



AGENDA

CALGARY PLANNING COMMISSION

September 2, 2021, 1:00 PM
IN THE COUNCIL CHAMBER

Members

Director D. Hamilton, Chair
Director R. Vanderputten, Vice-Chair
Councillor J. Gondek
Councillor E. Woolley
Commissioner M. Landry
Commissioner F. Mortezaee
Commissioner A. Palmiere
Commissioner C. Pollen
Commissioner J. Scott
Commissioner J. Sonogo
Mayor N. Nenshi

SPECIAL NOTES:

Public are encouraged to follow Council and Committee meetings using the live stream [Calgary.ca/WatchLive](https://calgary.ca/WatchLive)

Members may be participating remotely.

1. CALL TO ORDER
2. OPENING REMARKS
3. CONFIRMATION OF AGENDA
 - 3.1. DECLARATIONS - CONFLICTS OF INTEREST
4. CONFIRMATION OF MINUTES
 - 4.1. Minutes of the Regular Meeting of the Calgary Planning Commission, 2021 August 19
5. CONSENT AGENDA
 - 5.1. DEFERRALS AND PROCEDURAL REQUESTS
None

5.2. BRIEFINGS
None

5.3. Land Use Amendment in Highwood (Ward 4) at 720 – 40 Avenue NW, LOC2020-0176, CPC2021-1263

6. POSTPONED REPORTS
(including related/ supplemental reports)

None

7. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

7.1. DEVELOPMENT ITEMS

7.1.1. Development Permit in Springbank Hill (Ward 6) at 8355 – 19 Avenue SW, DP2021-0970, CPC2021-1213

7.2. PLANNING ITEMS

7.2.1. Land Use Amendment in Beltline (Ward 8) at 1229 – 13 Avenue SW, LOC2021-0094, CPC2021-1246

7.2.2. Policy Amendment and Land Use Amendment in South Calgary (Ward 8) at 3023 – 16 Street SW, LOC2020-0158, CPC2021-1184

7.3. MISCELLANEOUS ITEMS

7.3.1. 144 Avenue NW (Sage Hill Drive to 24 Street NW) and bridge over West Nose Creek, CPC2021-1038

8. URGENT BUSINESS

9. CONFIDENTIAL ITEMS

9.1. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES
None

9.2. URGENT BUSINESS

10. ADJOURNMENT



INDEX FOR THE 2021 SEPTEMBER 02 REGULAR MEETING OF CALGARY PLANNING COMMISSION

NOTE:
PLANS SUBMITTED TO THE COMMISSION, AS PART OF THE DEPARTMENTAL REPORTS,
ARE INCLUDED FOR THE SOLE PURPOSE OF ASSISTING THE COMMISSION IN MAKING
A DECISION AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

ISC: Unrestricted



CONSENT AGENDA

ITEM NO.: 5.1

DEFERRALS AND PROCEDURAL REQUESTS

ITEM NO.: 5.2

BRIEFINGS

ITEM NO.: 5.3

Evan Goldstrom

COMMUNITY:

Highwood (Ward 4)

FILE NUMBER:

LOC2020-0176 (CPC2021-1263)

PROPOSED REDESIGNATION:

From: Residential – Contextual One / Two Dwelling
(R-C2) District

To: Residential – Grade-Oriented Infill (R-CG)
District

MUNICIPAL ADDRESS:

720 – 40 Avenue NW

APPLICANT:

Tricor Design Group

OWNER:

Fiona Grace Lydiatt
Brad Van De Walle

ADMINISTRATION RECOMMENDATION:

APPROVAL

DEVELOPMENT ITEMS

ITEM NO.: 7.1.1

Johnson Kwan

COMMUNITY:

Springbank Hill (Ward 6)

FILE NUMBER:

DP2021-0970 (CPC2021-1213)

PROPOSED DEVELOPMENT:

New: Multi-Residential Development (1 building)

MUNICIPAL ADDRESS:

8355 – 19 Avenue SW

APPLICANT:

S2 Architecture

OWNER:

Aspen Springs GP Ltd

ADMINISTRATION RECOMMENDATION:

APPROVAL

PLANNING ITEMS

ITEM NO.: 7.2.1

Katherine Wilson

COMMUNITY:

Beltline (Ward 8)

FILE NUMBER:

LOC2021-0094 (CPC2021-1246)

PROPOSED REDESIGNATION:

From: Centre City Multi-Residential High Rise District (CC-MH)

To: Direct Control District to accommodate the additional use of Office

MUNICIPAL ADDRESS:

1229 – 13 Avenue SW

APPLICANT:

Vision Integrity Engineering

OWNER:

Thousand Plus One Software Ltd

ADMINISTRATION RECOMMENDATION: APPROVAL

ITEM NO.: 7.2.2

Joseph Yun

COMMUNITY:

South Calgary (Ward 8)

FILE NUMBER:

LOC2020-0158 (CPC2021-1184)

PROPOSED POLICY AMENDMENT:

Amendment to the South Calgary/Altadore Area Redevelopment Plan

PROPOSED REDESIGNATION:

From: Multi-Residential – Contextual Medium Profile (M-C2) District

To: Direct Control District to accommodate Restaurant and Outdoor Café uses within an existing assisted living facility

MUNICIPAL ADDRESS:

3023 – 16 Street SW

APPLICANT:

B&A Planning Group

OWNER:

Section23 CSPACE Ltd

ADMINISTRATION RECOMMENDATION: APPROVAL

MISCELLANEOUS ITEMS

ITEM NO.: 7.3.1

Peter Rudolf

COMMUNITY:

Sage Hill (Ward 1)

FILE NUMBER:

CPC2021-1038

PROPOSED:

144 Avenue NW (Sage Hill Drive NW to 24 Street NW)
and bridge over West Nose Creek

ADMINISTRATION RECOMMENDATION:

RECEIVE FOR THE CORPORATE RECORD



MINUTES

CALGARY PLANNING COMMISSION

**August 19, 2021, 1:00 PM
IN THE COUNCIL CHAMBER**

PRESENT: Director D. Hamilton, Chair (Remote Participation)
Director K. Fromherz, Vice-Chair (Remote Participation)
Councillor J. Gondek (Remote Participation)
Commissioner F. Mortezaee (Remote Participation)
Commissioner A. Palmiere (Remote Participation)
Commissioner C. Pollen (Remote Participation)
Commissioner J. Scott (Remote Participation)
Commissioner J. Sonogo (Remote Participation)

ABSENT: Councillor E. Woolley (Personal)
Commissioner M. Landry

ALSO PRESENT: A/Principal Planner S. Jones
A/CPC Secretary L. Kearnes
Legislative Advisor J. Palaschuk

1. CALL TO ORDER

Director Hamilton called the meeting to order at 1:02 p.m.

ROLL CALL:

Director Hamilton, Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo.

Absent from Roll Call:

Commissioner Landry and Councillor Woolley.

2. OPENING REMARKS

Director Hamilton provided opening remarks at today's Meeting and a traditional land acknowledgement.

3. CONFIRMATION OF AGENDA

Moved by Councillor Gondek

That the Agenda for the 2021 August 19 Calgary Planning Commission be confirmed.

MOTION CARRIED

3.1 DECLARATIONS - CONFLICTS OF INTEREST

Commissioner Palmiere declared a conflict of interest with respect to Items 6.1 (CPC2021-1019) and 6.2 (CPC2021-1023).

4. CONFIRMATION OF MINUTES

4.1 Minutes of the Regular Meeting of the Calgary Planning Commission, 2021 August 05

Moved by Director Fromherz

That the Minutes of the 2021 August 05 Regular Meeting of the Calgary Planning Commission be confirmed.

MOTION CARRIED

5. CONSENT AGENDA

Moved by Commissioner Palmiere

That the Consent Agenda be approved as follows:

5.1 DEFERRALS AND PROCEDURAL REQUESTS

5.1.1 Procedural Request-Regular Meetings of the Calgary Planning Commission be scheduled on 2021 October 07 and 2021 October 21 at 1:00 p.m. (Verbal), CPC2021-1228

5.2 BRIEFINGS

None

5.3 Land Use Amendment in Glendale (Ward 6) at 4107 – 17 Avenue SW, LOC2021-0063, CPC2021-1199

5.4 Policy Amendment and Land Use Amendment in Killarney (Ward 8) at 2239 – 27 Street SW, LOC2021-0074, CPC2021-1176

5.5 Policy Amendment and Land Use Amendment in Altadore (Ward 8) at 1704 – 48 Avenue SW, LOC2020-0155, CPC2021-0436

5.6 Land Use Amendment in Killarney/Glengarry (Ward 8) at 2808 – 31 Street SW, LOC2021-0016, CPC2021-1195

5.7 Land Use Amendment in Altadore (Ward 8) at 1747 – 34 Avenue SW, LOC2021-0025, CPC2021-1197

For: (7): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

6. POSTPONED REPORTS

6.1 Policy Amendment and Land Use Amendment in Shaganappi (Ward 8) at 1744 - 33 Street SW, LOC2021-0022, CPC2021-1019

Commissioner Palmiere declared a conflict of interest and abstained from discussion and voting with respect to this Item.

Commissioner Palmiere left the Remote Meeting at 1:09 p.m.

A presentation entitled "LOC2021-0022 / CPC2021-1019 Policy & Land Use Amendment" was distributed with respect to Report CPC2021-1019.

The following speakers addressed Commission with respect to Report CPC2021-1019:

1. David White, CivicWorks
2. Bruce McKenzie, NORR Architects

Moved by Commissioner Scott

That with respect to Report CPC2021-1019, the following be approved:

That the Calgary Planning Commission:

1. Forward this report (CPC2021-1019) to the 2021 September 13 Combined Meeting of Council to the Public hearing Portion of the Agenda.

That Calgary Planning Commission recommend that Council:

1. Give three readings to the proposed bylaw for the amendments to the Westbrook Village Area Redevelopment Plan (Attachment 3); and
2. Give three readings to the proposed bylaw for the redesignation of 0.31 hectares ± (0.77 acres ±) located at 1744 – 33 Street SW (Plan 2111033, Block 1, Lot 27) from Multi-Residential – Contextual Medium Profile (M-C2) District to Mixed Use - General (MU-1f4.0h26) District.

For: (6): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

6.2 Policy and Land Use Amendment in Shaganappi (Ward 8), at 1706 - 33 Street SW, LOC2021-0023, CPC2021-1023

Commissioner Palmiere declared a conflict of interest and abstained from discussion and voting with respect to this Item.

A presentation entitled "LOC2021-0023 / CPC2021-1023 Policy & Land Use Amendment" was distributed with respect to Report CPC2021-1023.

The following speakers addressed Commission with respect to Report CPC2021-1023:

1. David White, CivicWorks
2. Bruce McKenzie, NORR Architects

Moved by Commissioner Pollen

That with respect to Report CPC2021-1023 the following be approved:

That the Calgary Planning Commission:

1. Forward this report (CPC2021-1023) to the 2021 September 13 Combined Meeting of Council to the Public Hearing Portion of the Agenda.

That Calgary Planning Commission recommends that Council:

1. Give three readings to the proposed bylaw for the amendments to the Westbrook Village Area Redevelopment Plan (Attachment 3); and
2. Give three readings to the proposed bylaw for the redesignation of 0.10 hectares \pm (0.25 acres) located at 1706 – 33 Street SW (Plan 2111032, Block 1, Lot 26) from Multi-Residential – Contextual Medium Profile (M-C2) District to Mixed Use - General (MU-1f4.6h25) District.

For: (6): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

Commissioner Palmiere returned to the Remote Meeting at 1:51 p.m. after the vote was declared.

7. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS

- 7.1.1 Development Permit in Springbank Hill (Ward 6) at 8233 – 19 Avenue SW, DP2020-5757, CPC2021-1015

The following documents were distributed with respect to Report CPC2021-1015:

- A presentation entitled "DP2020-5757 / CPC2021-1015 Development Proposal"; and
- A letter of support from the Springbank Hill Community Association

Eric Free, Casola Koppe Architects, addressed Commission with respect to Report CPC2021-1015.

Moved by Commissioner Palmiere

That with respect to Report CPC2021-1015, the following be approved:

That the Calgary Planning Commission accept the letter of support from the Springbank Hill Community Association for the Corporate Record.

MOTION CARRIED

Moved by Commissioner Mortezaee

That with respect to Report CPC2021-1015 the following be approved:

That Calgary Planning Commission approve Development Permit DP2020-5757 for a New: Multi-Residential Development (3 buildings) at 8233 – 19 Avenue SW (Plan 2110726, Block 2, Lot 6), with conditions (Attachment 2).

For: (7): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

7.2 PLANNING ITEMS

7.2.1 Land Use Amendment in Residual Sub-Area 12A (Ward 12) at 10811 – 84 Street SE, LOC2021-0085, CPC2021-1088

A presentation entitled "LOC2021-0085 Land Use Amendment" was distributed with respect to Report CPC2021-1088.

Moved by Commissioner Palmiere

That with respect to Report CPC2021-1088 the following be approved:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 6.83 hectares ± (16.88 acres ±) located at 10811 – 84 Street SE (SE1/4 Section 13-23-29-4) from Industrial – Outdoor (I-O) District to Industrial – General (I-G) District.

For: (7): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

7.2.2 Land Use Amendment in Spruce Cliff (Ward 8) at 3404 Bow Trail SW, LOC2021-0068, CPC2021-1114

A presentation entitled "LOC2021-0068 Land Use Amendment" was distributed with respect to Report CPC2021-1114.

Moved by Commissioner Palmiere

That with respect to Report CPC2021-1114 the following be approved:

That Calgary Planning Commission:

1. Forward this report (CPC2021-1114) to the 2021 September 13 Combined Meeting of Council to the Public Hearing portion of the Agenda.

That Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the redesignation of 0.37 hectares \pm (0.92 acres \pm) located at 3404 Bow Trail SW (Plan 1710230, Block 3, Lot 27) from Commercial – Neighbourhood 2 (C-N2) District to Mixed Use - General (MU-1f2.0h30) District.

For: (7): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

7.2.3 Policy Amendments to the West Springs Area Structure Plan (Ward 6), LOC2021-0086, CPC2021-1098

A presentation entitled "LOC2021-0086 / CPC2021-1098 Policy Amendment" was distributed with respect to Report CPC2021-1098.

Moved by Councillor Gondek

That with respect to Report CPC2021-1098 the following be approved:

That Calgary Planning Commission:

1. Forward this report (CPC2021-1098) to the 2021 September 13 Combined Meeting of Council to the Public Hearing portion of the Agenda.

That Calgary Planning Commission recommend that Council:

2. Give three readings to the proposed bylaw for the amendments to the West Springs Area Structure Plan (Attachment 2).

For: (7): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

7.2.4 Policy and Land Use Amendment in Richmond (Ward 8) at 2137 – 31 Avenue SW, LOC2021-0119, CPC2021-1183

A clerical correction was noted on page 2 of the Cover Report of Report CPC2021-1183, in the third paragraph of the Discussion section, by deleting the words "Richmond ARP bis" and by substituting the word "Richmond ARP is".

The following documents were distributed with respect to Report CPC2021-1183:

- A Revised Attachment 3
- A presentation entitled "LOC2021-0119 Policy and Land Use Amendment"

Committee recessed at 2:59 p.m. and reconvened at 3:10 p.m. with Director Hamilton in the Chair.

ROLL CALL:

Director Hamilton, Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo.

Absent from Roll Call:

Commissioner Landry and Councillor Woolley.

Moved by Councillor Gondek

That with respect to Report CPC2021-1183, the Administration Recommendations be amended by adding a new #4, as follows:

4. Direct Administration to prioritize and undertake a sustainment review of Land Use Bylaw 1P2007 pertaining to Residential – Grade-Oriented Infill (R-CG) District. The scope of review should consider possible recommendations of refined or new rules to allow for:

- grade-oriented, low density residential development in a variety of forms and unit configurations on mid-block and corner parcels;
- development forms with an orientation of dwelling units around a central courtyard; and
- specific motor vehicle parking requirements for secondary suites and backyard suites.

For: (7): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

Moved by Commissioner Sonogo

That with respect to Report CPC2021-1183 the following be approved, **as amended**:

1. Forward this report (CPC2021-1183) to the 2021 September 13 Combined Meeting of Council to the Public Hearing portion of the Agenda;

For: (7): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

MOTION CARRIED

Moved by Commissioner Sonogo

That with respect to Report CPC2021-1183 the following be approved, **as amended**:

2. Give three readings to the proposed bylaw for the amendment to the Richmond Area Redevelopment Plan (Attachment 2);

3. Give three readings to the proposed bylaw for the redesignation of 0.12 hectares \pm (0.29 acres \pm) located at 2137 – 31 Avenue SW (Plan 4479P, Block 52, Lots 21 to 24) from Residential – Grade-Oriented Infill (R-CG) District to Direct Control District to accommodate a courtyard-style semi-detached development, with guidelines (Attachment 3); and

For: (6): Director Fromherz, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonogo

Against: (1): Councillor Gondek

MOTION CARRIED

Moved by Commissioner Sonogo

That with respect to Report CPC2021-1183 the following be approved, **as amended**:

4. Direct Administration to prioritize and undertake a sustainment review of Land Use Bylaw 1P2007 pertaining to Residential – Grade-Oriented Infill (R-CG) District. The scope of review should consider possible recommendations of refined or new rules to allow for:

- **grade-oriented, low density residential development in a variety of forms and unit configurations on mid-block and corner parcels;**
- **development forms with an orientation of dwelling units around a central courtyard; and**

- **specific motor vehicle parking requirements for secondary suites and backyard suites.**

For: (7): Director Fromherz, Councillor Gondek, Commissioner Mortezaee, Commissioner Palmiere, Commissioner Pollen, Commissioner Scott, and Commissioner Sonego

MOTION CARRIED

7.3 MISCELLANEOUS ITEMS

None

8. URGENT BUSINESS

None

9. CONFIDENTIAL ITEMS

9.1 ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

None

9.2 URGENT BUSINESS

None

10. ADJOURNMENT

Moved by Councillor Gondek

That this meeting adjourn at 3:17 p.m.

MOTION CARRIED

The following items have been forwarded on to the 2021 September 13 Combined Meeting of Council:

PLANNING MATTERS FOR PUBLIC HEARING

CALGARY PLANNING COMMISSION REPORTS:

- Policy Amendment and Land Use Amendment in Shaganappi (Ward 8) at 1744 - 33 Street SW, LOC2021-0022, CPC2021-1019
- Policy and Land Use Amendment in Shaganappi (Ward 8), at 1706 - 33 Street SW, LOC2021-0023, CPC2021-1023
- Land Use Amendment in Spruce Cliff (Ward 8) at 3404 Bow Trail SW, LOC2021-0068, CPC2021-1114
- Policy Amendments to the West Springs Area Structure Plan (Ward 6), LOC2021-0086, CPC2021-1098
- Policy and Land Use Amendment in Richmond (Ward 8) at 2137 – 31 Avenue SW, LOC2021-0119, CPC2021-1183

The following items have been forwarded on to the 2021 November 15 Combined Meeting of Council:

PLANNING MATTERS FOR PUBLIC HEARING

CALGARY PLANNING COMMISSION REPORTS:

- Land Use Amendment in Glendale (Ward 6) at 4107 – 17 Avenue SW, LOC2021-0063, CPC2021-1199
- Policy Amendment and Land Use Amendment in Killarney (Ward 8) at 2239 – 27 Street SW, LOC2021-0074, CPC2021-1176
- Policy Amendment and Land Use Amendment in Altadore (Ward 8) at 1704 – 48 Avenue SW, LOC2020-0155, CPC2021-0436
- Land Use Amendment in Killarney/Glengarry (Ward 8) at 2808 – 31 Street SW, LOC2021-0016, CPC2021-1195
- Land Use Amendment in Altadore (Ward 8) at 1747 – 34 Avenue SW, LOC2021-0025, CPC2021-1197 Land Use Amendment in Residual Sub-Area 12A (Ward 12) at 10811 – 84 Street SE, LOC2021-0085, CPC2021-1088

The next Regular Meeting of the Calgary Planning Commission is scheduled to be held on 2021 September 02 at 1:00 p.m.

CONFIRMED BY COMMISSION ON

CHAIR

ACTING CPC SECRETARY

Land Use Amendment in Highwood (Ward 4) at 720 – 40 Avenue NW, LOC2020-0176

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.07 hectares \pm (0.18 acres \pm) located at 720 – 40 Avenue NW (Plan 8647GT, Block 1, Lot 35) from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District.

HIGHLIGHTS

- The proposed land use amendment would allow for rowhouses in addition to the building types already listed in the R-C2 District (e.g. single detached, semi-detached, duplex dwellings, and secondary suites).
- The application represents an appropriate density increase of the site, would allow for development that is compatible with the character of the existing neighbourhood, and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP).
- What does this mean to Calgarians? This application represents a modest increase in density that may provide more housing options for Calgarians. The subject site is also in close proximity to established transit routes.
- Why does it matter? The Residential – Grade-Oriented Infill (R-CG) District land use would allow for additional choice in housing types in close proximity to services and amenities.
- No development permit has been submitted at this time.
- There is no previous Council direction regarding this proposal.
- Strategic Alignment to Council's Citizen Priorities: A city of safe and inspiring neighbourhoods.

DISCUSSION

This application, located in the northwest community of Highwood, was submitted by Tricor Design Group on behalf of the landowners, Fiona Grace Lydiatt and Brad Van De Walle, on 2020 November 12. The 0.07 hectare (0.18 acre) corner site is located at the northeast corner of 40 Avenue NW and Hudson Road NW. The parcel is currently developed with a single detached dwelling and detached garage with rear lane access.

No development permit application has been submitted at this time; however as per the Applicant Submission (Attachment 2), the landowner intends to develop up to five rowhouse units on the site.

A detailed planning evaluation of this policy and land use amendment application, including location maps and site context, is provided in Attachment 1, Background and Planning Evaluation.

Land Use Amendment in Highwood (Ward 4) at 720 - 40 Avenue NW, LOC2020-0176

STAKEHOLDER ENGAGEMENT AND COMMUNICATION (EXTERNAL)

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/Stakeholders were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed land use amendment application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with public stakeholders and the community association was appropriate. In response, the applicant conducted a postcard drop and door knocking campaign to houses within an approximately 100 metre radius of the subject site, and initiated communication with Highwood Community Association. The Applicant Outreach Summary can be found in Attachment 3.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to stakeholders, notice posted on-site, published [online](#), and notification letters were sent to adjacent landowners.

Administration received three letters of opposition from the public focused on the following areas of concern:

- increased traffic and parking issues;
- potential loss of mature trees;
- setting precedent for similar development in the neighbourhood;
- shading and overlooking of adjacent properties;
- inappropriate increase of density; and
- rowhouses do not fit the character of the community.

Administration received an email in support from the Highwood Community Association dated 2020 December 11 (Attachment 4), indicating that the parcel is a good candidate for rowhouse development due to the parcel's location, size, and configuration.

Administration considered the relevant planning issues specific to the proposed redesignation and has determined the proposal to be appropriate. The building and site design, number of units, and on-site parking will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The recommended land use would allow for a wider range of housing types than the existing R-C2 District and, as such, the proposed land use amendment may better accommodate the housing needs of different age groups, lifestyles, and demographics.

Planning & Development Report to
Calgary Planning Commission
2021 September 2

ISC: UNRESTRICTED
CPC2021-1263
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Land Use Amendment in Highwood (Ward 4) at 720 - 40 Avenue NW, LOC2020-0176

Environmental

This application does not include any actions that specifically address the objectives of the [Climate Resilience Strategy](#). Further opportunities to align future development on this site with applicable climate resilience strategies may be explored and/or implemented at the development permit and building permit stages.

Economic

The ability to develop up to five rowhouse units with the option to include secondary suites or backyard suites would allow for more efficient use of existing infrastructure and services.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this application.

ATTACHMENT(S)

1. Background and Planning Evaluation
2. Applicant Submission
3. Applicant Outreach Summary
4. Community Association Response

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The 0.07-hectare corner site, consisting of a single parcel in the community of Highwood, is located at the northeast corner 40 Avenue NW and Hudson Road NW. The parcel, approximately 23 metres by 30 metres, is currently developed with a single detached dwelling and a detached garage accessible from the rear lane. Surrounding land uses to the north, east, and west are predominantly R-C2 with a mix of bungalows and two-storey homes. To the south of the parcel is the Queen's Park Cemetery.

Community Peak Population Table

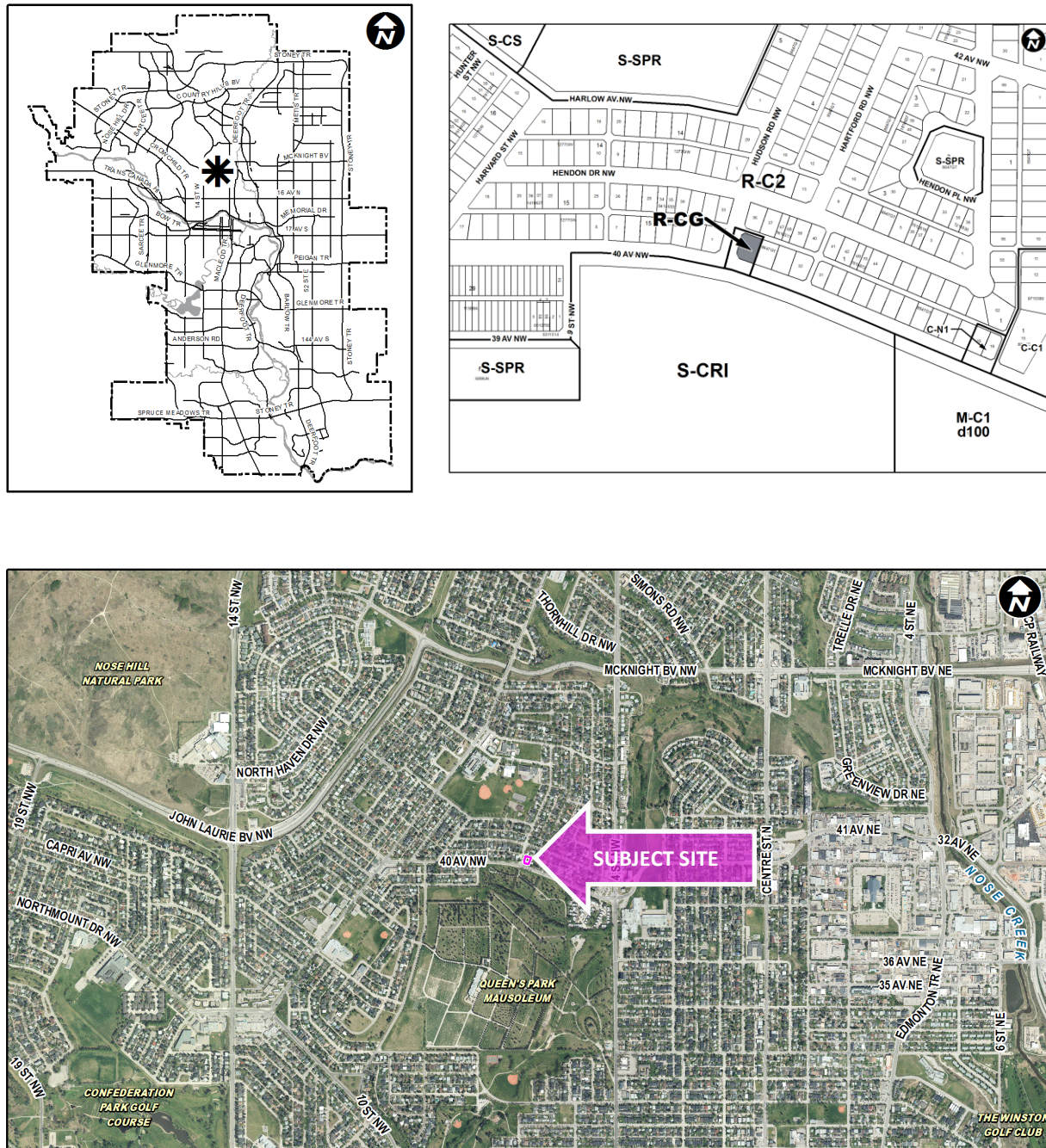
As identified below, the community of Highwood reached its peak population in 1969.

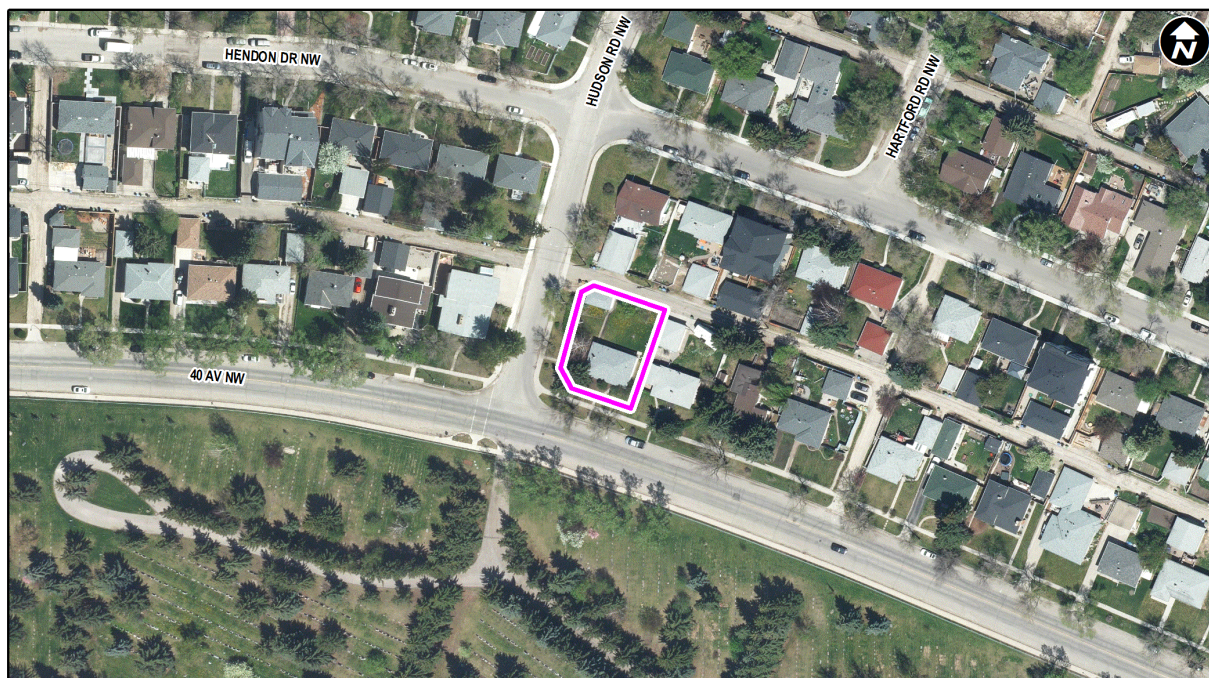
Highwood	
Peak Population Year	1969
Peak Population	3,435
2019 Current Population	2,258
Difference in Population (Number)	-1,177
Difference in Population (Percent)	-34.3%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Highwood Community Profile](#).

Location Maps





Previous Council Direction

None.

Planning Evaluation

Land Use

The existing R-C2 District is a residential designation applied to developed areas that is primarily for single detached, semi-detached and duplex homes. The R-C2 District allows for a maximum building height of 10 metres and a maximum density of two dwelling units.

The proposed R-CG District allows for a range of low-density housing forms such as single detached, semi-detached, duplex dwellings and rowhouses. The R-CG District allows for a maximum building height of 11 metres and a maximum density of 75 dwelling units per hectare. Based on parcel area, this would allow up to a maximum of five dwelling units on the site in a rowhouse building form where one façade of each dwelling unit must directly face a public street.

Secondary suites (one backyard suite or secondary suite per dwelling unit) are also allowed in the R-CG District. Secondary suites do not count towards allowable density and may not require motor vehicle parking stalls subject to the rules of the R-CG District.

Development and Site Design

If approved by Council, the rules of the proposed R-CG District will provide guidance for future site development including appropriate uses, building massing, height, landscaping, and parking. Given the specific context and features of this corner site, additional items that will be considered through the development permit process include, but are not limited to:

- number of dwelling units and secondary suites;
- ensuring an engaging built interface along both the 40 Avenue NW and Hudson Road NW frontages;
- improving pedestrian connections along 40 Avenue NW by ensuring vehicle access to the site is off the lane;
- opportunities to preserve mature vegetation; and
- mitigation of shadowing, overlooking, and privacy concerns.

Transportation

A Transportation Impact Assessment was not required as part of this application. Pedestrian and vehicular access is available from 40 Avenue NW and Hudson Road NW as well as the rear lane. Street parking is also available on both 40 Avenue NW and Hudson Road NW.

The site is serviced by Calgary Transit (Route 38) with bus stops located along 40 Avenue NW. The nearest westbound bus stop is 50 metres from the subject site while the nearest eastbound stop is 130 metres away. The nearest primary transit stop (BRT Routes 300 and 301) is on Centre Street NW at 40 Avenue NW, approximately one kilometre away. A future Green Line station is also planned for this location.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water, sanitary, and storm mains are available, and can accommodate potential redevelopment of the subject site without the need for off-site improvements at this time. Details of site servicing, as well as appropriate stormwater management, will be considered and reviewed as part of a development permit application.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Interim Growth Plan](#) (IGP). The proposed land use amendment builds on the principles of the IGP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Residential - Developed - Established area as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of established communities to make more efficient use of existing infrastructure, public amenities, and transit. Redevelopment is intended to occur in a form and nature that respects the scale and character of the neighbourhood context.

This proposal is in keeping with relevant MDP policies as the R-CG District provides for a modest increase in density in a form that is sensitive to existing residential development in terms of height, scale, and massing.

There is no local area plan for the subject area.

Climate Resilience Strategy (2018)

This application does not include any specific actions that address the objectives of the [Climate Resilience Strategy](#). Further opportunities to align development of this site with applicable climate resilience strategies may be explored and encouraged at subsequent development permit stages.

Applicant Submission

November 16, 2020
720 40th AVE. NW

This is a corner lot located with lane access in the community of Highwood Park. Highwood is a developed area under transition, although this will be the first development in recent years along 40th ave. The subject property is currently zoned R-C2 as are all the lots 40th Ave between 4th street and Northmount Drive NW. The proposal is to rezone the property from R-C2 to R-CG. It is also located across the street from Queens Park Cemetery and within 250m of the community hall and schools.

There is a large boulevard on 40th Avenue and Hudson Road, that is lined with trees, and it is a well used collector road with bus stops up and down the Avenue. The closest bus stop is within 56m of the subject property. The streetscape is primarily bungalows with front sloping yards towards the avenue and there are several mature trees and a hedge on the lot as well. Currently there is access to parking at the lane although the driveway is parallel to the lane and on to Hudson Road. The lane is a narrow lane, typical in developed areas. Parking is restricted along 40th Avenue so a laned access will be used.

The subject lot is an irregular shape and larger than the norm at 22m+ wide at the lane and 20m+ at the street and can easily accommodate a number of units under an R-CG designation, up to 5 units as per bylaw.

Given the size of the lot and the area under transition, this would be a good lot for extra density and working towards the goals of the MDP set out in council.

Applicant Outreach Summary

Outreach Strategy

Our firm put together a multi-page flyer outlining the developer's intentions for this particular lot to distribute to potential stake holders and affected parties. The flyer included items such as bylaws and examples showing the possible type of construction that can occur under R-CG. The flyer was sent to the community association by email and flyers were dropped off to homes within 3-4 doors in all directions including across the lane. This included 716, 712 708, 804, 808, 812 40th Ave NW. Also 55, 59, 63, 69, 73, 77 Hendon Drive NW Flyers were delivered early March 2021 and sent to the community association as well.

Stakeholders

After delivery of the flyers, which included all our contact info, we heard no feedback, calls or emails to our flyer. Generally with no feedback, the community is on board most of the time.

What did you hear?

Since we had no feedback we assume the project is good to go.

How did stakeholder input influence decisions?

Our decision is clearly to move ahead with the rezoning application. We will outreach to the community once again at DP stage after rezoning. The area is under redevelopment in many ways and this type of development falls under the goals of the MDP and is a good site for density.

How did you close the loop with stakeholders?

The loop is still open as this is just the rezoning phase. Once a DP is ready to be applied for we may have some response from the community at that time.

Flyer sent to adjacent homeowners

TRICOR DESIGN GROUP INC.
#201, 4216 12 St NE #201, Calgary, AB T2E 6K9

Hello homeowners:

We are writing this letter in conjunction with a land use re-designation application that has been applied for and is going before CPC and council at 720 40th Ave NW. The application will be to change the current designation of R-C2 to R-CG. This letter is for informational purposes only and does not reflect what the final design may look like. We are reaching out to immediate surrounding homes that may be affected by this rezoning.

One of the major goals of council is densification inside City limits in developed areas to help limit the spread of the City. Diversified housing types is vital to City growth and sustainability through the municipal development plan (MDP), which began in 2005. The following link may be helpful in understanding the goal of council and the MDP.

