



AGENDA

CALGARY PLANNING COMMISSION

January 23, 2020, 1:00 PM
IN THE COUNCIL CHAMBER
Members

Director M.Tita, Chair
Director R. Vanderputten, Vice-Chair
Councillor G. Chahal
Councillor E. Woolley
Commissioner H. Cameron
Commissioner P. Gedye
Commissioner L. Juan
Commissioner A. Palmiere
Commissioner K. Schmalz
Commissioner J. Scott
Mayor N. Nenshi

1. CALL TO ORDER
2. OPENING REMARKS
3. CONFIRMATION OF AGENDA
4. CONFIRMATION OF MINUTES
 - 4.1 Minutes of the Regular Meeting of the Calgary Planning Commission, 2020 January 09
5. CONSENT AGENDA
 - 5.1 DEFERRALS AND PROCEDURAL REQUESTS
None
 - 5.2 BRIEFINGS
None
 - 5.3 Land Use Amendment in Highland Park (Ward 4) at 4205 and 4207 – 2 Street NW,
LOC2019-0130, CPC2020-0068

- 5.4 Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 6620 – 36 Street NE, LOC2019-0147, CPC2020-0069

6. POSTPONED REPORTS
(including related/ supplemental reports)

None

7. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS
None

7.2 PLANNING ITEMS

- 7.2.1 Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW, LOC2019-0133, CPC2020-0089
- 7.2.2 Road Closure and Land Use Amendment in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368, CPC2020-0091
- 7.2.3 Outline Plan in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368 (OP), CPC2020-0090
- 7.2.4 Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129, CPC2020-0067
- 7.2.5 Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP), CPC2020-0066
- 7.2.6 Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386, CPC2020-0032
- 7.2.7 Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386 (OP), CPC2020-0033
- 7.2.8 Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101, CPC2020-0030
- 7.2.9 Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101(OP), CPC2020-0031
- 7.2.10 Land Use Amendment in Glendale (Ward 6) at 2005 - 37 Street SW, LOC, CPC2020-0078
- 7.2.11 Land Use Amendment in Forest Lawn (Ward 9) at 911 - 38 Street SE, LOC2019-0171, CPC2020-0042
- 7.2.12 Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007 – 17 Avenue NW, LOC2019-0167, CPC2020-0070

7.2.13 Policy Amendment and Land Use Amendment in Sherwood (Ward 2) at 12414 - 53
Street NW, LOC2019-0127, CPC2020-0084

7.3 MISCELLANEOUS ITEMS
None

8. URGENT BUSINESS

9. CONFIDENTIAL ITEMS

9.1 ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES
None

9.2 URGENT BUSINESS

10. ADJOURNMENT



INDEX FOR THE 2020 JANUARY 23 REGULAR MEETING OF CALGARY PLANNING COMMISSION

NOTE:
PLANS SUBMITTED TO THE COMMISSION, AS PART OF THE DEPARTMENTAL REPORTS,
ARE INCLUDED FOR THE SOLE PURPOSE OF ASSISTING THE COMMISSION IN MAKING
A DECISION AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

ISC: Unrestricted



CONSENT AGENDA

ITEM NO.: 5.1

DEFERRALS AND PROCEDURAL REQUESTS

ITEM NO.: 5.2

BRIEFINGS

ITEM NO.: 5.3

Kelsey Cohen

COMMUNITY:

Highland Park (Ward 4)

FILE NUMBER:

LOC2019-0130 (CPC2020-0068)

PROPOSED REDESIGNATION:

From: Residential – Contextual One / Two Dwelling
(R-C2) District

To: Residential – Grade-Oriented Infill (R-CG)
District

MUNICIPAL ADDRESS:

4205 and 4207 – 2 Street NW

APPLICANT:

Contemporary Projects

OWNER:

Edward Ng

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 5.4

Kelsey Cohen

COMMUNITY:

Saddle Ridge Industrial (Ward 5)

FILE NUMBER:

LOC2019-0147 (CPC2020-0069)

PROPOSED REDESIGNATION:

From: Industrial – Business f0.5 (I-B f0.5) District

To: Industrial – Business f0.75 (I-B f0.75) District

MUNICIPAL ADDRESS:

6620 – 36 Street NE

APPLICANT:

Eagle Builders

OWNER:

Jam Hospitality Inc

ADMINISTRATION RECOMMENDATION:

APPROVAL

PLANNING ITEMS

ITEM NO.: 7.2.1

Jennifer Maximattis-White

COMMUNITY:

Tuscany (Ward 1)

FILE NUMBER:

LOC2019-0133 (CPC2020-0089)

PROPOSED REDESIGNATION:

From: Special Purpose – Community Institution (S-CI)
District

To: Multi-Residential – Contextual Grade-Oriented (M-CGd57) District

MUNICIPAL ADDRESS:

157 Tuscany Summit Heath NW

APPLICANT:

O2 Planning and Design

OWNER:

Tuscany Estates Development Corporation

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.2

Peter Schryvers
(related to Item 7.2.3)

COMMUNITY:

Residual Sub-Area 02K (Ward 2)

FILE NUMBER:

LOC2017-0368 (CPC2020-0091)

PROPOSED CLOSURE:

1.81 hectares (4.47 acres) of road consisting of portions of the road allowance of 37th Street NW and 53rd Street NW

PROPOSED REDESIGNATION:

From: Special Purpose – Future Urban Development (S-FUD)
District and Undesignated Road Right-of-Way

To: Residential – Low Density Mixed Housing (R-G and R-Gm) Districts, Multi-Residential – At Grade Housing (M-G) District, Multi-Residential – Low Profile (M-1) District, Multi-Residential – Medium Profile (M-2) District, Multi-Residential – Low Profile Support Commercial (M-X1) District, Mixed Use – General (MU-1 f3.0h20) District, Commercial – Community 2 (C-C2 f2.0h24) District, Commercial – Neighbourhood 2 (C-N2) District, Special Purpose – City and Regional Infrastructure (S-CRI) District, Special Purpose – School, Park and Community Reserve (S-SPR) District, Special Purpose – Urban Nature (S-UN) District

MUNICIPAL ADDRESS:

14800, 15390 and 15505 Symons Valley Road NW and 3810, 3900 4040, 4500, 4800, 5200, 5290, 5400 and 6500 - 144 Avenue NW

APPLICANT:

Stantec Architecture

OWNER:

Various Landowners

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.3

Peter Schryvers
(related to Item 7.2.2)

COMMUNITY:

Residual Sub-Area 02K (Ward 2)

FILE NUMBER:

LOC2017-0368(OP) (CPC2020-0090)

PROPOSED OUTLINE PLAN:

Subdivision of 384.43 hectares ± (834.39 acres ±)

MUNICIPAL ADDRESS:

14800, 15390 and 15505 Symons Valley Road NW and
3810, 3900 4040, 4500, 4800, 5200, 5290, 5400 and
6500 - 144 Avenue NW

APPLICANT:

Stantec Architecture

OWNER:

Various Landowners

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.4

Brendyn Seymour
(related to Item 7.2.5)

COMMUNITY:

Yorkville (Ward 13)

FILE NUMBER:

LOC2019-0129 (CPC2020-0067)

PROPOSED REDESIGNATION:

From: Residential – Low Density Mixed Housing (R-G)
District, DC Direct Control District, Special
Purpose – School, Park and Community
Reserve (S-SPR) District and Special Purpose –
Urban Nature (S-UN) District

To: Residential – Low Density Mixed Housing (R-G)
District, Special Purpose – School, Park and
Community (S-SPR) District, Special Purpose –
Urban Nature (S-UN) District, Special Purpose –
City and Regional Infrastructure (S-CRI) District
and DC Direct Control District to accommodate
low density residential development

MUNICIPAL ADDRESS:

19515 Sheriff King Street SW

APPLICANT:

B&A Planning Group

OWNER:

Mattamy (Burgess) Limited and Macleod Farming &
Ranching Ltd

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.5

Brendyn Seymour
(related to Item 7.2.4)

COMMUNITY:

Yorkville (Ward 13)

FILE NUMBER:

LOC2019-0129(OP) (CPC2020-0066)

PROPOSED OUTLINE PLAN:

Subdivision of 15.54 hectares \pm (38.40 acres \pm)

MUNICIPAL ADDRESS:

19515 Sheriff King Street SW

APPLICANT:

B&A Planning Group

OWNER:

Mattamy (Burgess) Limited and Macleod Farming & Ranching Ltd

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.6

Joseph Yun
(related to Item 7.2.7)

COMMUNITY:

Springbank Hill (Ward 6)

FILE NUMBER:

LOC2017-0386 (CPC2020-0032)

PROPOSED CLOSURE:

0.39 hectares \pm (0.99 acre \pm) of road adjacent to 8259 - 17 Avenue SW

PROPOSED REDESIGNATION:

From: DC Direct Control District and Undesignated Road Right-of-Way

To: Commercial – Community 2 (C-C2 f1.0h20) District, Special Purpose – City and Regional Infrastructure (S-CRI) District, Special Purpose – School, Park and Community Reserve (S-SPR) District and DC Direct Control District to accommodate medium density residential development

MUNICIPAL ADDRESS:

7955, 8181 and 8259 – 17 Avenue SW

APPLICANT:

Stantec Consulting

OWNER:

Willowhurst Market LTD
The City of Calgary

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.7

Joseph Yun
(related to Item 7.2.6)

COMMUNITY:

Springbank Hill (Ward 6)

FILE NUMBER:

LOC2017-0386(OP) (CPC2020-0033)

PROPOSED OUTLINE PLAN:

Subdivision of 8.05 hectares \pm (19.88 acres \pm)

MUNICIPAL ADDRESS:

7955, 8181 and 8259 – 17 Avenue SW

APPLICANT:

Stantec Consulting

OWNER:

Willowhurst Market LTD
The City of Calgary

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.8

Morgan Huber
(related to Item 7.2.9)

COMMUNITY:

Springbank Hill (Ward 6)

FILE NUMBER:

LOC2018-0101 (CPC2020-0030)

PROPOSED REDESIGNATION:

From: DC Direct Control District

To: Residential – Low Density Mixed Housing (R-G) District, Multi-Residential – At Grade Housing (M-G) District, Special Purpose – School, Park and Community Reserve (S-SPR) District, Special Purpose – City and Regional Infrastructure (S-CRI) District, Special Purpose – Urban Nature (S-UN) District

MUNICIPAL ADDRESS:

2232, 2334, 2435 and 2436 - 85 Street SW and 8334 and 8484 Mystic Ridge Gate SW

APPLICANT:

Stantec Architecture

OWNER:

Wenzel Developments Inc. (Shane Communities)
Aspen Springs GP Ltd. (Slokker Canada West)
SCW Wenzel JV Inc

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.9

	Morgan Huber (related to Item 7.2.8)
COMMUNITY:	Springbank Hill (Ward 6)
FILE NUMBER:	LOC2018-0101(OP) (CPC2020-0031)
PROPOSED OUTLINE PLAN:	Subdivision of 11.48 hectares ± (28.36 acres ±)
MUNICIPAL ADDRESS:	2232, 2334, 2435 and 2436 - 85 Street SW and 8334 and 8484 Mystic Ridge Gate SW
APPLICANT:	Stantec Architecture
OWNER:	Wenzel Developments Inc. (Shane Communities) Aspen Springs GP Ltd. (Slokker Canada West) SCW Wenzel JV Inc
ADMINISTRATION RECOMMENDATION:	APPROVAL

ITEM NO.: 7.2.10

	Dino Civitarese
COMMUNITY:	Glendale (Ward 6)
FILE NUMBER:	LOC2019-0157 (CPC2020-0078)
PROPOSED REDESIGNATION:	From: Multi-Residential – Contextual Low Profile (M-C1) District To: Mixed Use – General (MU-1f2.2h14) District
MUNICIPAL ADDRESS:	2005 - 37 Street SW
APPLICANT:	Sarina Developments
OWNER:	Sarina Developments
ADMINISTRATION RECOMMENDATION:	APPROVAL

ITEM NO.: 7.2.11

Jennifer Cardiff

COMMUNITY:

Forest Lawn (Ward 9)

FILE NUMBER:

LOC2019-0171 (CPC2020-0042)

PROPOSED REDESIGNATION:

From: Residential – Contextual One Dwelling (R-C1)
District

To: Residential – Contextual One/Two Dwelling
(R-C2) District

MUNICIPAL ADDRESS:

911 – 38 Street SE

APPLICANT:

New Century Designs

OWNER:

Khuong Lim
Muy Hour Ngauv

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.12

Kelsey Cohen

COMMUNITY:

Mount Pleasant (Ward 7)

FILE NUMBER:

LOC2019-0167 (CPC2020-0070)

PROPOSED POLICY AMENDMENT:

Amendment to the 16 Avenue North Urban Corridor
Area Redevelopment Plan

PROPOSED REDESIGNATION:

From: Multi-Residential – Contextual Medium Profile
(M-C2) District

To: Mixed Use - General (MU-1f3.5h29) District

MUNICIPAL ADDRESS:

1007 – 17 Avenue NW

APPLICANT:

QuantumPlace Developments

OWNER:

Chen Ping Hsieh
Wen Liu

ADMINISTRATION RECOMMENDATION:

APPROVAL

ITEM NO.: 7.2.13

Manish Singh

COMMUNITY:

Sherwood (Ward 2)

FILE NUMBER:

LOC2019-0127 (CPC2020-0084)

PROPOSED POLICY AMENDMENT:

Amendment to the Symons Valley Community Plan

PROPOSED REDESIGNATION:

From: DC Direct Control District

To: Industrial – Commercial (I-C) District

MUNICIPAL ADDRESS:

12414 - 53 Street NW

APPLICANT:

NORR Architects Engineers

OWNER:

Cidex Holdings Ltd

ADMINISTRATION RECOMMENDATION:

APPROVAL



MINUTES
CALGARY PLANNING COMMISSION

January 9, 2020, 1:00 PM
IN THE COUNCIL CHAMBER

PRESENT: Director M. Tita, Chair
Director K. Fromherz, Vice-Chair
Councillor G. Chahal
Commissioner H. Cameron
Commissioner P. Gedye
Commissioner L. Juan
Commissioner A. Palmiere
Commissioner J. Scott

ALSO PRESENT: A/ Principal Planner M. Beck
A/ CPC Secretary G. Chaudhary
Legislative Advisor J. Palaschuk

1. CALL TO ORDER

Director Tita called the meeting to order at 1:01 p.m.

2. OPENING REMARKS

Director Tita provided opening remarks at today's Meeting.

3. CONFIRMATION OF AGENDA

Moved by Commissioner Scott

That the Agenda for the 2020 January 09 Regular Meeting of the Calgary Planning Commission be confirmed, **as amended by adding Item 5.2.1 Withdrawal of Application LOC2019-0151, CPC2019-1460 - CPC2020-0098 to the Briefings section of the Consent Agenda.**

MOTION CARRIED

4. CONFIRMATION OF MINUTES

4.1 Minutes of the Regular Meeting of the Calgary Planning Commission, 2019 December 19

Moved by Commissioner Cameron

That the Minutes of the 2019 December 19 Regular Meeting of the Calgary Planning Commission be confirmed.

MOTION CARRIED

5. CONSENT AGENDA

5.1 DEFERRALS AND PROCEDURAL REQUESTS

None

5.2 BRIEFINGS

5.2.1 Withdrawal of Application LOC2019-0151, CPC2019-1460 - CPC2020-0098

The following documents were distributed with respect to Briefing CPC2020-0098:

- Briefing CPC2020-0098; and
- Letter from the Applicant as an attachment to the briefing.

6. POSTPONED REPORTS

None

7. ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

7.1 DEVELOPMENT ITEMS

None

7.2 PLANNING ITEMS

None

7.3 MISCELLANEOUS ITEMS

None

8. URGENT BUSINESS

None

9. CONFIDENTIAL ITEMS

By general consent, and pursuant to Section 6(1) of the Procedure Bylaw 35M2017, as amended, the Calgary Planning Commission suspended Section 78(2)(b) in order to forego the scheduled afternoon recess.

Moved by Commissioner Juan

1. That Pursuant to Section 24 (advice from officials) of the *Freedom of Information and Protection of Privacy Act*, the Calgary Planning Commission move into Closed Meeting at 1:06 p.m., in the Council Boardroom, to discuss confidential matters with respect to Report CPC2020-0055 and Report CPC2020-0045; and
2. That Andrew Palmiere and Sarah Lumley, O2 Planning and Design, be permitted to address Commission with respect to Report CPC2020-0055, in the Closed Meeting.

MOTION CARRIED

Commission reconvened in Public Meeting at 5:40 p.m. with Director Tita in the Chair.

Moved by Director Fromherz, Vice-Chair

That Commission rise and report.

MOTION CARRIED

9.1 ITEMS FROM OFFICERS, ADMINISTRATION AND COMMITTEES

9.1.1 Heritage Preservation Planning Tools and Financial Incentives (Verbal), CPC2020-0055

Administration in attendance during the Closed Meeting discussion with respect to CPC2020-0055:

City Clerks: G. Chaudhary and J. Palaschuk. Advice: C. Ferguson, T. Gonzalez, I. Harper, L. Kahn, S. Pearce, A. Pollock, and P. Schryvers. Observing: R. Michalenko. External Advice: A. Palmiere. External Observing: S. Lumley.

Commissioner Palmiere declared a conflict of interest and abstained from voting with respect to Report CPC2020-0055.

Commissioner Palmiere left the Council Chamber at 5:41 p.m. and returned at 5:43 p.m., after the vote was declared.

Moved by Commissioner Gedye

That with respect to Confidential Verbal Report CPC2020-0055, the following be approved:

That the Calgary Planning Commission:

Direct that the closed meeting discussions remain confidential pursuant to Section 24 (advice from officials) of the *Freedom of Information and Protection of Privacy (FOIP) Act*, to be reviewed by 2020 April 30.

MOTION CARRIED

9.1.2 North Hill Communities Local Area Plan (Verbal), CPC2020-0045

The following items were distributed with respect to CPC2020-0045:

- A public document entitled "North Hill Communities Local Growth Planning"; and
- Two confidential documents.

Administration in attendance during the Closed Meeting discussion with respect to CPC2020-0045:

City Clerks: G. Chaudhary and J. Palaschuk. Advice: C. Ferguson, J. de Jong, P. Donker, T. Gonzalez, I. Harper, L. Kahn, S. Pearce, and P. Schryvers. Observing: K. Albany, S. Lockwood, E. MacIsaac, R. Michalenko, and C. Piechotta.

Commissioner Palmiere declared a conflict of interest and abstained from voting with respect to Report CPC2020-0045.

Commissioner Palmiere left the Council Chamber at 5:41 p.m. and returned at 5:43 p.m., after the vote was declared.

Moved by Councillor Chahal

That with respect to Confidential Verbal Report CPC2020-0045, the following be approved:

That the Calgary Planning Commission:

Direct that the closed meeting discussions and distributions remain confidential pursuant to Section 24 (advice from officials) of the *Freedom of Information and Protection of Privacy (FOIP) Act*, to be reviewed by 2020 March 31.

MOTION CARRIED

9.2 URGENT BUSINESS

None

10. ADJOURNMENT

Moved by Commissioner Juan

That this Meeting adjourn at 5:43 p.m.

MOTION CARRIED

The next Regular Meeting of the Calgary Planning Commission is scheduled to be held 2020 January 23 at 1:00 p.m.

CONFIRMED BY COMMISSION ON

CHAIR

ACTING CPC SECRETARY

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0068

Land Use Amendment in Highland Park (Ward 4) at 4205 and 4207 – 2 Street NW, LOC2019-0130

EXECUTIVE SUMMARY

This land use redesignation application was submitted by Contemporary Projects on behalf of the landowner, Edward Ng, on 2019 August 16. This application proposes to change the designation of two parcels from Residential – Contextual One / Two Dwelling (R-C2) District to Residential – Grade-Oriented Infill (R-CG) District to allow for:

- rowhouses in addition to building types already allowed (e.g. single detached homes, semi-detached, duplex homes and secondary suites);
- a maximum building height of 11 metres (an increase from the current maximum of 10 metres);
- a maximum of 9 dwelling units (an increase from the current maximum of 4 dwelling units); and
- the uses listed in the R-CG District.

The proposal is in keeping with applicable policies of the *Municipal Development Plan*.

Two development permits for two semi-detached dwellings (one for each parcel) have been submitted and are under review.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 0.13 hectares ± (0.32 acres ±) located at 4205 and 4207 – 2 Street NW (Plan 9811669, Block 4, Lots 11 and 12) from Residential – Contextual One / Two Dwelling (R-C2) District **to** Residential – Grade-Oriented Infill (R-CG) District; and
2. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

This land use redesignation application was submitted by Contemporary Projects on behalf of the landowner, Edward Ng, on 2019 August 16. Two development permits, DP2019-2463 and DP2019-2464, were submitted on 2019 May 16 for the development of a semi-detached dwelling on each parcel. As indicated in the Applicant Submission (Attachment 1), the applicant is redesignating the two parcels of land to R-CG so that the proposed semi-detached dwellings can be subdivided, as they do not meet the lot width requirements of the R-C2 District. See Attachment 2 for a summary of the development permits.

Approval(s): **T. Goldstein** concurs with this report. Author: **K. Cohen**

**Land Use Amendment in Highland Park (Ward 4) at 4205 and 4207 - 2 Street NW,
LOC2019-0130**



Site Context

The subject site is located in the northwest community of Highland Park on 2 Street NW, north of 40 Avenue NW. The site is approximately 0.13 hectares (0.32 acres) in size with approximate dimensions of 25 metres by 52 metres. A rear lane exists along the west end of the site. The site is currently developed with a semi-detached dwelling and accessory residential buildings, including a detached garage accessed from the rear lane.

Surrounding development is characterized by a mix of single and semi-detached dwellings, with Highland Valley Park located to the west across the rear lane. The predominant land use in this area is Residential – Contextual One / Two Dwelling (R-C2) District. The site is in close proximity to Centre Street N, a Main Street corridor.

As identified in *Figure 1*, the community of Highland Park reached peak population in 1969.

**Land Use Amendment in Highland Park (Ward 4) at 4205 and 4207 - 2 Street NW,
LOC2019-0130**

Figure 1: Community Peak Population

Highland Park	
Peak Population Year	1969
Peak Population	4,875
2018 Current Population	4,191
Difference in Population (Number)	-684
Difference in Population (Percent)	-14%

Source: The City of Calgary 2018 Civic Census

Additional demographic and socio-economic information may be obtained online through the [Highland Park](#) community profile.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

This proposal allows for a range of building types that are compatible with the established built form for the neighbourhood. The proposal meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

Planning Considerations

The following sections highlight the scope of technical planning and analysis conducted by Administration.

Land Use

The existing Residential – Contextual One / Two Dwelling (R-C2) District is a residential designation in developed areas that is primarily for single detached, semi-detached and duplex dwellings. Single and semi-detached dwellings may include a secondary suite. The R-C2 District allows for a maximum building height of 10 metres and a maximum of two dwelling units with two secondary suites.

The proposed Residential – Grade-Oriented Infill (R-CG) District allows for two to three-storey (11 metres maximum height) rowhouse developments where one façade of each dwelling unit must directly face a public street. The district provides for a maximum density of 75 units per hectare which would enable up to 9 dwelling units on the subject site, though the rules of the R-CG district including façade width requirements would realistically limit any rowhouse development to 5 units on the subject site. Also, the R-CG District allows for a range of other low-density housing forms such as single detached, semi-detached, duplex dwellings and secondary suites.

**Land Use Amendment in Highland Park (Ward 4) at 4205 and 4207 - 2 Street NW,
LOC2019-0130**

Development and Site Design

The rules of the proposed R-CG District will provide guidance for future site development including appropriate uses, building massing, height, landscaping and parking. Two semi-detached dwellings are proposed in DP2019-2463 and DP2019-2464. Both development permits were designed to meet the requirements of R-C2 and are therefore contextually appropriate.

Environmental

An Environmental Site Assessment was not required as part of this application. There are no environmental concerns associated with the site or this proposal.

Transportation

Pedestrian access to the site is available from an existing sidewalk along 2 Street NW. Vehicular access is currently provided from both the rear lane and an existing driveway on 2 Street NW, however, upon redevelopment all vehicular access will be directed to the rear lane. On-street parking is available on 2 Street NW.

The site is serviced by Calgary Transit with local standard transit bus stops located approximately 400 metres (five-minute walking distance) west of the site and 450 metres (six-minute walking distance) west of the site along 40 Avenue NW. Further, the site is within 600 metres of the future 40 Avenue N Station of the Green Line LRT. A Transportation Impact Assessment was not required as part of this application.

Utilities and Servicing

Water and sanitary mains are available and can accommodate potential redevelopment of the subject site without the need for off-site improvements at this time. Individual servicing connections as well as appropriate stormwater management will be considered and reviewed as part of a development permit.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to external stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

The Highland Park Community Association responded (Attachment 3) noting their concerns about the potential for a rowhouse with suites in R-CG, and that they would prefer an R-CGex designation. However, Administration had reviewed the R-CGex District and recommended against using this as it would also prevent the future development of secondary suites in the proposed semi-detached dwellings.

Land Use Amendment in Highland Park (Ward 4) at 4205 and 4207 - 2 Street NW, LOC2019-0130

Administration did not receive any citizen responses. The applicant engaged with the Highland Park Community Association. Further applicant or administration-led engagement was not requested.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) (SSRP) which directs population growth in the region to Cities and Towns and promotes efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Residential - Developed - Established area as identified on [Map 1: Urban Structure](#) in the [Municipal Development Plan](#) (MDP). The applicable MDP policies encourage redevelopment and modest intensification of established communities to make more efficient use of existing infrastructure, public amenities and transit. Such redevelopment is intended to occur in a form and nature that respects the scale and character of the neighbourhood context.

The proposal is in keeping with relevant MDP policies as the R-CG District provides for a modest increase in density in a form that is sensitive to existing residential development in terms of height, scale and massing.

The subject parcel is located approximately 400 metres from Centre Street North, which is identified as an Urban Main Street in the MDP. Urban Main Streets provide for a high level of residential and employment intensification along an Urban Boulevard street type. The MDP also identifies both Centre Street North as part of the Primary Transit Network.

There is no local policy plan for the subject area.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0068

**Land Use Amendment in Highland Park (Ward 4) at 4205 and 4207 - 2 Street NW,
LOC2019-0130**

Social, Environmental, Economic (External)

The recommended land use allows for a wider range of housing types than the existing district and as such, the proposed change may better accommodate the housing needs of different age groups, lifestyles and demographics. Further, the ability to develop two semi-detached dwellings with secondary suites, or up to five rowhouse units, will make more efficient use of existing infrastructure and services.

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Risk Assessment

There are no significant risks associated with this proposal.

REASON(S) FOR RECOMMENDATION(S):

The proposal is in keeping with applicable policies of the *Municipal Development Plan*. The proposed R-CG District is a low-density district and was designed to be implemented in proximity to or directly adjacent to low density residential development. The proposal represents a modest increase in density of an inner-city parcel of land, is still considered low-density and allows for development that has the ability to be compatible with the character of the existing neighbourhood.

ATTACHMENT(S)

1. Applicant Submission
2. Development Permit (DP2019-2463/ DP2019-2464) Summary
3. Community Association Letter

Applicant Submission

August 16, 2019

My name is Sarah Sy, and I am writing on behalf of my client and owner of the property 4205 and 4207 2nd Street NW.

We have recently submitted Development Permit applications for the design of two pairs of semi-detached homes on these parcels and unfortunately the Subdivision Department is not granting a 36cm parcel width relaxation. Therefore, they advised that a Land Use Amendment is the only alternative to receive proper subdivision for the development of semi-detached homes for these lots.

Please note that the intent of the Land Use Amendment will not be to further intensify the density of these lots past what we have proposed in the currently active Development Permits. We would like to propose to maintain the current building type (semi-detached) and proposed design shown in the current DP applications. We have already spoken to the Planning and Development Division of the City of Calgary and they have already modified the active DP permits to custom timelines running concurrent to and pending the approval of the proposed Land Use Amendments.

In discussions with the Planner, we are aware of the Community's sensitivities and concerns towards densification. However, our goal is to try to alleviate their concerns by proceeding with concurrent DP applications. We do acknowledge that we are proposing an R-CG land use designation mid-block. However, we have noticed existing/previously approved mid-block M-CG and DC designations nearby. The lots themselves are unique in the sense that they are nearly 52 metres (170 feet) deep, unfortunately, the original subdivision is slightly shy of 13 metres.

Highland Park is a flourishing inner city community with a very diverse demographic. The community is experiencing a healthy amount of development throughout the area. The semi-detached typology of housing is not uncommon in the community and the modest increase in density from 1 to 2 units per lot we are proposing, we feel, is acceptable given consideration of the following points:

1. Site proximity to multiple major public transit lines. The site is within 500m from Routes 2, 38, 3, 62, 64, 109, 116, 142, 300, and 301.
2. Immediate site proximity to signed bikeways along 40th Avenue and 3rd Street.
3. Proximity to schools & community amenities. The sites are within walking distance to both James Fowler High School and Buchanan Elementary.
4. Required vehicular parking will be contained on site, and all required setbacks and building height restrictions as per bylaw will be met.

Development Permit (DP2019-2463/DP2019-2464) Summary

Two development permit applications (DP2019-2463 and DP2019-2464) were submitted by Contemporary Projects on 2019 May 16. Each development permit application proposes a semi-detached dwelling with detached garage. The following excerpts (Figure 1 & 2) from the development permit submissions provide an overview of the proposals and are included for information purposes only.

Administration's review of the development permit will determine the ultimate building design and site layout details such as parking, landscaping and site access. No decision will be made on the development permit application until council has made a decision on this land use redesignation.

Development Permit (DP2019-2463/DP2019-2464) Summary

Figure 1: Streetscape



Community Association Letter



Highland Park Community Association
3716 2nd St. NW
Calgary, AB T2K 0Y4
Tel: (403)276-6969

October 31, 2019

Community Planning | Planning & Development
The City of Calgary

RE: LOC2019-0130 4205 and 4207 2 St NW

The Highland Park Community Association understands the rationale for a land use redesignation from R-C2 to R-CG, in order to accommodate two semi-detached homes on lots which are marginally narrower than required for R-C2. We also understand that the Development Permits for these semi-detached dwellings were submitted earlier this year and are being considered concurrently with the LOC application. We have been assured that the intention of the developer remains the construction of two semi-detached dwellings.

This address is mid-block within Highland Park. The surrounding dwellings are single family bungalows – some with basement suites – and new infill semi-detached homes, as is apparent from the drawings and photographs provided by the applicant in their submissions. It is noted that the lots are particularly deep and slope off significantly towards the rear. Considering that the density of these parcels is already doubling (from 2 housing units to 4), then we recommend that the land use be changed to R-CGex. An R-CG designation enables a maximum of 8 dwelling units on these 2 lots. The change to R-CGex would prohibit the potential development of secondary or backyard / garage suites, and restrict the density increase to a manageable and acceptable limit in context with the surrounding properties and streetscape.

The applicant's architect and representative has communicated with the community association at various times, and regrettably, we were unable to meet for a direct face-to-face discussion. However, we appreciated the communications and the explanation provided regarding the necessity for a land use change.

If you have any questions, please do not hesitate to contact me at development@highlandparkcommunity.ca or on my cell at 403-390-7705.

Thank you.

A handwritten signature in blue ink that reads 'D. Jeanne Kimber'.

D. Jeanne Kimber
On Behalf of the Highland Park Community Association

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0069

**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 6620 – 36 Street NE,
LOC2019-0147**

EXECUTIVE SUMMARY

This land use redesignation application was submitted by Eagle Builders LP on behalf of the landowner, Jam Hospitality Inc on 2019 September 19. This application proposes to amend the floor area ratio (FAR) modifier of an existing Industrial – Business (I-B) District to allow for:

- a maximum building height of 12 metres (no change from the current maximum);
- a maximum floor area ratio of 0.75 (an increase from the current maximum of 0.5); and
- the uses listed in the I-B District.

The proposal conforms with the *Saddle Ridge Area Structure Plan* and is in keeping with applicable policies of the *Municipal Development Plan*. A development permit application for a one-storey retail building has been submitted and is under review.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 1.64 hectares ± (4.04 acres ±) located at 6620 – 36 Street NE (Meridian 4, Range 29, Township 25, Section 10, Portion of Legal Subdivision 4) from Industrial – Business f0.5 (I-B f0.5) District **to** Industrial – Business f0.75 (I-B f0.75) District; and
2. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

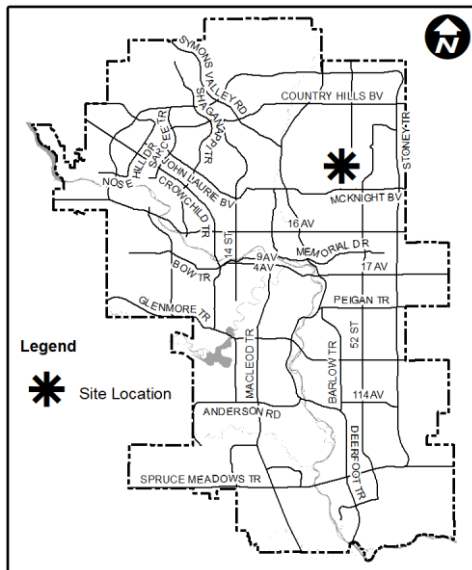
This land use redesignation application was submitted by Eagle Builders LP on behalf of the landowner, Jam Hospitality Inc on 2019 September 19. Their proposal is outlined in the Applicant's Submission (Attachment 1). A development permit application (DP2019-3744) was submitted on 2019 July 23 for a one-storey retail building, and is ready to be approved pending a decision on this land use amendment application. See Attachment 2 for a summary of the development permit.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0069

Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 6620 - 36 Street NE,
LOC2019-0147

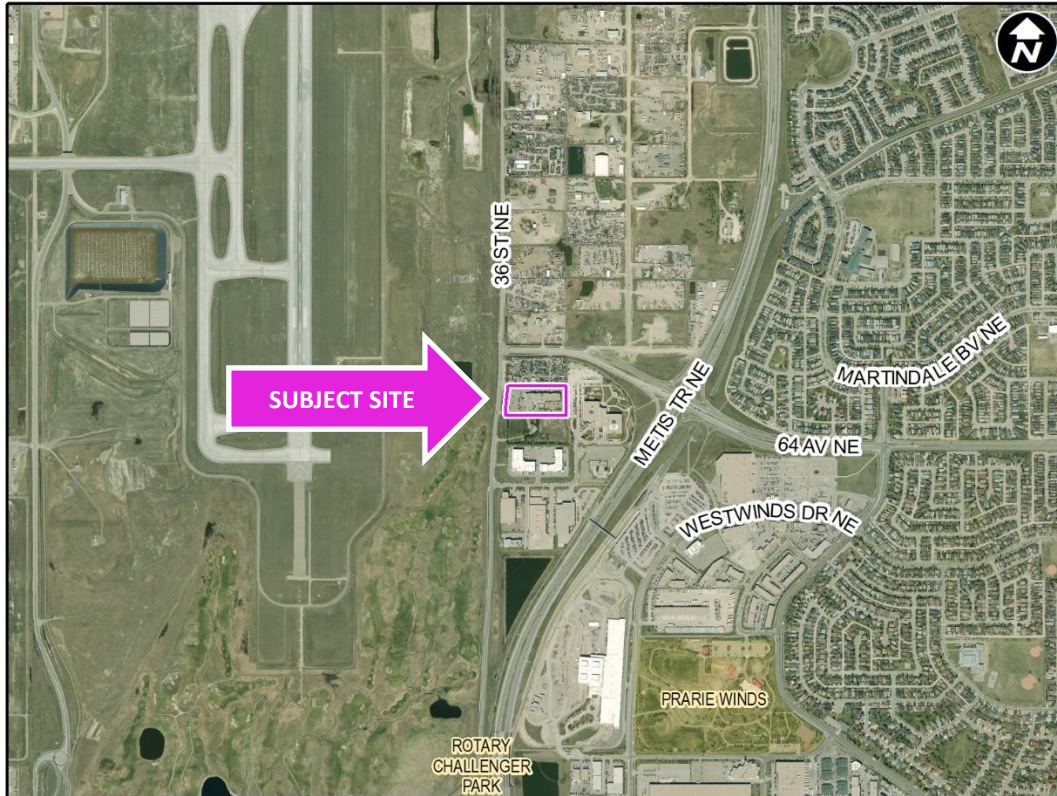
Location Maps



Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0069

**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 6620 - 36 Street NE,
LOC2019-0147**



Site Context

The subject site is located in the community of Saddle Ridge Industrial on the east side of 36 Street NE, south of 64 Avenue NE. The site is approximately 1.64 hectares (4.04 acres) in size, with approximate dimensions of 180 metres by 91 metres. The site is currently developed with a 3-storey hotel and restaurant.

The surrounding area is characterized by predominantly industrial and office uses. The Calgary International Airport is located west of the site across 36 Street NE. The parcel immediately east of the site contains the ATB Financial Calgary Campus.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

This land use amendment will further facilitate the development of the subject site in a way that is contextually appropriate. This will contribute to the growth of this developing industrial area, as envisioned by the *Municipal Development Plan* and the *Saddle Ridge Area Structure Plan*.

**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 6620 - 36 Street NE,
LOC2019-0147**

Planning Considerations

The following sections highlight the scope of technical planning and analysis conducted by Administration.

Land Use

The subject site is currently designated as the Industrial – Business f0.5 (I-B f0.5) District. The district is intended to be characterized by prestige, high quality, manufacturing, research and office developments.

The proposed change to the modifiers would maintain the existing I-B District while increasing the maximum Floor Area Ratio (FAR) to 0.75, allowing for the construction of a one-storey retail building on the site next to an existing hotel. This building would provide support retail services for surrounding businesses, as well as guests of the hotel.

Development and Site Design

The rules of the proposed I-B District will provide guidance for future site development including appropriate uses, building massing and height, landscaping and parking. Given the specific context of this site, development permit evaluation has focused on integrating the retail building with the existing development on the site.

Environmental

No significant environmental issues were identified. An Environmental Site Assessment was not required.

Transportation

Pedestrian access to the site is available from a pathway along the eastern edge of the site. The site is a 9-minute walk (roughly 800 metre) from McKnight-Westwinds LRT Station. Vehicular access is available from 36 Street NE.

Utilities and Servicing

Water and sanitary mains are available and can accommodate potential redevelopment of the subject site without the need for off-site improvements at this time. Individual servicing connections as well as appropriate stormwater management will be considered and reviewed as part of a development permit.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0069

Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 6620 - 36 Street NE, LOC2019-0147

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to external stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

No responses from the public were received, and there is no Community Association for this area. No further engagement was conducted by the applicant or Administration.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) (SSRP) which directs population growth in the region to Cities and Towns and promotes efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Standard Industrial area as identified on [Map 1: Urban Structure](#) in the [Municipal Development Plan](#) (MDP). The MDP notes that uses that support the industrial function of the area and cater to the day-to-day needs of area businesses and their employees may be supported.

Saddle Ridge Area Structure Plan (Statutory – 1984)

The site is located within Development Cell F of the [Saddle Ridge Area Structure Plan](#) (ASP). It is indicated as Industrial on the land use map. The purpose of this area is to provide for the development of a fully serviced industrial park. The site is fully serviced and is designated as an industrial district.

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ISC: UNRESTRICTED
CPC2020-0069

**Land Use Amendment in Saddle Ridge Industrial (Ward 5) at 6620 - 36 Street NE,
LOC2019-0147**

Calgary International Airport Vicinity Protection Area Regulation (2009)

The subject site is located entirely within the 35-40 NEF (Noise Exposure Forecast) and the 40 NEF Contours. The Calgary International Airport Vicinity Protection Area Regulation (AVPA) is intended to ensure compatible development around the airport and mitigate the impacts of aircraft noise through the prohibition of certain land uses. No residential uses would be allowed within the proposed land use redesignation area as a result of the restrictions put in place by the AVPA. This application is proposing a use that is in compliance with the AVPA Regulation.

Social, Environmental, Economic (External)

Increasing the maximum FAR will allow for the construction of an additional building on the site, which provides more efficient use of land and existing infrastructure within walking distance of an LRT station.

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed amendments do not trigger capital infrastructure investment and there are no growth management concerns at this time.

Risk Assessment

There are no significant risks associated with this proposal.

REASON(S) FOR RECOMMENDATION(S):

The proposal is in keeping with the applicable policies of the *Stoney Industrial Area Structure Plan* and the *Municipal Development Plan*. The proposal represents a modest increase in the commercial area of an industrial park which will be compatible with the surrounding land uses.

ATTACHMENT(S)

1. Applicant Submission
2. Development Permit (DP2019-3744) Summary

Applicant Submission

July 23, 2019

We would like to apply for Re-designation of 6620 36 ST NE Calgary (Lot 2, Block 4, 2474JK). The Re-designation is to increase the F.A.R. from 0.5 to 0.75. Currently the site is a Hotel and conference center that makes up an F.A.R. of 0.5. The proposed CRU building would bring the site to around 0.6 for an F.A.R.. The CRU building would bring some small retail and consumer services to the local area benefiting local businesses and the travelers staying in the hotel. As shown in the attached documents the lot directly north of this site is currently designated with an F.A.R. of 3.0.

Development Permit (DP2019-3744) Summary

A development permit applications (DP2019-3744) was submitted by Eagle Builders LP on 2019 July 23. The development permit application proposes a new retail building on the site of an existing hotel. The following excerpts (Figure 1 & 2) from the development permit submission provide an overview of the proposal and are included for information purposes only.

Administration's review of the development permit will determine the ultimate building design and site layout details such as parking, landscaping and site access. No decision will be made on the development permit application until council has made a decision on this land use redesignation.

Figure 1: Rendering (view from southeast)



Planning & Development Report to
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2020 January 23

ISC: UNRESTRICTED
CPC2020-0089

Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW, LOC2019-0133

EXECUTIVE SUMMARY

This application was submitted on 2019 August 23 by O2 Planning and Design, on behalf of the landowner, Tuscany Estates Development Corporation. The application proposes the redesignation of approximately 1.65 hectares (4.08 acres) in the northwest community of Tuscany from Special Purpose – Community Institution (S-CI) District to Multi-Residential – Contextual Grade-Oriented (M-CG) District. The application provides for:

- a multi-residential development with some or all units with direct access to grade;
- a maximum of 93 dwelling units, based on the density modifier of 57 units per hectare;
- a maximum building height of 12 metres (a decrease from the current maximum of 16 metres); and
- the uses listed in the M-CG District.

The proposal aligns with the applicable policies of the *Municipal Development Plan (MDP)* and the *West Scenic Acres Area Structure Plan (ASP)*.

A development permit has not been submitted at this time.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing: and

1. **ADOPT**, by bylaw the proposed redesignation of 1.65 hectares ± (4.08 acres ±) located at 157 Tuscany Summit Heath NW (Plan 1610744; Block 90; Lot 129) from Special Purpose – Community Institution (S-CI) District to Multi-Residential – Contextual Grade-Oriented (M-CGd57) District; and
2. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

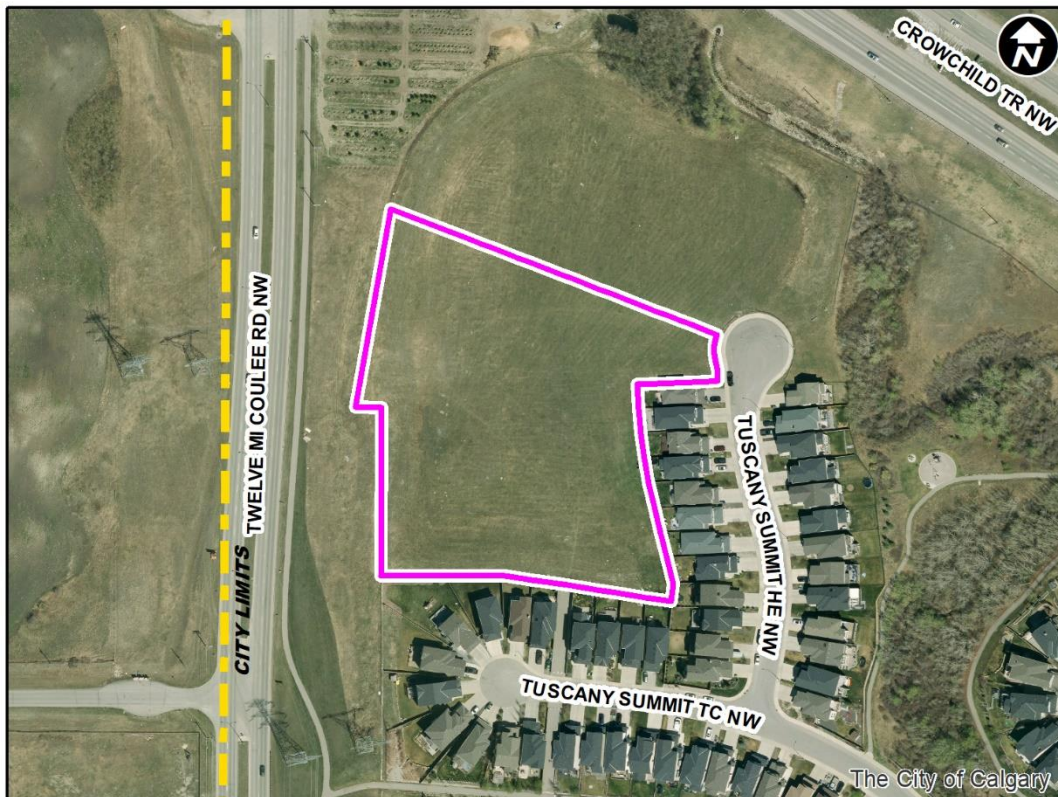
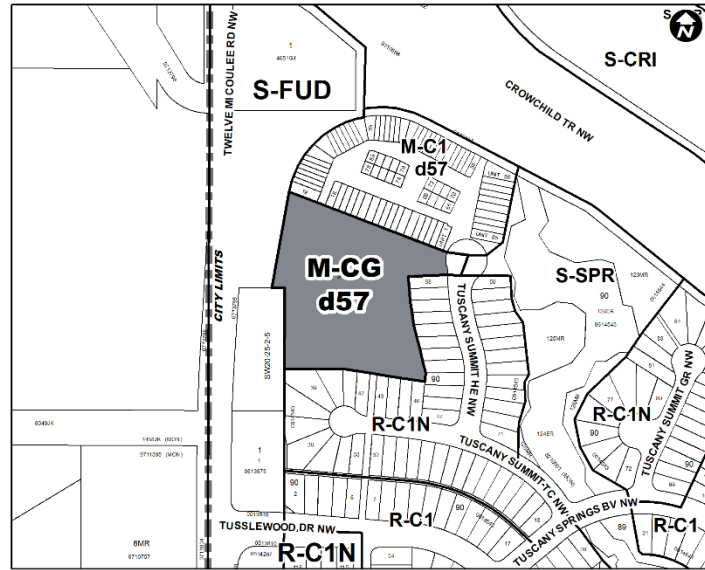
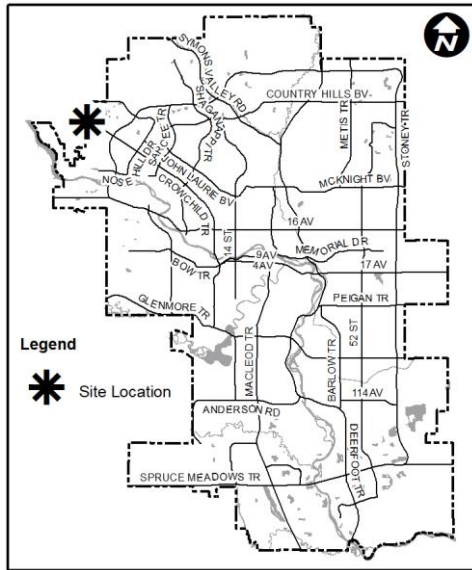
O2 Planning and Design on behalf of Tuscany Estate Development Corporation submitted the subject application to The City on 2019 August 23. The Applicant's Submission (Attachment 1) provides a summary of the proposal and indicates the landowners' intent to redesignate the property to allow for multi-residential development in the form of townhouses. A concept plan provided by the applicant shows 89 townhouse units with publicly accessible open space and primary vehicular access from Tuscany Summit Health NW (Attachment 2).

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0089

Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW,
LOC2019-0133

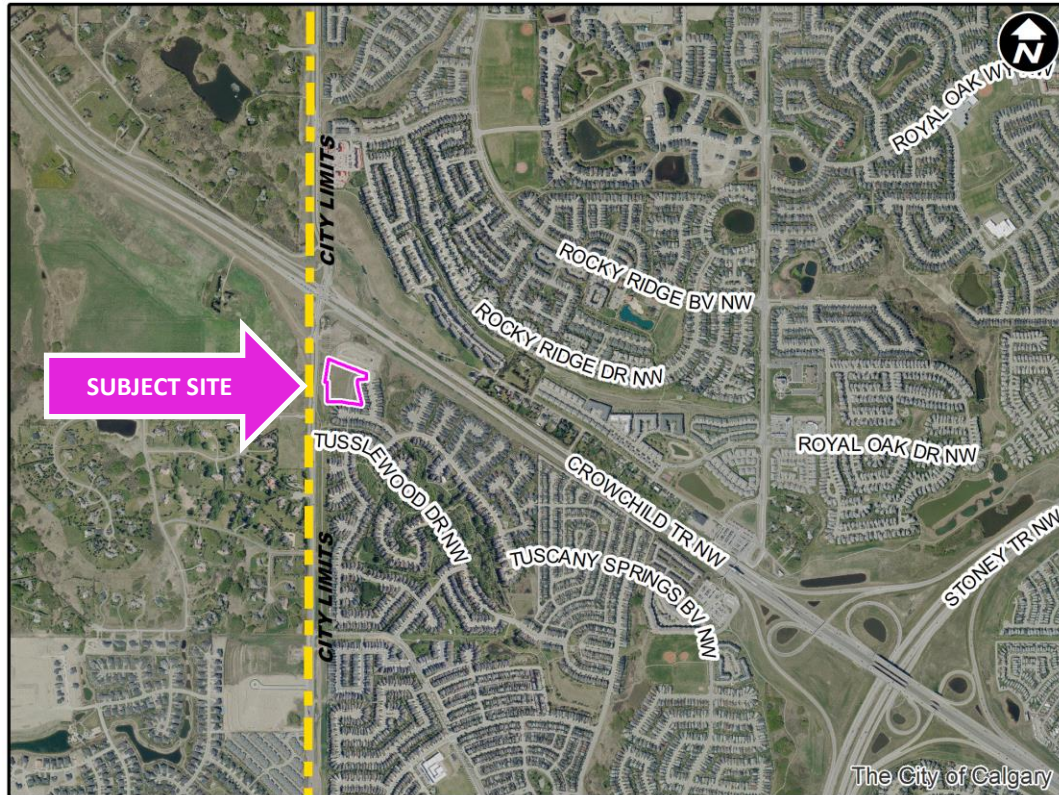
Location Maps



Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0089

**Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW,
LOC2019-0133**



Site Context

Located at the western edge of the city boundary within the northwest community of Tuscany, the site is approximately 1.65 hectares (4.08 acres) in size. The site is currently vacant, graded and contains little vegetation. The site is generally level with a slope, rising from east to west, along the western boundary adjacent to Twelve Mile Coulee Road NW.

There is currently no primary vehicular access to the subject site from Twelve Mile Coulee Road NW. Access is proposed to come from the existing Tuscany Summit Heath NW cul-de-sac, located at the northeast section of the site. A secondary/emergency access is present at the southern edge of the subject site with access to Tusslewood Drive NW.

The site is bounded by single detached development to the east and south, designated Residential – Contextual Narrow Parcel One Dwelling (R-C1N) District. Multi-residential development in the form of townhouses exists to the north, designated Multi-Residential – Contextual Low Profile (M-C1d57) District. The intersection of Twelve Mile Coulee Road NW and Crowchild Trail NW is located to the northwest of the subject site.

As identified in *Figure 1*, Tuscany achieved its peak population in 2015.

**Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW,
LOC2019-0133**

Figure 1: Tuscany Peak Population

Tuscany	
Peak Population Year	2015
Peak Population	19,737
2018 Current Population	19,723
Difference in Population (Number)	-14
Difference in Population (Percent)	-0.001%

Source: The City of Calgary 2018 Civic Census

Additional demographic and socio-economic information may be obtained online through the [Tuscany](#) community profile.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

The application initially proposed to redesignate the subject site from S-CI to Multi-Residential – Contextual Low Profile (M-C1d57) District, the same land use district as the adjacent property to the north. Following the review stage the applicant was encouraged to explore a district that would allow a more appropriate built form due to the citizen concerns received and the applicant's intention to build a townhouse development. The M-C1 District is more commonly characterized by apartment buildings rather than units with direct access to grade. In addition, M-C1 allows for a maximum height of 14 metres, while M-CG allows for a maximum height of 12 metres which is more in keeping with the local context. The applicant worked with Administration and amended the application to the proposed M-CG District with no changes to the density modifier.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Land Use

The subject site was previously owned by Foothills Lutheran Church of Calgary and was designated S-CI at the 2014 February 10 Combined Meeting of Council. The existing district allows for large scale culture, worship, education, health and treatment facilities that are sensitive to the context when located in residential areas. The redesignation was intended to allow for a 310 seat place of worship and a preschool with up to 48 children. No development has occurred as a result of this land use redesignation and the Foothills Lutheran Church of Calgary has subsequently sold the site.

This application proposes to redesignate the land to the M-CG District which is intended to be characterized by low height and low density multi-residential development (primarily townhouses and fourplexes) with entrances to units directly at grade. Single detached and semi-detached development is also allowed. The M-CG District is intended to be located adjacent to low-density residential development with heights, setbacks and landscaping that sensitively respond to adjacent development.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0089

Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW, LOC2019-0133

A density modifier of 57 units per hectare has been proposed, which is the same density modifier as the property adjacent to the north. This would allow for a maximum of 93 units on the site.

Development and Site Design

A development permit application has not yet been submitted. However, the applicant has provided a concept plan indicating the intention to build an 89 unit townhouse development with publicly accessible open space and a pedestrian connection to Twelve Mile Coulee Road NW. At the development permit stage, key factors will be considered, including but not limited to:

- building interface and grade orientation of all units proposed;
- design of publically accessible open space;
- pedestrian connections through the development area;
- respect for the immediate context and privacy of adjacent residential development;
- adequate parking for residents and visitors; and
- appropriate emergency response/secondary access provisions.

Environmental

There are no environmental concerns associated with the subject site or this proposal.

Transportation

A Transportation Impact Assessment was submitted in support of this land use amendment proposal and was accepted.

Primary access for the development is available from Tuscany Summit Heath NW. Tuscany Summit Heath NW was designed and built to a modified collector street standard to accommodate higher intensity development on the subject site and adjacent (M-C1d57) lands. A secondary access in the form of an existing emergency access is available off of Tuscany Summit Terrace NW.

Transportation has reviewed the potential impacts posed by the proposed redesignation and is satisfied that the transportation network will continue to function at acceptable standards. The Tuscany LRT Station is located approximately 1.5 kilometres (20 minute walking distance) east of the subject site. Bus Routes 74 and 174 are available at the intersection of Tuscany Springs Boulevard NW and Tusslewood Drive NW, approximately 340 metres (4 minute walking distance) from the subject site with direct service to the LRT station.

Utilities and Servicing

Water, sanitary sewer and storm sewer mains are available to service the subject site. Any potential upgrades, and appropriate storm water management will be determined at the development permit stage.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0089

Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW, LOC2019-0133

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to external stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

The Tuscany Community Association was circulated as part of this application and comments were received (Attachment 3). The Tuscany Residents Association was also circulated and a letter was provided (Attachment 4).

Administration received 37 letters in response to the application. A petition with 103 signatures was also submitted in opposition to the proposed redesignation. Key themes that emerged from the letters received are as follows:

- there is not adequate infrastructure to support the proposed development;
- proposed access to the site from the existing cul-de-sac is not adequate for a project of this density and the development will increase traffic in the area to an unacceptable level and result in safety concerns;
- the quality of life of the current residents will be reduced as a result of the development;
- the development will reduce property values in the area;
- schools are already overcrowded;
- single family development may be more appropriate given the surrounding context;
- a development permit application should be submitted concurrently so residents will have a better understanding of the development that will actually occur;
- residential development was never planned in this area;
- undeveloped lot is currently used by residents as an amenity/open space;
- construction will create noise and safety concerns in the area
- there is already enough development in Tuscany; and
- drainage/stormwater will need to be addressed.

In response, the applicant undertook an engagement process to share information on the proposal and gather feedback. They held an open house, hosted a booth at the annual Tuscany Harvest Festival and met directly with the Community Association. The result of this engagement is included in the applicant's 'What We Heard Report' (Attachment 5).

As a result of feedback received the applicant amended the proposal from Multi-Residential – Contextual Low Profile District (M-C1) to M-CG. This reduces the allowable height proposed from 14 metres to 12 metres and ensures that the majority of units within the development will have direct access at grade.

Administration considered the relevant planning issues raised by the public submissions and the applicant-led engagement, and has determined the proposal to be appropriate. The design compatibility of discretionary uses with respect to the adjacent neighbours, the surrounding neighbourhood, and parking requirements will be reviewed at the development permit stage.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0089

Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW, LOC2019-0133

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan \(SSRP\)](#) which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject parcel is located within the Planned Greenfield with Area Structure Plan (ASP) area as identified on Map 1: Urban Structure in the [Municipal Development Plan \(MDP\)](#). The MDP states that any specific direction on the community's development will be provided in the Area Structure Plan.

The Planned Greenfield areas are located on the periphery of the city and are typically characterized by low-density residential neighbourhoods with single-family housing, smaller pockets of multi-family and locally oriented retail in the form of strip developments.

West Scenic Acres Area Structure Plan (Statutory – 1993)

The subject site is located within the [ASP's](#) Residential Area as identified on Map 2: Land Use/Transportation. Residential areas are intended to provide a wide range of options including low density residential and multi-residential development. Multi-residential areas are intended to follow the guidelines of the MDP for densification. In this instance, the subject site is located at the edge of the community, is in close proximity to transportation infrastructure and is adjacent to other multi-residential development.

Social, Environmental, Economic (External)

The land use amendment will allow for a greater diversity of housing types at the edge of the City in proximity to existing transportation infrastructure. The proposed land use will increase density within an already established area.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0089

**Land Use Amendment in Tuscany (Ward 1) at 157 Tuscany Summit Heath NW,
LOC2019-0133**

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed land use amendment does not trigger capital infrastructure investment and there are no growth management concerns at this time.

Risk Assessment

There are no significant risks associated with this proposal.

REASON(S) FOR RECOMMENDATION(S):

The proposal is in keeping with applicable policies of the *Municipal Development Plan* and the *West Scenic Acres Area Structure Plan*. The M-CG District is intended to be located adjacent to low density residential development and will allow a sensitive transition. The proposal provides multi-residential development at the edge of the community of Tuscany, adding a greater diversity of housing in close proximity to transportation infrastructure.

ATTACHMENT(S)

1. Applicant's Submission
2. Concept Plan
3. Community Association Letter
4. Residents Association Letter
5. What We Heard Report

Applicant's Submission

November 21, 2019

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Applicant's Submission

On behalf of Tuscany Estates Development Corporation, O2 Planning + Design submitted this application to redesignate the parcel located at 157 Tuscany Summit Heath NW to facilitate a townhouse development at the northwestern edge of Tuscany. The site is currently designated Special Purpose – Community Institution (S-CI) which enables large scale culture, worship, education, and health and treatment facilities. This application seeks to redesignate the site to Multi-Residential – Contextual Grade-Oriented with a density modifier of 57 units per hectare (M-CG d57). The proposed land use is well suited for this site as it accommodates multi-residential development in a manner that reflects the immediate context and enables an appropriate transition between the approved 85-unit townhouse development to the north (M-C1 d57) and the low-density residential uses to the south and east.

This application initially proposed the same M-C1 (d57) land use as the approved development to the north. However, throughout the engagement process it became clear that the community is concerned about M-C1's potential to accommodate larger apartment buildings. Responding to this, the applicant revised the proposed land use to M-CG (d57), providing the community with the assurance that the proposed development will be ground-oriented townhouses with a maximum height of 12.0 metres.

The site is located southeast of the intersection of 12 Mile Coulee Rd NW and Crowchild Trail NW. The area is well served by parks and benefits from a network of multi-use pathways that provide connectivity throughout the area. Several bus routes can be easily walked to from the site and provide convenient access to the LRT. The site's proximity to Crowchild Trail enables quick vehicular access to Calgary's road network.

Access to the site is provided by Tuscany Summit Heath NW. A TIA has been prepared, which concludes that the proposed development's anticipated trip generation can be accommodated by the existing street network.

Development of the subject site is regulated by Calgary's Municipal Development Plan (MDP) and the West Scenic Acres Area Structure Plan (ASP). The MDP identifies the site within the *Planned Greenfield Communities* designation. This designation defers to the ASP for development policy. The ASP indicates the subject site as residential, which allows for the proposed redesignation.

In summary, the proposed development will benefit the community of Tuscany and help achieve the City of Calgary's growth and development objectives in the following key ways:

- **Housing Diversity:** The proposed development will provide an increase in residential density and greater variety in housing stock at the edge of the City.
- **Transit Support:** With convenient access to bus routes and connections to the LRT, the proposed development will support the City's significant transit investment.
- **Transition:** M-CG enables a transition between the approved development to the north and low-density uses to the south and east.

Throughout the application process, Tuscany Estates Development Corporation, along with O2 Planning + Design, worked collaboratively with officials at the City of Calgary, representatives from the local Councillor's office, and residents of Tuscany. Public engagement activities included a focused meeting with the Community Association, an adjacent neighbours meeting, and a pop-up engagement booth at Tuscany's annual Harvest Festival. The feedback gathered is summarized in a What We Heard Report.

Community Association Letter



September 25, 2019

Circulation Control
Planning and Development
The City of Calgary
By Email to cpag.circ@calgary.ca

Re: File Number LOC2019-0133, 157 Tuscany Summit Heath NW

The Tuscany Community Association (TCA) does not object to the above noted Land Use Amendment application. However, the TCA raises the following suggestions, concerns, and comments regarding this application:

Suggestions

- The TCA suggests that this Land Use Amendment application, regardless of any subsequent revisions, be processed and completed concurrently with a Development Permit (DP) application process.
 - It is the opinion of the TCA that some of the concerns raised by the adjacent neighbours at the open house on September 18, 2019, could be addressed by a concurrent DP process. Further, given that this is the last piece of greenfield development land in Tuscany, it is essential it is developed to a high standard that fits in well with the established neighbourhood.
- The TCA suggests that this land is better suited to one of the following Land Use Designations:
 - R-C1 for development of single family residences in line with the neighbouring streets. This would have the added benefit of addressing some of the concerns of the neighbours on Tuscany Summit Heath NW and Tuscany Summit Terrace NW who are worried about their property values being subjected to downward pressure as a result of the adjacent, lower cost, higher density housing stock.
 - R-C2 to allow a higher density than R-C1 but more in line with the adjacent, existing, single family detached homes within this area.
 - DC/M-C1 guidelines. The suggestion of a DC Bylaw would be to limit the maximum number of units on the site. The currently allowed maximum of 94 units is significant and concerning given the already high number of units planned for the neighbouring Tuscan Rise development. The TCA, while not proposing a specific number, would suggest considering a limit to the unit maximum to somewhere between 60% and 80% of the otherwise permitted maximum of 94 units. This would allow for more green

GROWING A SAFE, HEALTHY AND ENJOYABLE COMMUNITY

Tuscany Community Association
P.O. Box 27030
Tuscany RPO
Calgary, AB T3L 2Y1
www.tuscanyca.ca

Community Association Letter



space on the site, lower density than otherwise proposed, less of an impact to the traffic volume of the adjacent streets, less impact on the services in the area, and would likely help address some of the neighbours' concerns.

Concerns

- This location is not ideally situated for a large scale, higher density development. Its location within the community has limited access points (notably one), it is outside the 600m radius to the Tuscany LRT Station, and it is located near where a future interchange is planned between Twelve Mile Coulee Road NW and Crowchild Trail NW. Further, the TCA questions if this density is wanted nor desirable in this particular location. Given the seemingly slow sales of the adjacent Tuscan Rise multi-family townhouse development, it is unclear what the time horizon would be to sell out the currently anticipated 89 units of this proposed development.
- The TCA is concerned about the traffic increase during the construction phase as well as once constructed. Although the affected roads were built to a higher standard, the construction traffic leading to the current Tuscan Rise development has raised concerns from the residents on Tuscany Summit Heath NW and Tuscany Summit Terrace NW. Specifically, concerns have been noted regarding the speed and volume of construction vehicles accessing these two roads.
- The TCA asks that special consideration be given to the slope on the west side of the subject site. While the TCA acknowledges that this is a consideration for the Development Permit phase, the TCA asks that it be noted and kept in mind throughout the process.

Comments

- The TCA notes that so far O2 Planners has engaged with the TCA in a meeting with the community association in mid-July 2019 as well as inviting the TCA to attend an Adjacent Neighbours Open House on September 18, 2019. The TCA appreciates the engagement to date and hopes it continues through this process and any subsequent Development Permit application(s) for the subject site.
- The TCA notes that Tuscany currently has no religious institutions within its boundaries and is one of the few communities in the city which falls into this category. The subject land was originally designated for a church, and while the TCA does not believe this is a reason to reject the application, it is something worth noting in the overall weighing of it.

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Community Association Letter



In conclusion, the TCA does not object to this Land Use Amendment application. The TCA understands that there is some apprehension regarding this application given the location, proposed density, proximity to the neighboring development currently under construction, and various traffic considerations (both during construction and post-construction) and asks that the above noted concerns and suggestions be investigated, addressed, and weighed appropriately throughout the application process.

Thank you for your time and consideration of this submission.

Sincerely,

A handwritten signature in blue ink that reads "Tim Heger".

Tim Heger
Director, Tuscany Community Association
on behalf of the Tuscany Community Association

GROWING A SAFE, HEALTHY AND ENJOYABLE COMMUNITY

Tuscany Community Association
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Tuscany RPO
Calgary, AB T3L 2Y1
www.tuscanyca.ca

Residents Association Letter



212 Tuscany Way NW, Calgary, Alberta, T3L 2J6
403-241-6402

September 26, 2019

Circulation Control
Planning and Development, The City of Calgary
By Email to cpag.circ@calgary.ca

Re: File number LOC2019-0133, 157 Tuscany Summit Heath NW

The Tuscany Residents Association (TRA) is a not for profit company governed by the Companies Act and was created to ensure the long term maintenance and management of certain features, amenities, and facilities of the community for the benefit of the member residents. The TRA sets a desired course for the use of common facilities, such as the Tuscany Club and other Amenities and helps to ensure their fiscal sustainability over time. The vast majority of the homes, townhomes, and condominiums in Tuscany have their title encumbered with the Tuscany Encumbrance Annual Rent Charge which confers membership in the TRA, grants access to the facilities owned and maintained by the TRA, and serves as the primary funding source for the TRA.

The TRA respectfully submits the following comments for consideration regarding this application:

Comments

- Most recently, Homes by Avi completed a subdivision on a greenfield development site in Tuscany and chose to encumber the households. This immediately provided those new homeowners membership in the TRA.
- By not encumbering the properties within a new development, confusion can occur for future purchasers, especially if a developer is advertising to potential buyers that a recreation facility exists within the community. New homeowners expect immediate membership and may be surprised when they enquire at the TRA for membership privileges and find this is not included with their property.
- Tuscany is an ELM (Enhanced Landscape Maintenance) community. The TRA is one of two Residents Associations that subsidizes enhanced landscaping in the community funded by the annual membership fee. Without the encumbrance on new properties, these new homeowners reap the benefits of an ELM community without contributing, which is not fair to the other nearly 6,000 member households.

As a result of the above, the TRA encourages the City of Calgary to make a condition of the Land Use Amendment the requirement that all properties of this development be encumbered with the Tuscany Encumbrance Annual Rent Charge.

Thank you for your consideration of this submission.

Sincerely,

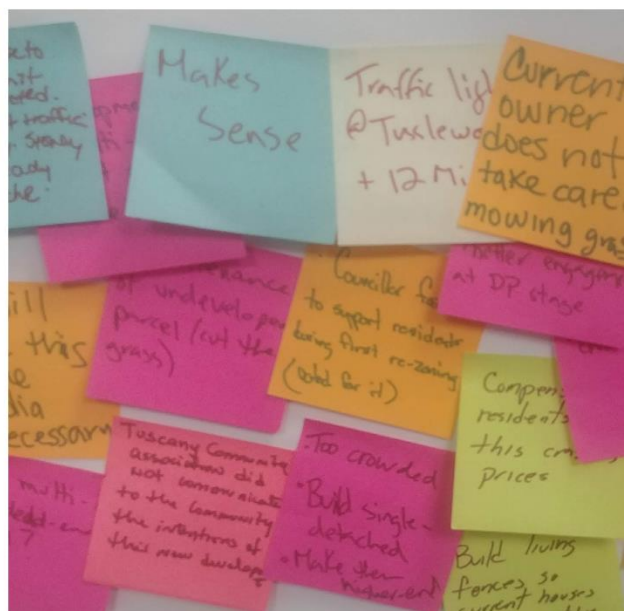
A handwritten signature in blue ink that reads "Tim Heger". The signature is fluid and cursive.

Tim Heger
President, Tuscany Residents Association

What We Heard Report

157 Tuscany Summit Heath NW What We Heard

Engagement & Communication Overview | Fall 2019



What We Heard Report

PROJECT BACKGROUND

Tuscany Estates Development Corporation intends to develop the parcel located at 157 Tuscany Summit Heath NW into a multi-residential townhouse development.

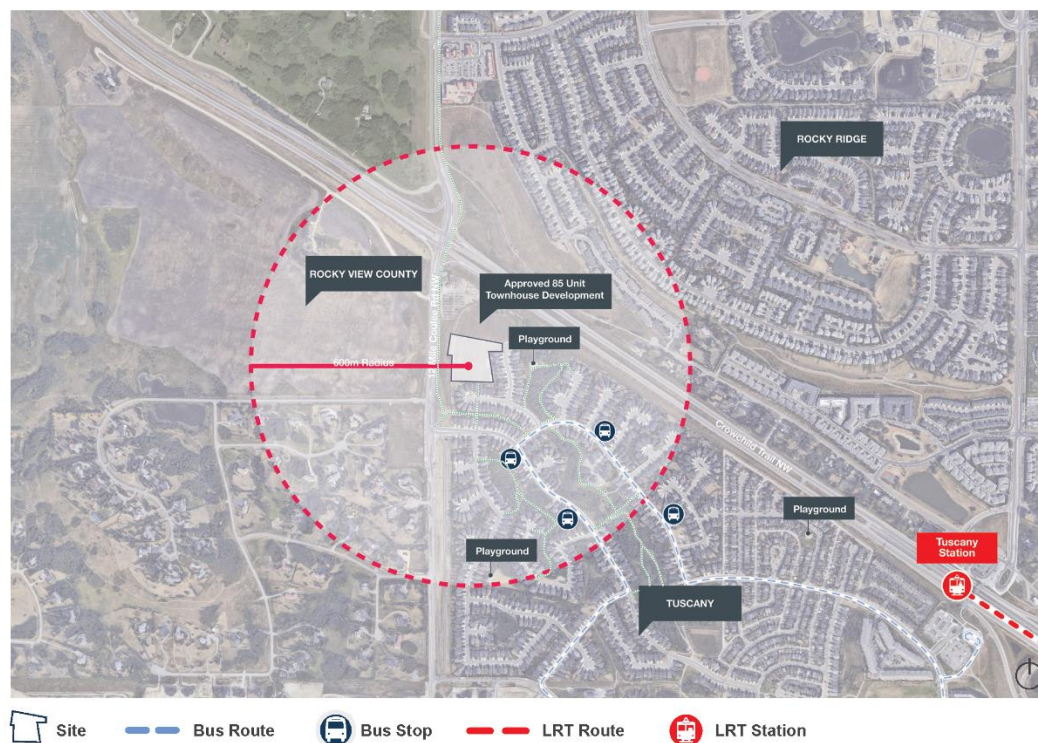
As the first step in the approval process, O2 Planning + Design has submitted a land use amendment (rezoning) application to redesignate the land from the existing Special Purpose - Community Institution (S-CI) designation to the Multi-Residential - Contextual Low Profile District with a density modifier of 57 units per hectare (M-C1 d57).

The site is located to the southeast of the intersection of Crowchild Trail NW and 12 Mile Coulee Rd NW. It is directly south of an approved 85-unit townhouse project following M-C1 d57 guidelines. The site is also adjacent to low density single-detached homes to the south and east.

The proposed development will provide an increase in residential density and greater variety in housing options at the edge of the city.

Project Highlights:

- Increase housing diversity in Tuscany
- Support transit investments with convenient access to bus routes and Tuscany LRT Station
- Align the land use with the approved townhouse development to the north while enabling a sensible transition to lower density residential uses to the south and east.



What We Heard Report

ENGAGEMENT STRATEGY

To keep residents of Tuscany informed about the project and to provide opportunities for feedback, the project team engaged with the community at key points throughout the application process. Engagement activities included a preliminary meeting with the Tuscany Community Association, a focused meeting with adjacent neighbours, and a pop-up engagement event at the 2019 Tuscany Harvest Festival.

ENGAGEMENT TIMELINE

July 15, 2019

The project team presented the proposed redesignation along with 2 preliminary site layout options. The Tuscany Community Association indicated their preferred option and the project team moved forward with that option.

August 23, 2019

The project team submitted the land use application and the City began the circulation process.

September 16, 2019

The City's notice posting was installed in 2 locations near the site to advertise the proposed land use change.

September 18, 2019

The project team hosted a meeting with adjacent neighbours to gather feedback from those most affected. Postcards were delivered to every house on Tuscany Summit Heath NW as well as all of the houses on Tuscany Summit Terrace NW that back onto the subject site. The meeting was held at Lynx Ridge Golf Club and attended by approximately 30 people.

September 21, 2019

To gather feedback from the broader community, the project team had a booth at the 2019 Tuscany Harvest Festival. Approximately 50 residents stopped by the booth to learn about the project.

COMMUNICATION STRATEGY

To make residents of Tuscany aware of the proposed land use change and to advertise the engagement events, the project team used the following tactics:

- **35 postcards** were distributed to residents of Tuscany Summit Heath NW and Tuscany Summit Terrace NW to invite them to the adjacent neighbours meeting.
- A City of Calgary **Notice Posting** was displayed in 2 locations near the site throughout the application process.
- A booth at the **2019 Tuscany Harvest Festival** informed the broader community about the proposal.

What We Heard Report

Please join us to learn
about the proposed
land use amendment for
**157 Tuscany Summit
Heath NW**

This event is for adjacent
neighbours only. We will
also be at the 2019 Harvest
Festival to gather feedback
from the broader community.

**ADJACENT NEIGHBOURS
MEETING**

**Wednesday
September 18
7:00-8:00pm**

**LYNX RIDGE GOLF COURSE
8 LYNX RIDGE BLVD**



What We Heard Report

1

Adjacent Neighbours Meeting

1

Pop-Up Engagement Event

50+
Attendees

50+
Comments



What We Heard Report

COMMUNITY SESSIONS SUMMARY

On Wednesday September 18, 2019, residents of Tuscany Summit Heath NW and Tuscany Summit Terrace NW were invited to share insights, feedback, and perspectives on the proposed 157 Tuscany Summit Heath NW development.

The **adjacent neighbours meeting** gave those residents who will be most impacted the opportunity to learn about the proposed development and speak directly with the project's developers, and planners. A series of information panels were displayed with opportunities for participants to share feedback and express concerns. The project team's attendance at the **2019 Tuscany Harvest Festival** provided the opportunity for the broader community to learn about the proposal and share their feedback. Participants at both events were presented with the same information panels.

Information Panels provided attendees with information about the proposed land use amendment, the planning process, and a preliminary site layout concept. Participants were encouraged to provide feedback by placing sticky note comments.

Goals of the community sessions:

- Provide people with information about the proposed development
- Obtain local knowledge about issues and opportunities related to the subject site
- Gain feedback from residents that will assist in the decision making for the proposed development



What We Heard Report

PANEL COMMENTS SUMMARY

Participants at the information sessions were encouraged to leave comments on the various information boards. The vast majority of concerns were expressed at the **Adjacent Neighbours Meeting**. Engagement participants at the **Harvest Festival** were interested to learn about the proposal, but expressed fewer concerns. The following is a summary of the comments that were received.

ACCESS AND CIRCULATION

- Residents are concerned about the traffic impact that will stem from the proposed development. Tuscany Summit Heath is a quiet cul-de-sac and there are concerns that it cannot accommodate the increase in traffic volume.
- Parking is also a concern, particularly if the proposed development does not provide enough off-street parking. Residents do not want parking to spill over onto Tuscany Summit Heath.
- As Tuscany Summit Heath will be the only route in and out of the proposed development there are concerns about emergency access. People are concerned that the multi-use path that doubles as the secondary emergency access is not well-enough maintained, particularly in the winter, to accommodate emergency vehicles.

DENSITY AND HOUSING TYPOLOGY

- Some residents feel that the site is not appropriate for townhouses and that they would be more supportive of detached homes.
- There are concerns that the proposed townhouses will be located too close to existing houses and negatively impact privacy.
- Some are concerned that a multi-residential townhouse development in this location will bring property values down.
- Multi-residential townhouses have the potential to attract lower-income residents and renters, which is a concern for some.
- Some people suggest a higher-end product type to ensure property values don't decrease.

SAFETY

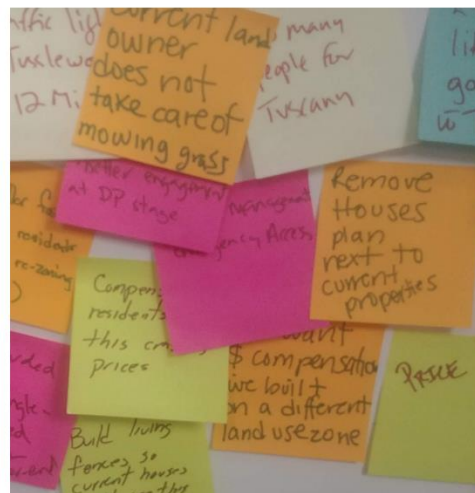
- People are concerned that the increase in traffic, particularly during construction, will make the streets unsafe.

ENGAGEMENT

- Some people feel that the approved development to the north did not engage with residents well, particularly during the Development Permit process. They would like to see a better process this time around.

CONSTRUCTION MANAGEMENT

- Residents are upset with the construction management practices adopted by the emerging development to the north.
- People would like to see a well thought-out construction staging area for the proposed development and a construction company that is respectful of the surrounding community.



What We Heard Report

VERBATIM COMMENTS

Below are the verbatim comments received at the community information sessions

- Can't there be any natural land that is left as is?
- Too much traffic
- Residents close to the multi-unit most impacted.
- More people and traffic in Tuscany.
- Stoney Trail already a headache.
- Makes sense
- Traffic lights at Tusslewood and 12 Mile
- Too many people for Tuscany
- Looks like a good fit with Tuscany
- Going to need traffic lights
- Traffic!
- Views
- Construction Management
- We will take this to the media if necessary
- Maintenance of undeveloped parcel (cut the grass)
- Councillor failed to support residents during first rezoning (voted for it)
- Waste management
- Emergency access
- Remove houses planned for next to current properties
- Cannot be low-income cheap houses
- No decks backing into current houses
- Rockford development has taken over 5+ years and not one unit fully built. No market, multi-res does not make sense
- Emergency access non-existent (narrow, snow covered, proposed plot plan does not give access to Rockford development)
- Tuscany Community Association did not communicate to the community the intentions of this new development
- Compensate residents if this crashes prices
- Too crowded
- Build single-detached
- Make higher-end
- We want compensation \$, we built on a different land use zone
- Price
- Staging area for construction vehicles
- Better engagement than Rockford at DP stage
- Current land owner does not take care of mowing the grass
- Renters
- Homes values

What We Heard Summary | 7

What We Heard Report

- Why multi-res on a dead end parcel
- Parking
- No street parking
- Parking and Idling
- Better engagement than Rockford through DP
- Parking
- Too far from LRT
- Construction management
- Development (multi-res) doesn't conform to the ASP
- Emergency Access
- Build living fences so current houses don't see this development
- Build same value houses as currently available

What We Heard Report

- Why multi-res on a dead end parcel
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- Emergency Access
- Build living fences so current houses don't see this development
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What We Heard Report

E-MAIL FEEDBACK

In addition to feedback received through the pop-op engagement event and adjacent neighbours meeting 10 e-mails were received from residents of Tuscany. The content of these e-mails is summarized below.

E-Mail #1 - Would rather see a park in this location. Concerned about the increase in traffic.

E-Mail #2 - Concerned about a potential decrease in property values, lack of appropriate access, and potential for a multi-storey development.

E-Mail #3 - Too much traffic on Tusslewood Drive already, property values are declining, subject property is better suited for a park.

E-Mail #4 - The proposed development, when considered with the approved development to the north, will alter the character of Tuscany, increase traffic congestion, and increase safety risk.

E-Mail #5 - Would rather see single-detached homes, with green space and less traffic.

E-Mail #6 - The proposed development, when considered with the approved development to the north, will alter the character of Tuscany, increase traffic congestion, and increase safety risk.

E-Mail #7 - Concerned about increased traffic, safety risk, and reduced property values. Would rather have a park than another townhouse development.

E-Mail #8 - Local roads cannot support the anticipated traffic increase, this will have an impact on safety and quality of life for existing residents. Tuscany already has a stormwater management issue, an increase in impervious services will exacerbate the problem. Property values will continue to decline if this application is approved.

E-Mail #9 - Would like the subject property to remain an open field, park, and community gathering place.

E-Mail #10 - Concerned about increased traffic and whether Tuscany Summit Terrace was built to a standard that can accommodate the increase.

What We Heard Report



Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0091

Road Closure and Land Use Amendment in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368

EXECUTIVE SUMMARY

This application has been submitted by Stantec Architecture on behalf of the developer Ronmor Holdings Inc, who is representing various landowners of the subject lands (listed in Attachment 7), on 2017 December 06. The land use amendment proposes to redesignate approximately 368.93 hectares (911.61 acres) of land in the northwest community of Residual Ward 2 Sub Area 02K.

The lands are currently designated Special Purpose – Future Urban Development (S-FUD) District. This proposal provides for:

- a number of land uses to accommodate a comprehensively designed residential community, consisting of 5 neighbourhoods;
- a total of 8,160 anticipated units in a variety of residential districts;
- approximately 187.67 hectares (463.73 acres) of low-density residential consisting of single detached, semi-detached and rowhouse development (R-G);
- approximately 26.74 hectares (66.07 acres) of low-density residential consisting of semi-detached and rowhouse development (R-Gm);
- approximately 10.19 hectares (25.17 acres) of medium-density residential to accommodate rowhouses, townhouses and stacked townhouses in comprehensively developed sites (M-G);
- approximately 19.19 hectares (47.42 acres) medium-density residential to accommodate apartment buildings (M-1, M-2, and M-X1);
- approximately 3.42 hectares (8.45 acres) of mixed use development that can accommodate a mix of residential and commercial uses (M-U1);
- approximately 17.37 hectares (42.90 acres) of commercial districts to accommodate a variety of commercial uses to serve the needs of the local neighbourhoods (C-C2 and C-N2);
- approximately 47.18 hectares (116.58 acres) of open space, consisting of areas for schools and various neighbourhood parks (S-SPR);
- approximately 12.89 hectares (31.87 acres) of public utility designation, used primarily for a storm pond, but also consisting of utility rights-of-way for various underground utilities (S-CRI);
- 42.28 hectares (109.42 acres) of Environmental Reserve dedication to protect a series of ravines and drainage courses within the plan area (S-UN); and
- the closure and redesignation of a two portions of undesignated road right-of-way to facilitate the comprehensive development of the area.

This application has been applied for with the support of the corresponding outline plan application (CPC2020-0090) to provide the future subdivision layout for the site's development. Conditions have been incorporated into the outline plan to effectively address the site's development. The proposed land use amendment has been developed in accordance with the policies of the *Glacier Ridge Area Structure Plan*.

Road Closure and Land Use Amendment in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommends that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed closure of 1.81 hectares (4.47 acres) of road (Plan 1912426, Areas 'A', 'B', and 'C') consisting of portions of the road allowance of 37 Street NW and 53 Street NW, with conditions (Attachment 4); and
2. Give three readings of the proposed bylaw.
3. **ADOPT**, by bylaw, the proposed redesignation 368.93 hectares \pm (911.61 acres \pm) located at 14800 and 15505 Symons Valley Road NW and 3810, 3900 4040, 4500, 4800, 5200, 5290, 5400 and 6500 - 144 Avenue NW and the closed road (Portion of W1/2 Section 6-26-1-5; NE1/4 Section 2-26-2-5; Plan 7510325, Blocks 1 and 2; SE1/4 Section 1-26-2-5; Plan 9010196, Lot 1; SW1/4 Section 1-26-2-5; SW1/4 Section 1-26-2-5, Lot 4; SW1/4 Section 1-26-2-5; SE1/4 Section 2-26-2-5; S1/2 Section 2-26-2-5; Plan 1912426, Areas 'A', 'B', and 'C') from Special Purpose – Future Urban Development (S-FUD) District and the Undesignated Road Right-of-Way to Residential – Low Density Mixed Housing (R-G and R-Gm) Districts, Multi-Residential – At Grade Housing (M-G) District, Multi-Residential – Low Profile (M-1) District, Multi-Residential – Medium Profile (M-2) District, Multi-Residential – Low Profile Support Commercial (M-X1) District, Mixed Use - General (MU-1f3.0h20) District, Commercial – Community 2 f2.0h24 (C-C2f2.0h24) District, Commercial – Neighbourhood 2 (C-N2) District, Special Purpose – City and Regional Infrastructure (S-CRI) District, Special Purpose – School, Park and Community Reserve (S-SPR) District, Special Purpose – Urban Nature (S-UN) District; and
4. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

This application was submitted by Stantec Architecture on 2017 December 06 on behalf of the developer Ronmor Holdings Inc. This road closure and land use redesignation is accompanied by an outline plan (CPC2019-0090) that will allow for a range of new housing types, commercial development and park space to meet the needs of various household sizes, lifestyles and income levels in the Glacier Ridge area.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0091

**Road Closure and Land Use Amendment in Residual Sub-Area 02K (Ward 2) at
multiple properties, LOC2017-0368**

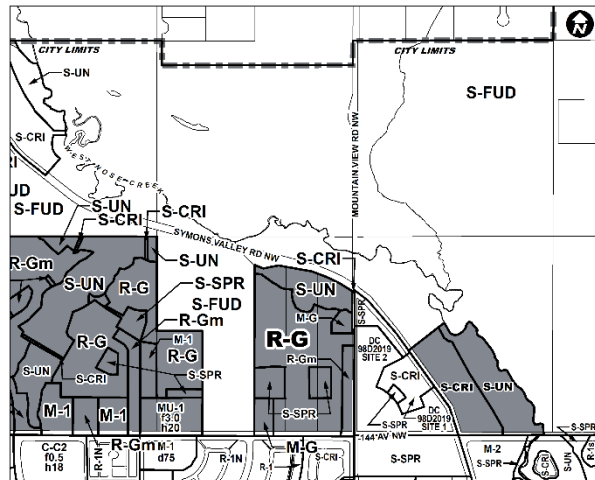
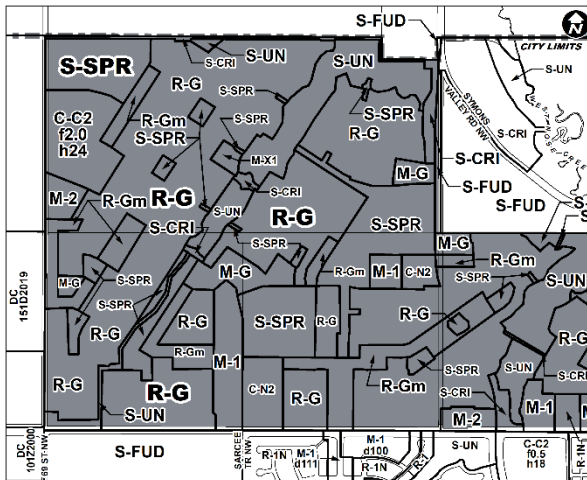
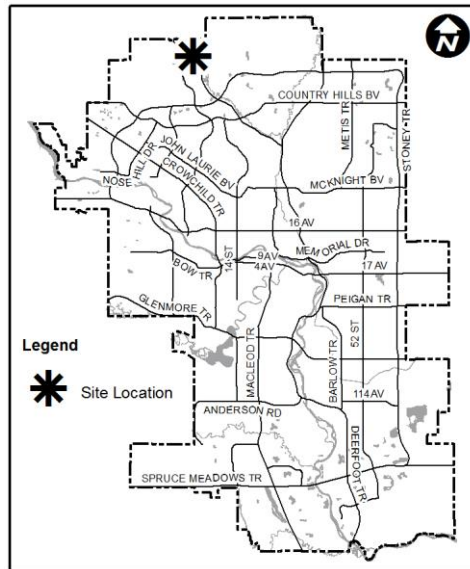
The *Glacier Ridge Area Structure Plan* (ASP) was approved on 2015 December 08. In order to facilitate the co-ordination of growth and servicing within the plan area to ensure that development proceeds in an efficient and economical manner, the *Glacier Ridge ASP* included a Growth Management Overlay (GMO). On 2018 September 18, Council amended the *Glacier Ridge Hills ASP* (Bylaw 71P2018) and lifted the GMO for the subject lands.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

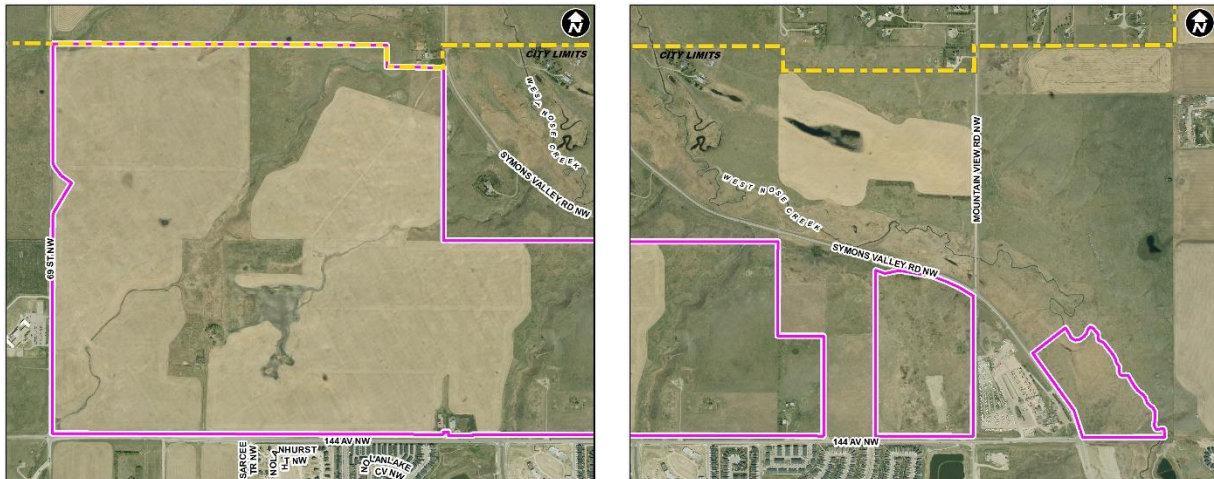
ISC: UNRESTRICTED
CPC2020-0091

Road Closure and Land Use Amendment in Residual Sub-Area 02K (Ward 2) at
multiple properties, LOC2017-0368

Location Maps



Road Closure and Land Use Amendment in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368



Site Context

The subject site is located in the developing community of Residual Sub-Area 2K, with the anticipated community name of Glacier Ridge. There are five neighbourhoods proposed within the plan area: Tekarra, Aquila, Marmot, Cavell, and Ashlar. The lands include an area of 368.93 hectares (911.61 acres) and are located generally north of 144 Avenue NW, east of 69 Street NW, south of the municipal boundary with Rocky View County and west of West Nose Creek and Symons Valley Road.

