**Land Use Amendment in Manchester Industrial (Ward 9) at 423 – 58 Avenue SE,
LOC2024-0105**

review process, it was determined that a DC District based on I-C District would be more appropriate and consistent with the applicable planning policies as the nature of the surrounding context is primarily industrial with commercial as supportive uses. Industrial – Business (I-B) District was also considered, however, the proposed Self Storage Facility did not fully meet the purpose statement of I-B District which is to create prestige and high quality office developments.

To ensure the development continues to support the business needs in the area while maintaining a high level of urban design standards, Administration worked with the applicant to ensure the DC District includes additional rules for the at-grade commercial use and street facing façade design treatment.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and the Community Association was appropriate.

In response, the applicant contacted the Ward 9 Office to inform the Councillor about the application. Application summary brochures were delivered to surrounding businesses within a 200-metre radius. The applicant also created a feedback portal to collect feedback or comments about the application. The Applicant Outreach Summary can be found in Attachment 4.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

No public comments were received at the time of writing this report and there is no community association for the subject area.

Following Calgary Planning Commission, notifications for a Public Hearing of Council for the land use amendment will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Planning and Development Services Report to
Calgary Planning Commission
2024 October 31

ISC: UNRESTRICTED
CPC2024-1143
Page 3 of 3

**Land Use Amendment in Manchester Industrial (Ward 9) at 423 – 58 Avenue SE,
LOC2024-0105**

IMPLICATIONS

Social

The proposed land use district will allow for a greater diversity of businesses in the area that respond to evolving household needs and support compact development of complete communities.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The ability to operate a Self Storage Facility with at-grade commercial opportunities close to a Major Activity Centre provides a business opportunity within the community. It may also support compact urban development that makes more efficient use of existing infrastructure and services.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Direct Control District
3. Applicant Submission Form
4. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the southeast community of Manchester Industrial, a mid-block parcel on the south side of 58 Avenue SE between 3 Street SE and 4 Street SE. The site is approximately 0.57 hectares (1.41 acres) in size and is currently operating a retail and consumer service use in a two storey building.

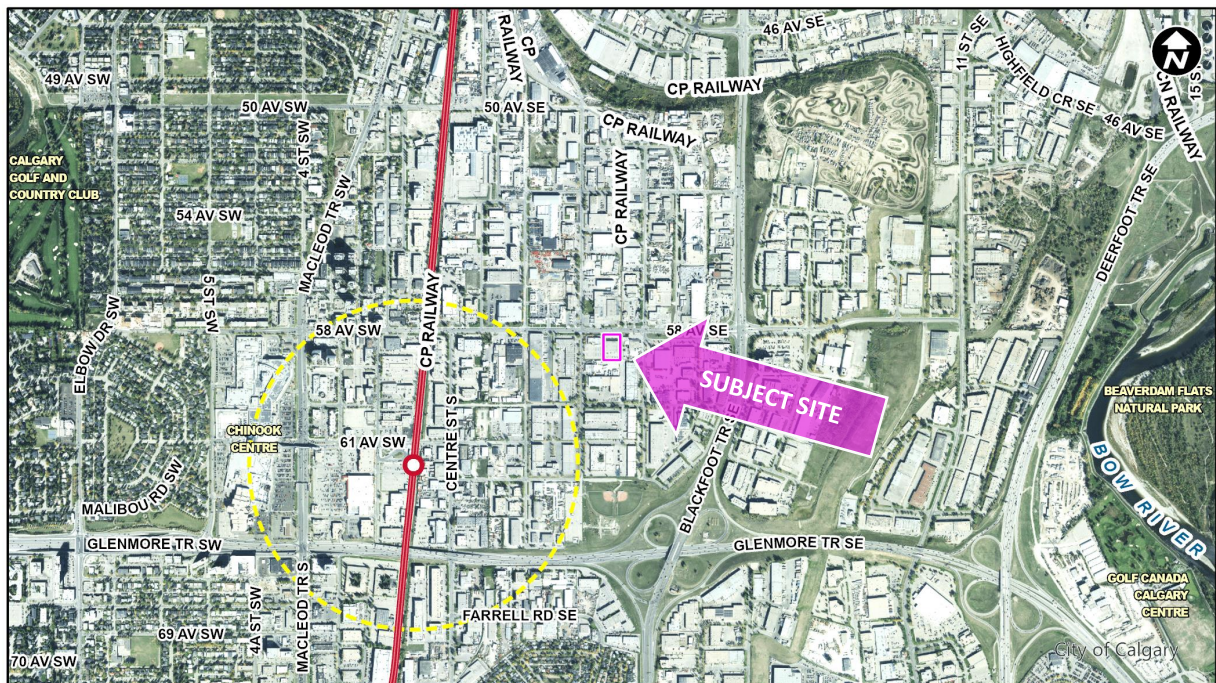
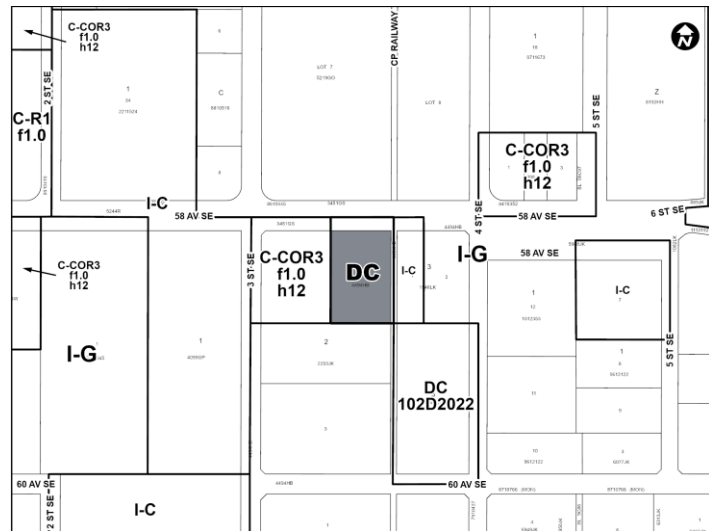
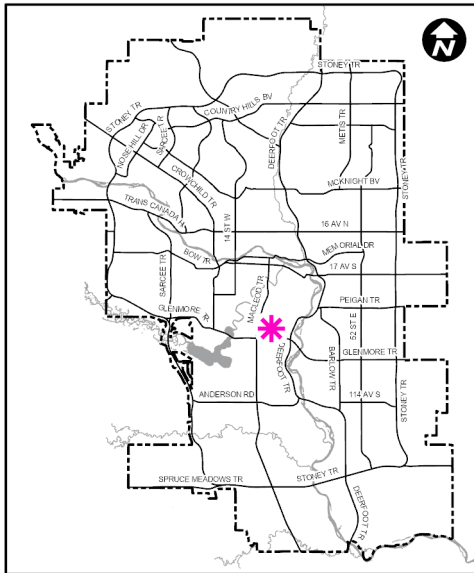
The surrounding development is primarily industrial with some commercial uses such as shops, services, and amenities mainly located along 58 Avenue SE. The subject site has an existing sidewalk connecting to a bus stop that serves Route 43 (Westwinds Station/Chinook Station). The site is also easily accessible to Blackfoot Trail SE which is part of the Primary Transit Network.

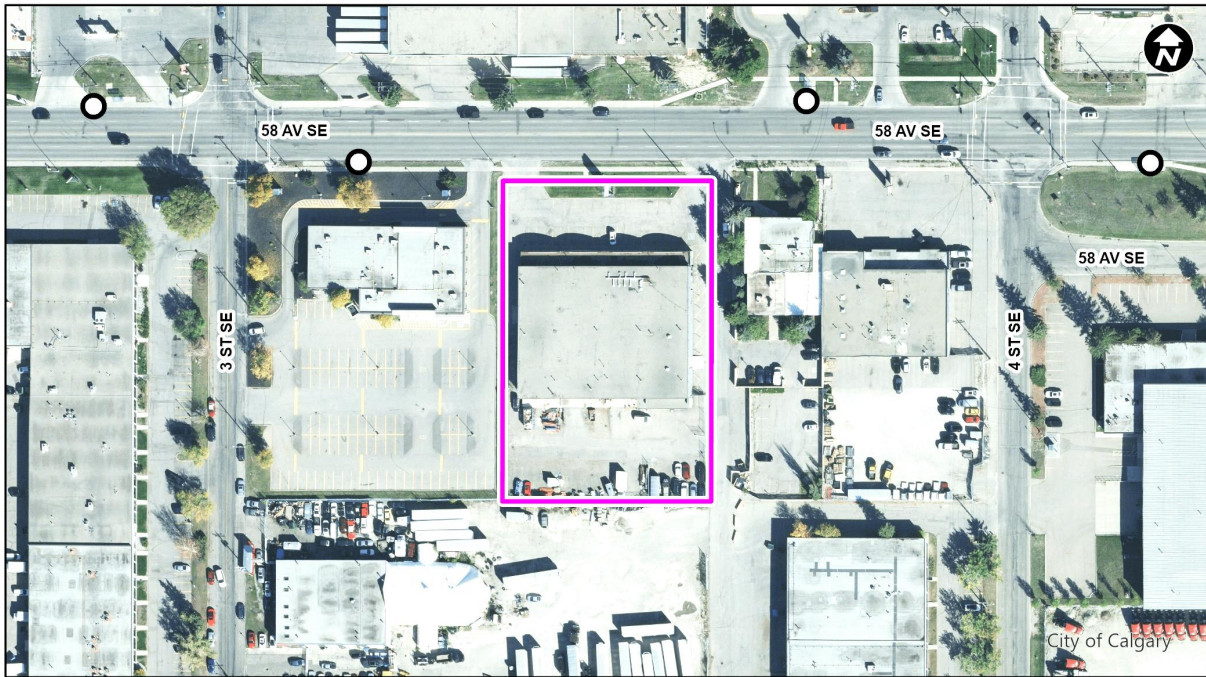
There is a concentration of residential, employment and retail uses in close proximity to CF Chinook Centre, located approximately 1.0 kilometre (a 17-minute walk) to the southwest.

Community Peak Population Table

Not available because the subject area is in an industrial area with no population statistics.

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing Commercial – Corridor 3 f1.0h12 (C-COR3f1.0h12) District is intended to accommodate limited large retail uses on sites of various sizes that are located along major roads. The C-COR3 District allows for a maximum building height of 12 metres and a maximum floor area ratio (FAR) of 1.0.

The proposed DC District is based on the Industrial – Commercial (I-C) District with an increase in the maximum allowable building height (up to 18 metres) and floor area ratio (up to 2.0). The I-C District was selected because the nature of the surrounding context is primarily industrial with commercial as supportive uses. To ensure the subject site will continue to support the business needs in the area while maintaining a high level of urban design standards, additional rules have been included to ensure the Self-Storage Facility use integrates well into its surrounding context. The rules have been designed to ensure that active uses remain at-grade and future building will be designed with high quality visual appearance. The specific rules include:

- a Self Storage Facility must not exceed 95.0 percent of the ground floor gross floor area (GFA) of a building; and
- street facing building façade require a minimum of 15 percent of unobscured windows for the upper floors and a minimum of 50 percent of unobscured windows for façade between a height of 0.6 metres and 2.4 metres.

Pursuant to Section 20 of the Land Use Bylaw 1P2007, this application for a DC District has been reviewed by Administration and the use of a Direct Control District is necessary to provide for the applicant's proposed development due to innovative ideas. The proposal represents an innovative idea because it provides higher building height and more FAR for the additional use of Self Storage Facility that could support the needs of both households and retailers in the area. This makes higher density living and business operations more appealing and manageable. The proposal also includes additional rules for street facing façade design to ensure the future development has high quality building design. The same result could not be achieved through the use of a standard land use district in the Land Use Bylaw.

The proposed DC District includes a rule that allows the Development Authority to relax Section 6 of the DC District Bylaw. Section 6 incorporates the rules of the base district in Bylaw 1P2007 where the DC District does not provide for specific regulation. In a standard district, many of these rules can be relaxed if they meet the test for relaxation of Bylaw 1P2007. The intent of this DC District rule is to ensure that rules of Bylaw 1P2007 that regulate aspects of development that are not specifically regulated in this DC District can also be relaxed in the same way that they would be in a standard district. Sections 7 through 11 include provisions for FAR, building height, use area, and building façade rules.

Development and Site Design

If this application is approved by Council, the rules of the proposed DC District and I-C District would provide guidance for the future redevelopment. Given the location and policy context of the site, additional consideration will be given to elements including the appropriateness of proposed uses, building height, building frontage and orientation, landscaping, parking, and site access at the development permit stage.

Transportation

The subject site fronts onto 58 Avenue SE and is in close proximity to Blackfoot Trail SE, which are both classified as Arterial Roads. Pedestrian connectivity is provided through the existing sidewalks on 58 Avenue SE. At present, the site is adjacent to the recommended cycling routes of the Always Available for All Ages and Abilities (5A) Network, with future pathways planned along 58 Avenue SE and Blackfoot Trail SE, as well as future bikeways along 3 and 4 Street SE.

A bus stop serves Route 43 (Westwinds Station/Chinook Station) is approximately 75 metres (a two-minute walk) from the site along 58 Avenue SE. The Chinook LRT Station is located within approximately 1.0 kilometres (a 17-minute walk) from the site.

Vehicular access to the subject site is anticipated to be provided as currently configured and will be subject to review and Development Engineering approval at the time of redevelopment.

No Transportation Impact Assessment was required at the land use amendment stage but may be required at the time of redevelopment.

Environmental Site Considerations

At this time, there are no known outstanding environmental concerns associated with the site and/or proposal.

Utilities and Servicing

Public water, sanitary and storm utilities exist adjacent to the site (58 Avenue SE). However, the public storm main does not fully span the entire frontage of the site and terminates at an existing manhole. Future development servicing shall either accommodate accordingly OR a public storm sewer main extension may be required, as to adequately service the intended development. If required, this work will be at the developer's expense, and subject to the terms and conditions of a long form Indemnification Agreement.

That said, servicing requirements will be further determined at the time of development.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the 'Standard Industrial' area as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The Standard Industrial area encourages a mix of industrial uses at varying intensities. It allows a broad range of industrial and other supportive uses to fulfill the daily needs of business operations in the area and their employees. The proposal is consistent with the applicable policies in the MDP.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

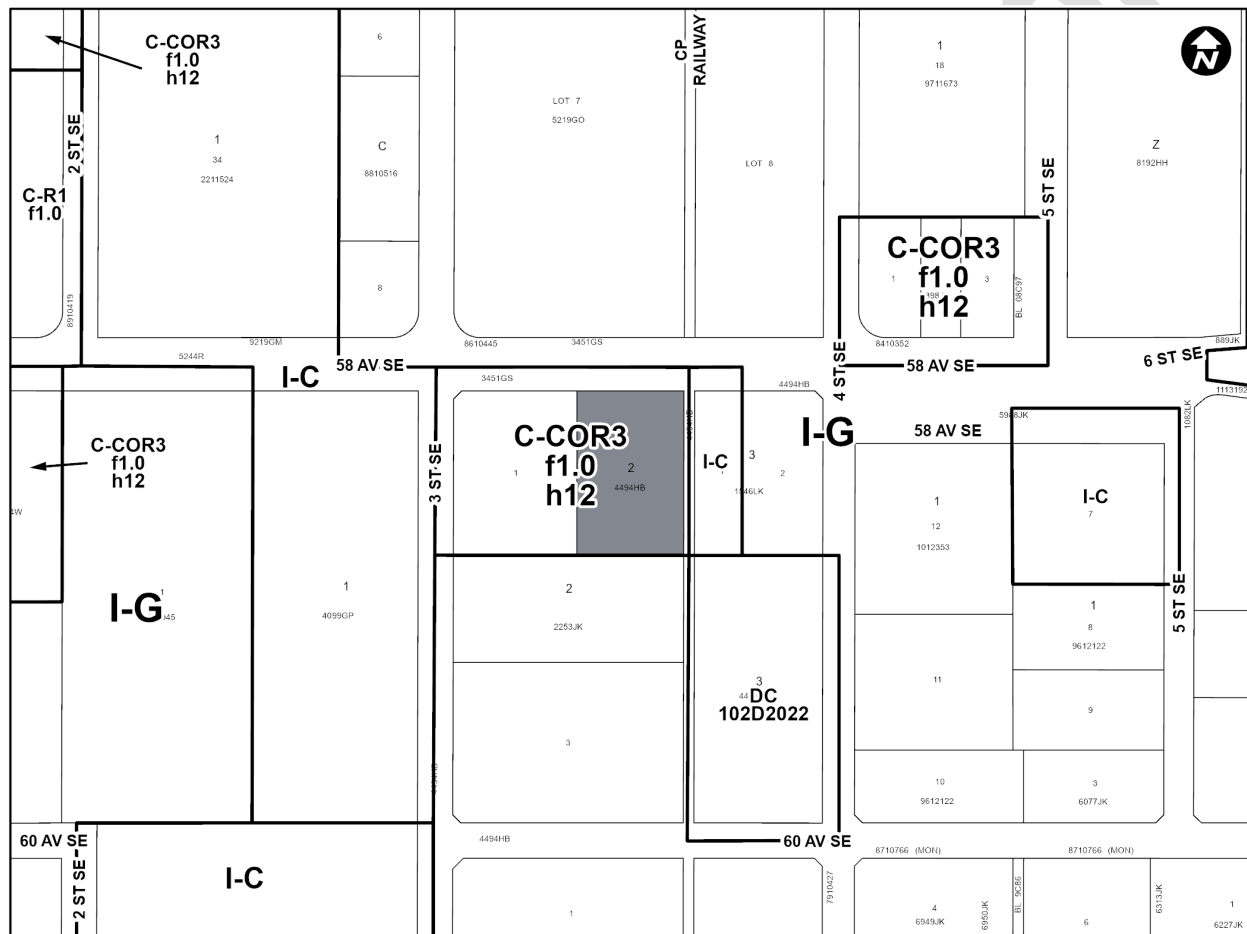
Chinook Communities Local Area Planning Project