<https://www.calgary.ca/pda/pd/municipal-development-plan/municipal-development-plan-mdp.html>

The R-CG district that is being proposed aligns with the MDP and keep in mind its intent is not necessarily for every single inner-city lot in the City of Calgary. For R-CG to work on interior lots, it usually requires a minimum of two lots together to work. But for corner lots its ideal because the lot has two street faces.

In the case of this particular lot, not only is it on a corner, but it is larger in nature than most corner lots which will allow more green space and unique design possibilities.

The next part of this letter focuses on the R-CG district itself. You can find the entire Part 5 online at <http://lub.calgary.ca/> but here we are outlining some of the critical parts of R-CG that you may or may not know.

When buildings of R-CG nature are placed on corner lots, its important to note the tight restrictions and rules for townhouse dwellings on a corner lot.

We have attached excerpts from Part 5 from the current 1P2007 Land Use Bylaw for your reference to show all the requirements for this type of dwelling.

PART 5: LOW DENSITY RESIDENTIAL DISTRICTS

Division 11: Residential – Grade-Oriented Infill (R-CG) (R-CGex) District

Purpose

- 525 (1)** The Residential – Grade-Oriented Infill (R-CG) District:
- (a) accommodates existing residential development;
 - (b) accommodates grade-oriented development in the form of Rowhouse Buildings, Duplex Dwellings, Semi-detached Dwellings and Cottage Housing Clusters;
 - (c) accommodates Secondary Suites and Backyard Suites with new and existing residential development;
 - (d) provides flexible parcel dimensions and building setbacks that facilitate integration of a diversity of grade-oriented housing over time; and
 - (e) accommodates site and building design that is adaptable to the functional requirements of evolving household needs.

Permitted Uses

- 526 (1) The following uses are permitted uses in the Residential – Grade-Oriented Infill District :
- (g) Secondary Suite
- (2) A Rowhouse Building is a permitted use in the Residential – Grade-Oriented Infill District where a Rowhouse Building complies with all the rules in the district for that use and where a Rowhouse Building complies with the rules of section 347.3.

Discretionary Uses

- 527 (1) A Rowhouse Building is a discretionary use in the Residential – Grade-Oriented Infill District where a Rowhouse Building does not comply with all the rules in the district for that use or where a Rowhouse Building does not comply with the rules of section 347.3.

Parcel Coverage

- 534 (2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling or Single Detached Dwelling is:
- (a) 45.0 per cent of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;
 - (b) 50.0 per cent of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare;
 - (c) 55.0 per cent of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or
 - (d) 60.0 per cent of the area of the parcels subject to a single development permit for a development with a density of 60 units per hectare or greater.
- (3) The maximum parcel coverage referenced in subsections (1) and (2), must be reduced by:
- (a) 21.0 square metres where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and
 - (b) 19.0 square metres for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.

Building Depth

- 535 (2) For a Rowhouse Building located on a corner parcel there is no maximum building depth where the building setback from the side property line shared with another parcel is a minimum of 3.0 metres for any portion of the Rowhouse Building located between the rear property line and:
- (a) 50.0 per cent parcel depth; or
 - (b) the building depth of the main residential building on the adjoining parcel;

whichever is closer to the rear property line.

- (3) Where two or more main residential buildings are located on a corner parcel, there is no maximum building depth for a Duplex Dwelling, Rowhouse Building, Semi-detached Dwelling or Single Detached Dwelling where:
- (a) one main residential building is wholly located between the front property line and 60.0 per cent parcel depth; and
 - (b) the building setback is a minimum of 3.0 metres from the side property line shared with another parcel for any portion of a main residential building located between the rear property line and:
 - (i) 50.0 per cent parcel depth; or
 - (ii) the building depth of the main residential building on the adjoining parcel; whichever is closer to the rear property line.

Building Setback Areas

- 536 (1) The minimum depth of all setback areas must be equal to the minimum building setback required in sections 537, 538, 539 and 540.

Building Setback from Front Property Line

- 537 (2) On a corner parcel, the minimum building setback from a front property line may be reduced to:
- (a) the contextual front setback at the side property line shared with another parcel to a maximum of 6.0 metres; and
 - (b) decreases in equal proportion with the increase in the distance from the shared side property line, to a minimum of 3.0 metres.
 - (b) 3.0 metres on one side of the parcel when no provision is made for a private garage on the front or side of a building.
- (5) For a Rowhouse Building, Contextual Semi-detached Dwelling, Semi-detached Dwelling or Single Detached Dwelling the minimum building setback from a side property line may be reduced to zero metres where:
- (a) the main residential building on the adjacent parcel has a setback of 0.1 metres or less at the shared side property line for any portion of the building that is recessed 0.6 metres or greater from the front façade or the rear façade of the building and is setback less than 1.2 metres from the side property line;
 - (b) the building setback is not greater than 0.1 metres from the side property line for any portion of a building that is recessed 0.6 metres or greater from the front façade or the rear façade of the building and is setback less than 1.2 metres from the side property line;
- (7) For a corner parcel, the minimum building setback from a side property line shared with a street is 0.6 metres.
- (11) On a laned parcel, the minimum building setback for a private garage attached to a main residential building that does not share a side or rear property line with

a street may be reduced to zero metres where the wall of the portion of the building that contains the private garage is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel.

Building Setback from Rear Property Line

540 (2) For a Rowhouse Building on a corner parcel, the minimum building setback from a rear property line is 1.5 metres where the building setback from the side property line shared with another parcel is a minimum of 3.0 metres for any portion of the Rowhouse Building located between the rear property line and:

- (a) 50.0 per cent parcel depth;
- (b) or the building depth of the main residential building on the adjoining parcel;

whichever is closer to the rear property line.

Building Height

541 (1) Unless otherwise referenced in subsections (2) and (3), for a Contextual Semi-detached Dwelling, Duplex Dwelling, Rowhouse Building, Semi-detached Dwelling or Single Detached Dwelling the maximum building height is 11.0 metres measured from grade.

(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district or the M-CG District, the maximum building height:

- (a) is the greater of:
 - (i) the highest geodetic elevation of a main residential building on the adjoining parcel; or
 - (ii) 7.0 metres from grade;
 measured at the shared property line; and
- (b) increases at a 45 degree angle to a maximum of 11.0 metres measured from grade.

(3) The maximum area of a horizontal cross section through a building at 9.5 metres above average grade must not be greater than 75.0 per cent of the maximum area of a horizontal cross section through the building between average grade and 8.6 metres.

Outdoor Private Amenity Space

542 For a Contextual Semi-detached Dwelling, Duplex Dwelling, Rowhouse Building, Semi-detached Dwelling and a Single Detached Dwelling, each unit must have direct access to private amenity space that:

- (a) is provided outdoors;
- (b) has a minimum total area of 20.0 square metres; and
- (c) may be divided over a maximum of two amenity spaces where:
 - (i) one amenity space has no dimension less than 3.0 metres; and

- (ii) the second amenity space has a minimum contiguous area of 7.5 square metres with no dimension less than 1.5 metres.
- (iii) the privacy wall is a minimum of 2.0 metres in height and a maximum of 3.0 metres in height; and
- (c) must not have a balcony on the rear façade with a height greater than 6.0 metres, when measured vertically at any point from grade to the platform of the balcony.

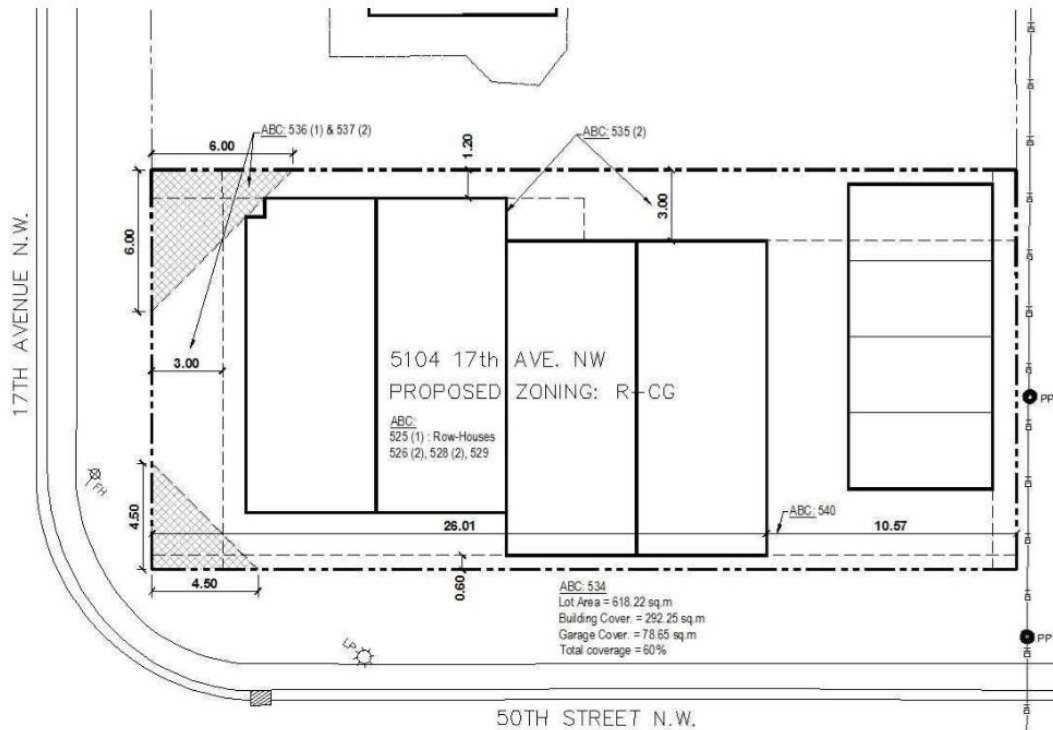
Motor Vehicle Parking Stalls

- 546 (1) The minimum number of motor vehicle parking stalls for a Contextual Semi-detached Dwelling is 1.0 stall per Dwelling Unit.
- (2) The minimum number of motor vehicle parking stalls for a Secondary Suite is reduced to 0.0 where
- (a) the floor area of a Secondary Suite is 45.0 square metres or less;
 - (b) the parcel is located within 600.0 metres of an existing or approved capital funded LRT platform or within 150.0 metres of frequent bus service; and
 - (c) space is provided in a building for the occupant of the Secondary Suite for storage of mobility alternatives such as bicycles or strollers that:
 - (i) is accessed directly from the exterior; and
 - (ii) has an area of 2.5 square metres or more for every Secondary Suite that is not provided with a motor vehicle parking stall.
- (3) Parcel coverage excludes the building coverage area required by subsection (2)(c)

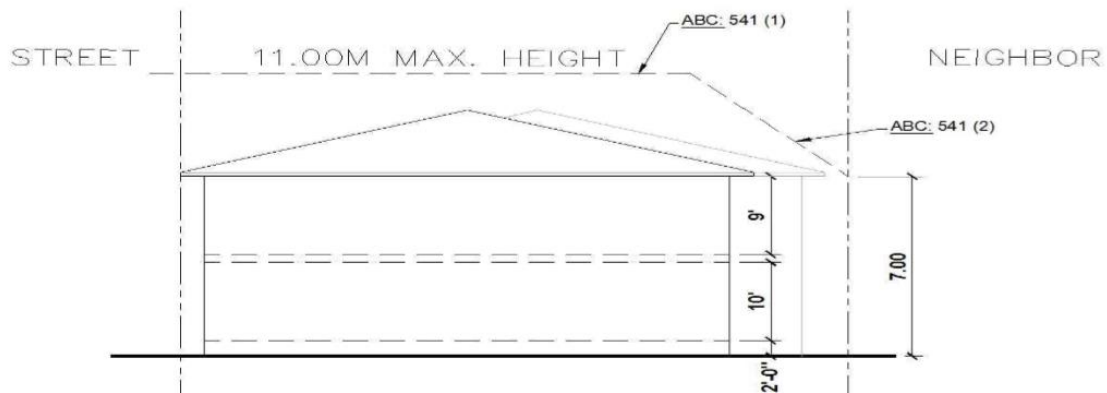
As you can see from the above bylaws, R-CG is one of the most restrictive bylaws protecting adjacent lots while still adding diversity and housing stock to a community

If you would like to speak to our firm who is representing the developer about any of the above information, Feel free to contact either Mike or Ahmed at Tricor Design Group. 403-203-1970

Next, on the following diagram we demonstrate a typical R-CG layout on a corner lot showing where the above bylaws are applicable and noted on the drawings.



On the following diagram we demonstrate a typical R-CG layout on a corner lot showing heights that are very similar to semi detached dwellings and single family homes and not tall buildings that dominate the street.



Examples of other R-CG projects on corner lots we have produced



Community Association Response

Highwood Community Association

Response to LOC2020-0176

R-C2 to R-CG Application

December 11, 2020

The community has reviewed this application and, while there are concerns about setting a precedent for future development in the community that is less adequate, we agree that this parcel, due to its unique location, size, and configuration, is a good candidate for row house type redevelopment. In general, we support this application, though we would like to be party to the DP circulation review process prior to DP approval.

While the community development committee is supportive of this land use change, it should be noted that one of the neighbours expressed their concerns with the development, particularly with regards to increased parking, shading, and the potential intrusive interface with neighbouring properties. We ask that the developer consider to these factors in the design of the proposed development.

Development Permit in Springbank Hill (Ward 6) at 8355 – 19 Avenue SW, DP2021-0970

RECOMMENDATION:

That Calgary Planning Commission approve Development Permit DP2021-0970 for a New: Multi-Residential Development (1 building) at 8355 – 19 Avenue SW (Plan 2110726, Block 2, Lot 5), with conditions (Attachment 2).

HIGHLIGHTS

- This application proposes a multi-residential development (one, four-story residential building) providing 70 dwelling units to be developed in a single phase.
- The proposed development aligns with the applicable goals and policies of the *Municipal Development Plan* (MDP) and the *Springbank Hill Area Structure Plan* (ASP), supporting intensification near transit network, and ensuring a high-quality urban design.
- What does this mean to Calgarians? The development would provide more choice in the type of housing in the local area while promoting efficient use of lands close to existing infrastructure.
- Why does this matter? This development may provide more housing choices in proximity to existing and future transit infrastructure.
- As part of the associated land use amendment (LOC2018-0085) adopted on 2020 February 24, Council directed that development permit applications along 19 Avenue SW to be referred to the Calgary Planning Commission (CPC) for consideration and decision.
- Strategic Alignment to Council's Citizen Priorities: A city of safe and inspiring neighbourhoods.

DISCUSSION

This development permit application was submitted by S2 Architecture on behalf of the landowner, Aspen Springs GP Ltd, on 2021 February 16. The subject site is located along 19 Avenue SW in the southwest community of Springbank Hill.

On 2020 February 24, Council adopted the associated land use redesignation and policy amendments to the *Springbank Hill ASP*. At that time, Council directed Administration to refer all development permit applications along the future Liveable Street (19 Avenue SW) to CPC for consideration and decision.

The Liveable Street, as per the *Springbank Hill ASP*, is intended to provide a unique destination for residents with wide sidewalks and pedestrian-scaled development. The subject site is located in the Medium Density area of the ASP, where a greater concentration of units is to be accommodated to increase housing options west of 81 Street SW. This development aligns with the vision of the area by providing pedestrian connections, enhanced landscaping, and furnishings along 19 Avenue SW, where appropriate.

The site is designated as a Direct Control District ([Bylaw 27D2020](#)) based on the Multi-Residential – Medium Profile (M-2) District. The proposed four-storey residential building includes a total of 70 dwelling units with access from 19 Avenue SW. Ninety-three parking stalls

Development Permit in Springbank Hill (Ward 6) at 8355 - 19 Avenue SW, DP2021-0970

are provided underground for the residential units, and seven stalls are provided at the surface for visitors.

A comprehensive review of the application was undertaken by Administration, and if approved, the development will be subject to the Conditions of Approval (Attachment 2). The development permit plans are included in Attachment 3, the project renderings are included in Attachment 4, and the Applicant Submission is included in Attachment 5. The application was reviewed by Urban Design Review Panel (UDRP) on 2021 March 31, and the Panel's comments are included in Attachment 6.

Through submission of amended plans, the applicant was able to address the comments raised by UDRP and City Wide Urban Design. Specifically, the amended proposal reduced the amount of surface parking, provided additional landscaping to buffer the visual impacts of the waste and recycling areas, and enhanced the pedestrian interfaces along 19 Avenue SW.

A detailed planning evaluation of the application, including location maps and site context, is provided in Attachment 1, Background and Planning Evaluation.

STAKEHOLDER ENGAGEMENT AND COMMUNICATION (EXTERNAL)

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/Stakeholders were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed development permit application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with public stakeholders and the community association was appropriate.

Applicant-led engagement for the proposed development first occurred with the associated land use amendment application adopted by Council on 2020 February 24. The applicant determined that no additional outreach would be pursued. The rationale for outreach is outlined in the Applicant Outreach Summary (Attachment 7).

City-Led Outreach

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders, notice posted on-site, and published [online](#).

No public comments were received by Administration.

Administration has been in constant communication with the Springbank Hill Community Association, providing amended plans for comments and holding multiple meetings to keep community members apprised of the development status. The Springbank Hill Community Association indicated they are in support of the application but did not provide a written submission.

Following the Calgary Planning Commission meeting, the decision will be advertised in accordance with the *Municipal Government Act*.

Development Permit in Springbank Hill (Ward 6) at 8355 - 19 Avenue SW, DP2021-0970

IMPLICATIONS

Social

This application would enable the continuation of development in the Springbank Hill community, and would provide a future framework for multi-residential development along a Liveable Street (19 Avenue SW). Development of these lands would enable a more efficient use of land and infrastructure, support surrounding uses, and offer neighbourhood-scaled amenities for the community.

Environmental

Administration has reviewed this application against the applicable policies for its alignment with the [Climate Resilience Strategy](#). As indicated in the applicant's Climate Resilience Inventory form, the development will meet the requirements of the National Energy Code for Buildings and provide Electric Vehicle (EV) charging stations for the residents.

Economic

The proposed development would provide additional housing opportunities and support local businesses in the community.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this proposal.

ATTACHMENTS

1. Background and Planning Evaluation
2. Conditions of Approval
3. Development Permit Plans
4. Development Permit Renderings
5. Applicant Submission
6. Urban Design Review Panel Comments
7. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

In 2017, the *Springbank Hill ASP* was adopted by Council in an effort to resolve on-going challenges to comprehensive planning in the community, and to align new community growth with the MDP. A particular focus was on the 76 hectares (189 acres) south of 17 Avenue SW, between 85 Street SW and 77 Street SW that was deemed underdeveloped due to topography challenges and fragmented land ownership. The adoption of the ASP spurred development interest, resulting in multiple land developers putting forth comprehensive land use and outline plan applications.

In 2020 January, the associated land use and outline plan application (LOC2018-0085) was heard at CPC at which time the outline plan was approved. The land use portion of the application was approved at the 2020 February 24 Council meeting.

This application represents one of three development projects underway along 19 Avenue SW, indicated as a Liveable Street in the *Springbank Hill ASP*. The ASP vision for the area is to provide medium to high-density pedestrian-scaled developments along a modified collector street with an enhanced pedestrian environment.

The subject site is located in the southwest community of Springbank Hill on the south side of 19 Avenue SW, and is adjacent to a north-south linear passive open space to the west which is designated as Special Purpose - School Park and Community Reserve (S-SPR) District with an Municipal Reserve (MR) designation. The subject site is approximately 0.49 hectares (1.21 acres) in size with approximately 85 metres of frontage along 19 Avenue SW and 67 metres of frontage along the MR.

The lands to the north are intended for mixed-use development as per the *Springbank Hill ASP*, and are designated Commercial – Community 2 f1.0h20 (C-C2f1.0h20) District. The lands to the east of are intended for medium-density residential development and are designated as a Direct Control District ([Bylaw 27D2020](#)) with an active application (DP2020-5757). The lands to the south are intended for medium-density residential development and currently consists of country residential development designated as a Direct Control District ([Bylaw 99D2019](#)).

The 69 Street LRT Station is approximately 1.6 kilometres east of the subject site (19-minute walk). A future expansion of the LRT line is planned to the northwest of the subject site. The location of the station is conceptual at this time but is approximately 1.5 kilometres (20-minute walk) from the subject site.

The site is also within 1.5 kilometres of institutions such as Rundle College, Earnest Manning High School, and Ambrose University. The Westside Recreation Centre is 2.1 kilometres away (30-minute walk) and the Aspen Landing commercial area is 950 metres north of the site (15-minute walk).

Community Peak Population Table

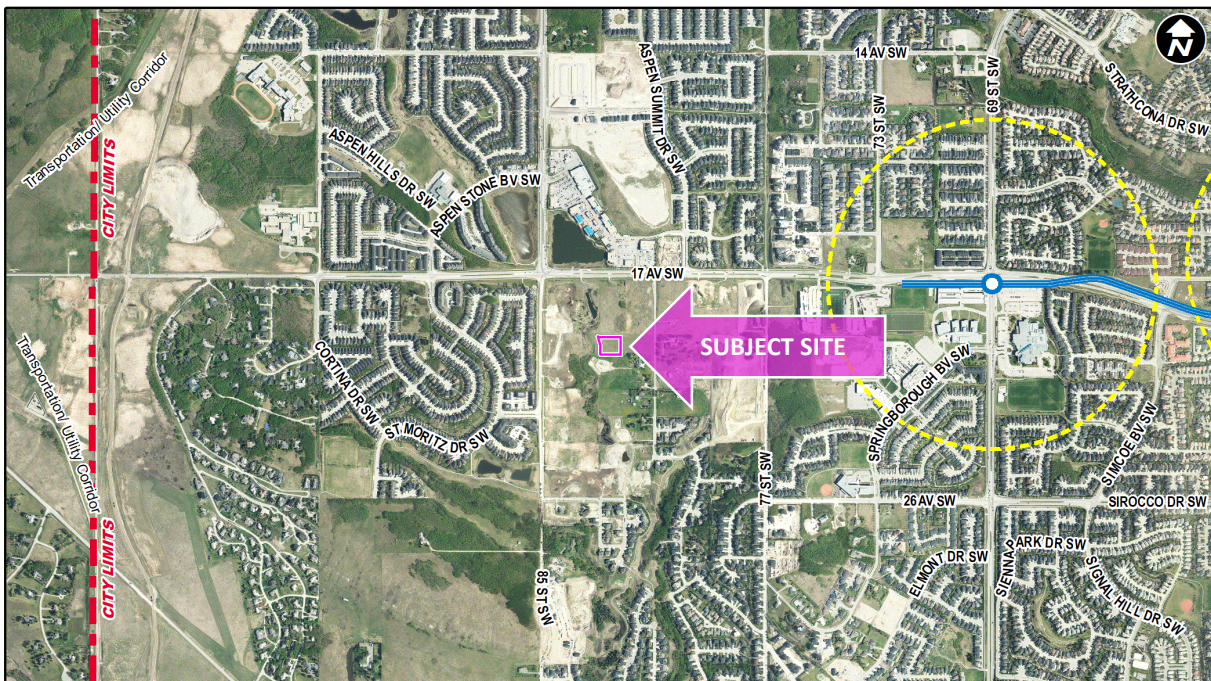
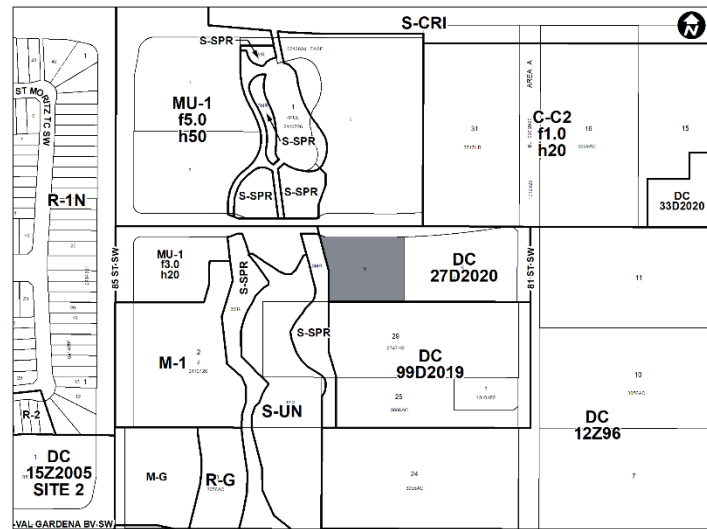
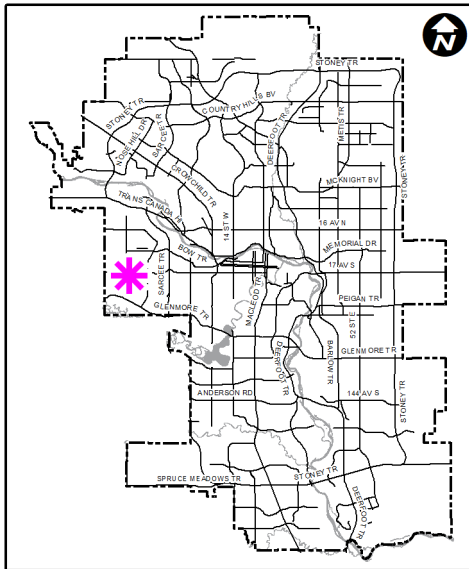
As identified below, the community of Springbank Hill reached its peak population in 2018.

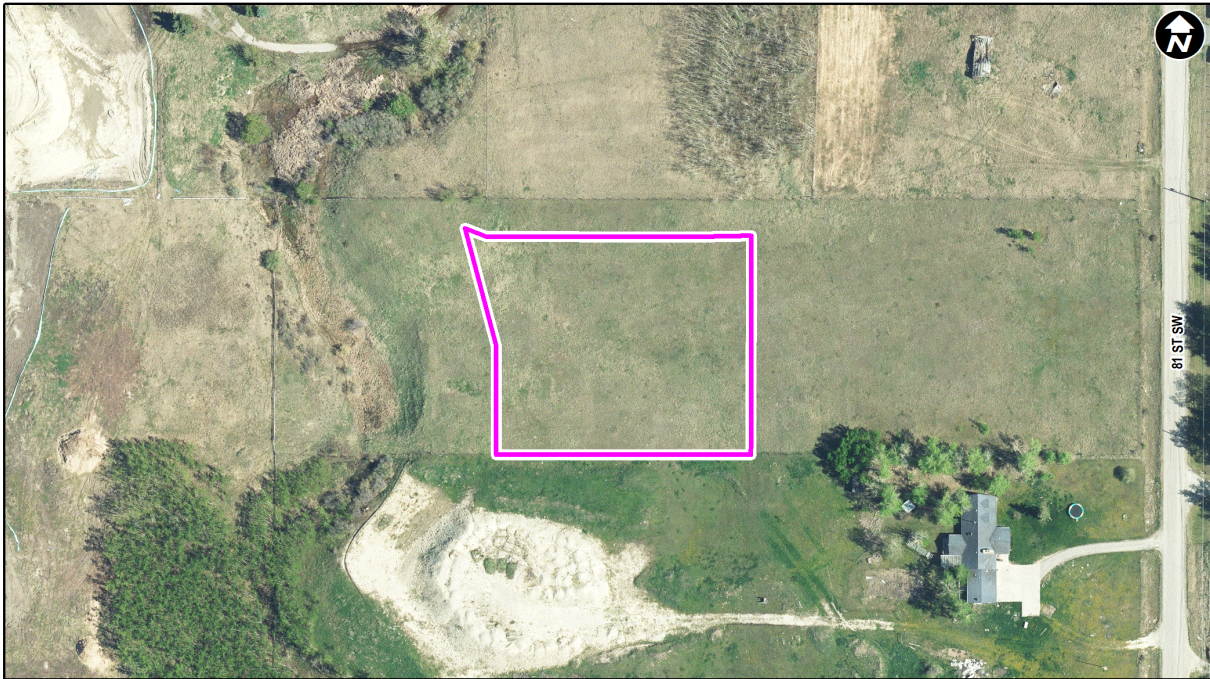
Springbank Hill	
Peak Population Year	2018
Peak Population	10,052
2019 Current Population	9,938
Difference in Population (Number)	-114
Difference in Population (Percent)	-1.1%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Springbank Hill Community Profile](#).

Location Maps





Previous Council Direction

At the Combined Meeting of Council on 2020 February 24, report CPC2019-1079 was presented for a proposed policy amendment to the *Springbank Hill ASP* and land use redesignation of lands that included the subject site from DC District to multiple land use districts to accommodate mixed-use areas and medium-density residential development.

Council held a Public Hearing and gave three readings to Bylaws 10P2020 and 27D2020 with the addition of the following motion, as carried by Council:

“That with respect to Report CPC2019-1079, the following Motion Arising be adopted:

That Council direct Administration to direct the Development Permit (DP) (when submitted by the applicant) be sent for review by Calgary Planning Commission in addition to the planned review by the Urban Design Review Panel.”

The motion arising was in response to the community stakeholders’ concerns regarding the quality of the public realm along the community’s Livable Street (19 Avenue SW). It was meant to ensure due consideration by both the UDRP and CPC are received prior to approval of any development permits that interface with this street.

Planning Evaluation

This application proposes a new multi-residential development with 70 dwelling units in a four-storey building. The resident parking would be provided underground (93 stalls), and visitor parking would be provided at the surface level (seven stalls).

Land Use

The existing Direct Control District ([Bylaw 27D2020](#)) is intended to accommodate medium-density, mid-rise multi-residential development with buildings up to six storeys, and provide a transition in density and built form between mixed-use districts to the north and medium-density residential districts to the south.

The Direct Control District is based on M-2 District and provides guidance for the site development, including appropriate uses, massing, landscaping, parcel coverage, and parking. The Direct Control District allows for a density range of 60 units per hectare (UPH) to 210 UPH. The proposed development is 143 UPH and has a floor area ratio (FAR) of 1.54, which complies with the land use of this site.

Development and Site Design

Site and Building Design

The building is located on a parcel challenged by steep grades, with the highest point at the northeast corner. The site drops over 8.0 metres to the southwest corner and approximately 4.0 metres from east to west along 19 Avenue SW.

To address the rather significant slope across the site, the proposed development is designed in an L-shape to maximize the views to the southwest and of the adjacent MR. This site design also minimizes interruption to the street frontage by having a single vehicle access point from 19 Avenue SW with a turnaround.

The 19 Avenue SW street frontage is to be activated and integrated through landscaping along the edge, a street-oriented design, and outdoor amenity spaces at the northeast corner.

Pedestrian Connections and Outdoor Amenity Spaces

An enhanced amenity area has been integrated along the northwest corner of the site, including widened pedestrian access, a plaza area, and a gazebo structure with seating and additional planting. This aids in establishing an enhanced streetscape and pedestrian realm along 19 Avenue SW, as well as a buffer to the internal vehicular circulation required on the subject site.

Building Materials

The building palette, including the use of the dark grey and white stucco, has been used strategically to accentuate the articulation of the façade. The use of stone on the corner elements up to the third level has been incorporated to highlight the edges of the building as it sits well below the 19 Avenue road alignment to the north.

Landscaping

A variety of soft and hard landscaping is provided throughout the site. Landscaped areas adjacent to 19 Avenue SW provide a variety of shrubs and trees. Additional plantings and layered landscaping have been integrated where possible along the southern and western edges of the property to mitigate the scale of exposed walls.

City Wide Urban Design

The proposed development was reviewed by the City Wide Urban Design team throughout the Corporate Planning Applications Group (CPAG) process. Comments were provided in regards to site integration, amenity space, accessibility, and pedestrian connections along the street frontage.

Through submission of amended plans, the applicant was able to address the comments raised by City Wide Urban Design. Specifically, the amended proposal reduced the amount of surface parking, provided additional landscaping to buffer the visual impacts of the waste and recycling areas, and enhanced the pedestrian interfaces along 19 Avenue SW.

Urban Design Review Panel

The proposal was presented to the Urban Design Review Panel (UDRP) on 2021 March 31. UDRP acknowledged that the site has definite challenges given the significant grade changes. Overall, UDRP indicated that the four-storey building scale, massing, and rooflines respond to the site and are architecturally contextual within the community.

Administration worked with the applicant to refine this development in response to the UDRP comments, and the resulting revisions were deemed appropriate and sufficient.

Transportation

A Transportation Impact Assessment (TIA) was not required for this development. The primary site access is from 19 Avenue SW and includes a turnaround to accommodate waste and recycling vehicles as well as emergency vehicles.

Transit

The area is well served by Calgary Transit with bus stops (Routes 95, 156, and 895) located along 17 Avenue SW, approximately 500 metres (6-minute walk) from the site. The 69 Street LRT Station is located approximately 1.4 kilometres (16-minute walk) away that provides service to West Market Square, Westbrook Mall and the downtown core. A future expansion of the LRT line is planned to the northwest of the subject site. The location of the station is conceptual at this time but is approximately 1.5 kilometres (20-minute walk) from the subject site.

Motor Vehicle Parking

A total of 93 parking stalls are provided underground for the multi-residential use. The plans also include seven surface parking stalls provided for visitors with landscaping screening from 19 Avenue SW.

Bicycle Parking Facilities

A total of 39 Class 1 and eight Class 2 bicycle parking stalls are provided, which exceeds the Land Use Bylaw requirements. Class 1 bicycle storage is provided in the parkade. Class 2 bicycle storage is provided in groups by the residential building.

Environmental Site Considerations

As part of the approved land use and outline plan (LOC2018-0085) for the site, a Biophysical Impact Assessment (BIA) that provides an assessment of existing site conditions was submitted, reviewed, and approved by Calgary Parks.

Utilities and Servicing

Utilities for this area were previously reviewed and accepted under LOC2018-0085 and SB2020-0025. The area utilities have capacity for the proposed development. Slokker Canada West Inc is responsible for the construction of the area infrastructure required to service the proposed development.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered, and is aligned with, the policy direction of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Interim Growth Plan](#) (IGP). The proposed development builds on the principles of the IGP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Residential - Developing - Planned Greenfield with Area Structure Plan (ASP) area, as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP).

The applicable policies promote housing diversity and choice through a wide range of housing types and densities to create diverse neighbourhoods. The development respects the surrounding built-forms and ensures appropriate transition for existing and future developments adjacent to the subject site.

The proposal is in keeping with relevant MDP policies as the development provides for greater housing mix and options within the community, higher densities in proximity to primary transit, and optimal use of existing infrastructure.

Climate Resilience Strategy (2018)

The [Climate Resilience Strategy](#) contains the *Climate Mitigation Action Plan* (CMAP) and the *Climate Adaptation Action Plan* (CAAP), which identify actions that will reduce Calgary's greenhouse gas emissions and manage climate risks.

Administration has reviewed this application against the applicable policies for its alignment with the *Climate Resilience Strategy*. As indicated in the applicant's Climate Resilience Inventory form, the proposed development would meet the requirements of the National Energy Code for Buildings and will provide Electric Vehicle charging stations in the parkade.

Springbank Hill Area Structure Plan (Statutory – 2017)

The subject site is located within the Medium Density area as identified on Map 2: Land Use Concept in the [Springbank Hill ASP](#). The Medium Density area is intended to accommodate a greater concentration of units to increase housing options within the Plan area. Densities in this area should range between 38 to 148 units per gross developable hectare.

The proposed development is approximately 143 UPH and is consistent with the ASP's density range for this area. The proposed development is also in alignment with the building design and parking policies in the ASP with the majority of the residential parking stalls provided within the underground parkade.

Land Use Bylaw 1P2007 and Direct Control District (27D2020)

Administration highlights the following relaxations to the Land Use Bylaw 1P2007 in the table below. Administration has reviewed each relaxation individually and considers each one to be acceptable for the reasons outlined in the table below.

Bylaw Relaxations			
Regulation	Standard	Provided	Administration Rationale Supporting a Relaxation
551 Specific Rules for Landscaped Areas	(3) The max. hard surfaced landscaped area is: (b) 40.0% of the req. L.S. area, in all other cases.	Plans indicate a total hard landscaped area of 974.88m ² (+251.31 m ²) or 53.89% (+13.89%)	Relaxation Supported. Soft landscape and plantings are provided where appropriate (mainly along 19 Avenue)
556 Low Water Landscaping Option	(d) a maximum of 30.0% of the required landscaped area is planted with sod and the remainder is covered with plantings, mulch or hard surfaces;	Plans indicate a total sodded area of 693.79m ² (+151.11 m ²) or 38.35% (+8.35%).	Relaxation Supported. Plantings, mulch and hard surfaces are provided where appropriate.
570 Retaining Walls	(1) A retaining wall must be less than 1.2m in height when measured from the lowest grade at any point adjacent to the retaining wall to the highest grade retained by the retaining wall. (b) within 3.0m of a property line	Plans indicate retaining walls exceeding 1.2 m in height along the NW corner of the site. Highest point on any of the wall is 3.3 m at the west facing building entrance (Top of Wall 89.35; Bottom of wall 86.05).	Relaxation supported. Applicant provided landscaping screening where appropriate. See Development Engineering and Parks conditions related to retaining wall requirement and interface with adjacent MR.