Surrounding development to the south consists primarily of new greenfield development in the communities of Nolan Hill and Sage Hill. A large commercial site (Sage Hill Common) is located at the southeast corner of the intersection of 144 Avenue NW and Shaganappi Trail NW. To the east is Symon's Valley Ranch (a future Community Activity Centre) and West Nose Creek, to the north is Rocky View County and to the west is primarily agricultural land, with Bearspaw Christian School located adjacent to the plan area on 69 Street NW. Symons Valley Road will be closed once the road is realigned to the north.

The main geographic feature in the plan area is a series of coulees that act as drainage courses connecting to West Nose Creek. Due to the significant slopes, these areas will be protected under the Environmental Reserve dedication. Two larger coulees traverse the plan area, the westerly coulee running in a northeast direction from the intersection of Shaganappi Trail NW and 144 Avenue NW, and separating the neighbourhoods of Ashlar and Cavell. The easterly coulee runs in a southwest to northeast direction bisecting the site.

The plan area lies adjacent to West Nose Creek in the easterly north and south portions of the plan area. The lands in between these points and adjacent to West Nose Creek are under separate ownership and consist of a series of wetlands of differing classifications, as well as the creek itself and the associated meander belt. These areas are proposed as a green corridor and will incorporate a series of pathways and natural areas as identified in the *Glacier Ridge*

Road Closure and Land Use Amendment in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368

Area Structure Plan. Detailed planning will occur during future application stages for those lands.

The remainder of the plan area is generally sloped down from the southwest to northeast toward West Nose Creek, with grades between 3 percent and 7 percent throughout the plan area, with several areas greater than 8 percent. These significant grades have considerable impact on community design and utility servicing.

The lands within the plan area are generally contiguous, with the exception of three parcels located in the eastern portion of the plan area (in the neighbourhood of Ashlar). These remnant parcels range in size from 7.11 hectares to 8.15 hectares. The lands bisect the proposed neighbourhood of Ashlar.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

This land use application, and corresponding outline plan, will facilitate the development of a range of multi-residential, commercial, low-density residential development along with four school sites along with associated parks, storm water facilities and roads.

Planning Considerations

Given the nature of this application several key factors were considered and are outlined in the following technical analysis.

Subdivision Design

The associated outline plan contemplates a subdivision pattern based on a modified grid street network. The general layout and design of the community is strongly impacted by several significant site constraints, and organizing elements, as detailed in the outline plan report (CPC2020-0090). These organizing elements are significant environmental open space areas in the form of coulees, interfaces with arterial roads, neighbourhood entryways and main corridors, school sites, neighbourhood open space, neighbourhood activity centres, pedestrian connectivity and several remnant parcels that are located within the plan area.

Four Neighbourhood Activity Centres (NACs) are located in the plan area. The activity centres are located in order to optimize the number of residents who can access the services within walking distance. These activity centre all achieve an intensity greater than 100 people and jobs per hectare.

Road Closure

Portions of the 37 Street NW and 53 Street NW rights-of-way are proposed to be closed with this application. The lands are proposed to be designated a mix of Residential – Low Density Mixed Housing (R-G and R-Gm) District, Multi-Residential – At Grade Housing (M-G) District, Multi-Residential – Medium Profile (M-2) District and Special Purpose – City and Regional

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Infrastructure (S-CRI) District. These land uses complement adjacent land uses and help complete developable parcels.

Land Use

Multi-residential uses (M-1, M-2, M-G and MU-1) are primarily located adjacent to frequent transit networks, such as on 144 Avenue NW, Shaganappi Trail NW and Sarcee Trail NW, as well as close to commercial uses. Low-density rowhouse development forms are primarily located along main corridors and entryways within the plan area, or facing open space, creating a welcoming entrance to the community and better interfaces with open spaces.

Commercial land uses are clustered around the four NACs within the plan, or the Community Activity Centre, located in the northwest portion of the plan. These uses provide for the daily needs of local residents.

A Special Purpose – Urban Nature (S-UN) District lands (to be dedicated as Environmental Reserve) are proposed to protect the existing network of coulees around the plan area, as well as natural wetlands located adjacent to West Nose Creek. A storm water retention facility is provided in the south eastern corner of the plan area, adjacent to Nose Creek, in order to provide storm water service for the community. Another storm pond, located to the northwest, adjacent to West Nose Creek was designated in a previous application (LOC2018-0140, Bylaw 116D2019). The location of these ponds were chosen due to topography and the fact that the location of the ponds would allow a reduction of the required number of storm ponds for the plan area from five to two. Additionally, the proposed location of the ponds avoided additional fragmentation of development within the plan area (if ponds were proposed above the escarpment they would fragment community contiguity). These ponds also will form part of a green pathway network centred along the existing Symons Valley Road. The existing road will be realigned to the north, allowing for the creation of a network of pathways and greenspaces along West Nose Creek.

A Special Purpose – School, Park and Community Reserve (S-SPR) District lands (to be dedicated as Municipal Reserve) will be provided as school sites (one high school, two joint-joint use sites and one elementary school site) along with a series of neighbourhood parks and green corridors. Neighbourhood parks are distributed throughout the plan area in order to provide green space within walking distance of all residents. Green corridors are provided to connect neighbourhood parks and schools to the coulee system that surrounds the proposed community.

Density

Density varies between the various neighbourhoods within the plan area due to the location, geographic constraints and function of each neighbourhood. For example, the neighbourhood of Marmot, which is located at the end of the bluff between the two coulees, includes a joint-joint school site and is not located as close to main transit routes, has a lower density. The neighbourhood of Aquila, on the other hand, is located close to main transit routes and

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commercial centres and therefore has a greater amount of multi-residential development. It also does not have a school site, so its density is greater. The density and area of each neighbourhood is illustrated in Table 1 below.

Table 1: Neighbourhood Statistics

Neighbourhood	Area (hectares)	Units	Density (units per hectare)
Aquila	66.5	2,155	32.41
Tekarra	66.4	1,359	20.47
Marmot	68.7	899	13.09
Cavell	78.0	1,561	20.01
Ashlar	96.7	2,191	22.66

The overall proposed outline plan achieves an anticipated density of 24.88 units per hectare (10 units per acre).

Environmental

The plan area falls within the transitional zone of three natural subregions, Foothills Fescue; Central Parkland; and Foothills Parkland. The terrain is comprised of rolling to hilly landscapes which are dissected by small drainages and streams. The study area contains three significant slopes of greater than 15 percent and is bound by West Nose Creek to the north of the plan area. Site surveys have identified seven wetlands, four of which are class III or above. Two permanent streams, five intermittent streams and two ephemeral drainages were also identified which all flow towards West Nose Creek.

Transportation

Street and Mobility Network

The subject site is bounded by a network of arterial and collector streets, including 144 Avenue NW to the south, 69 Street NW to the west, the City limits to the north, and Symons Valley Road NW to the east. Two arterial streets, Sarcee Trail NW and Shaganappi Trail NW, traverse the community in generally north south alignment, running between 144 Avenue NW and the City limits (and future 160 Avenue NW). These arterials, along with the coulee systems described previously, define the boundaries of the five separate neighbourhoods identified above. The arterial streets are strategic links connecting to the regional transportation network, including Stoney Trail NW.

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All arterials streets in the plan area include continuous regional pathways with limited conflict points on both sides of the street, providing local and regional connection to the active modes network throughout the plan area.

Within each neighbourhood is an internal road system that has been laid out in a modified grid network, providing convenient and direct access for pedestrians, cyclists and vehicles throughout the neighbourhood. Commercial and institutional uses are generally located adjacent the collector streets where there are improved pedestrian facilities and transit service. The regional pathway network aligns with the ASP and provides a system of local parallel routes within the arterial network to support cycling and other forms of active transportation. The arterial roadways also include pathways within the boulevards to support active commuting of greater distances between the neighbourhoods and beyond.

The plan area is well-connected to the regional transportation network, as Sarcee Trail NW, Shaganappi Trail NW, and Symons Valley Road NW all connect with Stoney Trail to the south. In support of the New Community Growth Strategy, The City of Calgary is advancing the ultimate stage of the Shaganappi Trail/Stoney Trail interchange as well as the construction of a new 144 Avenue NW crossing of West Nose Creek in support of the Glacier Ridge Area Structure Plan lands captured within One Calgary. These pieces of infrastructure are anticipated to be constructed and opened by end-2022. In conjunction with the advancement of these projects, construction of 144 Avenue NW and Shaganappi Trail NW in alignment with the proposed development phasing by the area developers will be undertaken to service the community, thereby realizing the value of infrastructure investment made by the City in support of the Glacier Ridge Area Structure Plan.

Transit

This area is currently not served by any transit routes. Public transit is anticipated to be introduced in phases over time and is expected to include several bus routes running through the Glacier Ridge Area Structure Plan. Transit in the area will provide local and regional service through and around the plan area. Transit service introduction to new communities is balanced with service increases in existing communities as ridership grows, including potential introduction of evening and weekend service.

Construction of 144 Avenue NW along the south boundary of and to the east/west of the plan area, including the crossing of West Nose Creek, by the Developer, the City and by the neighbouring developers will enable the introduction and eventual enhancement of transit service as the community builds out. 144 Avenue NW and Shaganappi Trail NW are planned as Primary Transit corridors.

The City and Developer have collaborated to establish an initial phasing plan (first three phases) that includes provision of a fully connected collector road - Cavell Drive NW between Sarcee Trail NW and Shaganappi Trail NW – that provides the opportunity for local transit service to be introduced in the early stages of Glacier Ridge residency.

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Utilities and Servicing

Storm servicing for the plan area will be provided via the construction of two new storm ponds.

Sanitary servicing for the initial phases of the plan area will be provided via gravity fed connections to existing sanitary infrastructure located within the community of Sage Hill. Later phases may require the construction of a sanitary lift station, currently shown on the plan off of Shaganappi Trail.

Water servicing for the plan area will be provided via connections to existing water infrastructure located south of the plan area.

Further utilities and servicing details will be resolved via the tentative plan, construction drawing, and development permit phases.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

There is no community association for the subject area. Two letters of objection were received from adjacent landowners. Concerns raised by adjacent landowners included:

- Inadequate infrastructure provided for new development;
- Expectations for estate lots to be located in the plan area, specifically along 144 Avenue NW, rather than multi-residential development; and
- Loss of views of the valley.

Additionally, the owners of the three remnant parcels located within the community of Ashlar contacted Administration with regards to future development of their lands. Several meetings were held with those owners, their representatives and administration, along with one meeting that included the applicant for the subject application. Along with discussing general development processes, the main topics of discussion were the allocation and provision of Municipal Reserve, specifically with regards to the school site within the neighbourhood. The owners were informed that each would have to dedicate Municipal Reserve to contribute to the school site.

No public meetings were conducted by the applicant or Administration in direct relation to this outline plan application.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

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Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) (SSRP), which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment and outline plan builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure and establishing strong, sustainable communities. The plan was circulated to Rocky View County with each subsequent revision, and the applicant has responded directly to Rocky View County regarding any comments on the plan.

Municipal Development Plan (Statutory – 2009)

The plan is located in a Future Greenfield area as identified by [Map 1: Urban Structure](#) of the [Municipal Development Plan](#). The New Community Planning Guidebook of the *Municipal Development Plan* is the most relevant policy document for assessing outline plans in new communities and contains the following relevant policies for the plan area:

- 2.1.2a - Each community shall achieve a minimum intensity of 60 people and jobs per gross developable hectare upon initial build out.

The proposed community achieves an anticipated intensity of 63 people and jobs per hectare.

- 2.2.2(a) - A neighbourhood should range between 40 and 75 hectares in size B) A Neighbourhood should achieve a minimum density of 20 units per gross developable residential hectare.
 - (i) An Area Structure Plan (ASP) may identify a Neighbourhood with a lower density, to a minimum of 15 units per gross developable residential hectare (6 units per gross developable residential acre), if it identifies another Neighbourhood in the same Community with a higher density. The density of the two Neighbourhoods must average 20 units per gross developable residential hectare (8 units per gross developable residential acre) considering their respective gross developable areas.

As noted in Table 1 above, the five proposed neighbourhoods in the plan area range in size from 66.4 hectares for Tekarra to 96.7 hectares for Ashlar. While Ashlar is larger than is stipulated in the New Community Planning Guidebook, it is bounded by coulees on three sides, and so cannot be logically divided or combined with other neighbourhoods.

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As noted in the density section of this report, the neighbourhood of Marmot does not meet the minimum density of 15 units per gross developable hectare. This is due to the location of the community, closer to the coulees and further from transit and commercial areas, and the fact that the community contains a large school site as well as environmental areas. However, this is made up for by the other neighbourhoods in the plan area, so that the total anticipated density of the plan area is 24.88 units per gross developable hectare.

The New Community Planning Guidebook also outlines that neighbourhoods should be designed around an Activity Centre or Main Street, and should provide a diversity of housing options, neighbourhood scale commercial and/or services, public spaces, parks and recreation facilities, public transit and green infrastructure. Each neighbourhood in the plan achieves these criteria, with each containing the necessary elements as defined above.

The New Community Planning Guidebook also outlines that Multi-Residential Developments should be located within a neighbourhood:

“near a transit stop, amenities, open space and fit into the public grid street network.”

Multi-residential development within the plan area meets this design criteria as it is located along transit routes, close to commercial spaces and open space.

Glacier Ridge Area Structure Plan (Statutory – 2015)

The plan area is located within the [Glacier Ridge Area Structure Plan](#) (GRASP), and comprises the entirety of Community B and Neighbourhood 5 of Community A as identified in the plan. The GRASP provides policies for neighbourhood design for communities within the plan area. The following policies are relevant to the proposed outline plan.

Communities and Neighbourhoods

The GRASP indicates that “notwithstanding the New Community Planning Guidebook policy on neighbourhood size, some neighbourhoods may exceed the maximum size of 75 ha (185 ac) due to the significant area of natural features included within those neighbourhoods.”

As noted above, the neighbourhood of Ashlar exceeds the 75 hectares standard. However, Ashlar is surrounded by steep coulees on three edges, and includes a significant storm pond and adjacent environmental space. As such, it was deemed appropriate to exceed the neighbourhood size standard.

The GRASP highlights that “distinct community and neighbourhood identities should be established, where feasible, by designing the NACs to relate to unique features of the Plan Area such as coulees, glacial erratics, valley escarpments, sites of Aboriginal significance and other natural and cultural elements.”

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As shown on in Attachment 6, the proposed neighbourhoods are largely defined by their relationship to the coulees and coulees in the plan area. The coulees act as the boundary between the neighbourhoods, the other major boundary being Sarcee Trail NW.

Community Activity Centres

One Community Activity Centre (the West CAC) is identified in northwest corner of the outline plan area. The policies for the CAC are primarily in regards to site design, and will be referred to at development permit stage.

Neighbourhood Activity Centres (NACs)

The GRASP identifies the following policies with regards to Neighbourhood Activity Centres (NACs):

1. NACs should be located as shown on Map 3: Land Use Concept.
2. Notwithstanding the New Community Planning Guidebook (NCPG), the 700 metre walking distance from the surrounding Neighbourhood Area may be exceeded in cases where the neighbourhood is larger or an irregular shape due to natural features.
3. Neighbourhoods B4 and D4: These NACs should be designed comprehensively to create unique and attractive gathering spaces by:
 - a) integrating the Community Association Site with the amenity space; and
 - b) connecting with the adjacent Regional Pathway. Green Corridor and Environmental Reserve.

Six NACs within the plan area were identified in the GRASP. The proposed plan identifies four NACs in the plan area. The rationale for removing the two NACs was that the two Community Activity Centres within or adjacent to the plan area would provide a significant proportion employment needs and amenities for the community. A regional retail centre located just to the south of the plan area at 144 Avenue NW and Shaganappi Trail NW provides additional commercial opportunities for future residents. The proposed location of NACs within the plan area provide coverage for nearly all areas of the plan, the exception being areas close to Symons Valley Ranch (a CAC) or close to the CAC in the plan, or a future NAC located just to the west of 69 Street NW.

The NACs proposed within the Marmot neighbourhood (neighbourhood B4 as identified in the GRASP) contains a community association site adjacent to an open space area, a multi-residential site and a commercial site. The NAC is connected via regional pathways or green corridors to the environmental reserve areas.

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Joint Use (School) Sites

The GRASP identifies the following policies with regards to Joint Use (School) Sites:

1. JUS should be located as shown on Map 3: Land Use Concept.
2. JJUS, which accommodate two schools, should be located as shown on Map 3: Land Use Concept.
3. School building envelopes should be located along a street abutting the site. Buildings should offer direct pedestrian access to primary entrances from the sidewalk without crossing a parking lot or drive aisle.
4. It may be necessary to reduce the size of a site where there is not enough Municipal Reserve land for other uses, and/or where topographical constraints limit the ability to provide an adequate site. This will be assessed at the Outline Plan/Land Use Amendment stage.

Two joint-joint use sites and one joint use site are located within the plan area. The sites are located generally as identified in the GRASP, and have been reviewed by Site Planning Team and the Joint Use Coordinating Committee. One joint use site (a CBE elementary school) was eliminated from the plan area after significant discussion with the Site Planning Team and the Joint Use Coordinating Committee. Additionally, all school sites layouts have been reviewed by the Site Planning Team and approved.

High School Sites

The GRASP identifies the following policies with regards to High School Sites:

1. High School Sites should be located as shown on Map 3: Land Use Concept.
2. Each High School Site should require from 8 to 9.3 ha (20 to 23 ac) of land.
3. Each High School Site should have direct access to a Regional Pathway and a transit stop to minimize mid-block crossings and traffic conflicts.
4. Enhanced pedestrian facilities (for example, wider sidewalks) and enhanced transit waiting amenities (minimum standard to large shelter(s)) should be provided on adjacent streets identified as having transit service.
5. The west high school should front or flank the adjacent collector streets and locate parking and sports fields in behind to contribute to an activated intersection with the adjacent Activity Centres.
6. It may be necessary to reduce the size of a site where there is not enough Municipal Reserve land for other uses, and/or where topographical constraints limit the ability to provide an adequate site. This will be assessed at the Outline Plan/Land Use Amendment stage.

One High School (the West High School), is identified in the plan area, and is located as shown on the land use concept in the GRASP. The site is 8.09 hectares, has regional pathways on three sides, has a bus stop located immediately adjacent, and fronts onto collector streets, creating an activated intersection with the CAC to the south.

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Community Association Site

The GRASP identifies the following policies with regards to Community Association (CA) Sites:

2. Co-locating CA sites with uses on adjacent sites is encouraged. Such sites include but are not limited to the Emergency Response Station, Joint Use Sites, Recreation Facility/Library, NACs or CACs. In such instances, a CA Site may be relocated without an amendment to this ASP.
3. CA Sites should be within 400 metres of a transit stop.
4. CA Sites should have direct access to a Regional Pathway or Green Corridor.

The proposed community association site is located within a NAC, adjacent to one joint-joint use site and within short walking distance of another joint-joint use site, has transit stops nearby and is connected to the Regional Pathway, thus meeting all the policies above.

Emergency Response Station

The GRASP identifies the following policies with regards to Emergency Response Stations:

1. The Emergency Response Station may be collocated with or integrated within a multi-use facility or development.
2. Within any multi-use development, the Emergency Response Station requires a dedicated 0.8 hectares (2 acres) site.
3. Developers are encouraged to engage The City regarding the location and size of the Emergency Response Station parcel at the initiation of the Outline Plan/Land Use Amendment stage.

An emergency response station is identified as being located adjacent to the CAC in the north west portion of the plan area. The station is integrated within a mixed-use development and meets the 0.8 hectare (2 acre) size requirement. Facilities Management was circulated on the application and supported the location of the site. The integration of the station with adjacent development will be determined at the development permit stage.

Interface with Natural Areas

Significant amounts of natural areas are proposed within the plan area. These natural areas primarily consist of several coulees that bisect the plan area, as described in the site context section above. The GRASP identifies the following policies with regards to interfaces with Natural Areas:

1. Design of residential developments adjacent to Symons Valley, West Nose Creek and other preserved natural areas should consider the following;
 - b. connecting internal pathways of multi residential developments to nearby Regional Pathways and Green Corridors;

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- c. strategic design of public access into and around coulees, streams, escarpments and other retained features, to allow for the buffering of habitat wildlife within and along these retained features;
- e. providing access and views from Neighbourhood Areas by establishing a permeable block design that allows for green pockets to open onto adjacent natural areas.

Residential interfaces with natural areas provides for numerous public access points via engineered walkways or municipal reserve areas to the coulees. Regional pathways connect through these access points, and a trail system is proposed along the coulees. The pathways are designed to reduce disturbance of natural areas and habitats. These connections also serve as viewpoints to connect the community to these natural areas.

Interface with Rocky View County

The northern boundary of the plan area is shared with the municipal boundary with Rocky View County. The GRASP identifies the following policies with regards to interfaces with Rocky View County:

1. The IDP identifies land north of the Plan Area as a future City of Calgary growth area. Therefore, development along the Plan Area boundary should provide opportunities for attractive and functional integration with urban-style development that may occur in the future north of the Plan Area. Elements to achieve such integration include but are not limited to:
 - a. streets, pathways and open spaces that could be extended in the future to north of the Plan Area;
5. Design of Neighbourhood Areas and sections of 160 Avenue NW adjacent to existing acreages along the north boundary will be required to minimize nuisances for existing acreage owners. Edge conditions should be defined by a variety of different methods including local streets or green spaces that will act as buffers.

The interface with Rocky View County in the plan area consists of two types of interfaces: a community interface and an environmental interface. For the residential interface, where residential units and the High School site are located adjacent to the boundary with Rocky View County, a shadow plan has been provided to demonstrate how streets and pathways can be extended to the north. The area of this extension is fairly limited due to the edge of the escarpment which is located just to the north of the plan area.

For the other interface areas, the interface condition is comprised of environmental areas or a storm pond. These interfaces do not create nuisance for existing acreage owners to the north of the plan area.

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Symons Valley and West Nose Creek

The GRASP identifies the following policies with regards to Symons Valley and West Nose Creek:

1. In accordance with Section 5.3 Streets, Symons Valley Road west of Mountain View Road should be closed and a new Regional Pathway in the vicinity created to restore and enlarge a featured natural open space destination of the Plan Area.
2. Regional Pathways will provide convenient connections north-south and east-west for bicycle and pedestrian commuters.
3. Green Corridors will provide access to key features and viewpoints of Symons Valley.

The plan will facilitate the closure of Symons Valley Road by providing for the realignment of the road to north, as well as the extension of Shaganappi Trail NW to the north. A regional pathway is proposed along the south portion of the north storm pond to contribute to the regional pathway network in this area. Regional pathways have been provided throughout the plan area, specifically along Cavell Drive, Marmot Drive, 144 Avenue NW, Sarcee Trail NW, Shaganappi Trail NW and along the coulees to provide a connected network of pathways throughout the plan area.

Environmental Open Space Area

The GRASP identifies the following policies with regards to Environmental Open Space Areas:

1. Sites that are identified as EOS but do not qualify as Environmental Reserve should be protected where feasible by incorporating them into the neighbourhood through site and building designs, and the strategic location of Municipal Reserve land.
2. Where a street is proposed to cross Green Corridors or natural areas including Coulees and West Nose Creek, studies may be required at the Outline Plan/Land Use Amendment stage to:
 - a. ensure that any potential changes to existing natural conditions are minimized;
 - b. consider the most appropriate technique to maintain the ecological quality of the area; and
 - c. mitigate negative impacts, both during construction and in the final design.

Environmental areas have largely been provided as environmental reserve throughout the plan area. Coulees have been maintained, and environmental reserve utilized to provide a drainage course that is supplemented with municipal reserve, which will assist in the preservation of the environmental quality of the feature. Street crossings of Green Corridors have been reviewed to minimize environmental disturbance.

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Regional Pathways and Green Corridors

1. Where portions of the Environmental Open Space Study Area are not retained, the presence of the Green Corridor may be removed without amendment to this ASP provided that:
 - i. a Regional Pathway is provided within approximately 200 metres of where the Green Corridor is shown on Map 5: Regional Pathways and Green Corridors;

Where possible, environmental spaces have been retained. Regional pathways have been provided generally where shown on Map 5 of the GRASP.

Social, Environmental, Economic (External)

The recommended land use framework plan and associated outline plan will provide for a diversity of housing choices to meet the needs of various household sizes, lifestyles and income levels in an existing established area. The plan provides for densities that are transit-supportive and that make efficient use of land and infrastructure. Commercial areas provide services for local residents.

Financial Capacity

Current and Future Operating Budget

There is currently no impact to the current operating budget. As development proceeds, the provision of City services such as roads, transit, and parks maintenance would have an operating budget impact at such time as they are provided. The projected operating costs for this development during 2019-2022 have been included in the One Calgary 2019-2022 Service Plans and Budgets.

Current and Future Capital Budget

There is no impact to the current capital budget as a result of this report. The City transportation and utility capital infrastructure required to service this development is included in the One Calgary 2019-2022 Service Plans and Budgets. This additional infrastructure will be funded by The City and through off-site levies paid by developers. The capital investment required to construct and upgrade the required local infrastructure will be funded by the developer.

Risk Assessment

There are no significant risks associated with this proposal.

This application is considerably larger than typical land use redesignations, and is in excess of the typical standard of 100 hectares for an outline plan. However, given the issues of storm water servicing (reducing the number of storm ponds from five to two), municipal reserve

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allocation (i.e. the need to remove a school site and balance municipal reserve over a large area), utility servicing (i.e. constraints on the grades of sanitary lines that affected road layouts and locations), it was determined that the application could proceed in its current size. Administration understands the risk that this may necessitate future outline plan and land use revisions for future phases of the outline plan as market conditions change.

REASON(S) FOR RECOMMENDATION(S):

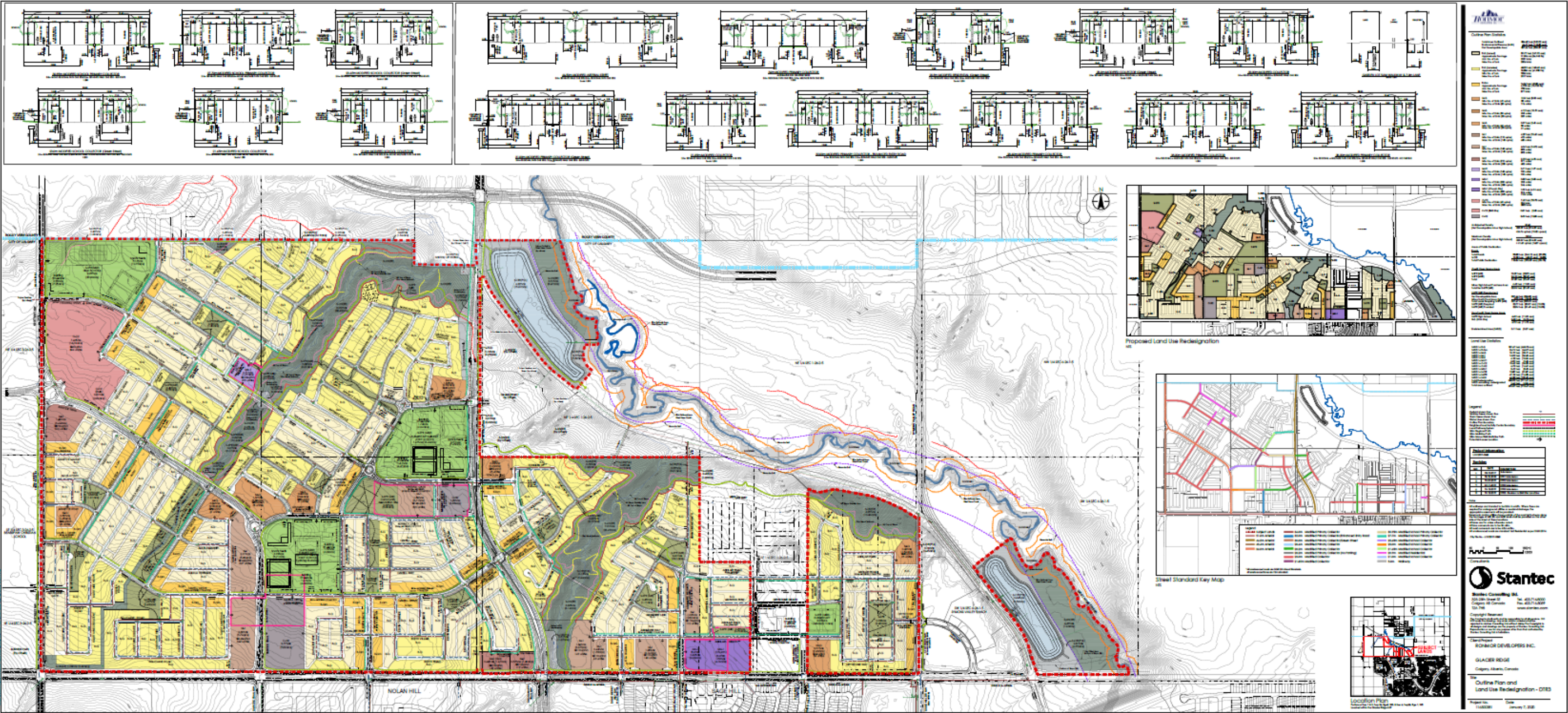
The proposed land use amendment and road closure will facilitate development in keeping with the direction provided by the *Municipal Development Plan* and the *Glacier Ridge Area Structure Plan*. Additionally, the plan provides the following beneficial features:

- a modified grid street network that provide safe and convenient pedestrian and cycling routes throughout the community;
- a park system that provides a diversity of recreational opportunities for local residents within walking distance;
- a strong connection between the community and the network of protected environmental areas;
- a design that is responsive to the topographical features of the land;
- schools that serve that serve the local population; and
- a mix of commercial and residential uses, along with a diversity of housing forms that meet the needs of a variety of households and demographics.

ATTACHMENT(S)

1. Proposed Outline Plan
2. Applicant Submission
3. Registered Road Closure Plan
4. Proposed Road Closure Conditions
5. Proposed Neighbourhoods
6. List of Landowners
7. Proposed Land Use District Map

Proposed Outline Plan



Applicant Submission



Stantec Consulting Ltd.
200-325 25 Street SE, Calgary, Alberta T2A 7H8

January 8, 2020
File: 116500381.210

On behalf of Ronmor Holdings Inc. ('Ronmor'), Stantec Consulting Ltd. is pleased to submit the enclosed Outline Plan ('OP'), Land Use Redesignation ('LUR'), and Road Closure for the lands legally described as:

- Portions of 5;2;26;2;
- Portions of 5;2;26;1;
- Portion of 5;2;26;1;;4
- Blocks 1-2, Plan 7510325; and
- Portion of 5;1;26;6;SW;

Municipal addresses for the site are 3810, 3900, 4040, 4500, 4800, 5200, 5290, 5400, and 6500 144th Avenue NW and 14800, 15454, and 15505 Symons Valley Road NW and all the lands are located within the Glacier Ridge Area Structure Plan ('ASP').

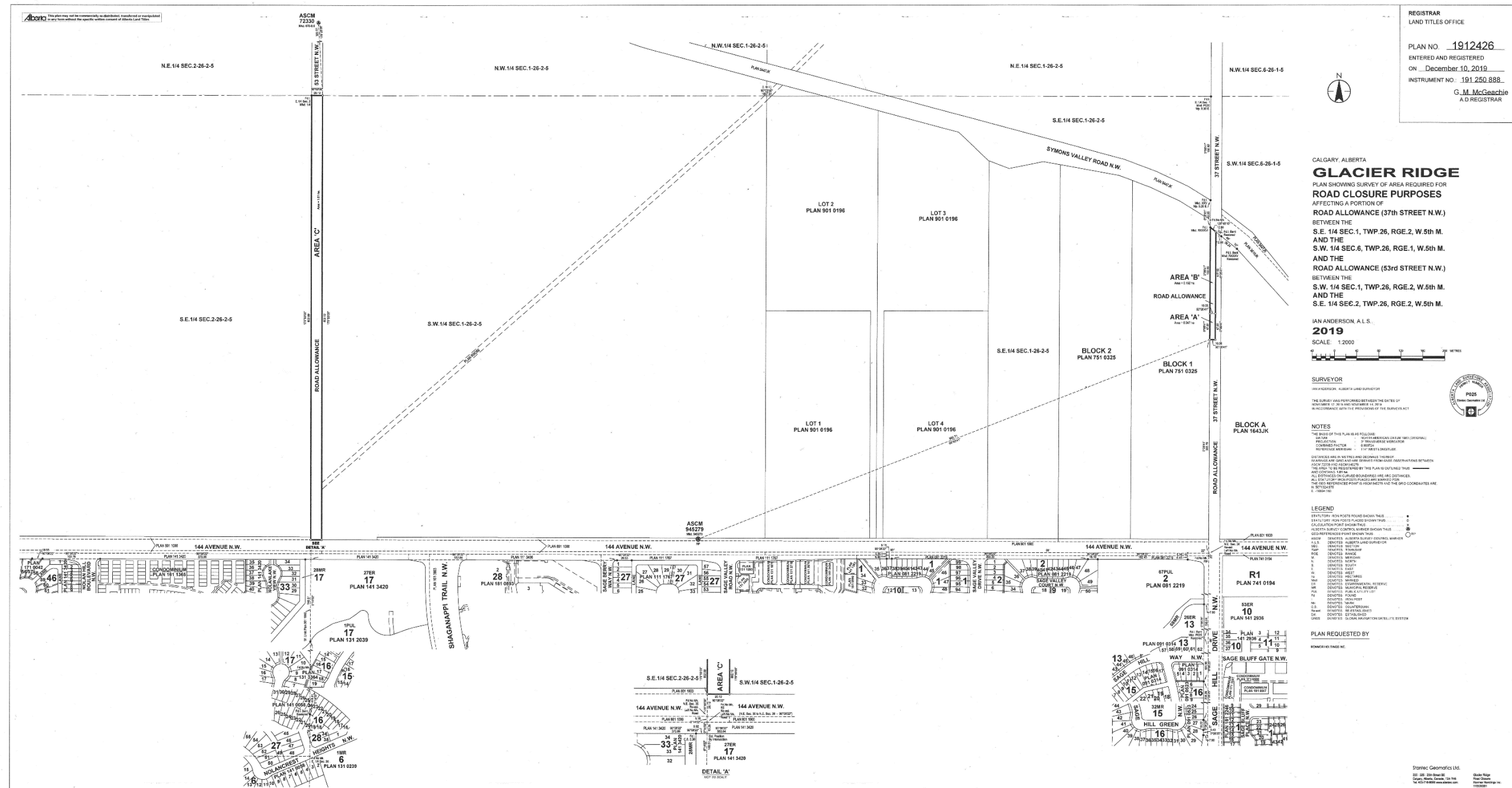
Located immediately west of West Nose Creek, and with excellent views of Symons Valley, Glacier Ridge is envisioned as a master planned and complete community in Calgary's northwest. The proposed OP aligns with direction of the ASP, building upon the vision of Symons Valley Corridor being a natural attraction and amenity for residents. Glacier Ridge has been planned to include the following:

- Multi-modal transportation options, and convenient connections for pedestrians, cyclists, transit riders, and motorists;
- A range of housing options and levels of affordability;
- A connected and contiguous Open Space network providing a variety of active and passive recreational amenities for residents while balancing the need to provide for school sites; and
- A CAC and four Neighbourhood Activity Centres (NAC) offering higher density residential, employment opportunities, community gathering places, as well as commercial and retail amenities for residents.

The Glacier Ridge Outline Plan is over 380ha, and proposes to redesignate the lands from S-FUD to R-G, R-Gm, M-G, M-1, M-2, M-X1, MU-1, C-C2, C-N2, S-CRI, S-SPR, and S-UN. The application represents approximately 8,150 residential units that will include both low density and multi-residential product.

Design with community in mind

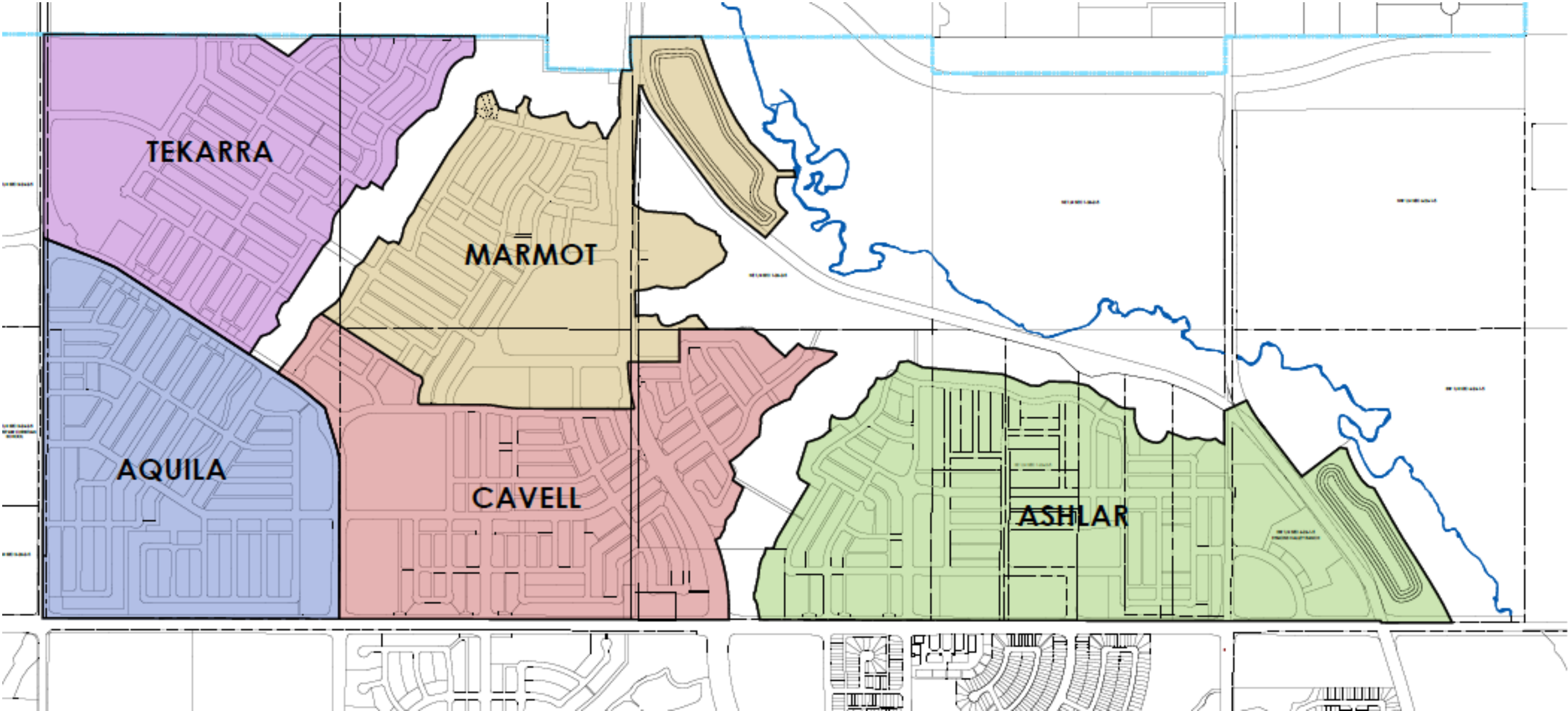
Registered Road Closure Plan



Proposed Road Closure Conditions

1. All existing utilities within the road closure area shall be protected by easement or relocated at the developer's expense.
2. The applicant is responsible for all costs associated with the closure including all necessary physical construction, removal, rehabilitation, utility relocation, etc.
3. All costs associated with the road closure shall be borne by the applicant.
4. That protection and/or relocation of any utilities required for the road closure will be at the applicant's expense and to the appropriate standards.

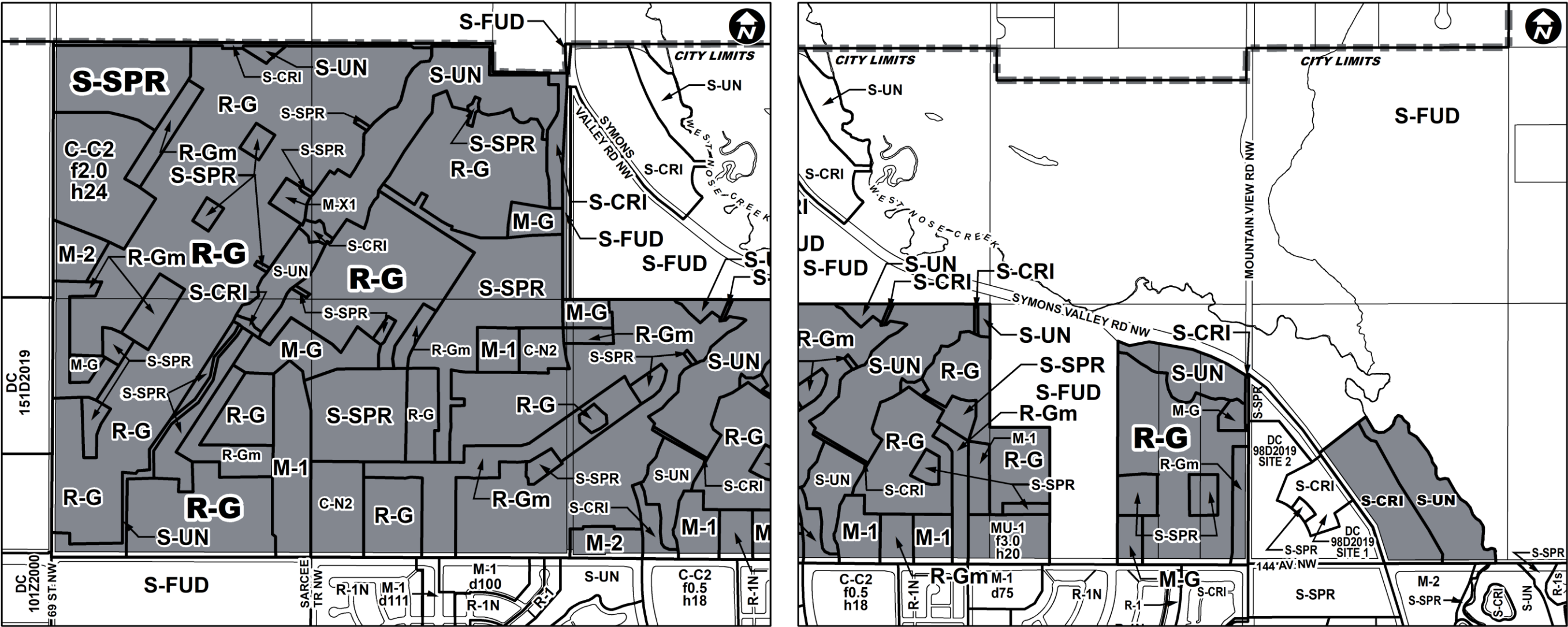
Proposed Neighbourhoods



List of Landowners

1286409 Alberta Ltd
Raymond William Barnes
Tracey Michelle Sheftel Holland
Libin Symons Ltd.
Paperny Symons Ltd.
Maurice Paperny
Cheryl Elaine Rowlandson
Cheryl Rowlandson
Wayne Rowlandson
Annette Shafron
Melissa Marilyn Shafron
Melissa Shafron
Michael Sharfron
Carrie Sheftel
Danielle Sheftel
Marilyn Sheftel
Tracey Sheftel
Nancy Faye Whatmore
Zivot Systems Ltd
Debra Zivot
Mark L Zivot
Rose Zivot

Proposed Land Use District Map



**Planning & Development Report to
Calgary Planning Commission
2020 January 23**

**ISC: UNRESTRICTED
CPC2020-0090**

Outline Plan in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368 (OP)

EXECUTIVE SUMMARY

This outline plan application has been submitted by Stantec Architecture on behalf of the developer Ronmor Holdings Inc, who is representing various landowners of the subject lands (listed in Attachment 7), on 2017 December 06.

This application proposes the outline for the future subdivision of approximately 384.43 hectares (949.92 acres) of land in the northwest community of Residual Ward 2 Sub Area 02K (proposed community name of Glacier Ridge). This proposal provides for:

- A comprehensively designed residential community, consisting of 5 neighbourhoods;
- A total of 8,160 anticipated units in a variety of residential districts;
- 3,887 anticipated dwelling units consisting primarily of single detached and semi-detached homes (R-G);
- 798 anticipated dwelling units consisting primarily of street-facing rowhouses (R-Gm);
- 351 anticipated units, consisting primarily of rowhouses, townhouses and stacked townhouses in comprehensively developed sites (M-G);
- 2,820 anticipated units in a variety of medium density residential districts, primarily consisting of low and mid-rise apartments and mixed-use buildings (M-1, M-2 and MU-1);
- Approximately 37.39 hectares (92.49 acres) of open space, consisting of 24.10 hectares (59.57 acres) for schools and 13.29 hectares (approx. 32.92 acres) for various neighbourhood parks;
- One high school site (approximately 8.09 hectares, 20.00 acres), two joint-joint school sites (approximately 7.28 hectares, 18.00 acres and approximately 7.47 hectares, 18.46 acres), and a portion elementary school site (1.26 hectares, approximately 3.11 acres) located within the plan area (S-SPR);
- Four Neighbourhood Activity Centres (NACs) and one Community Activity Centre (CAC) to provide local commercial services and amenities for residents;
- Approximately 19.53 hectares (48.27 acres) of public utility designation, used primarily for a storm pond, but also consisting of utility rights-of-way for various underground utilities (S-CRI);
- Approximately 46.77 hectares (115.53 acres) of Environmental Reserve dedication, protecting a series of coulees and drainage courses (S-UN);
- A connected network of streets and pathways that provide logical and convenient travel for a variety of modes of transportation;
- The closure and redesignation of a two portions of undesignated road right-of-way to facilitate the comprehensive development of the area;
- The location of future local and major roadways, utilities and services; and
- Adjacent lands (under separate ownership) which have not been included within the plan area, but are influenced by servicing and road connections, have been shadow planned with required infrastructure tie-in points provided.

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A storm pond that services the plan area, located on the north central portion of the plan area, adjacent to Symons Valley Road and bordering on Rocky View County, underwent a land use redesignation on May 27, 2019 (Bylaw 116D2019, LOC2018-0140). While this storm pond is not included in the land use application, as it has been granted land use, is included in the outline plan area, as it is necessary to service the outline plan, and conditions of the outline plan relate to the construction and phasing of this pond.

The proposed outline plan serves to implement the objectives of the *Municipal Development Plan* and the *Glacier Ridge Area Structure Plan* by providing a subdivision plan for the future development of the site, in collaboration with the land use amendment (CPC2020-0091).

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission **APPROVE** the proposed outline plan located at 14800, 15390 and 15505 Symons Valley Road NW and 3810, 3900 4040, 4500, 4800, 5200, 5290, 5400 and 6500 - 144 Avenue NW and the closed road (Portion of W1/2 Section 6-26-1-5; Plan 1911471, Block 1, Lot 1; NE1/4 Section 2-26-2-5; Plan 7510325, Blocks 1 and 2; SE1/4 Section 1-26-2-5; Plan 9010196, Lot 1; SW1/4 Section 1-26-2-5; SW1/4 Section 1-26-2-5, Lot 4; SW1/4 Section 1-26-2-5; SE1/4 Section 2-26-2-5; S1/2 Section 2-26-2-5; Plan 1912426, Areas 'A', 'B', and 'C') to subdivide 384.43 hectares \pm (949.92 acres \pm) with conditions (Attachment 1).

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

This application was submitted by Stantec Architecture on 2017 December 06 on behalf of the developer Ronmor Holdings Inc. This outline plan is accompanied by a road closure and land use amendment (CPC2020-0091) that will allow for a range of new housing types, commercial development and park space to meet the needs of various household sizes, lifestyles and income levels in the Glacier Ridge area.

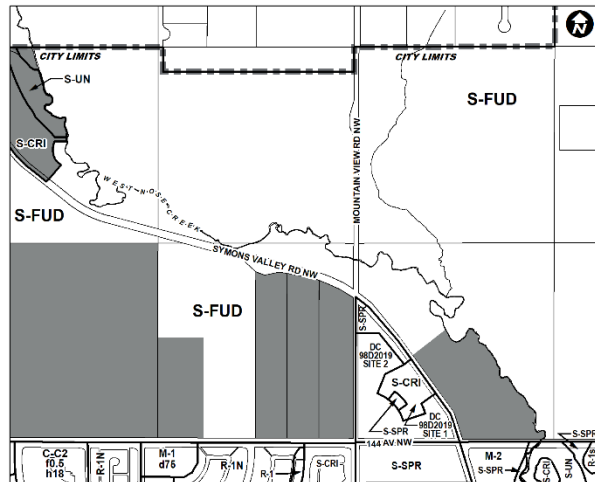
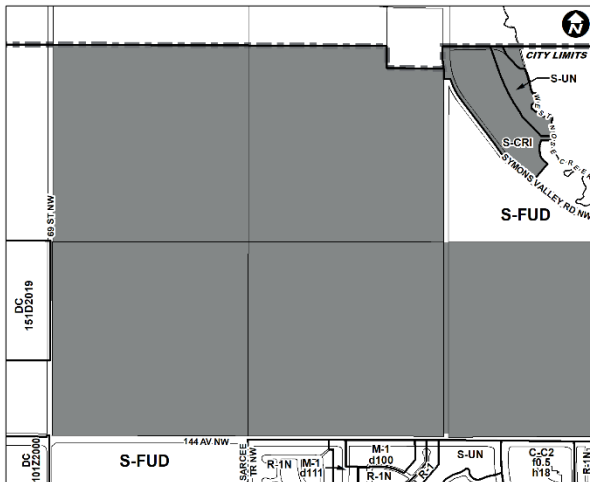
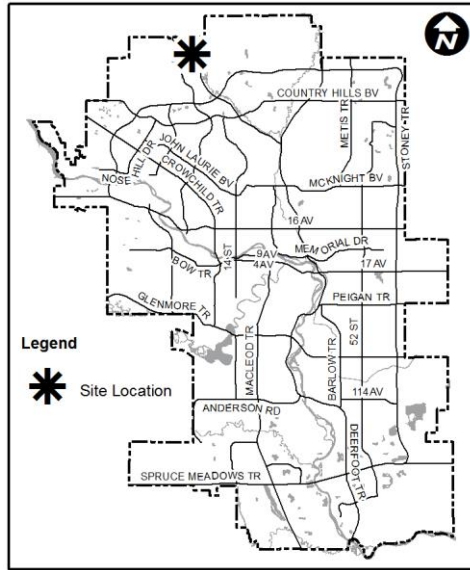
The *Glacier Ridge Area Structure Plan* (ASP) was approved on 2015 December 08. In order to facilitate the co-ordination of growth and servicing within the plan area to ensure that development proceeds in an efficient and economical manner, the *Glacier Ridge ASP* included a Growth Management Overlay (GMO). On 2018 September 18, Council amended the *Glacier Ridge Hills ASP* (Bylaw 71P2018) and lifted the GMO for the subject lands.

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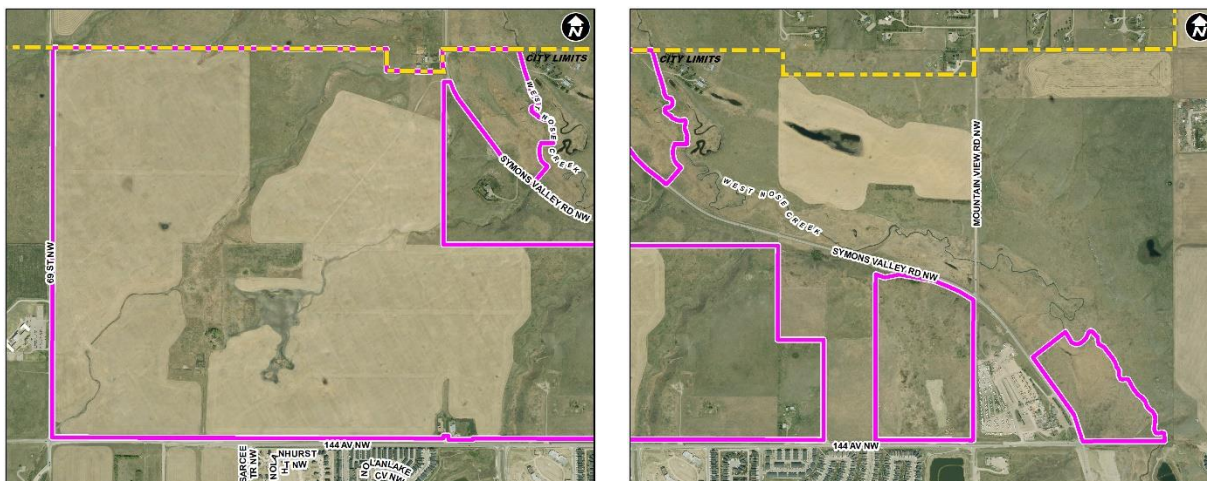
ISC: UNRESTRICTED
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Outline Plan in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368 (OP)

Location Maps



Outline Plan in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368 (OP)



Site Context

The subject site is located in the developing community of Residual Sub-Area 2K, with the anticipated community name of Glacier Ridge. There are five neighbourhoods proposed within the plan area: Tekarra, Aquila, Marmot, Cavell and Ashlar. The lands include an area of 384.43 hectares (949.92 acres) and are located generally north of 144 Avenue NW, east of 69 Street NW, south of the municipal boundary with Rocky View County and west of West Nose Creek and Symons Valley Road.

Surrounding development to the south consists primarily of new greenfield development in the communities of Nolan Hill and Sage Hill. A large commercial site (Sage Hill Common) is located at the southeast corner of the intersection of 144 Avenue NW and Shaganappi Trail NW. To the east is Symon's Valley Ranch (a future Community Activity Centre) and West Nose Creek, to the north is Rocky View County and to the west is primarily agricultural land, with Bearspaw Christian School located adjacent to the plan area on 69 Street NW. Symons Valley Road will be closed once the road is realigned to the north.

The main geographic feature in the plan area is a series of coulees that act as drainage courses connecting to West Nose Creek. Due to the significant slopes these areas will be protected under Environmental Reserve dedication. Two larger coulees traverse the plan area, the westerly coulee running in a northeast direction from the intersection of Shaganappi Trail NW and 144 Avenue NW, and separating the neighbourhoods of Ashlar and Cavell. The easterly coulee runs in a southwest to northeast direction bisecting the site.

The plan area lies adjacent to West Nose Creek in the easterly north and south portions of the plan area. The lands in between these points and adjacent to West Nose Creek are under separate ownership and consist of a series of wetlands of differing classifications, as well as the creek itself and the associated meander belt. These areas are proposed as a green corridor and

Outline Plan in Residual Sub-Area 02K (Ward 2) at multiple properties, LOC2017-0368 (OP)

will incorporate a series of pathways and natural areas as identified in the Glacier Ridge Area Structure Plan. Detailed planning will occur during future application stages for those lands. The remainder of the plan area is generally sloped down from the southwest to northeast toward West Nose Creek, with grades between 3 percent and 7 percent throughout the plan area, with several areas greater than 8 percent. These significant grades have considerable impact on community design and utility servicing.

The lands within the plan area are generally contiguous, with the exception of three parcels located in the eastern portion of the plan area (in the neighbourhood of Ashlar). These remnant parcels range in size from 7.11 hectares to 8.15 hectares. The lands bisect the proposed neighbourhood of Ashlar.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

This outline plan (Attachment 2), in conjunction with the land use amendment application, will facilitate the development of a mixed-use, commercial and residential neighbourhood with a Community Activity Centre that will contribute to the growth of the Glacier Ridge community as envisioned by the policies of the *Municipal Development Plan* and the *Glacier Ridge Area Structure Plan*.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Subdivision Design

The outline plan area consists of Community B and Neighbourhood 5 of Community A, as identified in the *Glacier Ridge Area Structure Plan*. The plan area includes 5 separate neighbourhoods that act as organizing elements for the plan area, with road names associated with each neighbourhood. The neighbourhoods, as shown on Attachment 6, are: Tekarra, Aquila, Marmot, Cavell and Ashlar.

The general layout and design of the community is strongly impacted by several significant site constraints, and organizing elements, as outlined below.

Environmental Open Space Areas

As described in the site context section above, two large coulees bisect the plan area leading to West Nose Creek. These coulees will be dedicated as Environmental Reserve (ER) in order to preserve the lands and provide a natural amenity for community residents. A total of approximately 46.77 hectares (115.53 acres) of Environmental Reserve is provided for in the plan area.

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Municipal Reserve (MR) has been provided to complement these ER/natural areas, with a linear park provided along a re-aligned and naturalized drainage course in the southwest portion of the plan. These features provide a strong connection to the natural coulee feature and onward to the proposed natural area and pathway system around West Nose Creek. Other pathways and parks within the plan area are designed to optimize connection to these natural areas, with green corridors or engineered walkways providing convenient access to this amenity throughout the plan area.

The coulees also have considerable impact on road networks and orientation. Both coulees are oriented in a southwest to northeast direction, which necessitates the road network in these areas to be oriented in a similar orientation. However, the southern and western boundary of the plan, 144 Avenue NW and 68 Street NW, run in an east-west and north-south direction, necessitating a road network to be oriented as such. This creates a condition where two orientations of road network exist in the plan, each separated by roughly 45 degrees. This “grid shift” creates several lot and road orientations, such as dog-leg roads or non-rectangular parks or multi-family sites, throughout the plan area.

Arterial Road Interfaces

Three arterial roadways – 144 Avenue NW, Shaganappi Trail NW, and Sarcee Trail NW – bound and/or traverse the plan area. The treatment along Shaganappi Trail NW and 144 Avenue NW is mostly residential backing of lots to the street. While not an optimal street frontage, this treatment recognizes that Shaganappi Trail NW and 144 Avenue NW provide strategic local and regional mobility connections for vehicular traffic and transit, include pathways connecting to the local and regional network, and align with strategic plans (such as Goods Movement Strategy) and investment in the regional transportation network.

Sarcee Trail NW allows for a different interface because the (relatively) lower travel demand allows for fewer lanes and a closer intersection spacing. In general, the approach to Sarcee Trail NW is to locate greater residential density along this corridor in order to utilize the higher level of transit on the road, and to mitigate the visual effect of a large right of way. Placing multi-residential development along the road provides a better design treatment along the road, as landscaped areas can face the public realm and residential unit entrances can be located at grade and can be connected to public sidewalks (as opposed to back fences). As multi-residential units do not require individual driveway accesses, and visitor parking is provided within the site, the development is not adversely affected by the lack of on-street parking or driveway access.

Where low-density land uses are located adjacent to Sarcee Trail NW, an innovative lot orientation is proposed to mitigate the effect of the large right-of-way. Typically, residential orientations adjacent to arterial roads will either have to be back-lotted (as has been done with Shaganappi Trail NW) or provided with parallel “window streets” that provide vehicle access to the lots. However, window streets create a condition where additional road right of way is required for the two adjacent streets, creating challenges for street edge conditions. Within this plan, lots are proposed to be located adjacent to Sarcee Trail NW, but accessed via a

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perpendicular residential road. Rather than providing a parallel window street, a parallel lane is located behind the units. This allows the lots to be serviced properly, while also creating a better street orientation.

All Arterials Streets in the plan area include continuous regional pathways with limited conflict points on both sides of the street, providing local and regional connection to the active modes network throughout the plan area.

Entryways and Main Corridors

Entryways are located throughout the plan area. These are streets that provide access from major roads (Shaganappi Trail NW, 144 Avenue NW, Sarcee Trail NW, 69 Street NW) into the residential community. The entry streets have been designed with rowhouses (R-Gm) framing either side of the street, and predominantly include a park as a terminal vista. These entryways provide a strong welcoming entrance to the community, illustrating the focal points of parks within neighbourhoods. The main corridors, framed with laned rowhouses provide a strong visual organizing factor to the community, highlighting the importance of these streets, which serve as main transit corridors or entryways.

School Sites

There are four school sites within the plan area: one high school, two joint-joint school sites and one elementary school. These sites have been planned throughout the area in order to maximize pedestrian walk sheds and allow for optimized school site planning. One school (CBE elementary) that was identified in the *Glacier Ridge Area Structure Plan*, was eliminated from the plan area due to constraints on the amount of municipal reserve available for schools. The removal of the school was approved by Site Planning Team and Joint Use Coordinating Committee.

The elementary school located in the neighbourhood of Ashlar is located between the plan area and the remnant parcels of land that are not part of the application. Through significant conversations with the Joint Use Coordinating Committee and Site Planning Team, it was determined that this location was the best option presented, despite having the drawback of not being fully within the outline plan area. Some of the reasons for the proposed location of the school are:

- The proposed location of the school is most in keeping with the intent of the *Glacier Ridge Area Structure Plan*;
- The central location of the school within the neighbourhood maximizes walksheds for students in the neighbourhood;
- The proposed location meets the requirements from Site Planning Team with regards to being located on two collector roads, which facilitates bus and parent drop off zones; and
- Any location of the school within the neighbourhood, due to the fragmented land ownership in the area, would have to be split between land owners. The proposed

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location would be the least complex in terms of Municipal Reserve dedication between land owners.

Open Space

A total of approximately 32.94 hectares (81.49 acres) of credit Municipal Reserve is provided in the plan area, constituting 10.0 percent of the net developable area. An additional 4.75 hectares (11.73 acres) of non-credit Municipal Reserve, consisting of a portion of the High School Site that was purchased by the school boards, and homeowner's association sites, is provided in the plan area.

Municipal Reserve is provided either as school sites (24.10 hectares, 59.57 acres) or as neighbourhood parks (13.29 hectares, 32.92 acres). Neighbourhood parks are distributed through the community to provide open space within walking distance of all residents. A variety of programming of park spaces is provided to appeal to a diversity of demographics.

Neighbourhood Activity Centres

Four neighbourhood activity centres are located in the plan area, indicated with a pink dashed boundary. These all contain a mix of land uses, including multi-residential, commercial and park space. These activity centres are spaced throughout the plan area in order to provide commercial areas within walking distance for most of the plan area. The statistics for the neighbourhood activity centres are provided in Table 1 below.

Table 1: Neighbourhood Activity Centres

Neighbourhood Activity Centre	Area	Jobs and People	Intensity
Tekarra	0.76	199	262
Aquila	4.01	543	135
Marmot	4.9	551	181
Ashlar	2.37	922	389

Pedestrian Connectivity

In general, the road network provides a robust network for pedestrian connectivity throughout the plan area. The road network is set up in a modified grid system, which reflects the natural topographic features in the plan area, thus providing convenient and short pedestrian pathways throughout the plan area. However, in several areas, pedestrian routes via roads to key destinations, such as transit stops, commercial areas or schools are longer due to intersection spacing along major roads or general road layouts. In these instances, engineered walkways have been provided to reduce pedestrian walking distances to these destinations. These

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walkways are located to access to transit stops along 144 Avenue NW and Sarcee Trail NW, in key locations to provide access to the Environmental Reserve, to provide access to the commercial site on 144 Avenue NW and Sarcee Trail NW and in the neighbourhood of Tekarra between Beauvert Mount and Beauvert Way NW to reduce walking distances to the transit stops on Tekarra Drive NW.

Remnant parcels

As noted above, there are three parcels of land located in the middle of the Ashlar neighbourhood that bisect the plan, and result in non-contiguous development, as well as challenges for the location of a school site. In response to this condition, the applicant was requested to provide a shadow plan of the remnant lands in order to ensure that a logical pattern of development can occur on these lands with a future outline plan application. The proposed outline plan provides logical road connections to the remnant parcels and has provided a shadow plan that demonstrates a reasonable community layout. While the shadow plan does not restrict future development to any particular layout, it does demonstrate that the proposed outline plan does not preclude orderly development from occurring on the adjacent lands. It should be noted however, that due to the proposed location of the school site, that any future development of adjacent lands will have to provide the complement municipal reserve in order to complete the school site.

Land Use

Concurrent with the outline plan is a land use amendment application (Attachment 4) that proposes to redesignate the subject lands from Special Purpose – Future Urban Development (S-FUD) District to a mix of residential and commercial land uses that include Residential – Low Density Mixed Housing (R-G and R-Gm) District, Multi-Residential – At Grade Housing (M-G) District, Multi-Residential – Low Profile (M-1) District, Multi-Residential – Medium Profile (M-2) District, Multi-Residential – Low Profile Support Commercial (M-X1) District, Mixed Use - General (MU-1) District, Commercial – Community 2 (C-C1) District, Commercial – Neighbourhood 2 (C-N2) District, Special Purpose – School, Park and Community Reserve (S-SPR) District, Special Purpose – City and Regional Infrastructure (S-CRI) District and Special Purpose – Urban Nature (S-UN) District.

Density

Density varies between the various neighbourhoods within the plan area due to the location, geographic constraints and function of each neighbourhood. For example, the neighbourhood of Marmot, which is located at the end of the bluff between the two coulees, includes a joint-joint school site and is not located as close to main transit routes, has a lower density. The neighbourhood of Aquila, on the other hand, is located close to main transit routes and commercial centres and therefore has a greater amount of multi-residential development. It also does not have a school site, so its density is greater. The density and area of each neighbourhood is illustrated in Table 2 below.

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Table 2: Neighbourhood Statistics

Neighbourhood	Area (hectares)	Units	Density (units per hectare)
Aquila	66.5	2,155	32.41
Tekarra	66.4	1,359	20.47
Marmot	68.7	899	13.09
Cavell	78.0	1,561	20.01
Ashlar	96.7	2,191	22.66
TOTAL		8,165	24.88

The overall proposed outline plan achieves an anticipated density of 24.88 units per hectare (10 units per acre).

Environmental

The plan area falls within the transitional zone of three natural subregions, Foothills Fescue; Central Parkland; and Foothills Parkland. The terrain is comprised of rolling to hilly landscapes which are dissected by small drainages and streams. The study area contains three significant slopes of greater than 15 percent and is bound by West Nose Creek to the north of the plan area. Site surveys have identified seven wetlands, four of which are class III or above. Two permanent streams, five intermittent streams and two ephemeral drainages were also identified which all flow towards West Nose Creek.

Transportation

Street and Mobility Network

The subject site is bounded by a network of arterial and collector streets, including 144 Avenue NW to the south, 69 Street NW to the west, the City limits to the north, and Symons Valley Road NW to the east. Two arterial streets, Sarcee Trail NW and Shaganappi Trail NW, traverse the community in generally north south alignment, running between 144 Avenue NW and the City limits (and future 160 Avenue NW). These arterials, along with the coulee systems described previously, define the boundaries of the five separate neighbourhoods identified above. The arterial streets are strategic links connecting to the regional transportation network, including Stoney Trail NW.

All arterials streets in the plan area include continuous regional pathways with limited conflict points on both sides of the street, providing local and regional connection to the active modes network throughout the plan area.

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Within each neighbourhood is an internal road system that has been laid out in a modified grid network, providing convenient and direct access for pedestrians, cyclists and vehicles throughout the neighbourhood. Commercial and institutional uses are generally located adjacent the collector streets where there are improved pedestrian facilities and transit service. The regional pathway network aligns with the ASP and provides a system of local parallel routes within the arterial network to support cycling and other forms of active transportation. The arterial roadways also include pathways within the boulevards to support active commuting of greater distances between the neighbourhoods and beyond.

The plan area is well-connected to the regional transportation network, as Sarcee Trail NW, Shaganappi Trail NW, and Symons Valley Road NW all connect with Stoney Trail to the south. In support of the New Community Growth Strategy, The City of Calgary is advancing the ultimate stage of the Shaganappi Trail/Stoney Trail interchange as well as the construction of a new 144 Avenue NW crossing of West Nose Creek in support of the Glacier Ridge Area Structure Plan lands captured within One Calgary. These pieces of infrastructure are anticipated to be constructed and opened by end-2022. In conjunction with the advancement of these projects, construction of 144 Avenue NW and Shaganappi Trail NW in alignment with the proposed development phasing by the area developers will be undertaken to service the community, thereby realizing the value of infrastructure investment made by the City in support of the Glacier Ridge Area Structure Plan.

Transit

This area is currently not served by any transit routes. Public transit is anticipated to be introduced in phases over time and is expected to include several bus routes running through the Glacier Ridge Area Structure Plan. Transit in the area will provide local and regional service through and around the plan area. Transit service introduction to new communities is balanced with service increases in existing communities as ridership grows, including potential introduction of evening and weekend service.

Construction of 144 Avenue NW along the south boundary of and to the east/west of the plan area, including the crossing of West Nose Creek, by the Developer, the City and by the neighbouring developers will enable the introduction and eventual enhancement of transit service as the community builds out. 144 Avenue NW and Shaganappi Trail NW are planned as Primary Transit corridors.

The City and Developer have collaborated to establish an initial phasing plan (first three phases) that includes provision of a fully connected collector road - Cavell Drive NW between Sarcee Trail NW and Shaganappi Trail NW – that provides the opportunity for local transit service to be introduced in the early stages of Glacier Ridge residency.

Utilities and Servicing

Storm servicing for the plan area will be provided via the construction of two new storm ponds.

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Sanitary servicing for the initial phases of the plan area will be provided via gravity fed connections to existing sanitary infrastructure located within the community of Sage Hill. Later phases may require the construction of a sanitary lift station, currently shown on the plan off of Shaganappi Trail.

Water servicing for the plan area will be provided via connections to existing water infrastructure located south of the plan area.

Further utilities and servicing details will be resolved via the tentative plan, construction drawing, and development permit phases.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

There is no community association for the subject area. Two letters of objection were received from adjacent landowners. Concerns raised by adjacent landowners included:

- Inadequate infrastructure provided for new development;
- Expectations for estate lots to be located in the plan area, specifically along 144 Avenue NW, rather than multi-residential development; and
- Loss of views of the valley.

Additionally, the owners of the three remnant parcels located within the community of Ashlar contacted Administration with regards to future development of their lands. Several meetings were held with those owners, their representatives and administration, along with one meeting that included the applicant for the subject application. Along with discussing general development processes, the main topics of discussion were the allocation and provision of Municipal Reserve, specifically with regards to the school site within the neighbourhood. The owners were informed that each would have to dedicate Municipal Reserve to contribute to the school site.

No public meetings were conducted by the applicant or Administration in direct relation to this outline plan application.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) (SSRP), which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

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Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment and outline plan builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure and establishing strong, sustainable communities. The plan was circulated to Rocky View County with each subsequent revision, and the applicant has responded directly to Rocky View County regarding any comments on the plan.

Municipal Development Plan (Statutory – 2009)

The plan is located in a Future Greenfield area as identified by [Map 1: Urban Structure](#) of the [Municipal Development Plan](#). The New Community Planning Guidebook of the Municipal Development Plan is the most relevant policy document for assessing outline plans in new communities and contains the following relevant policies for the plan area:

- 2.1.2a - Each community shall achieve a minimum intensity of 60 people and jobs per gross developable hectare upon initial build out.

The proposed community achieves an anticipated intensity of 63 people and jobs per hectare.

- 2.2.2(a) - A neighbourhood should range between 40 and 75 hectares in size B) A Neighbourhood should achieve a minimum density of 20 units per gross developable residential hectare.
 - (i) An Area Structure Plan (ASP) may identify a Neighbourhood with a lower density, to a minimum of 15 units per gross developable residential hectare (6 units per gross developable residential acre), if it identifies another Neighbourhood in the same Community with a higher density. The density of the two Neighbourhoods must average 20 units per gross developable residential hectare (8 units per gross developable residential acre) considering their respective gross developable areas.

As noted in Table 1 above, the five proposed neighbourhoods in the plan area range in size from 66.4 hectares for Tekarra to 96.7 hectares for Ashlar. While Ashlar is larger than is stipulated in the New Community Planning Guidebook, it is bounded by coulees on three sides, and so cannot be logically divided or combined with other neighbourhoods.

As noted in the density section of this report, the neighbourhood of Marmot does not meet the minimum density of 15 units per gross developable hectare. This is due to the location of the community, closer to the coulees and further from transit and commercial areas, and the fact that the community contains a large school site as well as environmental areas. However, this is made up for by the other neighbourhoods in the plan area, so that the total anticipated density of the plan area is 24.88 units per gross developable hectare.

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The New Community Planning Guidebook also outlines that neighbourhoods should be designed around an Activity Centre or Main Street, and should provide a diversity of housing options, neighbourhood scale commercial and/or services, public spaces, parks and recreation facilities, public transit and green infrastructure. Each neighbourhood in the plan achieves these criteria, with each containing the necessary elements as defined above.

The New Community Planning Guidebook also outlines that Multi-Residential Developments should be located within a neighbourhood:

“near a transit stop, amenities, open space and fit into the public grid street network.”

Multi-residential development within the plan area meets this design criteria as it is located along transit routes, close to commercial spaces and open space.

Glacier Ridge Area Structure Plan (Statutory – 2015)

The plan area is located within the [Glacier Ridge Area Structure Plan](#) (GRASP), and comprises the entirety of Community B and Neighbourhood 5 of Community A as identified in the plan. The GRASP provides policies for neighbourhood design for communities within the plan area. The following policies are relevant to the proposed outline plan.

Communities and Neighbourhoods

The GRASP indicates that “notwithstanding the New Community Planning Guidebook policy on neighbourhood size, some neighbourhoods may exceed the maximum size of 75 hectares (185 acres) due to the significant area of natural features included within those neighbourhoods.”

As noted above, the neighbourhood of Ashlar exceeds the 75 hectares standard. However, Ashlar is surrounded by steep coulees on three edges, and includes a significant storm pond and adjacent environmental space. As such, it was deemed appropriate to exceed the neighbourhood size standard.

The GRASP highlights that “distinct community and neighbourhood identities should be established, where feasible, by designing the NACs to relate to unique features of the Plan Area such as coulees, glacial erratics, valley escarpments, sites of Aboriginal significance and other natural and cultural elements.”

As shown on in Attachment 6, the proposed neighbourhoods are largely defined by their relationship to the coulees and coulees in the plan area. The coulees act as the boundary between the neighbourhoods, the other major boundary being Sarcee Trail NW.

Community Activity Centres

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One Community Activity Centre (the West CAC) is identified in northwest corner of the outline plan area. The policies for the CAC are primarily in regards to site design, and will be referred to at development permit stage.

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Neighbourhood Activity Centres (NACs)

The GRASP identifies the following policies with regards to Neighbourhood Activity Centres (NACs):

1. NACs should be located as shown on Map 3: Land Use Concept.
2. Notwithstanding the New Community Planning Guidebook (NCPG), the 700 metre walking distance from the surrounding Neighbourhood Area may be exceeded in cases where the neighbourhood is larger or an irregular shape due to natural features.
3. Neighbourhoods B4 and D4: These NACs should be designed comprehensively to create unique and attractive gathering spaces by:
 - a) integrating the Community Association Site with the amenity space; and
 - b) connecting with the adjacent Regional Pathway. Green Corridor and Environmental Reserve.

Six NACs within the plan area were identified in the GRASP. The proposed plan identifies four NACs in the plan area. The rationale for removing the two NACs was that the two Community Activity Centres within or adjacent to the plan area would provide a significant proportion employment needs and amenities for the community. A regional retail centre located just to the south of the plan area at 144 Avenue NW and Shaganappi Trail NW provides additional commercial opportunities for future residents. The proposed location of NACs within the plan area provide coverage for nearly all areas of the plan, the exception being areas close to Symons Valley Ranch (a CAC) or close to the CAC in the plan, or a future NAC located just to the west of 69 Street NW.

The NACs proposed within the Marmot neighbourhood (neighbourhood B4 as identified in the GRASP) contains a community association site adjacent to an open space area, a multi-residential site and a commercial site. The NAC is connected via regional pathways or green corridors to the environmental reserve areas.

Joint Use (School) Sites

The GRASP identifies the following policies with regards to Joint Use (School) Sites:

1. JUS should be located as shown on Map 3: Land Use Concept.
2. JJUS, which accommodate two schools, should be located as shown on Map 3: Land Use Concept.
3. School building envelopes should be located along a street abutting the site. Buildings should offer direct pedestrian access to primary entrances from the sidewalk without crossing a parking lot or drive aisle.
4. It may be necessary to reduce the size of a site where there is not enough Municipal Reserve land for other uses, and/or where topographical constraints limit the ability to provide an adequate site. This will be assessed at the Outline Plan/Land Use Amendment stage.

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Two joint-joint use sites and one joint use site are located within the plan area. The sites are located generally as identified in the GRASP, and have been reviewed by Site Planning Team and the Joint Use Coordinating Committee. One joint use site (a CBE elementary school) was eliminated from the plan area after significant discussion with the Site Planning Team and the Joint Use Coordinating Committee. Additionally, all school sites layouts have been reviewed by the Site Planning Team and approved.

High School Sites

The GRASP identifies the following policies with regards to High School Sites:

1. High School Sites should be located as shown on Map 3: Land Use Concept.
2. Each High School Site should require from 8 to 9.3 ha (20 to 23 ac) of land.
3. Each High School Site should have direct access to a Regional Pathway and a transit stop to minimize mid-block crossings and traffic conflicts.
4. Enhanced pedestrian facilities (for example, wider sidewalks) and enhanced transit waiting amenities (minimum standard to large shelter(s)) should be provided on adjacent streets identified as having transit service.
5. The west high school should front or flank the adjacent collector streets and locate parking and sports fields in behind to contribute to an activated intersection with the adjacent Activity Centres.
6. It may be necessary to reduce the size of a site where there is not enough Municipal Reserve land for other uses, and/or where topographical constraints limit the ability to provide an adequate site. This will be assessed at the Outline Plan/Land Use Amendment stage.

One High School (the West High School), is identified in the plan area, and is located as shown on the land use concept in the GRASP. The site is 8.09 hectares, has regional pathways on three sides, has a bus stop located immediately adjacent, and fronts onto collector streets, creating an activated intersection with the CAC to the south.

Community Association Site

The GRASP identifies the following policies with regards to Community Association (CA) Sites:

2. Co-locating CA sites with uses on adjacent sites is encouraged. Such sites include but are not limited to the Emergency Response Station, Joint Use Sites, Recreation Facility/Library, NACs or CACs. In such instances, a CA Site may be relocated without an amendment to this ASP.
3. CA Sites should be within 400 metres of a transit stop.
4. CA Sites should have direct access to a Regional Pathway or Green Corridor.

The proposed community association site is located within a NAC, adjacent to one joint-joint use site and within short walking distance of another joint-joint use site, has transit stops nearby and is connected to the Regional Pathway, thus meeting all the policies above.

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Emergency Response Station

The GRASP identifies the following policies with regards to Emergency Response Stations:

1. The Emergency Response Station may be collocated with or integrated within a multi-use facility or development.
2. Within any multi-use development, the Emergency Response Station requires a dedicated 0.8 hectares (2 acres) site.
3. Developers are encouraged to engage The City regarding the location and size of the Emergency Response Station parcel at the initiation of the Outline Plan/Land Use Amendment stage.

An emergency response station is identified as being located adjacent to the CAC in the north west portion of the plan area. The station is integrated within a mixed-use development and meets the 0.8 hectares (2 acre) size requirement. Facilities Management was circulated on the application and supported the location of the site. The integration of the station with adjacent development will be determined at the development permit stage.

Interface with Natural Areas

Significant amounts of natural areas are proposed within the plan area. These natural areas primarily consist of several coulees that bisect the plan area, as described in the site context section above. The GRASP identifies the following policies with regards to interfaces with Natural Areas:

1. Design of residential developments adjacent to Symons Valley, West Nose Creek and other preserved natural areas should consider the following;
 - b. connecting internal pathways of multi residential developments to nearby Regional Pathways and Green Corridors;
 - c. strategic design of public access into and around coulees, streams, escarpments and other retained features, to allow for the buffering of habitat wildlife within and along these retained features;
 - e. providing access and views from Neighbourhood Areas by establishing a permeable block design that allows for green pockets to open onto adjacent natural areas.

Residential interfaces with natural areas provides for numerous public access points via engineered walkways or municipal reserve areas to the coulees. Regional pathways connect through these access points, and a trail system is proposed along the coulees. The pathways are designed to reduce disturbance of natural areas and habitats. These connections also serve as viewpoints to connect the community to these natural areas.

Interface with Rocky View County

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The northern boundary of the plan area is shared with the municipal boundary with Rocky View County. The GRASP identifies the following policies with regards to interfaces with Rocky View County:

1. The IDP identifies land north of the Plan Area as a future City of Calgary growth area. Therefore, development along the Plan Area boundary should provide opportunities for attractive and functional integration with urban-style development that may occur in the future north of the Plan Area. Elements to achieve such integration include but are not limited to:
 - a. streets, pathways and open spaces that could be extended in the future to north of the Plan Area;
5. Design of Neighbourhood Areas and sections of 160 Avenue NW adjacent to existing acreages along the north boundary will be required to minimize nuisances for existing acreage owners. Edge conditions should be defined by a variety of different methods including local streets or green spaces that will act as buffers.

The interface with Rocky View County in the plan area consists of two types of interfaces: a community interface and an environmental interface. For the residential interface, where residential units and the High School site are located adjacent to the boundary with Rocky View County, a shadow plan has been provided to demonstrate how streets and pathways can be extended to the north. The area of this extension is fairly limited due to the edge of the escarpment which is located just to the north of the plan area.

For the other interface areas, the interface condition is comprised of environmental areas or a storm pond. These interfaces do not create nuisance for existing acreage owners to the north of the plan area.

Symons Valley and West Nose Creek

The GRASP identifies the following policies with regards to Symons Valley and West Nose Creek:

1. In accordance with Section 5.3 Streets, Symons Valley Road west of Mountain View Road should be closed and a new Regional Pathway in the vicinity created to restore and enlarge a featured natural open space destination of the Plan Area.
2. Regional Pathways will provide convenient connections north-south and east-west for bicycle and pedestrian commuters.
3. Green Corridors will provide access to key features and viewpoints of Symons Valley.

The plan will facilitate the closure of Symons Valley Road by providing for the realignment of the road to north, as well as the extension of Shaganappi Trail NW to the north. A regional pathway is proposed along the south portion of the north storm pond to contribute to the regional pathway network in this area. Regional pathways have been provided throughout the plan area, specifically along Cavell Drive, Marmot Drive, 144 Avenue NW, Sarcee Trail NW, Shaganappi

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Trail NW and along the coulees to provide a connected network of pathways throughout the plan area.

Environmental Open Space Area

The GRASP identifies the following policies with regards to Environmental Open Space Areas:

1. Sites that are identified as EOS but do not qualify as Environmental Reserve should be protected where feasible by incorporating them into the neighbourhood through site and building designs, and the strategic location of Municipal Reserve land.
2. Where a street is proposed to cross Green Corridors or natural areas including Coulees and West Nose Creek, studies may be required at the Outline Plan/Land Use Amendment stage to:
 - a. ensure that any potential changes to existing natural conditions are minimized;
 - b. consider the most appropriate technique to maintain the ecological quality of the area; and
 - c. mitigate negative impacts, both during construction and in the final design.

Environmental areas have largely been provided as environmental reserve throughout the plan area. Coulees have been maintained, and environmental reserve utilized to provide a drainage course that is supplemented with municipal reserve, which will assist in the preservation of the environmental quality of the feature. Street crossings of Green Corridors have been reviewed to minimize environmental disturbance.

Regional Pathways and Green Corridors

1. Where portions of the Environmental Open Space Study Area are not retained, the presence of the Green Corridor may be removed without amendment to this ASP provided that:
 - i. a Regional Pathway is provided within approximately 200 metres of where the Green Corridor is shown on Map 5: Regional Pathways and Green Corridors;

Where possible, environmental spaces have been retained. Regional pathways have been provided generally where shown on Map 5 of the GRASP.

Social, Environmental, Economic (External)

The recommended outline plan and associated land use framework will provide for a diversity of housing choices to meet the needs of various household sizes, lifestyles and income levels in an existing established area. The plan provides for densities that are transit-supportive and that make efficient use of land and infrastructure. Commercial areas provide services for local residents.

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Financial Capacity

Current and Future Operating Budget

There is currently no impact to the current operating budget. As development proceeds, the provision of City services such as roads, transit, and parks maintenance would have an operating budget impact at such time as they are provided. The projected operating costs for this development during 2019-2022 have been included in the One Calgary 2019-2022 Service Plans and Budgets.

Current and Future Capital Budget

There is no impact to the current capital budget as a result of this report. The City transportation and utility capital infrastructure required to service this development is included in the One Calgary 2019-2022 Service Plans and Budgets. This additional infrastructure will be funded by The City and through off-site levies paid by developers. The capital investment required to construct and upgrade the required local infrastructure will be funded by the developer.

Risk Assessment

There are no significant risks associated with this proposal.

This application is considerably larger than typical outline plans, and is in excess of the typical standard of 100 hectares for an outline plan. However, given the issues of storm water servicing (reducing the number of storm ponds from five to two), municipal reserve allocation (i.e. the need to remove a school site and balance municipal reserve over a large area), utility servicing (i.e. constraints on the grades of sanitary lines that affected road layouts and locations), it was determined that the application could proceed in its current size. Administration understands the risk that this may necessitate future outline plan and land use revisions for future phases of the outline plan as market conditions change.

REASON(S) FOR RECOMMENDATION(S):

The proposed outline plan serves to implement the objectives of the *Municipal Development Plan* which supports the efficient utilization of land and infrastructure. The proposal is also in keeping with applicable policies of the *Glacier Ridge Area Structure Plan*.

The proposal provides a well-designed, comprehensively planned residential community with a mix of residential housing types served by commercial and open space amenities connected through a network of pathways and pedestrian infrastructure. It includes the necessary protection and public land dedications for environmentally sensitive areas and provides the land necessary for four notable school sites in the plan area. The plan meets the minimum densities set out in the *Glacier Ridge Area Structure Plan*.

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The conditions of approval (Attachment 1) effectively implement the technical aspects of the plan area's future development.
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ATTACHMENT(S)

1. Conditions of Approval
2. Proposed Outline Plan
3. Applicant Submission
4. Proposed Land Use District Map
5. Subdivision Data Sheet
6. Proposed Neighbourhoods
7. List of Landowners

Conditions of Approval

The following Conditions of Approval shall apply:

Subdivision Services:

1. The community name and street names shall be approved by City Council prior to approval of the first tentative plan.
2. Existing buildings shall be removed prior to endorsement of the final instrument.
3. No stripping and grading permission shall be granted prior to land use approval.
4. Relocation of utilities shall be at the developer's expense and to the appropriate standards.
5. If the total area for Roads & Public Utility Lot dedication is over 30%, note that compensation in the order of \$1 for over dedication is deemed to be provided.
6. The standard City of Calgary Party Wall Agreement regarding the creation of the separate parcels for semi-detached dwellings or rowhouse dwellings shall be executed and registered against the titles concurrently with the registration of the final instrument.
7. To create attractive streetscapes, all R-Gm lots abutting a lane and fronting the following streets shall only have direct vehicular access from the lane (no front drive garages), and that a restrictive covenant shall be registered against the titles of those lots concurrent with each tentative plan to that effect:
 - Beauvert Green
 - Tekarra Manor
 - Aquila View
 - 69th Street NW
 - Cavell Drive
 - Aquila Grove
 - Marmot Green
 - Edith Gate
 - Tonquin Gate
 - Ashmore Hill
 - Ashmore Heights
 - 37th Street NW
8. All existing utilities within the road closure area shall be protected by easement or relocated at the developer's expense.
9. The applicant is responsible for all costs associated with the closure including all necessary physical construction, removal, rehabilitation, utility relocation, etc.
10. All costs associated with the road closure shall be borne by the applicant.
11. The closed road right-of-way is to be consolidated with the adjacent lands.
12. That protection and/or relocation of any utilities required for the road closure will be at the applicant's expense and to the appropriate standards.

Conditions of Approval

13. A Residents Association shall be formed. It should be comprised of all residents in the community and all impacted titles within the plan area shall have an encumbrance registered on title identifying the financial and maintenance responsibility of said parcels to the Residents Association, all to the satisfaction of the Subdivision Authority and the Director, Parks, **concurrent with registration of the final instrument.**
14. A public access easement shall be registered over the following parcels to the satisfaction of the subdivision authority:
 - The C-C2 parcel located to the northeast of the intersection of Sarcee Trail and 69th Street NW
 - The C-N2 parcel located to the northeast of the intersection of 144th Avenue NW and Sarcee Trail
15. **Prior to the approval of the relevant tentative plan**, ensure sufficient road dedication is provided on Beauvert Road NW at the boundary of Rocky View Country to ensure a proper road connection is possible in the future to lands to the north.

Development Engineering:

16. **Prior to approval of the relevant tentative plan**, a pathway connection through the MR near Ashlar Walk will be required in order to provide adequate fire access to the proposed garden lots. In order to meet fire access standards, the pathway is, at minimum, to be equivalent in width to a standard city sidewalk. The pathway is also to be hard surfaced and be maintained year round to allow unobstructed access to the Primary Entrances of the proposed buildings.
17. The parcels shall be developed in accordance with the development restriction recommendations outlined in the following report(s):
 - Geotechnical Report (Glacier Ridge ASP Phase 1), prepared by McIntosh Lalani Ltd. (File No ML 7623), dated August 4, 2016.
 - Geotechnical Report (Glacier Ridge ASP Phase 2), prepared by McIntosh Lalani Ltd. (File No ML 7623), dated November 1, 2016.
18. Prior to approval of stripping and grading or the affected tentative plan, whichever comes first, the applicant must provide confirmation that the concerns identified in: *"Phase I Environmental Lands Assessment Glacier Ridge (formerly North Stoney Cell D Area), North Calgary, Alberta."* (Cirrus Environmental, 2017) have been addressed.

All information will be reviewed to the satisfaction of The City of Calgary (Environmental and Safety Management).

19. **Concurrent with the registration of the final instrument**, execute and register on all parcels with double frontage lots that are adjacent to a collector road, a neighbourhood boulevard, an urban boulevard, an arterial road, a skeletal road, or a Transportation Utility Corridor, a Screening Fence Access Easement Agreement with the City of Calgary. The agreement and registerable access right of way plan shall be approved by the Manager, Infrastructure Planning and the City Solicitor **prior to endorsement of the final instrument**. A standard template for the agreement will be provided by the Development Engineering Generalist. Prepare and submit three (3) copies of the agreement for the City's signature.

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20. **Prior to approval of applicable tentative plans/development permits**, submittal and approval of a Geotechnical Slope Stability Assessments will be required to the satisfaction of Development Engineering and the Geotechnical Engineer, Roads as per the City of Calgary July 2017 Geotechnical Report Guidelines for Land Development Applications.
21. **Prior to approval of applicable tentative plans/development permits**, submittal and approval of a Geotechnical Deep Fills Report will be required to the satisfaction of Development Engineering and the Geotechnical Engineer, Roads as per the City of Calgary July 2017 Geotechnical Report Guidelines for Land Development Applications.
22. This subject plan area is within the boundary of the Nose Creek drainage catchment and subject to stormwater volume control measures. Based on the Watershed Management Plan stormwater discharge and annual runoff volumes are limited to the values specified in the SMDP. Low Impact Development and stormwater source control is recommended.
23. **Prior to approval of the first tentative plan**, submit a detailed water network and hydrant plan to Water Resources for review.
24. Submit a Staged Master Drainage Plan (SMDP) to Water Resources that identifies the required capacity, alignments and land requirements for the storm water infrastructure. The report is to be prepared by a qualified Professional Engineer under seal and permit to practice stamp to the satisfaction of the City of Calgary, Water Resources. Before beginning the SMDP, it is recommended that the environmental significant areas be identified, to the satisfaction of the Manager of Parks Development, through the completion of a Biophysical Impact Assessment (BIA). For further information contact Water Resources – Development Approvals, 403-268-4993.

Note: SMDP has been received and review comments have been provided. Approval of the SMDP is required **prior to approval of the first tentative plan**.
25. Servicing arrangements shall be to the satisfaction of the Manager Infrastructure Planning, Water Resources.
26. **Prior to endorsement of any Tentative Plan/prior to release of a Development Permit**, execute a Development Agreement. Contact the Public Infrastructure Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email urban@calgary.ca.
27. Off-site levies, charges and fees are applicable. Contact the Public Infrastructure Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email urban@calgary.ca.
28. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument**, make satisfactory cost sharing arrangements with United Acquisition II Corp. for part cost of the existing sanitary sewer, storm sewer and watermain installed/constructed in 144 Av NW that was paid for and/or constructed by United Acquisition II Corp. under Sage Hill, Phase 01 (2007-053).