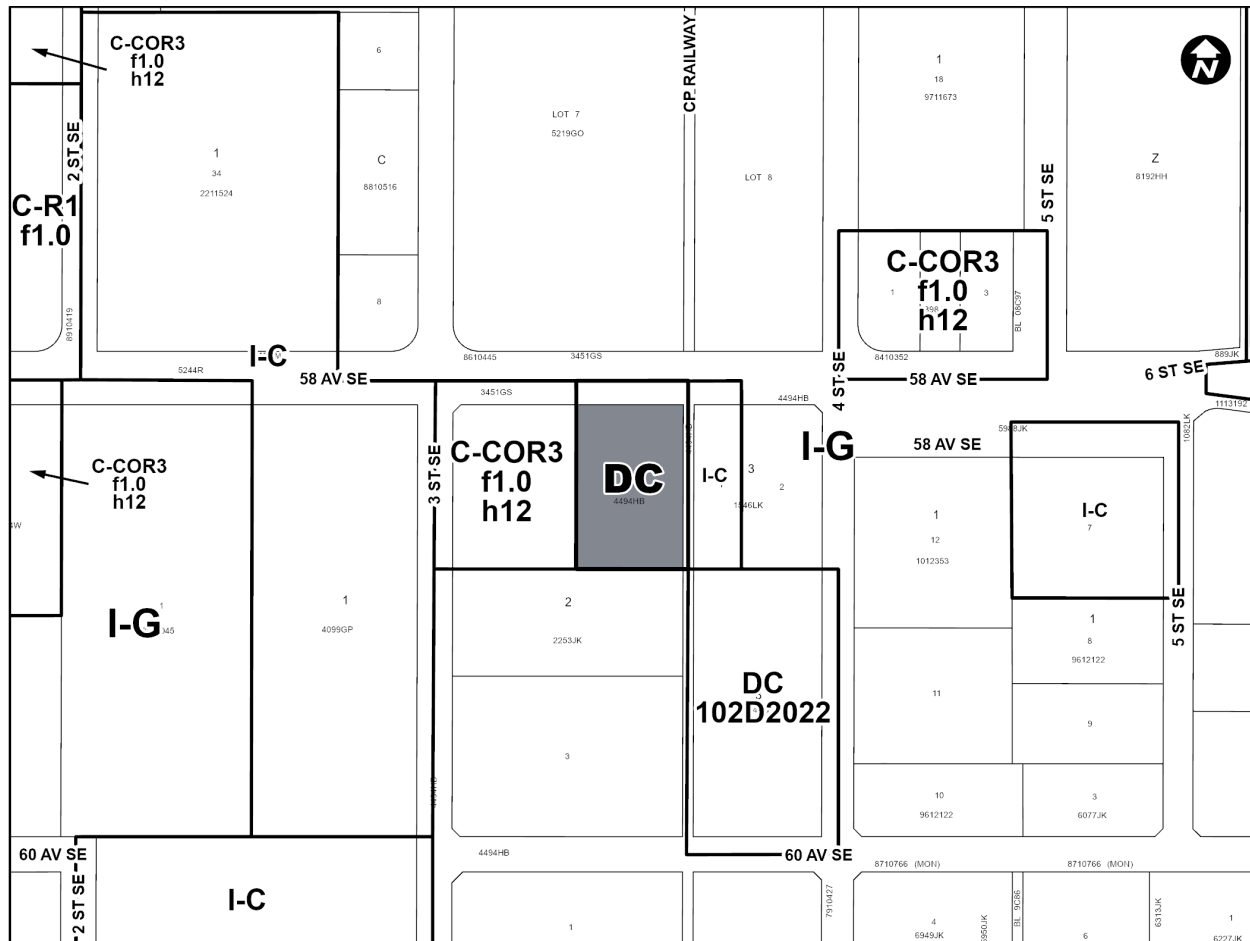
This site is located in Area 8 (Chinook Communities), which includes the portion of Manchester Industrial and surrounding communities. Administration is currently developing the [Chinook Communities Local Area Plan project](#). Planning applications are being accepted for processing while the project is in progress, however, applications are reviewed using existing legislation and Council approved policy only.

Proposed Direct Control District

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

SCHEDULE A



SCHEDULE B**DIRECT CONTROL DISTRICT****Purpose**

- 1 This Direct Control District Bylaw is intended to:
 - (a) increase the maximum allowable floor area ratio and building height; and
 - (b) ensure a permeable building facade.

Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

Reference to Bylaw 1P2007

- 3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

Permitted Uses

- 4 The **permitted uses** of the Industrial – Commercial (I-C) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

Discretionary Uses

- 5 The **discretionary uses** of the Industrial – Commercial (I-C) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Industrial – Commercial (I-C) District of Bylaw 1P2007 apply in this Direct Control District.

Floor Area Ratio

- 7 The maximum **floor area ratio** is 2.0.

Building Height

- 8 The maximum **building height** is 18.0 metres.

Use Area

- 9 (1) Unless otherwise provided in subsections (2), (3) or (4), there is no **use area** requirement in the Industrial – Commercial (I-C) District.
- (2) The maximum **use area** for a **Retail and Consumer Service** is 930.0 square metres.
- (3) The maximum **public area** for a **Restaurant: Food Service Only** or **Restaurant: Licensed** is 300.0 square metres.
- (4) A Self Storage Facility must not occupy more than 95.0 per cent of the ground floor **gross floor area** of a **building**.

Rules for Self Storage Facility

- 10 The individual access to each self storage unit must be entirely internal to a **building**.

Rules for Façades Facing a Street

- 11 (1) The façade of a **building** located on the ground floor and facing a **street** must provide windows with unobscured glass that occupy a minimum of 50.0 per cent of the façade between a height of 0.6 metres and 2.4 metres.
- (2) The façade of a **building** located above the ground floor and facing a **street** must provide windows with unobscured glass that occupy a minimum of 15.0 per cent of the façade.

Relaxations

- 12 The **Development Authority** may relax the rules contained in Section 6 of this Direct Control District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.

Applicant Submission

2024 July 2

Project Location: 423 58 AV SE

Existing Land Use: Commercial - Corridor 3 (C-COR3f1.0h12) District

Proposed Land Use: Direct Control (DC) District based on I-C District rules

APPLICATION SUMMARY

On behalf of Hampton Development Ltd. (Ronmor Developers Inc.), CivicWorks has made a Land Use Redesignation (rezoning) application to transition the property at 423 58 AV SE from the existing Commercial - Corridor 3 (C-COR3f1.0h12) District to a Direct Control (DC) District based on Industrial - Commercial (I-C) District rules. The application seeks to realize the vision for a new Self Storage Facility with at-grade commercial use in the Manchester Industrial area.

WHAT IS PROPOSED?

A land use change is needed to support the proposal for a four-storey light industrial - commercial development, featuring a Self Storage Facility and at-grade commercial use. A brief summary of key project details is shown below:

Building Height: 4 storeys (Maximum 18.0 metre building height proposed)

Floor Area Ratio: Maximum 2.0 Floor Area Ratio proposed

Commercial Units: 1 Commercial Retail Unit (CRU) at grade

Vehicle Parking Stalls: 23 (incl. 4 Barrier-Free Parking Stalls)

Overhead Loading Doors: 3

A future Development Permit (DP) application will be submitted by the project team to support the development vision. The DP application will be reviewed for completeness by The City of Calgary and available to surrounding area residents and businesses, as well as the broader public, for additional review and comment.

PROJECT SITE CHARACTERISTICS

The proposed development vision is well-suited to the project site given its lot characteristics, strategic location, and the character and scale of surrounding area development:

Higher Activity Street: The project site is located along 58 AV SE, a higher order Arterial Street that connects surrounding area communities and generally sees higher levels of vehicle activity.

Nearby Transit Service: The project site is within $\pm 75\text{m}$ (~1 min. walk) of Route 43 frequent bus service along 58 AV SE, $\pm 175\text{m}$ (~2 min. walk) of Route 81 local bus service, and $\pm 800\text{m}$ (~10 min. walk) to the Chinook Red Line LRT Station. The availability of various transit route options within walking distance to the site provides easy access and encourages alternative modes of transportation for future employees and users.

Nearby Activity Centre: The project site is within $\pm 200\text{m}$ of the "Chinook Centre Major Activity Centre", as identified in Calgary's *Municipal Development Plan (MDP)*. Major Activity Centres represent municipally-identified locations for future growth to accommodate a broad mix of residential, commercial and light industrial uses.

Nearby Commercial / Employment Activity: The project site is located along 58 AV SE, a major commercial corridor and employment node in the Manchester Industrial Area. The site is also within $\pm 200\text{m}$ of the "Chinook Centre Major Activity Centre", featuring a range of commercial and light industrial uses that are easily accessible by car, transit or alternative modes.

ALIGNMENT WITH CALGARY'S GROWTH PLANS

Contemporary city-wide plans like the *Municipal Development Plan (MDP)* and *Calgary Transportation Plan (CTP)* guide Calgary's current planning policy, placing priority on building complete and resilient communities that make more sustainable and efficient use of limited resources like land, energy, infrastructure, services and municipal capital.

The proposed change and development vision are consistent with city-wide goals and policies. The MDP designates the site under the "Standard Industrial" policy area which encourages: the contribution of industrial and commercial uses to a strong and prosperous economy (Policy 2.1.2 [a]); efficient use of infrastructure with more compact built forms (Policy 2.2.4 [a]); diverse employment opportunities that are integrated into the community and accessible via a broad range of mobility options (Policy 2.2.4 [b]); and the protection of industrial land supply across Calgary (Policy 3.7.1[a]).

EMERGENT LOCAL AREA PLAN

The City of Calgary is now actively working on a new comprehensive planning document called the *Chinook Communities Local Area Plan (LAP)*. This emergent LAP will establish community planning goals and objectives for Manchester and surrounding communities over the next ± 30 years. The Chinook Communities LAP is still in the refinement/engagement stages and is not expected to be approved until 2025. No other local area policy applies to the subject site.

APPLICANT-LED OUTREACH

Ronmor and the Applicant team are committed to being good neighbours and hosting open, honest conversations within the communities we work. As part of our Applicant-led outreach process, and in addition to standard City of Calgary requirements, we provide local area organizations, surrounding area businesses, and broader community with opportunities to learn more about a proposed change and share feedback directly with the project team, all while maintaining respectful and transparent dialogue about proposed land use changes in our city.

Each application is supported by a dedicated phone line and email inbox for public questions and comments, along with custom on-site signage and mailers delivered to businesses within $\pm 200\text{m}$ of the project site. Key application materials are also shared directly with the local area Ward Councillor's Office, with opportunities to share feedback, find out more about the project or meet with the Applicant team as needed.

As our outreach process draws to a close and we approach key decision points, an *Applicant-led Outreach Summary* will be shared with local residents, businesses, the Ward Councillor's Office and The City. The *Applicant-led Outreach Summary* highlights the outreach strategies used throughout the application process, what we heard, and how we responded.

CONCLUSION

The proposed land use change and development vision is in keeping with the city-wide goals and policies of the *Municipal Development Plan*, and will introduce new and innovative commercial / retail options that complement surrounding area development and are well serviced by existing infrastructure and transportation networks.

Should you have any questions, comments, or concerns, please contact us at 587.747.0317 or engage@civicworks.ca, referencing 423 58 AV SE.

Applicant Outreach Summary

2024 July 2

Applicant-Led Outreach Summary

423 58 AV SE

LOC2024-0105



Issued
July 2024

Summary

On behalf of Hampton Development Ltd. (Ronmor Developers Inc.), CivicWorks has made a Land Use Redesignation (rezoning) application to transition the property at 423 58 AV SE from the existing Commercial - Corridor 3 (C-COR3f1.0h12) District to a Direct Control (DC) District based on Industrial - Commercial (I-C) District rules. The application seeks to realize a new Self Storage Facility with at-grade commercial use in the Manchester Industrial area.

CivicWorks has undertaken community outreach in support of the application to inform interested parties about the proposal. The Ward 9 Councillor's office and surrounding area businesses were offered opportunities to learn more and provide feedback to the project team through meetings, a dedicated outreach email address and phone line. No comments or questions have been received to date. Although the project team did not yet receive any comments or inquiries about the proposal, we will continue to monitor outreach channels throughout the application review process.

Outreach Timeline

April 2024 - Application Submission

- April 4, 2024: Land Use Redesignation application submitted to The City of Calgary.
- Initial Review of Land Use Redesignation application;
- Displayed sandwich board on the site, providing proposal details and project team contact information (ongoing);
- Application summary brochures delivered to surrounding area businesses within ±200m of the subject site;
- Activated feedback portals, including the dedicated engagement email and phone line; and
- Shared project overview and contact information with the Ward 9 Councillor's Office, offering a meeting to discuss.

April to July 2024 - Application Facilitation

- On-going correspondence and coordination with City of Calgary Administration; and
- Monitoring of dedicated outreach email address and phone line for any questions, feedback or comments.

July 2024 - Outreach Closure

- Outreach closure brochures delivered to local area businesses within ±200m of the subject site, providing outreach closure notification and project updates;
- Updated on-site signage with notice of outreach closure;
- Shared Applicant-led Outreach Summary with City Administration, and Ward 9 Councillor's Office;
- Continued monitoring of dedicated engagement email, and phone line for any additional feedback or comments.

Interested Party Feedback

The project team has reached out to numerous local businesses throughout the applicant-led outreach process. Community feedback was sought through multiple outreach channels, including a dedicated email address and phone line.

To date, the project team has not received any comments or inquiries from community members on the proposed Land Use Redesignation.

Ward 9 Councillor's Office

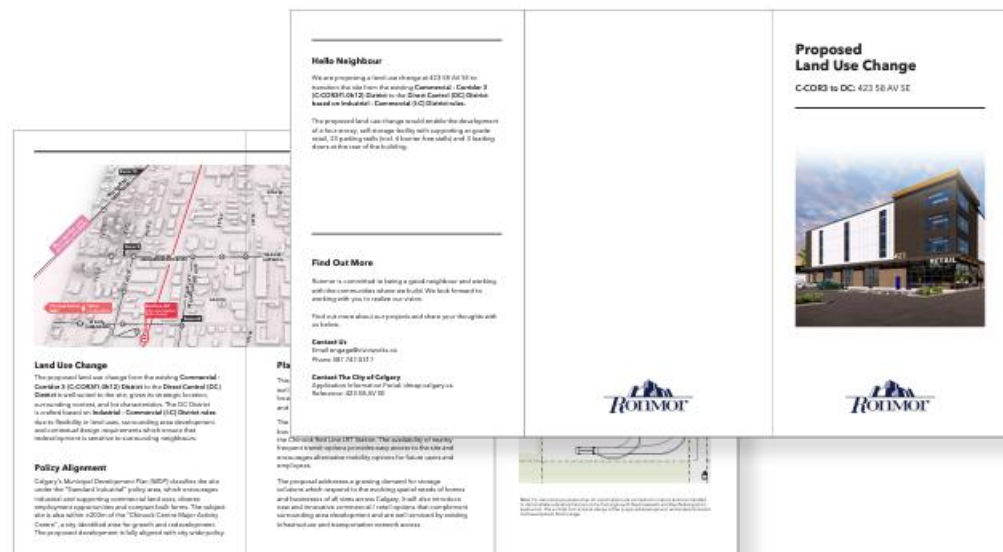
An information rich project summary was shared with the Ward 9 Councillor's Office at the outset of the application, along with an offer to discuss the proposed Land Use Redesignation.

The Ward 9 Councillor's Office reviewed the application in detail and did not request a meeting to discuss. Prior to Calgary Planning Commission (CPC), the project team will provide updates to the Ward 9 Councillor's Office with outreach closure messaging and a copy of the Applicant-Led Outreach Summary.

Outreach Methods



Custom On-Site Signage



Application Summary Brochures

Policy and Land Use Amendment in Cliff Bungalow (Ward 8) at 537 – 20 Avenue SW, LOC2024-0041

RECOMMENDATIONS:

That Calgary Planning Commission:

1. Forward this report (CPC2024-1108) to the 2024 December 3 Public Hearing Meeting of Council; and

That Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the amendment to the Cliff Bungalow Area Redevelopment Plan (Attachment 2); and
3. Give three readings to the proposed bylaw for the redesignation of 0.19 hectares \pm (0.48 acres \pm) located at 537 – 20 Avenue SW (Plan 4453L, Block 4, Lots 1 to 3 and a portion of Lot 4) from Multi-Residential – Contextual Grade-Oriented (M-CGd111) District and Multi-Residential – Contextual Medium Profile (M-C2) District to Multi-Residential – High Density Low Rise (M-H1f3.3h21) District.

HIGHLIGHTS

- This application seeks to redesignate the subject property to allow for a six-storey multi-residential development up to a maximum height of 21.0 metres and a maximum floor area ratio of 3.3.
- The proposal allows for an appropriate building form and density increase of a residential site in proximity to the 4 Street SW Main Street and 17 Avenue SW Main Street and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP).
- What does this mean to Calgarians? This application would provide more housing options for inner city living with access to alternative transportation modes and would allow for more efficient use of existing infrastructure.
- Why does this matter? The proposal would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- An amendment to the *Cliff Bungalow Area Redevelopment Plan* (ARP) is required to accommodate the proposal.
- A development permit has been submitted and is under review.
- There is no previous Council direction related to this proposal.

DISCUSSION

This policy amendment and land use amendment application in the southwest community of Cliff Bungalow was submitted by CivicWorks on behalf of the landowner, Davis Block Developments Ltd, on 2024 February 14.

Policy and Land Use Amendment in Cliff Bungalow (Ward 8) at 537 – 20 Avenue SW, LOC2024-0041

The approximately 0.19 hectare site is a recently consolidated four-parcel lot located on the corner of 5 Street SW and 20 Avenue SW. The existing buildings on the site consist of three single-detached dwellings that contain multiple units, and a two-storey apartment building. The site is one block west of 4 Street SW and three blocks south of 17 Avenue SW, both are identified in the MDP as Neighbourhood Main Streets.