4. Remit a performance security deposit (certified cheque, bank draft, letter of credit) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Unit. The amount of the deposit is calculated by Roads and is based on 100% of the estimated cost of construction.
The developer is responsible to arrange for the construction of the infrastructure with their own forces and to enter into an Indemnification Agreement with Roads at the time of construction (the security deposit will be used to secure the work).

Roads

- a. Construction of new driveway crossing, half the roadway, and curb and gutter on 19 Avenue S.W. along site frontage,
 - b. Construction of new asphalt pathway on the South side of 19 Avenue S.W.,
 - c. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc., should it be deemed necessary through a site inspection by Roads personnel.
5. Remit payment (certified cheque, bank draft) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Units. The amount is calculated by the respective Business Unit and is based on 100% of the estimated cost of construction.

The developer is responsible to coordinate the timing of the construction by City forces. The payment is non-refundable.

Roads

- a. Street lighting upgrading adjacent to site frontages (if required).

Development Engineering:

6. Provide a completed copy of the "Retaining Wall Design Disclosure Statement"

AND

Submit an electronic version of Structural Design Drawings, for review and acceptance, for the retaining wall(s), prepared by a qualified Professional Engineer under stamp to the satisfaction of the Chief Structures Engineer, Roads. The intent of the drawings is to show the feasibility of the proposed retaining wall(s) at the location(s) indicated.

NOTE: As per the Slope Stability Analysis review, a post-development slope stability analysis specific to the retaining wall is required with final design grades, final building loads, and final retaining wall location to ensure the minimum required factor of after of 1.5 is achieved.

7. Submit three (3) sets of the Development Site Servicing Plan details to the Development Servicing, Urban Development, for review and acceptance from Water Resources, as required by Section 5 (2) of the *Utility Site Servicing Bylaw 33M2005*. Contact developmentservicing2@calgary.ca for additional details.

The DSSP may be submitted prior to approval of this DP. Produce this DTR document at the 3rd floor counter as evidence for early DSSP submission.

For further information, refer to the following:

Design Guidelines for Development Site Servicing Plans

https://www.calgary.ca/PDA/pd/Documents/urban_development/publications/DSSP-Design-Guidelines.pdf

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Documents/development/development-site-servicing-plan.pdf>

8. Follow the submission requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control (Erosion and Sediment Control Reports and Drawings: Technical Requirements) and either submit the required (2) copies of an Erosion and Sediment Control (ESC) Report and Drawings or the required (2) copies of a Written Notice to Development Engineering, for review and acceptance by Water Resources. The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

Documents submitted shall conform to the requirements detailed in the current edition of The City of Calgary *Guidelines for Erosion and Sediment Control* and shall be prepared, signed and stamped by a qualified consultant specializing in erosion and sediment control, and holding current professional accreditation as a Professional Engineer (P. Eng.), Professional Licensee (P.L. Eng), Professional Agrologist (P. Ag.) or Certified Professional in Erosion and Sediment Control (CPESC). For each stage of work where soil is disturbed or exposed, documents must clearly specify the location, installation, inspection and maintenance details and requirements for all temporary and permanent controls and practices.

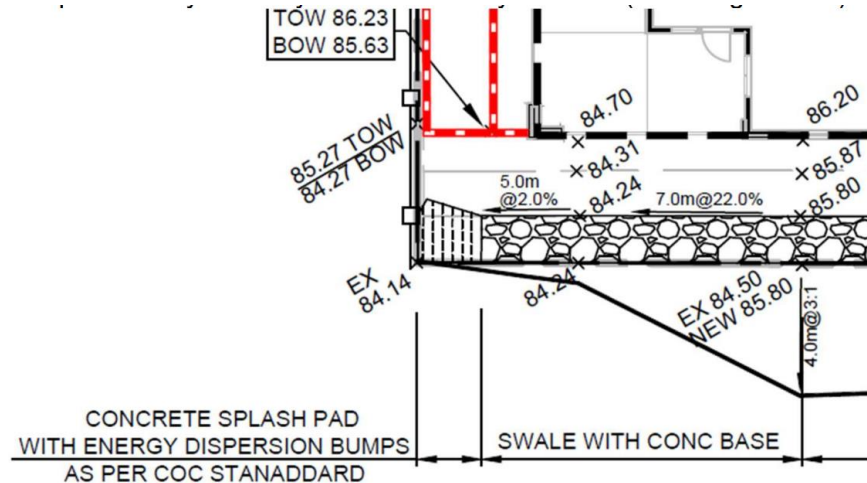
If you have any questions, contact 3-1-1. A Service Request (SR) will be created for the Erosion Control Team in Water Resources.

9. Provide a letter from the Springbank Hill Phase 1 Consulting Engineer of Record indicating that the downstream utilities are installed and considered operational.

Parks:

10. Provide a detail of the proposed retaining wall including the heights/materials of the retaining wall; ensuring that an aesthetically pleasing interface is provided to the park.
11. Revise DP1.00 Site Plan/DPL1.00 Landscape Plan/Site Servicing & Site Grading Plans:

To indicate the Concrete Splash Pad (within private property extents) as per the Site Grading Plan provided by email by Robin Li on July 23/2021 (see image below):



12. Provide a cross-section (s) across the site:
 - a. Showing existing and proposed grades and the interface with the proposed MR.
 - b. Showing the proposed retaining wall is fully within private property extents; including details such as height, footings (to be located fully within private property, etc.).
 - c. Identify how the Park's requirement for a 1.2 metre fence requirement with the adjacent park (MR) will be addressed.

Permanent Conditions

The following permanent conditions shall apply:

Planning:

13. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
14. The development shall be completed in its entirety, in accordance with the approved plans and conditions.
15. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
16. A Development Completion Permit shall be issued for the development before the use is commenced or the development occupied. A Development Completion Permit is independent from the requirements of Building Permit occupancy. Call Development Inspection Services at 403-268-5311 to request a site inspection for the Development Completion Permit.
17. All roof top mechanical equipment shall be screened by the building parapet as shown on the approved plans released with this permit and shall not be visible from thoroughfares or sidewalks.

18. Barrier free parking stall(s) shall be clearly designated, signed and located near to or adjoining a barrier-free path of travel leading to the nearest barrier-free entrance.
19. The walls, pillars and ceiling of the underground parkade shall be painted white or a comparable light colour.
20. The light fixtures in the parkade shall be positioned over the parking stalls (not the drive aisles).
21. All stairwell doors and elevator access areas shall be installed with a transparent pane for visibility.
22. Parking and landscaping areas shall be separated by a 150mm (6 inch) continuous, poured in place, concrete curb or equivalent material to the satisfaction of the Development Authority, where the height of the curb is measured from the finished hard surface.
23. Each parking stall, where located next to a sidewalk, shall have a properly anchored concrete wheel stop or equivalent material to the satisfaction of the Development Authority (100mm in height and 600mm from the front of the parking stall).
24. Loading and delivery shall take place in the designated loading stall as shown on the approved plans and shall, at no time, impede the safety of pedestrian movements and use of the parking lot.
25. All areas of soft landscaping shall be provided with an underground sprinkler irrigation system as identified on the approved plans.

Transportation:

26. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager of Transportation Planning, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca.
27. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Transportation Planning. All work performed on public property shall be done in accordance with City standards.

Development Engineering:

1. The parcels shall be developed in accordance with the development restriction recommendations outlined in the following reports:
 - Deep Fills Report - Rev. 1, prepared by E2K Engineering Ltd. (File No. 2021-5904), dated June 23, 2021.
 - Slope Stability Report - Rev. 1, prepared by E2K Engineering Ltd. (File No. 2021-5904), dated June 23, 2021.
 - Geotechnical Investigation - Rev. 2, prepared by E2K Engineering Ltd. (File No. 2021-5904), dated June 23, 2021.

NOTE: As per Deep Fills Report, 25mm crushed gravel should be used as fill. Otherwise the settlement values calculated in the report are invalid and the report would have to be resubmitted for proposed fill type.
29. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining walls that meet these criteria, the developer may either:

 - a. Include the retaining walls with the Building Permit for the building, or
 - b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.
30. Prior to the issuance of the Development Completion Permit, the developer/builder is required to provide the form, *Assurance of Engineering Field Review and Compliance*, (final page of the Retaining Wall Design Disclosure Statement) under seal and permit to practice stamp by the Engineer of Record to the Development Authority for the field review of the retaining wall(s).
31. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
32. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall,

as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.

33. Contact the Erosion Control Inspector, Water Resources, with at least two business day's notice, to set up a pre-construction meeting prior to commencement of stripping and grading. Locations north of 17 Avenue S should contact 403-268-5271. Sites south of 17 Avenue S should contact 403-268-1847.
34. Stormwater runoff must be contained and managed in accordance with the "Stormwater Management & Design Manual" all to the satisfaction of the Director of Water Resources.
35. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
36. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within the utility rights-of-way.
37. As per the accepted Deep Fills Report, a minimum time lag of 2 months is required for the consolidation of fills before structures or utilities can be constructed and fill can be no more than 4.0 m deep.

Parks:

38. All maintenance of retaining walls should be done within private property limits.
39. Grading of the development site will match the existing grades of adjacent parks (MR), with all grading confined to the private property, unless otherwise approved by Calgary Parks.
40. During Engineering Construction Design, ensure that the street light cable has a 1.0 metre minimum offset from the proposed boulevard trees.

41. Any surface or subterranean damage to public parks resulting from the installation of building construction tie-backs or other construction practices requires remediation at the developer's expense, to the satisfaction of the Director, Parks. All materials associated with the encroachments must be removed and any subterranean and surface disturbances to the parcel must be remediated. All site remediation must be approved by the Parks Development Inspector. Contact 311 for an inspection.
42. If there is disturbance to adjacent ER areas, the developer shall submit a detailed Habitat Restoration Plan (Landscape Construction Drawing) including a maintenance schedule for each Environmental Reserve proposed to be affected by any construction. The Plan should indicate how it will be rehabilitated and restored. The restored area(s) shall be maintained by the developer until it is established and approved by Parks prior to Final Acceptance Certificate.
43. No surface or sub-surface encroachments (including retaining walls) are permitted into within (MR/ER) park parcels.
44. A 1.2 m chain link high fence shall remain on the property line along all shared boundaries with adjacent municipal reserve.
45. Prior to construction, confirm that there will be no disturbance within MR/ER extents. If constructions limits extend into public lands contact the Parks CPAG Generalist to enter into a LOC (License of Occupation) or LCD (Landscape Construction Drawing/Habitat Restoration Plan).
46. No disturbance of Environmental Reserve lands is permitted without written permission from the Parks Generalist for this area. The Parks Generalist (listed above) can be reached at 403-268-5635.
47. There shall be no backsloping within MR/ER extents except what is currently shown on LOC2018-0085.
48. There shall be no construction access through the municipal reserve / environmental reserve lands.
49. Any damage to public parks, boulevards or trees resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact 311 for an inspection.
50. The development is to comply with the approved LOC for the area (LOC2018-0085).
51. All drainage shall be contained within the private parcel, as required through the drainage bylaw. No point source drainage is to be directed to (MR/ER) park parcels.
52. Plant all public trees in compliance with the approved Public Landscaping Plan.
53. Roof leaders shall be directed towards the internal private landscape, not the adjacent (MR/ER) park parcels.

54. Stormwater or other drainage from the development site onto the adjacent municipal reserve/environmental reserve parcel is not permitted. Any drainage from private lots onto the adjacent municipal reserve/environmental reserve upon development completion of the subject site must be resolved to the satisfaction of the Director, Parks and any damage resulting from unauthorized drainage will require restoration at the developer's expense. Resolution of drainage issues must be approved by the Parks Development Inspector. Contact the Parks Development Inspector Rob May at (403) 804-9417 or robert.may@calgary.ca for an inspection.
55. The developer shall restore, to a natural state, any portions of the environmental reserve lands along the boundaries of the plan area that are damaged in any way as a result of this development. The restored area is to be maintained until established and approved by the Park Development Inspector.
56. Any landscape rehabilitation on public parks shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications Landscape Construction (current edition). Applicant is to contact the Parks Development Inspector Rob May at (403) 804-9417 or robert.may@calgary.ca or an inspection.



ASPEN

DTR3 - 07.22.2021

Design Team

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PHONE: 403.273.2683



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COVER SHEET

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/23

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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REVISION	DATE
1 D.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021
4 DTR3	07.22.2021

SCALE

DATE

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Author

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Suite 900, 110 - 12th Avenue SW
Calgary, AB, Canada T2H 0G7
T 403.670.7000
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SURVEY PLAN

(at Aspen)
85th & PARK
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
219193

85th & PARK

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CONSTRUCTION

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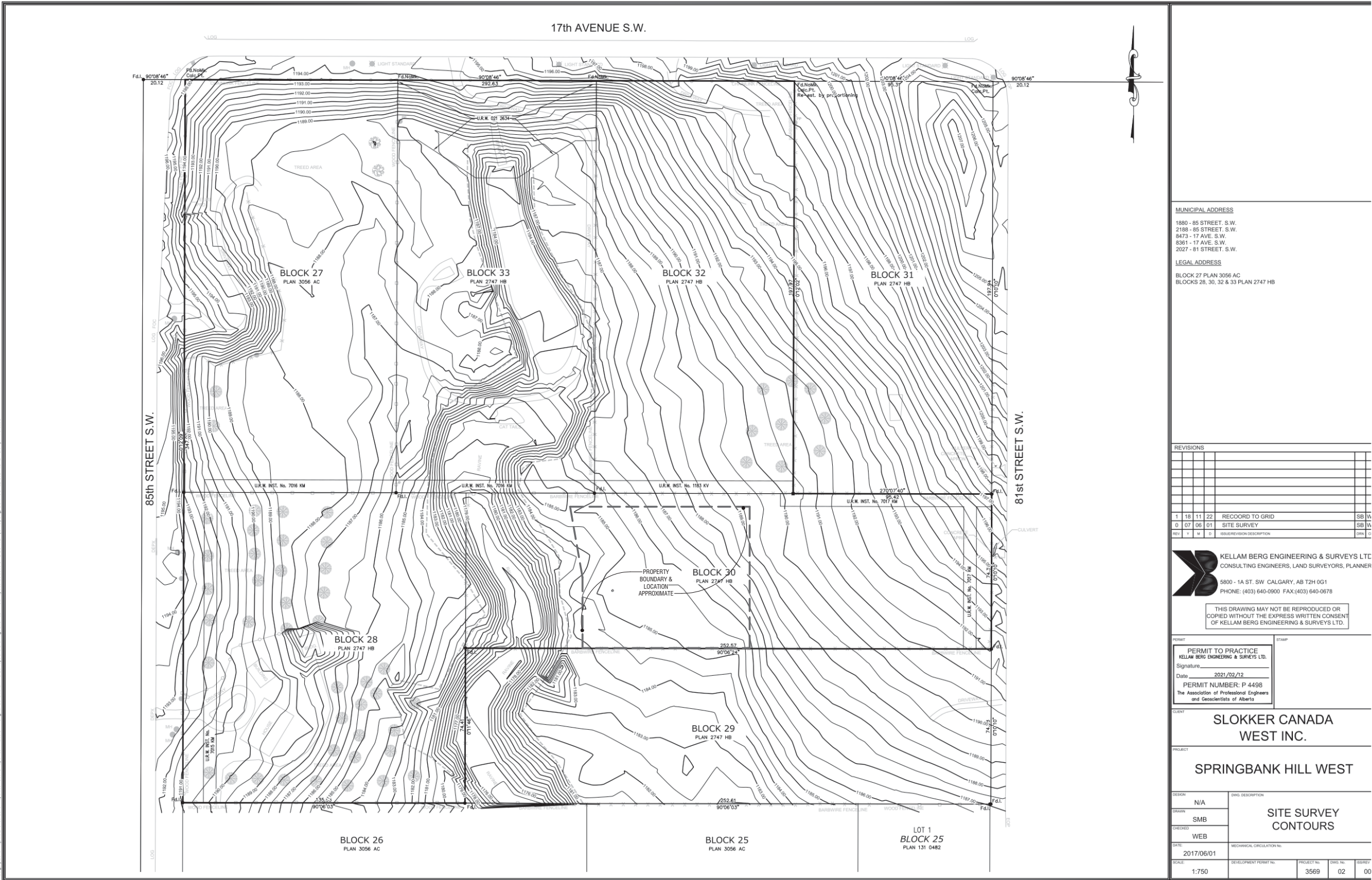
REVISION	DATE
1 D.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021

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MUNICIPAL ADDRESS

1880 - 85 STREET, S.W.
2188 - 85 STREET, S.W.
8473 - 17 AVE, S.W.
8361 - 17 AVE, S.W.
2027 - 81 STREET, S.W.

LEGAL ADDRESS

BLOCK 27 PLAN 3056 AC
BLOCKS 28, 30, 32 & 33 PLAN 2747 HB

REVISIONS

REV	Y	M	D	ISSUE/REVISION DESCRIPTION	DRN	C
1	18	11	22	RECORD TO GRID	SB	IA
2	07	06	01	SITE SURVEY	SB	IA



KELLAM BERG ENGINEERING & SURVEYS LTD.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNER

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PHONE: (403) 640-0900 FAX: (403) 640-0678

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PERMIT

PERMIT TO PRACTICE
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Signature _____
Date 2021/02/12
PERMIT NUMBER: P 4498
The Association of Professional Engineers
and Geoscientists of Alberta

CLIENT

SLOKKER CANADA
WEST INC.

PROJECT

SPRINGBANK HILL WEST

DESIGN

N/A

DRAWN

SMB

CHECKED

WEB

DATE

2017/06/01

SCALE

1:750

SWD DESCRIPTION

SITE SURVEY
CONTOURS

MECHANICAL, CIRCULATION N/A

DEVELOPMENT PERMIT NO.

3569

PROJECT NO.

02

DATE

06/25/2021

SCALE

12" = 1'-0"

DATE

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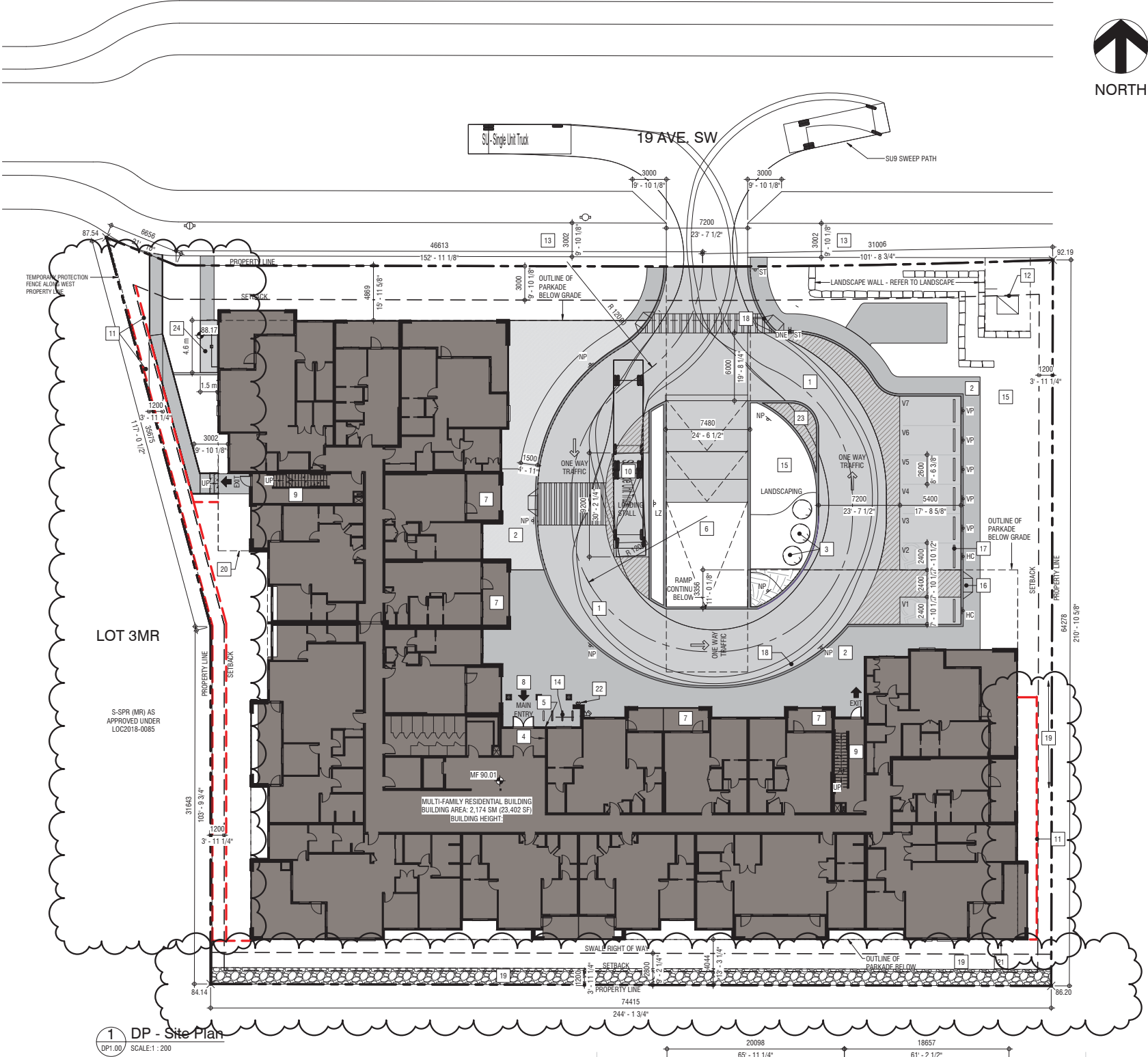
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Author

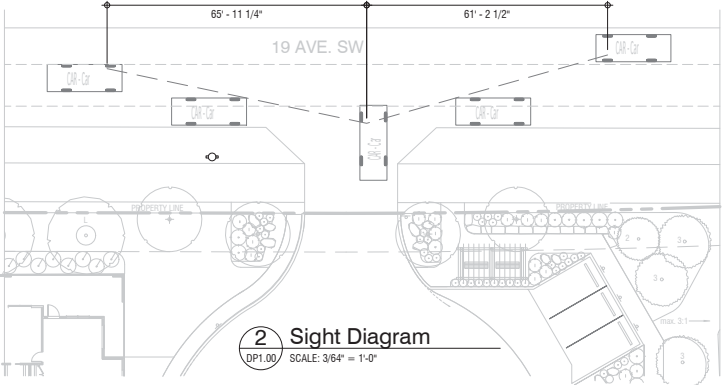
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1 DP - Site Plan
DP1.00 SCALE: 1" = 200'



2 Sight Diagram
DP1.00 SCALE: 3/16\"/>



Site Plan - General Notes

1. REFER TO SITE SERVING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
3. ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
4. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
5. ALL AREAS NOT INDICATED AS PAVED/HARD SURFACING TO BE GRASSED

Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF PROPOSED CONCRETE ACCESS LANEWAY TO SUPPORT 38,556 KG & TO SUPPORT NFPA 1901 POINT LOAD OF 517 kPa (75 psf) OVER A 2.0x2.0 (4 sq. ft.) AREA
- INDICATES EXTENT AND LOCATION OF EXTENT OF NO PARKING ZONE
- INDICATES EXTENT AND LOCATION OF SIDEWALK. REFER TO LANDSCAPE PLAN
- INDICATES EXTENT AND LOCATION OF CHARCOAL ROCK MULCH SWALE - REFER TO CIVIL
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES RETAINING WALL LOCATION
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF EXISTING FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES LOCATION OF BIKE RACK
- INDICATES "HANDICAP PARKING SYMBOL" POLE MOUNTED SIGNAGE
- INDICATES "LOADING ZONE" POST MOUNTED SIGNAGE
- INDICATES "NO PARKING" POST MOUNTED SIGNAGE
- INDICATES "STOP" POST MOUNTED SIGNAGE
- INDICATES "VISITOR PARKING" POST MOUNTED SIGNAGE
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION

Site Plan - Code Legend

- 1 PROPOSED CONCRETE ACCESS LANEWAY TO SUPPORT 38,556 KG
- 2 PROPOSED CONCRETE SIDEWALK - REFER LANDSCAPE DRAWINGS
- 3 PROPOSED BELOW GRADE GARBAGE CONTAINMENT SYSTEM. REFER TO DETAILS 3 & 4/DP1.01
- 4 FIRE ALARM PANEL LOCATION
- 5 FIRE DEPARTMENT APPROVED LOCKBOX
- 6 PROPOSED PARKADE ACCESS RAMP, HEATED
- 7 PROPOSED RESIDENTIAL BALCONY WITH AT-GRADE ACCESS
- 8 PROPOSED MAIN RESIDENTIAL BUILDING ACCESS
- 9 PROPOSED BUILDING EXIT
- 10 PROPOSED RESIDENTIAL BUILDING LOADING STALL. MINIMUM CLEARANCE AS PER BYLAW. LOADING TO SUPPORT 38,556 KG
- 11 RETAINING WALL. REFER TO CIVIL
- 12 PROPOSED TRANSFORMER LOCATION
- 13 3000mm EXISTING PUBLIC SIDEWALK
- 14 CLASS 2 BICYCLE STALLS - REFER TO LANDSCAPE FOR DETAILS
- 15 PROPOSED PLANTING BED - REFER LANDSCAPE DRAWINGS
- 16 TYPICAL BARRIER-FREE CURB. REFER TO DETAIL 8/DP1.01
- 17 WHEEL STOP. REFER TO DETAIL 5/DP1.01
- 18 TYPICAL CURB. REFER TO DETAIL 6/DP1.01
- 19 CHARCOAL ROCK MULCH SWALE - REFER TO CIVIL
- 20 PROPOSED PARKADE EXHAUST
- 21 PROPOSED PARKADE INTAKE - REFER TO ELEVATIONS
- 22 PROPOSED SIAMESE LOCATION
- 23 ROLLED CURB - REFER TO 10/DP1.01 - AS PER CITY OF CALGARY STANDARDS
- 24 GAS METER LOCATION



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SITE PLAN

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
219193

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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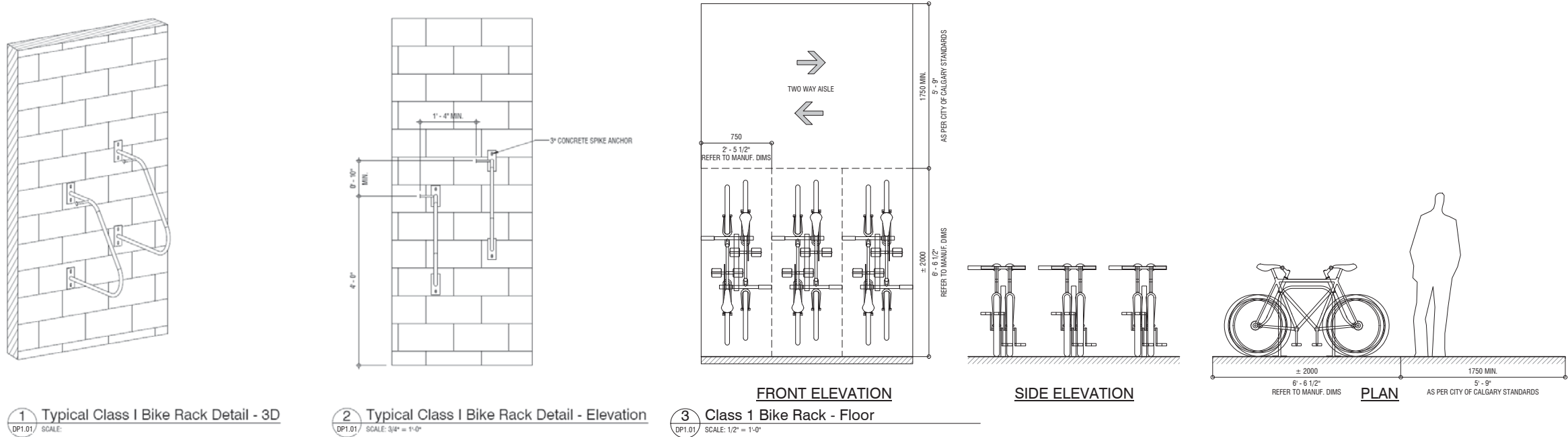
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1 D.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021
4 DTR3	07.22.2021

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DP1.00

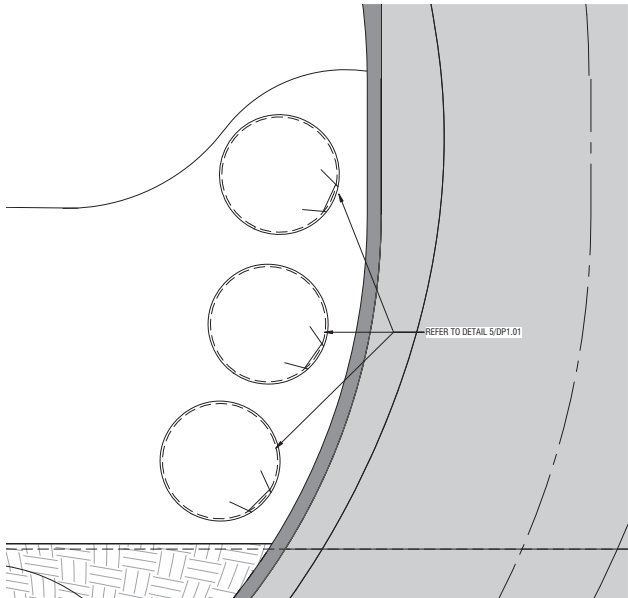
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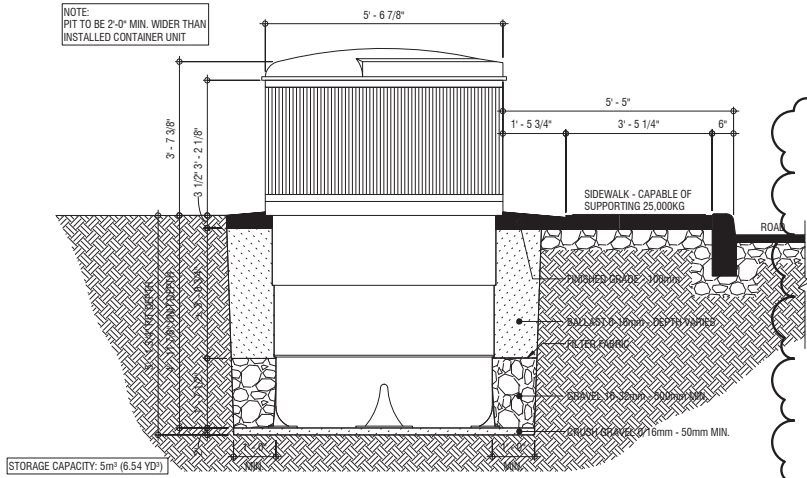
1 Typical Class I Bike Rack Detail - 3D
DP1.01 SCALE:

2 Typical Class I Bike Rack Detail - Elevation
DP1.01 SCALE: 3/4\" = 1'-0"

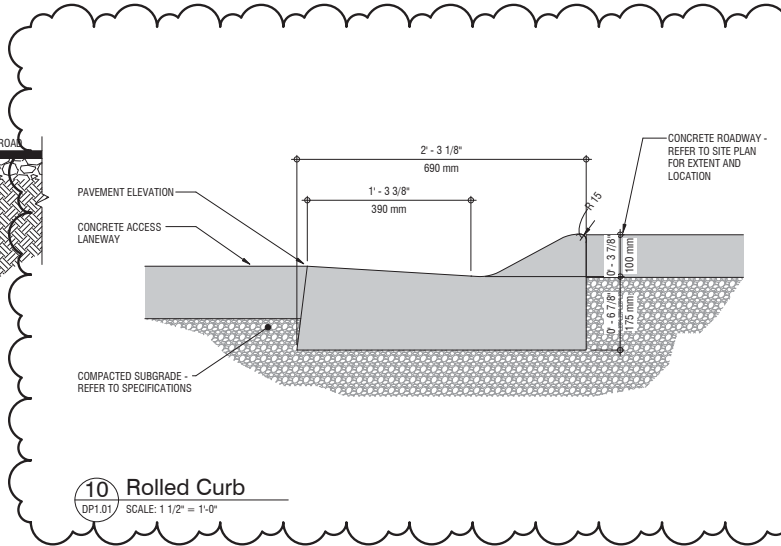
3 Class 1 Bike Rack - Floor
DP1.01 SCALE: 1/2\" = 1'-0"



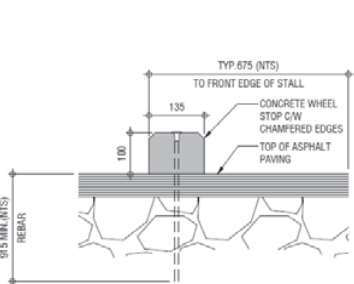
4 Waste & Recycling - Moloks
DP1.01 SCALE: 1/4\" = 1'-0"



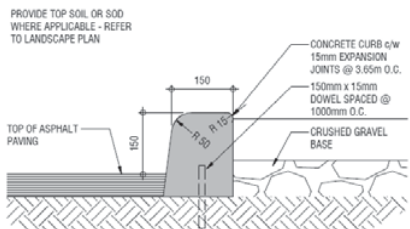
5 6.5 Cubic Yard Molok Bin Detail
DP1.01 SCALE: 1/2\" = 1'-0"



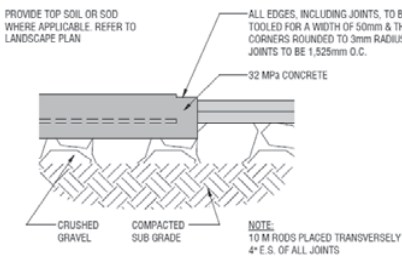
10 Rolled Curb
DP1.01 SCALE: 1 1/2\" = 1'-0"



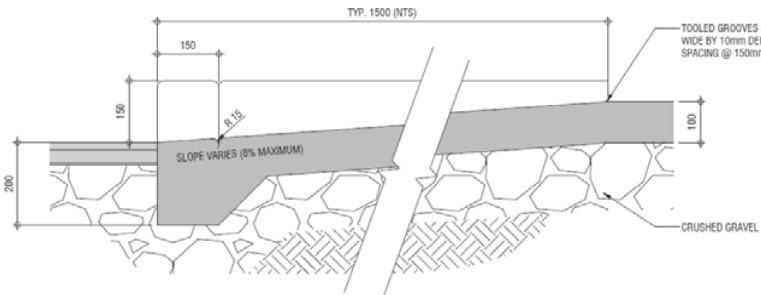
6 Typical Wheel Stop Detail
DP1.01 SCALE: 1 1/2\" = 1'-0"