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29. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument**, make satisfactory cost sharing arrangements with United Acquisition II Corp. for part cost of the existing sanitary sewer, storm sewer and watermain installed/constructed in 144 Av NW that was paid for and/or constructed by United Acquisition II Corp. for under Sage Hill, Phase 07 (2010-023).
30. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument**, make satisfactory cost sharing arrangements with United Acquisition II Corp. for part cost of the existing sanitary sewer, storm sewer and watermain installed/constructed in 144 Av NW that was paid for and/or constructed by United Acquisition II Corp. under Sage Hill, Phase 08 (2010-060).
31. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument**, make satisfactory cost sharing arrangements with United Acquisition II Corp. for part cost of the existing sanitary sewer, storm sewer and watermain installed/constructed in 144 Av NW that was paid for and/or constructed by United Acquisition II Corp. under Nolan Hill, Phase 08 (2014-021).
32. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument**, make satisfactory cost sharing arrangements with United Acquisition II Corp. for part cost of the existing storm sewer installed/constructed in 144 Av NW that was paid for and/or constructed by Genesis Land Development Corp. under Sage Hill, Phase 08 (2018-0039).
33. The developer, at its expense, but subject to normal oversize, endeavours to assist and boundary cost recoveries shall be required to enter into an agreement to:
 - a) Install the offsite sanitary sewers, storm sewers and water mains and construct the offsite temporary and permanent roads required to service the plan area. The developer will be required to obtain all rights, permissions, easements or rights-of-way that may be required to facilitate these offsite improvements.
 - b) Construct the onsite and offsite storm water management facilities (wet pond, wetlands, etc) to service the plan area according to the most current City of Calgary Standard Specifications Sewer Construction, Stormwater Management and Design Manual and Design Guidelines for Subdivision Servicing.
 - c) Construct the underground utilities and surface improvements within the north two lanes of 144 Ave NW, along the south boundary of the plan area.
 - d) Construct the underground utilities and surface improvements full width of 69 St NW, along the west boundary of the plan area.
 - e) Construct the underground utilities and surface improvements full width of Sarcee Tr NW, along the west boundary of the plan area.
 - f) Construct the underground utilities and surface improvements full width of Shaganappi Tr NW, along the west boundary of the plan area.
 - g) Construct the underground utilities and surface improvements within the east two lanes of Symons Valley Rd NW, along the west boundary of the plan area.

Conditions of Approval

- h) Construct the underground utilities and surface improvements within and along the boundary of the plan area.
- i) Construct the MSR/MR within the plan area.
- j) Construct the regional pathway within and along the boundaries of the plan area, to the satisfaction of the Director of Parks Development.

Transportation:

- 34. In conjunction with the initial Tentative Plan, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for the boundary half of 144 Avenue NW from Symons Valley Road NW to the east boundary of the Outline Plan, inclusive that accommodates the extension of 144 Avenue NW east across West Nose Creek.
- 35. In conjunction with the initial Tentative Plan, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for the boundary half of 144 Avenue NW from 69 Street NW to Shaganappi Trail NW, inclusive.
- 36. In conjunction with the initial Tentative Plan, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for the full width of Shaganappi Trail NW from 144 Avenue NW to Marmot Green NW, inclusive.
- 37. In conjunction with the initial Tentative Plan, the Developer shall construct the boundary half of 144 Avenue NW (westbound three lanes to ultimate stage plan) between Sarcee Trail NW and Shaganappi Trail NW, inclusive. 144 Avenue NW and ancillary works (boulevard, noise attenuation, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries.
- 38. In conjunction with the initial Tentative Plan, the Developer shall construct Edith Gate NW, between 144 Avenue NW and Cavell Drive NW, and construct Cavell Drive NW, between Edith Gate NW and Shaganappi Trail NW, inclusive. Edith Gate NW and Cavell Drive NW, and ancillary works (boulevard, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries. The Developer shall also provide an emergency access along the Cavell Drive and Sarcee Trail alignments, connecting Edith Gate and 144 Avenue via those alignments.
- 39. In conjunction with the second Tentative Plan, the Developer shall construct the full width of Sarcee Trail NW between Cavell Drive NW and 144 Avenue NW, inclusive. Sarcee Trail NW and ancillary works (boulevard, noise attenuation, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries.

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40. In conjunction with the second Tentative Plan, the Developer shall construct Cavell Drive NW between Edith Gate NW and Sarcee Trail NW, inclusive. Cavell Drive NW and ancillary works (boulevard, noise attenuation, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries.
41. In conjunction with the third Tentative Plan, the Developer shall construct the interim full width (northbound outside two lanes and southbound outside two lanes) of Shaganappi Trail NW between Cavell Drive NW and 144 Avenue NW, inclusive. Shaganappi Trail NW and ancillary works (boulevard, noise attenuation, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries.
42. In conjunction with the first Tentative Plan east of Shaganappi Trail NW, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for the boundary half of 144 Avenue NW from Shaganappi Trail NW to 37 Street NW, inclusive.
43. In conjunction with the initial Tentative Plan, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for the full width of Shaganappi Trail NW from Marmot Green NW through to 160 Avenue NW, inclusive.
44. In conjunction with the applicable Tentative Plan that triggers the need for Shaganappi Trail NW north of Marmot Green to support the proposed development, or where the applicable Tentative Plan bounds Shaganappi Trail NW north of Marmot Green, the Developer shall design and construct the full width of Shaganappi Trail NW from Marmot Green to 160 Avenue NW.
45. In conjunction with the applicable Tentative Plan that triggers the road closure of Symons Valley Road NW from 37 Street NW to Shaganappi Trail NW (i.e. the tentative plan whereby Shaganappi Trail is constructed through the existing Symons Valley Road alignment), the Developer shall submit transportation analysis to determine or confirm the need for regional transportation connections to support the proposed development.
46. In conjunction with the applicable Tentative Plan, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for the full width of Sarcee Trail NW from 144 Avenue NW to 69 Street NW, inclusive.
47. In conjunction with the applicable Tentative Plan, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for 69 Street NW from 144 Avenue NW to Sarcee Trail NW, inclusive.
48. In conjunction with the applicable Tentative Plan, the Developer shall construct the boundary half of 144 Avenue NW (westbound three lanes to ultimate stage plan) between Sarcee Trail NW and the west boundary of the Outline Plan, inclusive. 144 Avenue NW and ancillary works (boulevard, noise attenuation, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries.

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49. In conjunction with the applicable Tentative Plan, the Developer shall construct the boundary half of 144 Avenue NW (westbound three lanes to ultimate stage plan) between Shaganappi NW and the east boundary of the Outline Plan, inclusive. 144 Avenue NW and ancillary works (boulevard, noise attenuation, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries.
50. In conjunction with each applicable Tentative Plan, the Developer shall construct the full width of Shaganappi Trail NW and Sarcee Trail NW. Sarcee Trail NW and Shaganappi Trail NW and ancillary works (boulevard, noise attenuation, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries.
51. In conjunction with each Tentative Plan, the Developer shall demonstrate that the plan area provides contiguous extension of development with the Outline Plan area, to the satisfaction of Transportation Development Services. The intent is to ensure transportation connectivity for all modes within and adjacent to the plan area, as well as facilitate transit routing.
52. In conjunction with the applicable Tentative Plan, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for Symons Valley Road NW from 144 Avenue NW to the north boundary of the Outline Plan, inclusive.
53. In conjunction with the applicable Tentative Plan, the Developer shall construct the boundary half of Symons Valley Road NW from 144 Avenue NW to the north boundary of the Outline Plan, inclusive. Symons Valley Road NW and ancillary works (boulevard, noise attenuation, etc) necessary to support the plan shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries.
54. In conjunction with the applicable Tentative Plan, the Developer shall submit detailed construction drawings, for all adjacent intersections on Sarcee Trail, Shaganappi Trail, Symons Valley Road and 144 Avenue NW adjacent to and within the outline plan boundary. The intersection designs shall demonstrate and provide dimensions for any proposed road widening; including the parallel and/or slotted left-turn bays or dual left turn bays at the intersections. Adjustments to the tentative plan boundary may be required to accommodate all necessary intersection right-of-way requirements. **Prior to the approval of the affected tentative plan**, the design and right-of-way for the subject intersections will be determined to the satisfaction of the Director, Transportation Planning.
55. In conjunction with the applicable Tentative Plan, the Developer shall submit detailed construction drawings with cross-sections, for the interim and ultimate grades for Sarcee Trail, Shaganappi Trail, Symons Valley Road, and 144 Avenue NW adjacent to and within the outline plan boundary. Cross-sections shall indicate and provide dimensions for any proposed road widening to accommodate grades. Adjustments to the tentative plan boundary may be required to accommodate all necessary right-of-way requirements. **Prior to the approval of the affected tentative plan**, the design and right-of-way for the subject roads will be determined to the satisfaction of Transportation.

Conditions of Approval

56. In conjunction with all Tentative Plan(s) and Development Permit(s), all roads, intersections, driveways, and intersection spacing shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist, and boundary cost recoveries, and to the satisfaction of the Director, Transportation Planning.
57. In conjunction with each Tentative Plan, collector standard streets (and below) shall be designed and constructed at the Developer's sole expense to their full width, subject to normal oversize, endeavours to assist, and boundary cost recoveries, to the satisfaction of the Director, Transportation Planning.
58. In conjunction with the applicable Tentative Plan, the Developer shall enter into a Development Agreement for offsite improvements necessary to service the proposed development to the satisfaction of the Approving Authority.
59. In conjunction with each Tentative Plan, the Developer shall register road plans for collector standard streets within the subject lands to the satisfaction of the Director, Transportation Planning that provides continuous active modes and vehicle routing through the community with at least two points of public access around the Tentative Plan boundary connecting to the arterial street network.

The continuous collector street network is required to ensure that efficient Transit routing through the plan area can be accommodated, while the two points of access to the plan area ensures resident will have two routes into and out of the plan area.

60. In conjunction with the applicable Tentative plan and Development Permit, all roundabouts shall be designed and constructed to the satisfaction of the Director, Transportation Planning as follows:
 - a) All bus stops adjacent to roundabouts shall be located outside the curb flares influence zone and along the curb lanes where there is on-street parking;
 - b) A sight line analysis for roundabouts, as well as truck and transit sweep path analysis, and fastest path analysis shall be provided. Transit buses shall not be required to mount the central truck apron in order to navigate the roundabout;
 - c) All roundabouts shall include bicycle and active modes ramps to facilitate barrier-free access through the roundabouts; and
 - d) No driveway access is permitted within the functional area of roundabouts.
61. Prior to endorsement of the applicable Tentative Plan, construction drawings shall be approved for roundabout(s) within the Tentative Plan boundary, to the satisfaction of the Director, Transportation Planning to ensure sufficient road right-of-way is reserved for potential design refinements as required.
62. In conjunction with the applicable Tentative Plan, and prior to approval of construction drawings and permission to construct surface improvements, the Developer shall provide signed copies of backsloping agreements (and Ministerial consent, if applicable) where private lands (including City of Calgary lands) are impacted by the proposed development.
63. In conjunction with the applicable Tentative Plan or Development Permit, the Developer shall enter into a Construction Access Roads Agreement with Roads Maintenance.

Conditions of Approval

64. In conjunction with the applicable Tentative Plan or Development Permit, as well as in conjunction with any Land Use or Outline Plan amendments, further transportation analysis is required at the discretion and to the satisfaction of the Director, Transportation Planning.
65. In conjunction with the applicable Tentative Plan or Development Permit, all community entrance features must be located outside the public right-of-way.
66. In conjunction with the applicable Tentative Plan or Development Permit for the staged construction of the road network, transit stops shall be provided to the satisfaction of the Director, Transportation Planning. All bus zones shall be located:
 - a) Where commercial areas are concentrated;
 - b) Where the grades and site lines are compatible to install bus zones; and
 - c) Where pedestrian walkways, pathways, and roadway crossing opportunities are provided.
67. A restrictive covenant shall be registered against the specific lot(s) identified by the Director, Transportation Planning concurrent with the final instrument prohibiting the construction of front driveways over the bus loading area(s).
68. In conjunction with the applicable Tentative Plan, transit stops along 144 Avenue NW, Shaganappi Trail NW, Sarcee Trail NW, and Symons Valley Road NW are to be developed as bus bays to the satisfaction of the Director, Transportation Planning.
69. In conjunction with the applicable Tentative Plan, no direct vehicle access is permitted to collector standard roadways, or along regional and multi-use pathways for all R-G residential lots to the satisfaction of the Director, Transportation Planning. Vehicular access shall be provided by rear lanes. Restrictive covenants shall be registered on all applicable titles concurrent with the registration of the final instrument to that effect at the Tentative Plan stage.
70. No direct vehicular access is permitted along 144 Avenue NW from the subject lands. Restrictive covenants shall be registered concurrent with the registration of the final instrument to that effect at the tentative plan stage.
71. No direct vehicular access is permitted along Sarcee Trail NW from the subject lands with the following exceptions:
 - a) S-CRI (EMS) site;
 - b) One access to the C-N2 site north of 144 Avenue NW, located approximately mid-block between 144 Avenue NW and Cavell Drive NW, and no closer than 120m from 144 Avenue NW

Restrictive covenants shall be registered concurrent with the registration of the final instrument to that effect at the tentative plan stage.
72. No direct vehicular access is permitted along Shaganappi Trail NW from the subject lands with the exception of one access to the C-N2 site, to be designed as a curb return right-in/out access in conjunction with the applicable tentative plan stage. Restrictive covenants shall be registered concurrent with the registration of the final instrument to that effect at the tentative plan stage.

Conditions of Approval

73. No direct vehicular access, with the exception of access to the S-CRI(PUL) site, is permitted along Symons Valley Road NW from the subject lands. Restrictive covenants shall be registered concurrent with the registration of the final instrument to that effect at the tentative plan stage.
74. The intersection of Marmot Green and Markham Hill to be restricted to right-turns only.
75. In conjunction with the applicable Tentative Plan or Development Permit, access for all multi-family, mixed-use, and commercial sites shall be designed and located to the satisfaction of the Director, Transportation Planning.
76. In conjunction with the applicable Tentative Plan or Development Permit, shared access is required for multi-family, mixed-use, and commercial sites to the satisfaction of the Director, Transportation Planning. For these sites, a Mutual Access Easement Agreement for parcels that use the same access shall be executed and registered on title concurrent with the registration of the final instrument.
77. In conjunction with the applicable Tentative Plan or Development Permit, the Developer shall provide a Letter of Credit or payment for pedestrian-actuated crossing signals. Pedestrian-actuated crossing signals shall be located to the satisfaction of the Director, Transportation Planning as follows:
 - a) where regional pathways or multi-use pathways intersect with a street;
 - b) at mid-block crossings; and
 - c) at intersections or pedestrian crossings adjacent to joint use sites.

The Developer shall also provide a letter, under Corporate Seal, indicating that they are responsible for any additional costs of signalization that could be in excess of the amount identified in the Letter of Credit or payment, and is required to submit payment in support of the Tentative Plan or Development Permit.
78. In conjunction with the applicable Tentative Plan, the Developer shall ensure that all pathways from MR lands have direct pedestrian connection by sidewalk or pathway to crossing locations at intersections to the satisfaction of the Director, Transportation Planning.
79. In conjunction with the applicable Tentative Plan, sidewalks along a school site frontage shall be designed and constructed at the Developer's sole expense as mono-walks with a minimum width of 2.0 meters.
80. In conjunction with the applicable Tentative Plan or Development Permit, the Developer shall provide curb extensions along streets adjacent to school sites (entire parcel) to the satisfaction of the Director, Transportation Planning.
81. In conjunction with the applicable tentative plan, the Developer shall provide corner cuts for all locations where lanes cross regional and multi-use pathways.

Conditions of Approval

82. In conjunction with the applicable Tentative Plan or Development Permit, a noise attenuation study is required for residential development adjacent to all Arterial standard streets, certified by a Professional Engineer with expertise in the subject of acoustics related to land use planning, shall be submitted to Transportation Development Services for approval. Note that where sound attenuation is not required adjacent to Arterial streets, a uniform screening fence shall be provided to the satisfaction of the Director, Transportation Planning.
83. In conjunction with the applicable Tentative Plan or Development Permit, all noise attenuation features (noise walls, berms, etc) and ancillary facilities required in support of the development shall be constructed entirely within the development boundary (location of noise walls, berms, etc and associated ancillary works shall not infringe into the road right-of-way).
84. In conjunction with the applicable Tentative Plan or Development Permit, temporary oil and gravel bus turnaround / cul-de-sac with a minimum radius of 15.25 meters is required at the terminus of each construction phase. Where the Developer intends to fence the turnaround, the minimum radius shall be increased to 16.25 meters. If road construction or construction phasing affects the operations of transit service, the Developer is required to provide an interim transit route replacement, to the satisfaction of the Director, Transportation Planning. Post and cable fence is required where the temporary turnaround is anticipated to be required for a period greater than one year.

Parks:

85. **Prior to endorsement of the affected tentative plan**, the developer shall submit under separate cover, Landscape Construction Drawings for all Reserve parcels (MR, ER, MSR) within the boundaries of the plan area for Parks review and approval. Irrigation drawings, if required, are to be submitted as part of the same landscape construction drawing package and shall follow the submission requirements outlined with the Parks Development Standard Specifications for Landscape Construction (current edition).
86. The developer shall submit Engineering Construction Drawings and Landscape Construction Drawings for the proposed storm pond to both Water Resources and Parks for review.
87. The developer shall restore, to a natural state, Environmental Reserve lands within and along the boundaries of the plan area that are damaged in any way as a result of this development. The restored area is to be maintained until established and approved by the Park Development Inspector.
88. Any development or grading related to storm water infrastructure resulting in permanent disturbance within Environmental Reserve lands, requires approval from the Director, Parks.
89. **Prior to endorsement of the affected tentative plan OR prior to release of the stripping and grading permit** (whichever occurs first), submit a Habitat Restoration Plan for all natural areas to Parks for review and approval. See the City's [Habitat Restoration Project Framework](#) for guidance.

Conditions of Approval

90. **Prior to endorsement of the affected tentative plan OR prior to release of the stripping and grading permit** (whichever occurs first), protection fencing must be installed along surveyed boundaries of Environmental Reserve (ER) lands within the Outline Plan area. An onsite meeting shall be arranged to confirm that the surveyed boundaries of the ER lands meet Parks' approval. A plan illustrating the surveyed ER boundaries must be provided to Parks in advance of the onsite meeting. The protection fencing shall be maintained along the confirmed surveyed boundaries of the ER lands until construction activity of the subject site has been completed. Contact the Parks Development Inspector at 403-268-1358.
91. All landscape rehabilitation on the Environmental Reserve lands resulting from development activity shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications: Landscape Construction (current edition). The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector.
92. The developer shall minimize stripping and grading within Environmental Reserve lands. Any proposed disturbance within Environmental Reserve lands, including that for roadways, utilities, and storm water management infrastructure, shall be approved by Parks **prior to stripping and grading permit**.
93. The proposed sanitary and storm lines located within Public Utility Lots running through the Environmental Reserves shall be constructed such that they are located subsurface, below the existing ground in all locations, unless otherwise approved in writing by Calgary Parks.
94. **Prior to stripping and grading permit or commencement of construction activity within the Outline Plan area**, a nesting and breeding bird survey may be required, should the removal of trees or other vegetation take place during the nesting period of migratory bird species (April 15 to August 20). Sweeps for active nests or other sensitive wildlife features should be conducted at least 6 days prior to start of construction, and appropriate mitigation measures taken as per direction from Alberta Environment wildlife division, where applicable, to be in compliance with the Wildlife Act and the Migratory Birds Convention Act.
95. Plant all public trees in compliance with the approved Public Landscaping Plan.
96. The developer shall submit under separate cover, Utility Line Assignment Construction Drawings for trees installed within City of Calgary boulevards and/or right of ways to Utility Line Assignment and Parks for review and approval.

No person shall plant trees or shrubbery on City Lands without prior written authorization from the Director, Calgary Parks and in the case of walkways, medians, boulevards, and road rights of way, without additional prior written authorization from the Director, Development Engineering
97. Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks' Development Guidelines and Standard Specifications: Landscape Construction (current edition).

Conditions of Approval

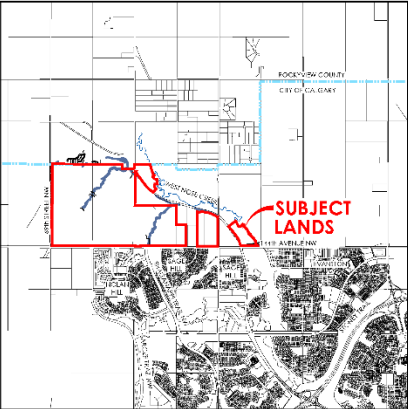
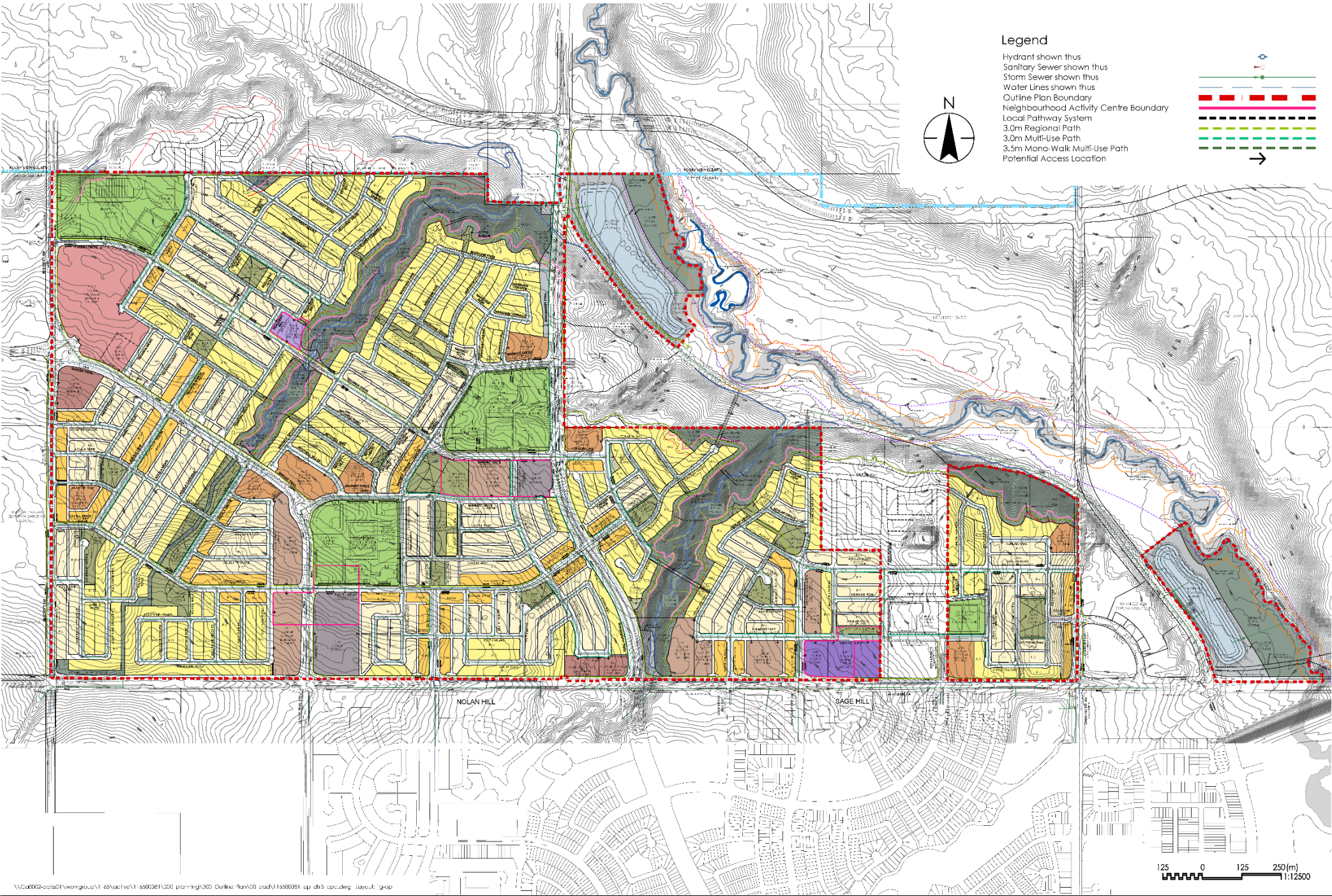
98. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca.
99. **Prior to approval of the affected first tentative plan OR stripping and grading permit** (whichever occurs first), it shall be confirmed that grading of the development site will match the grades of adjacent open space (MR and/or ER) established by Parks and the Applicant, with all grading confined to the private property, unless otherwise approved by Parks.
100. For Municipal Reserve lands abutting Environmental Reserve lands, only native planting species shall be used.
101. Low Impact Development (LID) drainage components shall not to conflict with pathways.
102. **Prior to approval of the first tentative plan or stripping and grading permit** (whichever occurs first), the grading of the development site(s) adjacent to Municipal Reserve and Environmental Reserve lands shall be confirmed by Parks.
103. Development activities must ensure that suitable erosion and sedimentation controls are being implemented to protect our environment and drainage systems.

Please refer to The City of Calgary's Guidelines for Erosion and Sediment Control:
<http://www.calgary.ca/UEP/Water/Documents/Water-Documents/escguidelines2001-02-12.pdf>
104. Construct all pathway routes within and along the boundaries of the plan area according to Parks' Development Guidelines and Standard Specifications: Landscape Construction (current version), including applicable setback requirements, to the satisfaction of Parks.
105. **Prior to the approval of the affected tentative plan**, the developer shall confirm fencing requirements adjacent to Municipal Reserve and Environmental Reserve lands to the satisfaction of Parks.
106. All proposed site fencing required adjacent to Municipal Reserve and Environmental Reserve lands, including footings, shall be installed completely within private property, unless otherwise approved by Parks.
107. Construction access through Environmental Reserve lands is not permitted.
108. Stockpiling or dumping of construction materials on Environmental Reserve lands is not permitted.
109. Retaining walls placed within Environmental Reserve lands is not permitted, unless otherwise authorized by Parks.
110. Site grading of the development site shall match the grades of adjacent Municipal Reserve and Environmental Reserve lands with all grading confined to private property, unless otherwise authorized by Parks.

Conditions of Approval

111. Drainage from the development site onto the adjacent Environmental Reserve lands is not permitted, unless otherwise authorized by Parks.
112. Backsloping from the development site into adjacent Municipal Reserve and Environmental Reserve lands is not permitted, unless otherwise authorized by Parks.
113. Any damage to public parks, boulevards or trees resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector.
114. Any landscape rehabilitation on public parks shall be performed and inspected in accordance with Parks' Development Guidelines and Standard Specifications: Landscape Construction (current edition).
115. All proposed planting within the private lands abutting Environmental Reserve and naturalized Municipal reserve lands may be required to use native species of planting only. Approval of proposed species is at the discretion of Parks at Development Permit stage.
116. Compensation for dedication of reserves in excess of 10% is deemed to be \$1.00.
117. All landscape construction shall be in accordance with the City of Calgary Parks' Development Guidelines and Standards Specifications: Landscape Construction (current version).
118. Acceptance of concept plans provided through the Outline Plan is an agreement to the overall landscape concept with the understanding by the Developer and Calgary Parks that construction details including – but not limited to – irrigation, plantings, and structures are not known at the time of concept submission, but that best efforts will be made to represent the future intended use of the MR/ER and other Open Spaces. Construction details are addressed through the LCD submission process with submitted LCD showing general conformance to Outline Plan landscape concepts.

Proposed Outline Plan



Location Plan
Portions of Sec 1 & 2, Twp 26, Rge2, W5, & Sec 6, Twp26, Rge 1, W5
Located within the Glacier Ridge ASP

Notes

All walkways are intended to be 3.0m in width. Where these are required for underground utilities or overland drainage, the appropriate easements will be provided.
Easements and/or utilities shown outside of the road right-of-way along the frontages of MR, ER, and MSR lands shall be provided on the other side of the street at these locations.
All lanes are 7m unless otherwise noted.
All lane cornercuts are to be 3m x3m.
All road cornercuts are to be 4.5m x4.5m.
All unreferenced roads are standard 16.0 Residential as per DGSS 2014.

Client/Project
RONMOR DEVELOPERS INC
GLACIER RIDGE
Calgary, Alberta, Canada

Project Information		
LOC2017-0368		
Revision		
NO	DATE	DESCRIPTION
1	05-12-2017	Submission
2	18-12-2018	DTR1 Submission
3	19-07-2019	DTR2 Submission
4	07-11-2019	DTR3 Submission
5	10-12-2019	DTR3 Submission
6	19-12-2019	DTR3 - Revision to EMS Site Land Use

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FIGURE 1.0 | GLACIER RIDGE

Outline Plan



Jan 2020

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Proposed Outline Plan

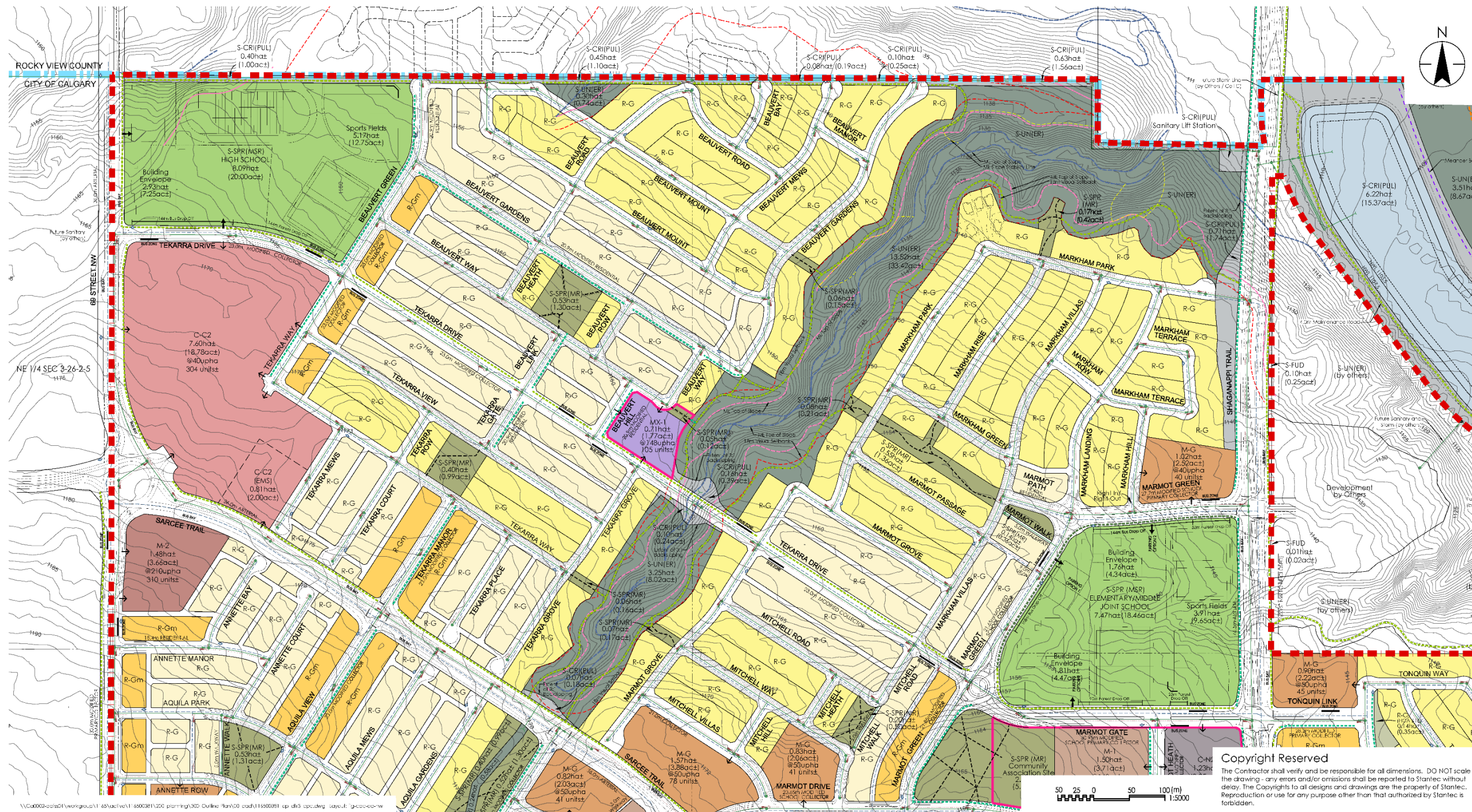


FIGURE 2.0 | GLACIER RIDGE

Outline Plan



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Proposed Outline Plan

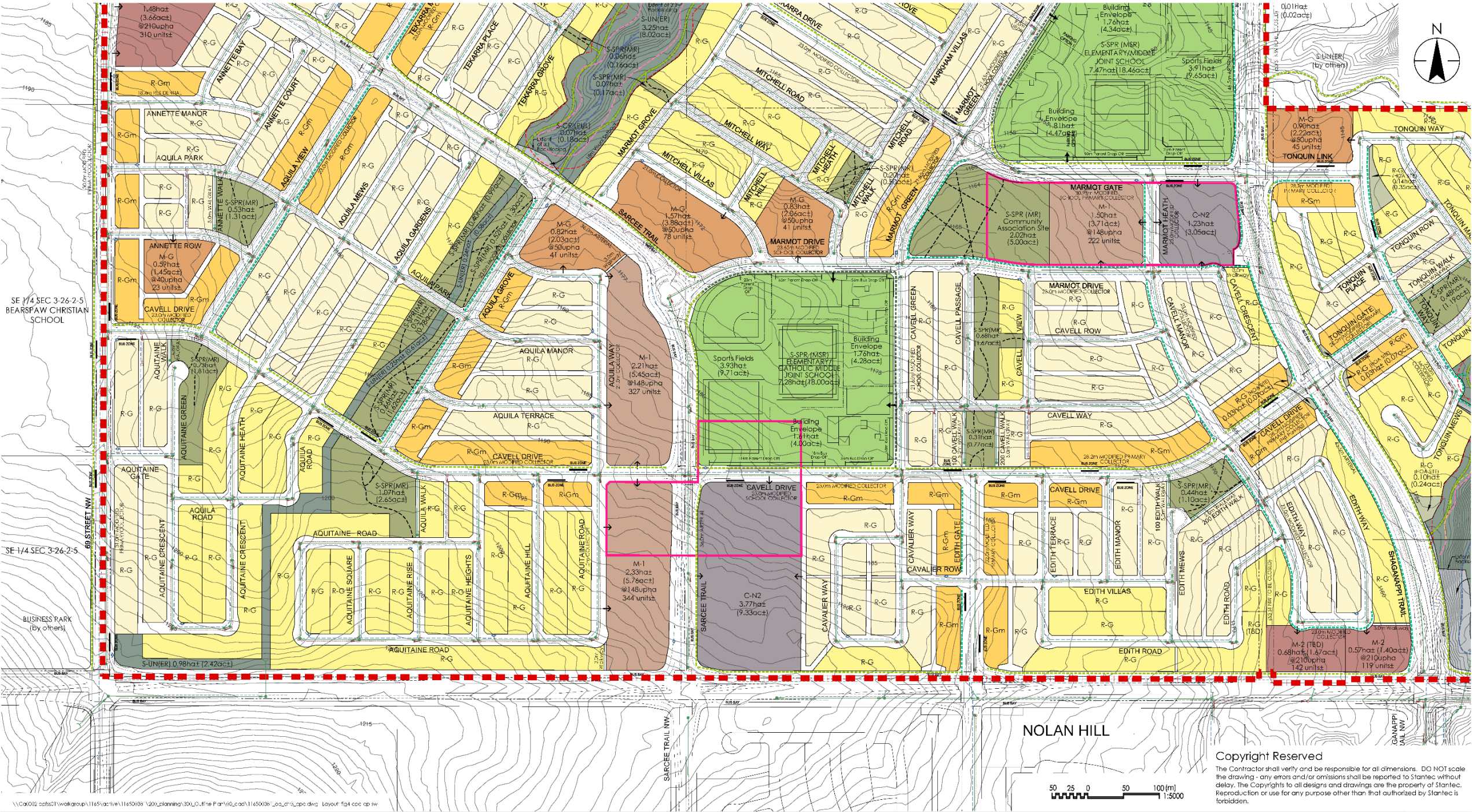


FIGURE 4.0 | GLACIER RIDGE

Outline Plan



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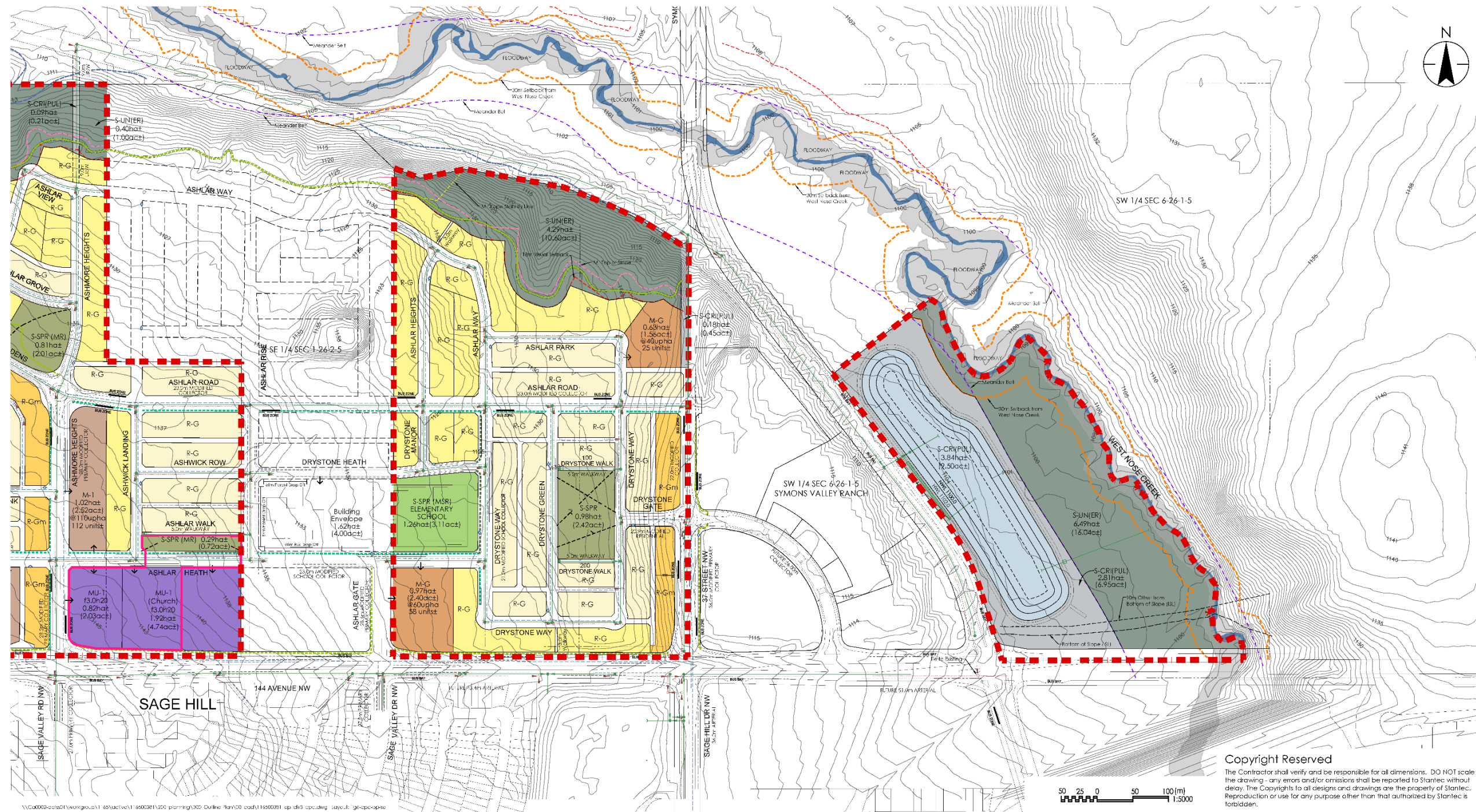


FIGURE 6.0 | GLACIER RIDGE

Outline Plan



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Proposed Outline Plan

Outline Plan Statistics

	Total Area Outlined	384.43 ha± (949.92 ac±)
	Environmental Reserve (S-UN)	46.77 ha± (115.53 ac±)
	Net Developable Area	337.66 ha± (834.39 ac±)
	R-G (Laned)	59.77 ha± (147.70 ac±)
	Approximate Frontage	17,296 m± (56,745 ft±)
	Ant. No. of Lots	2051 lots±
	Max. No. of Lots	2306 lots±
	R-G (Laneless)	68.25 ha± (168.65 ac±)
	Approximate Frontage	18,884 m± (61,955 ft±)
	Min. No. of Lots	1836 lots±
	Max. No. of Lots	2517 lots±
	R-Gm	16.34 ha± (40.38 ac±)
	Approximate Frontage	4,793 m± (15,725 ft±)
	Ant. No. of Lots	798 lots±
	Max. No. of Lots	871 lots±
	M-G	2.24 ha± (5.53 ac±)
	Min. No. of Units (40 upha)	88 units±
	Max. No. of Units (80 upha)	176 units±
	M-G	4.12 ha± (10.19 ac±)
	Min. No. of Units (50 upha)	205 units±
	Max. No. of Units (80 upha)	329 units±
	M-G	0.97 ha± (2.40 ac±)
	Min. No. of Units (60 upha)	58 units±
	Max. No. of Units (80 upha)	77 units±

	M-1	4.29 ha± (10.60 ac±)
	Min. No. of Units (110 upha)	470 units±
	Max. No. of Units (148 upha)	635 units±
	M-1	6.04 ha± (14.92 ac±)
	Min. No. of Units (148 upha)	893 units±
	Max. No. of Units (148 upha)	893 units±
	M-2	2.73 ha± (6.73 ac±)
	Min. No. of Units (210 upha)	571 units±
	Max. No. of Units (250 upha)	682 units±
	M-X1	0.71 ha± (1.77 ac±)
	Min. No. of Units (148 upha)	105 units±
	Max. No. of Units (148 upha)	105 units±
	MU-1	0.82 ha± (2.03 ac±)
	Min. No. of Units (250 upha)	205 units±
	Max. No. of Units (300 upha)	246 units±
	MU-1 (Church Site)	1.92 ha± (4.74 ac±)
	Min. No. of Units (300 upha)	576 units±
	Max. No. of Units (575 upha)	1104 units±
	C-C2	7.60 ha± (18.78 ac±)
	Min. No. of Units (40 upha)	304 lots±
	Max. No. of Units (500 upha)	3800 lots±
	C-C2 (EMS Site)	0.81 ha± (2.00 ac±)
	C-N2	5.00 ha± (12.38 ac±)

Anticipated Density	8160
(Net Developable minus High School)	329.57 ha± (814.39 ac±)
	=24.76 upha± (10.02 upac±)

Maximum Density	13741
(Net Developable minus High School)	329.57 ha± (814.39 ac±)
	= 41.69 upha± (16.87 upac±)

Areas of Public Dedication	
<u>Roads</u>	
Total Roads	98.83 ha± (244.12 ac±) (29.3%)
S-CRI	19.53 ha± (48.27 ac±) (5.8%)
Total Public Dedication	118.36 ha± (292.39 ac±) (35.1%)

<u>Credit Open Space Areas</u>	
S-SPR (MR)	13.29 ha± (32.92 ac±)
S-SPR (MSR)	24.10 ha± (59.57 ac±)
Total	37.39 ha± (92.49 ac±)

Minus High School Purchase Area	4.45 ha± (11.00 ac±)
Total Net S-SPR (MR)	32.94 ha± (81.49 ac±)

<u>S-SPR (MR) Requirement</u>	
Net Developable Area	337.66 ha± (834.39 ac±)
Minus North Pond Area (S-CRI)	9.99 ha± (24.69 ac±)
Total Lands Requiring S-SPR (MR)	327.67 ha± (809.70 ac±)
S-SPR (MR) Required	32.77 ha± (80.97 ac±) (10.0%)
S-SPR (MR) Provided	32.94 ha± (81.49 ac±) (10.0%)

<u>Non-Credit Open Space Areas</u>	
S-SPR High School	4.45 ha± (11.00 ac±)
R-G (HOA Site)	0.30 ha± (0.73 ac±)
	4.75 ha± (11.73 ac±)

Undetermined Area (S-FUD)	0.11 ha± (0.27 ac±)
---------------------------	---------------------

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FIGURE 7.0 | GLACIER RIDGE

Outline Plan Statistics

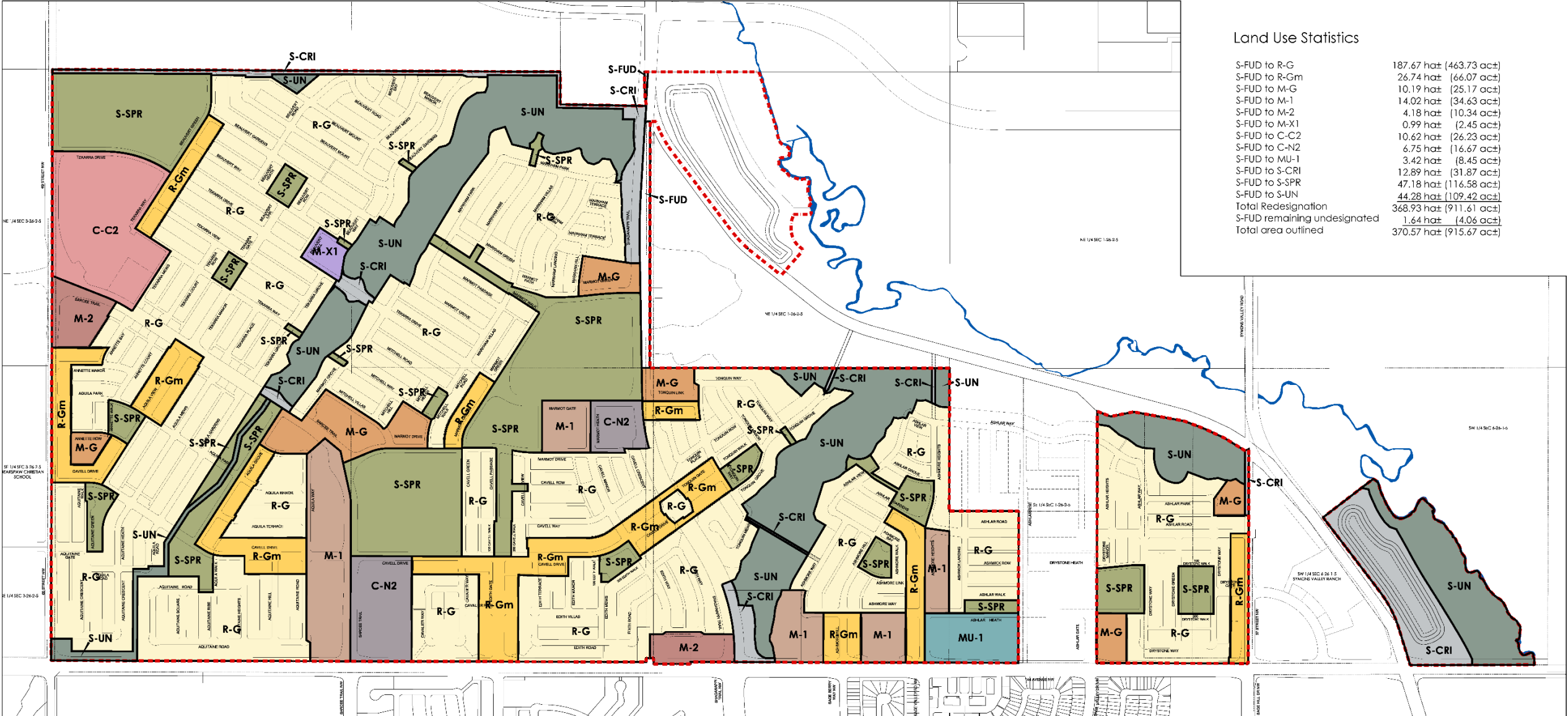




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Proposed Outline Plan



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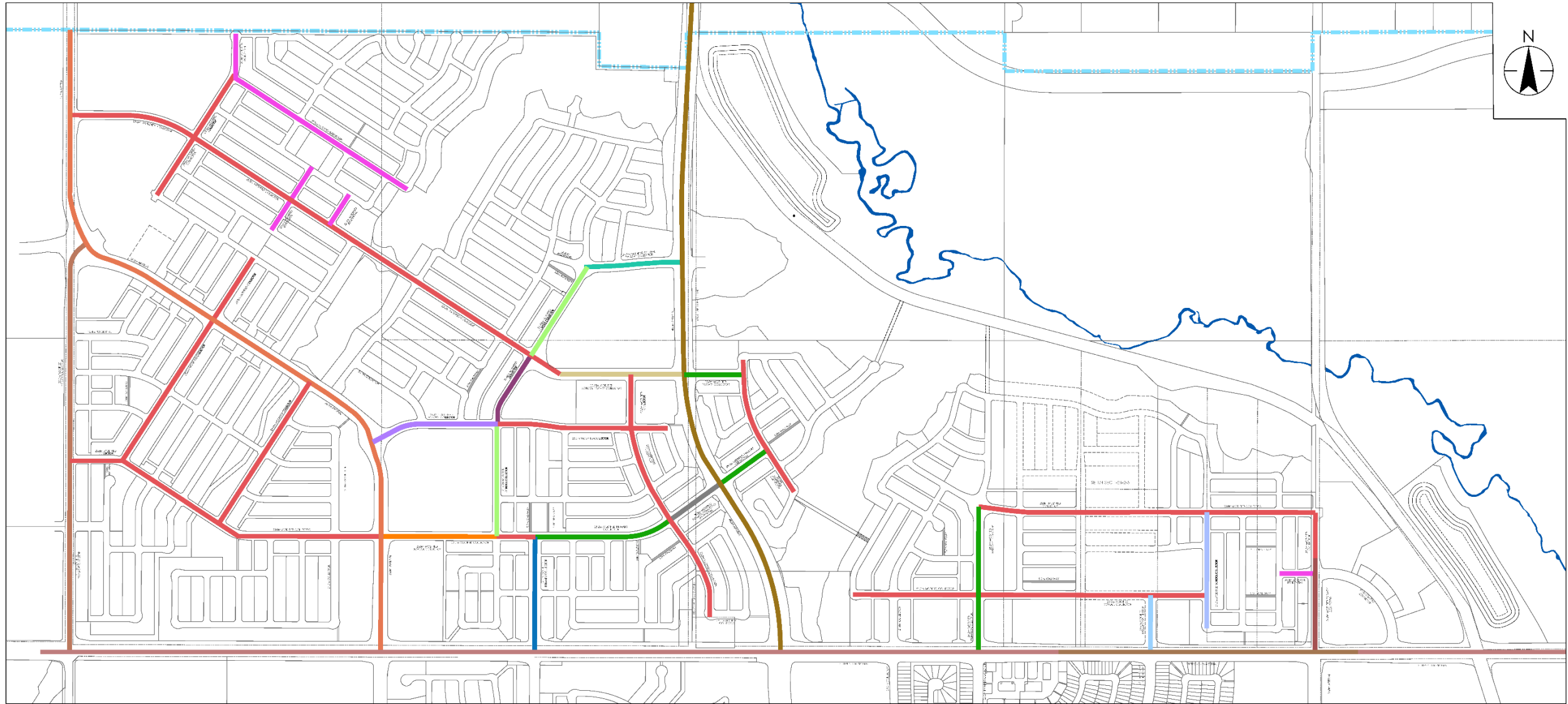
FIGURE 8.0 | GLACIER RIDGE
Land Use Redesignation



Jan 2020

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Proposed Outline Plan



Legend

51.0m Arterial	36.0m Modified Primary Collector	28.2m Modified Primary Collector	30.95m Modified School Primary Collector	21.65m Modified School Collector
46.5m Arterial	32.0m Modified Primary Collector/Enhanced Entry Road	28.2m Modified Primary Collector (No Parking)	27.7m Modified School Primary Collector	20.9m Modified Residential
43.4m Arterial	30.0m Modified Primary Collector/Green Street	23.0m Modified Collector	23.65m Modified School Collector	21.0m Modified School Collector
36.0m Arterial	28.6m Modified Primary Collector	21.85m Modified Collector	23.0m Modified School Collector	5.0m Walkway

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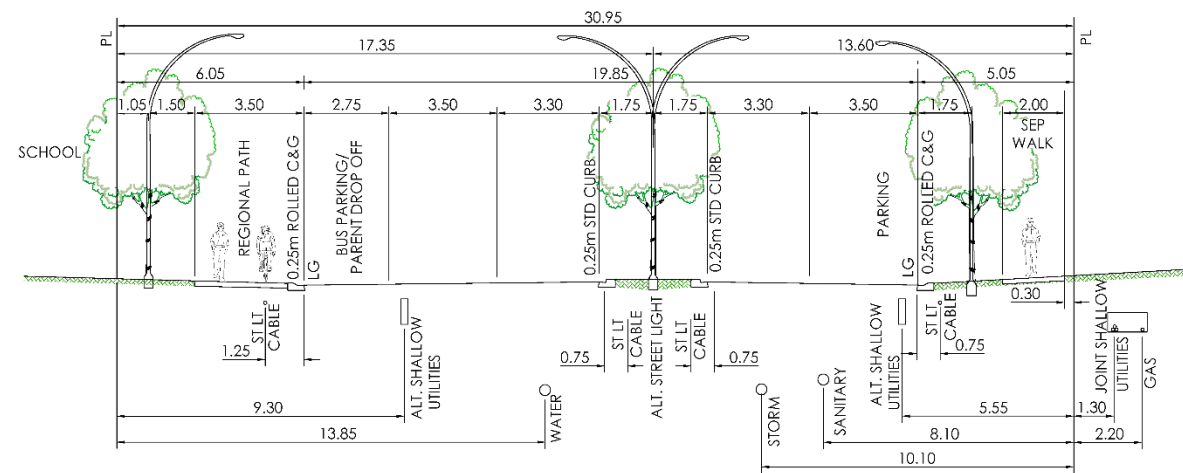
FIGURE 9.0 | GLACIER RIDGE
Street Standard Key Map



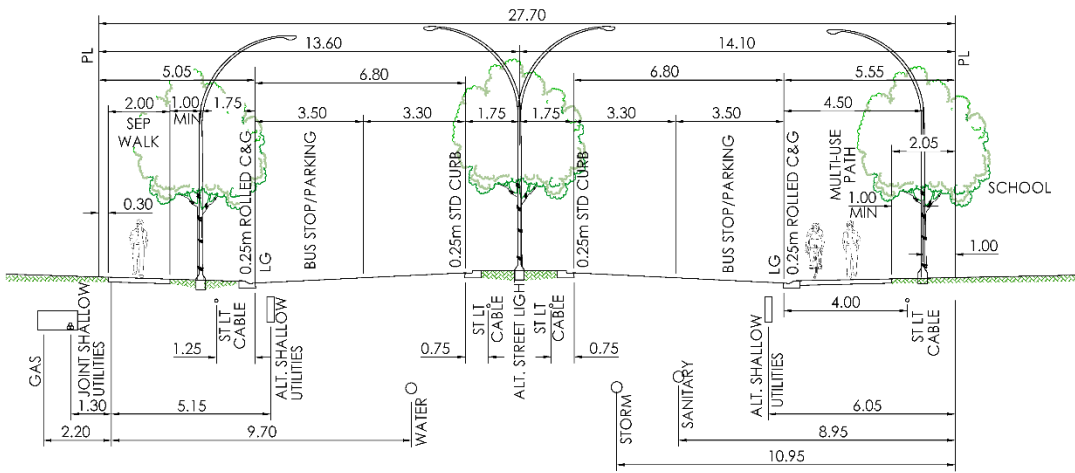
Jan 2020

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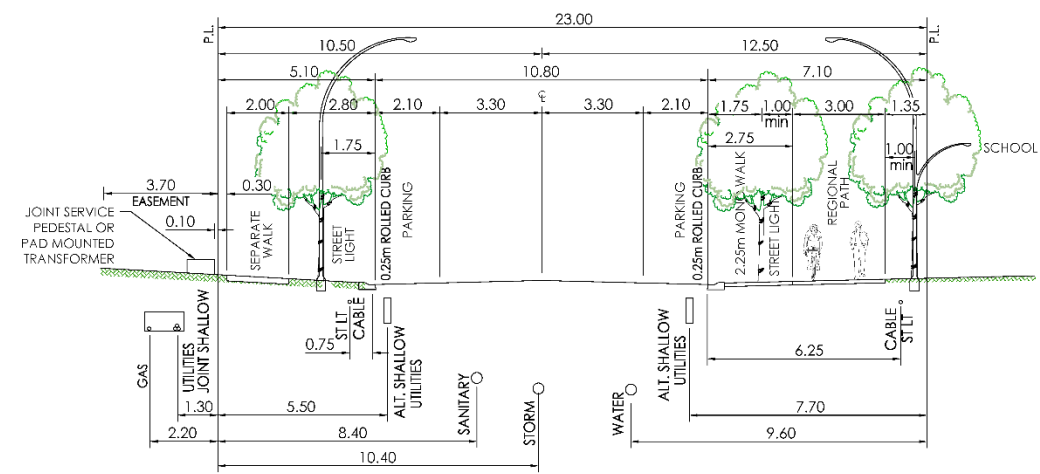
Proposed Outline Plan



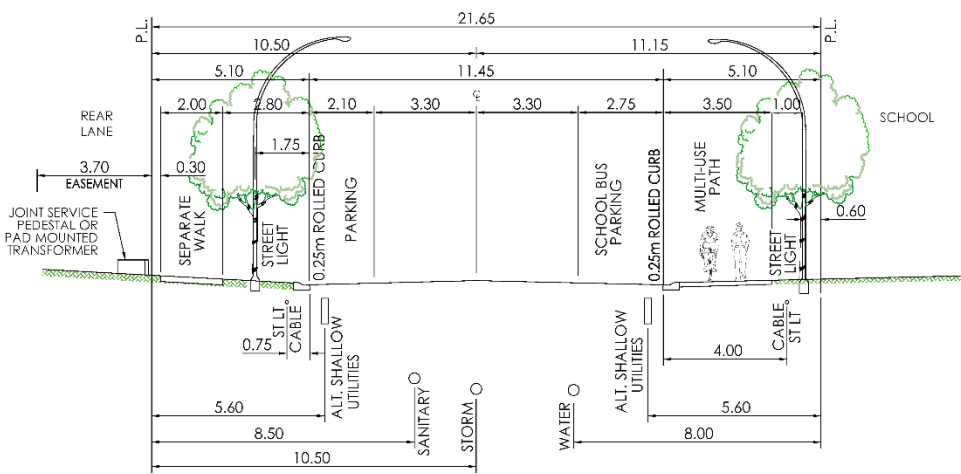
30.95m MODIFIED SCHOOL PRIMARY COLLECTOR
3.5m MONO REGIONAL PATH ONE SIDE/2.0m SEPARATE WALK ONE SIDE - BUS ROUTE
1:200



27.70m MODIFIED SCHOOL PRIMARY COLLECTOR
2.0m SEPARATE WALK ONE SIDE/3.5m MONO MULTI-USE PATH ONE SIDE - BUS ROUTE
1:200



23.0m MODIFIED SCHOOL COLLECTOR (Green Street)
2.0m SEPARATE WALK ONE SIDE /2.25m MONO WALK & 3.0m REGIONAL PATH ONE SIDE - BUS ROUTE
1:200



21.65m MODIFIED SCHOOL COLLECTOR
2.0m SEPARATE WALK ONE SIDE /3.5m MONO MULTI-USE PATH ONE SIDE
Scale 1:200

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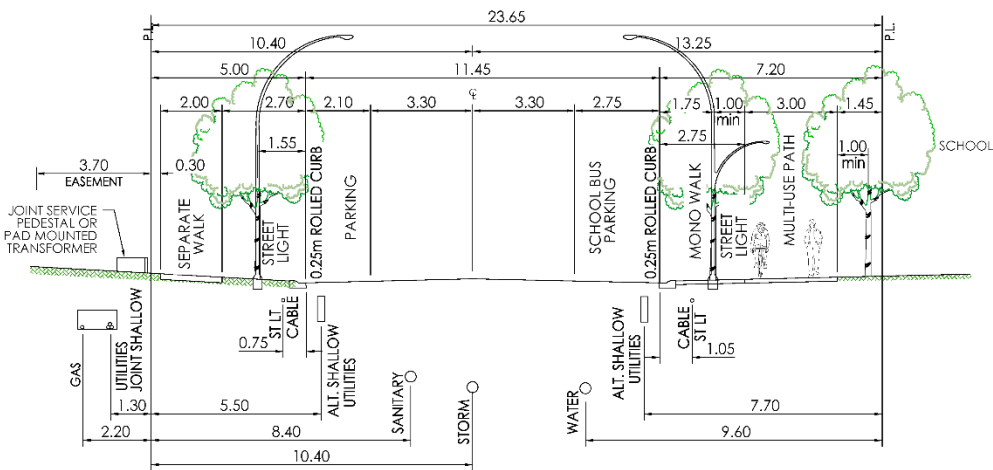
FIGURE 10.0| GLACIER RIDGE
Street Cross Sections



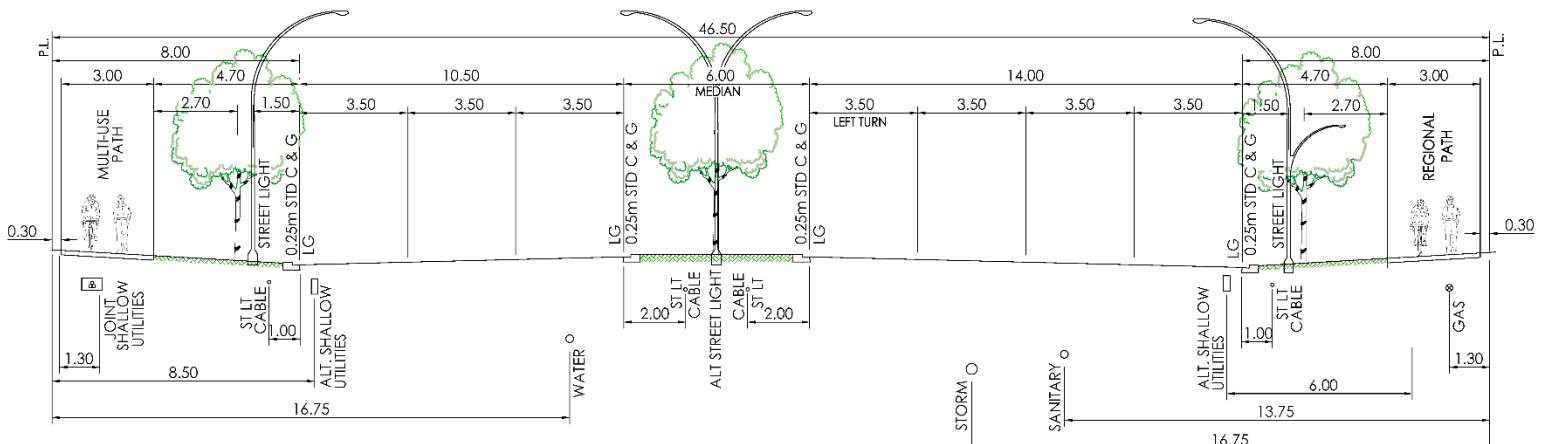
Jan 2020

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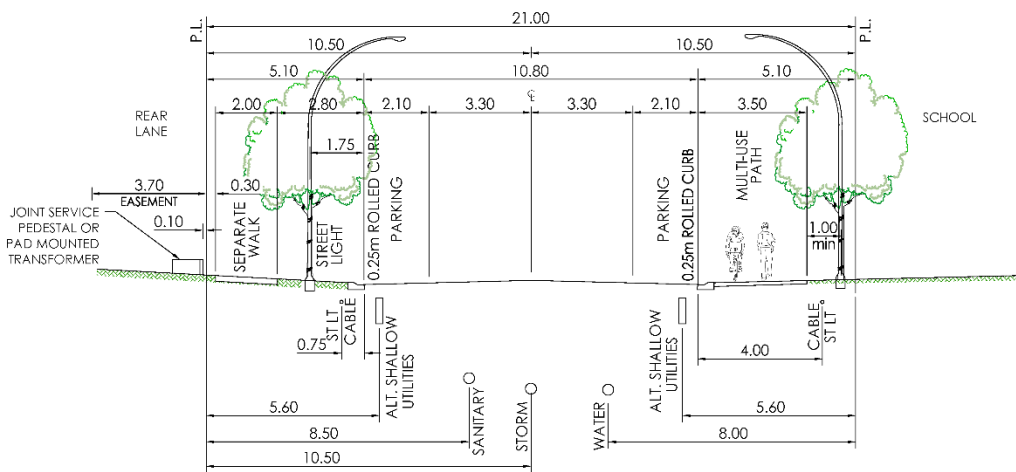
Proposed Outline Plan



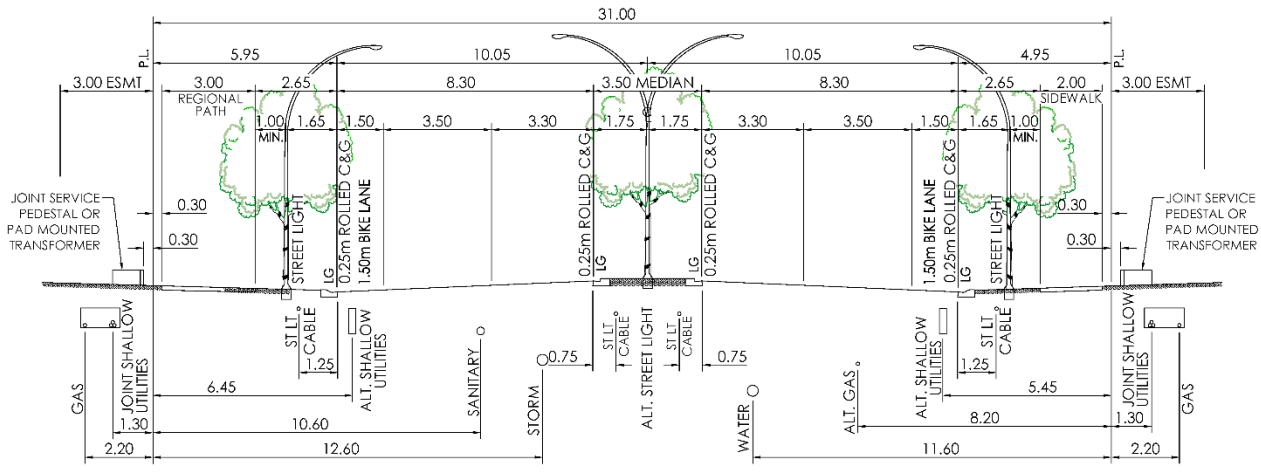
23.65m MODIFIED SCHOOL COLLECTOR (Green Street)
2.0m SEPARATE WALK ONE SIDE / 2.25m MONO WALK & 3.0m MULTI-USE PATH ONE SIDE - BUS ROUTE
Scale 1:200



46.50m MODIFIED ARTERIAL STREET
3.0m SEPARATE WALK ONE SIDE / 3.0m REGIONAL PATH ONE SIDE
Scale 1:200



21.0m MODIFIED SCHOOL COLLECTOR
2.0m SEPARATE WALK ONE SIDE / 3.5m MONO MULTI-USE PATH ONE SIDE
1:200



31.00m MODIFIED PRIMARY COLLECTOR (Green Street)
3.0m REGIONAL PATH ONE SIDE / 2.0m SEPARATE WALK ONE SIDE - BUS ROUTE

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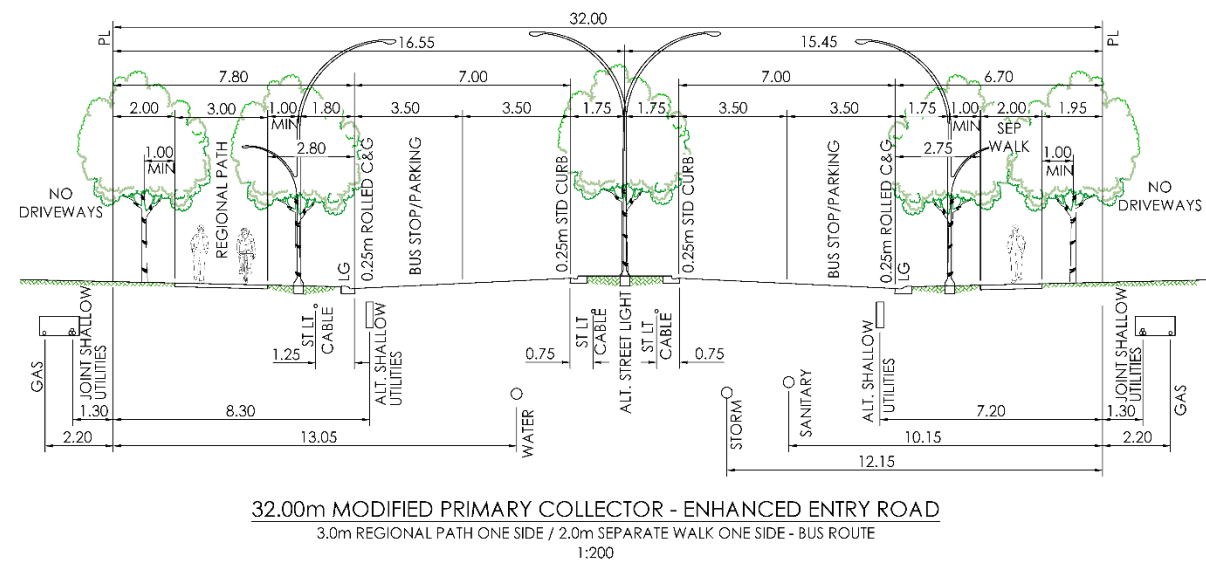
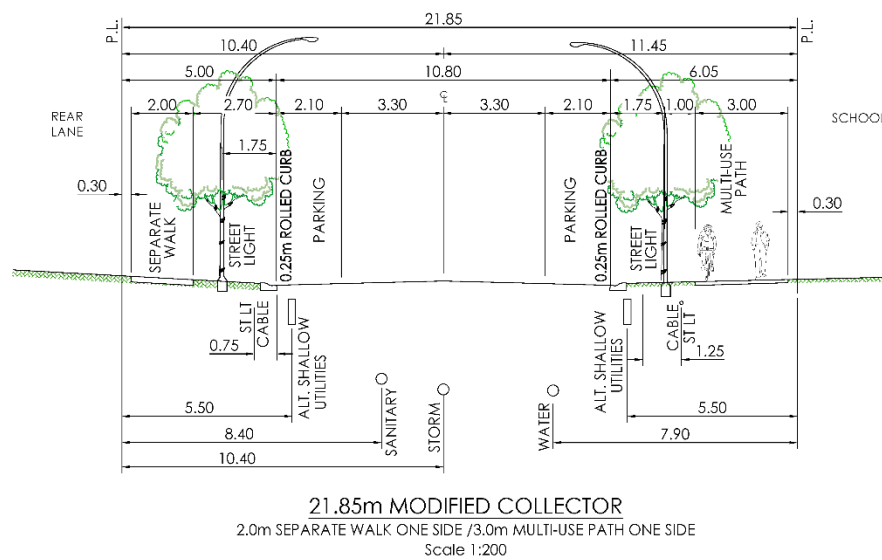
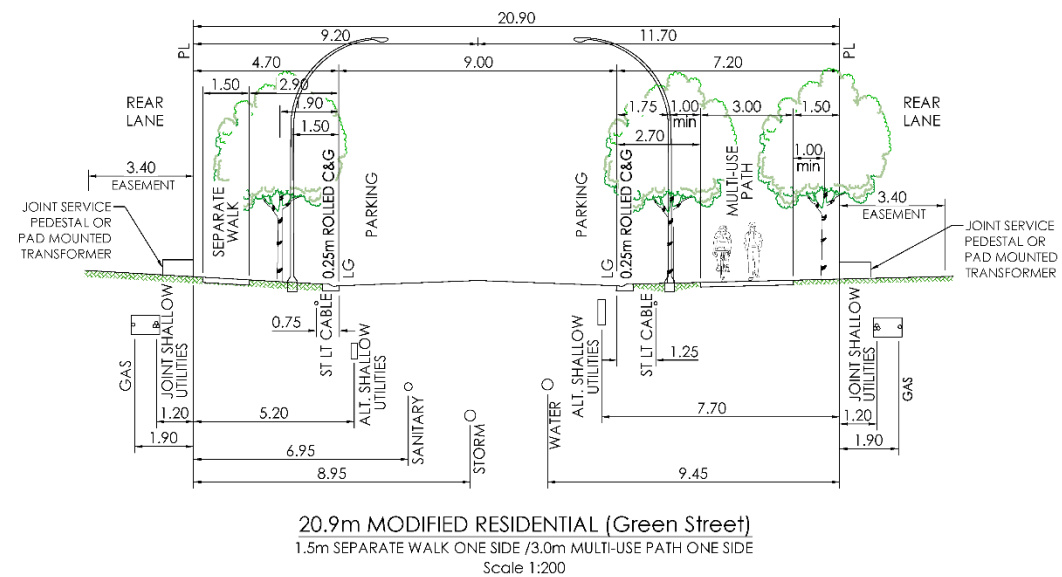
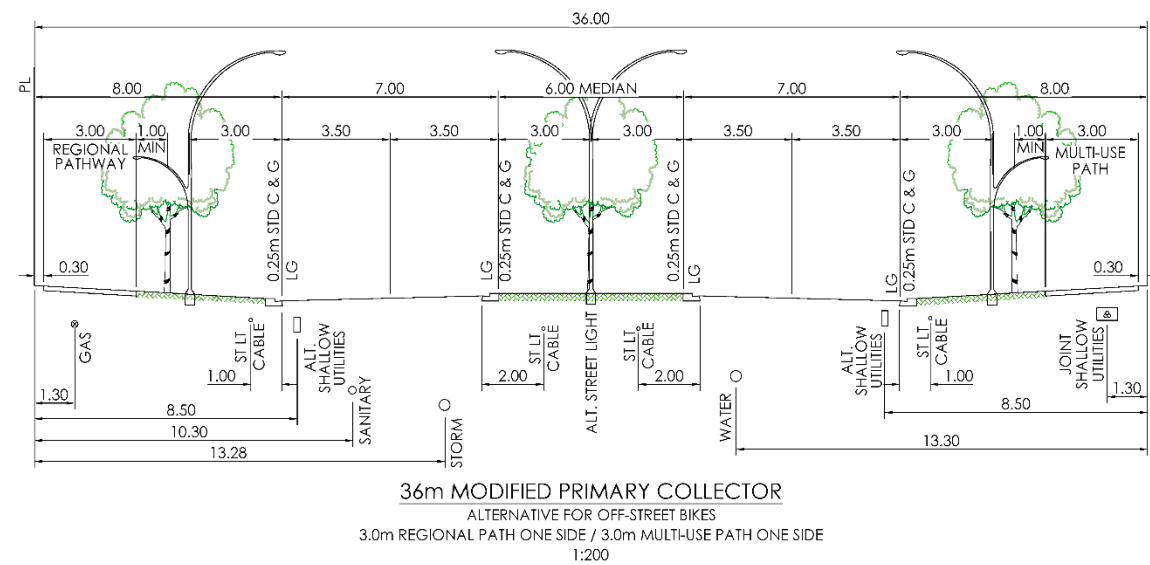
FIGURE 11.0| GLACIER RIDGE
Street Cross Sections



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Proposed Outline Plan



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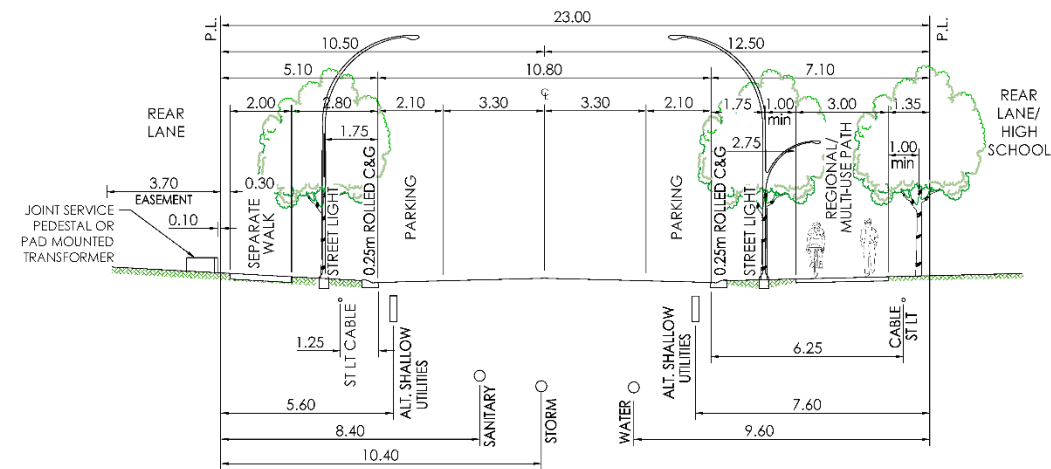
FIGURE 12.0 | GLACIER RIDGE



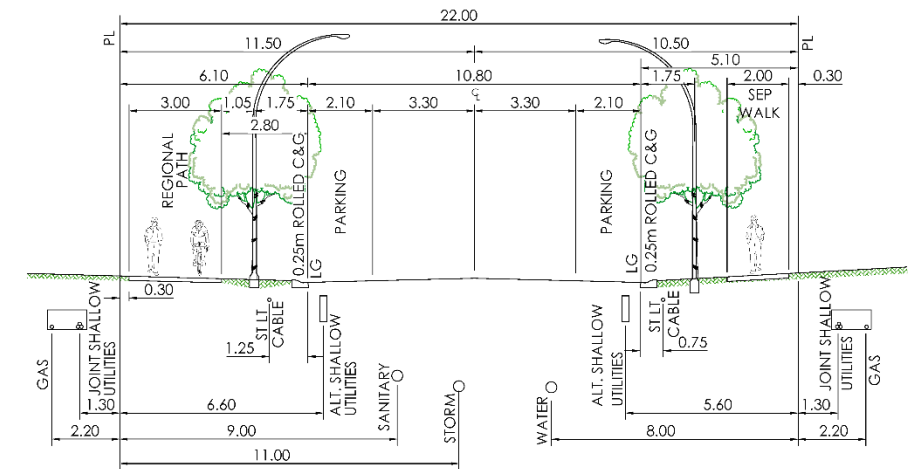
Jan 2020

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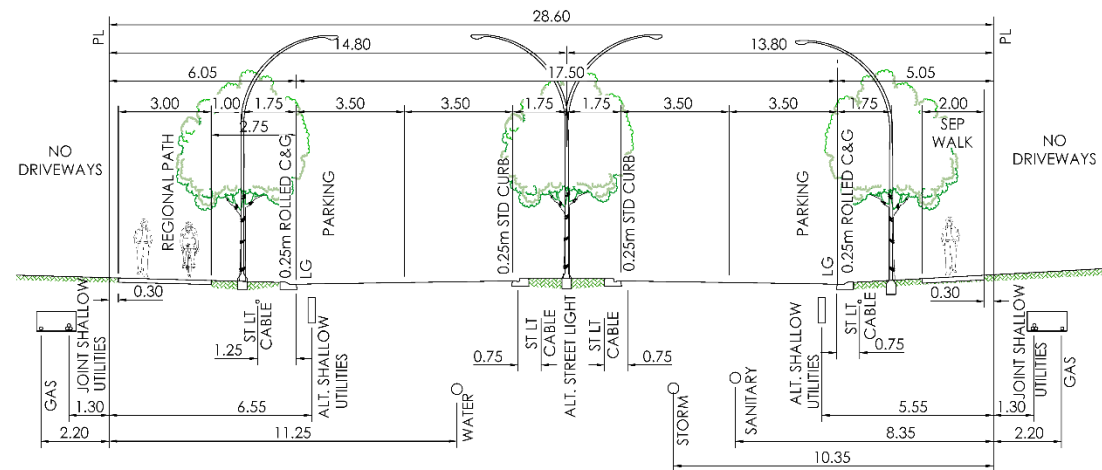
Proposed Outline Plan



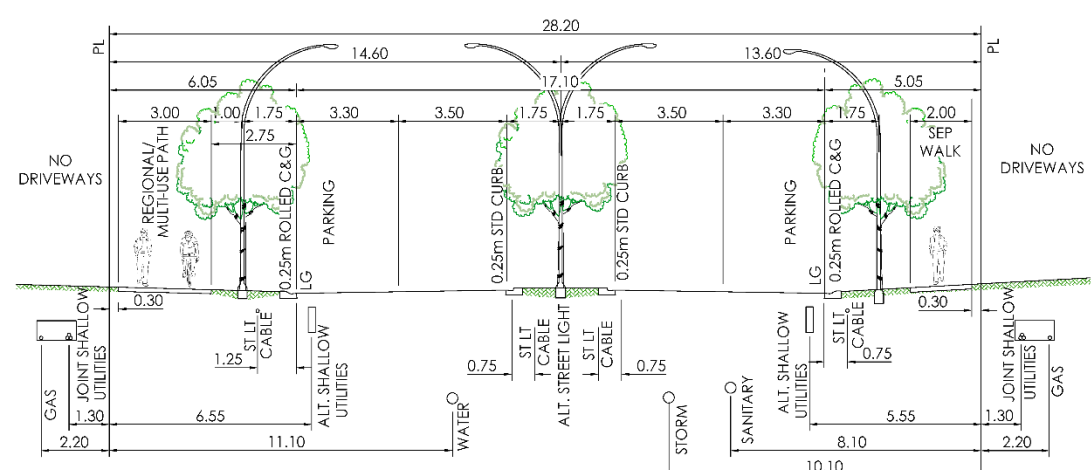
23.0m MODIFIED COLLECTOR (Green Street)
2.0m SEPARATE WALK ONE SIDE / 3.0m REGIONAL or MULTI-USE PATH ONE SIDE
Scale 1:200



22.00m MODIFIED COLLECTOR
3.0m REGIONAL PATH ONE SIDE/2.0m SEPARATE WALK ONE SIDE
1:200



28.60m MODIFIED PRIMARY COLLECTOR
3.0m REGIONAL PATH ONE SIDE/2.0m SEPARATE WALK ONE SIDE - BUS ROUTE
1:200



28.20m MODIFIED PRIMARY COLLECTOR
3.0m REGIONAL or MULTI-USE PATH ONE SIDE/2.0m SEPARATE WALK ONE SIDE - BUS ROUTE
1:200

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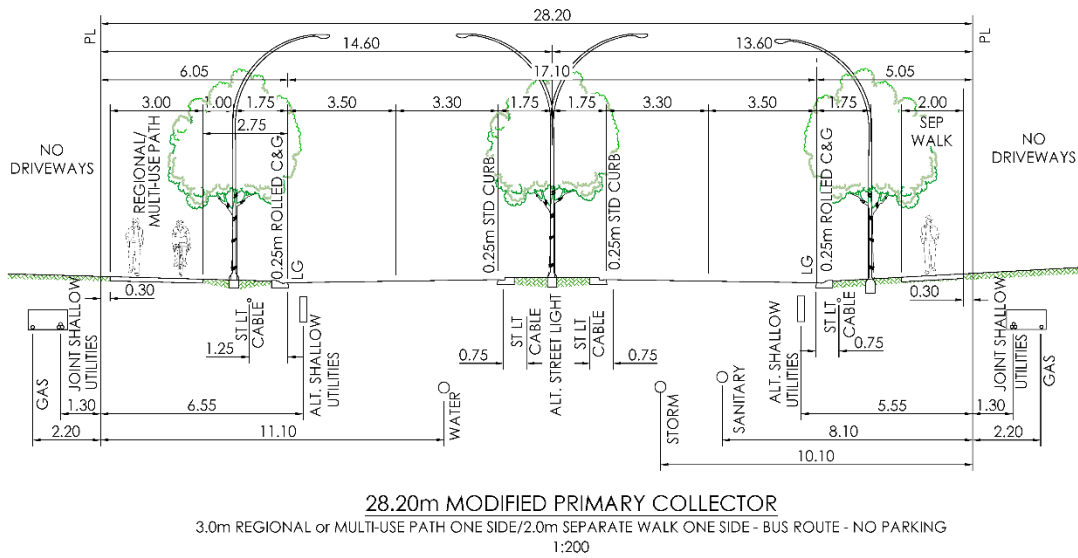
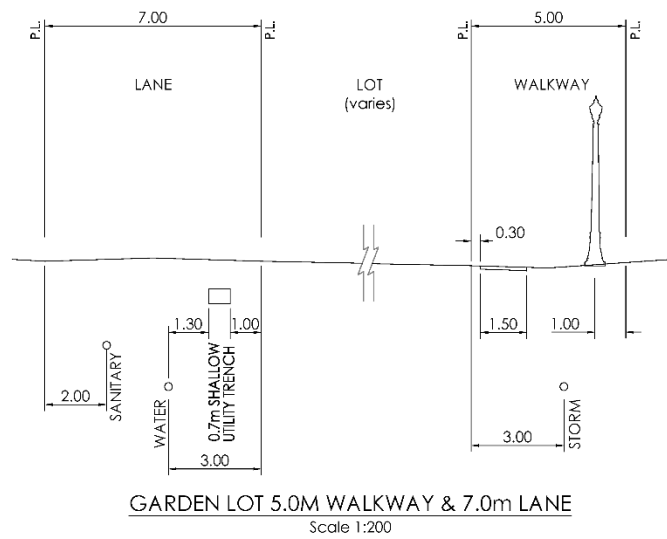
FIGURE 13.0| GLACIER RIDGE
Street Cross Sections



Jan 2020

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Proposed Outline Plan



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FIGURE 14.0| GLACIER RIDGE
Street Cross Sections



Jan 2020

116500381

Applicant Submission



Stantec Consulting Ltd.
200-325 25 Street SE, Calgary, Alberta T2A 7H8

January 8, 2020
File: 116500381.210

On behalf of Ronmor Holdings Inc. ('Ronmor'), Stantec Consulting Ltd. is pleased to submit the enclosed Outline Plan ('OP'), Land Use Redesignation ('LUR'), and Road Closure for the lands legally described as:

- Portions of 5;2;26;2;
- Portions of 5;2;26;1;
- Portion of 5;2;26;1;;4
- Blocks 1-2, Plan 7510325; and
- Portion of 5;1;26;6;SW;

Municipal addresses for the site are 3810, 3900, 4040, 4500, 4800, 5200, 5290, 5400, and 6500 144th Avenue NW and 14800, 15454, and 15505 Symons Valley Road NW and all the lands are located within the Glacier Ridge Area Structure Plan ('ASP').

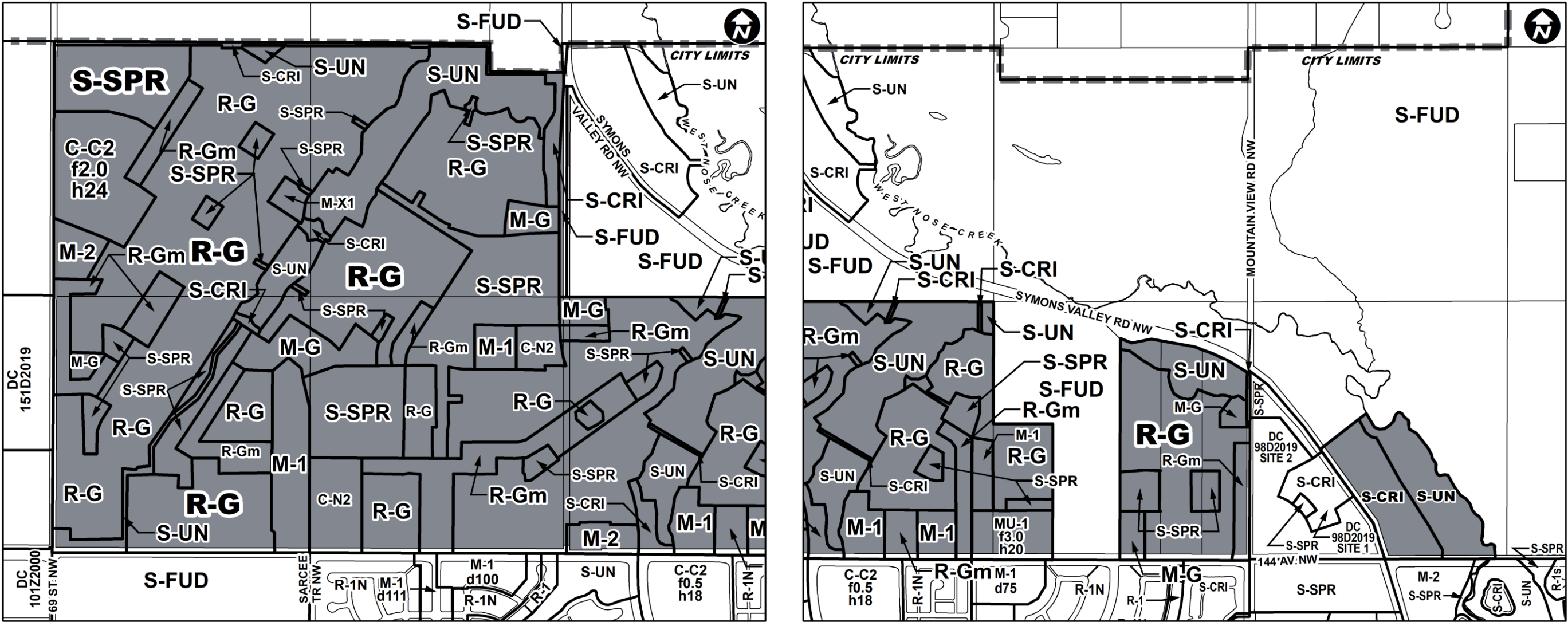
Located immediately west of West Nose Creek, and with excellent views of Symons Valley, Glacier Ridge is envisioned as a master planned and complete community in Calgary's northwest. The proposed OP aligns with direction of the ASP, building upon the vision of Symons Valley Corridor being a natural attraction and amenity for residents. Glacier Ridge has been planned to include the following:

- Multi-modal transportation options, and convenient connections for pedestrians, cyclists, transit riders, and motorists;
- A range of housing options and levels of affordability;
- A connected and contiguous Open Space network providing a variety of active and passive recreational amenities for residents while balancing the need to provide for school sites; and
- A CAC and four Neighbourhood Activity Centres (NAC) offering higher density residential, employment opportunities, community gathering places, as well as commercial and retail amenities for residents.

The Glacier Ridge Outline Plan is over 380ha, and proposes to redesignate the lands from S-FUD to R-G, R-Gm, M-G, M-1, M-2, M-X1, MU-1, C-C2, C-N2, S-CRI, S-SPR, and S-UN. The application represents approximately 8,150 residential units that will include both low density and multi-residential product.

