



AGENDA

CALGARY PLANNING COMMISSION

February 22, 2024, 1:00 PM
IN THE COUNCIL CHAMBER

Members

Manager T. Goldstein, Chair
Director K. Fromherz, Vice-Chair
Councillor G-C. Carra
Councillor R. Dhaliwal
Commissioner L. Campbell-Walters
Commissioner J. Gordon
Commissioner N. Hawryluk
Commissioner C. Pollen
Commissioner S. Small
Commissioner J. Weber
Mayor J. Gondek, Ex-Officio

SPECIAL NOTES:

Public are encouraged to follow Council and Committee meetings using the live stream [Calgary.ca/WatchLive](https://calgary.ca/WatchLive)

Members may be participating remotely.

1. CALL TO ORDER
2. OPENING REMARKS
3. CONFIRMATION OF AGENDA
 - 3.1 DECLARATIONS - CONFLICT OF INTEREST
4. CONFIRMATION OF MINUTES
 - 4.1 Minutes of the Regular Meeting of the Calgary Planning Commission 2024 February 8
5. CONSENT AGENDA
 - 5.1 DEFERRALS AND PROCEDURAL REQUESTS
None

- 5.2 Land Use Amendment in Highland Park (Ward 4) at 212 – 32 Avenue NE, LOC2023-0352, CPC2024-0190
- 5.3 Land Use Amendment in Mount Pleasant (Ward 7) at 839 – 22 Avenue NW, LOC2023-0381, CPC2024-0205
- 5.4 Land Use Amendment in Bowness (Ward 1) at 8916 – 33 Avenue NW, LOC2023-0361, CPC2024-0201
- 5.5 Policy and Land Use Amendment in Hounsfield Heights/Briar Hill (Ward 7) at 2304 Juniper Road NW, LOC2023-0366, CPC2024-0217
- 5.6 Land Use Amendment in Killarney/Glengarry (Ward 8) at 2037 – 28 Street SW, LOC2023-0362, CPC2024-0107
- 5.7 Land Use Amendment in Bowness (Ward 1) at 8304 – 46 Avenue NW, LOC2022-0218, CPC2024-0198
- 5.8 Land Use Amendment in Glenbrook (Ward 6) at 3916 – 30 Avenue SW, LOC2023-0351, CPC2024-0214
- 5.9 Land Use Amendment in Killarney/Glengarry (Ward 8) at 2240 – 26 Street SW, LOC2022-0061, CPC2024-0207
- 5.10 Policy and Land Use Amendment in Ogden (Ward 9) at 7425 – 20 Street SE, LOC2023-0305, CPC2024-0163
- 5.11 Land Use Amendment in Bowness (Ward 1) at 8148 – 46 Avenue NW, LOC2022-0206, CPC2024-0185
- 5.12 Street Name Change in Aspen Woods, West Springs and Residual Sub-Area 6A (Ward 6), for 12 Avenue SW, SN2024-0001, CPC2024-0235

6. POSTPONED REPORTS
(including related/ supplemental reports)
None

7. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS
None

7.2 PLANNING ITEMS

7.2.1 Land Use Amendment in Banff Trail (Ward 7) at 2221 – 23 Avenue NW, LOC2023-0287, CPC2024-0162

7.2.2 Policy and Land Use Amendment in Forest Lawn (Ward 9) at 1306 – 36 Street SE, LOC2023-0401, CPC2024-0206

- 7.2.3 Land Use Amendment in Bankview (Ward 8) at multiple properties, LOC2023-0311, CPC2024-0120
- 7.2.4 Land Use Amendment in Killarney/Glengarry at 3438 – 37 Street SW, LOC2023-0363, CPC2024-0108
- 7.2.5 Outline Plan and Land Use Amendment in West Springs (Ward 6) at 850 and 870 – 81 Street SW, LOC2023-0254, CPC2024-0226
- 7.2.6 Policy and Land Use Amendment in Bankview (Ward 8) at 2131 and 2135 – 16A Street SW, LOC2023-0350, CPC2024-0073
- 7.2.7 Land Use Amendment in Sunalta (Ward 8) at 1540 and 1602 – 10 Avenue SW, LOC2023-0308, CPC2024-0194

7.3 MISCELLANEOUS ITEMS
None

8. URGENT BUSINESS

9. CONFIDENTIAL ITEMS

9.1 ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

- 9.1.1 Prairie Gateway Area Structure Plan (Verbal Report), CPC2024-0202
Held confidential pursuant to Section 24 (Advice from officials) of the *Freedom of Information and Protection of Privacy Act*.

Review By: 2025 February 24

9.2 URGENT BUSINESS

10. BRIEFINGS
None

11. ADJOURNMENT



MINUTES

CALGARY PLANNING COMMISSION

**February 8, 2024, 1:00 PM
IN THE COUNCIL CHAMBER**

PRESENT: Manager T. Goldstein, Chair
Director T. Mahler, A/Vice-Chair
Councillor G-C. Carra
Councillor R. Dhaliwal (Partial Remote Participation)
Commissioner L. Campbell-Walters
Commissioner J. Gordon
Commissioner N. Hawryluk
Commissioner S. Small

ABSENT: Commissioner C. Pollen
Commissioner J. Weber

ALSO PRESENT: A/Principal Planner S. Jones
CPC Secretary J. Palaschuk
Legislative Advisor J. Booth

1. CALL TO ORDER

Manager Goldstein called the meeting to order at 1:00 p.m.

ROLL CALL

Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, Commissioner Small, and Manager Goldstein

Absent from Roll Call: Commissioner Pollen and Commissioner Weber

2. OPENING REMARKS

Manager Goldstein provided opening remarks.

3. CONFIRMATION OF AGENDA

Moved by Commissioner Campbell-Walters

That the Agenda for today's meeting be amended by moving Item 7.2.6, Policy and Land Use Amendment in Banff Trail (Ward 7) at 3432 Cascade Road NW, LOC2023-0331, CPC2024-0143, onto the Consent Agenda.

MOTION CARRIED

Moved by Director Mahler

That the Agenda for the 2024 February 8 Regular Meeting of the Calgary Planning Commission be confirmed, **as amended**.

MOTION CARRIED

3.1 DECLARATIONS - CONFLICT OF INTEREST

Commissioner Small declared a conflict of interest with respect to Item 9.1.1.

4. CONFIRMATION OF MINUTES

4.1 Minutes of the Regular Meeting of the Calgary Planning Commission 2024 January 25

Moved by Commissioner Hawryluk

That the Minutes of the 2024 January 25 Regular Meeting of the Calgary Planning Commission be confirmed.

MOTION CARRIED

5. CONSENT AGENDA

Moved by Commissioner Gordon

That the Consent Agenda be approved as follows:

5.1 DEFERRALS AND PROCEDURAL REQUESTS

None

5.2 Land Use Amendment in Capitol Hill (Ward 7) at 1732 – 22 Avenue NW, LOC2023-0235, CPC2024-0006

5.3 Policy and Land Use Amendment in Hounsfield Heights/Briar Hill (Ward 7) at 1239 – 18A Street NW, LOC2023-0318, CPC2024-0025

5.4 Policy and Land Use Amendment in Montgomery (Ward 7) at 1804 – 51 Street NW, LOC2023-0274, CPC2024-0125

5.5 Land Use Amendment in Southview (Ward 9) at 2029 – 28 Street SE, LOC2023-0306, CPC2024-0097

5.6 Land Use Amendment in Bowness (Ward 1) at 8532 – 46 Avenue NW, LOC2023-0238, CPC2024-0133

5.7 Land Use Amendment in Springbank Hill (Ward 6) at 3371 – 77 Street SW, LOC2023-0319, CPC2024-0019

5.8 Land Use Amendment in Killarney/Glengarry (Ward 8) at 3017 and 3019 – 27 Street SW, LOC2023-0326, CPC2024-0046

7.2.6 Policy and Land Use Amendment in Banff Trail (Ward 7) at 3432 Cascade Road NW, LOC2023-0331, CPC2024-0143

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

6. POSTPONED REPORTS

6.1 Outline Plan and Land Use Amendment in Saddle Ridge (Ward 5) at multiple addresses, LOC2017-0382, CPC2023-1263

Moved by Councillor Dhaliwal

That with respect to Report CPC2023-1263, the following be approved:

That the Calgary Planning Commission refer Report CPC2023-1263 (LOC2017-0382) back to Administration to:

- Add a public road connection from Saddlehaven Drive NE through Block 29 to Block 30 to provide a secondary full fire and public access connection to Block 30;
- Amend condition of approval 40 to include the words “and Block 30” after the words Block 29;
- Review the commercial land uses in terms of access and connectivity, and alignment with the policies of the ASP; and
- Review the street standards to provide for a greater variety of housing types and limit the front drive garage housing;

to the satisfaction of Administration, and to report back to the Calgary Planning Commission no later than 2024 April 25.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS

None

7.2 PLANNING ITEMS

7.2.1 Land Use Amendment in Carrington (Ward 3) at 13717R Centre Street NW, LOC2022-0078, CPC2024-0134

A presentation entitled "LOC2022-0078 Land Use Amendment" was distributed with respect to Report CPC2024-0134.

Patrick Wetter (applicant) answered questions of Commission with respect to Report CPC2024-0134.

Moved by Commissioner Small

That with respect to Report CPC2024-0134 the following be approved:

That Calgary Planning Commission recommends that Council give three readings to the proposed bylaw for the redesignation of 3.49 hectares \pm (8.64 acres \pm) located at 13717R Centre Street NW (portion of NE1/4 Section 33-25-1-5) from Residential – Narrow Parcel One Dwelling (R-1N) District, Residential – One / Two Dwelling (R-2) District and Residential – Low Density Multiple Dwelling (R-2M) District to Residential – Low Density Mixed Housing (R-G) District and Residential – Low Density Mixed Housing (R-Gm) District.

For: (6): Director Mahler, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.2 Land Use Amendment in Crescent Heights (Ward 7) at multiple addresses, LOC2023-0289, CPC2024-0050

A presentation entitled "LOC2023-0289 Land Use Amendment" was distributed with respect to Report CPC2024-0050.

Moved by Commissioner Hawryluk

That with respect to Report CPC2024-0050, the following be approved:

That Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 0.13 hectares \pm (0.33 acres \pm) at 339, 341 and 347 – 3 Avenue NE (Plan 1332N, Block 6, Lots 49 to 52 and a portion of Lot 48) from Multi-Residential – Contextual Grade-Oriented (M-CGd72) District to Multi-Residential – Contextual Low Profile (M-C1) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.3 Land Use Amendment in Residual Sub-Area 1B (Ward 1) at 9852 and 10010 Bears paw Dam Road NW, LOC2023-0345, CPC2024-0137

A presentation entitled "LOC2023-0345 Land Use Amendment" was distributed with respect to Report CPC2024-0137.

Moved by Commissioner Gordon

That with respect to Report CPC2024-0137, the following be approved:

That Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 17.85 hectares ± (44.11 acres ±) located at 9852 and 10010 Bearspaw Dam Road NW (Plan 0011353, Block 2; Plan 288LK, Parcels B and C) from Special Purpose – Transportation and Utility Corridor (S-TUC) District to Special Purpose – City and Regional Infrastructure (S-CRI) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.4 Land Use Amendment in Mount Pleasant (Ward 7) at 501 – 29 Avenue NW, LOC2023-0356, CPC2024-0121

A revised Cover Report was distributed with respect to Report CPC2024-0121.

Moved by Commissioner Hawryluk

That with respect to Revised Report CPC2024-0121, the following be approved:

That Calgary Planning Commission:

1. Forward this report (CPC2024-0121) to the 2024 March 5 Public Hearing Meeting of Council; and

That Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the redesignation of 0.06 hectares ± (0.14 acres ±) located at 501– 29 Avenue NW (Plan 3955R, Block 13, Lots 39 and 40) from Residential – Contextual One / Two Dwelling (R-C2) District to Housing – Grade Oriented (H-GO) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.5 Land Use Amendment in Tuxedo Park (Ward 7) at 201 and 203 – 17 Avenue NE, LOC2023-0134, CPC2024-0129

A presentation entitled "LOC2023-0134 Land Use Amendment" was distributed with respect to Report CPC2024-0129.

Moved by Commissioner Small

That with respect to Report CPC2024-0129, the following be approved:

That Calgary Planning Commission recommends that Council give three readings to the proposed bylaw for the redesignation of 0.12 hectares ± (0.29 acres ±) located at 201 and 203 – 17 Avenue NE (Plan 4804N, Block A, Lots 31 and 32) from Multi-Residential – Medium Profile Support Commercial (M-X2) District to Multi-Residential – Contextual Medium Profile (M-C2) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.2.6 Policy and Land Use Amendment in Banff Trail (Ward 7) at 3432 Cascade Road NW, LOC2023-0331, CPC2024-0143

This Item was dealt with at the Consent Agenda.

7.2.7 Land Use Amendment in East Shepard Industrial (Ward 12) at #300,5126 – 126 Avenue SE, LOC2023-0335, CPC2024-0033

A presentation entitled "LOC2023-0335 Land Use Amendment" was distributed with respect to Report CPC2024-0033.

Moved by Commissioner Gordon

That with respect to Report CPC2024-0033, the following be approved:

That Calgary Planning Commission recommend that Council give three readings to the proposed bylaw for the redesignation of 1.07 hectares ± (2.64 acres ±) located at #300,5126 – 126 Avenue SE (Plan 2211713, Block 9, Lot 8) from Industrial – General (I-G) District to Industrial – Commercial (I-C) District.

For: (7): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Commissioner Small

MOTION CARRIED

7.3 MISCELLANEOUS ITEMS

None

8. URGENT BUSINESS

None

9. CONFIDENTIAL ITEMS

Commissioner Small declared a conflict of interest and abstained from discussion and voting with respect to Confidential Report CPC2024-0203.

Commissioner Small left the meeting at 2:09 p.m.

Moved by Commissioner Campbell-Walters

That pursuant to Section 24 (Advice from officials) of the *Freedom of Information and Protection of Privacy Act*, the Calgary Planning Commission now move into Closed Meeting, at 2:10 p.m. in the Council Boardroom, to discuss confidential matters with respect to Item 9.1.1 Closed Session – City Building Program Update, CPC2024-0203.

And further, that Shawn Small and Andrew Palmiere, O2 Planning, be authorized to attend the Closed Meeting.

And further, that pursuant to Section 6(1) of Procedure Bylaw 35M2017, the Calgary Planning Commission suspend Section 78(2)(b) to forego the afternoon recess to complete the Agenda.

For: (6): Director Mahler, Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, and Commissioner Hawryluk

MOTION CARRIED

Councillor Dhaliwal (Remote Member) joined the meeting at 3:49 p.m.

Commission reconvened in public meeting at 5:00 p.m. with Manager Goldstein in the Chair.

ROLL CALL

Councillor Carra, Councillor Dhaliwal, Commissioner Campbell-Walters, Commissioner Gordon, Commissioner Hawryluk, and Manager Goldstein

Absent from Roll Call: Director Mahler, Commissioner Pollen, Commissioner Small, and Commissioner Weber

Moved by Commissioner Gordon

That Commission rise and report.

MOTION CARRIED

9.1 ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

9.1.1 Closed Session – City Building Program Update, CPC2024-0203

A confidential presentation was distributed with respect to Confidential Report CPC2024-0203.

People in attendance during the Closed Meeting discussions with respect to Confidential Report CPC2024-0203:

Clerks: J. Palaschuk and J. Phillips. Advice: D. Hamilton, L. Graham, L. Kahn, S. Pearce, D. Calkins, C. Ferguson, P. Saunders, and S. Jones.
External: S. Small and A. Palmiere.

Moved by Commissioner Hawryluk

That with respect to Confidential Report CPC2024-0203, the following be approved:

That Calgary Planning Commission direct that the Closed Meeting discussions, supplementary handout, and presentation be held

confidential pursuant to Section 24 (Advice from officials) of the *Freedom of Information and Protection of Privacy Act*, to be reviewed by 2024 April 30.

MOTION CARRIED

9.2 URGENT BUSINESS

None

10. BRIEFINGS

None

11. ADJOURNMENT

Moved by Councillor Carra

That this meeting adjourn at 5:02 p.m.

MOTION CARRIED

The following Items have been forwarded to the 2024 March 5 Public Hearing Meeting of Council:

PLANNING MATTERS FOR PUBLIC HEARING

CALGARY PLANNING COMMISSION REPORTS

- Land Use Amendment in Springbank Hill (Ward 6) at 3371 – 77 Street SW, LOC2023-0319, CPC2024-0019
- Land Use Amendment in Killarney/Glengarry (Ward 8) at 3017 and 3019 – 27 Street SW, LOC2023-0326, CPC2024-0046
- Land Use Amendment in Mount Pleasant (Ward 7) at 501 – 29 Avenue NW, LOC2023-0356, CPC2024-0121

The following Items have been forwarded to the 2024 April 9 Public Hearing Meeting of Council:

PLANNING MATTERS FOR PUBLIC HEARING

CALGARY PLANNING COMMISSION REPORTS

- Land Use Amendment in Capitol Hill (Ward 7) at 1732 – 22 Avenue NW, LOC2023-0235, CPC2024-0006
- Policy and Land Use Amendment in Hounsfeld Heights/Briar Hill (Ward 7) at 1239 – 18A Street NW, LOC2023-0318, CPC2024-0025
- Policy and Land Use Amendment in Montgomery (Ward 7) at 1804 – 51 Street NW, LOC2023-0274, CPC2024-0125
- Land Use Amendment in Southview (Ward 9) at 2029 – 28 Street SE, LOC2023-0306, CPC2024-0097

- Land Use Amendment in Bowness (Ward 1) at 8532 – 46 Avenue NW, LOC2023-0238, CPC2024-0133
- Land Use Amendment in Carrington (Ward 3) at 13717R Centre Street NW, LOC2022-0078, CPC2024-0134
- Land Use Amendment in Crescent Heights (Ward 7) at multiple addresses, LOC2023-0289, CPC2024-0050
- Land Use Amendment in Residual Sub-Area 1B (Ward 1) at 9852 and 10010 Bears paw Dam Road NW, LOC2023-0345, CPC2024-0137
- Land Use Amendment in Tuxedo Park (Ward 7) at 201 and 203 – 17 Avenue NE, LOC2023-0134, CPC2024-0129
- Policy and Land Use Amendment in Banff Trail (Ward 7) at 3432 Cascade Road NW, LOC2023-0331, CPC2024-0143
- Land Use Amendment in East Shepard Industrial (Ward 12) at #300 5126 – 126 Avenue SE, LOC2023-0335, CPC2024-0033

The next Regular Meeting of the Calgary Planning Commission is scheduled to be held on 2024 February 22 at 1:00 p.m.

CONFIRMED BY COMMISSION ON

CHAIR

CPC SECRETARY

**Land Use Amendment in Highland Park (Ward 4) at 212 – 32 Avenue NE,
 LOC2023-0352**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.08 hectares ± (0.19 acres ±) located at 212 – 32 Avenue NE (Plan 5942AD, Block 4, Lots 14 to 16) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the district (e.g. single detached, semi-detached, duplex dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *North Hill Communities Local Area Plan* (LAP).
- What does this mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This land use amendment application in the northeast community of Highland Park was submitted by Horizon Land Surveys on behalf of the landowners, Baadani Development Inc., on 2023 November 10. No development permit has been submitted at this time.

The approximately 0.08 hectare (0.19 acre) midblock site is located on 32 Avenue NE between 1 Street NE and 2 Street NE. The subject site is surrounded by single detached dwellings and duplex dwellings are located across the street. Corner parcels to the east and west of the site have been redesignated to the R-CG District. A variety of Multi-Residential parcels are located 90 metres (a two-minute walk) southwest. The subject site is located approximately 300 metres (a four-minute walk) west of Edmonton Trail NE and 230 metres (a three-minute walk) east of Centre Street N, both of which are Urban Main Streets.

As indicated in the Applicant Submission (Attachment 2) the proposed land use district aligns with relevant policies that encourage the redevelopment of inner-city communities.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

Planning and Development Services Report to
Calgary Planning Commission
2024 February 22

ISC: UNRESTRICTED
CPC2024-0190
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Land Use Amendment in Highland Park (Ward 4) at 212 – 32 Avenue NE, LOC2023-0352

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant reached out to the Highland Park Community Association and delivered post cards to residents within a 100-metre radius of the site. The applicant spoke to residents and received their feedback. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practice, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

No public comments were received at the time of writing this report.

The Highland Park Community Association (CA) provided a letter on 2024 January 9 (Attachment 4). While the CA does not oppose this land use application, they identify several high-level concerns regarding redevelopment in Highland Park.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The R-CG District is intended to be located adjacent to other low-density districts and accommodates a variety of low-density housing forms while being sensitive to adjacent development. The building and site design, number of units and on-site parking will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed application enables the continuation of development in the community of Highland Park. The development of these lands may enable a more efficient use of land and infrastructure and support surrounding uses. The proposed R-CG District would allow for a wider range of housing types than the existing land use district and may better accommodate the housing needs of different age groups, lifestyles, and demographics.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. The proposed redesignation does however provide small and incremental climate benefits by allowing more people to live near existing

**Planning and Development Services Report to
 Calgary Planning Commission
 2024 February 22**

**ISC: UNRESTRICTED
 CPC2024-0190
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**Land Use Amendment in Highland Park (Ward 4) at 212 – 32 Avenue NE,
 LOC2023-0352**

services and amenities and optimizing existing transit infrastructure. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The ability to develop up to four dwelling unites and secondary suites on this site would allow for a more efficient use of land, existing infrastructure and services, and provide more housing choices in the community.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary
4. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the northeast community of Highland Park and is a mid-block parcel on 32 Avenue NE between 1 Street NE and 2 Street NE. The parcel is approximately 0.08 hectares ± (0.19 acres ±) in size and is approximately 22 metres wide and 35 metres deep. The parcel is currently developed with a single detached dwelling and lane access is available along the north side of the site.

The subject is currently designated Residential – Contextual One / Two Dwelling (R-C2) District and is surrounded by single detached dwellings and duplex dwellings also designated R-C2 District. To the east and west of the site, on the corners of 1 Street NE and 2 Street NE, are parcels that were redesignated to Residential – Grade-Oriented Infill (R-CG) District. A variety of Multi-Residential parcels are located 90 meters (a two-minute walk) of the subject parcel.

The site is located approximately 400 metres (a four-minute walk) from the Georges P. Vanier School, a Calgary Board of Education Grade 6 to Grade 9 school, and 600 metres (a nine-minute walk) from Buchanan School, a Calgary Board of Education Kindergarten to Grade 6 school. Shops, restaurants, and other commercial services are located near the subject site along the Urban Main Streets of Edmonton Trail NE and Centre Street N. The subject site is located approximately 300 metres (a four-minute walk) west of Edmonton Trail NE and 230 metres (a three-minute walk) east of Centre Street N.

Community Peak Population Table

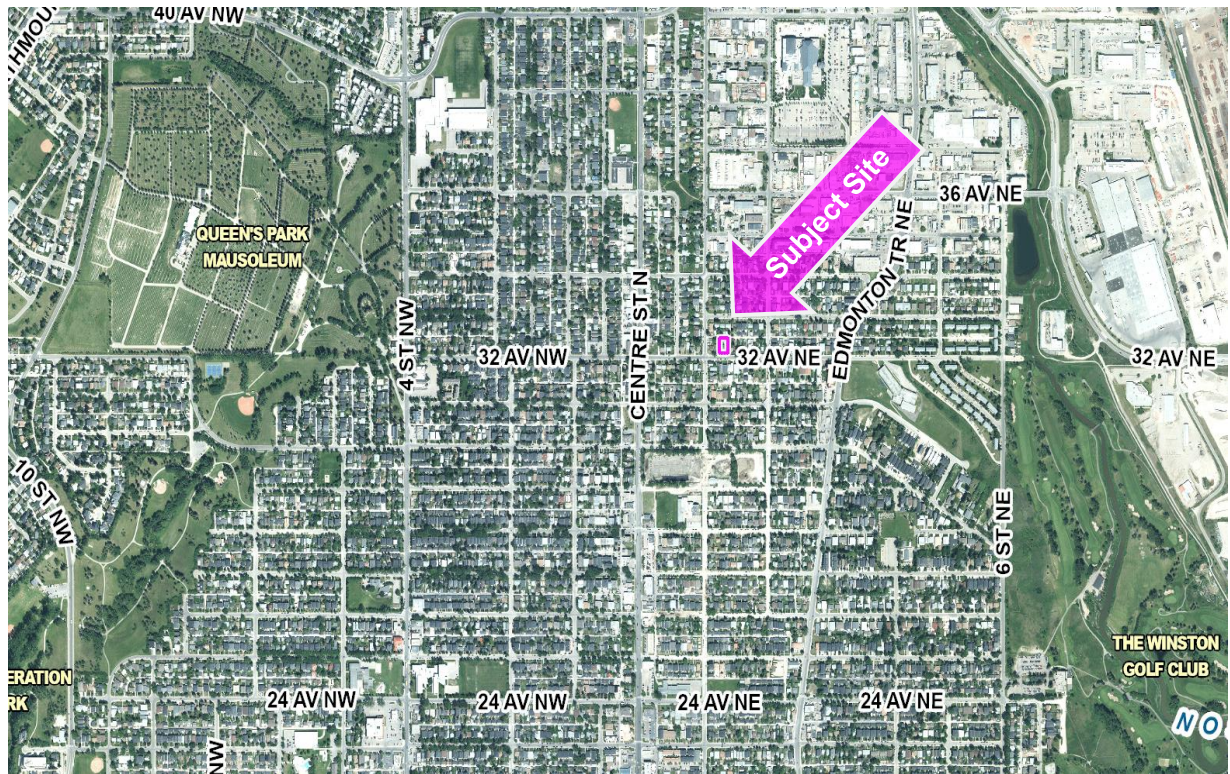
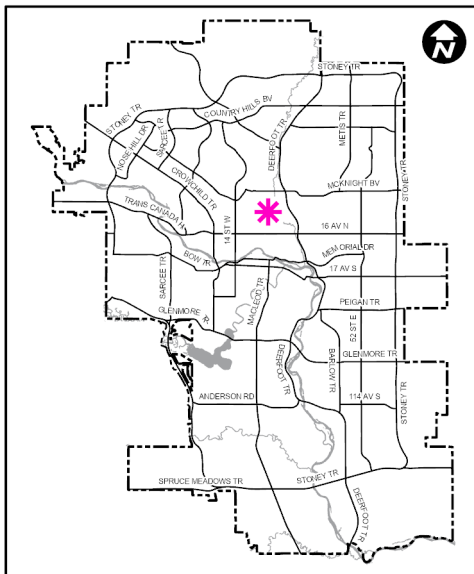
As identified below, the community of Highland Park reached its peak population in 1969.

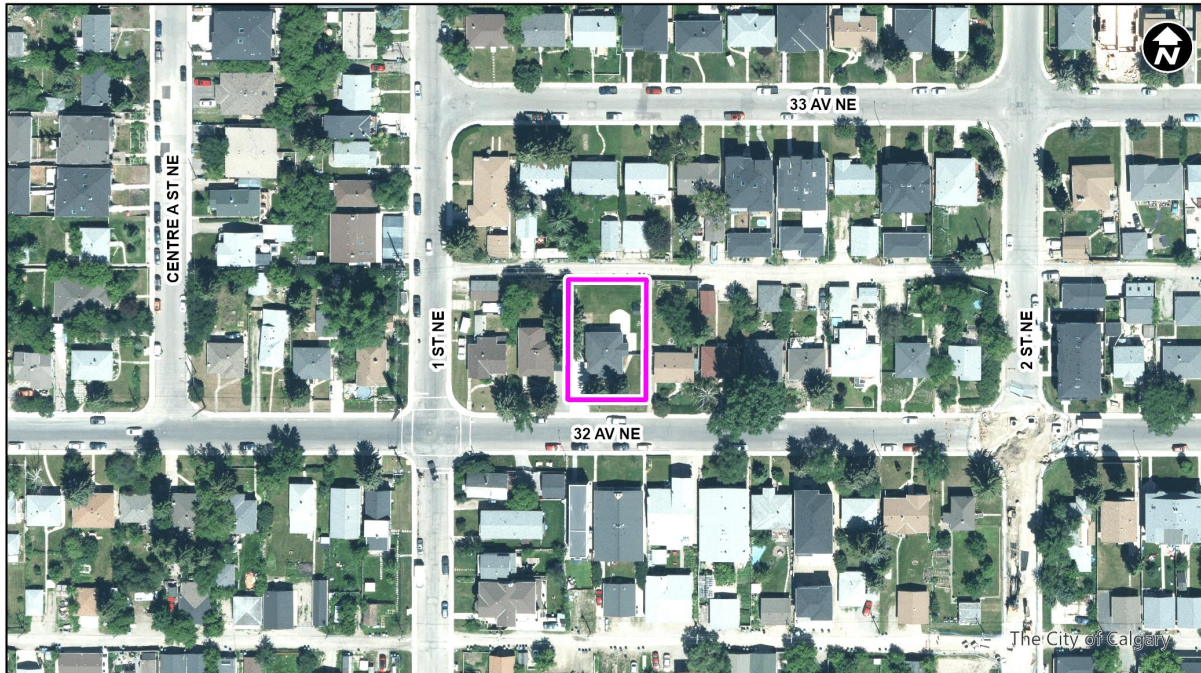
Highland Park	
Peak Population Year	1969
Peak Population	4, 875
2019 Current Population	3,383
Difference in Population (Number)	-1,492
Difference in Population (Percent)	- 21.27%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Highland Park Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C2 District is a low-density residential designation applied to developed areas that is primarily for single detached, semi-detached, duplex dwellings and secondary suites. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

The proposed R-CG District is a low-density residential designation that is applied to developed areas that allows for a range of housing forms such as single detached, semi-detached, duplex dwellings, townhouses and rowhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow up to four dwelling units.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District and do not count towards the allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

The Housing – Grade Oriented (H-GO) District was considered as a potential land use for the subject site, however, it does not meet the location criteria for the district. The subject site is neither in the Neighbourhood Connector nor in the Neighbourhood Flex Urban Form Categories as outlined in the *North Hill Communities Local Area Plan*.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the future redevelopment of the site, including appropriate uses, building height and massing, landscaping and parking. Given the specific context of this mid-block site, additional items that will be considered through the development permit process include, but are not limited to:

- the layout and configuration of dwelling units;
- access and parking provisions; and
- appropriate location of landscaping and amenity space.

Transportation

Pedestrian access to the site is available from existing sidewalks along 32 Avenue NE and 1 Street NE.

An existing on-street bikeway, a part of the Always Available for All Ages and Abilities (5A) Network, is located along 32 Avenue NE and 1 Street NE, supporting access to and from the site by alternative transportation modes.

The subject site is well served by Calgary Transit. Transit stops are available within 230 metres (a three-minute walk) on Centre Street N (Route 3 – Centre Street N and Route 64 – City Centre). The subject site is also located within 300 metres (a four-minute walk) from Edmonton Trail NE where Bus Route 5 (North Haven) and Route 4 (Huntington) are located.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water, sanitary and storm sewer lines are available to service future development. Further details for site servicing, as well as appropriate stormwater management will be considered and reviewed as part of any future development permit application.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The [Municipal Development Plan](#) (MDP) identifies the subject site as being located within the Developed Residential – Inner City Area (Map 1: Urban Structure). The applicable MDP policies encourage redevelopment and modest intensification of established communities to make more efficient use of existing infrastructure, public amenities, and transit. The proposal is in keeping with relevant MDP policies as the proposed R-CG District provides for a modest increase in

density in a form that is sensitive to existing residential development in terms of height, scale, and massing.

Calgary Climate Strategy (2022)

This application does not include specific actions that address the objectives of the [Calgary Strategy - Pathways to 2050](#). The proposed redesignation does, however, provide small and incremental climate benefits by allowing more people to live near existing services and amenities and optimizing existing transit infrastructure. Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

North Hill Communities Local Area Plan (Statutory – 2021)

The [North Hill Communities Local Area Plan](#) (LAP) identifies the subject site as being part of the Neighbourhood Local urban form category (Map 3: Urban Form) with a Limited building scale modifier (Map 4: Building Scale), which allows for up to three storeys. Policies in the LAP allow for a broad range and mix of housing types, unit structures and forms. Several policies lay out conditions under which building forms that contain three or more residential units should be supported, including sites within transit station areas, sites near or adjacent to an identified Main Street, and where the parcel has a lane and parking can be accommodated on site. The proposed land use amendment is in alignment with the applicable policies of the LAP.

Applicant Submission

Applicant's Name:

Lei Wang

Date:

Nov. 9th, 2023

On behalf of the landowner, please accept this application to redesignate a +/-0.080 hectare site from R-C2 to R-CG to allow for:

- rowhouses, townhouses and cottage housing clusters in addition to the uses already allowed (e.g. single-detached, semi-detached, and duplex homes and suites)
- a maximum building height of 11 metres (an increase from the current maximum of 10 metres)
- a maximum of 6 dwelling units (an increase from the current maximum of 2 dwelling units)
- the uses listed in the proposed R-CG designation.

The subject site, 212 32 Ave NE, is a mid-block lot located in the community of Highland Park along 32 Ave. The lot is currently developed with a single detached dwelling built in 1949. Row houses exists on the corners of the block. The lot is surrounded mostly by single detached dwellings.

The site is approximately 0.080 hectares in size. A rear lane exists to the north of the site. Vehicle access to the parcel is available and will be via the rear lane. The site is about 100 meters from Centre Street N.

North Hill Communities Local Area Plan support a broad range and mix of housing types, unit structures and forms. Additional, building forms that contain three or more residential units should be supported on higher activity streets, such as where there are adjacent regional pathways or higher volumes of private vehicle or pedestrian activity in a community; and, where the parcel has a lane and parking can be accommodated on site. The site is identified for higher density and scale residential uses as part of the "Neighbourhood Local" policy area, with the "Limited" scale modifier (up to 3 storeys).

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the R-CG provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

Housing diversity and choice policies encourage the provision of a wide range of housing types, tenures and densities that may meet affordability, accessibility, life cycle and lifestyle needs of different groups; an adaptation of the City's existing housing stock to enable changing households to remain in the same neighbourhood for longer time periods through allowing accessory suites in low density areas. So we sincerely hope city can support our application.

Applicant Outreach Summary

Project name: 212 32 Ave NE

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, our office completed the "Community Outreach Assessment". The project's impact score is "1A". So we are implementing a direct approach to reach to community association, local residents within a 100 meters radius and also Ward Councilor Office.

On October 31st, 2023, our staff did post card deliver to residents within a 100 meters radius. During the process, our staff did door knocking and spoke with residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

Community Association provides a letter expressing no objection to the rezoning and only with general concerns about increased density, increased traffic and storm water management.

Councilor office provides no comments.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

According to R-CG bylaw, the side setback is increased to 3 meters on the side neighbouring another residential dwelling. Also even though, the maximum height is 1 meter higher, R-CG bylaw require lower height at perimeter.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with local residents, Councillor office and community association. And better explain to local residents about proposed developments and restrictions under R-CG.

Community Association Response

January 9, 2024

Circulation Control, Planning and Development
City of Calgary
Attn: Setara Zafar, File Manager

RE: LOC2023-0352 212 32 Avenue NE

The above-mentioned application is for a land use change from R-C2 to R-CG. The parcel in question fronts onto 32nd Avenue NE, which although designated as Neighbourhood Local in the *North Hill Communities Local Area Plan*, is nonetheless a significant connector route between Edmonton Trail to Centre Street and then farther west to 4th Street NW. The nearest bus stop is approximately 290 m distant and well within walking distance although it should be noted that 32nd Avenue has a considerable slope rising up to Centre Street. The property has a 75 ft frontage, and therefore lends itself to greater housing density. For these reasons, we do not oppose the land use change application.

We are aware that residents have general concerns about increased density and the impacts that has on the community. For example, travel along 32nd Avenue NE does require careful manoeuvring because of the parked cars lining the street. For residents who wish to travel by bicycle or scooter, there is no designated cycling infrastructure in this part of Highland Park nor in Tuxedo Park. The City's pathway map indicates that 32nd Avenue NE in Highland Park is a "Busier street shared by people driving and biking." The amount of traffic on 32nd Avenue NE and the number of parked cars along it make cycling a hazardous mode of transportation. As the population density increases in the community, then we ask the City to develop and implement cycling infrastructure that enables efficient and safer travel.



We continue to express our overall concerns regarding stormwater management within Highland Park. The property is on the downslope east of Centre Street and is part of the Nose Hill watershed that drains into Nose Creek. We understand that the developer is required to install stormwater management infrastructure on the property to handle the anticipated runoff from the project. Our

concerns in this matter arise from a broader community perspective. The large stormwater dry pond in Tuxedo was recently completed and is situated only 2 blocks to the south. Does it service Highland Park to the north? We also continue to raise questions regarding the state of the city's sanitary sewer and water mains infrastructure. Assurance on the capacities of these pieces of infrastructure to handle the increasing densification within the community as a whole would be welcome information.

The applicant did reach out to contact the Highland Park Community Association in advance of their land use change application. Our previous letter dated December 9 2023 was incorrect in this regard for which we apologize.

If you have any questions, please do not hesitate to contact me at development@hpca.ca or on my cell at 403-390-7705.

Thank you.

D. Jeanne Kimber
Development Director, Highland Park Community Association

**Land Use Amendment in Mount Pleasant (Ward 7) at 839 – 22 Avenue NW,
 LOC2023-0381**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.06 hectares ± (0.14 acres ±) at 839 – 22 Avenue NW (Plan 2934O, Block 27, Lots 21 and 22) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This land use amendment seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the existing district (e.g. single detached, semi-detached, duplex dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *North Hill Communities Local Area Plan* (LAP).
- What does this mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This land use amendment application, in the northwest community of Mount Pleasant, was submitted by Horizon Land Surveys on behalf of the landowner, Dorothy Linney, on 2023 December 7. No development permit has been submitted at this time. However, the Applicant Submission (Attachment 2) indicates the proposed land use district would enable the development of additional low density residential uses.

The approximately 0.06 hectare (0.14 acre) corner site is located on the southeast corner of 8 Street NW and 22 Avenue NW. The site is currently developed with a single detached dwelling and detached garage with vehicular access from the lane.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

**Land Use Amendment in Mount Pleasant (Ward 7) at 839 – 22 Avenue NW,
LOC2023-0381**

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant reached out to the Mount Pleasant Community Association, Ward Councillor's Office and door knocked/delivered post cards to residents within a 90-metre radius of the subject site. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received two letters of opposition citing the following concerns:

- inappropriate density increases in the area;
- inappropriate building type, height and massing in the area;
- increased traffic and parking issues; and
- environmental impact of the future development.

No comments from the Mount Pleasant Community Association were received. Administration contacted the Community Association to follow up and no response was received.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The building and site design, number of units, privacy and on-site parking will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed R-CG District would allow for additional housing types and accommodates site and building design that is adaptable to the functional requirements of evolving household and lifestyle needs.

Environmental

This application does not include any actions that specifically address the objectives of *Calgary Climate Strategy-Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0205
Page 3 of 3**

**Land Use Amendment in Mount Pleasant (Ward 7) at 839 – 22 Avenue NW,
LOC2023-0381**

Economic

The proposed land use would allow for more efficient use of land, existing infrastructure and services, and provide more compact housing in the community.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

- 1. Background and Planning Evaluation
- 2. Applicant Submission
- 3. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the community of Mount Pleasant on the southeast corner of 22 Avenue NW and 8 Street NW. The site is approximately 0.06 hectares (0.14 acres) in size, with dimensions of approximately 15 metres wide by 37 metres deep. It is currently developed with a single detached dwelling and detached garage with vehicular access from the lane.

Surrounding development to the north, east and south of the property is designated Residential – Contextual One / Two Dwelling (R-C2) District and consists primarily of single detached and semi-detached dwellings. The adjacent properties to the west and southwest are designated Residential – Grade-Oriented Infill (R-CG) District.

There are two Main Streets in close proximity to the site providing commercial and institutional services and convenient transit access. The 16 Avenue NW, Urban Main Street, is located approximately 600 metres (a 10-minute walk) to the south of the property. The 4 Street NW, Neighbourhood Main Street, is located approximately 700 metres (an 11-minute walk) to the east of the property. King George Elementary School is approximately 250 metres (a four-minute walk) to the west. The Mount Pleasant Community Association is approximately 550 metres (a nine-minute walk) to the east and the Southern Alberta Institute of Technology is located approximately 950 metres (a 16-minute walk) to the south. Confederation Park is located to the north of the property and Mount Pleasant Park is located to the east. Both parks are approximately 350 metres (a six-minute walk) from the subject site.

Community Peak Population Table

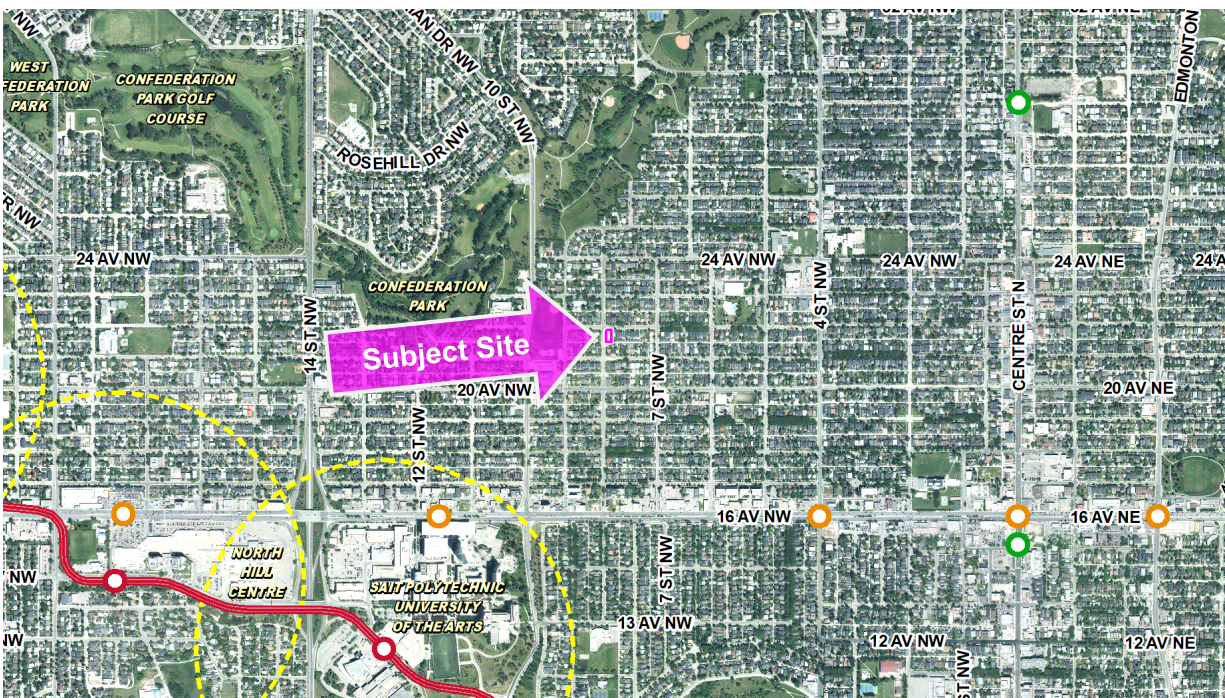
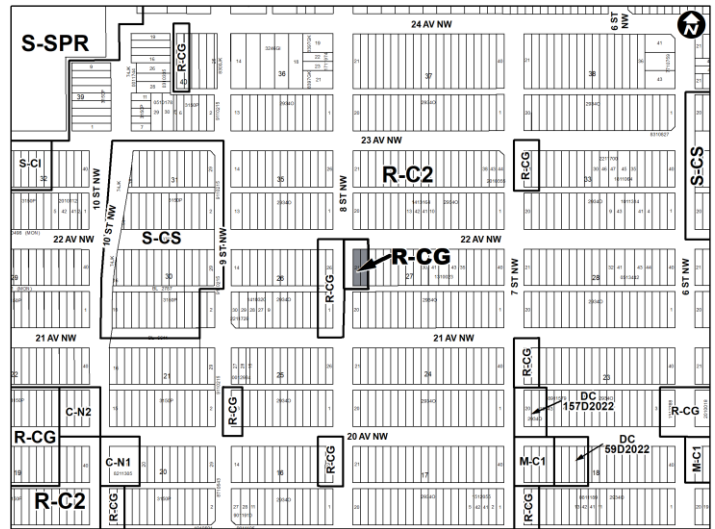
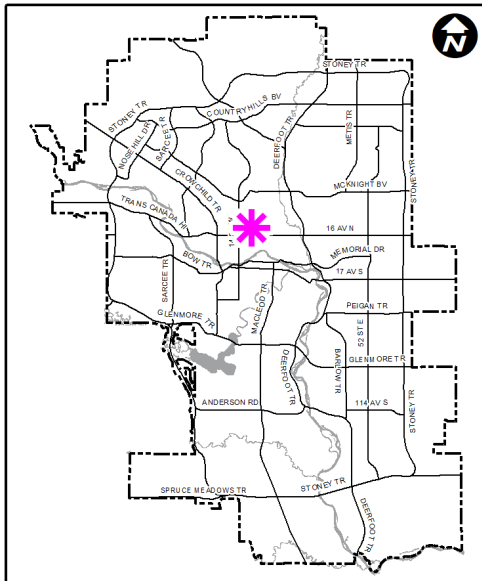
As identified below, the community of Mount Pleasant reached its peak population in 2018.

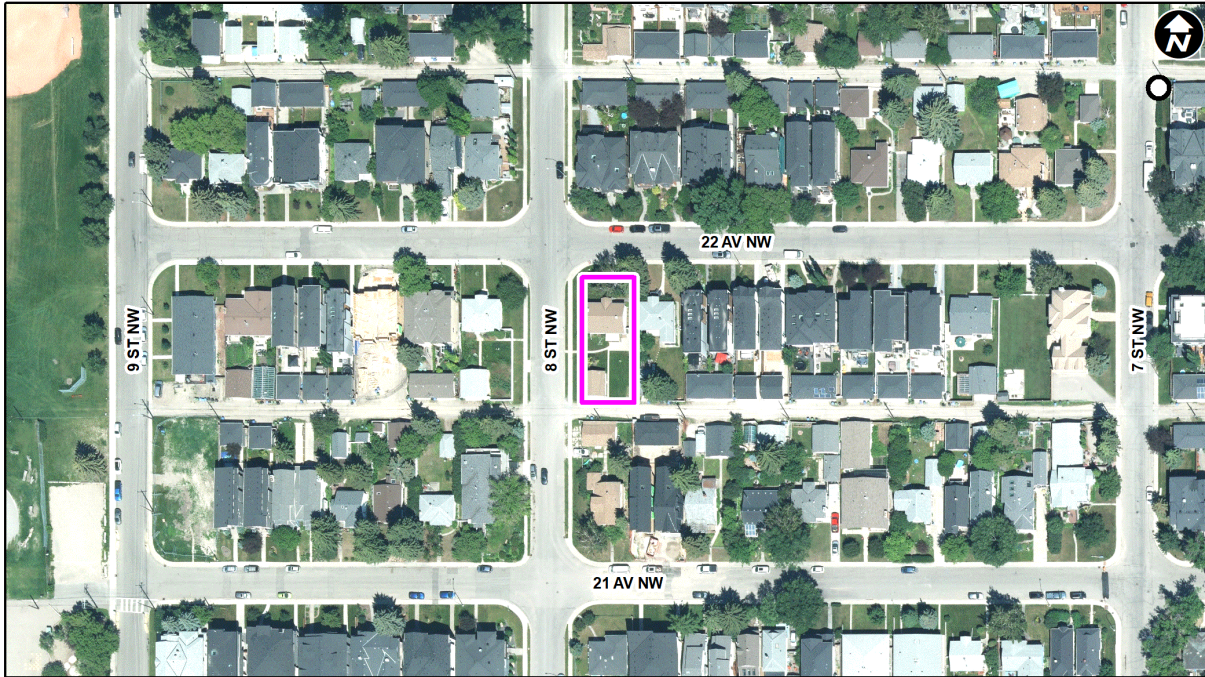
Mount Pleasant	
Peak Population Year	2018
Peak Population	6,001
2019 Current Population	5,889
Difference in Population (Number)	-112
Difference in Population (Percent)	-1.9%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Mount Pleasant Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C2 District is primarily for single detached, semi-detached, duplex dwellings and secondary suites. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

The proposed R-CG District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, townhouses and rowhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow up to four dwelling units.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the future redevelopment of the site including appropriate uses, building height and massing, landscaping and parking. Items that would be considered through the development permit review process include, but are not limited to:

- providing an engaging interface on both 8 Street NW and 22 Avenue NW;

- site access and provision of parking;
- landscaping and amenity space;
- mitigation of shadowing, privacy and visual overlook; and
- appropriate building setbacks, massing and landscaping requirements.

Transportation

Pedestrian access to the site is available from existing sidewalks along 22 Avenue NW and 8 Street NW. There is an on-street bikeway along 10 Street NW, providing access to the Always Available for All Ages and Abilities (5A) Network which connects to a larger pathway network.

On-street parking along 22 Avenue NW and the east side of 8 Street NW is restricted to 2 hours, Monday to Friday from 7:00-18:00. There is unrestricted street parking along the west side of 8 Street NW adjacent to the site.

The area is well served by Calgary Transit, located near transit stops providing regular service. Route 404 (North Hill) is located along 7 Street NW, approximately 300 metres (a five-minute walk), and 20 Avenue NW, approximately 350 metres (a six-minute walk). Route 4 (Huntington) and Route 5 (North Haven) located along 10 Street NW are approximately 350 metres (a six-minute walk) and Route 303 MAX Orange (Brentwood/Saddletowne) is approximately 1.1 kilometres (an 18-minute walk) from the subject site.

A Transportation Impact Assessment was not required as part of this application.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water, storm and sanitary sewer mains are available to service the subject site. Details of site servicing, as well as appropriate stormwater management, will be considered and reviewed as part of a development permit review stage.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential – Inner City area as identified in Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to make more efficient use of existing infrastructure, public amenities and transit and delivers small and incremental benefits to climate resilience.

The proposal is in keeping with relevant MDP policies as the rules of the R-CG District allow for development forms that are low density in nature and are sensitive to the established residential development in terms of building height, scale and massing.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

North Hill Communities Local Area Plan (Statutory – 2021)

The subject site is located in the Neighbourhood Local area as identified on Map 3: Urban Form of the [North Hill Communities Local Area Plan](#) (LAP). This area is intended for primarily residential uses and encourages a range of housing types. Building forms containing three or more units are supported in certain areas, such as parcels near transit station areas, an activity centre, on higher activity streets and where the parcel has a rear lane and can accommodate parking on the site. The site is also identified as Limited Scale on Map 4: Building Scale of the LAP which allows for development up to three storeys.

The proposed land use amendment is in alignment with the applicable policies of the LAP.

Applicant Submission

Company Name (if applicable):

Horizon Land Surveys

LOC Number (office use only):

Applicant's Name:

Lei Wang

Date:

Dec. 1st, 2023

On behalf of the landowner, please accept this application to redesignate a +/-0.056 hectare site from R-C2 to R-CG to allow for:

- rowhouses, townhouses and cottage housing clusters in addition to the uses already allowed (e.g. single-detached, semi-detached, and duplex homes and suites)
- a maximum building height of 11 metres (an increase from the current maximum of 10 metres)
- a maximum of 4 dwelling units (an increase from the current maximum of 2 dwelling units)
- the uses listed in the proposed R-CG designation.

The subject site, 839 22 Ave NW, is a corner lot located in the community of Mount Pleasant along 8 Street NW and 22 Ave NW. The lot is currently developed with a single detached dwelling built in 1947. Two proposed four units row house are to the opposite side of 8 Street. The lot is surrounded mostly by single detached dwellings.

The site is approximately 0.056 hectares in size. A rear lane exists to the south of the site. Vehicle access to the parcel is available and will be via the rear lane. The site is both two blocks from 20 Ave and 10 Street. King George Playground is within minutes walking distance.

North Hill Communities Local Area Plan support a broad range and mix of housing types, unit structures and forms. Additional, building forms that contain three or more residential units should be supported on higher activity streets, such as where there are adjacent regional pathways or higher volumes of private vehicle or pedestrian activity in a community; and, where the parcel has a lane and parking can be accommodated on site. The site is identified for higher density and scale residential uses as part of the "Neighbourhood Local" policy area, with the "Limited" scale modifier (up to 3 storeys).

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the R-CG provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

The proposed R-CG is a Low Density Residential District. With the lot being a corner lot, the impacts of higher density use on neighbouring lower density properties can be reduced. Housing that faces both streets adds to the residential appearance of the side streets and tends to slow traffic and enhance pedestrian safety and experience on adjacent sidewalks.

Housing diversity and choice policies encourage the provision of a wide range of housing types, tenures and densities that may meet affordability, accessibility, life cycle and lifestyle needs of different groups; an adaptation of the City's existing housing stock to enable changing households to remain in the same neighbourhood for longer time periods through allowing accessory suites in low density areas. So we sincerely hope city can support our application.

Applicant Outreach Summary

January 25, 2024



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 839 22 Ave NW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, our office completed the "Community Outreach Assessment". The project's impact score is "1A". So we are implementing a direct approach to reach to community association, local residents within a 90 meters radius and also Ward Councilor Office.

On Nov.28th, 2023, our staff did post card deliver to residents within a 90 meters radius. During the process, our staff did door knocking and spoke with residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

We have also contacted community association and councilor's office for comments. Until today, we haven't received any response yet.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

According to R-CG bylaw, the side setback is increased to 3 meters on the side neighbouring another residential dwelling. Also even though, the maximum height is 1 meter higher, R-CG bylaw require lower height at perimeter.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with local residents, Councillor office and community association. And better explain to local residents about proposed developments and restrictions under R-CG.

calgary.ca/planningoutreach

Land Use Amendment in Bowness (Ward 1) at 8916 – 33 Avenue NW, LOC2023-0361

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.08 hectares ± (0.19 acres ±) located at 8916 – 33 Avenue NW (Plan 3023GJ, Block 21, Lot 13) from Residential – Contextual One Dwelling (R-C1) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the existing district (e.g. single detached dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Bowness Area Redevelopment Plan* (ARP).
- What does this mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This land use amendment application in the northwest community of Bowness was submitted by Darrell Grant on behalf of the landowners, Liseann Gallagher-McDonald and Timothy Webb on 2023 November 23. No development permit has been submitted at this time; however, as referenced in the Applicant Submission (Attachment 2), their intent is to accommodate a three unit rowhouse.

The 0.08 hectare (0.19 acre) midblock site is located on the northeast side of 33 Avenue NW, between 88 Street NW and 89 Street NW. It is currently developed with a single detached dwelling and detached garage with vehicle access from 33 Avenue NW.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Land Use Amendment in Bowness (Ward 1) at 8916 – 33 Avenue NW, LOC2023-0361

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant mailed out notices to adjacent residents inviting them to an in-person discussion regarding the proposal. Five residents and a representative from the Bowness Community Association attended and the applicant sent follow-up letters to the residents who attended. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received five public submissions of opposition. The submissions of opposition included the following areas of concern:

- inappropriate density increases in the area;
- inappropriate building type in the area;
- increased traffic and parking issues;
- loss of community character;
- reduced privacy for neighbouring lots; and
- environmental impact of the future development.

The Bowness Community Association provided a response to the circulation on 2024 January 5 (Attachment 4) expressing they are not in support of mid-block R-CG District redesignations.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The building and site design, number of units, privacy and on-site parking will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, the Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The development of these lands may enable a more efficient use of land and infrastructure and support surrounding uses and amenities. The R-CG District would allow for a wider range of housing types than the existing land use district and may better accommodate the housing needs of different age groups, lifestyles, and demographics.

Environmental

This application does not include any specific actions that address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this

Land Use Amendment in Bowness (Ward 1) at 8916 – 33 Avenue NW, LOC2023-0361

site with applicable strategies will be explored and encouraged at subsequent development approval stages.

Economic

The ability to develop additional units and suites on this site would allow for a more efficient use of land, existing infrastructure, and services and provide more housing choices in the community.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary
4. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the northwest community of Bowness on the northeast side of 33 Avenue NW. The parcel is approximately 0.08 hectares (0.19 acres) in size and is approximately 21 metres wide and 36 metres deep. The parcel is currently developed with a single detached dwelling and detached garage. There is lane access available along the northeast side of the site.

The subject site is currently designated Residential – Contextual One Dwelling (R-C1) District and is surrounded by single detached and semi-detached dwellings designated with the R-C1 District. A parcel one block to the north is designated as Residential – Contextual One / Two Dwelling (R-C2) District. The subject site is located approximately 700 metres (a 12-minute walk) south of Bowness Park and approximately 150 metres (a two-minute walk) southeast of George and Annie Wood Park. The Belvedere Parkway School is approximately 850 metres (a 14-minute walk) southeast from the subject site.

Community Peak Population Table

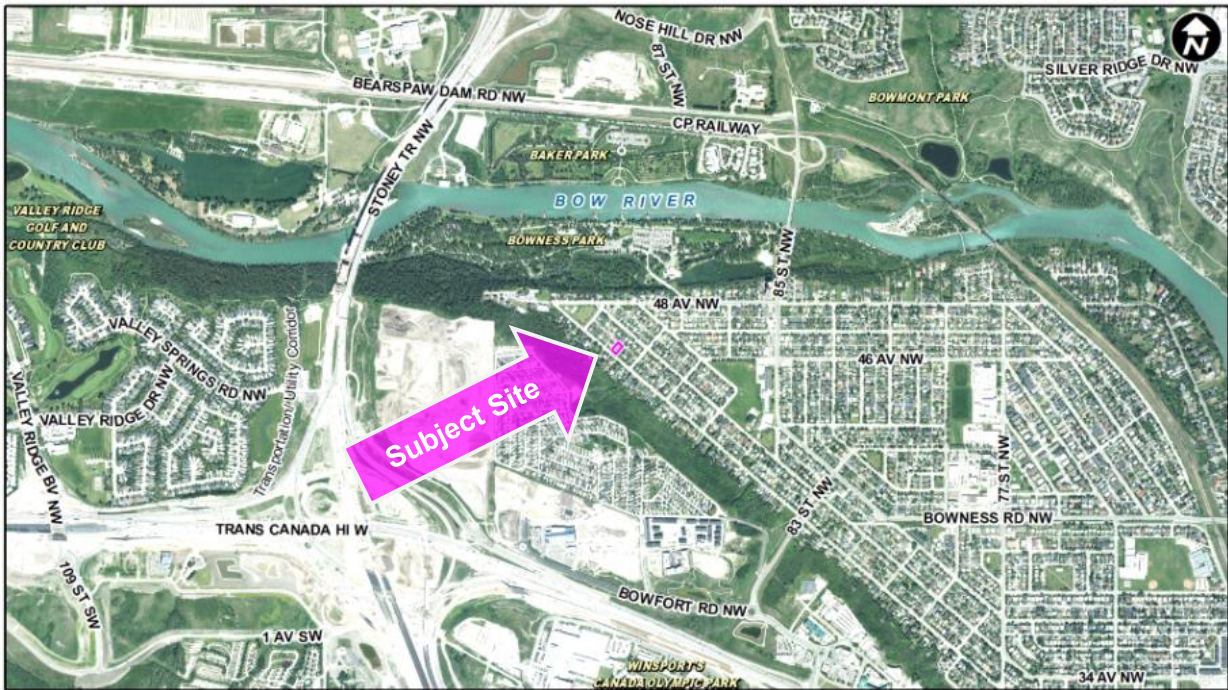
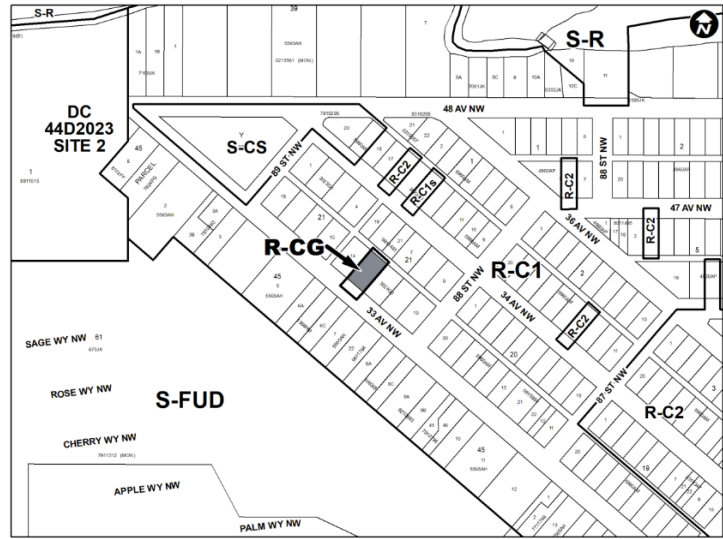
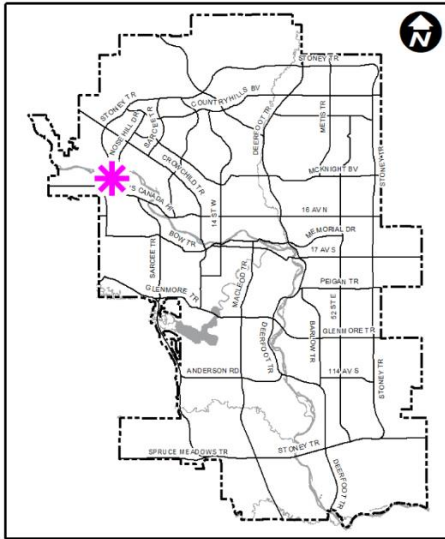
As identified below, the community of Bowness reached its peak population in 1982.