7 Typical Pinned Curb Detail
DP1.01 SCALE: 1 1/2\" = 1'-0"



8 Typical Sidewalk Detail
DP1.01 SCALE: 1 1/2\" = 1'-0"



9 Typical Barrier-Free Curb Detail
DP1.01 SCALE: 1 1/2\" = 1'-0"



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SITE DETAILS

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PARKADE LEVEL P01

85th & PARK
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2/19/23

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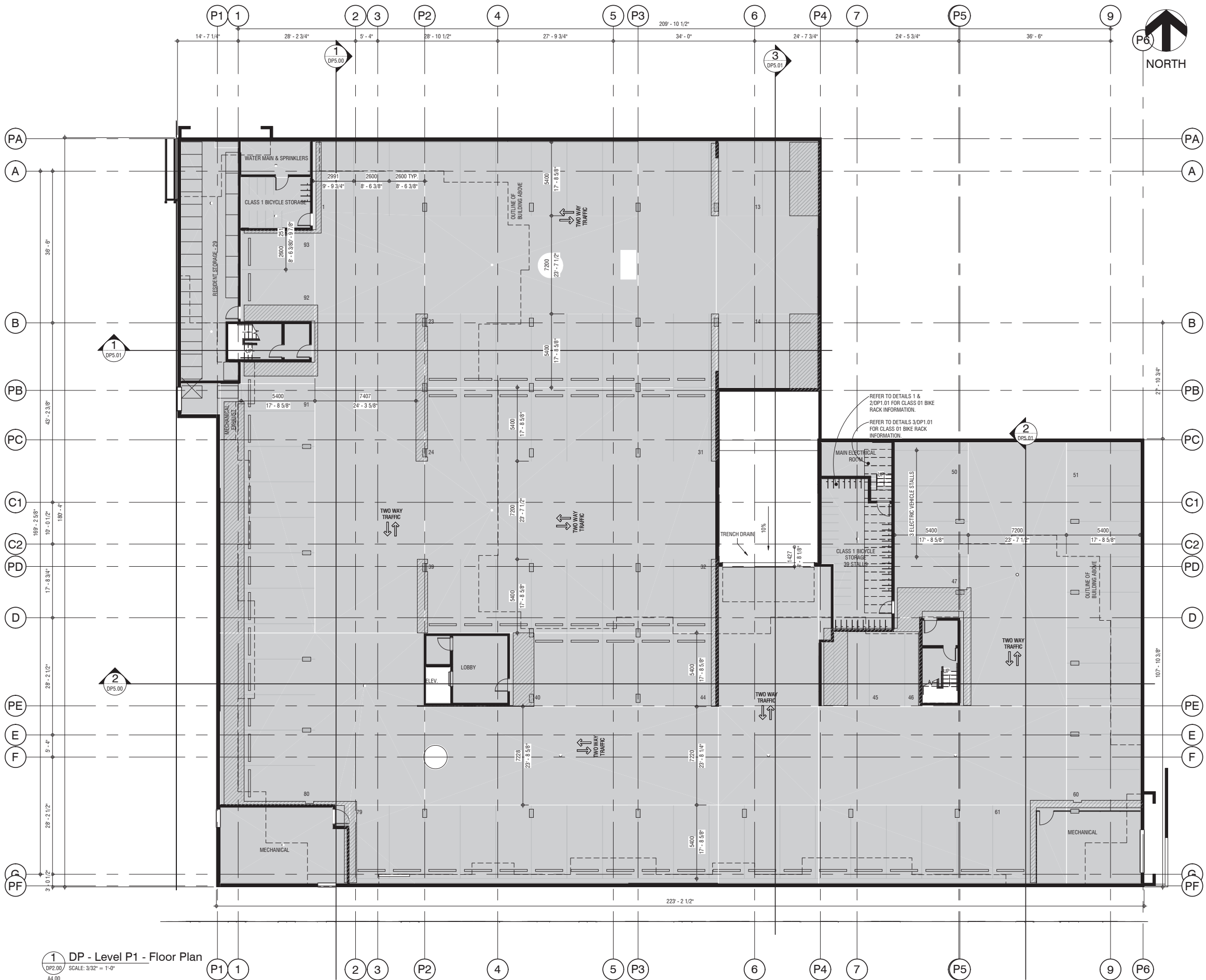
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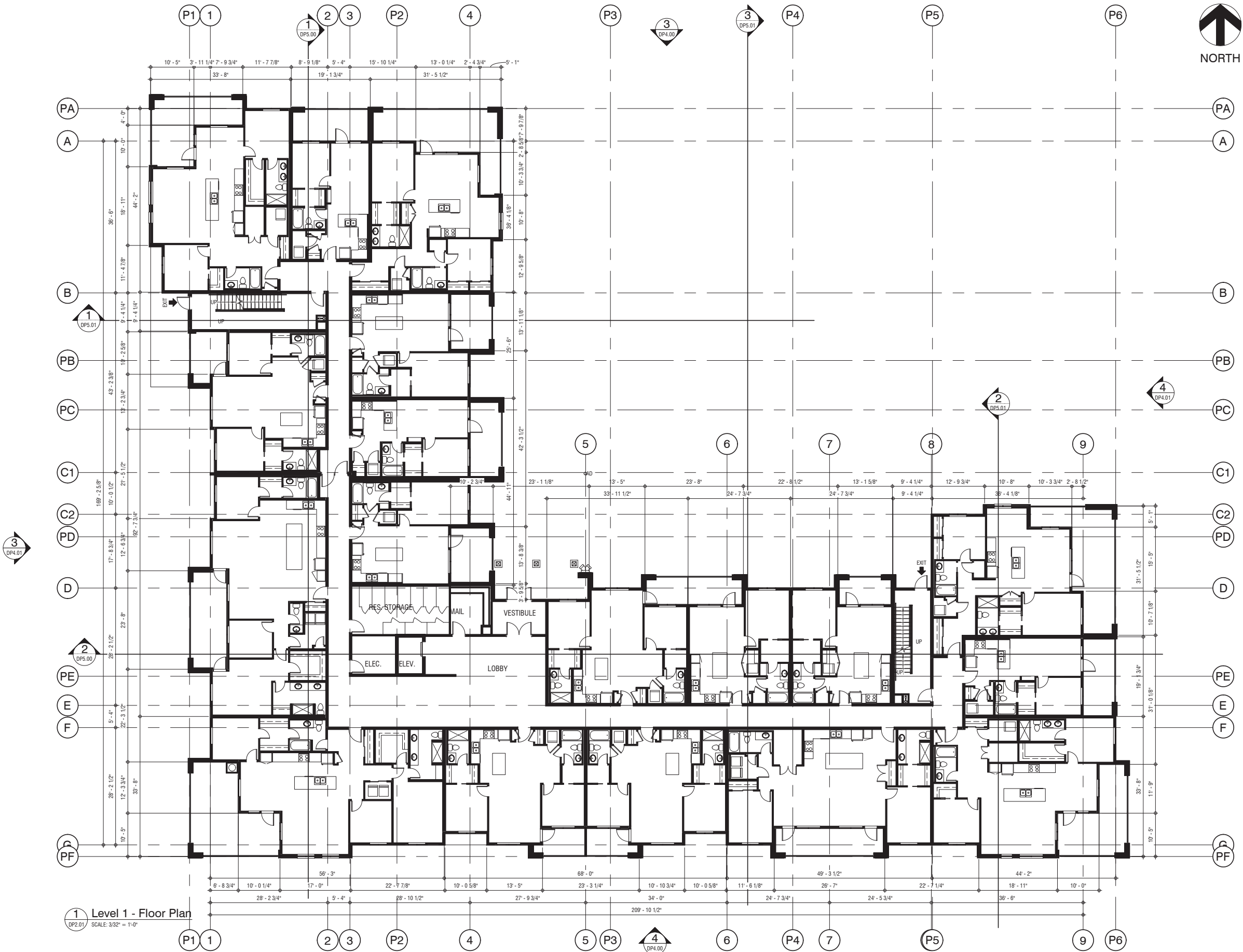
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DP2.00

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1 DP - Level P1 - Floor Plan
DP2.00 SCALE: 3/32" = 1'-0"
A4.00





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FLOOR PLAN - LEVEL 1

85th & PARK
(at Aspen)

8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2/19/93

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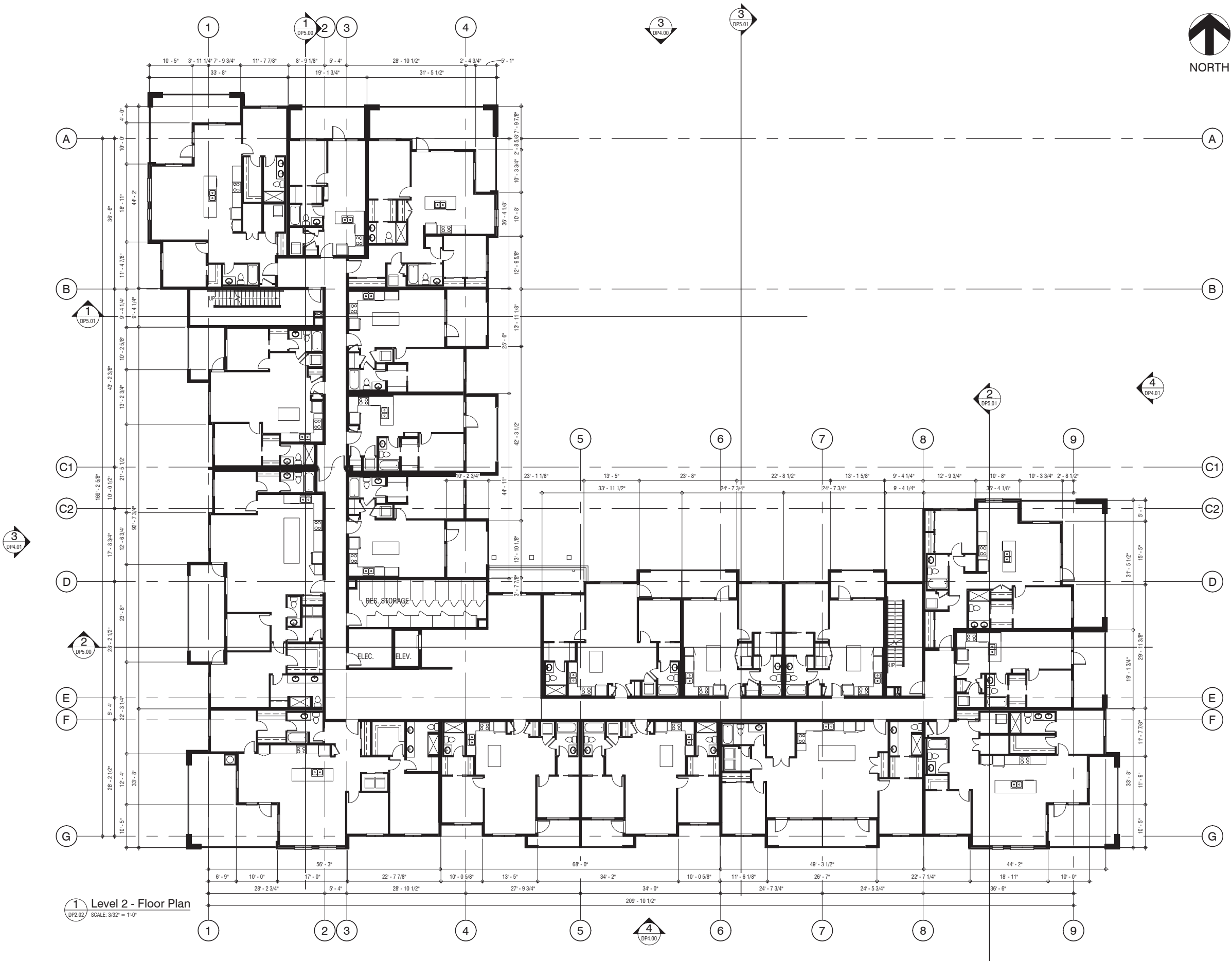
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FLOOR PLAN - LEVEL 2

(at Aspen)

85th & PARK

8355 19 AVE SW, CALGARY, ALBERTA

COVE PROPERTIES

2/19/93

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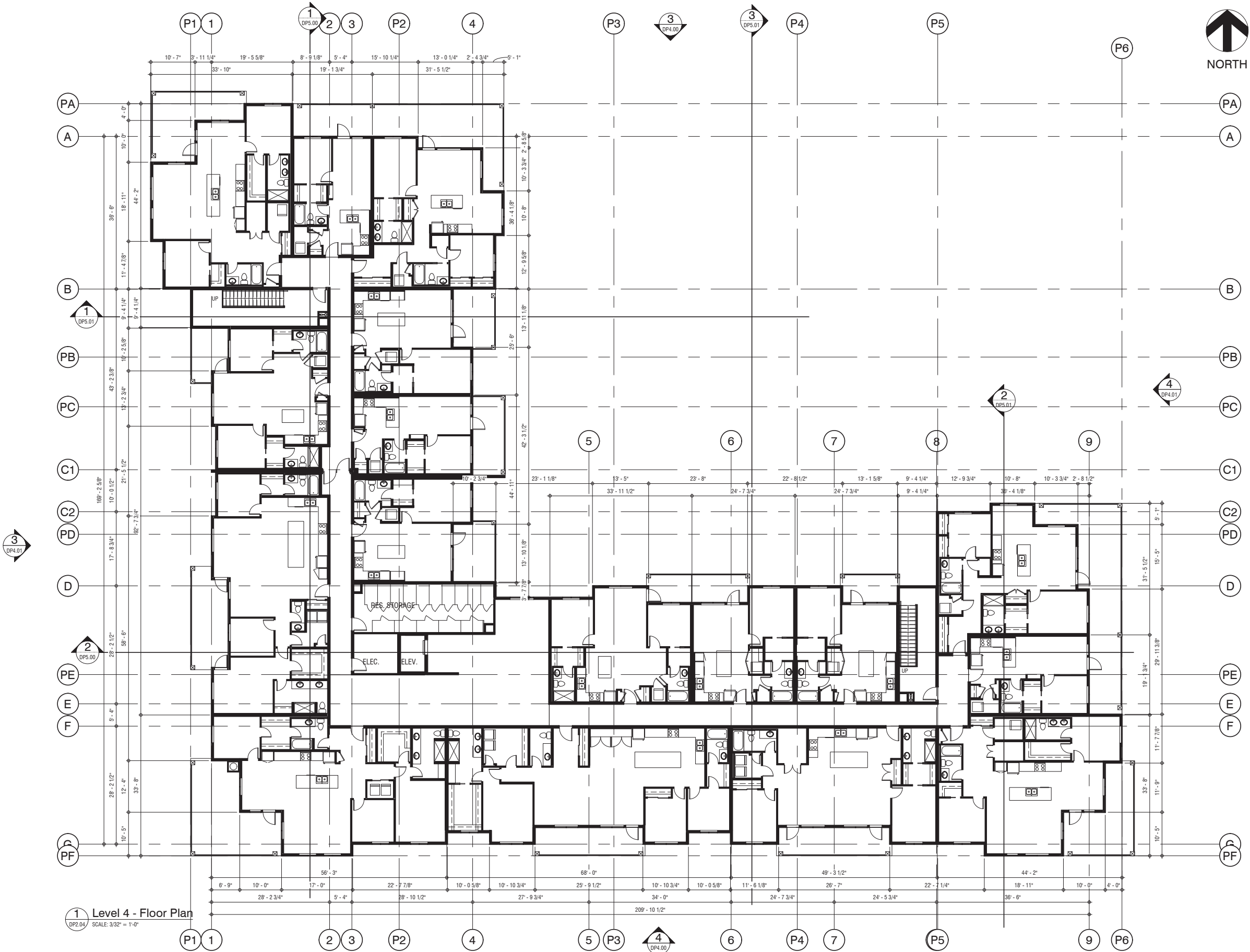
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FLOOR PLAN - LEVEL 4

85th & PARK
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COVE PROPERTIES
2/19/23

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DP2.04

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FLOOR PLAN - ROOF

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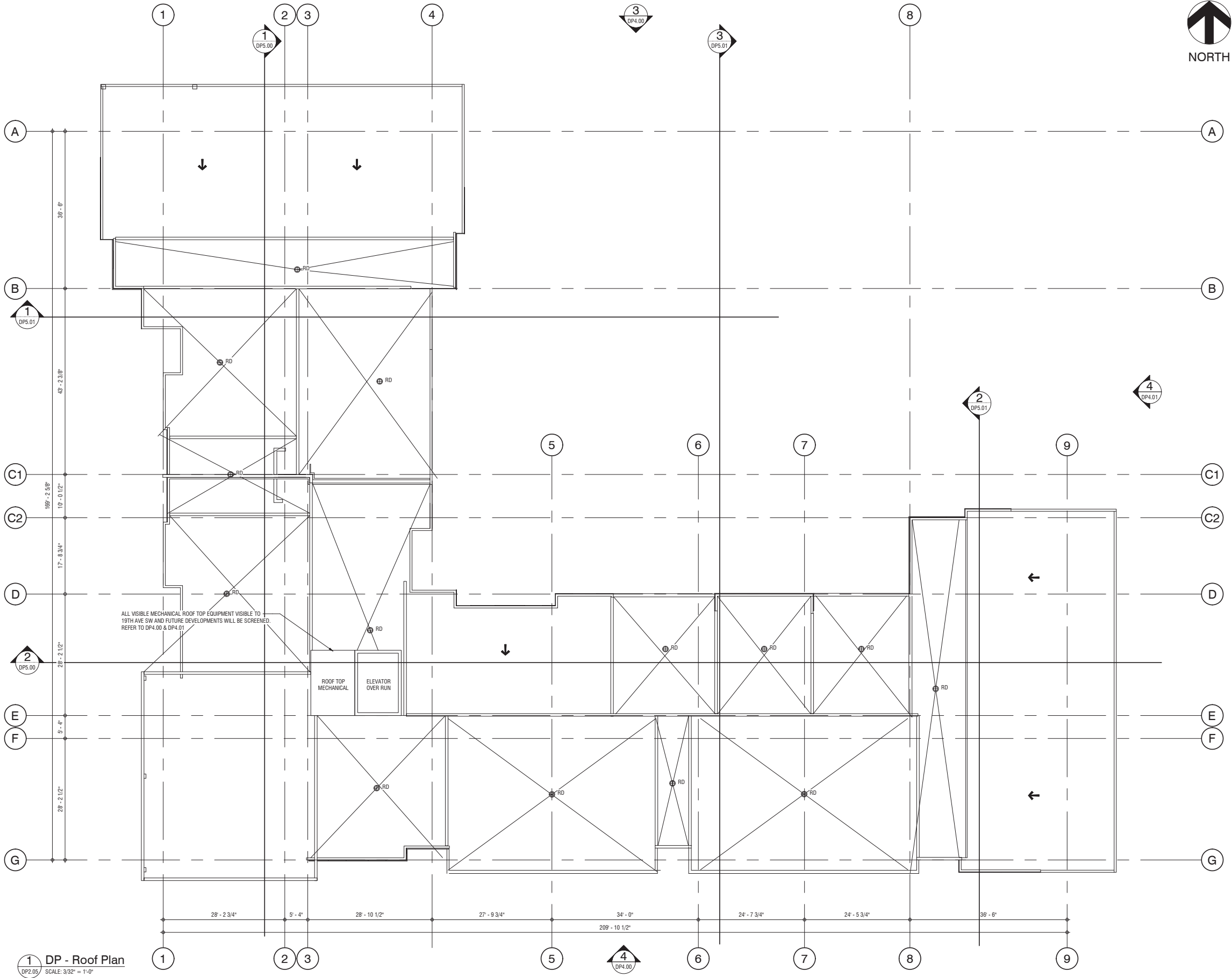
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DP2.05

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Elevation - General Notes

1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Code Legend

- | | |
|----|--|
| 1 | MASONRY STONE VENEER |
| 2 | LUX PANEL - COLOUR: WOOD TONE |
| 3 | EXTERIOR INSULATION FINISHING SYSTEM - COLOUR: CHARCOAL |
| 4 | EXTERIOR INSULATION FINISHING SYSTEM - COLOUR: WHITE |
| 5 | METAL FASCIA - COLOUR: CHARCOAL |
| 6 | EXTERIOR INSULATION FINISHING SYSTEM TRIM & SILL - COLOUR: CHARCOAL |
| 7 | CLAD POST AND BEAM - WOOD TONE TO MATCH #2 |
| 8 | EXTERIOR INSULATION FINISHING SYSTEM - TO MATCH MASONRY STONE VENEER |
| 9 | RESIDENTIAL CLEAR GLAZING SYSTEM - CHARCOAL FRAME |
| 10 | ALUMINUM FRAMED CLEAR GLASS GUARDRAIL |
| 11 | DOOR TYPE 01 - ALUMINUM FRAMED GLAZED DOOR |
| 12 | DOOR TYPE 02 - ALUMINUM FRAMED WITH CLEAR GLAZING MAIN ENTRANCE DOOR |
| 13 | DOOR TYPE 03 - PRE FINISHED METAL |
| 14 | CONCRETE STEPS |
| 15 | MECHANICAL ROOFTOP SCREENING - EXTERIOR INSULATION FINISHING SYSTEM TRIM & SILL - COLOUR: CHARCOAL |
| 16 | MECHANICAL LOUVER |
| 17 | GUARDRAIL |
| 18 | RETAINING WALL |



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ELEVATIONS

85th & PARK
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COVE PROPERTIES
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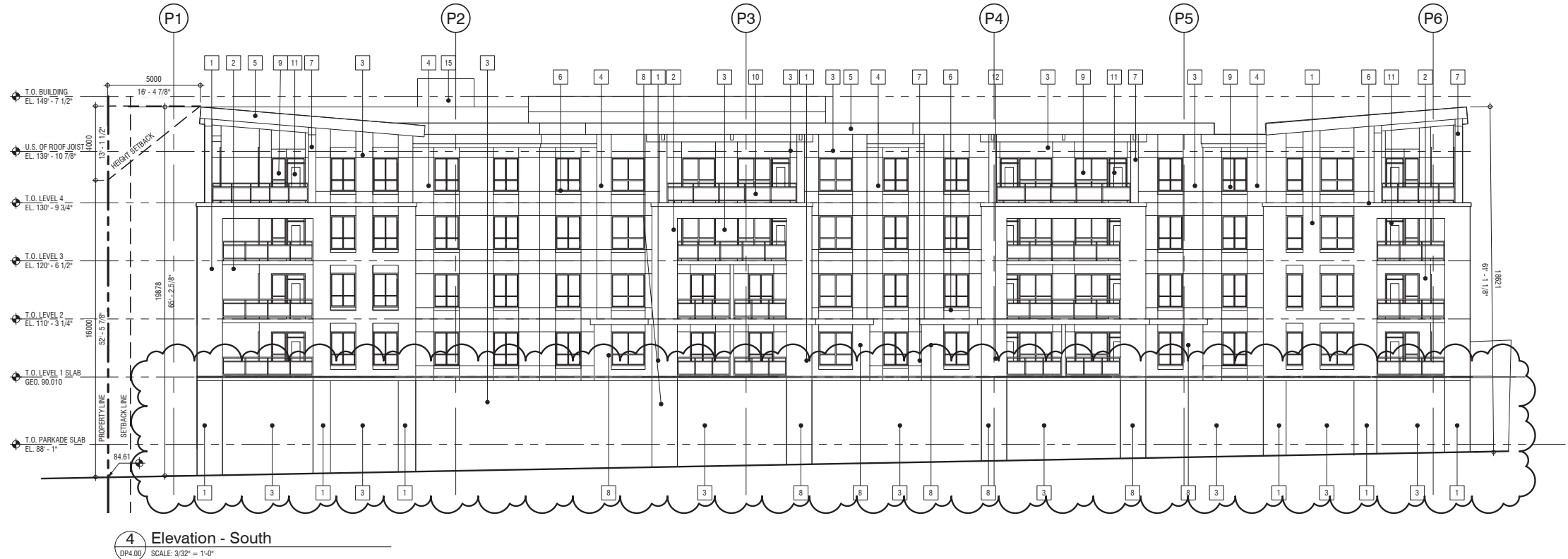
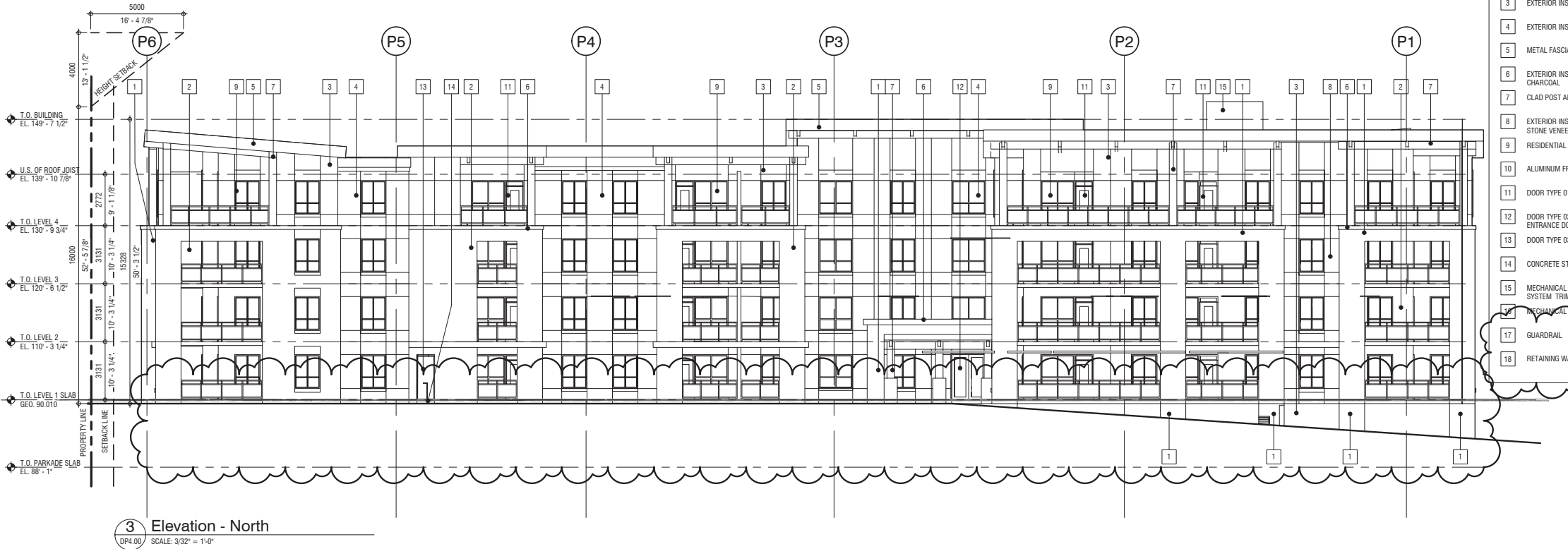
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1 D.P. SUBMISSION	02.16.2021
2 DTR1	05.07.2021
3 DTR2	06.25.2021

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DP4.00

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ELEVATIONS

85th & PARK
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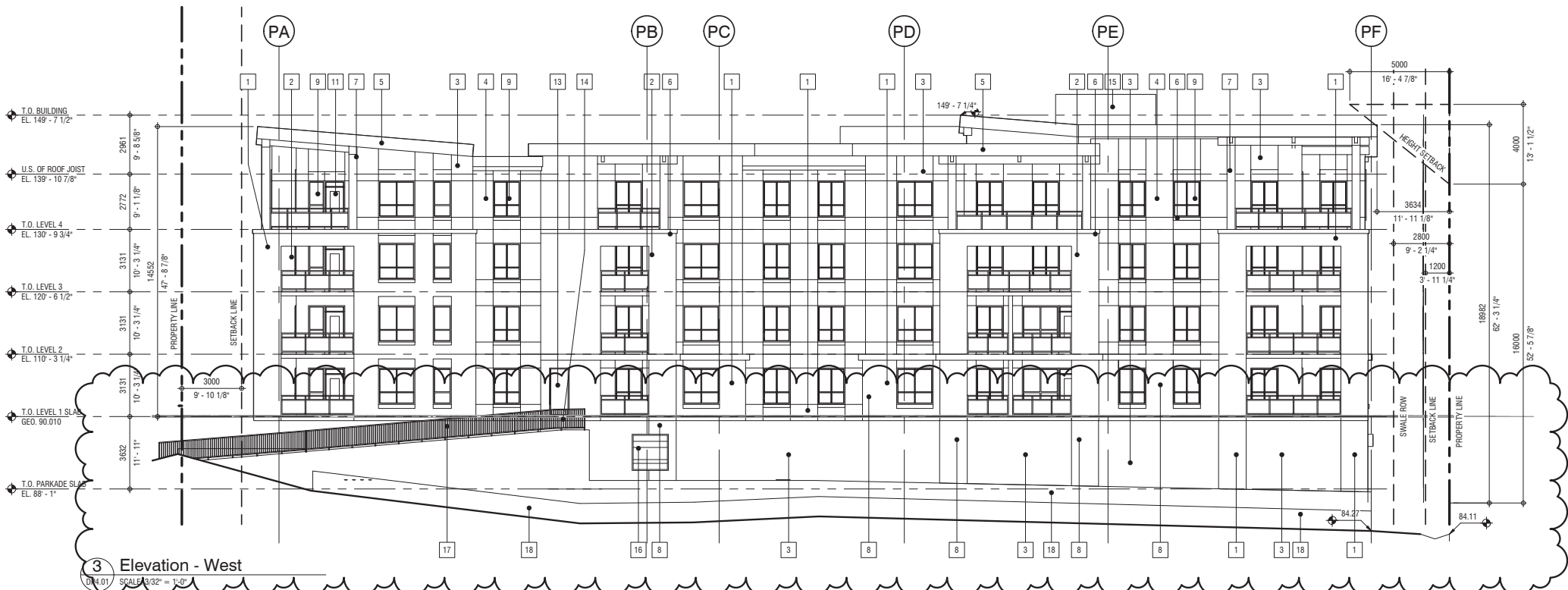
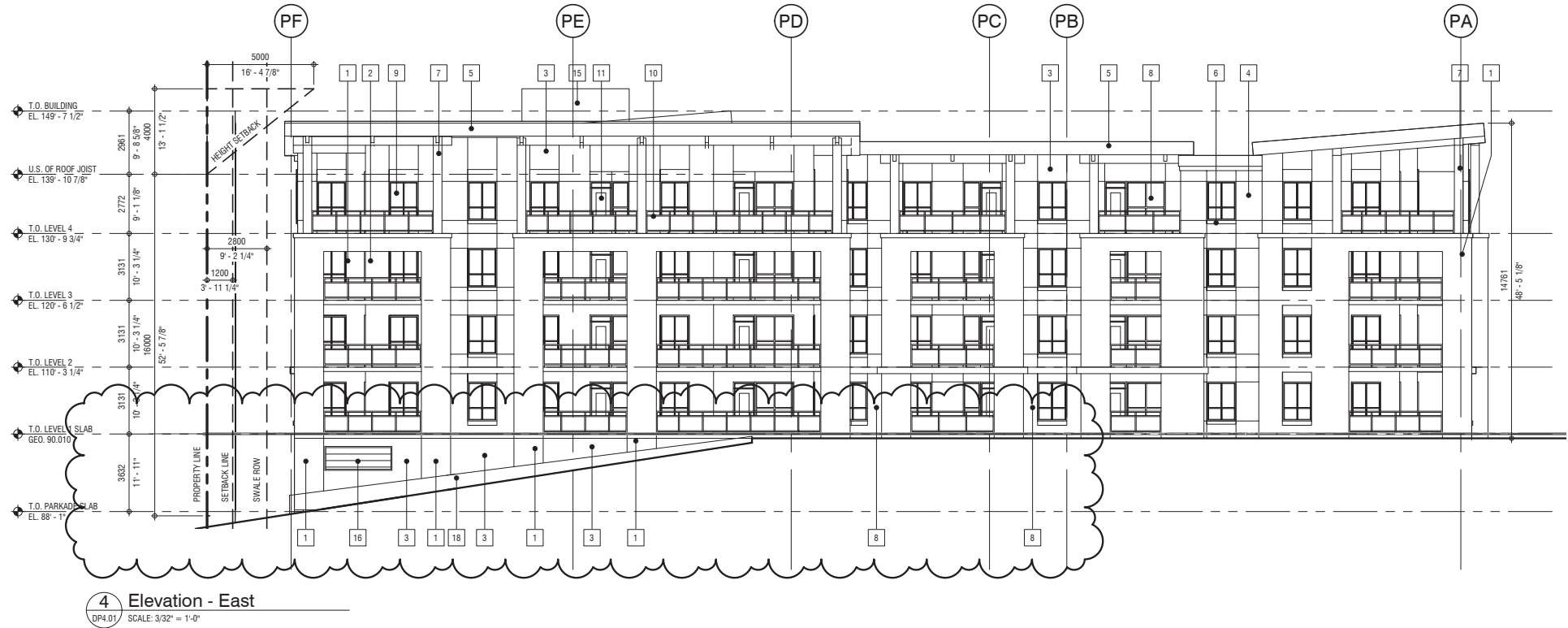
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Elevation - General Notes

- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
- ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Code Legend

- | | |
|----|--|
| 1 | MASONRY STONE VENEER |
| 2 | LUX PANEL - COLOUR: WOOD TONE |
| 3 | EXTERIOR INSULATION FINISHING SYSTEM - COLOUR: CHARCOAL |
| 4 | EXTERIOR INSULATION FINISHING SYSTEM - COLOUR: WHITE |
| 5 | METAL FASCIA - COLOUR: CHARCOAL |
| 6 | EXTERIOR INSULATION FINISHING SYSTEM TRIM & SILL - COLOUR: CHARCOAL |
| 7 | CLAD POST AND BEAM - WOOD TONE TO MATCH #2 |
| 8 | EXTERIOR INSULATION FINISHING SYSTEM - TO MATCH MASONRY STONE VENEER |
| 9 | RESIDENTIAL CLEAR GLAZING SYSTEM - CHARCOAL FRAME |
| 10 | ALUMINUM FRAMED CLEAR GLASS GUARDRAIL |
| 11 | DOOR TYPE 01 - ALUMINUM FRAMED GLAZED DOOR |
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| 13 | DOOR TYPE 03 - PRE FINISHED METAL |
| 14 | CONCRETE STEPS |
| 15 | MECHANICAL ROOFTOP SCREENING - EXTERIOR INSULATION FINISHING SYSTEM TRIM & SILL - COLOUR: CHARCOAL |
| 16 | MECHANICAL LOUVRE |
| 17 | GUARDRAIL |
| 18 | RETAINING WALL |





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SECTIONS

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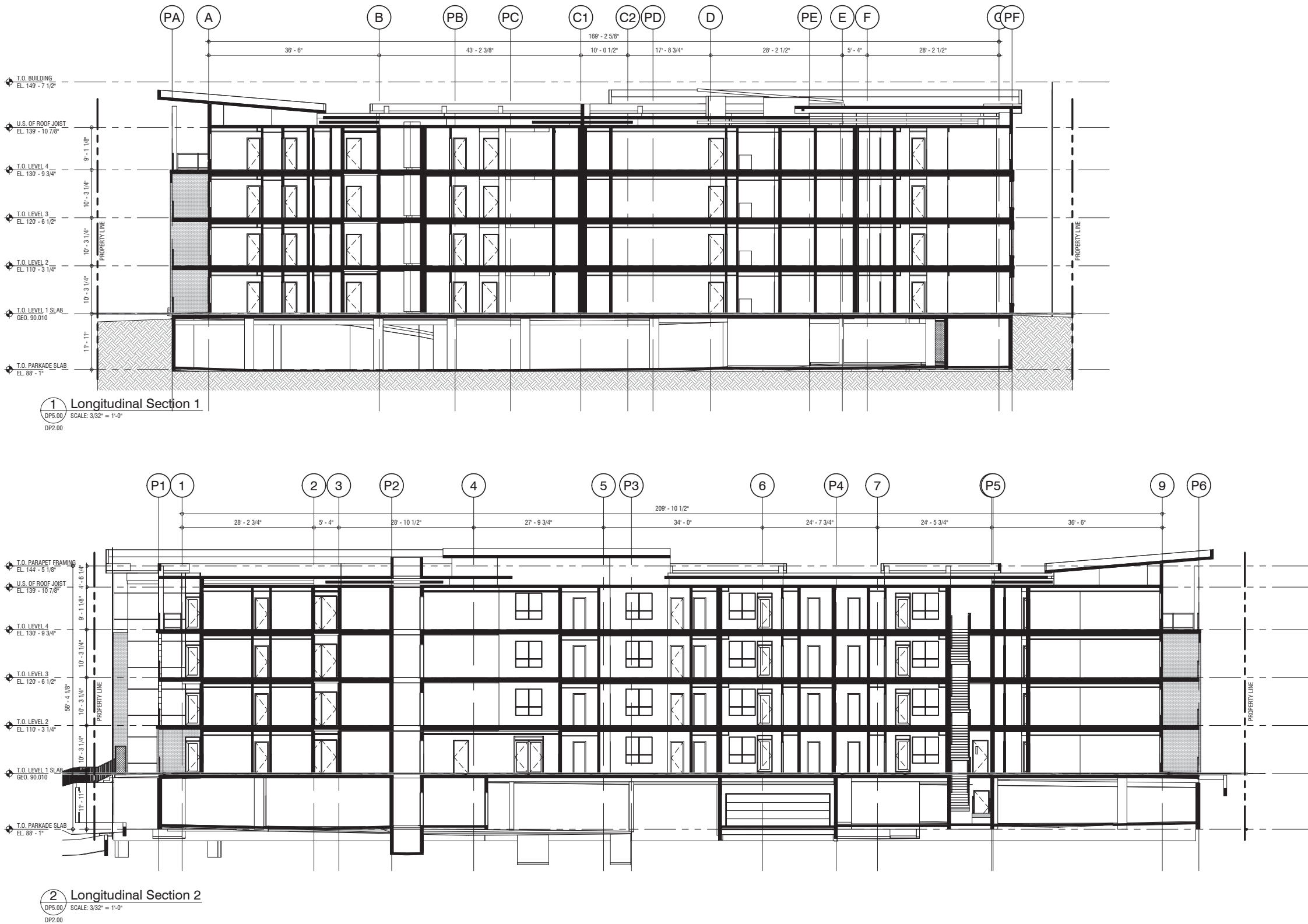
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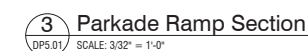
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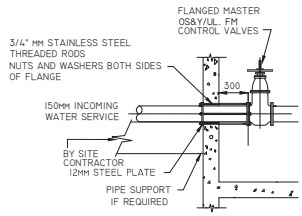
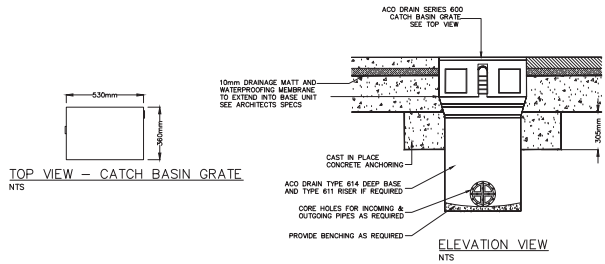
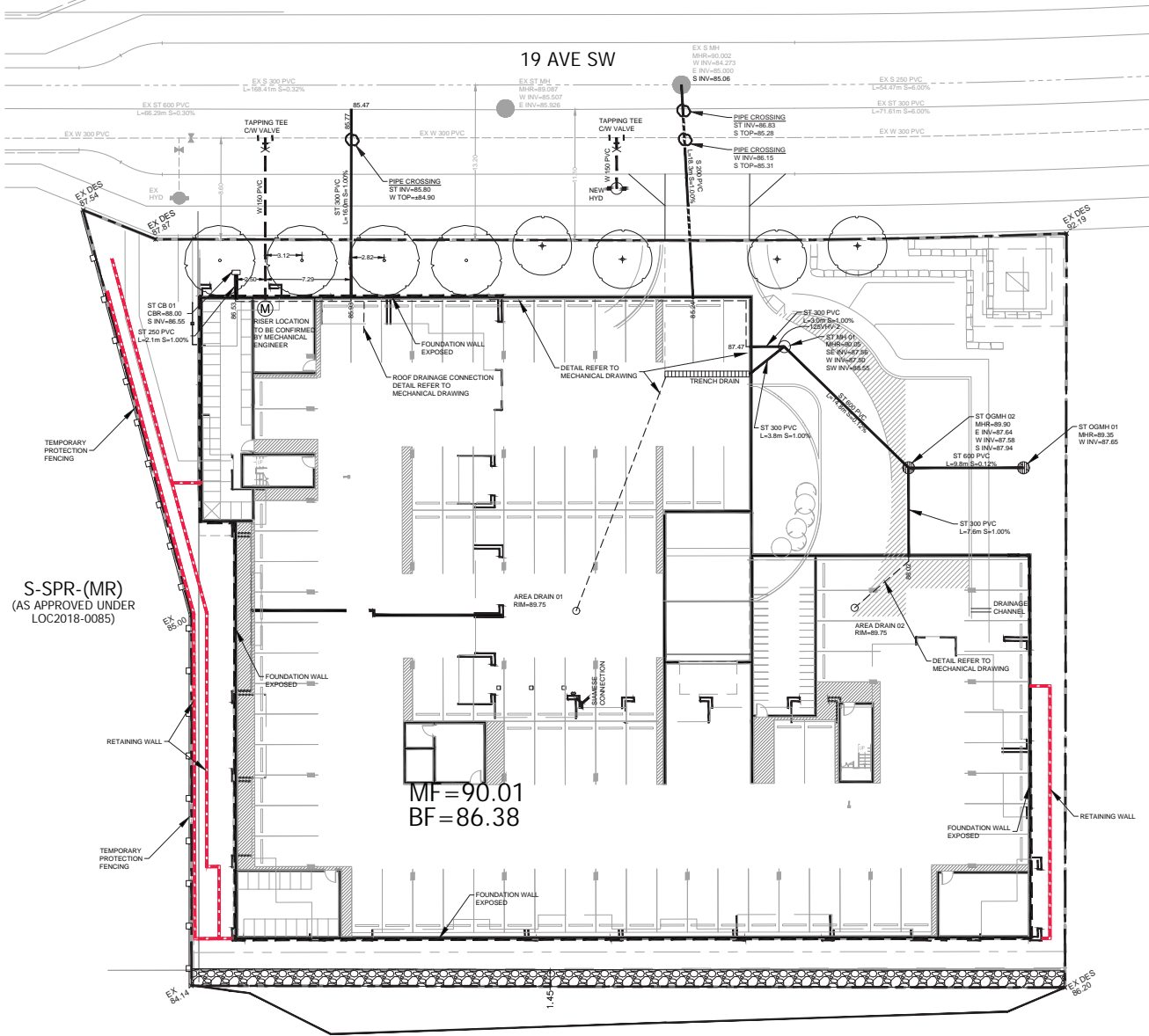
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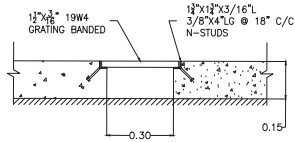
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SANITARY AND STORM LINE ENTER THE BUILDING
BETWEEN 2 PARKING STALLS TO AVOID
COMPROMISING THE PARKING STALLS COUNT

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY



WATER ENTRY DETAIL
NTS



TYPICAL DETAIL
FOR DRAINAGE CHANNEL

- ALL THE EXISTING UTILITIES INFORMATION ARE EITHER FROM THE RECORD OF CITY OF CALGARY OR THE SURVEY PLAN PROVIDED BY THE SURVEY COMPANY. THE CONTRACTOR SHOULD CONFIRM ALL THE EXISTING SERVICES INFORMATION (INVERTS, LOCATION, ETC) AND INFORM RICHVIEW ENGINEERING INC FOR NECESSARY ADJUSTMENT PRIOR TO CONSTRUCTION.
- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT. IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.
- THE CONTRACTOR MUST SUPPLY WRITTEN NOTICE TO RICHVIEW ENGINEERING INC OF INTENT TO START CONSTRUCTION OF THE DEEP UTILITIES AT LEAST 3 DAYS IN ADVANCE OF THE CONSTRUCTION START.
- FAILURE TO DO SO MAY RESULT IN A REQUEST TO HAVE THE LINES EXCAVATED SO AS TO ASCERTAIN BEDDING CONDITIONS AND THAT PIPE HAS BEEN PLACED CORRECTLY AND/OR TO HAVE A VIDEO EXAMINATION OF THE PIPE PERFORMED AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO HAVE THE INSPECTIONS COMPLETED ADEQUATELY WILL PREVENT RICHVIEW ENGINEERING INC'S BEING ABLE TO EXECUTE THE NECESSARY CERTIFICATIONS REQUIRED BY THE ALBERTA BUILDING CODE AND THE NATIONAL BUILDING CODE.