Design with community in mind

Proposed Land Use District Map



Subdivision Data Sheet

	HECTARES	ACRES
GROSS AREA OF PLAN	384.43	949.92
LESS: ENVIRONMENTAL RESERVE	46.77	115.53
LESS: LAND PURCHASE AREA	4.45	11.00
NET DEVELOPABLE AREA	333.21	823.39

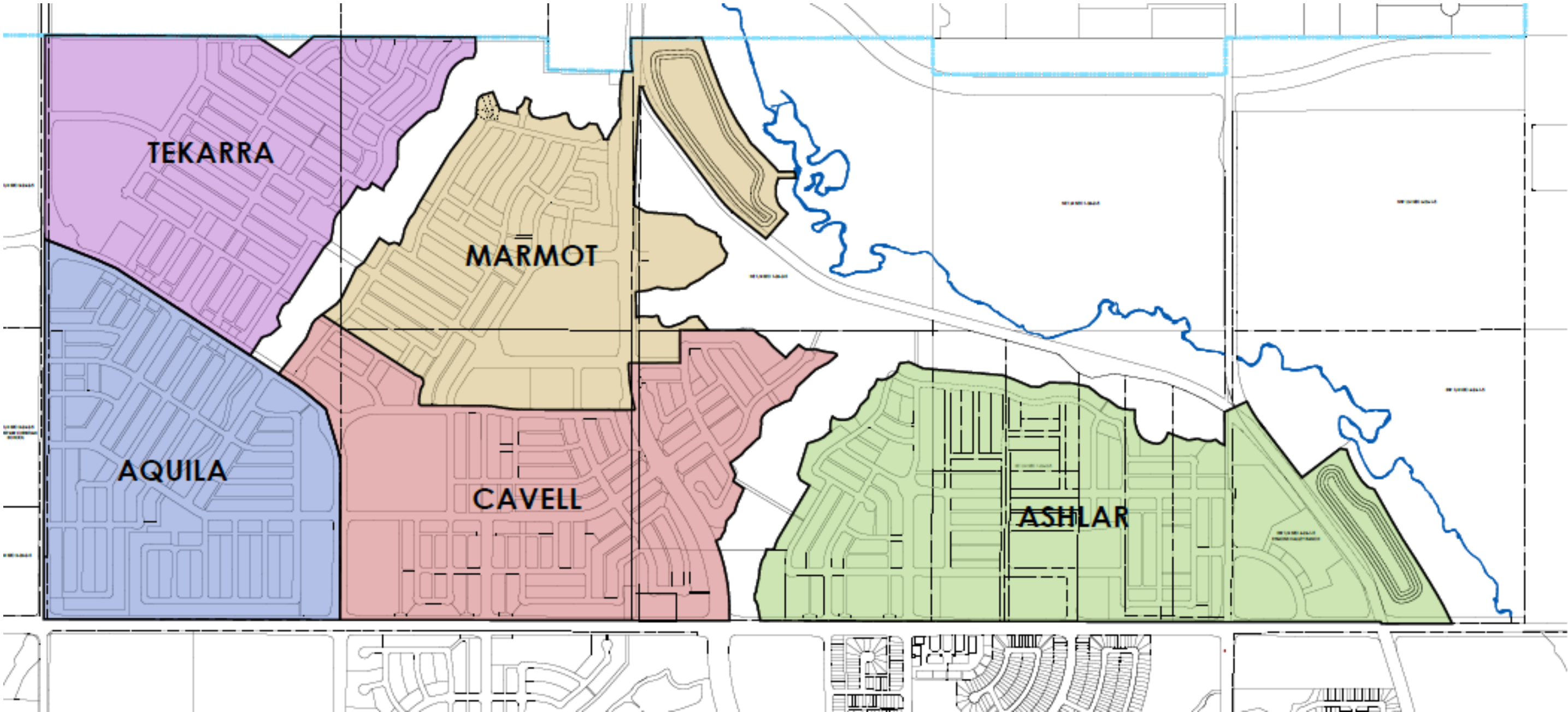
LAND USE (Residential/Mixed Use)	HECTARES	ACRES	# OF LOTS	# OF UNITS (FOR MULTI RESIDENTIAL)
R-G	128.02	316.35	3,887	
R-Gm	16.34	40.38	798	
M-G	7.33	18.12		351
M-1	10.33	25.52		1,368
M-2	2.73	6.73		571
M-X1	0.71	1.77		105
MU-1	2.74	6.77		781
Total Residential	168.2	415.64	4,685	3,176
Commercial				
C-N2	5.00	12.38		
C-C2	8.41	20.78		304
Total Commercial	13.41	33.16		304

	HECTARES	ACRES	% OF NET AREA
ROADS (CREDIT)	98.83	244.12	29.3
PUBLIC UTILITY LOT	19.53	48.27	5.8

Subdivision Data Sheet

RESERVES	HECTARES	ACRES	% OF NET AREA
MR	13.29	32.92	4.0
MSR	24.10	59.57	7.17
MR (NON-CREDIT)	4.45	11.00	1.3

Proposed Neighbourhoods



List of Landowners

1286409 Alberta Ltd
Raymond William Barnes
Tracey Michelle Sheftel Holland
Libin Symons Ltd.
Paperny Symons Ltd.
Maurice Paperny
Cheryl Elaine Rowlandson
Cheryl Rowlandson
Wayne Rowlandson
Annette Shafron
Melissa Marilyn Shafron
Melissa Shafron
Michael Sharfron
Carrie Sheftel
Danielle Sheftel
Marilyn Sheftel
Tracey Sheftel
Nancy Faye Whatmore
Zivot Systems Ltd
Debra Zivot
Mark L Zivot
Rose Zivot
Naheed Kazmi
Cindy Roberts
Tim Sherba
The City of Calgary
Western Canadian District of the Christian and Missionary Alliance

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0067

Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129

EXECUTIVE SUMMARY

This application was submitted by B&A Planning Group on 2019 August 09 on behalf of the landowners, Mattamy (Burgess) Limited and Macleod Farming & Ranching Ltd. The application proposes a land use redesignation of approximately 1.68 hectares (4.15 acres) in the community of Yorkville. This application is accompanied by an outline plan application on today's agenda (CPC2020-0066) for approximately 15.54 hectares (38.40 acres) that proposes minor amendments for a portion of the community of Yorkville that has a previously approved outline plan from 2015.

The proposed land use redesignation and associated outline plan will allow for the development and subdivision of the subject lands including:

- a number of land uses to accommodate a low density residential development;
- approximately 0.83 hectares (2.05 acres) for an anticipated mix of single detached, semi-detached and rowhouse dwellings (R-G);
- approximately 0.40 hectares (0.99 acres) for an anticipated mix of semi-detached, dwellings, townhouse, and rowhouse homes (DC/R-2M);
- approximately 0.37 hectares (0.91 acres) of Municipal Reserve (MR) in the form of public open space (S-SPR);
- approximately 0.02 hectares (0.05 acres) of infrastructure and utilities (S-CRI); and
- approximately 0.06 hectares (0.14 acres) of Environmental Reserve (ER) in the form of natural areas to be conserved (S-UN).

The reason for the applicant's proposed application is to respond to changing market conditions regarding housing types and parcel sizes, since the current outline plan and land use were approved in 2015 and 2016 respectively. The proposed application results in a small increase in density from the previous approval and the proposed changes to the street and block network as part of the accompanying outline plan will result in shorter, more grid-based blocks and improved connectivity.

The proposal conforms to the relevant policies of the *Municipal Development Plan* (MDP) and the *West Macleod Area Structure Plan* (ASP).

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0067

**Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW,
LOC2019-0129**

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 1.68 hectares \pm (4.15 acres \pm) located at 19515 Sheriff King Street SW (Portion of E1/2 Section 22-16-1-5) from Residential – Low Density Mixed Housing (R-G) District, DC Direct Control District, Special Purpose – School, Park and Community Reserve (S-SPR) District and Special Purpose – Urban Nature (S-UN) District **to** Residential – Low Density Mixed Housing (R-G) District, Special Purpose – School, Park and Community (S-SPR) District, Special Purpose – Urban Nature (S-UN) District, Special Purpose – City and Regional Infrastructure (S-CRI) District and DC Direct Control District to accommodate residential development with guidelines (Attachment 1); and
2. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

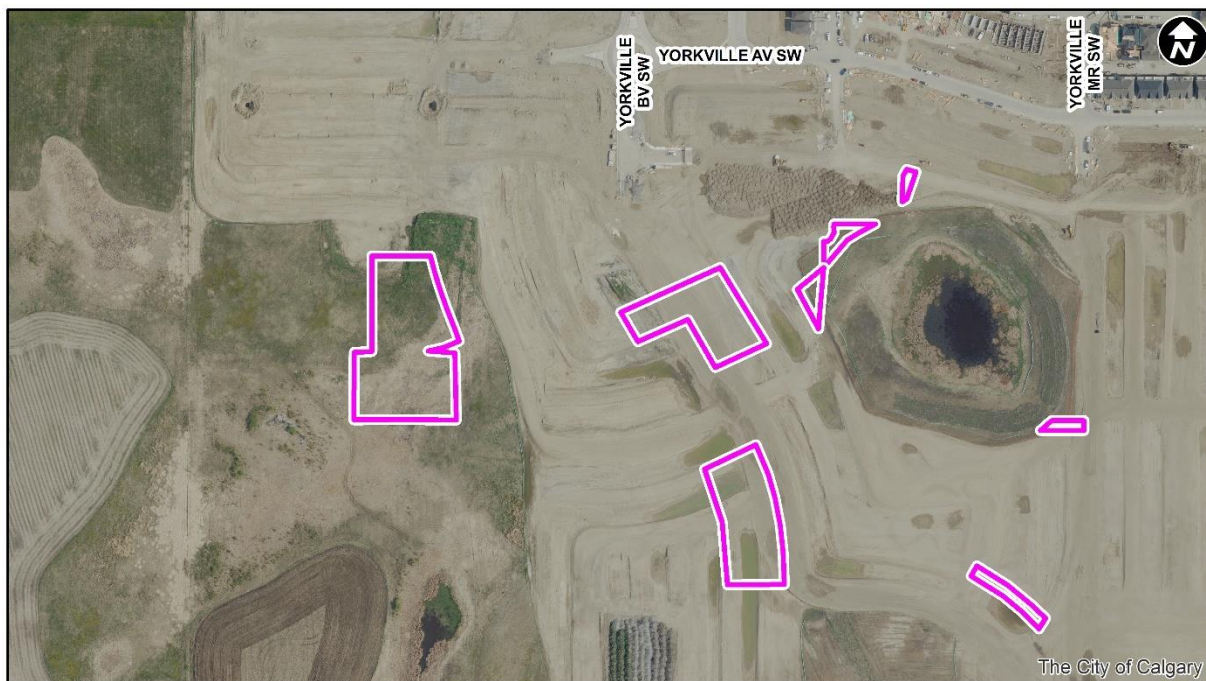
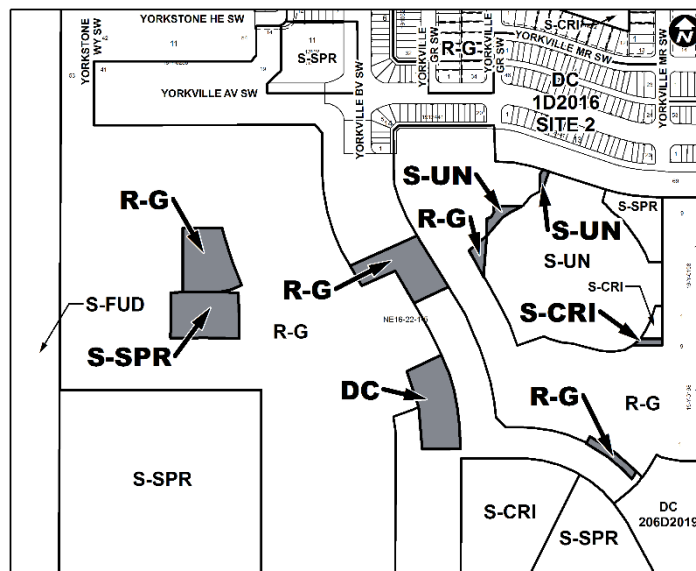
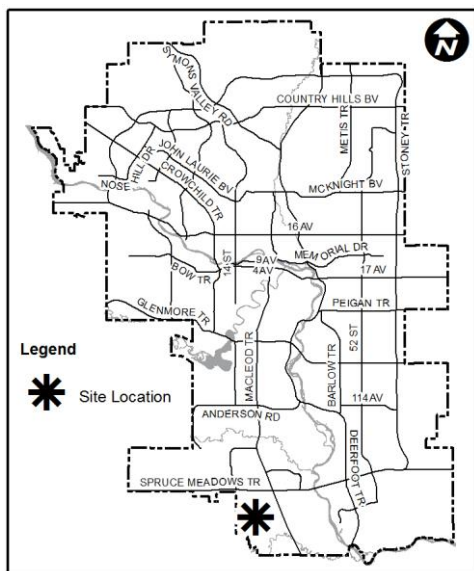
B&A Planning Group, on behalf of the landowners Mattamy (Burgess) Limited and Macleod Farming & Ranching Ltd, submitted the subject application to The City on 2019 August 09 and provided a summary of their proposal in the Applicant's Submission (Attachment 2). The existing approved outline plan LOC2014-0023 (Attachment 3), was approved in 2015 for approximately 140.85 hectares (348.05 acres) as part of the community of Yorkville, and includes the area that is subject to this proposed application.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0067

Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW,
LOC2019-0129

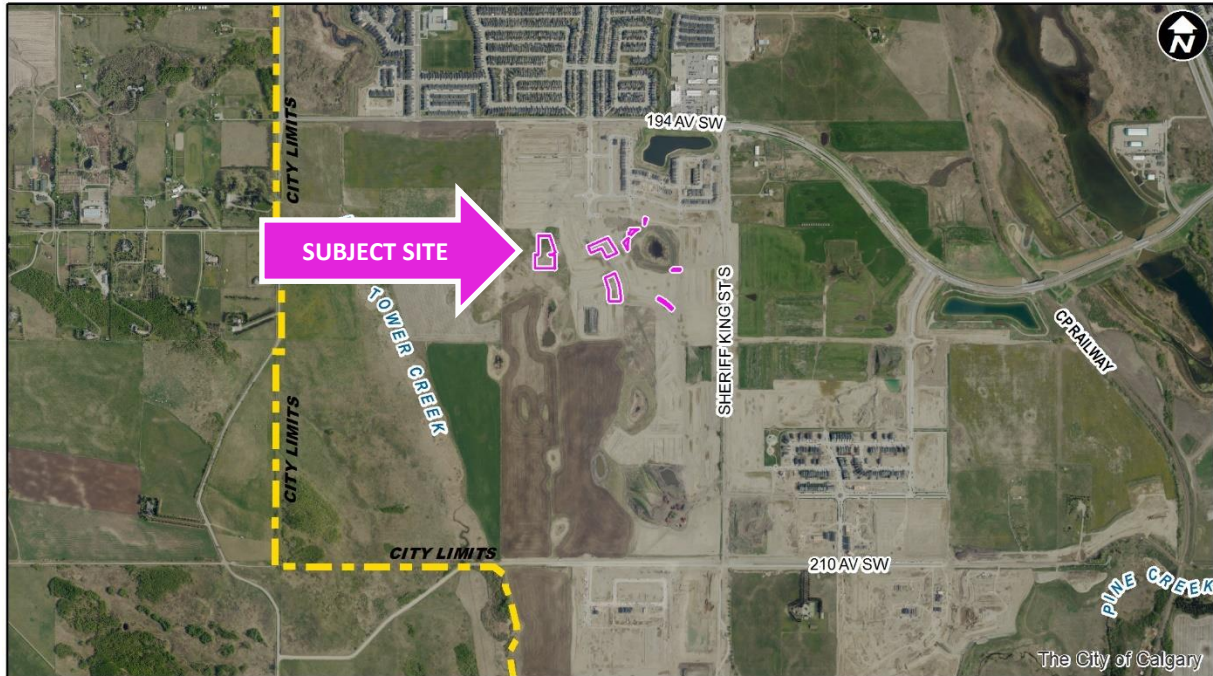
Location Maps



Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0067

**Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW,
LOC2019-0129**



Site Context

The subject site comprises approximately 15.54 hectares (38.40 acres) within a larger 107.6 hectares (265.9 acres) parcel of undeveloped land that has been partially stripped and graded in preparation for development within the community of Yorkville. The subject site is west of Sheriff King Street S and south of 194 Avenue SW.

Lands to the north of the site are in the first phases of construction as part of the development of Yorkville. Lands to the east across Sheriff King Street S are in their current agricultural state and have been redesignated to allow for future residential development as part of the community of Belmont. Lands to the south have been partially stripped and graded as part of the developments of Yorkville and Pine Creek, where Pine Creek is currently under construction. Lands to the west/southwest are currently in their existing agricultural state, however recent land use and outline plan approval was granted in 2019 for the future residential development of Yorkville West.

**Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW,
LOC2019-0129**

INVESTIGATION: ALTERNATIVES AND ANALYSIS

The proposed land use framework, along with the associated outline plan (Attachment 4) on today's agenda (CPC2020-0066) will enable residential development, specifically single and semi-detached homes, rowhouses and townhouses, in the developing community of Yorkville. The subject application and corresponding outline plan propose changes to the existing approved outline plan (2015) and land use (2016) due to changing market conditions since the previous approvals. A comparison of the approved and proposed outline plans and land uses can be found in Attachment 5. The proposal meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Subdivision Design

The accompanying outline plan allows for a minor reconfiguration of the street network and Municipal Reserve and Environmental Reserve parcels in order to accommodate 437 anticipated homes, which is an increase from the previous approval of 389 anticipated homes. The changes to the housing forms are as follows:

- 260 previously identified single detached homes will be replaced with 197 single detached homes on wider and shallower parcels; and
- 123 previously identified semi-detached homes and rowhouses and 6 previously identified live/work units will be replaced with 62 laned semi-detached homes, 34 laneless townhouses and 144 semi-detached homes, townhouses and rowhouses.

The proposed changes to the street and block network will result in shorter, more grid-based blocks and improved connectivity.

Land Use

The subject land use amendment application proposes to redesignate the subject lands from Residential – Low Density Mixed Housing (R-G) District, DC Direct Control District ([Bylaw 1D2016](#)), Special Purpose – School, Park and Community Reserve (S-SPR) District and Special Purpose – Urban Nature (S-UN) District to the following districts:

- Residential – Low Density Mixed Housing (R-G) District;
- DC Direct Control District based on the Residential – Low Density Multiple Dwelling (R-2M) District;
- Special Purpose – School, Park and Community Reserve (S-SPR) District;
- Special Purpose – Urban Nature (S-UN) District; and
- Special Purpose – City and Regional Infrastructure (S-CRI) District.

**Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW,
LOC2019-0129**

Residential – Low Density Mixed Housing (R-G) District

The R-G District is intended to accommodate a range of low density residential development including cottage housing clusters, duplex dwellings, semi-detached homes, rowhouses and single detached homes. Under the proposed R-G District, the subject application anticipates:

- 197 single detached houses that will be situated on wide, but shallow parcels;
- 62 semi-detached houses that will be accessed via a rear lane; and
- 34 townhouse units that will not contain a lane and will be accessed via the street.

DC Direct Control District (based on R-2M)

The proposed DC District (Attachment 1) based on the R-2M District contains the same rules as the existing DC District ([Bylaw 1D2016](#)) and is intended to accommodate semi-detached houses and rowhouses. Under the proposed DC District, the subject application anticipates 144 semi-detached homes, townhouses and rowhouses that will be accessed via a rear lane.

Special Purpose Districts (S-SPR, S-UN, S-CRI)

The proposed S-SPR District is a special purpose designation intended for schools, parks, open space and recreation facilities on lands dedicated as certain types of reserve, including Municipal Reserve (MR). The proposed S-UN will be dedicated as MR and will function as a small local park. The proposed S-UN District is intended for lands dedicated as Environmental Reserve and the S-CRI District is intended for infrastructure and utilities. With the minor changes to the road and block layouts, very small portions of land will need to be designated to the S-UN and S-CRI Districts.

Density

The application provides for development that still achieves the minimum overall residential density target of 20 units per hectare (8 units per acre) for the MDP. It also still achieves the minimum overall density target 25 units per hectare (9 units per acre) of the *West Macleod ASP* when taken in consideration of the entire area under the outline plan approved in 2015. Furthermore, the application meets the minimum density requirement of 17.3 units per hectare (7 units per acre) for the Residential Area of the ASP.

Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129

The corresponding proposed outline plan in isolation of the larger 2015 outline plan anticipates 437 low density residential dwelling units, resulting in a density of 28.2 units per hectare (11.42 units per acre) for the subject site. This is an increase of 48 units or 3.1 units per hectare (1.26 units per acre) for the site in question.

The outline plan approved in 2015 achieved an anticipated density of 26.2 units per hectare (10.6 units per acre). The proposed outline plan would increase the overall density to 26.6 units per hectare (10.8 units per acre).

Environmental

Environmental concerns for the subject lands were considered during the review of the approved outline plan in 2015, and no further reports or investigations are required for this application. No environmental issues were identified for the subject site.

Transportation

The corresponding outline plan proposes minor amendments to the street network, including slight adjustments to the location of the collector roads and reconfiguration of the local streets. Calgary Transit bus service will be available at the north end of the site near the intersection of Yorkville Boulevard SW and Yorkville Avenue SW.

Utilities and Servicing

The overall utilities and servicing for this development were reviewed and approved under the previous outline plan. The proposed change in use and density does not significantly impact the proposed services for the area which have capacity to service the proposed development.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

No engagement was done by Administration or the applicant. Administration received no comments in relation to the application. Currently, there is no community association for the area.

Following Calgary Planning Commission, notifications for Public Hearing of Council, for the accompanying land use amendment, will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

**Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW,
LOC2019-0129**

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy directions of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to Cities and Towns and promotes efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed outline plan builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Residential - Developing – Planned Greenfield with Area Structure Plan (ASP) area as identified on [Map 1: Urban Structure](#) in the [Municipal Development Plan](#) (MDP). The MDP defers to the local area plan in place.

West Macleod Area Structure Plan (Statutory – 2014)

The subject site is located within the Residential Area as identified on Map 4: Land Use Concept in the [West Macleod Area Structure Plan](#) (ASP). The Neighbourhood Area is intended to provide for a variety of housing forms and affordability levels to meet the needs of Calgary's diverse population. The proposed outline plan is in keeping with the policies identified in the ASP.

Social, Environmental, Economic (External)

Changes to the previously approved outline plan and existing land uses represent a slight increase in housing diversity and density, as there will be a wider range of housing product available with this application.

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0067

**Land Use Amendment in Yorkville (Ward 13) at 19515 Sheriff King Street SW,
LOC2019-0129**

Risk Assessment

There are no significant risks associated with this proposal.

REASON(S) FOR RECOMMENDATION(S):

The proposal is in keeping with applicable policies of the *Municipal Development Plan* and the *West Macleod Area Structure Plan*. The application represents a minor amendment to the accompanying existing outline plan and will allow for residential development that has a good mix of housing types.

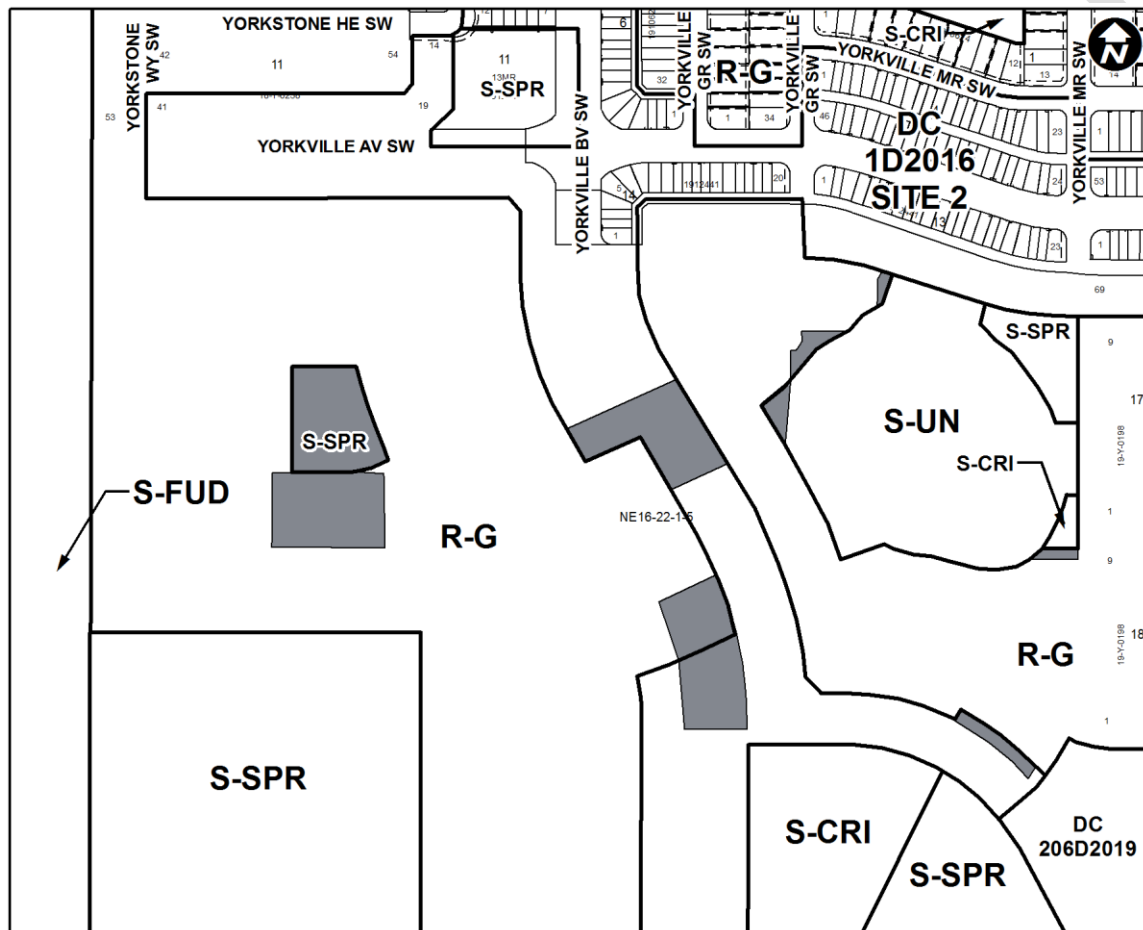
ATTACHMENT(S)

1. Proposed DC Direct Control District
2. Applicant Submission
3. Previously Approved Outline Plan (LOC2014-0023)
4. Proposed Outline Plan
5. Comparison of Approved and Proposed Outline Plan

Proposed DC Direct Control District

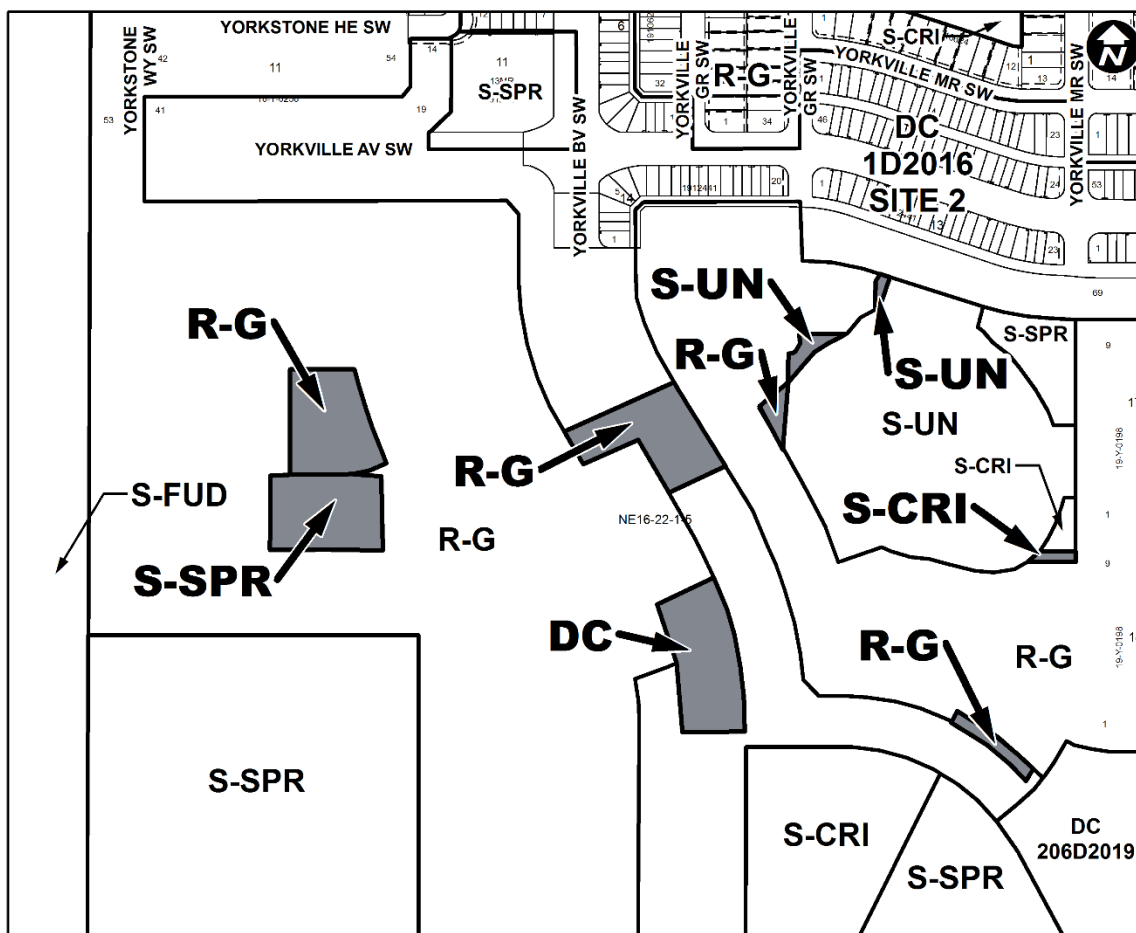
1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".

SCHEDULE A



Proposed DC Direct Control District

SCHEDULE B



DIRECT CONTROL DISTRICT

Purpose

- 1 This Direct Control District Bylaw is intended to accommodate residential development in the form of semi-detached dwellings, and rowhouse buildings.

Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Part 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

Reference to Bylaw 1P2007

- 3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

General Definitions

- 4 In this Direct Control District, a "**parcel**":
 - (a) means the aggregate of one or more areas of land described in a certificate of title by reference to a plan filed or registered in a land titles office; and

Proposed DC Direct Control District

- (b) includes a ***bare land unit*** created under a condominium plan.

Defined Uses

5 In this Direct Control District:

- (a) “**Live Work Unit**” means a ***use***:
- (i) where a business is operated from a **Dwelling Unit**, by the resident of the **Dwelling Unit**, but does not include a **Home Occupation – Class 1** or **Home Occupation – Class 2**;
 - (ii) that may incorporate only the following ***uses*** in a **Dwelling Unit** to create a **Live Work Unit** in this Direct Control District:
 - (A) **Artist’s Studio**;
 - (B) **Counselling Service**;
 - (C) **Office**; and
 - (D) **Retail and Consumer Service**, provided any products sold are also made on the premises or directly related to the service provided; and
 - (iii) that must be contained within a **Rowhouse Building**.

Permitted Uses

6 The following ***uses*** are ***permitted uses*** in this Direct Control District:

- (a) **Accessory Residential Building**;
- (b) **Home Based Child Care – Class 1**;
- (c) **Home Occupation – Class 1**;
- (d) **Park**;
- (e) **Protective and Emergency Services**;
- (f) **Rowhouse Building**;
- (g) **Semi-detached Dwelling**;
- (h) **Sign – Class A**; and
- (i) **Utilities**.

Discretionary Uses

7 The following ***uses*** are ***discretionary uses*** in this Direct Control District:

- (a) **Addiction Treatment**;
- (b) **Assisted Living**;
- (c) **Bed and Breakfast**;
- (d) **Community Entrance Feature**;
- (e) **Custodial Care**;
- (f) **Home Based Child Care – Class 2**;
- (g) **Home Occupation – Class 2**;
- (h) **Live Work Unit**;
- (i) **Place of Worship – Small**;
- (j) **Power Generation Facility – Small**;

Proposed DC Direct Control District

- (k) **Residential Care;**
- (l) **Sign – Class B;**
- (m) **Sign – Class C;**
- (n) **Temporary Residential Sales Centre; and**
- (o) **Utility Building.**

Bylaw 1P2007 District Rules

- 8** Unless otherwise specified, the rules of the Residential – Low Density Multiple Dwelling (R-2M) District of Bylaw 1P2007 apply in this Direct Control District.

Number of Main Residential Buildings on a Parcel

- 9** The maximum number of *main residential buildings* allowed on a *parcel* is one.

Density

- 10** There is no provision for minimum or maximum *density* on a *parcel* containing a **Rowhouse Building**.

Laned Parcel

- 11 (1)** All *parcels* must share a *property line* with a *lane* that provides vehicle access.
- (2)** A driveway must not have direct access to a *street*.

Parcel Width

- 12 (1)** The minimum *parcel width* for each *parcel* containing one **Dwelling Unit** of a **Semi-detached Dwelling** is:
- (a) 7.2 metres for a *corner parcel*; and
 - (b) 6.0 metres in all other cases.
- (2)** The minimum *parcel width* for a *parcel* containing one **Dwelling Unit** of a **Rowhouse Building** is:
- (a) 4.5 metres for a *corner parcel*; and
 - (b) 3.3 metres in all other cases.

Parcel Depth

- 13** The minimum *parcel depth* is 18.5 metres.

Parcel Area

- 14** The minimum *parcel* area is:
- (a) 111.0 square metres for each *parcel* containing one **Dwelling Unit** of a **Semi-detached Dwelling**; and
 - (b) 62.0 square metres for each *parcel* containing one **Dwelling Unit** of a **Rowhouse Building**.

Parcel Coverage

- 15 (1)** The maximum *parcel coverage* is 90 per cent of the area of the *parcel*.

Proposed DC Direct Control District

- (2) The maximum **parcel coverage** referenced in subsection (1) must be reduced by 21.0 square metres for each required **motor vehicle parking stall** that is not located in a **private garage**.

Building Setback from Front Property Line

- 16 (1) The minimum **building setback** from a **front property line** for a **porch** or **balcony** is 1.5 metres.
- (2) In all other cases, the minimum **building setback** from a **front property line** is:
- (a) 2.0 metres for a **laned parcel**; and
 - (b) 3.0 metres for a **laneless parcel**.

Building Setback from Rear Property Line

- 17 (1) The minimum **building setback** from a **rear property line** is 0.6 metres.
- (2) Notwithstanding section 338(4) of Bylaw 1P2007, when an attached **private garage** has a **balcony** or **deck**, the minimum setback from a **rear property line** for a **balcony** or **deck** is 0.6 metres.

Building Setback from Side Property Line

- 18 (1) There is no requirement for a **building setback** from a **side property line** on which a party wall is located that separates two or more **Dwelling Units**.
- (2) For a **corner parcel**, the minimum **building setback** from a **side property line** shared with a **street** is 1.2 metres, with the exception of subsection (3), provided there is no portion of a **building** located within 3.0 metres of:
- (a) the back of the public sidewalk; or
 - (b) the curb where there is no public sidewalk.
- (3) Eaves may project a maximum of 0.6 metres into any **side setback area**.
- (4) For **parcels** of less than 12.2 metres in width, the **building setback** required in subsection (5) may be reduced to 0.6 metres where:
- (a) the owner of the **parcel** proposed for **development** and the owner of the **adjacent parcel** register, against both titles, a 1.8 metre exclusive private access easement; and
 - (b) all roof drainage from the **building** is discharged through eavestroughs and downspouts onto the **parcel** on which the **building** is located.
 - (c) Notwithstanding (3), eaves may project a maximum of 0.45 meters into the **side setback area**.
- (5) In all other cases, the minimum **building setback** from any **side property line** is 1.2 metres.

Proposed DC Direct Control District

Amenity Space

- 19 (1) Unless otherwise referenced in subsection (4), a **porch, balcony, deck** or **patio** must not be located in any **setback area**.
- (2) Each **Dwelling Unit** must have a private **amenity space**:
- (a) provided for the private use of the occupants of the **Dwelling Unit**;
 - (b) that has a minimum area of 7.0 square metres with no dimension less than 2.0 metres; and
 - (c) in the form of a **porch, balcony, deck** or **patio**.
- (3) Where a **patio** is located within 4.0 metres of a **side property line** of a **parcel** containing a **Dwelling Unit**, it must be **screened**.
- (4) A **patio** may be located in the **front setback area** and/or in a **setback area** on the **street** side of a **corner parcel**.
- (5) Section 340(1) and (2) of Bylaw 1P2007 shall not apply to **balconies**.

Building Height

- 20 The maximum **building height** is 13.0 metres.

Live Work Units

- 21 (1) A **Live Work Unit**:
- (a) must not exceed 50.0 per cent of the **gross floor area** of the **Dwelling Unit**; and
 - (b) may have two persons, other than a resident of the **Live Work Unit**, working at the residence where the **use** is located; and
- (2) The minimum number of **motor vehicle parking stalls** for a **Live Work Unit** is a combined total of 2.0 **motor vehicle parking stalls** for the **Dwelling Unit** and the **Live Work Unit**.

Private Garage

- 22 A **private garage** may only be allowed at the rear of a **Dwelling Unit**.

Applicant Submission

January 6, 2020

APPLICANT'S SUBMISSION – YORKVILLE

INTRODUCTION

On behalf of Mattamy (Burgess) Ltd. and Macleod Farming & Ranching Ltd., B&A Planning Group has prepared an application for Outline Plan Amendment and Land Use Redesignation for approximately 15.54 ha (38.40 ac) of lands within the Yorkville community located on the Southwest sector of the Calgary and east side of the King Sheriff Street S. Of the 15.54 ha (38.40 ac) only 1.68 ha (4.15 ac) requires a land use redesignation.

The subject land is municipally addressed as 19515 Sheriff King Street SW; and legally described as a portion of NE & SE Section 16, Township 22, Range 1, Meridian 5.

The Yorkville Community was previously approved in 2016 under the LOC2014-0023. The request to revisit the outline plan design and the land use approvals of the subject lands is a result of market changes in greater demand for grade-oriented products that vary in size and orientation.

PROPOSAL

An Outline Plan for 15.54 hectares (38.40 acres) is requested to facilitate an amendment to the road network and residential block configuration within the approved Yorkville Community.

The new block configuration responds directly to the market and will increase the lots' width and fronting area. An advantage to this new product offerings allows wider frontages on the homes, thus lessening a garage dominate facade while also improving the overall streetscape. In addition, more space for street parking between houses is created. As a result, due to these modifications, the blocks' depth and road layouts would adjust slightly requiring a revised Outline Plan, and lead to shorter blocks and improved walkable areas within the plan.

The other benefit of changing the lots' depth is being able to offer front-drive townhouses as a new product type to the community. Front-drive townhouses increase the diversity of housing types in the community; and also fills the price gap for home buyers.

Accordingly, a land use redesignation is also required to accommodate the changes in the proposed Outline Plan area. The overall land use districts will remain the same as the approved plan. The following table shows the proposed land use redesignation within the subject lands.

Land Use Redesignation Statistics:

FROM	TO	HECTARE	ACRES
R-G	DC(R-2M)	0.17	0.42
R-G	S-CRI	0.02	0.05
R-G	S-UN	0.06	0.15
R-G	S-SPR	0.37	0.91
DC(SITE 2)	R-G	0.42	1.04
DC(SITE 2)	DC(R-2M)	0.23	0.57
S-SPR	R-G	0.37	0.91
S-UN	R-G	0.04	0.10
TOTAL		1.68	4.15

SUMMARY	HECTARES	ACRES
R-G	0.83	2.05
DC(R-2M)	0.40	0.99
S-CRI	0.02	0.05
S-SPR	0.37	0.91
S-UN	0.06	0.14
TOTAL	1.68	4.15

Applicant Submission

The subject lands include the following land use districts:

- **R-G:** This land use district is to accommodate a mix of housing products in the Yorkville neighbourhood. R-G district allows for numerous forms of low-density residential housing under the same land use, providing flexibility to builders and future residents in an ever-changing housing market.
- **DC (R-2M):** This DC district allows for street-oriented/laneway housing comprises semi-detached dwellings and row homes, with each dwelling located on its own fee simple lot. The lots are accessed by rear lanes and contain rear garages, which improve the front streetscape. Furthermore, the dwellings have virtually no rear yards, minimal front yards, narrow lot widths and high lot coverage. The result is a housing form that appeals to homeowners because of the high curb appeal and minimal maintenance. The same DC was previously accepted by the Administration for the Yorkville Community in 2016.
- **S-UN:** These lands are set aside the preserved class 4 wetland located at the northern portion of the Community, and could be used to facilitate passive recreational areas.
- **S-CRI:** The purpose of this district is to accommodate infrastructure, utilities and maintenance for the area around the wetland.

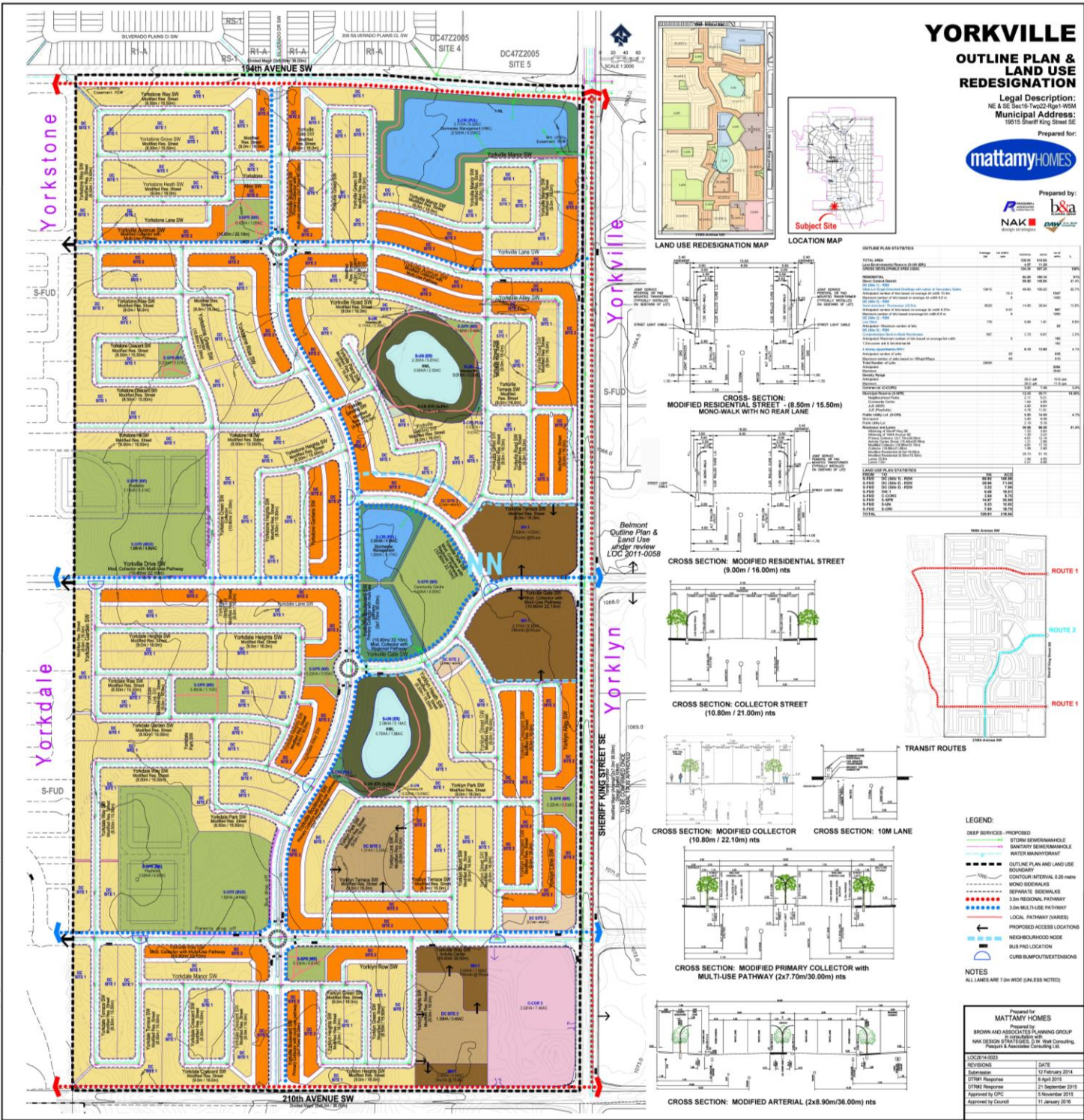
The proposed amendment will result in a minor increase from 24.9 units per hectare (10.1 units per acre) to 28.2 units per hectare (11.4 units per acre) in density within the subject area.

CONCLUSION

Through the re-evaluation of the block pattern and roads, an opportunity to amend the approved Outline Plan area was identified to improve the lotting, variety of housing, and the walkability through the community.

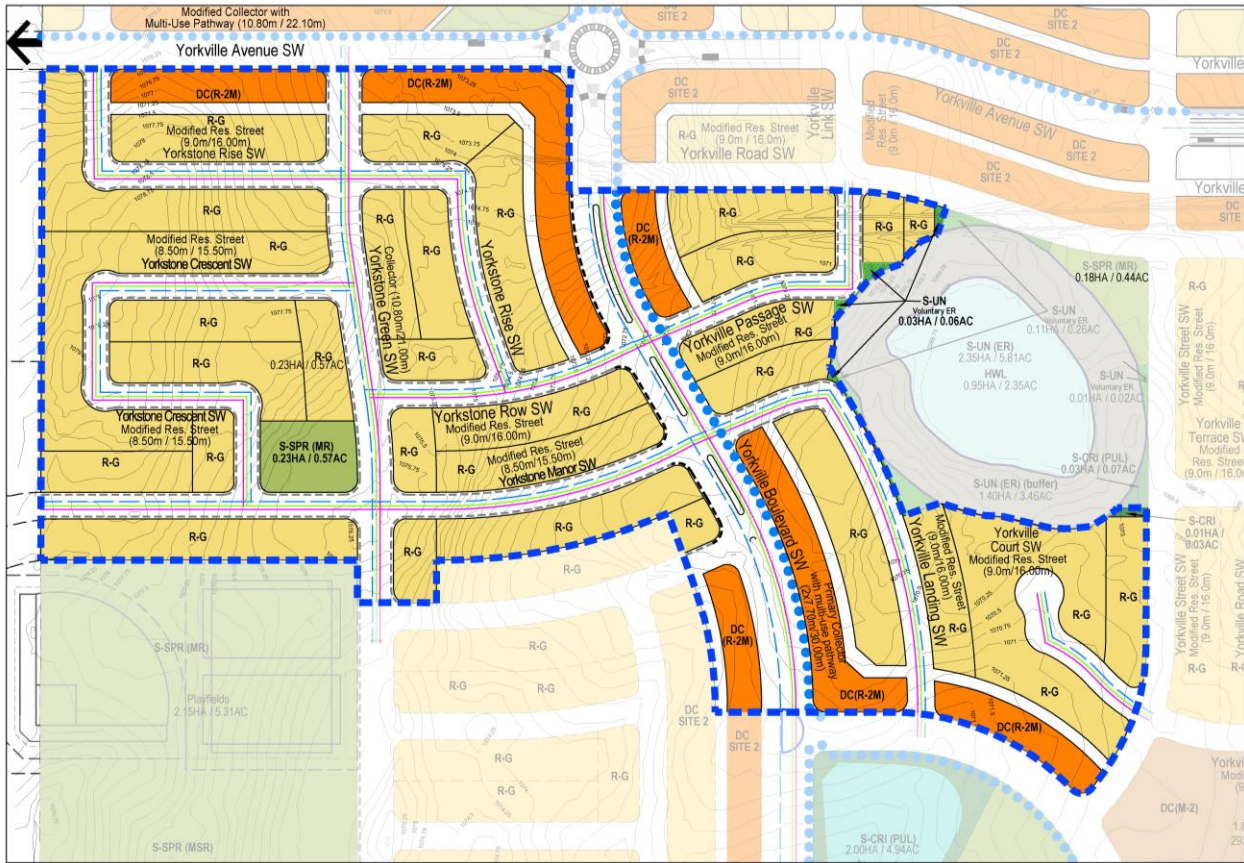
This application will comply with the Municipal Development Plan and the West Macleod Area Structure Plan (ASP) with respect to the density policies for Greenfield Developments and Neighborhood Corridors and will provide for a wide range of residential housing forms.

Previously Approved Outline Plan (LOC2014-0023)



Proposed Outline Plan

PROPOSED YORKVILLE OUTLINE PLAN - LOC2019-0129



Legend:

- Outline Plan Boundary
- Contour Interval 0.5m
- 1.2m Mono Sidewalk
- 2.0m Separate Sidewalk
- 3.0m Multi-Use Pathway

Deep Services - Proposed

- Storm Sewer/Manhole
- Sanitary Sewer/Manhole
- Water Main/Hydrant

Notes:

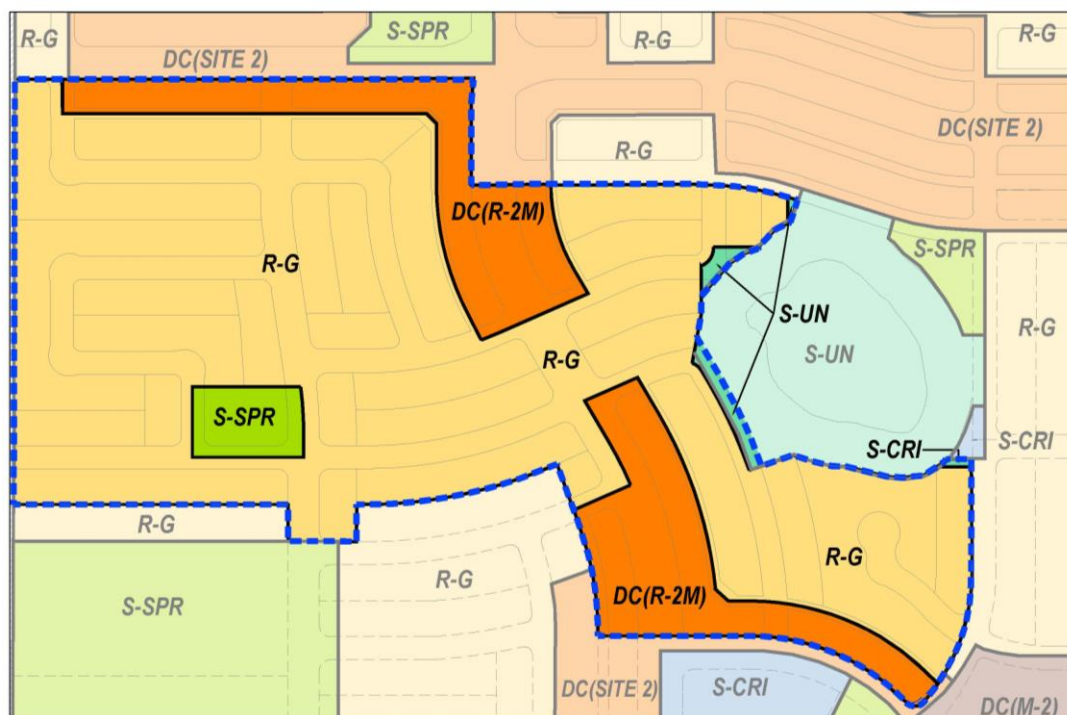
All lanes are 7.0m wide unless otherwise noted.



Proposed Outline Plan

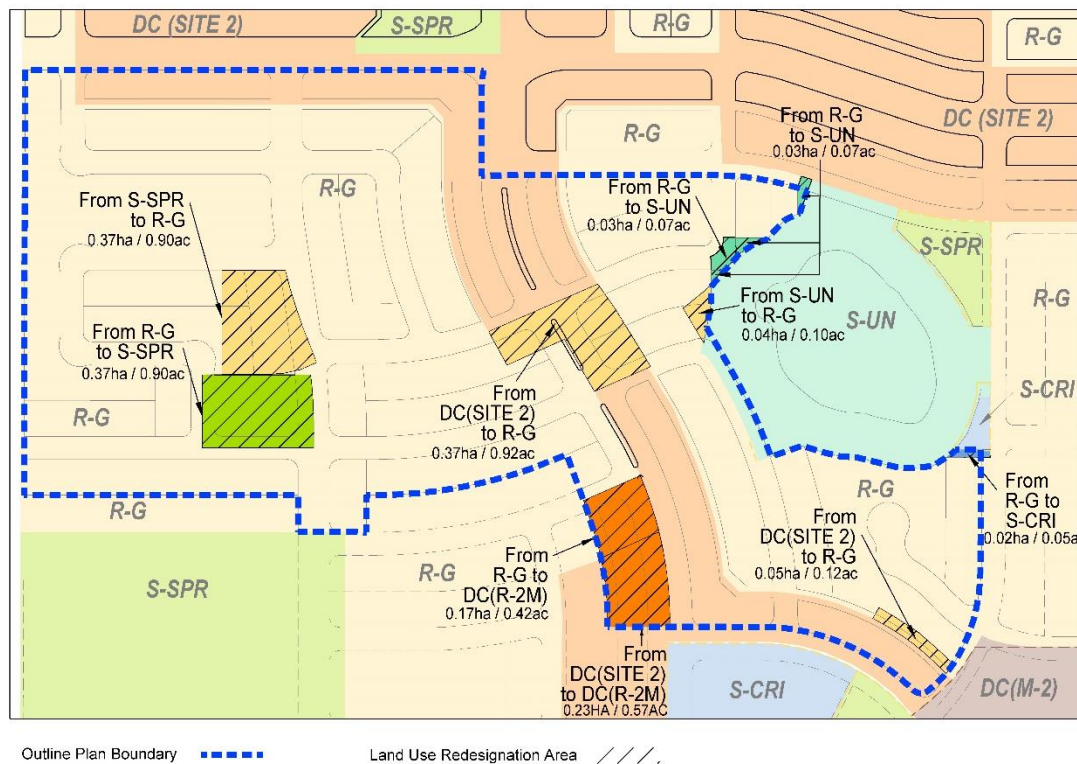
PROPOSED OUTLINE PLAN STATISTICS						
	frontage (m)	lot width (m)	hectares	acres	anti. no. of units	% of GDA
TOTAL AREA			15.54	38.40		
Less Environmental Reserve (S-UN (ER))			0.03	0.07		
GROSS DEVELOPABLE AREA (GDA)			15.51	38.33		100%
RESIDENTIAL			10.48	25.90		67.6%
<i>R-G Wide Shallow Single Family</i>	2406	12.20	6.70	16.56	197	43.2%
<i>R-G Laneless Townhomes</i>	238	6.86	0.68	1.68	34	4.4%
<i>R-G Laned Semi-detached</i>	460	7.31	1.26	3.11	62	8.1%
<i>DC (R-2M) Laned Townhomes/ Semis/ Rowhouses</i>	884	6.10	1.84	4.55	144	11.9%
Total Number of Lots	3988				437	
Density - Anticipated			28.2 uph		11.4 upa	
MUNICIPAL RESERVE (S-SPR)			0.23	0.57		1.5%
Neighbourhood Park			0.23	0.57		
PUBLIC UTILITY LOTS AND ROADS (S-CRI (PUL))			4.80	11.86		30.9%
Public Utility Lots			0.01	0.03		0.1%
Roads and Lanes			4.79	11.83		30.9%
<i>Primary Collector with Multi-use Pathway (2x7.70m/30.00m)</i> <i>Collector (10.80m/21.00m)</i> <i>Mod. Residential Street (8.50m/15.50m)</i> <i>Mod. Residential Street 9.00m/16.00m)</i> <i>Lanes 7.00m</i>						

PROPOSED LAND USE REDESIGNATION PLAN - LOC2019-0129



Proposed Outline Plan

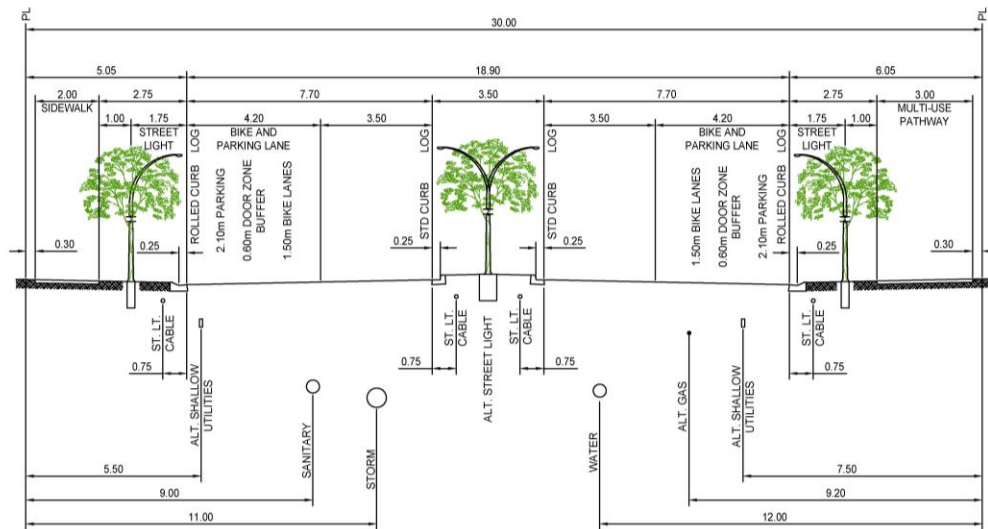
LAND USE SUMMARY



2019 - Dec 12 th			
LAND USE REDESIGNATION STATISTICS			
From	To	Hectares	Acres
R-G	DC (R-2M)	0.17	0.42
R-G	S-CRI	0.02	0.05
R-G	S-UN	0.06	0.15
R-G	S-SPR	0.37	0.91
DC (SITE 2)	R-G	0.42	1.04
DC (SITE 2)	DC (R-2M)	0.23	0.57
S-SPR	R-G	0.37	0.91
S-UN	R-G	0.04	0.10
TOTAL		1.68	4.15
SUMMARY			
R-G		0.83	2.05
DC (R-2M)		0.40	0.99
S-CRI		0.02	0.05
S-SPR		0.37	0.91
S-UN		0.06	0.14
TOTAL		1.68	4.15

Proposed Outline Plan

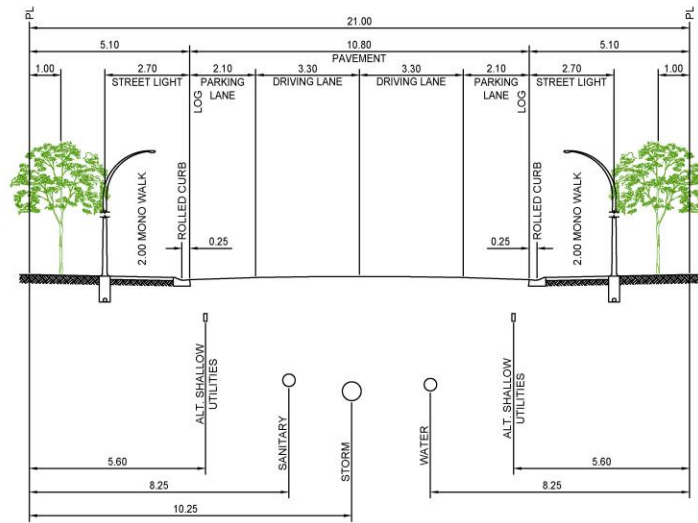
APPROVED CROSS SECTIONS (LOC2014-0023)



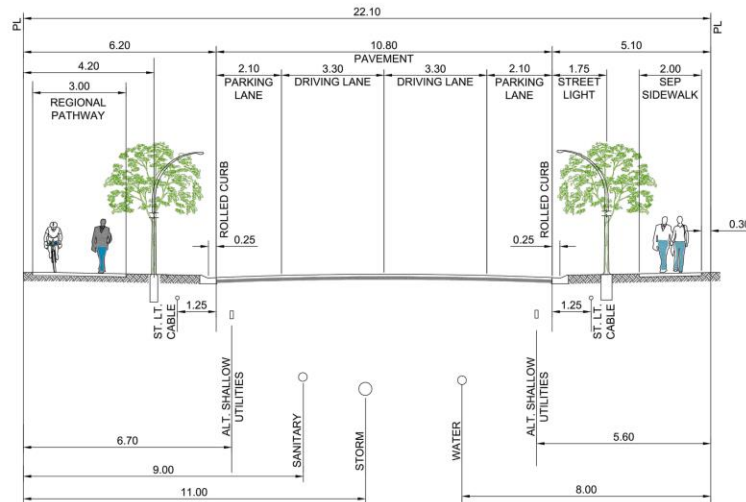
**CROSS SECTION: MODIFIED PRIMARY COLLECTOR with
MULTI-USE PATHWAY (2x7.70m/30.00m) nts**

Proposed Outline Plan

APPROVED CROSS SECTIONS (LOC2014-0023)



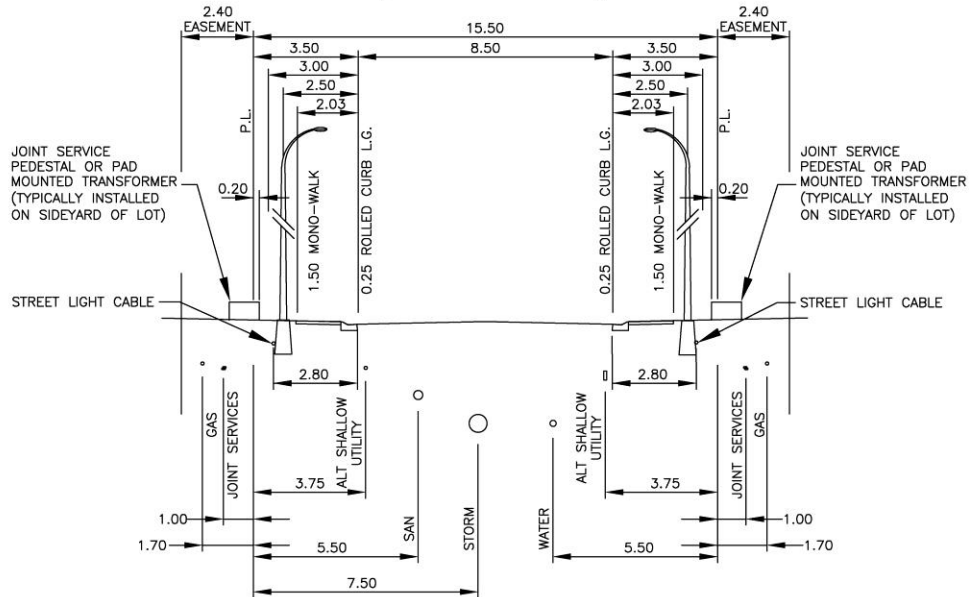
**CROSS SECTION: COLLECTOR STREET
(10.80m / 21.00m) nts**



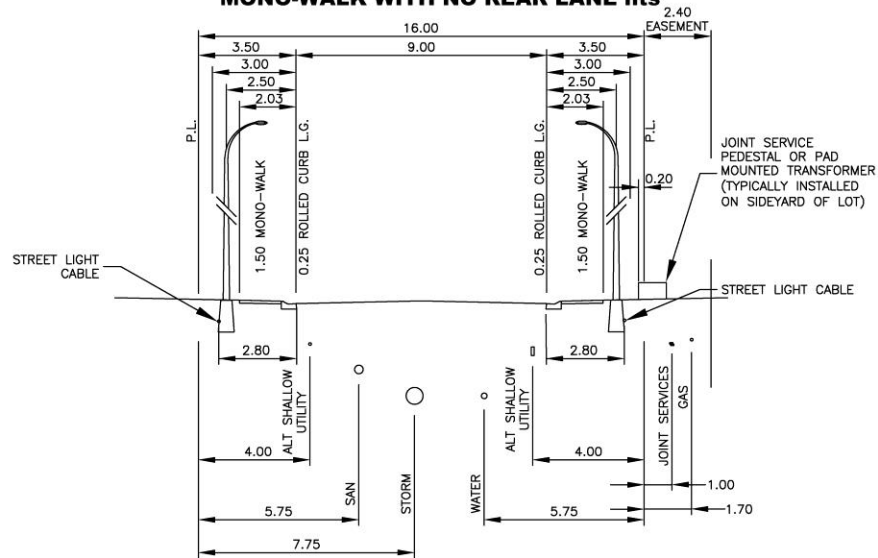
**CROSS SECTION: MODIFIED COLLECTOR
(10.80m / 22.10m) nts**

Proposed Outline Plan

APPROVED CROSS SECTIONS (LOC2014-0023)



CROSS-SECTION: MODIFIED RESIDENTIAL STREET - (8.50m / 15.50m) MONO-WALK WITH NO REAR LANE nts



CROSS SECTION: MODIFIED RESIDENTIAL STREET (9.00m / 16.00m) nts

Comparison of Approved and Proposed Outline Plan

Legend:

Outline Plan Boundary

Contour Interval 0.5m

1.2m Mono Sidewalk

2.0m Separate Sidewalk

3.0m Multi-Use Pathway

Deep Services - Proposed

Storm Sewer/Manhole

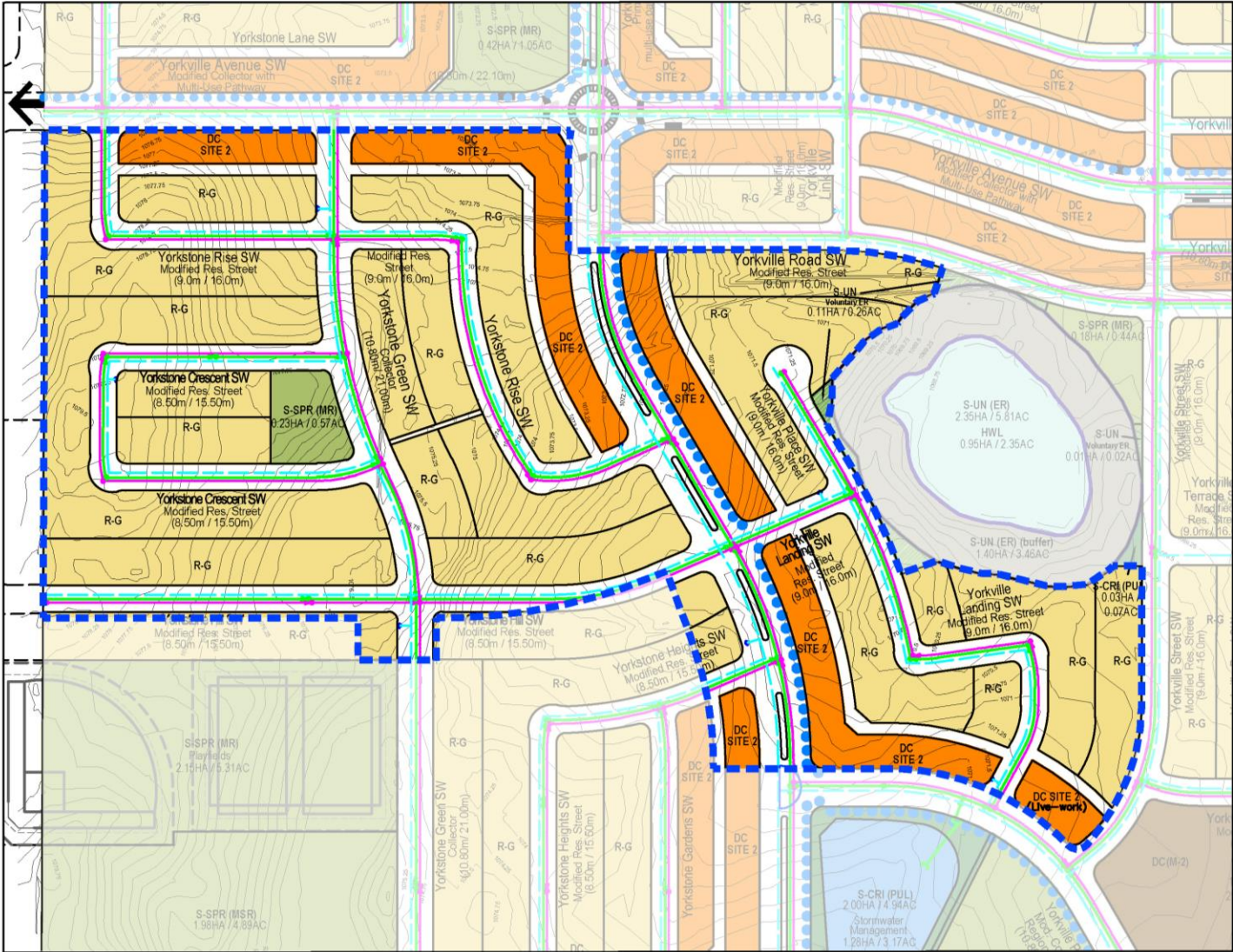
Sanitary Sewer/Manhole

Water Main/Hydrant

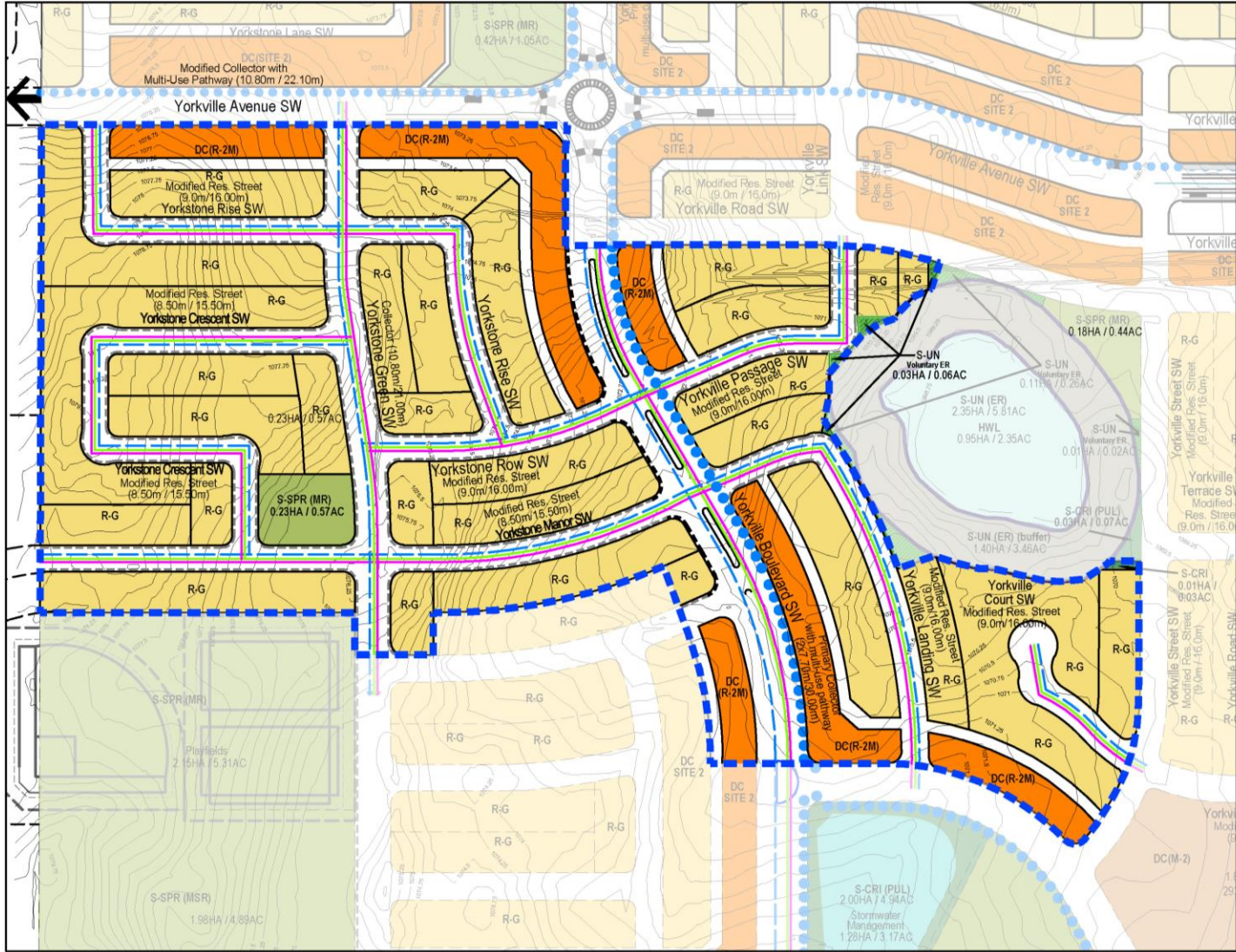
Notes:

All lanes are 7.0m wide unless otherwise noted.

APPROVED YORKVILLE OUTLINE PLAN LOC2014-0023



PROPOSED YORKVILLE OUTLINE PLAN - LOC2019-0129



YORKVILLE

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0066

Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP)

EXECUTIVE SUMMARY

This outline plan application was submitted by B&A Planning Group on 2019 August 09 on behalf of the landowners, Mattamy (Burgess) Limited and Macleod Farming & Ranching Ltd. The application proposes amendments to an approximately 15.54 hectares (38.40 acres) portion of an existing, approved outline plan from 2015 within the community of Yorkville. This application provides for:

- an overall anticipated 437 dwellings units, (an increase from the previous approval of 389 anticipated homes);
- an anticipated 197 single detached homes which may include secondary suites (R-G), (a decrease from the previous approval of 260 detached homes);
- an anticipated 62 semi-detached homes and 34 townhouses (R-G) and an anticipated 144 semi-detached homes, townhouses and rowhouses (DC/R-2M), (a change from the 123 previously approved semi-detached homes and rowhouses and 6 live/work units);
- approximately 0.23 hectares (0.57 acres) of Municipal Reserve (MR) in the form of a neighbourhood park (S-SPR), where the previous approved park is changing locations slightly; and
- amendments to the street network and block layouts.

The reason for the applicant's proposed application is to respond to changing market conditions regarding housing types and parcel sizes, since the current outline plan and land use were approved in 2015 and 2016 respectively. The proposed application results in a small increase in density from the previous approval and the proposed changes to the street and block network will result in shorter, more grid-based blocks and improved connectivity.

Together with the proposed land use redesignation application on today's agenda (CPC2020-0067), this revised outline plan implements the objectives of the *West Macleod Area Structure Plan* (ASP) and *Municipal Development Plan* (MDP), and meets minimum density targets when taken in consideration with the previously approved outline plan area.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission **APPROVE** the proposed outline plan located at 19515 Sheriff King Street SW (Portion of E1/2 Section 22-16-1-5) to subdivide 15.54 hectares ± (38.40 acres ±) with conditions (Attachment 1).

PREVIOUS COUNCIL DIRECTION / POLICY

None.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0066

Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP)

BACKGROUND

B&A Planning Group, on behalf of the landowners Mattamy (Burgess) Limited and Macleod Farming & Ranching Ltd, submitted the subject application to The City on 2019 August 09 and provided a summary of their proposal in the Applicant's Submission (Attachment 2).

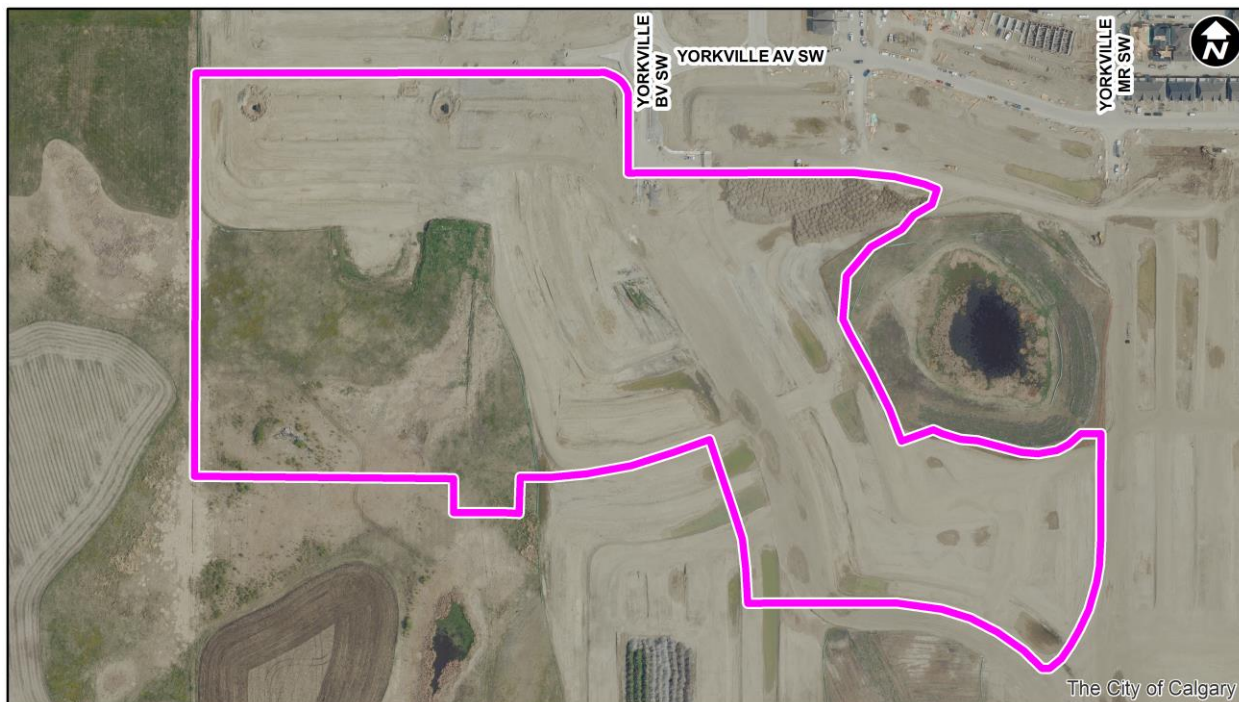
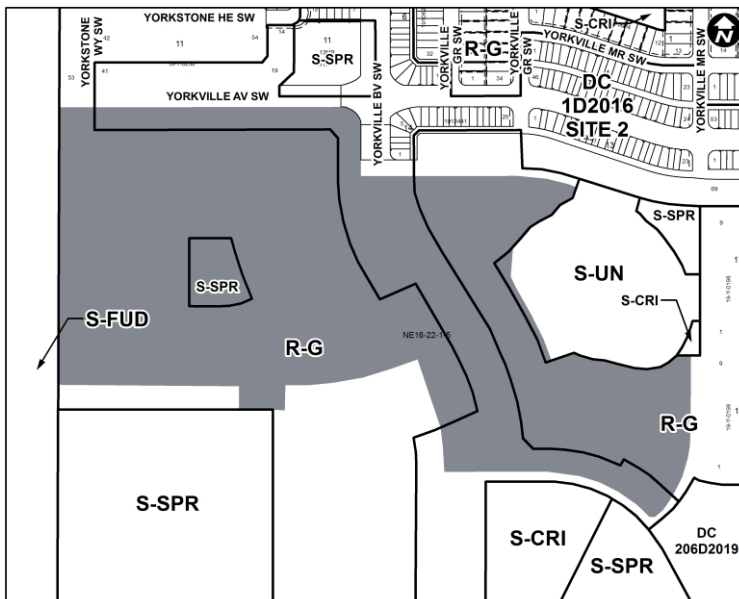
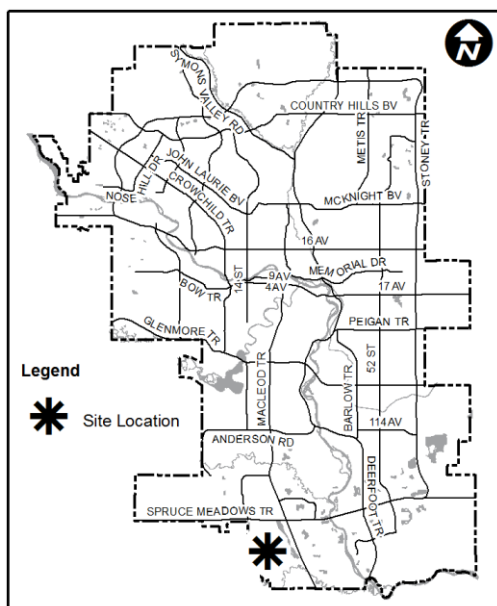
The existing approved outline plan LOC2014-0023 (Attachment 3), was approved in 2015 for approximately 140.85 hectares (348.05 acres) as part of the new community of Yorkville and includes the area that is subject to this proposed application.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0066

Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP)

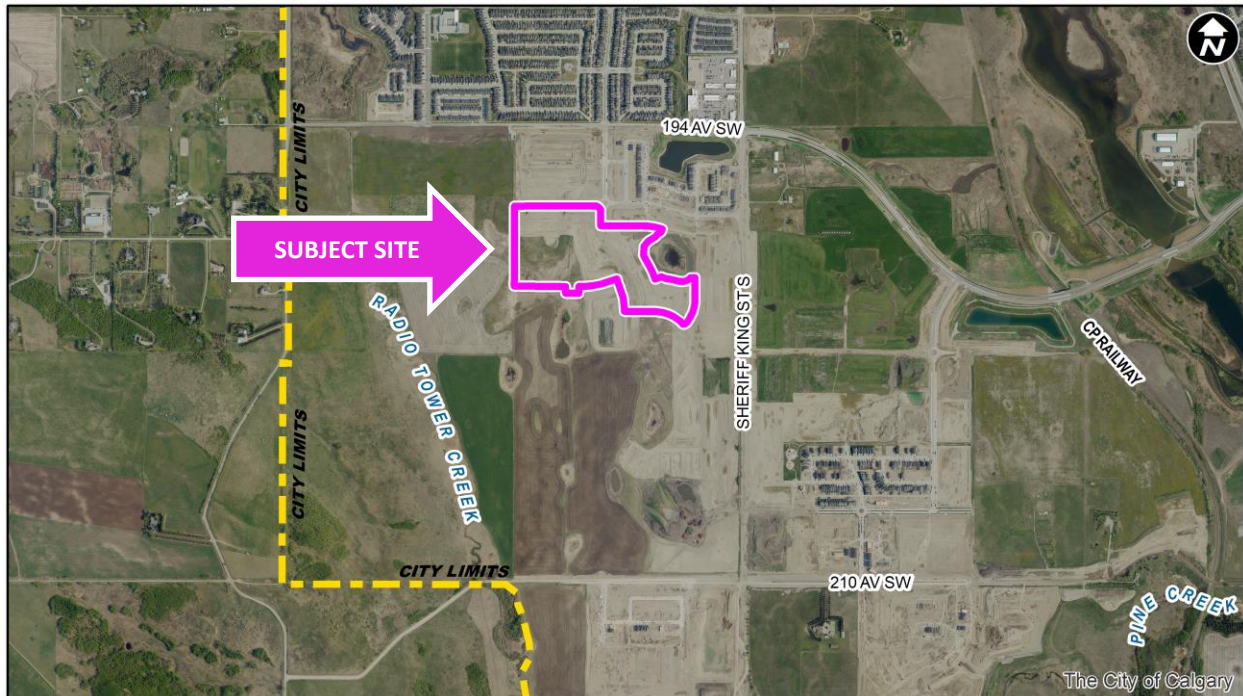
Location Maps



Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0066

Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP)



Site Context

The subject site comprises approximately 15.54 hectares (38.40 acres) within a larger approximately 107.6 hectares (265.9 acres) parcel of undeveloped land that has been partially stripped and graded in preparation for development within the community of Yorkville. The subject site is west of Sheriff King Street S and south of 194 Avenue SW.

Lands to the north of the site are in the first phases of construction as part of the development of Yorkville. Lands to the east across Sheriff King Street S are in their current agricultural state and have been redesignated to allow for future residential development as part of the community of Belmont. Lands to the south have been partially stripped and graded as part of the developments of Yorkville and Pine Creek, where Pine Creek is currently under construction. Lands to the west/southwest are currently in their existing agricultural state, however recent land use and outline plan approval was granted in 2019 for the future residential development of Yorkville West.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

The proposed outline plan (Attachment 4), along with the associated land use amendment on today's agenda (CPC2020-0067) will enable residential development in the developing community of Yorkville. The subject application and corresponding land use amendment propose changes to the existing approved outline plan (2015) and land use (2016) due to

Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP)

changing market conditions since the previous approvals. The outline plan proposes the following changes:

- increase in the number of housing units;
- greater variation in the housing types and parcel sizes; and
- minor amendments to the road network, Municipal Reserve and Environmental Reserve parcels to facilitate the necessary changes to block layout and orientation to accommodate the proposed housing product.

The proposal meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Subdivision Design

The proposed outline plan allows for a minor reconfiguration of the street network and Municipal Reserve and Environmental Reserve parcels in order to accommodate 437 anticipated homes, which is an increase from the previous approval of 389 anticipated homes. The changes to the housing forms are as follows:

- 260 previously identified single detached homes will be replaced with 197 single detached homes on wider and shallower parcels; and
- 123 previously identified semi-detached homes and rowhouses and 6 previously identified live/work units will be replaced with 62 laned semi-detached homes, 34 laneless townhouses and 144 semi-detached homes, townhouses and rowhouses.

The proposed changes to the street and block network will result in shorter, more grid-based blocks and improved connectivity.

Due to the changes in the street and block network, one park, to be designated Special Purpose – School, Parks and Community Reserve (S-SPR) District with a proposed Municipal Reserve (MR) dedication has been revised in terms of its location and alignment. However, the area of the park, 0.23 hectares (0.57 acres), remains unchanged from the previous approval (LOC2014-0023).

The previously approved LOC2014-0023 had a voluntary Environmental Reserve (ER) dedication totaling 0.12 hectares (0.28 acres) around an existing wetland to be retained and protected. This voluntary ER area has slightly increased to 0.14 hectares (0.35 acres) to accommodate the changes in the block network and ensure adequate protection of the wetland. A comparison of the approved and proposed outlines plans can be found in Attachment 5.

Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP)

Furthermore, a breakdown of the statistics for the subject outline plan can be found in the Subdivision Data Sheet (Attachment 6).

Land Use

Concurrent with the outline plan is a land use amendment application that proposes to redesignate the subject lands from Residential – Low Density Mixed Housing (R-G) District, Direct Control (R-2M/Site 2) District, Special Purpose – School, Park and Community Reserve (S-SPR) District and Special Purpose – Urban Nature (S-UN) District to the following districts:

- Residential – Low Density Mixed Housing (R-G) District;
- DC Direct Control District based on the Residential – Low Density Multiple Dwelling (R-2M) District;
- Special Purpose – School, Park and Community Reserve (S-SPR) District;
- Special Purpose – Urban Nature (S-UN) District; and
- Special Purpose – City and Regional Infrastructure (S-CRI) District.

The Proposed Land Use District Map can be found in Attachment 7.

Density

The application provides for development that still achieves the minimum overall residential density target of 20 units per hectare (8 units per acre) for the MDP. It also still achieves the minimum overall density target 25 units per hectare (9 units per acre) of the *West Macleod ASP* when taken in consideration of the entire area under the outline plan approved in 2015. Furthermore, the application meets the minimum density requirement of 17.3 units per hectare (7 units per acre) for the Residential Area of the ASP.

The corresponding proposed outline plan in isolation of the larger 2015 outline plan anticipates 437 low density residential dwelling units, resulting in a density of 28.2 units per hectare (11.42 units per acre) for the subject site. This is an increase of 48 units or 3.1 units per hectare (1.26 units per acre) for the site in question.

The outline plan approved in 2015 achieved an anticipated density of 26.2 units per hectare (10.6 units per acre). The proposed outline plan would increase the overall density to 26.6 units per hectare (10.8 units per acre).

Environmental

Environmental concerns for the subject lands were considered during the review of the approved outline plan in 2015, and no further reports or investigations are required for this application. No environmental issues were identified for the subject site.

Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP)

Transportation

The outline plan proposes minor amendments to the street network, including slight adjustments to the location of the collector roads and reconfiguration of the local streets. One change that results from the wider but shallower single detached parcels is that it creates more space for on-street parking between the houses. The street cross sections have remained unchanged and are based on the previously approved outline plan LOC2014-0023 (Attachment 4). Calgary Transit bus service will be available at the north end of the site near the intersection of Yorkville Boulevard SW and Yorkville Avenue SW.

Utilities and Servicing

The overall utilities and servicing for this development were reviewed and approved under the previous outline plan. The proposed change in use and density does not significantly impact the proposed services for the area which have capacity to service the proposed development.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

No engagement was done by Administration or the applicant. Administration received no comments in relation to the application. Currently, there is no community association for the area.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy directions of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to Cities and Towns and promotes efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed outline plan builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Residential - Developing – Planned Greenfield with Area Structure Plan (ASP) area as identified on [Map 1: Urban Structure](#) in the [Municipal Development Plan](#) (MDP). The MDP defers to the local area plan in place.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0066

Outline Plan in Yorkville (Ward 13) at 19515 Sheriff King Street SW, LOC2019-0129(OP)

West Macleod Area Structure Plan (Statutory – 2014)

The subject site is located within the Residential Area as identified on Map 4: Land Use Concept in the [West Macleod Area Structure Plan](#) (ASP). The Neighbourhood Area is intended to provide for a variety of housing forms and affordability levels to meet the needs of Calgary's diverse population. The proposed outline plan is in keeping with the policies identified in the ASP.

Social, Environmental, Economic (External)

Changes to the approved outline plan and existing land uses represent a slight increase in housing diversity and density, as there will be a wider range of housing product available.

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Risk Assessment

There are no significant risks associated with this proposal.

REASON(S) FOR RECOMMENDATION(S):

The proposal is in keeping with applicable policies of the *Municipal Development Plan* and the *West Macleod Area Structure Plan*. The application represents a minor amendment to an existing outline plan and will allow for residential development that has a good mix of housing types.

ATTACHMENT(S)

1. Conditions of Approval
2. Applicant Submission
3. Previously Approved Outline Plan (LOC2014-0023)
4. Proposed Outline Plan
5. Comparison of Approved and Proposed Outline Plan
6. Subdivision Data Sheet
7. Proposed Land Use District Map

Conditions of Approval

The following Conditions of Approval shall apply:

Planning:

1. Upon submission of the affected Tentative Plan, provide an updated Outline Plan Statistic table, and an overlay of the approved and proposed outline plans prior to decision.
2. The compensation for over-dedication of reserve in excess of 10% shall be deemed to be \$1.00.
3. A density phasing plan must be submitted with each tentative plan application.
4. The relocation of any electrical and telecommunications installations shall be at the Developer's expense to the appropriate standards.
5. The Standard City of Calgary Party Wall Agreement regarding the creation of separate parcels for semi-detached units shall be executed and registered against the titles concurrently with the registration of the final instrument;
6. The Land Use Signs for each phase shall show the location or proximity to any adjacent uses or constraint areas such as NEF contours, landfills, gravel pits, sour gas wells, wastewater treatment facilities, etc.
7. Vehicular driveway access will not be permitted from lots onto Yorkville Boulevard SW. Development on all R-G corner lots adjacent to Yorkville Boulevard SW must treat both façade frontages with equal treatment, and front doors must be oriented to Yorkville Boulevard SW.

Development Engineering:

8. The parcels shall be developed in accordance with the development restriction recommendations outlined in the following report(s):
 - Geotechnical Report, prepared by McIntosh Lalani Engineering Ltd. (File No 4158), dated April 2009.
9. **Prior to approval of the tentative plan**, a sanitary tech memo is required to be submitted for review and approval.

Note: The proposed change will cause a sanitary flow increase. Please quantify the incremental flow and demonstrate that the existing sanitary pipe within project site can accommodate the increased flow. If the increase is significant, the CD with sanitary calculation table will need to be updated accordingly.

10. **Prior to approval of the tentative plan**, a stormwater tech memo is required to be submitted for review and approval.

Note: The proposed change may cause an imperviousness increase. Provide a tech memo to address the impact to the existing infrastructure, modify storm pond if needed.

Conditions of Approval

11. Servicing arrangements shall be to the satisfaction of the Manager Infrastructure Planning, Water Resources.
12. **Prior to endorsement of the final instrument**, execute a Development Agreement. Contact the Subdivision Development Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email urban@calgary.ca.
13. Off-site levies, charges and fees are applicable. Contact the Subdivision Development Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email urban@calgary.ca.
14. The Developer, at its expense, but subject to normal oversize, endeavours to assist and boundary cost recoveries shall be required to enter into an agreement to:
 - a. Install the offsite sanitary sewers, storm sewers and water mains and construct the offsite temporary and permanent roads required to service the plan area. The developer will be required to obtain all rights, permissions, easements or rights-of-way that may be required to facilitate these offsite improvements.
 - b. Construct the underground utilities and surface improvements within and along the boundary of the plan area.
 - c. Construct a wood screening fence, chain link fence, sound attenuation fence, whichever may be required, inside the property line of the residential lots along the boundary of the plan area.
 - d. Construct the regional pathway within and along the boundaries of the plan area, to the satisfaction of the Director of Parks Development.