As indicated in the Applicant Submission (Attachment 3), the proposed land use district enables multi-residential development designed to be compatible with surrounding land uses through a maximum building height modifier of 21.0 metres and a maximum floor area ratio (FAR) of 3.3. A development permit (DP2024-3179) for a six-storey multi-residential development with 71 dwelling units was submitted on 2024 May 3 and is under review.

A minor amendment to Figure 3: Land Use Policy Areas of the *Cliff Bungalow Area Redevelopment Plan* is required to accommodate this proposal, changing a portion of the subject site from 'Medium Low Density Infill' to 'Medium Density'. The other portion of the subject site is currently within the 'Medium Density' land use policy area.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. The applicant undertook the following outreach strategies:

- additional on-site signage summarizing the application and providing contact information for the project team;
- information brochures were delivered to residents and businesses within an approximately 200-metre radius of the subject site;
- a project website with application information and feedback form;
- a digital information session was held on 2024 June 10 that provided an opportunity for the public to learn more about the project and ask questions;
- in-person meetings with direct neighbours; and
- continuous information sharing and meetings with the Cliff Bungalow-Mission Community Association.

Please refer to the [Applicant Outreach Summary](#) (Attachment 4) for the applicant's comprehensive report detailing their public engagement initiatives and feedback received.

Policy and Land Use Amendment in Cliff Bungalow (Ward 8) at 537 – 20 Avenue SW, LOC2024-0041

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received 125 letters of opposition and five letters of support at the time of writing this report. The letters of opposition noted the following concerns:

- heritage character – most letters opposed the loss of the existing buildings on the site, noting the cultural and historical significance of the buildings to the city's identity and the character of the neighbourhood.
- affordable housing – existing houses proposed for demolition provide affordable rentals that help low income Calgarians and diverse occupants from various demographics that contribute to the vibrant and unique character of Cliff Bungalow.
- mature trees – concerns with the loss of mature boulevard trees that help create a canopy along 20 Avenue SW and importance to neighbourhood's aesthetic appeal, providing shade, temperature moderation, and contribution to support biodiversity.
- privacy and views – height of proposed building will significantly impact the adjacent neighbours, elimination of privacy and views, and overall light availability for units to the south of subject site.
- parking and congestion – concerns with congestion and parking issues on 20 Avenue SW, traffic and safety concerns in the lane, and safety concerns with turning out of lane onto 5 Street SW and the challenge with the intersection at Royal Ave SW.

The Cliff Bungalow – Mission Community Association (CA) provided a letter neither in support or opposition of the application, however, noted discussion points regarding loss of multiple character homes in Cliff Bungalow and equity in the redevelopment of Calgary's established areas. The CA's letter can be found in Attachment 5.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The following areas were included in this assessment:

- heritage character – no building on the site is listed on the Inventory of Evaluated Historic Resources, managed by civic partner Heritage Calgary. Although not required, the applicant has agreed to provide a commemorative plaque on site, which will be determined at the development permit stage;
- affordable housing – existing affordable housing rental units provided on the subject site are market-driven rentals and therefore redevelopment of the site will not remove non-market affordable housing units;
- contextual fit – the proposed M-H1 District has building setback and step-back requirements that will help to provide a contextual fit with surrounding uses. The applicant has provided a building height modifier of 21.0 metres, which accommodates a building of approximately six storeys;
- traffic and parking – the applicant submitted a Transportation Impact Statement (TIS) as part of the application. Review by Administration did not identify any specific safety

Policy and Land Use Amendment in Cliff Bungalow (Ward 8) at 537 – 20 Avenue SW, LOC2024-0041

concerns and determined that no improvements to the surrounding road network were needed to accommodate the proposal; and

- mature trees and building character – the preservation of the mature boulevard trees and building design details related to historical character are being reviewed and determined through the development permit review.

Following Calgary Planning Commission, notifications for a Public Hearing of Council for the policy amendment and land use amendment application will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposal provides for additional housing choice in an inner-city neighbourhood within convenient walking distance to two Neighbourhood Main Streets, local services, and the primary transit network.

Environmental

This application does not include any specific actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. However, the land use amendment aligns with the objective of 'Zero Carbon Neighbourhoods' by supporting higher density development near a Main Street and the primary transit network, thereby reducing greenhouse gas emissions. Opportunities to enhance the development on this site with applicable climate strategies will be pursued through the development permit.

Economic

The proposal enables a greater amount of housing choice in Cliff Bungalow, may accommodate a diversity of incomes, and supports nearby businesses by increasing the population close to a commercial area. Redevelopment of the site makes more efficient use of existing infrastructure while increasing density near the primary transit network.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Amendment to the Cliff Bungalow Area Redevelopment Plan
3. Applicant Submission
4. Applicant Outreach Summary
5. Community Association Response

**Planning and Development Services Report to
Calgary Planning Commission
2024 October 31**

**ISC: UNRESTRICTED
CPC2024-1108
Page 5 of 5**

**Policy and Land Use Amendment in Cliff Bungalow (Ward 8) at 537 – 20 Avenue
SW, LOC2024-0041**

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the southwest community of Cliff Bungalow, at the southeast corner of 20 Avenue SW and 5 Street SW. The site consists of four recently consolidated parcels and is approximately 0.19 hectares (0.48 acres) in size and approximately 54 metres wide by 36 metres deep. The site fronts onto 20 Avenue SW and a lane exists to the south that provides access to the site. The existing buildings on the site consist of three single-detached dwellings that contain multiple units, and a two-storey apartment building.

Surrounding development is characterized by a mix of residential developments, including single-detached dwellings directly to the east, three-storey townhouses directly south across the lane, and a mix of single-detached dwellings and two and three-storey apartment buildings to the north across 20 Avenue SW.

The Cliff Bungalow community consists of a several older structures, with much of the early development of single-detached houses occurring prior to 1920 and apartment construction commencing in the 1930's. The municipally and provincially-designated historic Treend Residence is located to the west of the subject site across 5 Street SW.

The subject site is located less than one block (approximately 120 metres or a two-minute walk) west of 4 Street SW and three blocks (approximately 300 metres or a five-minute walk) south of 17 Avenue SW. Both streets are identified as Neighbourhood Main Streets and consist of a mix of commercial uses and local services. 5 Street SW is also considered a 'Neighbourhood Boulevard', which are pedestrian-focused and highly connected streets that are fully integrated with adjacent land uses. Community open space in the form of schools and parks are in close walking distance to the west of the subject site.

The subject site is well-served by Calgary Transit, with both 4 Street SW and 17 Avenue SW containing regular bus service that is part of the primary transit network.

Community Peak Population Table

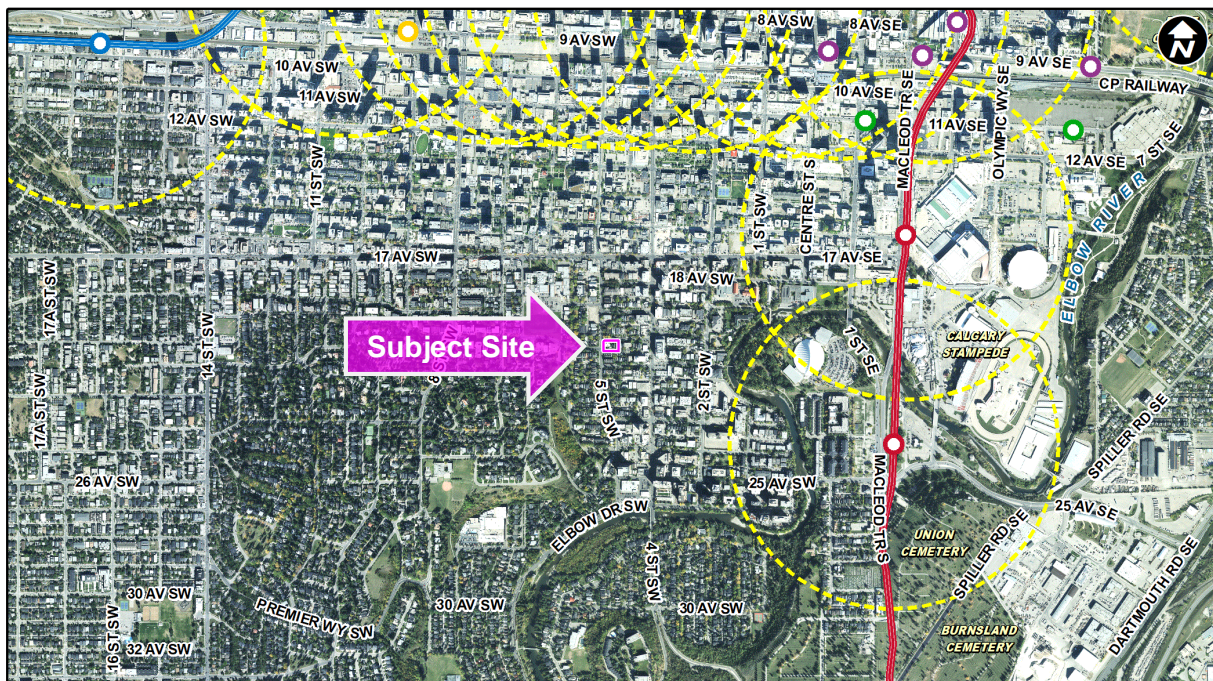
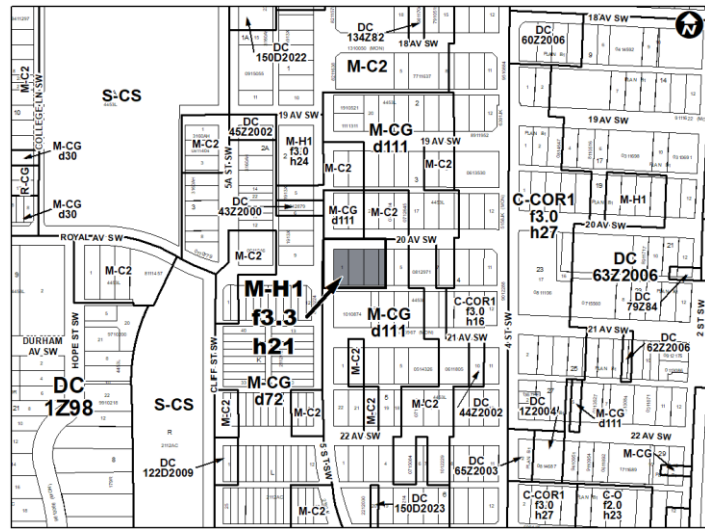
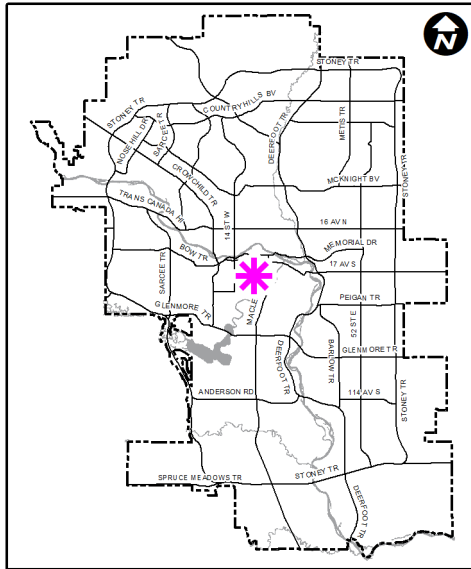
As identified below, the community of Cliff Bungalow reached its peak population in 1982.

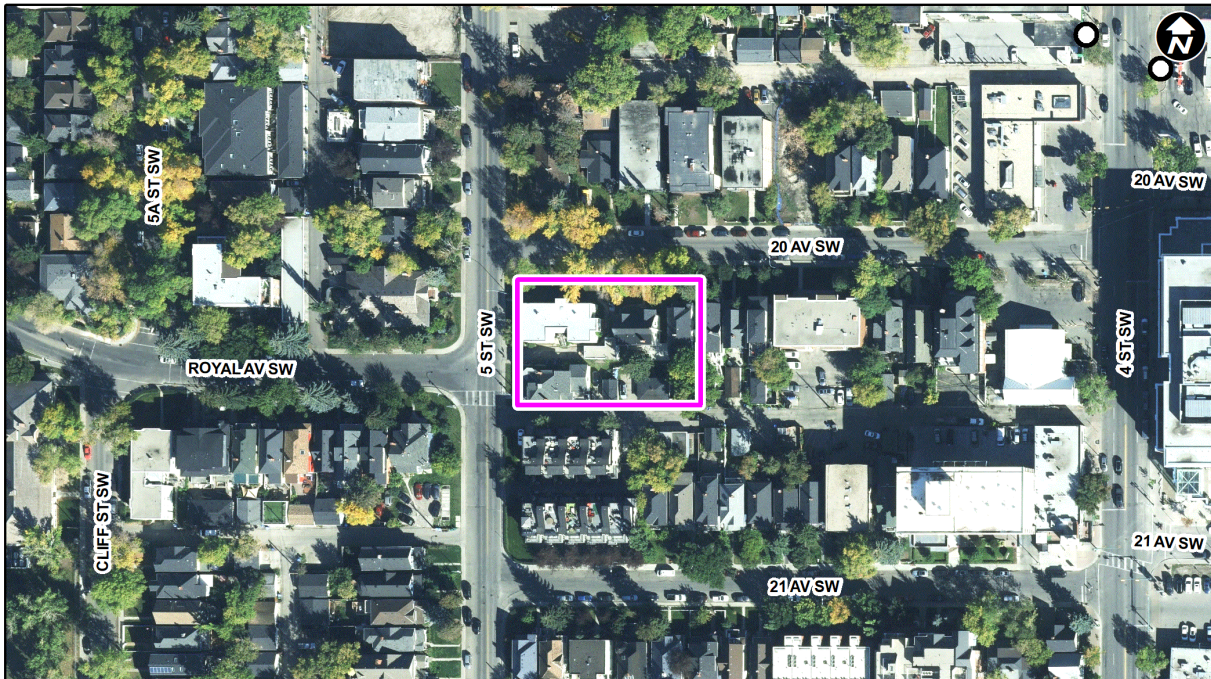
Cliff Bungalow	
Peak Population Year	1982
Peak Population	2,219
2019 Current Population	1,895
Difference in Population (Number)	-324
Difference in Population (Percent)	-14.6%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Cliff Bungalow Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing land use designations on the subject site consist of two residential districts: Multi-Residential – Contextual Grade-Oriented (M-CGd111) District and Multi-Residential – Contextual Medium Profile (M-C2) District.

The M-CG District is intended for multi-residential development with low height and low density and designed to provide some or all units with direct access to grade. The maximum building height is 12.0 metres (approximately three storeys) and the density modifier applied to the subject site allows a maximum of 111 units per hectare.

The M-C2 District accommodates multi-residential developments with higher numbers of dwelling units and higher traffic generation than low density residential and lower profile multi-residential land use districts. The M-C2 District allows for a maximum floor area ratio of 2.5 and a maximum building height of 16.0 metres (approximately four storeys).

The proposed Multi-Residential – High Density Low Rise (M-H1f3.3h21) District would allow for a maximum floor area ratio of 3.3, which equates to a building floor area of approximately 6,435 square metres. The proposed maximum building height of 21.0 metres would allow for approximately six storeys.

The M-H1 District allows for additional density in proximity to the 4 Street SW Neighbourhood Main Street while providing proper interface conditions and transition to lower scale residential buildings on adjacent parcels through building setbacks, step-backs and landscaping to ensure contextually sensitive development.

Development and Site Design

If approved by Council, the rules for the proposed M-H1f3.3h21 District and the policies in the *Cliff Bungalow Area Redevelopment Plan* (ARP) would provide guidance for future site development of the site, including building height and massing, contextual setbacks and step-backs, building materials, landscaping, parcel coverage and parking.

A development permit has been received by Administration and is currently under review. The proposed development is for a six-storey residential building with a top-floor amenity space and 71 dwelling units.

Key factors that are being considered during the review of the development permit application include the following:

- building massing, step backs, contextual setbacks and overall mitigation measures to surrounding low-density residential parcels;
- interface with the lane, including parkade access;
- historical character - building design and materials that incorporate elements that respect the heritage character of the existing block and neighbourhood;
- commemorative feature (plaque) location;
- retention and protection of city boulevard trees along 20 Avenue SW; and
- site landscaping and amenity spaces, including landscaping along 5 Street SW and 20 Avenue SW.

Through the development permit process, the applicant has collaborated with Administration's Local Area Planning team and Heritage Planning team, civic partner Heritage Calgary, and the Cliff Bungalow Community Association on the heritage and historical character of the proposed development. The applicant has incorporated many of the elements requested to ensure the building fits the unique and historical context of the Cliff Bungalow community, including upgraded and contextually appropriate building materials such as brick, contextually appropriate window alignments and building projections. While not a requirement, the applicant has also committed to providing a commemorative plaque on site that honours the community and the site's history and cultural heritage.

The proposed land use amendment does not directly impact any identified heritage resources on the Inventory of Evaluated Historic Resources (the Inventory). The Inventory is a list of sites that have been evaluated and identified as possessing heritage value, and whose conservation benefits Calgarians as a whole. The Inventory is managed by civic partner Heritage Calgary. None of the existing buildings on the subject site are currently listed on the Inventory.

Transportation

The site fronts onto 20 Avenue SW and 5 Street SW and is accessed via a rear lane that exits onto 5 Street SW and 4 Street SW. An existing on-street bikeway is located on 5 Street SW, immediately adjacent to the proposed development.

The location is well-served by Calgary Transit. Routes 3 (Centre St N), 17 (Renfrew/Ramsay), and 449 (Eau Claire/Parkhill) run along 4 Street SW with a northbound and southbound bus stop located approximately 180 metres (a three-minute walk) from the subject site.

No on-street parking is permitted on the east side of 5 Street SW, adjacent to the subject site. Restricted parking is available on 20 Avenue SW and requires a residential parking permit.

A transportation analysis was completed by the applicant and submitted to administration for review. The report evaluated the impact of the proposed development on the local area trip generation, intersection operation along 5 Street SW, signal warrants, road network capacity, parking supply and active transportation infrastructure. The analysis was reviewed and accepted by Administration and no specific safety concerns or improvements have been identified.

Environmental Site Considerations

At this time, there are no known outstanding environmental concerns associated with the site and/or proposal.