CITY OF CALGARY DEVELOPMENT SITE SERVICING PLAN			
DATE RECEIVED			
CIRCULATION TO		INITIAL	DATE
WATER RESOURCES			
REVIEW AND INSPECTION BY THE CITY IS NOT SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.			
THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.			



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OF RICHVIEW ENGINEERING INC.

- NOTES:
- ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
 - ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
 - ALL ELEVATIONS REFERENCED TO 1100 m GEODETIC DATUM.
 - ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 - WATER SERVICES SHALL HAVE A MIN. OF 2.7m COVER IN CLAY SOIL CONDITIONS AND 3.3m IN GRAVEL CONDITIONS.
 - WATER MAINS 1500 OR LARGER SHALL BE PVC DR18.
 - ALL HYDRANT LEADS OR TO BE PVC DR18.
 - ALL SANITARY & STORM MAINS 1500 OR LARGER SHALL BE SDR-35.
 - ALL SANITARY SERVICES 1000 OR SMALLER SHALL BE SDR-28.
 - ALL PE WATER SERVICES SHALL BE DR 11.
 - SAN & STM SERVICES ARE TO BE BROUGHT TO 1.5m INSIDE THE FOUNDATION WALL. WATER SERVICES ARE TO BE BROUGHT INTO THE METER ROOM.
 - MANHOLES TO BE TYPE 5A SULPHATE RESISTANT CONCRETE AND TO BE INSTALLED IN ACCORDANCE WITH CITY OF CALGARY SPECIFICATIONS.
 - ALL CONCRETE SEWER PIPES, MANHOLES, CATCH BASIN BARRELS SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
 - ALL STORM AND SANITARY SEWER PIPE BEDDINGS FOR PIPE SIZES 100mm TO 375mm TO BE CLASS III IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATIONS IN ASTM D2321.
 - IF WEeping IS NEEDED, CONNECT TO SUMP PUMP. WEEPING TILE SHALL BE PUMP TO GRADE TO A POINT PAST THE DOWNSPOUTS VIA A BASEMENT SUMP AND PUMP, AS PER ALBERTA BUILDING CODE.
 - ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
 - EXACT ELEVATION OF MANHOLE RIMS ARE TO BE SET IN THE FIELD PRIOR TO FINAL ASPHALT LIFT.
 - PLASTIC PLUGS BY NORWOOD FOUNDRY OR EQUIVALENT TO BE USED IN PLACE OF PARSON INSERTS ON SANITARY MANHOLES SITUATED IN TRAP LWS.
 - ALL CATCH BASINS SHALL BE TYPE 'C' OTHERWISE NOTED.
 - WATER RISER LOCATION TO BE CONFIRMED BY MECHANICAL ENGINEER

LEGEND:	PROPOSED	EXISTING
SITE PROPERTY LINE	---	---
EASEMENT LINE	---	---
STORM SEWER	ST 250 PVC	EX ST 250 PVC
SANITARY SEWER	S 250 PVC	EX S 250 PVC
WATER MAIN	W 250 PVC	EX W 250 PVC
CATCHBASIN	II	II
MANHOLE	II	II
OT MANHOLE	II	II
WATER VALVE	II	II
FIRE HYDRANT	II	II
CAPPED PIPE END	II	II
GRADE	II	II
WATER METER	II	II
REDUCER	II	II
CHECK VALVE	II	II
LIGHT STANDARD	II	II
ICD	II	II
RETAINING WALL	II	II

LEGAL ADDRESS

LOT 5 BLOCK 2
UNREGISTERED PLAN
NW 1/4 SEC 10 TWP 24 RGE 02 W5th M

REVISIONS

REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	DRN	CHK
5	21	07	22	ISSUED FOR DTR3	EL	RL
4	21	07	07	FOR 75% REVIEW	EL	RL
3	21	06	24	ISSUED FOR DTR2	EL	RL
2	21	06	15	FOR 50% REVIEW	EL	RL
1	21	06	09	FOR APPROVAL	EL	RL
0	21	05	05	ISSUED FOR DTR1	RL	VK

ENGINEER



PERMIT NUMBER: P09809

22 Jul 21

CLIENT

COVE PROPERTIES

PROJECT

ASPEN MULTI RESIDENTIAL

DESIGN:

RL

DRAWN:

EL

CHECKED:

RL

DATE:

JUL 22 2021

SCALE:

1:250

SITE SERVICING
PLAN

DEVELOPMENT PERMIT No. PROJECT No. DWS. No. ISS/REV

DP2021-0970 1251 01 5

DSSP CIRC. No.

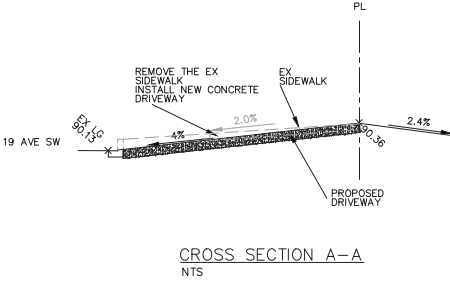


RICHVIEW
ENGINEERING INC.
CONSULTING ENGINEERS

UNIT D, 203 38 AVE NE CALGARY, AB. T2E 2M3
PHONE: (403) 230-3218 FAX: (403) 230-3208

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- NOTES:
1. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
 2. ALL ELEVATIONS REFERENCED TO 1100 GEODETIC DATUM.
 3. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 4. HEAVY DUTY ASPHALT REQUIRED AS INDICATED.
 5. ALL CURB REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
 6. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
 7. MINIMUM OVERHEAD CLEARANCE REQUIRED FOR DUMPING CONTAINERS IS 6.4m.
 8. MINIMUM VERTICAL CLEARANCE REQUIRED FOR SANITATION VEHICLES IS 4.3m.
 9. HEAVY DUTY ASPHALT TO BE A DEPTH AND CLASS TO CARRY A LOADED COLLECTION VEHICLE (25,000 kg).
 10. ELECTRICAL TRANSFORMERS, LIGHT STANDARDS AND SIGNAL POLES WILL BE LOCATED TO ENSURE EASY COLLECTION VEHICLE ACCESS.
 11. ALL DRIVEWAY APRONS SHALL BE INSTALLED AS PER CITY OF CALGARY SPECIFICATIONS.




- LEGEND
- PROPOSED GRADE $x +47.79$
 - PROPOSED SLOPE $\rightarrow 1.00\%$
 - EXISTING GRADE $EX +47.79$
 - SLAB ELEVATION MF=48.75
 - RETAINING WALL

LEGAL ADDRESS
LOT 5 BLOCK 2
UNREGISTERED PLAN
NW 1/4 SEC. 10 TWP. 24 RGE. 02 W5th M

REVISIONS						
REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	DRN	CHK
5	21	07	22	ISSUED FOR DTR3	EL	RL
4	21	07	07	FOR 75% REVIEW	EL	RL
3	21	06	24	ISSUED FOR DTR2	EL	RL
2	21	06	15	FOR 50% REVIEW	EL	RL
1	21	06	09	FOR APPROVAL	EL	RL
0	21	05	05	ISSUED FOR DTR1	EL	RL

ENGINEER



Member ID: 72446

PERMIT NUMBER: P09809
22 Jul 21

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COVE PROPERTIES

PROJECT

ASPEN MULTI RESIDENTIAL

DESIGN: RL	SITE GRADING PLAN			
DRAWN: EL				
CHECKED: RL				
DATE: JUL 22 2021	DEVELOPMENT PERMIT No. DP2021-0970	PROJECT No. 1251	DWG. No. 02	ISS/REV. 5
SCALE: 1:250	MECHANICAL CRC. No.			

- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.

R:\USED\COVE ASPEN\MULTI RESIDENTIAL\1251-0970.DWG, GRADE, 07/22/2021 03:25 PM RICHVIEW

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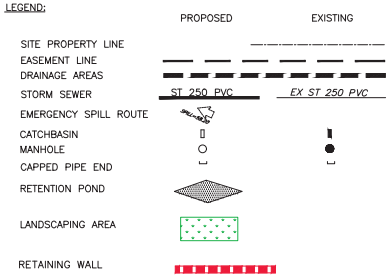


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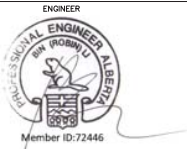
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- NOTES:
1. ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
 2. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
 3. ALL ELEVATIONS REFERENCED TO 1100 GEODETIC DATUM.
 4. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 5. ALL CONCRETE SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
 6. SEE SITE SERVING PLAN FOR STORM SEWER DESIGN.
 7. REFER TO STORM WATER MANAGEMENT REPORT: SWMR FOR DETAILS



LEGAL ADDRESS
LOT 5 BLOCK 2
UNREGISTERED PLAN
NW 1/4 SEC 10 TWP 24 RGE 02 W5th M

REVISIONS				
REV.	Y	M	D	ISSUE/REVISION DESCRIPTION
4	21	07	22	ISSUED FOR DTR3
3	21	07	07	FOR 75% REVIEW
2	21	06	24	ISSUED FOR DTR2
1	21	06	15	FOR 50% REVIEW
0	21	06	09	FOR APPROVAL



PERMIT NUMBER: P09809
22 Jul 21

CLIENT

COVE PROPERTIES

PROJECT

ASPEN
PROJECT NAME

DESIGN:	RL	OVERLAND DRAINAGE PLAN
DRAWN:	EL	
CHECKED:	RL	
DATE:	JUL 22 2021	
SCALE:	1:250	DEVELOPMENT PERMIT No. DP2021-0970
		PROJECT No. 1251
		DWG. No. 03
		ISS/REV 4

STORM CALCULATIONS
TOTAL SITE AREA = 0.4888 ha
ALLOWABLE FREE FLOW AREA = 0.0688 ha
TOTAL STUDY AREA = 0.4888 - 0.0665 = 0.4223 ha
ALLOWABLE FLOW FOR THE AREA IS 60 l/s/ha
TOTAL ALLOWABLE FLOW TO CITY MAIN:
 $Q_2 = 0.4223 \times 60 = 25.3 \text{ l/s}$
SEE ATTACHED SWHMYO OUTPUT FILE FOR MODELLING DETAILS

D-AREA-1(ROOF)
TOTAL AREA = 0.2337 ha
ROOF AREA@C=1.0 → 0.2337 ha
 $C_2 = 1.0$
 $Q_2 = 108 \text{ l/s}$

FLOW RESTRICTION
TO BE CONTROLLED BEFORE LEAVING THE BUILDING
BY 14 WATTS ROOF DRAIN AT A RATE OF 0.6 l/s
 $Q_1 = 0.6 \times 14 = 8.4 \text{ l/s}$

POND REQUIREMENT
TOTAL POND = 52.0 m³
POND PROVIDED = 67.1 m³ > 52.0 m³

D-AREA-2
TOTAL AREA = 0.1671 ha
ASPHALT AREA@C=0.9 → 0.1302 ha
GRASS AREA@C=0.15 → 0.0369 ha
 $C_2 = \frac{0.9(0.1302) + 0.15(0.0369)}{0.1671} = 0.7344$
 $Q_2 = 57 \text{ l/s}$

FLOW RESTRICTION
USING HYDROVEX 125VHV-2
 $H = 89.50 - (87.50 + 0.15) = 1.85 \text{ m}$
FROM DESIGN CHART 125VHV-2 WILL ALLOW 15.4 l/s
POND REQUIREMENT
POND REQ'D = 13.0 m³
POND PROVIDED = MH+PIPE+SURFACE
 $= 6.6 + 7.8 + 1.1 = 15.5 \text{ m}^3 > 13.0 \text{ m}^3$ OK

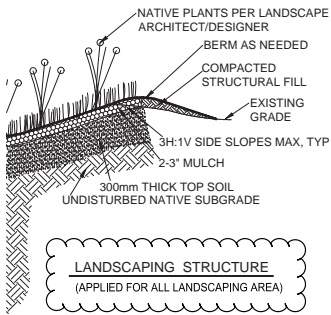
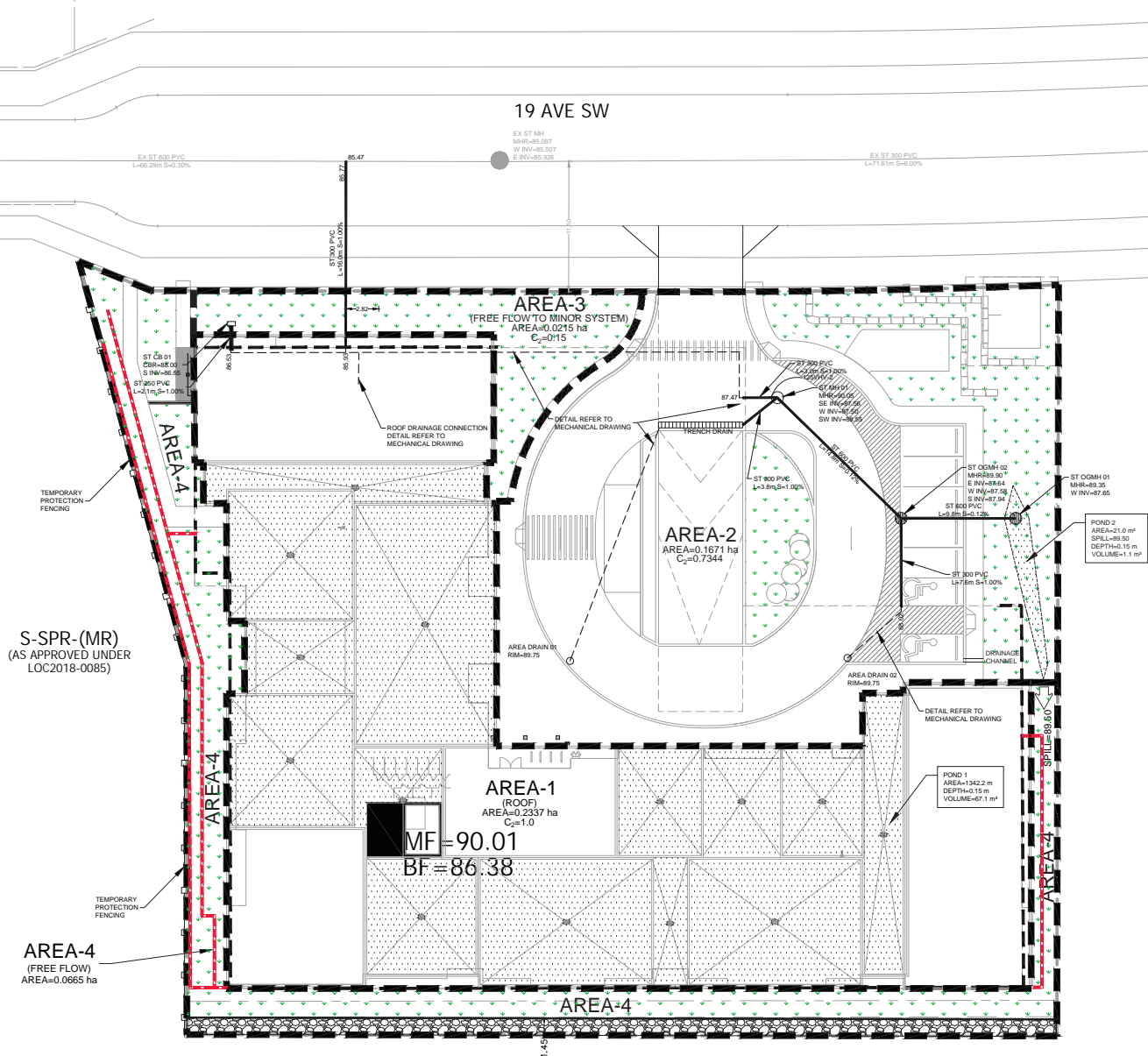
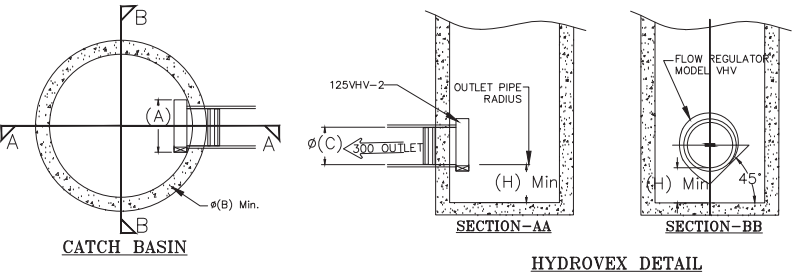
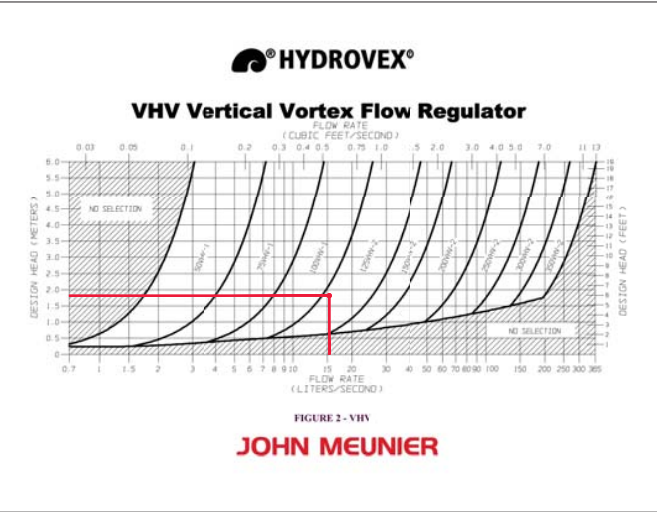
D-AREA-3(FREE FLOW)
TOTAL AREA = 0.0215 ha
GRASS AREA@C=0.15 → 0.0215 ha
 $C_2 = 0.3$
 $Q_2 = 2.78 \times 168 \times 0.0215 \times 0.15 = 1.5 \text{ l/s}$

FLOW RESTRICTION
FREE FLOW TO MINOR SYSTEM

D-AREA-4(FREE FLOW)
TOTAL AREA = 0.0665 ha
FLOW RESTRICTION
FREE FLOW
ALLOWABLE FREE FLOW AREA = 0.0688 ha
 $8.4 + 15.4 + 1.5 = 25.3 \text{ l/s}$ OK

FLOW REGULATOR TYPICAL INSTALLATION IN CIRCULAR MANHOLE
FIGURE 4 (MODEL VHV)

Model Number	Regulator Diameter		Manhole Diameter		Minimum Outlet Pipe		Minimum Clearance	
	A (mm)	A (in.)	B (mm)	B (in.)	C (mm)	C (in.)	H (mm)	H (in.)
50VHV-1	203	8	600	24	150	6	127	5
75VHV-1	280	11	900	36	150	6	152	6
100VHV-1	356	14	900	36	150	6	203	8
125VHV-2	330	13	900	36	200	8	203	8
150VHV-2	406	16	900	36	200	8	229	9
200VHV-2	533	21	1200	48	254	10	305	12
250VHV-2	660	26	1200	48	300	12	356	14
300VHV-2	787	31	1600	64	375	15	406	16
350VHV-2	914	36	1800	72	375	15	508	20



RECOMMENDED LOW IMPACT DEVELOPMENT (LID)
A MINIMUM DEPTH OF 0.3m OF TOPSOIL IS RECOMMENDED FOR SOD AREAS.
A MINIMUM DEPTH OF 0.6m OF TOPSOIL IS RECOMMENDED SHRUB AND TREE BEDS.
SHRUB AND TREE BEDS MAY HAVE UP TO 1.0m DEPTH OF TOPSOIL.
SITE GRADING SHOULD DIRECT RAIN WATER RUNOFF TO PLANTS WITH HIGH WATER NEEDS TO REDUCE RELIANCE ON POTABLE WATER.

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LANDSCAPE PLAN

Aspen

2027 81 ST SW, CALGARY, ALBERTA
COVE PROPERTIES

2/19/23

CONSULTANT

[SMM]

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Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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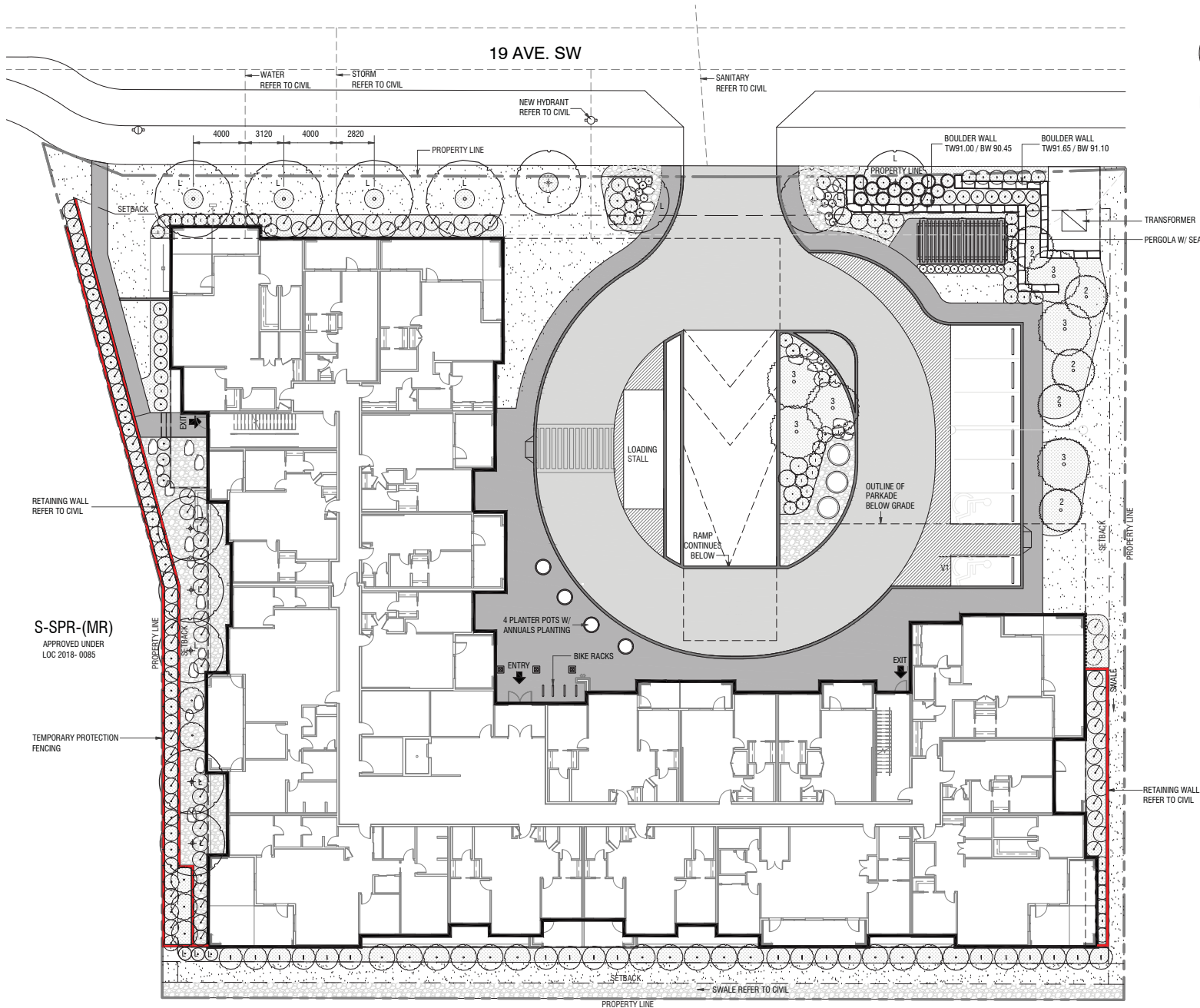
1 ISSUED FOR DP 16.02.2021
2 ISSUED FOR DTR1 05.05.2021
3 ISSUED FOR DTR2 23.06.2021

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DATE 2/4/2021 4:33:12 PM
DRAWN BY Author
CHECKED BY Checker

DRAWING NO.

DPL1.00

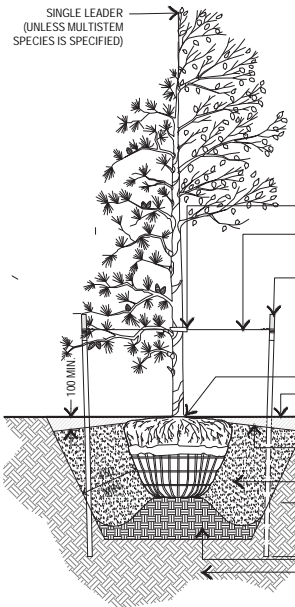
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CONIFEROUS Less than 3.0m height
DECIDUOUS 40mm-100mm Caliper
Spade Hole Preparation for Basket or Ball & Burlap Trees

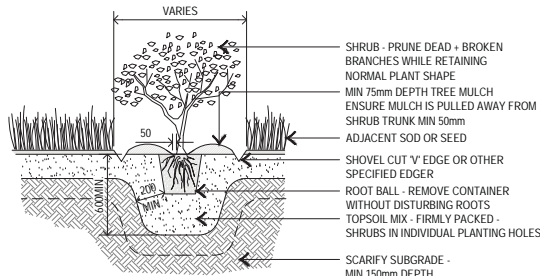
NOTES:

1. ALL WORK COMPONENTS AND WORKMANSHIP TO CONFORM TO SPECIFICATION SECTION 02930 TREES, SHRUBS AND GROUNDCOVERS AS WELL AS THE RELATED SECTIONS.
2. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
3. STAKE BEYOND EDGE OF ROOT BALL. IF MINIMUM SETBACKS PERMIT POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS OR IF IN THE BOULEVARD THE STAKES SHOULD BE IN LINE WITH THE DIRECTION OF TRAFFIC.
4. ALL TREE STAKES TO MAINTAIN MIN. 1.0m CLEARANCE FROM ALL UG POWER, TELEPHONE AND GAS ALIGNMENTS.
5. TREE SHOULD BE PLANTED 75mm-100mm BELOW GROUND LEVEL.
6. T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
7. IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
8. USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT.
9. PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.
10. DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1.0m TO UG POWER, TELEPHONE AND GAS ALIGNMENTS (REFER TO SECTION 7.6.2 AND 7.6.3 WHEN CLEARANCE CANNOT BE MAINTAINED FOR ANY EXCAVATIONS).



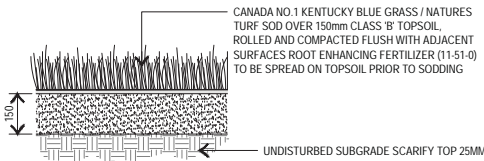
2 Typical Tree Planting Detail

DPL1.00 SCALE: 1:25



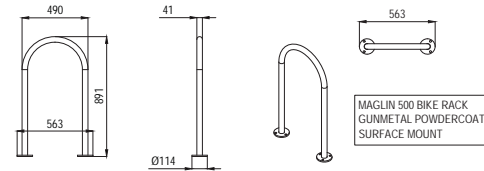
3 Typical Shrub Planting Detail

DPL1.00 SCALE: 1:25



4 Typical Sod Detail

DPL1.00 SCALE: 1:25



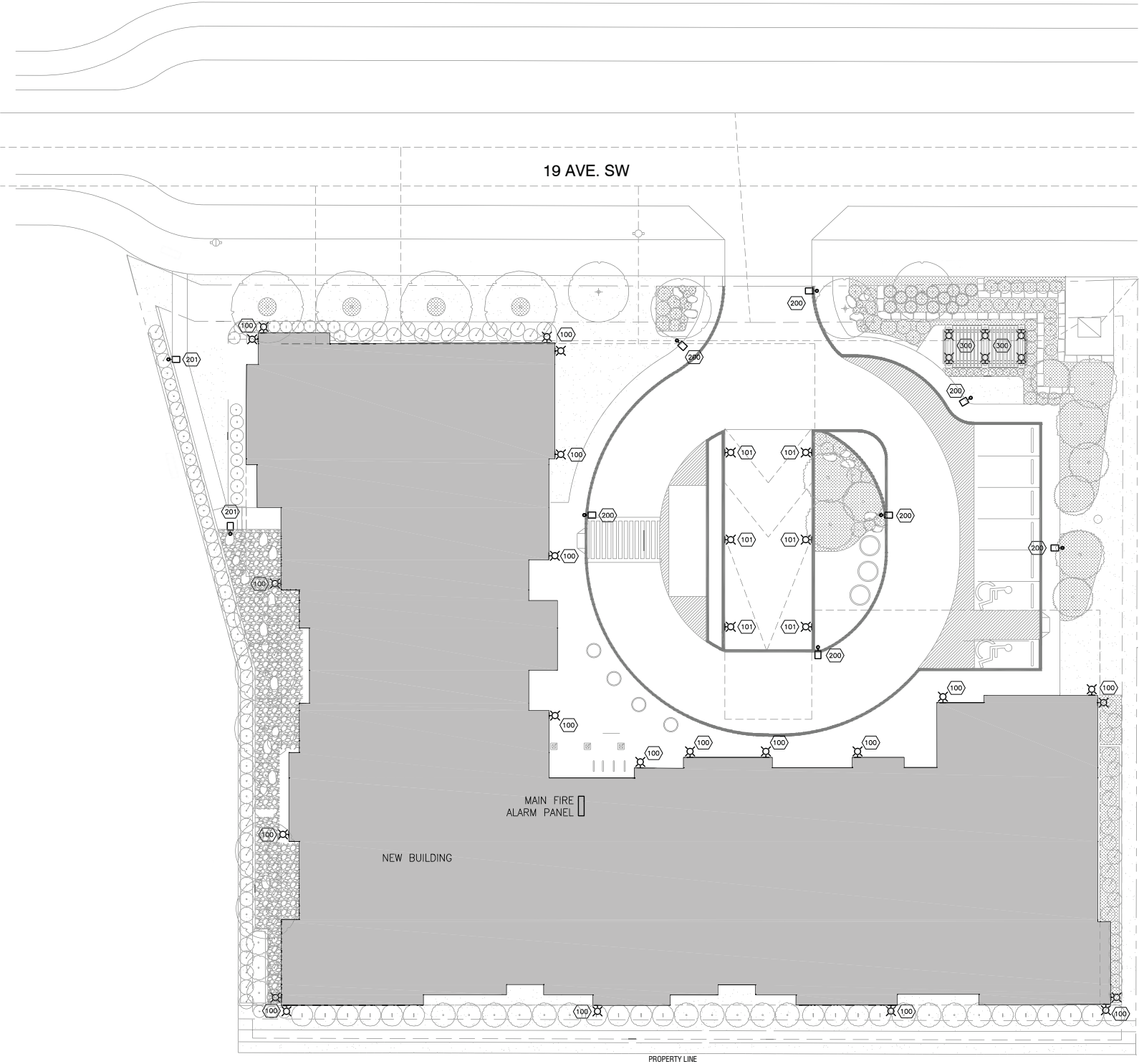
5 Typical Bike Rack Detail

DPL1.00 SCALE: 1:25

1 DP - Landscape Plan

DPL1.00 SCALE: 1:200

LEGAL DESCRIPTION	MUNICIPAL ADDRESS	TREE LEGEND	SHRUB + ORNAMENTAL GRASS LEGEND	GENERAL NOTES
PLAN 2747HB BLOCK 30	2027 - 81ST ST SW	L - ON TREE SYMBOL DENOTES 75MM CAL. LARGE TREE		
PROJECT DATA/SITE BUILDING DATA		30% TREES FROM LOW WATER LIST = 13 TREES (11 BLUE SPRUCE / 4 MAYDAY = 15 TOTAL)	30% SHRUBS FROM LOW WATER LIST = 25 SHRUBS REQUIRED (5 SNOWBERRY / 5 MUGHO / 75 URAL FALSE SPIREA / 46 LILAC = 131 TOTAL PROVIDED)	ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
PROPOSED USE: MULTI-RESIDENTIAL - MEDIUM PROFILE (M20 - 210) DISTRICT				ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.
SITE AREA: 4888.00 m ²				ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES.
LANDSCAPE PLANTING REQUIREMENTS				ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
TOTAL LANDSCAPE AREA REQUIRED = 40% OF TOTAL SITE	1948.00 m ²			ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS
TOTAL LANDSCAPE AREA PROVIDED = 39.3% OF TOTAL SITE	1916.00 m ²			ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
556 LANDSCAPE REDUCTION (3%) = 37% OF TOTAL SITE	1886.56 m ²			ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. DRIP IRRIGATION TO BE USED FOR TREES AND PLANTING BEDS AND A ROTARY SYSTEM FOR ALL TURF AREAS
LANDSCAPE PLANTING REQUIREMENTS				
TOTAL TREES REQUIRED (1/45m ² OF TOTAL LANDSCAPE AREA BASED ON 37% OF LANDSCAPE AREA)	42			
TOTAL TREES PROVIDED	42			
DECIDUOUS TOTAL (75%)	31			
DECIDUOUS @ 75mm CALIPER (LARGE)	16			
DECIDUOUS @ 50mm CALIPER	15			
CONIFEROUS TOTAL (25%)	11			
CONIFEROUS @ 3000mm HEIGHT (LARGE)	6			
CONIFEROUS @ 2000mm HEIGHT	5			
TOTAL SHRUBS REQUIRED	84			
TOTAL SHRUBS PROVIDED	217			