Transportation:

15. The West Macleod Global TIA (prepared by Stantec June 2015) has been completed and the Regional Transportation network infrastructure required to support development throughout the plan area up to 7100 units and 200,000 SF commercial is defined as follows:
 - a) At-grade intersection of Macleod Trail and 210 Avenue S;
 - b) At-grade intersection of Macleod Trail and 194 Avenue S;
 - c) 210 Avenue SE – four (2-2) paved lanes from Macleod Trail to Sheriff King Street;
 - d) 194 Avenue SE – four (2-2) paved lanes from Macleod Trail to Sherriff King Street; and
 - e) Sherriff King Street – four (2-2) paved lanes from 210 Avenue to Stoney Trail.

Prior to endorsement of the first Tentative Plan, the Developer shall enter into an agreement to contribute to the cost to upgrade the intersections of Macleod Trail/210 Avenue S and Macleod Trail/194 Avenue S based on the Transportation Impact Assessment recommendations for the East and West Macleod area.

Conditions of Approval

16. **Prior to endorsement of the initial Tentative plan**, the Developer must enter into a Development Agreement for the offsite improvements necessitated by the development. It must be demonstrated that the regional transportation network infrastructure is “available” and connects the Outline Plan area with Macleod Trail and/or 22X, in accordance with the approved Calgary Transportation Plan (CTP) and Municipal Development Plan (MDP) and Area Structure Plan. Available is defined as follows:
 - a) The ability to construct or contribute towards construction of a Regional Transportation Network infrastructure required to provide a connection to the Tentative Plan; and
 - b) The ability to construct or contribute towards construction of a pedestrian / active modes system to service the Tentative Plan.
17. **Prior to the release of any permits or Permissions to Construct**, the Developer shall enter into a Construction Access Roads Agreement with Roads Maintenance.
18. **Prior to the approval of affected Tentative Plan**, the developer shall ensure that all pathways from MR lands have a direct pedestrian connection by sidewalk or pathway to the desired crossings at the intersections.
19. **In conjunction with the Initial Tentative Plan application**, the Developer shall register road plans for any Collector and Arterial standard roadways within the subject lands to the satisfaction of the Director, Transportation Planning that provides continuous active mode and vehicle routing through the subject lands with two points of public access around the tentative plan boundary.

The continuous collector road network is required to ensure that efficient Transit routing through the plan area can be provided, while the two points of access to the subject lands ensures development traffic will have two routes into and out of the area, in the event of emergencies or road closures, and to ensure availability of capacity at the access points.
20. **In conjunction with the applicable Tentative Plan and Development Permit**, all access to parcels within the subject lands shall be located and designed to the satisfaction of the Director, Transportation Planning.
21. **In conjunction with the applicable Tentative Plan or Development Permit** for the staged construction of the road network, transit stops shall be provided to the satisfaction of the Director, Transit and the Director, Transportation Planning. All bus zones shall be located:
 - A. Where commercial areas are concentrated;
 - B. Where the grades and site lines are compatible to install bus zones; and
 - C. Where pedestrian walkways, pathways, and roadway crossing opportunities are provided.
22. **In conjunction with the applicable Tentative Plan or Development Permit**, Transit shelter(s) shall be provided as stipulated by the Director, Transportation Planning and shall be supplied and installed at the Developer's sole expense. The shelter(s) shall be installed by Transit upon receipt of satisfactory payment.

Conditions of Approval

23. A restrictive covenant shall be registered against the specific lot(s) identified by the Director, Transportation Planning **concurrent with the final instrument** prohibiting the construction of front driveways over the bus loading area(s).
24. No direct vehicular access shall be permitted to crosswalk/wheelchair ramp locations for any proposed T intersections. Restrictive covenant shall be registered on all applicable titles **concurrent with the registration of the final instrument** to that effect at the Tentative Plan stage.
25. For R-G residential lots, no direct vehicular access shall be permitted to or from primary collector and other divided roadways. Vehicular access shall be provided from rear lanes only. A restrictive covenant **shall be registered on all applicable titles concurrent with the registration of the final instrument to that effect at the applicable Tentative Plan stage.**
26. **In conjunction with the applicable Tentative Plan**, public access easement agreement will required to be registered for all private roads located in subject lands. All private roads must conform to City of Calgary design standards. Public access easement will also be required for pathways located on private parcels.
27. **In conjunction with the applicable tentative plans**, the Developer shall provide signage within the road right-of-way or on city public land, indicating the future road extension of Yorkstone Green SW, Yorkstone Row SW, Yorkstone Hill SW, and Yorkville Boulevard SW into adjacent lands currently in the Municipal District of Foothills and/or adjacent landowners. Signage shall be designed and located to the satisfaction of the Director of Transportation Planning and the Director of Roads. All work will be at the Developer's expense.
28. **In conjunction with each Tentative Plan**, the Developer shall demonstrate that the plan area provides contiguous extension of development with the Outline Plan area, to the satisfaction of Transportation Development Services. The intent is to ensure transportation connectivity for all modes within and adjacent to the plan area, as well as facilitate transit routing
29. All intersection spacing shall be located, designed, and constructed to the satisfaction of the Director, Transportation Planning.
30. Future revisions, addendums, or submissions within the development area are subject to further Transportation review and analysis, at the discretion and satisfaction of the Director, Transportation Planning.
31. **In conjunction with the applicable Tentative Plan**, temporary oil and gravel bus turnaround / cul-de-sac with a minimum radius of 15.25 metres is required at the terminus of each construction phase. Where the developer intends to fence the turnaround, the minimum radius shall be increased to 16.25 metres. If road construction or construction phasing affects the operations of transit service, the Developer is required to provide an interim transit route replacement, to the satisfaction of the Director, Transportation Planning.

Conditions of Approval

Parks:

32. ER and MR dedication areas are to be as per approved LOC2014-0023. The MR – Municipal Reserve provided is to be 10% of the Net Developable area.
33. Prior to approval of the tentative plan, submit a new landscape concept for the revised MR totalling 0.23 ha as proposed in LOC2019-0129 as the MR has changed in terms of orientation and location.
34. Pursuant to Part 4 of the *Water Act* (Alberta), the applicant shall promptly provide Parks with a copy of the *Water Act* approval, issued by Alberta Environment, for the proposed wetland disturbance.
35. Until receipt of the *Water Act* approval by the applicant from Alberta Environment, the wetland(s) affected by the development boundaries shall not be developed or disturbed in anyway and shall be protected in place.
36. **Prior to the endorsement of the affected tentative plan**, the developer shall submit a Wetland Management Plan(s) for the retained wetlands for the review and approval, to the satisfaction of the Director of Parks.
37. **Prior to approval of the tentative plan or stripping and grading permit** (whichever comes first), an onsite meeting shall be arranged to confirm that the surveyed boundaries of the environmental reserve area meet Parks' approval. A plan illustrating the surveyed ER boundaries must be provided to Parks in advance of the onsite meeting.
38. **Prior to approval of the tentative plan or stripping and grading permit**, all wetlands must be accurately delineated based on vegetation and soils at the appropriate time and Water Act authorization must be obtained from AEP - Alberta Environment and Parks. The values and functions of the wetlands to be removed must be evaluated according to the most recent BIA and by a qualified wetland specialist.
39. **Prior to approval of the first tentative plan or stripping and grading permit** (whichever comes first), it shall be confirmed that no disturbance or backslipping of private lots into ER lands will occur. Site grading on private lots and developed MR lands will match the existing grad grading of the development site will match the existing grades of adjacent ER, with all grading confined to the private property, unless otherwise approved by Parks.
40. **Prior to the approval of a stripping and grading permit, a Development Agreement or a subject area Tentative Plan**, Parks requires details pertaining to the total limit of disturbance resulting from the proposed development in its entirety.
41. No disturbance of Environmental Reserve lands is permitted, unless otherwise approved by the Director of Parks.
42. The developer shall restore, to a natural state, any portions of the environmental reserve lands within the boundaries of the plan area that are damaged in any way as a result of this development. The restored area is to be maintained until established and approved by the Park Development Inspector.

Conditions of Approval

43. No stockpiling or dumping of construction materials is permitted on the adjacent ER lands.
44. There shall be no retaining walls placed within the MR and ER lands, unless otherwise approved by the Director of Parks. Where a retaining wall is proposed, detailed cross-section drawings illustrating area slope, building and retaining wall placement are to be submitted to Parks for review and approval, **prior to approval of the affected Tentative Plan.**
45. **Prior to the commencement of any stripping and grading related to the site and during all phases of construction,** the developer shall install and maintain a temporary construction fence on the private property line with the adjacent Environmental Reserve to protect public lands and during all phases of construction.
46. **Prior to the commencement of any stripping and grading related to the site and during all phases of construction,** the developer shall install Environmental Reserve (ER) protection measures around the natural areas/wetlands to be retained in order to prevent excessive overland drainage and siltation onto said areas during all phases of construction, in accordance with The City's "*Guidelines for Erosion and Sediment Control*", to the satisfaction of the Manager of Urban Development and the Director of Parks.
47. Any Low Impact Development (LID) component drainage is not to conflict with the pathways in any part of the subdivision.
48. **Prior to the approval of the affected Tentative Plan,** it shall be demonstrated through concepts and cross-sections that the local and regional pathways around the wetland complex are located outside of the high water line.
49. Construct all regional pathway routes within and along the boundaries of the plan area according to Parks' ***Development Guidelines and Standard Specifications – Landscape Construction*** (current version), including setback requirements, to the satisfaction of the Director of Parks.
50. **Prior to the approval of the affected tentative plan,** finalized concept plans for all MR and MSR sites shall be submitted for Parks' review and approval.
51. **Prior to endorsement of the affected tentative plan,** the developer shall confirm fencing requirements adjacent to MR, MSR and ER parcels to the satisfaction of the Director, Calgary Parks.
52. **Prior to endorsement of the affected tentative plan,** Detailed Landscape Construction drawings that are reflective of the subject Tentative Plan for the proposed Municipal Reserve (MR) and Environmental Reserve (ER) lands are to be submitted to the Parks Landscape Construction Coordinator for review and approval prior to construction.

Conditions of Approval

53. **Prior to endorsement of the affected tentative plan**, with the submission of Landscape Construction Drawings, the developer shall include a detailed Restoration Plan including a maintenance schedule for the restoration and maintenance of any Environmental Reserve affected by construction. The restored area(s) shall be maintained by the developer until it is established and approved by Parks prior to Final Acceptance Certificate.
54. Construct all Municipal Reserve parcels within the boundaries of the plan area according to the approved concept plans and the *Parks' Development Guidelines and Standard Specifications – Landscape Construction* (current version).
55. Plant all public trees in compliance with the approved Public Landscaping Plan.

Applicant Submission

January 6, 2020

APPLICANT'S SUBMISSION – YORKVILLE

INTRODUCTION

On behalf of Mattamy (Burgess) Ltd. and Macleod Farming & Ranching Ltd., B&A Planning Group has prepared an application for Outline Plan Amendment and Land Use Redesignation for approximately 15.54 ha (38.40 ac) of lands within the Yorkville community located on the Southwest sector of the Calgary and east side of the King Sheriff Street S. Of the 15.54 ha (38.40 ac) only 1.68 ha (4.15 ac) requires a land use redesignation.

The subject land is municipally addressed as 19515 Sheriff King Street SW; and legally described as a portion of NE & SE Section 16, Township 22, Range 1, Meridian 5.

The Yorkville Community was previously approved in 2016 under the LOC2014-0023. The request to revisit the outline plan design and the land use approvals of the subject lands is a result of market changes in greater demand for grade-oriented products that vary in size and orientation.

PROPOSAL

An Outline Plan for 15.54 hectares (38.40 acres) is requested to facilitate an amendment to the road network and residential block configuration within the approved Yorkville Community.

The new block configuration responds directly to the market and will increase the lots' width and fronting area. An advantage to this new product offerings allows wider frontages on the homes, thus lessening a garage dominate facade while also improving the overall streetscape. In addition, more space for street parking between houses is created. As a result, due to these modifications, the blocks' depth and road layouts would adjust slightly requiring a revised Outline Plan, and lead to shorter blocks and improved walkable areas within the plan.

The other benefit of changing the lots' depth is being able to offer front-drive townhouses as a new product type to the community. Front-drive townhouses increase the diversity of housing types in the community; and also fills the price gap for home buyers.

Accordingly, a land use redesignation is also required to accommodate the changes in the proposed Outline Plan area. The overall land use districts will remain the same as the approved plan. The following table shows the proposed land use redesignation within the subject lands.

Land Use Redesignation Statistics:

FROM	TO	HECTARE	ACRES
R-G	DC(R-2M)	0.17	0.42
R-G	S-CRI	0.02	0.05
R-G	S-UN	0.06	0.15
R-G	S-SPR	0.37	0.91
DC(SITE 2)	R-G	0.42	1.04
DC(SITE 2)	DC(R-2M)	0.23	0.57
S-SPR	R-G	0.37	0.91
S-UN	R-G	0.04	0.10
TOTAL		1.68	4.15

SUMMARY	HECTARES	ACRES
R-G	0.83	2.05
DC(R-2M)	0.40	0.99
S-CRI	0.02	0.05
S-SPR	0.37	0.91
S-UN	0.06	0.14
TOTAL	1.68	4.15

Applicant Submission

The subject lands include the following land use districts:

- **R-G:** This land use district is to accommodate a mix of housing products in the Yorkville neighbourhood. R-G district allows for numerous forms of low-density residential housing under the same land use, providing flexibility to builders and future residents in an ever-changing housing market.
- **DC (R-2M):** This DC district allows for street-oriented/laneway housing comprises semi-detached dwellings and row homes, with each dwelling located on its own fee simple lot. The lots are accessed by rear lanes and contain rear garages, which improve the front streetscape. Furthermore, the dwellings have virtually no rear yards, minimal front yards, narrow lot widths and high lot coverage. The result is a housing form that appeals to homeowners because of the high curb appeal and minimal maintenance. The same DC was previously accepted by the Administration for the Yorkville Community in 2016.
- **S-UN:** These lands are set aside the preserved class 4 wetland located at the northern portion of the Community, and could be used to facilitate passive recreational areas.
- **S-CRI:** The purpose of this district is to accommodate infrastructure, utilities and maintenance for the area around the wetland.

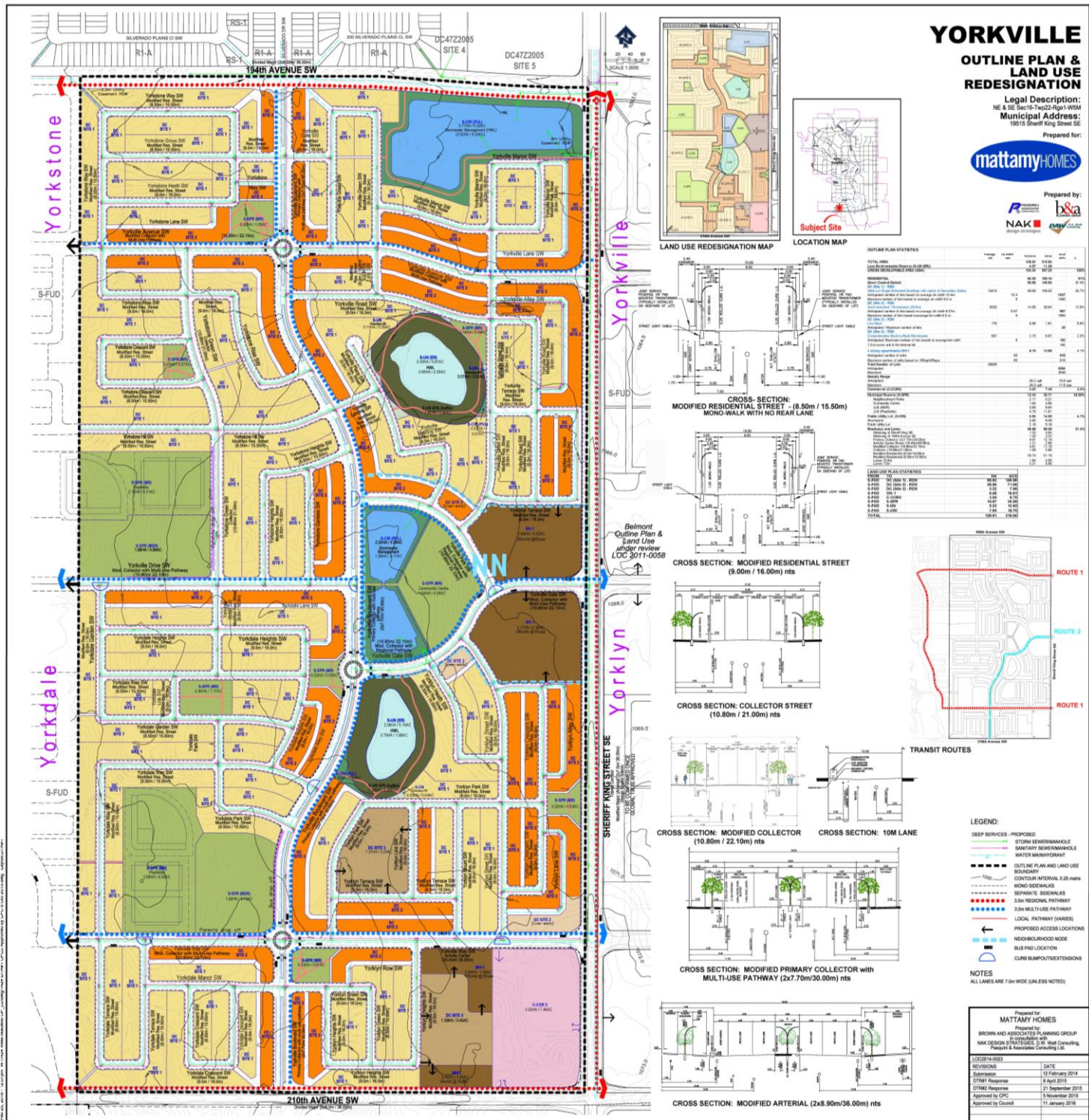
The proposed amendment will result in a minor increase from 24.9 units per hectare (10.1 units per acre) to 28.2 units per hectare (11.4 units per acre) in density within the subject area.

CONCLUSION

Through the re-evaluation of the block pattern and roads, an opportunity to amend the approved Outline Plan area was identified to improve the lotting, variety of housing, and the walkability through the community.

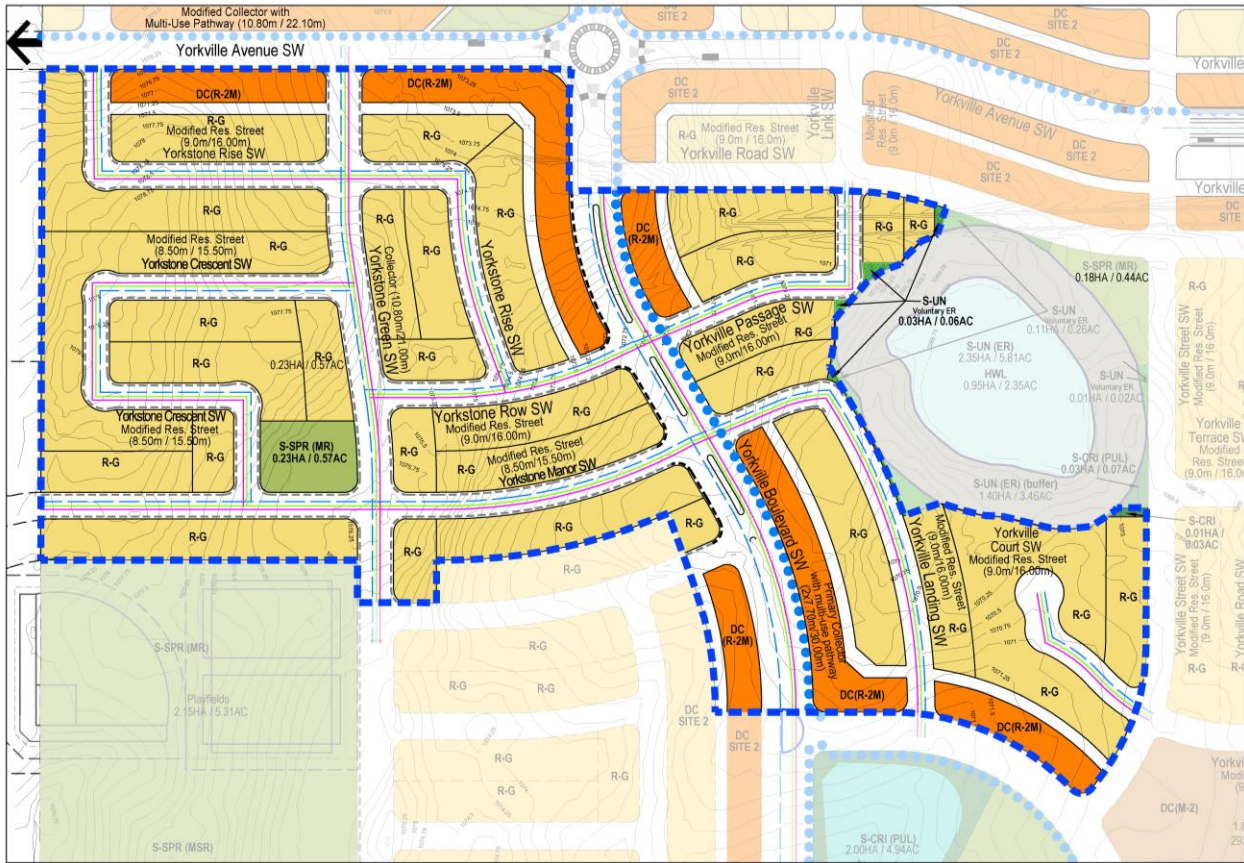
This application will comply with the Municipal Development Plan and the West Macleod Area Structure Plan (ASP) with respect to the density policies for Greenfield Developments and Neighborhood Corridors and will provide for a wide range of residential housing forms.

Previously Approved Outline Plan (LOC2014-0023)



Proposed Outline Plan

PROPOSED YORKVILLE OUTLINE PLAN - LOC2019-0129



Legend:

- — — — — Outline Plan Boundary
- 1000 — Contour Interval 0.5m
- - - - - 1.2m Mono Sidewalk
- - - - - 2.0m Separate Sidewalk
- ● ● ● ● 3.0m Multi-Use Pathway

Deep Services - Proposed

- — — — — Storm Sewer/Manhole
- — — — — Sanitary Sewer/Manhole
- — — — — Water Main/Hydrant

Notes:

All lanes are 7.0m wide unless otherwise noted.

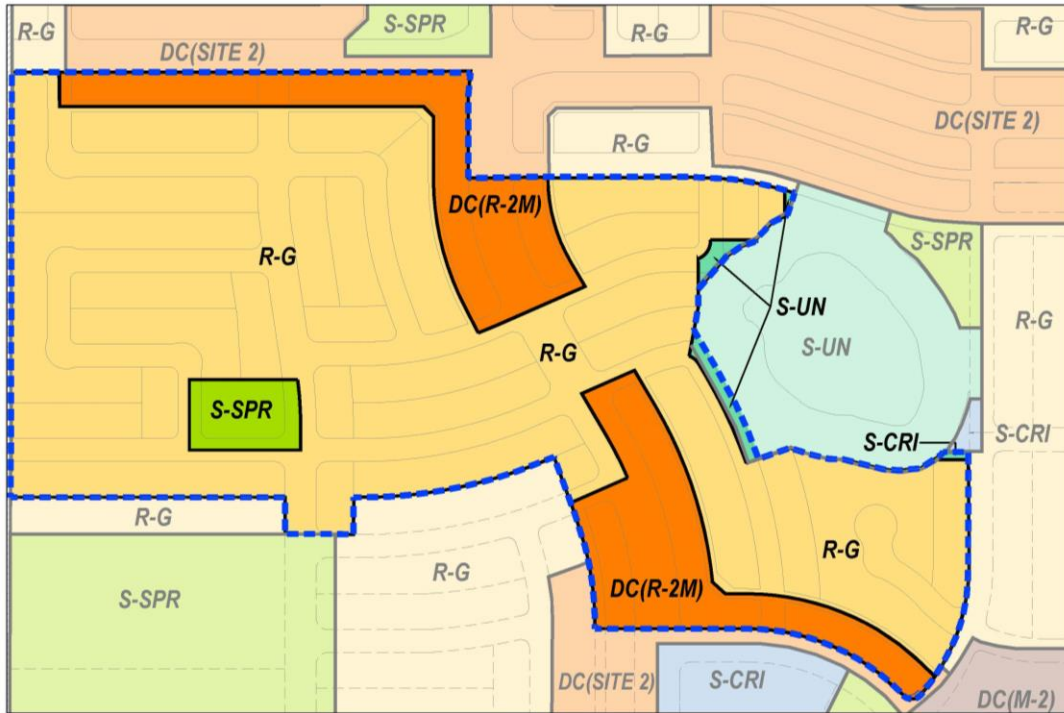


Proposed Outline Plan

PROPOSED OUTLINE PLAN STATISTICS						
	frontage (m)	lot width (m)	hectares	acres	anti. no. of units	% of GDA
TOTAL AREA			15.54	38.40		
Less Environmental Reserve (S-UN (ER))			0.03	0.07		
GROSS DEVELOPABLE AREA (GDA)			15.51	38.33		100%
RESIDENTIAL			10.48	25.90		67.6%
<i>R-G Wide Shallow Single Family</i>	2406	12.20	6.70	16.56	197	43.2%
<i>R-G Laneless Townhomes</i>	238	6.86	0.68	1.68	34	4.4%
<i>R-G Laned Semi-detached</i>	460	7.31	1.26	3.11	62	8.1%
<i>DC (R-2M) Laned Townhomes/ Semis/ Rowhouses</i>	884	6.10	1.84	4.55	144	11.9%
Total Number of Lots	3988				437	
Density - Anticipated			28.2	uph	11.4	upa
MUNICIPAL RESERVE (S-SPR)			0.23	0.57		1.5%
Neighbourhood Park			0.23	0.57		
PUBLIC UTILITY LOTS AND ROADS (S-CRI (PUL))			4.80	11.86		30.9%
Public Utility Lots			0.01	0.03		0.1%
Roads and Lanes			4.79	11.83		30.9%
<i>Primary Collector with Multi-use Pathway (2x7.70m/30.00m)</i>						
<i>Collector (10.80m/21.00m)</i>						
<i>Mod. Residential Street (8.50m/15.50m)</i>						
<i>Mod. Residential Street 9.00m/16.00m)</i>						
<i>Lanes 7.00m</i>						

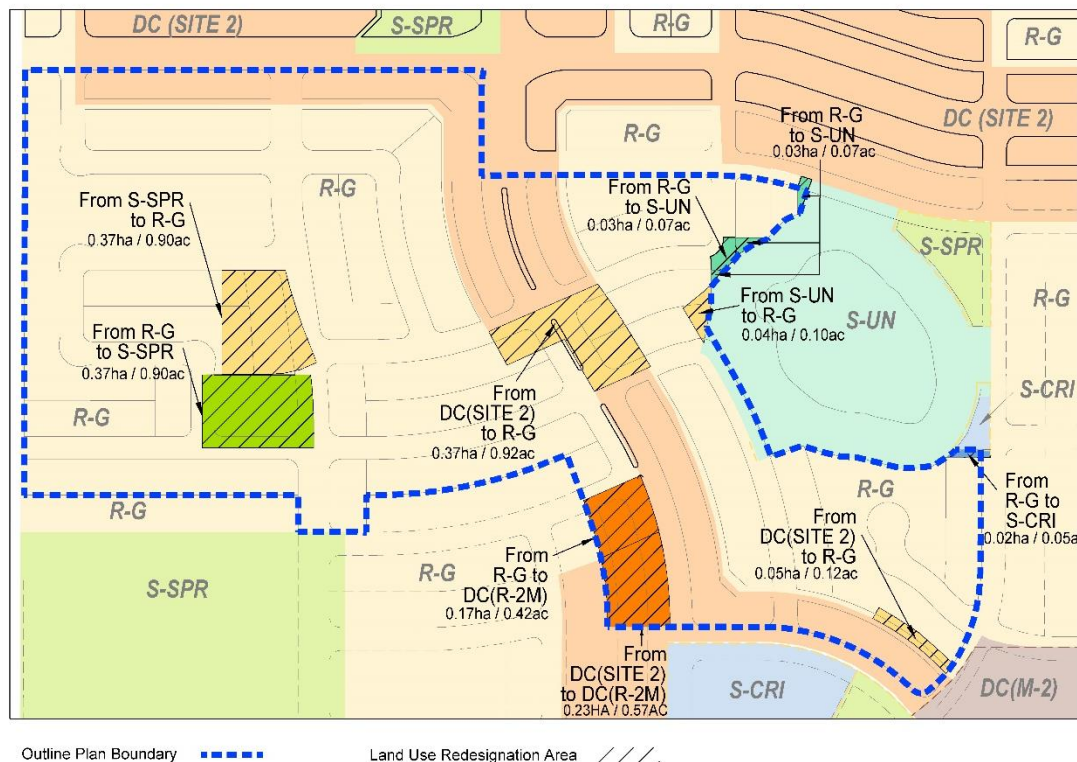
Proposed Outline Plan

PROPOSED LAND USE REDESIGNATION PLAN - LOC2019-0129



Proposed Outline Plan

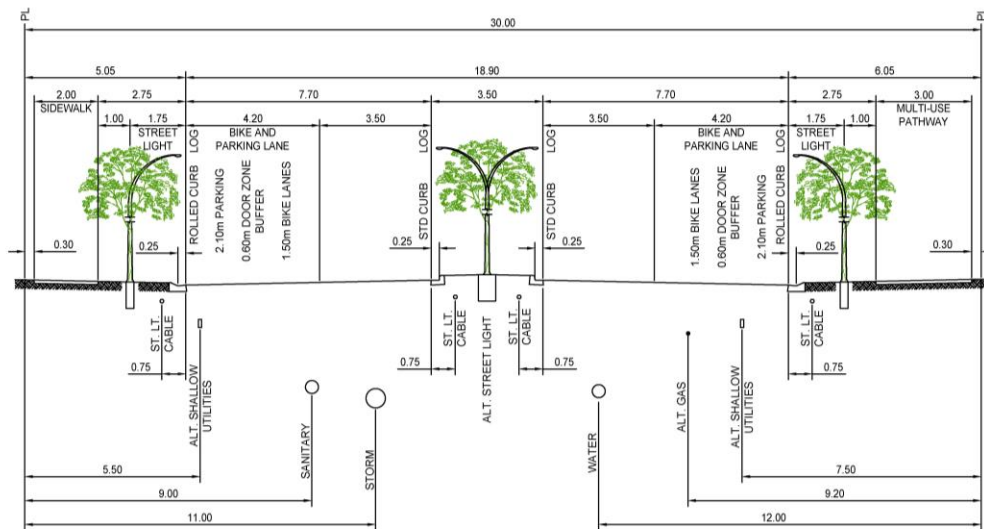
LAND USE SUMMARY



2019 - Dec 12 th			
LAND USE REDESIGNATION STATISTICS			
From	To	Hectares	Acres
R-G	DC (R-2M)	0.17	0.42
R-G	S-CRI	0.02	0.05
R-G	S-UN	0.06	0.15
R-G	S-SPR	0.37	0.91
DC (SITE 2)	R-G	0.42	1.04
DC (SITE 2)	DC (R-2M)	0.23	0.57
S-SPR	R-G	0.37	0.91
S-UN	R-G	0.04	0.10
TOTAL		1.68	4.15
SUMMARY			
R-G		0.83	2.05
DC (R-2M)		0.40	0.99
S-CRI		0.02	0.05
S-SPR		0.37	0.91
S-UN		0.06	0.14
TOTAL		1.68	4.15

Proposed Outline Plan

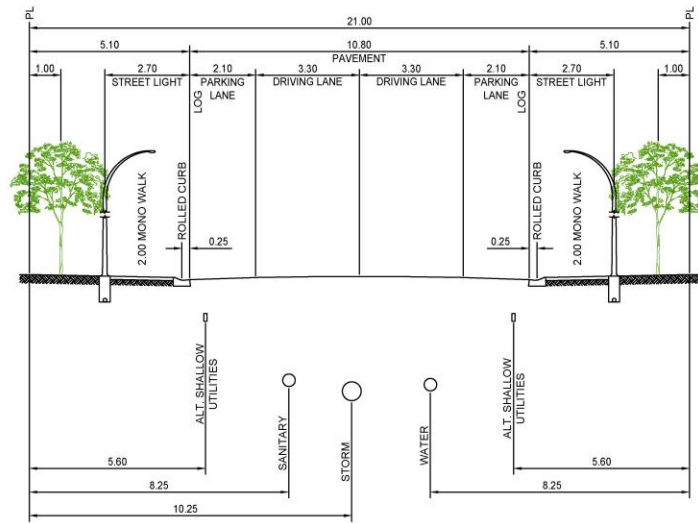
APPROVED CROSS SECTIONS (LOC2014-0023)



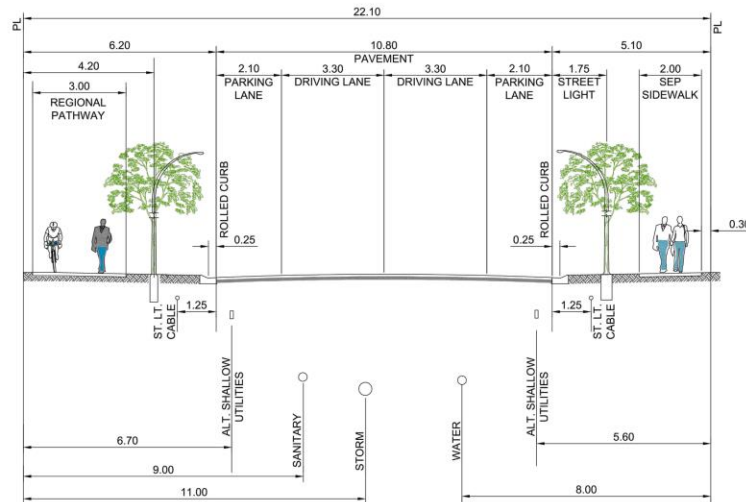
**CROSS SECTION: MODIFIED PRIMARY COLLECTOR with
MULTI-USE PATHWAY (2x7.70m/30.00m) nts**

Proposed Outline Plan

APPROVED CROSS SECTIONS (LOC2014-0023)



**CROSS SECTION: COLLECTOR STREET
(10.80m / 21.00m) nts**



**CROSS SECTION: MODIFIED COLLECTOR
(10.80m / 22.10m) nts**

Comparison of Approved and Proposed Outline Plan

Legend:

Outline Plan Boundary

Contour Interval 0.5m

1.2m Mono Sidewalk

2.0m Separate Sidewalk

3.0m Multi-Use Pathway

Deep Services - Proposed

Storm Sewer/Manhole

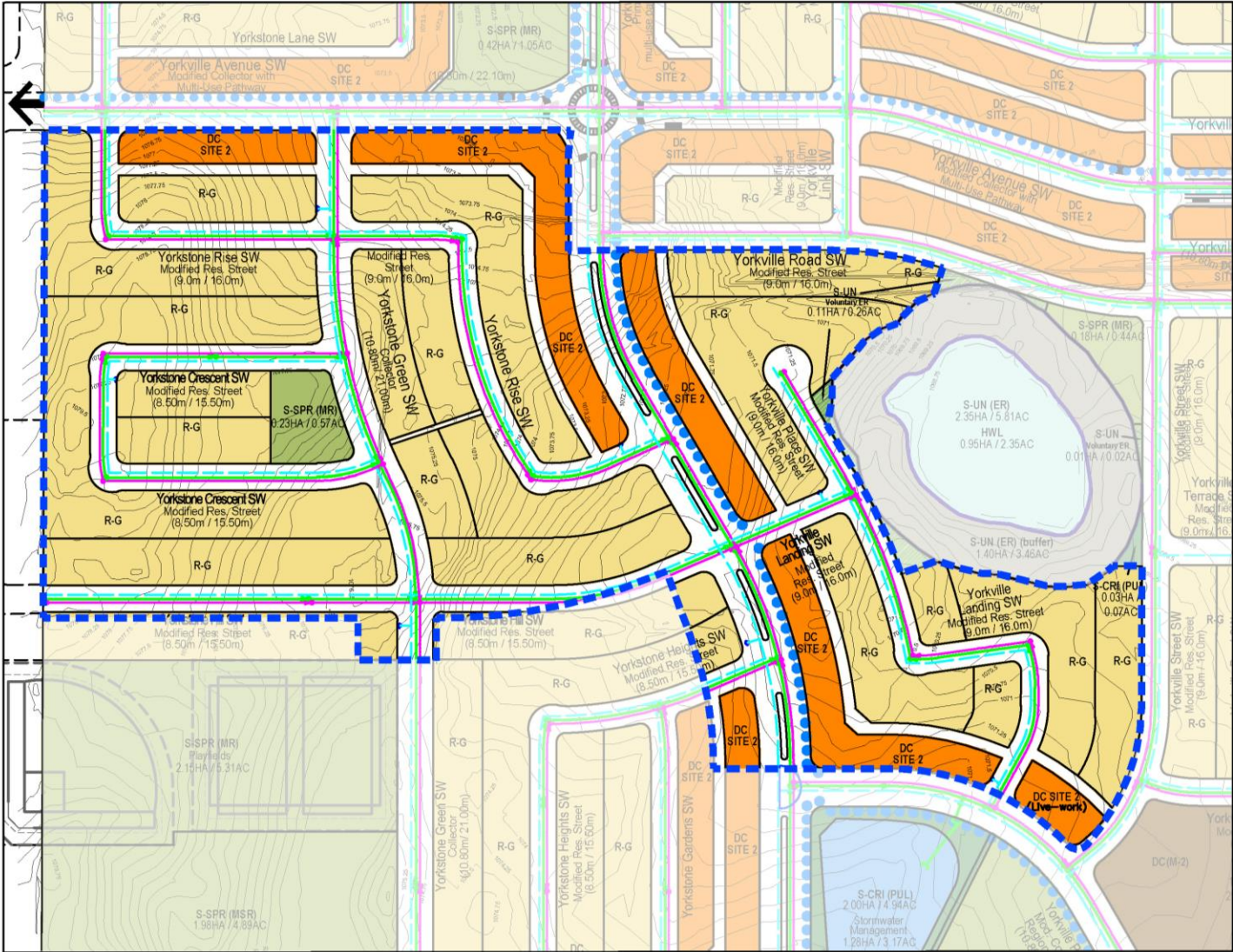
Sanitary Sewer/Manhole

Water Main/Hydrant

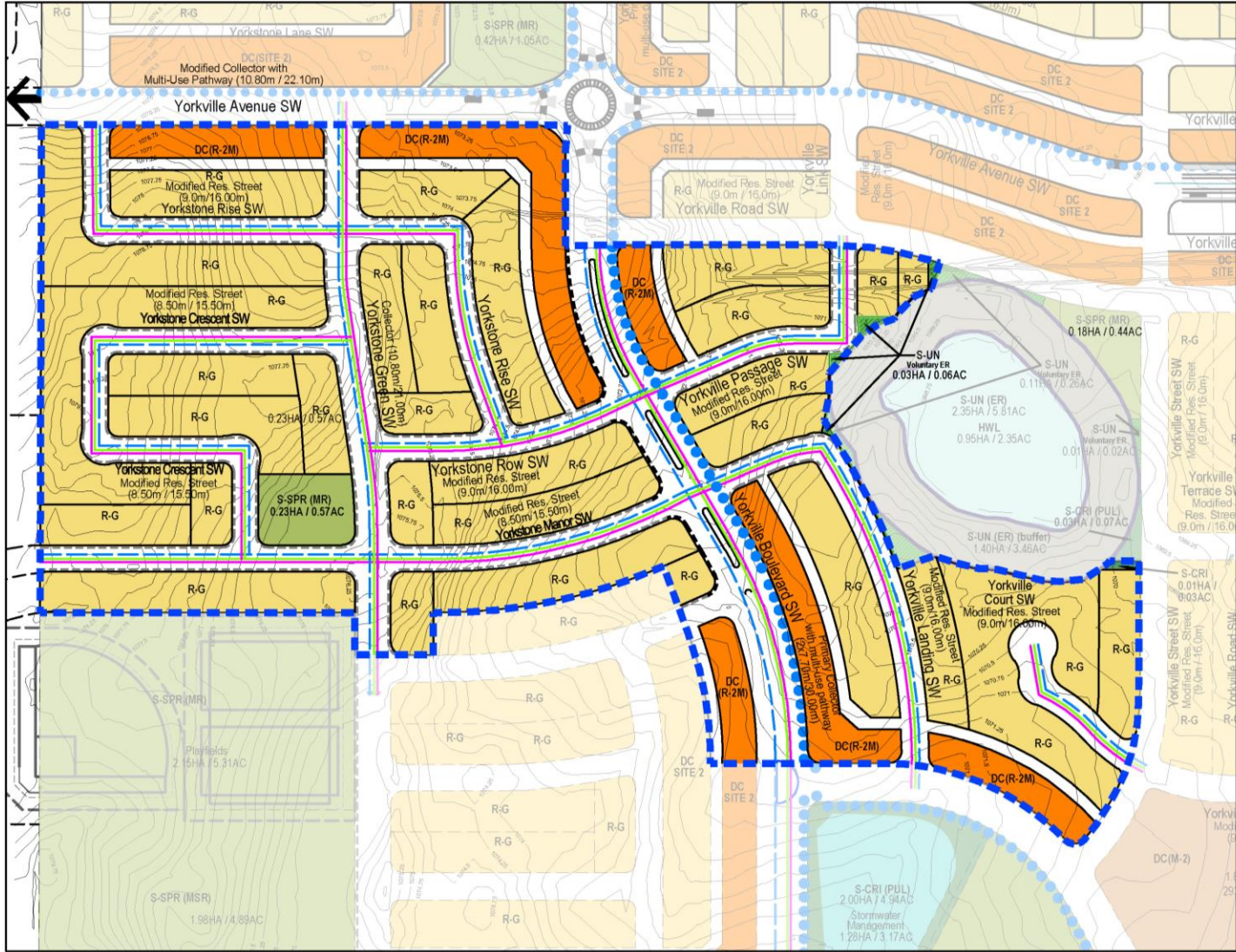
Notes:

All lanes are 7.0m wide unless otherwise noted.

APPROVED YORKVILLE OUTLINE PLAN LOC2014-0023



PROPOSED YORKVILLE OUTLINE PLAN - LOC2019-0129



YORKVILLE

Subdivision Data Sheet

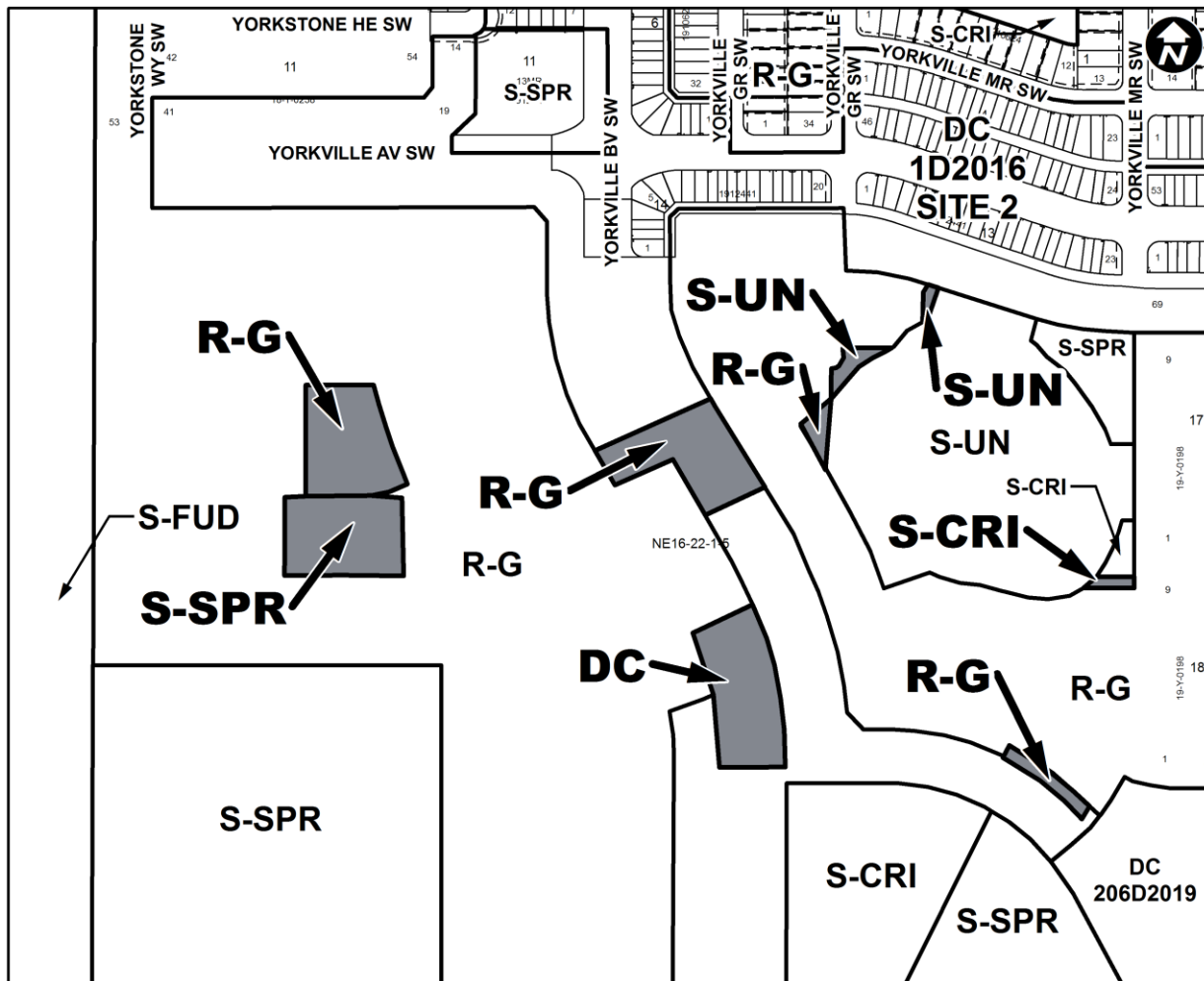
	HECTARES	ACRES
GROSS AREA OF PLAN	15.54	38.40
LESS: ENVIRONMENTAL RESERVE	0.03	0.07
LESS: LAND PURCHASE AREA		
NET DEVELOPABLE AREA	15.51	38.33

LAND USE (Residential)	HECTARES	ACRES	# OF LOTS	# OF UNITS (FOR MULTI RESIDENTIAL)
R-G	8.64	21.35	293	
DC (R-2M)	1.84	4.55	144	
Total Residential	10.48	25.9	437	

	HECTARES	ACRES	% OF NET AREA
ROADS (CREDIT)	4.80	11.86	30.9
PUBLIC UTILITY LOT	0.01	0.03	0.1

RESERVES	HECTARES	ACRES	% OF NET AREA
MR	0.23	0.57	1.5

Proposed Land Use District Map



Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0032

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

EXECUTIVE SUMMARY

This application was submitted on 2017 December 20 by Stantec Consulting on behalf of Willowhurst Market LTD and The City of Calgary. This application proposes a land use redesignation of approximately 8.05 hectares (19.88 acres) on three contiguous residential acreage parcels in the southwest community of Springbank Hill. The proposed land use redesignation and associated outline plan application accommodate the comprehensive development and subdivision where there was traditionally fragmented ownership, including:

- residential and commercial developments of up to 20 metres in height (5 to 6 storeys) where the existing land use districts limit this site to country residential development;
- the accommodation of residential and commercial uses and built forms envisioned within a Neighbourhood Activity Centre;
- approximately 1.32 hectare (3.26 acres) of medium density building forms comprising of apartment buildings (DC/M-2);
- approximately 0.76 hectares (1.88 acres) of Municipal Reserve (MR) in the form of neighbourhood parks and open spaces (S-SPR);
- the closure of existing road right-of-way (portion of 81 Street SW) that is to be consolidated with a proposed commercial parcel; and
- future dedication of LRT right-of-way for the extension of the Blue Line (S-CRI), west of 69 Street Station.

This application has been applied for with the support of a related outline plan application (CPC2020-0033) to provide the future subdivision layout for the site's development. Conditions have been incorporated into the outline plan to effectively address the site's development. The proposed land use amendment has been developed in accordance with the policies of the *Springbank Hill Area Structure Plan*.

This application is also being considered in concert with a neighbouring land use amendment and outline plan application in close proximity (to the southwest) within the Springbank Hill community (CPC2020-0030 and CPC2020-0031). This proposal accommodates a low density residential development comprised of 170 dwelling units comprised of 139 low-density residential parcels and one multi-residential development parcel.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0032

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

ADMINISTRATION RECOMMENDATION:

The Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed closure of 0.39 hectares \pm (0.99 acre \pm) of road (Plan 1912529, Area 'A'), adjacent to 8259 - 17 Avenue SW with conditions (Attachment 1); and
2. Give three readings to the proposed closure bylaw.
3. **ADOPT**, by bylaw the proposed redesignation of 8.44 hectares \pm (20.85 acres \pm) located at 7955, 8181 and 8259 – 17 Avenue SW and the closed road (Plan 3056AC, Blocks 14 to 16; Plan 2747HB, Block 31; Plan 1912529, Area 'A') from DC Direct Control District and Undesignated Road Right-of-Way to Commercial – Community 2 f1.0h20 (C-C2f1.0h20) District, Special Purpose – City and Regional Infrastructure (S-CRI) District, Special Purpose – School, Park and Community Reserve (S-SPR) District and DC Direct Control District to accommodate medium density residential development with guidelines (Attachment 2); and
4. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

Stantec Consulting, on behalf of Willowhurst Market LTD and the City of Calgary, submitted the subject application along with the associated outline plan (CPC2020-0033) on 2017 December 20 and have provided a summary of their proposal in the Applicant's Submission (Attachment 3). The application was submitted six months after the *Springbank Hill Area Structure Plan (ASP)* was approved by Council in June 2017.

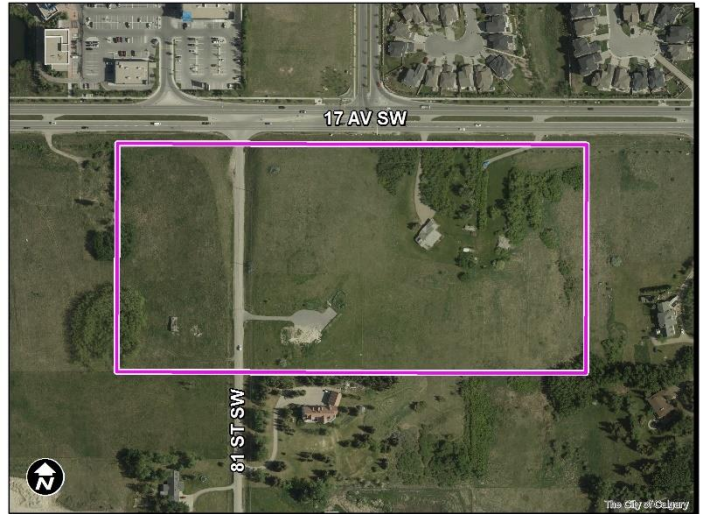
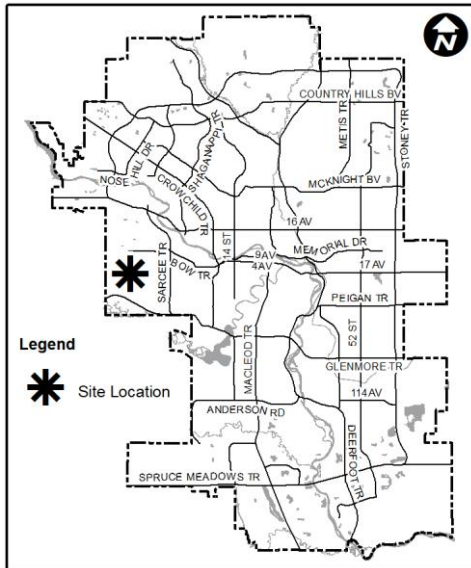
No development permit applications associated with the proposed land use amendments have been submitted.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

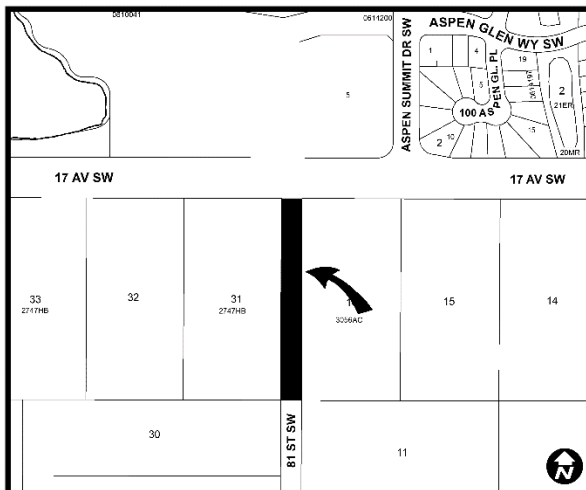
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Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple
addresses, LOC2017-0386

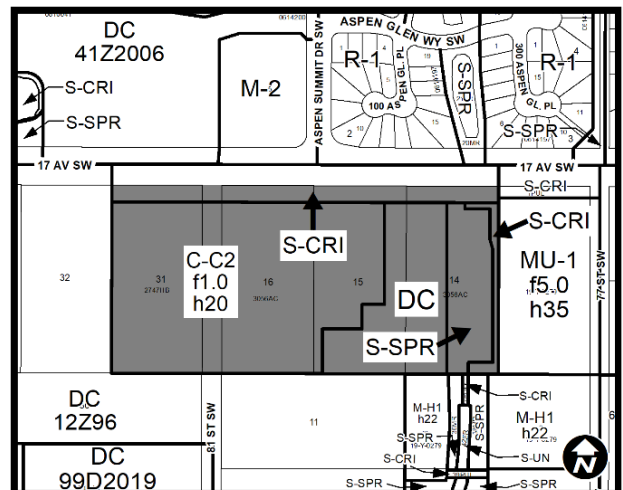
Location Maps



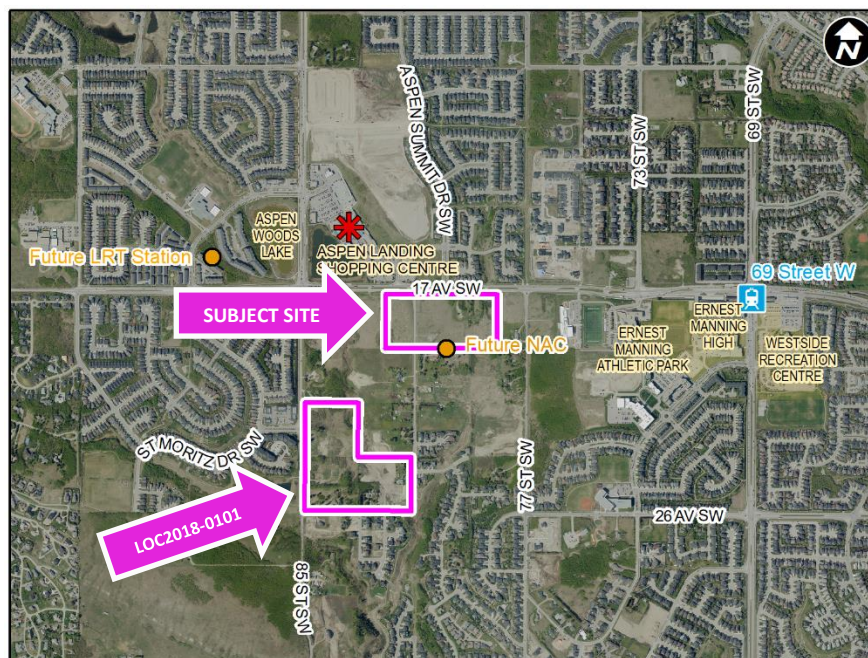
Road Closure Map



Proposed Land Use Map



Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386



Site Context

The application area is situated in the southwest quadrant of the city. This site is located adjacent and south of 17 Avenue SW and one parcel over to the east of 77 Street SW, spanning across one existing parcel east of 81 Street SW. The 69 Street LRT Station is located approximately 1.5 kilometres to the east of the site along 17 Avenue SW. Low density residential and commercial development exist across the subject site; north of 17 Avenue SW, in the community of Aspen Woods. All parcels forming the site are located within the *Springbank Hill Area Structure Plan (ASP)*.

The application area is currently comprised of three contiguous residential acreages, located at 7955, 8181 and 8259 - 17 Avenue SW. The site, totalling 8.05 hectares (19.88 acres), spans approximately 400 metres on its east-west axis and is roughly 200 metres running north-south. These contiguous parcels have existed as residential acreages since its development prior to the 1950s. These parcels have been owned by separate private individuals throughout its history until 2016 when they were purchased by the current landowner. The application area generally slope upwards to the east and slopes down to the south. Several piles of debris and building materials exist throughout the site where the original dwelling (two storey home) was demolished.

Figure 1 provides peak population statistics for the community of Springbank Hill. As identified in *Figure 1*, the community of Springbank hill reached its peak population in 2018 with 10,052 residents.

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

Figure 1: Community Peak Population

Springbank Hill	
Peak Population Year	2018
Peak Population	10,052
2019 Current Population	9,938
Difference in Population (Number)	-2.2%

Source: The City of Calgary 2019 Civic Census

Additional demographic and socio-economic information may be obtained online through the [Springbank Hill](#) community profile.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

This land use amendment application and associated outline plan application will accommodate medium density residential and commercial development including the dedication of Municipal Reserves (MR) and lands accommodating future regional public infrastructure (extension of LRT – Blue Line). The implementation of the ASP's vision is being undertaken within the fragmented ownership structure of Springbank Hill; bearing a wide array of visions amongst many different landowners. Thus the land use policies of this ASP provides one unifying vision guiding the collaboration of many different visions amongst all stakeholders. This proposal represents one of many applications that help implement the vision of this community's stakeholders; achieving Council's vision for a cohesively planned community.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Road Closure

A 0.39 hectare (0.99 acre) portion of the 81 Street SW right-of-way is proposed to be closed with this application (Attachment 4). The to-be-closed road right-of-way is proposed to be redesignated to Commercial – Community 2 f1.0h20 (C-C2f1.0h20) District and consolidated with adjoining parcels of the same district.

Land Use

The subject site is currently designated DC Direct Control District (Bylaw 12Z96) that accommodates country residential development. Its purpose is to maintain the character of the existing rural residential neighbourhood by establishing minimum size of parcels to be created through future subdivisions.

The subject site is proposed to be redesignated to various land uses that accommodate urban development typologies and building forms. Additionally, a portion of 81 Street SW (between 17 Avenue SW and 19 Avenue SW is to be closed and to form part of the commercial parcel on the western half of the site. A new modified primary collector (80 Street SW), is proposed to be

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

dedicated that provides an alignment with Aspen Summit Drive north of 17 Avenue SW, and a new north-south connection to 19 Avenue SW.

The proposed redesignation is supported by the policies of the *Springbank Hill ASP*. The proposed redesignation will accommodate development on the subject site that implements the ASP's vision to form the Neighbourhood Activity Centre (NAC) for the community of Springbank Hill.

This land use amendment application (Attachment 5) proposes to redesignate the subject lands from DC Direct Control District ([Bylaw 12Z96](#)) to the following districts:

- Commercial – Community 2 f1.0h20 (C-C2f1h20) District;
- DC Direct Control District (based on the M-2 District);
- Special Purpose – City and Regional Infrastructure (S-CRI) District; and
- Special Purpose – School, Park and Community Reserve (S-SPR) District.

Commercial – Community 2 f1.0h20 (C-C2f1h20) District

The western half of the subject site (approximately 3.98 hectares or 9.84 acres) is to be redesignated to the Commercial – Community 2 f1.0h20 (C-C2f1h20) District. The purpose of this district is to accommodate large commercial developments that are on the boundary of several communities. This area of the subject site is intended to provide for the most intense commercial uses and largest job concentration within the Springbank Hill Community. A maximum floor area ratio of 1.0 and building heights up to 20 metres form part of the parameters for buildings forms allowed in this district.

DC Direct Control District

A 1.32 hectare (3.26 acre) portion of the site located between the commercial (C-C2) and open space areas (S-SPR) is to be redesignated to a DC Direct Control District with a base of Multi-Residential – Medium Profile (M-2) District. The rules of the M-2 District apply in the proposed DC District, with an additional rule that allows for buildings up to 20 metres, four metres above the 16 metres maximum height allowed in the M-2 District. This rule is intended to accommodate slope-adaptive built forms.

Special Purpose – City and Regional Infrastructure (S-CRI) District

An approximate total of 0.62 hectares (1.50 acres) within the plan area is to be designated Special Purpose – City and Regional Infrastructure (S-CRI) District. These areas are intended to provide for infrastructure, utility facilities, and systems for public transportation. A 0.16 hectare (0.39 acre) portion that spans along the eastern edge of the application area is to accommodate a utility right-of-way that provides for regional stormwater connections; tying into utilities that would be established within the future construction of 19 Avenue SW. A 0.46 hectare (1.11 acre) portion that spans the northerly edge of the subject site along 17 Avenue SW is to be dedicated for the purpose of accommodating future extension of the Blue Line LRT right-of-way.

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

Special Purpose – School, Park and Community Reserve (S-SPR) District

A 0.76 hectare (1.88 acre) open space area forms 9.5 percent of the plan area, to be redesignated to the Special Purpose – School, Park and Community Reserve (S-SPR) District. This portion of the subject site is to be dedicated as Municipal Reserve (MR) at the subdivision stage. Upon completion, the open space slopes gently down towards 19 Avenue SW. At the centre of the space is a flatter programmable open space that is to accommodate a variety of activities and community events.

The balance of required 10 percent Municipal Reserve dedication (0.04 hectares or 0.11 acres) is proposed to be accounted for by a cash in lieu payment of the remaining area not being dedicated within the application area. The payment is to be collected by Administration at the subdivision stage and forms part of the Conditions of Approval within the outline plan.

Subdivision Design

The proposed subdivision design (Attachment 6) which comprises of approximately 8.05 hectares (19.88 acres), is formed by three distinct developable parcels (2 commercial and 1 residential parcel) framed by the larger grid-pattern road street network. These parcels are to be comprehensively designed at the development permit stage. At this stage, internal roadways, parking areas and access points are to be established; joining public roadways. Vehicular access to these parcels is strategically identified in the corresponding outline plan with the intent to minimize the number conflicts between pedestrian and vehicular movements. The largest of the three parcels is proposed on the western half of the application area; representing the largest commercial parcel.

The eastern half of the application area comprises of a smaller commercial parcel (roughly a quarter in size of its westerly counterpart) and a multi-residential parcel intended to accommodate a medium density (up to six-storeys) multi-residential development. Adjoining the multi-residential parcel along the eastern extent of the application area is a Municipal Reserve (MR) area to be dedicated to create a future community park.

Spanning the northerly and easterly bounds of the application area are lands to be dedicated to accommodate the future extension of the LRT (Blue Line). The extension of the Blue Line would span from the existing 69 Street SW to the future terminus of this LRT line, west of 85 Street SW.

Overall, this grid-based subdivision provides a framework to accommodate a mix of multi-residential, local commercial uses and community amenities befitting for a Neighbourhood Activity Centre (NAC) and supported by local and regional infrastructure.

Density

The corresponding outline plan will accommodate development achieving both the *Municipal Development Plan (MDP)* and *Springbank Hill ASP* minimum density and intensity targets (population and jobs). This will support future transit and community amenities within the greater community of Springbank Hill.

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

According to the applicant, this proposal is anticipated to accommodate 226 dwelling units; resulting in a residential density of 171 units per hectare (uph) based on the residential parcel area, and 28.07 uph based on full outline plan area. Furthermore, a total of 753 jobs is anticipated to be created between the two commercial parcels. These figures speak to an anticipated intensity of 166 people and jobs per hectare that spans across the outline plan area. Thus, the proposed outline plan meets the minimum intensities for Mixed-Use Commercial/Residential set out in the *Springbank Hill ASP*, outlined in Table 1 below.

Table 1: Minimum and Anticipated Intensities

Land Typology	Minimum Required Density per ASP (uph)	Anticipated Density	Minimum Required Intensity per ASP (population and jobs per hectare)	Anticipated Intensity (population and jobs per hectare)
Mixed-Use Commercial/Residential	100	171	125	166

Environmental

A Phase I Environmental Site Assessment (ESA) was submitted and was reviewed by Administration. No concerns were noted and further investigation deemed unnecessary.

A Biophysical Impact Assessment (BIA) was prepared by Stantec, providing an assessment of existing site conditions. Key findings of the BIA include:

- Much of the application area is modified grassland and successional shrubland vegetation communities;
- An ephemeral drainage (stream) is present within the east portion of the application area; and
- The hydrological functions of the ephemeral drainage will be maintained using a dedicated pipeline.

A Geotechnical Investigation was submitted that assessed general subsurface soil and groundwater conditions within the site. No significant concerns were identified by Administration.

Transportation

A new primary collector (80 Street SW) is proposed to bisect the subject site, providing vehicular access to the two flanking commercial parcels. Establishing 80 Street SW continues the alignment with Aspen Summit Drive SW (north of 17 Avenue SW) and provides all-turns access into the communities of Aspen Woods and Springbank Hill along their southern and northerly boundaries, respectively. A new liveable street (19 Avenue SW) that spans across the southerly extent of the subject site is also to be established at the subdivision stages. This liveable street is a new east-west multi-modal connection that serves the NAC and adjoining mixed-use and medium density areas of the Springbank Hill community.

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

Future transit connections (bus routes) are to be accommodated along 17 Avenue SW and 19 Avenue SW. Regional pathways are to be established along 19 Avenue SW, connecting into the open space network west of the application area.

A Transportation Impact Assessment (TIA) was submitted as part of the application and included known and anticipated future developments in the area. The TIA demonstrated the future development allowable under the proposed land uses functions within acceptable levels of service within the existing and expanded (future) network.

Utilities and Servicing

Water servicing will be provided through an existing connection to the water feeder main along 17 Avenue SW, and a new main along 19 Avenue SW, to be installed under the extension of 19 Avenue SW along the southern extent of the subject site. The proposed Strathcona Flow Control Station, located at the intersection of 17 Avenue SW and 85 Street SW, must be in place before any utilities are operational or any construction permissions are granted. The Strathcona Flow Control Station is City funded infrastructure and is scheduled to be completed by Q2 2020.

A Regional Sanitary Servicing Study was provided by Pasquini & Associates and Urban Systems that includes all areas subject to the *Springbank Hill ASP*. This study identified downstream constraints. There are two regional options available to remove these constraints. The first option requires a developer/applicant funded extension, connecting to existing services along 85 Street SW and 81 Street SW. The second option is for the City to front-end a pilot project to upgrade the existing downstream sanitary mains to increase their capacity to accommodate the full build-out of the Springbank Hill study area.

The application area is within the approved Springbank Hill Master Drainage Plan completed by Stantec in 2017. Stormwater from corresponding plan areas is to be directed through the adjoining ravine network. Ultimately, stormwater is to be managed in concert with the Springbank Hill Staged Master Drainage Plan.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners, the Springbank Hill Community Association (SHCA) and the application was advertised online.

Correspondence from one adjacent landowner (to the south) was received. Generally, the landowner expressed the lack of information that was initially provided by the applicant regarding the details concerning the new east-west connection of 19 Avenue SW, and potential obligations of the adjacent landowners. Since this time, the applicant has provided information addressing such questions.

The applicant engaged external stakeholders, holding a public open house on 2018 February 22. According to the applicant, approximately 52 people attended the two-hour open house (where 44 people signed-in) with 19 feedback forms filled out and submitted.

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

Following the various engagement activities being held, the applicant submitted an Engagement Overview on the proposed application (Attachment 7). The most noteworthy comments received are summarized below with the applicant's subsequent responses:

- More details on the scale and scope of the Neighbourhood Activity Centre (NAC) was desired.
Applicant's Response: The boundary of the NAC was revised to be contained entirely within the subject lands. A revised NAC concept was shared with the SHCA.
- The site in general should be designed to better comply with the 'liveable street' typology (19 Avenue SW) as defined by the ASP.
Applicant's Response: The outline plan has been redesigned to be compatible with what is envisioned for 'liveable streets'. Additional details are to be established at subsequent subdivision and/or development permit stages.
- The Community strongly advocated for larger open spaces that can be used for sporting events, community gatherings, etc.
Applicant's Response: An enhanced Open Space accommodating the desired activities has been provided along the easterly edge of the subject site.

The SHCA provided a letter (Attachment 8) that supports the proposed land use amendment and associated outline plan.

Following Calgary Planning Commission, notifications for Public Hearing of Council, in relation to this land use amendment, will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the *South Saskatchewan Regional Plan*, which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the *Interim Growth Plan*. The associated land use amendment and proposed outline plan build on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

Map1: Urban Structure of the MDP identifies the subject lands as Residential – Developing – Future Greenfield. The MDP provides guidance for the development of new communities through the policies of the ASP. The proposal meets the following MDP objectives (Section 3.6.2):

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

- providing a diversity of housing types;
- providing parks located throughout the community in walkable proximity to all residences; and
- creating an inter-connected, multi-modal street network.

This application also achieves the following goals for Neighbourhood Activity Centres (NAC), as found in section 3.3.4 of the MDP:

- a minimum intensity threshold of 100 jobs and population per gross developable hectare;
- contain a broad range of ground-oriented and low-density apartment housing and a mix of housing tenure and affordability to accommodate a diverse range of the population;
- include a mix of uses and retain retail services for the local community; and
- encourage the creation of a public gathering space

Springbank Hill Area Structure Plan (Statutory – 2017)

The *Springbank Hill Area Structure Plan (ASP)* provides direction with detailed policies for future development of this community. The subject site comprises of areas subject to mixed-use land use policies, intended to accommodate the Neighbourhood Activity Centre (NAC). The ASP envisions mixed-use areas to receive a high volume of pedestrian and vehicular traffic that supports a strong commercial base. Buildings are to contain ground floor retail and commercial uses with residential or other non-residential uses above to promote vitality and vibrancy in the areas. These areas are to be connected by way of streets and pathways within both semi-private and public realms that allow for short, direct and convenient mobility choices in this area. This proposal is in keeping with the objectives of the ASP.

According to the ASP, the NAC is intended to be a central destination point comprised of a range of uses and accessible by a variety of transportation modes. Landmark buildings and programmed gathering spaces are to establish a strong sense of place. The proposed land use mix and associated outline plan implements this vision and enables the built form to take shape in accordance with the associated policies that guide building and site design.

The proposal also facilitates the development of 19 Avenue SW as an enhanced pedestrian connection, referred to as a 'Liveable Street' in the ASP. The Liveable Street is intended to provide a unique destination for residents with wider sidewalks and pedestrian-scaled developments. This street is to provide for high-quality pedestrian realm with pedestrian-scaled lighting, furniture and supported by on-street parking.

Social, Environmental, Economic (External)

The proposal helps achieve a mix of commercial and residential development that establish the community's NAC. The NAC will accommodate the highest densities and intensities within the community of Springbank Hill anchored by the future extension of the LRT, west of the 69 Street Station.

Road Closure and Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed outline plan does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Risk Assessment

There are no known risks associated with this application.

REASON(S) FOR RECOMMENDATION(S):

The proposed land use redesignation accommodates future development of a Neighbourhood Activity Centre as envisioned by the *Springbank Hill Area Structure Plan* and as encouraged by the policies of the *Municipal Development Plan*. Further, the proposal helps achieve more efficient use of land and infrastructure by accommodating mixed use areas befitting of its proximity to the future extension of the LRT (Blue Line), west of 69 Street SW that will also adjoin an enhanced pedestrian realm (19 Avenue SW).

The proposal accommodates a mix of housing and commercial opportunities, found to be appropriate along arterial and collector streets. The creation of a liveable street (19 Avenue SW) between 77 Street SW and 85 Street SW provides for an enhanced pedestrian realm that serves to connect local residents to walkable amenities within the Neighbourhood Activity Centre.

ATTACHMENTS

1. Road Closure Conditions
2. Proposed DC Direct Control District
3. Applicant's Submission
4. Road Closure Plan
5. Proposed Land Use District Map
6. Proposed Outline Plan
7. Engagement Overview
8. Community Association Letter

Road Closure Conditions

1. All existing utilities within the road closure area shall be protected by easement or relocated at the developer's expense.
2. All existing access to the affected properties in the area shall be maintained or alternative access be constructed at the developer's expense.
3. The closed right-of-way may be removed from The City's ownership and sold to the adjacent properties.
4. The developer is responsible for all costs associated with the closure including all necessary physical construction, removal, rehabilitation, utility relocation, etc.
5. The closed rights-of-way (excluding the portion to be dedicated as LRT ROW and any necessary construction and maintenance easement areas) that will consolidate lands back into Lot 31, Plan 2747HB and Lot 16, Plan 3056AC should be removed from the City's ownership and sold to the Developer and consolidated into adjacent parcels. Prior to Tentative Plan submission, the developer shall enter into negotiations with Corporate Properties and Buildings for the purchase of the closed road right-of-way. Please contact the Coordinator, Real Estate and Development Services (RE&DS) at 403-268-2276 or 403-993-9157 to commence negotiations.
6. For the proposed Road Closure Plan, that portion of 81 Street SW that is proposed to be closed but which will subsequently form part of the future LRT ROW should not be included in the plan and remain part of road right-of-way.
7. The Road Closure cannot occur until the alternate roadways that connect to the Transportation Network (specifically 19 AV SW and 80 Street SW) are dedicated, constructed and open to the Public.

Proposed DC Direct Control District

Permitted Uses

- 4 The **permitted uses** of the Multi Residential – Medium Profile (M-2) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

Discretionary Uses

- 5 The **discretionary uses** of the Multi Residential – Medium Profile (M-2) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

Bylaw 1P2007 District Rules

- 6 Unless otherwise specified, the rules of the Multi Residential – Medium Profile (M-2) District of Bylaw 1P2007 apply in this Direct Control District.

Setback Area

- 7 The depth of all **setback areas** must be equal to the minimum **building setbacks** in Section 8 of this Direct Control District Bylaw.

Building Setbacks

- 8 The minimum **building setback** from a **property line** shared with another **parcel** is 3.0 metres.

Building Height

- 9 The maximum **building height** is 20.0 metres.

Relaxations

- 10 The **Development Authority** may relax the rules contained in Sections 8 and 9 of this Direct Control District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.

Applicant's Submission

January 7, 2020

On behalf of Ronmor Holdings Inc., ('Ronmor'), Stantec Consulting Ltd. ('Stantec') has submitted the following Outline Plan and Land Use Amendment application for the subject lands located within the community of Springbank Hill, west of 77 St SW, east of 85 St SW, and bordered by 17 Ave SW to the north. The subject lands are comprised of four (4) parcels consisting of ± 8.04 ha (± 19.87 ac) total and will be developed as a mixed-use neighbourhood reflecting policies within the Springbank Hill Area Structure Plan (ASP) as well as the surrounding residential area context.

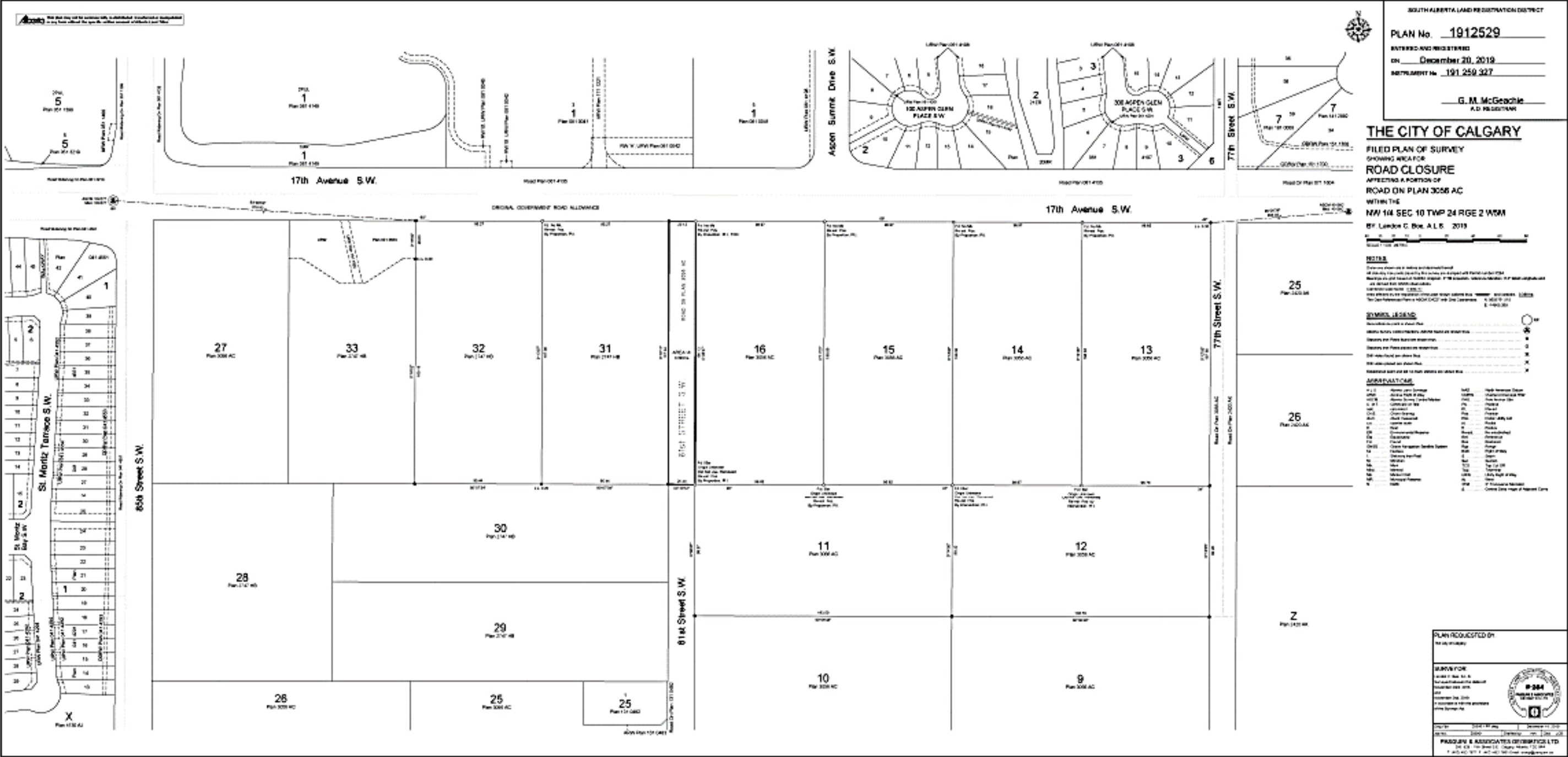
The proposed development is similar to Aspen Landing featuring an 'urban village' structure. An anchor grocery store is proposed with additional commercial buildings consisting of office, retail and service-oriented development. Three residential structures, approximately four storeys in height are envisioned with a range of ± 189 to ± 264 units planned for these lands. The overall transportation network is 'grid' based, consisting of multi-modal transportation options including regional pathways, green corridors, bikeways, sidewalks and various linkages throughout the site and the greater Springbank Hill Community.

Since the original application submission on December 8, 2017, the Outline Plan has evolved in response to Administration requests and outreach with the public. Of note, the revised NAC is contained entirely within the Outline Plan, the 19 Ave SW right-of-way has been redesigned to better comply with the 'livable street' typology as defined by the ASP, and the open space concept has been significantly reimagined to provide Springbank Hill with larger, programmable open space which can be used for sporting events, community gatherings, etc. This concept was redesigned through an extensive engineering process in order to respond to the aspirations of the Springbank Hill Community Association, providing residents with their desired form of open space.

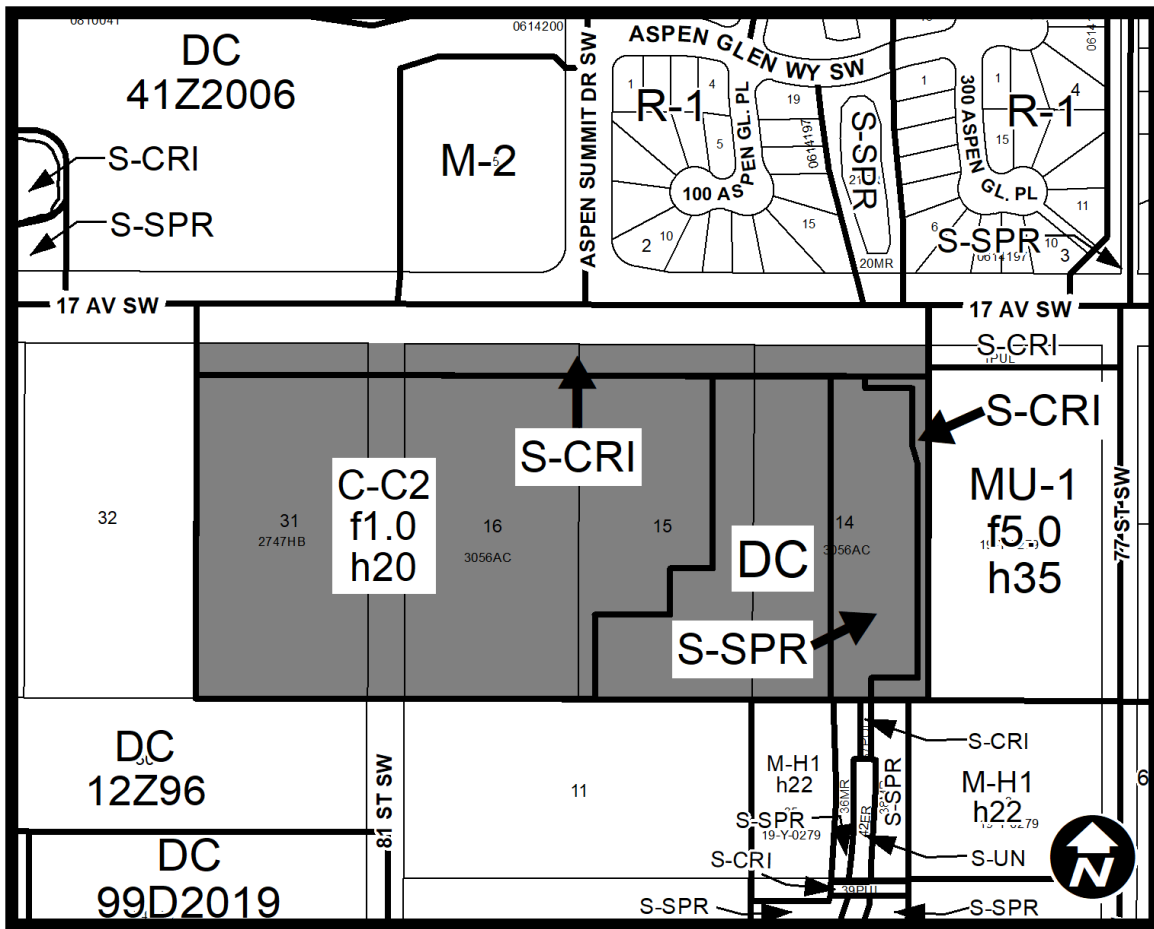
The subject lands are located within the Springbank Hill ASP 'Mixed-Use' designation which requires a minimum intensity of 125 people and jobs per gross developable hectare. The proposed development is aligned with this policy and anticipates development achieving 166 people and jobs per gross developable hectare. To achieve this intensity target as well as goals and policies of the ASP, the land use districts of C-C2 and DC (M-2) are proposed. These designations will provide the mix of commercial, service, and residential uses along 17 Ave SW, with an appropriate height, FAR, and density that respects the existing neighbourhood scale. The DC (M-2) district will allow for low-rise multi-family development which adapts to the significant slope of the site between 17 Ave SW and 19 Ave SW.

Ronmor and the project team have worked with Administration, consulted with adjacent landowners, and met with the Community Association and public throughout this process. This collaborative endeavour has put forth an Outline Plan and Land Use Redesignation application consistent with city-wide goals and policies and works towards applicable Complete Community objectives. This application will provide new commercial services and housing options for residents and visitors to the established community of Springbank Hill in west Calgary. Thank you for your time and consideration.

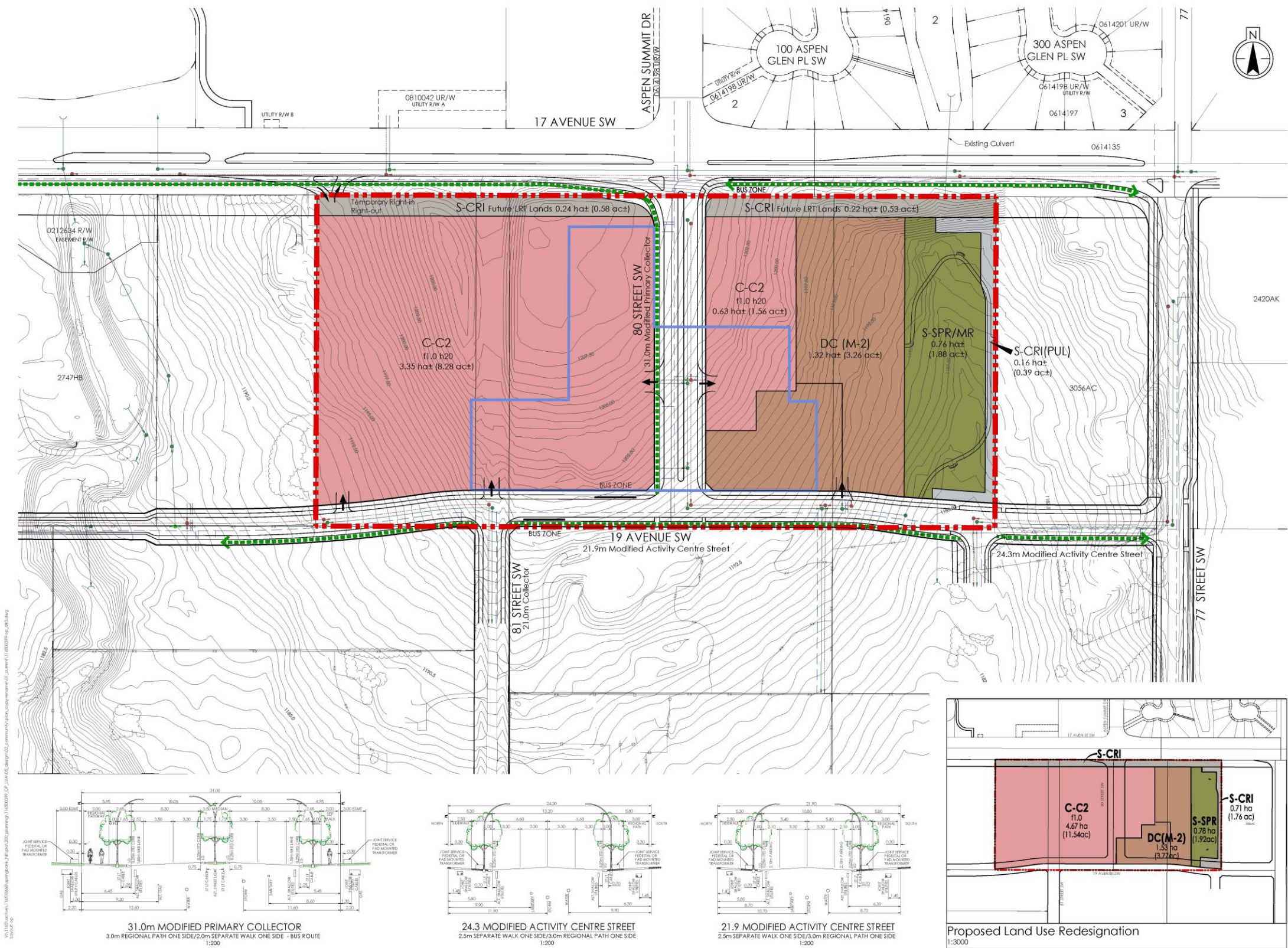
Road Closure Plan



Proposed Land Use District Map



Proposed Outline Plan



Ronmor DEVELOPERS INC.

Outline Plan Statistics

Total Area Outlined	8.05 ha± (19.88 ac±)
DC (M-2)	1.32 ha± (3.26 ac±)
Ant. No. of Units (171.2 upha)	226 units
C-C2	3.98 ha± (9.84 ac±)
Anticipated Density	27%
	8.05 ha± (19.88 ac±)
	*28.07 upha (11.37 upha/ac)

Areas of Public Dedication

Roads	1.37 ha± (3.40 ac±) (17.1%)
S-CRI	0.16 ha± (0.39 ac±)
S-CRI Future LRT R.O.W.	0.46 ha± (1.11 ac±)

Open Space Areas

S-SPR/MR	0.76 ha± (1.88 ac±) (9.5%)
*Reserving 1.1% of required MR (0.04 ha) 0.11 ha to be provided as cash-in-lieu	

Land Use Statistics

DC1296 to DC(M-2)	1.33 ha± (3.27 ac±)
DC1296 to C-C2	4.67 ha± (11.54 ac±)
DC1296 to S-CRI	0.71 ha± (1.76 ac±)
DC1296 to S-SPR	0.76 ha± (1.88 ac±)
Total Redesignation	7.87 ha± (19.39 ac±)

Location Plan
Portions of NW15-24-2-W5
Located within the Springbank H8 ASP

Legend

- Hydrant shown thus
- Sanitary Sewer shown thus
- Storm Sewer shown thus
- Water Lines shown thus
- Outline from Boundary
- Regional Pathway
- Local Pathway and Walkway
- Potential Access Points
- Neighbourhood Activity Centre (NAC)

Notes

- All walkways are intended to be 3.0m in width. Where there are requests for underground utilities or overhead drainage, the appropriate assessments will be provided.
- All lanes are 7m unless otherwise noted.
- All lane corners are to be 3m x 3m.
- All road corners are to be 4.5m x 4.5m.

Consultants

PASQUINI & ASSOCIATES
ENGINEERING - GEOMATICS

ISL Engineering and Land Services

Stantec

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Client/Project
RONMOR DEVELOPERS INC
RONMOR SPRINGBANK
Calgary, Alberta, Canada

Title
Outline Plan and Land Use Redesignation

Project Information - LOC2017-0386

NO	DATE	DESCRIPTION
1	20-12-2017	Submission
2	17-05-2018	OTRS Submission
3	26-04-2019	OTRS Submission
4	21-11-2019	OTRS Submission

Project No: 116500399 November 19, 2019

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Engagement Overview



LOC2017-0386 Engagement Overview

Reference: High-Level Overview of LOC2017-0386 Engagement Activities

Date	Event	Description
Nov-23-2016	Meeting with SBHCA	Ronmor met with the SBHCA to review original concept plans.
Feb-21-2017	Meeting at Stantec with SBHCA re: introduction of concept plan	Meeting over lunch to introduce the project team, client, and share draft concept. Advised an Open House would follow, and the CA would receive a copy of the OP application as part of City process.
Jan-26-2018	Meeting with SBHCA	Ronmor met with entire SBHCA Board of Directors to review original concept plans.
Feb-2-2018	Ronmor received letter from SBHCA's Planning Committee	The SBHCA Planning Committee letter provides a review of the proposed OP and accompanying report, and comments related to the application.
Feb-22-2018	Open House to Present LOC2017-0386	Public Open House held at Westside Kings Church from 6:00 to 8:00 PM with members of the Project Team and City of Calgary in attendance – feedback forms were collected for input from participants.
Mar-21-2018	Ronmor responded to SBHCA email dated February 21, 2018	Ronmor submits a detailed response to the SBHCA email received Feb 2, 2018 addressing each comment.
May-10-2018	Correspondence with SBHCA	Discussion with the SBHCA regarding the CA's desire and the community's need for programmable open space on the MR site.
Jun-7-2018	Ronmor sent letter to SBHCA discussing green space	This letter thanked the SBHCA for their advice on presenting the revised open space concept to the City.
Jun-14-2018	SBHCA formally supports Ronmor's MR Concept	SBHCA President Elia Cozzi email to Fazeel Elahi to express support for the Ronmor proposal to provide the community with programmable open space (cc John Hall, Tania Nelson, Jeff Davison, and Suzy Trotter).
Oct-12-2018	Met with four SBHCA members to review most current plans	Update with architects on most recent concept plans presented to SBHCA.
Nov-27-2018	Ronmor receives letter from SBHCA commenting on OP	SBHCA President Elia Cozzi email to Fazeel Elahi providing Planning Committee comments for LOC2017-0386 related to the NAC, MR, traffic, and Livable Street.