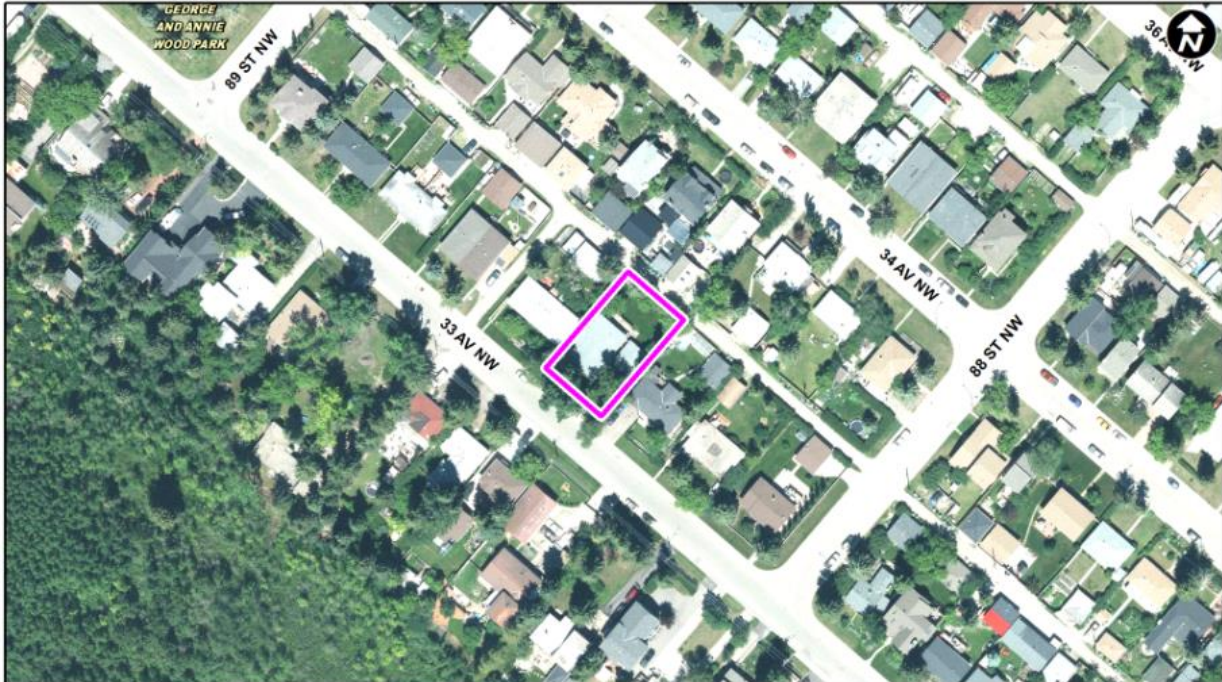
Bowness	
Peak Population Year	1982
Peak Population	13,134
2019 Current Population	11,150
Difference in Population (Number)	- 1,984
Difference in Population (Percent)	-15.11%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Bowness Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C1 District accommodates contextually sensitive development primarily for single detached dwellings that may include a secondary suite. The R-C1 District allows for a maximum building height of 10 metres and a maximum density of one dwelling unit per parcel. Secondary suites are discretionary uses within the R-C1 District.

The proposed Residential – Grade-Oriented Infill (R-CG) District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, townhouses and rowhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow up to five dwelling units.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the future redevelopment of the site including appropriate uses, building height and massing, landscaping and parking. Given the context of this mid-block site, additional items that will be considered through the development permit process include, but are not limited to:

- the layout and configuration of the dwelling units;
- access and parking provisions; and
- mitigating shadowing, overlooking and potential privacy concerns.

Transportation

Pedestrian access to the subject site is available from existing sidewalks along 33 Avenue NW. An existing on-street bikeway is available on 34 Avenue NW, providing access to the Always Available for All Ages and Abilities (5A) Network within 100 metres from the parcel. The subject parcel is approximately 350 metres (a four-minute walk) from the Bowness Bus Terminal NW for Route 1 (Bowness/Forest Lawn).

The R-CG District includes specific requirements to provide alternate mobility storage and secure bicycle parking for units that do not include a dedicated vehicle parking stall. At the time of a development permit, vehicular parking is to be situated on-site, with access from the lane. A Transportation Impact Assessment or parking study was not required as part of this application.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water and sanitary sewer mains are available to service the subject site. The subject property will require a storm sewer connection at the development permit stage. All details of site servicing will be considered and reviewed as part of the development permit stage.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential – Inner City area as identified in Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to make more efficient use of existing infrastructure, public amenities and transit and delivers small and incremental benefits to climate resilience.

The proposal is in keeping with relevant MDP policies as the rules of the R-CG District allow for development forms that are low density in nature and are sensitive to the established residential development in terms of building height, scale and massing.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Bowness Area Redevelopment Plan (Statutory – 2019)

The [Bowness Area Redevelopment Plan](#) (ARP) identifies the subject site as the Residential: Low Density, Conservation & Infill in Map 2: Land Use Policy Areas. This classification is intended to allow for compatible redevelopment with the intention of maintaining stability in the community and protecting the existing residential character. New developments should be compatible with the scale and form of existing and adjacent homes. The proposed R-CG District is a low-density residential district, and the proposed land use amendment is in alignment with the ARP policies.

Applicant Submission

2023 November 23

LAND USE REDESIGNATION FROM R-C1 TO R-CG
8916 33 AV NW (BOWNESS)

On behalf of Liseanne Gallagher-McDonald and Timothy Webb, landowners of this Bowness property, we are seeking Council's land use approval to redesignate one 70-foot wide parcel, with an existing single detached home in the western part of the Bowness community, from RC1 to R-CG, to accommodate three rowhouses. The present landowners intend to live in one of the proposed units.

The subject property is located near the Bowness Terminal for Route 1, approximately 260 metres or a five-minute walk to the subject property. Route 40 is also located nearby, albeit with a twelve-minute walk. Limited shops, restaurants, personal services, and a public school are situated in that same travel time. Open space is afforded by a local park to the northwest (150 metres), as well as the popular Bowness Park with year-round activities to the northeast (475 metres). A regional pathway is located east of the subject side about 2.5 blocks away.

We strongly feel this proposal can become a model for future internal lot intensification in established communities such as Bowness and therefore, seek the community's, Administration's, CPC's, and Council's endorsement to redesignate 0.079 hectare (0.20 acre) from R-C1 to R-CG.

Applicant Outreach Summary

2024 January 30



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 8916 33 AV NW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Met with adjacent residents on 04Dec2023 to present the proposal. See attached map of coverage with the following addresses:

33 AV NW (along street of application)
8912, 8918, 8920, 8923, 8927, 8931

34 AV NW (along street sharing rear lane)
8911, 8915, 8917

Five residents attended along with a representative from the Bowness Community Association (BCA)

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with. (Please do not include individual names)

See above. The BCA representative advised the applicant that the CA does a wider mail sweep in the area to solicit comments.

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

Parking on street
Can't get out of my driveway because of the street parking
People won't park in their garages
Rowhouses do not fit with the neighbourhood

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

Lot width is 70 feet, allowing for three on-street parking space (while not guaranteed for exclusive use by these landowners) plus a double garage for each unit.

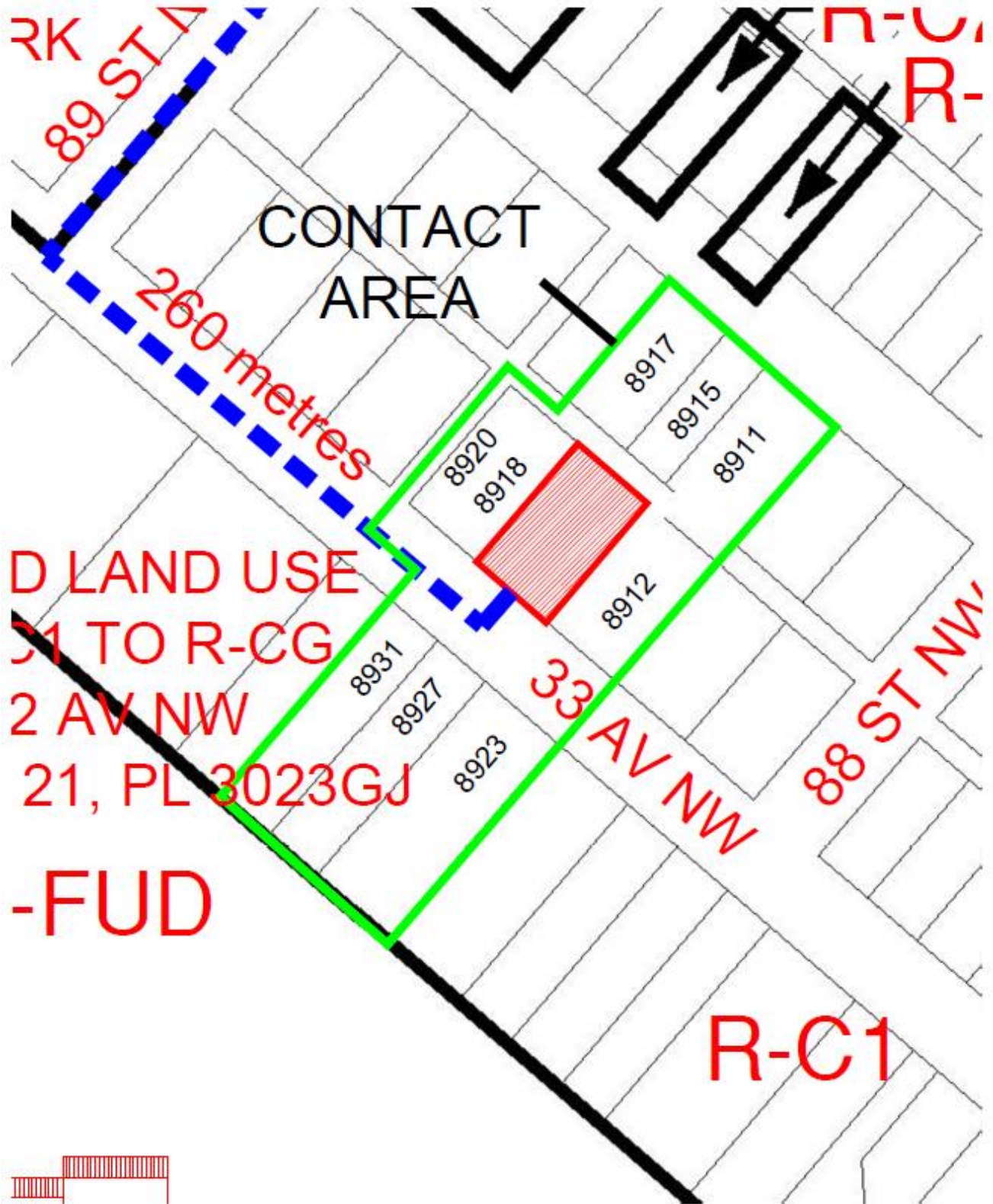
How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

Two followup letters were mailed out to the attendees, including the BCA representative, in January, one with incorrect information and a subsequent clarification letter, attached to this form.

In light of the upcoming Council directive to propose the R-CG and R-G land use district throughout the city, we feel our application aligns with this directive.

calgary.ca/planningoutreach



CITY FILE LOC2023-0361
8916 33 AV NW

RESPONSE TO YOUR CONCERNS – amended in yellow and strike-through

Regarding a Meeting Held on 04 December 2023 at the Bowness Community Association Centre

Copied to the landowners who attended the meeting and the Bowness Community Association

Thank you for meeting with us in December. We appreciate your input. We have the following responses to your comments presented that evening:

PARKING

Based on the city's requirements of 0.5 space per unit, we propose **four times or two stalls per unit: in the form of double garages. The existing lot size is 70 feet wide, allowing for three on-street spaces, while not calculable to this application, they are available for any residents.** ~~we propose four times or two stalls per unit or two garage stalls and one on-street space (allowed for calculation purposes).~~

A comment was made with regards to parking overspill onto the street and it was difficult to maneuver out of the individual's driveway. As I understand it, parking is permitted on both sides of 33 AV NW. If this is an ongoing parking issue, or that is a result of illegal parking, I suggest contacting the city bylaw enforcement division.

COMPATIBILITY

Inner city communities are evolving and housing stock is following suit. While there is trepidation with anything new, I believe there should be some comfort to the existing residents that the Bowness Area Redevelopment Plan (BARP) has addressed this aspect under Section 6.3 p. 18 of the BARP. The landowner will need to address the following items, in its development permit process:

- 6.3.4. a *New developments should be compatible with the scale and form of existing and adjacent homes.*
- 6.3.4. b *Front yards should be used as landscaped areas and not for parking or passenger dropoff areas, except where there is no rear lane*
- 6.3.4. c *When redevelopment on small lots is considered, to enhance the use of the rear yard as a private amenity space, garages should be located within 9 metres of the lane to prevent tandem parking on long driveways.*
- 6.3.4. d *Private outdoor amenity space should be located in the rear yard where possible. Where this is not possible, such spaces should be screened from public view through the use of landscaping and/or fencing which is compatible with the neighbourhood style.*
- 6.3.4. e *New development should be carefully evaluated for adjacent rear yard privacy problems where building height, raised deck height and orientation, and rear yard setback differences contribute to overlooking of neighbours' back yards.*
- 6.3.4. f *Existing mature vegetation should be maintained. Tree planting should reflect the streets' traditional major tree type and placement.*

NB – this letter becomes public information, therefore, individual names are not listed

CITY FILE LOC2023-0361
8916 33 AV NW

RESPONSE TO YOUR CONCERNS – amended in yellow and ~~strike-through~~

Regarding a Meeting Held on 04 December 2023 at the Bowness Community Association Centre

Copied to the landowners who attended the meeting and the Bowness Community Association

- 6.3.4. g *Mirror image infills should be discouraged, unless there is a substantial facade treatment to give the illusion of different design.*
- 6.3.4. h *Resubdivision of existing lots should respect the general development and subdivision pattern of adjacent streets with respect to parcel size, dimension, and orientation.*
- 6.3.4. i *In addition to the requirements under the Land Use Bylaw, accessory building design should be sensitive to the existing principal dwelling on the site.*

CONCLUSION

In September 2023, Calgary City Council directed Administration to investigate the possibility of introducing the R-CG land use districts citywide, to help address the current, ongoing housing crisis. While you may not agree with this directive and you will have the opportunity to provide your comments to the city, we feel this is an appropriate direction for the city to go, permitting opportunities for Calgarian communities to grow across the board.

NB – this letter becomes public information, therefore, individual names are not listed

Community Association Response

2024 January 5

Hi Selena,

Unfortunately we are late submitting comments for this application. If you could add our comment to the file, it would be greatly appreciated.

Our only comment is that we don't support this application to change from R-C1 to R-CG as it is mid-block; we haven't supported these applications in the past.

Regards,

--

Logan McEachern
Planning & Development Assistant

Bowness Community Association
www.mybowness.com
(403) 288 - 8300
email: lmceachern@mybowness.com

Policy and Land Use Amendment in Hounsfield Heights/Briar Hill (Ward 7) at 2304 Juniper Road NW, LOC2023-0366

RECOMMENDATIONS:

That Calgary Planning Commission recommend that Council:

1. Give three readings to the proposed bylaw for the amendment to the Hounsfield Heights/Briar Hill Area Redevelopment Plan (Attachment 2); and
2. Give three readings to the proposed bylaw for the redesignation of 0.09 hectares \pm (0.23 acres \pm) located at 2304 Juniper Road NW (Plan 4683GP, Block 23, Lot 18) from Residential – Contextual One Dwelling (R-C1) District to Residential – Contextual One / Two Dwelling (R-C2) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for semi-detached and duplex dwellings in addition to the building types already allowed (e.g. single detached dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan (MDP)*.
- What does this mean to Calgarians? The proposed Residential – Contextual One / Two Dwelling (R-C2) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-C2 District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- An amendment to the *Hounsfield Heights/Briar Hill Area Redevelopment Plan (ARP)* is required to accommodate the proposed land use.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This application, located in the northwest community of Hounsfield Heights/Briar Hill, was submitted by the applicant QuantumPlace Developments on behalf of the landowners, Jack and Sandra Doborski, on 2023 November 26. The 0.09 hectare (0.23 acre) site is a mid-block parcel located along Juniper Road NW. No development permit application has been submitted at this time; however, as referenced in the Applicant Submission (Attachment 3), the proposal is to obtain land use amendment approval to accommodate future subdivision that would allow a single detached dwelling on each parcel.

The 0.09 hectare (0.23 acre) site is a mid-block parcel located along Juniper Road NW and is currently developed with a single detached dwelling.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0217
Page 2 of 3**

**Policy and Land Use Amendment in Hounsfield Heights/Briar Hill (Ward 7) at 2304
Juniper Road NW, LOC2023-0366**

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant attended a Hounsfield Heights/Briar Hill Community Association meeting and delivered postcards with details on the application to 35 neighbours. A webpage with information on the application and a digital online form where the public could share their feedback was also provided. The Applicant Outreach Summary can be found in Attachment 4.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received one letter of support, one neutral letter and 24 letters of opposition from the public. The letters of opposition included the following areas of concern:

- increased density, traffic and on-street parking impacts;
- pedestrian and child safety;
- parking challenges at the front as the site has no back lane;
- steep slope/incline on Juniper Road NW with limited parking space, poor visibility and challenging snow/ice conditions;
- loss of community character; and
- negative impact on property values.

The Hounsfield Heights/Briar Hill Community Association submitted a neutral letter on 2023 December 28 noting that future development permits for new dwellings following subdivision of the site must have good design to fit into the existing community character (Attachment 5).

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate for the following reasons:

- The MDP encourages modest intensification, more efficient use of existing infrastructure, public amenities and transit within the Developed Residential – Inner City area;
- The R-C2 District is a low-density residential district and is designed to be suitable adjacent to lower density land uses; and
- Many of the public concerns may be managed at the development permit review stage and addressed through site and building design.

The building and site design, number of units and on-site parking will be reviewed and determined through the review of the development permit.

**Planning and Development Services Report to
 Calgary Planning Commission
 2024 February 22**

**ISC: UNRESTRICTED
 CPC2024-0217
 Page 3 of 3**

**Policy and Land Use Amendment in Hounsfield Heights/Briar Hill (Ward 7) at 2304
 Juniper Road NW, LOC2023-0366**

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission’s recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposal would allow for a wider range of housing types than the existing designation and may better accommodate the housing needs of different age groups, lifestyles and demographics.

Environmental

This application does not indicate any specific actions that address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The proposed land use amendment will enable the subdivision of the site to accommodate additional dwelling units on two parcels and will make more efficient use of existing infrastructure and services.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Amendment to the Hounsfield Heights/Briar Hill Area Redevelopment Plan
3. Applicant Submission
4. Applicant Outreach Summary
5. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is a mid-block parcel located in the northwest community of Hounsfield Heights/Briar Hill along Juniper Road NW. The site is approximately 0.09 hectares (0.23 acres) in size and is approximately 22 metres wide by 40 metres deep. It has a significant upward slope from the front to the rear of the site and currently contains a single detached dwelling with a front drive-under garage with access from Juniper Road NW.

Surrounding development consists of single detached dwellings on parcels designated as Residential – Contextual One Dwelling (R-C1) District. The site is close to community amenities and parks. Hawthorne Green Space is approximately 130 metres (a two-minute walk) to the east, Grasshopper Hill is approximately 175 metres (a three-minute walk) to the southeast, West Hillhurst Off Leash Park is approximately 240 metres (a four-minute walk) to the southeast and Briar Hill School is approximately 415 metres (a seven-minute walk) to the northeast. Other community amenities located within 1.5 kilometers (a 25-minute walk) northeast of the site include Lions Park LRT Station, Louise Riley Library and Park, Hounsfield Heights/Briar Hill Community Association and North Hill Shopping Centre. 16 Avenue NW is within 600 metres (a 10-minute walk) north of the site.

The site benefits from convenient pedestrian access via adjacent sidewalks and on-street bikeway along Juniper Road NW.

Community Peak Population Table

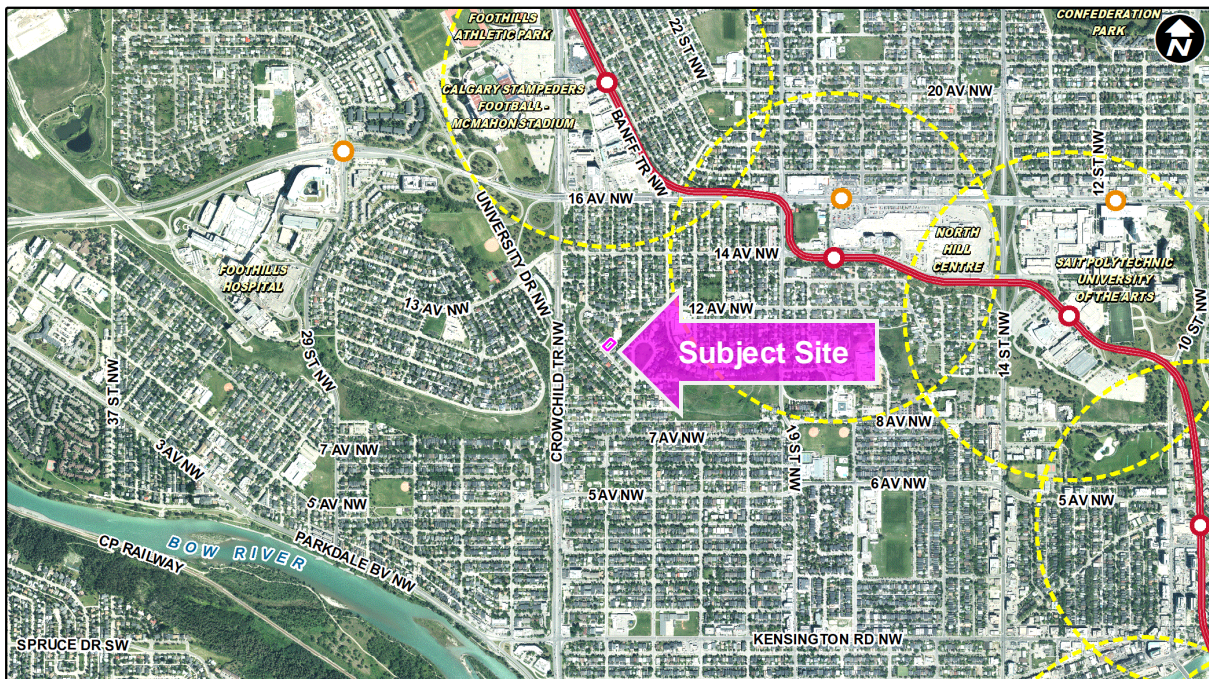
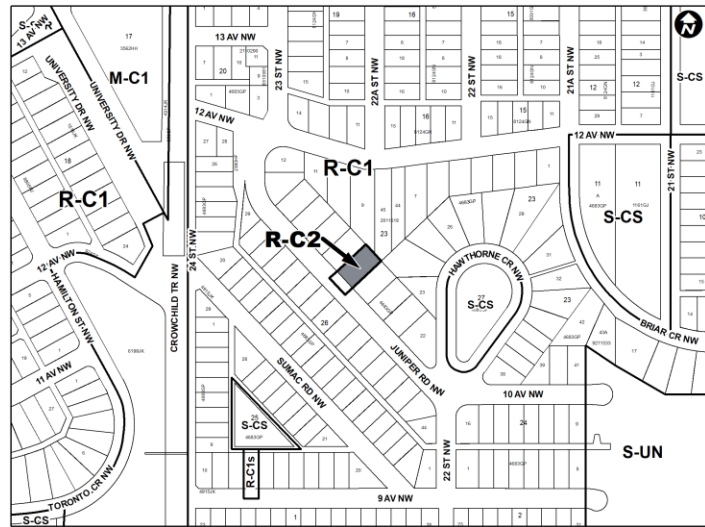
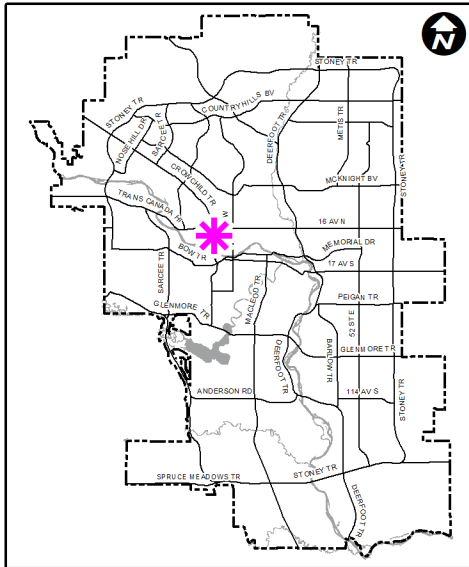
As identified below, the community of Hounsfield Heights/Briar Hill reached its peak population in 1971.

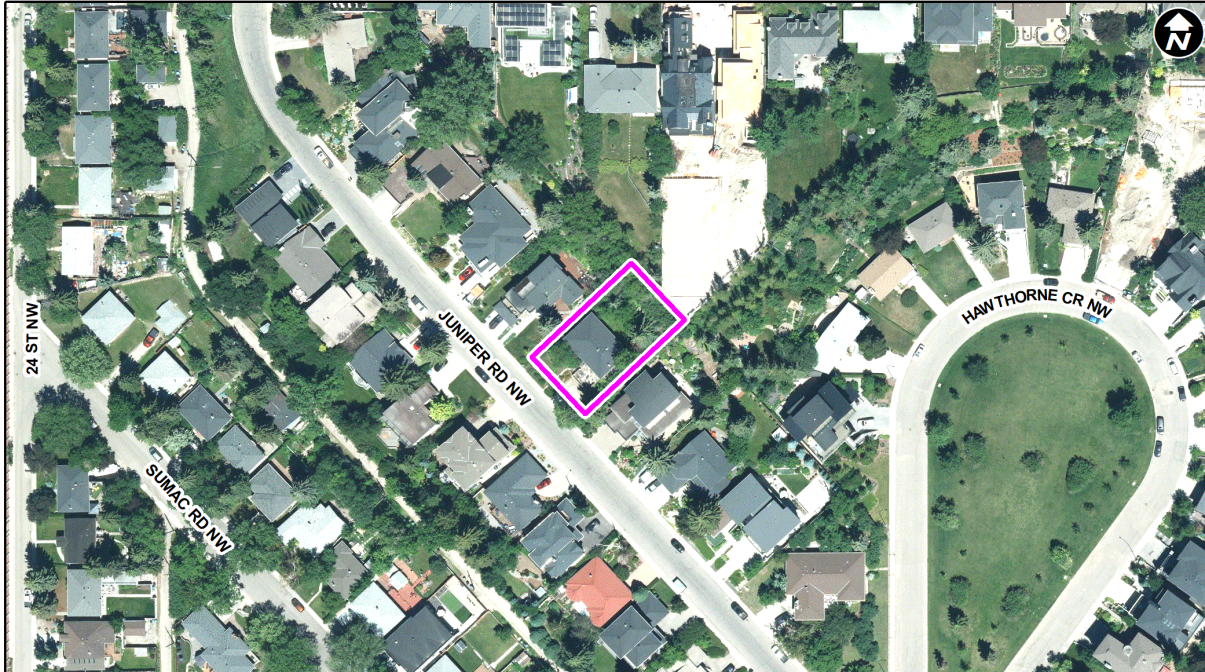
Hounsfield Heights/Briar Hill	
Peak Population Year	1971
Peak Population	3,294
2019 Current Population	2,798
Difference in Population (Number)	-496
Difference in Population (Percent)	-15.1%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Hounsfield Heights/Briar Hill Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing Residential – Contextual One Dwelling (R-C1) District is primarily for single detached dwellings in the developed area. The R-C1 District allows for a maximum building height of 10 metres and a maximum density of one dwelling unit. Secondary suites are discretionary uses within the R-C1 District.

The proposed R-C2 District is a low-density residential designation applied to developed areas that allows for single detached, semi-detached and duplex dwellings. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites (one backyard suite per parcel or one secondary suite per dwelling unit) are also allowed in the R-C2 District, and do not count towards allowable density.

Development and Site Design

The rules of the proposed R-C2 District will provide guidance for future site development including appropriate uses, building height and massing, landscaping, parcel coverage and parking. Given the specific context of this site, additional items that will be considered through the development permit process include, but are not limited to:

- ensuring an engaging built interface along Juniper Road NW;
- slope-adaptive design subject to the *Slope Adaptive Development Policy and Guidelines* on account of substantial slope on the site; and
- on-site parking provision for future development on the site.

Transportation

Pedestrian and vehicular access to the site is available via Juniper Road NW which is classified as a Residential Street according to the Calgary Transportation Plan. Access to the Always Available for All Ages and Abilities (5A) Network is available via on-street bikeway on Juniper Road NW.

The nearest Transit stop is located approximately 360 metres (a six-minute walk) away on 22 A Street NW for Route 404 (North Hill). Transit stop for Route 20 (Heritage Northmount) is located approximately 600 metres (a 10-minute walk) away on University Drive NW/Crowchild Trail NW. A Transit stop located approximately 600 metres (a 10-minute walk) north of the site at Crowchild Trail NW/16 Avenue NW provides services on Route 19 (16 Avenue North), Route 40 (Crowfoot/North Hill) and Route 91 (Foothills Medical Centre). On-street parking along Juniper Road NW is not restricted.

A Transportation Impact Assessment was not required as part of this application.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water and sanitary sewer are available for connection from Juniper Road NW. Details of site servicing, as well as stormwater management will be considered and reviewed as part of future development permit application.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#). The proposed policy and land use amendments builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The site is located within the Developed Residential – Inner City area as identified on Map 1 (Urban Structure) of the [Municipal Development Plan](#) (MDP). The proposal complies with the relevant land use policies that recognize the predominantly low-density residential nature and supports moderate intensification in a form and nature that respects the scale and character of the neighbourhood. The MDP policies encourage redevelopment to make more efficient use of existing infrastructure, public amenities and transit, and also promote climate resilience. The proposed land use amendment is in alignment with the relevant policies of the MDP.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Hounsfieid Heights/Briar Hill Area Redevelopment Plan (Statutory – 1989)

The site is located within the low-density residential conservation and infill area, as shown in Map 3. of the [Hounsfieid Heights/Briar Hill Area Redevelopment Plan](#) (ARP).

The Low Density Residential, Conservation and Infill Policy promotes maintaining community stability to protect the existing character and quality of the neighbourhood. It supports only single and semi-detached dwelling development.

Section 2.1.3.4 of the ARP states that re-subdivision of existing lots should respect the general development and subdivision pattern of the adjacent area in terms of parcel size, dimensions and orientation. A textual amendment of this policy section is required to support the proposed land use amendment application due to the changes in the parcel size and dimensions.

Riley Communities Local Area Planning Project (Draft)

Administration is currently working on the [Riley Communities local area planning project](#), which includes Hounsfieid Heights/Briar Hill and surrounding communities. The proposed land use is in alignment with the applicable urban form category and building scale modifier found in the draft *Riley Communities Local Area Plan*. Planning applications are being accepted for processing during the local area planning process and are reviewed using existing legislation and Council approved policy.

Proposed Amendment to the Hounsfield Heights/Briar Hill Area Redevelopment Plan

1. The Hounsfield Heights/Briar Hill Area Redevelopment Plan attached to and forming part of Bylaw 15P89, as amended, is hereby further amended as follows:
 - (a) In Section 2.1.3 Policies, subsection 2.1.3.4, in the second sentence, after the words "1616 – 11 Avenue NW", add the following ", 2304 Juniper Road NW".

TEXT FOR DISCUSSION

Applicant Submission



1026 16 Ave NW, Suite 203
Calgary, AB T2M 0K6
587-350-5172

November 17, 2023

Planning and Development Office
City of Calgary Municipal Building
800 Macleod Trail SE
Calgary, AB, T2P 2M5

RE: Applicant Submission – Land Use Redesignation for 2304 Juniper Road NW

QuantumPlace has been engaged by Mr. Jack Doborski to submit a Land Use Redesignation application for 2304 Juniper Road NW to accommodate a future subdivision that would enable two single detached homes. This redesignation from R-C1 (Residential-Contextual One Dwelling) district to R-C2 (Residential-Contextual One/Two Dwelling) district will allow the subdivision of the 22.86 metre (75') wide lot to two 11.43-meter (37.5') wide lots to accommodate construction of a single detached dwelling on each parcel.

Context

The site is located in the neighbourhood of Hounsfeld Heights / Briar Hill and is situated among low-density residential development. It is within 250 meters of Crowchild Trail NW, which is part of Calgary's Primary Transit Network. The site is northwest of Grasshopper Hill Park and is near a variety of restaurants, retail, and other commercial uses. The adjacent properties surrounding the subject site are all designated as R-C1.

Policy Alignment

This redesignation from RC-1 to RC-2 would enable the development of two single detached dwellings with or without secondary suites and aligns with the intentions of the "Low Density Residential, Conservation and Infill" policy area stated in the Hounsfeld Heights / Briar Hill Area Redevelopment Plan (ARP). It maintains community stability and protects the neighborhood's existing character. This application is also in alignment with the draft Riley Communities Local Area Plan.

Per the Land Use Bylaw, the lot width will comply with the R-C2 7.5-meter minimum parcel width. It is important to note that the R-C1 and R-C2 land use districts have the exact same lot coverage, the same setbacks (front, rear and side), and produce the same massing that would ensure street consistency.

Engagement

QuantumPlace will reach out the Community Association. Postcards outlining the application will be distributed to properties in proximity to the subject parcel. The postcards will detail the intentions of the application and provide a QR code that links to the website and provide feedback on the application. A sign will be displayed on site for the duration of the application. The sign will present information on the application, direct inquiries to the project website and describe the change in land use. The website will also be updated to provide current project information. Feedback will be collected and summarized in a “What We Heard” report which will be finalized and shared with The City of Calgary.

Conclusion

The City is looking to expand the range of housing choice in a fashion that suits the context of the community. The landowner’s intention to develop single detached dwellings aligns with the context of the surrounding neighbourhood in a form and massing that supports the existing policy in alignment with the current planning framework.

Applicant Outreach Summary

2024 January 23



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: Land Use Redesignation - 2304 Juniper Road NW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

N/A

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

QuantumPlace reached out to the Hounsfield Heights/Briar Hill Community Association and attended a meeting on December 8, 2023. Neighboring properties were made aware of the application through the use of postcards providing details on the application for Land Use Redesignation. A project page on QuantumPlace's qpengage.ca website also provided information on the application. The project page included a digital online form where members of the public could share their feedback on the application.

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with. (Please do not include individual names)

-Hounsfield Heights / Briar Hill Community Association
-Residents in proximity to 2304 Juniper Road NW; and
-General Public.

calgary.ca/planningoutreach

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

This application received responses in support of, neutral to and in opposition of this application.

Supportive comments from members of the public praised the increased density allowing for more diversity and affordability in the community. In the meeting, the Community Association expressed neutrality on this land use application but expressed a strong desire to see semi-detached dwellings as this type of structure could have the potential to read more consistently (one larger structure) with the existing form and nature of the buildings within the community.

The letters of opposition included the following concerns:

- Increased density at the application site;
- Increased traffic and on-street parking;
- Pedestrian and child safety;
- Parking concerns;
- Existing visibility and slope on Juniper Road;
- Loss of community character; and
- Negative impact on property values.

As it is unknown who the land owner will partner with for the future development, details on building form, density and impacts of the development cannot be confirmed at this time - as this is currently a Land Use Redesignation application.

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

The majority of concerns regarding this land use application can be addressed as a part of the Development Permit application. Slope, parking, building form and design considerations are matters that can be addressed at Development Permit. This application aligns to the current intent of the Housing Action Plan and the draft Riley LAP to increase the intensity and variety of housing form available city wide. QuantumPlace is proceeding with this application as originally intended.

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

Members of the public who provided feedback were thanked their feedback and the told that the feedback would be documented in QuantumPlace's engagement summary. Members of the public were provided two ways in which to stay up to date on the applicaiton; a link to The City's Dmap was provided and updates on this application would be shared on the qpengage.ca application page.

calgary.ca/planningoutreach

Community Association Response

2023 December 28

Application: LOC2023-0366

Submitted by: Hounsfield Heights Briar Hill Community Association

Contact Information

Address: Box 65086 RPO North Hill, Calgary AB T2N 4T6

Email: Land.use@hh-bh.ca

Phone:

Overall, I am/we are:

Neither in support nor in opposition of this application

Areas of interest/concern:

Density, Building setbacks, Community character, Shadowing impacts

What are the strengths and challenges of the proposed:

Will the proposed change affect the use and enjoyment of your property? If so, how?

The City views applications in the context of how well it fits within the broader community and alignment to Calgary's Municipal Development Plan (MDP). Do you see the proposed changes as compatible to the community and MDP? If not, what changes would make this application align with The City's goals?

How will the proposed impact the immediate surroundings?

General comments or concerns:

The Hounsfield Heights – Briar Hill Community Association thanks the city for circulating Land Use Redesignation application LOC2023-0366. This is the first redesignation from R-C1 to R-C2 in the R-C1 central part of our community, anticipating the Riley Local Area Plan.

Our community acknowledges that some additional density is needed throughout the city, and we suggested, as part of the Riley plan, allowing 'hidden density' – semi-detached, duplex, or even triplex within the existing R-C1 footprint (45% lot coverage and 10 m tall) throughout the community. This subdivision fits with this hidden density concept, and thus we do not oppose this application. We note that until the new LAP passes, an ARP amendment is necessary. We look for to seeing the application and text for this amendment, which should be specific to this lot and situation.

A key aspect of this idea is that sub-divided dwellings must use good design to fit into the existing community character. Thus, we are asking the city to add a phrase to the LAP that says that subdivisions should be semi detached/duplex, rather than narrow single-family homes. A well done semi-detached has similar width proportions as the adjacent existing dwellings and can blend in well – you may not notice immediately that there are two dwellings instead of one. A semi-detached also does not 'waste' the space of the side set-backs down the middle of the original lot (since the two dwelling share a wall) and as a result the same footprint (45% lot coverage) will extend less far back on the lot and will shadow the adjacent homes less.

We had a meeting with the developer's representative on this topic, asking for them to consider semi-detached – they have not responded to our comments. These new lots are not as narrow as many in the community, and there is no lane from which to hide the extra garage space, but we are concerned that subsequent applicants will argue that this early subdivision is a precedent. We distributed flyers around this application, as is our usual practice, and we have also discussed these concepts at a recent community meeting and online. We have heard that many community members support this hidden density concept, and many community members near this property are disappointed to see subdivision to R-C2 in the single-family part of our community. We all would like to generally see more emphasis on density in sites that don't damage the character and environment of established communities. In our neighbourhood, density on North Hill Mall and Louise Riley should be strongly encouraged. Built forms that replace R-C1 should be grade-oriented to maintain space for mature trees and wildlife, maintain neighbourly interaction, and truly blend into the existing community.

Planning and Development Services Report to
 Calgary Planning Commission
 2024 February 22

ISC: UNRESTRICTED
 CPC2024-0107
 Page 1 of 3

**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2037 – 28 Street SW,
 LOC2023-0362**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.07 hectares ± (0.18 acres ±) located at 2037 – 28 Street SW (Plan 5661O, Block 9, Lots 19, 20 and a portion of Lot 18) from Direct Control (DC) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the existing district (e.g. single detached, semi-detached, duplex dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Westbrook Communities Local Area Plan* (LAP).
- What does this mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for more housing options within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- No development permit application has been submitted at this time.
- There is no previous Council direction regarding this proposal.

DISCUSSION

This application, in the southwest community of Killarney/Glengarry was submitted by Horizon Land Surveys on behalf of the landowner, Reliant Contractors Ltd., on 2023 November 24. No development permit application has been submitted at this time. The Applicant Submission can be found in Attachment 2.

The approximately 0.07 hectare (0.18 acre) site is located on the northwest corner of 21 Avenue SW and 28 Street SW. It currently contains a single detached dwelling and detached garage with access available from the lane.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2037 – 28 Street SW,
LOC2023-0362**

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and the respective community association was appropriate. The applicant delivered postcards to surrounding neighbours within a 90-metre radius and reached out to both the Killarney-Glengarry Community Association and the Ward Councillor's Office. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received one letter of opposition, indicating concerns that increasing density will create parking issues.

No comments from the Killarney-Glengarry Community Association were received. Administration contacted the Community Association to follow up and no response was received.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The R-CG District is intended to be compatible with other low density residential districts and accommodates a variety of grade-oriented housing forms. The site and building design, parking, servicing and landscaping considerations will be reviewed at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed land use district allows for a wider range of housing types that may better accommodate the housing needs of different age groups, lifestyles and demographics.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The proposed land use amendment would allow for a more efficient use of land, existing infrastructure and local services.

Planning and Development Services Report to
Calgary Planning Commission
2024 February 22

ISC: UNRESTRICTED
CPC2024-0107
Page 3 of 3

**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2037 – 28 Street SW,
LOC2023-0362**

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

- 1. Background and Planning Evaluation
- 2. Applicant Submission
- 3. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the southwest community of Killarney/Glengarry on the northwest corner of 21 Avenue SW and 28 Street SW. The parcel is approximately 0.07 hectares (0.18 acres) in size and is approximately 37 metres deep and 15 metres wide. The lot is currently developed with a single detached dwelling and a detached garage which is accessed from the rear lane.

Surrounding development consists primarily of a mix of single and semi-detached residential developments. Redesignation to the Residential – Grade-Oriented Infill (R-CG) District has occurred in some areas of this community, including a rowhouse development directly across the lane to the west.

The site is close to schools, community amenities, and green space. The Killarney Aquatic and Recreation Centre is approximately 150 meters (a three-minute walk) to the west and the 17 Avenue SW Primary Transit Network is approximately 320 meters (a five-minute walk) to the north of the site.

Community Peak Population Table

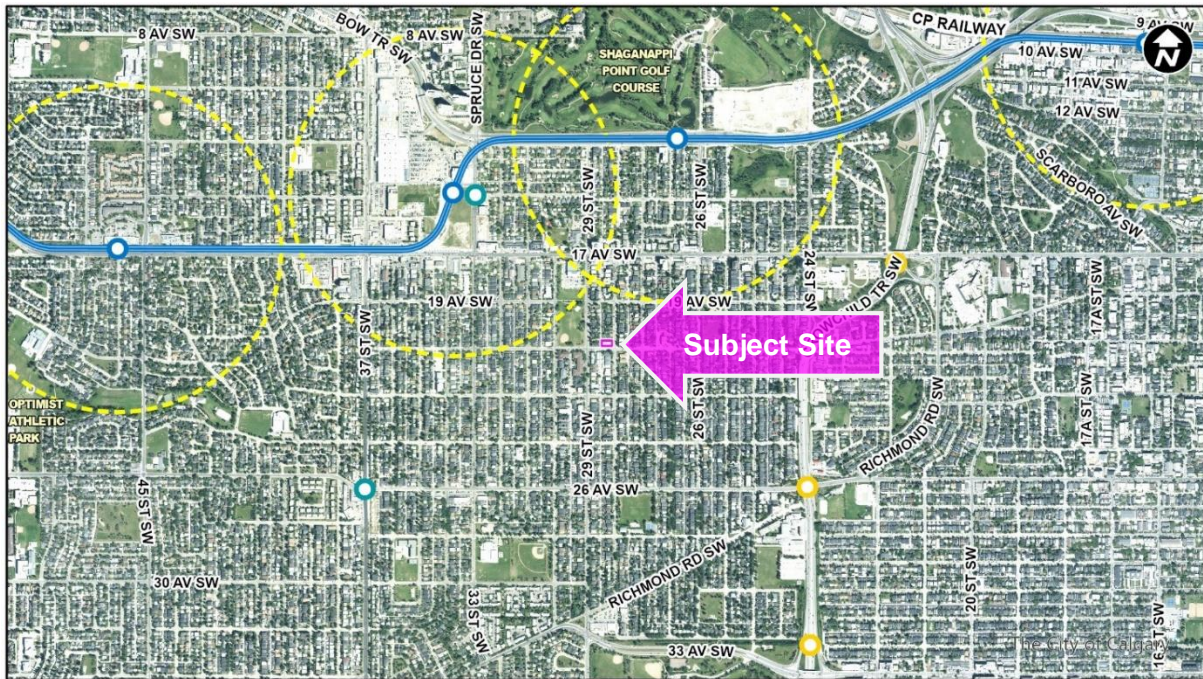
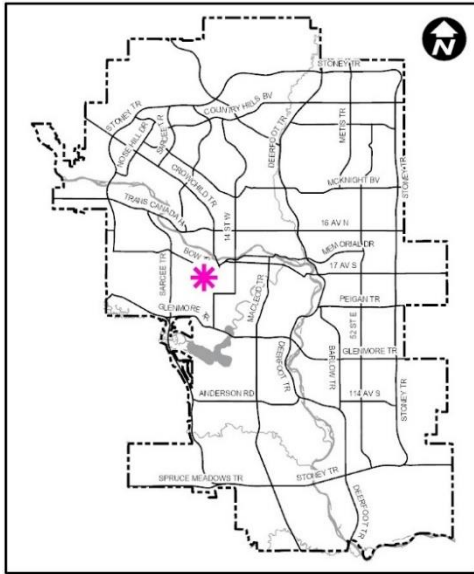
As identified below, the community of Killarney/Glengarry reached its peak population in 2019.

Killarney/Glengarry	
Peak Population Year	2019
Peak Population	7,685
2019 Current Population	7,685
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Killarney/Glengarry Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing Direct Control (DC) District ([Bylaw 29Z91](#)) is based on the R-2 Residential Low Density District in Land Use Bylaw 2P80 which accommodates development in the form of single detached, semi-detached and duplex dwellings with a maximum building height of 10 metres.

The proposed R-CG District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, townhouses and rowhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow up to five dwelling units.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for future redevelopment of the site including appropriate uses, building massing, height, landscaping and parking. Given the specific context of this corner site, additional items that will be considered through the development permit process include, but are not limited to:

- ensuring an engaging built interface along both 21 Avenue SW and 28 Street SW; and
- mitigating shadowing, overlooking and privacy concerns.

Transportation

The site is a corner parcel, fronting onto 28 Street SW and 21 Avenue SW which are classified as Residential Streets. Vehicle access to the site will be via the existing rear lane, typically accessed from 21 Avenue SW. Pedestrian access will be from the existing sidewalks fronting the site.

The parcel is presently located within the Residential Parking Program (RPP) zone “KI”. On-street parking, however, is presently unrestricted directly adjacent to the parcel. The subject site is well-served by Calgary Transit. The subject site is located within 350 metres (a six-minute walk) of the eastbound and westbound Route 2 (Mount Pleasant/Killarney 17 Avenue SW) bus stops on 17 Avenue SW and 850 metres (a 14-minute walk) from the southbound MAX Yellow (Woodpark/City Centre) and Route 66 (Lakeview) stops on Crowchild Trail SW. Additionally, the parcel is located within 800 metres (a 13-minute walk) of the Shaganappi Point LRT Station.

The parcel is located one block from 29 Street SW, which includes an on-street bikeway. Additionally, the parcel is located 500 metres from 26 Avenue SW, which includes dedicated wheeling lanes that form part of the Always Available for All Ages and Abilities (5A) Network.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water, sanitary and storm mains are available to service the subject site. Details of site servicing, as well as appropriate stormwater management, will be considered and reviewed as part of a development permit application.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration’s recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration’s recommendation aligns with the policy direction of the Calgary Metropolitan Region Board’s [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Developed Residential – Inner City area as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to make more efficient use of existing infrastructure, public amenities and transit and delivers small and incremental benefits to climate resilience. The proposal is in keeping with relevant MDP policies

as the R-CG District provides for a modest increase in density in a form that is sensitive to existing residential development.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Westbrook Communities Local Area Plan (Statutory – 2023)

The [Westbrook Communities Local Area Plan](#) (LAP) identifies the subject site as being part of the Neighbourhood Local category (Map 3: Urban Form) with a Limited building scale modifier (Map 4: Building Scale), which allows for up to three storeys. The LAP speaks to primarily residential uses in this area and encourages a range of housing types. The Limited building scale policies within the Neighbourhood Local category supports three or more units on corner parcels with a lane. The proposed land use amendment is in alignment with applicable policies of the LAP.

Applicant Submission

Company Name (if applicable):

Horizon Land Surveys

Applicant's Name:

Lei Wang

Date:

Nov. 22nd, 2023

LOC Number (office use only):

On behalf of the landowner, please accept this application to redesignate a +/-0.074 hectare site from DC30Z91 to R-CG to allow for:

- rowhouses, townhouses and cottage housing clusters in addition to the uses already allowed (e.g. single-detached, semi-detached, and duplex homes and suites)
- a maximum building height of 11 metres (an increase from the current maximum of 10 metres)
- a maximum of 5 dwelling units (an increase from the current maximum of 2 dwelling units)
- the uses listed in the proposed R-CG designation.

The subject site, 2037 28 Street SW, is a corner lot located in the community of Killarney/Glengarry along 21 Ave SW and 28 Street SW. The lot is currently developed with a single detached dwelling built in 1947. A four units row house exists to the west of the site cross the lane. Multi-residential lots are to the south of the site cross 21 Ave. The lot is surrounded in other directions by single detached or semi-detached dwellings. The current DC zoning mainly only allows semi-detached.

The site is approximately 0.074 hectares in size. A rear lane exists to the west of the site. Vehicle access to the parcel is available and will be via the rear lane. The site is about 320 meters from 17 Ave, which is part of city's primary transit network. Killarney Aquatic & Recreation Centre is within walking distance.

Westbrook Communities Local Area Plan define the lot as "Neighbourhood Local" with building scale of up to 3 storeys. Building forms that contain three or more residential units should be supported on parcels with rear lanes; within transit station area core zones and transition zones; along a street identified as main street or separated by a lane from a parcel along a main street; on a corner parcels; or adjacent to or separated by a road or lane from a school, park or open space greater than 0.4 hectares.

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the R-CG provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

The proposed R-CG is a Low Density Residential District. With the lot being a corner lot, the impacts of higher density use on neighbouring lower density properties can be reduced. Housing that faces both streets adds to the residential appearance of the side streets and tends to slow traffic and enhance pedestrian safety and experience on adjacent sidewalks.

Housing diversity and choice policies encourage the provision of a wide range of housing types, tenures and densities that may meet affordability, accessibility, life cycle and lifestyle needs of different groups; an adaptation of the City's existing housing stock to enable changing households to remain in the same neighbourhood for longer time periods through allowing accessory suites in low density areas. So we sincerely hope city can support our application.

Applicant Outreach Summary



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 2037 28 Street SW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, our office completed the "Community Outreach Assessment". The project's impact score is "1A". So we are implementing a direct approach to reach to community association, local residents within a 90 meters radius and also Ward Councilor Office.

On Oct. 16th, 2023, our staff did post card deliver to residents within a 90 meters radius for a total of 60 houses. During the process, our staff did door knocking and spoke with 16 residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

We have also contacted community association and councilor's office for comments. Until today, we haven't received any response yet.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

According to R-CG bylaw, the side setback is increased to 3 meters on the side neighbouring another residential dwelling. Also even though, the maximum height is 1 meter higher, R-CG bylaw require lower height at perimeter.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with local residents, Councillor office and community association. And better explain to local residents about proposed developments and restrictions under R-CG.

calgary.ca/planningoutreach

Land Use Amendment in Bowness (Ward 1) at 8304 – 46 Avenue NW, LOC2022-0218

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.06 hectares ± (0.14 acres ±) located at 8304 – 46 Avenue NW (Plan 2660AP, Block 9, Lot 13) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the existing district (e.g. single detached, semi-detached, duplex dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Bowness Area Redevelopment Plan* (ARP).
- What does it mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does it matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- A development permit application for a four-unit rowhouse with secondary suites and detached garage has been submitted and is under review.
- There is no previous Council direction related to this proposal.

DISCUSSION

This application, in the northwest community of Bowness was submitted on behalf of the landowner, Baadani Development Inc., on 2022 December 07. The applicant representing the landowner has changed during the review and the current applicant is Horizon Land Surveys.

The approximately 0.06 hectare (0.14 acre) site is situated at the northwest corner of 46 Avenue NW and 81 Street NW. Bowglen Park is approximately 400 metres (a seven-minute walk) and Bowness High School is approximately 500 metres (an eight-minute walk) to the east of the site.

As noted in the Applicant Submission (Attachment 2), the application proposes to change the land use to the R-CG District to accommodate a rowhouse building. A development permit (DP2022-08305) for four units with secondary suites was received on 2022 December 07 and is under review.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

Land Use Amendment in Bowness (Ward 1) at 8304 – 46 Avenue NW, LOC2022-0218

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant contacted the Bowness Community Association, the Ward Councillor's Office and visited residents within a 100 metre radius to discuss the application in person. Postcards were also delivered to neighbours within a 100 metre radius. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received three letters of opposition from the public. The letters of opposition included the following areas of concern:

- increased traffic and parking issues;
- increased noise;
- reduced sunlight and privacy for neighbouring lots; and
- rowhouses do not fit the character of the community.

The Bowness Community Association submitted a letter in opposition on 2023 September 05 (Attachment 4) identifying concerns related to spot zoning and height.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The R-CG District is intended to be located adjacent to other low-density districts and accommodates a variety of grade-oriented housing forms that are generally compatible with the scale of adjacent homes. The building and site design, number of units and on-site parking will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council for land use amendment will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Land Use Amendment in Bowness (Ward 1) at 8304 – 46 Avenue NW, LOC2022-0218

IMPLICATIONS

Social

The proposed application would allow for additional housing types including rowhouses and townhouses that may better accommodate the housing needs of different age groups, lifestyles and demographics that contribute to a more inclusive community.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The proposed land use amendment would allow for a more efficient use of land, existing infrastructure and services. The future development may also support local business and employment opportunities in the area.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary
4. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the northwest community of Bowness at the at the northwest corner of 46 Avenue NW and 81 Street NW. The site is approximately 0.06 hectares (0.14 acres) in size and is approximately 15 metres wide by 36 metres deep. The site is currently developed with a single detached dwelling and is serviced by a rear lane.

Surrounding development is characterized primarily by single detached and semi-detached dwellings designated as Residential – Contextual One / Two Dwelling (R-C2) District. There are several parcels in the area, including one to the southeast across 46 Avenue SW, that are designated as Residential – Grade-Oriented Infill (R-CG) District. Bowglen Park is approximately 400 metres (a seven-minute walk) east of the site. The subject site is also 500 metres (an eight-minute walk) from Bowness High School.

Community Peak Population Table

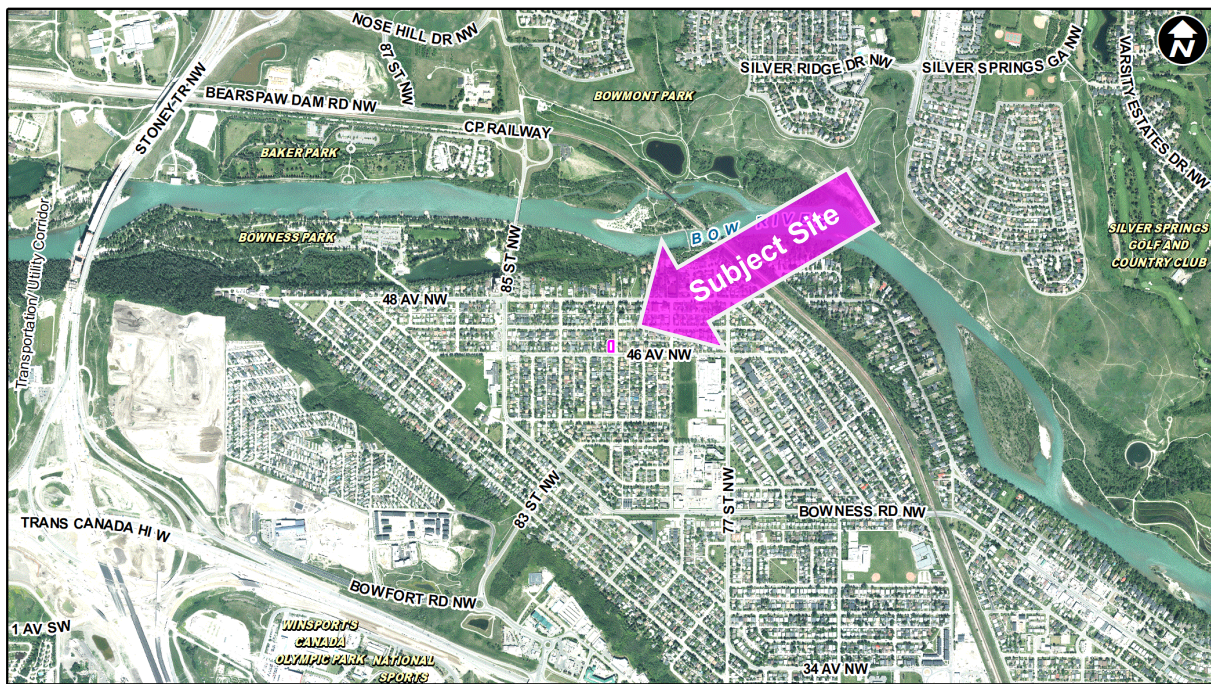
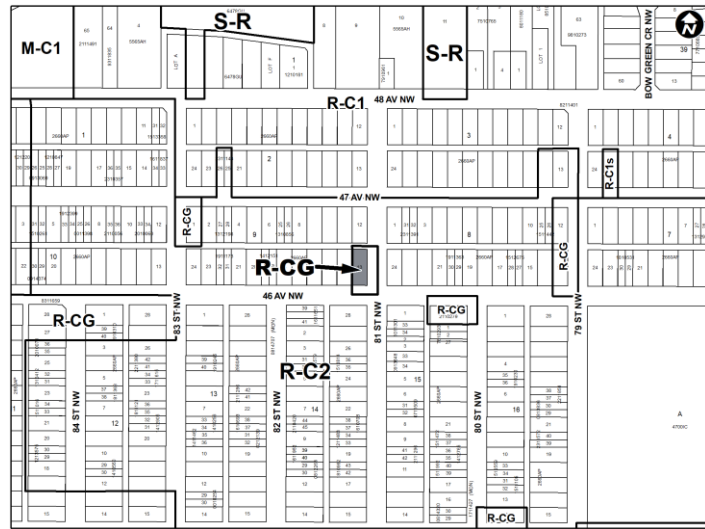
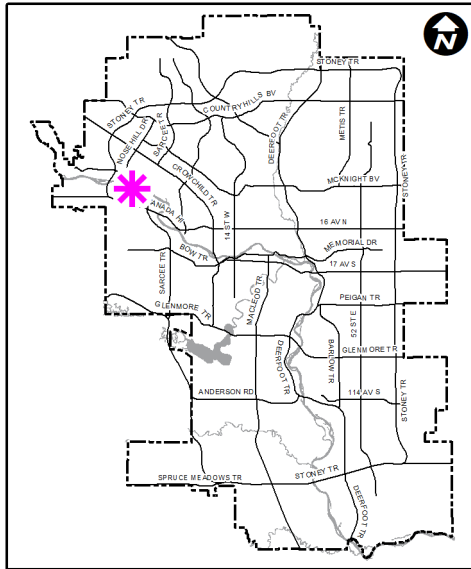
As identified below, the community of Bowness reached its peak population in 1982.