1 SITE PLAN – LIGHTING
DPE1.00 SCALE: 1:200

LEGAL DESCRIPTION MUNICIPAL ADDRESS
PLAN 2747HB BLOCK 30 2027 - 81ST ST SW

ELECTRICAL DRAWING LIST	
DWG. NO.	DWG. NAME
DPE1.00	SITE PLAN, LEGEND OF SYMBOLS, DRAWING LIST
DPE1.01	SITE PLAN LIGHTING CALCULATIONS
DPE1.02	LIGHTING FIXTURES

LEGEND OF SYMBOLS	
LIGHTING	
	RECESSED LUMINAIRE
	SURFACE MOUNTED LUMINAIRE
	WALL MOUNTED LUMINAIRE
	RECESSED WALL WASH LUMINAIRE
	RECESSED LUMINAIRE ON EMERGENCY POWER
	SURFACE MOUNTED LUMINAIRE ON EMERGENCY POWER
	WALL MOUNTED LUMINAIRE ON EMERGENCY POWER
	RECESSED LUMINAIRE
	SURFACE MOUNTED LUMINAIRE
	STRIP LUMINAIRE
	WALL MOUNTED LUMINAIRE
	RECESSED LUMINAIRE ON EMERGENCY POWER
	SURFACE MOUNTED LUMINAIRE ON EMERGENCY POWER
	STRIP LUMINAIRE ON EMERGENCY POWER
	WALL MOUNTED LUMINAIRE ON EMERGENCY POWER
	TRACK LIGHTING C/W LIGHTING HEADS AS SHOWN
	RECESSED LINEAR WALL WASHER
	SURFACE MOUNTED H.I.D. LUMINAIRE
	RECESSED H.I.D. LUMINAIRE
	WALL H.I.D. LUMINAIRE
	POLE MOUNTED LUMINAIRE
	LIGHTING BOLLARD
	LIGHTING LUMINAIRE TYPE TAG
	EXIT LIGHT – CEILING (C/W ARROWS AS INDICATED)
	EXIT LIGHT – WALL (C/W ARROWS AS INDICATED)
	EMERGENCY LIGHTING BATTERY PACK
	EMERGENCY LIGHTING BATTERY PACK C/W LIGHTING HEADS
	SINGLE REMOTE EMERGENCY LIGHTING HEAD – CEILING MTD
	DOUBLE REMOTE EMERGENCY LIGHTING HEAD – CEILING MTD
	SINGLE REMOTE EMERGENCY LIGHTING HEAD – WALL MOUNTED
	DOUBLE REMOTE EMERGENCY LIGHTING HEAD – WALL MOUNTED
	SWITCH – SINGLE GANG
	SWITCH – TWO GANG
	SWITCH – THREE GANG
	SWITCH – FOUR GANG
	SWITCH – TWO POLE
	SWITCH – 3 WAY
	SWITCH – 4 WAY
	SWITCH – LOW VOLTAGE
	SWITCH – KEY SWITCH
	SWITCH – TIMER SWITCH
	SWITCH – DIMMER SWITCH
	SWITCH – MOTION SENSOR SWITCH
	SWITCH C/W PILOT LIGHT – SINGLE GANG
	PHOTO ELECTRIC CELL
	MOTION SENSOR – CEILING MOUNTED
	MOTION SENSOR – WALL MOUNTED
	OCCUPANCY SENSOR – CEILING MOUNTED
	DAYLIGHT SENSOR – CEILING MOUNTED

GENERAL	
	CONDUIT CONCEALED IN WALL OR CEILING
	CONDUIT IN WALL/CEILING – EMERGENCY OR UPS POWER
	CONDUIT CONCEALED IN SLAB
	CONDUIT BURIED BELOW GRADE
	CONDUIT – UP
	CONDUIT – DOWN
	WP DENOTES WEATHERPROOF DEVICE
	E DENOTES EXISTING DEVICE TO REMAIN
	R DENOTES EXISTING DEVICE TO REMOVE BACK TO SOURCE
	RR DENOTES REMOVE AND REPLACE WITH NEW
	ER DENOTES EXISTING DEVICE TO BE RELOCATED
	RL DENOTES RELOCATED DEVICE
	NL DENOTES NEW DEVICE
	C DENOTES EXISTING DEVICE TO REWIRE
	B DENOTES EXISTING DEVICE TO BLANK OFF



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Aspen

2027 81 ST SW, CALGARY, ALBERTA
COVE PROPERTIES

219193

SITE PLAN, LEGEND OF SYMBOLS, DRAWING LIST

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1	ISSUED FOR DTR1	05.07.2021
2	ISSUED FOR DTR2	06.24.2021

SCALE As indicated
DATE 2/4/2021 4:33:12 PM
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DRAWING NO.

DPE1.00



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SITE PLAN LIGHTING CALCULATIONS

Aspen

2027 81 ST SW, CALGARY, ALBERTA
COVE PROPERTIES

2/19/23

CONSULTANT



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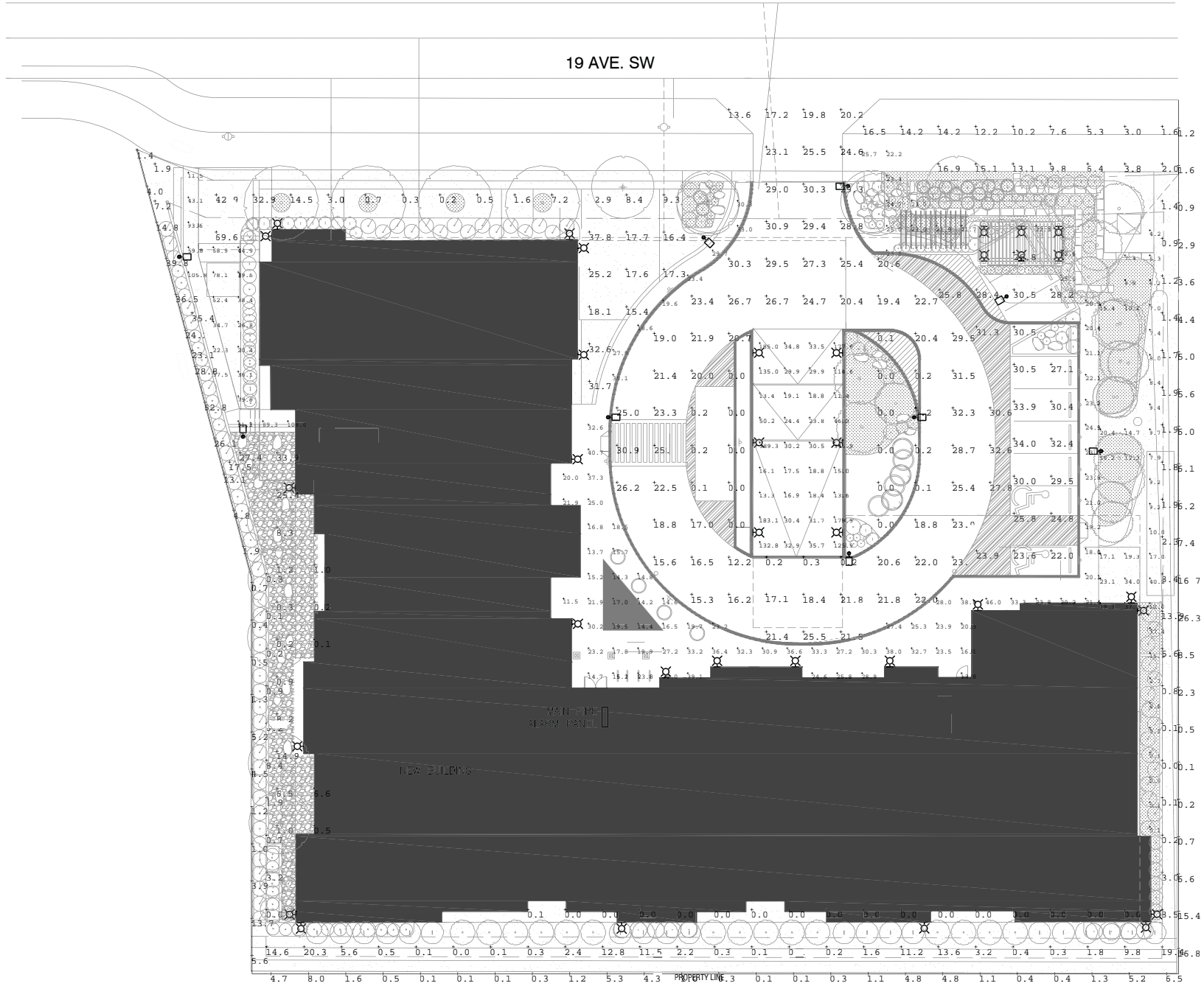
1 ISSUED FOR DTR1 05.07.2021
2 ISSUED FOR DTR2 06.24.2021

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CHECKED BY WS

DRAWING NO.

DPE1.01

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1 SITE PLAN - LIGHTING CALCULATIONS
DPE1.01 SCALE: 1:200

Luminaire Schedule						
Type	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens
102	5	NT872R-L3W12r1	1.800	NT872R-L3W12r1	38.18	701
100	23	6542	0.850		21.9	1691
200	7	PES-LS23-W-40K	0.850	PES-LS23-W_40K	79.67	8199
201	2	MRP_LED_42C_530_40K_SR4_MVOLT	0.850	MRP LED 42C 530 40K SR4 MVOLT	75	6535

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Curbs & Walks_Top	Illuminance	Lux	24.26	46.0	11.5	2.11
Grounds_Planar	Illuminance	Lux	4.82	35.4	0.0	N.A.
Lawn_Planar	Illuminance	Lux	18.08	69.6	0.2	90.40
Parking_Planar	Illuminance	Lux	28.47	34.0	22.0	1.29
Property Line	Illuminance	Lux	6.97	62.8	0.1	69.70
Ramp_Planar	Illuminance	Lux	72.96	389.3	11.4	6.40
Roadway_Planar	Illuminance	Lux	17.72	32.6	0.0	N.A.
Surrounds_Planar	Illuminance	Lux	8.04	33.9	0.1	80.40
Walks_1_Top	Illuminance	Lux	13.64	60.0	0.0	N.A.
Walks_Top	Illuminance	Lux	56.78	108.0	11.5	4.94

LUMINAIRE MOUNTING DETAILS:

TYPE 200: POLE-MOUNTED @ 7.6m (25'-0") AFG
TYPE 201: Pole-Mounted @ 3m (10'-0") AFG
TYPE 100: WALL-MOUNTED @ 4.5m (15'-0") AFG
TYPE 101: SURFACE-MOUNTED @ 3m (10'-0") AFG
TYPE 102: WALL-RECESSED @ 0.75m AFG



1 TYPE 100 LUMINAIRE
DPE1.02 SCALE: NTS



2 TYPE 101 LUMINAIRE
DPE1.02 SCALE: NTS



3 TYPE 200 LUMINAIRE
DPE1.02 SCALE: NTS



4 TYPE 201 LUMINAIRE
DPE1.02 SCALE: NTS



5 TYPE 300 LUMINAIRE
DPE1.02 SCALE: NTS



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LIGHTING FIXTURES

Aspen
2027 81 ST SW, CALGARY, ALBERTA
COVE PROPERTIES
219193

CONSULTANT



403-248-8888
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Development Permit Renderings

MASSING CONTEXT | NORTHEAST CORNER (FROM 19TH AVE SW)



MASSING CONTEXT | SOUTHWEST CORNER



LANDSCAPE + PERSPECTIVE



GAZEBO LOOK TO BE SIMILAR TO IMAGES ABOVE

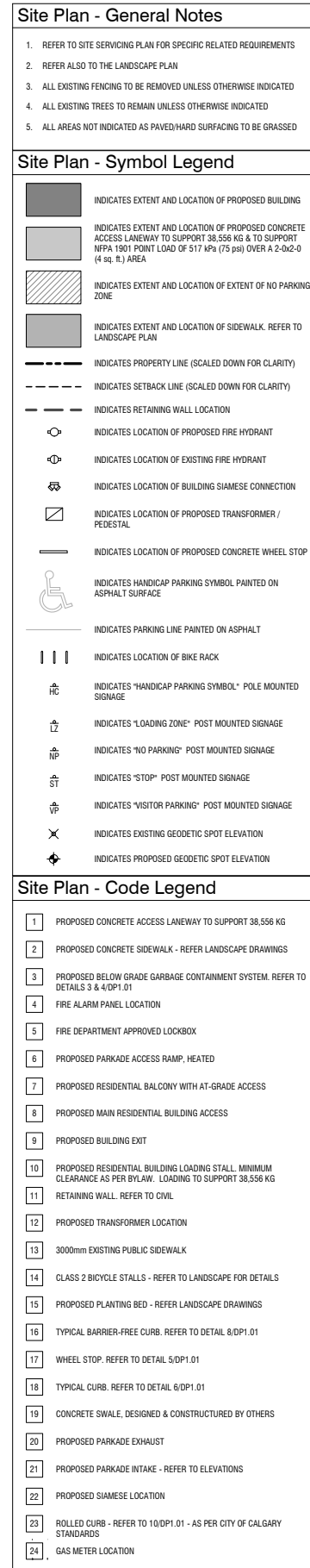


Cove Properties | 85th Street & Aspen Multifamily for the Calgary Planning Commission

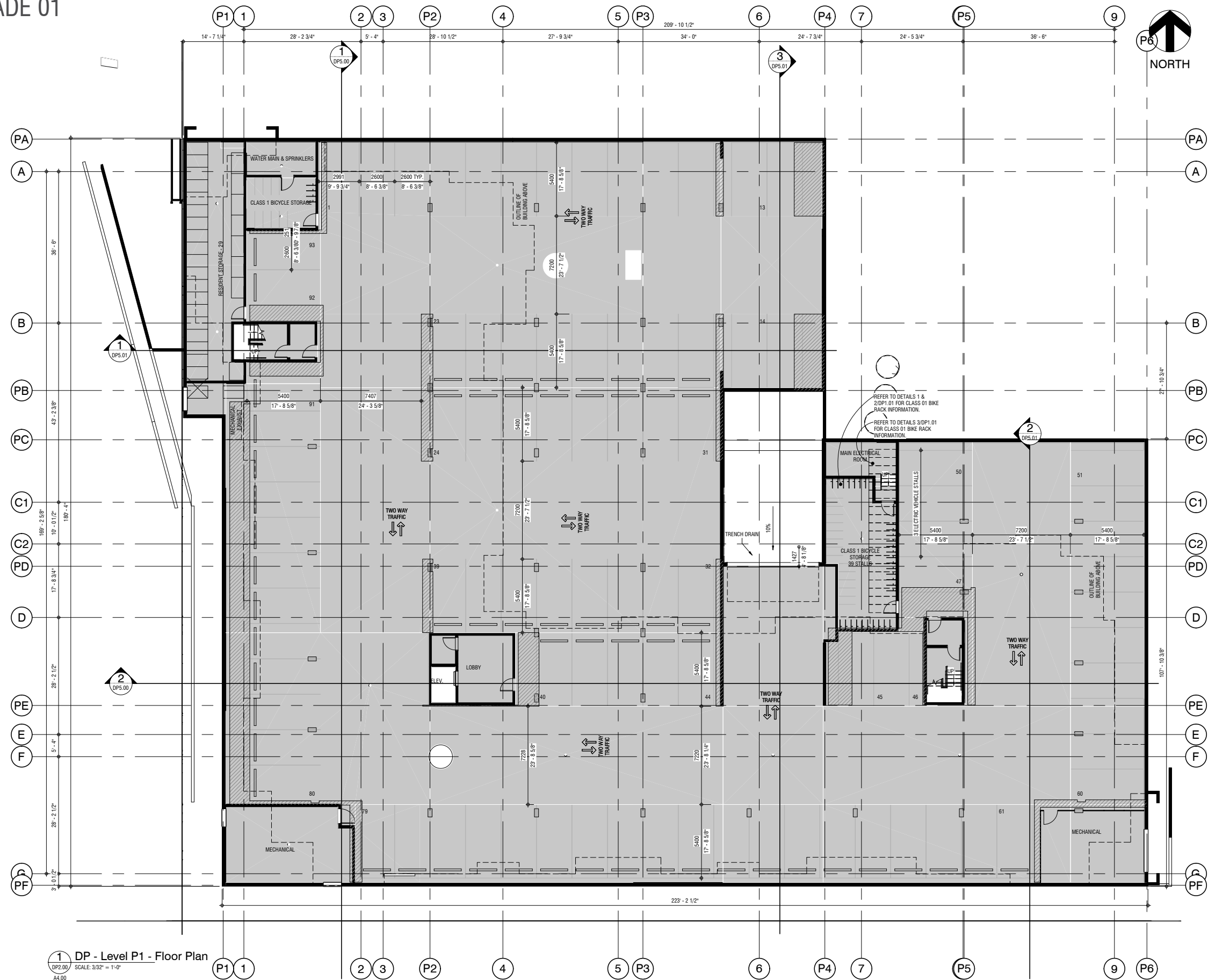
June 29th, 2021

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<div>Prepared for:</div> <div> COVE PROPERTIES FOUNDATION • STRENGTH • HISTORY</div>		
<div>Prepared by:</div> <div></div>		
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FLOOR PLANS - PARKADE 01



PARKADE LEVEL P01

85th & PARK
(at Aspen)
8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
2191193

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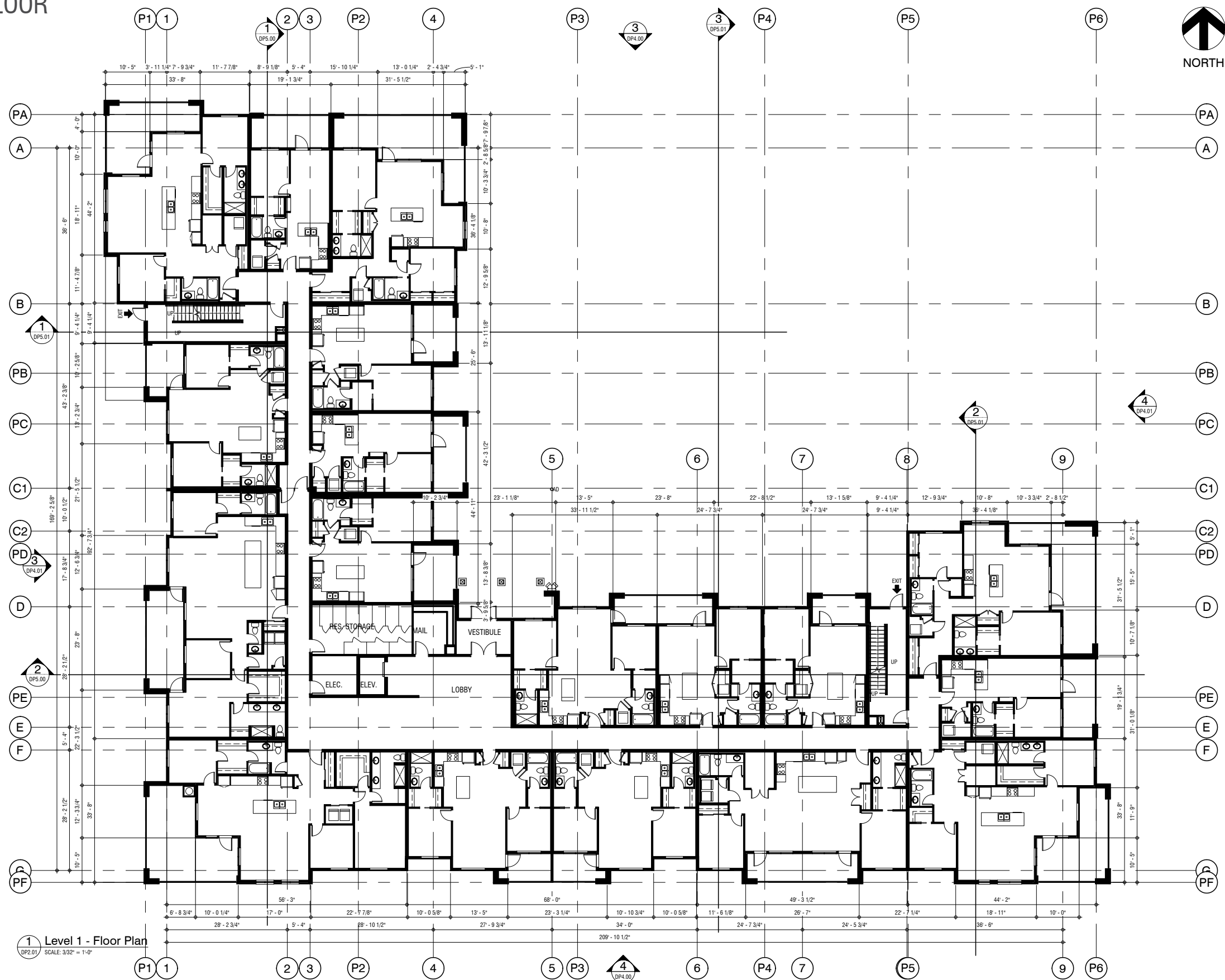
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2 DTR1	05.07.2021
3 DTR2	06.25.2021

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DP2.00

FLOOR PLANS - MAIN FLOOR



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FLOOR PLAN - LEVEL 1

(at Aspen)

85th & PARK

8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES
219193

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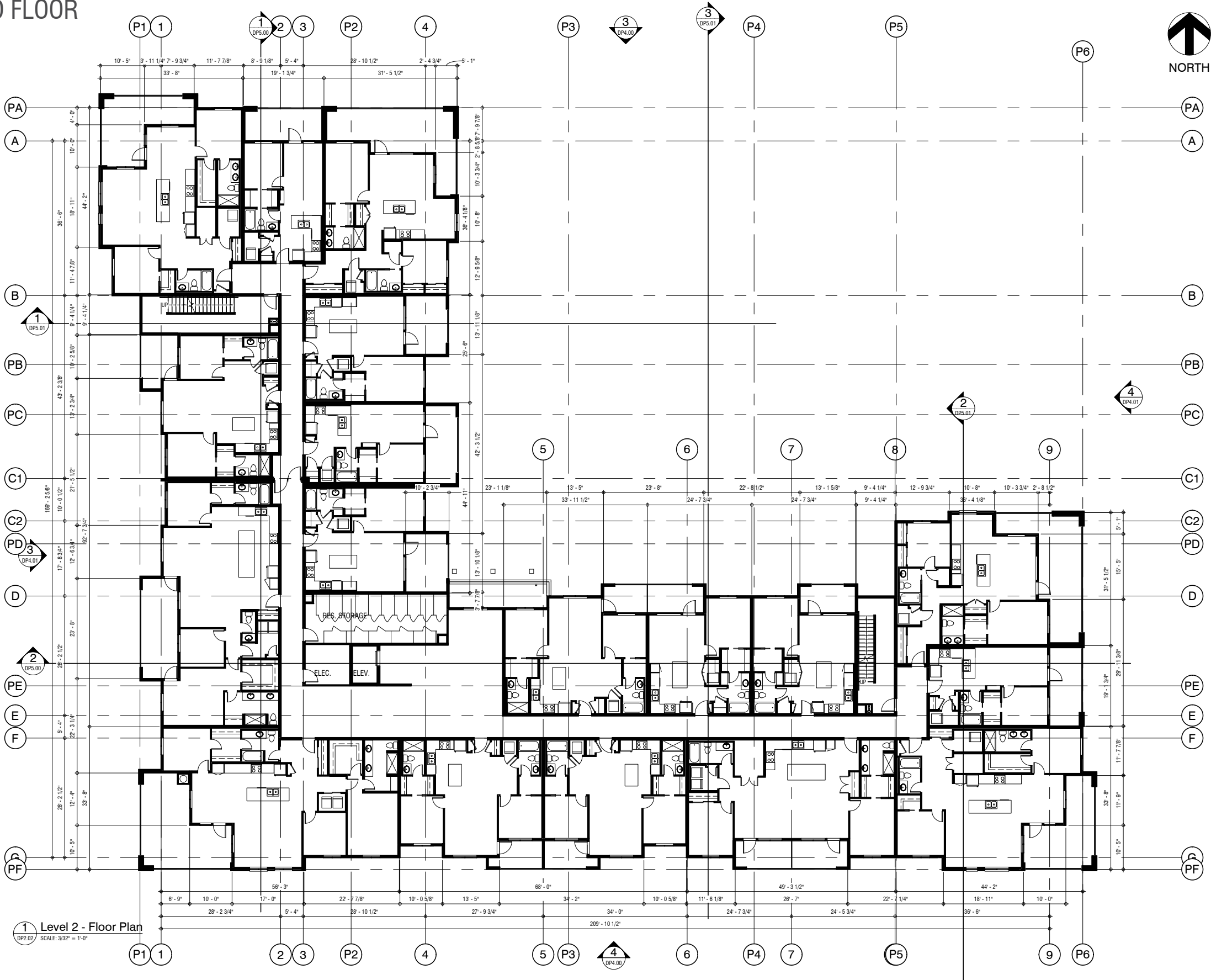
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FLOOR PLANS - SECOND FLOOR





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FLOOR PLAN - LEVEL 2

85th & PARK
(at Aspen)

8355 19 AVE SW, CALGARY, ALBERTA
COVE PROPERTIES

2/19/23

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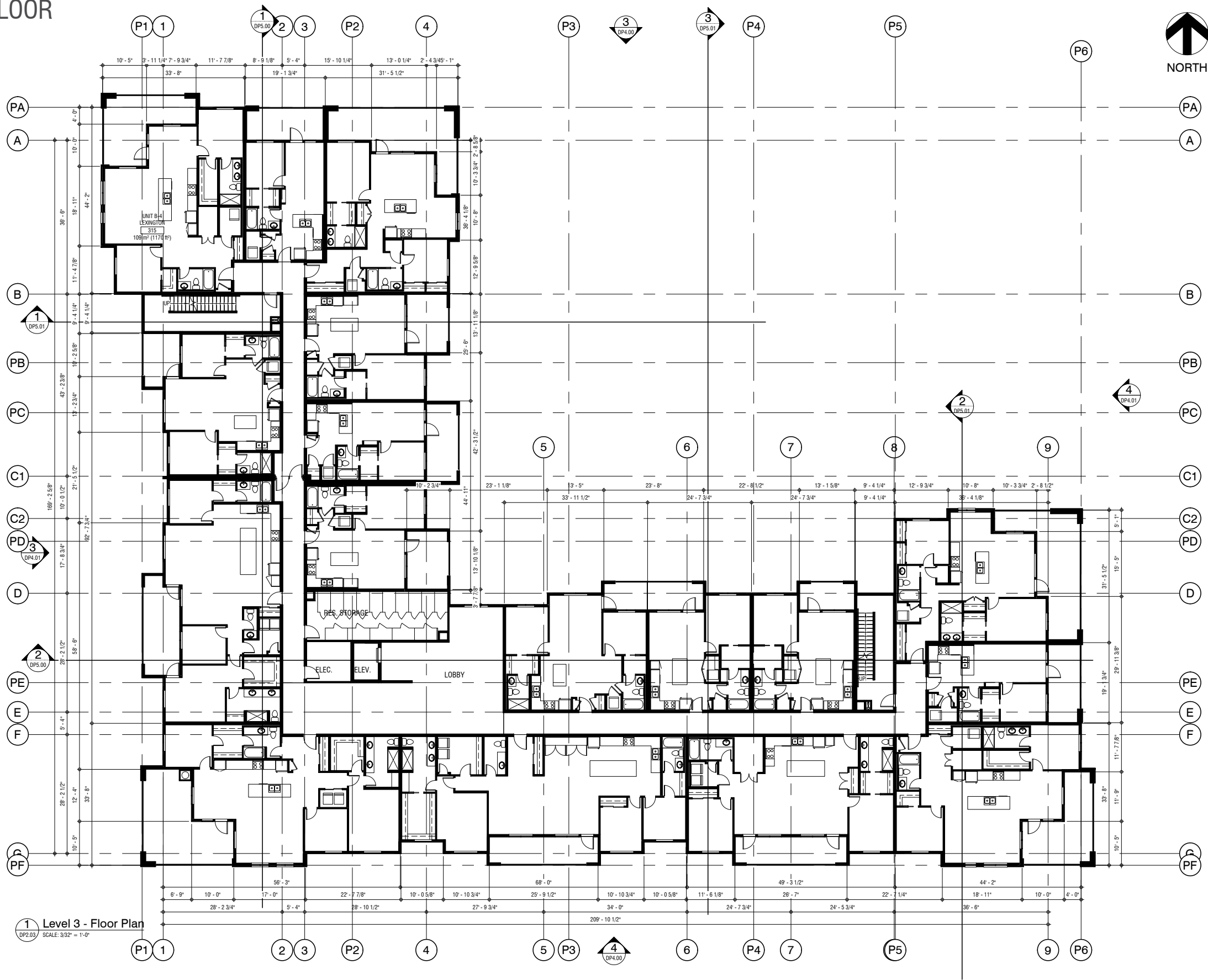
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FLOOR PLANS - THIRD FLOOR



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FLOOR PLAN - LEVEL 3

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COVE PROPERTIES
210193

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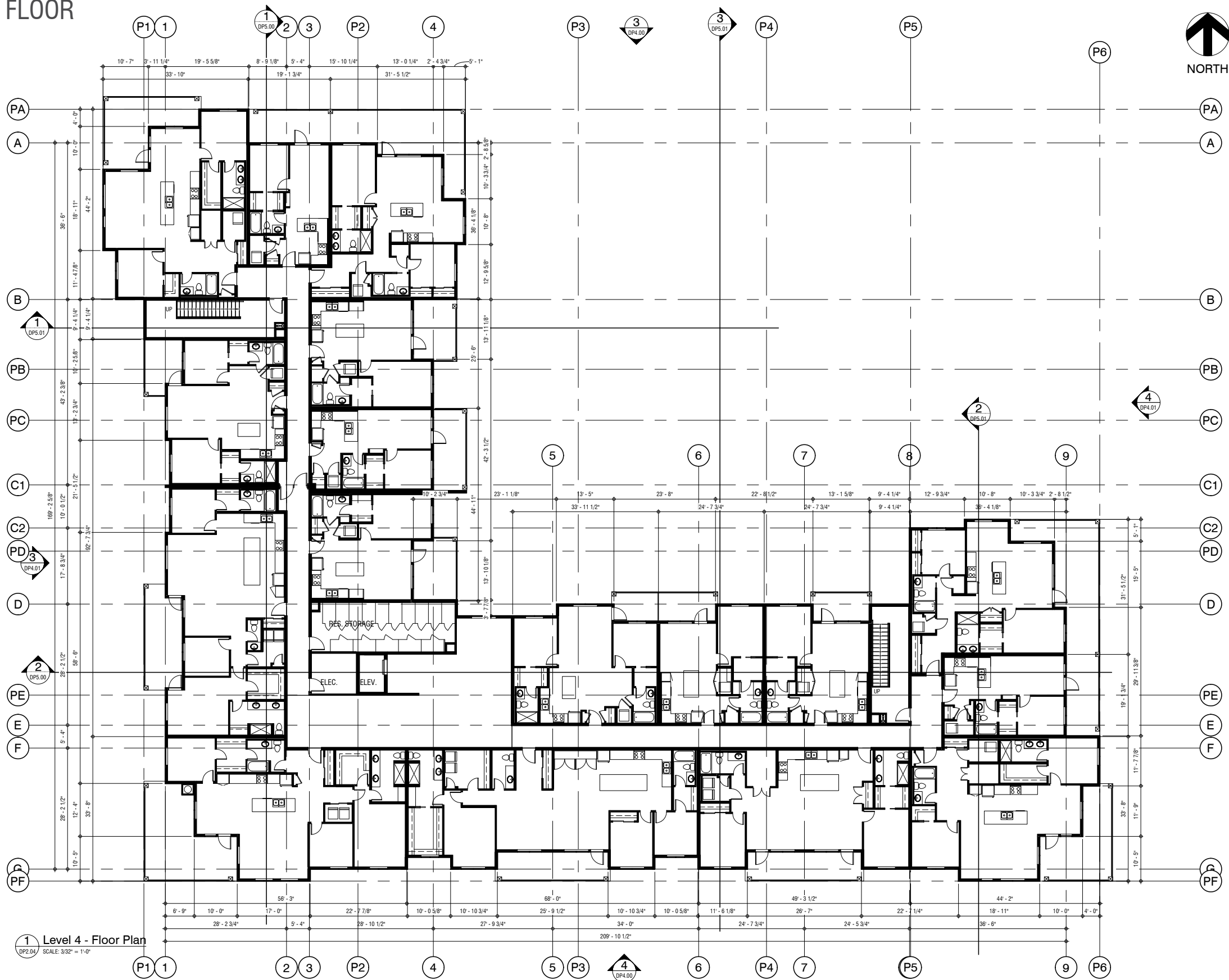
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3 DTR2	06.25.2021

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FLOOR PLANS - FOURTH FLOOR



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FLOOR PLAN - LEVEL 4

(at Aspen)

85th & PARK

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COVE PROPERTIES
219 933

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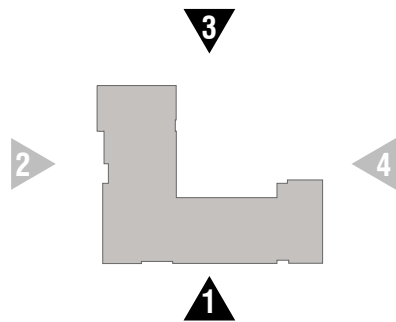
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ELEVATIONS

KEY PLAN



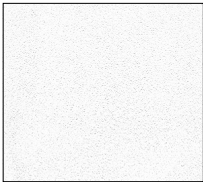
LEGEND



Masonry Stone
Veneer



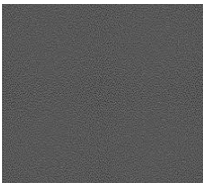
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Tone



Acrylic Stucco -
White



Acrylic Stucco -
Warm Grey



Acrylic Stucco -
Charcoal



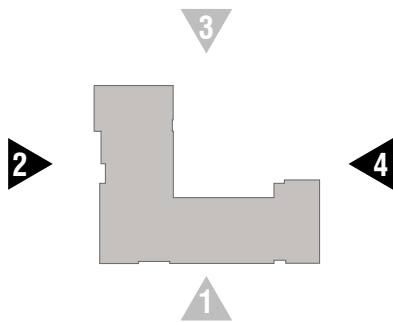
1 NORTH (ALONG 19TH AVENUE SW)



3 SOUTH

ELEVATIONS

KEY PLAN



LEGEND



Masonry Stone
Veneer



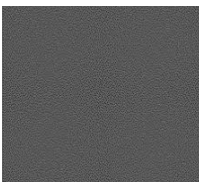
Lux Panel - Fir Wood
Tone



Acrylic Stucco -
White



Acrylic Stucco -
Warm Grey



Acrylic Stucco -
Charcoal



4 EAST



2 WEST

LANDSCAPE + PERSPECTIVE



1 DP - Landscape Plan
DPL1.00 SCALE: 1 : 200

LEGAL DESCRIPTION	MUNICIPAL ADDRESS	TREE LEGEND		SHRUB + ORNAMENTAL GRASS LEGEND	GENERAL NOTES
PLAN 2747HB BLOCK 30	2027 - 81ST ST SW	L - ON TREE SYMBOL DENOTES 75MM CAL. LARGE TREE			
PROJECT DATA/SITE BUILDING DATA		30% TREES FROM LOW WATER LIST = 13 TREES (11 BLUE SPRUCE / 4 MAYDAY = 15 TOTAL)		30% SHRUBS FROM LOW WATER LIST = 25 SHRUBS REQUIRED (5 SNOWBERRY / 5 MUGHO / 75 URAL FALSE SPIREA / 48 LILAC = 131 TOTAL PROVIDED)	<ul style="list-style-type: none">ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGSALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTIONALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIESALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCKALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLSALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCHALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. DRIP IRRIGATION TO BE USED FOR TREES AND PLANTING BEDS AND A ROTARY SYSTEM FOR ALL TURF AREAS
PROPOSED USE: MULTI-RESIDENTIAL - MEDIUM PROFILE (M26 - 210) DISTRICT SITE AREA: 4888.00 m ²		6 QTY - 3M HT. COLORADO BLUE SPRUCE (LOW WATER)		1 SIBERIAN DOGWOOD (24 QTY)	
LANDSCAPE PLANTING REQUIREMENTS		5 QTY - 2M HT. COLORADO BLUE SPRUCE (LOW WATER)		1 URAL FALSE SPIREA (75 QTY)	
TOTAL LANDSCAPE AREA REQUIRED = 40% OF TOTAL SITE		4 QTY - MAYDAY (LOW WATER)		1 SNOWBERRY (5 QTY)	
TOTAL LANDSCAPE AREA PROVIDED = 39.3% OF TOTAL SITE		27 QTY - SWEDISH COLUMNAR ASPEN		1 PRICKLY ROSE (3 QTY)	
556 LANDSCAPE REDUCTION (3%) = 37% OF TOTAL SITE		9 QTY - HOT WINGS MAPLE		1 DWARF KOREAN LILAC (28 QTY)	
LANDSCAPE PLANTING REQUIREMENTS				1 MUGHO PINE (5 QTY)	
TOTAL TREES REQUIRED (1146m ² OF TOTAL LANDSCAPE AREA BASED ON 37% OF LANDSCAPE AREA)				1 KARL FOERSTER FEATHER REED GRASS (28 QTY)	
TOTAL TREES PROVIDED				1 PRESTON LILAC (20 QTY)	
DECIDUOUS TOTAL (75%)				1 GREEN SPIRES PEASHRUB (20 QTY)	
DECIDUOUS @ 75mm CALIPER (LARGE)				1 SKANDIA JUNIPER (13 QTY)	
DECIDUOUS @ 50mm CALIPER					
CONIFEROUS TOTAL (25%)					
CONIFEROUS @ 3000mm HEIGHT (LARGE)					
CONIFEROUS @ 2000mm HEIGHT					
TOTAL SHRUBS REQUIRED					
TOTAL SHRUBS PROVIDED					



GAZEBO LOOK TO BE SIMILAR TO IMAGES ABOVE

Urban Design Review Panel Comments

Date	March 31, 2021	
Time	3:00	
Panel Members	Present Chris Hardwicke (Co-Chair) Michael Sydenham Jack Vanstone Noorullah Hussain Zada	Distribution Chad Russill (Chair) Ben Bailey Anna Lawrence Jeff Lyness Gary Mundy Glen Pardoe Beverly Sandalack Katherine Robinson
Advisor	David Down, Chief Urban Designer	
Application number	DP2021-0970	
Municipal address	2027 81 St SW	
Community	Springbank Hill	
Project description	New: Multi-Residential Development	
Review	first	
File Manager	Johnson Kwan	
City Wide Urban Design	Sonny Tomic	
Applicant	S2	

*Based on the applicant's response to the Panel's comments, the Chief Urban Designer will determine if further review will include the Panel or be completed internally only by City Wide Urban Design.