Community Association Letter

January 9, 2020 (*Sent via Email*)

Dear Joseph Yun,

I am writing on behalf of the Springbank Hill Community Association in regards to Application Notice LOC2017-0386 from Ronmor.

As a community association our role is to advocate for our members and all residents of our community, and to help build a safe, active and vibrant community. We wish to encourage leading edge developments that are aligned with the vision of the MDP, supported by an achievable infrastructure plan, and respectful of the existing fabric of our community.

It has been over a year since our last meeting with the applicant, Ronmor, and based on the very limited information presented in the outline plan, our comments below are primarily based on discussions held previously with the applicant.

Liveable Street

It is our understanding that the applicant was concerned with the ASP's High Street concept along the northerly E-W collector road, which appears will be called Springmount Ave or 19th Ave SW. Their concern was that they could only control their own side of the street and that developments on the other side of the street might not provide for a successful and integrated design. They were also concerned that the significant required changes in grade along the street are unrealistic to develop the necessary building-to-street profiles for a High Street concept.

To facilitate the plan, the applicant Ronmor has redesigned their own site to create an internal "urban village", with a designated E-W corridor through the commercial site which connects through to the residential segment on the east side. The site plan has wide pedestrian corridors throughout, a Galleria of restaurants and shops with large public outdoor patio areas on the second level (on both north and south sides of the building), and significant underground parking. There are also several open gathering spaces, including a large one with overhead canopy that could turn into an entertainment area.

NAC

Similar to the livable street as noted above, the applicant has created a NAC within their application. By utilizing main and 2nd level outdoor spaces, accessible by the public and not tied to commercial renters. Spaces for community residents to gather in ad-hoc, or programmable ways have been provided. Similar rationale was used to prioritize the creation of multimodal access, and create spaces that would not be interrupted by vehicle traffic.

MR

In reviewing the designated MR area, the applicant has taken a bold step, by integrating MR and storm water retention plans. By taking a designated MR space that was original presented as a pathway in a ravine, the applicant is proposing to place storm water pipes into the ravine, while creating a flat programmable space. This space would be welcomed by the community association in particular.

As initially noted to the applicant we are very supportive of the overall design, and willingness of the applicant to address the concerns of the community.

Traffic

Community Association Letter

In recent meetings with the City Traffic department, our understanding is that the department reviews traffic submissions from the individual applicants, and through the process has an overall view of the traffic within the 190 acre study area. A grade is given for traffic infrastructure from A (good) to F(failure). Our further understanding is that there are area's within the overall 190 acre study area, where the anticipated service levels exceed thresholds developed by city planners.

While our concern is not with this particular application, as it is within the ASP limits, as other applicants apply and receive additional density and incremental retail developments, our concern is that CPC and City Council might approve each individual plan such as this one without fully addressing the overall traffic issues.

In summary,

- The community association is supportive of this plan overall. We have appreciated the applicant's interaction with the community association in the past and will request another meeting with them prior to the City Council session in February to ensure that we fully understand their current application.
- The developer is adhering to many of the principles in the ASP, although they have been constrained because not all adjacent developers are working with them to collaborate on an integrated design
- As noted, the community is concerned with the capacity of the overall traffic infrastructure within the 190 acre study area, and surrounding developments, and we are requesting that CPC and City Council place a higher emphasis on ensuring traffic issues are fully addressed across the entire study area when approving any applications within this ASP.

Sincerely,

Elio Cozzi (On Behalf of the Planning Committee)
President, Springbank Hill Community Association
website: springbankhill.org

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2020 January 23

ISC: UNRESTRICTED
CPC2020-0033

Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386
(OP)

EXECUTIVE SUMMARY

This application was submitted on 2017 December 20 by Stantec Consulting on behalf of Willowhurst Market LTD and City of Calgary. The application proposes a framework for the future subdivision and development of 8.05 hectares \pm (19.88 acres \pm) on three contiguous parcels currently comprised of residential acreages in the southwest community of Springbank Hill. The future Neighbourhood Activity Centre for the Springbank Hill community is to be located wholly within the subject site. The application accommodates the comprehensive development and subdivision of the application area where there was traditionally fragmented ownership, including:

- commercial and residential developments of up to 20 metres in height (5 to 6 storeys) where the existing land use district ([Bylaw 12Z96](#)) limit this site to country residential development;
- the accommodation of residential and commercial uses and built forms envisioned for the future Neighbourhood Activity Centre that is walking distance to neighbourhood amenities (C-C2f2.0h20);
- an anticipated 226 dwelling units of multi-residential (apartment) building forms (DC);
- approximately 0.76 hectares (1.88 acres) of Municipal Reserve (MR) in the form of a neighbourhood park (S-SPR);
- the location of future collector roadways, utilities and services;
- future dedication of road right-of-way to accommodate the construction of 19 Avenue SW; and
- future dedication of LRT right-of-way anticipated to adjoin the site along 17 Avenue SW.

The proposed outline plan implements policies of the *Municipal Development Plan (MDP)* and the *Springbank Hill Area Structure Plan (ASP)* by providing a subdivision plan for the future development of the site, in collaboration with the road closure, and land use amendment (CPC2020-0032).

This application is also being considered in concert with a neighbouring land use amendment and outline plan application in close proximity (to the southwest) within the Springbank Hill community (CPC2020-0030 and CPC2020-0031). This proposal accommodates a low density residential development comprised of 170 dwelling units comprised of 139 low-density residential parcels and one multi-residential development parcel. The associated land use amendment application on today's agenda (CPC2020-0032) provides policy and technical rationale to support the proposed outline plan.

No development permits have been submitted for any of the development sites within the proposed outline plan area.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission **APPROVE** the proposed outline plan, located at 7955, 8181 and 8259 – 17 Avenue SW and the closed road (Plan 3056AC, Blocks 14 to 16; Plan 2747HB; Block 31; Plan 1912529, Area 'A') to subdivide the 8.05 hectares \pm (19.88 acres \pm), with conditions (Attachment 1).

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**Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386
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PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

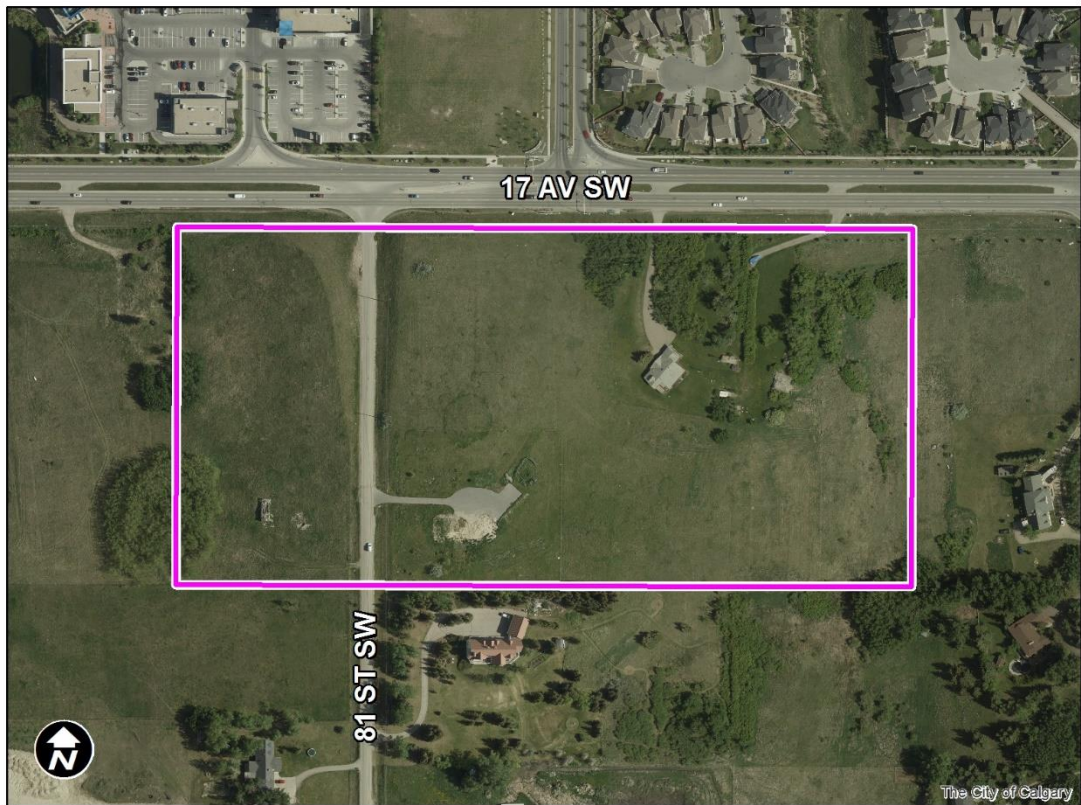
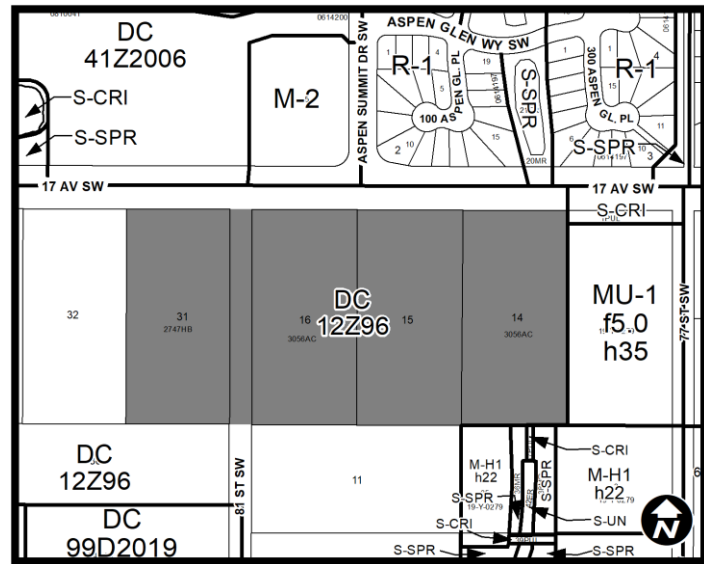
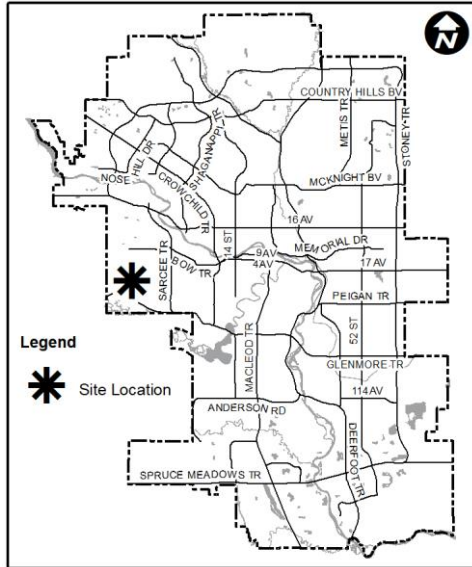
Stantec Consulting, on behalf of Willowhurst Market LTD and City of Calgary, submitted this application along with the associated land use amendment application (CPC2020-0032) on 2017 December 20 and have provided a summary of their proposal in the Applicant's Submission (Attachment 2). The application was submitted six months after the *Springbank Hill Area Structure Plan (ASP)* was approved by Council in June 2017.

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Location Maps



Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386
(OP)



Site Context

The application area is located adjacent and south of 17 Avenue SW; one parcel over to the east of 77 Street SW, spanning across one existing parcel east of 81 Street SW. The 69 Street LRT Station is located approximately 1.5 kilometres to the east of the site along 17 Avenue SW. Low density residential and commercial development exist across from the subject site; north of 17 Avenue SW. All parcels forming the site are located within the *Springbank Hill Area Structure Plan (ASP)*.

The application area is currently comprised of three contiguous residential acreages, located at 7955, 8181 and 8259 - 17 Avenue SW and undesignated road right-of-way (portion of 81 Street SW, proposed to be closed). The site, totalling 8.05 hectares (19.88 acres) spans approximately 400 metres east-west and 200 metres north-south. The application area generally slope upwards to the east and rolls down towards the south. Several piles of debris and building materials exist throughout the site where the original dwelling (two storey home) was demolished.

Figure 1 provides peak population statistics for the community of Springbank Hill. As identified in *Figure 1*, the community of Springbank hill reached its peak population in 2018 with 10,052 residents.

Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386 (OP)

Figure 1: Community Peak Population

Springbank Hill	
Peak Population Year	2018
Peak Population	10,052
2019 Current Population	9,938
Difference in Population (Number)	-2.2%

Source: The City of Calgary 2019 Civic Census

Additional demographic and socio-economic information may be obtained online through the [Springbank Hill](#) community profile.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

The proposed outline plan (Attachment 3) along with the associated land use amendment application will accommodate neighbourhood-scale commercial and medium density residential developments; including the dedication of a park. The following analysis considers the appropriateness of the proposed community design, range of uses and intensities in the context of relevant policy, sound planning principles and local citizen interests. The implementation of the ASP's vision is being undertaken within the fragmented ownership structure of Springbank Hill; bearing a wide array of visions amongst many different landowners. Thus the land use policies of this ASP provides one unifying vision guiding the collaboration of many different visions amongst all stakeholders. This proposal represents one of many applications that help implement the vision of this community's stakeholders; achieving Council's vision for a cohesively planned community.

Planning Considerations

As part of the review of this application, several key factors were consideration by Administration, including the alignment with relevant policies and the appropriateness of the proposed land use districts within a future Neighbourhood Activity Centre (NAC) that adjoins the future extension of the LRT (Blue Line) along 17 Avenue SW. Administration's consideration of the proposed outline plan runs in concert with a series of planned upgrades in local infrastructure (new regional stormwater pond, new water and sanitary connections) that are to be implemented at the subdivision stages of development. The following sections highlight the scope of technical planning analysis conducted by Administration that support the proposed outline plan.

Subdivision Design

Overall, the proposed outline plan (Attachment 3) provides for a logical concentration of mixed use development areas along an arterial street (17 Avenue SW) and a street envisioned by the *Springbank Hill* ASP to be a 'liveable street' (19 Avenue SW). The outline plan area is proposed to be bisected by a collector street – 80 Street SW (Modified Primary Collector). Together these streets establish the framework for the NAC accommodating community-scaled commercial and non-residential uses. The design of the NAC is based on a larger existing grid network of arterial streets, with privately maintained internal road networks within each individual site.

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There are two commercial (community) and one multi-residential land use areas within the proposed outline plan. The largest development parcel is proposed on the western half of the site and is to accommodate community-scaled commercial development. A portion of 81 Street SW between 17 Avenue SW and the proposed 19 Avenue SW connection is to be closed and consolidated with adjoin parcels to form a 3.35 hectare (8.28 acres) commercial development. The second (and smaller) commercial parcel is to be framed by 80 Street SW (upon completion at the subdivision stage) and is 0.63 hectares (1.56 acres). This parcel is anticipated to provide for commercial uses and building forms that addresses its adjacency to a multi-residential parcel (to the east).

A 1.32 hectare (3.26 acres) residential parcel is proposed and sites between the smaller commercial parcel to the west and park (future MR dedication) to the east. According to the applicant, a 226-unit mid-rise building (with a height up to 20 metres; roughly 6 storeys) is anticipated at the development permit stage (Attachment 4). This site is to be comprehensively designed to address public-private and semi-privates realms that sit between commercial building forms of similar scale and a public open space (to be dedicated as MR).

Open Space (Municipal Reserve)

Municipal Reserve (MR) forms 9.5 percent of the outline plan area. The balance of the required dedication of 0.5 percent (0.04 hectares or 0.11 acres) is to be accounted for by a cash in-lieu payment collected by Administration at the subdivision stage. The proposed MR design incorporates a flatter programmable open space in the centre that will accommodate a variety of activities and community events. Informal paths wrap around this open space along the periphery and are intended to provide logical connections to adjoining multi-residential developments. A number of treed groves furnished with seating areas connect into these paths. A Regional Pathway is provided along the west side of 80 Street SW and the south side of 19 Avenue SW as per the Springbank Hill ASP and will link to future pathways.

A Public Utility Lot (PUL) proposed to be designated as a Special Purpose – City and Regional Infrastructure (S-CRI) District comprises 0.16 hectares (0.39 acres) along the east edge of the MR that is separate from the stormwater connection. This connection will collect water from north of 17 Avenue SW at the outlet of an existing culvert and discharge this flow south of the application area into a culvert flowing into a re-established stream to the south; approved as part of previously approved LOC2018-0072. At ground level, the MR and PUL will blend seamlessly into one comprehensive open space.

Land Use

The application area is currently designated DC Direct Control District (Bylaw 12Z96) that accommodates country residential development.

The application area is proposed to be redesignated to various land uses (Attachment 5) that accommodate urban development typologies and built forms.

The associated land use amendment application proposes to redesignate the subject lands from DC Direct Control District (Bylaw 12Z96) to the following district:

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- Commercial – Community 2 (C-C2f1h20) District;
- Direct Control (DC) District (based on the M-2 District);
- Special Purpose – City and Regional Infrastructure (S-CRI) District; and
- Special Purpose – School, Park and Community Reserve (S-SPR) District.

Density

The proposed outline plan will accommodate development achieving both the *Municipal Development Plan (MDP)* and *Springbank Hill ASP* minimum density and intensity targets (population and jobs). This will support future transit and community amenities within the greater community of Springbank Hill.

Overall, this proposal is anticipated to accommodate 226 dwelling units (Attachment 4); resulting in a residential density of 171 units per hectare (uph) based on the residential parcel area, and 28.07 uph based on full outline plan area. Furthermore, a total of 753 jobs is anticipated to be created between the two commercial parcels. These figures speak to an anticipated intensity of 166 people and jobs per hectare that spans across the outline plan area. Thus, the proposed outline plan meets the minimum intensities for Mixed-Use Commercial/Residential set out in the *Springbank Hill ASP*, outlined in Table 1 below.

Table 1: Minimum and Anticipated Intensities

Land Typology	Minimum Required Density per ASP (uph)	Anticipated Density	Minimum Required Intensity per ASP (population and jobs per hectare)	Anticipated Intensity (population and jobs per hectare)
Mixed-Use Commercial/Residential	100	171	125	166

Environmental

A Phase I Environmental Site Assessment (ESA) was submitted and was reviewed by Administration. No concerns were noted and further investigation deemed unnecessary. A Biophysical Impact Assessment (BIA) was prepared by Stantec, providing an assessment of existing site conditions. Key findings of the BIA include:

- Much of the application area is modified grassland and successional shrubland vegetation communities;
- An ephemeral drainage (stream) is present within the east portion of the application area; and
- The hydrological functions of the ephemeral drainage will be maintained using a dedicated pipeline.

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A Geotechnical Investigation was submitted that assessed general subsurface soil and groundwater conditions within the site. No significant concerns were identified by Administration. A Deep Fills Reports will be required to be approved at either the subdivision or development permit stages.

Transportation

A new primary collector (80 Street SW) is proposed to bisect the subject site, providing vehicular access to the two flanking commercial parcels. Establishing 80 Street SW continues the alignment with Aspen Summit Drive SW (north of 17 Avenue SW) and provides all-turns access into the communities of Aspen Woods and Springbank Hill along their southern and northerly boundaries, respectively. A new liveable street (19 Avenue SW) that spans across the southerly extent of the application area to be established at the subdivision stages. This liveable street is a new east-west multi-modal connection that serves the NAC and adjoining mixed-use and medium density areas of the Springbank Hill community. This liveable street will connect 85 Street SW to 77 Street SW.

Future transit connections (bus routes) are to be accommodated along 17 Avenue SW and 19 Avenue SW. Regional pathways are to be established along 19 Avenue SW, connecting into the open space network west of the subject site.

A Transportation Impact Assessment (TIA) was submitted as part of the application and included known and anticipated future developments in the area. The TIA demonstrated the proposed development functions within acceptable levels of service within the existing and expanded (future) network.

Utilities and Servicing

Water servicing will be provided through an existing connection to the water feeder main along 17 Avenue SW, and a new main along 19 Avenue SW, to be installed under the extension of 19 Avenue SW along the southern extent of the subject site. The proposed Strathcona Flow Control Station, located at the intersection of 17 Avenue SW and 85 Street SW, must be in place before any utilities are operational or any construction permissions are granted. The Strathcona Flow Control Station is City funded infrastructure and is scheduled to be completed by Q2 2020.

A Regional Sanitary Servicing Study was provided by Pasquini & Associates and Urban Systems that includes all areas subject to the *Springbank Hill ASP*. This study identified downstream constraints. There are two regional options available to remove these constraints. The first option requires a developer/applicant funded extension, connecting to existing services along 85 Street SW and 81 Street SW. The second option is for the City to front-end a pilot project to upgrade the existing downstream sanitary mains to increase their capacity to accommodate the full build-out of the Springbank Hill study area. Some parcels may be allowed to proceed without upgrades, but will be required to provide securities, proportional to the parcel's associated flow rate, and developable area.

The subject site is within the approved Springbank Hill Master Drainage Plan (MDP) completed by Stantec in 2017. Stormwater from corresponding plan areas is to be directed through the adjoining ravine network. Ultimately, stormwater is to be managed in concert with the Springbank Hill Staged Master Drainage Plan.

Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2017-0386 (OP)

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners, the Springbank Hill Community Association (SHCA) and the application was advertised online.

Correspondence from an adjacent landowner (to the south) was received. Generally, the landowner expressed concern with the lack of information that was initially provided by the applicant regarding the details concerning the new east-west connection of 19 Avenue SW, and potential obligations of the adjoining landowner. Furthermore, concerns of ensuring access to the adjoining landowners and details regarding the future NAC to be established within subject site, were raised. Since this time, the applicant has provided information regarding the listed questions to the adjoining landowner.

The applicant engaged external stakeholders, holding a public open house on 2018 February 22. According to the applicant, approximately 52 people attended the two-hour open house (where 44 people signed-in) with 19 feedback forms filled out and submitted.

Following the various engagement activities being held, the applicant submitted an Engagement Summary on the proposed application (Attachment 6). The most noteworthy comments received are summarized below with the applicant's subsequent responses:

- More details on the scale and scope of the Neighbourhood Activity Centre (NAC) was desired.
Applicant's Response: The boundary of the NAC was revised to be contained entirely within the subject lands. A revised NAC concept was shared with the SHCA.
- The site in general should be designed to better comply with the 'liveable street' typology (19 Avenue SW) as defined by the ASP.
Applicant's Response: The outline plan has been redesigned to be compatible with what is envisioned for 'liveable streets'. Additional details are to be established at subsequent subdivision and/or development permit stages.
- The Community strongly advocated for larger open spaces that can be used for sporting events, community gatherings, etc.
Applicant's Response: An enhanced Open Space that accommodates the desired activities has been provided along the easterly edge of the subject site.

The SHCA provided a letter (Attachment 7) that supports the proposed land use amendment and associated outline plan.

Following Calgary Planning Commission, notifications for Public Hearing of Council, in relation to this land use amendment, will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

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Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#), which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The associated land use amendment and proposed outline plan build on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

[Map1: Urban Structure](#) of the [Municipal Development Plan](#) (MDP) identifies the subject lands as Residential – Developing – Future Greenfield. The MDP provides guidance for the development of new communities through the policies of the ASP. The proposal meets the following MDP objectives (Section 3.6.2):

- providing a diversity of housing types;
- providing parks located throughout the community, walkable proximity to all residences; and
- creating an inter-connected, multi-modal street network.

This application also achieves the following goals for Neighbourhood Activity Centres (NAC), as found in Section 3.3.4 of the MDP:

- a minimum intensity threshold of 100 jobs and population per gross developable hectare;
- contain a broad range of ground-oriented and low-density apartment housing and a mix of housing tenure and affordability to accommodate a diverse range of the population;
- Include a mix of uses and retain retail services for the local community;
- Encourage the creation of a public gathering space

Springbank Hill Area Structure Plan (Statutory – 2017)

The [Springbank Hill Area Structure Plan](#) (ASP) provides direction with detailed policies for future development of this community. The application area is subject to mixed-use land use policies, intended to accommodate the Neighbourhood Activity Centre (NAC). The ASP envisions mixed-use areas to receive a high volume of pedestrian and vehicular traffic that supports a strong commercial base. Buildings are to contain ground floor retail and commercial uses with residential or other non-residential uses above to promote vitality and vibrancy in the areas. These areas are to be connected by way of streets and pathways within both semi-private and public realms that allow for short, direct and convenient mobility choices in this area. This proposal is in keeping with the objectives of the ASP.

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According to the ASP, the NAC is intended to be a central destination point comprised of a range of uses and accessible by a variety of transportation modes. Landmark buildings and programmed gathering spaces are to establish a strong sense of place. The proposed outline plan implements this vision and enables the built form to take shape in accordance with the associated policies that guide building and site design.

The proposed outline plan also facilitates the development of 19 Avenue SW as an enhanced pedestrian connection, referred to as a 'Liveable Street' in the ASP. The Liveable Street is intended to provide a unique destination for residents with wider sidewalks and pedestrian-scaled developments. These streets are to provide for high-quality pedestrian realm with pedestrian-scaled lighting, furniture and supported by on-street parking.

Social, Environmental, Economic (External)

The proposal helps achieve a mix of commercial and residential development that establish the community's NAC. The NAC will accommodate the highest densities and intensities within the community of Springbank Hill anchored by the future extension of the LRT, west of 69 Street SW station.

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed outline plan does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Risk Assessment

There are no known risks associated with this application.

REASON(S) FOR RECOMMENDATION(S):

The proposed outline plan serves to implement the objectives of the *Municipal Development Plan* which supports the efficient use of land and infrastructure by providing an outline for the future subdivision of new multi-residential districts and park spaces recommended in the associated land use application. This proposal is in keeping with applicable policies of the *Municipal Development Plan* and the *Springbank Hill Area Structure Plan*.

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ATTACHMENT(S)

1. Conditions of Approval
2. Applicant's Submission
3. Proposed Outline Plan
4. Subdivision Data Sheet
5. Proposed Land Use District Map
6. Engagement Overview
7. Community Association Letter

Conditions of Approval

The following Conditions of Approval shall apply:

Planning:

1. The existing buildings shall be removed prior to subdivision endorsement.
2. The Developer shall submit a density phasing plan with each Tentative Plan submission, showing the proposed phasing within the Outline Plan area and the projected number of dwelling units within each phase to demonstrate compliance with the minimum required densities of the Area Structure Plan.
3. At time of first tentative plan submission, an appraisal report performed by an independent appraiser, contracted by The City of Calgary, shall be prepared to determine the value of the payment in lieu of reserve. Refer to the Subdivision Fee Schedule for the Land Appraisal Surcharge fee.
4. Reserve dedication in the amount of 10% of the plan area will be required. This will be provided by a combination of Municipal Reserve dedication and a cash payment in lieu of reserves.
5. Decorative street lighting (known as the McKenzie Towne Style or the 5 metre Traditional 17 Ave Style) shall be installed at the developer's expense.
6. The closed rights-of-way (excluding the portion to be dedicated as LRT ROW and any necessary construction and maintenance easement areas, that will consolidate lands back into Lot 31, Plan 2747HB and Lot 16, Plan 3056AC should be removed from the City's ownership and sold to the Developer and consolidated into adjacent parcels. Prior to Tentative Plan submission, the developer shall enter into negotiations with Corporate Properties and Buildings for the purchase of the closed road right-of-way. Please contact the Coordinator, Real Estate and Development Services (RE&DS) at 403-268-2276 or 403-993-9157 to commence negotiations.
7. Proposed street names, other than numbered streets, shall be approved by City Council prior to approval of the first subdivision application.
8. Relocation of utilities shall be at the developer's expense and to the appropriate standards.

Development Engineering:

9. The parcels shall be developed in accordance with the development restriction recommendations outlined in the following report(s):
 - The Geotechnical Evaluation for Willowhurst Commercial Report, prepared by McIntosh Lalani Engineering Ltd (File No. ML7645), dated May 2016.
 - Springbank Hill Commercial: Site Concept & Slope Adaptive Design Report, prepared by Zeidler.
 - Slope Stability Report, prepared by McIntosh Lalani Engineering Ltd. (File No. ML 7645), dated March 21, 2018.
 - Deep Fill Report, prepared by McIntosh Lalani Engineering Ltd. (File No. ML 7645), dated May 16, 2019.

Conditions of Approval

- Post Development Slope Stability Analysis, prepared by McIntosh Lalani Engineering Ltd. (File ML 7645), dated June 5, 2019 (To be revised at tentative plan stage to incorporate revised road alignment)
10. Prior to approval of the applicable tentative plan/development permit, submit a revised electronic version of the Post Development Slope Stability Analysis to the Development Engineering Generalist. The report must be prepared by a qualified Geotechnical Engineer under seal and permit to practice stamp to the satisfaction of the Geotechnical Engineer, Roads. The revision is required as the alignment of 19 Avenue SW has changed and the associated grading/retaining wall/backsloping requirements have been removed or changed since the report was completed.

*Note – The Post Development Slope Stability Analysis, prepared by McIntosh Lalani Engineering Ltd., (File ML 7645), dated June 5, 2019 was reviewed by The City and the following is required to be addressed **prior to approval of the tentative plan**:

“The slopes and cross-sections at or near the MR/Open Space to be impacted by the MR/Open Space Fills (refer to the Deep Fills Report prepared for Springbank Village dated May 16, 2019) need to be reassessed by incorporating respective fill materials and associated thicknesses and strength parameters as well as the anticipated worst case piezometric and loading conditions. The retaining wall design should be performed and reviewed by qualified professional engineers.”

11. **Prior to approval of the first tentative plan/development permit**, the Staged Master Drainage Plan (and MDP amendment if applicable) must be submitted and approved to the satisfaction of Water Resources. Cost-sharing/payments/endeavours to assist will be updated at the tentative plan stage when servicing for this site is resolved.
12. The plans show stormwater discharging stormwater discharging onto Truman property south of future 19 Avenue SW. **Prior to affected tentative plan/development permit** approval, the stormwater infrastructure (including the portion on Truman property) must be protected with either a Public Utility Lot (PUL designation or a Utility right of way (URW) and Overland Drainage easement.

NOTE – There is an S-CRI parcel provided to accommodate storm pipe within the MR, at tentative plan or development permit stage, please provide more information including the size of pipe/invert of pipe and width of parcel for review. If the PUL accommodates multiple pipes, please provide separation details.

13. Register on all affected titles, a utility easement for the proposed offsite and onsite public underground utilities (or the ultimate road right of way must be dedicated if applicable) **concurrent with the registration of the final instrument**. A draft of the easement area and agreement shall be submitted to the satisfaction of the Manager, Infrastructure Planning, **prior to the endorsement of the final instrument**.
14. Servicing arrangements shall be to the satisfaction of the Manager Infrastructure Planning, Water Resources.

Conditions of Approval

15. **Prior to endorsement of any Tentative Plan/prior to release of a Development Permit**, execute a Development Agreement. Contact the Subdivision Development Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email urban@calgary.ca.
16. **Prior to release of a Development Permit or Prior to Endorsement of the final instrument**, make satisfactory cost sharing arrangements with Springbank Lands Company Ltd. for a portion of the cost, on a per hectare contributing basis, of the existing 85 Street SW Private Storm and Sanitary Trunk that was paid for and/or constructed by Springbank Lands Company Ltd. under Aspen Woods, Phase 1 DA2004-0025.
17. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument**, as per the Springbank Hill Landowner Report the Developer will be required to provide security for the future sanitary upgrades through the south Springbank area regarded as Option 'B'. This will be dependent on whether Option 'A' is a viable route with a sanitary sewer line running west to 85 Street SW through the Springbank area and will also include cost sharing arrangements for the future storm pond and potentially the land to accommodate the pond and storm line to 85 Street SW.
18. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument**, the Developer is to make cost sharing with Springbank Land Company Ltd. for the shallow utilities in 17 Avenue SW.
19. Off-site levies, charges and fees are applicable. Contact the Subdivision Development Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email urban@calgary.ca.
20. **Prior to release of a Development Permit or Prior to Endorsement of the final instrument**, make satisfactory cost sharing arrangements with Springbank Land Company Ltd. for part cost of the existing surface, sanitary, storm and watermain installed/constructed 17 Avenue SW that was paid for and/or constructed by Springbank Land Company Ltd. under Aspen Woods, Phase 01 (2004-025).
21. **Prior to release of a Development Permit or Prior to Endorsement of the final instrument**, make satisfactory cost sharing arrangements with Springbank Land Company Ltd. for part cost of the existing storm water wet pond (89WPA) that was installed/constructed in Lot 2PUL in Block 1, that was paid for and/or constructed by Springbank Land Company Ltd. under Aspen Woods, Phase 01 (2004-025).
22. Make repayment arrangements with the City of Calgary for part cost of the surface improvements in 17 Avenue SW adjacent to the site, which was installed by Springbank Land Company Ltd. through their Aspen Woods, Phase 01 (2004-025) subdivision (and financed by Calgary Roads through Program 204).
23. The Developer shall make payment to the City for their share of the East Springbank Servicing Study.

Conditions of Approval

24. The developer, at its expense, but subject to normal oversize, endeavours to assist and boundary cost recoveries shall be required to enter into an agreement to:
- a) Install the offsite sanitary sewers, storm sewers and water mains and construct the offsite temporary and permanent roads required to service the plan area. The developer will be required to obtain all rights, permissions, easements or rights-of-way that may be required to facilitate these offsite improvements.
 - b) Construct the surface improvements in the full width of 19 Avenue SW along the south boundary of the plan area.
 - c) Construct the onsite and offsite storm water management facilities (wet pond, wetlands, etc) to service the plan area according to the most current City of Calgary Standard Specifications Sewer Construction, Stormwater Management and Design Manual and Design Guidelines for Subdivision Servicing.
 - d) Construct the Municipal Reserve (MR) within the plan area.
 - e) Construct regional pathway(s) within and along the boundaries of the plan area, to the satisfaction of the Director of Parks Development.

Transportation:

25. **In conjunction with the applicable Tentative Plan** that includes the parcels bounding 17 Avenue SW, the Public Utility right-of-way along 17 Avenue SW shall be dedicated to the satisfaction of the Director, Transportation Planning. The Utility right-of-way shall include lands to accommodate the future West LRT extension, including any ancillary features (retaining wall structures, operations and maintenance access easement, and grading) necessary to accommodate utility requirements.
26. **In conjunction with the applicable Tentative Plan** that includes the parcels bounding 17 Avenue SW, a construction and maintenance access easement shall be registered adjacent to the Utility right-of-way to allow for the construction and maintenance of the public facilities.
27. **In conjunction with the applicable Tentative Plan**, the Developer shall register a road plan for road widening required for 17 Avenue SW, to the satisfaction of the Director of Transportation Planning.
28. **In conjunction with the applicable Tentative Plan** that includes the parcels bound by 17 Avenue SW, transportation analysis and functional planning for the intersection of 17 Avenue SW and 80 Street SW shall be completed to the satisfaction of the Director, Transportation Planning. The transportation analysis shall include review and assessment of access to the subject lands for all travel modes and shall include widening necessary to accommodate vehicular movements as well as pedestrian and cycling connections within and adjacent to the plan area.

Conditions of Approval

29. **In conjunction with the affected Tentative Plan**, the Developer shall construct 17 to the satisfaction of the Director, Transportation Planning. The upgrades shall accommodate all modes of travel, including pathway(s) that connect to the regional system north of 17 Avenue SW, and any road widening necessary to service the ASP lands.
- 17 Avenue SW including LRT lands and ancillary works to support the roadway shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist and boundary cost recoveries.
30. **In conjunction with the initial Tentative Plan**, the Developer shall confirm the cross section for 19 Avenue SW adjacent to the subject lands and register a road plan for 19 Avenue SW to the satisfaction of the Director of Transportation Planning.
31. **In conjunction with the applicable Tentative Plan**, the Developer shall construct the portion of 19 Avenue SW adjacent to the subject lands along with any offsite work necessary to tie the roadway to existing public rights of way. 19 Avenue SW and ancillary works to support the roadway shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist and boundary cost recoveries.
32. **In conjunction with the initial Tentative Plan**, the Developer shall register a road plan to the satisfaction of the Director, Transportation Planning for 80 Street SW.
33. **In conjunction with each Tentative Plan**, the Developer shall register road plans to the satisfaction of the Director, Transportation Planning for all public roads throughout and adjacent to the tentative plan area.
34. **In conjunction with each Tentative Plan**, the Developer shall construct all public roadways throughout and adjacent to the tentative plan area. Ancillary works to support the roadways shall be designed and constructed at the Developer's sole expense, subject to normal oversize, endeavours to assist and boundary cost recoveries and any other agreements in place.
35. **In conjunction with each Tentative Plan**, two accesses are to be constructed and open to the public for each tentative plan. It is understood that construction sequencing between all land owners and developers in the area is not certain and the connections may change at tentative plan.
- Each tentative plan shall demonstrate that it provides a contiguous extension of development within the outline plan area and connects to the Regional Transportation Network. The intent is to ensure transportation connectivity for all modes (walking, cycling, transit, vehicles) and facilitate interim transit routing.
36. **In conjunction with the applicable Tentative Plan**, the Developer shall provide a Letter of Credit for installing traffic signals and that are agreed upon by the Developer and the Director, Transportation Planning. Note that the Developer shall also provide a letter, under Corporate Seal, indicating that they are responsible for any additional costs of signalization that could be in excess of the amount identified in the Letter of Credit, and is required to submit payment in support of the proposed Tentative Plan applications.

Conditions of Approval

37. **In conjunction with the applicable Tentative Plan**, detailed engineering drawings and turning templates shall be submitted and approved to the satisfaction of the Director, Transportation Planning for all intersections and roads within the Plan area and boundary roads where appropriate.

All intersections shall be designed to meet complete streets guidelines for all modes of travel, complete with appropriate corner cuts, channelization, tapers, etc. to the satisfaction of the Director, Transportation Planning.

38. **In conjunction with the applicable Tentative Plan, Construction Drawings (detailed design) and Permissions to Construct Surface Improvements:**

- a. The developer shall provide signed copies of backsloping agreements for any backsloping that is to take place on adjacent lands (whether owned privately or owned by the City).
- b. Adjustments to the tentative plan boundary may be required to accommodate all necessary Right-Of-Way requirements for appropriate roadway and intersection design at the discretion of the Director, Transportation Planning.

39. Approval of the proposed custom or modified road cross-sections is deferred **prior to approval of the initial Tentative Plan**.

The Construction Drawing package will require a separate sheet for modified and custom cross-sections. This sheet will be updated through the review process (as needed) and will form the final approval cross sections upon acceptance of the detailed design.

It is noted that at this time, no cross sections for 17 Avenue SW have been provided by the Applicant. These sections are requested prior to Council and shall be confirmed **in conjunction with the initial tentative plan** to the satisfaction of the Director, Transportation Planning.

40. **In conjunction with the applicable Tentative Plan or Development Permit**, the Developer shall enter into a Construction Access Roads Agreement with Roads Maintenance.

41. **In conjunction with the applicable Tentative Plan or Development Permit** for the staged construction of the road network, transit stops shall be provided to the satisfaction of the Director, Transportation Planning. All bus zones shall be located:

- Where commercial areas are concentrated;
- Where the grades and site lines are compatible to install bus zones; and
- Where pedestrian walkways, pathways, and roadway crossing opportunities are provided.

42. Where lots exist adjacent to bus zones as shown in the approved Outline Plan, caveats must be registered on the subject lots that restrict driveways or other vehicle accesses from encroaching upon the bus zone **Concurrent with Registration of the affected Tentative Plan**.

Conditions of Approval

43. New bus stops are required to serve the proposed development for this site at:
- a) Eastbound 17 Avenue SW at 80 Street SW; and
 - b) Eastbound 19 Avenue SW at 81 Street SW
- In conjunction with the construction of the road network for this development, transit stops shall be provided to the satisfaction of the Director, Transit and the Director, Transportation Planning.
44. **In conjunction with the applicable Tentative Plan or Development Permit**, Transit shelters shall be provided as stipulated by the Director, Transportation Planning and shall be supplied and installed at the Developer's sole expense. The shelters shall be installed by Calgary Transit upon receipt of satisfactory payment.
45. **In conjunction with the applicable Tentative Plan**, the developer shall ensure that all pathways from MR lands have a direct pedestrian connection by sidewalk or pathway, to the desired crossing locations at intersections to the satisfaction of the Director, Transportation Planning.
46. **In conjunction with the applicable Tentative Plan or Development Permit**, all community entrance features must be located outside the public right-of-way.
47. **In conjunction with the applicable Tentative Plan** that propose mid-block crossings, the Developer shall design and construct infrastructure at its sole expense, as follows:
- a. Curb bump outs shall be built, at a minimum, at all proposed mid-block crossing locations to the satisfaction of the Director, Transportation Planning.
 - b. Approach grades for all proposed mid-block crossing locations shall be no more than 4%.
 - c. **In conjunction with the affected Tentative Plan**, the Developer shall perform a warrant analysis for pedestrian activated crossing signals at all proposed mid-block crossing locations to the satisfaction of the Director, Transportation Planning. Should pedestrian activation crossing signals be required, the Developer shall provide a Letter of Credit for these signals. The Developer shall also provide a letter, under Corporate Seal, indicating that they are responsible for any additional costs of signalization that could be in excess of the amount identified in the Letter of Credit.
48. **In conjunction with the applicable Tentative Plan or Development Permit**, a noise attenuation study is required for residential parcels adjacent to 17 Avenue SW as outlined in the Springbank Hill ASP, and adjacent to the LRT extension, certified by a Professional Engineer with expertise in the subject of acoustics related to land use planning, shall be submitted to Transportation Planning for approval.

Note that where sound attenuation is not required adjacent to Arterial roadways or Public Utility ROW containing LRT, a uniform screening fence shall be provided, in accordance with the latest version of the Design Guidelines for Subdivision Servicing.

Conditions of Approval

49. **In conjunction with the applicable Tentative Plan**, all noise attenuation features (noise walls, berms, etc.) and ancillary facilities required in support of the development shall be constructed entirely within the development boundary (location of noise walls, berms, etc. and associated ancillary works shall not infringe onto the road or utility rights-of-way).
50. **In conjunction with the applicable Tentative Plan**, temporary oil and gravel bus turnaround or cul-de-sac with a minimum radius of 15.25 metres is required at the terminus of each construction phase. Where the developer intends to fence the turnaround, the minimum radius shall be increased to 16.25 metres. If road construction and/or construction phasing affects the operations of transit service, the Developer is required to provide an interim transit route replacement, to the satisfaction of the Director, Transportation Planning. Post and cable fence is required where the temporary turnaround is anticipated to be required for a period greater than 1 year.
51. **In conjunction with the applicable Tentative Plan or Development Permit**, accesses for all multi-family sites and commercial sites shall be designed and located to the satisfaction of the Director, Transportation Planning.
52. **In conjunction with the applicable Tentative Plan**, future revisions, addendums, or submissions within the development area are subject to further Transportation review and analysis, at the discretion and satisfaction of the Director, Transportation Planning and in accordance with the Springbank Hill ASP policy.
53. **In conjunction with the applicable Tentative Plan**, the road and pedestrian network for future development in the area is subject to further review and analysis in conjunction with future outline plan revisions and Tentative Plan submissions.
54. No direct vehicular access is permitted to or from 17 Avenue SW, excepting the potential for one right-in right-out only commercial access to the commercial site subject to transportation analysis and review to the satisfaction of the Director, Transportation Planning; restrictive covenants shall be registered against the subject lots **concurrent with registration** of the affected Tentative Plan. Exceptions may apply for accesses to pre-existing sites on an interim basis, if necessary and at the discretion of the Director, Transportation Planning.
55. No direct vehicular access is permitted to or from the extension of 80 Street SW through the Plan Area, excepting the potential for an access on the west side of 80 Street SW and an access on the east side of 80 Street SW subject to transportation analysis and review to the satisfaction of the Director, Transportation Planning; restrictive covenants shall be registered against the subject lots **concurrent with registration** of the affected Tentative Plan. Exceptions may apply for accesses to pre-existing sites on an interim basis, if necessary and at the discretion of the Director, Transportation Planning.
56. No direct vehicular access shall be permitted to crosswalk/wheelchair ramp locations for any proposed T intersections. Restrictive covenant shall be registered on all applicable titles **concurrent with the registration of the final instrument** to that effect at the Tentative Plan stage.

Conditions of Approval

57. **In conjunction with the applicable tentative plans** and prior to construction permission, the Developer shall provide signage within the road right-of-way or on city public land at the terminus of roads that are intended to continue with future planning. Signage shall be designed and located to the satisfaction of the Director of Transportation Planning. All work associated with the supply and installation of the signage will be at the Developer's expense.
- Show homes and marketing information must contain maps identifying the proximity of the future road and LRT extensions and shall be shown on the community land use signs containing affected lots.
58. A mutual access easement, to the satisfaction of the City solicitor, shall be registered concurrent with the final instrument. Such easement shall make provisions for access between the proposed commercial multi-residential sites on the east side of 80 ST SW and shall not be discharged without the written consent of the City of Calgary.
59. **In conjunction with the applicable tentative plan**, mutual access easement agreements shall be registered on the titles for the appropriate parcels for the proposed shared access to from Lot 32, Plan 2747HB (Slokker Lands) to Block 31, Plan 2747HB (Willowhurst Lands). The agreement shall be submitted to and approved by the City Solicitor. The City of Calgary shall be named party to the agreement to ensure landowners shall not amend, terminate or discharge the agreement without the written consent of The City of Calgary.
60. **In conjunction with the applicable tentative plan**, a Caveat shall be registered on title indicating the right-in/right-out access from 17 Avenue SW is temporary and is to be removed at the direction of The City to accommodate the planned extension of the Blue Line LRT. This work shall be performed at the Owners sole expense.

Parks:

61. **Prior to Tentative Plan approval** and coordinated through Planning, a cash payment shall be made in lieu of Municipal Reserve (MR) dedication in the amount of 0.04 hectares (0.11 acres).
62. **Prior to Tentative Plan approval or stripping and grading (whichever comes first)**, provide north/south and east/west cross-sections identifying the amount of fill to be placed in the ravine, the size, treatment (pipe) and alignment of the piped drainage, the proposed road, and proposed backsloping extents (including the proposed slope/grade) on the proposed MR, etc. for Calgary Parks review and approval.
63. Municipal Reserve (MR) is to be provided as per Section 666 of the MGA – Municipal Government Act.
64. If any additional LRT R.O.W is contemplated along 17 Avenue SW in the future which will impact/reduce the amount of MR to less than 10% of the net developable area, cash in lieu will be required to make up for the shortfall.

Conditions of Approval

65. **Prior to the affected Tentative Plan approval**, provide further information regarding the proposed MR as follows:
- Type of engineering fill and where it is coming from.
 - Depth required to achieve a base material suitable for programmable MR.
 - How will water movement of the existing drainage be addressed so it will not undermine the base layers of the MR and result in slumping?
 - Mitigation of contamination of the ravine further downstream due to fill.
 - The maximum depth of the borrow pit shall be 2.5 metres.
66. No underground or above ground utilities and retaining walls are permitted within proposed MR extents.
67. During Engineering Construction Design, ensure that the street light cable has a 1.0 metre minimum offset from the proposed boulevard trees.
68. **Prior to Tentative Plan approval**, enter into a legal agreement with Calgary Parks for a FAC – Final Acceptance Certificate with:
- a) a 5 year extended FAC; or
 - b) a 3 year extended FAC with extra securities for another 2 years.
69. **Prior to the affected Tentative Plan approval**, provide a written commitment to Calgary Parks that development/construction of the proposed MR will be:
- As per the Calgary Parks "*Development Guidelines and Standards Specifications: Landscape Construction, current edition*", compact the finished subgrade and all fill material to 85% Standard Proctor Maximum Dry Density (SPMDD) for areas under turf or planting to the satisfaction of Calgary Parks.
 - The proposed MR area shall have fill that meets 98% SPMDD. The composition of engineering fill to be specified to ensure that it is free of contamination and is to the satisfaction of Calgary Parks.
 - Compaction reporting is required at every lift (300mm) for the entire MR parcel and this information to be provided to Parks prior to CCC – Construction Completion Certificate.
70. **Prior to the approval of the affected tentative plan**, the developer shall confirm fencing requirements adjacent to MR parcels to the satisfaction of the Director, Calgary Parks.
71. **Prior to stripping and grading or tentative plan approval, whichever comes first** and pursuant to Part 4 of the *Water Act* (Alberta), the applicant shall promptly provide Parks with a copy of the *Water Act* approval, issued by Alberta Environment, for the proposed drainage/stream disturbance.
72. Until receipt of the *Water Act* approval by the applicant from Alberta Environment, the drainage/stream affected by the development boundaries shall not be developed or disturbed in any way and shall be protected in place.
73. Construct all regional pathway routes within and along the boundaries of the plan area according to Parks' ***Development Guidelines and Standard Specifications – Landscape Construction*** (current version), including setback requirements, to the satisfaction of the Director, Parks.

Conditions of Approval

74. A Public Access Easement Agreement and right of way plan shall be executed and registered on title **concurrent with the registration of the final instrument** at the Tentative Plan stage to provide public access to the MR from the west.
75. **Prior to the approval of the affected tentative plan**, finalized concept plans for all MR sites shall be submitted for Parks' review and approval. Landscape Concepts at the Tentative Plan submission stage shall be refined to add:
- a. A site plan showing general conformance to Outline Plan landscape concepts, intended park program, site layout, and preliminary planting.
 - b. Grading plans that are coordinated with engineering to show updated perimeter grades to confirm slope percentage and details of any other features, including (but not limited to) retaining structures, utility rights-of way, green infrastructure, trap lows, drainage from private lots, etc.
 - c. Storm-related infrastructure details above and below ground, including (but not limited to) access roads with required vehicle turning radii, inlets, outlets, retaining walls, control structures, oil grit separators, etc.
 - d. The interface and proposed stormwater drainage of the DC (M-2) parcel to the west. Parks does not support overland drainage directed towards Reserve extents. All drainage and storm related infrastructure catering to private property shall be entirely clear of MR land. Ensure that grade from DC (M-2) matches grade at S-SPR/MR property line and not actively draining into MR space.
76. **Prior to Endorsement of the tentative plan** Landscape Construction Drawings that are reflective of the subject Tentative Plan for the proposed Municipal Reserve lands are to be submitted to the Parks Development Coordinator at (403) 268-2367 for review and approval prior to construction.
77. **Prior to approval of the first tentative plan or stripping and grading permit** (whichever comes first), it shall be confirmed that grading of the development site will match the existing grades of adjacent parks and open space (MR), with all grading confined to the private property, unless otherwise approved by Parks.

Applicant's Submission

January 7, 2020

On behalf of Ronmor Holdings Inc., ('Ronmor'), Stantec Consulting Ltd. ('Stantec') has submitted the following Outline Plan and Land Use Amendment application for the subject lands located within the community of Springbank Hill, west of 77 St SW, east of 85 St SW, and bordered by 17 Ave SW to the north. The subject lands are comprised of four (4) parcels consisting of ± 8.04 ha (± 19.87 ac) total and will be developed as a mixed-use neighbourhood reflecting policies within the Springbank Hill Area Structure Plan (ASP) as well as the surrounding residential area context.

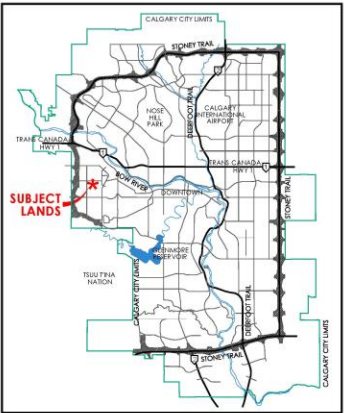
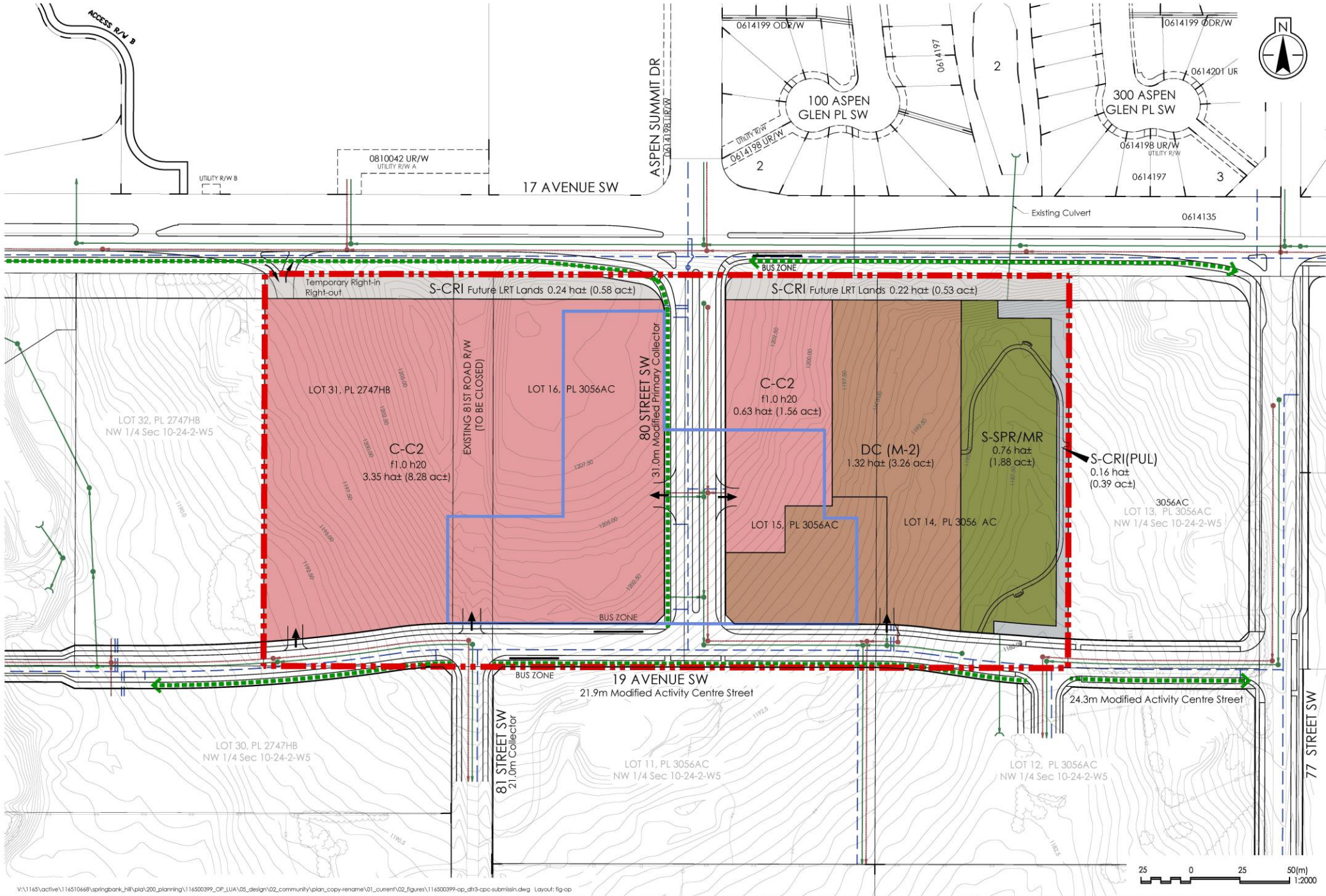
The proposed development is similar to Aspen Landing featuring an 'urban village' structure. An anchor grocery store is proposed with additional commercial buildings consisting of office, retail and service-oriented development. Three residential structures, approximately four storeys in height are envisioned with a range of ± 189 to ± 264 units planned for these lands. The overall transportation network is 'grid' based, consisting of multi-modal transportation options including regional pathways, green corridors, bikeways, sidewalks and various linkages throughout the site and the greater Springbank Hill Community.

Since the original application submission on December 8, 2017, the Outline Plan has evolved in response to Administration requests and outreach with the public. Of note, the revised NAC is contained entirely within the Outline Plan, the 19 Ave SW right-of-way has been redesigned to better comply with the 'livable street' typology as defined by the ASP, and the open space concept has been significantly reimagined to provide Springbank Hill with larger, programmable open space which can be used for sporting events, community gatherings, etc. This concept was redesigned through an extensive engineering process in order to respond to the aspirations of the Springbank Hill Community Association, providing residents with their desired form of open space.

The subject lands are located within the Springbank Hill ASP 'Mixed-Use' designation which requires a minimum intensity of 125 people and jobs per gross developable hectare. The proposed development is aligned with this policy and anticipates development achieving 166 people and jobs per gross developable hectare. To achieve this intensity target as well as goals and policies of the ASP, the land use districts of C-C2 and DC (M-2) are proposed. These designations will provide the mix of commercial, service, and residential uses along 17 Ave SW, with an appropriate height, FAR, and density that respects the existing neighbourhood scale. The DC (M-2) district will allow for low-rise multi-family development which adapts to the significant slope of the site between 17 Ave SW and 19 Ave SW.

Ronmor and the project team have worked with Administration, consulted with adjacent landowners, and met with the Community Association and public throughout this process. This collaborative endeavour has put forth an Outline Plan and Land Use Redesignation application consistent with city-wide goals and policies and works towards applicable Complete Community objectives. This application will provide new commercial services and housing options for residents and visitors to the established community of Springbank Hill in west Calgary. Thank you for your time and consideration.

Proposed Outline Plan



Location Plan
Portions of NW10-24-2-W5
Located within the Springbank Hill ASP

Legend

- Hydrant shown thus
- Sanitary Sewer shown thus
- Storm Sewer shown thus
- Water Lines shown thus
- Outline Plan Boundary
- Regional Pathway
- Local Pathway and Walkway
- Potential Access Points
- Neighbourhood Activity Centre (NAC) - 2.0 hat (4.9ac±)

Notes
All walkways are intended to be 3.0m in width. Where these are required for underground utilities or overland drainage, the appropriate easements will be provided.
All lanes are 7m unless otherwise noted.
All lane cornercuts are to be 3m x 3m.
All road cornercuts are to be 4.5m x 4.5m.

Client/Project
RONMOR DEVELOPERS INC
RONMOR SPRINGBANK
Calgary, Alberta, Canada

Project Information - LOC2017-0386		
Revision		
NO	DATE	DESCRIPTION
1	20-12-2017	Submission
2	17-08-2018	DTR1 Submission
3	26-04-2019	DTR2 Submission
4	21-11-2019	DTR3 Submission

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FIGURE 1.0 | RONMOR SPRINGBANK

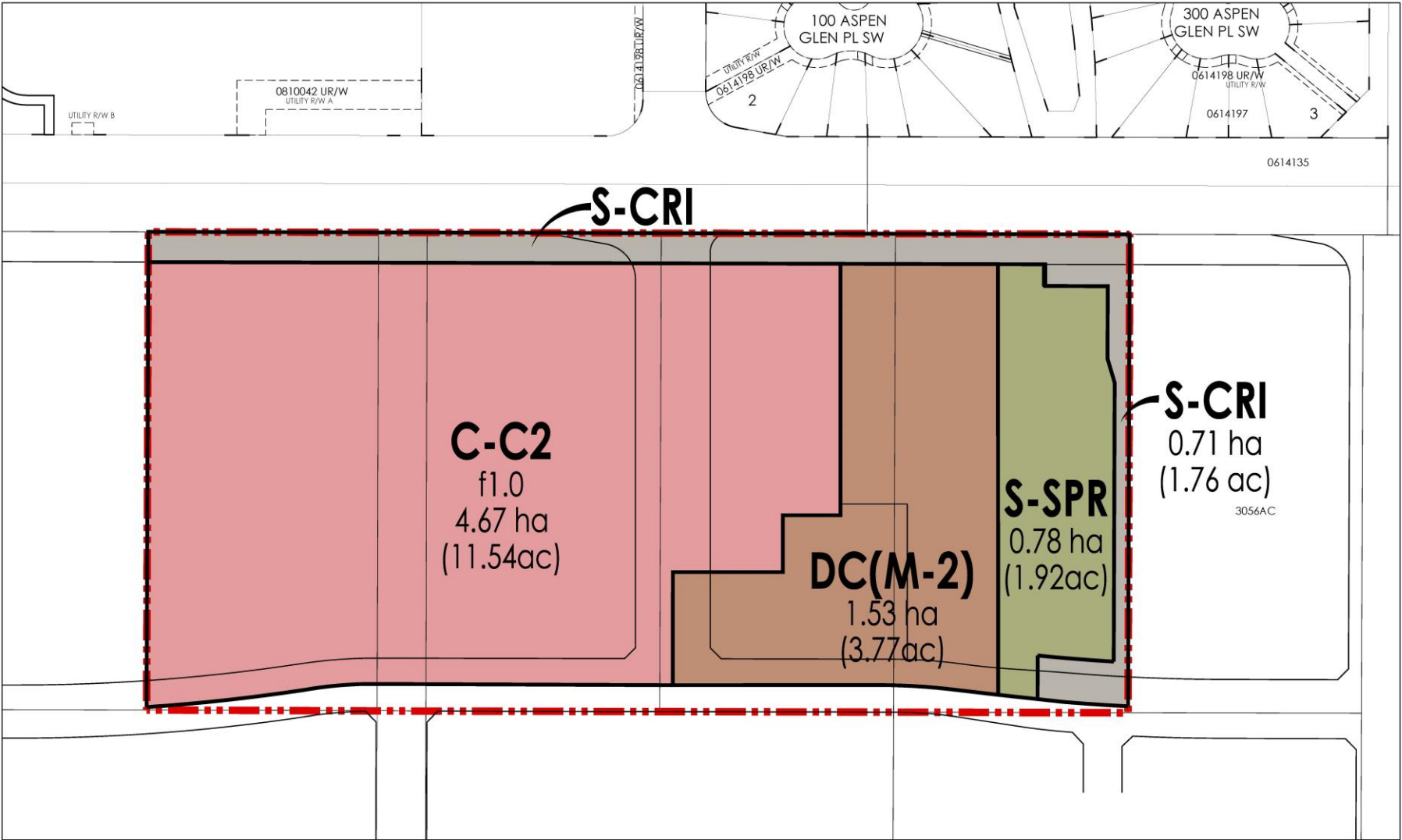
Outline Plan



Jan 2020

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Proposed Outline Plan



Outline Plan Statistics

Total Area Outlined	8.05 ha± (19.88 ac±)
DC(M-2)	1.32 ha± (3.26 ac±)
Ant. No. of Units (171.2 upha)	226 units±
C-C2	3.98 ha± (9.84 ac±)
Anticipated Density	226
	8.05 ha± (19.88 ac±)
	= 28.07 upha± (11.37 upac±)

Areas of Public Dedication

Roads	1.37 ha± (3.40 ac±) (17.1%)
S-CRI	0.16 ha± (0.39 ac±)
S-CRI (Future LRT R.O.W.)	0.46 ha± (1.11 ac±)

Open Space Area

S-SPR(MR)	0.76 ha± (1.88 ac±) (9.5%)
*Remaining 0.5% of required MR (0.04 ha 0.11 ac) to be provided as cash-in-lieu	

Land Use Statistics

DC12Z96 to DC(M-2)	1.53 ha± (3.77 ac±)
DC12Z96 to C-C2	4.67 ha± (11.54 ac±)
DC12Z96 to S-CRI	0.71 ha± (1.76 ac±)
DC12Z96 to S-SPR	0.78 ha± (1.92 ac±)
Total Redesignation	7.69 ha± (18.99 ac±)

Proposed Land Use Redesignation
1:2000

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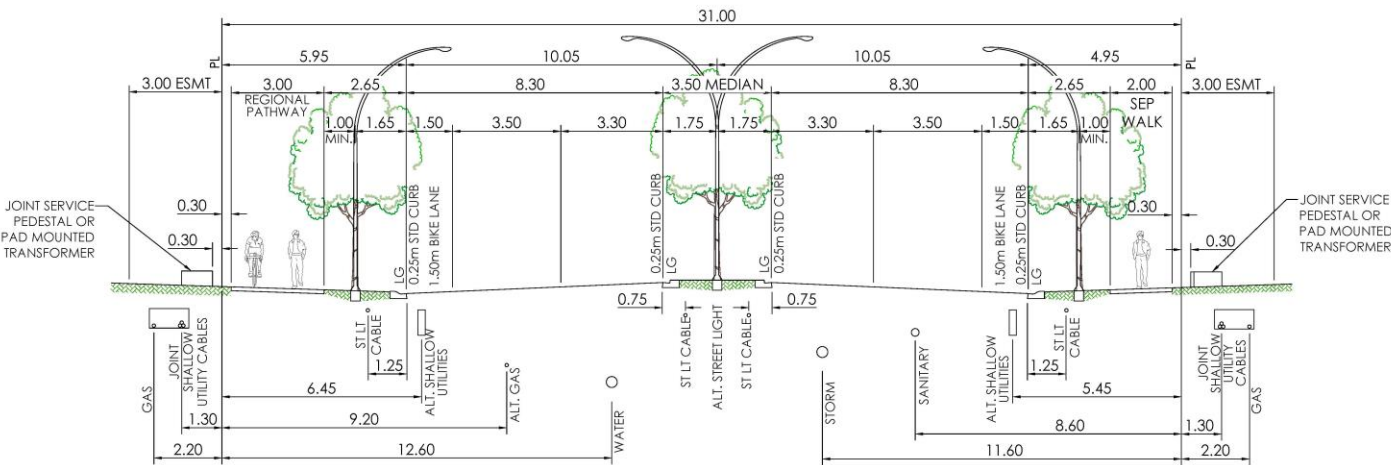
FIGURE 1.0 | RONMOR SPRINGBANK
Land Use Redesignation and Statistics



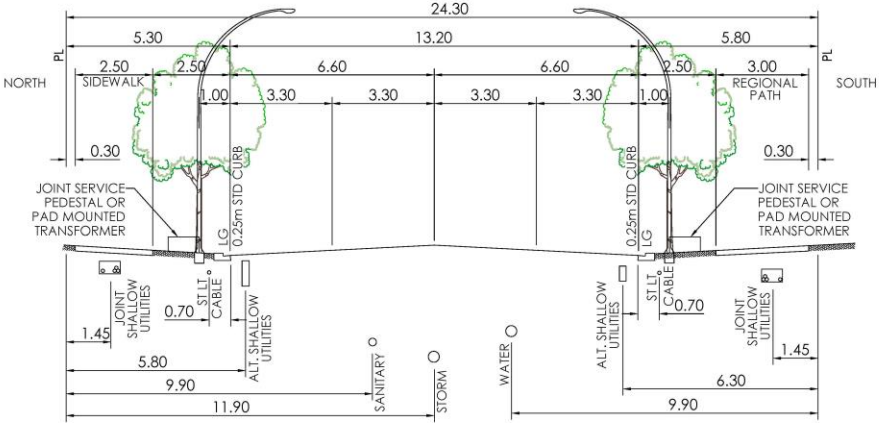
Jan 2020

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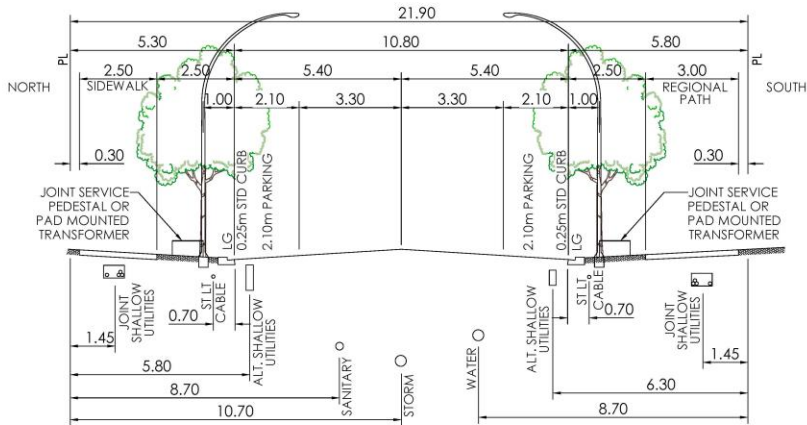
Proposed Outline Plan



31.0m MODIFIED PRIMARY COLLECTOR
3.0m REGIONAL PATH ONE SIDE/2.0m SEPARATE WALK ONE SIDE - BUS ROUTE
1:200



24.3 MODIFIED ACTIVITY CENTRE STREET
2.5m SEPARATE WALK ONE SIDE/3.0m REGIONAL PATH ONE SIDE
1:200



21.9 MODIFIED ACTIVITY CENTRE STREET
2.5m SEPARATE WALK ONE SIDE/3.0m REGIONAL PATH ONE SIDE
1:200

V:\11650399\11650399\springbank_hill\p\200_planning\11650399_OF_LUA\05_design\02_community\plan_copy-rename\01_current\02_figures\11650399-ap_dfr3-cpc-submission.dwg Layout: fig-sections

FIGURE 1.0 | RONMOR SPRINGBANK
Street Cross Sections



Jan 2020

116500399

Subdivision Data Sheet

	HECTARES	ACRES
GROSS AREA OF PLAN	8.05	19.88
LESS: ENVIRONMENTAL RESERVE	N/A	N/A
NET DEVELOPABLE AREA	8.05	19.88

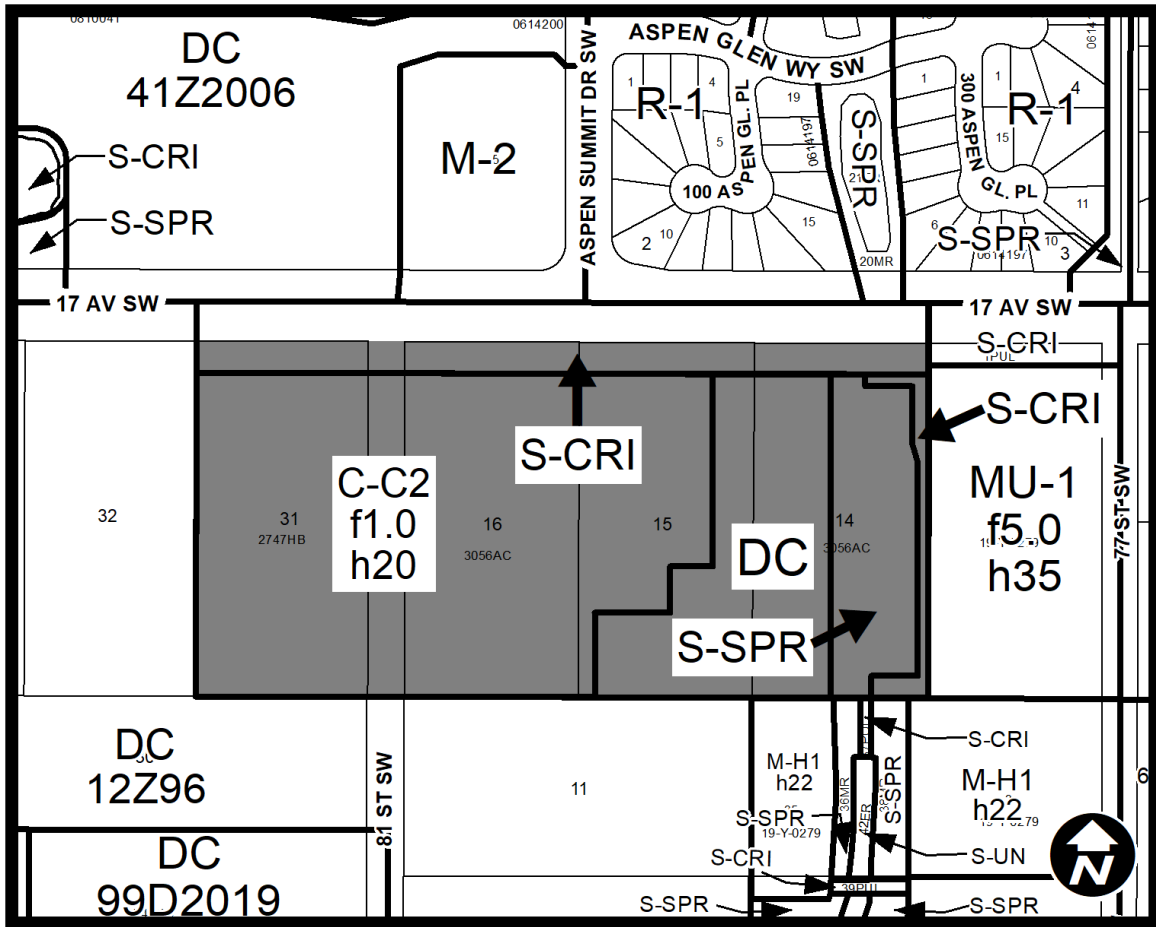
LAND USE (Residential)	HECTARES	ACRES	# OF LOTS	# OF UNITS
DC (M-2)	1.32	3.26	1	226
Total Residential	1.32	3.26	1	226

LAND USE (Commercial)	HECTARES	ACRES	# OF LOTS	# OF UNITS
C-C2	3.98	9.84	2	N/A
Total Commercial	3.98	9.84	2	N/A

	HECTARES	ACRES	% OF NET AREA
ROADS (CREDIT)	1.37	3.40	17.1
Public Utility Lot	0.62	1.50	7.70

RESERVES	HECTARES	ACRES	% OF NET AREA
MR	0.76	1.88	9.5

Proposed Land Use District Map



Engagement Overview



LOC2017-0386 Engagement Overview

Reference: High-Level Overview of LOC2017-0386 Engagement Activities

Date	Event	Description
Nov-23-2016	Meeting with SBHCA	Ronmor met with the SBHCA to review original concept plans.
Feb-21-2017	Meeting at Stantec with SBHCA re: introduction of concept plan	Meeting over lunch to introduce the project team, client, and share draft concept. Advised an Open House would follow, and the CA would receive a copy of the OP application as part of City process.
Jan-26-2018	Meeting with SBHCA	Ronmor met with entire SBHCA Board of Directors to review original concept plans.
Feb-2-2018	Ronmor received letter from SBHCA's Planning Committee	The SBHCA Planning Committee letter provides a review of the proposed OP and accompanying report, and comments related to the application.
Feb-22-2018	Open House to Present LOC2017-0386	Public Open House held at Westside Kings Church from 6:00 to 8:00 PM with members of the Project Team and City of Calgary in attendance – feedback forms were collected for input from participants.
Mar-21-2018	Ronmor responded to SBHCA email dated February 21, 2018	Ronmor submits a detailed response to the SBHCA email received Feb 2, 2018 addressing each comment.
May-10-2018	Correspondence with SBHCA	Discussion with the SBHCA regarding the CA's desire and the community's need for programmable open space on the MR site.
Jun-7-2018	Ronmor sent letter to SBHCA discussing green space	This letter thanked the SBHCA for their advice on presenting the revised open space concept to the City.
Jun-14-2018	SBHCA formally supports Ronmor's MR Concept	SBHCA President Elia Cozzi email to Fazeel Elahi to express support for the Ronmor proposal to provide the community with programmable open space (cc John Hall, Tania Nelson, Jeff Davison, and Suzy Trotter).
Oct-12-2018	Met with four SBHCA members to review most current plans	Update with architects on most recent concept plans presented to SBHCA.
Nov-27-2018	Ronmor receives letter from SBHCA commenting on OP	SBHCA President Elia Cozzi email to Fazeel Elahi providing Planning Committee comments for LOC2017-0386 related to the NAC, MR, traffic, and Livable Street.

Community Association Letter

January 9, 2020 (*Sent via Email*)

Dear Joseph Yun,

I am writing on behalf of the Springbank Hill Community Association in regards to Application Notice LOC2017-0386 from Ronmor.

As a community association our role is to advocate for our members and all residents of our community, and to help build a safe, active and vibrant community. We wish to encourage leading edge developments that are aligned with the vision of the MDP, supported by an achievable infrastructure plan, and respectful of the existing fabric of our community.

It has been over a year since our last meeting with the applicant, Ronmor, and based on the very limited information presented in the outline plan, our comments below are primarily based on discussions held previously with the applicant.

Liveable Street

It is our understanding that the applicant was concerned with the ASP's High Street concept along the northerly E-W collector road, which appears will be called Springmount Ave or 19th Ave SW. Their concern was that they could only control their own side of the street and that developments on the other side of the street might not provide for a successful and integrated design. They were also concerned that the significant required changes in grade along the street are unrealistic to develop the necessary building-to-street profiles for a High Street concept.

To facilitate the plan, the applicant Ronmor has redesigned their own site to create an internal "urban village", with a designated E-W corridor through the commercial site which connects through to the residential segment on the east side. The site plan has wide pedestrian corridors throughout, a Galleria of restaurants and shops with large public outdoor patio areas on the second level (on both north and south sides of the building), and significant underground parking. There are also several open gathering spaces, including a large one with overhead canopy that could turn into an entertainment area.

NAC

Similar to the livable street as noted above, the applicant has created a NAC within their application. By utilizing main and 2nd level outdoor spaces, accessible by the public and not tied to commercial renters. Spaces for community residents to gather in ad-hoc, or programmable ways have been provided. Similar rationale was used to prioritize the creation of multimodal access, and create spaces that would not be interrupted by vehicle traffic.

MR

In reviewing the designated MR area, the applicant has taken a bold step, by integrating MR and storm water retention plans. By taking a designated MR space that was original presented as a pathway in a ravine, the applicant is proposing to place storm water pipes into the ravine, while creating a flat programmable space. This space would be welcomed by the community association in particular.

As initially noted to the applicant we are very supportive of the overall design, and willingness of the applicant to address the concerns of the community.

Community Association Letter

Traffic

In recent meetings with the City Traffic department, our understanding is that the department reviews traffic submissions from the individual applicants, and through the process has an overall view of the traffic within the 190 acre study area. A grade is given for traffic infrastructure from A (good) to F(failure). Our further understanding is that there are area's within the overall 190 acre study area, where the anticipated service levels exceed thresholds developed by city planners.

While our concern is not with this particular application, as it is within the ASP limits, as other applicants apply and receive additional density and incremental retail developments, our concern is that CPC and City Council might approve each individual plan such as this one without fully addressing the overall traffic issues.

In summary,

- The community association is supportive of this plan overall. We have appreciated the applicant's interaction with the community association in the past and will request another meeting with them prior to the City Council session in February to ensure that we fully understand their current application.
- The developer is adhering to many of the principles in the ASP, although they have been constrained because not all adjacent developers are working with them to collaborate on an integrated design
- As noted, the community is concerned with the capacity of the overall traffic infrastructure within the 190 acre study area, and surrounding developments, and we are requesting that CPC and City Council place a higher emphasis on ensuring traffic issues are fully addressed across the entire study area when approving any applications within this ASP.

Sincerely,

Elio Cozzi (On Behalf of the Planning Committee)
President, Springbank Hill Community Association
website: springbankhill.org

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0030

Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101

EXECUTIVE SUMMARY

The application was submitted on 2018 May 04 by Stantec Consulting Ltd on behalf of Wenzel Developments Inc (Shane Communities), Aspen Springs GP Ltd (Slokker Canada West), and SCW Wenzel JV Inc. This application proposes a land use redesignation of approximately 11.48 hectares (28.36 acres) on six contiguous residential acreage parcels in the southwest community of Springbank Hill. The proposed land use redesignation and associated outline plan application allow for the comprehensive development and subdivision of the subject lands where there was traditionally fragmented ownership including:

- residential developments of up to 13.0 metres in height (3 to 4 storeys) where the existing land use districts limits this site to country residential development;
- approximately 8.21 hectares (20.28 acres) allowing for a mix of low and medium density residential building forms comprising of single detached, semi-detached, rowhouse and townhouse buildings (R-G, M-G);
- approximately 1.12 hectares (2.77 acres) of Municipal Reserve (MR) in the form of open space (S-SPR);
- approximately 0.60 hectares (1.47 acres) of Environmental Reserve (ER) in the form of natural areas to be conserved and for the protection of a ravine system (S-UN); and
- approximately 1.55 hectares (3.84 acres) for a regional stormpond facility to serve the broader community and facilitate comprehensive and contiguous development of a complete community (S-CRI).

The proposed redesignation implements the policies of the *Municipal Development Plan* (MDP) and is in keeping with the objectives of the *Springbank Hill Area Structure Plan* (ASP). The associated outline plan application (CPC2020-0031), provides technical rationale to support the proposed land use redesignation.

A development permit application for stripping and grading has been submitted and is currently under review by Administration.

This application is also being considered in concert with a neighbouring land use redesignation, outline plan and road closure application to the north within the Springbank Hill community (CPC2020-0032 and CPC2020-0033) also on this Calgary Planning Commission agenda. This proposal accommodates commercial and residential development comprised of a total of 753 jobs and 226 dwelling units.

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ISC: UNRESTRICTED
CPC2020-0030

**Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses,
LOC2018-0101**

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 11.48 hectares \pm (28.36 acres \pm) located at 2232, 2334, 2435 and 2436 - 85 Street SW and 8334 and 8484 Mystic Ridge Gate SW (Plan 3056AC, Blocks 23, 22, 20, 19, 17 and 18) from DC Direct Control District **to** Residential – Low Density Mixed Housing (R-G) District, Multi-Residential – At Grade Housing (M-G) District, Special Purpose – School, Park and Community Reserve (S-SPR) District, Special Purpose – City and Regional Infrastructure (S-CRI) District, Special Purpose – Urban Nature (S-UN) District; and
2. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

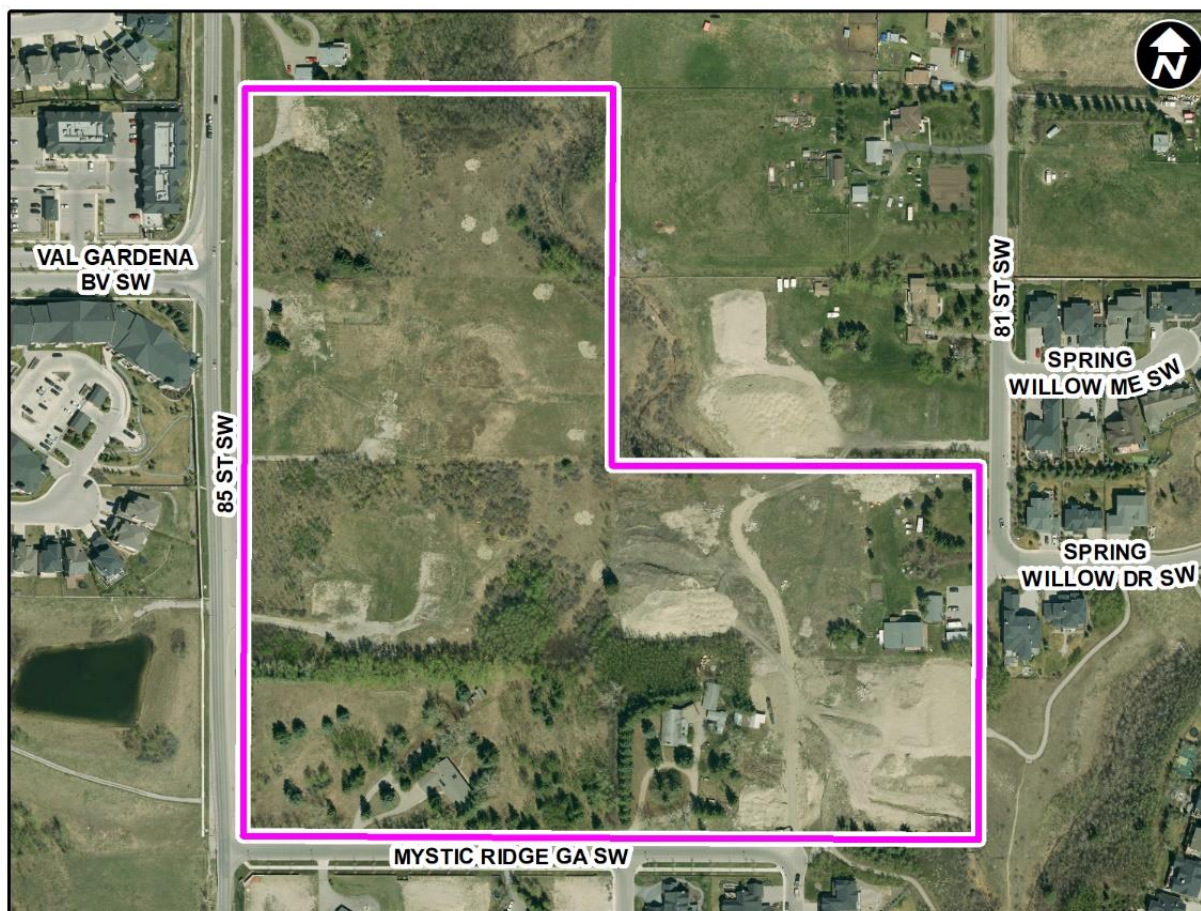
Stantec Consulting Ltd, on behalf of Shane Communities and Slokker Canada West, submitted the subject application along with the associated outline plan (CPC2020-0031) on 2018 May 04 and have provided a summary of their proposal in the Applicant's Submission (Attachment 1).

A development permit application for stripping and grading to store surplus topsoil on site (DP2018-3262) has been submitted and is currently under review by Administration. There is another land use amendment, outline plan and road closure application (CPC2020-0032 and CPC2020-0033) for consideration also on this Calgary Planning Commission agenda highlighted on the large orthophoto on page 3 of this report.

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Site Context

The subject site is situated in the southwest quadrant of the city. The site is bounded 81 Street SW to the east, Mystic Ridge Gate SW to the south and 85 Street SW to the west. The existing development surrounding the subject site includes a mix of local commercial, multi-residential and single detached dwellings.

The subject site consists of six contiguous residential acreages with existing single detached dwellings on two of the parcels, while the rest remain undeveloped and vacant.

Figure 1 provides peak population statistics for the community of Springbank Hill. As identified in *Figure 1*, the community of Springbank hill reached its peak population in 2018 with 10,052 residents.

**Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses,
LOC2018-0101**

Figure 1: Community Peak Population

Springbank Hill	
Peak Population Year	2018
Peak Population	10,052
2019 Current Population	9,938
Difference in Population (Number)	-2.2%

Source: The City of Calgary 2019 Civic Census

Additional demographic and socio-economic information may be obtained online through the [Springbank Hill Community Profile](#).

INVESTIGATION: ALTERNATIVES AND ANALYSIS

The implementation of the ASP's vision is being undertaken within the fragmented ownership structure of Springbank Hill; bearing a wide array of visions amongst many different landowners. Thus, the land use policies of this ASP provide a unifying vision guiding the collaboration of many different visions amongst all stakeholders. This proposal represents one of many applications that help implement the vision of this community's stakeholders; achieving Council's vision for a cohesively planned community.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Land Use

The subject site is currently designated DC Direct Control District (Bylaw 12Z96) that accommodates country residential development. Its purpose is to maintain the character of the existing rural residential neighbourhood by establishing minimum size of parcels to be created through future subdivisions. The subject site is proposed to be redesignated to various land uses that accommodate urban residential development typologies and building forms. This application (Attachment 2) proposes to redesignate the subject lands from DC Direct Control District (Bylaw 12Z96) to the following districts:

- Residential – Low Density Mixed Housing (R-G) District:
Approximately 7.50 hectares (18.54 acres) are proposed to be redesignated to the R-G District. The purpose of this district is intended to accommodate a wide range of low density residential development in the form of Cottage Housing Clusters, Duplex Dwellings, Rowhouse Buildings, Semi-detached Dwellings and Single Detached Dwellings to allow for the mixing of different housing forms and to encourage housing diversity and intensification of a neighbourhood over time.

**Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses,
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- Multi-Residential – At Grade Housing (M-G) District:
An approximate 0.71 hectare (1.74 acre) portion is to be redesignated to the M-G District. The purpose of this district is to accommodate multi-residential development in a variety of forms of low height and low density, designed to provide all units with pedestrian access to grade. The district is also intended to be in close proximity or adjacent to low density residential development and provides for landscaping to complement the design of the development and to help screen and buffer elements of the development that may have impacts on residents or nearby parcels. Densities are to range between 35 to 85 units per hectare on this district, while accommodating buildings up to 13.0 metres (3 to 4 storeys). This area of the subject site is intended to provide for the gradual transition from the mixed-use and multi-residential area to the north, towards the low densities to the south.
- Special Purpose – School, Park and Community Reserve (S-SPR) District:
A portion of the subject site (1.12 hectares or 2.77 acres) is proposed to be redesignated as S-SPR District with a Municipal Reserve (MR) designation. The MR will form a buffer for the intermittent stream, provide for regional and local pathway connections and contribute open space around the proposed stormwater pond. The intermittent stream disappears in the south portion of the site due to the presence of historical fill material, including construction debris, within the ravine. This area is identified as a Policy Review Area in the *Springbank Hill ASP* as at the time of the ASP there was uncertainty about the full development potential of the lands due to the fill. As part of this application, this fill area will be rehabilitated. The MR will meet the 10 percent MR requirement. The design of the MR is to take advantage of its proximity to the proposed stormwater pond which will have a looped pathway system around it. The stormwater pond is a dry pond and there will be the opportunity for an informal play space in the bottom of the pond. The proposed regional pathway will link to the pathway provided as part of LOC2018-0085, continue to the south along the top of the ravine and connect to existing regional pathways to the east and south.
- Special Purpose – City and Regional Infrastructure (S-CRI) District:
The proposed pond (1.55 hectares or 3.82 acres) and all stormwater related infrastructure (i.e. utility lines, outlets, access roads, dam structures, etc.) is proposed to be designated as S-CRI District with a Public Utility Lot (PUL) designation and will serve not just this application, but the broader Study Area. The outfall of the stormwater pond will terminate in the small remaining portion of the intermittent stream in the southeast portion of the subject site. Environmental Reserve (ER) is not proposed for this area due to stormwater pond area requirements.
- Special Purpose – Urban Nature (S-UN) District:
An environmentally significant natural area (0.60 hectares or 1.47 acres) is proposed as S-UN District, to be dedicated as ER. This area will preserve the existing north-south ephemeral drainage/intermittent watercourse and ravine system. Open space is provided to preserve the existing north-south ephemeral drainage, intermittent watercourse and associated ravine. Recent land use and outline plan applications for

Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101

lands to the north and east have already preserved these features within the same network. This application will contribute to a continuous open space system in accordance with the *Springbank Hill ASP*.

The associated outline plan (CPC2020-0031) provides the framework for community and infrastructure build out, to be implemented largely at the subdivision stage. The land uses are complimentary to this plan and provide more certainty on densities and built form.

Subdivision Design

The proposed subdivision design (Attachment 3), which comprises approximately 11.68 hectares (28.36 acres), is formed by a single multi-residential parcel, several low-density residential parcels, framed by an internal grid-pattern local street network.

The eastern half of the application area comprises a small pocket of low-density residential development consistent with the existing character and form of development along 81 Street SW. A large regional stormpond that serves all of the developable parcels between this application and 17 Avenue SW is located in the southeast corner of this application area. This is a crucial component of the *Springbank Hill ASP*, allowing for comprehensive development of a complete community rather than small development cells with localised stormwater management facilities.

The west half of the application area includes a single grade-oriented multi-residential development parcel (townhomes) while the remainder will be developed as single detached dwellings.

Density

The corresponding outline plan will accommodate development achieving both the *MDP* and *Springbank Hill ASP* minimum density and intensity targets (population and jobs). This will support future transit and community amenities within the greater community of Springbank Hill. Overall, this proposal will accommodate approximately 170 dwelling units, resulting in an anticipated density of 15.63 units per hectare (uph) for the full outline plan area. The corresponding outline plan falls within the allowable range for both the low density residential and low density contextual residential land use as set out in the *Springbank Hill ASP*, outlined in Table 1 below.

Table 1: Minimum and Anticipated Intensities

Land Typology	Minimum Required Density per ASP (uph)	Maximum Allowable Density per ASP (uph)	Anticipated Density	Minimum Required Intensity per ASP (population and jobs per hectare)	Anticipated Intensity (population and jobs per hectare)
Low Density Contextual	12	20	15.63	-	-
Low Density	20	37	24.2	-	-

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Environmental

A Phase I Environmental Site Assessment (ESA) was submitted and was reviewed by Administration. No concerns were noted, however due to historical construction debris in the ravine, a report documenting the remediation activities will be required to be reviewed by Environmental & Safety Management prior to the affected tentative plan approval.