Utilities and Servicing

Stormwater, sanitary and water servicing are available for connection adjacent to the subject site via 20 Avenue SW or 5 Street SW. Waste and recycling service will be provided via the rear lane.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment and policy amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located on the edge of the 4 Street SW Neighbourhood Main Street and within the Inner City Area as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). Inner City Areas are primarily residential areas while Neighbourhood Main Streets provide for a broad mix of residential, employment and retail uses with moderate intensification of both jobs and population. The MDP supports creating a more compact urban form which supports local services and sustainable travel choices.

The proposal aligns with the MDP goal of intensifying areas designated for higher density development (such as Neighbourhood Main Streets) and encouraging a transit-supportive land use framework by locating population growth within walking distance of the primary transit network. The proposal aligns with applicable city-wide policies which promote a more compact urban form that makes efficient use of existing infrastructure.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Cliff Bungalow Area Redevelopment Plan (Statutory – 1993)

The site is located within the 'Medium Low Density Infill' and 'Medium Density' land use areas as identified on Figure 3: Land Use Policy Areas in the [Cliff Bungalow Area Redevelopment Plan](#) (ARP). The 'Medium Low Density Infill' land use policy is intended for the retention of existing single family structures, conversions to two family structures and infill redevelopment in the form of townhouses and stacked townhouses. The 'Medium Density' land use policy provides for apartment development in the range of four storeys. A minor amendment to Figure 3: Land Use Policy Areas is required to support this application by revising a portion of the subject site from 'Medium Low Density Infill' to 'Medium Density'.

The proposed development generally aligns with the residential goals of the Cliff Bungalow ARP, providing for a variety of housing types and ensuring that new housing is architecturally compatible with the existing residential character of the community.

West Elbow Communities Local Area Planning Project

This site is located in the West Elbow Communities, which includes Cliff Bungalow and surrounding communities. Administration is currently developing the [West Elbow Communities Local Area Plan project](#). Planning applications are being accepted for processing while the project is in progress, however, applications are reviewed using existing legislation and Council approved policy only, including the existing *Cliff Bungalow ARP*. The proposal is in alignment with the applicable urban form category and building scale modifier for the subject site in the draft *West Elbow Communities Local Area Plan* (LAP). The applicant team has also coordinated with the LAP team during the development permit process to ensure the proposed development adheres to the draft Heritage Guidelines in the draft LAP.

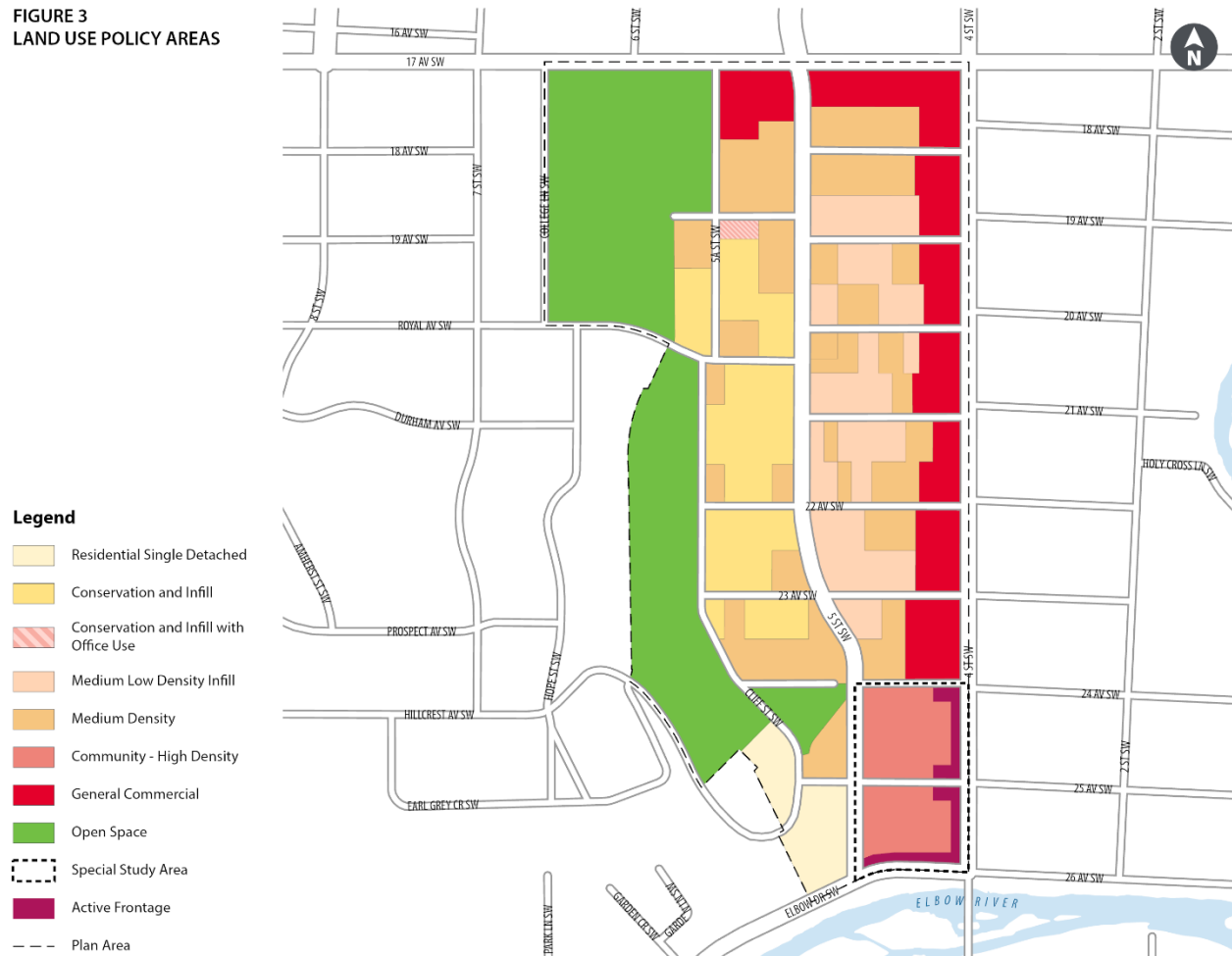
Proposed Amendment to the Cliff Bungalow Area Redevelopment Plan

1. The Cliff Bungalow Area Redevelopment Plan attached to and forming part of Bylaw 2P93, as amended, is hereby further amended as follows:
 - (a) Delete the existing Figure 3 entitled 'Land Use Policy Areas' and replace with the revised Figure 3 entitled 'Land Use Policy Areas' attached as Schedule A.

TEXT FOR DISCUSSION

SCHEDULE A

FIGURE 3
LAND USE POLICY AREAS



Applicant Submission

2024 October 15



460 - 5119 Elbow Drive SW
Calgary, Alberta T2V 1H2

P 403 201 5305
E info@civicworks.ca

Proposed Land Use Change Applicant Summary (October 15, 2024 update)

Project Location: 537 20 AV SW ("Davis Block")
Existing Land Uses: Multi-Residential – Contextual Grade-Oriented (M-CGd111) District /
 Multi-Residential – Contextual Medium Profile (M-C2) District
Proposed Land Use: Multi-Residential – High Density Low Rise (M-H1f3.3h21) District
LOC Application No.: LOC2024-0041

APPLICATION SUMMARY

The subject site, "Davis Block", is situated at the intersection of 5 ST SW and 20 AV SW in the Inner City community of Cliff Bungalow. On behalf of Unitii, CivicWorks has made a Land Use Redesignation ('rezoning') application to transition a contiguous corner-lot land assembly located at 537 20 AV SW (formerly 531, 535, 541 20 AV SW and 2004 5 ST SW) with a site area of 0.195 hectares from the existing Multi-Residential – Contextual Grade-Oriented (M-CGd111) District / Multi-Residential – Contextual Medium Profile (M-C2) District to the Multi-Residential – High Density Low Rise (M-H1f3.3h21) District. S2 Architecture is also undertaking a concurrent Development Permit (DP) application alongside the Land Use Redesignation (LOC) application. The concurrent process ensures a high quality 'bricks-and-mortar' design outcome that aligns with the proposed land use change.

WHAT IS PROPOSED?

A five-storey multi-residential building with rooftop amenity space is proposed. Key project details are summarized below:

Building Height: 5 storeys with a rooftop amenity space (21.0 metre maximum building height)
Floor Area Ratio (FAR): 3.3 maximum FAR
Residential Units: ±71 Dwelling Units (±28 2-bedroom units, ±41 1-bedroom units, and ±2 studio units)
Motor Vehicle Parking Stalls: ±60, contained within an underground parkade
Bicycle Parking Stalls: ±71 Class 1 Bicycle Stalls and ±8 Class 2 Bicycle Stalls

The concurrent DP application currently proposes ±71 dwelling units with a range of 1-2-bedroom and studio options. ±60 motor vehicle parking stalls are also currently proposed in an underground parkade, a supply that exceeds Bylaw requirements. The building additionally includes a rooftop amenity space for residents. Davis Block as currently designed is entirely in alignment with the proposed M-H1 District and will not approach the District maximum Floor Area Ratio (FAR) of 4.0 and height of 26.0 metres – instead, this application seeks to limit these modifiers to 3.3 FAR and 21.0 metres maximum building height, the minimum required based on the proposed architectural design. From the initial design process, the project team's approach has recognized that this location should accommodate greater density while thoughtfully responding to differing built form contexts.

Design details have been formally submitted by S2 Architecture through Development Permit application DP2024-03179. To provide The City of Calgary, the Cliff Bungalow-Mission Community Association, Ward 8 Office, surrounding area residents and the general public with additional information about the proposed development vision, the project team has provided a fulsome Application Brief & What We Heard Report, along with other supporting documents, online at the dedicated project website: www.davisblock.ca.

PROJECT SITE CHARACTERISTICS

The proposed development vision is well-suited to the project site given its lot characteristics, strategic location, and the character and scale of surrounding area development:

Rear Lane Access: The project site has rear lane access for all vehicle movements, eliminating the need for driveway cuts and creating an uninterrupted and pedestrian-friendly streetscape. Sites with direct lane access minimize the impact of vehicles on adjacent streets and sidewalks and also allow for organized waste and recycling collection from the lane.

Higher Activity Street: The project site is located on 5 ST SW, a higher order roadway classified as a *Neighbourhood Boulevard* that connects surrounding area communities and generally sees higher levels of vehicle, cyclist and pedestrian activity.

Nearby Transit Service: The project site is within easy-walking distance of substantial primary and local transit network service, including routes 6 and 7 on 17 AV SW ($\pm 400\text{m}$) and routes 3 and 17 on 4 ST SW ($\pm 200\text{m}$). The subject site is also nearby to the 5 ST SW and 2 ST SW bikeways that connect into cycle lanes and cycle tracks to downtown and the river pathway network. The availability of various transit route options within walking distance of the project site provides access to key local and regional destinations, and supports vehicle-reduced and vehicle-free lifestyles.

Nearby Commercial / Employment Opportunities: The project site is within $\pm 150\text{m}$ (± 2 min. walk) of the 4 ST SW Main Street, $\pm 325\text{m}$ (± 5 min. walk) of the 17 AV SW Main Street, and the Centre City, which all have a wide variety of commercial and employment opportunities, accessible by active transportation and transit.

Nearby Open Spaces & Community Amenities: The project site is within walking distance to a variety of local area destinations and amenities, including Western Canada High School, Rediscovering Childhood Preschool, Montessori School of Calgary, Cliff Bungalow-Mission Community Association, Evamy Ridge and Cliff Bungalow Park / Off-Leash Area, and a wide variety of businesses located along the 4 ST SW and 17 AV SW commercial corridors.

Nearby Multi-Unit Development: The project site is located immediately adjacent and nearby to multi-residential housing along 5 ST SW and in the Cliff Bungalow community as a whole, allowing the future development vision to complement the scale of the surrounding area's existing built form.

ALIGNMENT WITH CALGARY'S GROWTH PLANS

Contemporary city-wide plans like the *Municipal Development Plan (MDP)* and *Calgary Transportation Plan (CTP)* guide Calgary's current planning policy, placing priority on building complete and resilient communities that make more sustainable and efficient use of limited resources like land, energy, infrastructure, services and municipal capital. The proposed change and development vision are consistent with the city-wide goals and policies of these plans, which encourage: the development of innovative and varied housing options in established communities; more efficient use of infrastructure; and more compact built forms in locations with direct and easy access to transit, shopping, schools and other community services.

ALIGNMENT WITH LOCAL AREA PLAN

The subject sites are within the *Medium Density* and *Medium Low Density Infill* land use policy areas of the statutory Cliff Bungalow Area Redevelopment Plan (ARP). A minor, map-based policy amendment to the Cliff Bungalow ARP will be required to change the land use policy area for a portion of the site from *Medium Low Density Infill* to *Medium Density*. While subject to change and refinement, the proposal also recognizes the ongoing work to establish the *West Elbow Communities Local Area Plan* – the September 2024 draft currently categorizes this site as the *Neighbour Connector* Urban Form Category and *Low (up to 6-storeys)* Building Scale. The plan is currently anticipated to go forward to Committee and Council for decision in 2025 – once prepared and approved, the *West Elbow Communities Local Area Plan* will replace the *Cliff Bungalow ARP*.

APPLICANT-LED OUTREACH

We are committed to being good neighbours and hosting open, honest conversations within the communities we work. As part of our Applicant-led outreach process, and in addition to standard City of Calgary requirements, we provided local area organizations, surrounding area residents and the broader community with multi-channel opportunities to learn more about a proposed change and share feedback directly with the project team, all while maintaining respectful and transparent dialogue about housing choice in our city. Our Applicant-led outreach process commenced following submission of the application and provided opportunities across a variety of platforms for stakeholders to learn about the vision and to share their comments and questions.

This application was supported by a dedicated web portal, phone line and email inbox for public questions and comments, along with custom on-site signage and mailers hand-delivered to residents living within $\pm 200\text{m}$ of the project site. Key application materials were also shared directly with the local area Ward 8 Councillor's Office and Cliff Bungalow-Mission Community Association, with opportunities to share feedback, find out more about the project or meet with the project team.

As our outreach process draws to a close and we approach key decision points in the application process, the project team prepared a comprehensive *What We Heard Report*, which has been shared with community groups and The City, as well as published on the dedicated project website for broader public access. The *What We Heard Report* highlights the outreach strategies used throughout the application process, what we heard, and how we responded.

CITY OF CALGARY NOTICE & OUTREACH REQUIREMENTS

In addition to the Applicant-led outreach process, all land use change and development applications are subject to standard City of Calgary notice and outreach requirements:

1. City of Calgary notice letters are sent to directly affected adjacent property owners, with key application information and contact details for The City of Calgary File Manager and the Applicant.
2. Application materials submitted to The City of Calgary are circulated to the local Community Association and Ward Councillor's Office for review and comment.
3. Standard large-format City of Calgary application notice signage is posted on site by the Applicant, with key application information and contact details for The City of Calgary File Manager and the Applicant.

CONCLUSION

The proposed land use change and development vision is in keeping with the city-wide goals and policies of the *Municipal Development Plan* and *Calgary Transportation Plan* and will introduce new and innovative housing options for Calgarians looking to live in established communities that enjoy excellent access to transit, existing infrastructure and community amenities. For the reasons outlined above, we respectfully request your support for this application.

Should you have any questions, comments, or concerns, please contact us at 587.747.0317 or engage@civicworks.ca, referencing "Davis Block" (537 20 AV SW / LOC2024-0041).

Applicant Outreach Summary

2024 August 2

Outreach Approach

What is our role?

Clarifying community outreach roles and responsibilities connected to planning and development projects helps determine who does what, and builds a baseline understanding of the threshold of responsibility across all roles in building a great city. As the proponent of an Applicant-initiated development proposal, we have the associated responsibilities of the outreach lead.

Applicant (Lead)

The lead is the primary decision maker for the project leading up to a formal decision of approval or refusal by the designated City decision-making body.

- Notifies citizens and community groups of the project and any opportunities to learn more or provide input.
- Determines the negotiables and non-negotiables for the project and what is / isn't open for public input.
- Communicates the constraints and clarifies the scope of the conversation.
- Provides clear, concise, transparent and accurate information.
- Holds a respectful conversation.
- Reports back if / when collecting input and provides City decision makers with a summary of the community outreach approach that was taken.
- Keeps citizens and community groups in the loop and closes the loop when decisions are made.

What is your role?

City Administration (Support)

The support assists in the outreach process by providing the Applicant, community / member-based organizations, and the wider community with information, tools and resources to improve understanding and aid in the overall success of the outreach process.

- Shares information about City goals and policies.
- Explains The City's review and decision-making processes.
- Clarifies community outreach roles and responsibilities.
- Creates tools and resources for participants, connectors and leads to help them be successful in their outreach roles.

Community / Member-based Organizations (Connector & Participant)

The connector shares information and insights about a specific community or area to help increase understanding of the local context and to help inform community outreach plans.

- Where possible, shares local information and insights to help build understanding and inform outreach plans.
- Where possible, helps raise awareness of opportunities for people to get involved in local planning projects.

The Community (Participant)

The participant participates in the outreach process.

- Seeks out information and is informed.
- Listens and participates respectfully.
- Respects the scope of conversation and project constraints.
- Provides appropriate feedback and remains open to different ideas.

City Council and the Development Authority (Decision Maker)

The decision maker is responsible for making the final decision to approve/refuse the planning or development application.

- Reviews and considers proposed planning or development application.
- Reviews and considers the outreach strategy / rationale / approach and any feedback that may have been collected.
- Approves or refuses the planning or development application.

Outreach Approach

Outreach Process & Reporting

Unitii and the project team are committed to working with neighbours to build strong and complete communities through thoughtful planning, great design and robust outreach.

Our outreach process was designed to provide multiple opportunities across a variety of digital and distanced platforms for participants to learn about the vision for Davis Block and to share their thoughts — all with the intent of maintaining a respectful and transparent dialogue.

The project team sorted all participants' feedback collected via the Applicant-led outreach according to key themes. Each identified key theme was broken into "What We Heard" and "Team Response" and was discussed in the following What We Heard Report.