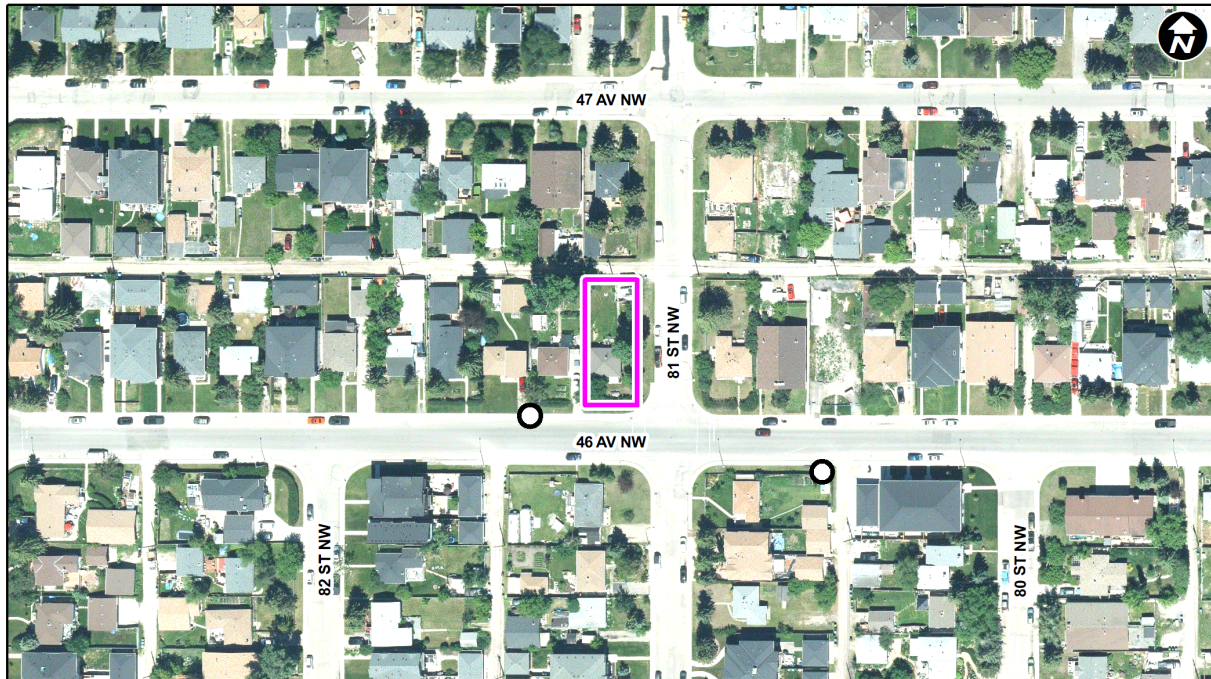
Bowness	
Peak Population Year	1982
Peak Population	13,134
2019 Current Population	11,150
Difference in Population (Number)	-1,984
Difference in Population (Percent)	-15.11%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Bowness Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C2 District is primarily for single detached, semi-detached, duplex dwellings and secondary suites. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

In addition to the residential uses allowed in the R-C2 District, the proposed R-CG District allows for the additional low-density housing forms of townhouses and rowhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow up to four dwelling units on the subject site.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the future redevelopment of the site including appropriate uses, building height and massing, landscaping and parking. Given the specific context of this corner site, additional items that will be considered through the development permit process include, but are not limited to:

- ensuring an engaging built interface along both 46 Avenue NW and 81 Street NW; and
- mitigating shadowing, overlooking and privacy concerns.

Transportation

The site is a corner lot that fronts onto 46 Avenue NW (Collector Road) and 81 Street NW (Residential Road). Both roads have less than 5,000 vehicle trips per day. The site has an existing curb cut on 81 Street NW that would be closed and rehabilitated at the time of redevelopment.

The subject site is approximately 25 metres (a half-minute walk) from a westbound bus stop for Route 40 (Crowfoot Station/North Hill), which provides service through the communities of Bowness and Scenic Acres up to the Crowfoot Light Rail Transit (LRT) Station, where it loops around and provides access to other routes. The Crowfoot LRT is located 4.5 kilometres away and forms part of the Primary Transit Network.

The subject site is also approximately 70 metres (a one-minute walk) from an eastbound bus stop for Route 40 (Crowfoot Station/North Hill). This provides service through Bowness, Montgomery, Parkdale, to the Foothills Hospital and to the Lions Park LRT Station, where it loops around and provides access to other routes. The Lions Park LRT Station is located 11 kilometres away and also forms part of the Primary Transit Network.

The subject site is within the Residential Parking zone "NN", and there are currently no on-street parking restrictions.

At the time of redevelopment, all required parking and loading as well as bike parking or mobility storage is to be situated on site. All vehicular access is to come from the lane.

Environmental Site Considerations

No environmental concerns have been noted for this parcel.

Utilities and Servicing

Water sanitary and storm sewer are available to service future development on the subject site. Details of site servicing and stormwater management will be reviewed on the Development Site Servicing Plan (DSSP) at the development permit stage.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential – Inner City area as identified on Map 1: Urban Structure of the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to make more efficient use of existing infrastructure, public amenities and transit and delivers small and incremental benefits to climate resilience. The proposed land use district provides a form that respects the scale and character of the neighbourhood context. As such, the proposal is in keeping with relevant MDP Policies.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Bowness Area Redevelopment Plan (Statutory – 1995)

The subject parcel is located within the Residential: Low Density, Conservation & Infill area of Map 2: Land Use Policy Areas in the [Bowness Area Redevelopment Plan](#) (ARP). The ARP speaks to protecting the existing residential character and supporting sensitive infill development and renovations. The proposed land use amendment is in alignment with the applicable policies of the ARP.

Applicant Submission

Company Name (if applicable):

Horizon Land Surveys

LOC Number (office use only):

Applicant's Name:

Lei Wang

Date:

Jan. 26th, 2024

On behalf of the landowner, please accept this application to redesignate a +/-0.056 hectare site from R-C2 to R-CG to allow for:

- rowhouses in addition to the uses already allowed (e.g. single-detached, semi-detached, and duplex homes and suites)
- a maximum building height of 11 metres (an increase from the current maximum of 10 metres)
- a maximum of 4 dwelling units (an increase from the current maximum of 2 dwelling units)
- the uses listed in the proposed R-CG designation.

The subject site, 8304 46 Ave NW, is a corner lot located in the community of Bowness along 81 Street NW and 46 Ave NW. The lot is currently sitting vacant. The lot is surrounded mostly by single detached or semi-detached dwellings while there are already R-CG lots on the block.

The site is approximately 0.056 hectares in size. A rear lane exists to the north of the site. Vehicle access to the parcel is available and will be via the rear lane. The closet bus stop are within 30 meters of the site along 46 Ave NW.

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the R-CG provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

The proposed R-CG is a Low Density Residential District. With the lot being a corner lot

The impacts of higher density use on neighbouring lower density properties can be reduced. Housing that faces both streets adds to the residential appearance of the side streets and tends to slow traffic and enhance pedestrian safety and experience on adjacent sidewalks.

Housing diversity and choice policies encourage the provision of a wide range of housing types, tenures and densities that may meet affordability, accessibility, life cycle and lifestyle needs of different groups; an adaptation of the City's existing housing stock to enable changing households to remain in the same neighbourhood for longer time periods through allowing accessory suites in low density areas. So we sincerely hope city can support our application.

Applicant Outreach Summary

2024 January 29



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 8304 46 Ave NW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, "Community Outreach Assessment" were completed. The project's impact score is "1A". So we are implementing a direct approach to reach to community association, local residents within a 100 meters radius and also Ward Councilor Office.

On July 28th, 2023, post cards were deliver to residents within a 100 meters radius. During the process, we did door knocking and spoke with residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

Community association and councilor's office are also contacted for comments. No response has been received yet.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

According to R-CG bylaw, the side setback is increased to 3 meters on the side neighbouring another residential dwelling. Also even though, the maximum height is 1 meter higher, R-CG bylaw require lower height at perimeter.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with local residents, Councillor office and community association. And better explain to local residents about proposed developments and restrictions under R-CG.

calgary.ca/planningoutreach

Community Association Response

2023 September 05

Dear Shallu Sharma,

I hope you are doing well. I am grateful for your patience during my recent absence, which regrettably delayed the submission of the Bowness Community Association Planning and Development Committee's comments regarding the Land Use Amendment application. I was away for a few weeks and, as a result, could not promptly submit the committee's feedback in time.

Upon my return, I have had the opportunity to review the application, and I would like to provide some initial comments for your consideration:

1. The committee does not support R-CG spot zoning in this context.
2. It has come to our attention that the main floor is raised by half a level, which results in the building having a heightened scale compared to the surrounding area. Therefore, it is crucial to evaluate the impact of this elevation on the adjacent neighbours.
3. To provide a more comprehensive assessment, the committee requests access to detailed site plans before further commenting on the application.

I appreciate your understanding and patience and look forward to your response and the opportunity to collaborate further on this application.

Sincerely,

Idalia Galindo

Planning & Admin Assistant

Bowness Community Association

www.mybowness.com

(403) 288 - 8300

email: igalindo@mybowness.com



Land Use Amendment in Glenbrook (Ward 6) at 3916 – 30 Avenue SW, LOC2023-0351

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.06 hectares \pm (0.14 acres \pm) located at 3916 – 30 Avenue SW (Plan 1365AH, Block 31, Lots 51 and 52) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the existing district (e.g. single detached, semi-detached, duplex dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Westbrook Communities Local Area Plan* (LAP).
- What does this mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-CG District would support more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- A development permit application for a rowhouse and a detached garage has been submitted.
- There is no previous Council direction related to this proposal.

DISCUSSION

This application, in the southwest community of Glenbrook was submitted by SLVGD Architecture on behalf of the landowners, Jeremy Paylor and Kuljit Punia, on 2023 November 10. The applicant has indicated the intent to build a four-unit rowhouse as noted in the Applicant Submission (Attachment 2). A development permit (DP2024-00651) for a rowhouse building with a detached garage was subsequently submitted on 2024 January 29 and is under review.

The subject site of approximately 0.06 hectares (0.14 acres) is located at northeast corner of 39 Street SW and 30 Avenue SW. Currently a single detached dwelling exists on the site, with a rear detached garage accessed by the lane. To the immediate east of the subject site is a recently developed rowhouse building. The immediate surrounding area of the subject site is predominantly single detached dwellings.

A detailed planning evaluation of the application, including location maps and site context is provided in the Background and Planning Evaluation (Attachment 1).

Land Use Amendment in Glenbrook (Ward 6) at 3916 - 30 Avenue SW, LOC2023-0351

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant had distributed information mailing cards to residents in the immediate vicinity of the subject site and reached out by email to the Glenbrook Community Association (CA) and the Ward Councillor's Office. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

No public comments were received at the time of writing this report.

The Glenbrook CA responded with comments (Attachment 4) that focus on development permit concerns regarding how intensity is accommodated on the site, impacts on parking and the capacity of existing infrastructure and services in the community.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The R-CG District is intended to be compatible with other low density residential districts and accommodates a variety of grade-oriented housing forms. The site and building design and related parking, servicing, and landscaping considerations will be reviewed at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

This land use amendment would enable a variety of housing types to better accommodate the needs of different age groups, lifestyles, and demographics that may contribute towards a more inclusive community.

Environmental

This application does not include actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0214
Page 3 of 3**

Land Use Amendment in Glenbrook (Ward 6) at 3916 - 30 Avenue SW, LOC2023-0351

Economic

The proposed land use amendment would allow for a more efficient use of land, existing infrastructure and local services.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

- 1. Background and Planning Evaluation
- 2. Applicant Submission
- 3. Applicant Outreach Summary
- 4. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the southwest community of Glenbrook, at the northeast corner of 39 Street SW and 30 Avenue SW. The site is approximately 0.06 hectares (0.14 acres) in size and is approximately 37 metres deep and 15 metres wide. It is currently developed with a single detached dwelling and a detached garage with vehicular access from the rear lane.

The site is surrounded by the Residential – Contextual One / Two Dwelling (R-C2) District, comprising predominantly of older single detached dwellings. There are several sites designated Residential – Grade-Oriented Infill (R-CG) District in the community, including the corner parcel directly to the east.

The subject site is about 400 metres (a seven-minute walk) from the neighbourhood commercial centre of Glendale Shopping Centre. The Holy Name School, the Killarney School and the A.E. Cross School are all within 600 metres (a 10-minute walk) away from the subject site. The Glenbrook Community Centre and the Killarney-Glengarry Community Centre are respectively 900 to 1200 metres (a 15 to 20-minute walk) away from the subject site.

Community Peak Population Table

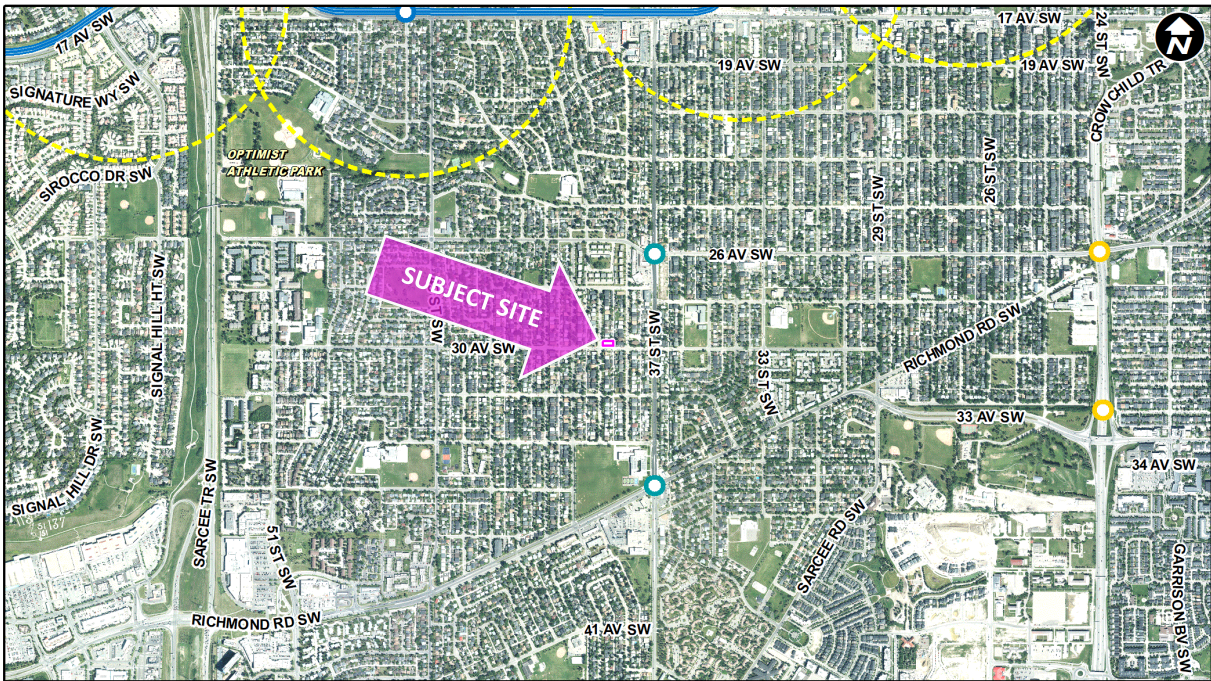
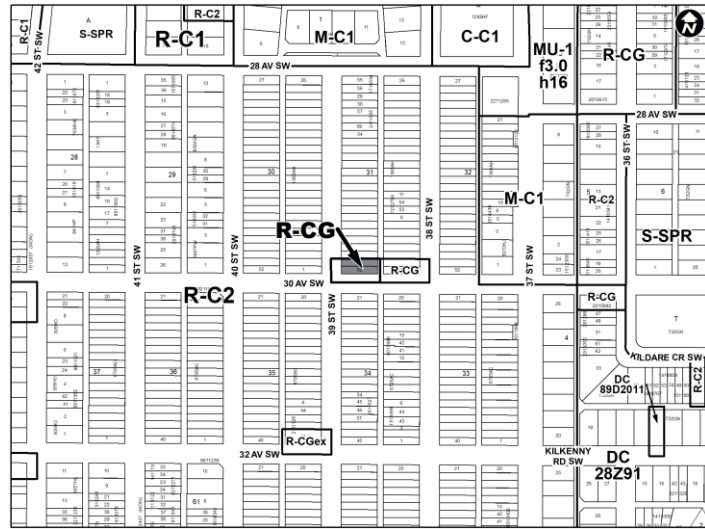
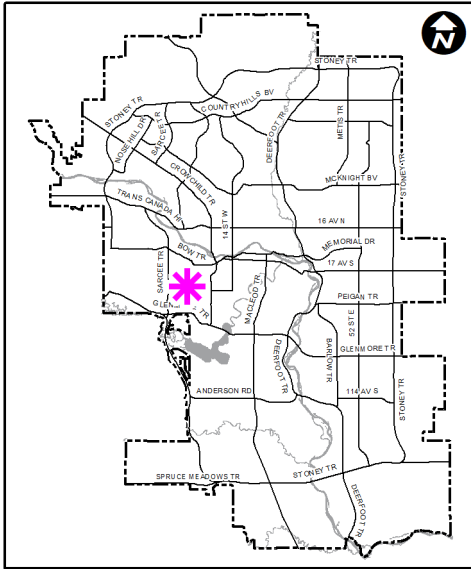
As identified below, the community of Glenbrook reached its peak population in 1982.

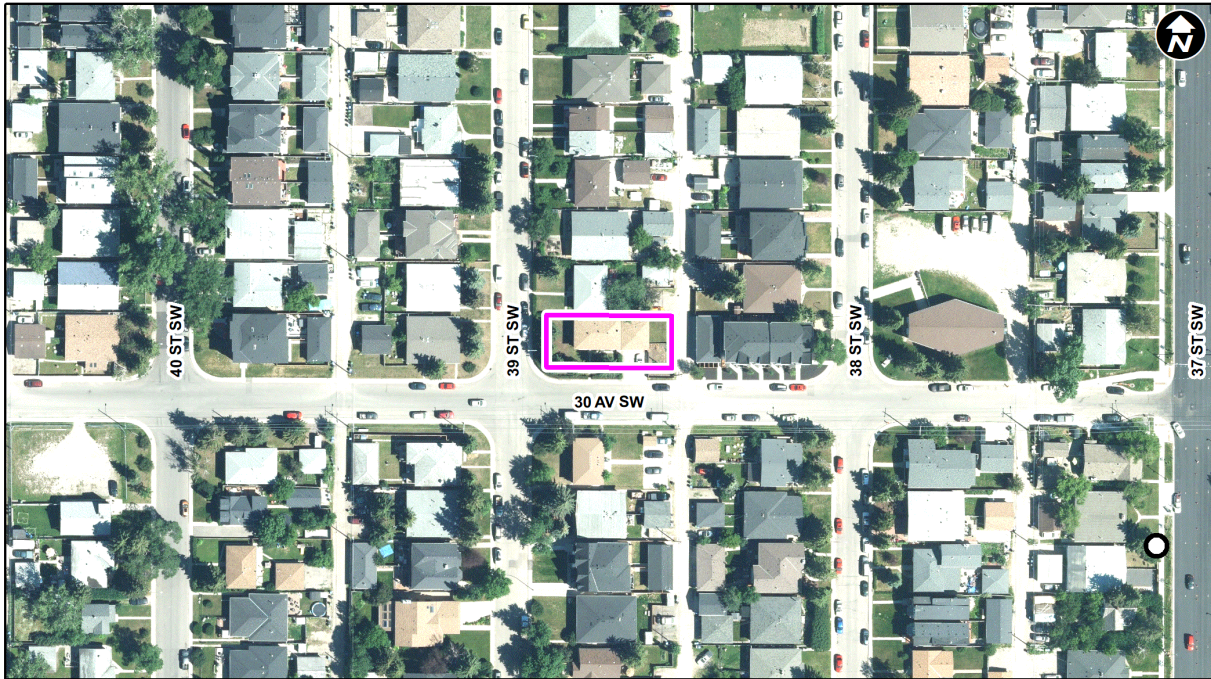
Glenbrook	
Peak Population Year	1982
Peak Population	7,674
2019 Current Population	7,442
Difference in Population (Number)	-232
Difference in Population (Percent)	-3.02%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Glenbrook Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C2 District is primarily for single detached, semi-detached, duplex dwellings and secondary suites. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

The proposed R-CG District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, townhouses and rowhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow up to four dwelling units.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the future redevelopment of the site including appropriate uses, building height and massing, landscaping and parking.

Given the specific context of this corner site, additional items that will be considered through the development permit process include, but are not limited to:

- providing an engaging built interface along both 30 Avenue SW and 39 Street SW; and

- mitigating shadowing, overlooking and privacy concerns with neighbouring sites.

Transportation

The subject site is well served by transit with stops for Route 9 (Dalhousie Station/Chinook Station) within 200 metres (a three-minute walk) on 37 Street SW and Route 93 (Coach Hill/Westbrook Station) within 700 metres (a 12-minute walk) on 45 Street SW.

Pedestrian access to the site is available via existing sidewalks on 39 Street SW and 30 Avenue SW. There is unrestricted street parking available on both 39 Street SW (a Residential Street) and 30 Avenue SW (a Collector Road).

Environmental Site Considerations

At this time, there are no known outstanding environmental concerns associated with the site and/or proposal.

Utilities and Servicing

Public water, sanitary and storm utilities exist adjacent to the site. Servicing requirements will be determined at the time of development.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential - Established area as identified on Map 1: Urban Structure of the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of established communities to make more efficient use of existing infrastructure, public amenities, and transit, as well as delivering small and incremental benefits to climate resilience. The proposed land use amendment is in alignment with the vision and direction of the MDP.

Calgary Climate Strategy (2022)

This application does not include specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development on the site with the applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Westbrook Communities Local Area Plan (Statutory – 2023)

The [Westbrook Communities Local Area Plan](#) (LAP) identifies the subject site as being part of the Neighbourhood Local category (Map 3: Urban Form) with a Limited building scale modifier (Map 4: Building Scale), which allows for up to three storeys. The LAP speaks to primarily

residential uses in the area and encourages a range of housing types. The Limited building scale policies support building forms that contain three or more residential units on corner sites with rear lanes, in areas well served by neighbourhood amenities and services. The proposed land use amendment is in alignment with applicable policy of the LAP.

Applicant Submission



City of Calgary
Planning & Development
P.O. Box 2100, Stn. M, # 8108
Calgary, AB, Canada T2P 2M5
To Whom It May Concern



RE: Land Use Redesignation | Applicant's Submission,

We are applying to the City of Calgary for a land-use change from R-C2 to R-CG at 3916 30 Avenue SW. The intent of this application is to make allowable the construction of four (4) Rowhouse units on this corner parcel. All vehicular access will be limited to the lane for any future development. At this time no formal design has been developed and our application is for the change in land use only.

The R-CG typology is listed a Grade-Oriented Infill development which supports Rowhouse building as a permitted use provided any proposed development conforms to section 347.3 or the Calgary Land Use Bylaw 1P2007.

We feel this site is suited for this type of development for the following reasons:

This Inner-City location has many benefits of increased density:

- Supports the use of existing City infrastructure.
- Proximity to the downtown core
- Proximity to Glamorgan Shopping Centre (3 blocks away).
- Proximity to the 37 Street Max Teal bus route (3 block walking distance)
- Proximity to Holy Name Elementary and A.E. Cross Junior High Schools (3 blocks away)
- 3916 30 Avenue is a Corner Lot at the Southwest Corner of the Block. The neighbour to the East is a similar 4-unit rowhouse.
- Ease of access to busy traffic corridors 37th ST. and Richmond Rd.

Similar R-CG land uses currently exist within the Community of Glenbrook; most commonly these sites are located on corner lots.

Single lot examples of this Land Use can be found beside this lot at 3912 30 Ave SW and 3711 30 Ave SW.

We are reaching out to adjacent neighbours and the Community Association to solicit comments and suggestions from residents for this change to the land use and for any subsequent site development. If you have any concerns, feel free to contact me directly.

To Align with the City of Calgary's Climate Resilience Strategy, the applicant commits to applying sustainable building strategies in any future development, should the Land Use Application be approved. As a LEED® Accredited Professional I commit to meet and exceed all energy requirement in section 9.36 of the Alberta Building Code and encourage my clients to reduce the carbon footprint of any potential

development. Typically, we seek to reduce energy consumption by way of enhanced building envelope design, Building Massing and orientation and through the re-use of existing City infrastructure.

Thank you,



Jeffrey Riedl

Architect, AAA, BFA, M.Arch. LEED® AP
SLVGD Architecture Inc.
201, 6323 Bowness Rd. NW
Calgary, AB T2N 3P5
p: 587.351.1950
e: info@slvgdarchitecture.com

Applicant Outreach Summary



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.



Project name: 3916 30th Ave SW.

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

We have sent emails to the Ward 6 councilor and the Glenbrook Community Association.
Information mailers were recently distributed on Dec. 20,2023 to neighboring properties mailboxes. A copy is included.

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with.
(Please do not include individual names)

Glenbrook Community Association
Ward 6 Councilor

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

As of January 22, 2024 we received one comment on January 19th from Meg Hiles via email [REDACTED] following the distribution of the hand out mailers:

Hello,

I received your info page in the mail as I am near to this proposed development. Parking is already terrible in our area, and so I would not be supportive of this build. Households in our area usually have multiple vehicles, and it sounds like this could add many more vehicles to the vicinity between multiple vehicles and secondary suites. There is already another 4 row home close to this location on 30th ave and it seems like they don't have anywhere to park as it is.

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

The input received from Meg Hiles is regarding parking requirements which is a Development Permit issue. Any Development Permit submitted will meet the parking requirement of the Land Use Bylaw. As this is a Land Use Change Application, no change has been made in response to the input received.

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

The Final outcome has not been decided as this is a land use application only.

calgary.ca/planningoutreach



Proposed Land Use Change

Hello neighbour!

We are proposing a land use change at:
3916 30 AVENUE SW | FROM R-C2 to R-CG

The proposed change would transition these lands from the existing Residential-Contextual One/Two Dwelling (R-C2) District to Residential - Grade-Oriented Infill (R-CG) District.

The proposed development vision includes one buildings, containing four rowhomes with private backyards, each with a secondary basement suite with private amenity spaces, and four private parking stalls in a garage structure accessed via the rear lane. The total would be four rowhomes, four secondary suites and four enclosed parking stalls.

This proposed land use change will provide grade-oriented townhouse developments that compliment the surrounding density and built forms.

If you have any questions, comments, or concerns, get in touch:
Email info@slvgdarchitecture.com or call 587-351-1950.

Community Association Response



GLENBROOK COMMUNITY ASSOCIATION

**3524 – 45 Street S.W.
Calgary, Alberta
T3E 3V2
Phone: (403) 249-6664
Glenbrook.community@shaw.ca**



Glenbrook Community Association Feedback Form

File Number: LOC2023-0351

Completed by: Murray Ost, President

Date: December 10, 2023

45 Street SW in Glenbrook Community has been identified as a Neighbourhood Connector area under the Westbrook Communities Local Area Plan and is planned to have higher vehicle and pedestrian volumes. To accommodate the planned increase in density and vehicle and pedestrian traffic, the sidewalks need to be upgraded. Current sidewalk widths are 1.2 meters and need to be increased to a minimum 1.5 meters or preferred 2.0 meters to accommodate safe pedestrian and transit traffic. Any proposed development will have a major impact on the current urban canopy along 45th Street. All efforts to preserve the current urban canopy must be considered. The Glenbrook Community Association also has concerns about the current infrastructure ability to handle the increased demands on utilities and transportation demands. 45 Street was originally built to accommodate 1960 era single family homes, will the water, sewer, electrical, roads and sidewalks be able to handle the increasing demands or are we looking at future major upgrades?

**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2240 – 26 Street SW,
 LOC2022-0061**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.04 hectares + (0.11 acres +) located at 2240 – 26 Street SW (Plan 5561O, Block 20, Lots 21 and 22) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the existing district (e.g. single detached, semi-detached, duplex dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Westbrook Communities Local Area Plan* (LAP).
- What does it mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does it matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This land use amendment application in the southwest community of Killarney/Glengarry was submitted on behalf of the landowner Alexis Vukaj on 2022 April 8. The applicant representing the landowner has changed during review and the current applicant is New Century Design. No development permit has been submitted at this time; however, as noted in the Applicant Submission (Attachment 2), their intent is to apply for a development permit to accommodate a three-unit rowhouse with secondary suites.

The 0.04 hectare (0.11 acre) corner site is located on 26 Street SW and 23 Avenue SW. The site is located two blocks north of 26 Avenue SW, an east-west collector through the community, and three blocks south of 17 Avenue SW, which is identified as a Neighbourhood Main Street in the MDP. The subject site is also located one block south of a neighbourhood park space that includes a playground and an off-leash dog park.

The existing built form on the site consists of a single-detached house and a detached garage with access from 23 Avenue SW. There is an existing rear lane adjacent to the parcel. The existing land use of the surrounding block is currently designated Residential – Contextual One / Two Dwelling (R-C2) District.

**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2240 – 26 Street SW,
LOC2022-0061**

Map 3: Urban Form of the LAP identifies the subject site within a 'Neighbourhood Connector' area. Development in Neighbourhood Connector areas should encourage a broad range of housing types and support a higher frequency of units and entrances facing the street.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed policy amendment and land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant delivered postcards to residents within an 80-metre radius of the subject site, approximately 75 units. The applicant also reached out to the Killarney/Glengarry Community Association and Ward Councillor's Office for comment. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received two letters of opposition from the public which included the following areas of concern:

- opposition to secondary suites;
- parking and traffic congestion; and
- negative impact on property values.

Administration received one letter of support from the public. The letter identified that the proposed land use change would foster a more walkable, financially stable, and equitable neighborhood.

No comments from the Killarney/Glengarry Community Association were received. Administration contacted the Community Association to follow up and no response was received.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The building and site design, number of units, parking, pedestrian access to the buildings, amenity spaces and landscaping will be reviewed and determined at the development permit stage.

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0207
Page 3 of 3**

**Land Use Amendment in Killarney/Glengarry (Ward 8) at 2240 – 26 Street SW,
LOC2022-0061**

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission’s recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed application would allow for a wider range of housing types than the existing land use district and may better accommodate the housing needs of different age groups, lifestyles and demographics.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The proposed application would provide more compact housing in the community and would allow for a more efficient use of land, existing infrastructure and services.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site, in the southwest community of Killarney/Glengarry, is located on the corner of 26 Street SW and 23 Avenue SW. The site is approximately 0.04 hectares (0.11 acres) in size and is approximately 38 metres deep by 13 metres wide. It is currently developed with a single detached dwelling with a detached garage accessed from 23 Avenue SW.

Surrounding development is predominantly single detached dwellings and semi-detached dwellings. Within two blocks of the subject site are multiple properties located on corner lots that are designated Residential Grade-Oriented Infill (R-CG) District.

A neighbourhood park is approximately 160 metres (a three-minute walk) to the north of the site, including a playground and an off-leash dog park. The subject site is approximately 480 metres (an eight-minute walk) south of a variety of commercial services located along 17 Avenue SW (identified as a Neighbourhood Main Street in the *Municipal Development Plan* (MDP)).

Community Peak Population Table

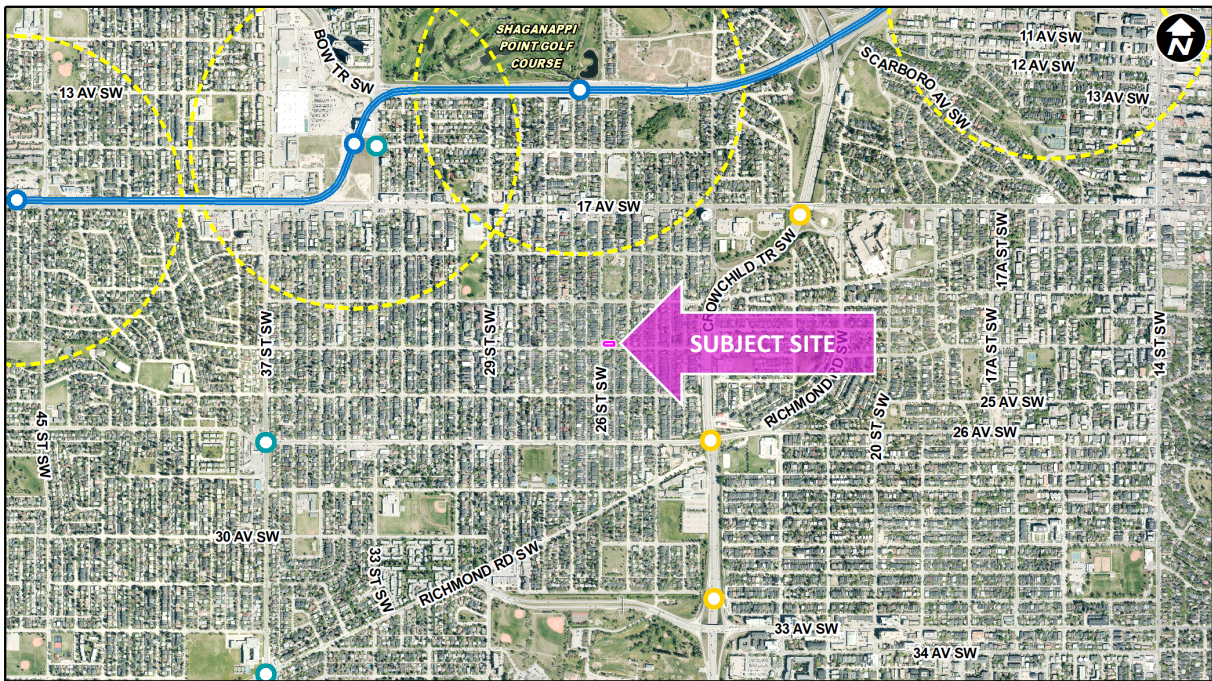
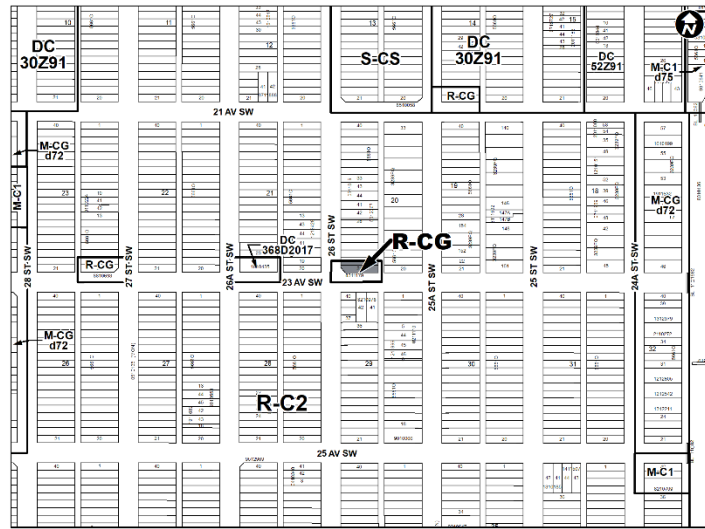
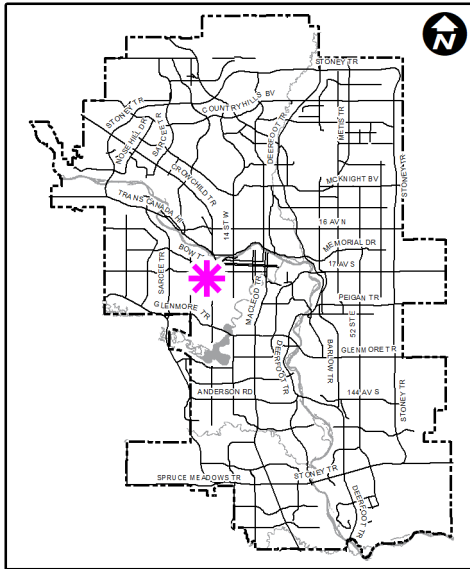
As identified below, the community of Killarney/Glengarry reached its peak population in 2019.

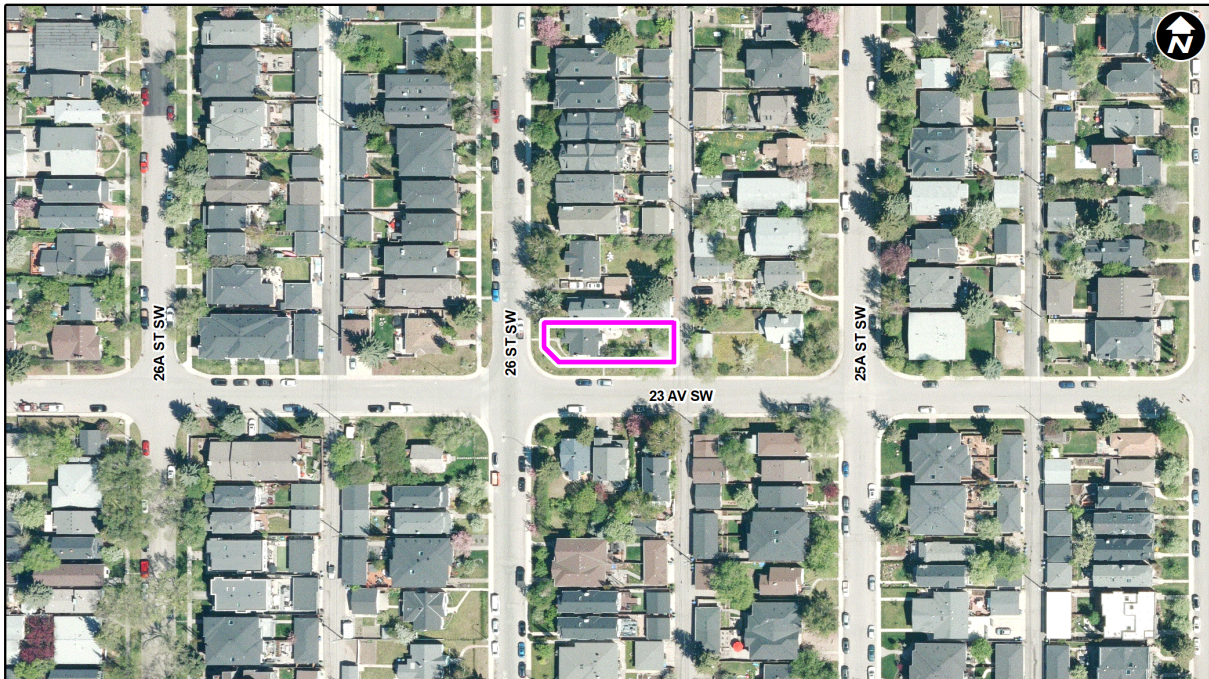
Killarney/Glengarry	
Peak Population Year	2019
Peak Population	7,685
2019 Current Population	7,685
Difference in Population (Number)	± 0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Killarney/Glengarry Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing Residential – Contextual One / Two Dwelling (R-C2) District is primarily for single detached, semi-detached, duplex dwellings and secondary suites. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

The proposed Residential – Grade-Oriented Infill (R-CG) District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, rowhouses and townhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site area, this would allow for up to three dwelling units.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District, and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the future redevelopment of the site including appropriate uses, building height and massing, landscaping and parking. Given the specific context of this site, additional items that will be considered through the development permit process include, but are not limited to:

- providing an engaging interface along 26 Street SW and 23 Avenue SW; and
- ensuring appropriate provision and design of a range of mobility options including vehicle parking, bicycle parking and mobility storage lockers.

Transportation

The subject site is well-served by transit. Transit stops are located along 26 Avenue SW, with westbound Route 6 located approximately 500 metres (an eight-minute walk) and eastbound Route 6 located approximately 400 metres (a seven-minute walk) away. The site is also within 700 metres (a twelve-minute walk) of the northbound transit Routes 20 and 66 along Crowchild Trail SW.

The site has access to the Always Available for All Ages & Abilities (5A) Network with an on-street bikeway located on 26 Avenue SW, approximately 350 metres (a six-minute walk) to the south.

Pedestrian access to the site is available via the existing sidewalk on 26 Street SW and 23 Avenue SW. Direct vehicular access to the subject parcel shall be via the rear lane parallel to 26 Street SW. Unrestricted street parking is available along 26 Street SW and 23 Avenue SW.

Environmental Site Considerations

There are no known environmental concerns with the proposed land use amendment application at this time.

Utilities and Servicing

Water and sanitary servicing is available to service the subject site. A storm main extension may be required (at the expense of the developer) and will be further reviewed with the Development Permit application.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential – Inner City area as identified on Map 1: Urban Structure of the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to make more efficient use of existing infrastructure, public amenities and transit and delivers small and incremental benefits to climate resilience. The proposed land use amendment is in alignment with the applicable policies of the MDP.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Westbrook Communities Local Area Plan (Statutory – 2023)

The [Westbrook Communities Local Area Plan](#) (LAP) identifies the subject site within the Neighbourhood Connector Category (Map 3: Urban Form) with a Limited building scale modifier (Map 4: Building Scale), which allows for up to three storeys. Neighbourhood Connector areas encourage a broad range of housing types along higher activity residential streets, such as 26 Street SW. The proposed land use amendment is in alignment with the applicable policies of the LAP.

Applicant Submission

January 4, 2024



New Century Design Inc.
11 - 1922 9 Ave SE
Calgary Ab T2G 0V2
403.244.9744
info@newcenturydesign.ca

Planning, Development & Assessment
The City of Calgary
800 Macleod Trail S.E.

January 4, 2024

**Re: Planning Justification for Land-Use Amendment from R-C2 to R-CG
2240 26 Street SW**

New Century Design is assuming the role of applicant for the redesignation of 2240 26 St SW in the community of Killarney/Glengarry to facilitate the development of a 3-unit row house with secondary suites. The proposed land-use amendment would transition the subject site from the existing R-C2 (Residential - Contextual One/Two Dwelling) District to R-CG (Residential - Grade-Oriented Infill) District.

SITE CONTEXT

This corner parcel currently hosts a single family house constructed in 1948, with a detached single-car garage that is accessed off 23 Ave SW. The lot is relatively flat without a major grade change, and has a few landscaping elements including some city-owned shrubs and one city-owned tree. It is bordered on the rear east perimeter by a paved laneway.

The surrounding context is mostly R-C2, with many multi-family pockets within 500m. There are multiple large and small R-CG districts in the area, with the nearest being just one block south on 26 St SW. There is also a 4-unit row house in a DC district one block west on 23 Ave SW.

The nearest bus stop is only 365m away. Additionally, the MAX Yellow route can be used at a stop 450m away, and the Blue Line can be used via the Shaganappi Point C-Train Station that's only 920m away. This lot has direct access to the commercial area of 17 Ave SW allowing future residents to the stores and offices they need for easy and healthy day-to-day living. It has a walk score of 74 (very walkable) and a bike score of 85 (very bikeable).

This lot falls one block south of the Killarney Off Leash Dog Park. It is 450m away from the Killarney Aquatic & Recreation Centre and playground. The Killarney Glengarry Community Association is 410m away, and has green space, a playground, sports and activity space, and an event hall. Children of the area have many schooling options with multiple grade schools being within 1km. Alexander Ferguson School, for example, is only a 9 minute walk.



LOCAL AREA POLICY

The Killarney/Glengarry community is included in the Westbrook Communities Local Area Plan (WCLAP). Within this plan, this address is marked as Neighbourhood Connector with a limited scale modifier. According to the WCLAP, land-use in this area should support a higher frequency of units and be primarily for residential use. This proposal will allow up to 3 units with street-facing doors, along with permitted secondary suites.

This proposed land-use amendment is also supportive of the Calgary MDP and Growth Plan, which look for growth in developed communities. Specifically it looks for development that is compatible with the surrounding area, and for densification in transition zones or areas designated for higher density. R-CG districts are a great solution for moderate densification, as they remain low-density while increasing potential unit count, and are designed specifically to fit in with other low-density districts.

CONCLUSION

The proposed land-use amendment is in line with the Calgary MDP and Growth Plan, as well as the WCLAP. It will facilitate the development of a row house that will mildly increase density in an established neighbourhood while adding to the longevity and character of that community. Additionally, it will encourage use of transit, access to existing infrastructure, and patronage of the plethora of nearby businesses and storefronts.

For the reasons outlined above, we believe the subject property at 2240 26 St SW, is an ideal location for row housing and we hope the city will be supportive of this application.

Regards,

Vaughn Makey, AT
New Century Design Inc.

Applicant Outreach Summary

January 23, 2024



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 2240 26 St SW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Sent a letter to the local community association on December 22, 2023

Sent a follow-up email to the community association on January 4, 2024

Had a virtual meeting with the community association planning committee on January 23, 2024

Sent a letter to Councillor Walcott's office on December 22, 2023

Delivered postcards on January 5, 2024, to the nearest neighbours (approximately 75 mailboxes)

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

City of Calgary file manager
Killarney/Glengarry Community Association
Direct neighbours of the project location
Ward 8 Councillor Walcott



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

During the meeting with the community association they raised no concerns.

We received 2 messages from nearby residents. Both were only concerned with parking.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

At this point, we have not received any input that has caused a change in our application.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Each person that reached out received a tailored response to their inquiry.

calgary.ca/planningoutreach

**Policy and Land Use Amendment in Ogden (Ward 9) at 7425 – 20 Street SE,
 LOC2023-0305**

RECOMMENDATIONS:

That Calgary Planning Commission recommend that Council:

1. Give three readings to the proposed bylaw for the amendments to the Millican-Ogden Area Redevelopment Plan (Attachment 2); and
2. Give three readings to the proposed bylaw for the redesignation of 0.06 hectares \pm (0.14 acres \pm) located at 7425 – 20 Street SE (Plan 955AV, Block 8, Lots 12 and 13) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the district (e.g. single detached, semi-detached, duplex dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP).
- What does this mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- An amendment to the *Millican-Ogden Area Redevelopment Plan* (ARP) is required to accommodate the proposed land use.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This policy amendment and land use amendment was submitted on 2023 October 11 by New Century Design on behalf of the landowner, Jieun Ahn and Sunkyung Na. No development permit has been submitted at this time; however, as noted in the Applicant Submission (Attachment 3), their intent is to apply for a development permit for a four-unit courtyard-oriented development with secondary suites in the future.

The 0.06 hectare \pm (0.14 acre \pm) parcel is located in the southeast community of Ogden, is a mid-block parcel fronting 20 Street SE. The site is currently developed with a single-detached dwelling. Vehicular access is provided from the rear lane as well as from the shared driveway from 20 Street SE. The site is well served by public transit, and is close to several bus stops, local parks, schools and a community market.

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0163
Page 2 of 3**

**Policy and Land Use Amendment in Ogden (Ward 9) at 7425 – 20 Street SE,
LOC2023-0305**

To accommodate the proposed R-CG District, a map and a text amendment to the ARP is required to change the land use policy and density allowed through the R-CG District for the subject site (Attachment 2).

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant reached out to Millican-Ogden Community Association (MOCA), MOCA board members, MOCA Civic Affairs Committee, the Ward Councillor's Office and delivered postcards to approximately 80 homes within the vicinity of the site. The Applicant Outreach Summary can be found in Attachment 4.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received two letters of opposition from the public. The letters of opposition included the following areas of concern:

- inconvenience to adjacent residents due to the removal of the shared driveway; and
- inadequate space for parking vehicles for future residents will exacerbate the parking situation.

No comments from the MOCA were received. Administration contacted the Community Association to follow up and no response was received.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The building and site design, number of units and on-site parking will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

**Policy and Land Use Amendment in Ogden (Ward 9) at 7425 – 20 Street SE,
LOC2023-0305**

IMPLICATIONS

Social

The proposed R-CG District would allow for a wider range of housing types than the existing R-C2 District, and the proposed land use change may better accommodate the housing needs of different age groups, lifestyles, and demographics.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The ability to moderately increase density in this location would make for more efficient use of existing infrastructure and services.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Amendments to the Millican-Ogden Area Redevelopment Plan
3. Applicant Submission
4. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site, located in the southeast community of Ogden, is a mid-block parcel fronting 20 Street SE. The area of the site is approximately 0.06 hectares (0.14 acres) and is approximately 15 metres wide by 37 metres deep. The existing development on the site is a single detached dwelling with rear lane access.

Surrounding development is characterized primarily by single detached and semi-detached dwellings designated as Residential – Contextual One / Two Dwelling (R-C2) District.

The Almadina Language Charter Academy (Early Childhood Services to grade nine) and the Ogden off Leash Dog Park are within 150 metres (a two-minute walk) of the site. Millican-Ogden Community Association, Jack Setters Arena, Lynwood Park, St. Bernadette School (kindergarten to grade six) and George Moss Park are all within 900 metres (a ten-minute walk) of the site. The site is also 350 metres (a five-minute walk) east of a variety of commercial services located along 18 Street SE and 76 Avenue SE.

Community Peak Population Table

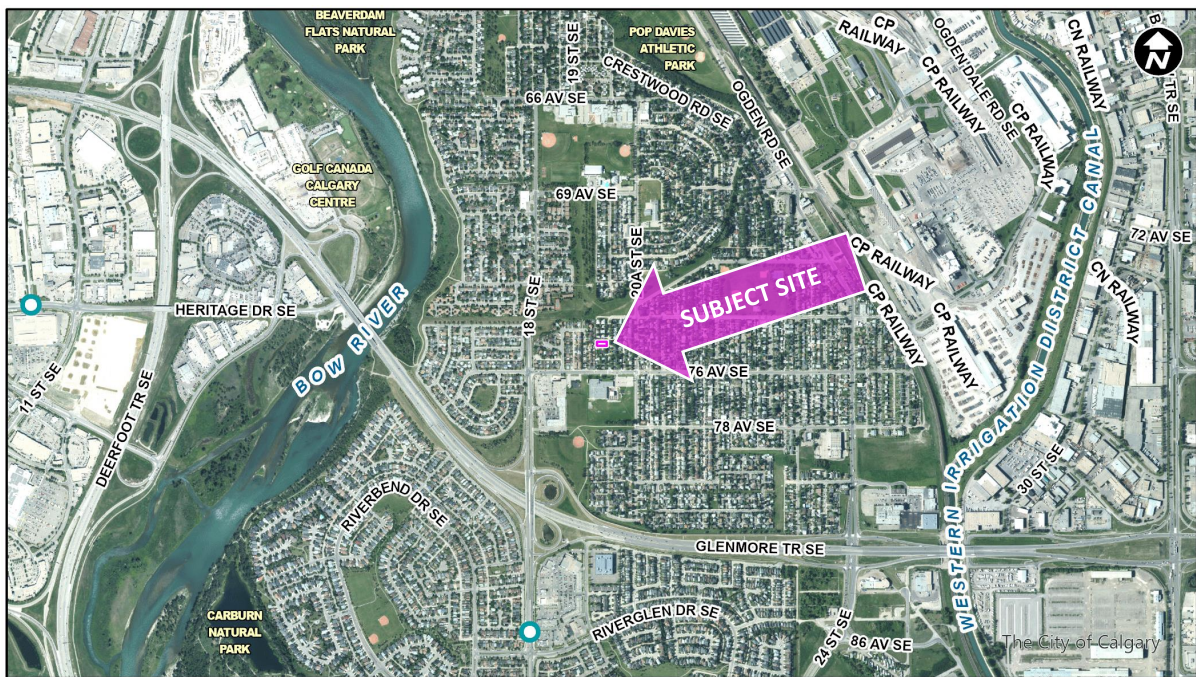
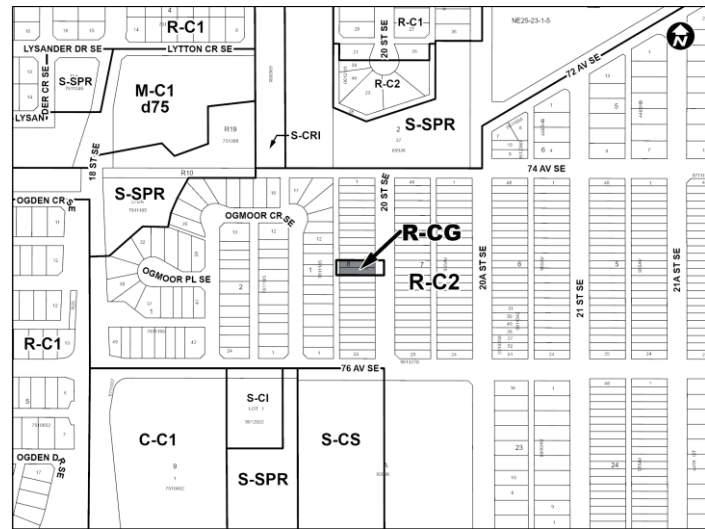
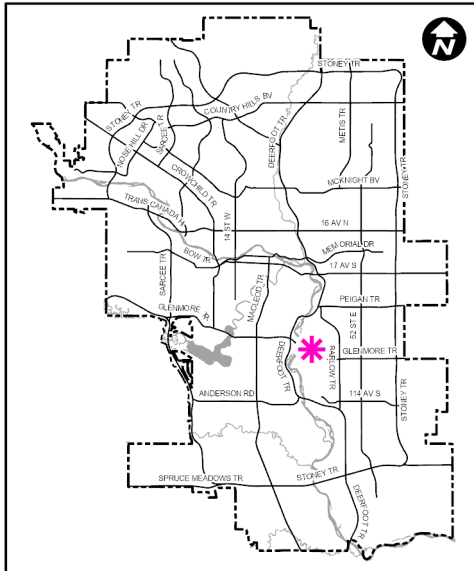
As identified below, the community of Ogden reached its peak population in 1982.

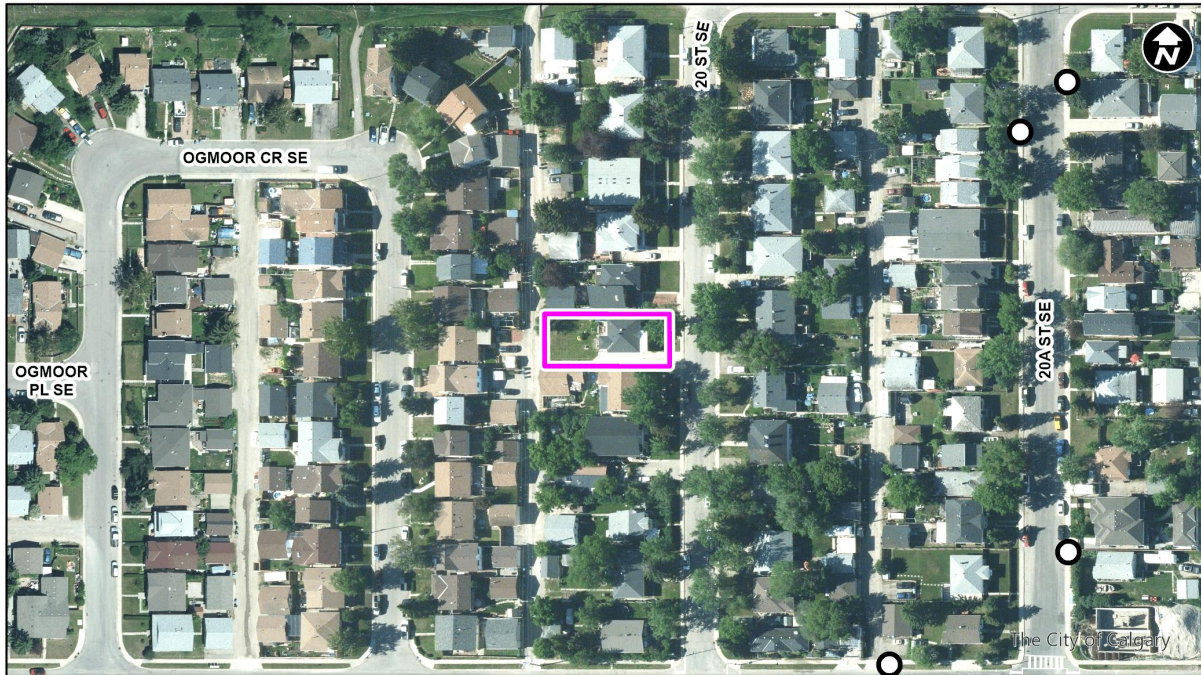
Ogden	
Peak Population Year	1982
Peak Population	11,548
2019 Current Population	8,576
Difference in Population (Number)	-2,972
Difference in Population (Percent)	-25.74%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Ogden Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C2 District is primarily for single detached, semi-detached, duplex dwellings and secondary suites. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

The proposed Residential – Grade-Oriented Infill (R-CG) District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, rowhouses and townhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow for up to four dwelling units.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District, and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the future redevelopment of the site including appropriate uses, building height and massing, landscaping and parking. Given the specific context of this mid-block site, additional items that will be considered through the development permit process include, but are not limited to:

- mitigating shadowing, overlooking and privacy concerns with the neighbouring parcel;
- ensuring appropriate built form and height with the surrounding context;
- providing an engaging built interface along 20 Street SE; and
- ensuring appropriate provision and design of a range of mobility options including vehicle parking, bicycle parking and mobility storage lockers.

Transportation

The subject parcel is located midblock on 20 Street SE, which is classified as a Residential Street. Vehicle access to and from the site will be via the existing rear laneway, typically accessed from 76 Avenue SE. Pedestrian access will be from the existing sidewalk on 20 Street SE.

On-street parking adjacent to the parcel is presently unrestricted and is not located within an existing Residential Parking Permit (RPP) Zone.

The subject site is well-served by Calgary Transit. A bus stop for Route 24 (Ogden) is located 325 metres (a seven-minute walk), and bus stops serving Route 36 (Riverbend), Route 41 (Lynnwood), and Route 43 (McKnight / Chinook) are located 150 metres (a two-minute walk) from the subject site.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Public water and sanitary utilities exist adjacent to the site. A public storm sewer main extension may be required at the time of development. Servicing requirements will be further determined at the time of development.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed policy and land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential – Established area as identified on Map 1: Urban Structure of the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to make more efficient use of existing infrastructure, public amenities and transit and delivers small and incremental benefits to climate resilience. Such development is intended to occur in a form and nature that respects the scale and character of the neighbourhood context. The proposed policy and land use amendment is in alignment with the applicable policies of the MDP.

Calgary Climate Strategy (2022)

The application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Millican-Ogden Area Redevelopment Plan (Statutory – 1999)

The subject site is currently identified as 'Low Density Conservation' in the [Millican-Ogden Area Redevelopment Plan](#) (ARP) which is compatible with the existing R-C2 District. An amendment to Map 5 (Proposed Land Use Policies) is required to support the proposed R-CG District, recognizing a change in the applicable land use policy for the subject site from 'Low Density Conservation' to 'Low or Medium Density Multi-Dwelling Residential'. Furthermore, a text amendment to recognize the density allotted through the R-CG District for this specific site is also required.

Proposed Amendments to the Millican-Ogden Area Redevelopment Plan

1. The Millican-Ogden Area Redevelopment Plan attached to and forming part of Bylaw 8P99, as amended, is hereby further amended as follows:
 - a. Amend Map 5 entitled 'Proposed Land Use Policies' by changing 0.06 hectares \pm (0.14 acres \pm) located at 7425 – 20 Street SE (Plan 955AV, Block 8, Lots 12 and 13) from 'Low Density Conservation' to 'Low or Medium Density Multi-Dwelling Residential' as generally illustrated in the sketch below:



- b. In Section 3.4.3 Residential Land Use, subsection 3.4.3.3 Policies, Policy 2, delete the last sentence and replace with the following:

“The sites at 7425 – 20 Street SE, 2403 Crestwood Road SE and 1928 – 62 Avenue SE should have a maximum density of 75 units per hectare.”

Applicant Submission

2023 October 11



New Century Design Inc.

11 - 1922 9 Ave SE

Calgary Ab T2G 0V2

403.244.9744

info@newcenturydesign.ca

Planning, Development & Assessment
The City of Calgary
800 Macleod Trail S.E.

September 29, 2023

**Re: Planning Justification for Land-Use Amendment from R-C2 to R-CG
7425 20 St SE | Plan 955AV Block 8 Lots 12 & 13**

New Century Design is making an application on behalf of Jieun Ahn and Sunkyung Na for the redesignation of 7425 20 St SE in the community of Ogden to facilitate the development of a 4-unit courtyard oriented development with secondary suites. The proposed land-use amendment would transition the subject site from the existing R-C2 (Residential - Contextual One/Two Dwelling) District to R-CG (Residential - Grade-Oriented Infill) District.

SITE CONTEXT

Currently on this 36.54x15.25m mid-block lot there is a single family home built in 1953. There is a shared concrete driveway with the neighbour to the south, accessed from 20 St SE. The parcel has lane access on the west perimeter. This lot is relatively flat with few landscaping elements, and includes one city tree in the front.

The residential zoning near this lot is mostly, though not exclusively, R-C2. You will also see a large section of M-C1 just to the northwest. Though there is very little R-CG and similar zoning currently, we anticipate much more in the near future, given the Greenline LRT plans.