A Biophysical Impact Assessment (BIA) was prepared by Stantec Consulting Ltd, providing an assessment of existing site conditions. Key findings of the BIA include:

- The application area is located within the Foothills Parkland Natural Subregion and most of the Study Area is successional forest, grassland and shrubland vegetation communities.
- Two watercourses are in the application area including an intermittent stream and an ephemeral drainage.
- The intermittent stream and its adjacent riparian slope in the application area are proposed for retention within ER in the north portion of the site to preserve hydrological connectivity.
- The ephemeral drainage will not be retained as it is of moderate environmental significance.
- ER will not be proposed for the south portion of the intermittent stream adjacent to the proposed stormwater pond due to the stormwater pond area requirements.

A Geotechnical Investigation was submitted that assessed general subsurface soil and groundwater conditions within the site. No significant concerns were identified by Administration.

A Deep Fills Reports will be required to be approved at either the subdivision or development permit stages.

Transportation

The application area is to be accessed from the west by 85 Street SW, from the south by Mystic Ridge Gate SW and from the east by 81 Street SW which connects to the outline plan (LOC2017-0386) also on this Calgary Planning Commission agenda.

Future transit connections (bus routes) will be accommodated along 85 Street SW. Cycling connectivity is provided via a system of off-street multi-use pathways, shared on-street cycling and connections to the regional pathway system. Within and adjacent to the outline plan area, the regional pathway system provides connections from the open space network west of the application area through to 81 Street SW and connections to the ravine and proposed storm pond.

A Transportation Impact Assessment (TIA) was submitted as part of the application and included known and anticipated future developments in the area. The TIA demonstrated the

Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101

future development allowable under the proposed land uses functions within acceptable levels of service within the existing and expanded (future) network.

Utilities and Servicing

Water servicing will be provided through a connection to the water feeder main along 85 Street SW, and an existing connection to the water feeder main along Mystic Ridge Gate SW. The proposed Strathcona Flow Control Station, located at the intersection of 17 Avenue SW and 85 Street SW, must be in place before any utilities are operational or any construction permissions are granted. The Strathcona Flow Control Station is City funded infrastructure and is scheduled to be completed by Q2 2020.

A Regional Sanitary Servicing Study was provided by Pasquini & Associates and Urban Systems that includes all areas subject to the *Springbank Hill ASP*. This study identified downstream constraints. There are two regional options available to remove these constraints. The first option requires a developer/applicant funded extension, connecting to existing services along 85 Street SW and 81 Street SW. The second option is for the City to front-end a pilot project to upgrade the existing downstream sanitary mains to increase their capacity to accommodate the full build-out of the Springbank Hill study area. Some parcels may be allowed to proceed without upgrades, but will be required to provide securities, proportional to the parcel's associated flow rate, and developable area.

The subject site is within the approved Springbank Hill Master Drainage Plan (MDP) completed by Stantec in 2017. Ultimately, stormwater is to be managed in concert with the Springbank Hill Staged Master Drainage Plan. A regional storm pond within the plan area will support the west catchment of *Springbank Hill ASP* area.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners, the Springbank Hill Community Association (SHCA) and the application was advertised online. A total of nine letters from five adjacent landowners were received, along with a letter from the SHCA (Attachment 4). A summary of the perceived concerns includes:

- density;
- traffic;
- lack of adequate drainage in the area;
- request for playgrounds, ball diamonds or tennis courts in the community;
- negative health impacts associated with reduced green space in the community;
- proposed regional pathway alignment and lack of connectivity; and
- not wanting development to proceed until all of the servicing issues have been resolved.

Land Use Amendment in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101

Administration considered the relevant planning issues specific to the proposed redesignation and has determined the proposal to be appropriate. The proposal is compatible with respect to the surrounding neighbourhood and City policy.

Following Calgary Planning Commission, notifications for Public Hearing of Council, in relation to this land use amendment, will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (Statutory – 2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [South Saskatchewan Regional Plan](#) (SSPR) which directs population growth in the region to the Cities and Towns and promotes efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment build on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

[Map 1: Urban Structure](#) of the [Municipal Development Plan](#) (MDP) identifies the subject lands as Residential – Developing – Future Greenfield. The MDP provides guidance for the development of new communities through the policies of the ASP. The proposal meets the following MDP objectives (Section 3.6.2):

- providing a diversity of housing types;
- providing parks located throughout the community in walkable proximity to all residences; and
- creating an inter-connected, multi-modal street network.

Springbank Hill Area Structure Plan (Statutory – 2017)

The [Springbank Hill Area Structure Plan](#) (ASP) provides direction with detailed policies for future development of this community. The subject site comprises areas subject to the low density and low density contextual land use policies. The ASP also identifies portions of the site subject to an Environmental Open Space (EOS) Study Area. The proposal is in keeping with the objectives of the ASP.

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Social, Environmental, Economic (External)

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed outline plan does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Risk Assessment

There are no known risks associated with this application.

REASON(S) FOR RECOMMENDATION(S):

The proposed land use redesignation accommodates future comprehensive development as envisioned in the *Springbank Hill Area Structure Plan* and as encouraged by policies of the *Municipal Development Plan*. Further, the proposal achieves a more efficient use of land and infrastructure, on multiple parcels where there was traditionally fragmented ownership, by accommodating a modest increase of density in residential districts surrounding a regional stormwater management facility and adjoining an enhanced trail network.

ATTACHMENT(S)

1. Applicant's Submission
2. Proposed Land Use District Map
3. Proposed Outline Plan
4. Community Association Letter

Applicant's Submission

2019 January 08

On behalf of Shane Communities ('Shane') and Slokker Canada West ('Slokker'), Stantec Consulting Ltd. ('Stantec') is pleased to submit the following Outline Plan ('OP') and Land Use Redesignation ('LUR') application for the lands legally described as PLAN 3056AC, BLOCKS 17, 18, 19, 20, 22, and 23, municipally addressed as 2232, 2334, and 2436 85 ST SW, 8334 and 8484 Mystic Ridge GA SW, and 2435 81 ST SW.

PLAN AREA CONTEXT

The Outline Plan is located within the community of Springbank Hill, bound by 85th Street SW to the west, 81st Avenue SW to the east, and Mystic Ridge Gate SW to the south. The subject lands total ± 11.48 ha (± 28.36 ac) and are divided among six parcels. The subject lands contain several challenges related to engineering, servicing, and overall development pattern considerations given the topography and existing low-density built form context within Springbank Hill.

BACKGROUND

The original application for LOC2018-0101 was submitted on May 4, 2018 for the lands legally described as Plan 3056AC, Block 19, 22, and 23 on behalf of Shane. Through 2018, Stantec and Shane worked with Administration to address comments and discuss proposed solutions to challenges identified through the Detailed Team Review (DTR) process for the three parcels.

With the significant stormwater and servicing constraints in the Springbank Hill Area Structure Plan (ASP) area, landowners Shane and Slokker began pursuing the purchase of Blocks 17, 18, and 20 for placement of the ultimate west catchment area storm pond identified in the Springbank Hill Master Drainage Plan Final Report (Stantec, June 2017). This pursuit resulted in additional time being required to advance the plan. The City File Manager for LOC2018-0101 was notified that the response to Administration comments would be delayed while ongoing landowner discussions occurred, and that the project boundary may increase to accommodate the regional storm infrastructure should the acquisition be successful.

In February 2019, the sale of Blocks 17, 18, and 20 to Shane and Slokker was finalized, resulting in an expanded plan area boundary. This revised boundary put forward by Shane and Slokker delivered a working solution to the many storm and servicing challenges facing the Springbank Hill community as a whole.

DEVELOPMENT VISION

The Outline Plan has been designed to achieve or exceed several goals of the ASP and offers an ideal mix of distinct, high-quality dwellings which reflect the lifestyle and standard of the Springbank Hill community. The design is reliant upon integration of an ultimate storm and servicing solution to the benefit of current and future residents of Springbank Hill. The Outline Plan provides a number of multimodal regional path connections and key servicing connections.

The Outline Plan takes advantage of both the local setting with unique topography, as well as captures the featured views of the Rocky Mountains where visible from the subject lands. Future residents of Spring Ridge will be able to access and explore west Calgary through quick and efficient access to the regional pathway network prevalent throughout the community. The

Municipal Reserve (MR) places logical and effective programming elements for users to get the most out of their experience, while balancing the prevalent engineering constraints and servicing requirements.

POLICY CONTEXT

The subject lands fall within the Low Density Contextual, Low Density, Policy Review Area, and Environmental Open Space areas of the Springbank Hill ASP. To comply with Low Density area policies, districts of Residential – Low Density Mixed Housing (R-G) and Multi-Residential – At Grade Housing (M-G) are proposed to facilitate the residential components of the Outline Plan. Single detached dwellings are envisioned as the primary built form throughout the R-G district, which also allows for a wide range of low-density residential development options in the form of rowhouse buildings and semi-detached dwellings. The M-G parcel in the northwest corner is envisioned for a townhome concept, matching that of the adjacent development to the north and contributing to the density targets set by the Springbank Hill ASP.

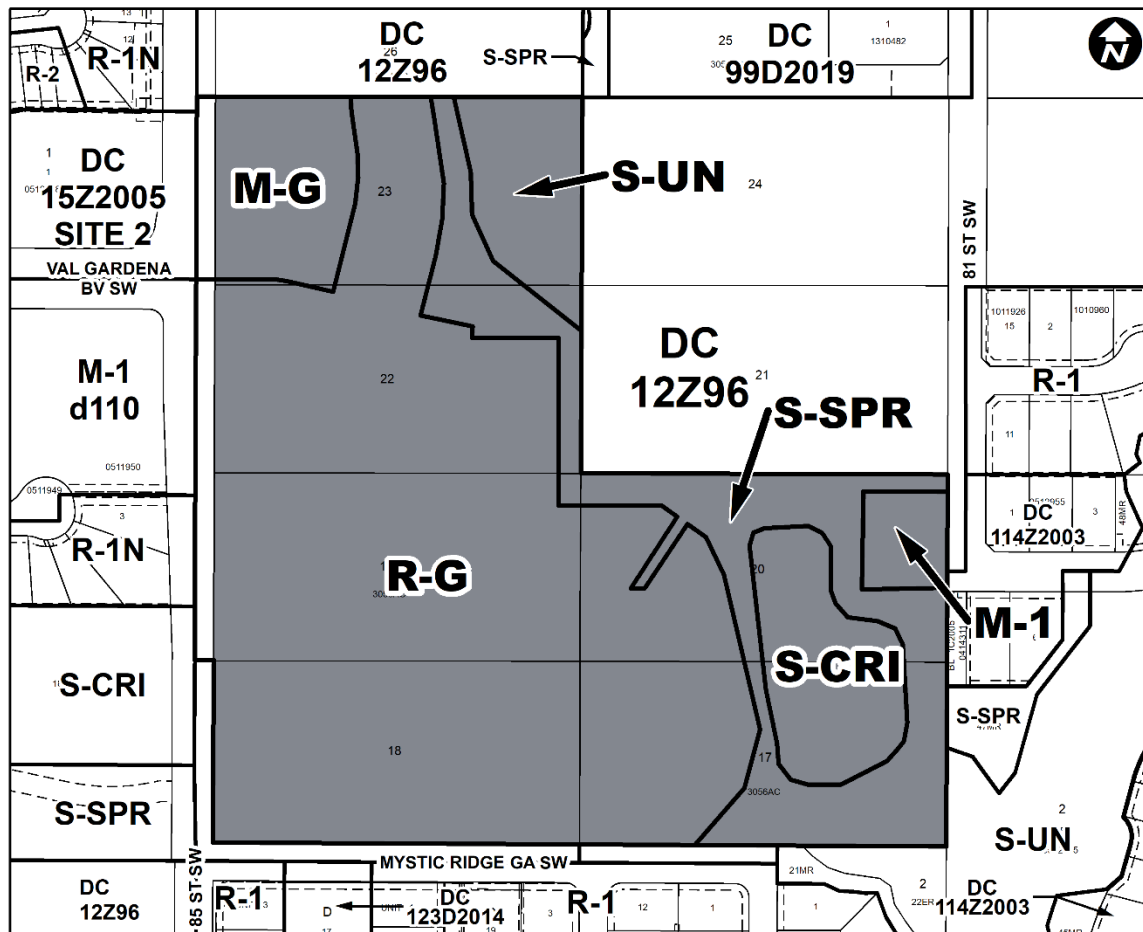
The Outline Plan provides an overall density of 17.0 units per hectare (6.9 units per acre) for the entire plan area. This anticipated density is significantly influenced by regional infrastructure requirements in the area, as a significant portion of the southeast area of the Outline Plan is required to accommodate a regional storm pond to the benefit of the larger Springbank Hill community. The anticipated density is also influenced by topographical constraints of the plan area as well as feedback received from the Springbank Hill Community Association emphasizing a desire for lower density dwellings in the Low Density Contextual area, also supported by Administration.

CLOSING

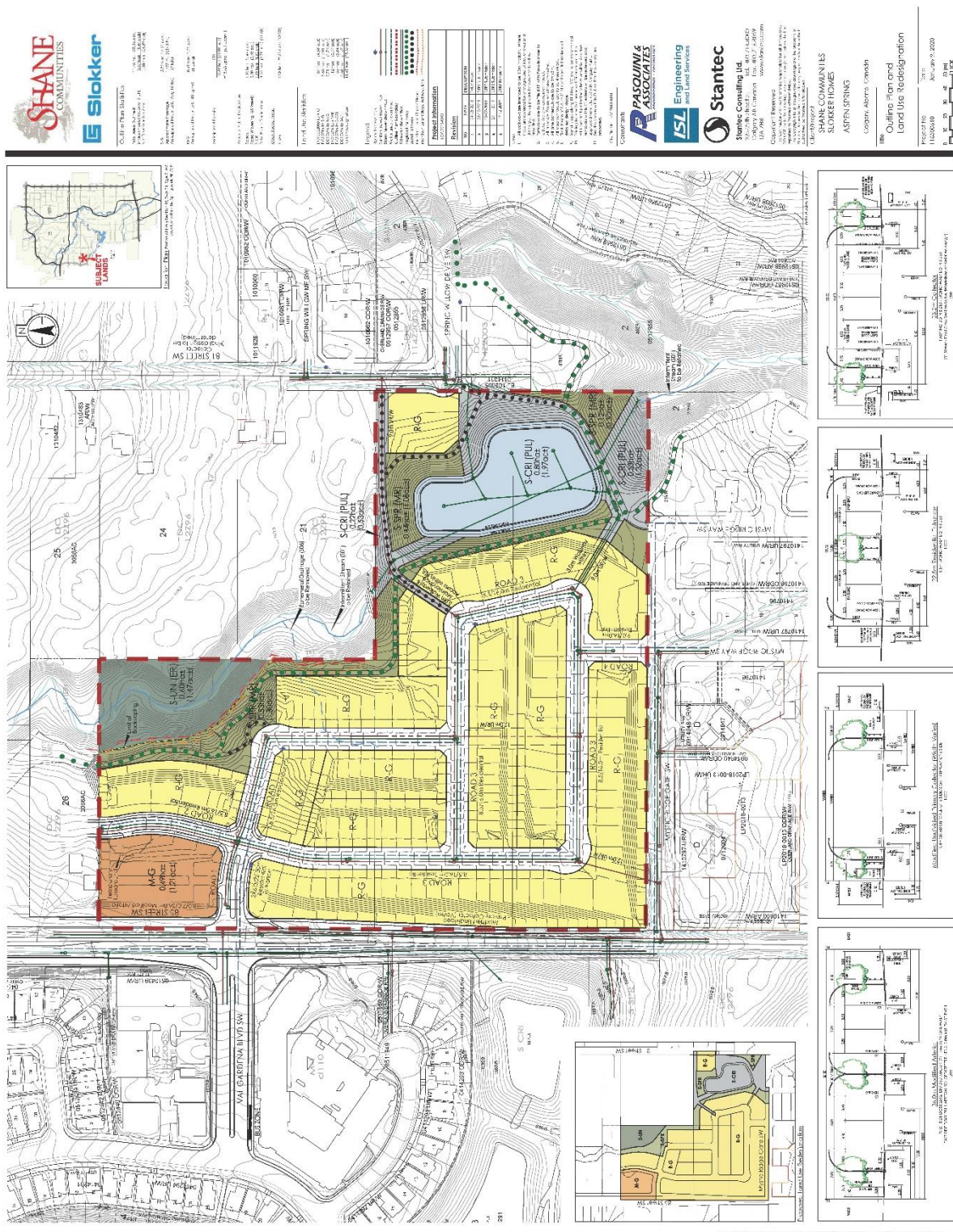
Throughout the application process, Stantec, Shane, and Slokker have consulted with the residents of Springbank Hill and worked collaboratively with Administration to ensure that the many technical challenges of the Outline Plan are addressed to the best possible degree. We are confident that the plan presented will provide quality, contextually sensitive, and complimentary development to the community of Springbank Hill, and bring an important piece of storm infrastructure online to service adjacent developments within the Springbank Hill ASP area.



Proposed Land Use District Map



Proposed Outline Plan



Community Association Letter

2019 January 09 – received by email

Dear Morgan Huber,

I am writing on behalf of the Springbank Hill Community Association in regards to Application Notice LOC2018-0101.

As a community association our role is to advocate for our members and all residents of our community, and to help build a safe, active and vibrant community. We wish to encourage leading edge developments that are aligned with the vision of the MDP, supported by an achievable infrastructure plan, and respectful of the existing fabric of our community.

The community appreciates that the applicant is working with City Parks to incorporate usable public space and pathways within the storm pond solution. We understand that discussions are still ongoing, and we hope to engage with the applicant and have more formal plans prior to the scheduled presentation at City Council in February.

The community association is supportive overall of the application, but we would like to raise certain concerns.

1. Density

In review with City Planning, we understand the policies applied to the application. We also understand that the overall density of the application are within the ASP zone guidelines. We would like to identify two potential concerns.

- The southern and part of the eastern edge of the application is within the low density contextual zone. The applicant is asking for R-G zoning. In communication with both planning and the applicant, they have committed to respecting the density and build forms as defined in the low density contextual zone of the ASP. Our concern is that by allowing R-G, the applicant could at some future time request modifications, and using different build-forms could potentially increase density above what was envisioned in the ASP. We would prefer R-1 as a more appropriate zoning for the low density contextual area, as has been done in other applications that have areas within the low density context zone.

- On the northwest corner of the plan area near Val Gardena Boulevard SW and along 85th Street SW, we understand that there is a request for increased density from low density to medium density, representing an increase of approximately 80% over the approved ASP levels. We do understand the overall density of this application is within the ASP levels, but we are wondering the justification for this particular request. In discussions with the applicant, we understand that it is to support the existing neighbourhood node commercial area on the west side of 85th. The Shoppes of Montreaux. On its own merit this request makes sense, except this same applicant in LOC2018-0085 has requested ASP amendments to introduce additional mixed-use and higher density residential that is less than 300 meters away from this existing commercial area, suggesting to us that this will create competition rather than be supportive of the existing node.

2. Traffic

In recent meetings with the City Traffic department, our understanding is that the department reviews traffic submissions from the individual applicants, and through the process has an overall view of the traffic within the 190 acre study area. The resulting traffic volume on the overall road infrastructure is ranked with a grade from A (good) to F(failure). Our further understanding is that there are areas within the 190 acre study area where the anticipated service levels exceed thresholds developed by the city.

While our concern is not with this particular application, as it is within the ASP limits, as other applicants apply and receive additional density and incremental retail developments, our concern is that CPC and City Council might approve each individual plan such as this one without fully addressing the overall traffic issues.

In summary,

- The community association is cautiously supportive of this application, with the above noted concerns.
- The developer is adhering to many of the principles in the ASP, but as noted above, we would be more supportive of zoning that would ensure full adherence to the ASP.
- As noted, the community is concerned with the capacity of the overall traffic infrastructure within the 190 acre study area, and surrounding developments, and we are requesting that CPC and City Council place a higher emphasis on ensuring traffic issues are fully addressed within the entire study area when approving any applications within this ASP.

Sincerely,

Elio Cozzi (On behalf of the Planning Committee)
President, Springbank Hill Community Association

website: springbankhill.org

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0031

Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101(OP)

EXECUTIVE SUMMARY

The application was submitted on 2018 May 04 by Stantec Architecture on behalf of Wenzel Developments Inc (Shane Communities), Aspen Springs GP Ltd (Slokker Canada West), and SCW Wenzel JV Inc. This application provides the framework for the future subdivision and development of approximately 11.48 hectares (28.36 acres) on six contiguous residential acreage parcels in the southwest community of Springbank Hill. The proposed outline plan and associated land use redesignation application allow for the comprehensive development and subdivision of the subject lands where there was traditionally fragmented ownership including:

- residential developments of up to 13.0 metres in height (3 to 4 storeys) where the existing land use districts limits this site to country residential development;
- an anticipated 170 dwelling units in a mix of low and medium density residential building forms comprising of single detached, semi-detached, rowhouse and townhouse buildings (R-G, M-G);
- approximately 1.12 hectares (2.77 acres) of Municipal Reserve (MR) in the form of open space (S-SPR);
- approximately 0.60 hectares (1.47 acres) of Environmental Reserve (ER) in the form of natural areas to be conserved (S-UN);
- approximately 1.55 hectares (3.84 acres) for a regional stormpond facility to serve the broader community (S-CRI); and
- the location of future local and major roadways, utilities and services.

The proposed outline plan implements the policies of the *Municipal Development Plan* (MDP) and is in keeping with the objectives of the *Springbank Hill Area Structure Plan* (ASP). The associated land use redesignation application (CPC2020-0030), provides rationale to support the proposed outline plan.

A development permit application for stripping and grading has been submitted and is currently under review by Administration.

This application is also being considered in concert with a neighbouring land use redesignation, outline plan and road closure application to the north within the Springbank Hill community (CPC2020-0032 and CPC2020-0033) also on this Calgary Planning Commission agenda. This proposal accommodates commercial and residential development comprised of a total of 753 jobs and 226 dwelling units.

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ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission **APPROVE** the proposed outline plan, located at 2232, 2334, 2435 and 2436 - 85 Street SW and 8334 and 8484 Mystic Ridge Gate SW (Plan 3056AC, Blocks 23, 22, 20, 19, 17 and 18) to subdivide the 11.48 hectares \pm (28.36 acres \pm), with conditions (Attachment 1).

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

Stantec Architecture, on behalf of Shane Communities and Slokker Canada West, submitted the subject application along with the associated outline plan (CPC2020-0031) on 2018 May 04 and have provided a summary of their proposal in the Applicant's Submission (Attachment 2).

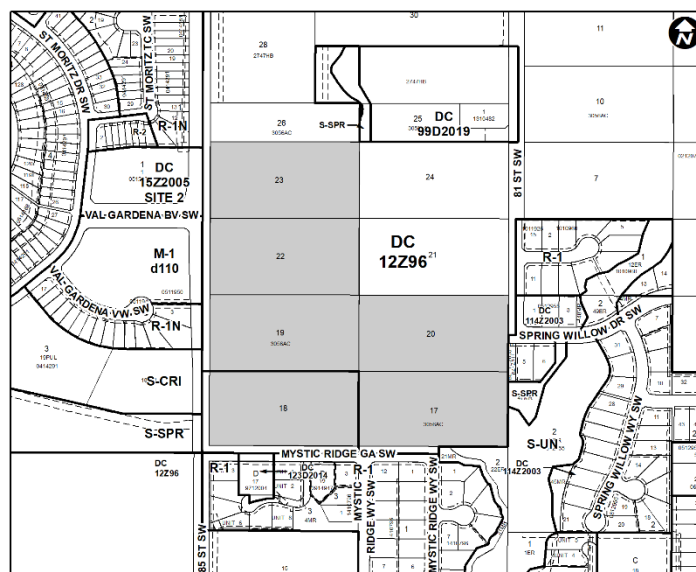
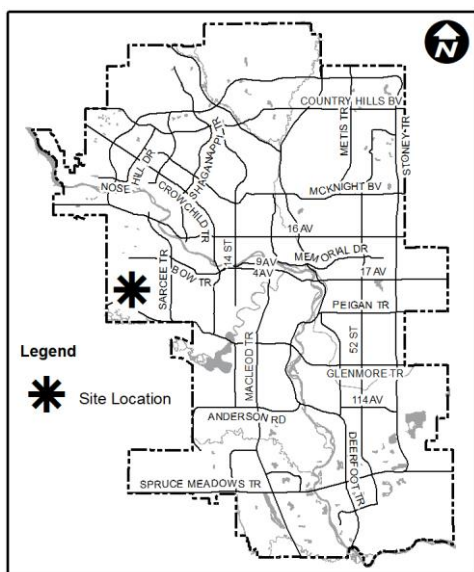
A development permit application for stripping and grading to store surplus topsoil on site (DP2018-3262) has been submitted and is currently under review by Administration. There is another land use amendment, outline plan and road closure application (CPC2020-0032 and CPC2020-0033) for consideration also on this Calgary Planning Commission agenda highlighted on the large orthophoto on page 3 of this report.

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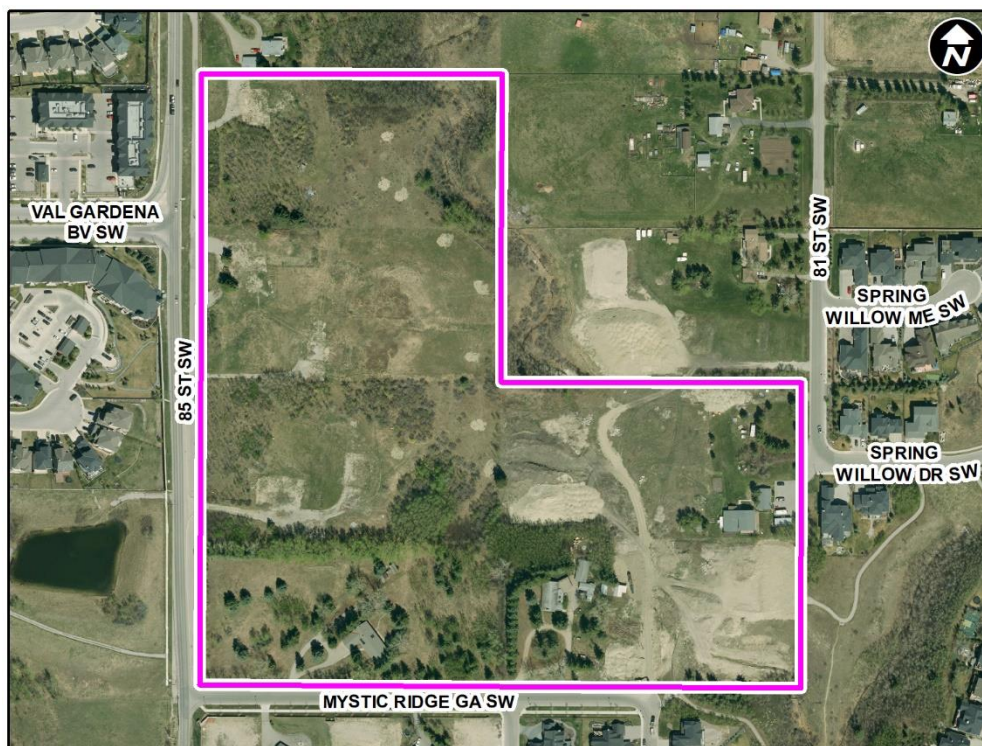
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Location Maps



Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101(OP)



Site Context

The subject site is situated in the southwest quadrant of the city. The site is bounded 81 Street SW to the east, Mystic Ridge Gate SW to the south and 85 Street SW to the west.

The subject site consists of six contiguous residential acreages with existing single detached dwellings on two of the parcels, while the rest remain undeveloped and vacant.

Figure 1 provides peak population statistics for the community of Springbank Hill. As identified in Figure 1, the community of Springbank hill reached its peak population in 2018 with 10,052 residents. The peak population statistics for 2019 were not available at the time this report was produced.

Figure 1: Community Peak Population

Springbank Hill	
Peak Population Year	2019
Peak Population	10,052
2018 Current Population	9,938
Difference in Population (Number)	-2.2%

Source: The City of Calgary 2018 Civic Census

Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101(OP)

Additional demographic and socio-economic information may be obtained online through the [Springbank Hill Community Profile](#).

INVESTIGATION: ALTERNATIVES AND ANALYSIS

The proposed outline plan (Attachment 3) and associated land use framework (Attachment 5) will enable a large-scale infill development that includes a range of housing types residential building forms on an undeveloped site in an established community. The following analysis considers the appropriateness of the proposed community design, range of uses and intensities in the context of relevant policy, sound planning principles and local citizen interests.

The implementation of the ASP's vision is being undertaken within the fragmented ownership structure of Springbank Hill; bearing a wide array of visions amongst many different landowners. Thus, the land use policies of this ASP provide a unifying vision guiding the collaboration of many different visions amongst all stakeholders. This proposal represents one of many applications that help implement the vision of this community's stakeholders; achieving Council's vision for a cohesively planned community.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Subdivision Design

The proposed subdivision design (Attachment 3), which comprises approximately 11.68 hectares (28.36 acres), is formed by a single multi-residential parcel, several low-density residential parcels, framed by an internal grid-pattern local street network.

The eastern half of the application area comprises a small pocket of low-density residential development consistent with the existing character and form of development along 81 Street SW. A large regional stormpond that serves all of the developable parcels between this application and 17 Avenue SW is located in the southeast corner of this application area. This is a crucial component of the *Springbank Hill ASP*, allowing for comprehensive development of a complete community rather than small development cells with localised stormwater management facilities.

The west half of the application area includes a single grade-oriented multi-residential development parcel (townhomes) while the remainder will be developed as single detached dwellings.

Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101(OP)

Open Space and Pathways

Open space is provided as S-UN with an Environmental Reserve (ER) designation comprising 0.60 hectares (1.47 acres) and S-SPR with an Municipal Reserve (MR) designation totaling 1.09 hectares (2.68 acres). ER is provided to preserve an intermittent stream in the northeast area of the subject site that continues the ravine system to the north which has also been protected as ER as part of LOC2018-0085.

MR will form a buffer for the intermittent stream, provide for regional and local pathway connections and contribute open space around the proposed stormwater pond. The intermittent stream disappears in the south portion of the site due to the presence of historical fill material, including construction debris, within the ravine. This area is identified as a Policy Review Area (PRA) in the *Springbank Hill ASP* as at the time of the ASP, there was uncertainty about the full development potential of the lands due to the fill. As part of this application, this fill area will be rehabilitated. The MR will meet the 10 percent MR requirement. The design of the MR is to take advantage of its proximity to the proposed stormwater pond which will have a looped pathway system around it.

The stormwater pond is a dry pond and there will be the opportunity for an informal play space in the bottom of the pond. The proposed pond and all stormwater related infrastructure (i.e. utility lines, outlets, access roads, dam structures, etc.) are proposed to be redesignated to an S-CRI District with a Public Utility Lot (PUL) designation. The outfall of the stormwater pond will terminate in the small remaining portion of the intermittent stream in the southeast portion of the subject site ER is not proposed for this area due to stormwater pond area requirements. The proposed Regional Pathway will link to the pathway provided as part of LOC2018-0085, continue to the south along the top of the ravine and connect to existing Regional Pathways to the east and south.

Land Use

The subject site is currently designated DC Direct Control District ([Bylaw 12Z96](#)) that accommodates country residential development. Its purpose is to maintain the character of the existing rural residential neighbourhood by establishing minimum size of parcels to be created through future subdivisions.

The subject site is proposed to be redesignated to various land uses that accommodate urban residential development typologies and building forms.

This land use amendment application (Attachment 2) proposes to redesignate the subject lands from DC Direct Control District (Bylaw 12Z96) to the following districts:

- Residential – Low Density Mixed Housing (R-G) District;
- Multi-Residential – At Grade Housing (M-G) District;
- Special Purpose – School, Park and Community Reserve (S-SPR) District;
- Special Purpose – City and Regional Infrastructure (S-CRI) District; and
- Special Purpose – Urban Nature (S-UN) District.

Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101(OP)

Density

This outline plan will accommodate development achieving both the *MDP* and *Springbank Hill* ASP minimum density and intensity targets (population and jobs). This will support future transit and community amenities within the greater community of Springbank Hill.

Overall, this proposal will accommodate approximately 170 dwelling units, resulting in an anticipated density of 15.63 units per hectare (uph) for the full outline plan area. The proposed outline plan falls within the allowable range for both the low density residential and low density contextual residential land use are asset out in the *Springbank Hill* ASP, outlined in Table 1 below.

Table 1: Minimum and Anticipated Intensities

Land Typology	Minimum Required Density per ASP (uph)	Maximum Allowable Density per ASP (uph)	Anticipated Density	Minimum Required Intensity per ASP (population and jobs per hectare)	Anticipated Intensity (population and jobs per hectare)
Low Density Contextual	12	20	15.63	-	-
Low Density	20	37	24.2	-	-

Environmental

A Phase I Environmental Site Assessment (ESA) was submitted and was reviewed by Administration. No concerns were noted, however due to historical construction debris in the ravine, a report documenting the remediation activities will be required to be reviewed by Environmental & Safety Management prior to the affected tentative plan approval.

A Biophysical Impact Assessment (BIA) was prepared by Stantec Consulting Ltd, providing an assessment of existing site conditions. Key findings of the BIA include:

- The application area is located within the Foothills Parkland Natural Subregion and most of the Study Area is successional forest, grassland and shrubland vegetation communities.
- Two watercourses are in the application area including an intermittent stream and an ephemeral drainage.
- The intermittent stream and its adjacent riparian slope in the application area are proposed for retention within ER in the north portion of the site to preserve hydrological connectivity.
- The ephemeral drainage will not be retained as it is of moderate environmental significance.
- ER will not be proposed for the south portion of the intermittent stream adjacent to the proposed stormwater pond due to the stormwater pond area requirements.

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A Geotechnical Investigation was submitted that assessed general subsurface soil and groundwater conditions within the site. No significant concerns were identified by Administration.

A Deep Fills Reports will be required to be approved at either the subdivision or development permit stages.

Transportation

The application area is to be accessed from the west by 85 Street SW, from the south by Mystic Ridge Gate SW and from the east by 81 Street SW which connects to the outline plan (LOC2017-0386) also on this Calgary Planning Commission agenda.

Future transit connections (bus routes) will be accommodated along 85 Street SW. Cycling connectivity is provided via a system of off-street multi-use pathways, shared on-street cycling and connections to the regional pathway system. Within and adjacent to the outline plan area, the regional pathway system provides connections from the open space network west of the application area through to 81 Street SW and connections to the ravine and proposed storm pond.

A Transportation Impact Assessment (TIA) was submitted as part of the application and included known and anticipated future developments in the area. The TIA demonstrated the future development allowable under the proposed land uses functions within acceptable levels of service within the existing and expanded (future) network.

Utilities and Servicing

Water servicing will be provided through a connection to the water feeder main along 85 Street SW, and an existing connection to the water feeder main along Mystic Ridge Gate SW. The proposed Strathcona Flow Control Station, located at the intersection of 17 Avenue SW and 85 Street SW, must be in place before any utilities are operational or any construction permissions are granted. The Strathcona Flow Control Station is City funded infrastructure and is scheduled to be completed by Q2 2020.

A Regional Sanitary Servicing Study was provided by Pasquini & Associates and Urban Systems that includes all areas subject to the *Springbank Hill ASP*. This study identified downstream constraints. There are two regional options available to remove these constraints. The first option requires a developer/applicant funded extension, connecting to existing services along 85 Street SW and 81 Street SW. The second option is for the City to front-end a pilot project to upgrade the existing downstream sanitary mains to increase their capacity to accommodate the full build-out of the Springbank Hill study area. Some parcels may be allowed to proceed without upgrades, but will be required to provide securities, proportional to the parcel's associated flow rate, and developable area.

Outline Plan in Springbank Hill (Ward 6) at multiple addresses, LOC2018-0101(OP)

The subject site is within the approved Springbank Hill Master Drainage Plan (MDP) completed by Stantec in 2017. Ultimately, stormwater is to be managed in concert with the Springbank Hill Staged Master Drainage Plan. A regional storm pond within the plan area will support the west catchment of *Springbank Hill ASP* area.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners, the Springbank Hill Community Association (SHCA) and the application was advertised online. A total of nine letters from five adjacent landowners were received, along with a letter from the SHCA (Attachment 6). A summary of the perceived concerns includes:

- density;
- traffic;
- lack of adequate drainage in the area;
- request for playgrounds, ball diamonds or tennis courts in the community;
- negative health impacts associated with reduced green space in the community;
- proposed regional pathway alignment and lack of connectivity; and
- not wanting development to proceed until all of the servicing issues have been resolved.

Administration considered the relevant planning issues specific to the proposed redesignation and has determined the proposal to be appropriate. The proposal is compatible with respect to the surrounding neighbourhood and City policy.

Following Calgary Planning Commission, notifications for Public Hearing of Council, in relation to this land use amendment, will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (Statutory – 2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [*South Saskatchewan Regional Plan*](#) (SSPR) which directs population growth in the region to the Cities and Towns and promotes efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [*Interim Growth Plan*](#). The proposed land use amendment build on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

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Municipal Development Plan (Statutory – 2009)

[Map 1: Urban Structure](#) of the [Municipal Development Plan](#) (MDP) identifies the subject lands as Residential – Developing – Future Greenfield. The MDP provides guidance for the development of new communities through the policies of the ASP. The proposal meets the following MDP objectives (Section 3.6.2):

- providing a diversity of housing types;
- providing parks located throughout the community in walkable proximity to all residences; and
- creating an inter-connected, multi-modal street network.

Springbank Hill Area Structure Plan (Statutory – 2017)

The [Springbank Hill Area Structure Plan](#) (ASP) provides direction with detailed policies for future development of this community. The subject site comprises areas subject to the low density and low density contextual land use policies. The ASP also identifies portions of the site subject to an Environmental Open Space (EOS) Study Area. The proposal is in keeping with the objectives of the ASP.

Social, Environmental, Economic (External)

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed outline plan does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Risk Assessment

There are no known risks associated with this application.

REASON(S) FOR RECOMMENDATION(S):

The proposed outline plan serves to implement the objectives of the *Municipal Development Plan*, which supports the efficient use of land and infrastructure by providing an outline for the future subdivision of new residential districts, open spaces and regional stormwater management infrastructure recommended in the associated land use application. The proposal is in keeping with applicable policies of the *Municipal Development Plan* and the *Springbank Hill Area Structure Plan*, with amendments proposed through the associated Land Use Amendment application.

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ATTACHMENT(S)

1. Conditions of Approval
2. Applicant's Submission
3. Proposed Outline Plan
4. Subdivision Data Sheet
5. Proposed Land Use District Map
6. Community Association Letter

Conditions of Approval

The following Conditions of Approval shall apply:

Subdivision Services:

1. Prior to approval of any affected Tentative Plan and / or submission of construction drawings, the proposed street names shall be submitted and approved, to the satisfaction of the Subdivision Authority. The new street name will need Council approval prior to endorsement of the legal plan.
2. The existing buildings shall be removed prior to endorsement of the final instrument.
3. Relocation or removal of any utilities shall be at the developer's expense and to the appropriate standards.
4. If the total area for Roads & Public Utility Lot dedication is over 30%, note that compensation in the order of \$1 for over dedication is deemed to be provided.
5. The standard City of Calgary Party Wall Agreement regarding the creation of the separate parcels for semi-detached and rowhouse dwellings shall be executed and registered against the titles **concurrently with the registration of the final instrument**.
6. The Developer shall submit a density phasing plan with each Tentative Plan submission, showing the proposed phasing within the Outline Plan area and the projected number of dwelling units within each phase to demonstrate compliance with the required densities of the Springbank Hill Area Structure Plan.

Development Engineering:

7. The parcels shall be developed in accordance with the development restriction recommendations outlined in the following report(s):
 - Geotechnical Report – Springbank Hill Lands, prepared by McIntosh Lalani Engineering Ltd., dated August 10, 2018.
 - Post-Development Slope Stability Analysis – Spring Ridge Outline Plan, prepared by McIntosh Lalani Engineering Ltd., dated July 17, 2019 (File No. ML8207).
 - Deep Fills Report– Springridge Outline Plan, prepared by McIntosh Lalani Engineering Ltd., dated June 29, 2018.
 - Deep Fills Report – Spring Ridge Outline Plan – parcel 1, Calgary Alberta, prepared by McIntosh Lalani Engineering Ltd., dated September 4, 2019 (File No ML8207).
8. **Prior to the applicable surface construction approval or approval of the affected tentative plan**, the applicant shall provide a report confirming the remedial activities outlined in the report titled: *"Re: Construction Monitoring Proposal 8334 Mystic Ridge Gate SW and SW 2435 – 81 Street SW, Calgary, Alberta"* (Trace Associates, December 11, 2017).

All information submitted will be reviewed to the satisfaction of The City of Calgary (Environmental and Safety Management).

9. **Prior to the approval of the affected tentative plan**, submit a revision or a new electronic version of the *Deep Fills Report to the Development Engineering Generalist for the Deep Fills Report – Spring Ridge Outline Plan – Parcel 1 Calgary Alberta*, prepared by McIntosh Lalani Engineering LTD., dated September 4, 2019 (File No. ML 8207). The current report does not contain all the proposed outline plan lands. The report must be prepared by a qualified Geotechnical Engineer under seal and permit to practice stamp to the satisfaction of the Geotechnical Engineer, Roads. The report is to identify lots to be developed on fills in excess of 2.0m above original elevations within the Plan area. The report must also state whether the lots to be developed on these fills will require any specific development restrictions.

As indicated in the report (time lag areas), a Development and Geotechnical Covenant may be registered against the affected lot(s) concurrent with the registration of the final instrument/prior to release of the development permit, prohibiting the development of the lot(s), except in strict accordance with the development restriction recommendations in the Deep Fills Report.

10. **Prior to approval of the affected tentative plan**, submit a separate geotechnical report for the proposed stormwater pond (including a slope stability assessment of the pond side slopes and their connection to adjacent infrastructure and existing grades at plan boundaries).
11. **Prior to the endorsement of the affected tentative plan(s)**, submit two (2) copies of Structural Design Drawings and cross-sections for the retaining wall(s) prepared by a qualified Structural Engineer under seal and permit to practice stamp to the satisfaction of the Chief Structures Engineer, Roads. The intent of the drawings is to show the feasibility of the proposed retaining wall(s) at the location(s) indicated.
12. **Prior to endorsement of the affected tentative plan/development permit**, execute and register on all affected title(s) a geotechnical covenant by way of caveat prohibiting the development of the lands, except in strict accordance with the accepted Post-Development Slope Stability Analysis Report, prepared by McIntosh Lalani Engineering Ltd. (File No. ML8207), dated July 17, 2019. A copy of the above noted report should be attached to the covenant as Schedule A. **Prior to endorsement of the linen**, contact the Development Engineering Generalist to initiate work on the covenant.
13. **Prior to endorsement of the affected tentative plan/release of the affected development permit**, a Building and Development Restrictive Covenant and Maintenance and Access Agreement is to be registered by way of Caveat on all affected titles which will remain in full force and effect for the life of proposed retaining wall(s). A standard template of the agreement will be provided by the Development Engineering Generalist.

Provide the following documentation to the Development Engineering Generalist:

- a. Four (4) executed copies of the Restrictive Covenant,
- b. One (1) copy of the current Certificate of Title for all affected title(s),
- c. One (1) copy of a Corporate Search for all affected title(s), and
- d. Four (4) copies of a legal survey plan labeled "Restricted Development & Maintenance Access Easement Area."

14. **Prior to the approval of the first tentative plan**, confirm that the pond/dam infrastructure is contained within the public utility lands (PUL) as approved on the outline plan. The pond/dam report as submitted to Water Resources will be required to confirm that the infrastructure is located within PUL lands and not municipal reserve (MR).
15. **Prior to approval of the first tentative plan**, submit a Staged Master Drainage Plan (SMDP) to Water Resources that identifies the required capacity, alignments and land requirements for the storm water infrastructure. The report is to be prepared by a qualified Professional Engineer under seal and permit to practice stamp to the satisfaction of the City of Calgary, Water Resources. For further information contact Water Resources – Development Approvals, 403-268-5697.
16. The current plan shows stormwater infrastructure on the adjacent landowners property (culvert). Appropriate permissions from the neighbouring landowner **prior to approval of the tentative plan** and a Utility Right of Way on the adjacent landowners property will be required **prior to endorsement of the tentative plan**.
17. Register on all affected titles, a utility easement (or road plan where applicable) for the proposed public underground utilities (sanitary, storm, water) within the subject site **concurrent with the registration of the tentative plan**. A draft of the easement area and agreement shall be submitted to the satisfaction of the Manager, Infrastructure Planning, **prior to the endorsement of the tentative plan**.
18. **Prior to endorsement of the tentative plan**, update the regional sanitary servicing study to reflect the density increase from the overall Springbank Area Structure Plan area.

Note – The City will not fund the Sanitary Servicing Study. Once the new sanitary alignment to 85 Street SW is adopted, the study will be developer funded. The City will assist in cost recovery as contributing areas develop.
19. Servicing arrangements shall be to the satisfaction of the Manager Infrastructure Planning, Water Resources.
20. **Prior to endorsement of any Tentative Plan/prior to release of a Development Permit**, execute a Development Agreement. Contact the Subdivision Development Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email urban@calgary.ca.
21. Off-site levies, charges and fees are applicable. Contact the Subdivision Development Coordinator, Calgary Approvals Coordination for further information at 403-268-6739 or email urban@calgary.ca.
22. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument**, as per the Springbank Hill Landowner Report the Developer will be required to provide security for the future sanitary upgrades through the south Springbank area regarded as Option 'B'. This will be dependent on whether Option 'A' is a viable route with a sanitary sewer line running west to 85 St SW through the Springbank area and will also include cost sharing arrangements for the future storm pond and potentially the land to accommodate the pond and storm line to 85 St SW.

23. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument,** make satisfactory cost sharing arrangements with Montreux Development Inc. for part cost of the existing storm water wet pond constructed in Lot 18PUL and 19PUL in Block 3, that was paid for and/or constructed by Montreux Development Inc. and under Montreaux, Phase 01 (2004-031).
24. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument,** pay to Springbank Land Company Ltd., a portion of the cost, on a per hectare contributing basis, of the existing 85 Street S.W. Private Storm Trunk installed by Springbank Land through their Aspen Woods Phase 1, DA200-0025 subdivision.
25. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument,** make satisfactory cost sharing arrangements with Montreux Development Inc. for part cost of the existing watermain and surface improvements installed in 85 Street SW that was paid for and constructed by Montreux Development Inc. under Montreux, Phase 01 (2004-0031).
26. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument,** make satisfactory cost sharing arrangements with Sodeco Developments Ltd. for part cost of the existing watermain, sanitary sewer and storm sewer and surface improvements installed in Mystic Ridge Gate SW that was paid for by Sodeco Developments Ltd. under Springbank Hill, Phase 01 (2013-0026).
27. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument,** make satisfactory cost sharing arrangements with Spring Willow Development Corporation for part cost of the existing storm sewer and surface improvements installed in 81 Street SW that was paid for and constructed by Spring Willow Development Corporation under Springbank Hill, Phase 01 (2004-0045).
28. **Prior to release of the Development Permit or Prior to Endorsement of the final instrument,** make satisfactory cost sharing arrangements with Norcan Development Corporation for part cost of the existing watermain and sanitary sewer installed in 81 Street SW that was paid for and constructed by Norcan Development Corporation under Springbank Hill, Phase 01 (2009-0025).
29. The developer, at its expense, but subject to normal oversize, endeavours to assist and boundary cost recoveries shall be required to enter into an agreement to:
 - a) Install the offsite sanitary sewers, storm sewers and water mains and construct the offsite temporary and permanent roads required to service the plan area. The developer will be required to obtain all rights, permissions, easements or rights-of-way that may be required to facilitate these offsite improvements.
 - b) Construct the underground utilities and surface improvements within the east half of 85 Street SW, along the boundaries of the plan area.
 - c) Construct the onsite and offsite storm water management facilities (wet pond, wetlands, etc) to service the plan area according to the most current City of Calgary Standard Specifications Sewer Construction, Stormwater Management and Design Manual and Design Guidelines for Subdivision Servicing.

- d) The Developer shall make payment to the City for their share of the East Springbank Servicing Study.

Transportation:

30. **In conjunction with the applicable Subdivision Plan**, the Developer shall register a road plan for road widening required for 85 St SW, to the satisfaction of the Director of Transportation Planning.
31. **Prior to endorsement** of applicable tentative plan, a noise analysis report must be submitted to and approved by Transportation Planning for the residential development adjacent to 85 St SW.
32. **In conjunction with each Tentative Plan**, the Developer shall register road plans for Collector or higher standard roadways within the subject lands to the satisfaction of the Director, Transportation Planning that provides continuous active modes and vehicle routing through the community with two points of public access around the tentative plan boundary to the arterial road network.

The continuous collector road network is required to ensure that efficient Transit routing through the plan area(s) can be accommodated, while the two points of access to the plan area(s) ensures residents will have two routes into and out of the area, in the event of emergencies or road closures, and to ensure availability of capacity at the plan area access points.

33. **In conjunction with the applicable Tentative Plan or Development Permit**, phasing plans shall be submitted as a component of the Tentative Plan or Development Permit submission package to the satisfaction of Transportation Planning and Roads, for the staged development of Collector standard and above roadways, inclusive of the staged development of intersections to the satisfaction of the Director, Transportation Planning and Roads.
34. **In conjunction with the applicable Tentative Plan**, the Developer shall submit cross-sections, for the interim and ultimate grades for 85 St SW adjacent to the outline plan boundary. Cross-sections shall indicate and provide dimensions for any proposed road widening. Adjustments to the tentative plan boundary may be required to accommodate all necessary right-of-way requirements.
35. **In conjunction with the applicable tentative plan stage**, the developer is responsible to build the easterly half of 85 Street along with intersection at its own cost.
36. Future revisions, addendums, or submissions within the development area are subject to further Transportation review and analysis, at the discretion and satisfaction of the Director, Transportation Planning.
37. All roads and intersections shall be designed to Calgary Complete Street Guideline standards, constructed at the expense of the Developer, and to the satisfaction of Directors, Roads and Transportation Planning.
38. Accesses for multi-family sites shall be designed to the satisfaction of the Director, Transportation Planning.

39. **In conjunction with the applicable Tentative Plan or Development Permit** for the staged construction of the road network, transit stops shall be provided to the satisfaction of the Director, Transit and the Director, Transportation Planning. All bus zones shall be located:
 - A. Where commercial areas are concentrated;
 - B. Where the grades and site lines are compatible to install bus zones; and
 - C. Where pedestrian walkways, pathways, and roadway crossing opportunities are provided.
40. **In conjunction with each Tentative Plan or Development Permit**, Transit shelter(s) shall be provided as stipulated by the Director, Transit and the Director, Transportation Planning and shall be supplied and installed at the Developer's sole expense. The shelter(s) shall be installed by Transit upon receipt of satisfactory payment.
41. **Prior to the release of any permits or Permissions to Construct**, the Developer shall enter into a Construction Access Roads Agreement with Roads Maintenance.
42. **Prior to the approval of affected Tentative Plan**, the developer shall ensure that all pathways from MR lands have a direct pedestrian connection by sidewalk or pathway to the desired crossings at the intersections.
43. **Prior to the approval of first Tentative Plan**, confirm construction/cost obligations for the east half of 85 Street with Public Infrastructure and any offsite/downstream improvements with Transportation Planning.
44. All community entrance features must be located on a private site.
45. **Prior to approval of Construction Drawings and Permissions to Construct Surface improvements**, the developer shall provide signed copies of backsloping agreements for any backsloping that is to take place on adjacent lands (owned privately or owned by the City).
46. **Prior to approval of first Tentative Plan**, the applicant shall provide cross-sections, drawn to scale and dimensioned from property line and lip-of-gutter showing existing, interim and ultimate grades for 85 Street. Cross-sections shall indicate and provide dimensions for any proposed road widening.
47. Temporary oil and gravel bus turnaround / cul-de-sac with a minimum radius of 15.25 meters is required at the terminus of each construction phase. Where the developer intends to fence the turnaround, the minimum radius shall be increased to 16.25 meters. If road construction and/or construction phasing affects the operations of transit service, the Developer is required to provide an interim transit route replacement, to the satisfaction of the Director, Transit and the Director, Transportation Planning.
48. At tentative plan / subdivision stage, all parcels that are adjacent to the 25.00m bus zone shall have caveats registered on title informing of the adjacent bus zone. Where any parcel is adjacent to the 9.0m bus pad to be constructed at each zone, the caveat shall further prohibit the construction of a driveway or any other site access across the bus pad.

49. No direct vehicular access (**driveways**) shall be permitted to or from 85 St SW and a restrictive covenant shall be registered concurrent with the registration of the final instrument to that effect at the **applicable** Tentative Plan stage.

Parks:

50. **Prior to the approval of the affected tentative plan**, finalized concept plans including cross-sections for all MR sites shall be submitted for Calgary Parks' review and approval. The finalized concepts are to be revised as follows:
- a. Indicate geogrid locations and identify allowable planting within proposed MR spaces.
 - b. Indicate via a white dashed line on the plan, all backsloping into ER extents and provide a Habitat Restoration Plan for these areas.
 - c. Shadow in LOC2018-0085 (Slokker) along with the proposed Regional Pathway and to ensure MR and ER extents match.
 - d. Clearly identify all existing Regional Pathways to the east/south – labelling accordingly.
 - e. Show a trail or pathway to the bottom of the stormwater pond along with soccer goal posts. Work with Calgary Parks and Development Engineering/Water Resources to determine the best alignment as well as other details.
 - f. Show a detail of the interface of the stormwater pond outfall and the Intermittent Stream to be retained

In order for private back of lot drainage (only sheet flow) to be accepted by Calgary Parks into credit parcels (MR/ER), the following applies and must be provided via cross-sections:

- g. Roof drainage to be noted to the front of the lots.
 - h. Increased topsoil (300mm or greater) in the back of lots.
 - i. A vegetated swale (within the private lots).
 - j. Provide a note indicating no point source drainage into MR/ER extents.
 - k. In the case of a Regional Pathway, native shrubs are to be planted between the private property line and Regional Pathway.
 - l. Detail the mitigation strategy for private back of lot drainage in terms of water flow and the Regional Pathway (in terms of causing unsafe conditions in the summer – algae bloom and in the winter due to constant wetting and icing of the pathway surface).
51. **Prior to approval of the affected tentative plan**, work with Parks and Transportation to confirm the location of the Regional Pathway. A Bikeway (on street signed route) connection along Aspen Spring Green SW and Aspen Spring Circle SW may be considered in place of a portion of the Regional Pathway (pedestrians would use sidewalks) to address potential future issues – i.e. slope stability, proposed retaining walls within MR extents and appropriate pathway clearances and buffers.
52. **Prior to approval of the affected tentative plan**, If any additional area is required for Stormwater infrastructure - (UR/W – Utility Right of Ways, OGS, CS, Inlets and Outlets, Dam Structures and Maintenance Access Roads/Turnarounds, etc.) in an area that is currently designated as MR, and will impact/reduce the amount of MR to less than 10% of the net developable area, the applicant is to work with Calgary Parks on reconciling this difference in the form of increased MR elsewhere or a cash in lieu payment to make up for the shortfall.

53. Regional and Local Pathways are to be at grades less than 8%.
54. Regional Pathway tie-ins to the existing and proposed Regional Pathway's in the area are to be at the cost of the developer.
55. All stormwater infrastructure (utilities, OGS, CS, Inlets/Outlets, Dam structure, Maintenance Access paths/roads and turnarounds, etc.) and utilities are to be designated as PUL (Public Utility Lot), unless otherwise approved by the Director of Parks.
56. **Prior to endorsement of the affected Tentative Plan**, arrange a meeting through the Parks CPAG Generalist to Field Fit all Local and Regional Pathways.
57. Until receipt of the *Water Act* approval by the applicant from Alberta Environment, the drainage (s) affected by the development boundaries shall not be developed or disturbed in anyway and shall be protected in place.
58. Pursuant to Part 4 of the *Water Act* (Alberta), the applicant shall promptly provide Parks with a copy of the *Water Act* approval, issued by Alberta Environment, for the proposed drainage (s) disturbance.
59. The developer may require a Landscape Maintenance Agreement or Optional Amenities Agreement for the landscaping of any park elements (i.e. Parkour Training Modules, etc.) above the minimum standard. Contact the Parks CPAG Generalist for information regarding this.
60. During Engineering Construction Design, ensure that the street light cable has a 1.0 metre minimum offset from the proposed boulevard trees.
61. No surface or sub-surface encroachments (including retaining walls and retaining wall footings) are permitted into within (MR/ER) park parcels without approval from Calgary Parks.
62. All retaining walls are to be located on private property and the maintenance of retaining walls are to be done within private property limits, unless where these have been agreed upon by Calgary Parks.
63. **Prior to endorsement of the Tentative Plan**, the developer may be required to enter into an endowment agreement to fund maintenance and lifecycle cost for retaining walls, geogrids and concrete seating areas within MR parcels.
64. **Prior to endorsement of the Tentative Plan**, for the proposed retaining walls within private property, provide written confirmation that ER land will not be disturbed during construction of these.
65. **Prior to endorsement of the Tentative Plan**, Landscape Construction Drawings that are reflective of the subject Tentative Plan for the proposed Municipal Reserve lands are to be submitted to the Parks Coordinator - Development Nathan Grimson at (403) 268-2367 or Nathan.Grimson@calgary.ca for review and approval prior to construction.

66. No backsloping is permitted within MR/ER extents without approval from Calgary Parks.
67. Construct all regional pathway routes within and along the boundaries of the plan area according to Parks' **Development Guidelines and Standard Specifications – Landscape Construction – DGSS** (current version), including setback requirements, to the satisfaction of the Director, Parks.
68. As per Parks DGSS Section 7.12, a Professional Engineer shall stamp all drawings for retaining walls 1.0m in height and higher. The Developer must ensure that the proposed retaining wall conforms to all applicable City Bylaws and provincial building codes.
69. Parks DGSS Section 6.1.2.2, states that 1.0m safety and setback clearance is required on either side of a Regional Pathway.
70. **Prior to the approval of the affected tentative plan**, the developer shall ensure the boundaries of the Environmental Reserve are surveyed. An onsite meeting shall be arranged to ensure the boundaries are approved by Parks. This meeting should be coordinated through the Parks Planning Generalist Curesha Moodley at 403-268-5635. A plan illustrating the surveyed ER boundaries must be provided to Parks in advance of the onsite meeting.
71. No disturbance of Environmental Reserve lands is permitted without written permission from the Parks Generalist for this area. The Parks Generalist (listed above) can be reached at 403-268-5635.
72. **Prior to the approval of the affected tentative plan**, the developer shall confirm fencing requirements adjacent to MR, MSR and ER parcels to the satisfaction of the Director, Calgary Parks.
73. **Prior to approval of the first tentative plan or stripping and grading permit** (whichever comes first), it shall be confirmed that grading of the development site will match the existing grades of adjacent parks and open space (MR and/or ER), with all grading confined to the private property, unless otherwise approved by Parks. The developer shall minimize stripping and grading within the Environmental Reserve. Any proposed disturbance within the ER, including that for roadways, utilities, and storm water management infrastructure, shall be approved by Calgary Parks **prior to stripping and grading**.
74. Rehabilitate all portions of the MR/ER lands along the boundaries of the plan area that are damaged as a result of this development, all to the satisfaction of the Director, Parks.
75. The developer shall submit a detailed Habitat Restoration Plan including a maintenance schedule for each Environmental Reserve proposed to be impacted by any construction. The Plan should indicate how it will be rehabilitated and restored. The restored area(s) shall be maintained by the developer until it is established and approved by Parks. The developer shall install and maintain a temporary construction fence on the private property line with the adjacent Environmental Reserve to protect public lands **prior to the commencement of any stripping and grading related to the site** and during all phases of construction. Contact the Parks Development Inspector Jackie Swartz - Jackie.Swartz@calgary.ca or (403) 620-3216 to approve the location of the fencing prior to its installation.

76. **Prior to the approval of a stripping and grading permit, a Development Agreement or a subject area Tentative Plan**, Parks requires details pertaining to the total limit of disturbance resulting from the proposed development in its entirety. Prior to approval of the related Stripping and Grading Permit or Engineering Construction Drawings, whichever submitted first, the developer shall install Environmental Reserve (ER) protection measures around the drainage/ravine to be retained in order to prevent excessive overland drainage and siltation onto said areas during all phases of construction, in accordance with The City's "Guidelines for Erosion and Sediment Control", to the satisfaction of the Manager of Urban Development and the Director of Calgary Parks. Contact the Parks Development Inspector Jackie Swartz - Jackie.Swartz@calgary.ca or (403) 620-3216 for an inspection to approve the location prior to commencement of Stripping and Grading activities.
77. **Prior to approval of the related Stripping and Grading Permit or Engineering Construction Drawings**, whichever submitted first, the developer shall install Environmental Reserve (ER) protection measures around the drainage/ravine to be retained in order to prevent excessive overland drainage and siltation onto said areas during all phases of construction, in accordance with The City's "Guidelines for Erosion and Sediment Control", to the satisfaction of the Manager of Urban Development and the Director of Calgary Parks. Contact the Parks Development Inspector Jackie Swartz - Jackie.Swartz@calgary.ca or (403) 620-3216 for an inspection to approve the location prior to commencement of Stripping and Grading activities.
78. Stormwater or other drainage from privately-owned parcels onto adjacent municipal reserve, environmental reserve or municipal school reserve parcels is not permitted, except where approved by Calgary Parks. Any unauthorized drainage from private parcels onto adjacent municipal reserve, environmental reserve or municipal school reserve parcels must be resolved to the satisfaction of the Director, Parks and any damage resulting from such drainage will require restoration at the developer's expense.
79. The developer shall submit detailed Engineering Construction Drawings and Landscape Construction Drawings for the proposed stormwater pond to both Water Resources and Calgary Parks for review.
80. **Prior to the approval of the affected Tentative Plan**, it shall be demonstrated through concepts and cross-sections that the local and regional pathways around the proposed stormwater pond are located outside of the high water line.
81. Any development or grading related to permanent disturbance which results from storm water infrastructure within lands designated as environmental reserve, requires approval from the Director of Calgary Parks.

Applicant's Submission

2019 January 08

On behalf of Shane Communities ('Shane') and Slokker Canada West ('Slokker'), Stantec Consulting Ltd. ('Stantec') is pleased to submit the following Outline Plan ('OP') and Land Use Redesignation ('LUR') application for the lands legally described as PLAN 3056AC, BLOCKS 17, 18, 19, 20, 22, and 23, municipally addressed as 2232, 2334, and 2436 85 ST SW, 8334 and 8484 Mystic Ridge GA SW, and 2435 81 ST SW.

PLAN AREA CONTEXT

The Outline Plan is located within the community of Springbank Hill, bound by 85th Street SW to the west, 81st Avenue SW to the east, and Mystic Ridge Gate SW to the south. The subject lands total ± 11.48 ha (± 28.36 ac) and are divided among six parcels. The subject lands contain several challenges related to engineering, servicing, and overall development pattern considerations given the topography and existing low-density built form context within Springbank Hill.

BACKGROUND

The original application for LOC2018-0101 was submitted on May 4, 2018 for the lands legally described as Plan 3056AC, Block 19, 22, and 23 on behalf of Shane. Through 2018, Stantec and Shane worked with Administration to address comments and discuss proposed solutions to challenges identified through the Detailed Team Review (DTR) process for the three parcels.

With the significant stormwater and servicing constraints in the Springbank Hill Area Structure Plan (ASP) area, landowners Shane and Slokker began pursuing the purchase of Blocks 17, 18, and 20 for placement of the ultimate west catchment area storm pond identified in the Springbank Hill Master Drainage Plan Final Report (Stantec, June 2017). This pursuit resulted in additional time being required to advance the plan. The City File Manager for LOC2018-0101 was notified that the response to Administration comments would be delayed while ongoing landowner discussions occurred, and that the project boundary may increase to accommodate the regional storm infrastructure should the acquisition be successful.

In February 2019, the sale of Blocks 17, 18, and 20 to Shane and Slokker was finalized, resulting in an expanded plan area boundary. This revised boundary put forward by Shane and Slokker delivered a working solution to the many storm and servicing challenges facing the Springbank Hill community as a whole.

DEVELOPMENT VISION

The Outline Plan has been designed to achieve or exceed several goals of the ASP and offers an ideal mix of distinct, high-quality dwellings which reflect the lifestyle and standard of the Springbank Hill community. The design is reliant upon integration of an ultimate storm and servicing solution to the benefit of current and future residents of Springbank Hill. The Outline Plan provides a number of multimodal regional path connections and key servicing connections.

The Outline Plan takes advantage of both the local setting with unique topography, as well as captures the featured views of the Rocky Mountains where visible from the subject lands. Future residents of Spring Ridge will be able to access and explore west Calgary through quick and efficient access to the regional pathway network prevalent throughout the community. The

Municipal Reserve (MR) places logical and effective programming elements for users to get the most out of their experience, while balancing the prevalent engineering constraints and servicing requirements.

POLICY CONTEXT

The subject lands fall within the Low Density Contextual, Low Density, Policy Review Area, and Environmental Open Space areas of the Springbank Hill ASP. To comply with Low Density area policies, districts of Residential – Low Density Mixed Housing (R-G) and Multi-Residential – At Grade Housing (M-G) are proposed to facilitate the residential components of the Outline Plan. Single detached dwellings are envisioned as the primary built form throughout the R-G district, which also allows for a wide range of low-density residential development options in the form of rowhouse buildings and semi-detached dwellings. The M-G parcel in the northwest corner is envisioned for a townhome concept, matching that of the adjacent development to the north and contributing to the density targets set by the Springbank Hill ASP.

The Outline Plan provides an overall density of 17.0 units per hectare (6.9 units per acre) for the entire plan area. This anticipated density is significantly influenced by regional infrastructure requirements in the area, as a significant portion of the southeast area of the Outline Plan is required to accommodate a regional storm pond to the benefit of the larger Springbank Hill community. The anticipated density is also influenced by topographical constraints of the plan area as well as feedback received from the Springbank Hill Community Association emphasizing a desire for lower density dwellings in the Low Density Contextual area, also supported by Administration.

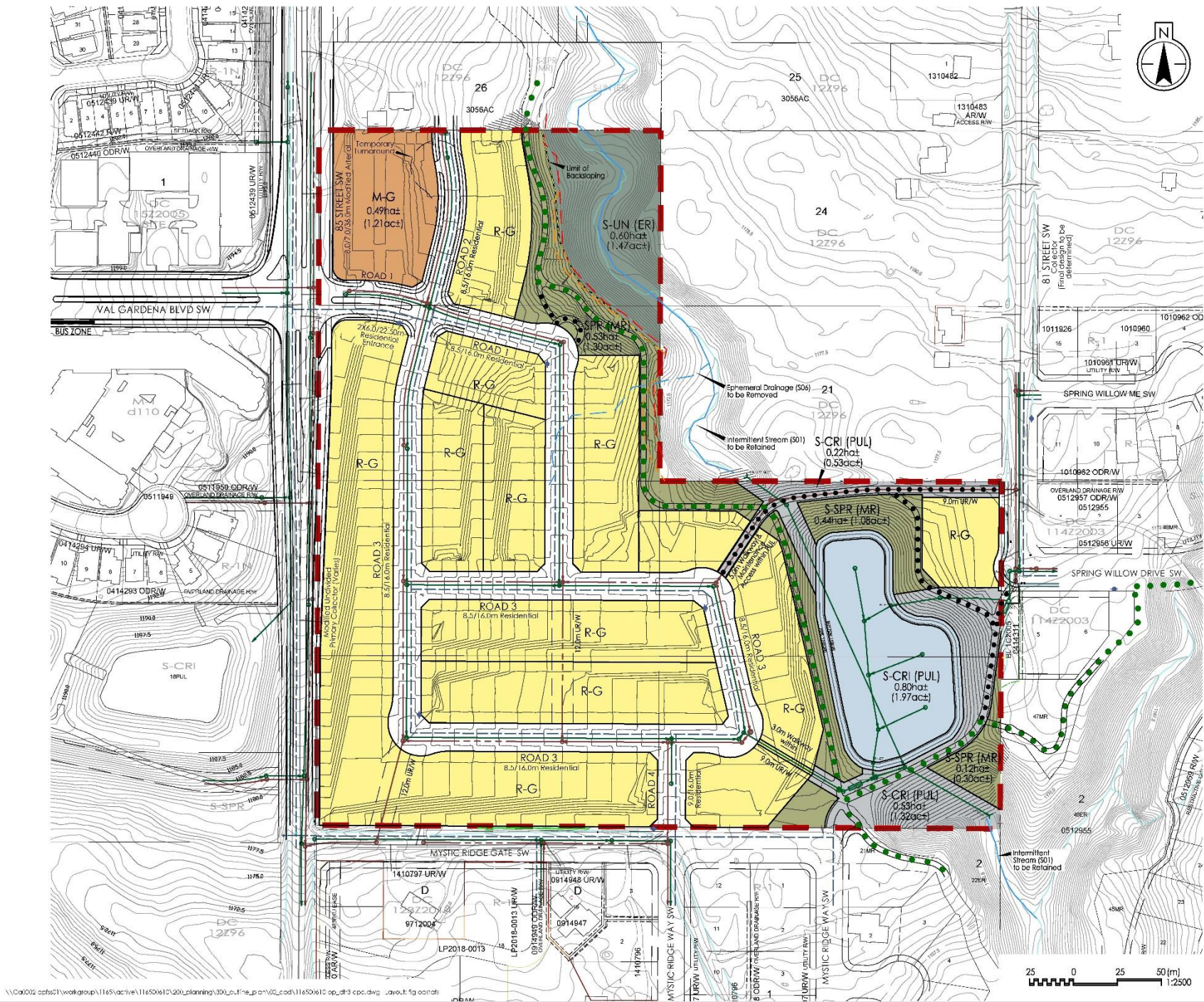
CLOSING

Throughout the application process, Stantec, Shane, and Slokker have consulted with the residents of Springbank Hill and worked collaboratively with Administration to ensure that the many technical challenges of the Outline Plan are addressed to the best possible degree. We are confident that the plan presented will provide quality, contextually sensitive, and complimentary development to the community of Springbank Hill, and bring an important piece of storm infrastructure online to service adjacent developments within the Springbank Hill ASP area.



Proposed Outline Plan

Proposed Outline Plan



Outline Plan Statistics

Total Area Outlined	11.48 ha± (28.36 ac±)
Environmental Reserve (S-UN)	0.60 ha± (1.47 ac±)
Net Developable Area	10.88 ha± (26.89 ac±)

R-G	5.75 ha± (14.21 ac±)
Approximate Frontage	1,477 m± (4,845 ft±)
Anticipated No. of Lots (Avg 10.6m)	139 lots±

M-G	0.49 ha± (1.21 ac±)
Anticipated No. of Lots (63 upha)	31 units±

Anticipated Density	170
	10.88 ha± (26.89 ac±)
	=15.63 upha± (6.3 upac±)

Areas of Public Dedication	
Roads	1.80 ha± (4.48 ac±)
Road Widening (85 Street)	0.20 ha± (0.49 ac±)
S-CRI	1.55 ha± (3.82 ac±)
Total Public Dedication	3.55 ha± (8.79 ac±) (32.6%)

Open Space Areas	
S-SPR	1.09 ha± (2.68 ac±) (10.0%)

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FIGURE 2.0 | ASPEN SPRING

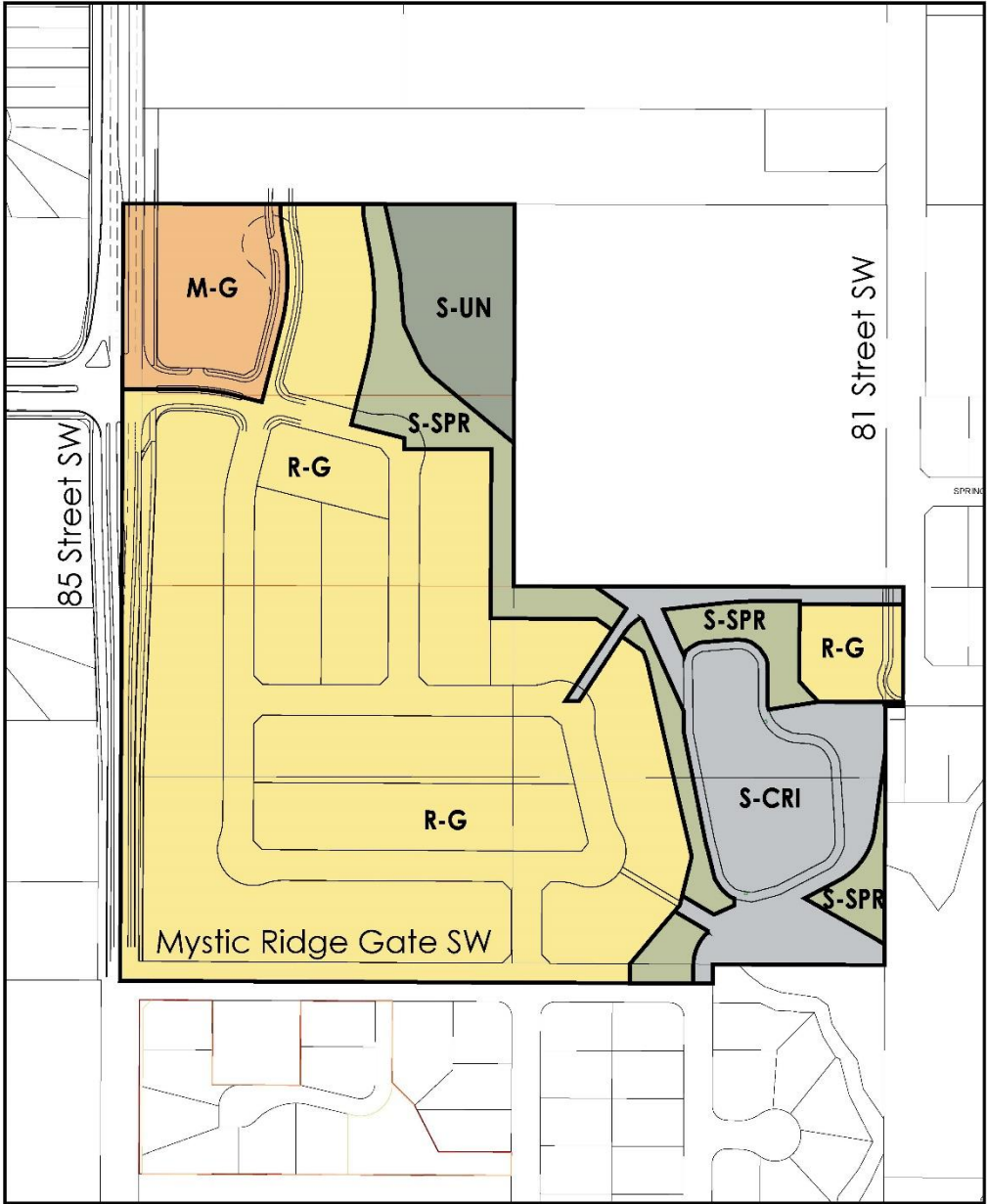
Outline Plan



Jan 2020

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Proposed Outline Plan



Land Use Statistics

DC122Z2003 to R-G	1.87 ha±	(4.63 ac±)
DC12Z96 to R-G	5.63 ha±	(13.91 ac±)
DC12Z96 to M-G	0.71 ha±	(1.74 ac±)
DC12Z96 to S-SPR	1.12 ha±	(2.77 ac±)
DC12Z96 to S-CRI	1.55 ha±	(3.84 ac±)
DC12Z96 to S-UN	0.60 ha±	(1.47 ac±)
Total Redesignation	11.48 ha±	(28.36 ac±)

Proposed Land Use Redesignation

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FIGURE 3.0 | ASPEN SPRING

Land Use Redesignation Statistics

Stantec

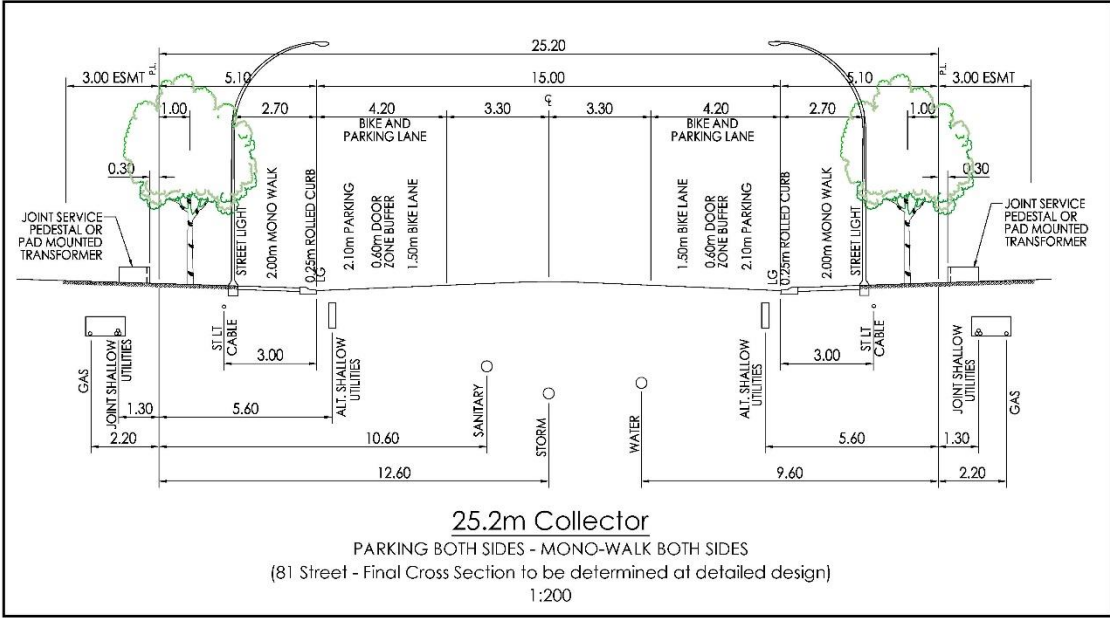
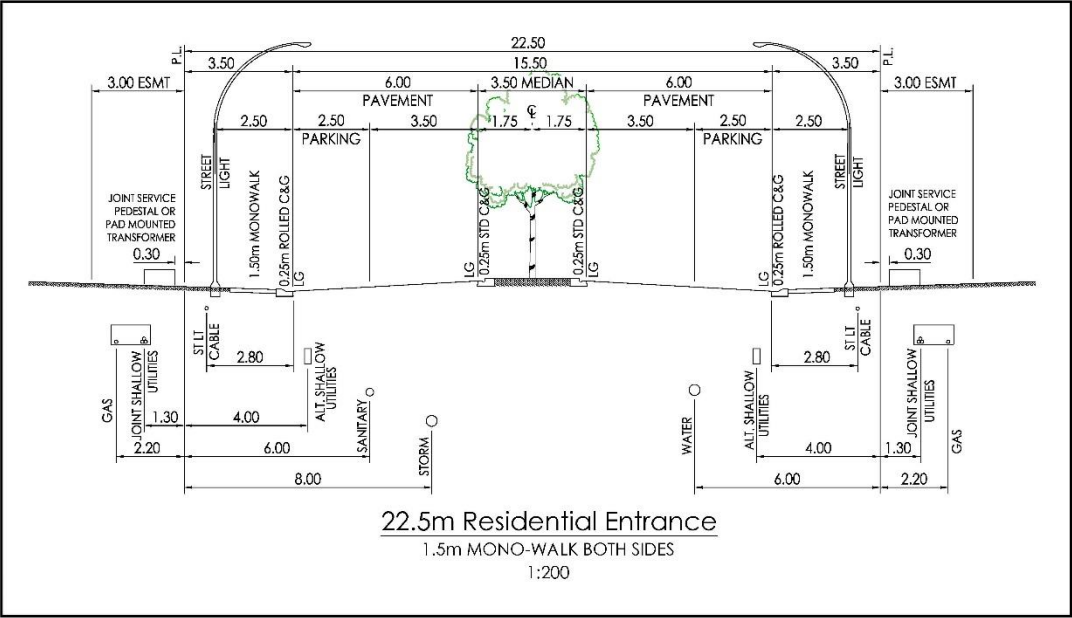
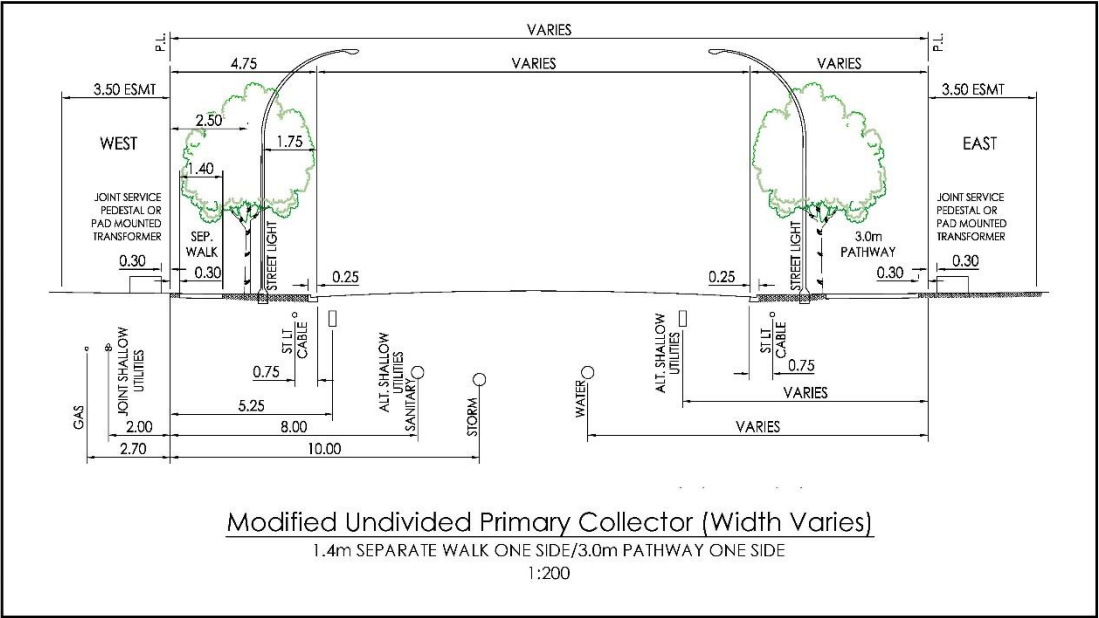
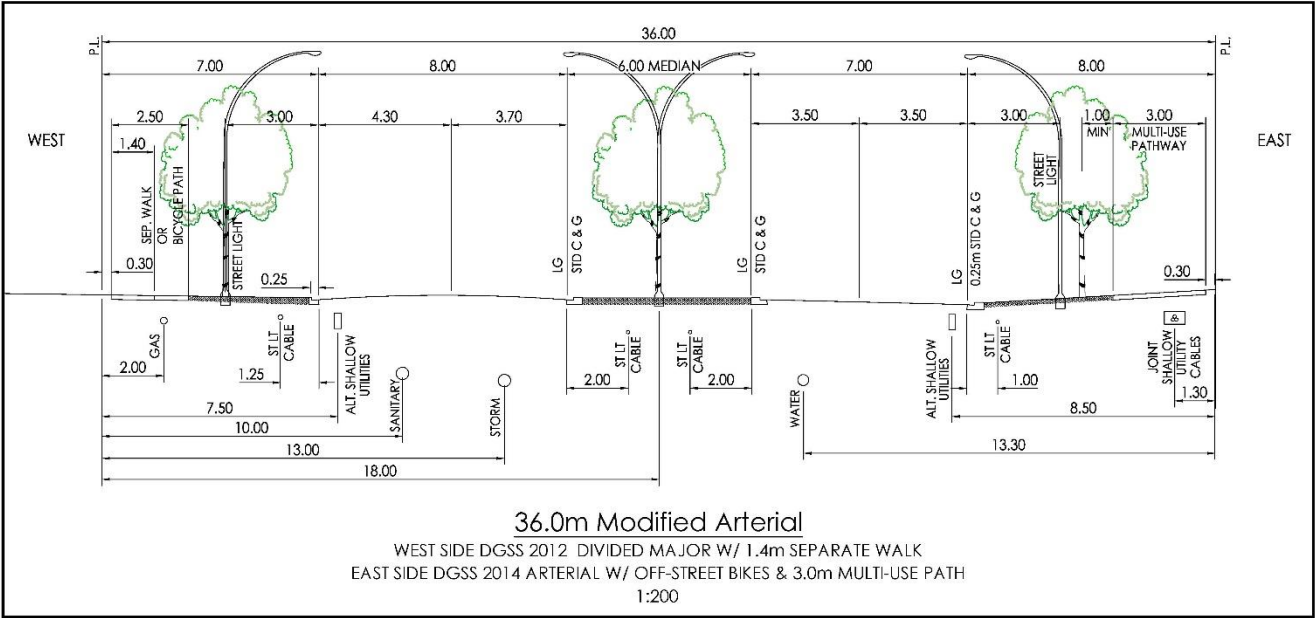
Slokker

SHANE
COMMUNITIES

Jan 2020

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Proposed Outline Plan



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FIGURE 4.0 | ASPEN SPRING
Street Cross Sections



Slokter



Jan 2020

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Subdivision Data Sheet

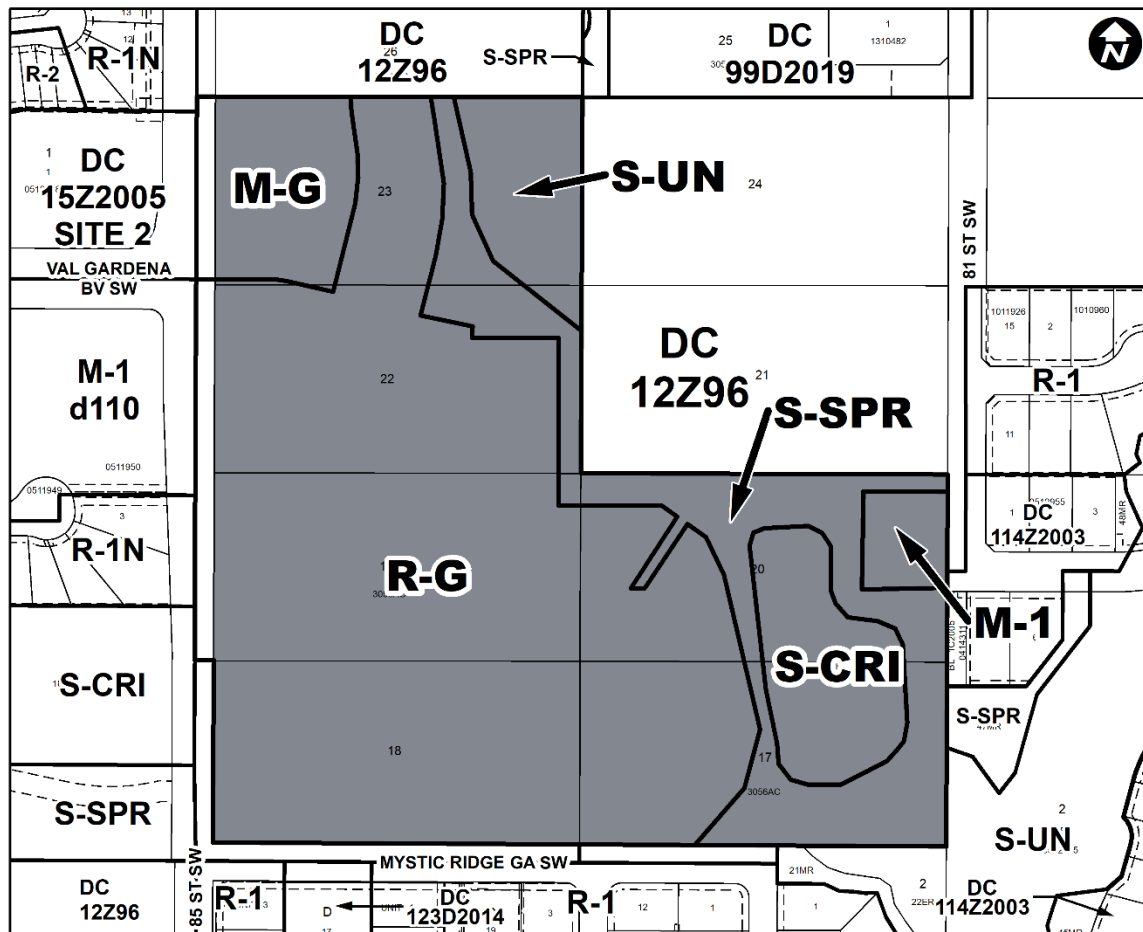
	HECTARES	ACRES
GROSS AREA OF PLAN	11.48	28.36
LESS: ENVIRONMENTAL RESERVE	0.60	1.47
NET DEVELOPABLE AREA	10.88	26.89

LAND USE (Residential)	HECTARES	ACRES	# OF LOTS	# OF UNITS (FOR MULTI RESIDENTIAL)
R-G	5.75	14.21	139	-
M-G	0.49	1.21	1	31
Total Residential	6.24	15.42	140	31

	HECTARES	ACRES	% OF NET AREA
ROADS (CREDIT)	1.80	4.48	16.5 %
ROAD WIDENING	0.20	0.49	1.8 %
PUBLIC UTILITY LOT	1.55	3.82	14.2 %

RESERVES	HECTARES	ACRES	% OF NET AREA
MR	1.09	2.68	10.0 %

Proposed Land Use District Map



Community Association Letter

2019 January 09 – received by email

Dear Morgan Huber,

I am writing on behalf of the Springbank Hill Community Association in regards to Application Notice LOC2018-0101.

As a community association our role is to advocate for our members and all residents of our community, and to help build a safe, active and vibrant community. We wish to encourage leading edge developments that are aligned with the vision of the MDP, supported by an achievable infrastructure plan, and respectful of the existing fabric of our community.

The community appreciates that the applicant is working with City Parks to incorporate usable public space and pathways within the storm pond solution. We understand that discussions are still ongoing, and we hope to engage with the applicant and have more formal plans prior to the scheduled presentation at City Council in February.

The community association is supportive overall of the application, but we would like to raise certain concerns.

1. Density

In review with City Planning, we understand the policies applied to the application. We also understand that the overall density of the application are within the ASP zone guidelines. We would like to identify two potential concerns.

- The southern and part of the eastern edge of the application is within the low density contextual zone. The applicant is asking for R-G zoning. In communication with both planning and the applicant, they have committed to respecting the density and build forms as defined in the low density contextual zone of the ASP. Our concern is that by allowing R-G, the applicant could at some future time request modifications, and using different build-forms could potentially increase density above what was envisioned in the ASP. We would prefer R-1 as a more appropriate zoning for the low density contextual area, as has been done in other applications that have areas within the low density context zone.

- On the northwest corner of the plan area near Val Gardena Boulevard SW and along 85th Street SW, we understand that there is a request for increased density from low density to medium density, representing an increase of approximately 80% over the approved ASP levels. We do understand the overall density of this application is within the ASP levels, but we are wondering the justification for this particular request. In discussions with the applicant, we understand that it is to support the existing neighbourhood node commercial area on the west side of 85th. The Shoppes of Montreaux. On its own merit this request makes sense, except this same applicant in LOC2018-0085 has requested ASP amendments to introduce additional mixed-use and higher density residential that is less than 300 meters away from this existing commercial area, suggesting to us that this will create competition rather than be supportive of the existing node.

2. Traffic

In recent meetings with the City Traffic department, our understanding is that the department reviews traffic submissions from the individual applicants, and through the process has an overall view of the traffic within the 190 acre study area. The resulting traffic volume on the overall road infrastructure is ranked with a grade from A (good) to F(failure). Our further understanding is that there are areas within the 190 acre study area where the anticipated service levels exceed thresholds developed by the city.

While our concern is not with this particular application, as it is within the ASP limits, as other applicants apply and receive additional density and incremental retail developments, our concern is that CPC and City Council might approve each individual plan such as this one without fully addressing the overall traffic issues.