The project team looks forward to continued conversations with local community members and community groups and thanks all those who have participated.



Balancing Multiple Interests

An outreach process is more than a compilation of participants input by the project team. Our role, as the outreach lead, requires active listening to determine the root issues underlying individual statements, and reconciling often competing interests and points of view to arrive at evidence-based planning and design solutions. The array of interests which influence any development project include, but are not limited to:

- **Calgary's Growth & Development**
Planning for the next generations of Calgarians
- **Local Area Policy**
Existing policy framework that guides development
- **Participant Feedback**
What various participants think and say
- **Economic Viability**
Needs of the developer to create a viable project

City of Calgary Review and Guidance

City of Calgary Administration is responsible for the formal review of the Land Use Redesignation and Development Permit applications. City Administration will also provide guidance on implementing a best-practice voluntary participants outreach process.

City Administration will actively monitor and observe key Applicant-led outreach activities and will provide Administration contact information through Applicant outreach materials. Input collected via Applicant-led outreach will be reviewed by City Administration and summarized in reports to Calgary Planning Commission and City Council prior to final recommendations and decisions being made.

Outreach Strategies

Outreach Voicemail & Email Address

An outreach voicemail and email inbox were established providing direct lines of communication for community participants to contact the project team. The outreach phone number and email address are posted on the website, mailers, and on-site signage.



On-Site Signage

The project team installed on-site signage following submission of the Land Use Redesignation in February 2024. This on-site sign summarizes the Land Use Application and Development Vision and provides contact information for the project team (phone number, email address, and webpage) and City of Calgary (developmentmap.calgary.ca).



Note: Preliminary rendering.

Informational Brochures & Advertorial

Trifold informational brochures were hand-delivered to all surrounding residents and businesses within $\pm 200\text{m}$ of the subject site. A Great News advertorial was also published in the March 2024 edition of the local newsletter, *The Mission Statement*. The brochures and advertorial summarize the Land Use Redesignation application and Development Vision, as well as provided contact information for the project team (phone number, email address, and website) and City of Calgary (dmap.calgary.ca).



Note: Preliminary rendering.



Project Website

A dedicated project website (davisblock.ca) was launched in February 2024. The website provides an opportunity for interested participants to learn about the vision for Davis Block and enables convenient 24-hour access to the most up-to-date project information. The website includes a feedback form and provides contact information for the project team (phone number and email address) and The City of Calgary (dmap.calgary.ca).



Digital Information Session

An online Digital Information Session was held on June 10, 2024, providing local businesses, residents, and other interested parties the opportunity to learn more about the project, ask questions, and provide their input on the proposed development. Feedback from the Digital Information Session is summarized along with the other means of engagement communication in our What We Heard Report.



Community Information Sharing & Meetings

Continuous information sharing with the Cliff Bungalow-Mission Community Association and the Ward 8 Councillor's Office throughout the application process ensures open lines of communication, along with supplemental meetings when required to discuss the development proposal. Feedback and comments gathered from these meetings has been summarized and responded to as Feedback Themes in the project team's What We Heard Report.

What We Heard Report

LOC2024-0041 & DP2024-03179

Our Commitment

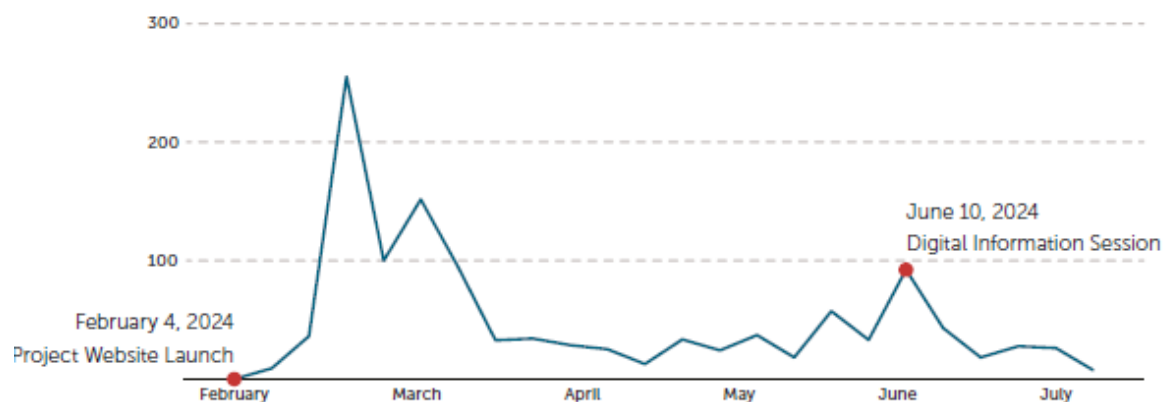
Since no single design solution can satisfy all citizens and community groups completely, the project team cannot integrate everything suggest by our neighbours and the community at-large. Our promise however is that we are transparent about how we reach our conclusions, making the following commitment to all who participate in our process:

1. We will provide you with detailed information about the project.
2. We will ask for your thoughts on key areas of the project.
3. We will share what we heard through the course of our process and our team's response to it.

Background

On June 10, 2024, the project team hosted a Digital Information Session to bring together the project team, interested parties, local area residents, the City of Calgary, the Ward 8 Office, and the Cliff Bungalow-Mission Community Association (CBMCA) to discuss the Davis Block Land Use Redesignation application (LOC2024-0041) process and Development Permit application (DP2024-03179). This session provided an opportunity for the project team to present detailed project information, outreach strategies, and common feedback themes heard to date, and a chance for interested parties to ask questions and provide feedback to the project team. The Digital Information Session was widely advertised by the Applicant Team through the project website with registration and event information; updates to the custom on-site signage to advertise the event and provide registration information; postcards delivered to all residences and businesses within $\pm 200\text{m}$ of the project site and information sharing with the City of Calgary, the Ward 8 Office and the CBMCA.

Project Website Page Views



Note: Project website analytics were collected on July 17, 2024. Page views and unique visitors recorded after this date are not included in this report or graph.

What We Heard

During the 6-month outreach period thus far, the Project Website received 845 unique visitors, 1,200 page views, and 37 registrations for the Digital Information Session. A total of 23 participants attended the 1.5-hour Digital Information Session on June 10, 2024.

In addition to the Digital Information Session, the project team also met in person, on-site with the direct neighbours at 529 20 AV SW, as well as digitally with the residents of Mission Crossing, located across the laneway. Further meetings were held with the Ward 8 Office and the CBMCA. The City of Calgary's West Elbow Communities Local Area Planning and Heritage Guidelines teams were also engaged to ensure appropriate alignment in advance of their emerging policy work, which is not anticipated to come into effect until the summer of 2025.

Project feedback was derived from all emails, phone calls, meetings, and The City of Calgary for the Davis Block proposal. Seven overarching feedback themes emerged. Each topic begins with an outline of what the project team heard and then provides the project team's responses.

Feedback Themes

1. Historic Character
2. Affordability
3. Parking & Traffic
4. Mature Tree Canopy
5. Architectural Design
6. Privacy & Shadowing
7. Emerging City Policy

What We Heard Report

Historic Character

What We Heard

Through general outreach, a number of community participants and the CBMCA brought forward questions about the possibility of preserving the existing historical structures on the site and/or how the proposed development could better reflect the heritage nature of the Cliff Bungalow community.

Response

Despite none of the existing structures on the site being legally protected/designated or identified on The City of Calgary's *Inventory of Evaluated Historic Resources*, Unitii has made notable efforts to respect Cliff Bungalow's heritage nature by incorporating historic elements into the design.

Unitii is offering the existing buildings for relocation, allowing interested parties to relocate these structures at their own cost and liability. The structures themselves would be provided at no cost. This initiative provides a unique opportunity for individuals or organizations to preserve and re-purpose the buildings, thus maintaining their historical and architectural value in a new location. For the portions of the buildings that remain, Unitii will organize a coordinated salvage program. Through this program, community members and heritage enthusiasts will be welcome to acquire heritage materials from the existing buildings. This includes distinctive architectural elements, fixtures, and other materials that embody the unique character and history of the site. By facilitating both the potential relocation of entire structures and the salvage of heritage materials, Unitii aims to promote sustainability and honor the community's appreciation for these buildings.

A heritage commemoration / interpretive plaque is also proposed to be installed to honor the community's rich history and cultural heritage. The content of the plaque is anticipated to provide information about the existing heritage structures on site. The installation will be strategically placed in a prominent, easily accessible location to encourage public interaction and reflection. By integrating a commemorative plaque, the design will celebrate the community's legacy, while also educating current and future Calgarians. Unitii and the Davis Block team will work with Heritage Calgary and The City of Calgary's Heritage Planning Department to ensure an appropriate outcome for this historic feature / commemoration proposal. Unitii has additionally been in contact with the Davis family, the historic and long-time owner of these properties. The project name "Davis Block" seeks to recognize the historical legacy of the Davis family as the previous stewards of the subject property and buildings by honouring their namesake.

While the Development Permit application (DP2024-03179) remains under review by City Administration and subject to change, significant changes have already been incorporated into the design to better align the proposal with the unique and historical community of Cliff Bungalow. The project team has revised the proposed building's materiality based on requests from the CBMCA and local residents, with the addition of a significant amount of brick along the building's key interfaces like 5 ST SW and most-experienced façades along 20 AV SW. The use of brick masonry reflects the materiality of surrounding homes and apartment buildings. Contextual projections of the building on the lowest three storeys are also being integrated into the design to create more of a "townhome" feel from street-level. Other design changes will continue to be incorporated through the active application DP2024-03179.

Affordability

What We Heard

The project team received feedback regarding current residents and the replacement of relatively affordable housing in the neighbourhood of Cliff Bungalow, as well as questions about unit pricing and other affordability considerations.

Response

The Davis Block development is proposed as a purpose-built rental building and is anticipated to have an affordability component. The project team is currently exploring the specifics of an affordability component for this proposal and the number of affordable units is accordingly not yet set, but is presently expected to be approximately 10% of all units offered. While the proposed development is not intended to fall under the publicly-provided and funded "Affordable Housing" spectrum, Unitii is pursuing CMHC financing options as part of the National Housing Strategy. At this early stage of the project, rental rates have not yet been determined, but through the terms of this financing, the development's total rental rates are required to be at least 10% below market rental rates for at least 10 years. Pending Council's decision on the Land Use Redesignation application, this development is anticipated to qualify based on the success of past applications. By implementing untethered parking, deeper affordability can also be achieved for some future residents.

Davis Block is currently proposed with ±71 units, representing a notable increase in housing supply relative to what is available today (18 units). Research shows that increasing housing supply improves housing affordability over the long-term, as adding more units means fewer people are competing against each other to find a home

that fits their needs and budgets. Nearby rental costs can also be reduced as a result of increased supply, as older units need to be priced more competitively to attract tenants. In the case of Davis Block, the units proposed are expected to be a mix of two-bedroom, one-bedroom and studio units and will be offered to a wide market that could include young professionals, retirees, students, couples, downsizers, or families, among other groups who value vibrant and walkable neighborhoods. As the owner-developer, Unitii will retain ownership and act as property manager for all units. This approach ensures that Unitii has a vested interest in maintaining positive relationships with their neighbours. Furthermore, Unitii will be in direct contact with existing residents to assist them through the relocation and moving process.

Parking & Traffic

What We Heard

The project team received comments about existing traffic congestion and on-street parking, asking how the proposed parking and associated development would impact these conditions and how they can be mitigated.

Response

The project team consulted with Bunt & Associates Transportation Planners & Engineers (Bunt & Associates), which prepared an independent Transportation Impact Statement (TIS) that assessed local area trip generation, intersection operation, signal warrants, road network capacity, parking supply, and active transportation infrastructure. This report has been made publicly available on the project website (www.davisblock.ca) for download and review, and was submitted to The City of Calgary Mobility Engineering department for review and record. The TIS determined that this proposal is not anticipated to be a significant generator of total daily traffic volume and that all adjacent roadways and the laneway will continue to carry traffic volumes below their guidelines after the addition of this development.

The expected traffic generation for Davis Block is approximately 15 trips per hour, which is well below The City of Calgary threshold of 100 trips per hour for a Traffic Impact Assessment (TIA) to be required by a Professional Transportation Engineer. The proposed development is also exceeding Bylaw-required on-site vehicle parking supply so a Parking Study was not triggered. For this strategic and well-connected inner-city location, The City of Calgary would require 34 on-site vehicle parking stalls. Unitii is proposing 60 parking stalls, all to be located in an underground parkade accessed off the rear laneway.

While the project team voluntarily had Bunt & Associates complete a TIS to help make informed decisions about parking provision, traffic generation, and safety, The City of Calgary also specifically required a safety analysis of the 5 ST SW intersections with 20 AV SW and the rear laneway – this analysis was incorporated into the TIS. The intersection of 5 ST SW and Royal AV SW is notably off-set from both the intersections with 20 AV SW and the rear laneway – this offset condition was included in Bunt & Associates' modelling. It was determined that the net impact of development traffic associated with Davis Block would represent a 1.3% uplift of turning movement volumes at 5 Street & Royal AV SW/laneway. This uplift in traffic would not be expected to appreciably impact collision potential.

Davis Block is also proposed with 80 bicycle parking stalls to take advantage of the site's immediate adjacency to a shared, on-street bikeway along 5 ST SW providing connectivity to the Elbow River pathway system and Centre City Cycle Track network. Active infrastructure and the provision of bicycle storage helps reduce the demand for motor vehicle-ownership and usage.

The City of Calgary additionally will require Unitii to rehabilitate the rear lane at the time of development at their own expense, further assisting driving conditions along this key interface of concern. Other mobility aspects are currently under review as well in order to ensure a safe, amply parked, and responsible redevelopment.

Mature Tree Canopy

What We Heard

A common theme in the feedback regarding the proposed site design was concern over the potential loss of mature tree canopy due to redevelopment, specifically the boulevard trees located along 20 AV SW.

Response

The project team is dedicated to preserving as many existing mature trees as possible, especially in public boulevards and near property lines. Due to balancing required Bylaw setbacks, building/garage siting rules, and providing ample parking on-site, it can be challenging to save all mature trees. When a tree's survival is uncertain, an arborist will be consulted to assess the viability of retaining it based on its root system's condition and any expected pruning. For trees that are deemed unable to be feasibly retained with redevelopment, Unitii is committed to replacing them with the most mature trees possible (± 100 mm in caliper) to ensure immediate visual impact and environmental benefits. Advanced transplanting techniques and post-transplant care will be employed to support the successful establishment of these mature trees. The project team will continue to engage with The City of Calgary's Urban Forestry department to determine the boulevard trees landscape plan.

The proposed M-H1 District includes specific landscaping rules, such as minimum requirements for the number of trees, shrubs, and their sizes. For Davis Block, a Landscape Plan has been submitted with the Development Permit application (DP2024-03179), which currently includes 18 new trees and 102 new shrubs. A strategic planting program is planned to ensure ample landscaping along both the 5 ST SW and 20 AV SW frontages.

Architectural Design

What We Heard

Some community participants asked if the proposed development's architecture is taking into account the historical nature of the community, as well as if any materiality or other design changes would be considered.

Response

While not a matter related to the Land Use Redesignation application (LOC2024-0041), the project team is making a number of design changes through the staggered-concurrent Development Permit application (DP2024-03179) related to the architectural design. This staggered-concurrent application process allows for The City to review a comprehensive and thoughtful 'bricks-and-mortar' development proposal alongside the proposed Land Use Redesignation. This approach also helps community members better understand the development concept and directly informs decision-making by The City of Calgary Council.

Project team architect, S2 Architecture, has been working diligently to revise the design in response to feedback around ensuring a contextual fit with neighbours and the community. A significant amount of brick has been added along the building's key interfaces like 5 ST SW and most-experienced facades along 20 AV SW to reflect the materiality of surrounding homes and apartment buildings. Several other design changes around ensuring the first three storeys' doors, windows and entrances better respect the community's nature have also been made, creating a rhythm of doors with the feel of townhomes along 20 AV SW rather than a singular building. The project team will continue to work with The City of Calgary on the Development Permit application to ensure a great design outcome.

Privacy & Shadowing

What We Heard

The project team heard some questions from nearby residents about the building and how this change in scale would impact neighbouring properties from a privacy and sun-shadow perspective. In specific, some residents across the laneway had concerns about overlooking from the proposed Davis Block rooftop amenity space onto their existing rooftop amenity spaces, while others had questions about their access to sunlight post-redevelopment.

Response

The project team acknowledges that any redevelopment beyond what currently exists on site will inevitably result in changes to sight lines and will have sun-shadow and overlooking impacts to neighbouring properties. The project team is working hard to ensure these are mitigated as much as possible in a number of ways.

The project team has designed the proposed 5-storey building to respond to differing built form edge conditions, generally gathering mass toward 20 AV SW and 5 ST SW, locating mass away from lower density neighbours across the lane and to the east. Davis Block incorporates a street-oriented design that aligns with M-H1 District setback requirements and which includes specific Bylaws around contextual setbacks away from lower density properties. In specific, the building's eastern edge shared with an existing single-detached residence has a 6m setback above the third storey (10m height). While not required, Davis Block is also proposed with a 6m setback for the entire building along the laneway. This massing expression helps create a more active street frontage through integration of at-grade, street-oriented units, while reducing massing nearby the townhomes across the laneway and

allowing for sunlight penetration both southward and eastward from the site.

The proposed rooftop amenity space has been pushed northward further away from the rear laneway to reduce potential overlooking toward the townhome rooftop amenity spaces located to the south. Strategically frosted windows / glazing along the eastern edge are also being explored through the Development Permit application (DP2024-03179) to better mitigate potential privacy or overlooking impacts along this edge.

To help community members understand the potential shadow impacts associated with the proposed development vision, a sun-shadow study analysis was undertaken using industry-standard modeling, to ensure minimal impacts to adjacent neighbours. The analysis shows that, despite the building height increase, the shadows created by the proposed development are not anticipated to adversely impact the community. Please refer to pages 58-60 in this document to review the shadow studies that examine the potential impacts of the associated Development Permit application.