Prior to this application, a Pre-Application Assessment was requested of the city and the response can be reviewed with this file: PE2023-01208

SITE SUITABILITY

Row homes bring innovative and accessible housing options to Calgarians and address the need for dwellings befitting the 'Missing Middle' of the city. The subject site is particularly well-suited for this type of land-use redesignation to facilitate the intended row house development for the following reasons:

newcenturydesign.ca | 11 - 1922 9 Ave SE, Calgary, Ab | 403.244.9744



Nearby Public Transit: Residents on this property would be within 112m of a frequent bus stop for routes 36, 41, 43, and 851 located along 76 Ave SE. Route 799 is only 126m away and route 24 can be accessed at only 297m away. Additionally, the planned Ogden Station on the LRT Greenline will be 1km away and will give residents easy access to much of Calgary.

Proximity to Open and/or Green Spaces: The subject lot is surrounded by green spaces on all sides. Notably, to the west a person can have their feet in the Bow River in 675m, less than one block to the north they can enjoy the off-leash dog park, and if they are in the mood to play ball, there are sports fields to both the nearby east and west.

Convenience Factor: This lot has easy access for walkers and bikers to the stores and offices they need for easy and healthy day-to-day living. Most relevant, Glenmore Square is just a 5 minute walk away and hosts a grocery store, pharmacy, bank, medical clinic, salons, shopping, and restaurants.

Drivability Factor: This lot has direct access to Glenmore Trail giving drivers expansive access to the city at large. It can take drivers out of the city to both the east and west, or it take them almost anywhere in the city via it's intersections with Deerfoot Trail, MacLeod Trail, Crowchild Trail, Sarcee Trail and Stoney Trail. By driving, a resident can be at the city centre in less than 20 minutes.

LOCAL AREA POLICY

The Municipal Development Plan (MDP), which support increased density in developed neighbourhoods, states that complete communities should provide a range of housing choices that cover a mix of built forms and ownership tenures. Moderate density increases, such as this, are valuable tools that facilitate growing and changing communities, while maintaining neighbourhood character.

This site falls within the Millican-Ogden Community Revitalization Plan, which includes the Millican-Ogden Area Redevelopment Plan. It is in a low density conservation area, meaning this application will have a concurrent policy amendment application to alter map 5 of the ARP. This ARP has the objective of providing, within the community, a variety of housing types to accommodate differences in age, family size, and income. Missing middle dwellings, such as this one proposed, aid in that objective.

CONCLUSION

The proposed land-use amendment is in line with the Calgary MDP. It will facilitate the development of a courtyard-style built form that will mildly increase density in an established neighbourhood while adding to the longevity and character of that community. And it will

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encourage use of current and future transit, access to existing infrastructure, and patronage of the plethora of nearby businesses and storefronts.

For the reasons outlined above, we believe the subject property, 7425 20 St SE, is an ideal location for an R-CG district and we hope the city will be supportive of this application.

Regards,

Clay Israelson, AT
New Century Design Inc.



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 7425 20 St SE

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Sent letters to the Millican-Ogden Community Association on Sept. 29 before the application date and on Oct. 5 after the application date.
Had one-on-one phone calls with members of the MOCA board on Oct. 3 and Oct 4.
Met virtually with the MOCA Civic Affairs Committee on Nov. 23.
Sent a letter to the Ward Councillor's office on Oct. 5.
Delivered postcards describing the project to approximately 75-80 of the nearest neighbours on Oct. 13.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

City of Calgary file manager
Millican-Ogden Community Association (MOCA)
Direct neighbours of the project location
Ward 9 Councilor Carra

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The CA has not raised any major concerns, and the councillor is neutral but did not have any major concerns.

We received two messages from residents - one inquiry and one in opposition. Their concerns were:

- Design
- Parking
- Building Height
- Lot Coverage
- Shared Driveway

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

At this point there have not been any concerns raised that have caused us to make a change in our current application.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Each individual or group who reached out to us received a tailored response to their questions and concerns.

calgary.ca/planningoutreach

Land Use Amendment in Bowness (Ward 1) at 8148 – 46 Avenue NW, LOC2022-0206

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.06 hectares \pm (0.14 acres \pm) located at 8148 – 46 Avenue NW (Plan 2660AP, Block 8, Lot 24) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for rowhouses and townhouses, in addition to the building types already listed in the existing district (e.g. single detached, semi-detached, duplex dwellings and secondary suites).
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Bowness Area Redevelopment Plan* (ARP).
- What does it mean to Calgarians? The proposed Residential – Grade-Oriented Infill (R-CG) District would allow for greater housing choice within the community and more efficient use of existing infrastructure and nearby amenities.
- Why does it matter? The proposed R-CG District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- A development permit for a four unit rowhouse with secondary suites has been submitted and is under review.
- There is no previous Council direction related to this proposal.

DISCUSSION

This application, in the northwest community of Bowness, was submitted on behalf of the landowner, Mohammed Mutahar, on 2022 November 24. The applicant representing the landowner has changed during review and the current applicant is Horizon Land Surveys.

The approximately 0.06 hectare site is situated at the northeast corner of 46 Avenue NW and 81 Street NW. The site is 490 metres (an eight-minute walk) south of Bowness Park, 460 metres (an eight-minute walk) east of a Calgary Board of Education K-9 school and 315 metres (a five-minute walk) west of Bowness High School.

As indicated in the Applicant Submission (Attachment 2), the proposed land use district enables residential uses and accommodates up to four dwelling units, plus secondary suites. A development permit (DP2022-08060) for a four-unit rowhouse with secondary suites was submitted on 2022 November 24 and is under review.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

Planning and Development Services Report to
Calgary Planning Commission
2024 February 22

ISC: UNRESTRICTED
CPC2024-0185
Page 2 of 3

Land Use Amendment in Bowness (Ward 1) at 8148 – 46 Avenue NW, LOC2022-0206

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with relevant public groups and respective community association was appropriate. In response, the applicant contacted Bowness Community Association, the Ward Councillor's office and visited residents within a 100 metre radius to discuss the application in person. Postcards were also delivered to neighbours within a 100 metre radius. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to relevant public groups, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received two letters of opposition which cited the following concerns:

- increased demand for parking;
- increased demand for waste and recycling services;
- decreased green space;
- decreased privacy;
- lack of precedent for 3 storeys as originally proposed;
- lack of family doctors in the area; and
- negative impact on surrounding property values.

The Bowness Community Association submitted a letter of opposition on 2022 December 22 citing concerns related to density and parking.

Administration considered the relevant planning issues specific to the application and has determined that the proposal is appropriate. The R-CG District is intended to be located adjacent to other low-density districts and accommodates a variety of housing forms. It provides for a modest density increase while being sensitive to adjacent development. The building and site design, number of units and on-site parking has been considered through the concurrent Development Permit.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Land Use Amendment in Bowness (Ward 1) at 8148 – 46 Avenue NW, LOC2022-0206

IMPLICATIONS

Social

This proposal may have positive social implications by offering a greater number and variety of dwelling units for Calgarians near existing services and amenities.

Environmental

This application does not include any specific actions that address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Opportunities to enhance the development on this site with applicable climate strategies have been identified and shared with the applicant and are being pursued through the concurrent development permit.

Economic

The proposed land use would allow for a more efficient use of the land, existing infrastructure and services. The future development may also support local business and employment opportunities in the area.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary
4. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the northwest community of Bowness, at the northeast corner of 46 Avenue NW and 81 Street NW. The site is approximately 0.06 hectares (0.14 acres) in area and has dimensions of approximately 37 metres deep by 15 metres wide. The site is currently developed with a single detached dwelling and is serviced by a rear lane.

Surrounding development is characterized primarily by single detached and semi-detached dwellings designated as Residential – Contextual One / Two Dwelling (R-C2) District. The Residential – Grade-Oriented Infill (R-CG) District is predominate on corner parcels in the area. Bowglen Park and Bowness Senior High School are approximately 300 metres (a five-minute walk) east of the site. Bowness Park is 400 metres (a seven-minute walk) north of the site.

Community Peak Population Table

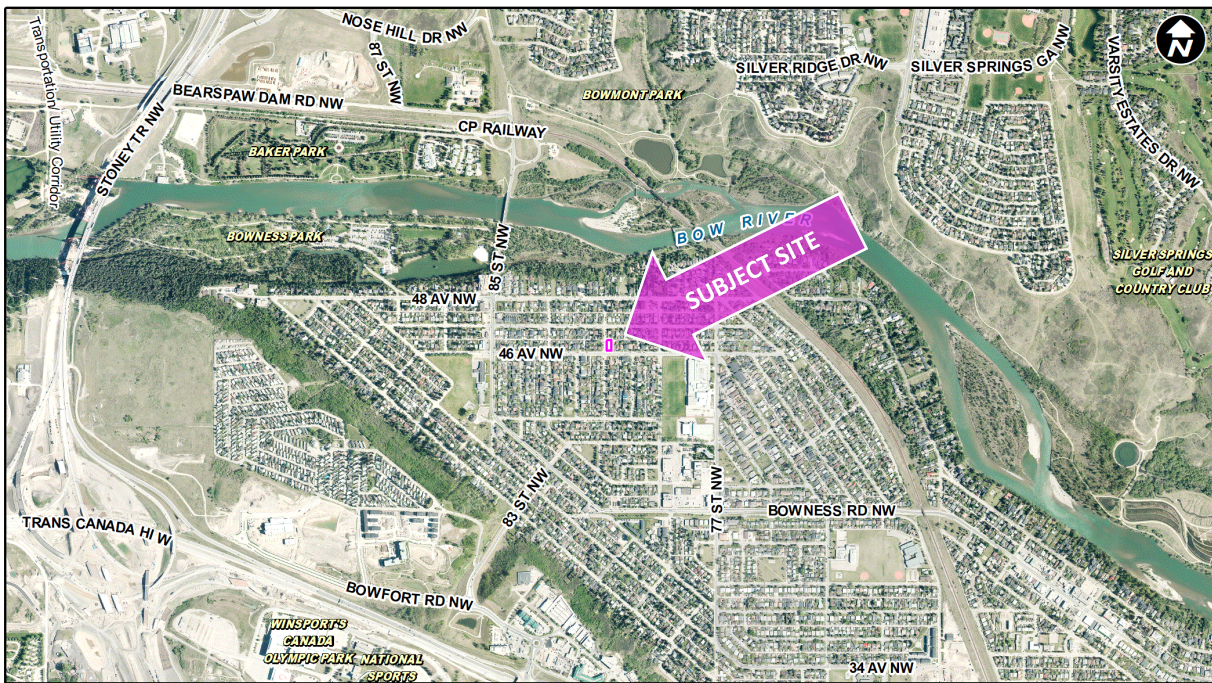
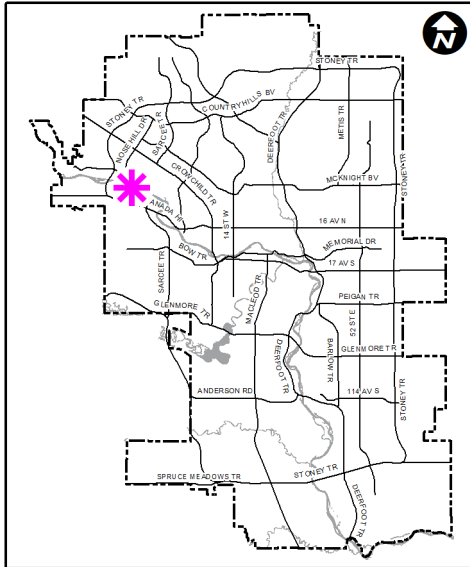
As identified below, the community of Bowness reached its peak population in 1982.

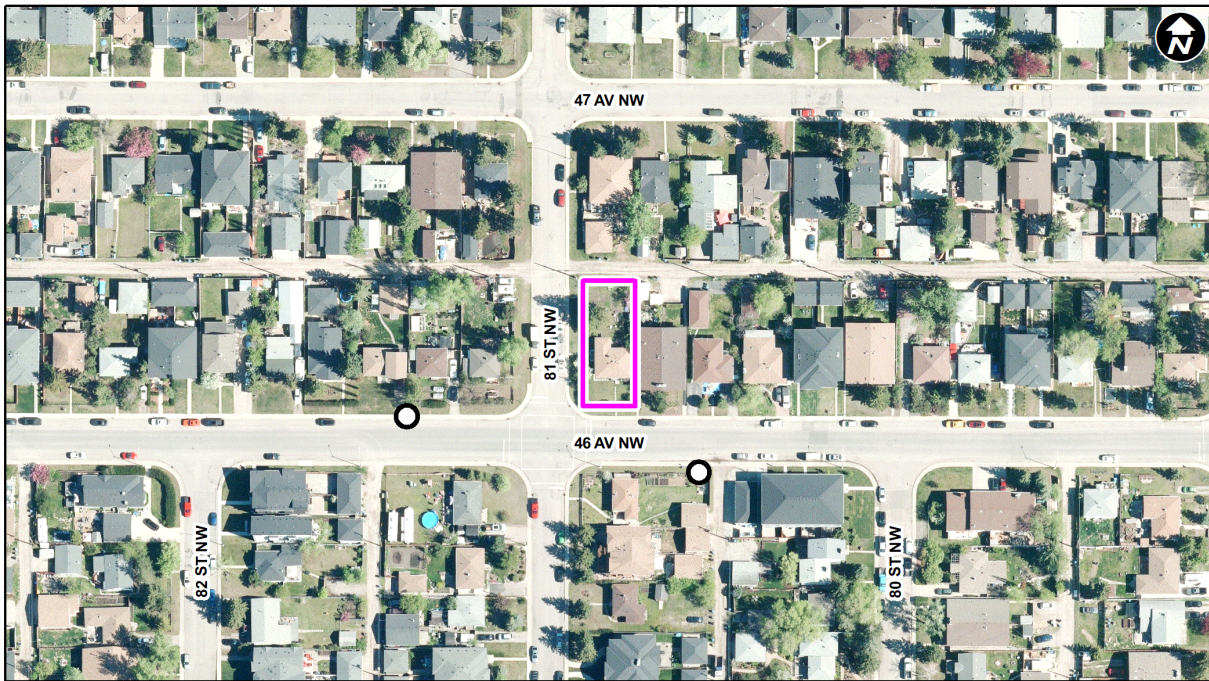
Bowness	
Peak Population Year	1982
Peak Population	13,134
2019 Current Population	11,150
Difference in Population (Number)	-1,984
Difference in Population (Percent)	-15.11%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Bowness Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

The existing R-C2 District is primarily for single detached, semi-detached, duplex dwellings, and secondary suites. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

In addition to the residential uses allowed in the R-C2 District, the proposed Residential – Grade-Oriented Infill (R-CG) District allows for the additional low-density housing form of rowhouses and townhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the parcel area, this would allow up to four dwelling units on the subject site.

Secondary suites (one backyard suite or one secondary suite per dwelling unit) are also allowed in the R-CG District, and do not count towards allowable density. The parcel would require 0.5 parking stalls per dwelling unit and per secondary suite.

Development and Site Design

The rules of the proposed R-CG District would provide guidance for the future redevelopment of the site including appropriate uses, building height and massing, landscaping and parking.

A development permit for a four-unit rowhouse was submitted on 2022 November 24 and is under review. Given the specific context of this corner site, additional items that will be considered through the development permit process include, but are not limited to:

- ensuring an engaging built interface along 46 Avenue NW and 81 Street NW; and
- mitigating shadowing, overlooking, and privacy concerns.

Transportation

Pedestrian access to the site is available from existing sidewalks along 46 Avenue NW and 81 Street NW. The site is located in close proximity to an existing on-street bikeway as identified on the Always Available for All Ages and Abilities (5A) Network, along 48 Avenue NW.

The area is well-served by Calgary Transit. Bus stops for Route 40 (Crowfoot Station/North Hill) are located 40 metres (a one-minute walk) east and west of the site along 46 Avenue NW. Bus stops for Route 1 (Bowness/Forest Lawn) are located 410 metres (a five-minute walk) west of the site along 85 Street NW.

Direct vehicular access to the proposed development will be required to come from the rear lane. The parcel is located within [Residential Parking Permit \(RPP\) Zone NN](#).

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water, sanitary sewer and storm mains are available adjacent to the site. Details of site servicing, as well as appropriate stormwater management will be considered and reviewed as part of the future development permit application.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential – Inner City area as identified on Map 1 (Urban Structure) of the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to make more efficient use of existing infrastructure, public amenities and transit and delivers small and incremental benefits to climate resilience. Such redevelopment is intended to occur in a form and nature that respects the scale and character of the neighbourhood context.

The proposal is in keeping with relevant MDP policies.

Calgary Climate Strategy (2022)

This application does not include an specific action that address the objectives of [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site

with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Bowness Area Redevelopment Plan (Statutory – 1995)

The subject parcel is located within the Residential: Low Density, Conservation & Infill area of Map 2: Land Use Policy Areas in the [Bowness Area Redevelopment Plan](#) (ARP). The ARP speaks to protecting the existing residential character and supporting sensitive infill development and renovations. The proposed land use amendment is in alignment with the applicable policies of the ARP.

Applicant Submission

Company Name (if applicable):

Horizon Land Surveys

LOC Number (office use only):

Applicant's Name:

Lei Wang

Date:

Jan. 26th, 2024

On behalf of the landowner, please accept this application to redesignate a +/-0.056 hectare site from R-C2 to R-CG to allow for:

- rowhouses, townhouses and cottage housing clusters in addition to the uses already allowed (e.g. single-detached, semi-detached, and duplex homes and suites)
- a maximum building height of 11 metres (an increase from the current maximum of 10 metres)
- a maximum of 4 dwelling units (an increase from the current maximum of 2 dwelling units)
- the uses listed in the proposed R-CG designation.

The subject site, 8148 46 Ave NW, is a corner lot located in the community of Bowness along 81 Street NW and 46 Ave NW. The lot is currently developed with a single detached dwelling built in 1953. The lot is surrounded mostly by single detached or semi-detached dwellings while there are already R-CG lots on the east corner of the block.

The site is approximately 0.056 hectares in size. A rear lane exists to the north of the site. Vehicle access to the parcel is available and will be via the rear lane. The closet bus stop are within 30 meters of the site along 46 Ave NW.

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the R-CG provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

The proposed R-CG is a Low Density Residential District. With the lot being a corner lot, the impacts of higher density use on neighbouring lower density properties can be reduced. Housing that faces both streets adds to the residential appearance of the side streets and tends to slow traffic and enhance pedestrian safety and experience on adjacent sidewalks.

Housing diversity and choice policies encourage the provision of a wide range of housing types, tenures and densities that may meet affordability, accessibility, life cycle and lifestyle needs of different groups; an adaptation of the City's existing housing stock to enable changing households to remain in the same neighbourhood for longer time periods through allowing accessory suites in low density areas. So we sincerely hope city can support our application.

Applicant Outreach Summary



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 8304 46 Ave NW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, "Community Outreach Assessment" were completed. The project's impact score is "1A". So we are implementing a direct approach to reach to community association, local residents within a 100 meters radius and also Ward Councilor Office.

On July 28th, 2023, post cards were deliver to residents within a 100 meters radius. During the process, we did door knocking and spoke with residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

Community association and councilor's office are also contacted for comments. No response has been received yet.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

According to R-CG bylaw, the side setback is increased to 3 meters on the side neighbouring another residential dwelling. Also even though, the maximum height is 1 meter higher, R-CG bylaw require lower height at perimeter.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with local residents, Councillor office and community association. And better explain to local residents about proposed developments and restrictions under R-CG.

calgary.ca/planningoutreach

Community Association Response

Received: 22 December 2022

Application: LOC2022-0206

Submitted by: Bowness Community Association

Contact Information

Address: 7904 43 Ave NW

Email: planning@mybowness.com

Phone: 4032888300

Overall, I am/we are:

In opposition of this application

Areas of interest/concern:

Density, Amount of Parking

What are the strengths and challenges of the proposed:

Will the proposed change affect the use and enjoyment of your property? If so, how?

The City views applications in the context of how well it fits within the broader community and alignment to Calgary's Municipal Development Plan (MDP). Do you see the proposed changes as compatible to the community and MDP? If not, what changes would make this application align with The City's goals?

How will the proposed impact the immediate surroundings?

General comments or concerns:

There's not enough parking for this situation; the square footage of the secondary suite is over the micro suite's square footage. We don't support parking relaxation.

**Street Name Change in Aspen Woods, West Springs and Residual Sub-Area 6A
 (Ward 6), for 12 Avenue SW, SN2024-0001**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Adopt, by resolution, the proposed street name change from 12 Avenue SW to Bow Trail SW.

HIGHLIGHTS

- This application proposes that 12 Avenue SW be changed to extend the use of the existing street name of Bow Trail SW, west from 85 Street SW to the edge of the City of Calgary Municipal boundary at 101 Street SW. The street east of 85 Street SW is already identified as Bow Trail SW.
- Administration recommends approval of the proposal as it complies with the *Municipal Naming, Sponsorship and Naming Rights Policy*.
- What does this mean to Calgarians? This proposal will change the municipal address of one existing parcel. This parcel is currently part of a subdivision application that is under review, and if approved, would change the access to and municipal addresses for the proposed development.
- Why does this matter? Municipal naming of streets plays an important role in simple and unambiguous identification for location and navigation within Calgary.
- The proposal will assist citizens and emergency services operators with navigation to and within the developing communities of Aspen Woods, West Springs, and Residual Sub Area 06A.
- *The Municipal Naming, Sponsorship and Naming Rights Policy*, Section 2.2.2, advises that street names shall be distinct from streets elsewhere in Calgary. 12 Avenue SW is an existing street name in central Calgary that is no longer connected to Bow Trail SW. Construction of Crowchild Trail SW in the late 1960's severed Bow Trail's connection to 12 Avenue SW in Sunalta.
- There is no previous Council direction regarding this proposal.

DISCUSSION

This application was submitted by the City of Calgary's Mobility Operations team on 2024 January 2. The subject street acts as a boundary between the southwest communities of Aspen Woods and West Springs and cuts through Residual Sub Area 06A. Location maps are provided in Attachment 1.

Changing 12 Avenue SW between 85 Street SW and the edge of City of Calgary Municipal boundary at 101 Street SW to Bow Trail SW would eliminate confusion for citizens and emergency services. More information can be found in the Applicant Submission (Attachment 2).

Administration has considered the relevant planning issues specific to the application and has determined the proposal to be appropriate.

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0235
Page 2 of 2**

**Street Name Change in Aspen Woods, West Springs and Residual Sub-Area 6A
(Ward 6), for 12 Avenue SW, SN2024-0001**

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

Applicant-led outreach was not required for this application as this is an Administration initiated street name change.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to relevant public groups and affected landowners. No public comments were received at the time of writing this report.

Following Calgary Planning Commission, this application will be scheduled for decision at a future meeting of Council.

IMPLICATIONS

Social

As per the *Municipal Naming, Sponsorship, and Naming Rights Policy*, municipal naming plays an important role in simple and unambiguous navigation within Calgary.

Environmental

There are no concerns associated with this application.

Economic

There are no concerns associated with this application.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no risks associated with this application.

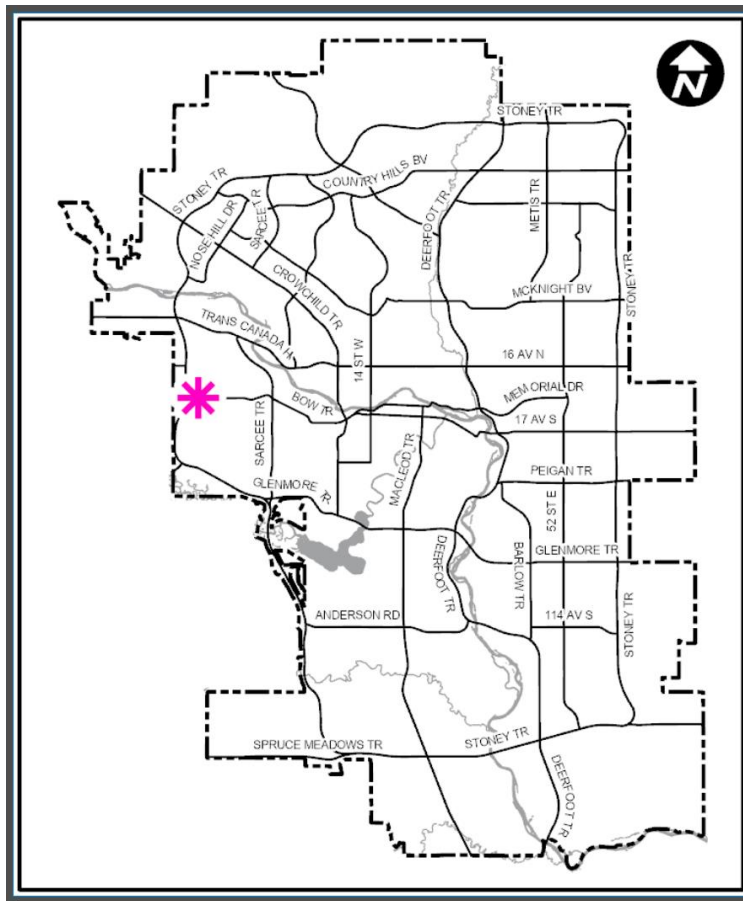
ATTACHMENTS

1. Location Maps
2. Applicant Submission

Department Circulation

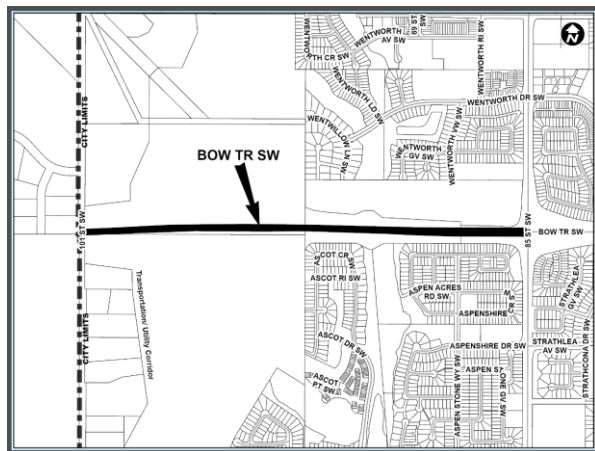
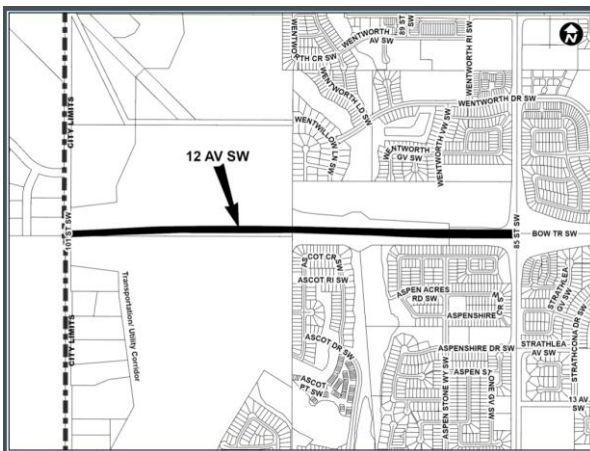
General Manager (Name)	Department	Approve/Consult/Inform

Location Maps



Existing Street Name

Proposed Street Name



Applicant Submission



2024 January 17

Monique Pahud, BA
Senior Planning Technician
Community Planning | Planning & Development
The City of Calgary | Mail Code #8094
Municipal Building - 800 Macleod Tr. S.E.
P.O. Box 2100, Station M, Calgary AB T2P 2M5

Dear Ms. Pahud;

**Re: Street Name Change:
From 12 Avenue SW (between 85 Street and 101 Street) to Bow Trail SW**

Please accept this as a letter of explanation for a Street name change for 12 Avenue SW (between 85 Street and 101 Street) to Bow Trail SW.

Stoney Trail between 16 Avenue North (Highway 1) and Bow Trail SW was opened in October 2023. Stoney Trail between Bow Trail and Highway 8 was opened in December 2023. Municipal Records are showing that the road referenced as Bow Trail on Guide Signage for Stoney Trail has not been formally changed from 12 Avenue to Bow Trail. To ensure consistent and simplified guidance for users on Stoney Trail and users approaching Stoney Trail, the Mobility Operations Division is applying to change the name of 12 Avenue SW (between 85 Street and 101 Street) to Bow Trail. Records indicate that there is one parcel that has an address on this section of roadway.

For more information and details on the timelines for opening the sections of the Ring Road, please see the following links:

- Project update from September 29, 2023 (that references the partial opening of Stoney Trail between 16 Avenue (Highway 1) and Bow Trail in October 2023:
 - <https://westringroad.ca/2023/09/29/project-update-september-29-2023/>
- Project update from December 22, 2023 (that references the opening of Stoney Trail between Bow Trail and Highway 8 in December 2023:
 - <https://westringroad.ca/2023/12/22/project-update-december-22-2023/>

Sincerely,

A handwritten signature in blue ink that reads "Stephen Kay".

Stephen Kay, P. Eng.
Senior Special Projects Engineer
Mobility Operations Division
Mobility (#4009)

SK

**Land Use Amendment in Banff Trail (Ward 7) at 2221 – 23 Avenue NW,
 LOC2023-0287**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.06 hectares ± (0.14 acres ±) located at 2221 – 23 Avenue NW (Plan 9110GI, Block 13, Lot 16) from Residential – Grade-Oriented Infill (R-CG) District to Direct Control (DC) District to accommodate rowhouse development, with guidelines (Attachment 2).

HIGHLIGHTS

- This land use amendment seeks to redesignate the subject parcel to a Direct Control (DC) District based on the Residential – Grade-Oriented Infill (R-CG) District to address unusual site constraints created by a restrictive covenant on title which restricts development to a “Single or Two Family dwelling house and a private garage”.
- This application supports the transit-oriented development vision for the Banff Trail community in alignment with the *Municipal Development Plan* (MDP) and *Banff Trail Area Redevelopment Plan* (ARP).
- What does this mean to Calgarians? This land use amendment would promote greater housing choice in a community with access to alternative transportation modes, as well as the more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? More housing choice adjacent to existing LRT infrastructure may increase population diversity in close proximity to existing services and facilities in Banff Trail., and may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- In 2022, a development permit (DP2022-01431) was approved on this site for a four-unit rowhouse building with secondary suites.
- In 2017, a land use amendment application was approved by Council (269D2017) to implement the new density policies of the ARP which designated the subject parcel Residential – Grade-Oriented Infill (R-CG) District.

DISCUSSION

This application, located in the northwest community of Banff Trail, was submitted on 2023 September 26 by QuantumPlace Developments on behalf of the landowner, Navita Cheba, The application proposes a redesignation to Direct Control (DC) District to enable the development of four dwelling units with secondary suites, as indicated in the Applicant Submission (Attachment 3).

The approximately 0.06 hectare (0.14 acre) parcel is located at the southeast corner of 23 Avenue NW and 22 Street NW and is currently vacant. The site is approximately 320 metres northeast of the Banff Trail LRT Station (a five-minute walk). In the immediate area, Council has made investments in pedestrian, transportation, and road improvements through the larger Banff Trail Area Improvements project completed between 2020 and 2023. Improvements were also made along 24 Avenue NW just north of the site in support of anticipated population increase in the community.

**Land Use Amendment in Banff Trail (Ward 7) at 2221 – 23 Avenue NW,
LOC2023-0287**

The parcel is subject to a restrictive covenant that restricts the use of the parcel to a single or semi-detached dwelling. While restrictive covenants are not binding on Council or Administration in making land use or development permit decisions, they present a potential impediment to redevelopment at the time of construction should another landowner choose to enforce the restrictive covenant. The covenant is restricting the construction of a four-unit rowhouse building which received development permit approval in 2022.

The ARP states that for parcels subject to a restrictive covenant that is not in alignment with the goals and objectives of the ARP, The City of Calgary supports the direction of the ARP (Section 2.1.2 – Context). This is the basis of Administration’s recommendation to Calgary Planning Commission in this report.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant contacted the Banff Trail Community Association (CA), Ward 7 Councillor’s Office and adjacent landowners. In addition, the applicant provided project information and an online feedback form via their engage website. The Applicant Outreach Summary can be found in Attachment 4.

City-Led Outreach

In keeping with Administration’s practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received five letters of opposition from the public, noting the following areas of concern:

- rowhouse development will result in loss of property value;
- traffic congestion and safety concerns for students attending nearby schools;
- the application interferes with the terms of the restrictive covenant on title;
- the lack of LRT capacity at Banff Trail Station during peak hours;
- insufficient supply of on-street parking to support increased density; and
- rear lane congestion due to additional waste and recycling bins.

No comments from the Banff Trail CA were received. Administration contacted the Community Association to follow up, and no response was received.

**Land Use Amendment in Banff Trail (Ward 7) at 2221 – 23 Avenue NW,
LOC2023-0287**

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The building and site design, overall number of units, parking, traffic impacts and waste and recycling have been considered during the development permit review.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The site is in a transit-oriented development area in close proximity to major employment centres including Foothills Medical Centre, Alberta Children's Hospital and the University of Calgary. The proposed DC District will provide additional certainty that the rowhouse and townhouse uses listed in the existing R-CG District can be realized, which may better accommodate the housing needs of different age groups, lifestyles and demographics.

Environmental

The applicant has indicated that they plan to pursue specific measures as part of the approved development permit which will align with the *Calgary Climate Strategy – Pathways to 2050* (Program F).

Economic

Council approved a City-led redesignation of the subject parcels to the R-CG District in alignment with the MDP and ARP that may make more efficient use of existing infrastructure and services. The City of Calgary has actively invested in the Banff Trail area through pedestrian and transportation improvements and intensification throughout the community in alignment with Council's investment.

Service and Financial Implications

No anticipated financial impact.

RISK

If this land use amendment application is not supported, there may be impediments to the implementation of the MDP and the ARP. Private investment and redevelopment envisioned in the MDP and ARP may not be achievable on this parcel even though it is situated less than 350 metres from the existing Banff Trail LRT station (a five-minute walk).

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Direct Control District
3. Applicant Submission
4. Applicant Outreach Summary

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0162
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**Land Use Amendment in Banff Trail (Ward 7) at 2221 – 23 Avenue NW,
LOC2023-0287**

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the northwest community of Banff Trail at the southeast corner of 23 Avenue NW and 22 Street NW. The parcel is approximately 0.06 hectares (0.14 acres) in size and is approximately 15 metres wide by 37 metres deep. The original dwelling and detached garage were demolished in 2022 and the site is currently vacant.

Surrounding development is characterized by a mix of residential development including single detached, semi-detached dwellings and rowhouses. Land use in Banff Trail is predominantly the Residential – Contextual One / Two Dwelling (R-C2) District and the Residential – Grade-Oriented Infill (R-CG) District. The site has good access to parks and open space, schools and primary transit service. Nearby schools include:

- Branton School, approximately 150 metres southeast (a two-minute walk);
- St. Pius X School, approximately 530 metres east (an eight-minute walk);
- Capitol Hill School, approximately 600 metres east (an eight-minute walk); and
- William Aberhart High School, approximately 730 metres northwest (a 10-minute walk).

Banff Trail LRT Station is approximately 320 metres southwest of the site (a five-minute walk), and Foothills Athletic Park and the University of Calgary campus are both within 1 kilometre to the west (a 15-minute walk).

Many parcels in Banff Trail are subject to a restrictive covenant registered in 1952, restricting development on the affected parcels to single and semi-detached dwellings. These covenants, registered against individual properties and/or entire subdivision plans, were used as an early planning tool before municipalities adopted land use bylaws and other planning legislation designed to govern land development. While these restrictive covenants are not binding on Council or Administration in making land use or development permit decisions, they present a potential impediment to redevelopment at the time of construction should another landowner choose to enforce the restrictive covenant.

Council has previously approved Direct Control Districts for each of the other three corner parcels that share the intersection of 23 Avenue NW and 22 Street NW with this parcel (Bylaws [106D2021](#) and [154D2023](#)).

Community Peak Population Table

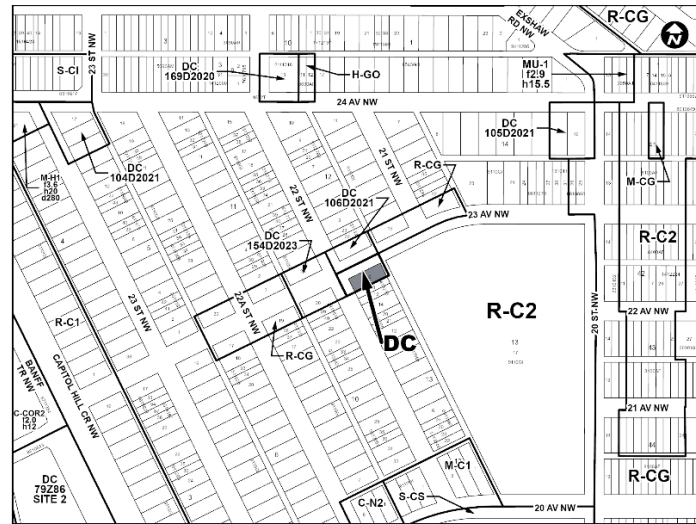
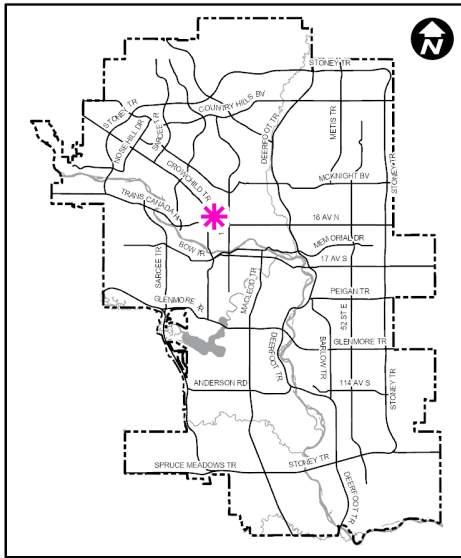
As identified below, the community of Banff Trail reached its peak population in 1968.

Banff Trail	
Peak Population Year	1968
Peak Population	4,883
2019 Current Population	4,153
Difference in Population (Number)	- 730
Difference in Population (Percent)	- 14.9%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Banff Trail Community Profile](#).

Location Maps





Previous Council Direction

In 2013, Council directed Administration to work with interested parties to identify potential areas for modest intensification in Banff Trail. As a result of this direction, the *Banff Trail Area Redevelopment Plan* (ARP) was amended in 2016 to include several new typologies, including Low Density Rowhouse. The Low Density Rowhouse typology was applied to numerous sites, including the subject parcel.

In 2017, Council approved a City-initiated redesignation (Bylaw 269D2017) to the Residential – Grade-Oriented Infill (R-CG) District of several blocks along strategic corridors in Banff Trail. This action supported the implementation of the Land Use Plan (Figure 2 – Land Use Plan) in the ARP.

In 2019 September, Council amended the ARP (Bylaw 56P2019) to remove the Special Study Area overlay from the intersection of Crowchild Trail NW and 24 Avenue NW. The amendment supported redevelopment in alignment with the goals and objectives of the ARP where there was conflict with a restrictive covenant that limited development to one or two dwelling units.

Planning Evaluation

Land Use

The existing Residential – Grade-Oriented Infill (R-CG) District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings, rowhouses and townhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on the subject site parcel area, this would allow up to four dwelling units with the ability for secondary suites.

The proposed land use district is a Direct Control (DC) District, based on the R-CG District. The intent of the DC is to allow for development that requires a minimum density of 55 units per hectare (minimum of three dwelling units) and maintains the maximum density of 75 units per hectare (maximum four dwelling units). The DC District also excludes Single Detached Dwelling, Semi-detached Dwelling, Contextual Semi-detached Dwelling, Duplex Dwelling and Cottage Housing Cluster uses.

Pursuant to Section 20 of the Land Use Bylaw 1P2007, this application for a DC District has been reviewed by Administration. The use of a Direct Control District is necessary to provide for the applicant's proposed development due to the unusual site constraint created by the restrictive covenant on title, which limits development to a "Single or Two Family dwelling house and a private garage". The existence of the restrictive covenant prevents the landowners from developing their land in accordance with the approved R-CG District and the policies of the ARP.

This proposal provides specifically for the applicant's intended four-unit rowhouse development, while maintaining the R-CG District base to ensure development is compatible with other forms of low-density residential development. The same result could not be achieved through the use of a standard land use district in the Land Use Bylaw.

The proposed DC District supports redevelopment that aligns with The City's approved policy goals and investments, expressed through the *Municipal Development Plan* (MDP) and the *Area Redevelopment Plan* (ARP). It also ensures that the ARP can be implemented the way it was envisioned.

The proposed DC District includes a rule that allows the Development Authority to relax Section 6 of the DC District Bylaw. Section 6 incorporates the rules of the base district in Bylaw 1P2007 where the DC District does not provide for specific regulation. In a standard district, many of these rules can be relaxed if they meet the test for relaxation of Bylaw 1P2007. The intent of this DC rule is to ensure that rules regulating aspects of development that are not specifically regulated by the DC can also be relaxed in the same way that they would be in a standard district.

Development and Site Design

If approved by Council, the rules of the R-CG District (referenced in the proposed DC District) as well as the policies of the MDP and ARP will provide guidance for redevelopment, with the exception that single detached and semi-detached dwellings will no longer be allowed in the approved DC District, and development must provide a minimum of three dwelling units (or 55 units per hectare).

The approved development permit for this site (DP2022-01431) satisfies the minimum density requirements of the proposed DC District, and a new development permit would not be required if this land use amendment is approved.

Transportation

Pedestrian access to the site is available from existing sidewalks along 23 Avenue NW and 22 Street NW. Existing on-street bikeways, part of the current Always Available for All Ages and Abilities (5A) Network, are located along 22 Street NW and 24 Avenue NW, supporting access to and from the site by alternative transportation modes.

The subject site is well served by Calgary Transit Service and has direct and convenient access to Banff Trail LRT Station, approximately 320 metres southwest of the site (a five-minute walk). Bus routes are also available on 19 Street NW with southbound and northbound stops located within 400 metres, or a six-minute walk from the site (Routes 65 – Market Mall/Downtown West and 105 – Dalhousie Station/Lions Park Station).

Vehicular access to the proposed development will only be permitted from the rear lane. The subject parcel falls within Residential Parking Permit (RPP) Zone E, and on-street parking is available on 23 Avenue NW and 22 Street NW adjacent to the site.

A Transportation Impact Assessment was not required as part of this application.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water and sanitary mains are available on 22 Street NW. A storm sewer main is available from 23 Avenue NW. No upgrades to the mains would be required based on a future development proposal of a four-unit rowhouse with secondary suites.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Residential – Developed – Inner City Area as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of established communities to make more efficient use of existing infrastructure, public amenities, and transit. Redevelopment is intended to occur in a form and nature that respects the scale and character of the neighbourhood context. The proposal is in alignment with relevant MDP policies, as it would ensure modest intensification in close proximity to existing LRT infrastructure.

Calgary Climate Strategy (2022)

Administration has reviewed this application in relation to the objectives of the [Calgary Climate Strategy - Pathways to 2050](#) programs and actions. The applicant has committed to providing four electric vehicle-ready stalls as part of the approved development permit, supporting Program F: Zero emissions vehicles – Accelerate the transition to zero emissions vehicles of the *Climate Strategy*. The redesignation also provides small and incremental climate benefits by allowing more people to live near existing services and amenities and optimizing transit infrastructure within a transit-oriented development area.

Banff Trail Area Redevelopment Plan (Statutory – 1986)

The subject site is located within the Low Density Rowhouse area as identified on Figure 2 - Land Use Plan in the [Banff Trail Area Redevelopment Plan](#) (ARP). The Low Density Rowhouse area is intended to allow for a modest increase in density with a greater variety of housing types. New development should be grade-oriented including rowhouse buildings and therefore, this land use amendment does not require an ARP amendment.

Section 2.1.2(b) of the ARP provides specific direction regarding the potential for conflict between the policy goals of the ARP and the restrictive covenant affecting the subject parcel. Section 2.1.2 - Context in the ARP states the following:

“Many parcels in Banff Trail have a caveat registered against the certificate of title which may restrict development. These restrictions include, but are not limited to, restricting development to one or two-unit dwellings. In some cases this caveat is not in alignment with the goals and objectives of this Plan and where such conflicts occur, The City of Calgary supports the direction of this Plan.” (Bylaw 56P2019)

The proposed land use amendment is in alignment with the ARP.

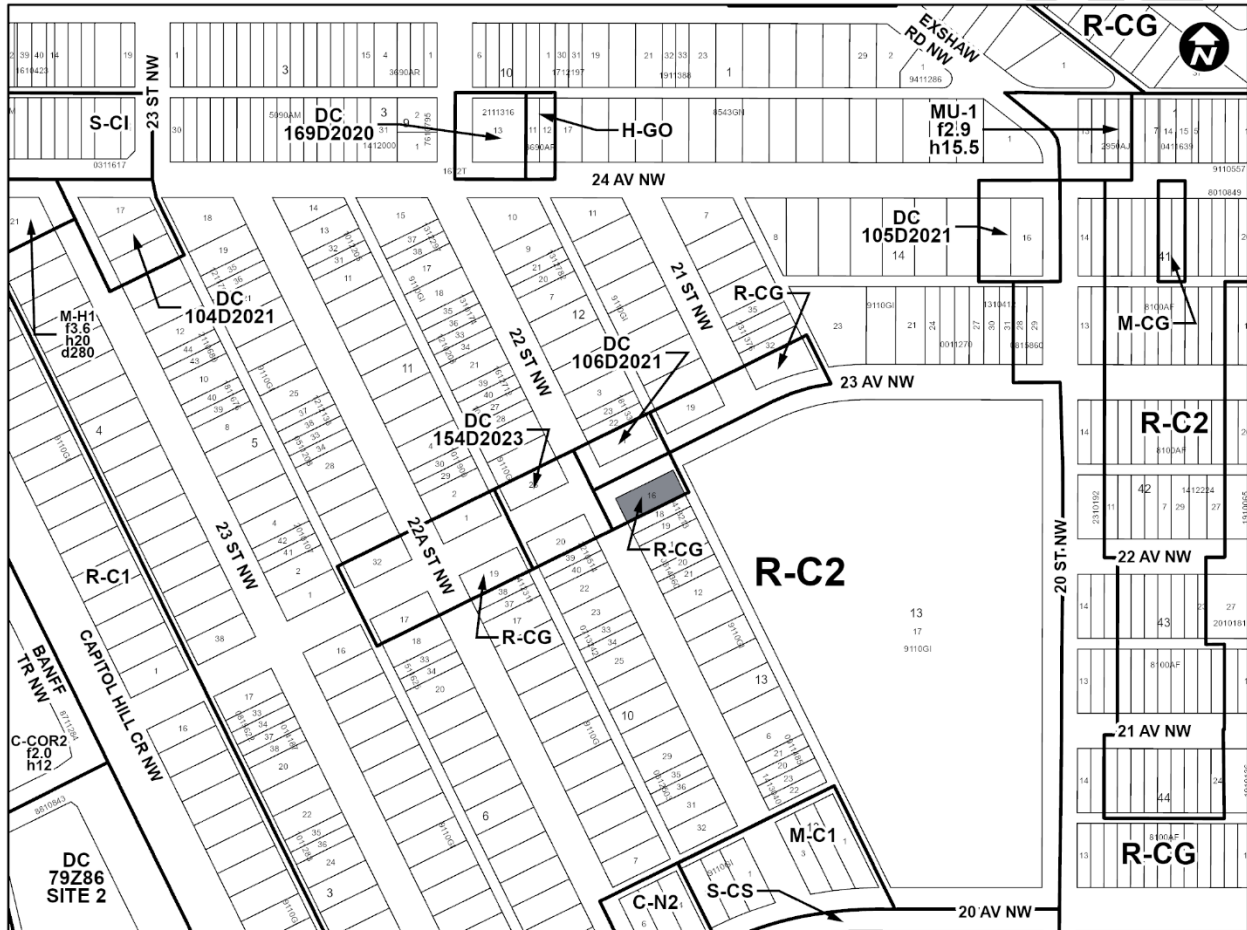
South Shaganappi Communities Local Area Plan

Administration is currently working on the [South Shaganappi Communities Local Area Plan](#) which includes Banff Trail and surrounding communities. Planning applications are being accepted for processing during the local area planning process and are reviewed using existing legislation and Council approved policy.

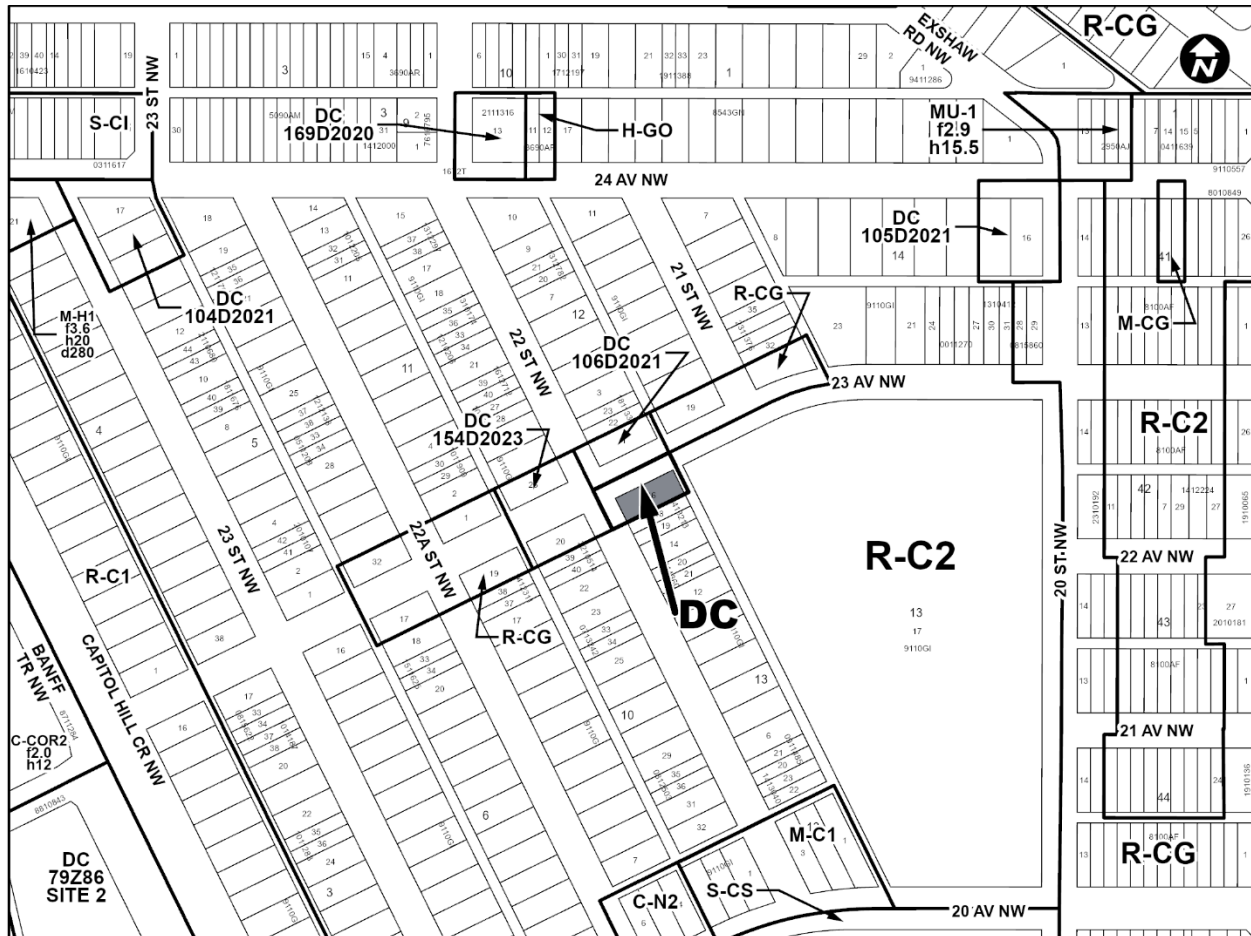
Proposed Direct Control District

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

SCHEDULE A



SCHEDULE B



DIRECT CONTROL DISTRICT

Purpose

- 1 This Direct Control District Bylaw is intended to implement the transit-oriented development vision for this area by accommodating rowhouse development and establishing minimum density requirements.

Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

Reference to Bylaw 1P2007

- 3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

Permitted Uses

- 4 The **permitted uses** of the Residential – Grade-Oriented Infill (R-CG) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District with the exclusion of:

- (a) **Contextual Semi-detached Dwelling.**

Discretionary Uses

5 The **discretionary uses** of the Residential – Grade-Oriented Infill (R-CG) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the exclusion of:

- (a) **Cottage Housing Cluster;**
- (b) **Duplex Dwelling;**
- (c) **Semi-detached Dwelling; and**
- (d) **Single Detached Dwelling.**

Bylaw 1P2007 District Rules

6 Unless otherwise specified, the rules of the Residential – Grade-Oriented Infill (R-CG) District of Bylaw 1P2007 apply in this Direct Control District.

Density

- 7 (1) The minimum **density** is 55 **units** per hectare.
- (2) The maximum **density** is 75 **units** per hectare.

Relaxations

8 The **Development Authority** may relax the rules contained in Section 6 of this Direct Control District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.

Applicant Submission



1026 16 Ave NW, Suite 203
Calgary, AB T2M 0K6
587-350-5172

October 23, 2023

Planning and Development Office
City of Calgary Municipal Building
800 Macleod Trail SE
Calgary, AB, T2P 2M5

RE: Applicant Submission – Land Use Redesignation for 2221 23 Avenue NW

QuantumPlace has been engaged by Vivek Cheba to submit a Land Use Redesignation application for 2221 23 Avenue NW to allow the future development of four units on the property, each with its own secondary suite.

Currently, the restrictive covenant 1358GL currently on title dictates that only one single or semi-detached dwelling and a private garage may be erected on one lot. The intent of this application is to realize the policy direction laid out in the Banff Trail Area Redevelopment Plan (ARP), which welcomes modest increase in density with a greater variety of housing types while maintaining scale with existing developments on this site. Therefore, this application will change the current designation from Residential – Grade-Oriented Infill (R-CG) to a DC district with an R-CG base district to allow the development form of townhomes. The DC's language will specify higher intensity development, thus better aligning with the ARP.

Context

The site is in the neighbourhood of Banff Trail and is situated among low-density residential development. It is within 350 meters of Banff Trail Station which is part of Calgary's Primary Transit Network. The site is northwest of Branton Junior High School and is near a variety of restaurants, retail, and other commercial uses. The adjacent properties surrounding the subject site are:

- A parcel designated as DC 106D2021 (base district of R-CG) to accommodate a future rowhouse development to the north;
- Low-density residential development consisting of one and two dwelling parcels designated as R-C2 district to the south and west; and
- The Branton Junior High School designated as S-SPR to the east.

Policy Alignment

The intent of the R-CG district is to enable more housing choice in Calgary. This redesignation to DC (with a base district of R-CG) will accommodate the development of housing options that are

consistent with the ARP policy with direct ground-level access. The ARP encourages at-grade residential units that provide street access and proportions that reflect pedestrian scale while stimulating interest at the street level. The ARP encourages at-grade residential units that provide street access and proportions that reflect pedestrian scale while stimulating interest at the street level. In the ARP, the site's land use policy area at 2221 23 Avenue NW is Low Density Rowhouse. The Low Density Rowhouse area specifies grade-oriented development with a variety of housing types including rowhouse development. Per the Land Use Bylaw, rowhouse buildings may contain secondary suites – meaning the intent to develop four rowhouse units each with a secondary suite is in alignment with ARP policy.

Engagement

At submission, QuantumPlace will reach out to the Banff Trail Community Association and Ward Councillor with the intention of requesting a meeting to discuss this Land Use Redesignation. A sign will be displayed on site for the duration of the application. The signage will present information on the application and depict the change in land use. In addition, postcards outlining the application will be distributed to properties in proximity to the subject parcel. The postcards will detail the intentions of the application and provide a QR code that links to an online engagement platform, where participants can visit the project's webpage and provide feedback on the application. The website will also be updated to provide current project information. Feedback will be collected and summarized in a "What We Heard" report which will be finalized and shared with The City of Calgary.

Conclusion

This redesignation supports the Banff Trail ARP's intention of creating Low Density Rowhouse development on the parcel while maintaining scale with the existing neighborhood. It also supports the district's intention to create higher grade-oriented housing with access to transit in Inner City communities. This application aligns with key policies and contradicts the limiting restrictive covenant that exists on the site. The proposed DC district will result in a housing development that aligns with The City's intentions for residential development. Given The City's goal of increasing access to a variety of residential forms, and amid a citywide housing shortage, this application is an essential response to the need for missing middle housing typologies in Calgary.



Applicant Outreach Summary

2023 December 5



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: Land Use Redesignation - 2221 23 Avenue NW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

N/A

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

QuantumPlace reached out to the Ward 7 Councilor and Banff Trail Community Association. Neighboring properties were made aware of the application through a project page on QuantumPlace's qpengage.ca website which providing information on the application.

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with. (Please do not include individual names)

- Banff Trail Community Association
- Residents neighboring 2221 23 Avenue NW
- General Public

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

Local feedback was supportive. The resident across the street voiced their support, as they also undertook a DC(R-CG) with the intention of developing in a similar fashion. The Banff Trail Community Association was also supportive, and wanted to meet for the purpose of getting an understanding of the application goal.

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

Input indicated that this redesignation was supported. QuantumPlace is proceeding with this application as originally intended.

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

QuantumPlace will provide updates through the online project page following further updates to this application. Members of the public and the Community Association we have corresponded with will be informed accordingly.

calgary.ca/planningoutreach

**Policy and Land Use Amendment in Forest Lawn (Ward 9) at 1306 – 36 Street SE,
 LOC2023-0401**

RECOMMENDATIONS:

That Calgary Planning Commission:

1. Forward this report (CPC2024-0206) to the 2024 May 7 Public Hearing Meeting of Council; and

That Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the amendment to the Forest Lawn-Forest Heights/Hubalta Area Redevelopment Plan (Attachment 2); and
3. Give three readings to the proposed bylaw for the redesignation of 0.06 hectares ± (0.14 acres ±) located at 1306 – 36 Street SE (Plan 2700AH, Block 24, Lots 17 and 18) from Residential – Contextual One / Two Dwelling (R-C2) District to Housing – Grade Oriented (H-GO) District.

HIGHLIGHTS

- This application seeks to redesignate the subject site to allow for the Housing – Grade Oriented (H-GO) District which primarily takes the form of a rowhouse, townhouse or stacked townhouse.
- The proposal represents an appropriate density increase of a residential site, allows for development that is compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP).
- What does this mean to Calgarians? The proposed H-GO District will allow for greater housing choices within the community and a more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed H-GO District will accommodate more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- An amendment to the *Forest Lawn-Forest Heights/Hubalta Area Redevelopment Plan* (ARP) is required to accommodate the proposed land use.
- No development permit has been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This land use and policy amendment application in the southeast community of Forest Lawn was submitted by Horizon Land Surveys on behalf of the landowner, Imtiaz Bhimani on 2023 December 18. No development permit has been submitted at this time; however, as noted in the Applicant Submission (Attachment 3), the applicant is proposing the H-GO District as it allows for a variety of building forms.

The 0.06 hectare (0.14 acre) midblock site is located on 36 Steet NE, approximately 500 metres (an eight-minute walk) north of International Avenue (17 Avenue SE). The proposed policy amendment to the ARP would change the Land Use Policy Areas Map (Map 2) land use

**Policy and Land Use Amendment in Forest Lawn (Ward 9) at 1306 – 36 Street SE,
LOC2023-0401**

classification from 'Low Density Residential/Conservation' to 'Low Density Multi-Dwelling'. The proposed H-GO District accommodates grade-oriented development in a range of housing forms where dwelling units may be attached or stacked in a form and at a scale consistent with low density residential districts.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. The applicant reached out directly to the community association, residents within 100 metres radius of the site and the Ward Councillor Office. Door knocking and post card delivery to residents within 100 metres of the proposed site change occurred on 2023 December 11. The Applicant Outreach Summary can be found in Attachment 4.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to relevant public groups, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners. No public comments were received at the time of writing this report. No comments were received from the Forest Lawn Community Association during the circulation process and Administration contacted the Community Association to follow up and no response was received.

Following Calgary Planning Commission, notifications for a Public Hearing of Council for the land use and policy amendment application will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed land use district would allow for a diversity of grade-oriented housing that may better accommodate the needs of different age groups, lifestyles and demographics.