In summary,

- The community association is cautiously supportive of this application, with the above noted concerns.
- The developer is adhering to many of the principles in the ASP, but as noted above, we would be more supportive of zoning that would ensure full adherence to the ASP.
- As noted, the community is concerned with the capacity of the overall traffic infrastructure within the 190 acre study area, and surrounding developments, and we are requesting that CPC and City Council place a higher emphasis on ensuring traffic issues are fully addressed within the entire study area when approving any applications within this ASP.

Sincerely,

Elio Cozzi (On behalf of the Planning Committee)
President, Springbank Hill Community Association

website: springbankhill.org

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0078

Land Use Amendment in Glendale (Ward 6) at 2005 - 37 Street SW, LOC2019-0157

EXECUTIVE SUMMARY

This application was submitted by the landowner Sarina Developments on 2019 October 08. The application proposes to redesignate the subject property from Multi-Residential – Contextual Low Profile (M-C1) District to Mixed Use - General (MU-1f2.2h14) District to allow for office use. The site is currently under construction for a multi-residential/live-work building.

The current designation only allows residential uses. The proposed MU-1 District would allow for:

- a mix of residential and commercial uses in the same building or in multiple buildings;
- a maximum building height of 14 metres (no change from the current district);
- a maximum floor area ratio (FAR) of 2.2; and
- the uses listed in the MU-1 District.

The proposal is in keeping with the applicable policies of the *Municipal Development Plan*. There is an approved development permit on the parcel for Multi-Residential Development and Live Work Units. Any new uses allowed by this proposal will need to be evaluated through a development permit.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommends that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed redesignation of 0.06 hectares ± (0.15 acres ±) located at 2005 - 37 Street SW (Condominium Plan 1912217, Units 1 to 5) from Multi-Residential – Contextual Low Profile (M-C1) District to Mixed Use - General (MU-1f2.2h14) District; and
2. Give three reading to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

This application was submitted by Sarina Developments on 2019 October 08 (see Attachment 1 for Applicant's Submission). Sarina Developments is also the landowner.

The subject parcel was redesignated to M-C1 (Bylaw 128D2017) as part of a city-initiated land use amendment for the Main Streets project on 2017 May 08.

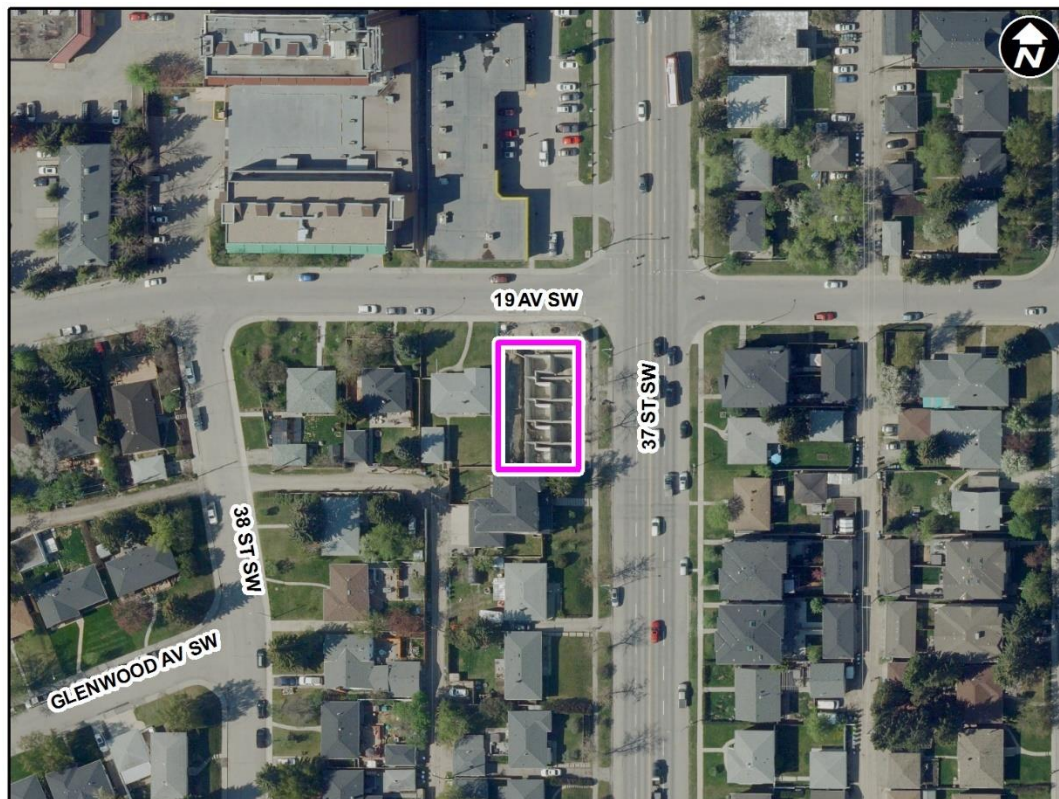
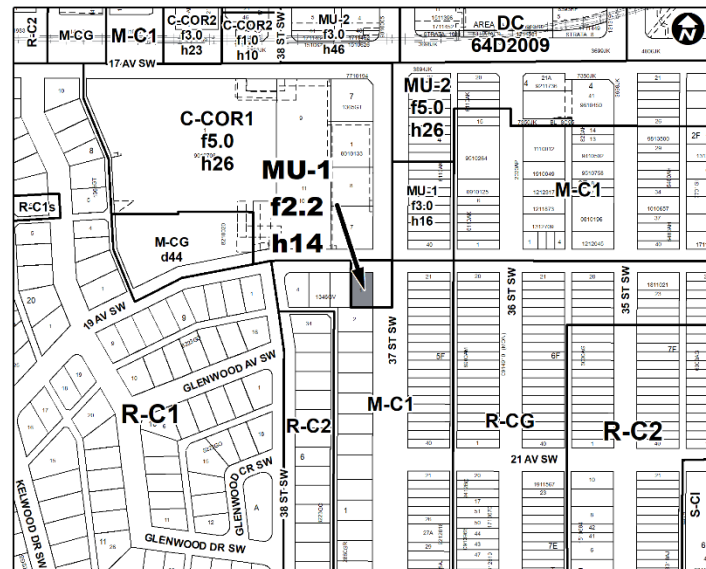
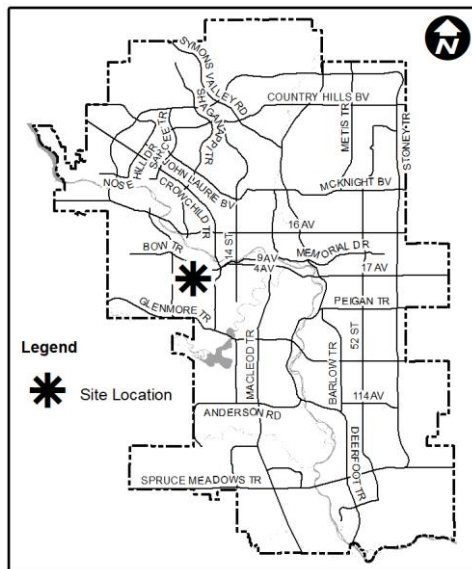
A development permit (DP2018-3797) was approved for the subject parcel on 2019 January 10 for Multi-Residential Development and Live Work Units. The building is currently under construction, and the owners would like the ability to provide the office use as an option to potential tenants.

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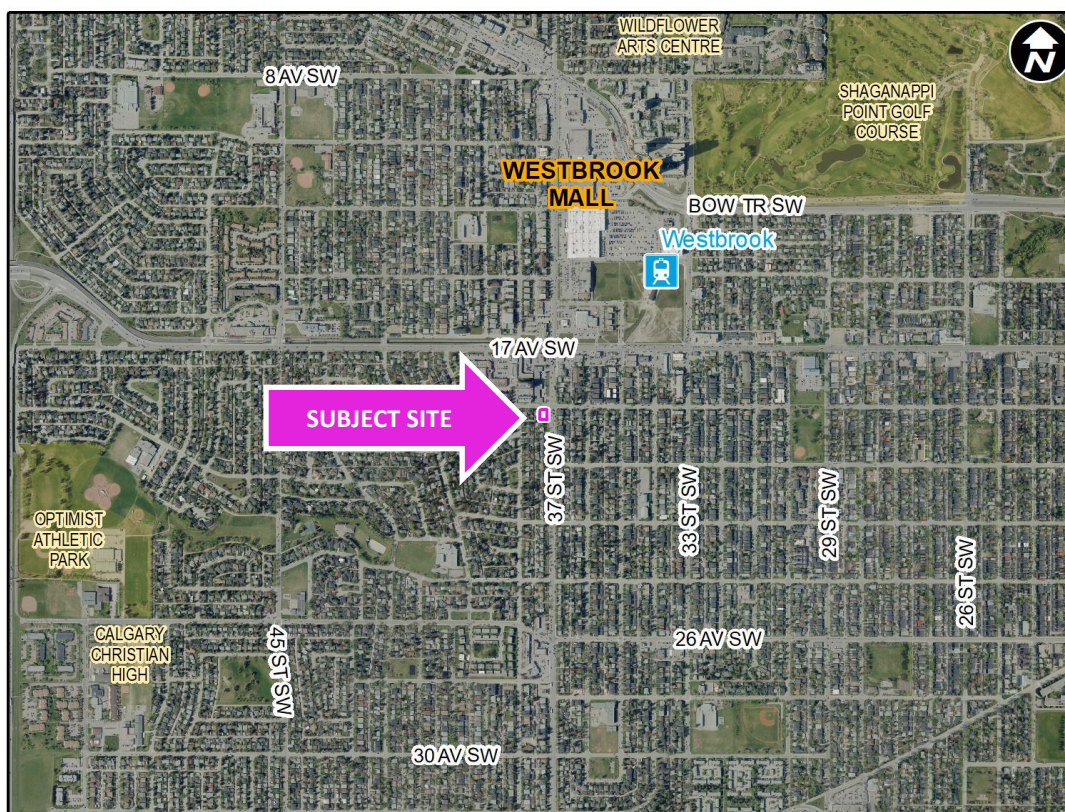
ISC: UNRESTRICTED
CPC2020-0078

Land Use Amendment in Glendale (Ward 6) at 2005 - 37 Street SW, LOC2019-0157

Location Maps



Land Use Amendment in Glendale (Ward 6) at 2005 - 37 Street SW, LOC2019-0157



Site Context

The subject site is at the corner of 37 Street SW and 19 Avenue SW. The site is on the extreme eastern edge of the community of Glendale, with the community of Killarney/Glengarry across 37 Street SW further to the east. A strip mall and apartment building are located across the street to the north, while single detached dwellings surround the site to the east, south and west. The site is approximately 0.06 hectares (0.15 acres), and is approximately 30 metres by 19 metres in size.

As identified in *Figure 1*, the community of Glendale has seen its population decline since it reached its peak in 1969. The population declined steadily for four decades but has remained stable since 2006.

Figure 1: Community Peak Population

Glendale	
Peak Population Year	1969
Peak Population	3,950
2018 Current Population	2,737
Difference in Population (Number)	-1,213
Difference in Population (Percent)	-30.7%

Source: *The City of Calgary 2018 Civic Census*

Approval(s): S. Lockwood concurs with this report. Author: D. Civitarese

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0078

Land Use Amendment in Glendale (Ward 6) at 2005 - 37 Street SW, LOC2019-0157

Additional demographic and socio-economic information may be obtained online through the [Glendale](#) community profile.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

The application is being brought forward to allow office uses to be considered within a building that is under construction. Under the current Multi-Residential – Contextual Low Profile (M-C1) designation only residential or live work uses are allowed, and the development under construction reflects only those uses. By seeking the MU-1 designation, the applicant is allowing for a number of other potential commercial uses to be considered within the developing form, though their stated goal is only to allow for offices.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Land Use

The current land use on the site was granted through the 37 Street SW Main Streets process in 2018. At the time, 19 Avenue SW seemed to provide the logical boundary between potential mixed use development to the north and intended purely residential redevelopment to the south. Thus, MU-1 and commercial designations were applied on the north side of the 19 Avenue SW boundary, while M-C1 was applied on the south side of 37 Street SW.

The proposal therefore brings the potential for mixed-use development further south than envisioned under the Main Streets exercise. That said, the corner location across the street from local commercial and on an identified Main Street does provide contextual support for the proposal.

Development and Site Design

As there is already an approved development under construction, the building location and massing are already established. The proposed land use will therefore not have large impacts on the physical aspects of the site. However, any consideration of commercial uses for the site will need to consider its physical ability to accommodate commercial levels of parking, waste and recycling and the like. This may in turn limit the extent of commercial uses allowed, or necessitate the consideration of parking relaxations.

Environmental

An Environmental Site Assessment was not required as part of this application. There are no environmental concerns associated with the site or this proposal.

Land Use Amendment in Glendale (Ward 6) at 2005 - 37 Street SW, LOC2019-0157

Transportation

Due to its location on 37 Street SW, the site is served by multiple transportation networks, as follows:

1. Transit stops for Route 9 are directly adjacent (southbound) and kitty-corner (northbound) to the site on 37 Street SW;
2. The Max Teal BRT also runs along 37 Street SW with stops at the Westbrook LRT Station and at 26 Avenue SW; and
3. The Westbrook LRT Station itself is also within 600 metres.

Development Permit (DP2018-3797) approved the site with 5 parking stalls as private garages for individual townhouse units. Any consideration of fully commercial uses within the building may mean that the site cannot provide parking in alignment with the Land Use Bylaw. Development permit applications must be assessed for the impacts of limited available parking or potential parking relaxations.

Utilities and Servicing

Water, sanitary, and storm sewer mains are available and can accommodate potential redevelopment of the subject site without the need for off-site improvements at this time. Individual servicing connections as well as appropriate stormwater management were considered and reviewed as part of the existing development permit.

Stakeholder Engagement, Research and Communication

In keeping with Administration's practices, this application was circulated to stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

No comments were received from either the surrounding residents or the Glendale Community Association at the time of report-writing. No meetings were held by the application or Administration.

Following Calgary Planning Commission, notifications for the Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [*South Saskatchewan Regional Plan*](#) (SSRP) which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

Land Use Amendment in Glendale (Ward 6) at 2005 - 37 Street SW, LOC2019-0157

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The proposed land use amendment meets the general intent of the [Municipal Development Plan](#) (MDP). The subject lands fall within the Main Streets – Neighbourhood Main Street area of the MDP as per [Map 1 – Urban Structure](#). The General Main Streets Policies in Section 3.4.1 of the MDP include:

- Main Streets should provide for a broad mix of residential, employment, and retail uses;
- Commercial development should be oriented to the transit street and public sidewalk;
- Develop an active street environment by encouraging retail and service uses at-grade with residential and office uses on upper floors;
- Appropriate transition of building scale between developments and adjacent areas should be sensitive to the scale, form and character of the surrounding buildings and uses;
- A strong pedestrian environment should be created along the transit corridor by discouraging on-site parking in front of the building and providing parking alternatives on street, and to the side and rear of buildings; and
- Urban design should be used to ensure that the intensification of land use occurs in a sensitive manner and that new buildings contribute to a pedestrian-friendly streetscape.

Neighbourhood Main Streets typically are located along Primary Transit Network within the Inner City, and have a strong historical connection to the communities they abut. Section 3.4.3 provides more specific policy to the Neighbourhood Main Streets, including:

- Encourage ground-oriented housing, low-scale apartments and mixed-use retail buildings within the Neighbourhood Main Street, with the highest densities occurring in close proximity to transit stops; and
- An appropriate transition between the Neighbourhood Main Street and the adjacent residential areas is required. Transition should generally occur at a rear lane or public street. These transitions should be sensitive to the scale, form and character of surrounding areas, while still creating opportunities to enhance the connectivity with the community.

There is no local policy plan for the subject area.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0078

Land Use Amendment in Glendale (Ward 6) at 2005 - 37 Street SW, LOC2019-0157

Transit Oriented Development Policy Guidelines (Non-statutory – 2004)

The subject site falls within the 600 metre radius surrounding a LRT station, located approximately 425 metres to the southwest of the Westbrook LRT Station. The following sections apply to the proposal:

- Section 4.0 provides policy for ensuring land uses around transit stations encourage transit use;
- Section 5.0 provides policy for increasing density around transit stations; and
- Section 7.0 provides policy for ensuring each station area becomes a “place” and a hub of mixed-use activity.

Social, Environmental, Economic (External)

The proposal provides for appropriate diversification along a Neighbourhood Main Street and therefore creates more efficient development and growth. By broadening the scope of available uses the proposal also provides for more economic opportunity.

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current or future operating budget at this time.

Current and Future Capital Budget

The proposed land use amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Risk Assessment

There are no significant risks associated with this proposal.

REASON(S) FOR RECOMMENDATION(S):

The proposal aligns with the *Municipal Development Plan* and activates a Neighbourhood Main Street while allowing for the flexibility of multiple compatible uses.

ATTACHMENT(S)

1. Applicant's Submission

Applicant's Submission

2019 October 8

This proposal is to re-designate the lot located at 2005 37 St SW from MC-1 to MU-1f2.2h14 which would allow for Office use within our nearly completed row townhome style units, including:

- The potential for small vertically separated work units to provide additional services to the community.
- A maximum FAR of 2.2 and height of 14.0m.

This proposed redesignation meets several criteria of the Multi-Residential Infill Guidelines. It is a corner parcel, within 400m of transit stops (including the 6, 9, 94, and 699 regular routes) and on a major collector. It is not adjacent to, but within reasonable walking distance of numerous schools, the community hall, and green spaces. This redesignation appeals to the opportunity to develop on 37th St SW, two years after the City invested heavily along the street, with no development seen since.

Supporting Policy Framework

There are several planning documents that help guide the direction of new developments in established Calgary neighbourhoods, including the Municipal Development Plan (MDP) and the Calgary Transportation Plan. The MDP is the City of Calgary's main policy guide for land use and development and was put in place to help guide Calgary's growth over the next 60 years. This plan has 7 integrated goals:

- A prosperous economy
- A compact City
- Great communities
- Good urban design
- Connecting the City
- Greening the City
- Managing growth and change

This land use redesignation integrates many of the intended outcomes of the MDP including building vibrant, transit supportive activity centers and corridors, and managing outward growth by creating a more compact city.

As part of the Smart Growth Initiative, the City also aims to accommodate 33% of Calgary's future population growth within Developed Residential Areas by 2039. This number is intended to reach 50% by 2059, which is a Smart Growth target projects like this can help the City of Calgary achieve. Developments such as this one are instrumental in encouraging population growth within our established residential areas.

This proposed project also meets 6 of the location criteria outlined in the Multi-Residential Infill Guidelines:

Applicant's Submission

Criteria	2005 37 St SW Site condition
On a corner	Located on the corner of 19 Ave and 37 St SW
Within 400m of a transit stop	Stops for the 6, 9, 94 and 699 routes within 75m of the site.
On a collector or higher standard roadway	Located directly on 37 St SW
Adjacent to or across from existing or planned open space, park or community amenity	Not directly adjacent to but within 450m of five open greenspaces (four additional open green spaces within 750m).
Along or in close proximity to a corridor or activity center	Located directly on 37 St SW

Local Area Context

The site is located directly along the 37 St SW corridor in the community of Glendale. The site is located in close proximity to parks and open green space (5 within 450m and 4 more within 750m), many commercial/retail amenities (found on 17 Ave SW and adjacent on 37 St SW) and public transit (5 routes with stops within 750m).

The surrounding neighbourhood is largely comprised of one, two and three storey, single family and duplex dwellings and light commercial.

Conclusion

The goal of this redesignation is to add modest density to a desirable, established community that is well supported by transit access. This added density will add to the community vibrancy and will help to achieve many of the targets outlined in Calgary's MDP.

We have engaged with the Glendale Development CA, who are accepting of commercial development on the perimeter of Glendale, i.e. along 17 Ave SW and 37 St SW. The City has invested heavily along 37 St SW two years ago, and seen no development occur with this investment. The original intention from the Main Streets engagement was for an MU-1 zoning on this site, increasing density on the perimeter of Glendale, which our proposal aligns with.

We believe that this project will be able to deliver the greatest benefit to the community and will serve as a prime example of conscious re-development and densification in our ever evolving City, with commercial on the perimeters of Glendale.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0042

Land Use Amendment in Forest Lawn (Ward 9) at 911 - 38 Street SE, LOC2019-0171

EXECUTIVE SUMMARY

This application was submitted by New Century Designs, on behalf of the landowners Khuong Lim and Muy Hour Ngauv, on 2019 November 07. The application proposes to change the designation of this property from Residential – Contextual One Dwelling (R-C1) District to Residential – Contextual One / Two Dwelling (R-C2) District to allow for:

- duplex dwellings and semi-detached dwellings, in addition the building types already allowed (e.g. single detached dwellings and secondary suites);
- a maximum building height of 10 metres (no change proposed);
- a maximum of two dwelling units (an increase from the current maximum of one dwelling unit); and
- the uses listed in the R-C2 District.

The proposal is in keeping with applicable policies of both the *Municipal Development Plan* and the *Forest Lawn – Forest Heights/Hubalta Area Redevelopment Plan*, with the R-C2 District specifically identified as appropriate within the ARP.

No development permit has been submitted at this time.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommends that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed Redesignation of 0.05 hectares \pm (0.13 acres \pm) located at 911 – 38 Street SE (Plan 5299HK; Block 39; Lot 16) from Residential – Contextual One Dwelling (R-C1) District to Residential – Contextual One / Two Dwelling (R-C2) District; and
2. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

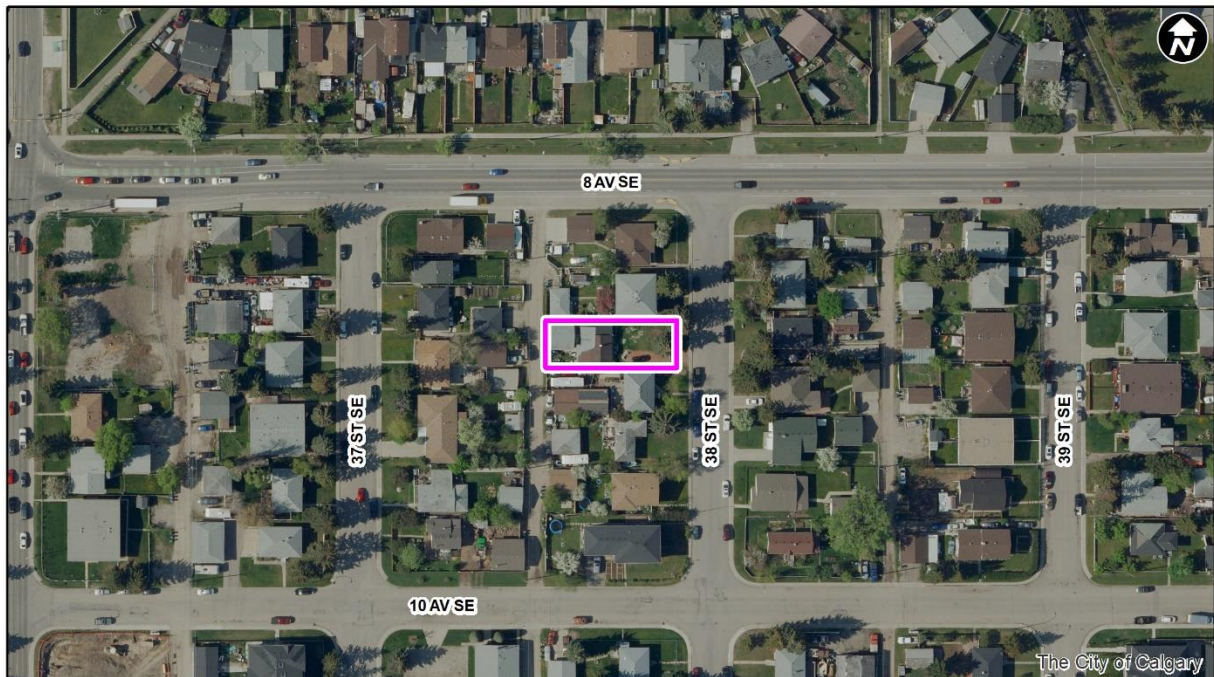
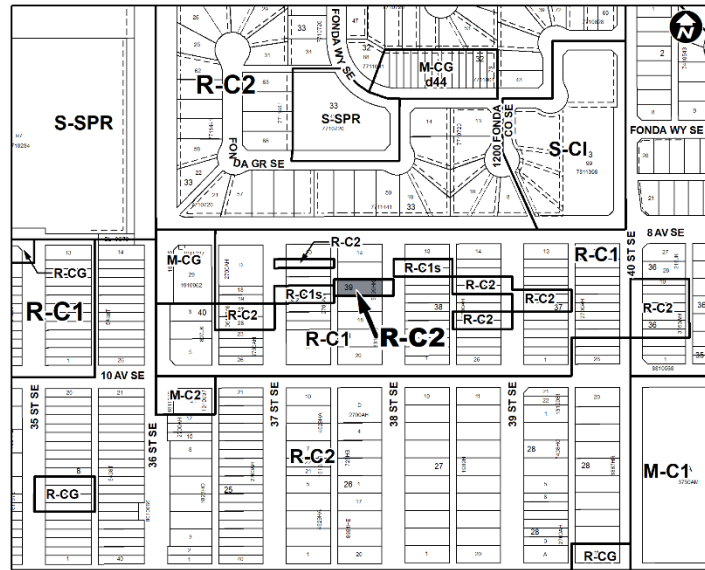
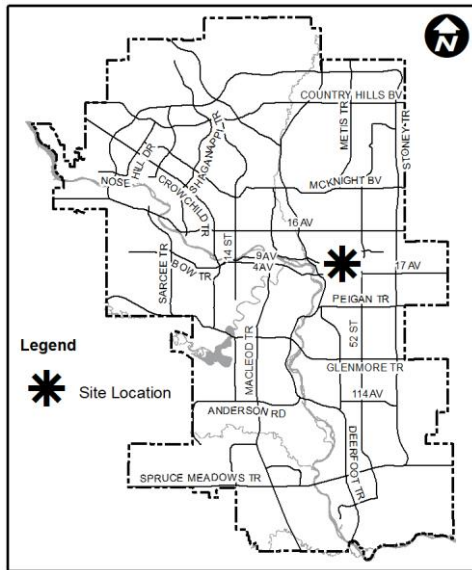
This application was submitted by New Century Designs, on behalf of the landowners Khuong Lim and Muy Hour Ngauv, on 2019 November 07. A development permit application has not been submitted at this time. As noted in the Applicant's Submission (Attachment 1), the applicant intends to develop semi-detached housing sometime in the future, should this land use redesignation be approved.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0042

Land Use Amendment in Forest Lawn (Ward 9) at 911 - 38 Street SE, LOC2019-0171

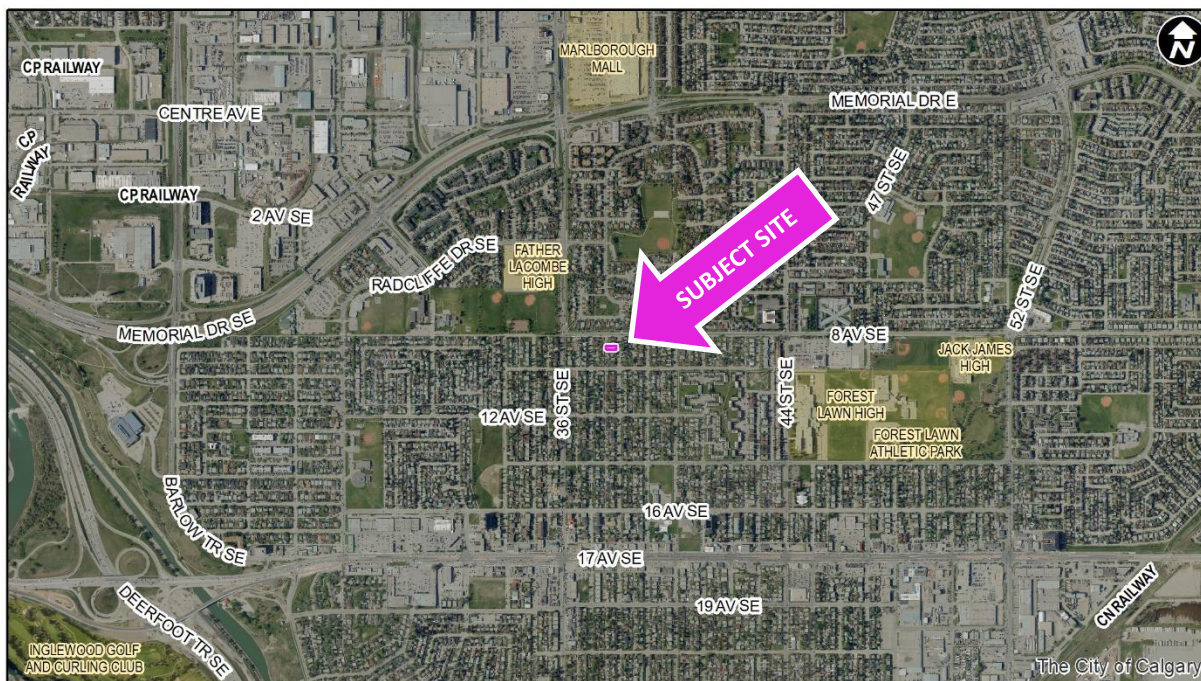
Location Maps



Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0042

Land Use Amendment in Forest Lawn (Ward 9) at 911 - 38 Street SE, LOC2019-0171



Site Context

The subject site is located on a mid-block property in the inner-city community of Forest Lawn, along a residential road. The site is approximately 0.05 hectares (0.13 acres) in size with approximate dimensions of 14 metres in width by 38 metres in length. Currently developed on the site is a one-storey single family home and two-car detached garage that is accessed from the rear lane. The existing development is planned to remain until such time as redevelopment of the property is undertaken.

The surrounding area is characterized as a low density residential area comprised mainly of older single detached housing, although there have been a number of single-lot redesignations in the vicinity to accommodate Residential – Contextual One Dwelling with Secondary Suites (R-C1s) and R-C2 developments. The site is in close proximity to public transit, as well as the Primary Transit Network that runs along the collector roadway of 8 Avenue SE and the arterial roadway of 36 Street SE.

As identified in *Figure 1*, the community of Forest Lawn reached its peak population in 1982 with a total of 9,088 residents. The current population for the community is 7,895 residents, a decline of 1,193 residents from peak population.

Land Use Amendment in Forest Lawn (Ward 9) at 911 - 38 Street SE, LOC2019-0171

Figure 1: Community Peak Population

Forest Lawn	
Peak Population Year	1982
Peak Population	9,088
2018 Current Population	7,895
Difference in Population (Number)	-1,193
Difference in Population (Percent)	-13%

Source: The City of Calgary 2018 Civic Census

Additional demographic and socio-economic information may be obtained online through the [Forest Lawn](#) community profile.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

This application proposes a modest increase in density within an inner-city area community that is both consistent with local development policy and which has the ability to be compatible with the established building form of the existing neighbourhood.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration

Land Use

The existing R-C1 District is intended to accommodate existing residential development and contextually sensitive redevelopment in the form of single detached housing. The proposed R-C2 District is similarly intended to accommodate existing residential development and contextually sensitive redevelopment, however provides a greater diversity of dwelling forms through the inclusion of duplex and semi-detached dwellings. The maximum number of allowable units on the site increases from one to two units with this district, however the building height remains the same as the current R-C1 District at 10 metres.

Secondary suites are an allowable use in both the existing and proposed district, although are considered a permitted use within the proposed R-C2 District. With the recent approval of amendments to the Land Use Bylaw 1P2007, secondary suites are now allowed in semi-detached dwellings that are located within the R-C2 District.

**Planning & Development Report to
Calgary Planning Commission
2020 January 23**

**ISC: UNRESTRICTED
CPC2020-0042**

Land Use Amendment in Forest Lawn (Ward 9) at 911 - 38 Street SE, LOC2019-0171

Development and Site Design

While a development permit has not been submitted at this time, the rules of the proposed R-C2 District will provide guidance for the future site development, including appropriate uses, building height and massing, landscaping, parcel coverage and parking. Additional items to consider in future development permit applications include, but are not limited to:

- ensuring future building placement aligns with building setbacks of the proposed R-C2 District;
- applying the design guidelines contained within the local Area Redevelopment Plan;
- ensuring the development contributes to the quality of the streetscape and beautification of the neighbourhood;
- mitigating impacts on adjacent properties through design elements; and
- ensuring all future motor vehicle access to the site is from the lane.

Environmental

There are no known outstanding environmentally related concerns associated with the proposal and/or site at this time. As such, no Environmental Site Assessment was deemed required.

Transportation

Pedestrian and vehicular access to the site is available via 38 Street SE and the rear lane. The area is served by Calgary Transit Route 49 Forest Heights, with a bus stop approximately 200 metres walking distance from the site on 8 Avenue SE. The site is roughly 100 metres to the nearby cycling facilities on 8 Avenue SE, that include painted bike lanes in both directions. On-street parking adjacent to the site is unregulated on 38 Street SE.

Utilities and Servicing

Water and sanitary deep utilities are available. Public storm utilities are not currently available. Development servicing requirements will be determined at the future development permit and Development Site Servicing Plan (DSSP) stage(s).

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

The Forest Lawn Community Association was circulated as part of this application and provided a statement of no objection (Attachment 2).

One email in support of the application was received in response to the public notices. The reason for support was to encourage new investment in the community.

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0042

Land Use Amendment in Forest Lawn (Ward 9) at 911 - 38 Street SE, LOC2019-0171

Following Calgary Planning Commission, notifications for the Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The site is located within the City, Town area, as identified on Schedule C: South Saskatchewan Regional Plan Map in the [South Saskatchewan Regional Plan](#) (SSRP). While the SSRP makes no specific reference to this site, the proposal is consistent with SSRP policies on Land Use Pattern.

Interim Growth Plan (2018)

The proposal aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is located within the Residential – Developed – Inner City area, as identified on [Map 1: Urban Structure](#) in the [Municipal Development Plan](#) (MDP). MDP policies encourage redevelopment of inner-city communities in a manner that is similar in scale and built form to existing development, including the mix of housing. The MDP also calls for modest intensification of inner-city areas serviced by existing infrastructure, public amenities and transit. The proposal is in keeping with relevant MDP policies as the intent and rules of the R-C2 District allow for development forms which may be sensitive to existing residential development in terms of height, built form and density.

Forest Lawn – Forest Heights/Hubalta Area Redevelopment Plan (1995)

The subject site is located within the Low-Density Residential Conversation area of the [Forest Lawn – Forest Heights/Hubalta Area Redevelopment Plan](#) (ARP). R-1 and R-2 land use designations are considered appropriate in this area, with redevelopment expected to respect the existing neighbourhood quality and character. The ARP includes design guidelines that would be applicable at time of development permit.

The proposed R-C2 District allows for a wider range of housing types than the existing R-C1 District, and as such, the proposed change may better accommodate the housing needs of different age groups, lifestyles and demographics. Allowing for a modest increase in density in inner-city neighbourhoods can also enable more people to live closer to employment, destinations and services, and thereby contribute to reduced car dependency and overall vehicle emissions. The future redevelopment of this property may also contribute to the

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2020 January 23

ISC: UNRESTRICTED
CPC2020-0042

Land Use Amendment in Forest Lawn (Ward 9) at 911 - 38 Street SE, LOC2019-0171

revitalization of this inner-city community and provide a higher efficient building due to the application of updated building code regulations.

Financial Capacity

Current and Future Operating Budget

There are no know impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed redesignation does not trigger capital infrastructure investment and there are no growth management concerns at this time.

Risk Assessment

There are no significant risks associated with this proposal.

REASON(S) FOR RECOMMENDATION(S):

The proposal is in keeping with applicable policies of both the *Municipal Development Plan* and the *Forest Lawn – Forest Heights/Hubalta Area Redevelopment Plan*, with the R-C2 District specifically identified as appropriate within the ARP.

ATTACHMENT(S)

1. Applicant's Submission
2. Community Association Letter

Applicant's Submission

November 7, 2019

This is a proposal for a Lane-Use Redesignation from an existing R-C1 lot to an R-C2 lot to support the future development of semidetached housing. Located at 911 38 St SE just east of the intersection of 38St E & 8 Ave S the property currently has a single family home and a two car garage off of the lane which would be removed, at some point, to allow for future development

The community has many close schools business centres and places of employment. With 9 schools are within a short walk ranging from elementary to high school, Marlborough Mall is less than one kilometre away and downtown a mere six kilometres.

Forest Lawn is an inner city community with great access to a variety of amenities ranging from large green spaces, tennis courts, aquatic centres and both soccer and baseball fields. All of these amenities, and many more, make Forest Lawn a desirable community to live and with is great access to Memorial drive, The Trans Canada Highway and Deerfoot Trail it is also very accessible for commuting residents.

The primary goal for the change in zoning is to allow for more people to live in desirable neighbourhoods that have some of the amenities mentioned above. With spot rezoning having already taken place between 8th & 10th Ave S we feel there is precedent for this rezoning and that the community has the amenities to support it.

Community Association Letter



APPLICATION NOTICE LOC2019-0171

November 15, 2019

A new Land Use Amendment to accommodate R-C2 is proposed at the address(es) below. Please contact the file manager directly at any point in the review process if you have any questions or concerns.

Application Details

File Number: LOC2019-0171

File Manager: JENNIFER CARDIFF

Phone: (403) 268-2052

eMail: Jennifer.Cardiff@calgary.ca

Address: 911 38 ST SE

5299HK;39;16

Community: FOREST LAWN

Ward: 09

**Map
Section:** 15E

Application Description: Land Use Amendment to accommodate R-C2

Proposed Use: R-C2

Existing Use: R-C1

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please return your response to: Circulation Control
Planning and Development
P.O. Box 2100 Station M
IMC 8201
eMail: cpag.circ@calgary.ca

Please check the corresponding box below and forward any comments to the above sender.

☒

No Objection

☐

Comments Attached

Name: ELIZABETH DANIELS

Date: NOVEMBER 25, 2019

Organization: FOREST LAWN COMMUNITY ASSOCIATION

(if representing an organization)

Comments Due By: December 09, 2019

Planning & Development Report to
Calgary Planning Commission
2020 January 23

ISC: UNRESTRICTED
CPC2020-0070

Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007 – 17 Avenue NW, LOC2019-0167

EXECUTIVE SUMMARY

This land use redesignation application was submitted by QuantumPlace Developments on behalf of the landowners, Chen Ping Hsieh and Wen Liu, on 2019 November 01. This application proposes to change the designation of the subject site from the Multi-Residential – Contextual Medium Profile (M-C2) District to the Mixed Use - General (MU-1f3.5h29) District to allow for:

- mixed-use buildings (e.g. apartment buildings that may have commercial storefronts);
- a maximum building height of 29 metres, approximately 8 storeys (an increase from the current maximum of 16 metres);
- a maximum building floor area of 2,924 square metres based on a floor area ratio (FAR) of 3.5 (an increase from the current FAR of 2.5); and
- the uses listed in the MU-1 District.

An amendment to the *16 Avenue North Urban Corridor Area Redevelopment Plan* (ARP) is required to accommodate the proposed land use redesignation. The proposal conforms with the ARP as amended and is in keeping with applicable policies of the *Municipal Development Plan*.

No development permit application has been submitted at this time.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed amendment to the 16 Avenue North Urban Corridor Area Redevelopment Plan (Attachment 3); and
2. Give three readings to the proposed bylaw.
3. **ADOPT**, by bylaw, the proposed redesignation of 0.08 hectares ± (0.21 acres ±) located at 1007 – 17 Avenue NW (Plan 3150P, Block 1, Lots 27 to 29) from Multi-Residential – Contextual Medium Profile (M-C2) District **to** Mixed Use - General (MU-1f3.5h29) District; and
4. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

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2020 January 23

ISC: UNRESTRICTED
CPC2020-0070

**Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007
- 17 Avenue NW, LOC2019-0167**

BACKGROUND

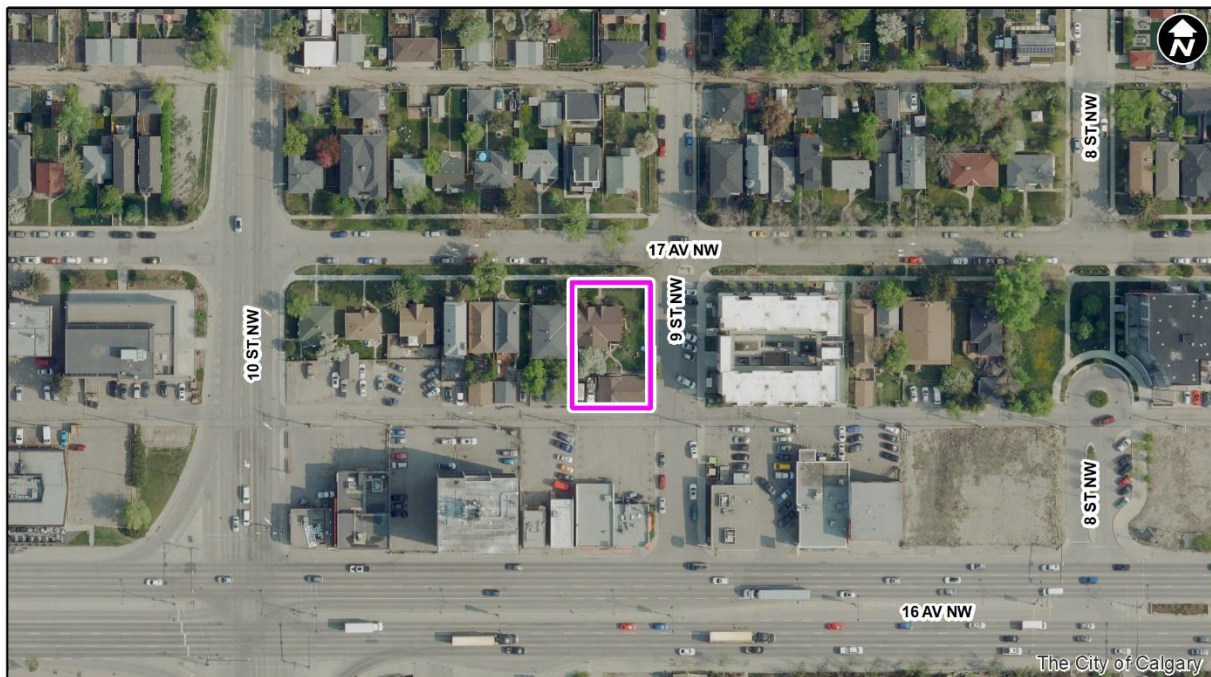
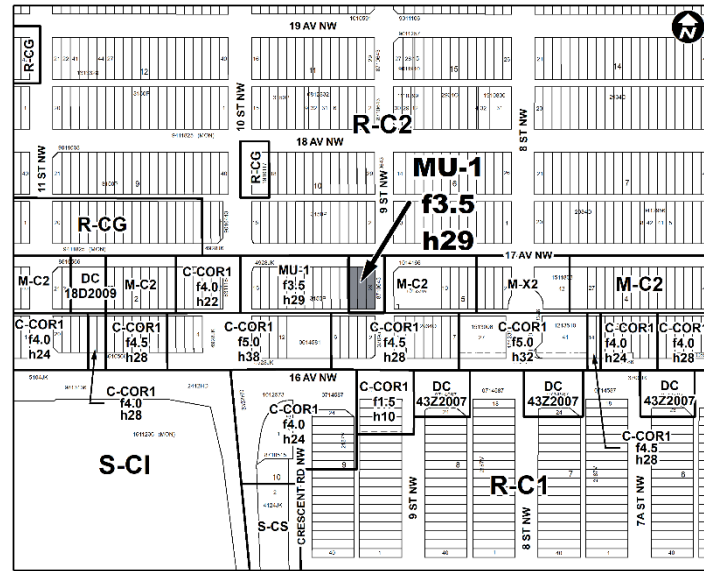
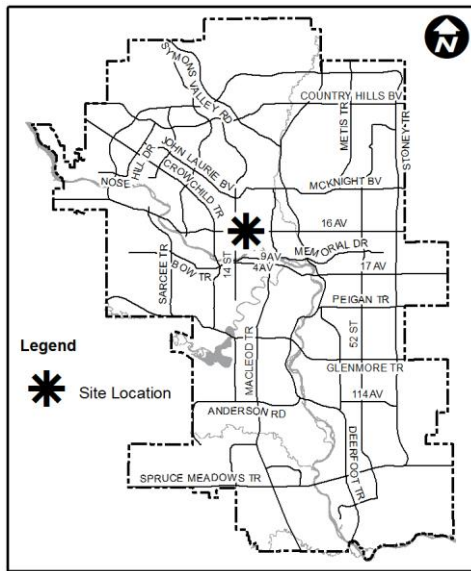
This land use redesignation application was submitted by QuantumPlace Developments on behalf of the landowners, Chen Ping Hsieh and Wen Liu, on 2019 November 01. No development permit has been submitted at this time. As indicated in the Applicant Submission, the applicant intends to pursue a mixed-use development on this site, combined with the other parcels on this block which have already been redesignated to MU-1 (Attachment 1).

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ISC: UNRESTRICTED
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**Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007
- 17 Avenue NW, LOC2019-0167**

Location Maps



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Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007
- 17 Avenue NW, LOC2019-0167



Site Context

The subject site is located in the community of Mount Pleasant at the southwest corner of 17 Avenue NW and 9 Street NW. The subject parcel is 0.08 hectares (0.21 acres) in size with approximate dimensions of 23 metres by 37 metres. A rear lane exists along the south end of the site. The property is currently developed with a one-storey single detached dwelling and detached garage.

Surrounding development is characterized by a mix of single and semi-detached dwellings, with a multi-residential development to the east across 9 Street NW and commercial uses to the south across the lane.

As identified in *Figure 1*, the community of Mount Pleasant reached peak population in 2018.

Figure 1: Community Peak Population

Mount Pleasant	
Peak Population Year	2018
Peak Population	6,001
2018 Current Population	6,001
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2018 Civic Census*

Approval(s): T. Goldstein concurs with this report. Author: K. Cohen

Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007 - 17 Avenue NW, LOC2019-0167

Additional demographic and socio-economic information may be obtained online through the [Mount Pleasant](#) community profile.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

This proposal allows for a range of building types that are compatible with the established built form for the neighbourhood. The proposal meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

Planning Considerations

The following sections highlight the scope of technical planning and analysis conducted by Administration.

Land Use

The site is currently designated Multi-Residential – Contextual Medium Profile (M-C2) District. The M-C2 District is a multi-residential designation in developed areas that is intended for multi-residential development in a variety of forms, with no maximum density and a maximum building height of 16 metres.

The proposed Mixed Use - General (MU-1f3.5h29) District would accommodate a mixed-use building where both residential and commercial uses may be supported at grade facing the street. The proposed district includes a maximum FAR of 3.5 and a maximum building height of 29 metres, allowing for more variety in building form. Consolidating the entire site into a single district provides greater flexibility in terms of the location of uses and the height transition to neighbouring parcels. Building height will be further regulated through the proposed ARP amendment.

Development and Site Design

The rules of the proposed MU-1 District will provide guidance for future site development including appropriate uses, building massing and height, landscaping and parking. Given the specific context of this corner site, additional items that will be considered through the development permit process include, but are not limited to:

- ensuring an engaging built interface along the 9 Street NW frontage;
- ensuring a contextually sensitive transition to the surrounding low density residential development, based on the policies of the ARP;
- placement of commercial uses; and
- mitigation of overlooking and shadowing concerns.

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Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007 - 17 Avenue NW, LOC2019-0167

Environmental

An Environmental Site Assessment was not required as part of this application. There are no environmental concerns associated with the site or this proposal.

Transportation

Pedestrian access to the site is available from the existing sidewalks along 9 Street NW and 17 Avenue NW. Vehicular access is provided from the rear lane. On-street permit parking is available on 17 Avenue NW.

The site is serviced by Calgary Transit with a local standard transit bus stop located 180 metres (two-minute walking distance) west of the site along 10 Street NW. There is also the SAIT BRT Station 450 metres (six-minute walking distance) west of the site along 16 Avenue NW. The SAIT LRT Station is located one kilometer away (a fourteen-minute walking distance). A Transportation Impact Assessment was not required as part of this application.

Utilities and Servicing

Water and sanitary mains are available and can accommodate potential redevelopment of the subject site without the need for off-site improvements at this time. Individual servicing connections as well as appropriate stormwater management will be considered and reviewed as part of a development permit.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to external stakeholders and notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

The Mount Pleasant Community Association did not respond to the circulation.

Administration received one citizen response noting concerns about the availability of parking in the area, and expressing concerns about traffic flow on 9 Street NW. Both concerns will be addressed as part of the development permit review process.

This is the second land use and policy amendment for this project. The applicant undertook community engagement at the early stages of LOC2019-0087 which is immediately west of the application. Given this, they did not repeat the engagement process for this application.

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent land owners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007 - 17 Avenue NW, LOC2019-0167

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy direction of the [*South Saskatchewan Regional Plan \(SSRP\)*](#) which directs population growth in the region to Cities and Towns and promotes efficient use of land.

Interim Growth Plan (2018)

The recommendation aligns with the policy direction of the [*Interim Growth Plan*](#). The proposed policy amendment and land use amendment build on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

Municipal Development Plan (Statutory – 2009)

The subject site is identified as part of an Urban Main Street on Map 1: Urban Structure in the [*Municipal Development Plan \(MDP\)*](#). The applicable MDP policies encourage a high level of residential and employment intensification along Urban Main Streets while emphasizing a walkable pedestrian environment. Redevelopment should support the revitalization of local communities by adding population and a mix of commercial and service uses.

The subject site is also located along the Primary Transit Network. It is within close proximity to the Southern Alberta Institute of Technology which is identified by the MDP as a Community Activity Centre.

The MDP notes that sites within the Inner City area may intensify, particularly in transition zones adjacent to areas designated for higher density (i.e., Main Streets), and encourages the expansion of local commercial development in close proximity to residents at high density locations. The proposal is in keeping with relevant MDP policies.

16 Avenue North Urban Corridor Area Redevelopment Plan (Statutory – 2017)

The subject site is indicated as Multi-residential Medium Density Low Minimum on Map 1 of the [*16 Avenue North Urban Corridor Area Redevelopment Plan \(ARP\)*](#). The Multi-residential Medium Density Low Minimum category has a maximum density of 210 units per hectare.

A minor amendment to the *16 Avenue Urban Corridor ARP* (Attachment 2) is required to support the land use redesignation application. Map 1 of the ARP, which shows Land Uses, will be amended to extend the Commercial Mixed Medium – Low Density designation across the site.

Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007 - 17 Avenue NW, LOC2019-0167

Map 2 of the ARP, which illustrates the maximum building heights, will be amended to increase the maximum building height of the subject site from 16 metres to a maximum building height of 22 metres, which is consistent with the recent amendment to the neighbouring parcels west of the site.

These amendments support the vision and guiding principles of the ARP, which identifies this area as a node supporting higher intensity development, intended to evolve into an area of concentrated activity and act as an anchor to attract people.

The *16 Avenue Urban Corridor* ARP is currently under review by Administration as part of the North Hill Communities Local Growth Planning initiative. A full update to the local area plan is anticipated by Q1 2020.

Social, Environmental, Economic (External)

The proposed amendments will allow for a wider range of housing types in the area which may better accommodate the housing needs of different age groups, lifestyles and demographics while continuing the revitalization of an aging neighbourhood. Aligning the land use designation with neighbouring sites will allow for a comprehensive development of the entire block face, ensuring a holistic review of any future development and its impacts. The increased height and FAR will support a much higher residential density to make better use of existing infrastructure and transit services.

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed amendments do not trigger capital infrastructure investment and there are no growth management concerns at this time.

Risk Assessment

There are no significant risks associated with this proposal.

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CPC2020-0070

**Policy Amendment and Land Use Amendment in Mount Pleasant (Ward 7) at 1007
- 17 Avenue NW, LOC2019-0167**

REASON(S) FOR RECOMMENDATION(S):

The proposal is in keeping with applicable policies of the *16 Avenue North Urban Corridor Area Redevelopment Plan*, as amended, and the *Municipal Development Plan*. The proposed MU-1 District represents an appropriate height and intensity of use for an inner-city parcel of land in a Main Street corridor near the Southern Alberta Institute of Technology Community Activity Centre.

ATTACHMENT(S)

1. Applicant Submission
2. Proposed Amendments to the 16 Avenue North Urban Corridor Area Redevelopment Plan

Applicant Submission

November 1, 2019

Land Use Redesignation from Multi-Residential Medium Profile District (M-C2) to a Mixed Use 1 – General District (MU-1): 1007 17 Avenue NW.

On behalf of Landstar Development Corporation, QuantumPlace Developments is pleased to submit this application to redesignate the land at 1007 17 Avenue NW. The subject site consists of an existing single-detached home that was built in the 1940's. This application seeks to redesignate the property to accommodate a mixed-use building with commercial uses at-grade along 10 Street NW, with residential uses along 17 Avenue. This application will apply the same land use designation that is being applied for in an ongoing land use redesignation application currently under review (LOC2019-0087) and proceeding to Council on November 16, 2019.

[Note: LOC2019-0087 has since been approved by Council.] This new application will allow for the last remaining parcel to be designated the same land use as other parcels on the block.

Existing Land Use District: The subject site is currently designated as Multi-Residential Medium Profile District (M-C2).

New Land Use District: The applicant is proposing a Mixed Use 1 – General District (MU-1) with an amendment to the local Area Redevelopment Plan (ARP) to allow for a height of 29-metres and a FAR of 3.5. The MU-1 district allows both commercial and residential uses at-grade in a mixed-use building.

The applicant is seeking an MU-1 district due to the unique context of the site. Located on 17th Avenue and 9th Street NW, the subject site is part of a lot assembly that is situated near the key intersection of 10 Street and 16 Avenue NW, and is directly across from SAIT & ACAD. The site's proximity to SAIT, U of C, and ACAD makes it an excellent location for a student housing residence with retail at-grade along 10 Street NW. The subject site has direct access to Downtown via 10 Street NW, and has great crosstown access via 16 Avenue North. Transit connections include numerous bus routes including the MAX Orange line, and the SAIT/ACAD/Jubilee LRT Station within walking distance. A key north-south bicycle lane is also located directly on 10th Street NW. There are also a variety of nearby retail offerings including banks, pubs, cafes, restaurants, fast food, and grocery stores.

In June 2019, QuantumPlace Developments, on behalf of Landstar Development Corporation (LDC) submitted a land use redesignation application for the 7 single family lots to the immediate east of the subject parcel, which comprise the remaining lots along 17th Avenue between 9th Street and 10th Street NW. That application is currently scheduled to be presented to Council on November 16, 2019 (LOC2019-0087).

Planning Rationale

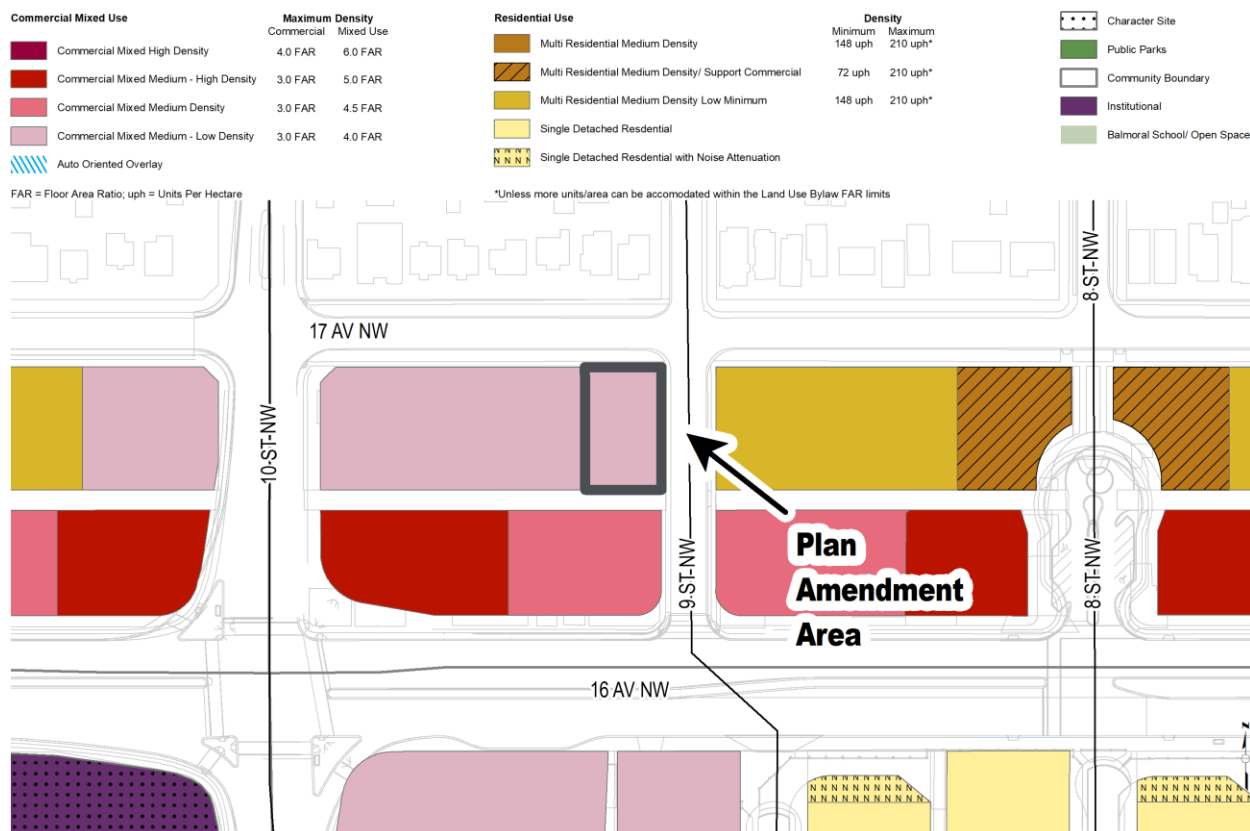
The subject parcel is identified as Inner-City Area within the Municipal Development Plan (MDP). The MDP specifies that Inner-City Areas should focus higher density and a mixture of uses along main streets. The applicant's intent is to build a student-focused, purpose-built rental building with active retail uses at-grade along 10 Street NW. Locating commercial uses along 10 Street NW creates walkable amenities for those in the building and appropriately treats 10 Street NW as an active edge between the communities of Mount Pleasant and Capitol Hill. The subject site is an appropriate location for a mixed-use, rental building of this scale due to its important inner-city location along a key main street, proximity to transit, and location near multiple post-secondary institutions.

Applicant Submission

Conclusion: This application for a land use redesignation provides a unique opportunity to add housing at a key activity node at 10 Street and 16 Avenue NW. Over the past decade, many multi-unit residential developments have been constructed along 17 Avenue North, and we feel this application is appropriate in its context to its surroundings and fits the natural evolution of the community. The unique location of the site, with its close proximity to SAIT/ACAD Campus, provides an ideal opportunity to add density and activate the pedestrian realm along 10 Street NW in alignment with City objectives outlined in the MDP. The treatment of 10 Street NW as an active edge reinforces its status as a prominent inner-city street, and could be the catalyst for similar high-quality developments in this important activity node.

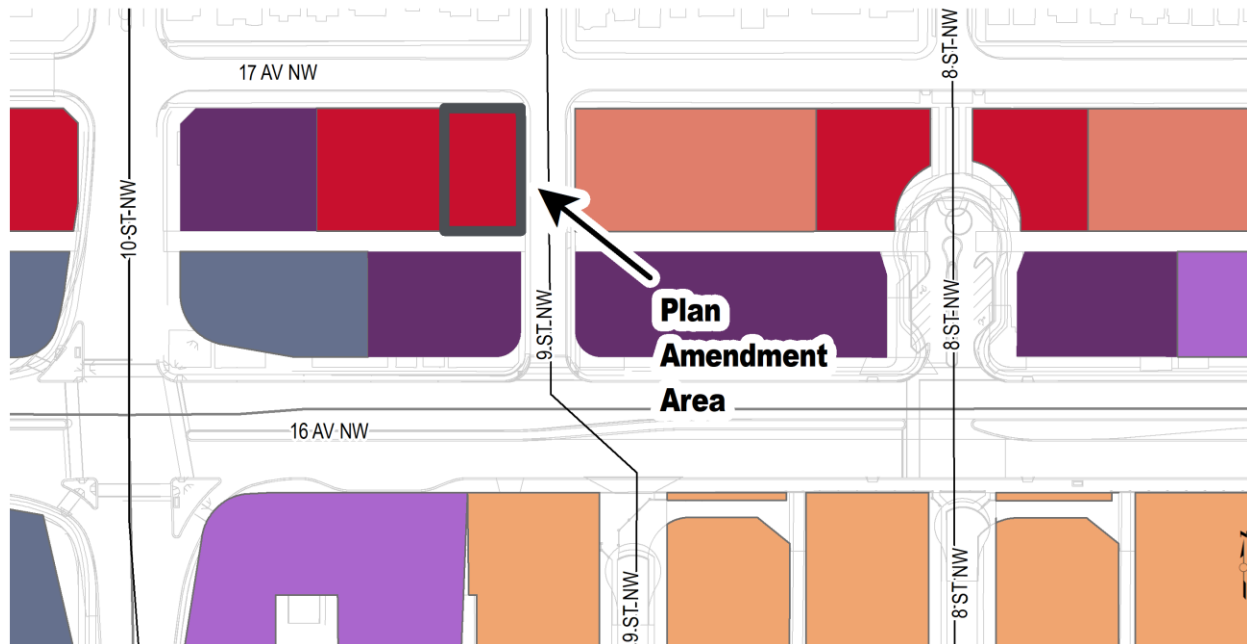
Proposed Amendment to the 16 Avenue North Urban Corridor Area Redevelopment Plan

1. The 16 Avenue North Urban Corridor Area Redevelopment Plan attached to and forming part of Bylaw 24P2017, as amended, is hereby further amended as follows:
 - (a) Amend Map 1 entitled 'Land Uses', by changing 0.08 hectares \pm (0.21 acres \pm) located at 1007 – 17 Avenue NW (Plan 3150P, Block 1, Lots 27 to 29) from 'Multi-residential Medium Density Low Minimum' to 'Commercial Mixed Medium – Low Density' as generally illustrated in the sketch below:



- (b) Amend Map 2 entitled 'Maximum Building Heights', by changing 0.08 hectares \pm (0.21 acres \pm) located at 1007 17 Avenue NW (Plan 3150P, Block 1, Lots 27 to 29) from '16m (52 ft., 4-5 storeys)' to '22m (72 ft., 5-6 storeys)' as generally illustrated in the sketch below:

Proposed Amendment to the 16 Avenue North Urban Corridor Area Redevelopment Plan



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ISC: UNRESTRICTED
CPC2020-0084

Policy Amendment and Land Use Amendment in Sherwood (Ward 2) at 12414 - 53 Street NW, LOC2019-0127

EXECUTIVE SUMMARY

This application was submitted by NORR Architects Engineers Planners on 2019 August 07 on behalf of landowner Cidex Holdings Ltd. The application proposes to redesignate the subject parcel from DC Direct Control District to Industrial – Commercial (I-C) District to allow for:

- light industrial and small-scale commercial uses that are compatible with and complement light industrial uses;
- a maximum building height of 12 metres;
- a maximum building floor area of up to 107,439 square metres, based on a building floor to parcel area ratio (FAR) of 1.0; and
- the uses listed in the I-C District.

An amendment to the *Symons Valley Community Plan* is required to accommodate the proposed land use amendment. The proposal is however, in general conformance to the objectives of the *Symons Valley Community Plan, as amended*, and in keeping with applicable policies of the *Municipal Development Plan*.

No development permit application has been submitted at this time.

ADMINISTRATION RECOMMENDATION:

That Calgary Planning Commission recommend that Council hold a Public Hearing; and

1. **ADOPT**, by bylaw, the proposed amendment to the Symons Valley Community Plan (Attachment 2); and
2. Give three readings to the proposed bylaw.
3. **ADOPT**, by bylaw, the proposed land use redesignation of 10.8 hectares \pm (26.4 acres \pm) located at 12414 - 53 Street NW (Portion of NW1/4 Section 25-25-2-5) from DC Direct Control District **to** Industrial – Commercial (I-C) District; and
4. Give three readings to the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY

None.

BACKGROUND

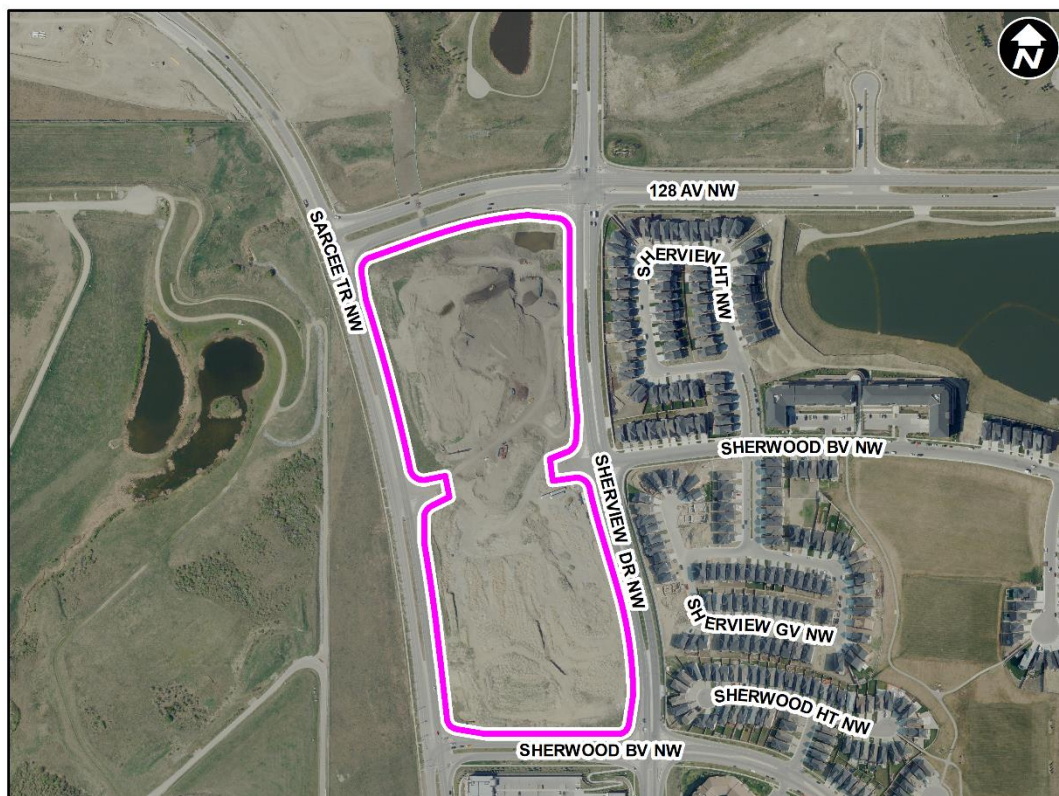
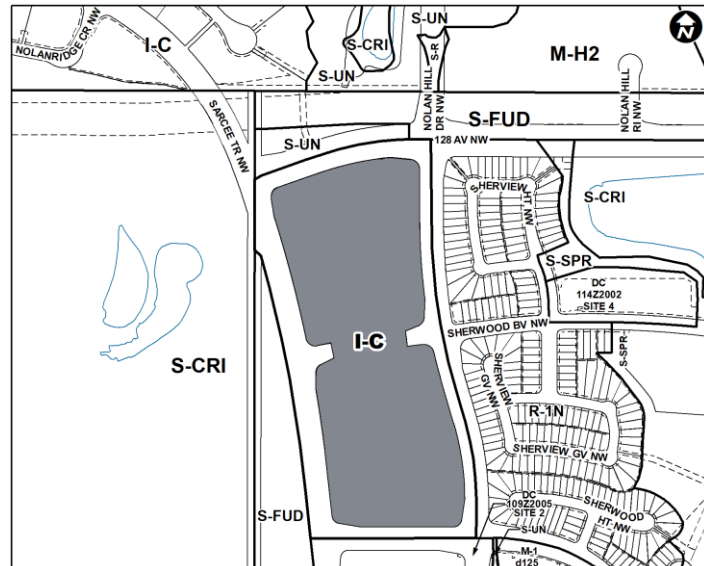
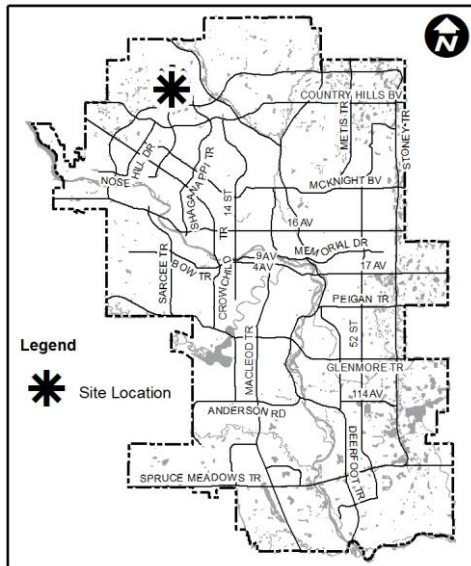
This application was submitted by NORR Architects Engineers Planners on 2019 August 07 on behalf of landowner Cidex Holdings Ltd. No development permit has been submitted at this time. As noted in Applicant Submission (Attachment 1), the applicant intends to develop the subject parcel with light industrial, office and commercial uses.

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Policy Amendment and Land Use Amendment in Sherwood (Ward 2) at 12414 - 53
Street NW, LOC2019-0127

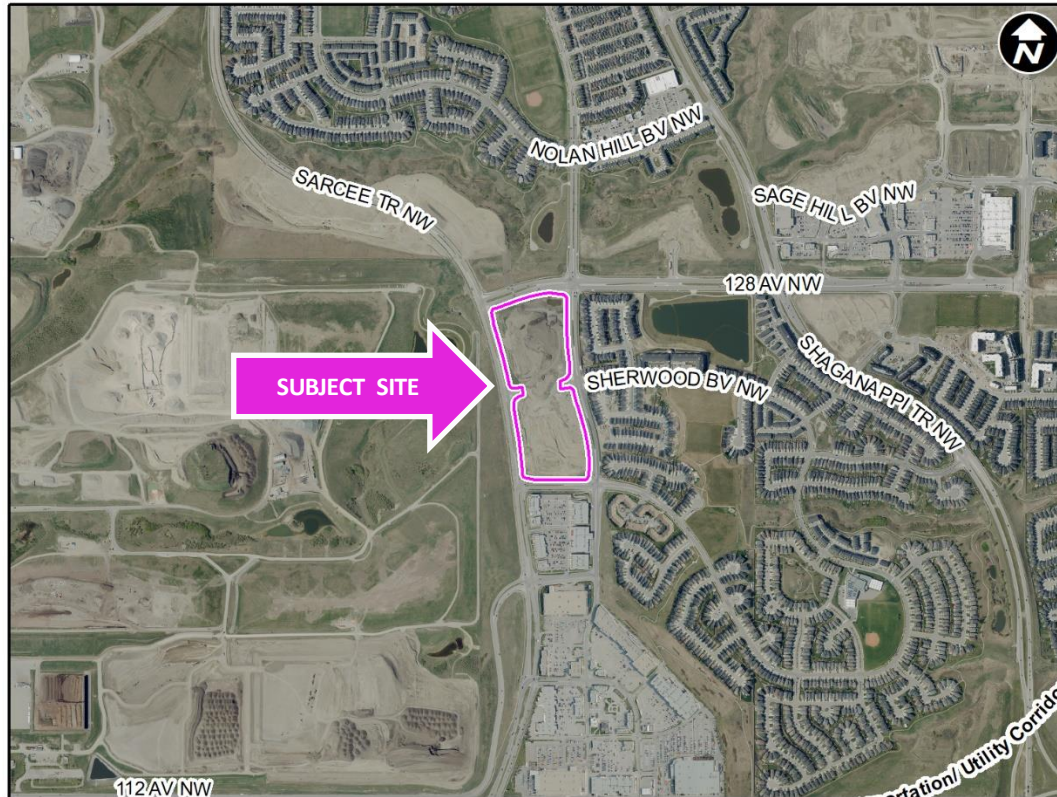
Location Maps



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**Policy Amendment and Land Use Amendment in Sherwood (Ward 2) at 12414 - 53
Street NW, LOC2019-0127**



Site Context

The subject parcel is located in the northwest quadrant of the city in the community of Sherwood. Specifically, it is situated on the east side of Sarcee Trail NW, on the south side of 128 Avenue NW, on the west side of Sherview Drive NW and on the north side of Sherwood Boulevard NW. The parcel comprises an area of approximately 10.7 hectares (26.4 acres) with dimensions of approximately 550 metres by 200 metres. The parcel slopes down from south to north and is currently undeveloped.

The parcel has two vehicular accesses from Sarcee Trail NW and Sherview Drive NW. There are two transit stops located along the east property line of the subject parcel abutting Sherview Drive NW. With the available road network and transit stops, the parcel is easily accessible by foot, bicycle, transit or vehicle.

Surrounding development includes the Spyhill Waste Management Facility to the west, an Environmental Reserve for wetlands to the north, a residential neighborhood to the east, and commercial development to the south. Other I-C designated parcels are located on both sides of Sarcee Trail NW, 150 metres north of 128 Avenue NW.

Policy Amendment and Land Use Amendment in Sherwood (Ward 2) at 12414 - 53 Street NW, LOC2019-0127

A western portion of the subject parcel is within the legislated setbacks from the Spyhill Waste Management Facility (Attachment 3) and is governed by the *Subdivision and Development Regulations*. These regulations will limit certain uses (residences, food establishments, schools, hospitals) from locating within the prescribed setback through the development permit process. As identified in *Figure 1*, the community of Sherwood reached its peak population in 2018.

Figure 1: Community Peak Population

Sherwood	
Peak Population Year	2018
Peak Population	5,864
2018 Current Population	5,864
Difference in Population (Number)	0
Difference in Population (Percent)	0%

Source: *The City of Calgary 2018 Civic Census*

Additional demographic and socio-economic information may be obtained online through the [Sherwood](#) community profile.

INVESTIGATION: ALTERNATIVES AND ANALYSIS

The proposal allows for light industrial uses and complementary small-scale commercial uses. Though a minor amendment to the *Symons Valley Community Plan* is required, the proposal generally meets the objectives of applicable policies as discussed in the Strategic Alignment section of this report.

Planning Considerations

The following sections highlight the scope of technical planning analysis conducted by Administration.

Land Use

A DC Direct Control District ([Bylaw 114Z2002](#)) was first applied to the subject parcel in 2003 when the first land use amendment application for the Beacon Hill Shopping Centre was approved. In 2003, the DC District had guidelines requiring phasing of development to address concerns related to market impact and downstream transportation network capacity. After further market and transportation analysis in 2005, it was concluded that Stoney Trail/Sarcee Trail interchange would provide sufficient downstream network capacity and the commercial centre should be allowed to build-out under a market-driven time frame without the need of any phasing of development. A subsequent DC Direct Control District ([Bylaw 109Z2005](#)) was applied to the subject parcel in 2005 removing DC guidelines that required the phasing of development until market impact and transportation capacity issues are resolved.

Policy Amendment and Land Use Amendment in Sherwood (Ward 2) at 12414 - 53 Street NW, LOC2019-0127

The current DC Direct Control District ([Bylaw 109Z2005](#)) is based on the General Light Industrial (I-2) District of Bylaw 2P80. The purpose of this District is to provide for a wide range of general light industrial and associated uses which are compatible with each other and do not adversely affect surrounding non-industrial land uses. This DC District allows for up to 107,439 square metres of building floor area (based on a maximum FAR of 1.0) to be developed with a 12 metre height limit. This DC District does not allow for retail and personal service uses and has a use area limitation for restaurant uses.

The proposed I-C District is an industrial designation and is intended to be located along major streets or expressways. The I-C District provides for light industrial with compatible and complementary small-scale commercial uses. Similar to the existing DC District, the I-C District also allows for up to 107,439 square metres of building floor area (based on a maximum FAR of 1.0) to be developed with a 12 metre height limit. In addition to the general light industrial and office uses, the I-C District provides for more flexibility with commercial uses including retail and consumer service and restaurant uses. The I-C District has use area limitation for retail and consumer service uses. The I-C District has setbacks, screening, landscaping and building design requirements that address aesthetic concerns associated with highly visible locations.

Development and Site Design

The applicable land use policies and the rules of the proposed I-C District will provide guidance for the future development of the site including appropriate uses, height and building massing, landscaping and parking. Given the specific context of this corner site, additional items that will be considered through the development permit process include, but are not limited to:

- ensuring an engaging built interface along the Sherview Drive NW frontage;
- ensuring building and site design addresses aesthetical concerns associated with this highly visible location; and
- ensuring that uses prohibited within the Spyhill Waste Management Facility setback are not located within these setbacks.

Environmental

An Environmental Site Assessment was not required. Subject to adherence to provincial setback requirements from a waste management facility, there are no environmental concerns associated with the site or this proposal.

Transportation

Site access will be available via a private road that connects from Sarcee Trail NW to Sherview Drive NW. Details of the access design will be finalized at the development permit stage. There are two transit stops located along the east property line of the subject parcel abutting Sherview Drive NW. Route 82 (Nolan Hill) and Route 115 (Symons Valley Parkway) are included at these transit stops, providing access from the area to the Tuscany and Brentwood LRT Stations.

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At the development permit stage, the developer will be responsible for the cost of intersection signalization for the intersections of the site access road at Sarcee Trail NW and Sherview Drive NW.

A Transportation Impact Assessment (TIA) was reviewed as part of this application. The TIA findings have been accepted by Administration.

Utilities and Servicing

Water, sanitary and storm sewer mains are available and can accommodate the proposed land use redesignation without the need for network upgrades at this time. Specific details of site servicing and stormwater management will be reviewed in detail at the development permit stage.

Stakeholder Engagement, Research and Communication

In keeping with Administration's standard practices, this application was circulated to relevant stakeholders, including Sherwood Community Association, and was notice posted on-site. Notification letters were sent to adjacent landowners and the application was advertised online.

Administration did not receive any public responses related to this application.

The applicant-led engagement included a meeting with Sherwood Community Association representatives. Sherwood Community Association provided a conditional letter of support for this application (Attachment 4).

Following Calgary Planning Commission, notifications for Public Hearing of Council will be posted on-site and mailed out to adjacent landowners. In addition, Commission's recommendation and the date of the Public Hearing will be advertised.

Strategic Alignment

South Saskatchewan Regional Plan (2014)

The recommendation by Administration in this report has considered and is aligned with the policy directions of the [South Saskatchewan Regional Plan](#) which directs population growth in the region to Cities and Towns and promotes the efficient use of land.

Interim Growth Plan (2019)

The recommendation aligns with the policy direction of the [Interim Growth Plan](#). The proposed land use amendment builds on the principles of the *Interim Growth Plan* by means of promoting efficient use of land, regional infrastructure, and establishing strong, sustainable communities.

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Policy Amendment and Land Use Amendment in Sherwood (Ward 2) at 12414 - 53 Street NW, LOC2019-0127

Municipal Development Plan (Statutory – 2009)

[Map 1: Urban Structure](#) of [Municipal Development Plan](#) (MDP) includes the subject parcel within the Public Utility typology. While no specific policies are outlined in the MDP for this typology, the typology is intended to recognize the parcel's location in proximity to the Spyhill Waste Management Facility, and the legislated setbacks that encroach on a western portion of the subject parcel.

It is recognized that the boundaries of the Public Utility typology are general in nature and, in this instance, the typology immediately adjacent (Planned Greenfield with Area Structure Plan) provides the most appropriate MDP policy direction. In this regard, policy 3.6.1(a) of the MDP directs that Area Structure Plans in existence prior to the adoption of the MDP are recognized as appropriate policies to provide specific direction for development of the local community. Thus the policies of the *Symons Valley Community Plan* provide direction.

Symons Valley Community Plan (Statutory – 2001)

The subject site is located within the area covered by the [Symons Valley Community Plan](#), which is a statutory Area Structure Plan. Map 3: Land Use Concept of *Symons Valley Community Plan* shows the subject parcel within the Business Park Area typology.

The purpose of the Business Park Area, as outlined in Section 5.1.1, is to provide for light industrial, commercial and office uses within a serviced business park. Section 5.1.2 further speaks to the composition of intended land uses and the nature of compatibility and design of the business park area. The intent of the policy is for future development to provide for a compatible interface with the adjacent community and an attractive appearance when viewed from an adjoining road.

The proposed I-C District complies with these policies as it allows for light industrial and small-scale commercial uses that are compatible with and complement light industrial uses. The I-C District has setbacks, screening, landscaping and building design requirements that address aesthetical concerns associated with highly visible locations.

Currently, Section 5.1.2(1) Composition of Business Park Area includes a reference to General Light Industrial (I-2) District of Bylaw 2P80 for allowed commercial uses within the Business Park Area. An amendment to the *Symons Valley Community Plan* is proposed with this land use redesignation which will remove this reference (Attachment 2). This proposed amendment is supported by Administration as the existing reference to General Light Industrial (I-2) District of Bylaw 2P80 will create unwarranted inconsistency at the development permit stage when a proposal would be reviewed under the proposed I-C District from Land Use Bylaw 1P2007. In addition to this, a reference to a land use district within an Area Structure Plan for determining land use composition appears redundant and it is no longer a preferred practice for writing policy.

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Policy Amendment and Land Use Amendment in Sherwood (Ward 2) at 12414 - 53 Street NW, LOC2019-0127

Subdivision and Development Regulations (Alberta Regulation – 2002)

A western portion of the subject parcel is within the legislated setbacks from the Spyhill Waste Management Facility and is governed by *Section 13 of the [Province of Alberta Subdivision and Development Regulation](#) (AR 43/2002)* (Attachment 3). These regulations will limit certain uses (residences, food establishments, schools, hospitals) from locating within the prescribed setbacks (450 metres from working area, 300 metres from disposal area) through the development permit process.

Social, Environmental, Economic (External)

The recommended land use allows for light industrial and small-scale commercial uses that are compatible with and complement light industrial uses.

Financial Capacity

Current and Future Operating Budget

There are no known impacts to the current and future operating budgets at this time.

Current and Future Capital Budget

The proposed amendment does not trigger capital infrastructure investment and therefore there are no growth management concerns at this time.

Risk Assessment

There are no significant risks associated with this proposal.

REASON(S) FOR RECOMMENDATION(S):

The proposal conforms to the intent and objectives of the *Symons Valley Community Plan*, as amended, and is in keeping with the applicable policies of the *Municipal Development Plan*. The Industrial – Commercial (I-C) District allows for light industrial and small-scale commercial uses that are compatible with and complement light industrial uses. The I-C District will allow for a compatible interface with the adjacent community and an attractive appearance when viewed from the adjoining roads.

ATTACHMENT(S)

1. Applicant Submission
2. Proposed Amendment to the Symons Valley Community Plan
3. Spyhill Waste Management Facility Setbacks
4. Community Association Letter

Applicant Submission



October 16, 2019

City of Calgary
Floor 5, 800 Macleod Trail SE
Calgary, Alberta
T2P 2M5

Attn.: Mr. Manish Singh / Planner

Dear Mr. Singh:

Re: Sherwood Commercial Project Land Use Re-designation Application / Rationale
NCCA18-0148-00

Applicants Submission

Background

The subject parcel is approximately 11.1 ha (27.5 ac) and is located at 12414 – 53 Street in the community of Sherwood in NW Calgary. The site is currently designated DC 109Z2005 SITE 3. This DC zoning refers to the old 2P80 Zoning Bylaw and calls for I-2 guidelines with a maximum FAR of 1. I-2 guidelines refer predominately to light industrial uses with support office and commercial uses.

The intent of our application is to Re-designate from DC 109Z2005 SITE 3 to the present IP2007 Calgary Land Use Bylaw I-C District.

A Pre-application meeting (PE2018-02116) was completed on November 22, 2018 and comments were provided highlighting issues to be addressed with the Land Use Re-designation submission. Of primary concern was the submission of a TIA and supporting rationale for the Re-designation. Our TIA is attached to this letter and supporting rationale is provided below.

Site Characteristics

The site fronts Sarcee Trail to the west, Sherwood Drive to the east, Symons Valley Parkway to the north, and Sherwood Blvd. south. The Spyhill landfill site is located directly west of the subject site and the 300 metre permanent landfill setback encroaches on the subject parcel. To the east we have low density residential developments, commercial developments to the south, and undeveloped special purpose district to the north.

The site slopes down from south to north and the existing vehicular access is currently from Sarcee Trail to the west and Sherwood Drive to the east. In addition to that, the proposed development will ideally be connected by right-in right-out access from Sarcee Trail and Sherwood Drive for both north and south sections.

Applicant Submission



Policy Amendment Application

Per our discussion we believe it is prudent to apply for a Policy Amendment to the Symons Valley Community Plan to remove the reference in Section 5 Business Park Area subsection 5.1.2 (c) (i) which refers to Commercial uses within the Business Park Area as those identified within the General Light Industrial (I-2) District. This reference must be removed from the policy document because it will conflict with the new uses in the proposed I-C District.

Land Use Rationale

- The existing Land Use is over 14 years old and light industrial uses are now too restrictive for this location adjacent to existing residential and commercial neighbourhoods.
- The I-C district is compatible with the "Business Park Area" as envisioned on the policy document "Symons Valley Community Plan 2017" Section 5 and the Land Use Concept Plan (attached).
- The I-C district matches similar lands adjacent to the north and west of our site and allows for Commercial, Office and Light Industrial uses that will be compatible to the adjacent residential uses to the east and landfill area to the west.
- The land uses will be strategically located to allow more industrial, auto and office uses towards the west adjacent to the landfill and more commercial and residentially oriented uses to the east side of the site.
- The previous I-2 Zoning restricts the size of commercial and restaurant / take out food uses to minimal sizes which we believe would be restrictive in this location and with this site size. Our client is hoping to attract a few larger commercial and restaurant tenants for the areas that are outside of the land fill setback zone which we believe will compliment both the light industrial and residential uses adjacent.

In conclusion this Land Use application simply seeks to align this site with the Existing Policy documents by selecting an existing I-C district from the Calgary Land Use bylaw / IP2007.

Sincerely Yours
NORR ARCHITECTS ENGINEERS PLANNERS

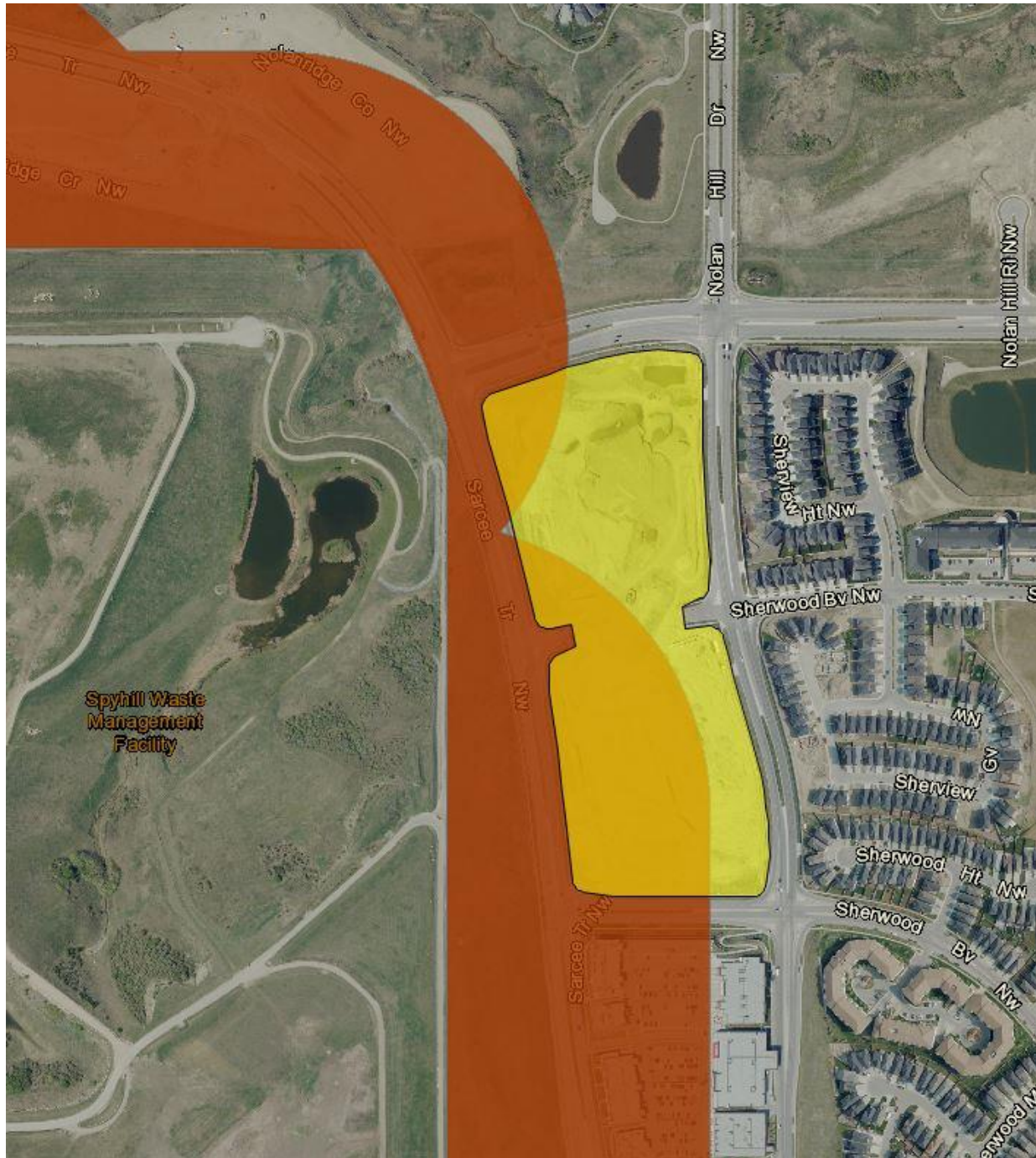
A handwritten signature in blue ink, appearing to read "Bruce McKenzie".

Bruce McKenzie, Architect , AAA, AIBC, FRAIC, LEEDap
VP

Proposed Amendment to the Symons Valley Community Plan

1. The Symons Valley Community Plan attached to and forming part of Bylaw 6P2001, as amended, is hereby further amended as follows:
 - (a) In Section 5.1.2(1)(c), delete the existing policy and replace with the following:
 - “(c) Commercial uses within the Business Park Area shall be limited to uses that comply with the *Subdivision and Development Regulation*.”

Spyhill Waste Management Facility Setbacks



- Spyhill Waste Management Facility Setbacks
(450 metres from working area, 300 metres from disposal area)
- Subject Site

Community Association Letter



To: City of Calgary Personnel

Date: Dec 22, 2019

Subject: Community Association Board approval regarding LOC2019-0127 Sherwood Land Use

Dear Sir / Madam,

On behalf of the Sherwood Community Association and the Residents of Sherwood, I would like to provide a confirmation of support for the proposed LOC2019-0127 Sherwood Land Use change that Cidex has requested.

After careful review and deliberation, we agree that the proposed land use change (from I-2 to I-C) should occur, though we would like to ensure the following are also implemented (by the developer or the City) to ensure Sherwood's needs are also met.

1. Completion of the traffic regulation at the intersection of Sherwood Boulevard and Sherwood Drive. We have brought this up as a high priority item in the past due to numerous collisions (with or without injury) and the general need for traffic controls at this high use intersection.
2. Proper consideration to traffic in and out of the new I-C area. As this is designated a commercial area, there will be an anticipated higher traffic rate, and this should be taken into consideration.
3. Removal of the large dirt/ loam piles out of the said property at the earliest convenience once approval is given by the City.
4. Construction of a quality Community sign in the entrance/ corner of Sarcee & Blvd as we have on Shaganappi entrance to Sherwood (Sherwood Gate and Shaganappi Trail NW). The signage should match what is on the Shaganappi side for consistency and aesthetics. As this signage is to be permanent, a quality design and material should be used.

If you require any further clarification, I would be happy to discuss this with you. Feel free to contact me at president@sherwoodca.com.

Sincerely,

Satnam Pannu



President
Sherwood Community Association (SCA)