The originally submitted maximum building height modifier of 22.0m via the Land Use Redesignation application (LOC2024-0041) is proposed to be reduced to only what is required to enable the staggered-concurrent Development Permit application. Davis Block is ±19.3m in height as currently reflected in the Development Permit application (measuring to the top of elevator and stair access on the rooftop, in addition to rooftop furniture including pergolas), and the Land Use Redesignation application's maximum height will be reduced to 21.0m provide more certainty to community members, ensuring that no larger building could be constructed than currently proposed by the project team.

Emerging City Policy

What We Heard

The Ward 8 Office and some other community participants asked if this application is taking into consideration the emerging work that The City of Calgary is undertaking for the West Elbow Communities Local Area Plan.

Response

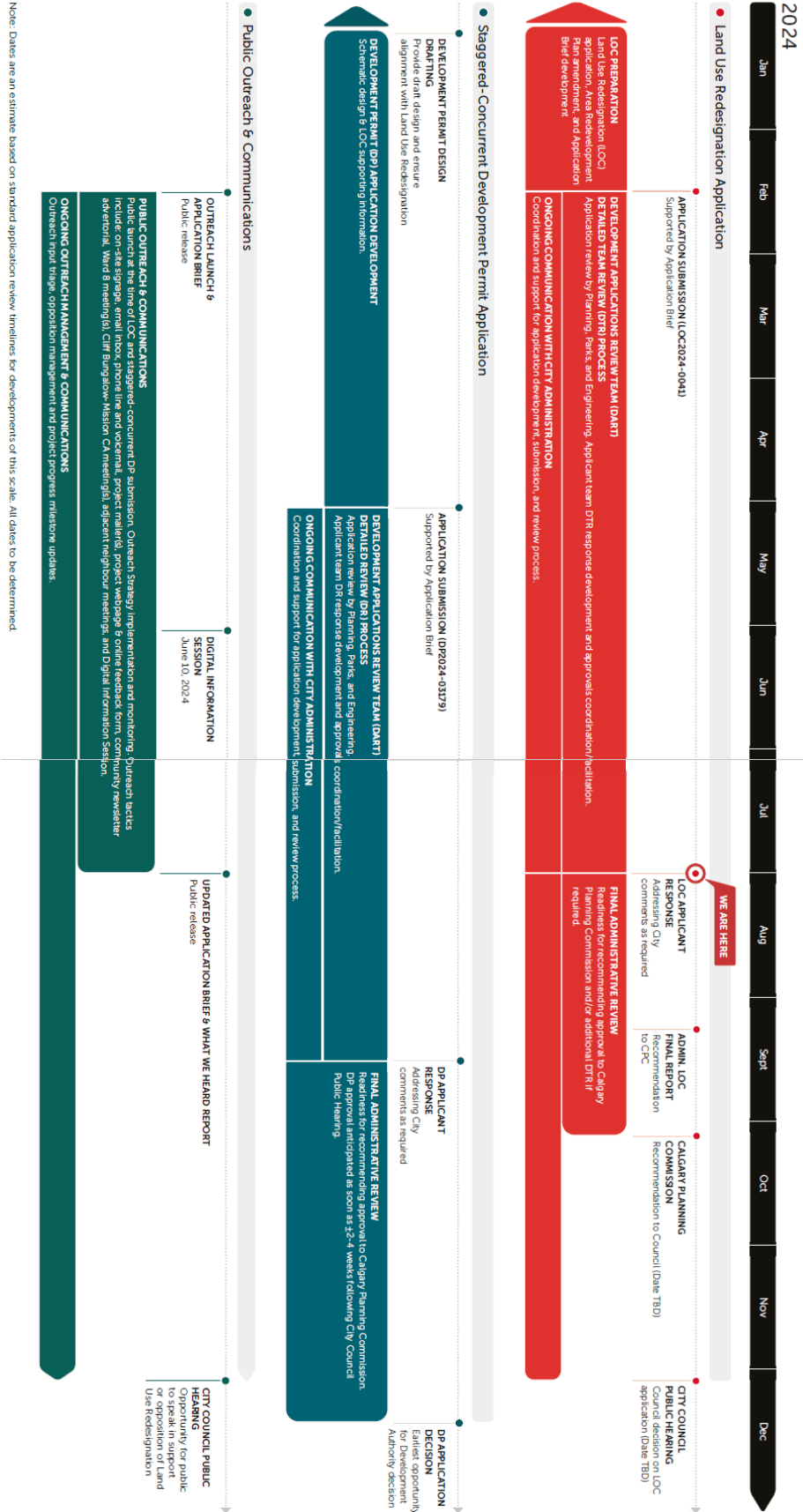
The Davis Block proposal recognizes the ongoing City-led work to establish the West Elbow Communities Local Area Plan (LAP), which is being actively created and currently anticipated to go forward to Committee and Council for decision in 2025. Once prepared and approved, the West Elbow Communities Local Area Plan will replace the Cliff Bungalow Area Redevelopment Plan (ARP).

The draft West Elbow Communities LAP (May 2024) *Existing and Potential Areas for Growth Map* currently denotes the Davis Block site as a "Potential Growth Area" supportive of 4-6 storey buildings. While not yet drafted or in effect, the West Elbow Communities LAP is also anticipated to include a Heritage Guideline Area(s). In recognition of this emerging work, the Davis Block project team met with the West Elbow Communities LAP and Heritage Guideline Area team to work with them on an appropriate outcome in advance of any new draft policies. As a result of City suggestions, several design moves are being voluntarily incorporated into the Development Permit application (DP2024-03179).

The first three storeys are being revised to have front entrances better aligned with the historic nature of the Cliff Bungalow community, including projections that help to emulate the feel of townhomes rather than a single building. Window and door designs facing 20 AV SW have

additionally been modified to more accurately reflect the community character, providing more vertical orientation and historic aesthetic. Significant materiality changes have also been made to ensure that the Davis Block proposal fits contextually within the Cliff Bungalow community.

Generalized Outreach & Approvals Timeline



Note: Dates are an estimate based on standard application review timelines for developments of this scale. All dates to be determined.

Community Association Response

2024 October 17

CLIFF BUNGALOW-MISSION COMMUNITY ASSOCIATION

Planning and Development Committee

462, 1811 4 Street SW, Calgary Alberta, T2S 1W2

Community hall and office, 2201 Cliff Street SW

www.cliffbungalowmission.com

cbmca.development@gmail.com



October 17, 2024

City of Calgary
Planning and Development
Third floor, Municipal Building
800 Macleod Trail SE
Calgary, Alberta

Re: **LOC2024-0041**, 537 20 Avenue SW

Decision: **Letter of Comment**¹

The Cliff Bungalow-Mission Community Association ("CBMCA") has reviewed the land use change application "LOC2024-0041". Based on its review, the CBMCA offers five discussion points, expanded upon on the pages that follow.

1. **The Applicant engaged in good faith.** The CBMCA believes the Applicant worked with community stakeholders in good-faith.
2. **The proposed land-use change fits within the CBMCA's vision for Cliff Bungalow.** The CBMCA believes that outside of the Historical Conservation Policy Area of Cliff Bungalow, sensitive densification within the residential core of the neighborhood should equate to an eclectic mix of new and restored single-family homes, townhouses and 3-5 storey multi-family buildings.

¹ The CBMCA issues four types of decision: 1 Opposed, 2 Concerned, 3 No Objection/Comment & 4 Support.

1. **Letters of Opposition** indicate that the Application has serious discrepancies with respect to our ARP's and/or Bylaw 1P2007. When a letter of opposition is issued we will consider filing an appeal with SDAB if remedial actions are not forthcoming in an amended Application.
2. **Letters of Concern** indicate that either we have insufficient information on which to base a decision or that the Application has some discrepancies with respect to our ARP's and/or Bylaw 1P2007. When a letter of concern is issued we may consider filing an appeal with SDAB if further clarifications and/or amended plans are not provided.
3. **Letters of No Objection/Comment** are provided for reference. They do not indicate approval or opposition. We would not normally consider filing an appeal with SDAB after providing a letter of No Objection/Comment, unless affected residents requested our support or the DP is issued with relaxations to the relevant bylaws.
4. **Letters of Support** indicate that we consider the Application to be in general accordance with our ARP's. To obtain a letter of support the applicant is strongly encouraged to work the CBMCA and affected residents through a charrette or similar community engagement design-based workshop. We would not consider filing an appeal with SDAB after providing a letter of support

The subject parcel (537 20 Avenue SW) sits outside of historical conservation policy area of Cliff Bungalow. Furthermore, the LOC Application (LOC2024-0041) would allow for a contextually appropriate, 3-5 storey multifamily development. As such, this LOC Application is reasonable.

3. **The current iteration of architectural design is substantially improved relative to the original renderings.** The Applicant has made a number of iterative design improvements to better adhere the design of the proposed development to the architectural guidelines of the historical neighborhood of Cliff Bungalow. Of note, the CBMCA is confident that the Applicant intends to develop their currently proposed development (i.e. the risk of a bait-and-switch or land-flip is low).
4. **The loss of the multiple heritage homes and mature trees required to make way for a new development on this parcel will be a significant loss for the community. More durable incentives for heritage designations would be helpful in allowing Cliff Bungalow to retain its heritage assets.** This proposed development would result in the loss of four character buildings within the heritage community of Cliff Bungalow-Mission. The CBMCA believes insufficient municipal incentives are exacerbating the loss of heritage homes within the community of Cliff Bungalow. The City of Calgary should consider enhancing residential heritage incentives at the municipal level, including through the permanent elimination of the municipal mil rate for all designated heritage homes within Calgary.

The presence of mature trees is also an important character feature for the community of Cliff Bungalow-Mission. The proposed development would result in the loss of mature trees within the community. **The CBMCA would appreciate if the Applicant is able to maximize the number of trees saved.**

5. **Improving equity and efficiency as the redevelopment of Calgary's established areas accelerates.** (1) The City of Calgary could develop further policies to nudge developers to develop fallow parcels prior to redeveloping parcels that already provide housing. This strategy would enhance the aggregate of market provided affordable housing, there by keeping rents and home prices more affordable. (2) Separately, the City of Calgary could advocate to the Government of Alberta for better tenant protections around displacement due to demolition and/or substantial renovations.

Zaakir Karim

Director, Planning and Development Committee
Cliff Bungalow-Mission Community Association
cbmca.development@gmail.com

1. Quality of engagement and acknowledgement of Applicant

The Cliff Bungalow-Mission Community Association (“CBMCA”) believes the Applicant worked with community stakeholders in good-faith. The feedback, questions, concerns and comments stemming from multiple conversations with the CBMCA and community residents resulted in thoughtful modifications of the massing model, LOC Application and DP Application. Where the Applicant decided against accommodations, reasonable explanations were provided.

The CBMCA acknowledges the Applicant’s contribution to housing supply during a housing crisis

While federal policies have largely contributed to severe housing crisis within municipalities across the country, finger pointing does nothing to address the current situation. While reducing go-forward immigration rates back to responsible levels would help solve the demand side of the equation, resolving the supply side requires supporting economic actors that are supplying new housing.

The dynamics of the housing industry are pretty straight forward. Developers build new housing stock. Upon delivery, this new housing stock increases housing supply, which helps to reduce market rents at the top end of rental market. As affluent people gravitate to these new suites, they relinquish occupancy of their prior suites, which are typically more affordable. These more affordable suites can then be used by others, which in turn relinquish their more affordable suites. And this creates a domino effect that allows for the diffusion of increased affordability throughout the housing market. Equally as important, as housing stock ages it becomes more affordable housing.

The bottom line is that ensuring an adequate flow of new housing is necessary to keep housing affordable for everyone and over time. It is also the only way the free market can deliver affordable housing units; it just works on a 30–40-year time-lag. Within this context, the CBMCA believes it is important to acknowledge that the Applicant is positively contributing to housing supply and to the functioning of the housing market.

2. The proposed land-use change fits within the CBMCA’s vision for Cliff Bungalow

In broad-strokes, the neighborhood of Cliff Bungalow is composed of three residential areas:

- **A small historical preservation area.** A historical preservation area of roughly five square-blocks between 5th Street SW and Cliff Street SW. This historical preservation area has strict architectural guidelines, strict limits on height and setbacks, and strict limits on building forms. **This LOC Application would have been wholly inappropriate if it had been proposed within Cliff Bungalows historical preservation area.**
- **Higher density periphery.** The periphery of Cliff Bungalow, located north of 18 Avenue SW and south of 25 Avenue SW, where higher density forms are often appropriate.

- **Eclectic residential core.** The residential core of Cliff Bungalow, where sensitive densification equates to an eclectic mix of new and restored single-family homes, townhouses and 3-5 storey multi-family buildings tied together by architectural guidelines that pay homage to Cliff Bungalow's historical roots.



Figure 1. Land Use Policy Areas within Cliff Bungalow

This parcel is located in the eclectic residential core of Cliff Bungalow that is continuously evolving into a changing mix of heritage homes, new infills, townhouses, and 3-5 storey multi-family buildings. The current mish-mash of zoning and building typologies within this area encapsulates the CBMCA's visions for the area (i.e. the mish-mash of typologies is a feature rather than a bug). As such, the existing character homes that sit on the subject parcels adhere to the CBMCA's vision for Cliff Bungalow, but so too would the proposed the proposed development.

This LOC Application is loosely based on the M-C2 district, which is contextually appropriate for Cliff Bungalow. Cliff Bungalow has many parcels that are zoned either M-CG or M-C2 between 4th Street SW and 5A Street SW. The most recently completed M-C2 project completed in the neighborhood are listed below:

- 2320 5 Street SW – Apartment of 35 units, completed in 2022
- 1730 5A Street SW – Apartment of 33 units, completed in 2010
- 509 21 Avenue SW – Apartment of 23 units, Completed in 2006

The high-level attributes of the project proposed by the Applicant (FAR of 3.3 and a height of mostly 15.5m) are similar to the attributes of the M-C2 district (maximum FAR of 2.5x and maximum height of 16m) that is ubiquitous within Cliff Bungalow.

The CBMCAs understanding is that the Applicant is largely proposing a five-storey building (15.5m), with a sub-section of a sixth-storey (bringing the development to 18.6m in height) to allow for to a roof-top garden amenity. There is also a small mechanical screen on top of the rooftop amenity and some flexibility to the proposed height (taking the height in the LOC Application to 21m). However, the CBMCA believes the massing of the building will be fairly similar to the maximum height allowance of the M-C2 district (16.0m) as it relates to shadowing and public realm considerations.

Additionally, the CBMCA understands the proposed building would have an FAR of 3.3x, which is a considerable relaxation relative to the M-C2 district (FAR of 2.5x) that is already ubiquitous within the neighborhood; however, the proposed setbacks around the proposed development are contextually appropriate (as is the step-back on the east side of the proposed development). As such, the relaxation in FAR seems reasonable, providing incremental density without incremental adverse impacts to neighborhood character.

3. The current design iteration of the proposed development adheres to the architectural guidelines of the Cliff Bungalow ARP

As detailed earlier within this note, outside of the Historical Conservation and Infill Area of Cliff Bungalow, sensitive densification within the residential core of Cliff Bungalow is largely expected to equate to an eclectic mix of new and restored single-family homes, townhouses and 3-5 storey multi-family buildings.

In order to preserve the character of the neighborhood, all new residential structures – whether single family homes, townhomes or multi-family buildings - are expected to cohesively blend into the neighborhood from an architectural perspective. Neighborhood character features include guardrails on height and contextual setbacks that apply to both new buildings and existing buildings undergoing adaptive reuse.

As outlined within the Cliff Bungalow ARP, new homes and townhomes are required to incorporate architectural character features, which can include a mix of pitched roofs, porches, gables, dormers and other architectural details. With regards to materiality, finishing materials that align with community character include narrow lap siding, standard brick and cedar shakes. Many

of these architectural guidelines can be extended to apartment style developments.² A conceptual rendering of such a development is depicted below:

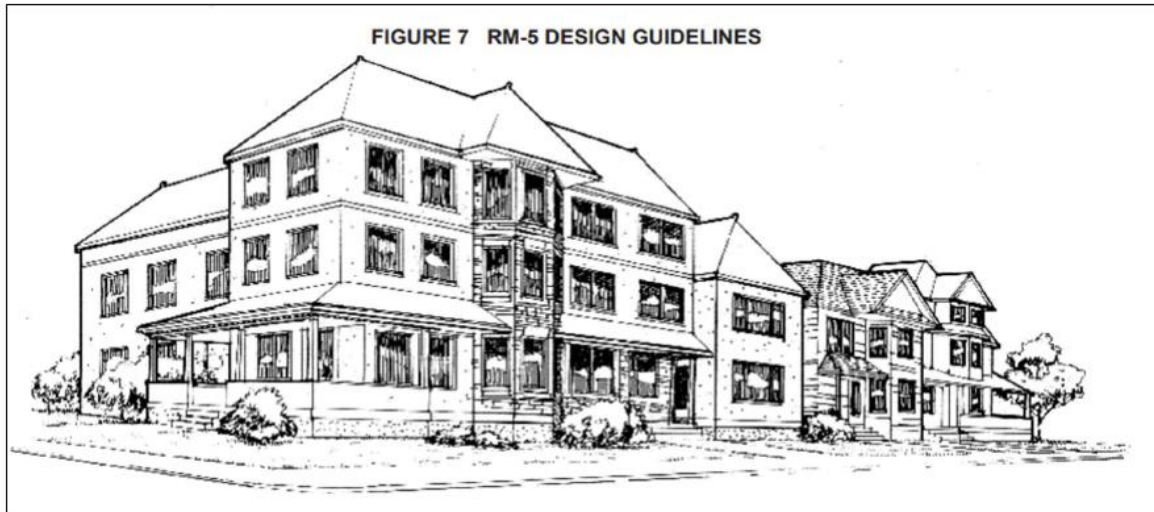


Figure 2. Example of an apartment style building adhering the architectural guidelines outlined in Cliff Bungalow ARP

That said, developers in Cliff Bungalow often decide to design more contemporary, block style apartments style buildings. The CBMCA is comfortable with such designs as they can be cohesive with the heritage retail and multifamily buildings of Cliff Bungalow-Mission, as depicted below.