Environmental

The applicant has indicated they plan to pursue specific measures as part of a future development permit which will align with the *Calgary Climate Strategy – Pathways to 2050* (Programs A, F and K).

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0206
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**Policy and Land Use Amendment in Forest Lawn (Ward 9) at 1306 – 36 Street SE,
LOC2023-0401**

Economic

The proposed land use amendment would allow for more efficient use of land, existing infrastructure and services, and provide more housing choice in the community.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Amendment to the Forest Lawn-Forest Heights/Hubalta Area Redevelopment Plan
3. Applicant Submission
4. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the southeast community of Forest Lawn at 1306 – 36 Steet SE. The site is approximately three blocks north of an Urban Main Street (17 Avenue SE) and adjacent to 36 Street SE, a Primary Transit Network corridor. The site is approximately 0.06 hectares in size (0.14 acres) and is approximately 15 metres wide and 38 metres deep. The site is developed with a single detached dwelling and a detached accessory residential building accessed from the rear lane. Future vehicle access would be from the rear lane along the east side of the site.

Surrounding development is characterized by a mix of residential development, including single detached, and semi-detached development on parcels designated Residential – Contextual One / Two Dwelling (R-C2) District. Immediately to the west of the site, and to the south are multi-residential developments designated Multi-Residential – Contextual Grade-Oriented (M-CG) District. One block south of the site are parcels designated Residential – Contextual Grade Oriented (R-CG) District in association with the 17 Avenue Main Street area.

The subject site is located in close proximity to a number of parks, schools and amenities. Radisson Playground & Greens is located approximately 300 metres (a five-minute walk) west of the site. Forest Lawn Outdoor Pool is located approximately 600 metres (a 10-minute walk) southeast of the site. Patrick Airlie Elementary School and playground is located approximately 500 metres (an eight-minute walk) southeast of the site. Father Lacombe High School is located approximately 500 metres (an eight-minute walk) north of the site. Sir Wilfrid Laurier School (Grades Five to Nine), playground and Radisson Heights Tennis Courts are located approximately 700 metres (a 12-minute walk) northwest of the site. Forest Lawn High School and Ernest Morrow School (Grades Six to Nine) are located approximately 1000 metres (a 17-minute walk) east of the site. The Bob Bahan Aquatic & Fitness Centre, Forest Lawn Disc Golf Course and Forest Lawn Library are also located 1000 metres east of the site.

The subject site is located on 36 Street SE providing direct access to several large employment hubs such as the Peter Loughheed Hospital (approximately five kilometres) north of the site and the Calgary International Airport (approximately 10 kilometres) north of the site. Community amenities such as Marlborough Mall is located (approximately two kilometres) north of the site. The subject site is also located approximately 500 metres (an eight-minute walk) north of International Avenue / 17 Avenue SE, where numerous shops, restaurants and other commercial uses occur on this Urban Main Street.

Community Peak Population Table

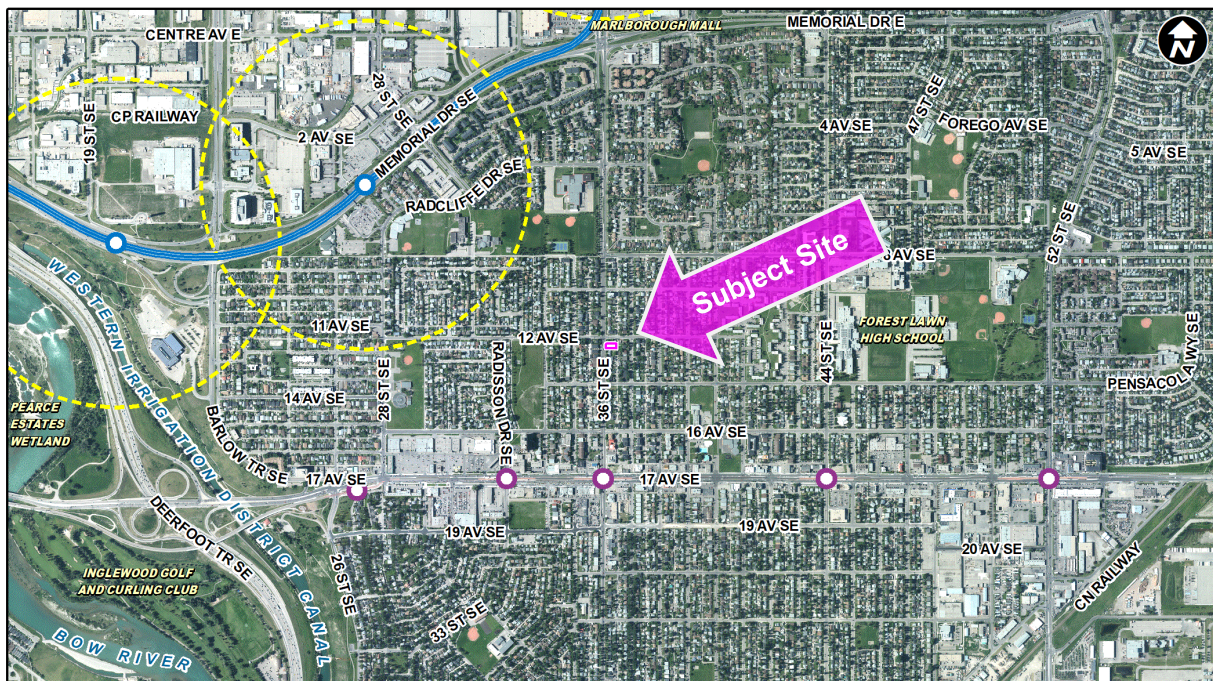
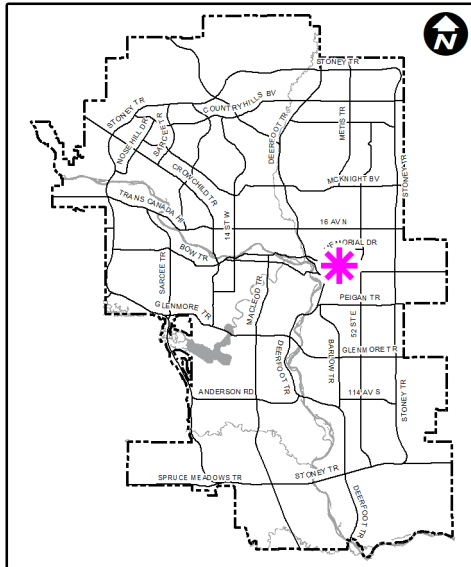
As identified below, the community of Forest Lawn reached its peak population in 1982.

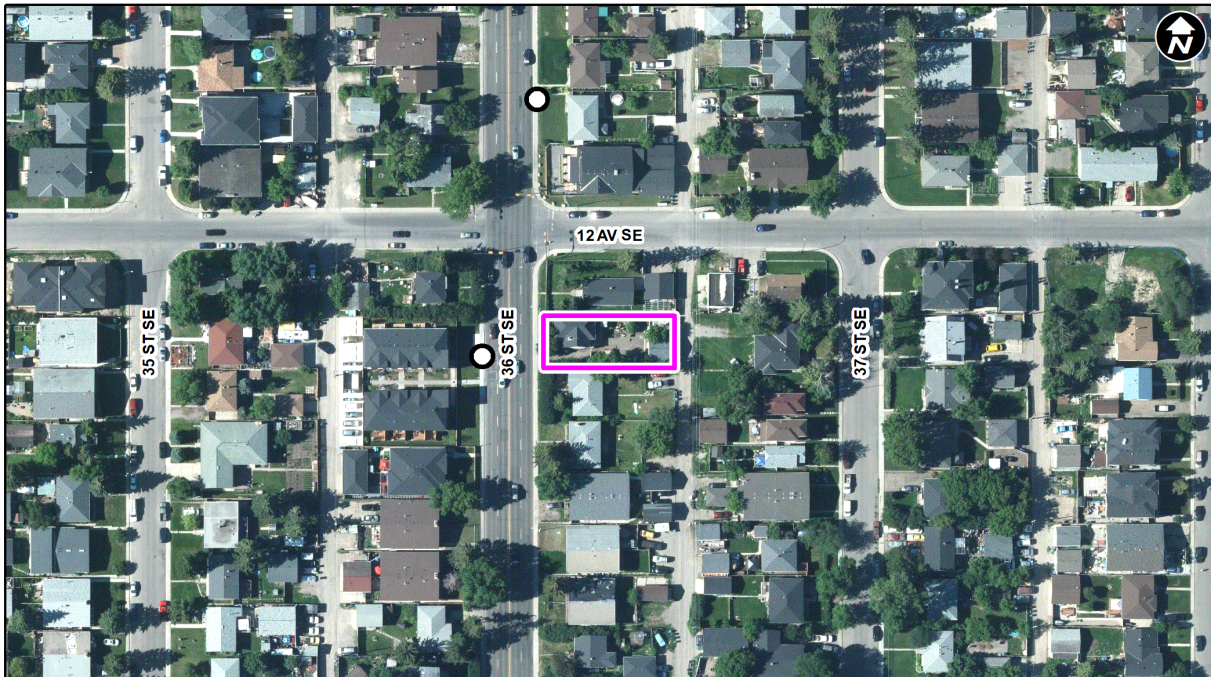
Forest Lawn	
Peak Population Year	1982
Peak Population	9,088
2019 Current Population	7,814
Difference in Population (Number)	-1,274
Difference in Population (Percent)	-14%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Forest Lawn Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C2 District is primarily for single detached, semi-detached, duplex dwellings and secondary suites. This district allows for a maximum building height of 10 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

The proposed Housing – Grade Oriented (H-GO) District is intended to provide an opportunity for dwelling units to be developed in a wide range of housing forms including rowhouse, townhouse and stacked townhouse units. In the H-GO District, development scale and intensity are managed through a combination of:

- a maximum floor area ratio (FAR) of 1.5 that allows for a total developable area of approximately 870 square metres on this site;
- a minimum building separation of 6.5 metres between a residential building at the front and a residential building at the rear of a parcel to ensure a functional courtyard amenity space;
- a maximum building height of 12.0 metres;
- a minimum requirement of 0.5 motor vehicle stalls per dwelling unit and per secondary suite; and
- a minimum requirement of 0.5 mobility storage lockers for each unit and suite not provided a motor vehicle parking stall located in a private garage.

Only parcels that meet the site selection criteria located in the purpose statement of the district in the Land Use Bylaw 1P2007 have the potential to be redesignated to the H-GO District. The subject site is located in the Inner City area identified on the Urban Structure Map of the Calgary Municipal Development Plan and is located within 200 metres of primary transit service.

Development and Site Design

The rules of the proposed H-GO District would provide guidance for the future redevelopment of the site, including appropriate uses, building height and massing, landscaping and parking. Given the specific context of this site, additional items that will be considered at the development permit stage include, but are not limited to:

- ensuring an engaging built interface along 36 Street SE;
- mitigating shadowing, overlooking and privacy concerns with neighbouring parcels;
- appropriate design and provision of amenity space;
- accommodating appropriate waste management pick up and storage; and
- implementation aspects associated with the Applicant's climate resilience development intentions.

Transportation

Pedestrian access to the site is available from 36 Street SE and 12 Avenue SE. An existing on-street Always Available for All Ages and Abilities (5A) Network bike route (signed) is located along 8 Avenue SE, 300 metres (a five-minute walk) north of the site.

The site is located adjacent to 36 Street SE where Bus Route 43 (McKnight-Westwinds Station/Chinook Station) and Route 135 (36 Street SE/Erin Woods/Marlborough Station) share northbound and southbound stop locations. Northbound and southbound stops are located under 100 metres (a one-minute walk) north or west of the site. Bus Route 87 (Applewood/Marlborough Station/17 Avenue SE) north and south bound is also under 100 metres (a one-minute walk) of the site.

17 Avenue SE is located approximately 500 metres south of the site (an eight-minute walk) and has Bus Route 1 (Bowness/Forest Lawn). The MAX Purple Line (Route 307) is also located along 17 Avenue SE approximately 500 metres (an eight-minute walk) south of the site.

On-street parking is available along 36 Street SE with restrictions between 7:00 a.m.- 8:30 a.m. and 3:30 p.m.- 6:00 p.m. Monday to Friday when parking is not permitted. A Public Realm Setback is adjacent to the site which requires a 5.182 metres setback identified along both the east and west sides of 36 Street SE. This public realm setback will be used to accommodate a wider sidewalk and potential boulevard trees to enhance the pedestrian experience.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water main, sanitary and storm are available and can accommodate future redevelopment on the subject site. Site servicing details and appropriate stormwater management will be detailed and reviewed through the development permit process.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Metropolitan Region Board's [Growth Plan](#) (GP). The proposed policy and land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The [Municipal Development Plan](#) (MDP) identifies this site as part of the Developed Residential – Inner City Area as identified in Map 1: Urban Structure. Sections 2.2.5 and 2.3.2 of the MDP identify opportunities to create strong residential neighbourhoods while respecting and enhancing neighbourhood character. These policies include allowing for innovative and creative designs, providing an appropriate transition of intensity, and complementing the established character of the area. These sections of the MDP support growth and change in low-density neighbourhoods through redevelopment of a similar scale and built form and developing a range of housing types including other ground-oriented housing. A broader range of housing types are expected to help achieve the goal of stabilizing population declines and supporting the changing demographic needs of communities. The proposed policy and land use amendment is in alignment with the applicable policies of the MDP.

Transit Oriented Development Policy Guidelines (2004)

The [Transit Oriented Development Policy Guidelines](#) provide direction for the development of areas typically within 600 metres of a transit (LRT or BRT) station. The proposed land use meets the key policy objectives of the Guidelines including ensuring transit supportive land uses, optimizing existing sites and infrastructure, as well as increasing density in proximity to the MAX Purple stations.

Calgary Climate Strategy (2022)

Administration has reviewed this application in relation to the objectives of the [Calgary Climate Strategy – Pathways to 2050](#) programs and actions. The applicant has committed to providing LEED Gold Certification as part of a future development permit application. This supports Program A: New Buildings of the *Climate Strategy*. The applicant further committed to use mostly permeable pavement, preserve mature trees, install solar panels, and include EV charging as part of a future development permit application. This supports Program K: Natural Infrastructure and Program F: Zero emissions vehicles of the *Climate Strategy*.

Forest Lawn-Forest Heights/Hubalta Area Redevelopment Plan (ARP) (Statutory – 1995)

The subject site is within the [Forest Lawn-Forest Heights/Hubalta Area Redevelopment Plan](#) (ARP). This application partially aligns with the ARP by reflecting the following policies:

- Section 1.5.1 (a) – Residential Policies encouraging compatible infill development in low density areas, such as 36 Street SE;

- Section 2.4 – ARP Goal of while allowing townhouse and apartment redevelopment at appropriate locations while enhancing and maintaining the community as a low density residential neighbourhood;
- Section 3.1.3 (a)(i) – to improve and stabilize the residential areas by encouraging new residential buildings to respect the context of the surrounding streetscape; and
- Section 3.1.3(a)(iii) – to improve and stabilize the residential areas by providing for a variety of housing types.

Map 2 - Land Use Policy Areas classifies the subject site as Low Density Residential/Conservation, which is intended for low density districts, allowing single and semi-detached building forms only. A minor policy amendment to Map 2 – Land Use Policy Areas, from Low Density Conservation to the Low Density Multi-Dwelling land use policy area, which allows for townhouse developments is required for the proposed application to align with the policies established by the ARP.

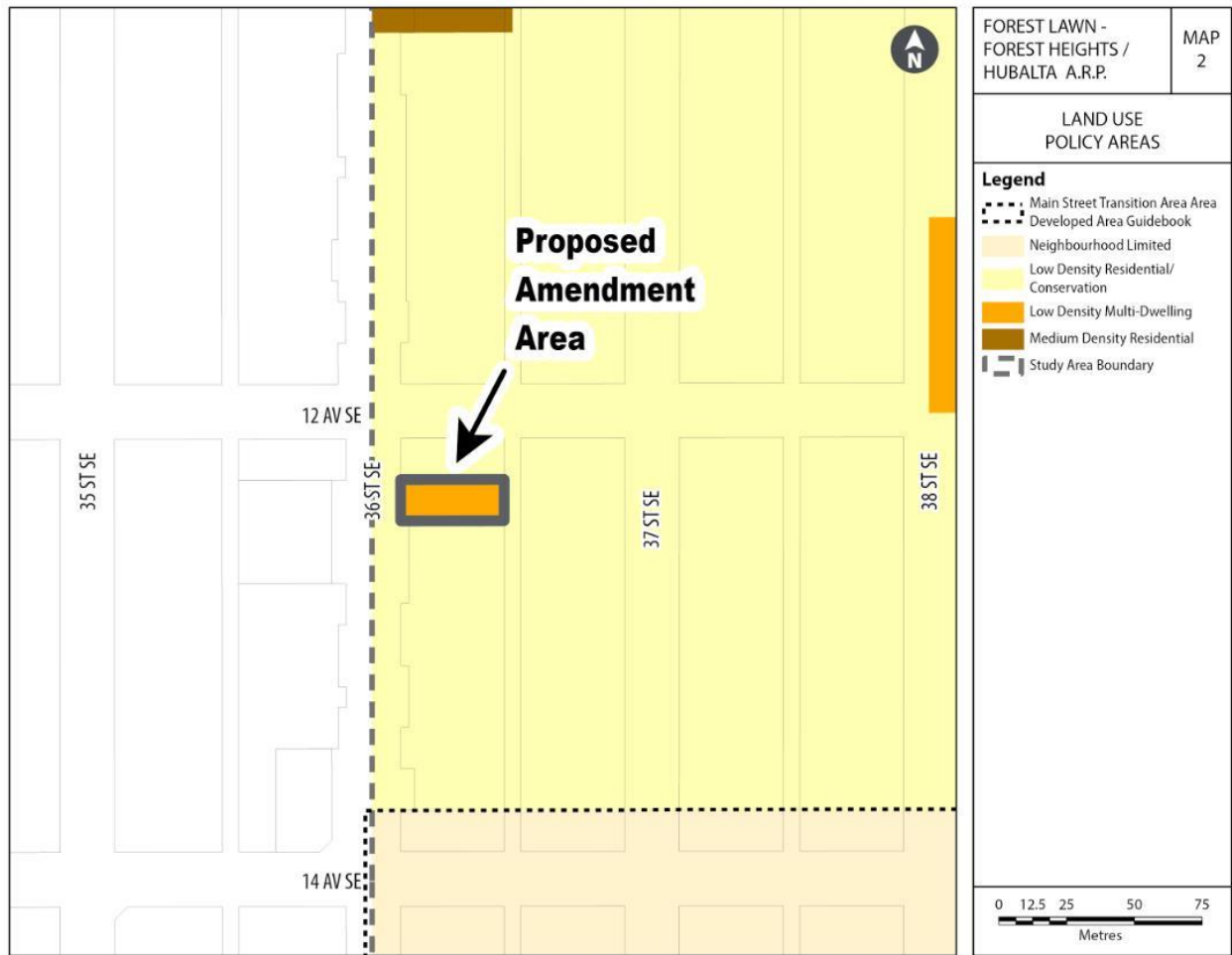
The site, adjacent to 36 Street SE, is additionally subject to ARP transportation policies in section 4.3(c) which establishes regulations regarding road rights-of-way, setback areas, and underground/above grade building encroachments. The proposed ARP amendment meets the goals and objectives of the ARP and is in alignment with the MDP.

Greater Forest Lawn Communities Local Area Planning Project

Administration is currently working on the [Greater Forest Lawn Communities local area planning project](#) which includes Forest Lawn and surrounding communities. The proposed land use is in alignment with the urban form category and building scale modifier found in the draft Greater Forest Lawn Communities Local Area Plan. Planning applications are being accepted for processing during the local area planning process and are reviewed using existing legislation and Council approved policy.

Proposed Amendment to the Forest Lawn-Forest Heights/Hubalta Area Redevelopment Plan

1. The Forest Lawn-Forest Heights/Hubalta Area Redevelopment Plan attached to and forming part of Bylaw 27P94, as amended, is hereby further amended as follows:
 - (a) Amend Map 2 entitled 'Land Use Policy Areas' by changing 0.06 hectares \pm (0.14 acres \pm) located at 1306 — 36 Street SE (Plan 2700AH, Block 24, Lots 17 and 18) from 'Low Density Residential/Conservation' to 'Low Density Multi-Dwelling' as generally illustrated in the sketch below:



Applicant Submission

Company Name (if applicable):

Horizon Land Surveys

LOC Number (office use only):

Applicant's Name:

Lei Wang

Date:

Dec. 15th, 2023

On behalf of the landowner, please accept this application to redesignate a +/-0.058 hectare site from R-C2 to H-GO to allow for:

- grade-oriented development in a range of housing forms where the dwelling units may be attached or stacked within a shared building or cluster of buildings in the form and at a scale that is consistent with low density residential districts;
- a maximum building height of 12 metres (an increase from the current maximum of 10 metres)
- flexible parcel dimensions and building setbacks that allow a diversity of grade-oriented housing
- the uses listed in the proposed H-GO designation.

The subject site, 1306 36 Street SE, is a mid-block lot located in the community of Forest Lawn along 36 Street SE. The lot is current developed with a single detached dwelling built in 1940. R-CG lots exist on the same block along 14 Ave SE. Multi-residential M-CG houses are to the immediate west of the site cross 36 Street. The site is surrounded in the other directions by single detached dwellings or semi-detached dwelling.

The site is approximately 0.058 hectares in size. Lane exists to the east of the site. The site is along 36 Street, which is part of city's primary transit network. Closet bus stop is just within 20 meters cross 36 Street.

The project will seek LEED Gold Certificate. Measures like preserving existing mature trees, planting new landscaping, encouraging green roofs and walls, permeable pavement, EV charging and solar roof panels will be explored to improve project's climate resilience.

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of



inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the H-GO provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

Housing diversity and choice policies encourage the provision of a wide range of housing types, tenures and densities that may meet affordability, accessibility, life cycle and lifestyle needs of different groups; an adaptation of the City's existing housing stock to enable changing households to remain in the same neighbourhood for longer time periods through allowing accessory suites in low density areas. So we sincerely hope city can support our application.

Applicant Outreach Summary

2023 December 18



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 1306 36 Street SE

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, our office completed the "Community Outreach Assessment". The project's impact score is "1A". So we are implementing a direct approach to reach to community association, local residents within a 100 meters radius and also Ward Councilor Office.

On Dec.11th, 2023, our staff did post card deliver to residents within a 100 meters radius. During the process, our staff did door knocking and spoke with residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

We have also contacted community association and councilor's office for comments. Until today, we haven't received any response yet.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with local residents, Councilor office and community association. And better explain to local residents about proposed developments and restrictions under H-GO.

calgary.ca/planningoutreach

Land Use Amendment in Bankview (Ward 8) at multiple properties, LOC2023-0311

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.21 hectares ± (0.52 acres ±) located at 1501, 1505, 1507, 1509, 1511, 1513 and 1515 – 25 Avenue SW (Plan 3910R, Block 2, Lots 2 to 6 and 23 to 25) from Residential – Contextual One / Two Dwelling (R-C2) District to Direct Control (DC) District to accommodate retention of existing historic houses and allow for opportunities for additional development, with guidelines (Attachment 2).

HIGHLIGHTS

- This application seeks to redesignate the subject sites to allow for retention of seven historic houses in the community of Bankview and allow for sensitive opportunities for development over time.
- This land use amendment would allow for the creation of the first Direct Control (DC) Heritage Area in Calgary preserving the historic character of a block of seven historic character homes in Bankview and would align with applicable heritage planning policy in the *Municipal Development Plan* and relevant planning policy in the *Bankview Area Redevelopment Plan*.
- What does this mean to Calgarians? This land use amendment allows property owners to conserve the heritage character of this block within Bankview as growth and change occurs.
- Why does this matter? This land use amendment, developed with support of property owners, allows for preservation of undesignated heritage assets which is important to existing landowners and local residents.
- No development permit has been submitted at this time.
- Through the report to the Standing Policy Committee on Planning and Urban Development, Administration was given authority to develop heritage conservation tools and incentives including the creation of the first Direct Control Heritage Area (Attachment 3).

DISCUSSION

This City-initiated land use amendment application in the southwest community of Bankview was submitted by the City and Regional Planning Business Unit on 2023 October 12.

The site comprises seven parcels occupied by seven historic buildings constructed between 1911 and 1912 and is one block west of 14 Street SW and fronts 25 Avenue SW. The site is surrounded by a variety of different scales of development. North of the site is a four-storey apartment building, with a three-storey apartment building to the east, a terraced house and apartment building to the south and a recently constructed apartment building and single detached dwellings to the west.

As indicated in the Applicant Submission (Attachment 4), the proposed City-initiated land use amendment is a pilot project developed by City and Regional Planning with the support of

Land Use Amendment in Bankview (Ward 8) at multiple properties, LOC2023-0311

landowners of the subject parcels. The draft DC District is a heritage area planning tool and seeks to preserve the character of these heritage assets which hold significant heritage value to the landowners and the local community. This DC District creates site specific land use rules which allow for limited opportunities for development on each parcel (such as secondary suites or backyard suites) and allows for future redevelopment on the parcel which would take a similar form to the current buildings on site.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate.

City and Regional Planning undertook extensive engagement for this application, summarized as follows:

March-April 2021

- online project page launched, and interest survey mailed out to all property owners in eligible areas
- follow-up mail information provided, including to other nearby Community Associations (Bankview, Cliff Bungalow, Crescent Heights)
- two virtual information sessions held to introduce the concept and answer questions from property owners

June 2021

- mail-out and email information to property owners in Bankview, advising of successful selection for pilot
- online live session with property owners on 25 Avenue SW

August 2021

- City of Calgary Engage portal launched and property owners who provided signed authorization forms were provided access
- first online survey provided via engage portal, providing information, and soliciting feedback on heritage character and Direct Control approach

September 2021

- second online survey – summarizing feedback responses from previous session and requesting more focused feedback on potential Direct Control rules

Land Use Amendment in Bankview (Ward 8) at multiple properties, LOC2023-0311

Q3 2022

- first Bylaw draft shared with participant property owners
- online live session to discuss bylaw with opportunity for questions

March 2023

- Calgary Planning Commission (CPC) closed workshop with request for feedback from CPC members

September 2023

- updated bylaw shared with property owners
- drop-in, in-person information session provided

October 2023

- authorization forms obtained from all property owners to submit application
- circulation of draft bylaw to Heritage Calgary, prior to application submission

January 2023

- updated bylaw draft shared with property owners
- confirmation with property owners of authorization to proceed to February 2024 CPC

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received one letter of support from a resident of a surrounding property.

Heritage Calgary was circulated and provided a letter of support in respect to the application (Attachment 5).

No comments from the Bankview Community Association were received. Administration contacted the Community Association to follow up and no response was received.

IMPLICATIONS

Social

The proposed application seeks to pioneer a unique land use approach to recognise and retain the existing heritage features of seven character homes. Retention of heritage assets has significant social benefit to the local Bankview community.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*.

Land Use Amendment in Bankview (Ward 8) at multiple properties, LOC2023-0311

Economic

This land use amendment would result in the retention of seven heritage homes within Bankview and will have no adverse financial impact.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Direct Control District
3. Administration report to SPC on Planning and Urban Development
4. Applicant Submission
5. Heritage Calgary Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the southwest community of Bankview, encompassing a full block between 14 A Street and 15 Street SW. The site comprises seven titled parcels each approximately 8.2 metres wide and range from 22.7 to 37.5 metres deep. The site is occupied by seven historic properties constructed between 1911 and 1912.

The site is one block west of 14 Street SW and fronts 25 Avenue SW to the north. Surrounding development is characterized by a variety of development. North of the site is a four-storey apartment building, with a three-storey apartment building to the east, a terraced house and apartment building to the south and a recently constructed apartment building and single detached dwellings to the west.

Community Peak Population Table

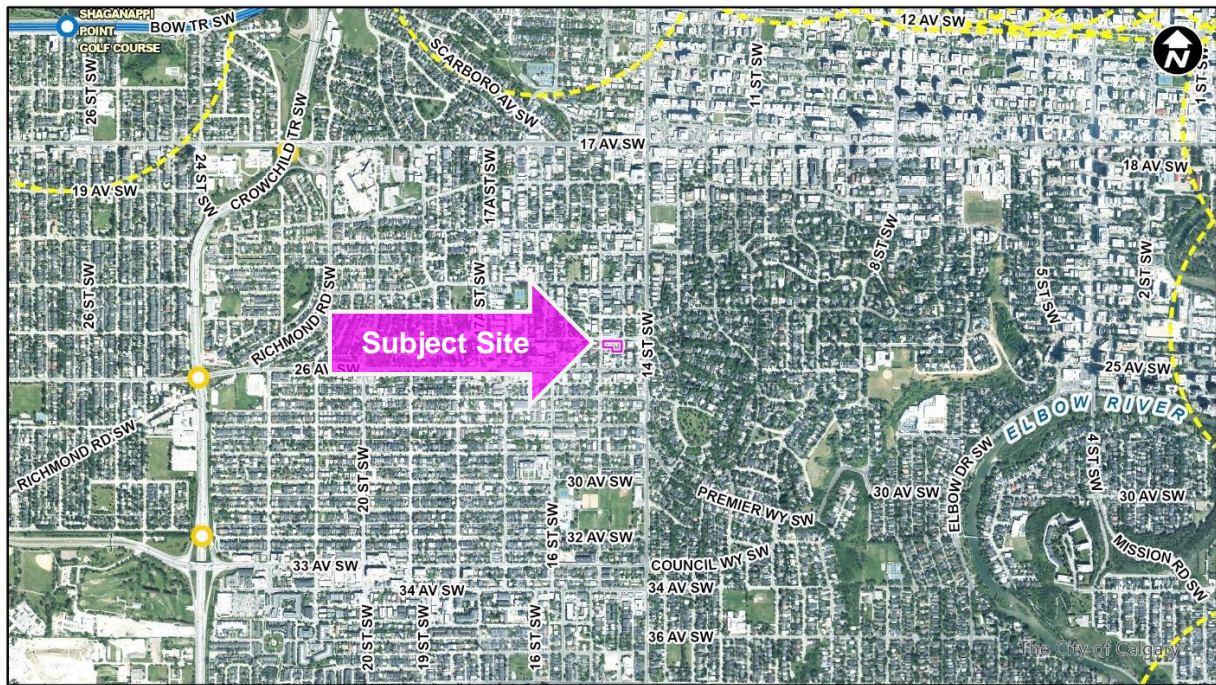
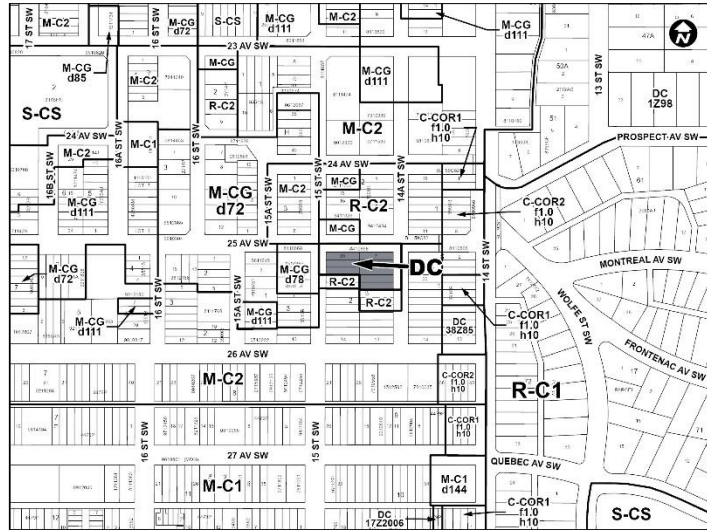
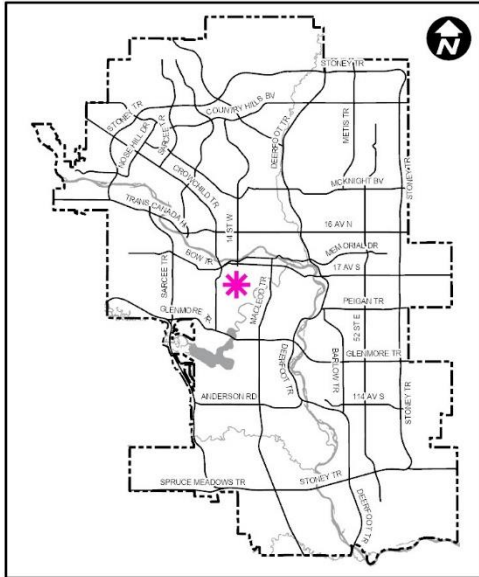
As identified below, the community of Bankview reached its peak population in 1981.

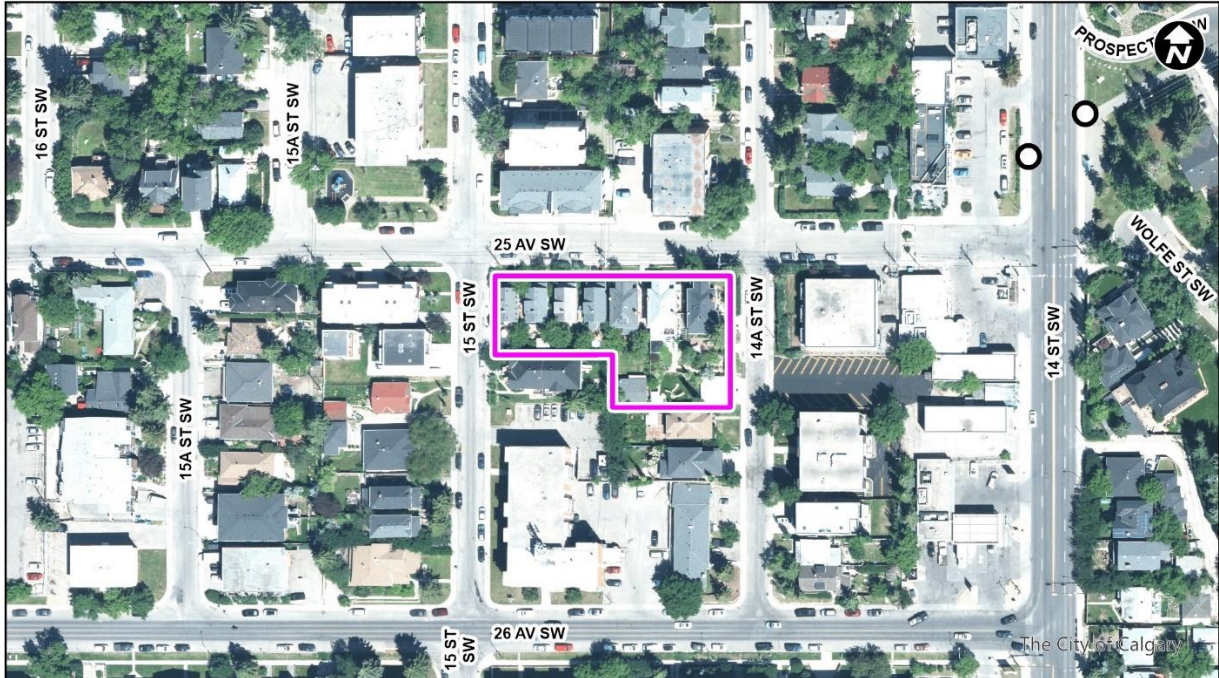
Bankview	
Peak Population Year	1981
Peak Population	5590
2019 Current Population	5256
Difference in Population (Number)	-334
Difference in Population (Percent)	-5.97%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Bankview Community Profile](#)

Location Maps





Previous Council Direction

A presentation entitled "Heritage Conservation Tools and Incentives Update Report", dated 2020 July 15, was electronically distributed and displayed with respect to Report PUD2020-0758.

Moved by Councillor Farrell

That with respect to Report PUD2020-0758, the following be approved:

That the Standing Policy Committee on Planning and Urban Development recommend that Council direct Administration to:

1. Undertake a two-year phased program (2021 – 2023) to implement the heritage area policy tools, using the recommended thresholds, through the local area planning process, Land Use Bylaw amendments, or associated land use redesignations, and return to the Standing Policy Committee on Planning and Urban Development to report on the progress in Q1 2024.

MOTION CARRIED

Planning Evaluation

Land Use

The subject parcels are currently designated Residential – Contextual One / Two Dwelling (R-C2) District, which accommodates the largely single detached dwelling development form currently occupied by properties on the sites.

The City has partnered with current land owners of these sites to develop the first Direct Control Heritage Area in Calgary which seeks to preserve the historic homes occupying the site, while at the same time allowing for limited forms of development (such as secondary suites and backyard suites) and would allow for a sensitive form of redevelopment to occur, if desired, which would not compromise the historic value of the adjacent historic properties.

Pursuant to Section 20 of the Land Use Bylaw 1P2007, this application for a DC District has been reviewed by Administration and the use of a DC District is necessary to provide for the proposed development, as this is an innovative idea - to create development rules to preserve historic homes, on the same block in a Calgary neighbourhood. The same result could not be achieved through the use of a standard land use district in the Land Use Bylaw.

The proposed DC District includes a rule that allows the Development Authority to relax Sections 8, 10, 13, 15, 19, 20, 21, 22, 23, 24, 28, 29, 30, 31 and 32 of the DC District Bylaw.

Section 7 incorporates the rules of the base district in Bylaw 1P2007 where the DC District does not provide for a specific regulation. In a standard district, many of these rules can be relaxed if they meet the test for relaxation of Bylaw 1P2007. The intent of this DC District rule is to ensure that rules of Bylaw 1P2007 that regulate aspects of development that are not specifically regulated in this DC District can also be relaxed in the same way that they would be in a standard district.

Development and Site Design

This DC District is based on the R-C2 District. The rules in this DC District seek to maintain the current built form on site, preserving the character of the existing historic homes on the block, while allowing for limited forms of appropriate development (such as secondary suites and backyard suites). If the parcels redevelop over time, the DC district provides land use rules to ensure future redevelopment of the parcels is sympathetic to, and in keeping with, the design and materials of the historic homes.

Historical Significance

The site comprises seven historic properties constructed between 1911 and 1912. Three of these properties are listed on Calgary's Inventory of Evaluated Historic Resources. The historic homes create a unique historic streetscape in the Bankview community which is undergoing change with construction of multi-residential and infill developments.

This heritage area DC District, the first of its kind in Calgary, developed with the consent of landowners, will preserve the historic properties and their features in the local community.

Transportation

Pedestrian access to the site is available from the existing sidewalks on 14A Street SW, 15 Street SW, and 25 Avenue SW.

This site is located adjacent to an on-street bikeway as identified on the Always Available for All Ages and Abilities (5A) Network, along 25 Avenue SW. Additionally, the parcels are located close to the 26 Avenue SW improvement project, to facilitate an improved cycling and pedestrian domain.

The subject site is well served by Calgary Transit. Transit stops for Routes 7 and 22 are located along 14 Street SW, with the southbound stop 120 metres (a two-minute walk), and the northbound stop 140 metres (a two-minute walk) from the site.

Direct vehicular access to the site exists from 14A and 15 Street SW, as well as from 25 Avenue SW. On-street parking is presently unrestricted along 15 Street SW, and parking restrictions occur on 14A Street SW and 25 Avenue SW.

Environmental Site Considerations

No environmental concerns were noted and no reports were required for this proposed land use amendment.

Utilities and Servicing

Sanitary, storm and water mains are available to service the site. Details on servicing will be reviewed with a Development Permit submission.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcels are located within the Developed Residential – Inner City Area within the [Municipal Development Plan](#) (MDP) Urban Structure map. This land use amendment aligns with MDP planning policy, as the creation of a DC heritage area bylaw would allow for the preservation of seven historic homes, which contribute to the local Bankview community and the character of the street, while allowing for small scale development and limited sensitive redevelopment opportunities over time.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#).

Bankview Area Redevelopment Plan (Statutory – 1981)

The [Bankview Area Redevelopment Plan](#) (ARP) identifies the site as being in the Conservation land use typology in the Land Use Policy map (Figure 2). This land use amendment is in line with the Conservation land use typology which seeks to retain the existing neighbourhood character, with one and two storey houses.

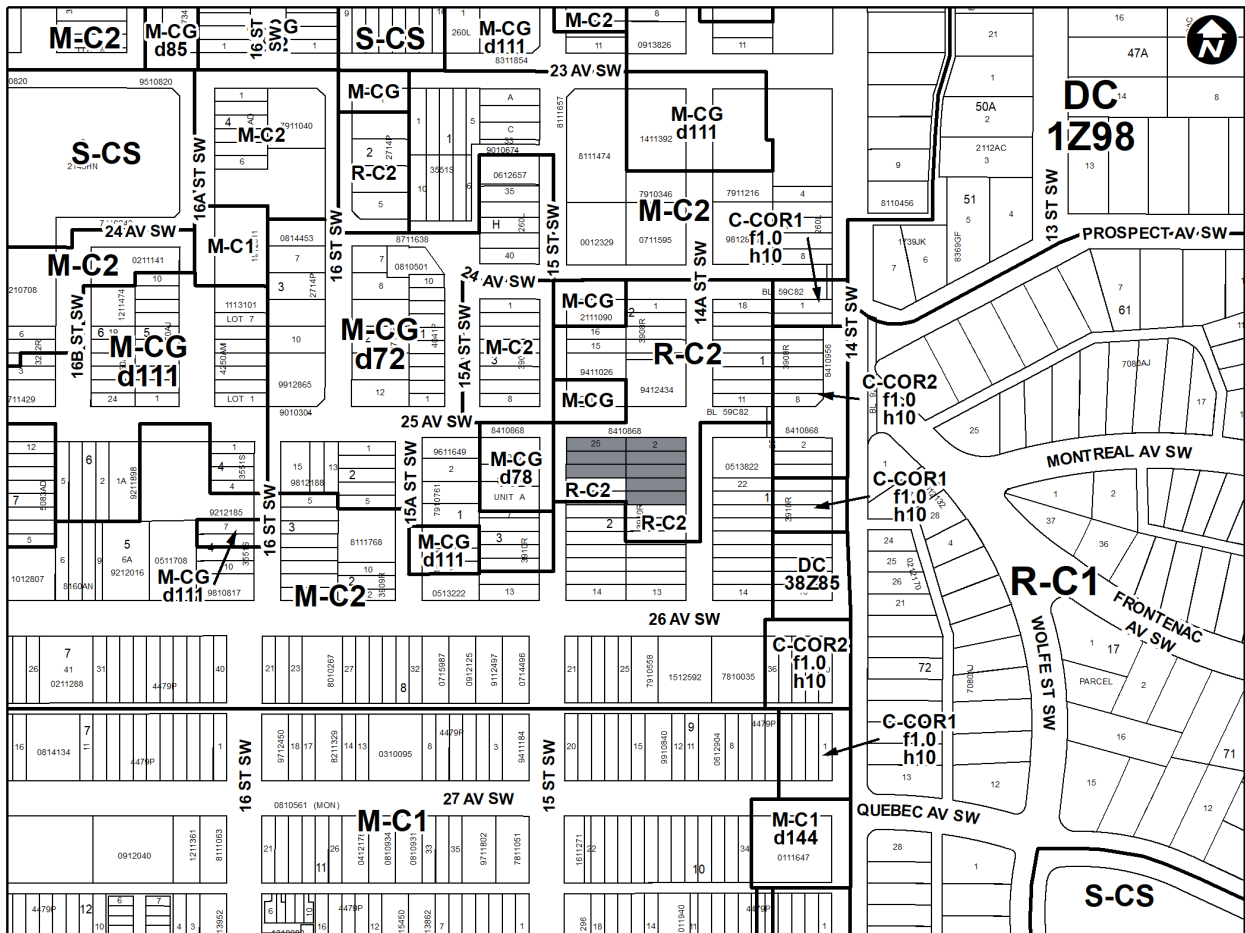
West Elbow Communities Local Area Planning project

Administration is currently working on the [West Elbow Communities local area planning project](#) which includes Bankview and surrounding communities. Planning applications are being accepted for processing during the local area planning process and are reviewed using existing legislation and Council approved policy.

Proposed DC Direct Control District

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule A to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule B to this Bylaw, including any land use designation, or specific land uses and development rules contained in the said Schedule B.

SCHEDULE A



DIRECT CONTROL DISTRICT

Purpose

- 1 This Direct Control District is intended to:
- (a) ensure future development is compatible with, and sensitive to, the unique heritage context of 25 Avenue SW and 14A Street SW, including the specific placement, form, design and appearance of existing buildings, and arrangement of landscape elements; and
 - (b) support the retention of the existing historic houses and provide context-sensitive opportunities for additional development.

Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

Reference to Bylaw 1P2007

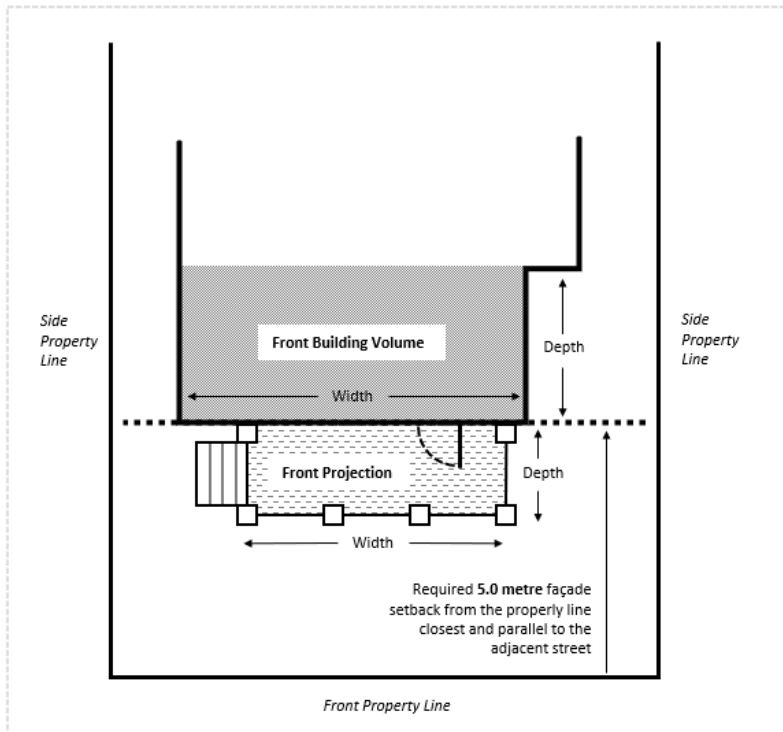
- 3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

General Definitions

- 4 In this Direct Control District:
- (a) “**front building volume**” means a volumetric area of a **building** that:
 - (i) has a continuous façade established along a line 5.0 metres from and parallel to, the **property line** closest to the adjacent **street**, and
 - (ii) has a depth of 3.0 metres, measured from the line specified in (i) in the direction away from the adjacent **street**.
 - (b) “**front projection**” means an enclosed or unenclosed portion of a **building** that:
 - (i) is located between the **front building volume** and the **property line** of the adjacent **street**,
 - (ii) includes an entrance, or access to an entrance along the front façade of the **front building volume**; and
 - (iii) if enclosed, provides a minimum 35.0 per cent of the total façade area on each façade as glazing.

Illustration 1: Front Building Volume and Front Projection

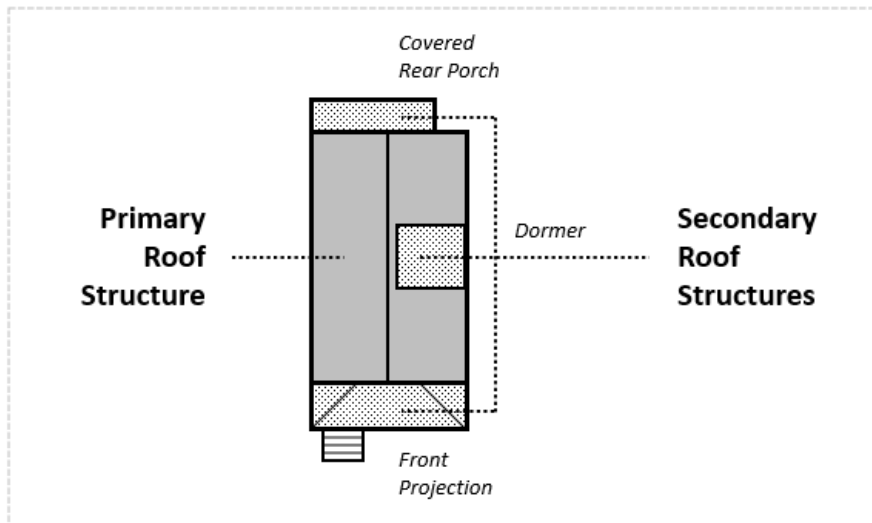
Note: Provided for illustrative purposes only, to assist interpretation of Sections 4(a) and 4(b).



- (c) “**primary roof structure**” means all roofing elements of a **building** excluding any **secondary roof structures**.
- (d) “**secondary roof structure**” means roofing elements above a **front projection**, dormer, cantilevered area, or rear **porch**.

Illustration 2: Primary Roof Structure and Secondary Roof Structures

Note: Provided for illustrative purposes only, to assist interpretation of Sections 4(c) and 4(d)



Permitted Uses

5 The **permitted uses** of the Residential – Contextual One / Two Dwelling (RC-2) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District, with the exclusion of:

- (a) **Contextual Semi-detached Dwelling;** and
- (b) **Contextual Single Detached Dwelling.**

Discretionary Uses

6 The **discretionary uses** of the Residential – Contextual One / Two Dwelling (RC-2) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District, with the exclusion of:

- (a) **Duplex Dwelling.**

Bylaw 1P2007 District Rules

7 Unless otherwise specified, the rules of the Residential – Contextual One / Two Dwelling (R-C2) District of Bylaw 1P2007 apply in this Direct Control District.

Projections into Rear Setback Area

8 (1) Stairs, **decks, porches, landings**, fireplaces, air conditioning equipment, window wells, fire escapes and ramps may project without limits into any **rear setback area**.

(2) Awnings, **balconies, bay windows**, canopies, chimneys and eaves may project a maximum of 1.5 metres into any **rear setback area**.

- (3) A **private garage** attached to a **building** may project without limits into a **rear setback area** provided it:
- (a) does not exceed 4.6 metres in height, measured from the finished floor of the **private garage**;
 - (b) does not exceed 75.0 square metres in **gross floor area** for each **Dwelling Unit** located on the **parcel**;
 - (c) has no part that is located closer than 0.6 metres to the **rear property line**; and
 - (d) has no eave closer than 0.6 metres to a **side property line**.
- (4) When an attached **private garage** has a **balcony** or **deck**, the **balcony** or **deck** must not be located within 6.0 metres of a **rear property line** or 1.2 metres of a **side property line**.

Buildings Deemed Conforming

- 9 **Main residential buildings and Accessory Residential Buildings** existing at the time of passage of this Direct Control District Bylaw are deemed to conform with the requirements of this Direct Control District Bylaw.

Fences

- 10 The height of a **fence** above **grade** at any point along a **fence** line must not exceed:

- (a) 0.5 metres for any portion of a **fence** extending between the foremost front façade of the **main residential building** and the **front property line**;
- (b) 2.5 metres at the highest point of a gate that is not more than 2.5 metres in length; and
- (c) 2.0 metres in all other cases.

Motor Vehicle Parking Stalls

- 11 There is no minimum requirement for **motor vehicle parking stalls** within this Direct Control District.

Garage Placement

- 12 A **private garage** must be located within the rear setback area, except where vehicular access is provided to 14A Street SW.

Site Design & Landscaping

- 13 Landscaping within the **actual front setback area** must comprise soft surface landscaping, except where existing prior to the passage of this Direct Control Bylaw, or as part of a driveway providing access to 25 Avenue SW.

Accessory Suite - Density

- 14 (1) There must not be more than one **Backyard Suite** located on a **parcel**.

- (2) There must not be more than one **Secondary Suite** contained within a **Dwelling Unit**.
- (3) A **Backyard Suite** may be located on the same parcel as a **Secondary Suite**.

Parcel Coverage

15 The maximum **parcel coverage** is 45.0 per cent of the area of a **parcel**.

Site 1 (± 0.13 ha)

Application

16 The provisions in Sections 17 through 24 apply only to Site 1.

Building Height

- 17
- (1) Unless otherwise specified, the maximum **building height** is a geodetic elevation of 1105.0 metres.
 - (2) With the exception of **Accessory Residential Buildings** or a **Backyard Suite**, new **development** or additions to a **main residential building** with portions within 7.5 metres of a **rear property line** must have a maximum **building height** not exceeding a height plane that:
 - (a) begins at the intersection of the required **building setback** from the **rear property line** reduced by 3.0 metres, and a geodetic elevation of 1102.5 metres;
 - (b) extends upwards at a 4:12 slope towards the **front property line** to the **building height** of the existing **building**; and
 - (c) extends horizontally towards the opposite end of the **parcel**.
 - (3) The height of any **secondary roof structure** above the first storey of a **front projection** must be located at a geodetic elevation of between 1099.0 and 1099.5 metres, as measured to the underside of any rafter.
 - (4) Unless otherwise specified, **buildings** must have a main floor located between a geodetic elevation 1096.0 and 1096.5 metres measured at the top of the floor joists.
 - (5) There is no specified main floor elevation for **Accessory Residential Buildings**, or **Backyard Suites** that do not contain a **front building volume**.

Building Setback Areas

18 Section 434 of the Land Use Bylaw 1P2007 does not apply to this Direct Control Bylaw.

Building Setback from Front Property Line

19 Unless otherwise specified in this Direct Control District, the minimum **building setback** from a **front property line** is 2.5 metres.

Building Setback from Rear Property Line

- 20 (1) Unless otherwise specified in this Section, the minimum **building setback** from a **rear property line** is 3.0 metres.
- (2) For an **Accessory Residential Building** developed on, and not exceeding, the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control Bylaw, the minimum **building setback** from a **rear property line** is 0.4 metres.
- (3) For a **Backyard Suite** developed on, and not exceeding, the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control Bylaw, the minimum **building setback** from a **rear property line** is 0.6 metres.
- (4) For a **Backyard Suite** which exceeds the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control Bylaw, the minimum **building setback** from a **rear property line** is 1.5 metres.

Building Setback from Side Property Line

- 21 (1) Unless otherwise specified in this Section the minimum **building setback** from any **side property line** is 1.2 metres.
- (2) For an **Accessory Residential Building** developed on, and not exceeding, the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control Bylaw, the minimum **building setback** from a **side property line** is 0.4 metres.
- (3) A **Backyard Suite** developed on, and not exceeding, the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control Bylaw does not have a minimum **building setback** from any **side property line**.
- (4) For a **parcel** containing a **Semi-detached Dwelling**, there is no requirement for a **building setback** from the **property line** upon which the party wall is located.

Backyard Suite

- 22 (1) The maximum **building height** for a **Backyard Suite** is a geodetic elevation of 1102.5 metres.
- (2) The maximum floor area of a **Backyard Suite** is 94.0 square metres.
- (3) Where a **Backyard Suite** includes a **balcony** that:
- (a) faces a **property line** shared with a **low density residential district**, and
- (b) has a setback of less than 4.0 metres from the shared **property line**,
- the **balcony** must include a **privacy wall** with a height between 2.0 and 3.0 metres.

Design for New Development Facing 25 Avenue SW

- 23 (1) **Accessory Residential Buildings** with a **gross floor area** less than or equal to 10.0 square metres are not subject to the rules of Section 23.
- (2) Section 23 does not apply when any **building setback** to 14A Street SW for **Accessory Residential Buildings** and **Backyard Suites** is less than or equal to 15.0 metres.
- (3) Unless otherwise specified in subsections (4) and (5), for **parcels** with a **front property line** parallel to 25 Avenue SW, **buildings** must provide the following features:
- (a) a two-storey **front building volume** facing 25 Avenue SW that:
- (i) has a width of between 6.5 and 7.5 metres, excluding any roof elements, which is consistent for the entire depth of the **front building volume**; and
 - (ii) does not include any projections except a two-storey **front projection**.
- (b) a two-storey **front projection** facing 25 Avenue SW that:
- (i) has a width for the first **storey** of between 4.0 and 7.5 metres, excluding any roof elements;
 - (ii) has a width for the second **storey** of between 2.5 and 7.5 metres, excluding any roof elements;
 - (iii) has a minimum depth of 2.0 metres;
 - (iv) has a hipped or shed-style **secondary roof structure** above the first **storey**;
 - (v) has a front-gable style **secondary roof structure** above the second **storey**; and,
 - (vi) is provided as one of the following:
 - (A) a **porch** with a **balcony** above; or
 - (B) a first **storey** enclosed space, and a second **storey** enclosed space.
- (4) For a **Semi-Detached Dwelling**, the features listed in subsection (3) must be provided for each **Dwelling Unit**, with a minimum separation of 3.0 metres from any other **front building volume**.
- (5) **Accessory Residential Buildings** and **Backyard Suites** are not required to have a **front building volume** or **front projection**.

- (6) The **primary roof structure** for a **building**, except **Accessory Residential Buildings** and **Backyard Suites**, must use a hipped design with a minimum pitch of 6/12.
- (7) The **primary roof structure** for an **Accessory Residential Building** or **Backyard Suite** must use a hipped or gable design with a minimum pitch of 6/12.
- (8) Except **Accessory Residential Buildings** and **Backyard Suites**, where a **secondary roof structure** is provided, it must use one of the following designs:
- (a) gable (front or side), with a minimum pitch of 8/12;
 - (b) hipped, with a minimum pitch of 4/12; or
 - (c) shed, with a minimum pitch of 6/12.
- (9) For **Accessory Residential Buildings** and **Backyard Suites**, the style and pitch of a **secondary roof structure** are not specified.
- (10) Exterior cladding for a **main residential building** must comply with the following rules:
- (a) a minimum 75.0 per cent of the façade area of each first **storey building** façade must feature brick; and
 - (b) a minimum 75.0 per cent of the façade area of each second **storey building** façade must feature wood cladding, or cement board cladding that closely replicates the appearance of wood, using one or more of the following styles:
 - (i) shingles;
 - (ii) narrow profile horizontal siding, with a maximum visible board width of between 0.10 and 0.13 metres, inclusive;
 - (c) a maximum 25.0 per cent of the façade area of each **building** façade on the first or second **storey** may also feature brick (or brick veneer), concrete, metal, cementitious product (e.g. stucco), or other wood or cement board cladding in one or more of the following locations:
 - (i) below the main floor, as cladding on projections;
 - (ii) surrounding windows and doors;
 - (iii) enclosing eaves; or
 - (iv) at the front of gables.

- (11) Exterior cladding for **Accessory Residential Buildings** and **Backyard Suites** must be limited to the following materials: brick, wood, or cement board that closely replicates the appearance of wood.
- (12) For a **main residential building**, windows must comply with the following rules:
- (a) individual windows must be rectangular and vertically-oriented, with a 2:1 height-to-width ratio;
 - (b) individual windows must not exceed 2.0 metres tall by 1.0 metres wide, but may be arranged in groups to create larger areas of glazing;
 - (c) windows with a total glazed area less than 1.0 square metres are not subject to the rules in subsections (a) and (b);
 - (d) all glazing must feature a surrounding sash;
 - (e) windows must feature exterior surrounding trim with a width between 0.075 metres and 0.150 metres, inclusive; and
 - (f) windows must not feature decorative elements (e.g. muntins, frosted or decorative glass) except muntins that provide the appearance of a “one-over-one”, “three-over-one” or “four-over-one” style hung window.
- (13) For **Accessory Residential Buildings** or **Backyard Suites**, windows must comply with the following rules:
- (a) all glazing must feature a surrounding sash;
 - (b) windows must feature exterior surrounding trim with a width between 0.075 metres and 0.150 metres, inclusive; and
 - (c) windows must not feature decorative elements (e.g. muntins, frosted or decorative glass) except muntins that provide the appearance of a “one-over-one”, “three-over-one” or “four-over-one” style hung window.