Summary

The single-phase multifamily project fronts the 19th Avenue livable street, between 81st and 85th Street SW. The proposed development addresses 2 significant challenges. The grade differential of approximately 8.0m across the site and overland drainage right-of-way along to south property line to the benefit of an adjacent owner. Overall, the 4-storey building scale, massing and rooflines respond to the site and are architecturally contextual within the community.

The development has an unusual access with parkade access directly at the main entry and visitor parking areas located at prominent locations on the site. Edge conditions constrained by grade and the storm water requirements will benefit from further design intervention on the public realm and amenity space. The central roundabout area is identified as having the majority of available space for amenity. At minimum, a reduction of visual impacts of parkade entry, waste and recycling and loading is recommended for further consideration.

Urban Design Element	
Creativity <i>Encourage innovation; model best practices</i> <ul style="list-style-type: none"> Overall project approach as it relates to original ideas or innovation 	
UDRP Commentary	The project has a unit mix that should provide for good diversity and market opportunity in the area. Overall, the project responds to a complex site within the context of approved and pending approved projects in the area.
Applicant Response	Noted

Context Optimize built form with respect to mass and spacing of buildings, placement on site, response to adjacent uses, heights and densities <ul style="list-style-type: none"> • Massing relationship to context, distribution on site, and orientation to street edges • Shade impact on public realm and adjacent sites 	
UDRP Commentary	Given the complexity and nature of the site, more detail on massing and illustrating the development within the context of adjacent planned sites would be beneficial. Building massing overall is suitable for the site. In response to materials palette, stone cladding 'hanging' in the air and the white panels are suggested for further consideration by the applicant to improve visual strength of the façade.
Applicant Response	<i>The building palette, including the use of the dark grey and white stucco, has been used strategically to accentuate the articulation of the façade. The use of stone on the corner elements up to the third level has been incorporated to highlight the edges of the building, especially since the building itself does sit well below the 19 Avenue alignment along the north. Maintaining the stone elements at grade only would hide the use of material from street-level. Every effort has been made to tie the materiality and the use of the palette into the overall concept – including striking a balance between light and dark, with the warmth of the wood tone while integrating into the landscape buffer to the edges at grade.</i>
Animation Incorporate active uses; pay attention to details; add colour, wit and fun <ul style="list-style-type: none"> • Building form contributes to an active pedestrian realm • Residential units provided at-grade • Elevations are interesting and enhance the streetscape 	
UDRP Commentary	The grades, associated retaining walls and drainage swale limit pedestrian access and circulation around the building. The panel is supportive of conversations with Parks to review opportunities for connection and amenity in the adjacent park lands. While the lands should remain public, the applicant is encouraged to engage with Parks on adjacent opportunities to the extent practical. Further consideration of the treatment of exposed parkade walls is suggested.
Applicant Response	<i>There are some significant challenges with connecting to the west side of the site – specifically related to the extensive grade changes along the edge but also in an effort to protect the public and residents alike from unsafe conditions (i.e. steep edges, swales and storm water collection/flow areas). Comments related to the treatment of exposed walls are taken under advisement – durable materials will come down to grade with a landscape buffer to help blend the edges and minimize their impact.</i>
Human Scale Defines street edges, ensures height and mass respect context; pay attention to scale <ul style="list-style-type: none"> • Massing contribution to public realm at grade 	
UDRP Commentary	The main entrance lacks clear visual cues and is obscured partially by landscaping. More attention to a deeper, more substantial or otherwise more prominent entrance is recommended.
Applicant Response	<i>The building entrance has been well articulated with a port-cochere and use of materials to enhance and identify it's location. The landscape design has been revised to create a more inviting environment and to maintain an openness and connection between the front door and the rest of the site.</i>
Integration The conjunction of land-use, built form, landscaping and public realm design <ul style="list-style-type: none"> • Parking entrances and at-grade parking areas are concealed • Weather protection at entrances and solar exposure for outdoor public areas • Winter city response 	
UDRP Commentary	More amenity development in the roundabout area would improve the project significantly. The 3 visitor parking stalls along the north street boundary limit the amount of street amenity space. Further relaxation of parking requirements or reconfiguration of parking is supported and suggested in favour of amenity. Treatment of the parkade entrance in an architecturally interesting manner is recommended given prominent location on the site relative to the entrance. The waste and recycling and loading stalls predominate the available space in the roundabout. Further design reconciliation is suggested. Regarding the livable street, it is not clear how this development specifically integrates into that concept.
Applicant Response	<i>The area bordering 19 Avenue has been modified based on comments received. In addition, waste & recycling location has been modified and moderate level landscaping provided to help to buffer. This area is high traffic and as such presents</i>

	some safety challenges – as such any changes in this area have been carefully considered.
Connectivity Achieve visual and functional connections between buildings and places; ensure connection to existing and future networks. <ul style="list-style-type: none"> • Pedestrian first design, walkability, pathways through site • Connections to LRT stations, regional pathways and cycle paths • Pedestrian pathway materials extend across driveways and lanes 	
UDRP Commentary	Pedestrian connections exist to 19 th Avenue but are not prominent. Consideration of varied paving or shared use of the carriageway through flat curbs, woonerf style applications that provide for emergency access when needed a stronger pedestrian presence are encouraged. Consider extending NE walkway to the street, and reducing the east-west on-site walkway immediately parallel the on-street walk in favour of additional streetscape.
Applicant Response	There are significant challenges on the site related to grade that inhibit some of the comments regarding more direct pedestrian connections. Ultimately, we have strived to maintain accessible points of access, while also being limited by some exiting requirements (as per building codes and protection of exits).
Accessibility Ensure clear and simple access for all types of users <ul style="list-style-type: none"> • Barrier free design • Entry definition, legibility, and natural wayfinding 	
UDRP Commentary	Site and building are generally accessible.
Applicant Response	Noted
Diversity Promote designs accommodating a broad range of users and uses <ul style="list-style-type: none"> • Retail street variety, at-grade areas, transparency into spaces • Corner treatments and project porosity 	
UDRP Commentary	Unit mix is considered good and should appeal to a variety of market participants.
Applicant Response	Noted
Flexibility Develop planning and building concepts which allow adaptation to future uses, new technologies <ul style="list-style-type: none"> • Project approach relating to market and/or context changes 	
UDRP Commentary	N/A
Applicant Response	Noted
Safety Achieve a sense of comfort and create places that provide security at all times <ul style="list-style-type: none"> • Safety and security • Night time design 	
UDRP Commentary	The south and west boundary conditions lack clear visibility from adjacent units. Consider or demonstrate how these areas are safe and have visibility and general CPTED principles applied.
Applicant Response	These areas of steeply graded, with significant retaining and planting. Generally speaking, units do have visibility to these areas, albeit from above. Access to any of the areas in question from the exterior is extremely restricted.
Orientation Provide clear and consistent directional clues for urban navigation <ul style="list-style-type: none"> • Enhance natural views and vistas 	
UDRP Commentary	The building facades and rooflines are oriented logically and functionally to create a multi-frontage look- especially the roof pitches. The main pedestrian site access is minimized and insignificant in scale relative to the overall size and scale of the vehicle and primary fire entrance.
Applicant Response	The building entrance has been well articulated with a port-cochere and use of materials to enhance and identify it's location. Unfortunately the vehicle access area is of a size and nature that is required for a development of this size – it is not possible to minimize its scale much further than what is provided and still meet general access requirements (fire, waste & recycling). We have modified access requirements with Transportation to confirm that safety and access requirements are successfully met.

Sustainability <i>Be aware of lifecycle costs; incorporate sustainable practices and materials</i> <ul style="list-style-type: none"> • Site/solar orientation and passive heating/cooling • Material selection and sustainable products 	
UDRP Commentary	
Applicant Response	Noted
Durability <i>Incorporate long-lasting materials and details that will provide a legacy rather than a liability</i> <ul style="list-style-type: none"> • Use of low maintenance materials and/or sustainable products • Project detailed to avoid maintenance issues 	
UDRP Commentary	Materiality of finishes are generally considered durable in the long term.
Applicant Response	Noted

Applicant Outreach Summary



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 85th & Park at Aspen

Did you conduct community outreach on your application? ☐ YES or ☒ NO

If no, please provide your rationale for why you did not conduct outreach.

Based on early analysis, the impact of the proposed development was considered to be minimal: similar projects exist in the community, the scale of the development is small at 70 units (well below the allowable density of 102 units) with a quick construction turnaround - anticipated under 24 months, there are no immediate neighbours/parcels that are directly impacted (that are not also currently under development), and redevelopment within this new area is common and currently active/underway.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

Based on feedback from the Springbank Hill Community Association (SHCA) under DTR-1, it was determined that no additional outreach would be pursued - as they were generally satisfied with the scope of the project. They did raise some questions over how the Liveable Streets Policy was being incorporated (additional information related to this has been provided under DTR-1 and DTR-2) - with some additional commentary related to the overall 19 AV main street development (not under the scope of this project or parcel). It is understood that later in the DP process, the SHCA was potentially interested in meeting with all the current developers along 19 AV within the Slokker land development area, however this was not independently pursued by Cove Properties, as all requirements related to the subject parcel and its connection to 19 AV and related approved policies were addressed. While a formal outreach strategy was not employed, our client (Cove Properties) did reach out to the SHCA at their request (by email) to discuss the development further.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

n/a

calgary.ca/planningoutreach

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

While formal outreach was not conducted, comments received under DTR-1 from the SHCA related to the Liveable Streets Policy were addressed both under DTR-1 and DTR-2.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

n/a

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

A formal response to SHCA comments received (under DTR-1) were formally addressed as part of both the DTR-1 and DTR-2 submissions (both of which it is understood were further circulated to the SHCA by CPAG).

calgary.ca/planningoutreach

Land Use Amendment in Beltline (Ward 8) at 1229 – 13 Avenue SW, LOC2021-0094

RECOMMENDATION:

That Calgary Planning Commission recommend that Council:

Give three readings to the proposed bylaw for the redesignation of 0.03 hectares \pm (0.07 acres \pm) located at 1229 – 13 Avenue SW (Plan A1, Block 96, Lot 6) from Centre City Multi-Residential High Rise District (CC-MH) to Direct Control District to accommodate the additional use of Office, with guidelines (Attachment 2).

HIGHLIGHTS

- This application seeks to redesignate the subject property to allow for the additional use of Office.
- A Direct Control District is necessary to accommodate an office within the existing building without allowing for all commercial uses associated with a mixed-use or commercial district. The proposed land use amendment is compatible with the surrounding land uses and development and is in keeping with applicable policies of the *Municipal Development Plan* (MDP).
- What does this mean to Calgarians? If this application is approved by Council, it would allow for an additional service within an established residential and employment area.
- Why does it matter? Additional services such as offices contribute to the goal of complete communities.
- No development permit has been submitted at this time.
- There is no previous Council Direction regarding this proposal.
- Strategic Alignment to Council's Citizen Priorities: A city of safe and inspiring neighbourhoods.

DISCUSSION

This land use amendment was submitted on 2021 June 17 by Vision Integrity Engineering on behalf of the landowner, Thousand Plus One Software Ltd. As noted in the Applicant Submission (Attachment 3), the intent is to convert the existing house into an office.

The 0.03 hectare (0.07 acre) mid-block site is located in the southwest community of Beltline, on the south side of 13 Avenue SW, between 11 Street SW and 12 Street SW. The site currently consists of a single detached dwelling with vehicle access to a parking pad from the rear lane.

A detailed planning evaluation of the application, including location maps and site context, is provided in Attachment 1, Background and Planning Evaluation.

STAKEHOLDER ENGAGEMENT AND COMMUNICATION (EXTERNAL)

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/Stakeholders were informed by Administration

Land Use Amendment in Beltline (Ward 8) at 1229 - 13 Avenue SW, LOC2021-0094

Applicant-Led Outreach

As part of the review of this application, the applicant was encouraged to use the [Applicant Outreach Toolkit](#) to assess which level of outreach with public stakeholders and the community association was appropriate. In response, the applicant reached out to the Beltline Community Association and the Ward 8 Councillor's Office to discuss the project. The applicant has also discussed the project with the adjoining neighbours. The Applicant Outreach Summary is included in Attachment 4.

City-Led Outreach

In keeping with Administration's practices, this application was circulated to stakeholders, notice posted on-site, published [online](#), and notification letters were sent to adjacent landowners.

Administration received one letter of opposition from the public in relation to increased safety and parking concerns. One letter of support was also received from the public.

The Beltline Neighbourhood Association has not provided comment at this time. The applicant has been encouraged to continue to engage with their neighbours and the surrounding properties.

Administration considered the relevant planning issues specific to the application and has determined the proposal to be appropriate. The building and site design, number of units, and on-site parking will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

The proposal would allow for additional services in the community and contributes to the goal of complete communities.

Environmental

This application does not include any actions that specifically address the objectives of the [Climate Resilience Strategy](#). Further opportunities to align future development of this site with applicable climate resilience strategies may be explored and encouraged at subsequent development permit stages.

Economic

The ability to operate an office at this location would provide a business opportunity within the community of Beltline.

Service and Financial Implications

No anticipated financial impact.

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CPC2021-1246
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Land Use Amendment in Beltline (Ward 8) at 1229 - 13 Avenue SW, LOC2021-0094

RISK

There are no known risks associated with this application.

ATTACHMENT(S)

1. Background and Planning Evaluation
2. Proposed Direct Control District
3. Applicant Submission
4. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject site is located in the community of Beltline on the south side of 13 Avenue SW between 11 Street SW and 12 Street SW. The mid-block parcel is approximately 0.03 hectare (0.07 acres) in size, and is approximately 8 metres wide by 38 metres deep.

The site has historically been used for residential purposes and consists of a two-storey single detached dwelling with rear lane access. The surrounding area along 13 Avenue SW is primarily residential in nature and is made up of a mix of single and semi-detached dwellings, and medium density residential apartment buildings (between four and seven storeys in height).

Similar to the subject application, there are other existing DC Districts which accommodate Office as an additional use along 13 Avenue SW (Bylaw 126D2016, Bylaw 26Z2006, and Bylaw 5D2009).

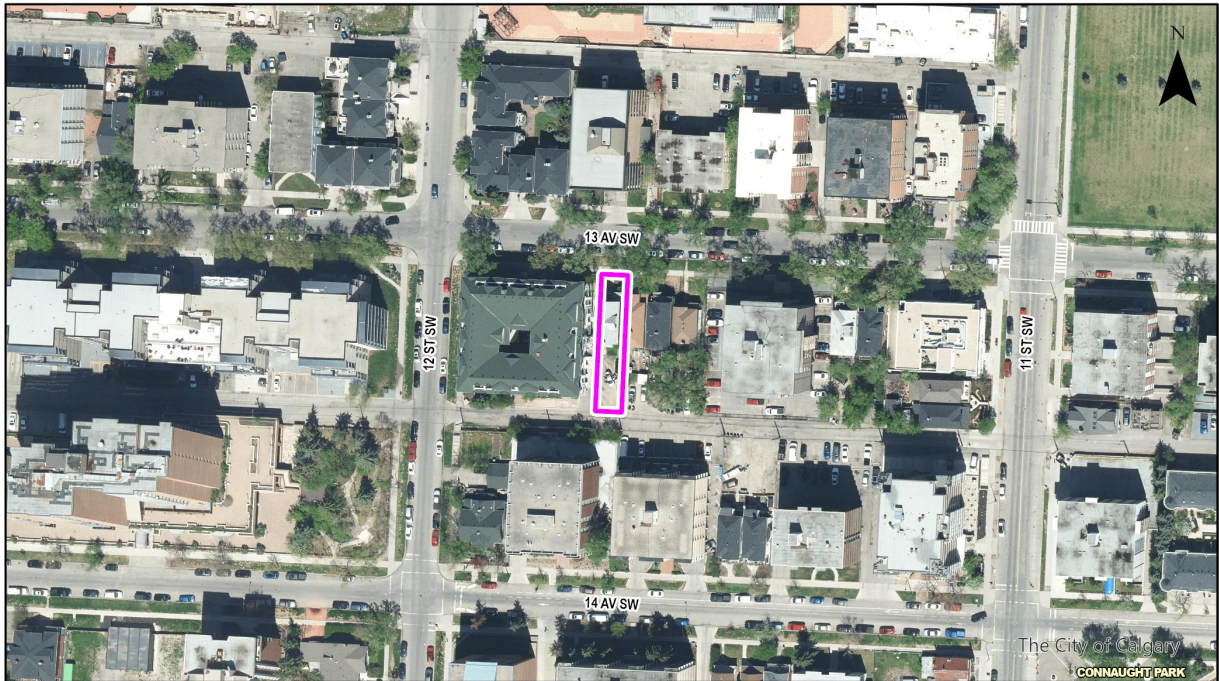
Community Peak Population Table

As identified below, the community of Beltline reached its peak population in 2019.

Beltline	
Peak Population Year	2019
Peak Population	25,129
2019 Current Population	25,129
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Beltline Community Profile](#).



Previous Council Direction

None.

Planning Evaluation

Land Use

The subject site is currently designated as the CC-MH District which is intended to provide for Multi-Residential Development on sites within the City Centre area of the city. The district is considered to be primarily residential with a limited range of uses in the Care and Health Group and the Culture and Leisure Group. The District also provides for Home Occupation – Class 1, which is a use by a resident of a dwelling unit for business purposes. The Home Occupation – Class 1 is limited to a maximum of three business-associated vehicle visits per week (which includes, but is not limited to, drop-offs, pick-ups, deliveries, and visits from customers or consultants), which does not accommodate an Office use.

The proposed DC District, based on the CC-MH District, is intended to allow for the additional Office use within the existing building. The applicant indicated that the redevelopment would be located within the existing building with limited to no exterior and site modifications. The proposed DC District and future redevelopment would preserve the residential character of this mid-block site.

The proposed DC District includes a rule that allows the Development Authority to relax Section 6 of the Bylaw. Section 6 incorporates the rules of the base district in Bylaw 1P2007 where the DC does not provide for specific regulation. In a standard district, many of these rules can be relaxed if they meet the test for relaxation of Bylaw 1P2007. The intent of this DC District rule is to ensure that rules regulating aspects of development that are not specifically regulated can also be relaxed in the same way that they would be in a standard district.

Development and Site Design

Any potential changes to the building, signage, or design of the site will be determined through the development permit process.

Transportation

Pedestrian and vehicular access to the site is available from 13 Avenue SW and the rear lane. At the time of redevelopment, vehicular access will be required from the rear lane. There is street parking available on 13 Avenue SW.

The subject site is well-served by Calgary Transit. It is located within 750 metres of the Downtown West-Kerby LRT Station, as well as serviced by a number of local bus routes including Routes 6, 7, 14, 22 and 90.

Environmental Site Considerations

No environmental concerns were identified.

Utilities and Servicing

Water, sanitary, and storm mains are available to this site. Site servicing detailed will be reviewed at the development permit and Development Site Servicing Plan stage(s).

Legislation and Policy

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Interim Growth Plan](#) (IGP). The proposed land use amendment builds on the principles of the IGP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Centre City area as identified on Map 1: Urban Structures in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to make more efficient use of existing infrastructure, public amenities, and transit, and delivers small and incremental benefits to climate resilience. The proposal is compliant with the relevant policies of the MDP.

Climate Resilience Strategy (2018)

This application does not include any specific actions that address objectives of the [Climate Resilience Strategy](#). Further opportunities to align development of this site with applicable climate resilience strategies will be explored and encouraged at subsequent development permit stages.

Beltline Area Redevelopment Plan

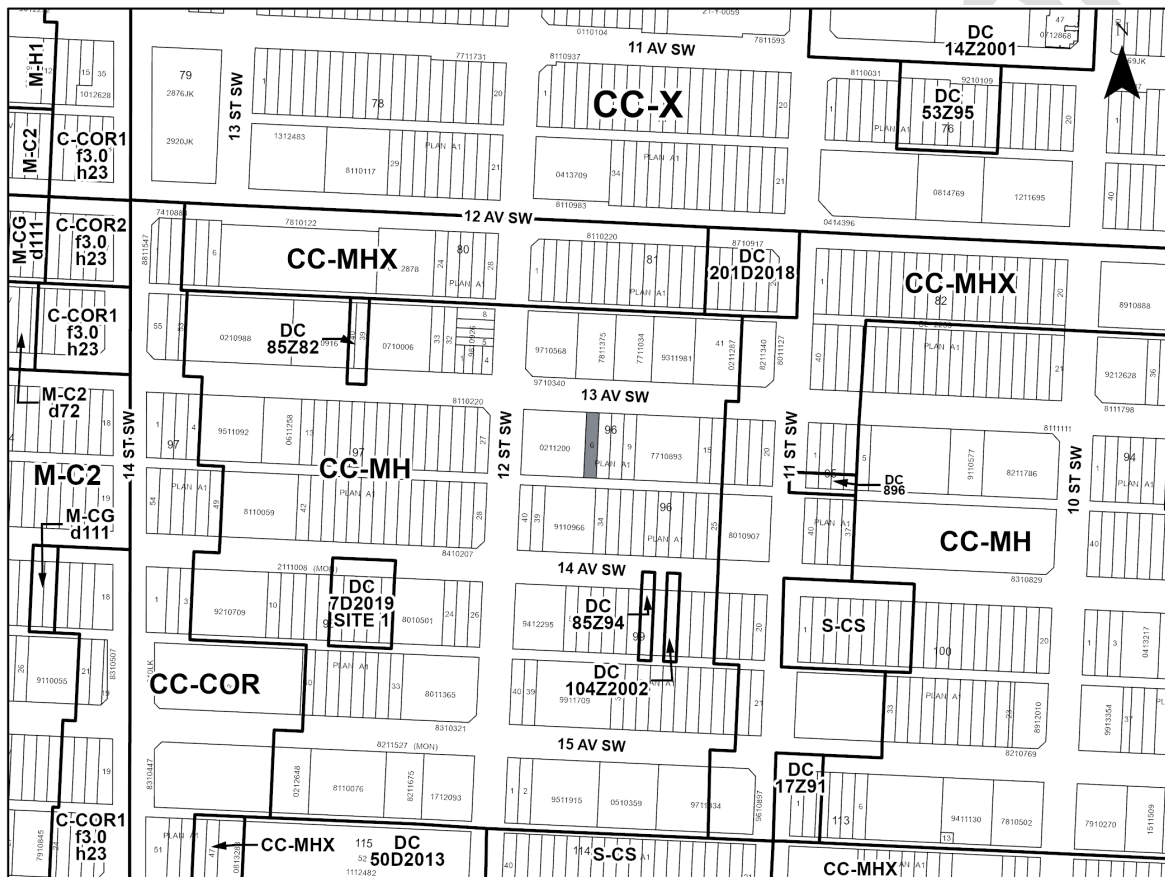
The [Beltline Area Redevelopment Plan](#) (ARP) identifies the property as Primarily Residential, which intends to accommodate a variety of residential developments along with compatible and accessory retail, personal service, and institutional uses to support the local residential

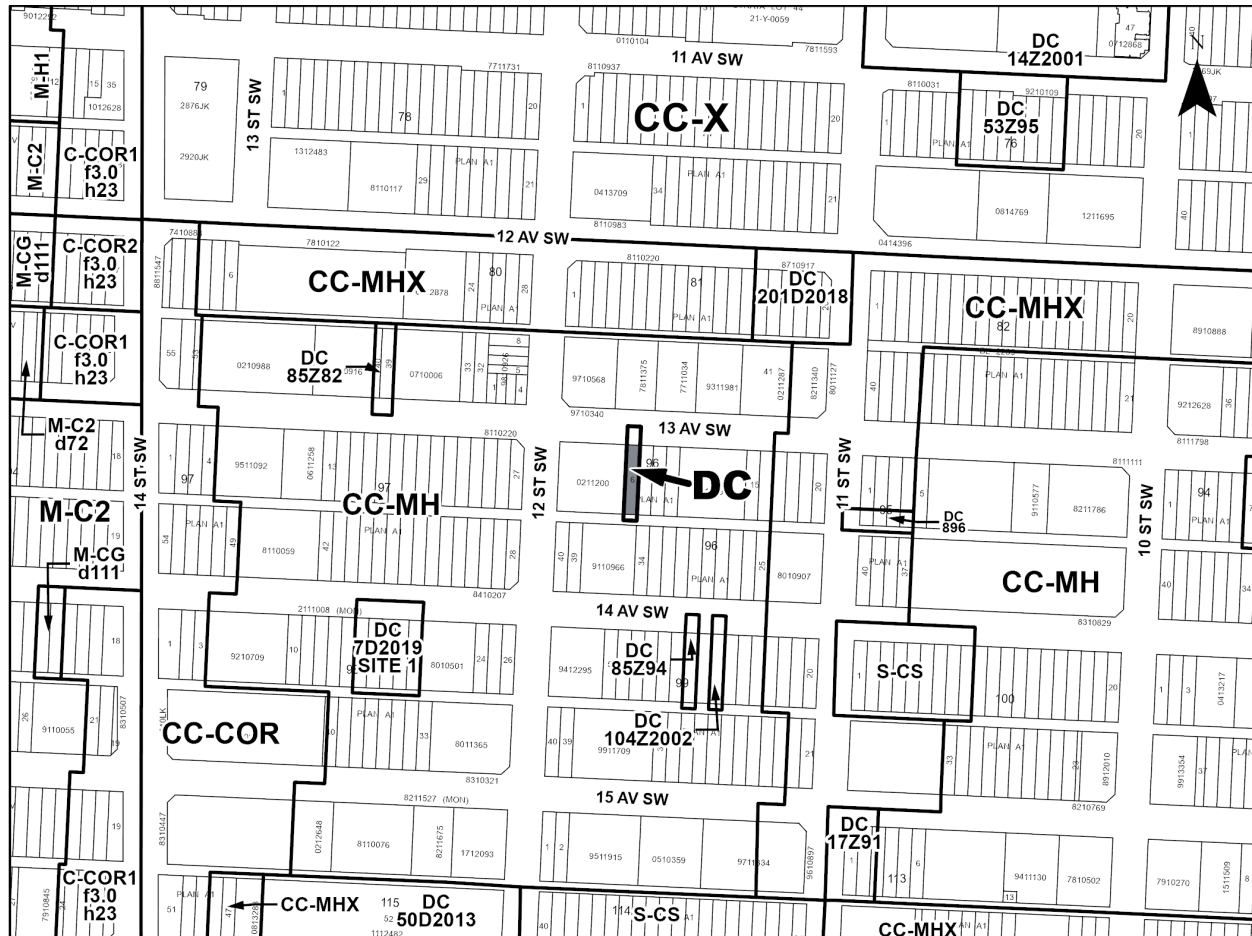
population. Key objectives of the Primarily Residential area to support the local residential population by allowing for low-intensity non-residential uses and to allow for creative, adaptive re-use of existing buildings. The proposed DC District and proposed Office use are consistent with the applicable policies in the *Beltline ARP*.

Proposed Direct Control District

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

SCHEDULE A



SCHEDULE B**DIRECT CONTROL DISTRICT****Purpose**

- 1 This Direct Control District Bylaw is intended to accommodate the additional use of office within an existing building.

Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

Reference to Bylaw 1P2007

- 3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

Permitted Uses

- 4 (1) The **permitted uses** of the City Centre Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

- (2) The following is an additional **permitted use** when located in the **building** existing on the parcel at the time of the approval of this Direct Control District Bylaw:

- (a) **Office.**

Discretionary Uses

- 5 The **discretionary uses** of the City Centre Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the City Centre Multi-Residential High Rise District (CC-MH) of Bylaw 1P2007 apply in this Direct Control District.

Relaxations

- 7 The Development Authority may relax the rules contained in Section 6 of this Direct Control Bylaw District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.

Applicant Submission

Company Name (if applicable):

1000 Plus One Software Ltd.

Applicant's Name:

Trevor Davies

Date:

2021-06-13

LOC Number (office use only):

LOC 2021 - 0094

We are applying to redesignate the land use of the 1910 house at 1229 13th Avenue SW from CC-MH to direct control to facilitate a change in use from a rooming house into an office.

We intend considerable effort to resorting the external grandeur and character of the property to turn it into an office we, and the community, can be proud of. While respecting the historic value of the house we will paint, landscape and restore the exterior to a level that will enhance community pride.

There are several similar old home to office conversions in the area. Almost universally these conversions result in sharp and tidy properties that show well to the character of the community. It is very much our intention to create another one of these.

Internally we intend on removing many of the changes made when the property was converted into individual apartments. As able, we intend to restore historic features that have been covered up and display them proudly.

While carefully balancing the historic value of the home we also intend to reduce the properties carbon foot print by installing proper insulation and upgrading windows.

1000 plus one Software Ltd is a holding company controlled by the owners of Vision Integrity Engineering (Vision). When researching a new office for Vision we discovered that presently owning made more sense than renting and that COVID work from home worked well for our business so we did not need as large of a space. These things meant that a character building that needed work made sense for us to purchase. It is Vision that will be occupying the property after this application is approved and after renovations are complete.

Applicant Outreach Summary



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name: 1229 13th ave S.W.

Did you conduct community outreach on your application? ☒ YES or ☐ NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

As this is my first dealings with land use redesignation my strategy was to ask for help and advice from people who do this regularly.

I also wanted to communicate to people the vision we have for putting effort into restoring an old house. There are not many of these old gems left in our city and they need some love if we want to maintain our heritage. When we were looking we saw a similar property on the same block that was so run down it may never get restored and its likely fate may be the wrecking ball.

Stakeholders

Who did you connect with in your outreach program? List all stakeholder groups you connected with. (Please do not include individual names)

I began by contacting the City and ask for advice. I dealt with Kaitlin Bahl and found her very professional and helpful. This resulted in the pre-application meeting where I had a chance to talk to several different city departments, received general approval and produced a final assessment document.

Next I e-mailed Tyson Bolduc of the Beltline Community Association to explain my plan and ask for advice and support, Tyson was supportive of our plan.

Next I e-mailed Councilor Woolley's office and explained my plan to Zev Klymochko to a positive response.

While I was at the property I did have informal chats with gentlemen who lived in the rooming house next door. They were curious and supportive of my plan.

calgary.ca/planningoutreach



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

The Beltline community association was very supportive and offered advice. They were pleased with my plan to take care of an old house. They offered advice about researching the history of the home. They offered to set up a meeting with the councilor and offered assistance.

The Councilor's office was also supportive of my initiative. They were pleased with my plan to take care of an old house. They also offered advice and pointed me to resources to assist in researching the history of the property. They did not feel a meeting was required.

The neighbors I had talked to had various degrees of interest but all seemed to appreciate that the old house was renaming and was getting fixed up.

How did stakeholder input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

On the advice of both the councilors office and the community association I have done some research into the property and discovered the property was first listed in the phone book in 1912 and the occupant was a man named William Randall. I intend to do further research and keep a resulting document as a heirloom of the house.'

How did you close the loop with stakeholders?

Provide a summary of how you shared outreach outcomes and final project decisions with the stakeholders that participated in your outreach. (Please include any reports or supplementary materials as attachments)

I have followed up with both the community and the councilors office.

I do intend to send a courtesy note to both parties when this application is approved.

For the neighbors I intend to have an open house once the renovation is complete.

Policy Amendment and Land Use Amendment in South Calgary (Ward 8) at 3023 – 16 Street SW, LOC2020-0158

RECOMMENDATIONS:

That Calgary Planning Commission recommend that Council:

1. Give three readings to the proposed bylaw for the amendment to the South Calgary/Altadore Area Redevelopment Plan (Attachment 2); and
2. Give three readings to the proposed bylaw for the redesignation of 0.36 hectares \pm (0.89 acres \pm) located at 3023 – 16 Street SW (Plan 1413411, Block 30, Lot 44) from Multi-Residential – Contextual Medium Profile (M-C2) District to Direct Control District to accommodate Restaurant: Licensed and Outdoor Café uses within an existing assisted living facility, with guidelines (Attachment 3).

HIGHLIGHTS

- This combined policy and land use amendment application seeks to allow Restaurant: Licensed and Outdoor Café uses within an existing assisted living facility.
- This application represents a sensitive consideration of restaurant and outdoor café uses that would seamlessly operate within an existing assisted living facility and is in keeping with the applicable policies of the *Municipal Development Plan* (MDP).
- What does this mean to Calgarians? The proposed policy amendment and Direct Control District would allow for the inclusion of restaurant uses that would serve the local inner-city community and guests of an existing assisted living facility.
- Why does this matter? The proposed land use would accommodate commercial uses within an existing facility and provide for local amenities in the South Calgary community that are within walking distance to multiple bus stops.
- An amendment to the *South Calgary/Altadore Area Redevelopment Plan* (ARP) is required to support the proposed land use amendment.
- No development permit has been submitted at this time.
- There is no previous Council Direction related to the proposed land use redesignation.
- Strategic Alignment to Council's Citizen Priorities: A city of safe and inspiring neighbourhoods.

DISCUSSION

This policy and land use amendment application was submitted by B&A Planning Group on behalf of the landowner, Section23 CSPACE Ltd, on 2020 October 29 (Attachment 4). The subject site is in the southwest community of South Calgary on 16 Street SW between 29 and 30 Avenue SW.

The existing assisted living facility on the subject parcel was constructed in 2020 and is currently occupied. The current land use policies that apply to the subject parcel allow for residential (medium density) development but no commercial uses. An amendment to the *South Calgary/Altadore ARP* is required to accommodate commercial uses on the subject site. The proposed land use amendment seeks to accommodate commercial uses within an existing

Policy Amendment and Land Use Amendment in South Calgary (Ward 8) at 3023 - 16 Street SW, LOC2020-0158

assisted living development. A development permit, specifically related to the proposed commercial uses, has not been submitted at this time.

A detailed planning evaluation of the application, including location maps and site context, is provide in Attachment 1, Background and Planning Evaluation.