Figure 3A. Example of historical buildings in Mission featuring block-style massing

² The Cliff Bungalow ARP (3.1.4.4) notes for RM-5 developments, “New medium density developments should be designed in a manner which is consistent and compatible with the character and scale of the adjoining RM-2 and RM-3 areas. A well-articulated building facade with architectural details, sloped roofs, at grade entries, lane access parking and finishing materials which complement the surrounding low density residential character of the area is encouraged.”



Figure 3B. Example of historical buildings in Mission featuring block-style massing

The CBMCA believes the Applicant's current proposal (depicted below) meets the criteria for an appropriate block design for Cliff Bungalow. The proposed development features a height of 3-5 storey, contextual setbacks, at grade entries, lane access parking, and includes healthy amounts of brick and narrow lap siding on its exterior façade.



Figure 4: Applicant's most current rendering of Davis Block

	Architectural design guidelines outlined in Cliff Bungalow ARP	Applicant's Proposal	Adherence to ARP
Height	2-5 Storeys	5-Storeys	Good
Setbacks	Contextual	Contextual	Good
Step-backs	Reasonable	Reasonable	Good
At grade entries	Yes	Yes	Good
Lane access parking	Yes	Yes	Good
Materiality	Brick, narrow lap-siding, cedar shakes	Brick paneling, narrow lap siding, metal paneling	Okay

Figure 5: Applicant's adherence to design guardrails outlined within Cliff Bungalow ARP

Committee members of the CBMCA did have some mixed opinions on the quality of the design. Some members expressed concern around the window alignment, preferring windows to be vertically aligned to align with community character. Others noted concerns with the selection of brick panels (instead of brick or brick vaneer) and of metal paneling (not a historically sensitive material). In contrast, others felt the current design iteration would fit into the community reasonably well.³

For comparison, examples of contemporary apartment-style projects that have cohesively blended into the community of Cliff Bungalow-Mission are provided below. The Applicant's current design is comparable in quality to these other projects.



Figure 6: Truman's 1901 College Street Project, located in Cliff Bungalow-Mission at 1901 5th Street SW

³ "New development should be designed to be unobtrusive and to blend with the scale and form of existing and adjacent homes. The redevelopment of existing dwellings as well as new development shall respect the historic style of homes in Cliff Bungalow and incorporate elements of the original building styles common to the community." (Cliff Bungalow ARP 3.1.4.3).



Figure 7: Wexford Development's Elva Project, located in Cliff Bungalow-Mission at 320 25 Avenue SW



Figure 8: Unittii Corp's Mission Flats, located in Cliff Bungalow-Mission at 320 19 Avenue SW



Figure 9: CDH Development's Tela Condominiums, located in Cliff Bungalow-Mission at 317 22 Avenue SW



Figure 10. Harold Sicherman's District Condos, located in Cliff Bungalow-Mission at 305 18 Avenue SW



Figure 11: Bucci's Tribeca Condos, located in Cliff Bungalow-Mission at 323 20 Avenue SW

4. Discussion around the continued loss of heritage buildings in Cliff Bungalow

Insufficient municipal incentives exacerbate the loss of heritage homes

The loss of heritage homes throughout the community of Cliff Bungalow-Mission is a loss for character, identity and sense of place, both within the community and for Calgary more broadly. The CBMCA realizes that outside of the historical conservation area in Cliff Bungalow, the loss of some older homes between 4th Street SW and 5th Street SW will be inevitable as sensitive densification occurs. However, the evolutionary balance in Cliff Bungalow seems to be have become increasingly tilted against the preservation of character homes over recent years.

Specifically, over the decade, 16 character homes have been removed to make way for townhomes and apartment style developments, as depicted in Appendix 1. Over those same ten years, only two structures in Cliff Bungalow – whether residential, institutional or commercial - have been

historically designated. This is of significant concern to the residents of Cliff Bungalow-Mission, with many feeling that irreplaceable aspects of the historic community are under threat.

The CBMCA believes the City of Calgary could help to restore balance to this equation by increasing the publicly available incentives for private citizens to designate and rehabilitate their heritage homes and is advocating for **permanent property tax abatement for historically designated homes.**

The CBMCA believes the City of Calgary should move forward with property tax abatement for historically designated homes, but go even further than is currently being proposed. Specifically, the CBMCA advocates for the permanent removal of the municipal mil rate for all municipally designated homes. Such an incentive would be enduring and permanent, much like the decision to historically designate a home. Based on an average detached home value of \$640,000 within Calgary, eliminating the municipal mil rate for residential heritage homes would increase the value of heritage designation by an average of ~\$65,000, offsetting the loss of optionality a home owner incurs by choosing to pursue heritage designation on their home. Such a policy would also have a negligible impact on tax rates. If the CBMCA's math is correct, each incrementally designated heritage home would increase the annual property tax on a residential property in Calgary by roughly \$0.005 (half-a-cent), a truly negligible amount.

5. Improving equity and efficiency as Calgary's established areas redevelop

The City of Calgary should create additional policies to incentivize the buildout of privately held, fallow, inner-city land

The path function for the redevelopment of Calgary's inner city is important and could be more thoughtfully nudged in an equitable and efficient direction by the municipal government. In an idealized path function, developers would choose to redevelop vacant inner city lots into new multi-family housing PRIOR to redeveloping market-provided affordable housing into new multi-family housing.

This idealized path function would allow affordable suites to better coexist with new housing developments by prolonging the stock of affordable market-supplied housing. This in turn would positively impact aggregate housing supply, improve housing affordability, increase the rate of densification within Calgary, promote diversity of housing types, help combat climate change, reduce landfill waste and reduce property taxes per household. It also reduces the need for all levels of government to supply non-market, affordable housing, which frees up tax revenue for better uses (such as tax cuts or other social objectives).

The select use of policy levers (such as reduced developer surcharges and punitively high mil-rates on fallow land) could be used as carrots and sticks to nudge developers to build on fallow inner-city land first. Underutilized land in Mission/Beltline east of Centre Street S, in Sunalta along 10 Avenue SW and in Beltline to the north of 12 Ave SW seem like obvious areas where such policies could be explored.

City of Calgary might consider advocating to the Government of Alberta for stronger tenant protections around displacement

The CBMCA believes its mandate as a community association includes advocating for the reasonable treatment of the community residents that lose their homes when existing rental suites are demolished to make way for new development. Based on the Residential Tenancies Act of Alberta, these residents of Cliff Bungalow-Mission will be legally responsible to bear the full cost of this displacement even though the decision to redevelop was not theirs to make.

These displacement costs include the cost of finding alternative living arguments, the cost of packing, the cost of moving, and having sufficient liquidity to come up with a new security deposit for their new rental premises (while still renting at their current residence). The CBMCA would estimate impact at \$1,000-\$2,000 per displaced tenancy. This negative externality imposed on these residents is compounded by the fact that most of these residents are renting affordable suites, which implies the burden of displacement might be substantial for some of these Calgarians.

Much of the argument against rent control in Alberta stem from the idea that allowing free markets to function efficiently will minimize aggregated long-term rents. As such, while rent control policies are controversial, stronger tenant protections around minimizing the negative externalities of displacement should be easily supportable. The City of Calgary could advocate to the Government of Alberta for better tenant protections around displacement due to demolition and/or substantial renovations.

Appendix 1 – Depiction of demolished character homes in Cliff Bungalow over past decade



Figure 12. Four character homes are at risk of loss with respect to the Davis Block development in 2024



Figure 13. Four character homes were demolished to develop a townhouse at 530 23 Avenue SW in 2015



Figure 14. Three character homes were demolished to develop an apartment at 527 24 Avenue SW in 2020



Figure 15. Three character homes were demolished to develop an apartment at 1901 5 Street SW in 2023



Figure 16. Three character homes were demolished to develop a townhouse at 1920 5A Street SW in 2015



Figure 17. One character homes was demolished to develop a townhouse at 2298 5 Street SW in 2021

**Land Use Amendment in Banff Trail (Ward 7) at 2371 – 20 Avenue NW,
LOC2024-0188**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.06 hectares \pm (0.14 acres \pm) located at 2371 – 20 Avenue NW (Plan 9110GI, Block 7, Lot 11) from Residential – Grade-Oriented Infill (R-CG) District to Direct Control (DC) District to accommodate rowhouse development, with guidelines (Attachment 2).

HIGHLIGHTS

- This land use amendment seeks to redesignate the subject parcel to a Direct Control (DC) District based on the Residential – Grade-Oriented Infill (R-CG) District to address unusual site constraints created by a restrictive covenant on title which restricts development to a “Single or Two Family dwelling house and a private garage”.
- This application supports the transit-oriented development vision for the Banff Trail community in alignment with the *Municipal Development Plan* (MDP) and *Banff Trail Area Redevelopment Plan* (ARP).
- What does this mean to Calgarians? This land use amendment would promote greater housing choice in a community with access to alternative transportation modes, as well as more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? More housing choice adjacent to existing Light Rail Transit (LRT) infrastructure is important and this proposal may increase population diversity in close proximity to existing services and facilities in Banff Trail and may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- In 2023, a development permit (DP2023-05562) was approved on this site for a four-unit rowhouse building with secondary suites.
- In 2017, a land use amendment application was approved by Council (Bylaw 269D2017) to implement the new density policies of the ARP which designated the subject parcel Residential – Grade-Oriented Infill (R-CG) District.

DISCUSSION

This application, located in the northwest community of Banff Trail, was submitted on 2024 July 18 by Horizon Land Surveys on behalf of the landowner, Bhimani Holdings Inc. The application proposed a redesignation to Direct Control (DC) District to enable the development of four dwellings units with secondary suites, as indicated in the Applicant Submission (Attachment 3).

The approximately 0.06 hectare (0.14 acre) parcel is located in at the corner of Halifax Crescent NW and 20 Avenue NW and is currently vacant as the previous single detached dwelling and garage have been demolished. The site is approximately 400 metres east of the Banff Trail LRT Station (a six-minute walk) and 300 metres (a five-minute walk) from the 16 Avenue NW Urban Main Street.

The parcel is subject to a restrictive covenant that restricts the use of the parcel to a single or semi-detached dwelling. Restrictive covenants are not binding on Council or Administration in

**Land Use Amendment in Banff Trail (Ward 7) at 2371 – 20 Avenue NW,
LOC2024-0188**

making land use or development permit decisions. They do present a potential impediment to redevelopment at the time of construction should another landowner choose to enforce the restrictive covenant.

The ARP states that for parcels subject to a restrictive covenant that is not in alignment with the goals and objectives of the ARP, The City of Calgary supports the direction of the ARP (Section 2.1.2 – Context). This is the basis of Administration's recommendation to Calgary Planning Commission in this report.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant delivered post cards outlining the proposed change to neighbours within a 100 metre radius. The applicant also contacted the Banff Trail Community Association and Ward 7 Councillor's Office. The Applicant Outreach Summary can be found in Attachment 4.

City-Led Outreach

In keeping with Administration's practice, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

No public comments were received at the time of writing this report.

No comments from the Banff Trail Community Association were received. Administration contacted the Community Association to follow up and no response was received.

Following Calgary Planning Commission, notification for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed DC District will provide additional certainty that the rowhouse and townhouse uses listed in the existing R-CG District can be realized, which may better accommodate the housing needs of different age groups, lifestyles and demographics.

**Planning and Development Services Report to
Calgary Planning Commission
2024 October 31**

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CPC2024-1158
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**Land Use Amendment in Banff Trail (Ward 7) at 2371 – 20 Avenue NW,
LOC2024-0188**

Environmental

The approved development permit linked to this land use amendment does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*.

Economic

The ability to develop up to four dwelling units and secondary suites on this site would allow for a more efficient use of land, existing infrastructure and services, and provide more housing choices in the community.

Service and Financial Implications

No anticipated financial impact.

RISK

If this land use amendment application is not supported, there may be impediments to the implementation of the MDP and the ARP. Private investment and redevelopment envisioned in the MDP and ARP may not be achievable on this parcel even though it is situated within 400 metres from the existing Banff Trail LRT station (a six-minute walk).

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Direct Control District
3. Applicant Submission
4. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the northwest community of Banff Trail at corner of Halifax Crescent NW and 20 Avenue NW. the parcel is approximately 0.06 hectares (0.14 acres) in size and is approximately 17 metres wide and 36 metres deep. The original dwelling and detached garage were demolished in 2024 and the site is currently vacant.

Surrounding development consists primarily of single detached dwellings and a rowhouse development located northeast of the subject site. Parcels located further east of the subject site are designated Commercial – Neighbourhood 2 (C-N2) District and Multi-Residential – Contextual Low Profile (M-C1) District. The site has good access to parks and open space, schools, and primary transit service. Nearby schools include:

- Branton School, approximately 220 metres southeast (a three-minute walk);
- Capitol Hill School, approximately 650 metres east (an 11-minute walk); and
- St. Pius X School, approximately 750 metres east (a 12-minute walk).

Banff Trail LRT Station is approximately 400 metres (a six-minute walk) west of the subject site and is also located approximately 300 metres (a five-minute walk) from the 16 Avenue NW Urban Main Street. The subject site is also well serviced by public transit along 19 Street NW, 20 Avenue NW and 16 Avenue NW where the MAX Orange Brentwood/Saddletowne stop is located.

Many parcels in Banff Trail are subject to a restrictive covenant registered in 1952, restricting development on the affected parcels to single and semi-detached dwellings. These covenants, registered against individual properties and/or entire subdivision plans, were used as an early planning tool before municipalities adopted land use bylaws and other planning legislation designed to govern land development. While these restrictive covenants are not binding on Council or Administration in making land use or development permit decisions, they present a potential impediment to redevelopment at the time of construction should another landowner choose to enforce the restrictive covenant.

Community Peak Population Table

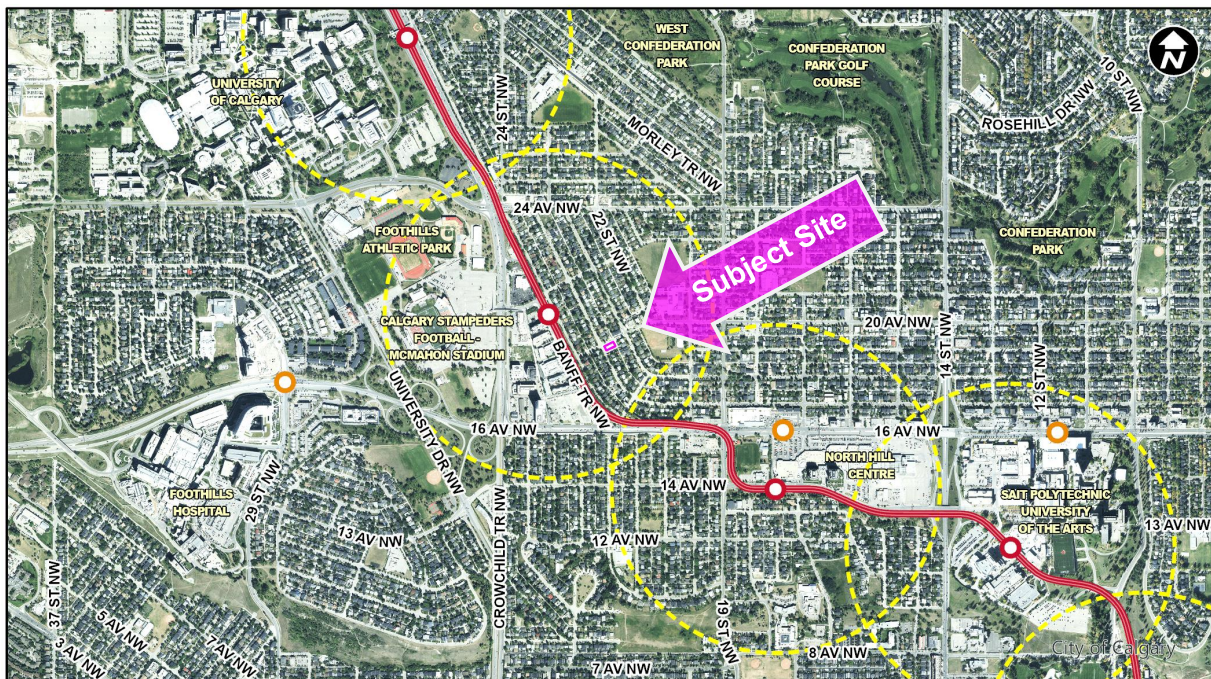
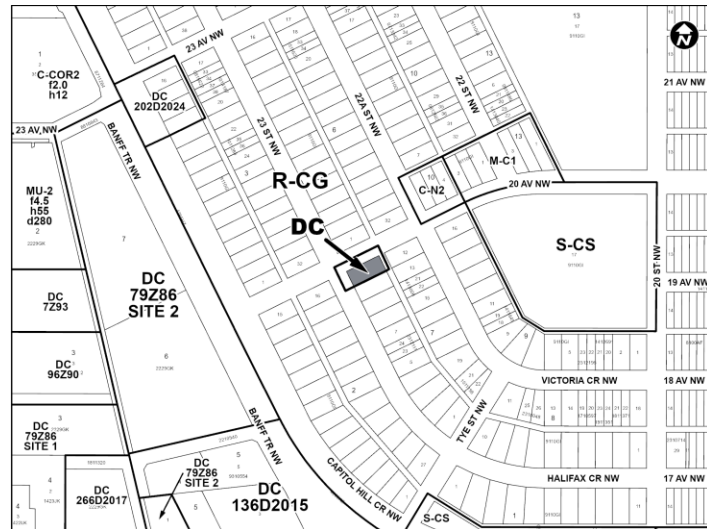
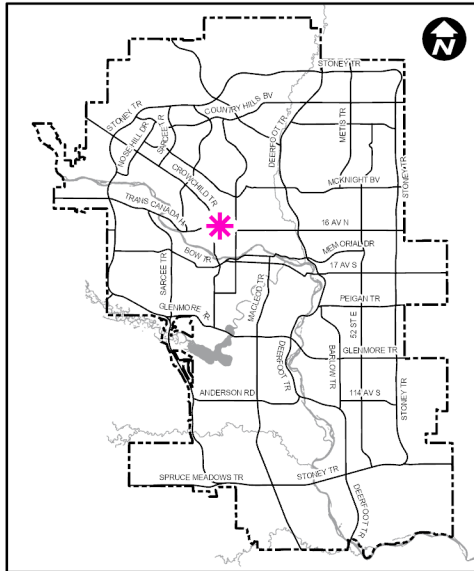
As identified below, the community of Banff Trail reached its peak population in 1968.