Design for New Development Facing 14A Street SW

- 24 (1) **Accessory Residential Buildings** with a **gross floor area** less than or equal to 10.0 square metres are not subject to the rules of Section 24.
- (2) Unless otherwise specified in subsections (3), (4) and (5), a **building** must provide the following features where it is developed on a **parcel** with a **front property line** parallel to 14A Street SW, or where any **building** setback to 14A Street SW is less than or equal to 15.0 metres:
- (a) A two-storey **front building volume** facing 14A Street SW that:
 - (i) has a width of between 6.5 and 7.5 metres, inclusive, excluding any roof elements, which is consistent for the entire depth of the **front building volume**; and,

- (ii) does not include any projections except a two-**storey front projection**.
- (b) a two-storey **front projection** facing 14A Street SW that:
 - (i) has a width for the first **storey** of between 4.0 and 7.5 metres, inclusive, excluding any roof elements;
 - (ii) has a width for the second **storey** of between 2.5 and 7.5 metres, inclusive, excluding any roof elements;
 - (iii) has a minimum depth of 2.0 metres;
 - (iv) has a hipped or shed-style **secondary roof structure** above the first **storey**;
 - (v) has a front-gable style **secondary roof structure** above the second **storey**; and
 - (vi) is provided as one of the following:
 - (A) a **porch** with a **balcony** above; or
 - (B) a first **storey** enclosed space, and a second **storey** enclosed space.
- (3) For a **Semi-detached Dwelling**, the features listed in subsection (2) must be provided for each **Dwelling Unit**, with a minimum separation of 3.0 metres between any other **front building volume** attached to the same **main residential building**.
- (4) For a **Backyard Suite** developed on and not exceeding the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control, the **Backyard Suite** is not required to have a **front building volume** or **front projection**.
- (5) Where a **Backyard Suite** is developed which exceeds the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control:
 - (a) the **Backyard Suite** must provide the following features:
 - (i) a one-**storey** or two-**storey front building volume**, oriented towards 14A Street SW that:
 - (A) has a width of between 6.0 and 7.0 metres, inclusive, excluding any roof elements;
 - (B) has a minimum setback from the **property line** closest and parallel to 14A Street SW of 5.0 metres;

- (C) provides a **building** entrance on the façade closest and parallel to the **front property line**; and
 - (D) includes glazing on the façade closest and parallel to the **front property line**, equal to a minimum 35.0 per cent of the façade area.
- (b) where a **Backyard Suite** is constructed above an existing **Accessory Residential Building**, the existing **Accessory Residential Building** is exempt from the rules of Section 24.
- (6) A **primary roof structure** is provided, it must use one of the following designs:
- (a) hipped, with a minimum pitch of 6/12; or
 - (b) front-gable, with a minimum pitch of 8/12.
- (7) Unless otherwise specified in subsection (2), where a **secondary roof structure** is provided, it must use one of the following designs:
- (a) gable (front or side), with a minimum pitch of 8/12;
 - (b) hipped, with a minimum pitch of 4/12; or
 - (c) shed, with a minimum pitch of 6/12.
- (8) The exterior cladding for **buildings** must comply with the following rules:
- (a) a minimum 75.0 per cent of the façade area of each **building** façade must feature one of the following:
 - (i) brick cladding; or
 - (ii) wood cladding or cement board cladding that closely replicates the appearance of wood, using one or more of the following styles:
 - (A) shingles; or
 - (B) narrow profile horizontal siding, with a maximum visible board width of between 0.010 and 0.013 metres, inclusive.
 - (b) a maximum 25.0 per cent of the façade area of each **building** façade may feature brick (or brick veneer), concrete, metal, cementitious product (ex. stucco), or other wood or cement board cladding in one or more of the following locations:
 - (i) below the main floor, as cladding on projections;
 - (ii) surrounding windows and doors;

- (iii) enclosing eaves; or
 - (iv) at the front of gables.
- (9) Unless otherwise specified in subsection (10), windows on a **building** must comply with the following rules:
- (a) individual windows on any **building** façade within 15.0 metres of 14A Street SW must be rectangular and vertically-oriented, with a 2:1 height-to-width ratio;
 - (b) individual windows must not exceed 2.0 metres tall by 1.0 metres wide, but may be arranged in groups to create larger areas of glazing;
 - (c) windows with a total glazed area less than 1.0 square metres are not subject to the rules in subsections (9)(a) and (9)(b);
 - (d) all glazing must feature a surrounding sash;
 - (e) windows must feature exterior surrounding trim with a width between 0.075 metres and 0.150 metres, inclusive;
 - (f) windows must not feature decorative elements (e.g. muntins, frosted or decorative glass) except muntins that provide the appearance of a “one-over-one”, “three-over-one” or “four-over-one” style hung window.
- (10) For an **Accessory Residential Building** or **Backyard Suite** developed on, and not exceeding the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control Bylaw, windows must comply with the following rules:
- (a) all glazing must feature a surrounding sash;
 - (b) windows must feature exterior surrounding trim with a width between 0.075 metres and 0.150 metres, inclusive; and
 - (c) windows must not feature decorative elements (e.g. muntins, frosted or decorative glass) except muntins that provide the appearance of a “one-over-one”, “three-over-one” or “four-over-one” style hung window.

Site 2 (± 0.08 ha)

Application

25 The provisions in Sections 26 through 32 apply only to Site 2.

Building Height

26 (1) The maximum **building height**, excluding **Accessory Residential Buildings**, is a geodetic elevation of 1105.0 metres.

- (2) With the exception of **Accessory Residential Buildings** or **Backyard Suites** that is developed on and not exceeding the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control Bylaw, the main floor of a **building** must be located at a geodetic elevation between 1096.5 and 1096.7 metres, measured at the top of the floor joists.
- (3) Additions to **main residential buildings** with portions within 7.5 metres of a **rear property line** must have a maximum **building height** not exceeding a height plane that:
- (a) begins at the intersection of the required **building setback** from the **rear property line** reduced by 3.0 metres, and a geodetic elevation of 1102.5 metres; and,
 - (b) extends upwards at a 4:12 slope towards the **front property line** to the **building height** of the existing **building**; and,
 - (c) extends horizontally towards the opposite end of the **parcel**.
- (4) The height of any **secondary roof structure** above the first **storey** of a **front projection** must be located at a geodetic elevation of between 1099.0 and 1099.5 metres, as measured at the underside of any rafter.

Setback Areas

27 Section 434 of the Land Use Bylaw 1P2007 does not apply to this Direct Control Bylaw.

Building Setback from Front Property Line

28 Unless otherwise specified in this Direct Control District, the minimum **building setback** from a **front property line** is 2.5 metres.

Building Setback from Rear Property Line

- 29 (1) Unless otherwise specified in this Section, the minimum **building setback** from a **rear property line** is 5.0 metres.
- (2) For a **Backyard Suite** the minimum **building setback** from a **rear property line** is 0.6 metres.

Building Setback from Side Property Line

- 30 (1) Unless otherwise specified in this Section, the minimum **building setback** from any **side property line** is 1.2 metres.
- (2) A **Backyard Suite** developed on, and not exceeding, the **building** footprint of an **Accessory Residential Building** existing prior to the passage of this Direct Control Bylaw does not have a minimum **building setback** from any **side property line**.
- (3) For a **parcel** containing a **Semi-detached Dwelling**, there is no requirement for a **building setback** from the **property line** upon which the party wall is located.

Backyard Suite

- 31 (1) The maximum **building height** for a **Backyard Suite** is a geodetic elevation of 1102.5 metres.
- (2) The maximum floor area of a **Backyard Suite** is 94.0 square metres.
- (3) Where a **Backyard Suite** includes a **balcony** that:
- (a) faces a **property line** shared with a **low density residential district**, and
 - (b) has a setback of less than 4.0 metres from the shared **property line**, the **balcony** must include a **privacy wall** with a height between 2.0 and 3.0 metres.

Design for New Development

- 32 (1) **Accessory Residential Buildings** with a **gross floor area** less than or equal to 10.0 square metres are not subject to the rules of Section 32.
- (2) Unless otherwise specified in subsections (3) and (4), a **building** must provide the following features:
- (a) a two-storey **front building volume** facing 25 Avenue SW that:
 - (i) has a width of between 5.0 and 6.0 metres, inclusive, on the first **storey**, which is consistent for the entire depth of the **front building volume**;
 - (ii) has a width of between 5.0 and 6.0 metres, inclusive, on the second **storey**, except where the width is reduced to accommodate the required **primary roof structure**;
 - (iii) has a minimum separation of 3.0 metres between any other **front building volumes** attached to the same **main residential building**; and
 - (iv) does not include any projections except a one-storey **front projection**.
 - (b) a one-storey **front projection** facing 25 Avenue SW that:
 - (i) has a minimum equal to 90.0 per cent of the width of a **front building volume**;
 - (ii) has a minimum depth of 1.5 metres;
 - (iii) has a hipped or shed-style **secondary roof structure**; and
 - (iv) is provided as a **porch** forming the entry to the main floor of a **Dwelling Unit**, including a solid or segmented balustrade.

- (3) For a **Semi-Detached Dwelling**, the features listed in subsection (2) must be provided for each **Dwelling Unit**, with a minimum separation of 3.0 metres between any other **front building volume** attached to the same **main residential building**.
- (4) **Backyard Suites** and **Accessory Residential Buildings** are not required to have a **front building volume** or **front projection**.
- (5) Unless otherwise specified in subsections (5), and (6), a **building** must provide a single **primary roof structure** with a front-gable design and a minimum pitch of 10/12.
- (6) A **Semi-detached Dwelling** may use a **primary roof structure** which includes both front-gable and side-gable designs, provided the roof above each **front building volume** of the **building** uses a front-gable design.
- (7) **Backyard Suites** or **Accessory Residential Buildings** must use a hipped, gable-front, or shed style roof, with a minimum pitch of 6/12.
- (8) Unless otherwise specified in subsection (9), **secondary roof structures** for a **building** must use a hipped or shed design with a minimum 6/12 pitch.
- (9) For an **Accessory Residential Building** or **Backyard Suite**, the style and pitch of a **secondary roof structure** are not specified.
- (10) Unless otherwise specified in subsection (11), the exterior cladding for **buildings** must comply with the following rules:
 - (a) a minimum 75.0 per cent of the façade area of each **building** façade must feature wood cladding, or cement board cladding that closely replicates the appearance of wood, using one or more of the following styles:
 - (i) shingles;
 - (ii) narrow profile horizontal siding, with a maximum visible board width of between 0.010 and 0.013 metres, inclusive.
 - (b) a maximum 25.0 per cent of the façade area of each **building** façade may feature brick (or brick veneer), concrete, metal, cementitious product (ex. stucco), or other wood or cement board cladding in one or more of the following locations:
 - (i) below the main floor, as cladding on projections;
 - (ii) surrounding windows and doors;
 - (iii) enclosing eaves; or
 - (iv) at the front of gables.

- (11) Exterior cladding for **Accessory Residential Buildings** and **Backyard Suites** where any **building setback** to 15 Street SW is less than or equal to 10.0 metres must be limited to the following materials: brick, wood, or cement board that closely replicates the appearance of wood.
- (12) Unless otherwise specified in subsection (13), windows for a **building**, except **Accessory Residential Buildings** and **Backyard Suites** must comply with the following rules:
- (a) individual windows must be rectangular and vertically-oriented, with a 2:1 height-to-width ratio;
 - (b) individual windows must not exceed 2.0 metres tall by 1.0 metres wide, but may be arranged in groups to create larger areas of glazing;
 - (c) windows with a total glazed area less than 1.0 square metres are not subject to the rules in subsections (11) and (12);
 - (d) all glazing must feature a surrounding sash;
 - (e) windows must feature exterior surrounding trim with a width between 0.075 metres and 0.150 metres, inclusive;
 - (f) windows must not feature decorative elements (e.g. muntins, frosted or decorative glass) except muntins that provide the appearance of a “1-over-1” style hung window.
- (13) For **Accessory Residential Buildings** or **Backyard Suites** where any **building setback** to 15 Street SW is less than or equal to 10.0 metres, windows must comply with the following rules:
- (a) all glazing must feature a surrounding sash;
 - (b) windows must feature exterior surrounding trim with a width between 0.075 metres and 0.150 metres, inclusive; and
 - (c) windows must not feature decorative elements (e.g. muntins, frosted or decorative glass) except muntins that provide the appearance of a “one-over-one”, “three-over-one” or “four-over-one” style hung window.

Relaxations

33 The **Development Authority** may relax the rules contained in Sections 8, 10, 13, 15, 19, 20, 21, 22, 23, 24, 28, 29, 30, 31 and 32 of this Direct Control District in accordance with Sections 31 and 36 of Bylaw 1P2007 and where the proposed relaxation provides an alternative design with an appearance that is considered compatible with the surrounding historic context and existing historic houses in the district.

SCHEDULE C

Illustration 1: Front Elevation - Showing Allowable Building Height for Site 1

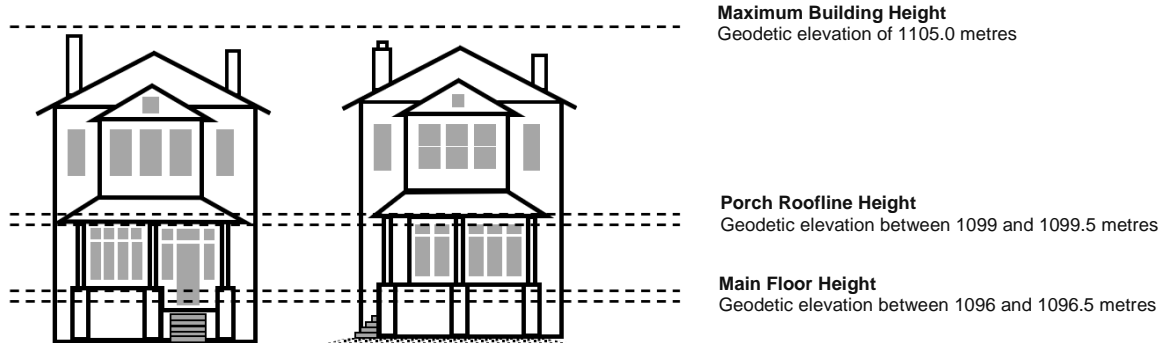


Illustration 2: Front Elevation - Showing Allowable Building Height for Site 2

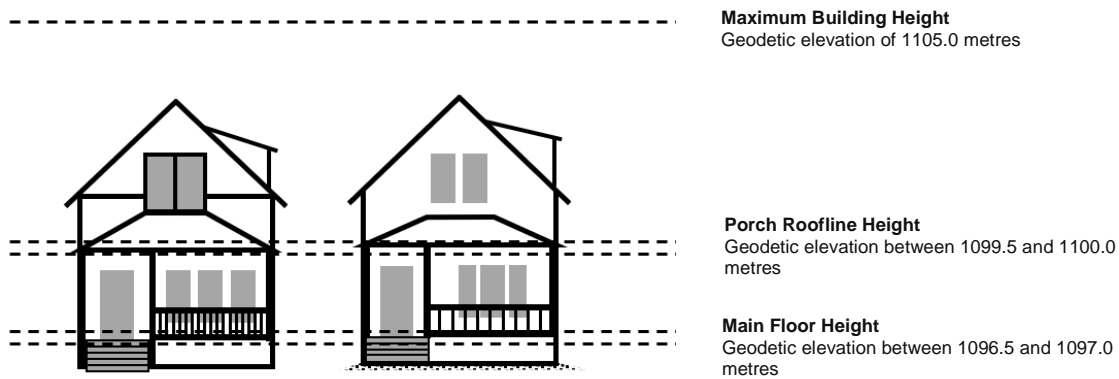
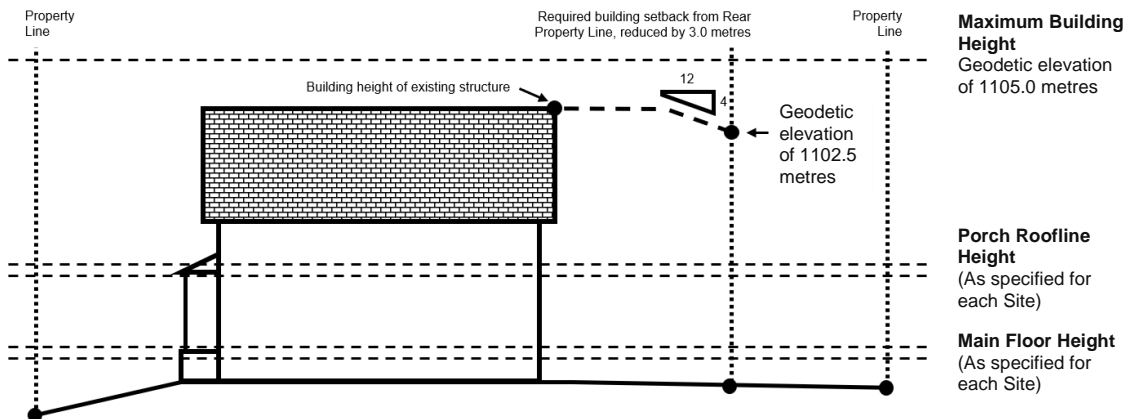


Illustration 3: Side Elevation - Showing Maximum Height for Additions to Existing Buildings in Sites 1 and Site 2



SCHEDULE D

The content of Schedule D, including all text and figures, is provided for supplementary illustrative purposes, and is not intended to show the entirety of available options for Development which meet the rules of this Direct Control Bylaw. Any discrepancy in interpretation between Schedule D and the rules of this Direct Control Bylaw must be resolved in favour of the rules.

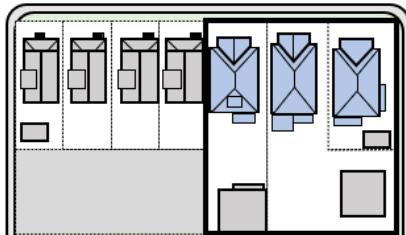
To provide the greatest clarity, materials in Schedule D are intended to be referenced as follows:

Part 1: General Application



Figures 1-3 in Part 1 of this Schedule may be referenced for developments on all properties in the Direct Control where cladding materials, window styles, or roof styles are considered. Not all illustrations will apply to a given development.

Part 2: Development in Direct Control Site 1 Facing 25 Avenue SW



Figures 4-7 in Part 2 of this Schedule may be referenced for developments on properties in Site 1 of the Direct Control which have a front property line parallel to 25 Avenue SW – except for Backyard Suites located within 10.0 metres of 14A Street SW.

Part 3: Development in Direct Control Site 1 Facing 14A Street SW

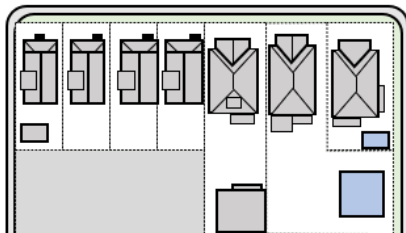


Figure 8 in Part 3 of this Schedule may be referenced for developments on properties with a front property line parallel to 14A Street SW, or developments containing Backyard Suites which are located within 10.0 metres of 14A Street SW. This includes development on lands which are currently configured as rear yard portions of 1505 25 Avenue SW and 1501 25 Avenue SW.

Part 3: Development in Direct Control Site 2



Figures 9-12 in Part 4 of this Schedule may be referenced for developments on properties in Site 2 of the Direct Control, including Backyard Suites which are located within 10.0 metres of 14A Street SW.

Part 1: General Application



Figure 1 – Cladding Material Examples (Images)

Item 1 – Compatible Cladding Examples: (left to right) Brick, Horizontal Siding (narrow profile), Shingle

Item 2 – Incompatible Cladding Examples: (left to right) “Stacked” stone veneer, “Rundlestone” stone veneer, “River Stone” stone veneer

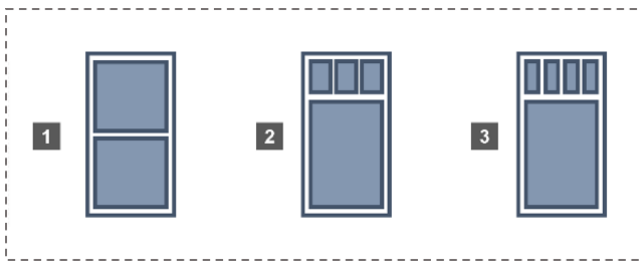


Figure 2 – Window Styles (Illustration)

Item 1 – “One-over-one” style sash window

Item 2 – “Three-over-one” style sash window

Item 3 – “Four-over-one” style sash window

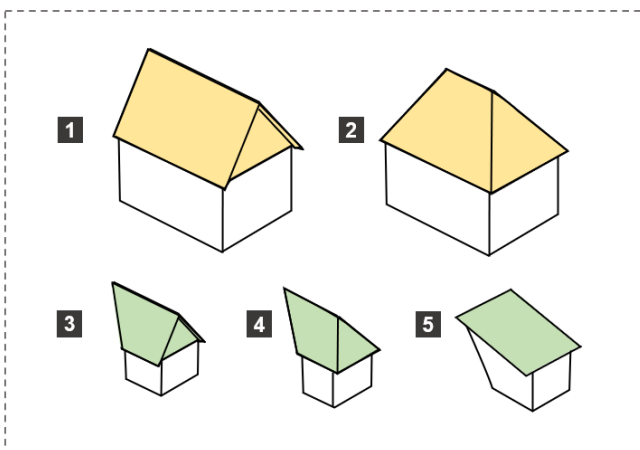


Figure 3 – Styles for Primary and Secondary Roof Structures (Illustration)

Item 1 – “Front Gable” style (primary roof structure)

Item 2 – “Hipped” style (primary roof structure)

Item 3 – “Gable” style (secondary roof structure)

Item 4 – “Hipped” style (secondary roof structure)

Item 5 – “Shed” style (secondary roof structure)

Part 2: Development in Direct Control Site 1 Facing 25 Avenue SW

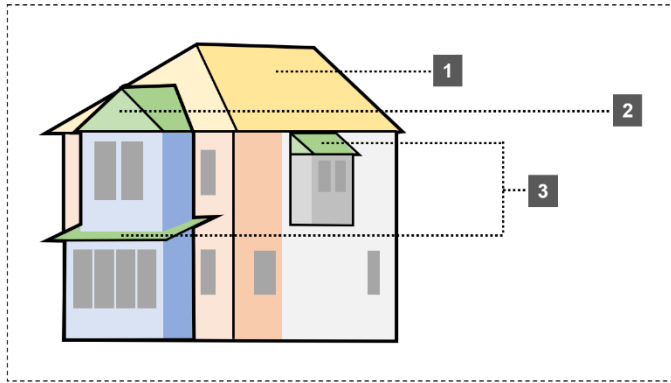


Figure 4 – Combined Development Illustration (Isometric View)

Example of a potential **Single Detached Dwelling**, with the **front building volume** (orange), **front projection** (blue), and **primary** (yellow) and **secondary** (green) **roof structures** highlighted.

Item 1 indicates a hipped **primary roof structure**, Item 2 indicates a front-gable **secondary roof structure** above the **front projection**, and Item 3 indicates two shed-style **secondary roof structures**.

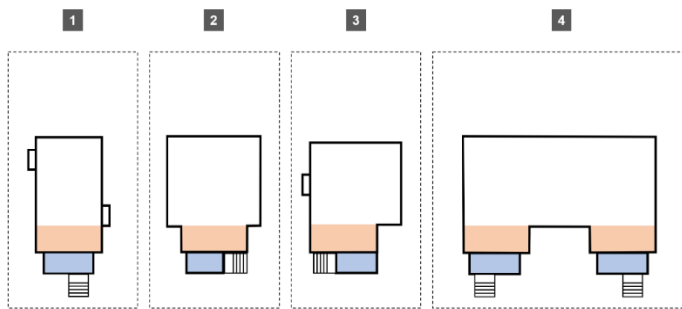


Figure 5 – Front Building Volume & Front Projection (Plan View)

Examples of **front building volumes** (orange) and **front projections** (blue).

Items 1-3 show **Single Detached** examples, and Item 4 shows a **Semi-detached** example, including the required separation between each **front building volume**.

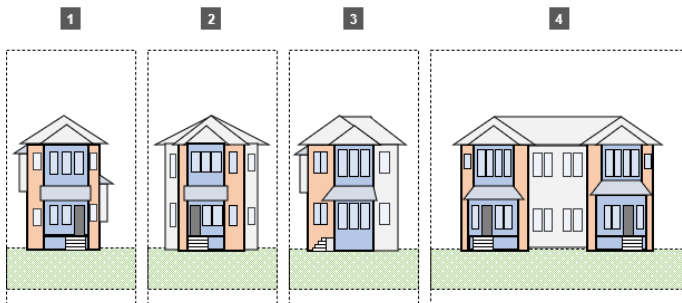


Figure 6 – Front Building Volume & Front Projection (Elevation View)

Examples of **front building volumes** (orange) and **front projections** (blue), as seen from 25 Avenue SW.

Items 1-3 show **Single Detached** examples, and Item 4 shows a **Semi-detached** example, including the required separation between each **front building volume**.

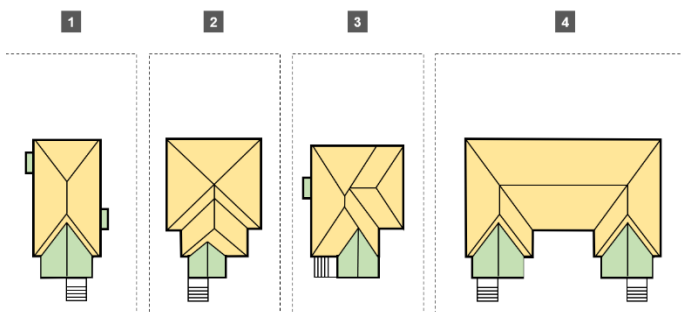


Figure 7 – Primary Roof Structure & Secondary Roof Structures (Plan View)

Examples of **primary roof structures** (yellow) and **secondary roof structures** (green).

Item 1 shows a “simple” hipped roof for the **primary roof structure** (one linear peak); Items 2-4 show a compound hipped roof for the **primary roof structure**.

Part 3: Development in Direct Control Site 1 Facing 14A Street SW

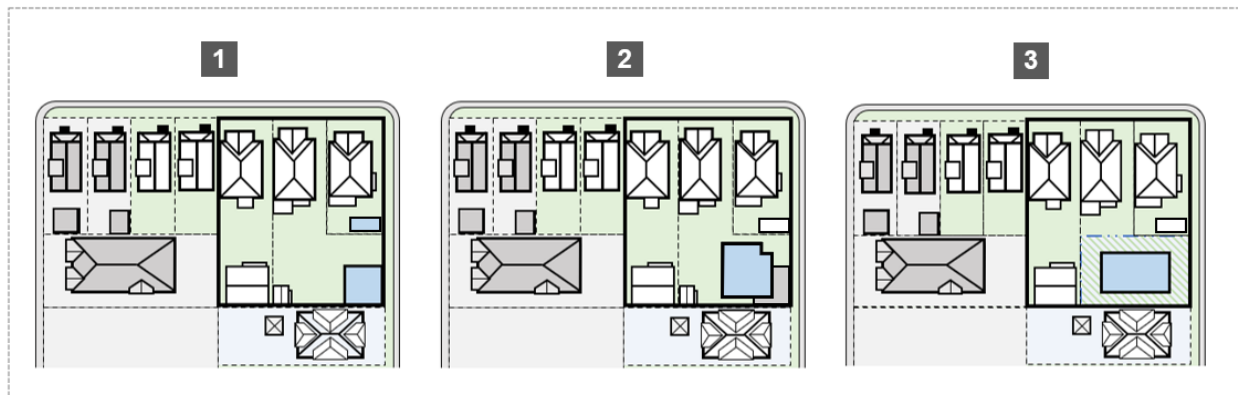


Figure 8 – Combined Development Conceptual Illustration (Plan View)

- Item 1 - A **Backyard Suite** (blue) above an **Accessory Residential Building** which existed prior to the passage of this Direct Control (not visible), using the same or smaller **building** footprint. The **Backyard Suite** does not provide a **front building volume** or **front projection**, and uses the same setback to the side and rear **property lines** as the existing Accessory Residential Building.*
- Item 2 - A **Backyard Suite** (blue) developed which exceeds to footprint of an **Accessory Residential Building** which existed prior to the passage of this Direct Control (grey). The **Backyard Suite** includes a **front building volume**, has a **building setback** from 14A Street SW of 5.0 metres, and a **side setback** of 1.2 metres.*
- Item 3 - A **Single Detached Dwelling** is developed on a parcel subdivided from the current 1505 25 Avenue SW. The front **property line** for the parcel is parallel to 14A Street SW, and the **building** includes a **front building volume** and **front projection**.*

Part 4: Development in Direct Control Site 2

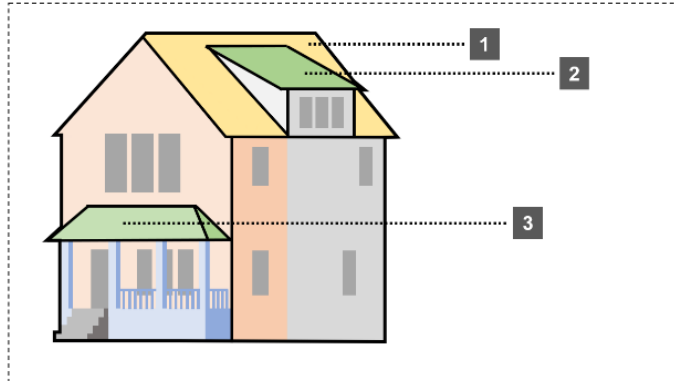


Figure 9 – Combined Development Illustration (Isometric View)

Example of a potential **main residential building** with the **front building volume** (orange), **front projection** (blue), and **primary** (yellow) and **secondary** (green) **roof structures** highlighted.

Item 1 indicates a front-gable **primary roof structure**, Item 2 indicates a shed-style **secondary roof structure** above a dormer, and Item 3 indicates a hipped **secondary roof structure** above the front projection.

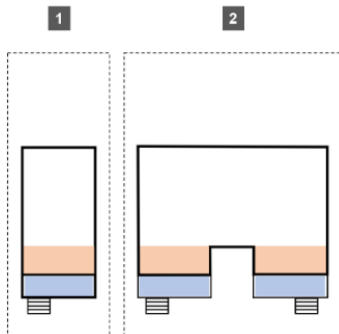


Figure 10 – Front Building Volume & Front Projection (Plan View)

Examples of **front building volumes** (orange) and **front projections** (blue) in potential buildings.

Item 1 shows a potential *Single Detached* example, and Item 2 shows a potential *Semi-detached* example.



Figure 11 – Front Building Volume & Front Projection (Elevation View)

Examples of **front building volumes** (orange) and **front projections** (blue), as seen from 25 Avenue SW.

Item 1 shows a potential *Single Detached* example, and Item 2 shows a *Semi-detached* example, including the required separation between each **front building volume**.

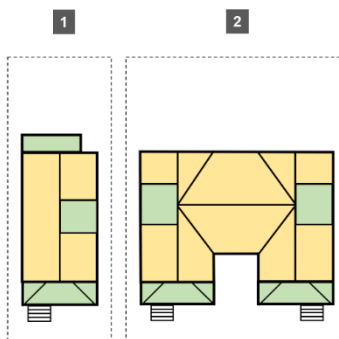


Figure 12 – Primary Roof Structure & Secondary Roof Structures (Plan View)

Examples of **primary roof structures** (yellow) and **secondary roof structures** (green).

Item 1 shows a potential *Single Detached* example, with a front-gable **primary roof structure** and shed (dormer & rear addition) and hipped (front porch) **secondary roof structures**.

Item 2 shows a compound **primary roof structure** for a potential *Semi-detached* example, where each dwelling maintains a front-gable roof, joined by a cross-gable between the two **front building volumes**. Shed (dormer) and hipped (front porch) **secondary roof structures** are also provided for each dwelling unit.

Administration report to SPC on Planning and Urban Development

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Item # 7.2

**Planning & Development Report to
SPC on Planning and Urban Development
2020 July 15**

**ISC: UNRESTRICTED
PUD2020-0758**

Heritage Conservation Tools and Incentives Update Report

EXECUTIVE SUMMARY

Administration was directed to conduct analysis on heritage preservation tools and financial incentives to support a continuum of heritage conservation and presented findings at the 2020 April 1 SPC on Planning and Urban Development committee meeting (Attachment 1). Given COVID-19's impact on Calgary communities, the report was received for information with direction for Administration to return later with further refinement of the financial incentive packages. This report provides recommendations based upon the refined financial incentives and includes the original recommendations for the planning policy tools that did not receive direction. The financial incentives support heritage sites on the conservation continuum by encouraging qualified properties to be designated. The policy tools support heritage sites and assets on the continuum by providing development opportunities to retain heritage buildings and policy tools to ensure new development in historic communities respects the heritage assets.

Administration is recommending approval of the planning policy tools, which will allow integration with other planning initiatives including the Guidebook for Great Communities and North Hill Communities Local Area Plan that are being considered at the 2020 July 15 SPC on Planning and Urban Development committee meeting. Additionally, after further review of the non-residential tax credit program and in support of Committee's discussion in April, Administration recommends approval of a \$2 million increase to the City-wide Historic Resource Conservation Grant instead. Following this recent economic disruption, a grant program that not only incentivizes designation but also creates jobs and requires matching private investment into Calgary's established communities is not only a significant heritage conservation tool, but a prudent and timely economic stimulus tool as well. The residential tax credit is recommended for consideration in the 2023-2026 budget deliberations given The City's current financial capacity.

ADMINISTRATION RECOMMENDATION:

That the Standing Policy Committee on Planning and Urban Development recommend that Council Direct Administration to:

1. Undertake a two-year phased program (2021 – 2023) to implement the heritage area policy tools, using the recommended thresholds, through the local area planning process, Land Use Bylaw amendments, or associated land use redesignations, and return to the Standing Policy Committee on Planning and Urban Development to report on the progress in Q1 2024;
2. Alter the City-wide Historic Resource Conservation Grant Program by:
 - a. Preparing a mid-cycle budget request for a \$2 million increase to the base budget and funding for the City-wide Historic Resource Conservation Grant Program from \$500,000 to \$2.5 million;
 - b. Restructuring the grant program to direct \$2 million to non-residential conservation projects with a cap of \$1 million per project, and reserve \$500,000 for residential projects with the existing cap of \$125,000; and,
3. Return to the Priorities and Finance Committee no later than Q1 2022 with the residential tax credit financial incentive package for consideration in the 2023-2026 budget deliberations.

Approval(s): **GM Dalglish, Stuart** concurs with this report. Author: **I. Harper**

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Heritage Conservation Tools and Incentives Update Report

PREVIOUS COUNCIL DIRECTION / POLICY

At the 2020 April 1 meeting of Standing Policy Committee on Planning and Urban Development, Report PUD2020-0259 was presented for information, and the following was approved:

1. Direct Administration to return to the Standing Policy Committee on Planning and Urban Development no later than 2020 October 7 with refined financial tools and incentives, respecting future financial constraints in the face of the global COVID-19 pandemic.
2. Recommendations be brought to mid-cycle budget in November. Recommendations may also incorporate any relevant pre-COVID-19 considerations as outlined in Attachment 13.

At the 2019 November 6 meeting of Standing Policy Committee on Planning and Urban Development, Report PFC2019-1359, the following deferral was approved:

Heritage Preservation Tools and Financial Incentives, PUD2019-1359 due Q4 2019 to be moved to no later than April 2020, PFC2019-0223.

At the 2019 March 5 meeting of the Priorities and Finance Committee, Report PFC2019-0223, the following was approved, as amended:

That the Priorities and Finance Committee direct Administration to conduct further analysis on heritage preservation tools and financial incentives and report back to SPC on Planning and Urban Development no later than Q4 2019.

BACKGROUND

Heritage conservation is an important component of sustainable city building. It benefits economic development, environmental sustainability and quality of life for Calgarians. There is tremendous value to The City of Calgary in conserving heritage; however, despite significant progress, most heritage properties remain unprotected from significant alteration or demolition. This report provides options for various tools, both planning and financial, that may help incentivize the conservation of heritage in Calgary representing noteworthy progress for heritage planning in Calgary.

The importance of heritage conservation is identified in Calgary's Municipal Development Plan and the Council-approved Calgary Heritage Strategy (2008) which identifies a number of actions required to fulfill the City of Calgary's heritage conservation goals. Significant progress has been made since 2008, however, some of the more challenging actions of the Calgary Heritage Strategy have yet to be fully implemented due to the requirement of significant resources, funding, and corporate support. Administration has now evaluated potential new policy tools and financial incentives to increase the conservation of local heritage sites. Future work will continue to address how best to realize the City's heritage conservation goals. Administration conducted this analysis and prepared a report for the SPC on Planning and Urban Development for the 2020 April 1 committee meeting. The 2020 April 1 report (Attachment 1) includes in-depth background information that may be valuable to reference in consideration of this report.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

Identified tools and incentives will address and support the conservation of heritage sites, while policy and regulatory tools will address heritage areas. This report presents updated information based on direction received in April. The focus of this additional information is on the financial

Approval(s): GM Dalglish, Stuart concurs with this report. Author: I. Harper

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Heritage Conservation Tools and Incentives Update Report

incentives and no alterations were made to the planning tools since April, which are summarized in this report and detailed in Attachment 1.

Financial Incentives

Financial incentives are essential for advancing economic development and heritage preservation. Tax-based programs are a popular and successful example of financial incentives for heritage conservation. There are some limitations to the development of such tools, however. For example, it is difficult to know exactly how many properties will choose to designate (assumed to be 40% based on a 2019 heritage property owner survey) and the cost projections must use static 2020 value (that do not account for future inflation or changes to assessed value). For a more in-depth analysis of financial assumptions, see Attachment 2. Currently, the only financial incentive provided to property owners by The City is the City-wide Heritage Conservation Grant Program, which is a matching grant that considers applicants on a first-come, first-serve basis but is often unable to provide enough funding to incent designation.

Non-Residential Tax Credit Program

Additional analysis of the non-residential tax credit program since April shows that a yearly increase to the existing city-wide grant program (and parameter adjustment) could have a similar impact without the upstart costs and challenges of introducing a new program. Administration recommends a boost to the city-wide grant program in lieu of the explored non-residential tax credit program; nonetheless, in response to Committee's direction in April, the tax credit program is outlined in Attachment 2.

Increase to the City-wide Conservation Grant Program

In lieu of the non-residential tax credit, Administration recommends an increase to the existing Heritage Conservation Grant Program. The current program receives \$500,000 annually, with a cap of \$125,000 per project, which is often insufficient to incent non-residential projects. An increase to the city-wide conservation grant program would allow more, or larger, projects to make use of the grant.

Administration recommends the city-wide grant program be increased to \$2.5 million annually and the structure of the grant program be amended to reserve \$2.0 million for non-residential projects and focus the existing \$500,000 for residential properties. Analysis of potential scenarios for the non-residential tax credit found that, on average, the program could be reasonably estimated to cost between \$2.0 and \$2.5 million per year and may generate an additional 38 designations within 7 years. Administration found, through a review of past Calgary projects and similar grant programs in other jurisdictions, this would allow for several typical projects and a larger project each year. That analysis informed the proposed increase. A mid-cycle budget request for funding support is necessary to support an increase to the program (Attachment 7).

Following the economic disruption caused by COVID-19, a grant program that not only incents designation, but creates jobs and requires matching private investment into Calgary's established communities is not only a significant heritage conservation tool, but a prudent and timely economic stimulus tool as well.

Approval(s): GM Dalgleish, Stuart concurs with this report. Author: I. Harper

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Residential Tax Credit

The residential tax credit would provide owners of protected buildings with an annual credit on their municipal property tax levy for up to 15 years equal to 75 percent of each year's municipal property taxes. An alternative mechanism to a tax credit would be the creation of a residential heritage tax sub-class for designated sites with an associated lower tax rate. Through cross-departmental consultation, Administration determined that a residential tax credit would achieve the same benefit with lower administrative costs and risk. The proposed tax credit has been refined since April (moving from a tax-back grant system) to achieve additional benefits as opposed to a differential tax class. As the City tax systems are upgraded, future opportunities for a differential tax class should be revisited.

The tax credit program is proposed to be capped at \$50,000 per property and does not require an owner to perform restoration or rehabilitation work. The program incentivizes property owners to designate by providing unrestricted, easily-accessed property tax savings to better balance the economic trade-off between conserving or redeveloping a heritage resource. There are 665 known potentially-eligible sites. The 75 percent credit allows nearly half of all Inventory sites to maximize the \$50,000, slightly exceeding the projected uptake of 40 percent.

Projections from a heritage property-owner survey (completed for April 2020 report and available in Attachment 1) indicates strong interest in designation from 40 percent of overall owners offered a tax credit. A 40 percent program uptake among undesignated properties would result in an additional 266 properties to be designated to apply for the tax credit. We assume full participation of the existing 31 designated properties.

With available capacity (maximum of 50 new designations and 20 new Inventory sites per year) and using the above assumptions, by 2023 there could be 131 designated properties receiving the residential tax credit incentive; representing a more than four-fold increase in designations from the current 31 residential properties over a two-year period (2021 and 2022). If designation trends continue in-line with projections, we anticipate having 297 designated properties by 2030.

The proposed residential tax credit program can be established and administered with \$150,000 base budget to fund one FTE addition to the heritage planning team and to cover other costs for internal services. The additional FTE position will support the additional designations, the development of tax credit agreements, and the administration of the annual tax credit.

The 31 already-designated residential sites that would become immediately eligible for the tax credit are estimated to cost The City of Calgary approximately \$95,000 annually for 15 years, totaling \$1.42 million. This is understood as a minimum cost necessary to ensure fair and equitable distribution of incentives to designated heritage resources in Calgary and would be incurred regardless of the number of new heritage designations achieved by the program.

The total 15-year cost per site of providing the residential tax credit is approximately \$45,000, with tax credits highest between 2023 and 2033 when the greatest number of eligible sites are simultaneously receiving the incentive. The program is expected to achieve designation of all 315 interested sites by 2030, with total lifetime tax credits and program administration costs of \$17.97 million (2021-2045).

This report recommends review of all proposed new financial incentives within two years of implementation, allowing the actual uptake, costs and staffing requirements to be measured against projections and potential adjustments to be made to the program terms. Should Council

Approval(s): GM Dalgleish, Stuart concurs with this report. Author: I. Harper

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wish to modify or discontinue the proposed tax credit, no new applicants would be accepted; however, existing partially-completed credits would continue for the remaining duration of their 15-year contract. Opportunities to introduce a differential tax class should be revisited at this time.

Non-Recommended Policy Tools and Financial Incentives

For the 2020 April 1 report, Administration reviewed several other policy tool and financial incentive options for potential implementation in Calgary; however, through cross-departmental consultation, some tools were determined to be out-of-scope or infeasible at this time. Additional detail on each of these tools, including rationale for their exclusion and future opportunities, is included in Attachment 2. Additionally, Attachment 3 provides more detail on density bonusing and density transfer as this is a tool that can be used for more than heritage conservation. Administration acknowledges density bonusing and density transfer as a successful tool where it is currently applied in the city (for example, in the Beltline community), and we recommend continued use in those areas. Further evaluation regarding the broader applicability of this tool is being considered through the Established Area Growth and Change Strategy (EAGCS). Future reporting from Phase 2 of the EAGCS initiative, no later than 2022 November, is anticipated to provide further comments on the use of these tools in a growth context.

Alternatives to Administration's Recommendations

Given the scope of this report and the identified risks and challenges facing Calgary's heritage resources, Council may seek alternate implementation of the explored tools and incentives than what is recommended by Administration. Attachment 5 provides alternate recommendations for Council's consideration.

Heritage Area (Planning) Tools

A three-layer system of heritage areas is proposed and would apply in portions of a community that merit preservation based on the historic integrity of the area (e.g. percentage of heritage assets compared to all other structures). The threshold scenarios required for the discretionary guideline and direct control heritage areas are explored in Attachment 6.

The layers, intended to stack or build upon each other resulting in increased specificity and control as the concentration and integrity of heritage areas increase, are as follows:

1 – Incentive Areas

To broadly incentivize the conservation of heritage assets in the city, this policy tool will offer additional development potential or incentives to developments that retain a heritage asset on site. This tool is intended to apply broadly within the built-out area to sites that have identified residential heritage assets (through the "windshield" survey or Inventory). These incentives do not restrict or inhibit development. Some proposed incentives for this policy can be found in the 2020 April 1 report (Attachment 1). The Incentive Areas tools would be implemented through a separate City-initiated *Land Use Bylaw* amendment.

2 – Discretionary Guideline Area

To incentivize the conservation of heritage assets in areas of the city with moderate to high historical integrity (25-49 percent heritage assets), this policy tool would build upon the Incentive Areas (Layer 1) by making all uses (other than those incented by Layer 1) discretionary, and subject to locally-specific heritage design guidelines. This means that many uses that are permitted

Approval(s): GM Dalglish, Stuart concurs with this report. Author: I. Harper

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today, such as single-detached dwellings, will become discretionary in these defined areas to allow design guidelines to address heritage form elements. These guidelines will apply to all developments within the area boundary (not just those parcels with heritage assets). The Discretionary Guideline Areas would be implemented through the Local Area Plan process and associated redesignation(s).

3 – Direct Control Heritage Area

To incentivize the conservation of heritage assets in areas of the city with the highest historical integrity (greater than 50 percent heritage assets), this policy tool is intended to incentivize the conservation of heritage assets through specific architectural controls and limited redevelopment potential and will be implemented through a direct control district land use redesignation.

Stakeholder Engagement, Research and Communication

PUD2020-0259 (Attachment 1) provides an overview of stakeholder engagement and communications that were completed for 2020 April 1. Since then, Administration has engaged 20 student and teacher volunteers from the University of Calgary and from Southern Alberta Institute of Technology to test the Discretionary Design Guidelines heritage policy tool. This is additional work undertaken to better understand the tools and support potential implementation, and their work is included as Attachment 4. An additional stakeholder information session was held on 30 June 2020 to refresh stakeholders on the report given the COVID-19 postponement, answer outstanding questions, and update them on work undertaken since April 2020.

Strategic Alignment

The proposed heritage conservation tools and incentives contribute to advancing the Next Generation Planning System in Calgary, as detailed in the April report (Attachment 1). The tools and incentives will support the Municipal Development Plan and the Calgary Heritage Strategy.

Social, Environmental, Economic (External)

There are many external social, environmental and economic impacts of these tools and incentives, which are detailed in the April report (Attachment 1).

Financial Capacity

Current and Future Operating Budget:

An increase of \$2 million to Calgary Growth Strategies' base budget to increase the annual funding for the City-wide Historic Resource Conservation Grant Program would result in a 0.115% mill rate increase in 2021. The 2023-2026 budget recommendations will have impacts in the next budget cycle and will require funding sources for operating investments to be identified within future reports. Similarly, the alternative recommendations would have impacts to be addressed as part of the same process.

Administration will seek to support the two-year phased implementation program of the heritage area planning tools through reprioritization and will prepare appropriate investment requests for future budget deliberations as necessary pending Council direction. Administration will evaluate the specific resourcing requirements once direction has been provided on the proposed tools and scoping for next steps has been completed.

Approval(s): GM Dalgleish, Stuart concurs with this report. Author: I. Harper

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Current and Future Capital Budget:

There are no current or future capital budget implications associated with this report.

Risk Assessment

As a finite resource, once demolished or significantly altered, heritage assets cannot be restored or recreated. Failing to provide, or delaying the provision of, effective tools and incentives may result in the loss of heritage assets and resources that provide value to Calgary and support the city's culture, identity and sense of place, which is often discussed during local area plan processes. The proposed tools and incentives mitigate this risk, where possible, in the Calgary context.

The implementation of tools and incentives will require funding. Given the current economic climate and the as-yet-unknown full impacts of COVID-19, proposing new tools or incentives that require additional spending represents a risk to The City's objective of reducing the tax burden on Calgarians. Considering additional operational budget impacts as part of future budget deliberations in 2022 mitigates this risk.

This report identified the exceptional needs of non-residential heritage assets as well as the acute conflict between development pressures, city-wide growth policies and certain heritage commercial streets. Work has begun to identify additional strategies, tools and incentives for the conservation of commercial heritage assets, there remains significant risk of losing valuable heritage assets prior to their completion.

REASON(S) FOR RECOMMENDATION(S):

The proposed tools and incentives in this report respond not only to Council direction and priorities, but also to significant community interest and common concerns identified through the local areas planning process. The tools incentivize the conservation of more than 4,000 heritage assets and help support historically-sensitive redevelopment where appropriate. The proposed \$2 million increase to the City-wide Historic Resource Conservation Grant is not only a significant heritage conservation tool, but a prudent and timely economic stimulus tool as well. The residential tax credit program will build upon and support the policy tools and increased Historic Resource Conservation Grant program; however, the tax credit is a larger financial commitment that should be considered in the context of the next budget deliberations.

ATTACHMENT(S)

1. Attachment 1 – Report to PUD April 1, 2020, PUD2020-0259 - PUD2020-0758
2. Attachment 2 – Summary of Financial Incentive Analyses and Explored Alternatives - PUD2020-0758
3. Attachment 3 – Overview of Municipal Density Bonus Policies - PUD2020-0758
4. Attachment 4 – Testing of Heritage Areas Discretionary Guidelines Policy Tool - PUD2020-0758
5. Attachment 5 – Alternatives to Administration's Recommendations - PUD2020-0758
6. Attachment 6 – Heritage Area Planning Tools Thresholds for Consideration - PUD2020-0758
7. Attachment 7 – Potential Mid-Cycle Budget Requests - PUD2020-0758
8. Attachment 8 – Heritage Conservation in Calgary Progress Snapshot - PUD2020-0758

Approval(s): GM Dalglish, Stuart concurs with this report. Author: I. Harper

Applicant Submission

February 1, 2024

Applicant:

Alastair Pollock

Planner 2 – City Wide Policy (Heritage Planning)

The City of Calgary

APPLICANT SUBMISSION - Bankview Direct Control Heritage Area (Pilot Project)

Introduction

The Direct Control proposed with this Land Use Amendment is the outcome of a City of Calgary-initiated pilot program for a new heritage conservation tool called the “Direct Control Heritage Area”.

The Direct Control Heritage Area is one of three new Heritage Area Tools supported by Council through PUD2020-0758, the Heritage Conservation Tools and Incentives Report. Together, the Heritage Area Tools represent the first comprehensive approach to area-based heritage conservation in Calgary, designed to support and complement Administration’s existing work program, which is largely oriented towards negotiated protection and management of individual resources that have been evaluated and listed on Calgary’s Heritage Inventory. The Heritage Area Tools, including Direct Control Heritage Areas, are directed at portions of Calgary’s communities with remaining concentrations of high-integrity historic homes identified, and referred to by Administration as “heritage assets”. All of the Heritage Area Tools were also developed to support and strengthen Calgary’s overall Local Area Planning – facilitating greater sensitivity in managing community growth and change without restricting appropriate intensification or limiting diversity of use.

Summary – Heritage Area Tool Implementation

Since 2020, Administration has been working to implement each of the three new Heritage Area Tools. Per Council direction, Administration will report back to Council in 2024 with an update on the overall success and progress of the program implementation. For the purpose of this attachment, a brief summary of all three tools is provided below, prior to more detailed information on the proposed Direct Control Heritage Area – the focus of this report.

1. Heritage Incentive Area
 - Intended to be implemented through a Land Use Bylaw amendment.
 - Would offer new or additional development options to encourage owners to keep and/or reuse identified heritage assets, rather than demolish and redevelop.
 - Would be available to owners of standalone low-density character homes (built pre-1945) that meet certain criteria within a defined area.

2. Discretionary Guideline Areas
 - Created through Local Area Plans, and enabled through discretionary Land Use Bylaw approval processes. Currently approved in the North Hill Communities Local Area Plan, with additional areas pending in the Riley Communities and West Elbow Local Area Plans.

- Focused on conserving certain heritage character-defining elements in areas where groupings of historic blocks have at least 25% of properties identified as a heritage asset.
 - Specific and unique design guidelines are applied in the discretionary review of any new development of a dwelling unit within the specific areas.
 - Continues to allow land use redesignations and new development.
3. Direct Control Heritage Areas
- Applicable only to historic blocks with the highest-integrity in the City (>50% identified heritage assets), this tool creates a unique set of land use district rules for all properties within a defined area with the intent to preserve the heritage character of the blocks and enable additional potential for the properties.
 - Implemented through a land use redesignation to a Direct Control District with the rules to protect heritage elements incorporated into the bylaw.
 - This report represents the implementation of the first Direct Control Heritage Area, the most regulatory of the three policy tools.

Direct Control Heritage Area – Detailed Overview

As the most specific and regulatory of the three Heritage Area Tools, Direct Control Heritage Areas are created with the support of impacted property owners to conserve the heritage built-form context and support additional heritage conservation efforts, while continuing to allow necessary growth and change within the district.

- 1) The proposed Direct Control closely regulates the built form of future infill development on the subject parcels. The intent of this regulation is to:
- 2) Ensure the retention of a sensitive built-form context for the existing heritage assets as growth and change occurs, increasing the likelihood of each heritage asset being retained and conserved (including subsequent protection as a Municipal Historic Resource, where qualifying and owner-supported).
- 3) Provide limited, sensitive opportunities for additional development (including backyard suites) where a heritage asset is retained, to further incentivize heritage asset retention.

Conserve the shared heritage value created by a highly-concentrated grouping of heritage assets, recognizing them collectively as a type of heritage resource with public benefit, and ensuring any future loss of heritage assets is mitigated via compatible infill development.

Requirement for a Direct Control District (DC)

The subject area is a unique, full-block collection of heritage assets, which is a rare occurrence for both the Bankview, and Calgary as a whole. Per Section 20 (1) of 1 P2007, the proposed DC seeks to directly respond to specific elements of this streetscape.

In addition to new geodetic-based height requirements (Schedule C), the proposed DC includes detailed rules which require design sensitivity in new development to the unique site characteristics, in a manner not possible using the existing Land Use District (R-C2), or another standard district.

Additional Benefits to Property Owners

Beyond the heritage conservation benefits listed in the Summary, Administration has worked to provide specific benefit to property owners in recognition of the unusual parcel configuration of the subject site, and conflicts which may arise between historic development and modern Land

Use Bylaw Rules that can limit forms of development available to property owners in other low-density areas, or require significant relaxations for non-conforming structures. These benefits include:

- Elimination of minimum parking requirements, allowing alternate use of parcel space.
- Adjustment of setback rules to specifically support creative options for gentle density (eg. Backyard Suites).
- Bringing all historic houses into compliance with the Land Use Bylaw 1 P2007, avoiding future requirement for relaxation when applying for unrelated development.

Pilot Project Status

After considering several implementation approaches for the Direct Control Heritage Area tool, Administration chose to develop the first district through a limited pilot project, and selected Bankview as the initial location following a staged selection and engagement process with property owners across multiple candidate communities.

The need for a pilot project was determined due to the lack of a precedent tool to share with potentially-interested property owners, and the need for intensive property-owner collaboration in developing the appropriate regulations. A pilot project also allowed development and refinement of an engagement process. All of the lessons-learned throughout the pilot project will be considered for future use of the Direct Control Heritage Area tool.

The block selected for the pilot project includes a complete historic streetscape, where all houses on 25 Avenue SW are identified heritage assets. The heritage assess were constructed between 1911 - 1912, making them all over 100 years old. Following initiation of the pilot project, three of the properties (1501, 1505, 1 507) have also been added to the Inventory of Evaluated Historic Resources by Heritage Calgary. The proposed district includes all seven (7) properties, each of whom have requested that Administration apply for the Land Use Amendment on their behalf.

Heritage Calgary Response



TO: Gareth Webster, File Manager

FROM: Cynthia Klaassen, Heritage Resources Program Manager

DATE: Wednesday, November 8, 2023

RE: LOC2023-0311 – Bankview DC District

Dear Gareth,

Thank you for including Heritage Calgary in this Land Use Application circulation, which includes multiple addresses located on the south side of the 1500 block of 25 AV SW in the community of Bankview. Heritage Calgary is a Civic Partner whose mandate is to advise Council on all matters relating to Calgary's heritage. We evaluate potential historic sites, maintain Calgary's [Inventory of Evaluated Historic Resources](#) (the Inventory) and promote public awareness of our shared heritage.

All seven residences located along this block were constructed ca 1912, and some are currently listed on the Inventory. Together these extant heritage homes create a unique, historic streetscape in a neighbourhood that is undergoing rapid change with the construction of new multi-unit buildings and infill developments.

About the Resources

The following three residences are included in this application and are currently listed on the Inventory: [Magarrell Residence](#), [Doberer Residence](#), and [Colborne Residence](#).

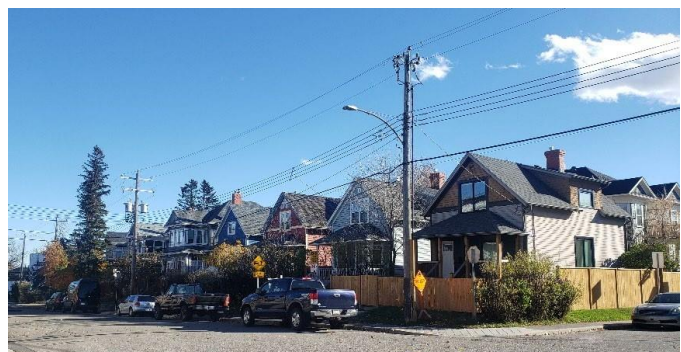


As per their Inventory listing, all three residences are symbolic of the development of pre-First World War housing stock that contributed to the development of the Bankview district, located away from the city-centre but well-connected via street car. They were built by James R. Magarrell in 1912-13. Through the years occupants included an RCAF pilot, a politician, the founder of P. Lawson Travel, and a dentist, symbolic of Calgary's developing middle class.

All three Magarrell homes are excellent examples of the two-and-one-half Edwardian style of home popular at this time in Calgary, although these stand out as the ground floor was clad in red brick. They retain a high degree of exterior integrity with asphalt shingle hipped roofs featuring bell-cast eaves; large front-facing open gable dormers, also with bell-cast eaves and decorative bargeboards; and wide, enclosed front porches. Rectangular in plan, each house has a unique rear addition.

The four additional houses located west of the Magarrell residences on this block were built by Dr. Thomas H. Crawford in 1912. Former occupants of those dwellings include a carpenter, travelling salesman, CPR employees, a tailor, and an accountant.

These occupants likely commuted to work using the streetcar that ran a block away along 14 ST SW, and aided the development of this early Calgary subdivision.



North side, 1500 block of 25 AV SW Photo credit: Cynthia Klaassen

Before its transition into a Calgary suburb, this neighbourhood - now known as 'Bankview' - had been the ranch of William and Isabelle Nimmons, who subdivided it in 1905 for development.

They named this street "Isabella" after their daughter.

About the Application

The proposed LOC2023-0311 is for a "Direct Control Heritage Area." It is intended to ensure that future development in the defined area is compatible with the existing heritage resources, including their placement on the site, as well as their form, design, and general appearance. It is intended to support the retention of the existing historic houses and provides context-sensitive opportunities for future development. This Direct Control Heritage Area does not provide legal protection to any of the existing buildings.

This is the first time in Calgary that a Direct Control Heritage Area has been proposed with the goal of protecting Calgary's built history. If successful, this land use planning tool will provide an optional heritage incentive for residential blocks outside of Main Streets that have at least 50% heritage assets.

Comments from Heritage Calgary

Heritage Calgary is pleased to support the creation of this unique Direct Control Heritage Area. If successful, this heritage conservation tool could be applied in other historic areas where retention of existing residences to maintain an historic streetscape is desired, while permitting gentle densification. This newly defined Direct Control Heritage Area provides guidelines to ensure that future development remains compatible with the existing streetscape and its intention is to regulate the built form to ensure that future infill development remains compatible with and subordinate to the existing built form.

Upon implementation of this Direct Control Heritage Area, Heritage Calgary encourages the participating property owners to consider listing their property on the Inventory (if not already listed) and to request legal protection through a municipal designation by-

law where appropriate. Listing on the Inventory does not provide legal protection however it is the first step in the process to obtaining municipal designation.

Heritage Calgary would also like to encourage the property owners and community to consider the creation of an interpretive element that explains this Direct Control Heritage Area to passers-by and provides additional information on-line; interpretation could include a brief history of the block and neighbourhood, and an explanation of the creation of the special Area. The Area will likely become a feature for the Bankview neighbourhood and contribute to its future development, and Heritage Calgary is available to work with the property owners and community to create interpretation that tells its story.

Conclusion

Thank you for providing Heritage Calgary an opportunity to comment on this application. If the reader has any questions or concerns, please contact Cynthia Klaassen, Heritage Resources Program Manager, at the email listed below.

Kind regards,



Cynthia Klaassen, M.A.

Heritage Resource and Program Manager
cklaassen@heritagecalgary.ca
Heritage Calgary

Land Use Amendment in Killarney/Glengarry at 3438 – 37 Street SW, LOC2023-0363

RECOMMENDATION:

That Calgary Planning Commission:

1. Forward this report (CPC2024-0108) to the 2024 May 7 Public Hearing Meeting of Council; and

That Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the redesignation of 0.06 hectares \pm (0.15 acres \pm) located at 3438 – 37 Street SW (Plan 732GN, Block 3, Lot 17) from Residential – Contextual One / Two Dwelling (R-C2) District to Housing – Grade Oriented (H-GO) District.