STAKEHOLDER ENGAGEMENT AND COMMUNICATION (EXTERNAL)

- ☒ Outreach was undertaken by the Applicant
- ☒ Public/Stakeholders were informed by Administration

Applicant-Led Outreach

As part of the review of the proposed policy and land use amendment application, the applicant was encouraged to use the [Applicant Outreach toolkit](#) to assess which level of outreach with public stakeholders and the respective community association was appropriate. In response, the applicant reached out to the Ward 8 Councillor, the Marda Loop Community Association, and adjoining neighbours. Furthermore, the applicant held a virtual information session on 2021 April 28, facilitating several online discussions and surveys garnering more than 40 questions and comments from the public. The feedback received and addressed by the applicant as summarized in the Applicant Outreach Summary (Attachment 5).

City-Led Outreach

In keeping with Administration's practices, this application was circulated to stakeholders, notice posting on-site, published [online](#), and notification letters were sent to adjacent landowners.

The Marda Loop Community Association (CA) was circulated on this application but did not provided a response. Administration attempted to follow up with the CA on 2021 July 29 through various means but ultimately no contact with the CA was made. Nevertheless, Administration is committed to continue reaching out to the CA representatives prior to the public hearing on this application.

Administration received nine letters from the public expressing concern and objection to the application. Generally, the concerns are related to potential increase in parking demand and potential nuisances perceived to be associated with the proposed restaurant and outdoor café uses. Generally, the concerns are related to potential increase in parking demand and potential nuisances perceived to be associated with the proposed restaurant and outdoor café.

In response to these concerns, the applicant initiated a comprehensive outreach strategy using the various forms described above. According to the Applicant Outreach Summary (Attachment 5) the vast majority of residents who participated in the engagement program walked away with a better understanding of the applicant's vision to re-purpose existing interior and exterior spaces to provide the additional uses. Furthermore, Administration does not anticipate significant off-site parking impacts related to the proposal as parking demand generated by the restaurant and outdoor cafés would be satisfied by the surplus of undesignated stalls available within existing parking areas of the assisted living development.

Policy Amendment and Land Use Amendment in South Calgary (Ward 8) at 3023 - 16 Street SW, LOC2020-0158

Administration considered the relevant planning issues specific to the application and has determined the proposed redesignation to be a reasonable as it would provide for sensitive inclusion of commercial uses within an existing facility. The specific parking requirements, access, and back-of-house details related to a proposed restaurant and outdoor café spaces will be reviewed and determined at the development permit stage.

Following Calgary Planning Commission, notifications of Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

IMPLICATIONS

Social

This application would accommodate restaurant and outdoor café uses that would be sensitively planned within a multi-residential district and would provide additional local amenities to the South Calgary community.

Environmental

This application does not include any actions that specifically address the objectives of the [Climate Resiliency Strategy](#). Further opportunities to align future development on this site with application climate resilience strategies will be explored and encouraged at subsequent development permit stages.

Economic

The proposed land use would allow for more efficient use of land, existing infrastructure, and services, providing for more walkable local amenities to an established inner-city community.

Service and Financial Implications

No anticipated financial impact.

RISK

There are no known risks associated with this application.

ATTACHMENT(S)

1. Background and Planning Evaluation
2. Proposed Amendment to the South Calgary/Altadore Area Redevelopment Plan
3. Proposed Direct Control District
4. Applicant Submission
5. Applicant Outreach Summary

Department Circulation

General Manager (Name)	Department	Approve/Consult/Inform

Background and Planning Evaluation

Background and Site Context

The subject parcel is in the southwest community of South Calgary on the west side of 16 Street SW, between 29 Avenue SW and 30 Avenue SW. The site has a lane along the west property line and is approximately 0.36 hectares (0.89 acres) in area with dimensions of approximately 15 metres wide by 36 metres deep. A six-storey assisted living facility currently exists on the parcel.

Surrounding development is characterized by a mix of low to mid-rise single and multi-residential development to the north, south and east. The subject site is situated on the east half of the King Edward School Site that has recently accommodated adaptive re-use of the historic school building as a mixed-use community hub. A recently completed low-rise (3 storeys) multi-residential building sits on the western half of this site.

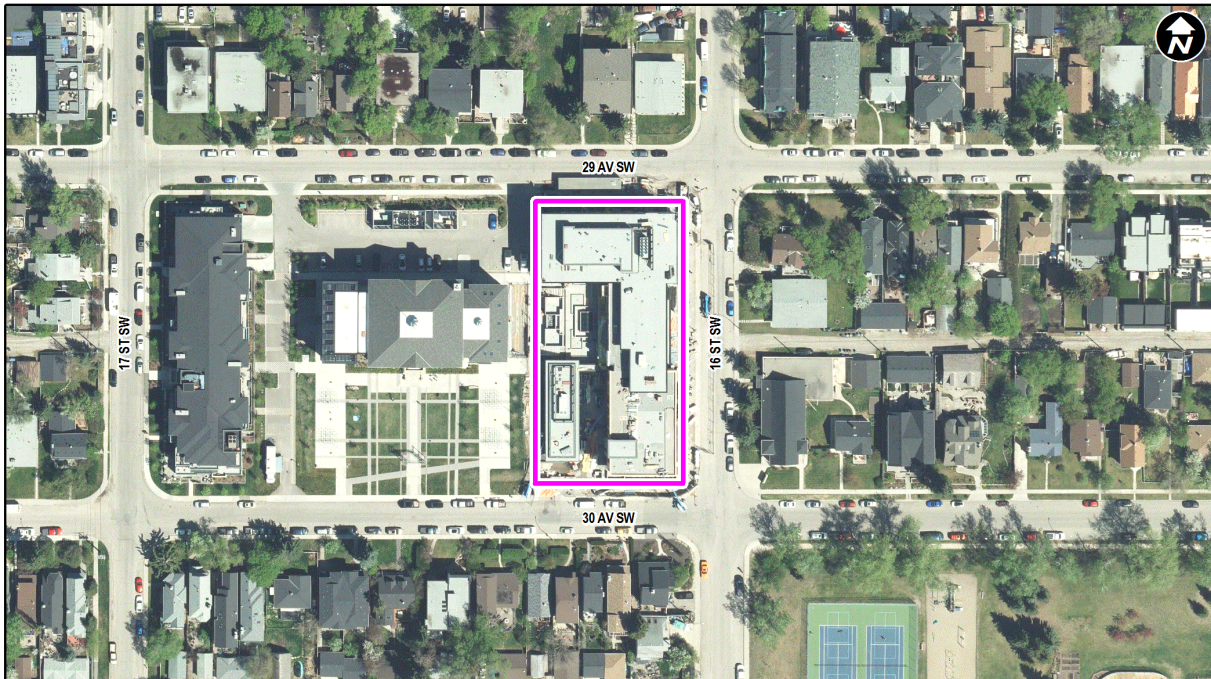
Community Peak Population Table

As identified below, the community of South Calgary reached its peak population in 2019.

South Calgary	
Peak Population Year	2019
Peak Population	4,442
2019 Current Population	4,442
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2019 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [South Calgary Community Profile](#).



Previous Council Direction

None.

Planning Evaluation

Land Use

The existing M-C2 District is a residential designation applied to developed areas accommodating medium-density development and does not accommodate any commercial uses. The M-C2 District allows for a maximum building height of 14 metres and maximum floor area ratio of 2.5.

The proposed DC District, based on the M-C2 District, would accommodate two commercial uses (Restaurant: Licensed and Outdoor Café). Section 7 incorporates the rules of the base district in Bylaw 1P2007 where the DC does not provide for specific regulation. In a standard district, many of these rules can be relaxed if they meet the test for relaxation of Bylaw 1P2007. The intent of this DC rule is to ensure that rules regulating aspects of development that are not specifically regulated by the DC can also be relaxed in the same way that they would be in a standard district. The proposed DC District includes a rule requiring these uses to be located within the existing assisted living facility.

Development and Site Design

If the application is approved by Council, the rules of the proposed DC District would provide guidance for future incorporation of the proposed Restaurant: Licensed and Outdoor Café uses within the existing building.

The existing assisted living facility was approved in 2018, subject to conditions established through development permit application DP2017-3405. The approval of this application

accommodated the existing development (Assisted Living – 1 Building, 95 Suites) constructed in 2020. As part of the development, a surplus of 19 stalls remain undedicated to specific uses or users on the subject site. Dining and outdoor café areas are currently available for the sole use of residents and their guests.

The proposed Restaurant: Licensed and Outdoor Café uses are to be accommodated within existing dining room and lounge areas on the first two levels of the existing assisted living facility. These commercial uses are intended to serve the public and be reservation-based. Detailed floor plans and proposed public use areas will be subject to further review at the development permit stage.

Transportation

Site Access and Traffic

Pedestrian access to the site is available from existing sidewalks along 16 Street (designated as a Collector Road) and 30 Avenue SW (designated as a Neighbourhood Street). Street parking is available on both streets and is unrestricted. The subject area is not within a residential parking permit zone.

Transit

The site is well served by transit stops and is located within 400 metres of two routes (Route 7 and 22) located at 14 Street SW and 29 Avenue SW. Furthermore, the same routes are accessible from 33 Avenue SW within 350 metres of the subject site.

Motor Vehicle Parking

A parking study was submitted to determine the additional parking demand anticipated with the inclusion of the proposed restaurant and outdoor café uses within the existing building. Findings from this study indicated a requirement of 12 stalls to satisfy the parking demand generated by the newly proposed uses. The existing assisted living facility includes 19 stalls that are undedicated to a specific use and can accommodate the anticipated parking demand generated by the proposed restaurant and outdoor café uses wholly within the existing development. Details and conditions of the specific development are subject to further review in association with a future development permit application.

Environmental Site Considerations

No environmental concerns were identified. An Environmental Site Assessment was not required.

Utilities and Servicing

Water and sanitary sewer connections were established as part of the original development permit application for the assisted living development (DP2017-3405). No changes to utilities or servicing is required to accommodate the proposed land use and policy amendment.

Legislation and Policy

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to cities and towns, and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the Calgary Metropolitan Region Board's [Interim Growth Plan](#) (IGP). The proposed land use and policy amendments build on the principles of the IGP by promoting efficient use of land and regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Residential – Developed – Inner City area as identified on Map 1: Urban Structure in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of inner-city communities to allow for more efficient use of land, existing infrastructure, public amenities, and transit. Ground-oriented housing is encouraged with the highest densities occurring near transit stops. The proposal is in keeping with relevant MDP policies as the proposed DC District accommodates restaurant and outdoor café uses within an existing assisted living development that aims to be sensitive to surrounding residential development.

Climate Resilience Strategy (2018)

This application does not include any specific actions that address the objectives of the [Climate Resilience Strategy](#). Further opportunities to align development of this site with applicable climate resilience strategies may be explored and encouraged at subsequent development permit stages.

South Calgary/Altadore Area Redevelopment Plan (Statutory – 1986)

The subject site is located within the King Edward School Site land use policy area as shown on Map 2 of the [South Calgary/Altadore Area Redevelopment Plan](#). More specifically, the subject parcel is designated Medium Density envisioning development of multi-residential development in the form of apartments or townhouses.

The existing assisted living facility which closely resembles apartment-style dwelling units was built in accordance with these policies. As the proposed land use amendment seeks to accommodate Restaurant: License and Outdoor Café uses, Administration considered amendments to the Medium Density policies for the King Edward School Site to accommodate two commercial uses that remain in keeping with all other relevant land use policies in the ARP. For this reason, an additional land use policy for the King Edward Site (Medium Density) is found to be appropriate, accommodating restaurant and outdoor café uses. This policy amendment supports the proposed land use amendment.

Proposed Amendment to the South Calgary/Altadore Area Redevelopment Plan

1. The South Calgary/Altadore Area Redevelopment Plan attached to and forming part of Bylaw 13P86, as amended, is hereby further amended as follows:
 - (a) In Section 4.0 King Edward School Site, subsection 4.3.3 Medium Density, add the following policy:
 - “(j) Restaurant and outdoor café uses may be considered appropriate within a residential development. Permanent exterior signage or advertisement is discouraged, particularly on exterior facades facing adjacent residential development.”

TEXT FOR DISCUSSION

Proposed Direct Control District

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefore that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

SCHEDULE A



[illegible]

Purpose

- ## Compliance with Bylaw 1P2007

- ## Reference to Bylaw 1P2007

- ## Permitted Uses

- ## Discretionary Uses

- (2) The following **uses** are additional **discretionary uses** in this Direct Control District when located within a **building** that existed at the date of passage of this

Direct Control District Bylaw, or within a proposed addition to a **building** that existed at the date of passage of this Direct Control District Bylaw:

- (a) **Restaurant: Licensed;** and
- (b) **Outdoor Café.**

Bylaw 1P2007 District Rules

- 6** Unless otherwise specified, the rules of the Multi-Residential – Contextual Medium Profile (M-C2) District of Bylaw 1P2007 apply in this Direct Control District.

Relaxations

- 7** The **Development Authority** may relax the rules contained in Section 6 of this Direct Control District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.

TEXT FOR DISCUSSION

Applicant Submission



27 October 2020

Applicant's Submission – The Edward Seniors Residence

On behalf of Section23 Developments, B&A is submitting this application for the Land Use Redesignation of +/- 0.36 hectares (0.88 acres) of land from M-C2 to a Direct Control District based on M-C2.

The Edward is a distinguished seniors residence located adjacent to the Historic King Edward school – now cSPACE King Edward, a heritage site and arts hub - in the community of South Calgary. The site is municipally addressed as 3023 16 Street SW, and legally described as Lot 44, Block 30 of Plan 141 3411.

The Edward senior's residence is approved and constructed, with the first residents anticipated to move in November 2020. The residence includes a dining room and bistro with attached patio spaces, served by a commercial kitchen. These uses are included under the approved use of Assisted Living. The existing Land Use on the site is M-C2 (Multi-Residential – Contextual Medium Profile).

The intent of this application is to amend the existing Land Use on the site in order to allow the existing dining room, bistro and patio amenities to also serve members of the public in addition to serving the residents of the Edward. The Land Use amendment is not intended to affect any other aspects of the building, which is already constructed, or its operations as an Assisted Living facility. The goal of this application is to allow the public to share in the dining experience available at The Edward and to create a social environment for residents. However, it is important to note that first priority for all bookings will always be given to residents of the building.





While this application is not intended to functionally change the amenities or the building itself, it is understood that opening these amenities to the public may represent a change to how these amenities operate. For this reason, our team intends to conduct preliminary engagement with the area Councillor and with the Marda Loop Community Association to obtain feedback at the outset of the application and determine if further engagement is required.

5.0 What We Heard

The project team provided multiple avenues for community members to ask questions and provide feedback, including telephone and email correspondence, the virtual community event and the online survey.

The feedback received throughout all platforms has been consolidated and categorized into a number of themes. This section provides a list of the identified themes, as well as an overview of specific questions and comments received, with the responses provided by the project team.

Feedback Themes

Parking	
On Site (9)	
Street (1)	
Operations	
Hours (6)	
Events (4)	
Accessibility (3)	
Capacity (3)	
Patio (2)	
Patrons (3)	
Noise (1)	
Community Amenity	
In Support (12)	
Not Required (1)	
Engagement (3)	



Feedback And Responses



Parking	
Question Asked/Comment	Project Team Answers
Are the 19 surplus stalls in addition to available Edward Resident parking?	The 19 surplus stalls assume that the building is at full occupancy.
Are the 19 parking stalls designated for diners, or will they also be used for visitors to the site?	The residents have assigned parking. The 12 parking stalls required for this application are specifically designated for restaurant use, in addition to the valet parking available. Restaurant visitors will be able to utilize our reservation system, informing them of the parking options on-site.
Is there a fee for valet parking that might discourage diners from using that service?	There is a fee facilitated through a tipping service; The Edward is not looking to profit from the valet service offering.
How will you encourage people to use the valet service and not just park on the street?	We will be encouraging patrons always to make a reservation to ensure capacity. Through our reservation system, patrons will be notified of the parking options available to them through designated on-site stalls and the valet parking option. It is our obligation to ensure restaurant patrons will not be utilizing residential street parking.
From the expected numbers of public diners, there seems to be more than ample parking available. Would you agree?	Yes, we would agree. Based on personal visits and the Parking Study conducted, there is ample parking to accommodate the on-site dining. Additionally, as a community amenity, we are hoping to see more community members who can walk to The Edward.
The valet parking is a nice to have offering to people visiting the restaurants, but we don't think it will be utilized as is envisioned by The Edward.	We will be encouraging patrons always to make a reservation to ensure capacity. Through our reservation system, patrons will be notified of the parking options available to them through designated on-site stalls and the valet parking option. It is our obligation to ensure restaurant patrons will not be utilizing residential street parking.
We are in support of the application so long as parking is considered.	No Response Required.



Operations	
Question Asked/Comment	Project Team Answers
Where will the public restaurant patrons enter the building?	All restaurant patrons will enter the restaurant using The Edward's Main Entrance, located on the east side of the building. There is no separate entrance to the restaurant.
We favour what you are planning, but is it possible to let us know who we should be contacting at the Edward if an issue arose?	All day to day inquiries related to The Edward should be directed to the concierge desk – (403) 265-3023, info@edwardliving.com.
What is the number of public diners you would expect to serve in the restaurant each night?	Based on the location, we would expect approximately five to 10 public patrons per evening during our peak dining time.
In non-Covid times, what is the Restaurant and Patio capacity?	The total capacity in the dining facilities, including the Restaurant, Bistro and Patio, is approximately 100 seats.
Will special events be allowed?	As a seniors' community, the events we host are for the residents of There Edward, their family, or some community-oriented events. There will not be any large-scale events hosted on our premises.
Can we get some assurance that you will not be hosting special events on the patio? For example, weddings on the patio, speakers, music, etc.	<p>We have not hosted a wedding or large-scale event at our Seniors' Community and do not foresee that happening in the future. Our private functions are oriented towards our residents and their families.</p> <p>In the case of events, the intent would be to host these in the dining room and not use the patio.</p>



Operations	
Question Asked/Comment	Project Team Answers
What will be the hours of operation, specifically for the patio area?	For patio operations, we are focusing on daytime hours. The hours of operation are determined by the existing dining room operations, Lunch service from 11 a.m. until 2 p.m., and Dinner service from 4 p.m. until 8 p.m. To ensure the community is happy with the hours of operation, we are pleased to make assurances that the Patio will be closed by 8 p.m.
What are the current operating hours for the dining establishment?	The current operating hours for the restaurant are Lunch service from 11 a.m. until 2 p.m., and Dinner service from 4 p.m. until 8 p.m.
Are facilities available to the public for breakfast, lunch and dinner?	The current plan is to serve Lunch and Dinner to the public primarily; However, if someone was interested in attending for Breakfast service, we can also offer that.
Where is the patio located, facing which direction?	The Patio is located on the south side of the building along 30th Avenue S.W.
Will patio be available for drinks only?	The patio would provide the same offering as our Restaurant, both food and drink service. There is a Lounge on site that provides a more drinks-focused menu offering.
Is there a consideration for a discount for Marda Loop community members? Marda Loop Community associations offer discounts to restaurants in the area.	Absolutely. The Edward is open to offering Marda Loop Community Association members discounts, building on our existing relationship with the MLCA. In Pursuing this Land Use Amendment, The Edward is hoping to engage more local community members and offer a new amenity within the community.
Will the dining services be open to children as well?	Yes.



Operations	
Question Asked/Comment	Project Team Answers
We are concerned that the patio will host loud events, music in the evening, leading to noise issues. We feel a clear limit on patio use needs to be part of its permitted use (i.e., closes at 8pm).	<p>Our private functions are oriented towards our residents and their families.</p> <p>In the case of events, the intent would be to host these in the dining room and not use the patio. To ensure the community is happy with the hours of operation, we are pleased to make assurances that the Patio will be closed by 8 p.m.</p>
Would it be possible to open dining to “Members”? With a simple card given to people who live within walking distance these people could access your services. Reid Henry (former CEO cSpace) indicated this was an idea or collaboration that could happen with us being your neighbours at the Residences of Kind Edward.	<p>The Edward is open to discussing community incentives to ensure the Marda Loop Community are happy with the new dining amenities.</p>
We believe the Land Use should specify that large special events (40+ people) for non-residents are not allowed at The Edward's restaurants given the already intense event use at adjacent cSPACE and the community centre. The area gets extremely saturated with markets, parties, vendors, cultural events etc. and we are saturated.	<p>Our private functions are oriented towards our residents and their families.</p>



Community Amenity	
Question Asked/Comment	Project Team Answers
Our expectation as a neighbourhood resident is that we would walk to the restaurant.	No Response Required.
The dining amenities sound like a net benefit to the community; there is a lack of dining establishments in this area.	No Response Required.
We would be interested in dinner during the week and breakfast/lunch/brunch on weekends, or dinner on weekends.	No Response Required.
We would hope that we would be able to make use of the patio on a nice day.	No Response Required.
I support the land use approval	No Response Required.
I whole heartedly support this amendment. It will enhance the quality of life for the residents of the Edward. It will also enhance quality of life for the surrounding neighbourhood. Being able to walk to the restaurant has great appeal. I see no issue with parking at all. There is ample street parking in the area for the small amount of people that will drive to restaurant. Please make this happen. It will be a joy.	No Response Required.
The Edward is making an effort to be part of the community by opening up their restaurants/ patios to the neighbourhood. From what was said at the engagement session, there should be minimal impact to the neighbourhood/ community, and we welcome the proposal.	No Response Required.
The community will benefit from a new amenity and that there is an opportunity for intergenerational interactions.	No Response Required.



Community Amenity	
Question Asked/Comment	Project Team Answers
I love the idea of another dining option in the neighbourhood. It seems to make a lot of sense to make better use the facility	No Response Required.
There is no need to bring a restaurant into the community	No Response Required.
We are very much in favour of this Land Use Amendment. We would love to have another restaurant option in the neighbourhood with the option of using the restaurant and patio for meals. We would walk to the restaurant and don't see any issues regarding parking as there would be a valet parking option as well as more than ample street parking available on the block and adjacent park.	No Response Required.



Engagement	
Question Asked/Comment	Project Team Answers
What is the next step in the application process?	No Response Required.
Will we be informed about the upcoming next steps?	The Project Team has submitted the Land Use Application to the City, and we are now in the Public Engagement processes. The following steps will include a technical review of the application to work with the City to address all comments received. We intend to inform all interested parties as the project progresses.
What engagement has been done. This process seems inaccessible.	<p>B&A Planning Group designed an engagement program to ensure multiple opportunities for neighbours and community members at-large to participate. The following tactics were used to increase awareness and encourage participation:</p> <ul style="list-style-type: none"> • Engagement Webpage at www.edwardliving.com/landuse/ • Resident and Community Notification Mailouts to approximately 3,000 residences in a mile radius of The Edward. • Road Signage placed at the entrance of The Edward at 3023 16 Street S.W. for two weeks in advance of the public engagement session. • Virtual Information Session on Wednesday April 28th from 6-7:30 to share information about the project, answer questions and collect feedback. • Online Survey shared with engagement session attendees, any interested stakeholders and placed on the project webpage from April 28 to May 5 to provide an additional platform to participate. • Engagement Representative Email and Phone Number on all correspondence and promotions to ensure the opportunity for direct phone call and email communication.



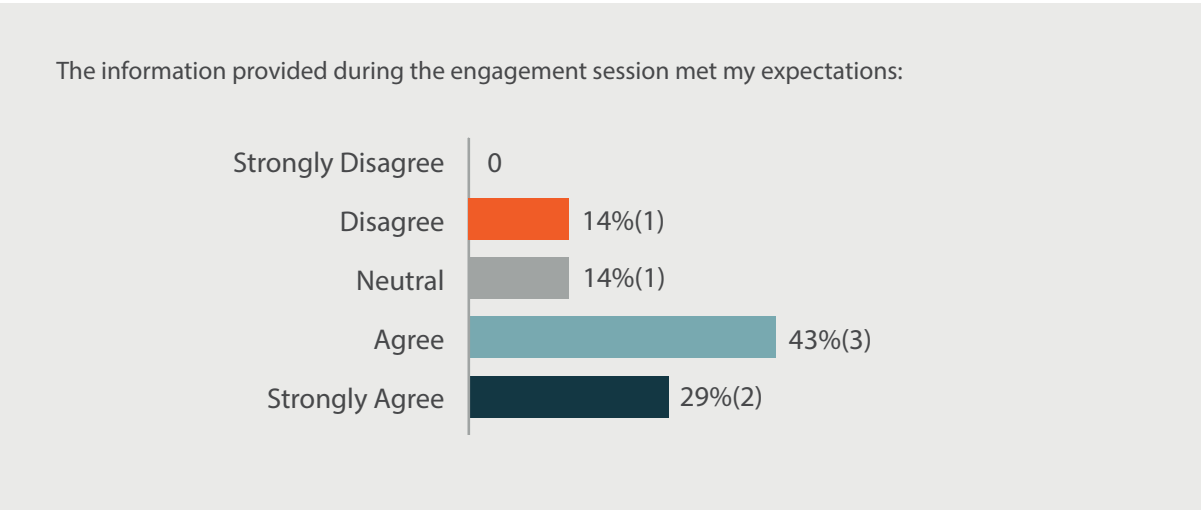
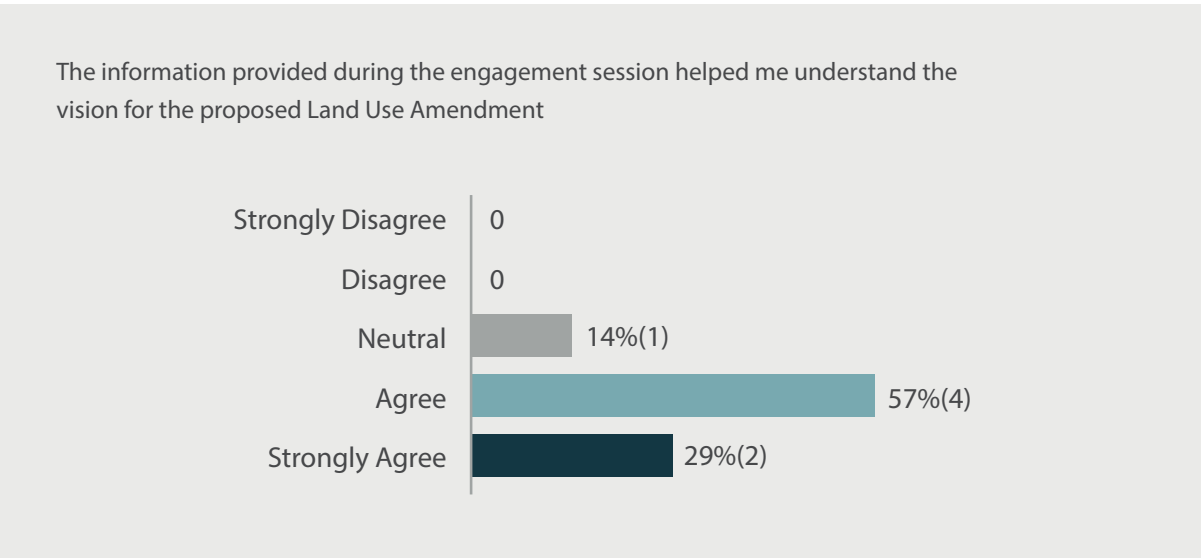
Engagement	
Question Asked/Comment	Project Team Answers
I think you have addressed the concerns brought up with thoughtful solutions. Your desire to be great neighbours is something we all need to trust.	No Response Required.
I am assuming this engagement session was a City requirement to fulfill the "community engagement" component of the proposed Land Use Amendment.	No Response Required.





Evaluation

The following is a summary of the feedback provided by online survey participants related to the engagement program.



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Calgary Planning Commission
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144 Avenue NW (Sage Hill Drive to 24 Street NW) and bridge over West Nose Creek

RECOMMENDATION:

That Calgary Planning Commission receive this report for the Corporate Record.

HIGHLIGHTS

- This report presents for information, the 144 Avenue NW (Sage Hill Drive NW to 24 Street NW) road and bridge over West Nose Creek project.
- What does this mean to Calgarians? The 144 Avenue NW road and bridge project supports existing growth in Symons Valley and planned growth in the Glacier Ridge, Keystone, and Nose Creek Area Structure Plans, providing an essential link in the transportation network for existing and future residents.
- Why does this matter? The 144 Avenue NW road and bridge project provides an important new transportation link for Calgarians, will improve access and connections for all modes of travel, and enhance recreational opportunities along West Nose Creek by providing expanded pathways for pedestrian and cyclist use.
- This report provides information on the project including bridge structural design and aesthetics, creek realignment, pathways and accessibility, noise attenuation, landscaping and public engagement.
- Previous Council Direction: Council previously approved the Transportation Infrastructure Investment Plan, Investing in Mobility 2015-2024 in December 2012, and accepted the updated report in May 2014. Subsequently the 144 Avenue NW project was approved under C2018-1158 One Calgary 2019-2022 Service Plans and Budgets on 2018 November 14.
- Strategic Alignment to Council's Citizen Priorities: A city that moves
 - Sustainability Principle 9: Connect people, goods and services locally, regionally, and globally by enhancing east-west connections between high-growth communities.
 - Key Direction for Land Use Mobility 1: Achieve a balance of growth between established and greenfield communities by allowing for continued growth in a greenfield area.
 - Transportation Goal 1: Align transportation planning and infrastructure investment with city and regional land use direction and implementation strategies by supporting an identified growth management area.
 - Transportation Goal 5: Promote economic development by ensuring the efficient movement of workers and goods by providing enhanced network links.

DISCUSSION

This project will provide a new arterial roadway and related infrastructure connecting Symons Valley Road NW with 24 Street NW (*see Figure 1 below*). It is planned as a continuous east-west connection north of Stoney Trail, and will provide an important link for all modes of transportation, including a connection between the communities of Evanston, Sage Hill and communities to the north in various stages of development. This project supports the Glacier Ridge, Keystone and Nose Creek Area Structure Plan areas, and also supports the development and growth management needs of various City business units, such as Water

144 Avenue NW (Sage Hill Drive to 24 Street NW) and bridge over West Nose Creek

Resources and Parks. The project scope includes 1.2 kilometres of a new three-lane arterial roadway (interim stage of an ultimate six-lane roadway) from Symons Valley Road NW to 24 Street NW with a full intersection buildout at Symons Valley Road NW and a road transition to Sage Hill Drive NW. It also includes a new single-span bridge over West Nose Creek (relocated approximately 60 metres west), and expanded connectivity to The City's 5A Network.

Figure 1: 144 Avenue NW project location



Pathways and Accessibility

The bridge and pathway network have been designed to meet current City of Calgary accessibility design standards. New pathway connections are provided on both sides of 144 Avenue NW and along the west side of West Nose Creek, with two accessible connections (maximum grades of 5 percent) linking the “upper” roadway level to the “lower” creek level. A new trail connection with a higher allowable maximum grade of 10 percent will also be provided up the escarpment to the southeast of the bridge crossing, supplementing other similar trail connections in the area.

Several future pathway connections have also been planned but will not be constructed as part of this initial stage. These include: a pedestrian bridge across West Nose Creek, a pathway connection on the east side of the creek, and a staircase in the northeast corner of the bridge.

144 Avenue NW (Sage Hill Drive to 24 Street NW) and bridge over West Nose Creek

These are planned to be constructed when the roadway is twinned and/or when the overall pathway network is extended to the north by area developers (see *Attachment 1, Figure 7*).

Bridge Structural Design & Aesthetics

An extensive bridge planning, evaluation, and value management process was undertaken to determine the optimal configuration of the bridge on 144 Avenue NW. In particular, The City evaluated options that both maintained and relocated the alignment of West Nose Creek. The selected bridge configuration includes the realignment of West Nose Creek which provided significant cost reductions, allowed for use of open abutments (instead of massive retaining walls), and improved the overall pathway experience and wildlife passage.

The ultimate roadway will feature two parallel bridges with a total of six lanes carrying the eastbound and westbound carriageways of 144 Avenue NW. The current project will construct the southerly bridge only, carrying two lanes eastbound (up the hill) and one lane westbound. However, the full bridge earth embankment fills are being constructed during this interim stage to readily allow for twinning in the future without additional impacts to the creek.

The West Nose Creek Bridge will be a 51 metre single-span concrete girder structure carrying 144 Avenue NW over West Nose Creek (see *Figure 2 below*). The bridge draws architectural inspiration from the surrounding natural area which features natural sandstone outcroppings; Bridge wingwalls feature a sandstone façade which frame the structure as it extends over the creek.

In addition to lighting under the bridge, the open span arrangement and high bridge clearance provide a large opening which will allow for ample natural light under the bridge.

Figure 2: 144 Avenue NW bridge over West Nose Creek



144 Avenue NW (Sage Hill Drive to 24 Street NW) and bridge over West Nose Creek

Noise Attenuation Walls

Noise attenuation walls are required on 144 Avenue NW east of West Nose Creek, bordering the community of Evanston (see *Figure 3 below*). The noise walls feature a painted bullrush scene on the side facing the roadway boulevard, which has been integrated with feature landscaping interspersed along the length of the wall. The side of the wall facing Evanston residents will have a simple ashlar/block stone appearance.

Figure 3: Noise attenuation wall along Evanston homes backing onto 144 Avenue NW



Landscaping and Creek Realignment

Proposed landscaping for the project will provide a natural transition from the West Nose Creek valley onto 144 Avenue NW. Feature landscaping, including planting clusters and benches, will be provided periodically along the pathway connections and boulevard areas to create visual interest and passive wayfinding.

A comprehensive restoration plan has been developed for the realigned segment of West Nose Creek, featuring the riparian planting of native vegetation and fish enhancements such as root wads and riffle-pool sequences; A smaller pilot channel meanders within the realigned creek. Natural rock generated by this project will be re-used in the creek as boulder clusters and for bank protection.

144 Avenue NW (Sage Hill Drive to 24 Street NW) and bridge over West Nose Creek

STAKEHOLDER ENGAGEMENT AND COMMUNICATION (EXTERNAL)

- ☒ Public Engagement was undertaken
- ☐ Public Communication or Engagement was not required
- ☐ Public/Stakeholders were informed
- ☐ Stakeholder dialogue/relations were undertaken

Three phases of public engagement occurred in 2018 and 2019 as part of the 144 Avenue NW Functional Planning Study. Public input informed the study in the development and selection of roadway alignment and profile options, creek crossing options, and evaluation criteria, as follows:

- Phase 1 – Discover ideas, opportunities, challenges, and evaluation criteria for the study area with stakeholders and the public;
- Phase 2 – Explore design concepts and evaluation results with stakeholders and the public; and
- Phase 3 – Reveal creek crossing options and recommended plans.

During the design stage, contact was made with the developers adjacent to 144 Avenue NW who are in various stages of planning and development. Discussions with these developers occurred and related to the following:

- Land dedication and access agreements;
- Design coordination including site interfaces, site servicing, and the connection of existing and future pathways; and
- Construction coordination including simultaneous operations.

In advance of construction (Fall 2021), communication with area residents has occurred through a project overview video available on the project website, and through a social media campaign. Homeowners who are adjacent to the proposed noise attenuation wall have been individually contacted to provide details about the wall and information about expected construction impacts. The project team has provided opportunities for specific meetings with homeowners who expressed further interest.

IMPLICATIONS

The 144 Avenue NW road and bridge project aligns with The City's sustainability policies, and will result in long-term social, environmental, and economic benefits. Completion of this connection supports residential and employment growth throughout north Calgary and provides an essential link in the transportation network for existing and future residents. Users of the West Nose Creek pathway system will benefit from improved connectivity, aesthetics, and recreational amenities.

The bridge is designed for a 100-year lifespan, and incorporates the use of durable, low maintenance materials to minimize lifecycle costs. The project team has worked closely with environmental regulators to minimize and mitigate impacts of the creek realignment, and

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144 Avenue NW (Sage Hill Drive to 24 Street NW) and bridge over West Nose Creek

provide natural replacement vegetation and habitat for the portion of the realigned West Nose Creek.

The total project (current interim stage) is estimated to cost \$49.8 million.

Ongoing annual operating budgets needed to maintain the new infrastructure are estimated at \$16,000 for the bridge structure and \$34,000 for the roadway (based on \$9,500 per lane - kilometer).

ATTACHMENT(S)

1. Renderings of the completed bridge and roadway

Department Circulation

General Manager/Director	Department	Approve/Consult/Inform
Doug Morgan	Transportation Department	Approve

Renderings of the completed bridge and roadway

Figure 1: 144 Avenue NW looking east from Sage Hill Drive NW



Figure 2: 144 Avenue NW and Symons Valley Road NW intersection looking east towards the community of Evanston



Figure 3: 144 Avenue NW looking west from the top of the bridge



Figure 4: 144 Avenue NW bridge over West Nose Creek



Figure 5: 144 Avenue NW looking east, adjacent to the community of Evanston



Figure 6: 144 Avenue NW adjacent to Evanston homes with their noise attenuation wall



Figure 7: 144 Avenue NW pathways