Banff Trail	
Peak Population Year	1968
Peak Population	4,883
2019 Current Population	4,153
Difference in Population (Number)	- 730
Difference in Population (Percent)	- 14.9%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Banff Trail Community Profile](#).

Location Maps





Previous Council Direction

In 2013, Council directed Administration to work with interested parties to identify potential areas for modest intensification in Banff Trail. As a result of this direction, the *Banff Trail Area Redevelopment Plan* (ARP) was amended in 2016 to include several new typologies, including Low Density Rowhouse. The Low Density Rowhouse typology was applied to numerous sites, including the subject parcel.

In 2017, Council approved a City-initiated redesignation (Bylaw 269D2017) to several blocks along strategic corridors in Banff Trail, resulting in current designation of the Residential – Grade-Oriented Infill (R-CG) District. This action supported the implementation of the Land Use Plan (Figure 2 – Land Use Plan) in the ARP.

In 2019 September, Council amended the ARP (Bylaw 56P2019) to remove the Special Study Area overlay from the intersection of Crowchild Trail NW and 24 Avenue NW. The amendment supported redevelopment in alignment with the goals and objectives of the ARP where there was conflict with a restrictive covenant that limited development to one or two dwelling units.

Planning Evaluation

Land Use

The existing Residential – Grade-Oriented Infill (R-CG) District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, rowhouses and townhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow up to four dwelling units with the ability for secondary suites.

The proposed land use district is a Direct Control (DC) District, based on the R-CG District. The intent of the DC is to allow for development that requires a minimum density of 50 units per hectare (minimum of three dwelling units) and maintains the maximum density of 75 units per hectare (maximum four dwelling units). The DC District also excludes Single Detached Dwelling, Contextual Single Detached, Semi-detached Dwelling, Contextual Semi-detached Dwelling, Duplex Dwelling and Cottage Housing Cluster uses.

Pursuant to Section 20 of the Land Use Bylaw 1P2007, this application for a DC District has been reviewed by Administration. The use of a Direct Control District is necessary to allow for the applicant's proposed development due to the unusual site constraint created by the restrictive covenant on title, which limits development to a "Single or Two Family dwelling house and a private garage". The existence of the restrictive covenant prevents the landowners from developing their land in accordance with the approved R-CG District and the policies of the ARP.

This proposal specifically enables the applicant's intended four-unit rowhouse development, while maintaining the R-CG District base to ensure development is compatible with other forms of low-density residential development. The same result could not be achieved through the use of a standard land use district in the Land Use Bylaw.

The proposed DC District supports redevelopment that aligns with The City's approved policy goals and investments, expressed through the *Municipal Development Plan* (MDP) and the ARP. It also ensures that the ARP can be implemented the way it was envisioned.

The proposed DC District includes a rule that allows the Development Authority to relax Section 6 of the DC District Bylaw. Section 6 incorporates the rules of the base district in Bylaw 1P2007 where the DC District does not provide for specific regulation. In a standard district, many of these rules can be relaxed if they meet the test for relaxation of Bylaw 1P2007. The intent of this DC rule is to ensure that rules regulating aspects of development that are not specifically regulated by the DC can also be relaxed in the same way that they would be in a standard district.

Development and Site Design

If approved by Council, the rules of the R-CG District (referenced in the proposed DC District) as well as the policies of the MDP and ARP will provide guidance for redevelopment, with the exception that single detached and semi-detached dwellings will no longer be allowed in the approved DC District, and development must provide a minimum of three dwelling units (or 50 units per hectare).

The approved development permit for this site (DP2023-05562) satisfies the minimum density requirements of the proposed DC District, and a new development permit would not be required if this land use amendment is approved.

Transportation

Pedestrian access to the site is available from the existing sidewalks along Halifax Crescent NW and 20 Avenue NW. Existing on-street bikeways, part of the current Always Available for All Ages and Abilities (5A) Network, are located along 22 Street NW and 24 Avenue NW, supporting access to and from the site by alternative transportation modes.

The subject site is well served by Calgary Transit Service and has direct and convenient access to Banff Trail Light Rail Transit (LRT) Station, approximately 400 metres northwest of the site (a

four-minute walk). Bus routes are also available on 19 Street NW with southbound and northbound stops located within 500 metres, or a six-minute walk from the site (Routes 414 – 14 Street Crosstown and 105 – Dalhousie Station/Lions Park Station). The subject site is also located approximately 300 metres (a five-minute walk) from the 16 Avenue NW Urban Main Street where the MAX Orange Brentwood/Saddletowne stop is located. The subject site is also well serviced by public transit along 20 Avenue NW where Route 65 – Market Mall/Downtown West, Route 404 – North Hill and Route 414 – 14 Street Crosstown are located.

Vehicular access to the proposed development is anticipated to be from the rear lane. The subject parcel falls within Residential Parking Permit (RPP) Zone E, and on-street parking is available on 23 Avenue NW and 22 Street NW adjacent to the site.

A Transportation Impact Assessment was not required as part of this application.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water and sanitary sewer mains are available to service the subject site. Details of site servicing, as well as appropriate stormwater management will be considered and reviewed as part of the development permit review stage.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential – Inner City area as identified on Map 1: Urban Structure of the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of established communities to make more efficient use of existing infrastructure, public amenities and transit, and deliver small and incremental benefits to climate resilience. The proposal is in keeping with the relevant MDP policies.

Calgary Climate Strategy (2022)

The approved development permit linked to this land use amendment does not include any actions that specifically address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#).

Banff Trail Area Redevelopment Plan (Statutory – 1986)

The subject site is located within the Low Density Rowhouse area as identified on Figure 2 - Land Use Plan in the [Banff Trail Area Redevelopment Plan](#) (ARP). The Low Density Rowhouse area is intended to allow for a modest increase in density with a greater variety of housing types. New development should be grade-oriented including rowhouse buildings and therefore, this land use amendment does not require an ARP amendment.

Section 2.1.2(b) of the ARP provides specific direction regarding the potential for conflict between the policy goals of the ARP and the restrictive covenant affecting the subject parcel. Section 2.1.2 - Context in the ARP states the following:

“Many parcels in Banff Trail have a caveat registered against the certificate of title which may restrict development. These restrictions include, but are not limited to, restricting development to one or two-unit dwellings. In some cases, this caveat is not in alignment with the goals and objectives of this Plan and where such conflicts occur, The City of Calgary supports the direction of this Plan.” (Bylaw 56P2019)

The proposed land use amendment is in alignment with the ARP.

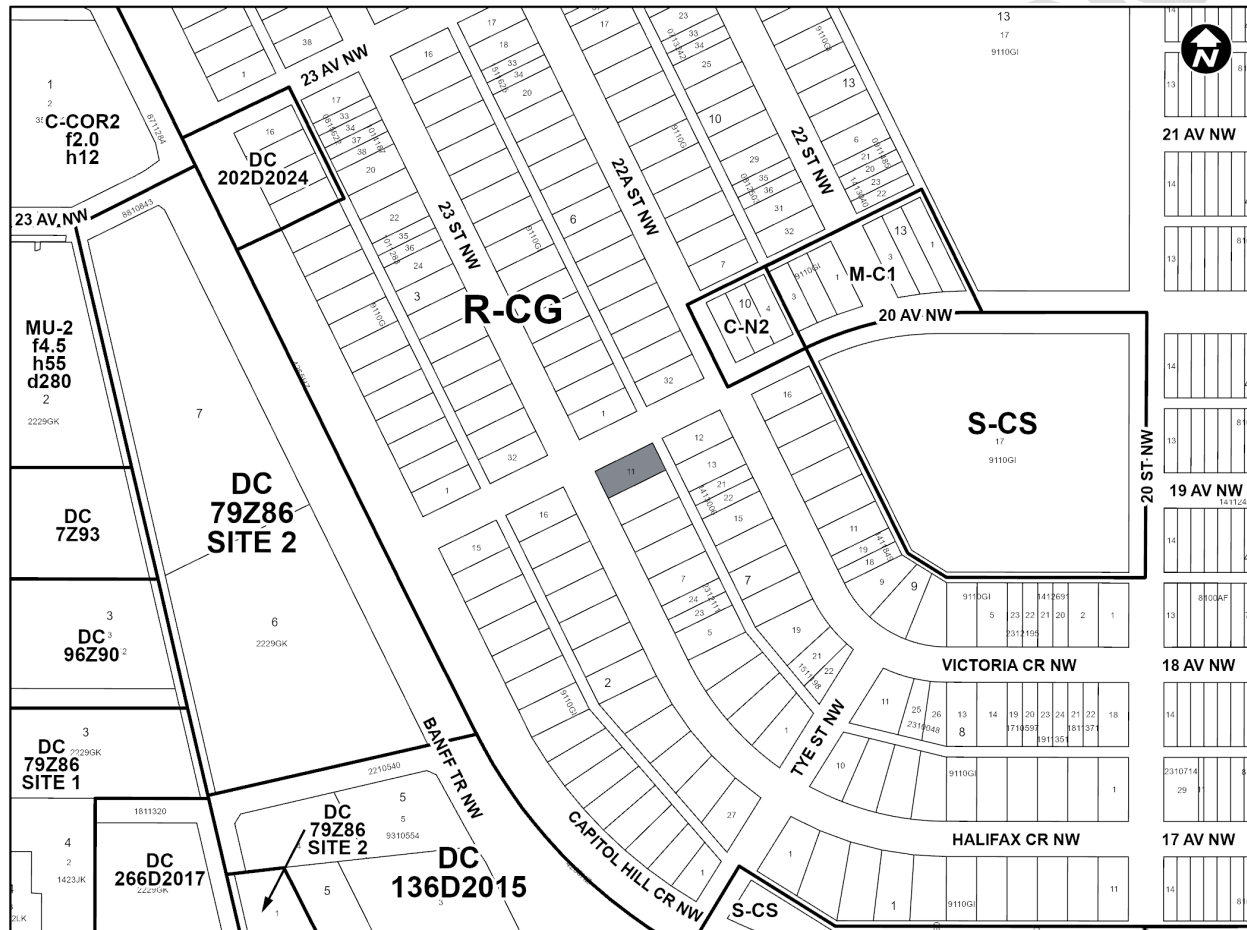
South Shaganappi Communities Local Area Planning Project

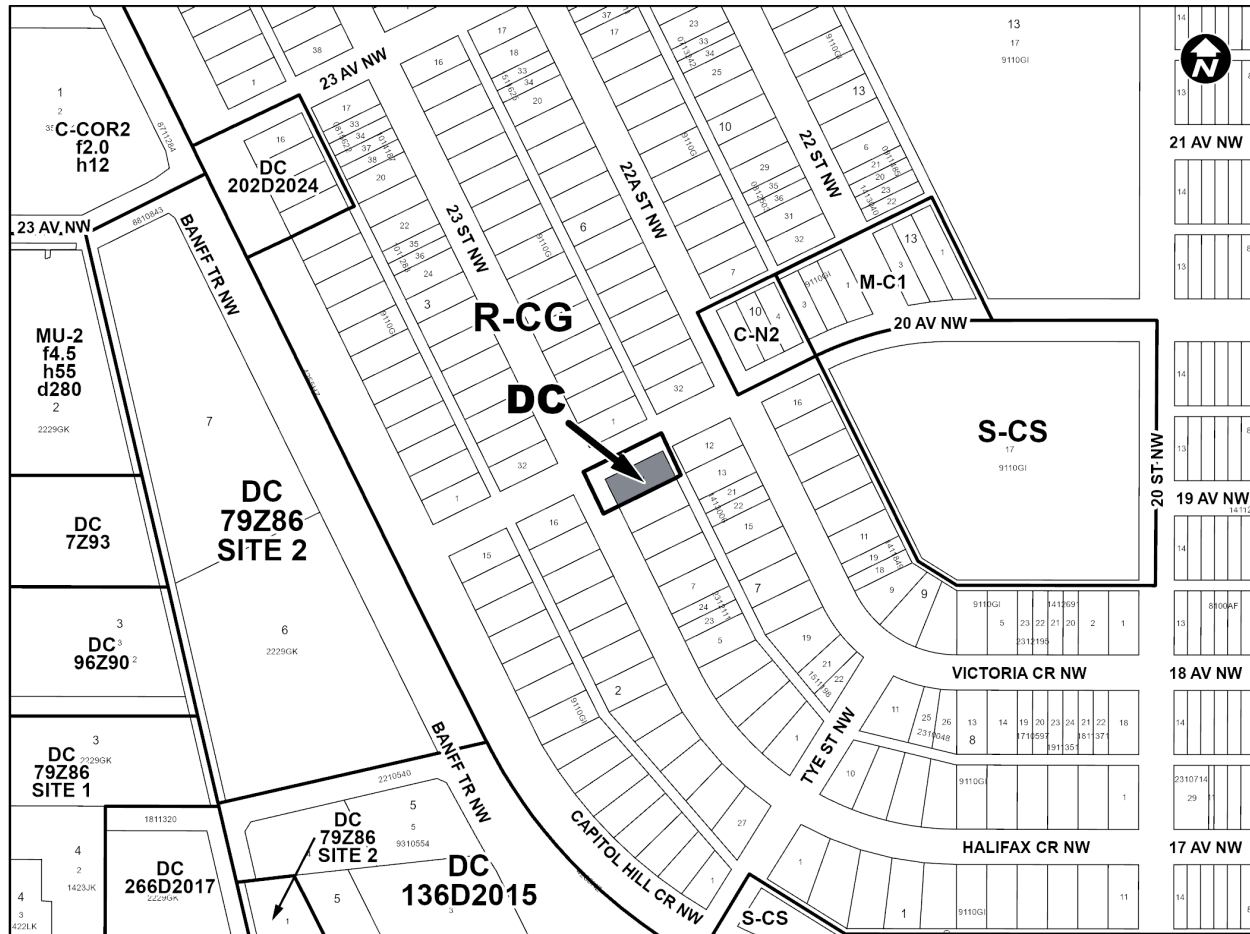
This site is located in Area 13 (South Shaganappi Communities), which includes Banff Trail and surrounding communities. Administration is currently developing the [South Shaganappi Communities Local Area Planning Project](#). Planning applications are being accepted for processing while the project is in progress, however, applications are being reviewed using existing legislation and Council approved policy only, including the existing *Banff Trail Area Redevelopment Plan* (ARP). This proposal is in alignment with the applicable urban form category and building scale modifier for the subject site in the draft *South Shaganappi Communities Local Area Plan* (LAP).

Proposed Direct Control District

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

SCHEDULE A



SCHEDULE B**DIRECT CONTROL DISTRICT****Purpose**

- 1 This Direct Control District Bylaw is intended to accommodate rowhouse developments by establishing minimum density requirements.

Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

Reference to Bylaw 1P2007

- 3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

Permitted Uses

- 4 The **permitted uses** of the Residential – Grade-Oriented Infill (R-CG) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District with the exclusion of:

- (a) **Contextual Semi-detached Dwelling;** and
- (b) **Contextual Single Detached Dwelling.**

Discretionary Uses

- 5 The **discretionary uses** of the Residential – Grade-Oriented Infill (R-CG) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the exclusion of:

- (a) **Cottage Housing Cluster;**
- (b) **Duplex Dwelling;**
- (c) **Semi-detached Dwelling; and**
- (d) **Single Detached Dwelling.**

Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Residential – Grade-Oriented Infill (R-CG) District of Bylaw 1P2007 apply in this Direct Control District.

Density

- 7 (1) The minimum **density** is 50 **units** per hectare.
- (2) The maximum **density** is 75 **units** per hectare.

Relaxations

- 8 The **Development Authority** may relax the rules contained in Section 6 of this Direct Control District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.

Applicant Submission

Company Name (if applicable):

Horizon Land Surveys

LOC Number (office use only):

Applicant's Name:

Lei Wang

Date:

July 15th, 2024

On behalf of the landowner, please accept this application to redesignate a +/-0.063 hectare site from R-CG to Direct Control (R-CG) to remove single detached, semi-detached and duplex from uses.

The lot is currently already zoned as R-CG. There is already an approved DP2023-05562 for four units row house with basement suites. With the lot along 20 Ave and super close to C-train station, we consider this as an appropriate use of the land. However the restrictive covenant on title 1358GL states that only single detached is allowed which is contradict with zoning policy. Established court cases requires us to rezone the lot to DC (R-CG) so to make it clear that row houses is the use for the land.

The project will seek LEED Gold Certificate. Measures like preserving existing mature trees, planting new landscaping, encouraging green roofs and walls, permeable pavement, EV charging and solar roof panels will be explored to improve project's climate resilience.

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the R-CG provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

The proposed R-CG is a Low Density Residential District. With the lot being a corner lot, the impacts of higher density use on neighbouring lower density properties can be reduced. Housing that faces both streets adds to the residential appearance of the side streets and tends to slow traffic and enhance pedestrian safety and experience on adjacent sidewalks.

Applicant Outreach Summary

2024 September 9



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 2371 20 Ave NW

Did you conduct community outreach on your application? ☒ YES or ☐ NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, our office completed the "Community Outreach Assessment". The project's impact score is "1A". So we are implementing a direct approach to reach to community association, local residents within a 100 meters radius and also Ward Councilor Office.

On July 5th, 2024, our staff did post card deliver to residents within a 100 meters radius. During the process, our staff did door knocking and spoke with residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

We have also contacted community association and councilor's office for comments. Until today, we haven't received any response yet.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

The lot is already currently zoned as R-CG. But the restrictive covenant brings a lot of uncertain to the projects. The proposed Direct Control is to deal with it.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with local residents, Councillor office and community association.

calgary.ca/planningoutreach