HIGHLIGHTS

- This application seeks to redesignate the subject parcel to Housing – Grade Oriented (H-GO) District to allow for grade oriented development in a range of housing forms at a scale compatible with low density residential districts.
- The proposal represents an appropriate density increase of a residential site, allows for development that may be compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Westbrook Communities Local Area Plan* (LAP).
- What does this mean to Calgarians? The proposed H-GO District would allow for additional housing to be developed on this site and make more efficient use of existing infrastructure and nearby amenities.
- Why does this matter? The proposed H-GO District may allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles and demographics.
- A development permit has not been submitted at this time.
- There is no previous Council direction related to this proposal.

DISCUSSION

This land use amendment application in the southwest community of Killarney/Glengarry was submitted by Horizon Land Surveys on behalf of the landowner, Reithaug Development Ltd., on 2023 September 5. No development permit application has been submitted at this time; however, as noted in the Applicant Submission (Attachment 2), the proposal would facilitate grade-oriented development in a range of housing forms.

The approximately 0.06 hectare (0.15 acre) parcel is located mid-block along 37 Street SW, north of Richmond Road SW. The site is currently developed with a single detached dwelling and a rear detached garage with lane access. The site fronts onto 37 Street SW and is directly to the east of 33 Avenue SW. Development in the immediate vicinity is a mix of older single detached and semi-detached dwellings.

Land Use Amendment in Killarney/Glengarry at 3438 - 37 Street SW, LOC2023-0363

A detailed planning evaluation of the application, including maps and site context is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and respective community association was appropriate. In response, the applicant circulated postcards to local residents within a 90 metre radius, approached the Community Association (CA) and the Ward Councillor's Office. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

No public comments were received at the time of writing this report.

No comments from the Killarney-Glengarry CA were received. Administration contacted the CA to follow up and no response was received.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. Issues related to parking, servicing, and the impacts of site design on adjacent properties will be reviewed at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council for the land use amendment application will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

This land use amendment would enable the development of more housing in a variety of housing types to cater to different age groups, lifestyles, and demographics, which may contribute to a more inclusive community.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

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Calgary Planning Commission
2024 February 22**

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Land Use Amendment in Killarney/Glengarry at 3438 - 37 Street SW, LOC2023-0363

Economic

This land use amendment would allow for an efficient use of land, existing infrastructure and local services and would provide more housing choice in the community.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located mid-block along 37 Street SW and is directly to the east of 33 Avenue SW and to the north of Richmond Road SW. The site is approximately 0.06 hectares (0.15 acres) in size and is approximately 18 metres wide and 31 metres deep. The site is currently developed with a single detached dwelling and detached garage with lane access.

Surrounding development is primarily single detached and semi-detached dwellings. Directly to the southeast, fronting along Richmond Road SW, there is one property designated Housing – Grade Oriented (H-GO) District (approved 2023 November 14) and one property designated Residential – Grade-Oriented Infill (R-CG) District. Immediately across 37 Street SW, is a AE Cross School (grades seven to nine). Additionally, to the south, sites are developed with gas stations and commercial/retail stores designated as Commercial – Neighbourhood 2 (C-N2) and Commercial – Corridor 2 (C-COR2) Districts.

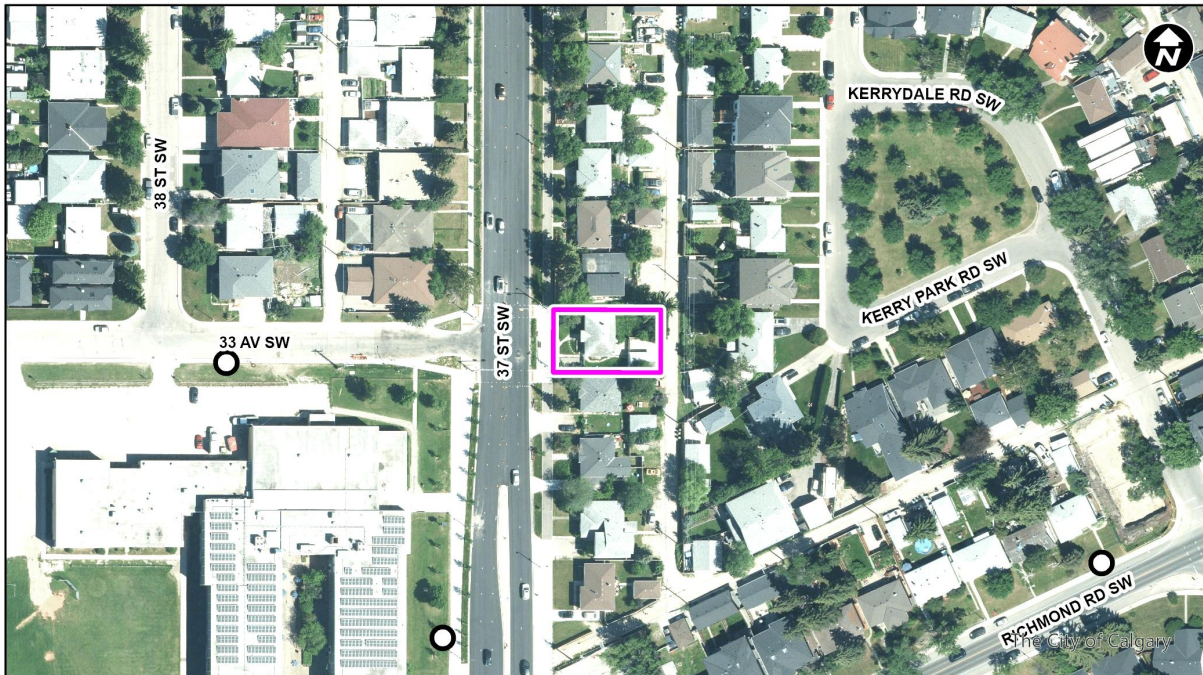
Community Peak Population

As identified below, the community of Killarney/Glengarry reached its peak population in 2019.

Killarney/ Glengarry	
Peak Population Year	2019
Peak Population	7,685
2019 Current Population	7,685
Difference in Population (Number)	0
Difference in Population (Percent)	0 %

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through [Killarney/Glengarry Community Profile](#).



Previous Council Direction

None.

Planning Evaluation

Land Use

The existing Residential – Contextual One / Two Dwelling (R-C2) District is primarily for single detached, semi-detached, duplex dwellings and secondary suites. The R-C2 District allows for a maximum height of 10.0 metres and a maximum of two dwelling units. Secondary suites are permitted uses within the R-C2 District.

The proposed H-GO District accommodates grade-oriented developments in a range of housing forms where dwelling units may be attached or stacked within a shared building or cluster of buildings that also includes secondary suites.

The H-GO District also provides rules for:

- a minimum side separation of 3.0 metres between a residential building and a side property line where the building extends beyond the back of the adjacent residential building;
- a minimum requirement of 0.5 motor vehicle parking stalls per dwelling unit and secondary suite;
- a maximum floor area ratio (FAR) of 1.5; and
- a maximum building height of 12.0 metres.

Section 1386(d) of the Land Use Bylaw 1P2007 provides location criteria for where the H-GO District may be considered appropriate. In areas that are subject to an approved Local Area Plan, such as this subject site, the H-GO District is intended for areas which are identified as either the Neighbourhood Connector or Neighbourhood Flex urban form category. The subject site is identified as Neighbourhood Connector on Map 3: Urban Form of the *Westbrook Communities Local Area Plan* (LAP) and is consistent with the relevant planning policies for that area.

Development and Site Design

If approved by Council, the rules of the H-GO District will provide guidance for future site redevelopment including appropriate uses, building massing, height, landscaping, parcel coverage and parking. Items that would be considered through the development permit review process include but are not limited to:

- the number and configuration of dwelling units and secondary suites;
- access and parking provision;
- mitigations of shadowing and privacy; and
- appropriate location of landscaping and amenity space.

Transportation

The site fronts onto 37 Street SW, which is classified as an arterial street. The site is additionally located adjacent to an intersection, directly opposite of 33 Avenue SW. Vehicle access to the site will be via the existing rear laneway. Pedestrian access will be from the existing multi-use pathway fronting the site.

The parcel is presently not located within a Residential Parking Program (RPP) zone. On-street parking for 37 Street SW, adjacent to the parcel, is signed as an existing no stopping zone. The subject site is well-served by Calgary Transit. Transit stops for Route 9 (Dalhousie/Chinook), Route 306 (MAX Teal), and Route 22 (Richmond Road SW) are located 150 metres (three-minute walk) from the subject parcel.

37 Street SW forms part of the Always Available for All Ages and Abilities (5A) Network which includes a multi-use pathway on the east side. The multi-use pathway traverses directly in front of the parcel, providing access to the Bow River Pathway System.

Main Street upgrades were recently completed on 37 Street SW. Upgrades directly adjacent to the parcel include accessibility improvements including wheelchair ramps and tactile plates, and signal upgrades at the intersection of 37 Street SW and 33 Avenue SW.

Environmental Site Considerations

There are no known environmental concerns with the proposed land use amendment application at this time.

Utilities and Servicing

Water, sanitary, and storm servicing is available from 37 Street SW. Servicing details will be further reviewed at the Development Permit stage of development.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Developed Residential – Inner City area as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The proposed application complies with relevant land use policies that encourage redevelopment and modest intensification of Inner City Areas to support the transit network, make more efficient use of existing infrastructure, public amenities and delivers incremental benefits to climate resilience.

Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged within the development permit review.

Westbrook Communities Local Area Plan (Statutory - 2023)

The [Westbrook Communities Local Area Plan](#) (LAP) identifies the subject site as being part of the Neighbourhood Connector category (Map 3: Urban Form) with a low building scale modifier (Map 4: Building Scale), which allows for up to six storeys. The LAP speaks to primarily residential uses in the area and encourages a range of housing types with a high frequency of units facing the street and supports higher density when located near commercial areas and transit station areas. The low building scale policies within the Neighbourhood Connector category note that building forms should be designed to reduce the impacts of wind, provide sunlight access to streets and open spaces, and use variation in building height and material to reduce the perceived massing of larger buildings.

The proposed land use amendment is in alignment with applicable policies of the LAP.

Applicant Submission

Company Name (if applicable):

Horizon Land Surveys

Applicant's Name:

Lei Wang

Date:

Nov. 22nd, 2023

LOC Number (office use only):

On behalf of the landowner, please accept this application to redesignate a +/-0.057 hectare site from R-C2 to H-GO to allow for:

- grade-oriented development in a range of housing forms where the dwelling units may be attached or stacked within a shared building or cluster of buildings in the form and at a scale that is consistent with low density residential districts;
- a maximum building height of 12 metres (an increase from the current maximum of 10 metres)
- flexible parcel dimensions and building setbacks that allow a diversity of grade-oriented housing
- the uses listed in the proposed H-GO designation.

The subject site, 3438 37 Street SW, is a mid-block lot in the community of Killarney/Glengarry along 37 Street SW, which is part of city's primary transit network. Another primary transit road Richmond RD is also within 150 meters of the site. A.E. Cross Junior High school is on the west side of the site cross 37 street. The site is surrounded in other directions by single detached houses.

The site is approximately 0.057 hectares in size. A single detached dwelling sits on the site and was built in 1953. Lane exists to the west and east of the site. The site is well serviced by public transit with bus station right by the site.

Westbrook Communities Local Area Plan define this lot as Neighbourhood Connector with building scale of up to 6 storeys which is applied to higher activity residential streets such as 37 Street. The land use encourage a broad range of housing types and support a higher frequency of units and entrances facing the street.

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the H-GO provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

Housing diversity and choice policies encourage the provision of a wide range of housing types, tenures and densities that may meet affordability, accessibility, life cycle and lifestyle needs of different groups; an adaptation of the City's existing housing stock to enable changing households to remain in the same neighbourhood for longer time periods through allowing accessory suites in low density areas. So we sincerely hope city can support our application.

Applicant Outreach Summary

Project name: 3438 37 Street SW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, our office completed the "Community Outreach Assessment". The project's impact score is "1A". So we are implementing a direct approach to reach to community association, local residents within a 90 meters radius and also Ward Councilor Office.

On Nov. 16th, 2023, our staff did post card deliver to residents within a 90 meters radius. During the process, our staff did door knocking and spoke with residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

We have also contacted community association and councilor's office for comments. Until today, we haven't received any response yet.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with local residents, Councilor office and community association. And better explain to local residents about proposed developments and restrictions under H-GO.

Outline Plan and Land Use Amendment in West Springs (Ward 6) at 850 and 870 – 81 Street SW, LOC2023-0254

RECOMMENDATIONS:

That Calgary Planning Commission:

1. As the Council-designated Approving Authority, approve the proposed outline plan located at 850 and 870 – 81 Street SW (Plan 9811875, Block 42, Lot 1; Plan 4740AK, Block 42) to subdivide 1.91 hectares ± (4.73 acres ±) with conditions (Attachment 2).

That Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the redesignation of 1.91 hectares ± (4.73 acres ±) located at 850 and 870 – 81 Street SW (Plan 9811875, Block 42, Lot 1; Plan 4740AK, Block 42) from Direct Control (DC) District to Residential – One Dwelling (R-1s), Multi-Residential – At Grade Housing (M-G) District, and Special Purpose – School, Park and Community Reserve (S-SPR) District.

HIGHLIGHTS

- This application seeks to establish a subdivision framework and to redesignate the subject sites to allow for residential development and an open space network within the community of West Springs.
- The proposal is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *West Springs Area Structure Plan* (ASP).
- What does this mean to Calgarians? The proposal will allow for increased housing choice and contribution to the open space network within a developing area of the city.
- Why does this matter? Compact development of a greenfield site will contribute to Calgary's overall economic health by housing new residents within Calgary's city limits.
- No development permit has been submitted at this time.
- There is no previous Council direction regarding this proposal.

DISCUSSION

This outline plan and land use amendment, in the southwest community of West Springs, was submitted on 2023 September 4 by B&A Studios on behalf of the landowner Trico Residential Inc. The subject site, on the northeast and southeast corner of 8A Avenue SW and 81 Street SW, is approximately 1.91 hectares in size and is currently undeveloped.

As referenced in the Applicant Submission (Attachment 3), the proposal seeks to obtain outline plan and land use approvals to accommodate a mix of multi-residential and low-density residential development with associated open space. The proposed Outline Plan (Attachment 4) and the associated Land Use Plan (Attachment 5) will allow for a maximum of 76 residential units. 16 units are expected for the Residential – One Dwelling (R-1s) District, with a maximum of 60 units for the Multi-Residential – At Grade Housing (M-G) District. Total maximum density for the subject sites is 39.8 units per hectare (uph), as identified in the Outline Plan Data Sheet (Attachment 6). The proposed densities and building forms align with the vision of the *West Springs ASP*.

Outline Plan and Land Use Amendment in West Springs (Ward 6) at 850 and 870 – 81 Street SW, LOC2023-0254

A detailed planning evaluation of the application, including location maps and site context is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with the public/interested parties and the respective community association was appropriate. As a result, the applicant circulated letters to the adjacent landowners and held an open house for the community, along with providing a contact email and phone number for the project. The Applicant Outreach Summary can be found in Attachment 7.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received five letters of opposition from the public. The letters identified the following issues:

- the density adjacent to the estate homes is excessive, too many low-density residential parcels adjacent to the properties to the south;
- unknown building location for the R-1s lots;
- drainage issues and impact of the artificial slope on adjacent properties;
- the raised elevation of the proposed dwellings, and the potential for overshadowing;
- shared fencing agreements;
- increased parking and traffic;
- concerns for the safety of pedestrians and cyclists;
- new development would not align with the architectural guidelines established for Westpark Place;
- schools in the community are at capacity;
- impact of lowering property values on the estate homes;
- location of Municipal Reserve (MR) should buffer the existing estate homes; and
- inadequate project engagement;

The West Springs Community Association (CA) provided a letter of objection on 2024 February 6 (Attachment 8). They stated that the number of proposed lots in the R-1s District is excessive and should be reduced from the proposed 16 lots down to nine or ten.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The building and site design, number of units and on-site parking will be review and determined at the development permit stage for the multi-

Outline Plan and Land Use Amendment in West Springs (Ward 6) at 850 and 870 – 81 Street SW, LOC2023-0254

residential district. Lot size and placement will be reviewed at time of subdivision. While requests were submitted to place a linear section of MR to buffer the existing estate homes to the south, the proposed location of MR provides a connection to park space in the community, which aligns with the open space vision of the *West Springs ASP*.

Following Calgary Planning Commission, notification for a Public Hearing of Council for the land use amendment will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the public hearing will be advertised.

IMPLICATIONS

Social

The proposal would allow for a variety of housing choices in both multi-residential and low-density residential building forms. The proposal also provides for open space which often acts as a community gathering space for local residents.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

Development of this site in the developing area contributes to Calgary's overall economic health by housing new residents within Calgary's city limits as well as utilizing existing infrastructure more effectively.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this application.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Outline Plan Conditions of Approval
3. Applicant Submission
4. Proposed Outline Plan
5. Proposed Land Use Amendment Map
6. Proposed Outline Plan Data Sheet
7. Applicant Outreach Summary
8. Community Association Response

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0226
Page 4 of 4**

**Outline Plan and Land Use Amendment in West Springs (Ward 6) at 850 and 870 –
81 Street SW, LOC2023-0254**

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject parcels are located in the southwest community of West Springs. The approximately 1.91 hectare (4.73 acre) outline plan and land use amendment is east of 81 Street SW, and resides on the north and south side of 8A Avenue SW. The development area is approximately 100 metres wide by 193 metres deep.

The subject site is surrounded by a combination of existing development and actively developing lands characterized by a mix of low-density and multi-residential districts. Directly to the south are existing large estate homes along Westpark Place SW that back onto a pond (designated Special Purpose – City and Regional Infrastructure) with an adjoining small playground. A pathway connection from the pond travels north adjacent to the proposed Special Purpose – School, Park and Community Reserve (S-SPR) District. This pathway system provides a connection to the pond and the future West District park space that has been approved under LOC2017-0058. No pathway connections are proposed within this application, as there are existing or future pathways in the surrounding area.

To the north, east and west, the parcel is surrounded by multi-residential districts designated Multi-Residential – At Grade Housing (M-G) District. Many buildings in these M-G Districts are either very recently built or are actively under construction. The built forms common in this district include townhouses and multi-residential development.

Amenities in proximity to the subject site include a shopping centre located along 85 Street SW, multiple churches to the east and west, and the Westpark playground to the south. 9 Avenue SW provides access to transit, with multiple east and west stops for Route 111.

Community Peak Population Table

As identified below, the community of West Springs reached its peak population in 2019.

West Springs	
Peak Population Year	2019
Peak Population	10,758
2019 Current Population	10,758
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [West Springs Community Profile](#).



Previous Council Direction

None.

Planning Evaluation

Land Use

The existing land use on the site is Direct Control (DC) District ([Bylaw 12Z96](#)) based on the Special Districts of the previous Land Use Bylaw 2P80. This District was intended to accommodate large lot low-density residential dwellings with minimum lot sizes of 0.2 hectares (0.5 acres) and protect the land from premature development until servicing was available and future urbanization could occur.

This application proposes Residential – One Dwelling (R-1s) District, Multi-Residential – At Grade Housing (M-G) District and Special Purpose – School, Park and Community Reserve (S-SPR) District.

The proposed R-1s District is intended for low-density residential development in developing areas. This District is designed to support a variety of low-density residential building forms including single detached dwellings, secondary suites and backyard suites. The minimum parcel width for the R-1s district is 10 metres, with a minimum parcel area of 330 square metres. The maximum building height in this district is 12 metres. The proposed R-1s District is contextually sensitive to the surrounding area, as the properties along the south side of 8A Avenue SW are similarly designated.

The proposed M-G District is intended to provide multi-residential development of low height and medium density in the developing area. This district is intended to be adjacent or in close

proximity to low-density residential development, as it provides a sensitive transition in height and density to more intensive areas. The M-G District allows for a range of density, between a minimum density of 30 units per hectare and a maximum density of 80 units per hectare. As identified on the outline plan, the application has acknowledged an anticipated density of 65 units per hectare. Buildings in the M-G District must contain at least 3 or more units within each building and provide direct pedestrian access to grade for each unit. The maximum building height is 13 metres (approximately three storeys). The proposed M-G District creates a transition between the low-density residential dwelling districts that have a maximum height of 12 metres and allows for a building form that is complementary to the surrounding area.

The proposed S-SPR District is intended to provide for schools, parks, open space and recreational facilities with parcels of various sizes and use intensities. This district is to be used for land dedicated as municipal school reserve or other forms of municipal reserve (MR) pursuant to the *Municipal Government Act* (MGA).

Subdivision Design

This 1.91 hectare outline plan forms a logical continuation of the development in the surrounding area. The subdivision design includes a mix of multi-residential and low-density residential uses in a lane-less configuration, with access to local park space. The road network includes a single east-west residential road (8A Avenue SW) through the middle of the development. This road is accessed from 81 Street SW and will connect to the existing 8A Avenue SW to the east of the site. A small road section of 8A Avenue SW is still under construction immediately east of the subject parcels, which will attach to the constructed section of 8A Avenue SW. This road will continue east to connect to 77 Street SW which is a north-south collector road.

Open space (MR) for this site was envisioned to integrate seamlessly with the proposed West District Park to the north and east. During the review of the West District Development (LOC2017-0058), a large 2.24 ha/1.79 ac multi-functional park space was approved to the north and east of this site. Since this site contained a large stand of existing trees, it was proposed at the time as a 'natural area'; having native species that reflect the naturally occurring landscape. Therefore, the intent of this MR is to retain the existing trembling Aspen tree stand so that a portion will be left following development. MR is provided with two park spaces on the north and south side of 8A Avenue SW, totaling 0.19 hectares (0.47 acres) in size which provides the 10 percent municipal reserve (MR) requirement. The proposed MR contains areas of native plant species, while the MR to the east of the subject parcels provides pathway connections to the north and the south via a 2.5 metre Asphalt Pathway which ties to existing pathways.

Density

At build-out, the proposed plan area is anticipated to have a total of 67 units, while the maximum density would allow for 76 units. While the M-G District has a maximum density of 80 units per hectare, the application has identified an anticipated density of 65 units per hectare. With this anticipated density for the M-G District, the proposed development is expected to achieve a total anticipated residential density of 35.1 units per hectare (14.2 units per acre). A development built to the maximum density would result in a total density of 39.8 units per hectare (16.1 units per acre).

The area is characterized by the existing low-density residential dwellings to the south and the development of the West District project to the north. This provides an opportunity of a transition area from the low-density residential areas to that of higher intensity and development. As such, the *West Springs Area Structure Plan* provides specific guidance for this neighborhood in terms

of uses, heights and density. The proposed outline plan and land use amendment aligns with the guidelines presented in the ASP.

Transportation

Current vehicular access to the site is from 81 Street SW which is classified as a collector road. The site is well served by Calgary Transit with an east and westbound stop for Route 111 (West Springs/Westbrook) located 200 metres (a three-minute walk) south of the site across 9 Avenue SW. The active transportation network is further enhanced through the pathway system through 9 Avenue SW and the park to the east, and sidewalks fronting along on 81 Street SW. There are no active residential parking program zone restrictions along the site frontage on 8A Avenue SW.

Environmental Site Considerations

A Phase I Environmental Site Assessment and a Preliminary Natural Site Assessment was provided with this outline plan and land use amendment and reviewed by Administration. There were no significant environmental concerns noted in the report and further action is not required at this time.

Utilities and Servicing

The subject site is located within the Broadcast Hill Water Pressure Zone. A watermain is available on 81 Street SW and 8A Avenue SW, east of the site, and must be extended down 8A Avenue SW to service the land at the expense of the Developer. There are no concerns with water network capacity for this development. A sanitary main is available for connection from 81 Street SW. The sanitary must be extended down 8A Avenue SW at the expense of the Developer. A sanitary servicing study was reviewed and approved as part of this application, and there are no capacity concerns related to this application. The site has been accounted for within the West Springs Phase 2 Storm Water Management Report. A storm main is available on 81 Street SW and must be extended down 8A Avenue SW at the expense of the Developer.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed outline plan and land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The site is located within the Developing Residential – Planned greenfield with Area Structure Plan (ASP) area as identified on map 1 in the [Municipal Development Plan](#) (MDP). The applicable policies promote housing diversity and choice through a wide range of housing types and densities to create diverse neighbourhoods. The proposed redesignation accommodates a range of low-density housing types with access to local open space and meets minimum density targets.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

West Springs Area Structure Plan (Statutory – 2012)

The [West Springs Area Structure Plan](#) (ASP) provides additional direction for the plan area with detailed policies and guidelines for development. The subject parcels falls within Neighborhood -Limited, Neighborhood – Low-Rise and Open Space area of Map 3: West Springs North Neighbourhood Land Use Concept. The Neighborhood – Limited Policy area allows for a sensitive transition from existing low-density residential housing, with allowances for moderate intensification. The proposed 16 low density dwelling units within the R-1s district will align with these policy guidelines. The intent of the Neighborhood – Low-Rise policy area provides a transition between low-density residential areas and more intense development through the use of building forms such as low-rise multi-residential buildings. The proposed M-G district provides a sensitive transition in height, building form, use and density. The proposed districts align with the policy areas of the ASP.

Outline Plan Conditions of Approval

These conditions relate to Recommendation 1 for the Outline Plan where Calgary Planning Commission is the Approving Authority. Attachment for Council's reference only.

The following Conditions of Approval shall apply:

Planning

1. The developer, at its sole cost and expense, shall be responsible for the construction of the Municipal Reserve parcels within the boundaries of the plan area according to the approved Landscape Construction Drawings and the Parks' Development Guidelines and Standard Specifications: Landscape Construction (current version).
2. Plant all public trees in compliance with the approved Landscape Construction Drawing for Boulevard and Median Tree Line Assignment.
3. All proposed parks (MR) must comply with the Calgary Parks- Development Guidelines and Standard Specifications: Landscape Construction (current edition).
4. No vegetation clearing and/or stripping or disturbance is to take place on the subject site until land use has been finalized.
5. Prior to approval of the Tentative Plan, Landscape Concepts prepared at the Outline Plan stage shall be refined to add:
 - A site plan showing general conformance to Outline Plan landscape concepts, intended park program, site layout, and preliminary planting.
 - Grading plans that are coordinated with engineering to show updated perimeter grades to confirm slope percentage and details of any other features, including (but not limited to) retaining structures, utility rights-of way, green infrastructure, trap lows, drainage from private lots, etc.
 - Storm-related infrastructure details above and below ground, including (but not limited to) access roads with required vehicle turning radii, inlets, outlets, retaining walls, control structures, oil grit separators, etc.
6. Prior to approval of the first tentative plan or stripping and grading permit (whichever comes first), it shall be confirmed that grading of the development site will match the grades of existing adjacent parks and open space (MR and/or ER) or proposed ER, with all grading confined to the private property, unless otherwise approved by Parks.
7. Rehabilitate all portions of any existing/recently constructed MR lands along the boundaries of the plan area that are damaged as a result of this development, all to the satisfaction of the Director, Parks.

8. Prior to approval of the first tentative plan or stripping and grading permit (whichever comes first) provide a separate figure of the LOC plan area (plan view) indicating where private residential lot drainage is requested to sheet-flow into MR extents with accompanying cross-sections:
 - a. Showing existing and proposed grades
 - b. A minimum of 300mm to 600mm of topsoil in the backyard
 - c. A note indicating that roof drainage is directed to the front yard/street
 - d. A note indicating that the drainage into ER extents will be sheet flow, not point source.
9. Prior to Stripping and Grading or the first tentative plan (whichever comes first), the developer shall install and maintain a temporary construction fence on the private property line with the adjacent future S-SPR (MR) to protect public lands prior to the commencement of any stripping and grading related to the site and during all phases of construction. Contact the Parks Development Inspector Jackie Swartz at jackie.swartz@calgary.ca or (403) 971-5082 to approve the location of the fencing prior to its installation.
10. Prior to approval of the related Stripping and Grading Permit or Engineering Construction Drawings, whichever submitted first, the developer shall install protection measures around the Environmentally Significant Areas (future MR) to be retained in order to prevent excessive overland drainage and siltation onto said areas during all phases of construction, in accordance with The City's *Guidelines for Erosion and Sediment Control*, to the satisfaction of the Manager of Water Resources and the Director of Calgary Parks. Contact the Parks Development Inspector Jackie Swartz at jackie.swartz@calgary.ca or (403) 971-5082 to approve the location prior to commencement of Stripping and Grading activities.
11. Prior to endorsement of the tentative plan, submit detailed Landscape Construction Drawings (LCD's) for the proposed development on municipal reserve to the Parks Coordinator - Development, Nathan Grimson, at 403.681.2718 or nathan.grimson@calgary.ca. LCD's will need to include:
 - a) Backsloping extents and appropriate re-planting of the backsloped areas - updated cross-sections may be required.
 - b) Existing tree stands to remain/proposed tree removals.
 - c) Removal of the Regional Pathway (off-site) as per the Municipal Reserve Concept and rehabilitation/restoration of this area at the Applicant's cost.
12. Prior to approval of the Tentative Plan, the developer shall ensure the boundaries of the Municipal Reserve are surveyed. An onsite meeting shall be arranged to ensure the boundaries are approved by Parks. This meeting should be coordinated through the Parks Planner for Urban Design & Open Spaces - curesha.moodley@calgary.ca.
13. Prior to the approval of a stripping and grading permit, a Development Agreement or a subject area Tentative Plan, Parks requires details pertaining to the total limit of disturbance adjacent to existing Municipal

Reserve/Environmental Reserve extents or proposed Environmental Reserve extents resulting from the proposed development in its entirety.

14. Parks does not support point source drainage directed towards MR extents. All drainage and storm related infrastructure catering to private property shall be entirely clear of MR areas.
15. At Engineering Construction Drawing state, roadway cross-sections are to reflect Street Light Cables a minimum of 1.5 metres from the trunk of proposed boulevard trees to ensure the viability of the trees.
16. Prior to the approval of the affected tentative plan, the developer shall confirm fencing requirements adjacent to MR parcels to the satisfaction of the Director, Calgary Parks.

Utility Engineering

17. Servicing arrangements shall be to the satisfaction of the Manager Infrastructure Planning, Water Resources.
18. The developer, at its expense, but subject to normal oversize, endeavours to assist and boundary cost recoveries shall be required to enter into an agreement to:
 - a) Install the offsite/onsite sanitary sewers, storm sewers and water mains and construct the offsite temporary and permanent roads required to service the plan area. The developer will be required to obtain all rights, permissions, easements or rights-of-way that may be required to facilitate these offsite improvements.
 - b) Construct the underground utilities and surface improvements within 8A AV SW and 81 ST SW along the west boundary of the plan area.
 - c) Construct the onsite and offsite storm water management facilities (wet pond, wetlands, etc) to service the plan area according to the most current City of Calgary Standard Specifications Sewer Construction, Stormwater Management and Design Manual and Design Guidelines for Subdivision Servicing.
 - d) Construct a wood screening fence, chain link fence, sound attenuation fence, whichever may be required, along the boundary of the plan area.
 - e) Construct the MR within the plan area.
 - f) Construct the multiuse pathway within and along the boundaries of the plan area, to the satisfaction of the Director of Parks Development.
19. Make satisfactory cost sharing arrangements with TRICO DEVELOPMENTS (1990) LTD. for part cost of the existing underground utilities (sanitary sewer, storm sewer, and watermains) installed in 81 ST SW that was paid for and/or

constructed by TRICO DEVELOPMENTS (1990) LTD. under WEST SPRINGS, PHASE 02 (DA2022-0033).

20. Make satisfactory cost sharing arrangements with TRICO DEVELOPMENTS (1990) LTD. for part cost of the existing surface improvement (paved roads, and concrete curbs and gutters) constructed in 81 ST SW that was paid for and/or constructed by TRICO DEVELOPMENTS (1990) LTD. under WEST SPRINGS, PHASE 02 (DA2022-0033).
21. Make satisfactory cost sharing arrangements with TRICO DEVELOPMENTS (1990) LTD. for part cost of the existing underground Stormwater Storage Tank installed in 81 ST SW that was paid for and/or constructed by TRICO DEVELOPMENTS (1990) LTD. under WEST SPRINGS, PHASE 02 (DA2022-0033).
22. Make satisfactory cost sharing arrangements with Dundee Realty Corporation for part cost of the existing storm pond in Lot 10PUL in Block 28 that was paid for and/or constructed by Dundee Realty Corporation under West Springs, Phase 12 DA2005-0067 agreement.
23. The Developer shall make payment to the City for their share of the East Springbank Servicing Study.
24. The parcels shall be developed in accordance with the development restriction recommendations outlined in the following report(s):
 - Accepted Slope Stability Report, prepared by Englobe Corp. (File No. 02306788.000), dated August 14, 2023.
 - Accepted Geotech Report, prepared by Englobe Corp. (File No. 02306788.000), dated July 25, 2023.
25. Concurrent with the registration of the final instrument, execute and register on all parcels with double frontage lots that are adjacent to a collector road, a neighbourhood boulevard, an urban boulevard, an arterial road, a skeletal road, or a Transportation Utility Corridor, a Screening Fence Access Easement Agreement with the City of Calgary. The agreement and registerable access right of way plan shall be approved by the Coordinator, Utility Generalist and the City Solicitor prior to endorsement of the final instrument. A standard template for the agreement can be provided by the Development Engineering Utility Generalist or can be downloaded at <https://www.calgary.ca/pda/pd/planning-and-development-resource-library/publications.html>. Prepare and submit three (3) copies of the agreement for the City's signature.

Mobility Engineering

26. In conjunction with the applicable Tentative Plan, functional-level plans shall be submitted as a component of the Tentative Plan submission package to the satisfaction of Transportation Planning and Roads, for the staged development of

arterial and collector streets, inclusive of the staged development of the at-grade intersections and/or future grade separation, where applicable.

27. In conjunction with the applicable Tentative Plan, the applicant shall provide cross-sections, drawn to scale and dimensioned from property line and lip-of-gutter showing existing, interim and ultimate grades. Cross-sections shall indicate and provide dimensions for any proposed road widening.
28. Prior to approval of Construction Drawings and Permissions to Construct Surface improvements: The developer shall provide signed copies of back sloping agreements for any back sloping that is to take place on adjacent lands (owned privately or owned by the City).
29. In conjunction with the applicable Tentative Plan or Development Permit, all community entrance features must be located outside the public right-of-way.
30. In conjunction with the applicable Tentative Plan, collector standard streets (and below) shall be built to their full width to the satisfaction of the Manager Development Engineering

Applicant Submission

2023 September 4



Applicant's Submission – Proposed Outline Plan/Land Use Redesignation Application – 836 & 840 – 81 St. SW – West Springs

Proposal:

On behalf of Trico Residential Inc. an Outline Plan and Land Use Redesignation application has been submitted related to +1.914 ha (+4.73 ac) of land within the community of West Springs. The application is to redesignate the site from DC 12Z96 to R-1s, M-G and S-SPR.

The intent is to develop lower density residential along the south boundary adjacent to existing single detached dwellings. On the north side of the site, the density will increase in proximity to the intended Community Centre. Along the eastern portion of the site, Municipal Reserve will be dedicated allowing a tree grove to remain in its natural state. Pathways will be constructed to provide linkages between existing Open space and playgrounds to the south and north.

The proposal brings low and medium density residential to the neighbourhood that will help the City achieve MDP and ASP density targets while providing a variety of housing forms and ownership options to the public.

Policy Alignment

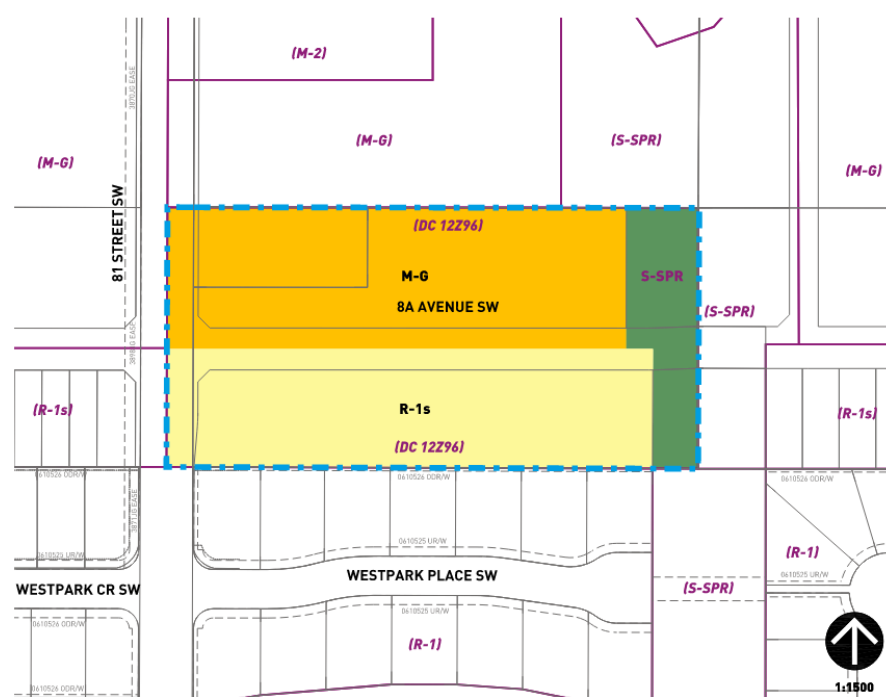
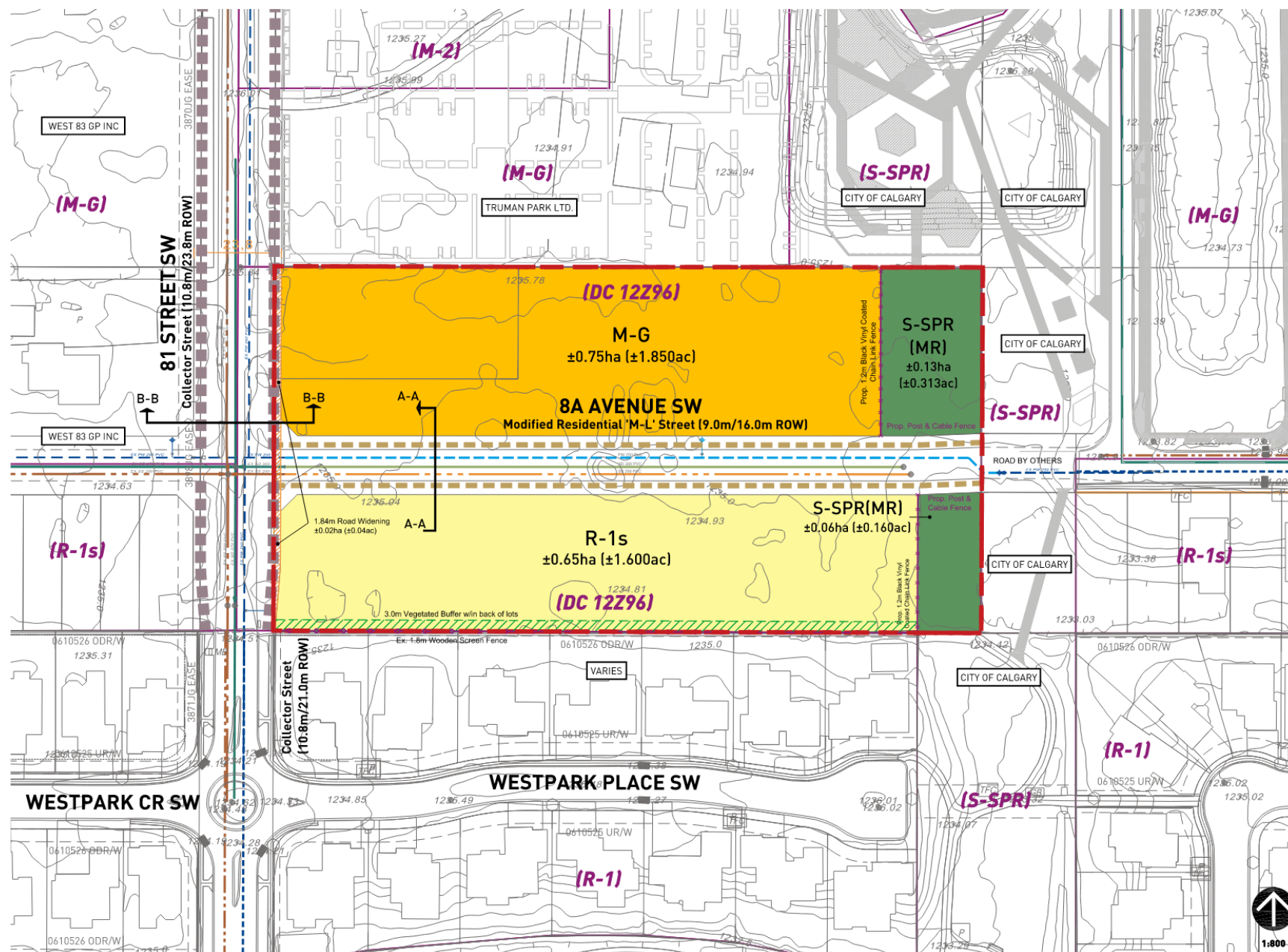
The north neighbourhood concept of the West Springs Area Structure Plan provides specific development details by identifying the north portion of the subject site appropriate for Neighbourhood - Low-Rise development (maximum density of 80 uph and maximum height of 13m) while the south portion of the site appropriate for Neighbourhood – Limited development (maximum density of 25 uph and maximum height of 11m). This proposal is in compliance with the provisions of the West Springs Area Structure Plan.

Conclusion

As this Outline Plan and Land Use application complies with the ASP concept and provides much needed residential inventory to the market, we respectfully seek a positive recommendation by City Administration, Outline Plan approval by Calgary Planning Commission, and City Council's approval for this Land Use Redesignation application.

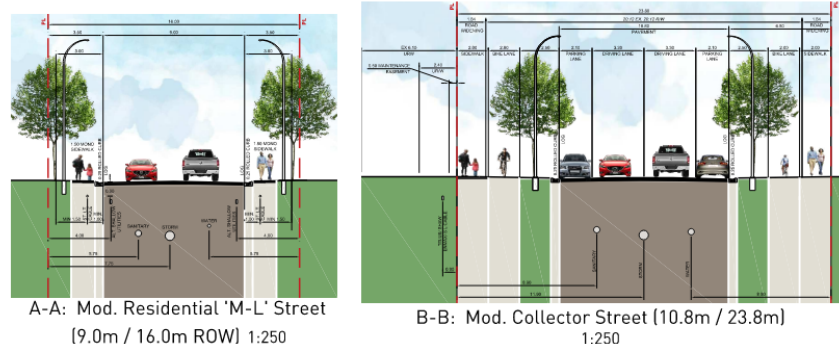
Proposed Outline Plan

Calgary Planning Commission is the Approving Authority for the Outline Plan. Attachment for Council's reference only.



OUTLINE PLAN STATISTICS					
		Hectares (±)	Acres (±)	% of GDA	
Total Area		1.91	4.730	100.0%	
Gross Developable Area (GDA)		1.91	4.730	100.0%	
Land Use	Width (m) / Units per hectare (upha)	Frontage (m)	Hectares (±)	Acres (±)	No. of Units
Residential			0.65	1.600	33.8%
R-1s	Residential - One Dwelling District	Anticipated number of lotness lots based on 10.0m lot width	0.65	1.600	16
Total Frontage		175.44	0.75	1.850	39.1%
M-G	Multi-Residential - All Grading Housing	Anticipated number of units based on 45 upha	0.23	0.56	16
Total Units					
Density		Anticipated	34.9 upha	14.1 upha	
Open Space		Maximum	29.6 upha	16.0 upha	47
Roadways & Lanes			0.19	0.473	10.0%
S-SPR(MR)		Special Purpose - School, Park and Community	0.19	0.473	10.0%
Roadways & Lanes			0.33	0.807	17.1%

LAND USE STATISTICS			
From	To	ha (±)	ac (±)
DC12296	R-1s	0.80	1.97
DC12296	M-G	0.89	2.20
DC12296	S-SPR	0.23	0.56
Total		1.91	4.73



- Outline Plan and Land Use Redesignation Boundary
- 0.5m Contours
- Existing Land Use Boundary
- Existing Land Use District
- Road Widening
- Approved 4.0m Multi-Use Pathway
- 3.0m Bikeway / 2.0m Top Sidewalk
- Proposed 1.5m Conc. Monowalk
- Proposed 1.2m Black Vinyl Coast Chain Link Fence
- Existing 1.8m Wooden Screen Fence
- Ownership
- 3.0m Vegetated Buffer w/in back of lots
- Deep Services - Existing/Approved
- Stormwater Servicing
- Sanitary Servicing
- Water Servicing/Hydrant
- Deep Services - Proposed
- Stormwater Servicing
- Sanitary Servicing
- Water Servicing/Hydrant

<p>REVISION</p> <table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>07/02/2022</td> <td>File Setup</td> <td></td> </tr> </tbody> </table>	REVISION	DATE	REVISION	DATE	1	07/02/2022	File Setup		<p>TEAM</p> <p>B&A Planning Group 400, 215 - 9th Ave SW Calgary, Alberta, T2P 1K3 t403.241.4733</p>	<p>PRE-APP NUMBER: ---</p> <p>LOD: ---</p> <p>PROJECT NUMBER: 2023-024</p> <p>DESIGN BY: B&A</p> <p>START DATE: January 31, 2024</p> <p>CURRENT DATE: January 31, 2024</p>	<p>FILE INFO</p> <p>LEGAL DESCRIPTION Plans: 9811875 Block 42 Lot 8 & 4765AK Block 42</p> <p>MUNICIPAL ADDRESS 626 & 840 Street SW</p>	<p>PROJECT NAME</p> <p>The Trico Group - West Springs</p>	<p>SHEET TITLE</p> <p>OUTLINE PLAN AND LAND USE REDESIGNATION</p>	
REVISION	DATE	REVISION	DATE											
1	07/02/2022	File Setup												

Proposed Outline Plan Data Sheet

*Calgary Planning Commission is the Approving Authority for the Outline Plan.
Attachment for Council's reference only.*

	HECTARES	ACRES
GROSS AREA OF PLAN	1.91	4.73
NET DEVELOPABLE AREA	1.91	4.73

LAND USE (Residential)	HECTARES	ACRES	ANTICIPATED # OF LOTS	ANTICIPATED # OF UNITS (Multi Residential)
R-1s	0.65	1.6	16	16
M-G	0.75	1.85	1	60
Total Residential	1.4	3.45	17	76

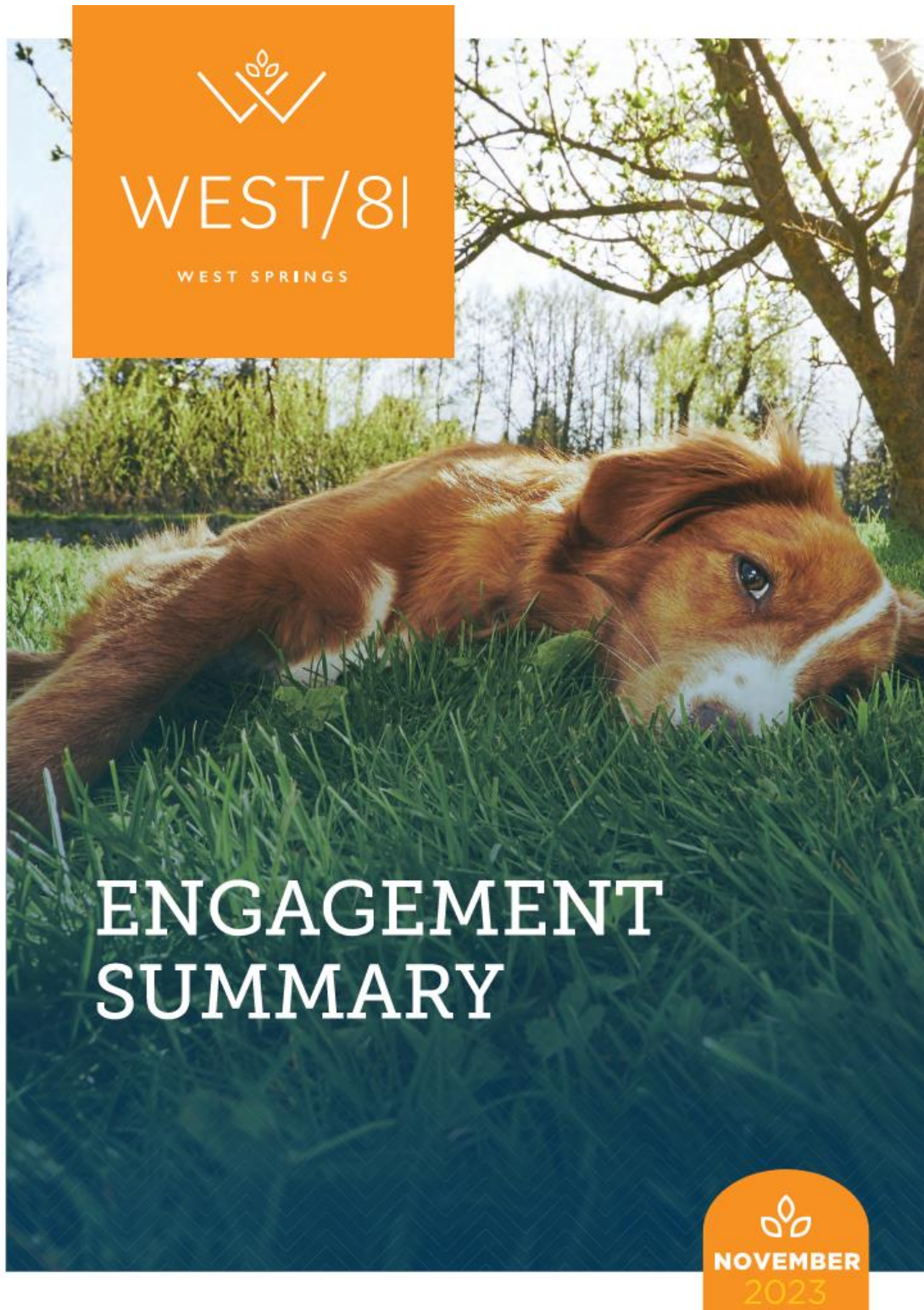
	HECTARES	ACRES	% OF NET AREA
ROADS (Credit)	0.33	0.807	17%

RESERVES	HECTARES	ACRES	% OF NET AREA
MR Credit (S-SPR)	0.19	0.473	10%

	UNITS	UPH	UPA
ANTICIPATED # OF RESIDENTIAL UNITS	76	127.5	
ANTICIPATED DENSITY		39.8	16.1
ANTICIPATED INTENSITY		66.75	27.0

Applicant Outreach Summary

2024 January 11



West 81 Project Overview

B&A, on behalf of Trico Homes, has submitted an Outline Plan and land use redesignation for the two parcels that amount to 1.914 ha (4.73 ac), located east of 81 Street SW and North of Westpark Place SW in the West Springs community. An application was submitted to the City of Calgary in September 2023 and proposes rezoning the Subject Lands from a Direct Control (DC) District 12Z96 to Multi-Residential – At Grade Housing District (M-G) and Residential – One Dwelling District (R-1s).

Community Engagement Approach

The project team has notified and engaged the adjacent landowners and wider community. The following provides an overview of the tools used:

Community Notices: The project team prepared two (2) community notices. Details of the notices are as follows:

- **August 23, 2023:** a notification letter was delivered in the mail to the seven (7) southernly adjacent landowners to inform them that an application will be submitted. The letter outlined the key project information and project team contact information.
- **September 26, 2023:** a letter was hand-delivered to the seven (7) southernly adjacent landowners and over fifty (50) other residences in the determined notification area. The letter provided project updates and an invitation to the Open House on October 17th. It also included an update on the West 83 project.

Open House: An Open House was held on Tuesday, October 17th from 6:00PM-8:00PM at St. Michael Catholic Community Church (800 85th Street SW). The purpose of the Open House was to provide an opportunity for community members to learn more about the project, meet the project team, and provide feedback. The information boards prepared for this event reflected the key stakeholder comments received prior to the event. In total, the Open House had 17 attendees, which includes Ward 6 Councillor Richard Pootmans.

Stakeholder Frequently Asked Questions (FAQ)

The project team received feedback on the project from community members. This feedback was received through emails from stakeholders both before and after the Open House, and through the online comment form. In total, sixteen (16) emails were received, and three (3) comment forms were submitted. Additionally, the project team recorded a variety of questions asked at the Open House by attendees.

Frequently Asked Questions (FAQ) and Responses

In response to the questions received from stakeholders, a list of Frequently Asked Questions (FAQ) has been prepared and responded to by the project team. The purpose of the FAQ is to share factual project information and dispel any misunderstandings.

Question Theme	Question	Response
Lot and Building Details	How many units are proposed?	The exact number of parcels will be determined at the time of Subdivision application. Our current concepts identify an anticipated 67 units. This includes approximately 16 single-detached units along the south boundary and up to 51 townhomes on the north portion of the site.
	What are the proposed lot sizes?	The single-family lot width range is anticipated to be 34' – 38' (10.36m – 11.58m), with an overall density for the project of 35.8 upha (14.5 upa).
	What is the proposed width of both the single-family homes and the townhomes?	The R-1S land use district requires a minimum 1.2 (4') side yard for each property, therefore the homes will range between 24'-30' in width. The townhomes will be designed comprehensively, at this time we have not completed detailed design and can't comment on the anticipated widths.
	What is the proposed height of the single-family homes?	The R-1S district contains a maximum building height of 11m.
	Will the height of the single-family homes produce shadowing over the existing residential homes? Is a shadow study required?	Since these homes are located north of the existing single-family homes, all shadowing would be contained to the north and not impact the existing homes.
	What is the proposed setback from the existing residential fence line?	The R-1s land use district requires a minimum of 7.5 meters from the rear property line.
	Is a proposed building placement available?	At this time exact house models have not been finalized, however, we can confirm that

		<p>the building envelope has restrictions based off the R-1S land use district (Minimum 3m from front property line, 1.2m from side property lines and 7.5m from rear property line).</p>
	<p>Is this considered a high-density building type?</p>	<p>These proposed land uses are not considered high-density building types. The M-G District is designed for at-grade entry. It is intended to be of low height and low density and intended to be in close proximity or adjacent to low density residential development. You will find more intense high density development north of the subject parcel within the West District and not within this parcel. High Density building types are considered anything above 8 stories .</p>
	<p>Some current residents were told by realtors and past developers that future development will match their existing homes. Can Trico provide information on the history of this site?</p>	<p>These lands were always contained within the East Springbank Area Structure Plan (now the West Springs Area Structure Plan) and identified as future residential. Since that time a number of Policies have been approved: Calgary Municipal Development Plan (MDP), West Springs Area Structure Plan (WSASP) and the Land Use Bylaw (LUB). Within those approvals things changed such as minimum density requirements (MDP), Land Use concept and minimum densities (WSASP) and lot sizing minimums (LUB). The WSASP clearly defined this area as a transition zone containing single family homes (Limited) and multi-family (Low Rise), this</p>

		proposal aligns with those objectives.
	Will the final building product be a similar quality to existing development in the area?	Trico is currently constructing Multi-Family homes at West 83 (a show suite is now open) and they are considering the same homes types for these lands.
Policy	What is the proposed land use for the site?	The application is proposing two districts: R-1S along the south property edge and M-G north of 8A Avenue.
	Does policy support the proposed density and uses?	This proposal is in alignment with the West Spring Area Structure Plan (ASP) – it falls into two categories: Neighbourhood Limited and Neighbourhood Low Rise. The proposed districts are meeting those categories in the ASP with the respective density and building height.
	What is an Outline Plan?	An Outline Plan is prepared alongside a land use amendment and shows block patterns, roadways, and open space to ensure a workable distribution of land uses. The City of Calgary requires this application as a pre-requisite for subdivision when lands are proposed for subdivision and are required to provide public roads and parks.
	What was the land use proposed for this site when the surrounding existing homes were built?	When the City of Calgary Annexed the lands in 1998 they put a blanked zoning across all parcels – 12Z96. This Direct Control Land Use was used as a holding district to allow for existing acreage homes to exist until they were redeveloped. This is the same district that the existing homes had before they were redeveloped. When the adjacent homes were built these lands were still being maintained as an undeveloped parcel. There still today remains many

		pockets within West Springs still undeveloped, but have policy in place for future development.
Buffer Zone	Why isn't there a greenbelt and pathway separating our site from new houses?	In the West Springs ASP, the City did not identify any linear Municipal Reserve or pathway within the Subject Lands. All reserve dedication was thoughtfully placed to create a larger more comprehensive dedication central to all residents. This ASP was approved by City Council.
	To reduce privacy concerns, why can't the lot sizes be like ours?	The proposed lot sizes are typical to the Calgary market.
	What are the proposed privacy measures to be put in place between existing residential?	A 3m landscape buffer along the single-family properties to contain a mix of trees and plantings.
	Will there be a buffer zone between the existing residential?	Yes. Initial concerns were received by the public related to interface and Trico has updated their plan to include a 3-meter-wide vegetated buffer at the rear of the lots. This is beyond what is expected in the City of Calgary subdivision guidelines. The intention is to create a more sensitive interface with existing homes which is consistent with other approved developments in the West Springs area.
	What type of vegetation will be planted in the buffer zone?	The vegetation buffer will be a combination of trees and plantings. Exact details will be determined at the time of Building Permit and Landscaping Plans. Trico hopes to mimic a similar treatment as can be witnessed to the east by Truman.
	Who is responsible for maintenance of the buffer zone?	This buffer zone will be maintained by the homeowners.
	Will the rear fence be shared, or will new rear fences be built on their own land? Will the existing	The existing fence was installed by the developer of the adjacent residential homes. Since the

	fencing between the existing residential and the proposed development be upgraded?	existing fence is owned by the homeowner, Trico does not intend to repair or rebuild any fencing at this time.
Pathways	Will there be a pathway between the existing residential and proposed single-family homes as a continuation of the existing pathway system in the area?	<p>We are not proposing a pathway along the southern boundary.</p> <p>The City of Calgary did not identify any linear pathways (10m) within the Subject Lands in the West Springs ASP. All reserve dedication was thoughtfully places to create a larger more comprehensive dedication central to all residents.</p> <p>The Municipal Reserve dedication is in alignment with the West Springs ASP Land Use Concept. The plan proposes dedication along the eastern portion of the site which connects to other approved municipal reserve dedication and the pathway system. Each property is required to provide 10% of the land as municipal reserves as per the Municipal Government Act (MGA) and we conform to this requirement.</p>
Engineering and Servicing	Why are you raising the grade of 8A Avenue? It raises the height of houses that overlook our backyards and impact our privacy.	We have a requirement to match existing grades on all perimeters of the property and to maintain road grades and pipe depths with the adjacent utilities. We are following the Master Drainage Plan and since the existing grades on 81 st ST on the west and 8A Avenue to our east are much higher we have to design our road accordingly. We understand that there is a height difference between the properties and grading and drainage will be in conformance

		with City of Calgary technical standards.
	What is proposed for water drainage? How will it refrain from draining into the adjacent residential yards?	There is an existing 2.4m overland drainage right of way all along the south property line. Our drainage will be captured in this right of way. The swale in this right of way will direct the drainage east or west and will prevent any water from entering the adjacent residential yards. We are following the normal City of Calgary design specifications for drainage and grading.
	Is there a proposed grade/elevation change?	See above response. We are required to meet all perimeter grades, roads and utilities and expect a grade difference between our main level of homes to the existing main level of homes.
Transportation	Will the proposed new development be accessed through existing roadways, or will new roadways be constructed?	We are required to build 8A Avenue and connect to the east and west (77 th St and 81 st St). 81st Street is a collector road that will be used for access to the site and other parcels to the north as outlined within the West Springs Area Structure Plan.
	Will the concrete blockade on 81 ST SW be permanent?	We are unable to answer this question as it is a City of Calgary road and blockade. In our opinion, since 81st Street is identified as a future transit route in the ASP, it is unlikely that the concrete barrier will remain indefinitely.
	Will there be sufficient parking available on site?	Parking will meet the City of Calgary land use bylaw parking requirements. The comprehensive townhome site will be evaluated during the Development Permit process. It is not the intention of Trico to

		propose a reduction in the parking standards.
Cost	What is the anticipated cost for a single-family home?	At this time, we are unable to provide exact pricing for units on the subject lands, it is too early in the process. Trico, however, identified a general range at their Open House, starting at around \$1.1M for single family homes and Townhomes starting around \$650,000. Final pricing will be available at the time of Building Permits.
	What is the anticipated cost for a townhome?	See above
Property Values	How will the new development impact the property values of existing adjacent residential?	Property Values are not a Planning consideration. This plan is in alignment with the ASP land use vision. The ASP was approved in 2012 and has been the intended guiding policy for the development of this area, including the neighbouring developments.
Schools	Will the existing schools have capacity to accommodate this development?	The plan is circulated to both public and private school boards during the application process. No comments or concerns have been received from any of the school boards at this time. School sites are determined during the Area Structure Plan process.
Planning Process	What is the status of the application?	The application was submitted in September and we just received the circulation comments from the City for review and response. We anticipate resolution of comments over the next couple of months as we work through the City process.
	When will the project be approved?	The Outline Plan and Land Use Amendment is targeting an approval in early 2024.
	What is the project timeline? When will construction begin?	The Outline Plan and Land Use Redesignation application were submitted in September 2023.

		The application is anticipating a public hearing of Council in early 2024. Should the land use application be approved, the project will proceed through the grading, subdivision, development and building permitting processes. It is possible that construction may begin in late 2024 with home occupancy in late 2025.
	Will a Development Permit or Building Permit be required for this development?	The entire site will require a Building Permit process. However, the M-G comprehensive townhome site will require a Development Permit prior to Building Permit approvals. Our information session boards did not correctly specify the different requirements of the proposed zoning of the site. The R-1S along the south property edge will only require a Building Permit. The M-G comprehensive townhome site will require a Development Permit prior to receiving a Building Permit approval.
	If approved, how will the construction impact the existing community?	We understand construction will cause disruptions for our neighbours. We are committed to reducing the impacts and mitigating nuisances caused by our construction activities. We will be following all City of Calgary guidelines for construction timing, noise, and dust control.
	Who is the file planner at the City of Calgary? What is their contact information?	Our file planner is Kieran Slattery and he can be contacted at Kieran.Slattery@calgary.ca or 403-540-2783
General	There has been damage from construction trucks attempting to access Trico's development. What are the plans to reduce the impacts	Trico has informed all trade partners that access to the site must be via Old Banff Coach Road and 81 st Street. Please note that Trico is not the only

	<p>associated with construction on existing roads?</p>	<p>developer/builder working in the area. Trico continues to communicate this message with the understanding we want to be mindful and respectful to our existing neighbors.</p>
	<p>Why wasn't every question I sent to the project team (via email, phone, or comment form) answered individually when received?</p>	<p>We appreciate the questions and comments submitted throughout this process. Rather than answering each individual question on the project details, we made a meaningful effort to host an informative Open House session. The details shown at the event were based on the questions received from stakeholders prior to the event, and the project team was present to answer any other questions.</p> <p>In alignment with the application process, this Engagement Summary/FAQ document has been prepared to further respond to all the questions received. This document can be a guiding resource that is circulated to all stakeholders to ensure all information is factual and coming from a single source.</p>

Next Steps

All stakeholder feedback gathered during this process is appreciated. The project team will continue to answer questions as the next steps of the application process unfold.

To speak with the project representative, please contact Engagement Specialist Darby Henshaw at dhenshaw@bastudios.ca or 403-692-4534.



Engagement Summary + FAQ November 2023



WEST/81


WEST SPRINGS

Community Association Response

2024 February 6

Re: [External] West Springs Community Association comments for LOC2023-0254



WSCR Planning <planning@wscr.ca>
To  Slattery, Kieran



11:25 AM

The Community association has heard concerns from property owners of adjacent properties to the south regarding the density transition. We believe the applicant can address these concerns by reducing the number of lots in the R-1 zoning or introducing a buffer conservation green strip adjacent to the existing residential properties.

Please include the following in the CA submission.

While we have concerns on green space, grading, elevation and drainage, et.al., our most central concern is the lack of transition to density. Trico has preliminary plans for 16 R-1s lots behind the 7 homes along WestPark Place SW. WestPark Place SW lots average 24m in width. Trico's proposal to have 11m wide lots does not seem to have due consideration to for the types of homes already in the neighbourhood. We think there needs to be a more gradual transition to the density and smaller lot size. Something less than 2:1 ration and closer to a 1:1 ratio with similar sizes lots is desired by residents.

The other adjacent development has a more reasonable ratio. Directly the east of the application site, there were 10 houses (new development) built along 8A Ave SW backing onto 8 houses along Westpark Court SW . Those new homes transition well (size and build) to the existing homes. Directly to the west, there are 8 new R-1s lots (where groundwork is finished, backing onto Westpark Crescent SW, and before the start of S-SPR) backing onto the existing 6 homes. This results in directly adjacent 1.25:1 ratio and 1.33:1 ratio. The application proposes an increase to a ratio of 2.28:1. Residents think 9 or 10 lots would make much more sense to remain consistent with the other recent development transitions in the immediate area.

Policy and Land Use Amendment in Bankview (Ward 8) at 2131 and 2135 – 16A Street SW, LOC2023-0350

RECOMMENDATIONS:

That Calgary Planning Commission:

1. Forward this report (CPC2024-0073) to the 2024 May 7 Public Hearing Meeting of Council;

That Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the amendment to the Bankview Area Redevelopment Plan (Attachment 2); and
3. Give three readings to the proposed bylaw for the redesignation of 0.11 hectares \pm (0.27 acres \pm) located at 2131 and 2135 – 16A Street SW (Plan 261L, Block 9, Lots 15 to 18) from Residential – Contextual One / Two Dwelling (R-C2) District to Housing – Grade Oriented (H-GO) District.

HIGHLIGHTS

- This application seeks to redesignate the subject parcels to allow for grade-oriented development in a range of housing forms at a scale consistent with low density residential districts.
- The proposal represents an appropriate density increase of a residential site, allows for development that is compatible with the character of the existing neighbourhood and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP).
- What does this mean to Calgarians? The proposed policy and land use amendment would enable additional types of dwelling units in an inner-city community well served by transit and would allow for more efficient use of existing infrastructure.
- Why does this matter? The proposed Housing – Grade Oriented (H-GO) District would allow for more housing options that may better accommodate the evolving needs of different age groups, lifestyles, and demographics.
- An amendment to the *Bankview Area Redevelopment Plan* (ARP) is required to accommodate the proposed land use amendment.
- No development permit has been submitted at this time.
- There is no previous Council direction regarding this proposal.

DISCUSSION

This application, in the southwest community of Bankview, was submitted on 2023 November 10 by Horizon Land Surveys on behalf of 1304870 B.C. Ltd. (Harinder Singh Parmar) and 2322666 Alberta Ltd. (Jasjit Mann).

The approximately 0.11 hectare (0.27 acre) site is situated mid-block on 16A Street SW between 19 Avenue SW and 21 Avenue SW. The site is approximately 90 metres south of the 17 Avenue SW Neighbourhood Main Street and thereby meets the location criteria of the H-GO District established in the Land Use Bylaw 1P2007. The proposed H-GO District allows for

**Policy and Land Use Amendment in Bankview (Ward 8) at 2131 and 2135 – 16A
Street SW, LOC2023-0350**

greater flexibility in developing a range of housing options while maintaining direct ground-level access for all homes.

As indicated in the Applicant Submission (Attachment 3), the proposed policy and land use amendment provides for grade-oriented development in a range of housing forms. The H-GO District is characterized by dwelling units which may be attached or stacked within a shared building or cluster of buildings in a form and at a scale that is consistent with low density residential districts. No development permit application has been submitted at this time.

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with public/interested parties and respective community association was appropriate. In response, the applicant delivered post cards to residents within 100 metres of the subject site, attended a Community Association meeting, and contacted the area Councillor's Office. The Applicant Outreach Summary can be found in Attachment 4.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to the public/interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners.

Administration received two letters of opposition from the public. The letters of opposition cited the following concerns:

- inadequate laneway;
- increased waste bins;
- increased curb cuts; and
- increased adjacency issues (first floor of building to the south would look into bedrooms of a building on the subject site).

The Bankview Community Association submitted a letter of opposition citing concerns about neighbourhood character and requested a concurrent development permit submission on 2024 January 16.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The H-GO District is intended to be located adjacent to other low-density districts and accommodates a variety of grade-oriented housing forms. It provides for a modest density increase while being sensitive to adjacent development. The

**Policy and Land Use Amendment in Bankview (Ward 8) at 2131 and 2135 – 16A
Street SW, LOC2023-0350**

building and site design, number of units and on-site parking will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications for a Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission’s recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposed application would allow additional housing types that may better accommodate the housing needs of different age groups, lifestyles and demographics.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Future opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The proposed land use promotes fiscal sustainability by supporting intensification in the inner-city to allow more efficient use of land, existing infrastructure, and services.

Service and Financial Implications

No anticipated financial impact

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Proposed Amendment to the Bankview Area Redevelopment Plan
3. Applicant Submission
4. Applicant Outreach Summary
5. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the community of Bankview midblock on 16A Street SW between 19 Avenue SW and 21 Avenue SW. The site is approximately 0.11 hectares (0.27 acres) in area, has dimensions of approximately 36 metres deep by 30 metres wide and is serviced by a rear lane. The site is approximately 90 metres (a one-minute walk) south of the 17 Avenue SW Neighbourhood Main Street area, as defined in the Urban Structure Map of the *Municipal Development Plan* (MDP), and meets the location criteria for the Housing – Grade Oriented (H-GO) District. There are currently two single detached homes on the site.

Surrounding development is characterized by a variety of residential land use designations and built form. The parcels to the north and south of the site are designated Residential – Contextual One / Two Dwelling (R-C2) District which accommodates duplex, semi-detached and single detached dwellings. The parcels across the lane to the west of the site are designated Multi-Residential – Contextual Grade-Oriented (M-CGd72) District and Multi-Residential – Contextual Medium Profile (M-C2) District. The M-CGd72 District provides for multi-residential development of low height and low density and is designed to provide some or all units with direct access to grade. The M-C2 District provides for multi-residential development of medium height and medium density in a variety of forms and typically has higher numbers of dwelling units than the M-CG District. A parcel to the southeast of the site is also designated as the M-C2 District. There is a parcel designated H-GO District within 220 metres (a four-minute walk) southwest of the subject site.

The site is 80 metres (a one-minute walk) northwest of Buckmaster Park and 450 metres (a six-minute walk) west of Mount Royal School on 14 Street SW. Calgary Transit route 6 (Killarney/26 AV SW) stops 230 metres (a four-minute walk) west of the site on 17A Street SW.

Community Peak Population Table

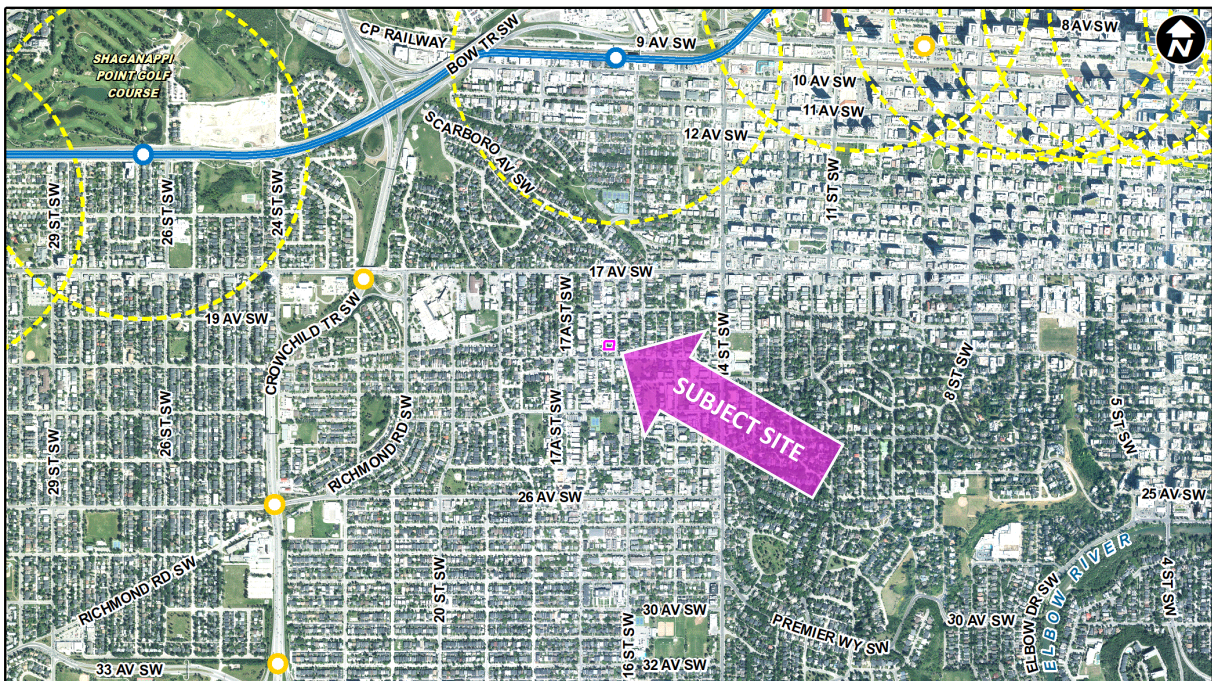
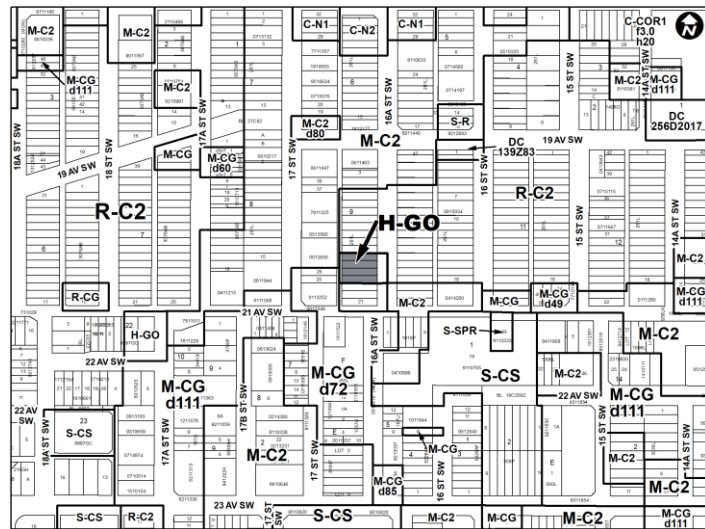
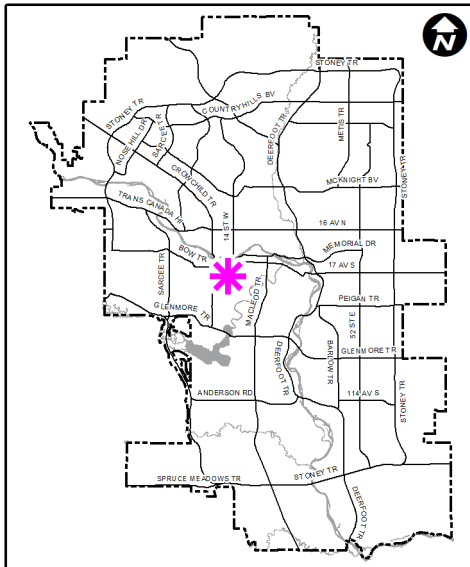
As identified below, the community of Bankview reached its peak population in 1981.

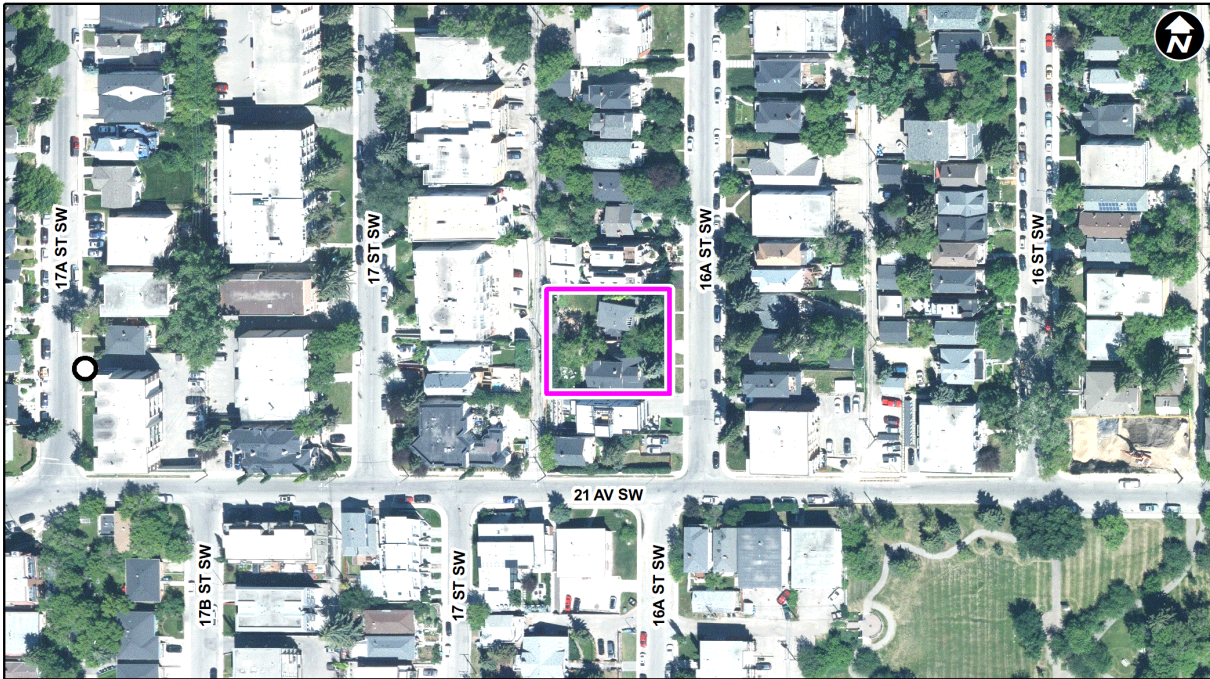
Bankview	
Peak Population Year	1981
Peak Population	5,590
2019 Current Population	5,256
Difference in Population (Number)	- 334
Difference in Population (Percent)	- 5.97%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Bankview Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C2 District accommodates contextually sensitive redevelopment in the form of duplex dwellings, semi-detached and single detached dwellings. The district allows for a maximum of two dwellings and a maximum building height of 10 metres on the parcels. Secondary suites are permitted uses within the R-C2 District.

The proposed H-GO District accommodates grade-oriented development in a range of housing forms where the dwelling units may be attached or stacked within a shared building or cluster of buildings and in a form and scale that is consistent with adjacent residential districts. The H-GO District also provides rules for:

- a minimum building separation of 6.5 metres between a residential building at the front and a residential building at the rear of a parcel to ensure functional courtyard amenity space;
- a maximum parcel area to floor area ratio (FAR) of 1.5;
- a maximum building height of 12.0 metres; and
- a minimum of 0.5 parking stalls per unit or suite.

If the parcel is not in a location with an approved Local Area Plan (LAP), it must be in the Centre City or Inner City and one of the following location criteria must be met for the site to qualify for the H-GO District:

- within 200 metres of a Main Street or Activity Centre as identified on the Urban Structure Map of the *Municipal Development Plan* (MDP);
- within 600 metres of an existing or capital-funded LRT platform;
- within 400 metres of an existing or capital-funded BRT station; and
- within 200 metres of primary transit service.

The subject site is located approximately 90 metres (one minute walk) south of the edge of the 17 Avenue SW Neighbourhood Main Street area and thereby meets the criteria to be considered for the H-GO District.

Development and Site Design

If approved by Council, the rules of the proposed H-GO District would provide guidance for the future redevelopment of the site, including appropriate uses, building height and massing, landscaping and parking. Given the specific context of this site, additional items that will be considered at the development permit stage include, but are not limited to:

- relationship to the three-storey buildings to the north and south;
- providing high quality design and building articulation; and
- providing parking from the lane.

Transportation

The site fronts on to 16A Street SW, a residential street. Direct pedestrian access to the site is available via an existing sidewalk on 16A Street SW. An on-street bikeway is proposed as part of the primary Always Available for All Ages and Abilities (5A) Network on 19 Avenue SW, one block north of the site.

The subject site is well-served by Calgary Transit. Transit Route 6 (Killarney/26 Av SW) stops 300 metres (a five-minute walk) west of the subject parcel. Transit Route 7 (Marda Loop) and Route 22 (Richmond Road SW) stop 430 metres (a seven-minute walk) east of the site on 14 Street SW. Transit Route 2 (Mount Pleasant/Killarney 17 Av SW) stops 260 metres (a four-minute walk) north of the parcel on 17 Avenue SW. 14 Street SW (430 metres east) and 17 Avenue SW (260 metres north) each form part of the Primary Transit Network. More efficient use of existing transit represent incremental benefits to climate resilience. Both 14 Street SW and 17 Avenue SW are Neighbourhood Main Streets as defined on Map 1 of the MDP.

Direct vehicular access to the site will be from the rear lane, typically accessed from 21 Avenue SW. On-street parking is presently unrestricted along 16A Street SW, and the parcel is not located within a Residential Parking Permit (RPP) zone.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water, sanitary and storm (deep) utilities exist adjacent to the site within public road rights-of-way. Servicing requirements will be determined at the time of development.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed policy and land use amendment builds on the principles of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Developed Residential – Inner City area as identified on Map 1 (Urban Structure) of the [Municipal Development Plan](#) (MDP). The proposal complies with the MDP which encourages modest intensification of the Inner City area. More efficient use of existing infrastructure, public amenities and transit represent incremental benefits to climate resilience.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Bankview Area Redevelopment Plan (Statutory – 1981)

The subject site is currently identified as Conservation as shown on Figure 2: Land Use Policy, in the [Bankview Area Redevelopment Plan](#) (ARP). These areas are intended to retain existing neighbourhood quality and character by preserving and enhancing existing dwellings.

An amendment to Figure 2: Land Use Policy is required to support the proposed redesignation to the H-GO District, recognizing a change in the applicable land use policy for the subject site from 'Conservation' to 'Medium Density' (Attachment 2). Medium Density areas are intended to accommodate medium density development up to and including apartment forms. The range of housing forms that can be accommodated in the H-GO District would complement the mix of apartment-style, single detached and semi-detached buildings in Bankview.

West Elbow Communities Local Area Planning project

Administration is currently working on the [West Elbow Communities local area planning project](#) which includes Bankview and surrounding communities. Planning applications are being accepted for processing during the local area planning process and are reviewed using existing legislation and Council approved policy.

Proposed Amendment to the Bankview Area Redevelopment Plan






1. The Bankview Area Redevelopment Plan attached to and forming part of Bylaw 13P81, as amended, is hereby further amended as follows:
 - (a) Amend Figure 2 entitled 'Land Use Policy' by changing 0.11 hectares \pm (0.27 acres \pm) located at 2131 and 2135 – 16A Street SW (Plan 261L, Block 9, Lots 15 to 18) from 'Conservation' to 'Medium Density' as generally illustrated in the sketch below:

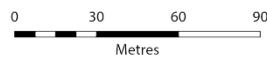
Bankview Area Redevelopment Plan

Fig. 2

Land Use Policy

Legend

-  Conservation
-  Conservation and Infill
-  Medium Low Density
-  Medium Density
-  Park School and Recreation



This map is conceptual only. No measurements of distances or areas should be taken from this map.



Applicant Submission

Company Name (if applicable):

Horizon Land Surveys

LOC Number (office use only):

Applicant's Name:

Lei Wang

Date:

Oct. 3rd, 2023

On behalf of the landowner, please accept this application to redesignate a +/-0.109 hectare site from R-C2 to H-GO to allow for:

- grade-oriented development in a range of housing forms where the dwelling units may be attached or stacked within a shared building or cluster of buildings in the form and at a scale that is consistent with low density residential districts;
- a maximum building height of 12 metres (an increase from the current maximum of 10 metres)
- flexible parcel dimensions and building setbacks that allow a diversity of grade-oriented housing
- the uses listed in the proposed H-GO designation.

The subject sites, 2131 & 2135 16A Street SW are two continuous mid-block lots along 16A Street in the community of Bankview. The lots are currently developed with single detached houses built in 1950. Rear lane is to the west of the site. The site is surrounded on north and south by single detached dwelling. Multi-residential developments exists to the west of the site. There are also many multi-residential and grade oriented developments in close proximity.

The site is in close distance to two city main street including 17 Ave SW (roughly 250 meters) and 14 Street SW (roughly 380 meters). Many commercial, institutional and amenity spaces exist in close distance along those two main streets.

The sites are under "conservation R-2" under Bankview ARP. To facilitate the development, the ARP needs to be revised to "Medium Density". Since the approval of Bankview ARP in 1981, the community has experienced significant growth and change resulting in several amendments. The proposed contextually sensitive development will bring the site more in alignment with current city growth plan.

The subject parcel is located within the Residential-Developed-Inner City area of the Municipal Development Plan. The applicable policies encourage redevelopment of inner-city communities that is similar in scale and built form to existing development, including a mix of housing such as townhouses and row housing. The Municipal Development Plan also calls for a modest intensification of the inner city, an area serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with the relevant policies of the MDP as the rules of the H-GO provide for development forms that may be sensitive to existing residential development in terms of height, built form and density.

The sites are within 200 meters of 17 Ave SW Neighbourhood Main Street Area which meets the criterion of H-GO district. Housing diversity and choice policies encourage the provision of a wide range of housing types, tenures and densities that may meet affordability, accessibility, life cycle and lifestyle needs of different groups; an adaptation of the City's existing housing stock to enable changing households to remain in the same neighbourhood for longer time periods through allowing accessory suites in low density areas. So we sincerely hope city can support our application.

Applicant Outreach Summary



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 2131 & 2135 16A Street SW

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Before undertaking the project, our office completed the "Community Outreach Assessment". The project's impact score is "1B". So we are implementing a direct approach to reach to community association, local residents within a 100 meters radius and also Ward Councilor Office.

On Aug. 17th, 2023, our staff did post card deliver to residents within a 90 meters radius. During the process, our staff did door knocking and spoke with residents at home. The main concerns our office got are with regards to increased traffic, increased density, height, shadow effects, and safety. We believe those can be properly dealt with at the development permit stage.

We have also contacted community association and will attend their planning meeting on Oct. 3rd. Ward 8 Councilor office also been contacted.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

Immediate neighbour, local residents, community association and ward councillor office

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The main concerns we heard from local residents are: increased traffic, parking issues, increased density, height, shadow effects, privacy and safety.

Some people also express concerns over property value and crime.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

We believe those concerns can be properly dealt with at the development permit stage.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

Continue engage with Councillor office and community association.

calgary.ca/planningoutreach

Community Association Response

2024 January 16

Hi Jennifer,

Thank you for giving us the time to provide feedback regarding the H-GO application LOC2023-0350.

While Bankview does support densification and encourages a variety of developments we do have concerns with the application, specifically the lack of information concerning the scale of what the landowner would like to develop. Without a concurrent development permit outlining how the land will be used, the current application outlines standard verbiage that is appropriate for an H-GO designation.

With the possibility of 10 or more units being built, we do ask how they would address access from the rear lane. Two concerns come to mind as the laneway is only 16' wide but also the rear lane is approximately 12'-16' above ground level from the front street. With the possibility of the H-GO being a multi-building development, would the city approve garages having access off of 16A ST, even though there is a laneway to the rear? If that is the case we have concerns about how this will affect the remaining character of the street.

We do acknowledge that Horizon had briefly reached out to the community back in September, but we were surprised to see that the LOC is for an H-GO and not an R-CG, as they had originally outlined in their communication: "We would like to consolidate those two lots and rezone those to R-CG or higher. The other half of the block has a lot of multi-residential condo buildings. We would like to see if we can do something similar here."

We have also attached a letter we received from neighbours as they too have additional questions about parking access, privacy, shading etc... especially with such a large development.

We do ask the city to put a pause on the approval of this H-GO and also ask the developer to submit a concurrent development plan, as well as set up an engagement session for the community as we have had other developers provide these, especially with other H-GO and R-CG proposals in Bankview.

The current application leaves us with more questions than answers.

Michal Weissmann

Bankview Development Committee

**Land Use Amendment in Sunalta (Ward 8) at 1540 and 1602 – 10 Avenue SW,
 LOC2023-0308**

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.05 hectares \pm (0.13 acres \pm) located at 1540 and 1602 – 10 Avenue SW (Plan 5380V, Block 208, Lots 22 and 23) from Direct Control (DC) District to Direct Control (DC) District to accommodate a mixed-use development with a relaxation clause, with guidelines (Attachment 2).

HIGHLIGHTS

- This application seeks to redesignate the subject parcel from the existing Direct Control (DC) District (Bylaw 82D2009) to the proposed DC District, which would not change the rules of the existing DC District, but simply add a relaxation clause.
- A relaxation clause would allow the Development Authority to use its discretion in approving development permit applications where the proposed development does not fully comply with specific land use bylaw provisions.
- The proposal represents a house-keeping amendment that updates the DC District and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP) and the *Sunalta Area Redevelopment Plan* (ARP).
- What does this mean to Calgarians? Allowing for more flexibility when applying land use bylaw rules will support commercial uses and services on this site and help create opportunities for people to live, work and shop locally to meet their daily needs.
- Why does this matter? Providing greater flexibility for at-grade commercial uses along 10 Avenue SW, close to higher density residential development, will allow more opportunities for businesses to animate and contribute to the vibrancy of 10 Avenue SW.
- No development permit has been submitted at this time, however, a temporary approval for an outdoor cafe patio will be expiring in May 2024, and renewal is dependant on the proposed DC District.
- There is no previous Council direction related to this proposal.

DISCUSSION

This application, located in the community of Sunalta, was submitted by SLVGD Architecture, on behalf of the landowners Tail Gunner Holdings Corp., on 2023 October 10. The approximately 0.05 hectare (0.13 acre) site is located on the north side of 10 Avenue SW, west of 14 Street SW.

The application proposes redesignating the subject site to a DC District to allow for relaxations to the land use bylaw provisions at the discretion of the Development Authority. As noted in the Applicant Submission (Attachment 3), the intent of the application is to allow for an outdoor café that encroaches into the front setback area. The site is subject to a temporary development permit approval for an outdoor café use that expires in 2024 May. The relaxation clause included in the proposed DC District is needed to allow for future development permit renewals of the outdoor café patio as it is located within the setback area and requires relaxations to the DC District setback requirements.

**Land Use Amendment in Sunalta (Ward 8) at 1540 and 1602 – 10 Avenue SW,
LOC2023-0308**

A detailed planning evaluation of the application, including location maps and site context, is provided in the Background and Planning Evaluation (Attachment 1).

ENGAGEMENT AND COMMUNICATION

- Outreach was undertaken by the Applicant
- Public/interested parties were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with relevant public groups and respective community association was appropriate. In response, the applicant spoke with the local Councillor's Office as well as the Sunalta Community Association. The Applicant Outreach Summary can be found in Attachment 4.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to interested parties, notice posted on-site and published [online](#). Notification letters were also sent to adjacent landowners. Administration received one letter of support from the public. A letter of support was also provided by the Sunalta Community Association, which can be found in Attachment 5.

Following Calgary Planning Commission, notifications for a Public Hearing of Council for the land use redesignation will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

With the addition of the relaxation clause, the proposed DC District will allow greater flexibility for uses and businesses on the ground floor of the building. This will help support uses that cater to local needs as well as implement the vision of 10 Street SW as a retail high street as identified in the ARP.

Environmental

This application does not include any actions that specifically address the objectives of the *Calgary Climate Strategy – Pathways to 2050*. Further opportunities to align future development on this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

Economic

The proposed land use would allow for a more efficient use of land, existing infrastructure and services, provide a more compact built form and uses in the community, and support the existing business on the site.

Service and Financial Implications

No anticipated financial impact.

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0194
Page 3 of 3**

**Land Use Amendment in Sunalta (Ward 8) at 1540 and 1602 – 10 Avenue SW,
LOC2023-0308**

RISK

There are no known risks associated with this application.

ATTACHMENTS

- 1. Background and Planning Evaluation
- 2. Proposed Direct Control District
- 3. Applicant Submission
- 4. Applicant Outreach Summary
- 5. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the community of Sunalta on the north side of 10 Avenue SW, west of 14 Street SW. The site is approximately 0.05 hectares (0.13 acres), 17 metres wide and 30 metres deep. The site is currently designated as a Direct Control (DC) District ([Bylaw 82D2009](#)), based on the City Centre Mixed Use District (CC-X), and is developed with a two-storey commercial building, with vehicle access from 10 Avenue SW.

The surrounding context includes the C-Train and freight train tracks immediately to the north, predominantly low-rise commercial buildings to the west and south and multiple high-rise mixed-use buildings to the east, two of which are currently under construction.

The site is located approximately 150 metres (two-minute walk) from the Sunalta LRT Station to the north, approximately 400 metres to the 12 Avenue SW bicycle lane to the south, and approximately 500 metres (10-minute walk) to the Bow River Regional Path to the north. Sunalta Park is located across the street from the subject site, in addition to a multitude of walkable amenities and downtown Calgary.

Community Peak Population Table

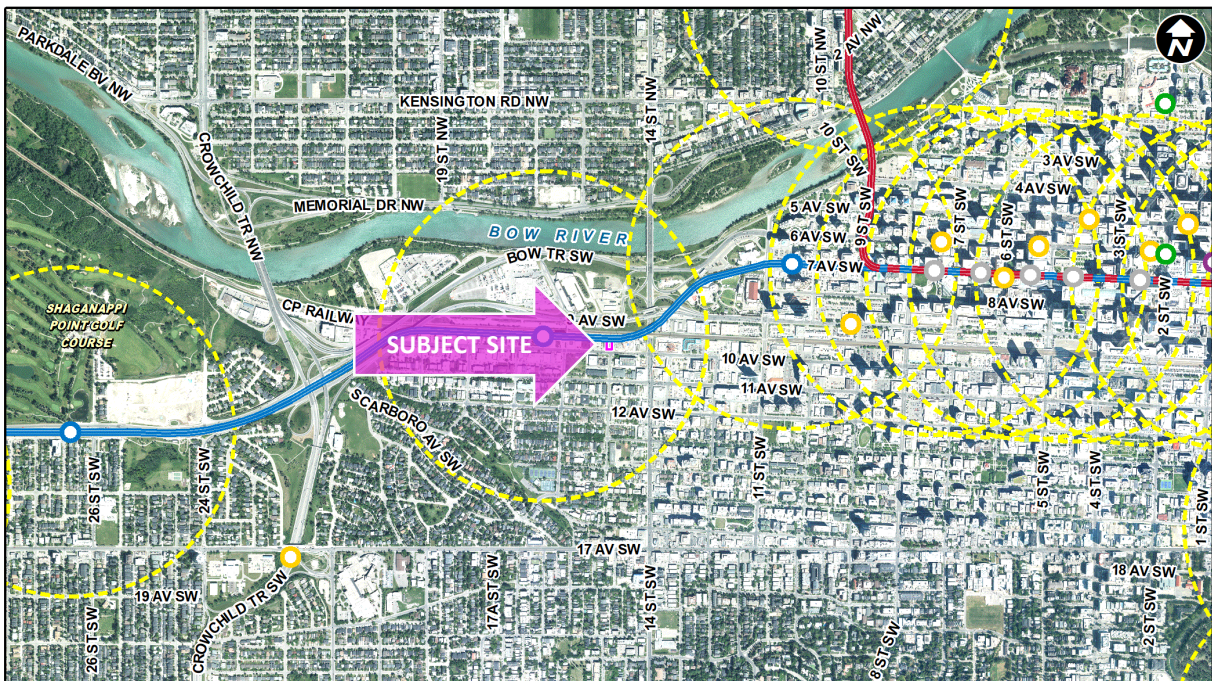
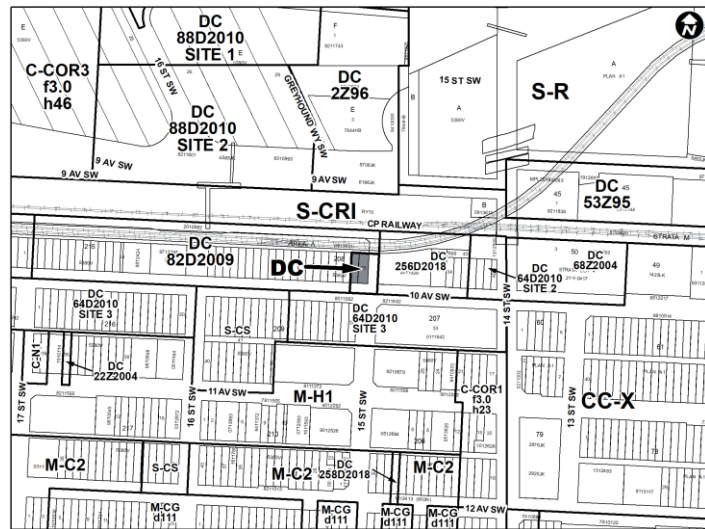
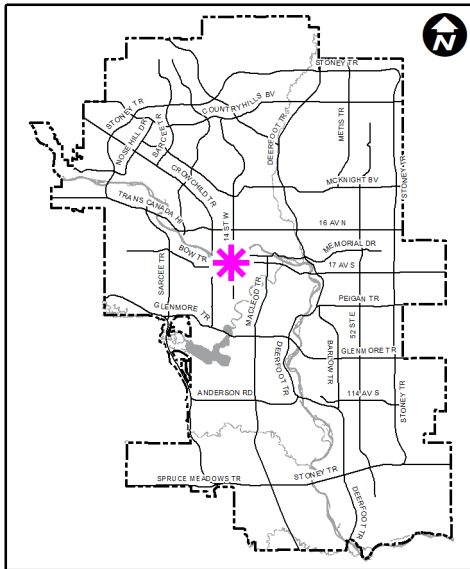
As identified below, the community of Sunalta reached its peak population in 2015.

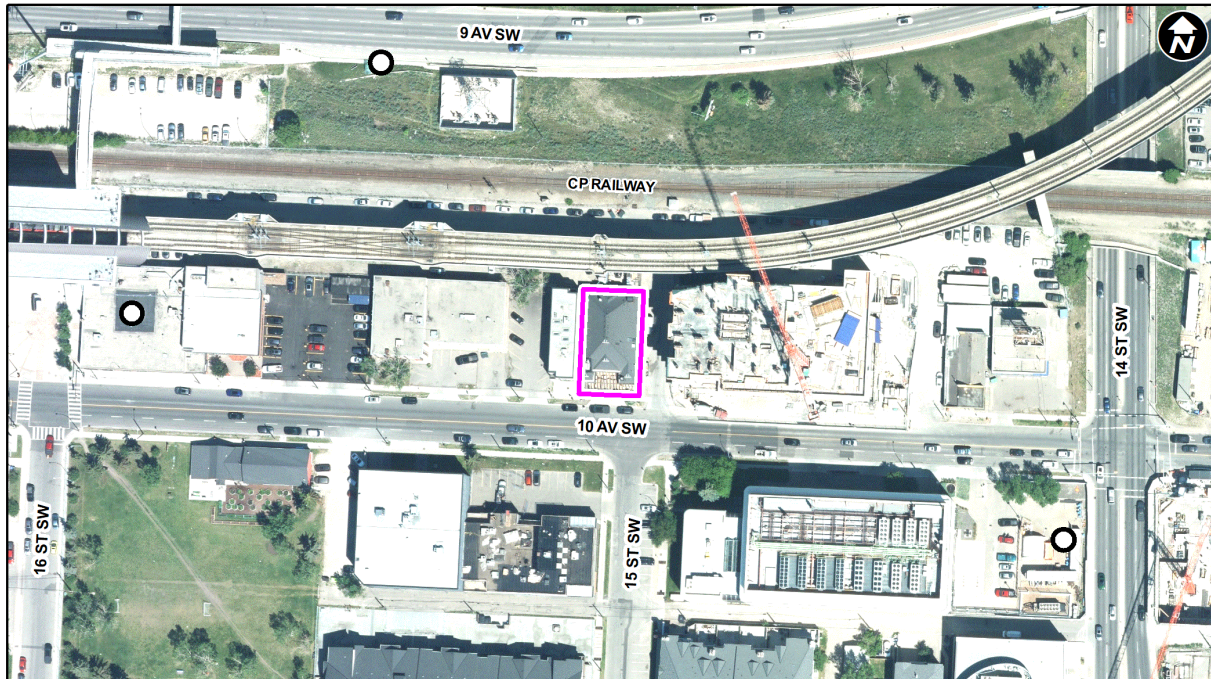
Sunalta	
Peak Population Year	2015
Peak Population	3,454
2019 Current Population	3,239
Difference in Population (Number)	-215
Difference in Population (Percent)	-6.22%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Sunalta Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing DC District is based on the CC-X District of Land Use Bylaw 1P2007, which has been modified for permitted land uses, floor area and building form to implement the *Sunalta Area Redevelopment Plan* (ARP) policies. This existing DC District allows a range of commercial and residential uses with a maximum floor area ratio (FAR) of 5.0 that may increase to 7.0 FAR with bonus density provisions. The maximum height is 75 metres. The existing DC District applies to the subject site along with the adjacent sites to the east and west between 16 Street SW and 17 Street SW.

The proposed land use application does not propose changing the intent and specific requirements of the existing DC District, but simply adds a relaxation clause. Pursuant to Section 20 of the Land Use Bylaw 1P2007, this application for a DC District has been reviewed by Administration and the use of a Direct Control District is necessary to provide for the applicant's proposed development due to its unique characteristics as well as density bonusing provisions of the ARP. This proposal allows for the applicant's intended continuation of their business while maintaining the CC-X District base district to accommodate a café patio within the setback area. The same result could not be achieved through the use of a standard land use district in the Land Use Bylaw.

The proposed DC District includes a rule that allows the Development Authority to relax Sections 7, 11 and 14 of the DC District Bylaw. Section 7 incorporates the rules of the base district in Bylaw 1P2007 where the DC District does not provide for specific regulation. In a standard district, many of these rules can be relaxed if they meet the test for relaxation of Bylaw 1P2007. The intent of this DC District rule is to ensure that rules of Bylaw 1P2007 that regulate aspects of development that are not specifically regulated in this DC District can also be relaxed in the same way that they would be in a standard district.

Sections 11 and 14 focus on front setback areas and landscaping. Relaxations to these sections would allow for future development permit renewals of the temporary patio structure as it is located within the setback area and requires relaxations these requirements of the DC District.

Development and Site Design

Any future developments for this site would be guided by the rules of the proposed DC District and the applicable policies of the *Municipal Development Plan* (MDP) and ARP. Items that will be considered for future development include, but are not limited to, building frontage and interface, building heights, setbacks, landscaping, parking and use compatibility.

Transportation

Pedestrian access to the subject site is available from sidewalks along 10 Avenue SW. The site is located 150 metres (two-minute walk) from the Sunalta LRT Station to the north, and 150 metres (two-minute walk) from bus stops for Routes 414 (14 St W) and 22 (Richmond Rd SW) on 14 Street SW.

Additionally, the site is well positioned to take advantage of the Always Available for All Ages and Abilities (5A) Network. An existing on-street bike route (signed, barrier separated) is situated on 12 Avenue SW, approximately 400 metres to the south, and the Bow River multi-use pathway is located approximately 500 metres (10-minute walk) to the north. Four bicycle parking racks are situated in front of the existing building, and on-street parking is currently permitted in front of the site on 10 Avenue SW.

A Transportation Impact Assessment was not required as part of this application.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Sanitary, storm and water mains are available to service the site.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

Administration's recommendation aligns with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to cities and towns, and promotes efficient use of land.

Growth Plan (2022)

Administration's recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Growth Plan](#) (GP). The proposed land use amendment builds on the principles

of the GP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The City of Calgary [Municipal Development Plan](#) (MDP) identifies this site as part of the Developed Residential – Inner City area as identified in Map 1: Urban Structure. Section 3.5.2 of the MDP identifies opportunities for buildings to maximize front door access to the street and principal public areas to encourage pedestrian activity, as well as encouraging at-grade retail to provide continuous, active, transparent edges to all streets and public spaces.

Calgary Climate Strategy (2022)

This application does not include any specific actions that address the objectives of the [Calgary Climate Strategy – Pathways to 2050](#). Further opportunities to align development of this site with applicable climate strategies will be explored and encouraged at subsequent development approval stages.

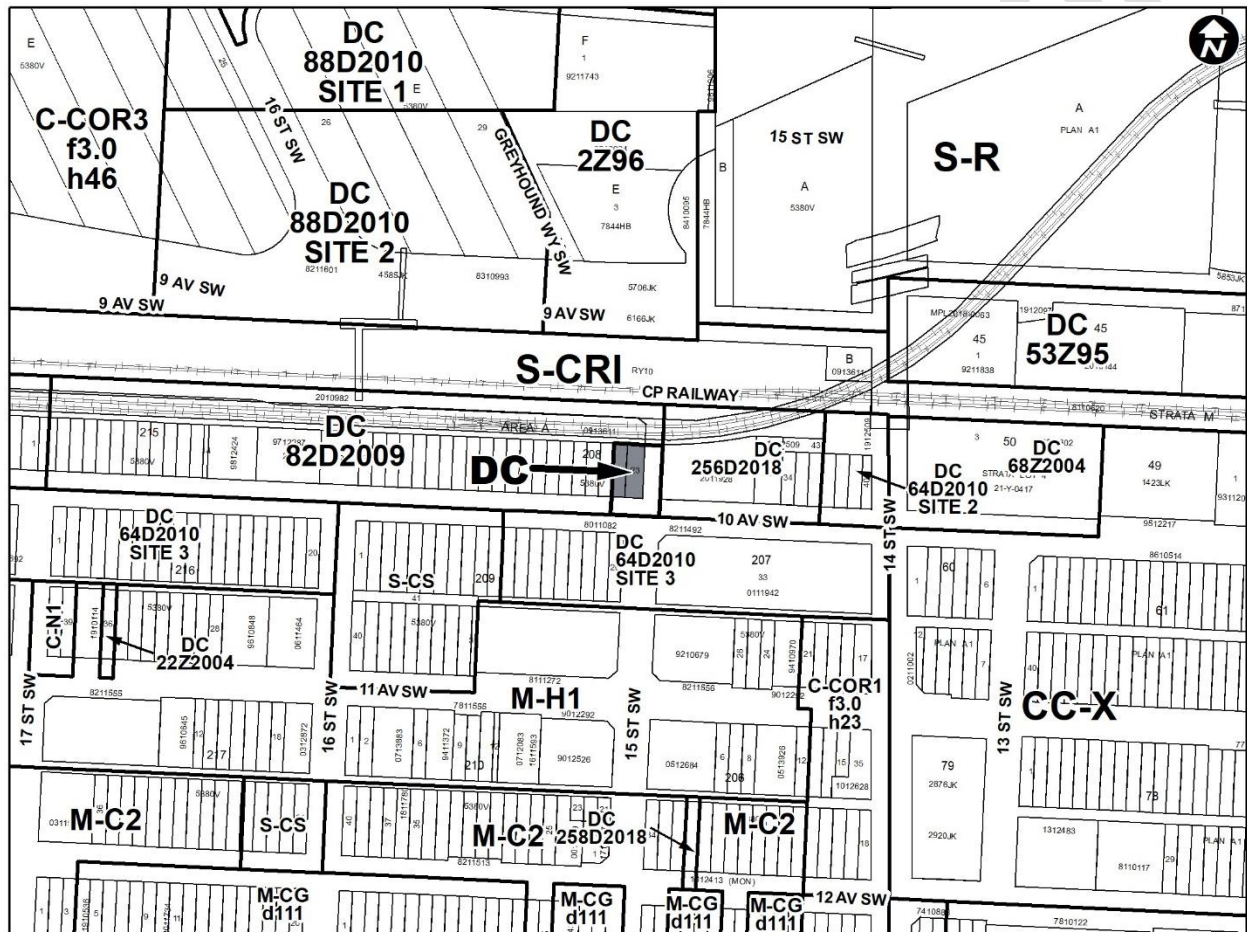
Sunalta Area Redevelopment Plan (Statutory – 1992)

The [Sunalta Area Redevelopment Plan](#) (ARP) identifies the subject site as Mixed Use in Map 2 – Land Use Policies, with a maximum height of 75 metres. The objectives of the Mixed Use policies of the ARP are based on integrating the Sunalta LRT station and track into the community, creating high quality transit oriented development, increasing livability of the neighbourhood and creating a retail oriented high street along 10 Avenue SW. The proposed land use amendment is in alignment with applicable policies of the ARP.

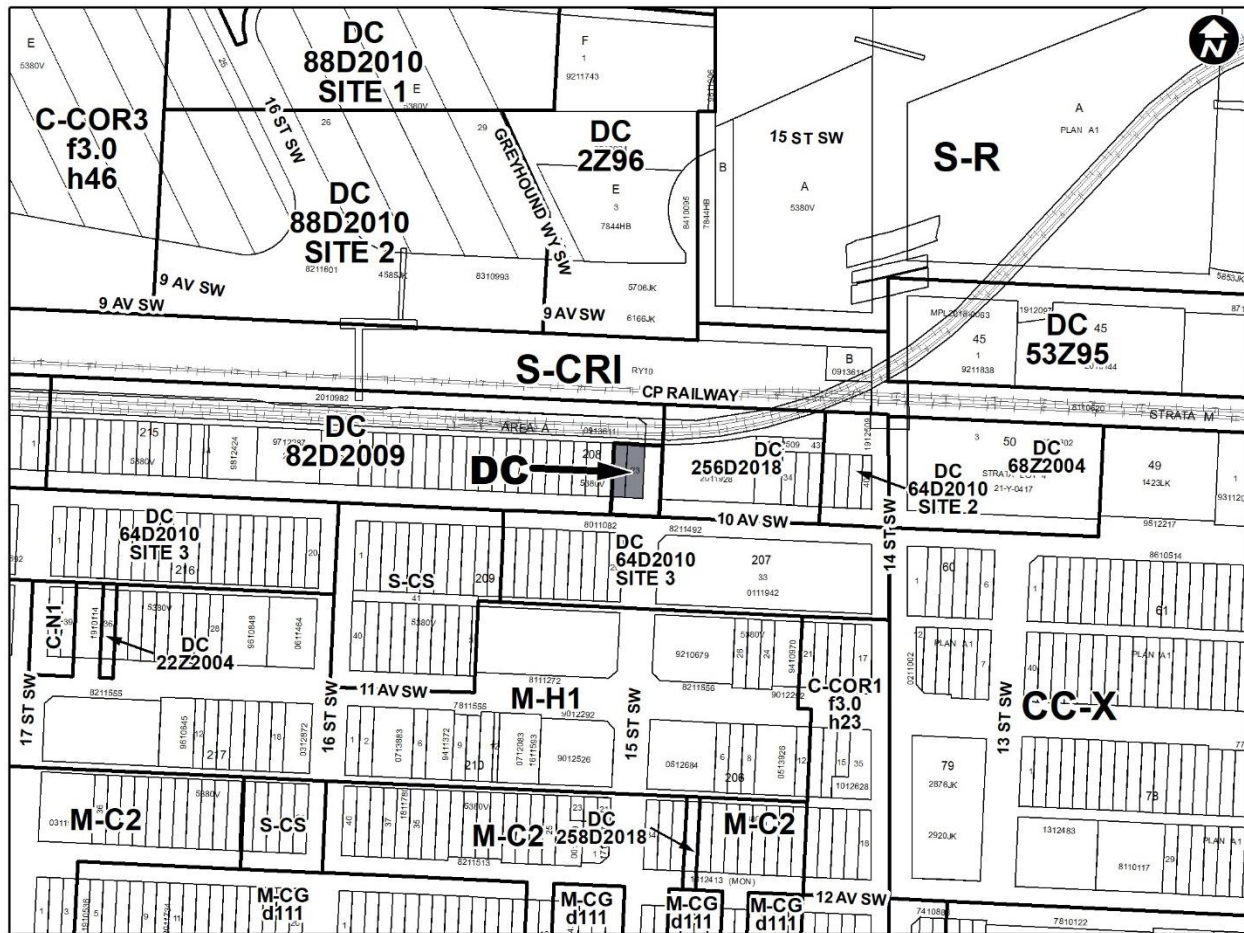
Proposed Direct Control District

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

SCHEDULE A



SCHEDULE B



DIRECT CONTROL DISTRICT

Purpose

1 This Direct Control District Bylaw is intended:

- (a) to provide for a mix of commercial, residential and limited range of light industrial uses;
- (b) for mixed uses that are sensitive to adjacent districts that allow residential uses;
- (c) to provide intense development where intensity is measured by floor area ratio;
- (d) to provide a building form that is street oriented at grade; and
- (e) to impose a maximum base density with the opportunity for a density bonus over and above base density to achieve public benefit and amenities within the same community.

Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3, and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

Reference to Bylaw 1P2007

- 3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

General Definitions

- 4 In this Direct Control District:

- (a) “**average land value**” means the average land value per square metre of buildable floor area for the area, or areas, so approved by **Council** and as amended from time to time;
- (b) “**community investment fund**” means a fund used for projects related to public realm improvements, including but not limited to streetscape design and improvements within **City** rights-of-way, implementation of urban design strategies and public are on public land; and
- (c) “**indoor community amenity space**” means floor area provided for community purposes, including, but not limited to, offices, meeting rooms, assembly spaces, recreation facilities, education facilities, cultural facilities, daycares and other social services, within the **development**, in perpetuity to the **City** and in a form acceptable to the **Development Authority**.

Permitted Uses

- 5 The **permitted uses** of the Centre City Mixed Use District (CC-X) of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

Discretionary Uses

- 6 The **discretionary uses** of the Centre City Mixed Use District (CC-X) of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the exclusion of:

- (a) **Night Club.**

Bylaw 1P2007 District Rules

- 7 Unless otherwise specified, the rules of Centre City Mixed Use District (CC-X) of Bylaw 1P2007 apply in this Direct Control District.

Floor Area Ratio

- 8
- (1) The minimum **floor area ratio** is 1.0.
 - (2) The maximum **floor area ratio** is 5.0.
 - (3) The maximum **floor area ratio** specified in subsection (2) may be increased by a maximum of 2.0 **floor area ratio** in accordance with the bonus provisions contained in section 9.

Bonus Floor Area Ratio Earning Items

9 Any of the following items or combination thereof may be used to earn a density bonus up to 2.0 **floor area ratio**:

- (a) provision of **indoor community amenity space** within the **development**, where the allowable bonus floor area in square metres is equal to the total construction or restoration cost of the **indoor community amenity space**, divided by the **average land value** per square metre of buildable floor area multiplied by 0.75, such that:

Allowable bonus floor area = total construction cost / (**average land value** X 0.75);

- (b) contribution to a **community investment fund**, as established by **Council**, where the allowable bonus floor area in square metres is equal to the contribution to the **community investment fund**, divided by the **average land value** per square metre of buildable floor area, such that:

Allowable bonus floor area = contribution / (**average land value**).

Building Height

10 The maximum building **height** is 75.0 metres.

Front Setback Area

11 The **front setback area**, as measured from the **front property line** existing on the date of the passage of this bylaw, must:

- (a) at **grade**, have a minimum depth of 2.2 metres and a maximum depth of 5.2 metres;
- (b) higher than 4.0 metres above **grade**, have a minimum depth of 1.2 metres; and
- (c) below **grade**, have a minimum depth of 1.2 metres.

Rear Setback Area

12 There is no requirement for **rear setback area**.

Side Setback Area

13 There is no requirement for **side setback area**.

Landscaping in Setback Areas

14 Where a **setback area** shares a **property line** with a **street**, the **setback area** must be a **hard surfaced landscaped area** that is level with the **adjacent** sidewalk.

Floor Plate Restrictions

15 Each floor of a **building** located partially or wholly above 36.0 metres above grade, and containing **Dwelling Units**, **Hotel suites** or **Live Work Units** has a maximum:

- (a) **floor plate area** of 930.0 square metres; and

- (b) horizontal dimension of 44.0 metres.

Vehicular Access

- 16** Where a *parcel* shares a *rear property line* or *side property line* with a *lane*, all vehicle access to the *parcel* must be from a *lane*.

Relaxations

- 17** The *Development Authority* may relax the rules contained in sections 7, 11 and 14 of this Direct Control District Bylaw in accordance with sections 31 and 36 of Bylaw 1P2007.

TEXT FOR DISCUSSION

Applicant Submission



RE: Land Use Redesignation | Applicant's Submission

To: Joseph Yun – Planner – Greater Downtown – Community Planning

RE: Tailgunner Brewery – Land Use Change Application DC-82D2009 to DC Allowing for Temporary structures in Public Realm Setback

Address: 1602 10 Avenue SW (Lot:22,23 Block:208 Plan:5380V)

Relevant previous applications: DP2022-02536, PE2023-00382

Dear Joseph,

This Application is to change from the Current Direct Control DC-82D2009 zoning for 1602 10 Avenue SW (Lot:22,23 Block:208 Plan:5380V) to Direct Control allowing temporary structures (Patio) in the 1.134m Public Right of way.

As listed in the City of Calgary Land Use Bylaw 1P2007 -Part 3: Rules Governing all Districts a 1.134m Public Realm Setback is required for 10 Avenue S from Bow Trail to 14 Street W.

The Intent of the Application is to maintain the existing Direct Control rules of DC-82D2009 and add an additional rule that allows for Temporary Structures in the 1.134m Public Realm setback. The reason for this application is to maintain the existing Temporary Structure approved by DP2022-02536.

The current owner of the property, Tailgunner Brewery, has constructed an outdoor patio within the 1.134m Public Realm as per approved Temporary Use Development permit DP2022-02536. Following the approval of DP2022-02536 the owners were notified that this Temporary Development Permit was permitted only as a relaxation and cannot be renewed under the existing land use district and a that a land use redesignation would be required to allow for any future renewals of the Temporary Development Permit.

A pre-application PE2023-00382 was submitted to the City of Calgary by SLVGD Architecture pertaining to a Land-Use Change application. As per Pre-application Assessment received on April 04, 2023:

A land use amendment to allow for an outdoor cafe is supported. Administration supports a land use amendment to a Direct Control in order to maintain the density bonusing provision in the existing direct control land use (82D2009).

This application understands that Future development permits for the Outdoor Café will only be approved for temporary periods and that new Development Permits must be applied for prior to the expiry date of each subsequent Temporary Development Permit. This application further understands that the existing Outdoor Café (patio) is located in the required 1.134m Public Realm Setback. In the event the City of Calgary requires removal of the outdoor café, the outdoor café must be removed within 30 days of receiving written notice from the City of Calgary, at no risk and at no cost to the City of Calgary, and the ground surface be restored to the satisfaction of the Development Authority.

We ask that this Land Use change application be approved to allow for the continued use of the outdoor patio and to formally acknowledge the permitted relaxation that was granted as DP2022-02536.

Thank you,



Jeffrey Riedl

Architect, AAA, BFA, M.Arch. LEED® AP BD+C
SLVGD Architecture Inc.
201, 6323 Road NW
Calgary, AB T3B 0E4
p: 587.351.1950
e: info@slvgdarchitecture.com

Applicant Outreach Summary



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: Tailgunner Brewery

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

This application is for a change to a Direct Control District to Allow for Temporary Structures in the the Public Right of Way. As this is a Direct Control Application we wish to engage the community once the exact wording of the DC definition is established through consultation with the City of Calgary. It is our intent to engage the adjacent property owners and Community Association one the DC definition is established.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Update 23.12.06

We reached out to the Ward 8 city Councillor and to the Sunalta Community Association.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

We reached out to the Ward 8 city Councillor and to the Sunalta Community Association.

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The office of the Ward 8 acknowledged the application but gave no comment. The Sunalta Community Association sent a letter of approval for the DP LOC application.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

We hope that the support of the Sunalta Community Association will lead to an approval.

calgary.ca/planningoutreach

Community Association Response



Attn: MLADEN KUKIC
RE: **LOC2023-0308**

November 24, 2023

The Sunalta Community Association (SCA) is providing this letter in response to the Land Use Redesignation application **LOC2023-0308**.

The SCA has reviewed the package delivered via email and does not object to the development permit and is pleased to see the applicant continue to choose Sunalta as their place of business.

We wish the applicant all the best in their future endeavours.

Thank you,

Sunalta Planning and Development Committee

1627, 10 Avenue SW
Calgary, Alberta
T3C 0J8
(403) 244-2608
www.sunalta.net

**Planning and Development Services Report to
Calgary Planning Commission
2024 February 22**

**ISC: UNRESTRICTED
CPC2024-0202
Page 1 of 1**

Prairie Gateway Area Structure Plan (Verbal Report)

RECOMMENDATION(S):

That the Calgary Planning Commission direct that the Closed Meeting discussions, supplementary handouts, and presentation be held confidential pursuant to Section 24 (Advice from officials) of the *Freedom of Information and Protection of Privacy Act*, to be reviewed by 2025 February 24.